

City of Crooks  
City Council  
Special meeting  
Agenda

Date: 08/23/2023

Time: 5:30pm

Location: Crooks Community Center (701 S West Ave, Crooks, SD, 57020)

- 1) Call to order / Roll call
- 2) Approve Agenda
- 3) Public hearings:
  - a) Variance – Reduction of setbacks / Address: 105 S West Ave / Applicant: Crooks Community Child Care Center
  - b) Conditional Use – Storage Units / Address: 105 Industrial Court / Applicant: 605 Companies
- 4) Approve annexation agreement
- 5) Resolution 2023-14: Voluntary annexation
- 6) City shop & lot
- 7) First reading of Ordinance #332 – 2024 Appropriations
- 8) Open comments
- 9) Adjourn



City of Crooks  
Crooks City Council  
Notice of Hearing upon receipt of an application for a variance

Notice is hereby given that a hearing will be held before the Crooks City Council at 5:30pm on the 23<sup>rd</sup> day of August, 2023 in the Crooks Community Center (701 S West Ave, Crooks, SD, 57020) upon receipt of an application for a variance by the Crooks Community Child Care Center for the property located at 105 S West Ave, Crooks, SD (Legal: Lot 3a (Except the north 90 feet of the east 168 feet) in block 1 of Allantowne Addition to the City of Crooks, SD; County parcel: #60143). The variance application is for a reduction in the setbacks for the front yard and the rear yard.

Notice is further given that at the time and place of aforesaid, any person may appear and be heard upon all matters pertaining to said application. Interested parties may appear personally or through their designated agent(s), attorney(s), or representative(s). Anyone unable to attend may submit written comments prior to the hearing to the Crooks Municipal Office (701 S West Ave, Crooks, SD) by 5pm on the day of the hearing.

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this hearing, please contact the Crooks Municipal Office at (605) 543-5238. Anyone who is deaf, hard-of-hearing or speech-disabled may utilize Relay South Dakota at (800) 877-1113 (TTY/Voice). Notification two (2) business days prior to the hearing will enable the City to make reasonable arrangements to ensure accessibility to this hearing.

Tobias Schantz  
City Administrator/Municipal Finance Officer

Published:  
Published once at the approximate cost of: \$

## CITY OF CROOKS

Please check appropriate box

(Print or Type)  
**APPLICATION #:** 07-2023  
**NAME:** Crooks Community Child Care Center  
**ADDRESS:** 204 North Main Street, Crooks, SD  
**DAYTIME PHONE#:** 605-543-5111  
**PROPERTY ADDRESS:** 105 South West Ave., Crooks SD

CONDITIONAL USE ☐

REZONING ☐

VARIANCE ☒

**LEGAL:** See Site Plan for Legal Description  
**DATE OF BUILDING PERMIT REQUEST:** Plans have not been submitted for review and permitting.  
**DATE OF DENIAL:** N/A  
**REASON FOR BUILDING PERMIT DENIAL:** N/A  
**EXISTING USE OF PROPERTY:** Residential/Vacant  
**PRESENT ZONING CLASSIFICATION** GB General Business  
**PROPOSED ZONING CLASSIFICATION** Unchanged  
**SECTION OF CODE**  
**REASON FOR REQUEST:** To reduce the front yard setback from 25 feet to 14 feet, and the rear yard setback from 30 feet to 20 feet.  
**LIST SPECIFIC HARDSHIPS:** To provide the required on site parking, a reduction in the front and rear yard setbacks is needed.

Applications for Conditional Use Permits and/or Rezoning Requests will not be accepted until the following information has been provided by the applicant:

- A) Detailed Site Plan (Refer to handout)
- B) Location and Use of Adjacent Structures
- C) Application Fee

**SCHEDULED FOR PLANNING COMMISSION ACTION (Date):** 8/1/2023

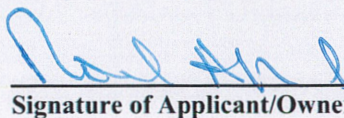
**SCHEDULED FOR BOARD OF ADJUSTMENT ACTION (Date):** TBD 08/23/2023 - TS

\*TENTATIVE DATE (IF APPEALED): Final date announced at Planning Commission Meeting:

**APPLICATION FEE:** \$50.00 **CHECK #:** **RECEIPT #:**

The undersigned acknowledges/declares that all the facts and representations stated in this application are true and by signing, acknowledges the cost and the procedure for the processing of the application and certifies that the property described by the provided legal description, is not tax delinquent.

Noel Ahl 8/4/23  
Name of Applicant/Owner Date

 8/3/23  
Signature of Applicant/Owner Date

**City of Crooks – 701 S West Ave, Crooks, SD, 57020 – PO Box 785**

**Site plan for variance / conditional use / rezoning application / building permit**

Dear applicant:

Please provide a drawing of your anticipated project you have submitted for your variance/conditional use/rezoning/building permit application. The drawing needs to identify the project and provide an idea/concept of the project.

--

Crooks Planning and Zoning  
Crooks Building Inspection

**Site plan**

See attached site plan.

See attached aerial photo  
showing the adjacent  
property uses.



**Location and use of adjacent structures (not applicable for building permits):**

The adjacent properties to the the north, south, east and west of the property are single family residences. See attached aerial photo of the daycare site with the adjacent property uses noted.

---

---

Signature applicant

Date

Noel Ahl

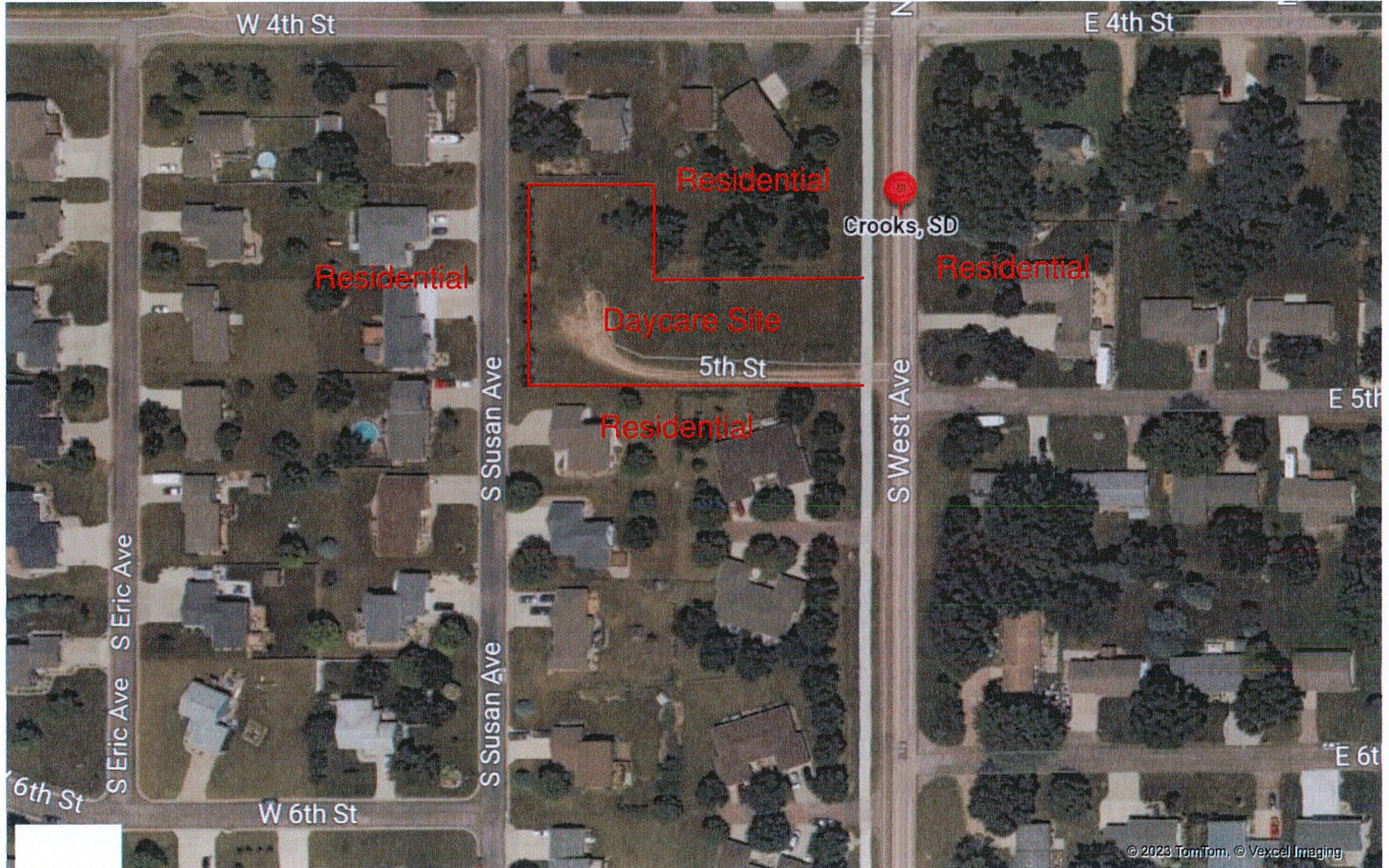
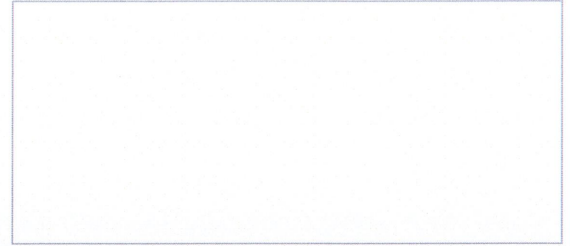
---

Name applicant

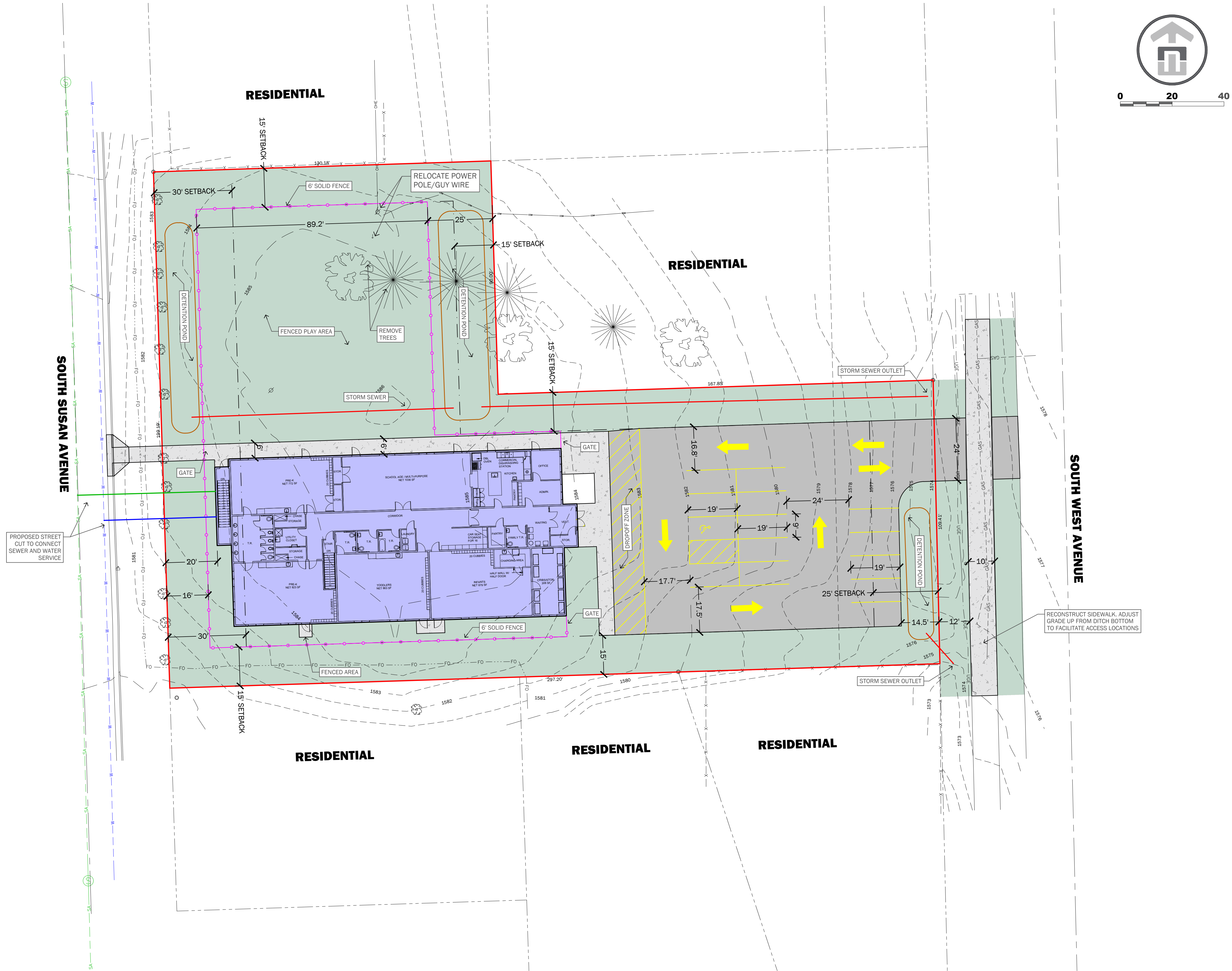


## Crooks, SD

Population: 1,362 (2020)







**Legal Description**  
LOT 3A (EXCEPT THE NORTH 90 FEET OF THE EAST 168 FEET) IN BLOCK 1 OF ALLANTOWNE AN ADDITION TO THE CITY OF CROOKS IN THE NE1/4 OF SECTION 10, TOWNSHIP 102 NORTH, RANGE 50 WEST OF THE 5TH P.M., MINNEHAHA COUNTY, SOUTH DAKOTA.



CROOKS DAYCARE CENTER  
Crooks, SD

SITE PLAN - OPTION 2

07/27/2023  
AV  
KN  
C400



605.336.6891  
605.335.5858 Fax  
2307 W. 57th St., Suite 101  
Sioux Falls, SD 57108

rsa@rsa-create.com

City of Crooks  
Crooks City Council  
Notice of Hearing upon receipt of an application for a conditional use

Notice is hereby given that a hearing will be held before the Crooks City Council at 5:30pm on the 23<sup>rd</sup> day of August, 2023 in the Crooks Community Center (701 S West Ave, Crooks, SD, 57020) upon receipt of an application for a conditional use by 605 Companies for the property located at 105 Industrial Court, Crooks, SD (Legal: Lot 6 of CDC North Addition to the City of Crooks, SD; County parcel: #96623). The conditional use application is for storage units at the aforementioned property.

Notice is further given that at the time and place of aforesaid any person may appear and be heard upon all matters pertaining to said application. Interested parties may appear personally or through their designated agent(s), attorney(s), or representative(s). Anyone unable to attend may submit written comments prior to the hearing to the Crooks Municipal Office (701 S West Ave, Crooks, SD) by 5pm on the day of the hearing.

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this hearing, please contact the Crooks Municipal Office at (605) 543-5238. Anyone who is deaf, hard-of-hearing or speech-disabled may utilize Relay South Dakota at (800) 877-1113 (TTY/Voice). Notification two (2) business days prior to the hearing will enable the City to make reasonable arrangements to ensure accessibility to this hearing.

Tobias Schantz  
City Administrator/Municipal Finance Officer

Published:  
Published once at the approximate cost of: \$

## CITY OF CROOKS

Please check appropriate box

(Print or Type

APPLICATION #:

08-2023

NAME:

Math Kissell 605 companies, Inc

ADDRESS:

700 E 65th St N SE SD 57104

DAYTIME PHONE#:

303-621-5688

PROPERTY ADDRESS:

105 Industrial Court Crooks SD

CONDITIONAL USE



REZONING

☐

VARIANCE

☐

LEGAL:

Lot 6 of CDC North Addition to city of crooks, SD

DATE OF BUILDING PERMIT REQUEST:

July 27, 2023

DATE OF DENIAL:

REASON FOR BUILDING PERMIT DENIAL:

EXISTING USE OF PROPERTY:

Vacant

PRESENT ZONING CLASSIFICATION

Industrial

PROPOSED ZONING CLASSIFICATION

Industrial

SECTION OF CODE

REASON FOR REQUEST:

Storage Units

LIST SPECIFIC HARDSHIPS:

Applications for Conditional Use Permits and/or Rezoning Requests will not be accepted until the following information has been provided by the applicant:

- A) Detailed Site Plan (Refer to handout)
- B) Location and Use of Adjacent Structures
- C) Application Fee

SCHEDULED FOR PLANNING COMMISSION ACTION (Date):

SCHEDULED FOR BOARD OF ADJUSTMENT ACTION (Date): 08/23/2023 - TS

\*TENTATIVE DATE (IF APPEALED): Final date announced at Planning Commission Meeting:

APPLICATION FEE:

\$50.00

CHECK #:

0715

RECEIPT #:

N/A

The undersigned acknowledges/declares that all the facts and representations stated in this application are true and by signing, acknowledges the cost and the procedure for the processing of the application and certifies that the property described by the provided legal description, is not tax delinquent.

Math Kissell/605

8/7/23

Name of Applicant/Owner

Date

MMK

Signature of Applicant/Owner

8/7/23

Date



**City of Crooks – 701 S West Ave, Crooks, SD, 57020 – PO Box 785**

**Site plan for variance / conditional use / rezoning application / building permit**

Dear applicant:

Please provide a drawing of your anticipated project you have submitted for your variance/conditional use/rezoning/building permit application. The drawing needs to identify the project and provide an idea/concept of the project.

--

Crooks Planning and Zoning

Crooks Building Inspection

**Site plan**

Location and use of adjacent structures (not applicable for building permits):

Industrial use - TS 08/07/23

---

---

---

MM

Signature applicant

8/7/23

Date

Matt Kissell

Name applicant



## Location Map - Minnehaha County, South Dakota



**DGR**  
ENGINEERING

REGISTERED PROFESSIONAL ENGINEER  
 REG. NO. 15287  
 JACOB T. MORRIS  
 SOUTH DAKOTA

**PENDING**  
 NOT FOR CONSTRUCTION

Jacob T. Morris	S.D. No. 15287	Date
-----------------	----------------	------

SHEET NO. A1 THRU A2	TITLE SHEET, LEGEND
SHEET NO. G1 THRU G5	EROSION CONTROL PLAN, DETAILS
SHEET NO. H1	EXISTING CONDITIONS
SHEET NO. I1 THRU I2	SITE, UTILITY PLAN
SHEET NO. J1 THRU J2	GRADING PLAN
SHEET NO. N1 THRU N10	DETAILS

605 COMPANIES, INC.  
MATT KISSELL  
700 E 65TH STREET NORTH  
SIOUX FALLS, SD 57104  
PHONE NUMBER: (605) 251-3184
















































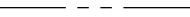








































DGR ENGINEERING  
JACOB MORRIS, P.E.  
1300 S HIGHLINE AVENUE  
SIOUX FALLS, SD 57110  
EMAIL ADDRESS: [jacob.morris@dgr.com](mailto:jacob.morris@dgr.com)  
PHONE NUMBER: (605) 339-4157

LOT 6 OF CDC NORTH ADDITION TO THE CITY OF CROOKS,  
SOUTH DAKOTA.

DRAWING INDICATES GENERAL UTILITY LOCATIONS ONLY. NEITHER THE CORRECTNESS OR COMPLETENESS OF LOCATIONS ARE GUARANTEED. CONTACT SOUTH DAKOTA ONE CALL PRIOR TO EXCAVATIONS (1-800-781-7474). INFORMATION ON SECTION-TOWNSHIP-RANGE ARE SHOWN ON THE LOCATION MAP ON THIS SHEET.



LEGEND OF SYMBOLS

	8"PVC	WATER MAIN, SIZE, AND TYPE
	W	WATER MANHOLE
		WATER SHUT OFF
	WTR/TR	WATER TRACER WIRE PEDESTAL
		WATER VALVE
		FIRE HYDRANT
		SPRINKLER HEAD
		CONTROL VALVE
	8"PVC	SANITARY SEWER MAIN, SIZE, AND TYPE
	CO	SANITARY SEWER CLEAN OUT
	S	SANITARY SEWER MANHOLE
	12"RCP	STORM SEWER SIZE AND TYPE
	D	STORM SEWER MANHOLE
	GAS	UNDERGROUND GAS
	GM	GAS METER
		GAS VALVE
	PROPANE	PROPANE TANK
	T	UNDERGROUND TELEPHONE
		TELEPHONE PEDESTAL
	T/VLT	TELEPHONE VAULT
	TV	UNDERGROUND TELEVISION
	TV	TELEVISION PEDESTAL
	UGE	UNDERGROUND ELECTRIC
	OHE	OVERHEAD ELECTRIC
		GUY POLE
		GUY WIRE
		POWER POLE
		POWER POLE WITH LIGHT
		POWER POLE WITH TRANSFORMER
		POWER POLE WITH LIGHT AND TRANSFORMER
		LIGHT POLE
		TRAFFIC SIGNAL POLE
	E	ELECTRIC BOX
	E	ELECTRICAL MANHOLE
	EM	ELECTRICAL METER
	E/VLT	ELECTRICAL VAULT
		FLOOD LIGHT
	FO	FIBER OPTIC
	AT&T	FIBER OPTIC - AT&T
	CL	FIBER OPTIC - CENTURY LINK
	MIDCO	FIBER OPTIC - MIDCO
	SDN	FIBER OPTIC - SDN
	VAST	FIBER OPTIC - VAST
	FO	FIBER OPTIC PEDESTAL
	FO/VLT	FIBER OPTIC VAULT
		CENTERLINE
		EASEMENT
		PROPERTY LINE
		RIGHT OF WAY LINE
		PROPERTY PIN
		BENCHMARK
		CONTROL POINT
		FENCE
		FENCE POST
		RETAINING WALL
		ROOF DRAIN
		SIGN
		CONIFEROUS TREE
		DECIDUOUS TREE
		STUMP
		TREE LINE
	FP	FLAG POLE
		MAILBOX
		BOULDER
		RIP RAP
	1500	EXISTING MAJOR CONTOUR
	- 1501 -	EXISTING MINOR CONTOUR
	1500	PROPOSED MAJOR CONTOUR
	1501	PROPOSED MINOR CONTOUR
		PROPOSED WATER MAIN
	B	PROPOSED BEND
	C	PROPOSED CAP
	X	PROPOSED CROSSING
	CS	PROPOSED CURB STOP
	H	PROPOSED HYDRANT
	PIV	PROPOSED POST INDICATOR VALVE
	R	PROPOSED REDUCER
	SL	PROPOSED SLEEVE
	T	PROPOSED TEE
	V	PROPOSED VALVE
	WIV	PROPOSED WALL INDICATOR VALVE
		PROPOSED SANITARY SEWER
	CO	PROPOSED CLEANOUT
	S	PROPOSED MANHOLE
	Y	PROPOSED WYE
		PROPOSED STORM SEWER
		PROPOSED JUNCTION BOX
		PROPOSED INLET



Industrial Park Lot 6 Site Development  
Crooks, South Dakota

Legend

REVISIONS

Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157



Sheet

A2



EROSION CONTROL NOTES:

1. THIS EROSION CONTROL PLAN IS PART OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT HAS BEEN ISSUED WITH THE CONSTRUCTION DOCUMENTS. A SWPPP IS REQUIRED AS PART OF THE GENERAL NPDES PERMIT. THE PERMIT IS INCLUDED IN THE SWPPP. A SWPPP IS A LIVING DOCUMENT THAT NEEDS TO BE UPDATED ON A REGULAR BASIS TO MONITOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES IMPLEMENTED ON THE SITE FOR THE DURATION OF THE PROJECT.
2. ALL SEDIMENT AND EROSION CONTROL PRACTICES WILL BE INSPECTED, AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD, BY RESPONSIBLE PERSONNEL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE BEST MANAGEMENT PRACTICES SHALL BE MADE IMMEDIATELY.
3. FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE, OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE BEING PERFORMED.
4. SOIL STABILIZATION SCHEDULE TEMPORARY SEEDING WITH OATS - 2 TO 3 BUSHELS PER ACRE - AND MULCH ALL SLOPES 4:1 AND STEEPER WILL BE INITIATED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF MORE THAN 21 CALENDAR DAYS BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED. THIS SEQUENCE SHALL REPEAT AS GROUND COVER IS REMOVED BY SUBSEQUENT CONSTRUCTION ACTIVITY.
5. CONTRACTOR IS RESPONSIBLE FOR PHASING, MOVING, ADDING, REMOVING, AND REPLACING EROSION CONTROL TO FACILITATE CONSTRUCTION ACTIVITIES AND MAINTAIN PERIMETER SEDIMENT CONTROL.
6. APPLY FREQUENT LIGHT WATERING TO GROUND SURFACE AS REQUIRED TO CONTROL DUST.
7. UPON COMPLETION OF CONSTRUCTION: SEED, FERTILIZE, AND MULCH ALL DISTURBED AREAS.
8. MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS. CLEANING OF CONTROL DEVICES SHALL BEGIN WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
10. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENT.
12. AT NO TIME SHALL ANY WATERS FROM THIS PROJECT ENTER THE STORM SEWER OR LEAVE THE PROJECT LIMITS WITHOUT EXPOSURE TO A SEDIMENT FILTRATION DEVICE. ALL DROP INLETS, MANHOLES AND JUNCTION BOXES (EXISTING OR NEW) SHALL HAVE SEDIMENT CONTROL DEVICES PLACED AROUND THEIR PERIMETER DURING ALL STAGES OF CONSTRUCTION EXCEPT DURING THE PLACEMENT OF THE FINAL SURFACING. THIS MAY NECESSITATE MULTIPLE INSTALLATIONS OF THE SEDIMENT CONTROL DEVICES AT THE SAME LOCATION.

AREA TO BE DISTURBED: ±3.00 ACRES

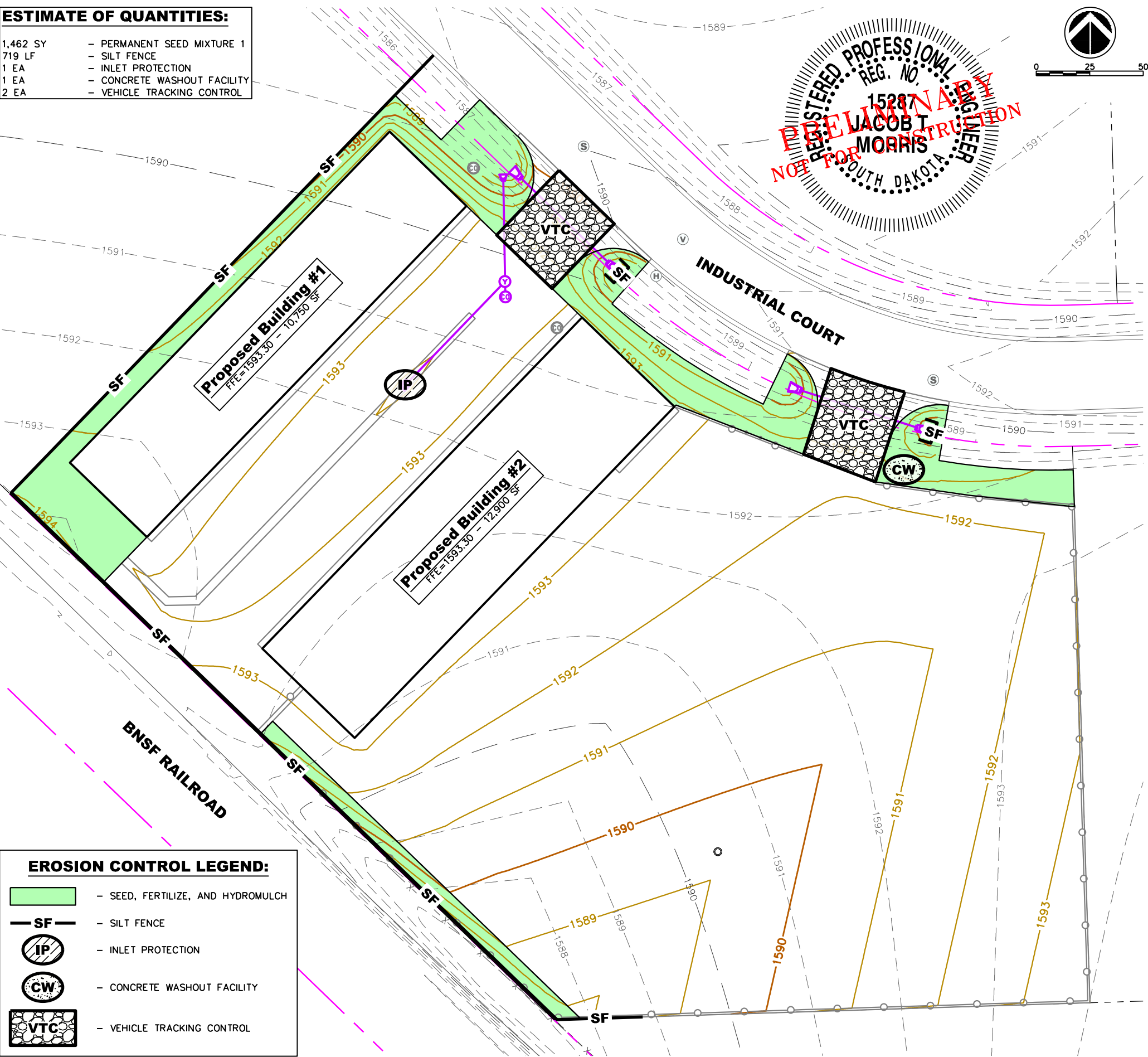
THIS PROJECT DISTURBS MORE THAN 1 ACRE, A SDDANR NOTICE OF INTENT PERMIT HAS BEEN FILED, PERMIT NO. SDR\*\*\*\*\*.

ESTIMATE OF QUANTITIES:

1,462 SY	- PERMANENT SEED MIXTURE 1
719 LF	- SILT FENCE
1 EA	- INLET PROTECTION
1 EA	- CONCRETE WASHOUT FACILITY
2 EA	- VEHICLE TRACKING CONTROL

EROSION CONTROL LEGEND:

<div></div>	- SEED, FERTILIZE, AND HYDROMULCH
<div>SF</div>	- SILT FENCE
<div>IP</div>	- INLET PROTECTION
<div>CW</div>	- CONCRETE WASHOUT FACILITY
<div>VTC</div>	- VEHICLE TRACKING CONTROL



Industrial Park Lot 6 Site Development  
Crooks, South Dakota

Erosion Control Plan

REVISIONS

Project Manager: JTM	MLP
Designer: 672019	Project Number: 672019
Phone: (605) 339-4157	



Sheet

G1



OWNER

605 COMPANIES, INC.  
MATT KISSELL  
700 E 65TH STREET NORTH  
SIOUX FALLS, SD 5710  
PHONE NUMBER: (605) 251-3184

DESIGN ENGINEER

DGR ENGINEERING  
1300 S HIGHLINE AVENUE  
SIOUX FALLS, SD 57110  
REGISTERED ENGINEER: JACOB MORRIS PE  
EMAIL ADDRESS: jacob.morris@dgr.com  
PHONE NUMBER: (605) 339-4157

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF SITE IMPROVEMENTS. THESE IMPROVEMENTS WILL INCLUDE CONSTRUCTION OF BUILDINGS, EROSION CONTROL MEASURES, GRADING, LANDSCAPING, AND PARKING LOT SURFACING.

EXISTING SITE CONDITIONS

THE EXISTING SITE CONSISTS OF AN OPEN LOT. THE SITE DRAINS TO THE NORTH WHERE SURFACE WATER ENTERS INDUSTRIAL COURT'S RIGHT OF WAY DITCH OR TO THE SOUTH WHERE SURFACE WATER ENTERS THE RAILROAD RIGHT OF WAY DITCH.

ARE WETLANDS AN ISSUE? NO

IF WETLANDS ARE AN ISSUE, HAS A DETERMINATION BEEN MADE BY THE US ARMY CORPS OF ENGINEERS? N/A

DOES THE STATE HISTORICAL PRESERVATION OFFICE (SHPO) NEED TO REVIEW THESE PLANS? NO

DOES THE SD GAME FISH AND PARKS NEED TO REVIEW THESE PLANS? NO

DOES THE US FISH AND WILDLIFE SERVICE NEED TO REVIEW THESE PLANS? NO

ADJACENT AREAS

THE SITE IS BORDERED BY INDUSTRIAL COURT TO THE NORTH. THE SITE IS BORDERED BY INDUSTRIAL PROPERTIES TO THE EAST AND WEST. THE SITE IS BORDERED BY THE BNSF RAILROAD TO THE SOUTH.

SOILS

THE SITE PRIMARILY CONSISTS OF SILTY CLAY LOAMS.

AREA DISTURBED

THE TOTAL SURFACE AREA TO BE DISTURBED IS APPROXIMATELY 3.00 ACRES.

TRAINING

TRAINING SHALL BE PROVIDED BY THE CONTRACTOR FOR THEIR EMPLOYEES AS NECESSARY TO ENSURE COMPLIANCE WITH THE ESCP/SWPPP.

TRAINING IS RECOMMENDED AT LEAST ANNUALLY BY THE CONTRACTOR FOR EMPLOYEES AND RESPONSIBLE PARTIES.

SEDIMENT CONTROL MEASURES

SILT FENCE, INLET SEDIMENT PROTECTION, VEHICLE TRACKING CONTROL, AND CONCRETE WASHOUT FACILITY.

AREA FOR STOCKPILE AND STORAGE:

ANY EXCAVATED MATERIALS TO BE REUSED MAY BE STOCKPILED WITHIN THE PROJECT LIMITS AT A LOCATION CHOSEN BY THE CONTRACTOR AND APPROVED BY THE OWNER AND ENGINEER. EXCESS EXCAVATED MATERIALS ARE TO BE HAULED OFF SITE. STOCK PILES OF EXCAVATED MATERIALS SHALL BE PROTECTED BY A SILT FENCE WHERE THE SILT FENCE SHALL BE PLACED AT A MINIMUM 8' FROM THE TOE OF THE PILE AND SEEDED WITH A TEMPORARY COVER CROP. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE MATERIALS AND STOCKPILE STORAGE SITES OUTSIDE THE PROJECT LIMITS

EROSION AND SEDIMENT CONTROL SEQUENCING

THE FOLLOWING EROSION AND SEDIMENT CONTROL SEQUENCING SHALL BE FOLLOWED BY THE OWNER/CONTRACTOR INVOLVED IN THIS CONSTRUCTION SITE ACTIVITY. CHANGES IN THE PROJECT'S CONSTRUCTION PLANS AND TIMELINES MAY REQUIRE THIS SEQUENCE TO BE CHANGED. ANY CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN (ESCP) MUST BE APPROVED BY THE ENGINEER PRIOR TO MAKING MODIFICATIONS IN THE FIELD.

PRIOR TO GRADING OPERATIONS:

- OWNER SHALL REVIEW ALL EROSION AND SEDIMENT CONTROL MEASURES IN THIS ESCP.
- ESCP SHALL BE APPROVED AND ACCEPTED BY THE CITY OF CROOKS ENGINEERING DEPARTMENT.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF CROOKS ENGINEERING DEPARTMENT.
- CONTACT INFORMATION SIGN MUST BE POSTED ON THE SITE.
- ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS SPECIFIED IN THE PLANS.

ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT STANDARDS OF THE CITY OF TEA ENGINEERING DESIGN STANDARDS. ANY VARIATION FROM THE ABOVE REFERENCED DESIGN STANDARDS SHALL NOT BE ALLOWED UNLESS FORMALLY APPROVED IN ADVANCE FROM THE ENGINEER AND CITY OF TEA.

SITE GRADING PHASE:

- UPON ISSUANCE OF A GRADING PERMIT, THE CONTRACTOR MAY PROCEED WITH SITE GRADING IN COMPLIANCE WITH THE GRADING PLAN AND APPROVED ESCP.
- THE INSTALLATION OF ALL SEDIMENT CONTROL FACILITIES SHALL BEGIN BEFORE MAJOR SITE GRADING ACTIVITIES IN ACCORDANCE WITH THE ESCP.
- DURING ALL PHASES OF GRADING, THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED WHILE IN SERVICE.

SCHEDULE

EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.

EROSION CONTROL MEASURES INSTALLED WITH THIS PROJECT SHALL REMAIN IN PLACE AND REMOVED ONCE THE SITE HAS BECOME STABILIZED.

PERMANENT STABILIZATION MEASURES

ALL DISTURBED AREAS FROM GRADING OPERATIONS SHALL BE SEEDED, FERTILIZED, AND HYDRO-MULCHED.

STORM WATER MANAGEMENT CONSIDERATIONS

STORM WATER WILL GENERALLY FLOW TOWARD THE NORTH OR SOUTH SIDE OF THE SITE AND WILL BE COLLECTED BY RIGHT OF WAY DITCHES.

MAINTENANCE

ALL PAVED STREETS AND/OR PARKING LOTS ADJACENT TO THE SITE SHALL BE CLEANED AT THE END OF EACH WORKING DAY. ALL CONSTRUCTION TRAFFIC LEAVING THE SITE SHALL EXIT VIA THE VEHICLE TRACKING CONTROL.

INSPECTION OF EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE SCHEDULED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS, OR ONCE EVERY FOURTEEN CALENDAR DAYS AND WITHIN TWENTY-FOUR HOURS OF PRECIPITATION EXCEEDING 0.25 INCHES OF SNOW MELT GENERATING RUNOFF CAUSING SURFACE EROSION, TO CONFIRM COMPLIANCE. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. INSPECTION AND MAINTENANCE PROCEDURES WILL CONTINUE UNTIL ALL DISTURBED AREAS HAVE REACHED FINAL STABILIZATION.

SPILL PREVENTION/CONTROL PRACTICES

- FOR ALL HAZARDOUS MATERIALS STORED ON SITE, THE MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN UP WILL BE CLEARLY POSTED. SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATIONS OF THE INFORMATION AND CLEANUP SUPPLIES.
- APPROPRIATE CLEANUP MATERIALS AND EQUIPMENT WILL BE MAINTAINED BY THE CONTRACTOR IN THE MATERIALS STORAGE AREA ON-SITE. AS APPROPRIATE, EQUIPMENT AND MATERIALS MAY INCLUDE ITEMS SUCH AS BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR CLEAN UP PURPOSES.
- ALL SPILLS WILL BE CLEANED IMMEDIATELY AFTER DISCOVERY AND THE MATERIALS DISPOSED OF PROPERLY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- AFTER A SPILL A REPORT WILL BE PREPARED DESCRIBING THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES TAKEN. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING, AS WELL AS CLEAN UP INSTRUCTIONS IN THE EVENT OF REOCCURRENCES.
- THE CONTRACTOR'S SITE SUPERINTENDENT, RESPONSIBLE FOR DAY-TO-DAY OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SITE SUPERINTENDENT HAS HAD APPROPRIATE TRAINING FOR HAZARDOUS MATERIALS HANDLING, SPILL MANAGEMENT, AND CLEANUP.

SOIL STABILIZATION

AFTER CONSTRUCTION BEGINS, SOIL STABILIZATION SHALL BE APPLIED WITHIN 14 DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS. WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.

MAXIMUM TIME LIMITS OF LAND EXPOSURES FOR SELECTION OF EROSION CONTROLS:

EROSION CONTROL METHOD	MAXIMUM ALLOWABLE PERIOD OF EXPOSURE (MONTHS)
SURFACE ROUGHENING*	1
MULCHING	12
TEMPORARY REVEGETATION	12-24
PERMANENT REVEGETATION	24 OR MORE
SOIL STOCKPILE REVEGETATION	2
EARLY APPLICATION OF ROAD BASE	1

\*THE SURFACE ROUGHENING EROSION CONTROL METHOD MAY BE EXTENDED UP TO THE MAXIMUM OF THREE MONTHS ON A CASE BASIS IF THE CITY INSPECTOR HAS DETERMINED THAT THE SITE DEMONSTRATES THE FOLLOWING:

APPROPRIATE SOIL CONDITIONS EXIST FOR THE METHOD OF CONTROL  
DISTURBED AREAS WILL BE SEEDED AND MULCHED WITHIN THREE MONTHS  
SEASONAL PLANTING LIMITATIONS EXIST  
SOIL STABILIZATION METHOD HAS DEMONSTRATED ITS EFFECTIVENESS

TOPSOIL

OPERATOR SHALL PRESERVE AND PLACE EXISTING TOPSOIL AND MINIMIZE SOIL COMPACTION WHERE FEASIBLE.

NOTICE OF INTENT

A NOTICE OF INTENT (NOI) HAS BEEN FILED WITH THE SDDANR. THE PERMIT NUMBER IS AVAILABLE FROM THE OWNER.

DEWATERING

DEWATERING OPERATIONS ARE NOT EXPECTED, IF NEEDED, A GENERAL DEWATERING PERMIT WILL BE REQUIRED FROM THE SDDANR.



Industrial Park Lot 6 Site Development  
Crooks, South Dakota

Erosion Control Narrative

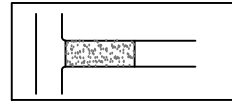
REVISIONS

Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157



Sheet

G2



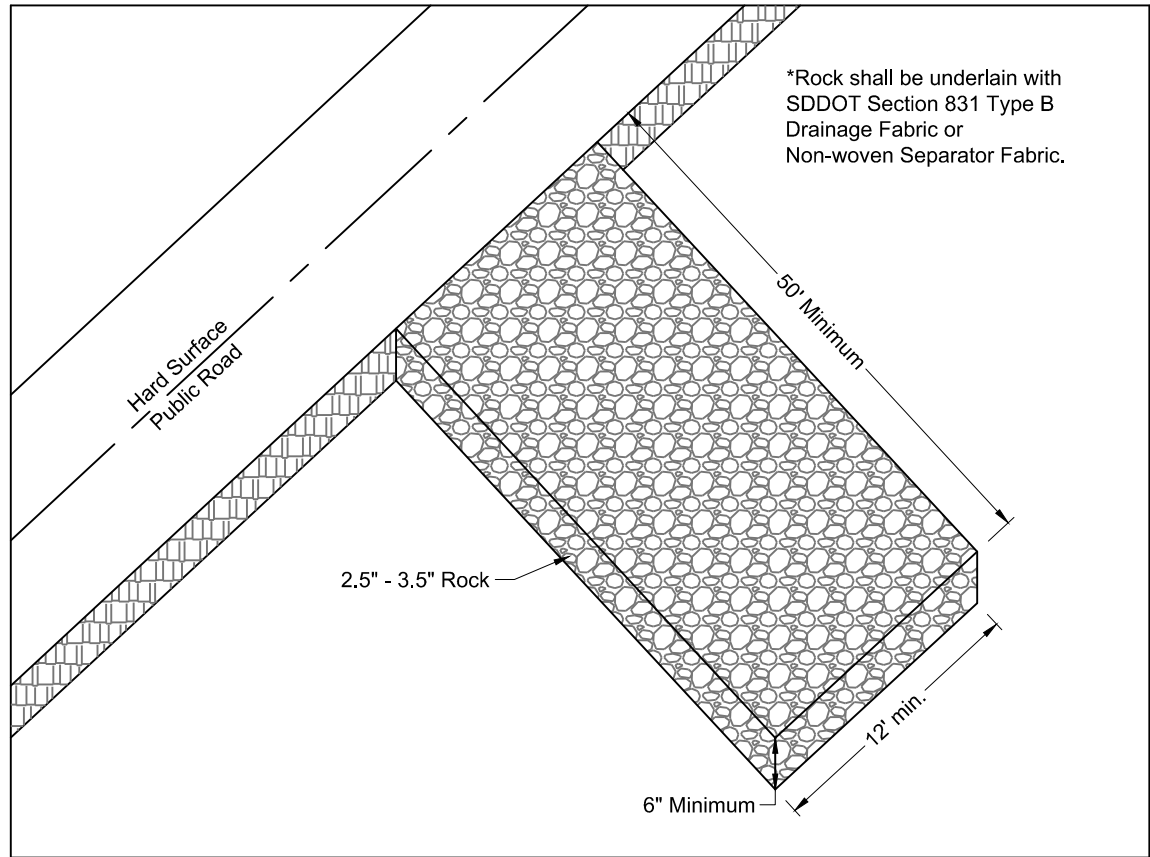
Vehicle Tracking Control

Definition:

A stone stabilized pad located at points of vehicular ingress and egress on a construction site.

Purposes:

To reduce the amount of mud transported onto public roads by motor vehicles or runoff.



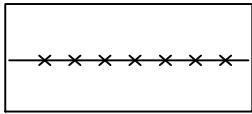
Revised: May 2019



Temporary Vehicle  
Tracking Control

Specification  
Reference  
No. 734

Plate  
Number  
734.02



Silt Fence

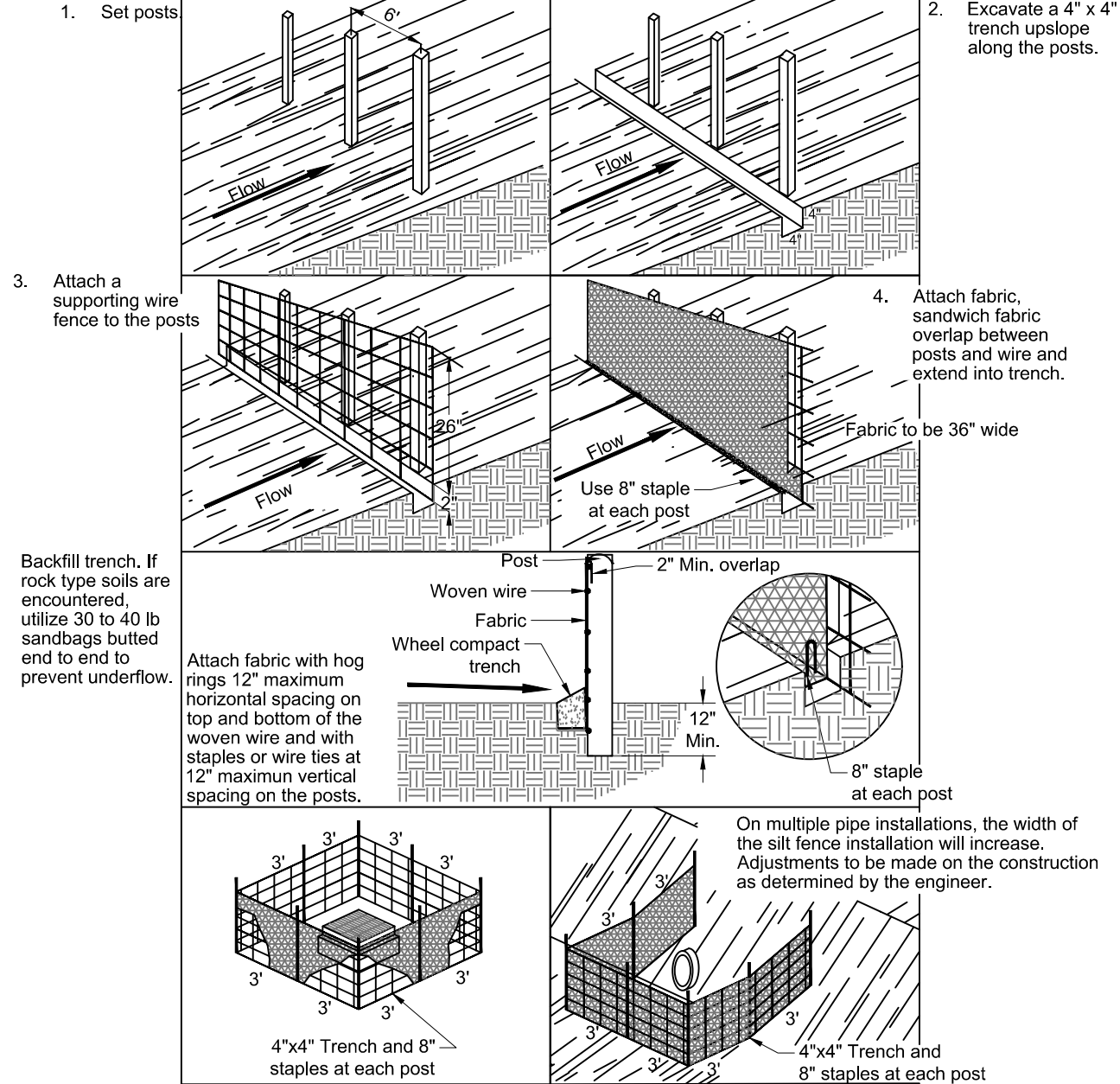


Definition:

A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched. The silt fence is a temporary linear barrier constructed of synthetic filter fabric and supported by wooden or steel posts.

Purposes:

- To intercept and detain small amounts of sediment from disturbed areas during construction operations in order to reduce sediment in runoff from leaving the site.
- To decrease the velocity of sheet flows and low-to-moderate level concentrated flows.



Fence material shall conform to geotextile specifications, Section 831 of SDDOT Standard Specifications for Roads and Bridges, latest edition.

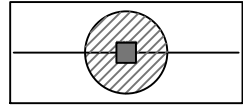
Revised: October 2005



Silt Fence ( Woven Wire)

Specification  
Reference  
No. 734

Plate  
Number  
734.09



Inlet Protection

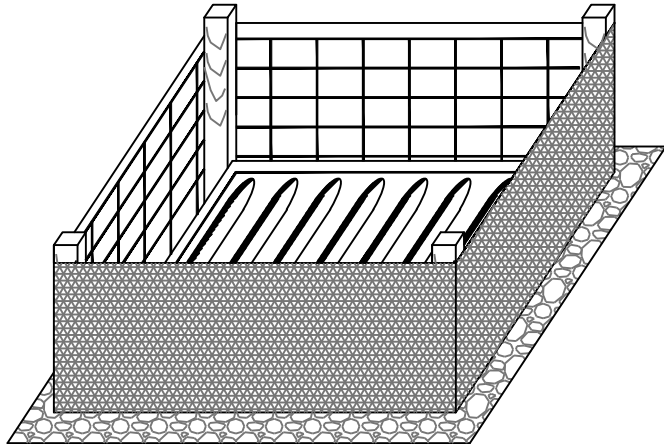
IP

Definition:

A sediment filter or an excavated impounding area around a storm drain drop inlet or curb inlet.

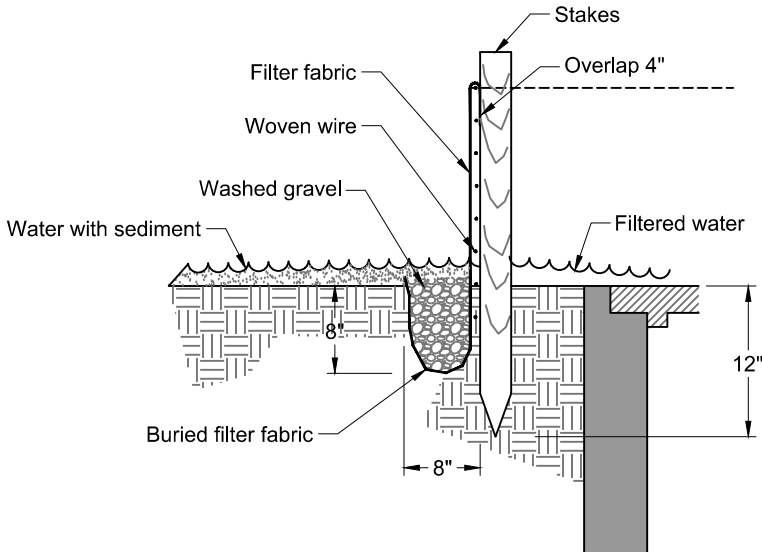
Purposes:

To reduce sediment from entering storm drainage systems prior to permanent stabilization of disturbed areas.



1. Set posts.
2. Excavate an 8" x 8" trench upslope along the posts.
3. Attach a supporting wire fence to the posts
4. Attach fabric sandwich 4" fabric overlap between posts and wire and extend into trench.
5. Back fill trench. If rock type soils are encountered, utilize 30 to 40 lb sandbags butted end to end to prevent underflow.

Attach fabric with hog rings 12" maximum horizontal spacing on top and bottom of the woven wire and with staples or wire ties at 12" maximum vertical spacing on the posts.



Filter fabric shall conform to Section 831 of SDDOT Standard Specifications for Roads and Bridges, latest edition.

Revised: June 2000

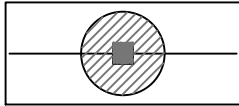


CITY OF SIOUX FALLS  
**PUBLIC WORKS**  
Providing a Better Quality of Life for You!

**Silt Fence Drop Inlet  
Sediment Filter**

Specification  
Reference  
No. 734

Plate  
Number  
734.17



Inlet Protection

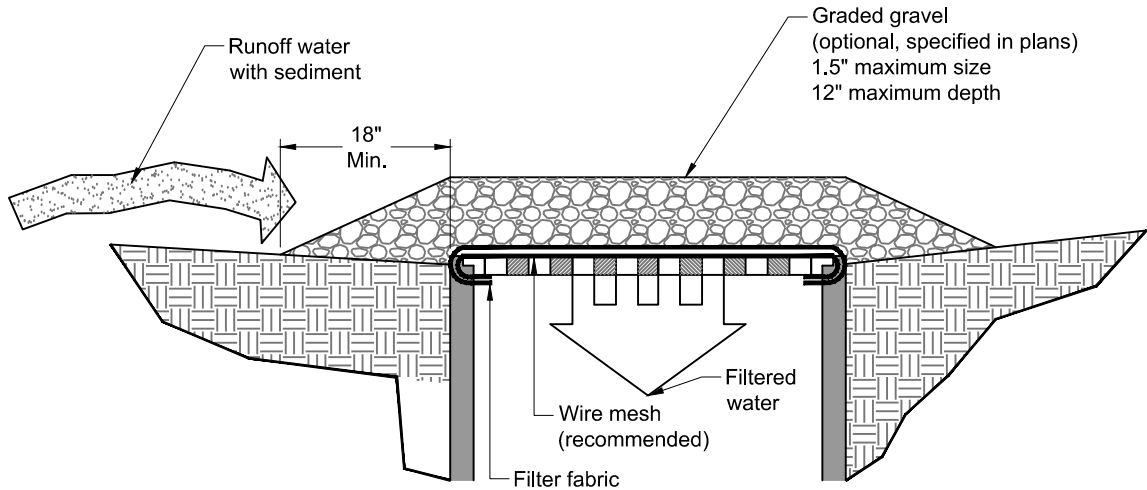
IP

Definition:

A sediment filter or an excavated impounding area around a storm drain drop inlet or curb inlet.

Purposes:

To reduce sediment from entering storm drainage systems prior to permanent stabilization of disturbed areas.



Specific Application:

This method of inlet protection is applicable where heavy concentrated flows are expected, but not where ponding around the structure might cause excessive inconvenience or damage to adjacent structures and unprotected areas.

Note: Alternate design could utilize gravel-filled bags.

Drainage and filtration fabric shall conform to Section 831 of SDDOT Standard Specifications for Roads and Bridges, latest edition.

Revised: October 2006

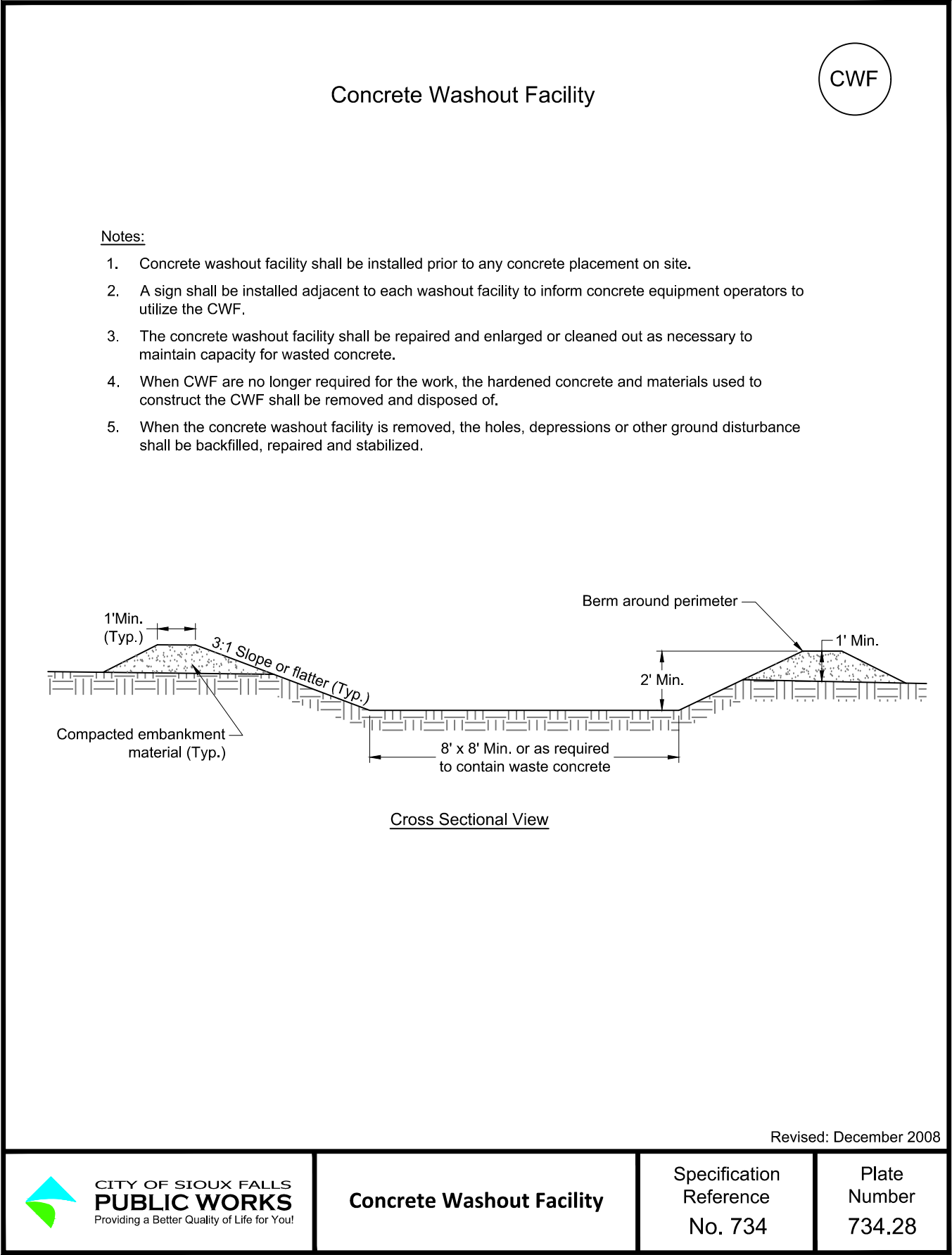


CITY OF SIOUX FALLS  
**PUBLIC WORKS**  
Providing a Better Quality of Life for You!

**Gravel/Filter Fabric  
Drop Inlet Sediment Filter**

Specification  
Reference  
No. 734

Plate  
Number  
734.21





**GENERAL NOTES:**

BASIS OF BEARINGS FOR THIS SURVEY IS UTM ZONE 14 NORTH PROJECTION, US FOOT, GROUND COORDINATES.

ALL ELEVATIONS SHOWN ON THIS SURVEY ARE NORTH AMERICAN VERTICAL DATUM OF 1988.

THE UNDERGROUND UTILITIES SHOWN ARE REFLECTIVE OF THE PROPOSED DESIGN OF THE INDUSTRIAL PARK AND NOT INSTALLED AT THE TIME OF PLAN COMPLETION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**LEGAL DESCRIPTION:**

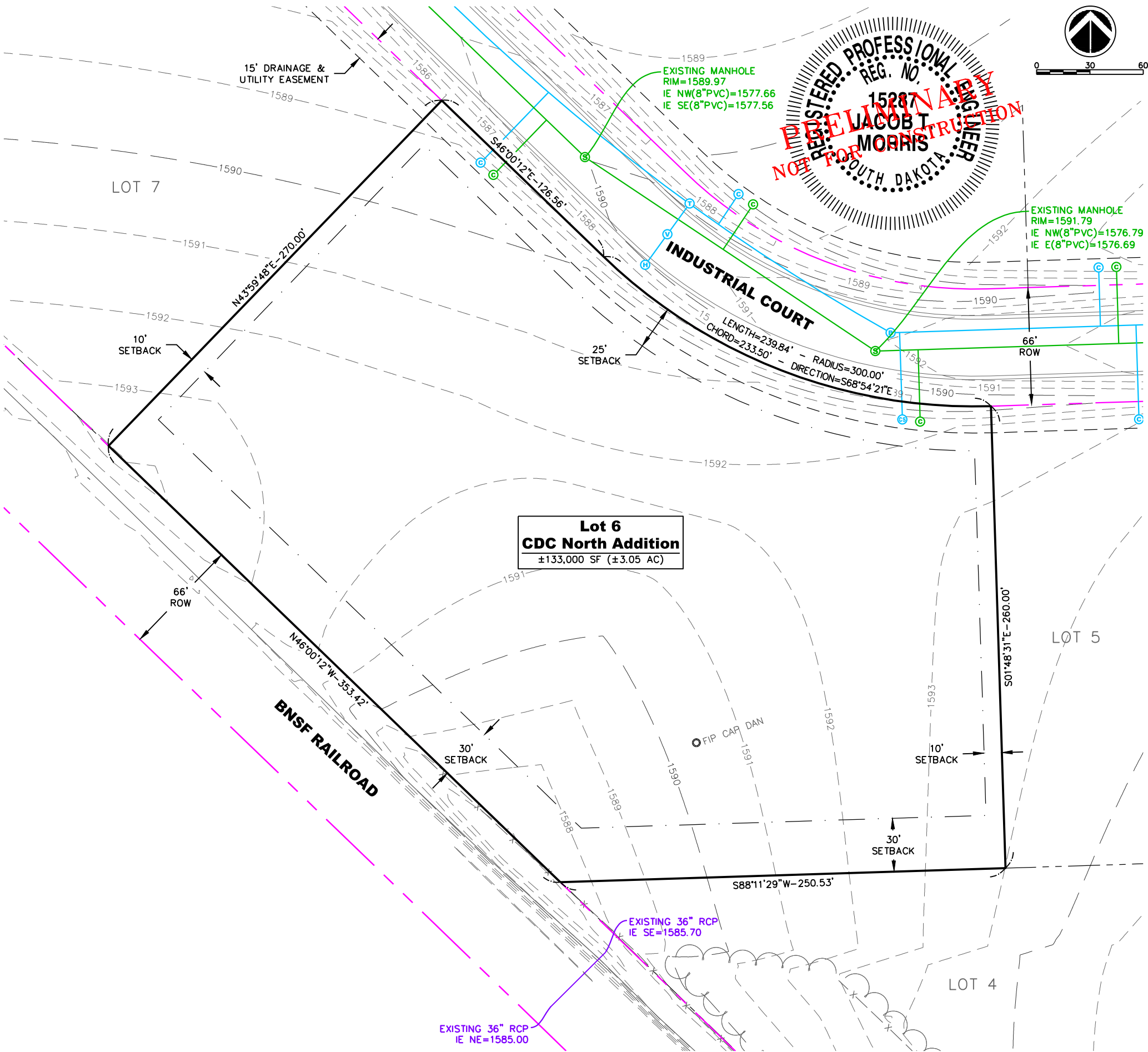
LOT 6 OF CDC NORTH ADDITION TO THE CITY OF CROOKS, SOUTH DAKOTA.

**SETBACKS:**

FRONT YARD: 25 FT  
SIDE YARD: 10 FT  
REAR YARD: 30 FT  
MAX BUILDING HEIGHT: 45 FT

**ZONING:**

LI - LIGHT INDUSTRIAL



Industrial Park Lot 6 Site Development  
Crooks, South Dakota

Existing Conditions and Removals

REVISIONS

Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157



Sheet

H1



### NOTES:

ALL WORK AND MATERIALS SHALL CONFORM TO THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION.

SEE ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING DIMENSIONS AND STOOP DETAILS.

CONCRETE USED ON THIS PROJECT SHALL CONFORM TO CLASS M-6 OF THE SDDOT STANDARD SPECIFICATIONS SECTION 462, UNLESS OTHERWISE NOTED.

A 1/2" PREFORMED EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE PROPOSED CONCRETE PAVEMENT WHEN INSTALLED ADJACENT TO EXISTING CONCRETE PAVEMENT AND BUILDINGS.

PAVEMENT SURFACE SLOPES MUST NOT EXCEED 2% MAXIMUM IN ANY ACCESSIBLE PARKING STALL OR ACCESSIBLE ISLE.

ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH SECTION 380.3.M.2. CURING COMPOUND MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 821.1.C.

ASPHALT CONCRETE COMPOSITE PLACEMENT, COMPACTION EQUIPMENT, AND METHODS SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE SDDOT STANDARD SPECIFICATION, SECTION 320, CURRENT EDITION.

ASPHALT CONCRETE COMPOSITE SHALL CONFORM TO THE SDDOT SPECIFICATIONS FOR CLASS G, ASPHALT CONCRETE AND BE COMPACTED TO A MINIMUM DENSITY OF 92% OF SPECIFIED DENSITY.

### KEYNOTES:

1. INSTALL ASPHALT SURFACING (4") WITH 8" OF AGGREGATE BASE COURSE. INSTALL TWO (2) - 2" LIFTS PER SDDOT STANDARD SPECIFICATIONS (1,877 SY). ASPHALT SURFACING SHALL CONFORM TO SDDOT CLASS G MIX. TOP LIFT SHALL BE CLASS G-2 MIX WITH LOWER LIFTS CONFORMING TO CLASS G-1. A TACK COAT (SS-1H OR CSS-1H) SHALL BE APPLIED BETWEEN EACH LIFT AND ADJACENT PAVEMENT SURFACES AT A RATE OF .05 GAL/SY. SEE SURFACING SECTION DETAIL.

2. INSTALL 12" ASPHALT MILLINGS (8,285 SY).

3. INSTALL 6" PCC APPROACH PAVEMENT OVER COMPACTED SUBGRADE AND BASE CUSHION PER TYPICAL SECTION (209 SY).

4. INSTALL 8" PCC APPROACH PAVEMENT OVER COMPACTED SUBGRADE AND BASE CUSHION PER TYPICAL SECTION (203 SY).

5. INSTALL 6" PCC APRON AT A TYPICAL 3' WIDTH OVER COMPACTED SUBGRADE AND BASE CUSHION PER TYPICAL SECTION (157 SY).

6. INSTALL 6" PCC VALLEY GUTTER AT A TYPICAL 4' WIDTH OVER COMPACTED SUBGRADE AND BASE CUSHION PER TYPICAL SECTION (101 SY).

7. INSTALL CHAINLINK FENCE (859 LF).

8. INSTALL 40' CANTILEVER SLIDE GATE (1 EA).

9. INSTALL 2" MINIMUM CALIPER DECIDUOUS TREE (8 TREES).

### LANDSCAPING REQUIREMENTS:

90% OF REQUIRED FRONT YARD SETBACKS SHALL BE LANDSCAPED AND MAINTAINED WITH LIVING GROUND COVER.

1 TREE PER 50 LF OF STREET FRONTAGE.

INDUSTRIAL COURT - (367 LF - 72 LF OF DRIVEWAYS) / 50 = 6 TREES.

### ASPHALT SECTION

2" G2 MIX	4" ASPHALT
2" G1 MIX	8" AGG BASE
SUBGRADE	SEE NOTES ON GRADING PLAN

### 6" CONCRETE SECTION

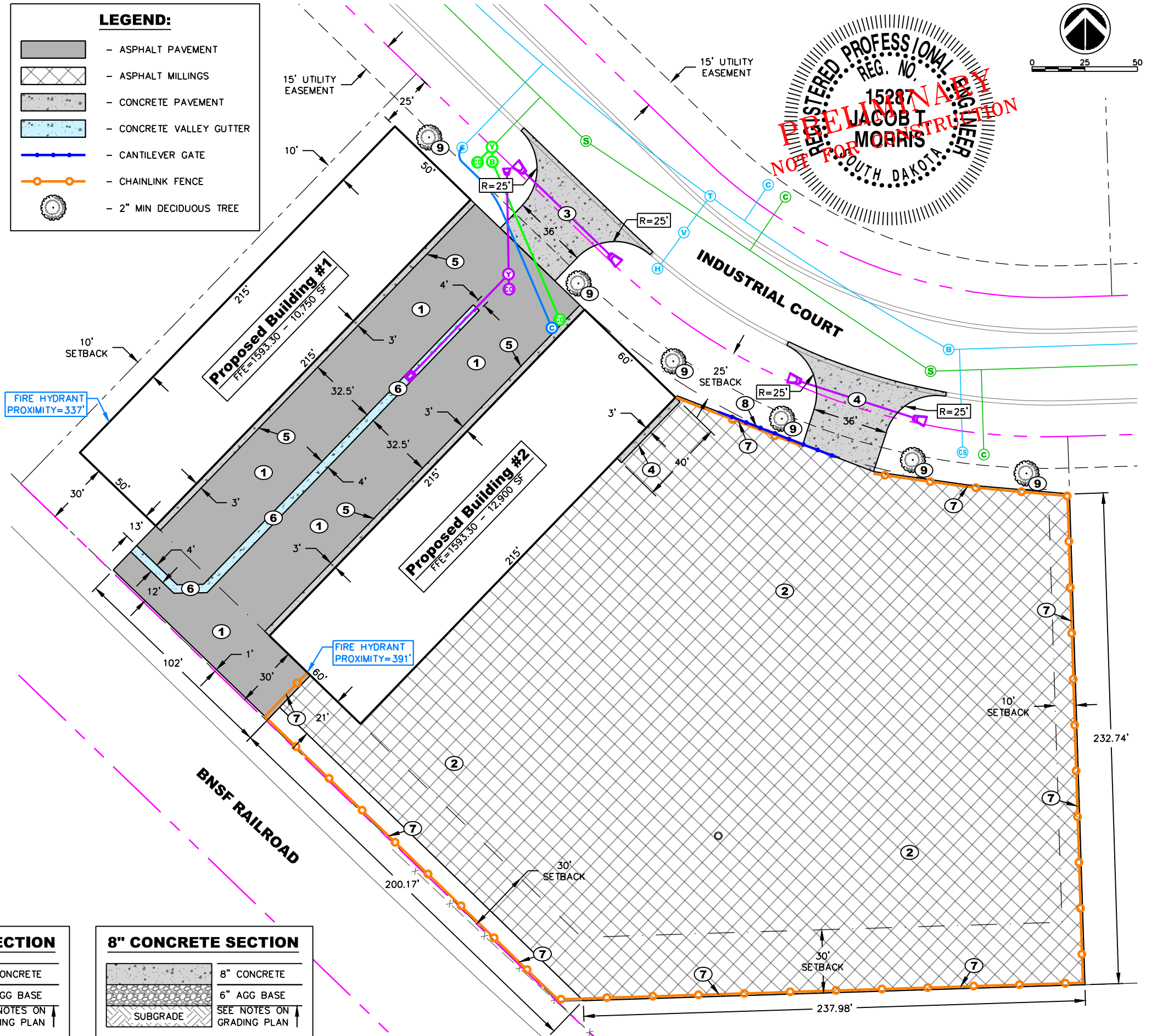
6" CONCRETE	6" CONCRETE
6" AGG BASE	6" AGG BASE
SUBGRADE	SEE NOTES ON GRADING PLAN

### 8" CONCRETE SECTION

8" CONCRETE	8" CONCRETE
6" AGG BASE	6" AGG BASE
SUBGRADE	SEE NOTES ON GRADING PLAN

### LEGEND:

	- ASPHALT PAVEMENT
	- ASPHALT MILLINGS
	- CONCRETE PAVEMENT
	- CONCRETE VALLEY GUTTER
	- CANTILEVER GATE
	- CHAINLINK FENCE
	- 2" MIN DECIDUOUS TREE



**UTILITY NOTES:**

THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES PRIOR TO CONSTRUCTION.

ALL TRENCH BACKFILL WITHIN THE STREET RIGHT OF WAY SHALL BE GRANULAR MATERIAL AND COMPACTED TO NO LESS THAN 98% STANDARD PROCTOR DENSITY.

SITE DEVELOPMENT CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR TO VERIFY UTILITY SERVICE LOCATIONS WITHIN THE BUILDING. ALL UTILITY INSTALLATIONS SHALL BE IN COMPLIANCE WITH LOCAL BUILDING CODES AS WELL AS INTERNATIONAL FIRE CODES FOR INSTALLATION INTO THE PROPOSED BUILDING.

CONTRACTOR SHALL COORDINATE PRIVATE UTILITY CONNECTIONS TO CITY OWNED UTILITIES WITH THE CITY OF CROOKS.

CONTRACTOR TO MAINTAIN A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN THE SANITARY SEWER, STORM SEWER, AND WATER MAIN AT ALL CROSSINGS.

SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC SEWER PIPE MEETING THE REQUIREMENTS OF ASTM D3034, BUT SHALL CONFORM TO MINIMUM PIPE NOMINAL DIAMETER RATIO TO WALL THICKNESS OF SDR 35. JOINTS SHALL BE GASKETED, PUSH ON TYPE IN ACCORDANCE WITH ASTM D3212.

SANITARY SEWER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH CORRESPONDING DETAIL WITH A MINIMUM COVER OF 6' TO TOP OF PIPE AT A GRADE NOT LESS THAN 2.00%. SANITARY SEWER SERVICES SHALL BE INSTALLED WITH BEDDING MATERIAL AS PER DETAIL. SEWER SERVICES SHALL BE INSTALLED WITH NO. 12 SOLID COPPER TRACER WIRE WITH 45 MIL HMW-HDPE INSULATION PER THE DETAIL.

WATER SERVICE LINES SHALL BE SI DR7 HIGH DENSITY POLYETHYLENE (IPS SIZE, 250 PSI) IN ACCORDANCE WITH ASTM D2239. STAINLESS STEEL STIFFENERS SHALL BE USED AT ALL PIPE FITTINGS. ALL FITTINGS SHALL BE COMPRESSION CONNECTIONS (CORP INLET THREADED AWWA TYPE CC).

WATER SERVICES SHALL BE INSTALLED AND BEDDED IN ACCORDANCE WITH THE CORRESPONDING DETAIL AND HAVE A MINIMUM COVER OF 6' TO TOP OF PIPE. WATER SERVICE INSTALLATION SHALL MEET ALL INTERNATIONAL FIRE CODES FOR INSTALLATION INTO BUILDING. WATER SERVICES SHALL BE INSTALLED WITH NO. 12 SOLID COPPER TRACER WIRE WITH 45 MIL HMW-HDPE INSULATION PER THE DETAIL.

ALL WATER SERVICES AND APPURTENANCES SHALL BE PRIVATELY OWNED AND MAINTAINED.

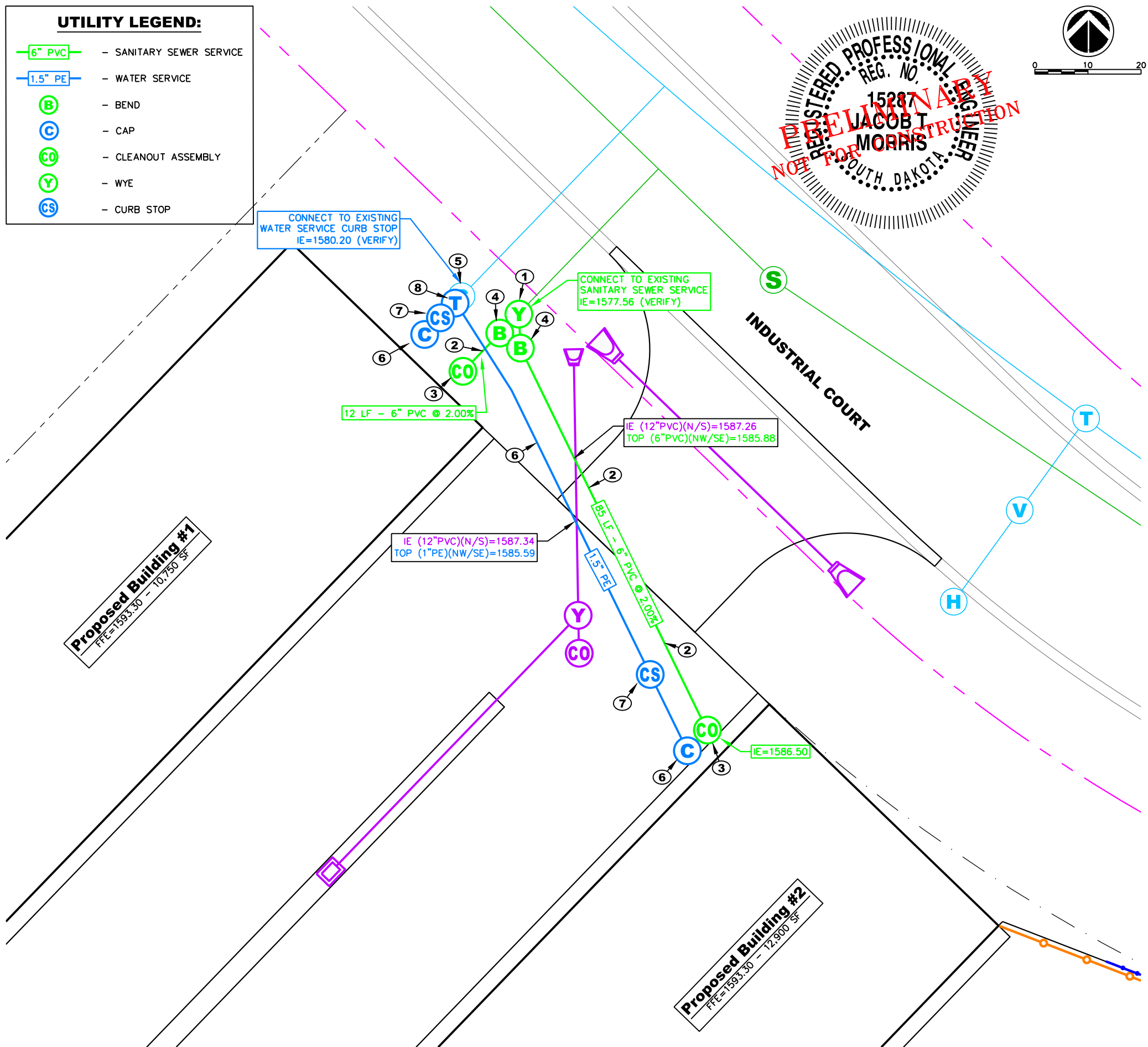
ALL SEWER SERVICES SHALL BE PRIVATELY OWNED AND MAINTAINED.

**KEYNOTES:**

- CONNECT TO EXISTING SANITARY SEWER SERVICE (1 EA) WITH 6"x6" SDR 35 SANITARY SEWER WYE. IE=1577.56 (VERIFY). CONTRACTOR TO ORIENT WYE TO ALLOW FOR VERTICAL SERVICE RISER.
- INSTALL 6" SDR 35 SANITARY SEWER PIPE @ 2.00% (97 LF).
- INSTALL 6" SDR 35 SANITARY SEWER CLEANOUT/WYE ASSEMBLY (2 EA). CLEANOUT SHALL BE LOCATED WITHIN 5 FEET OF BUILDING.
- INSTALL 6" SDR 35 SANITARY SEWER SERVICE RISER USING BENDS AS NEEDED. BEND DEFLECTION SHALL NOT EXCEED 45°. SEWER SERVICE RISER SHALL BE BASED ON ACTUAL CONDITIONS IN THE FIELD. SEWER SERVICE SHALL BE A MINIMUM 6.80' DEEP AT BUILDING AND HAVE A MINIMUM SLOPE OF 2.00%.
- CONNECT TO EXISTING 1.5" WATER SERVICE CURB STOP (1 EA).
- INSTALL 1.5" POLYETHYLENE WATER SERVICE TO BUILDING (100 LF). CAP WATER SERVICE WITHIN 5 FEET OF BUILDING USING
- INSTALL 1.5" WATER SERVICE CURB STOP WITH BOX. CURB STOPS WITHIN PAVEMENT SHALL HAVE CASTING PER DETAIL.
- INSTALL 1.5" BRASS PACK-JOINT COMPRESSION TEE DOWNSTREAM OF EXISTING CURB STOP. (1 EA)

**UTILITY LEGEND:**

- 6" PVC - SANITARY SEWER SERVICE
- 1.5" PE - WATER SERVICE
- B - BEND
- C - CAP
- CO - CLEANOUT ASSEMBLY
- Y - WYE
- CS - CURB STOP



Industrial Park Lot 6 Site Development  
Crooks, South Dakota

Utility Plan

REVISIONS

Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157



Sheet



**GRADING NOTES:**

CONTRACTOR SHALL TAKE CARE TO GRADE ONLY ON THE SUBJECT PROPERTY, NO STRIPPING OR STOCKPILING OF MATERIAL OUTSIDE OF THE PROJECT LIMITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY GRADING WILL TAKE PLACE BEYOND THE PERMITTED LIMITS OF DISTURBANCE.

CONTRACTOR SHALL FURNISH ALL BORROW MATERIAL, IF NECESSARY TO ACHIEVE FINAL DESIGN ELEVATIONS. ALL EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER.

ACCEPTABILITY OF THE EXISTING NATURAL SUBGRADE MATERIAL SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF ANY FILL. UNACCEPTABLE SUBGRADE MATERIAL DEFINED AS VEGETATION, ORGANIC MATERIALS, AND UNSTABLE SUBGRADE. ACCEPTABLE SUBGRADE MATERIAL AND ENGINEERED FILL MATERIAL SHALL BE EITHER GRANULAR SOILS OR NON-ORGANIC CLAY SOILS WITH L.L. LESS THAN 45 AND P.L. NOT TO EXCEED 25.

UNSTABLE OR UNSUITABLE SOILS WHICH ARE REVEALED BY PROOFROLLING AND WHICH CANNOT BE ADEQUATELY DENSIFIED IN-PLACE SHALL BE REMOVED AND REPLACED WITH NEW STRUCTURAL FILL TO A DEPTH OF 12-INCHES BELOW AGGREGATE BASE GRADE.

SUBGRADE PREPARATION IN PAVEMENT AREAS HAVING ACCEPTABLE SUBGRADE MATERIAL SHALL BE SCARIFIED AND RECOMPACTED TO A DEPTH OF 8-INCHES MINIMUM IN CUT AREAS, COMPACT ACCEPTABLE FILL MATERIALS IN FILL AREAS. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR DENSITY OR AS DIRECTED BY THE ENGINEER.

TOPSOIL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS AND STORED ON SITE PRIOR TO GRADING OPERATIONS. FOLLOWING THE COMPLETION OF GRADING OPERATIONS, THE TOPSOIL SHALL BE SPREAD EVENLY TO A MINIMUM COMPACTED DEPTH OF 6-INCHES IN ALL DISTURBED AREAS TO BE SEEDED, FERTILIZED, AND HYDROMULCHED.

CONTOURS REPRESENT FINISHED GRADE SURFACES. THE CONTRACTOR SHALL VERIFY THE PROPOSED DEPTH OF PAVING, GRAVEL, AND TOPSOIL AREAS TO ACHIEVE THE REQUIRED SUBGRADE ELEVATIONS.

THE CONTRACTOR SHALL CONTROL GRADING OPERATIONS SUCH THAT THE SITE SHALL BE WELL DRAINED AT ALL TIMES.

CONTRACTOR SHALL ENSURE ALL CONSTRUCTION MEETS CURRENT ADA STANDARDS FOR SLOPES AT ENTRANCES, RAMPS, APPROACHES, SIDEWALKS AND PARKING STALLS.

**KEYNOTES:**

- INSTALL 2'X3' TYPE B1 DROP INLET (DI #1) WITH NEENAH R-3360-A FRAME AND GRATE (TYPE C) RIM=1591.88 DEPTH=4.00' IE NE(12"PVC)=1587.88
- INSTALL 12" PVC PIPE @ 0.64% (116 LF).
- INSTALL 6" SDR 35 STORM SEWER CLEANOUT/WYE ASSEMBLY (1 EA).
- MITER 12" PVC PIPE END TO MATCH EMBANKMENT SLOPE. IE S(12"PVC)=1587.14
- INSTALL 18" RCP FLARED END SECTION (FES #1) IE SE(18"RCP)=1586.64
- INSTALL 18" RCP PIPE @ 1.00% (56 LF).
- INSTALL 18" RCP FLARED END SECTION (FES #2) IE NW(18"RCP)=1587.32
- INSTALL 18" RCP FLARED END SECTION (FES #3) IE SE(18"RCP)=1588.19
- INSTALL 18" RCP PIPE @ 0.90% (56 LF).
- INSTALL 18" RCP FLARED END SECTION (FES #4) IE NW(18"RCP)=1588.80

**GRADING LEGEND:**

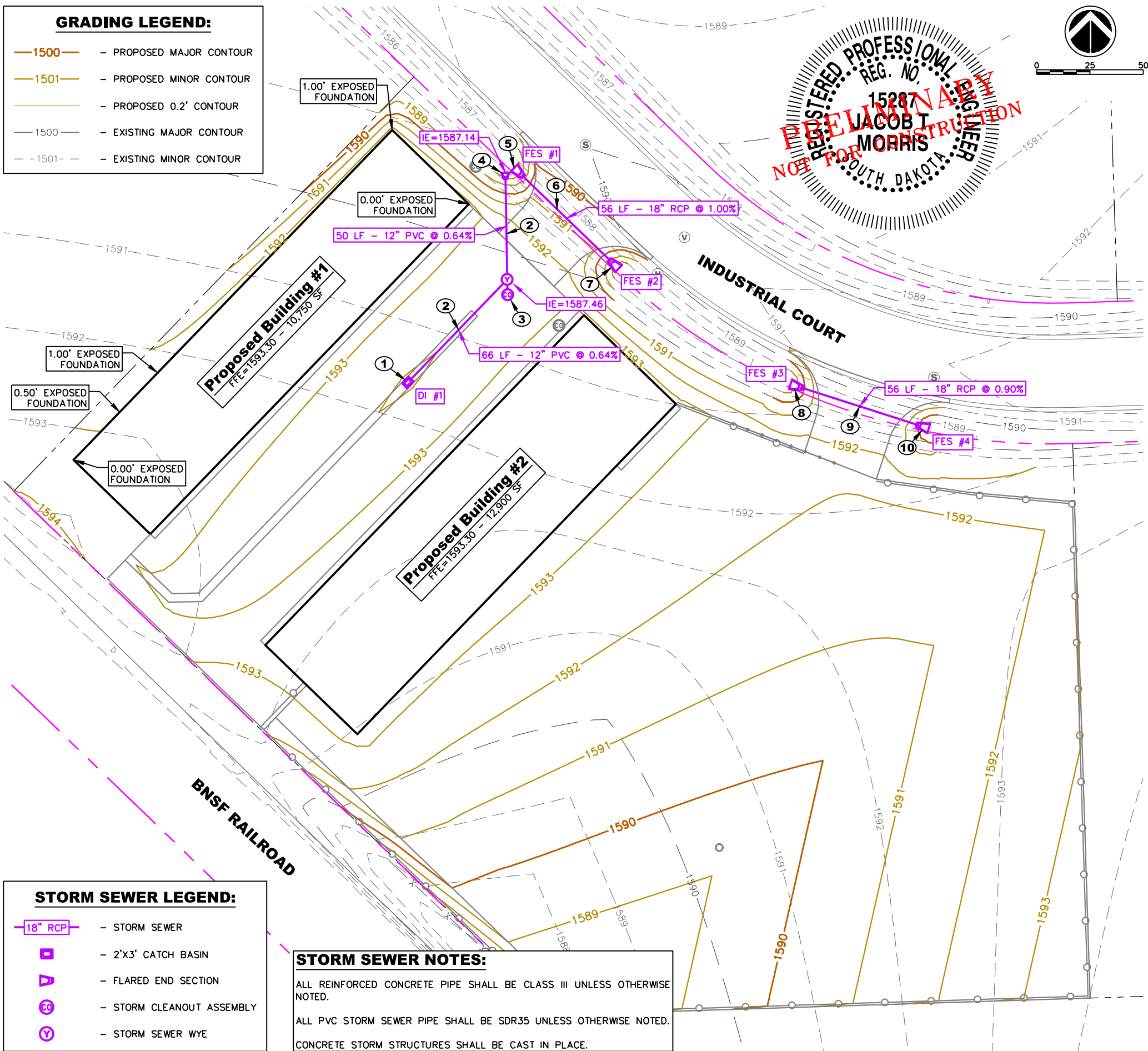
- 1500 - PROPOSED MAJOR CONTOUR
- 1501 - PROPOSED MINOR CONTOUR
- - 1500 - EXISTING MAJOR CONTOUR
- - 1501 - EXISTING MINOR CONTOUR

**STORM SEWER LEGEND:**

- 18" RCP - STORM SEWER
- 2'X3' CATCH BASIN
- FLARED END SECTION
- STORM CLEANOUT ASSEMBLY
- STORM SEWER WYE

**STORM SEWER NOTES:**

ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.  
ALL PVC STORM SEWER PIPE SHALL BE SDR35 UNLESS OTHERWISE NOTED.  
CONCRETE STORM STRUCTURES SHALL BE CAST IN PLACE.



GRADING NOTES:

CONTRACTOR SHALL TAKE CARE TO GRADE ONLY ON THE SUBJECT PROPERTY, NO STRIPPING OR STOCKPILING OF MATERIAL OUTSIDE OF THE PROJECT LIMITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY GRADING WILL TAKE PLACE BEYOND THE PERMITTED LIMITS OF DISTURBANCE.

CONTRACTOR SHALL FURNISH ALL BORROW MATERIAL, IF NECESSARY TO ACHIEVE FINAL DESIGN ELEVATIONS. ALL EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER.

ACCEPTABILITY OF THE EXISTING NATURAL SUBGRADE MATERIAL SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF ANY FILL. UNACCEPTABLE SUBGRADE MATERIAL DEFINED AS VEGETATION, ORGANIC MATERIALS, AND UNSTABLE SUBGRADE. ACCEPTABLE SUBGRADE MATERIAL AND ENGINEERED FILL MATERIAL SHALL BE EITHER GRANULAR SOILS OR NON-ORGANIC CLAY SOILS WITH L.L. LESS THAN 45 AND P.L. NOT TO EXCEED 25.

UNSTABLE OR UNSUITABLE SOILS WHICH ARE REVEALED BY PROOFROLLING AND WHICH CANNOT BE ADEQUATELY DENSIFIED IN-PLACE SHALL BE REMOVED AND REPLACED WITH NEW STRUCTURAL FILL TO A DEPTH OF 12-INCHES BELOW AGGREGATE BASE GRADE.

SUBGRADE PREPARATION IN PAVEMENT AREAS HAVING ACCEPTABLE SUBGRADE MATERIAL SHALL BE SCARIFIED AND RECOMPACTED TO A DEPTH OF 8-INCHES MINIMUM IN CUT AREAS, COMPACT ACCEPTABLE FILL MATERIALS IN FILL AREAS. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR DENSITY OR AS DIRECTED BY THE ENGINEER.

TOPSOIL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS AND STORED ON SITE PRIOR TO GRADING OPERATIONS. FOLLOWING THE COMPLETION OF GRADING OPERATIONS, THE TOPSOIL SHALL BE SPREAD EVENLY TO A MINIMUM COMPACTED DEPTH OF 6-INCHES IN ALL DISTURBED AREAS TO BE SEEDED, FERTILIZED, AND HYDROMULCHED.

CONTOURS REPRESENT FINISHED GRADE SURFACES. THE CONTRACTOR SHALL VERIFY THE PROPOSED DEPTH OF PAVING, GRAVEL, AND TOPSOIL AREAS TO ACHIEVE THE REQUIRED SUBGRADE ELEVATIONS.

THE CONTRACTOR SHALL CONTROL GRADING OPERATIONS SUCH THAT THE SITE SHALL BE WELL DRAINED AT ALL TIMES.

CONTRACTOR SHALL ENSURE ALL CONSTRUCTION MEETS CURRENT ADA STANDARDS FOR SLOPES AT ENTRANCES, RAMPS, APPROACHES, SIDEWALKS AND PARKING STALLS.

Table of Excavation Quantities	
	Quantities (CY)
Strip, Stockpile, & Place Topsoil <sup>1</sup>	0
Excavation (Cut) <sup>2</sup>	2,730
Contractor Furnished Borrow <sup>3</sup>	0
Total Unclassified Excavation:	2,730
Embankment (Fill) <sup>2</sup>	2,100
Shrink (30%)	630
Total Embankment:	2,730

<sup>1</sup> Topsoil was not placed on this site as part of the "Development Engineering & Construction Plans for CDC North Industrial Park" project.

<sup>2</sup> Embankment and Excavation quantities are based on the finished grade surface from the "Development Engineering & Construction Plans for CDC North Industrial Park" project being left 6" low outside of roadways compared to the datum of the current project's finished grade surface. The datum of the current finished grade surface is based on the finished grade surface being left 6" low in areas planned to be seeded; 12" low in areas planned to have surfacing installed; 16" low in areas planned to be building pads.

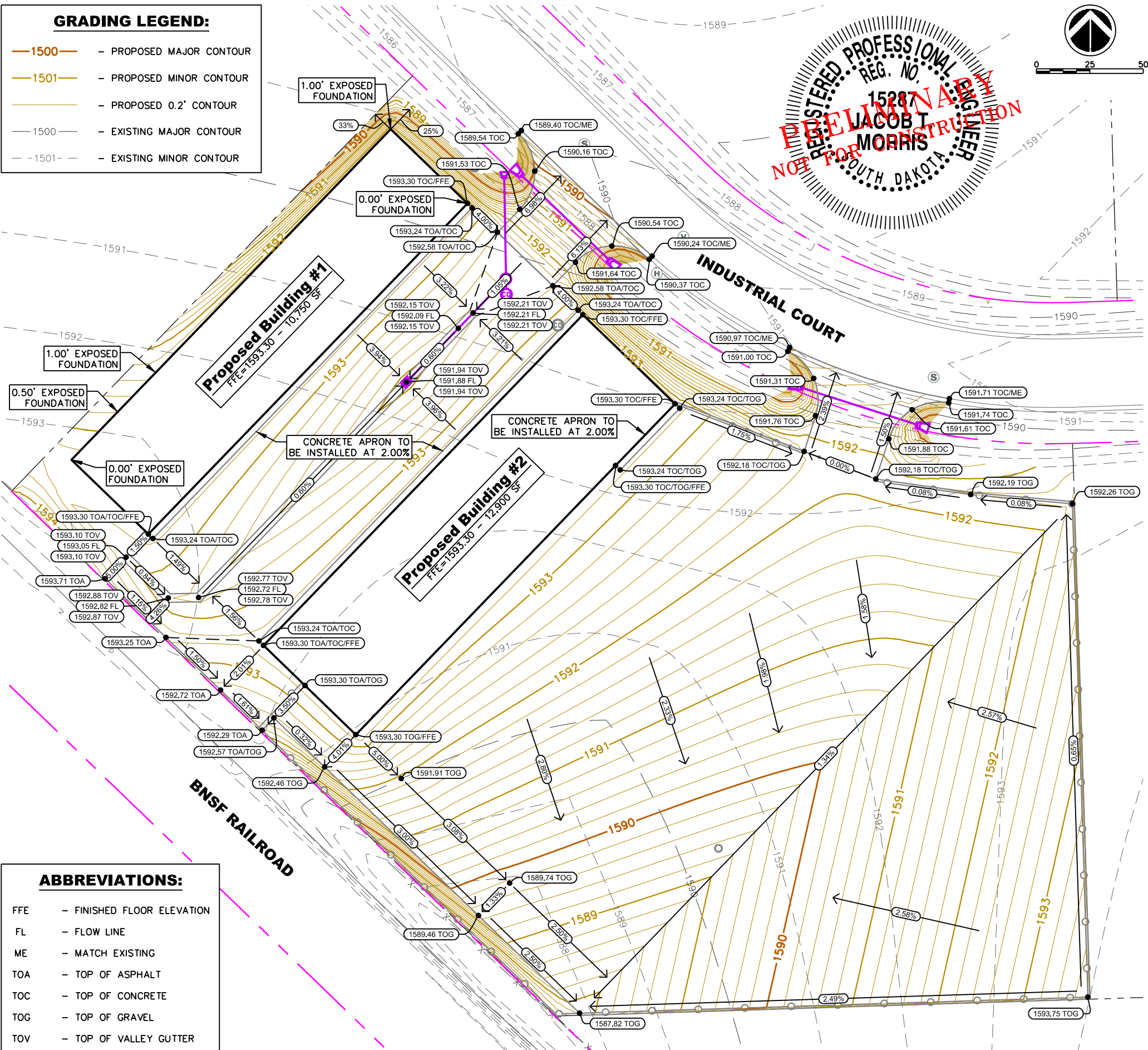
<sup>3</sup> Actual borrow material required is subject to actual shrinkage observed.

GRADING LEGEND:

- 1500 - PROPOSED MAJOR CONTOUR
- 1501 - PROPOSED MINOR CONTOUR
- PROPOSED 0.2' CONTOUR
- 1500 - EXISTING MAJOR CONTOUR
- 1501 - EXISTING MINOR CONTOUR

ABBREVIATIONS:

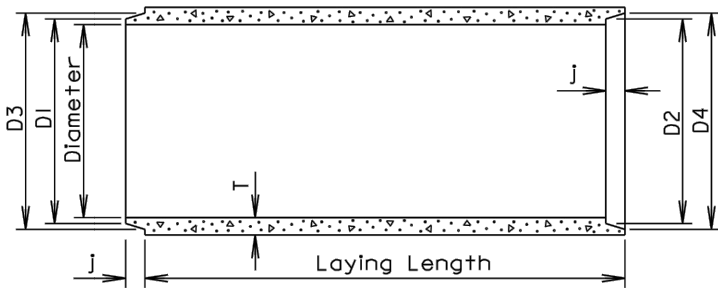
- FFE - FINISHED FLOOR ELEVATION
- FL - FLOW LINE
- ME - MATCH EXISTING
- TOA - TOP OF ASPHALT
- TOC - TOP OF CONCRETE
- TOG - TOP OF GRAVEL
- TOV - TOP OF VALLEY GUTTER



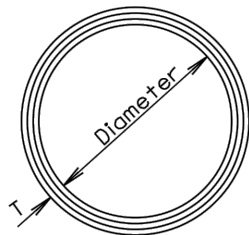


TOLERANCES IN DIMENSIONS

Diameter:  $\pm 1.5\%$  for 24" Dia. or less and  $\pm 1\%$  or  $\frac{3}{8}"$  whichever is more for 27" Dia. or greater.  
Diameters at joints:  $\pm \frac{3}{16}"$  for 30" Dia. or less and  $\pm \frac{1}{4}"$  for 36" or greater.  
Length of joint (J):  $\pm \frac{1}{4}"$ .  
Wall thickness (T): not less than design T by more than 5% or  $\frac{3}{16}"$ , whichever is greater.  
Laying length: shall not underrun by more than  $\frac{1}{2}"$ .



LONGITUDINAL SECTION



END VIEW

GENERAL NOTES:

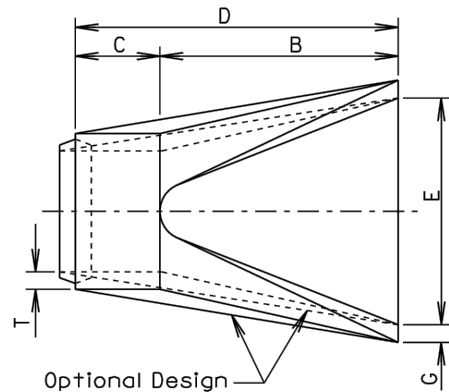
Construction of R.C.P. shall conform to the requirements of Section 990 of the Specifications.

Not more than 2 four-foot sections shall be permitted near the ends of any culvert. Four-foot lengths shall be used only to secure the required length of culvert.

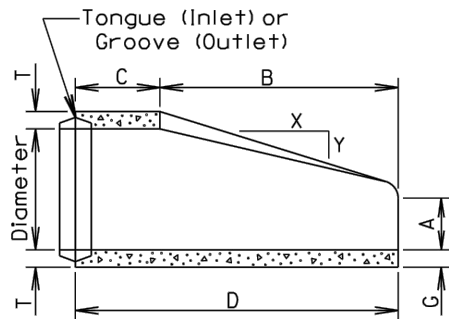
Diam. (in.)	Approx. Wt. /Ft. (lbs.)	T (in.)	J (in.)	D1 (in.)	D2 (in.)	D3 (in.)	D4 (in.)
12	92	2	1 3/4	13 1/4	13 5/8	13 7/8	14 1/4
15	127	2 1/4	2	16 1/2	16 7/8	17 1/4	17 5/8
18	168	2 1/2	2 1/4	19 5/8	20	20 3/8	20 3/4
21	214	2 3/4	2 1/2	22 7/8	23 1/4	23 3/4	24 1/8
24	265	3	2 3/4	26	26 3/8	27	27 3/8
27	322	3 1/4	3	29 1/4	29 5/8	30 1/4	30 5/8
30	384	3 1/2	3 1/4	32 3/8	32 3/4	33 1/2	33 7/8
36	524	4	3 3/4	38 3/4	39 1/4	40	40 1/2
42	685	4 1/2	4	45 1/8	45 5/8	46 1/2	47
48	867	5	4 1/2	51 1/2	52	53	53 1/2
54	1070	5 1/2	4 1/2	57 7/8	58 3/8	59 3/8	59 7/8
60	1296	6	5	64 1/4	64 3/4	66	66 1/2
66	1542	6 1/2	5 1/2	70 5/8	71 1/8	72 1/2	73
72	1810	7	6	77	77 1/2	79	79 1/2
78	2098	7 1/2	6 1/2	83 3/8	83 7/8	85 5/8	86 1/8
84	2410	8	7	89 3/4	90 1/4	92 1/8	92 5/8
90	2740	8 1/2	7	95 3/4	96 1/4	98 7/8	98 5/8
96	2950	9	7	102 5/8	102 5/8	104 1/2	105
102	3075	9 1/2	7 1/2	109	109 1/2	111 1/2	112
108	3870	10	7 1/2	115 1/2	116	118	118 1/2

June 26, 2015

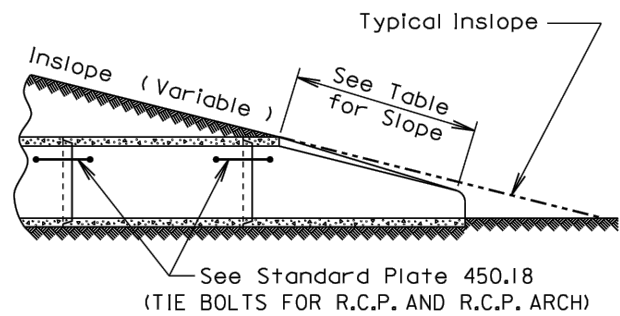
Published Date: 1st Qtr. 2023	S D D O T	REINFORCED CONCRETE PIPE	PLATE NUMBER 450.01
			Sheet 1 of 1



TOP VIEW



LONGITUDINAL SECTION

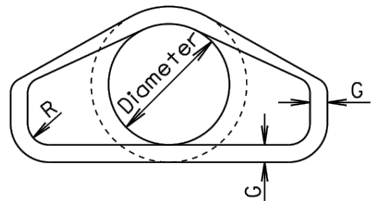


SLOPE DETAIL

GENERAL NOTES:

Lengths of concrete pipe shown on plan sheets are between flared ends only.

Construction of R.C.P. Flared End shall conform to the requirements of Section 990 of the Specifications.



END VIEW

Dia. (in.)	Approx. Wt. of Section (lbs.)	Approx. Slope (X to Y)	T (in.)	A (in.)	B (in.)	C (in.)	D (in.)	E (in.)	G (in.)	R (in.)
12	530	2.4: 1	2	4	24	48 7/8	72 7/8	24	2	1 1/2
15	740	2.4: 1	2 1/4	6	27	46	73	30	2 1/4	1 1/2
18	990	2.3: 1	2 1/2	9	27	46	73	36	2 1/2	1 1/2
21	1280	2.4: 1	2 3/4	9	36	37 1/2	73 1/2	42	2 3/4	1 1/2
24	1520	2.5: 1	3	9 1/2	43 1/2	30	73 1/2	48	3	1 1/2
27	1930	2.5: 1	3 1/4	10 1/2	49 1/2	24	73 1/2	54	3 1/4	1 1/2
30	2190	2.5: 1	3 1/2	12	54	19 3/4	73 3/4	60	3 1/2	1 1/2
36	4100	2.5: 1	4	15	63	34 3/4	97 3/4	72	4	1 1/2
42	5380	2.5: 1	4 1/2	21	63	35	98	78	4 1/2	1 1/2
48	6550	2.5: 1	5	24	72	26	98	84	5	1 1/2
54	8240	2: 1	5 1/2	27	65	33 1/4	98 1/4	90	5 1/2	1 1/2
60	8730	1.9: 1	6	35	60	39	99	96	5	1 1/2
66	10710	1.7: 1	6 1/2	30	72	27	99	102	5 1/2	1 1/2
72	12520	1.8: 1	7	36	78	21	99	108	6	1 1/2
78	14770	1.8: 1	7 1/2	36	90	21	111	114	6 1/2	1 1/2
84	18160	1.6: 1	8	36	90 1/2	21	111 1/2	120	6 1/2	1 1/2
90	20900	1.5: 1	8 1/2	41	87 1/2	24	111 1/2	132	6 1/2	6

June 26, 2015

Published Date: 1st Qtr. 2023	S D D O T	R. C. P. FLARED ENDS	PLATE NUMBER 450.10
			Sheet 1 of 1



Wall "+" (In.)	Rod Dia. (In.)	Pipe Sleeve Dia. (nominal)
≤ 3 1/4	5/8	3/4
3 1/2 - 6 1/2	3/4	1
≥ 7	1	1 1/4

ASTM F1554 Grade 36 or ASTM A36 Tie Bolt with 2 Heavy Hex Nuts and 2 Washers

**GENERAL NOTES:**

Tie bolts shall conform to ASTM F1554 Grade 36 or ASTM A36. Nuts shall be heavy hex conforming to ASTM A563. Washers shall conform to ASTM F436.

Pipe Sleeve shall conform to ASTM A500 or A53, Grade B.

Galvanize adjustable eye bolt tie assembly in accordance with ASTM A153.

**ADJUSTABLE EYE BOLT TIE**

Pipe Dia. (In.)	"L" (In.)	Bolt Dia. (In.)
≤ 48	4	3/4
> 48	6	1

ASTM A307 Bolt with Heavy Hex Nut and 2 Washers

**GENERAL NOTES:**

Angles shall conform to ASTM A36.

Bolts shall conform to ASTM A307. Nuts shall be heavy hex conforming to ASTM A563. Washers shall conform to ASTM F436.

Galvanize angles, bolts, nuts, and washers in accordance with ASTM A153.

**ANGLE AND BOLT TIE**

END VIEW "CIRCULAR"

END VIEW "ARCH"

**GENERAL NOTES:**

In lieu of the tie bolts detailed above other types of tie bolt connections may be installed as approved by the Office of Bridge Design.

All pipe sections of R.C.P. and R.C.P. Arch shall be tied with tie bolts except for pipe located between drop inlets, manholes, and junction boxes. All pipe sections of pipes that only enter or exit drop inlets, manhole, and junction boxes shall be tied with tie bolts.

There will be no separate measurement or payment for the tie bolts. The cost for furnishing and installing the tie bolts shall be incidental to the contract unit price per foot for the corresponding bid item for R.C.P. or R.C.P. Arch.

February 28, 2013

Published Date: 1st Qtr. 2023

S  
D  
D  
O  
T

TIE BOLTS FOR R.C.P. AND R.C.P. ARCH

PLATE NUMBER  
450.18

Sheet 1 of 1

### For 12" Thru 84" Diameter Pipe Type B Installation

**Material**

Class I: Crushed rock or gravel  
100% passing 1 1/2" sieve  
<5% passing #200 sieve

Class II: Coarse grained soils includes sand  
100% passing 1 1/2" sieve  
<5% passing #200 sieve

Native soil backfill  
Native soil, compacted to minimum project requirements

Insitu material

Backfill

Bedding material compacted to 90% of standard proctor density class I or class II material

Foundation

Spring line

Haunch

Note: Trench width to be twice the outside diameter, or the outside diameter plus two feet, which ever is less.

Assume: 140 lbs. per cubic foot pipe strength class shown on plans

**Quantity Estimate Table**

For Bedding Material

12"	0.14 Ton/L.F.
15"	0.19 Ton/L.F.
18"	0.25 Ton/L.F.
21"	0.29 Ton/L.F.
24"	0.33 Ton/L.F.
27"	0.36 Ton/L.F.
30"	0.40 Ton/L.F.
33"	0.44 Ton/L.F.
36"	0.48 Ton/L.F.
42"	0.57 Ton/L.F.
48"	0.67 Ton/L.F.
54"	0.77 Ton/L.F.
60"	0.88 Ton/L.F.
66"	0.98 Ton/L.F.
72"	1.10 Ton/L.F.
78"	1.24 Ton/L.F.
84"	1.35 Ton/L.F.

Revised: January 2008

CITY OF SIOUX FALLS  
**PUBLIC WORKS**  
Providing a Better Quality of Life for You!

**Bedding and Backfill  
for RCP Type B Installation**

Specification  
Reference  
Special

Plate  
Number  
450.06

Industrial Park Lot 6 Site Development  
Crooks, South Dakota

Details

REVISIONS

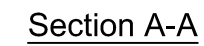
Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157

**DGR**  
ENGINEERING

Sheet

N2

\* Constant shall be reduced for the appropriate pipe or Combination of pipes, thus; 12" Dia.= -0.03 C.Y., 15" Dia.= -0.04 C.Y., 18" Dia.= -0.05 C.Y., 24" Dia.= -0.09 C.Y.



Notes:

All rebar shall be epoxy coated

Refer to plans for length of valley gutter

All rebar will be tied and in place. (Not a pay item)

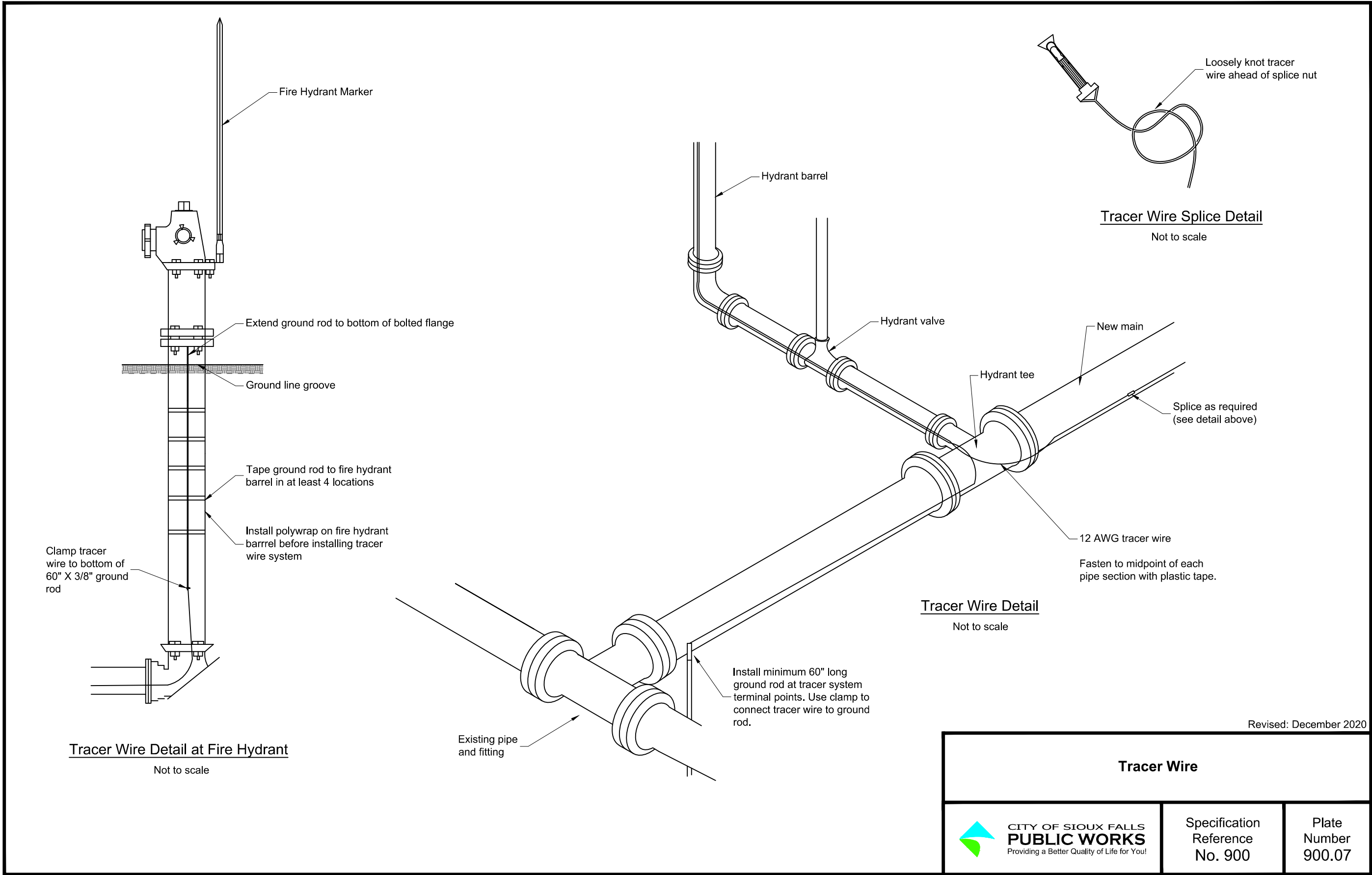
\* Width shall be 6'0" minimum on residential streets. 8'0" Minimum where used adjacent to or on collector streets.

Revised: December 1995




Designer: MLP  
 Project Number: 672019  
 Phone: (605) 339-4157



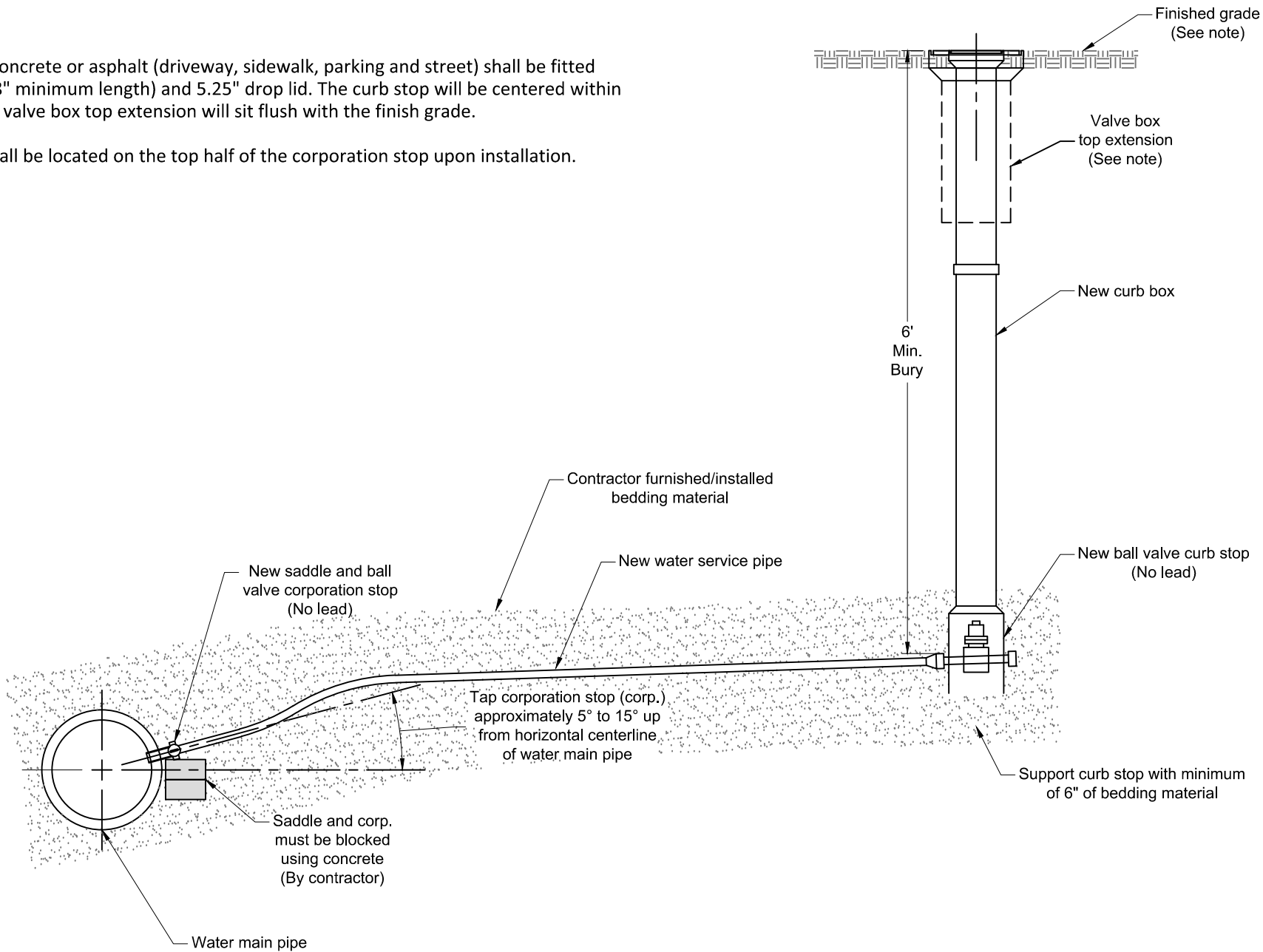


Revised: December 2020

Tracer Wire		
 <b>CITY OF SIOUX FALLS PUBLIC WORKS</b> Providing a Better Quality of Life for You!	Specification Reference No. 900	Plate Number 900.07

General Notes:

- 1. Curb stop boxes located within concrete or asphalt (driveway, sidewalk, parking and street) shall be fitted with a valve box top extension (8" minimum length) and 5.25" drop lid. The curb stop will be centered within the valve box top extension. The valve box top extension will sit flush with the finish grade.
- 2. The ball valve operational nut shall be located on the top half of the corporation stop upon installation.



Revised: December 2020

Water Service Installation



Specification  
Reference  
No. 900

Plate  
Number  
900.15

Details

REVISIONS

Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157

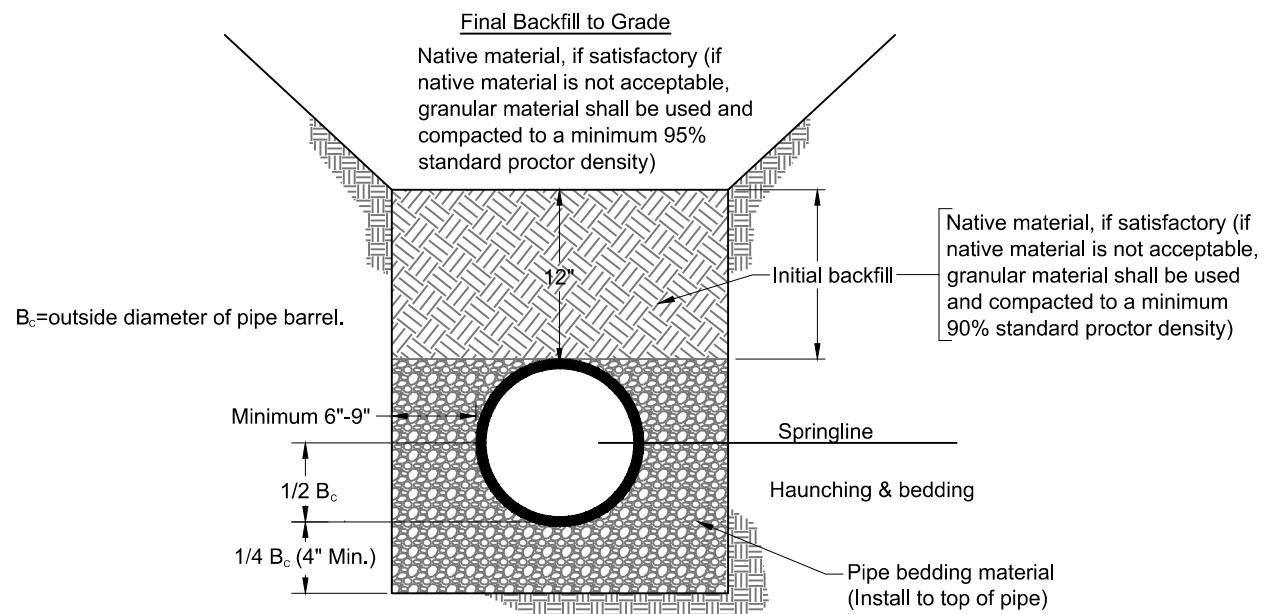


Sheet

N5

Industrial Park Lot 6 Site Development  
Crooks, South Dakota





Pipe bedding material to be hand tamped or shovel sliced around haunches.

Note:

1. If base is unstable, trench shall be undercut and stabilized with trench stabilization material. Specifications as per manufacturer's recommendations and A.S.T.M. C12.
2. **Bedding Material**  
  
95% Passing 3/4" sieve  
95% Retained #4 sieve  
  
(Clean angular, well-graded, crushed rock. Pea rock may be used for sanitary sewer service lines.)
3. The required bedding material under the bottom of the pipe shall be installed prior to pipe installation.

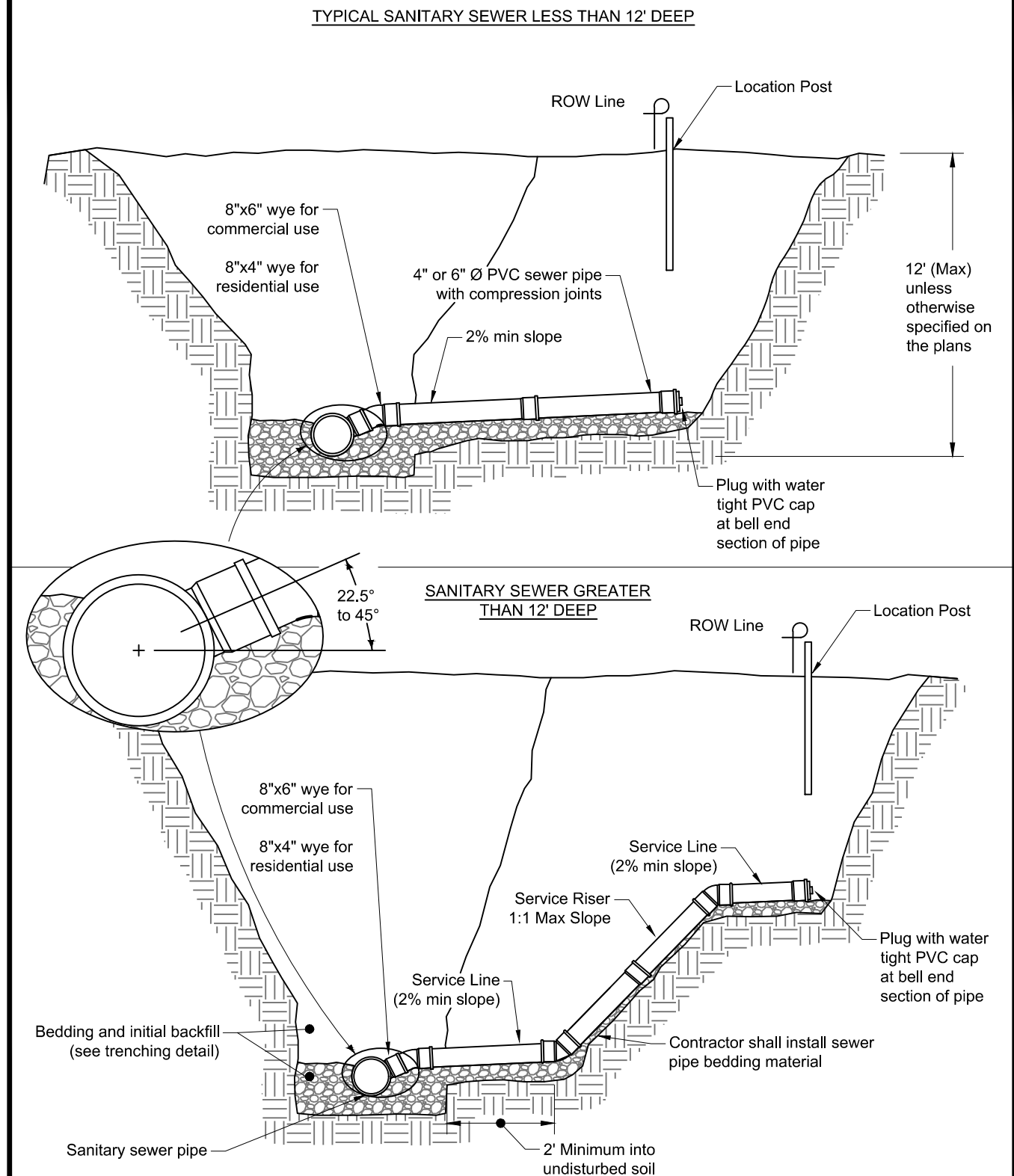
Revised: September 2020



**Bedding and Backfill  
Requirements For 4" to 12"  
Sanitary Sewer Pipe**

Specification  
Reference  
No. 950

Plate  
Number  
950.01



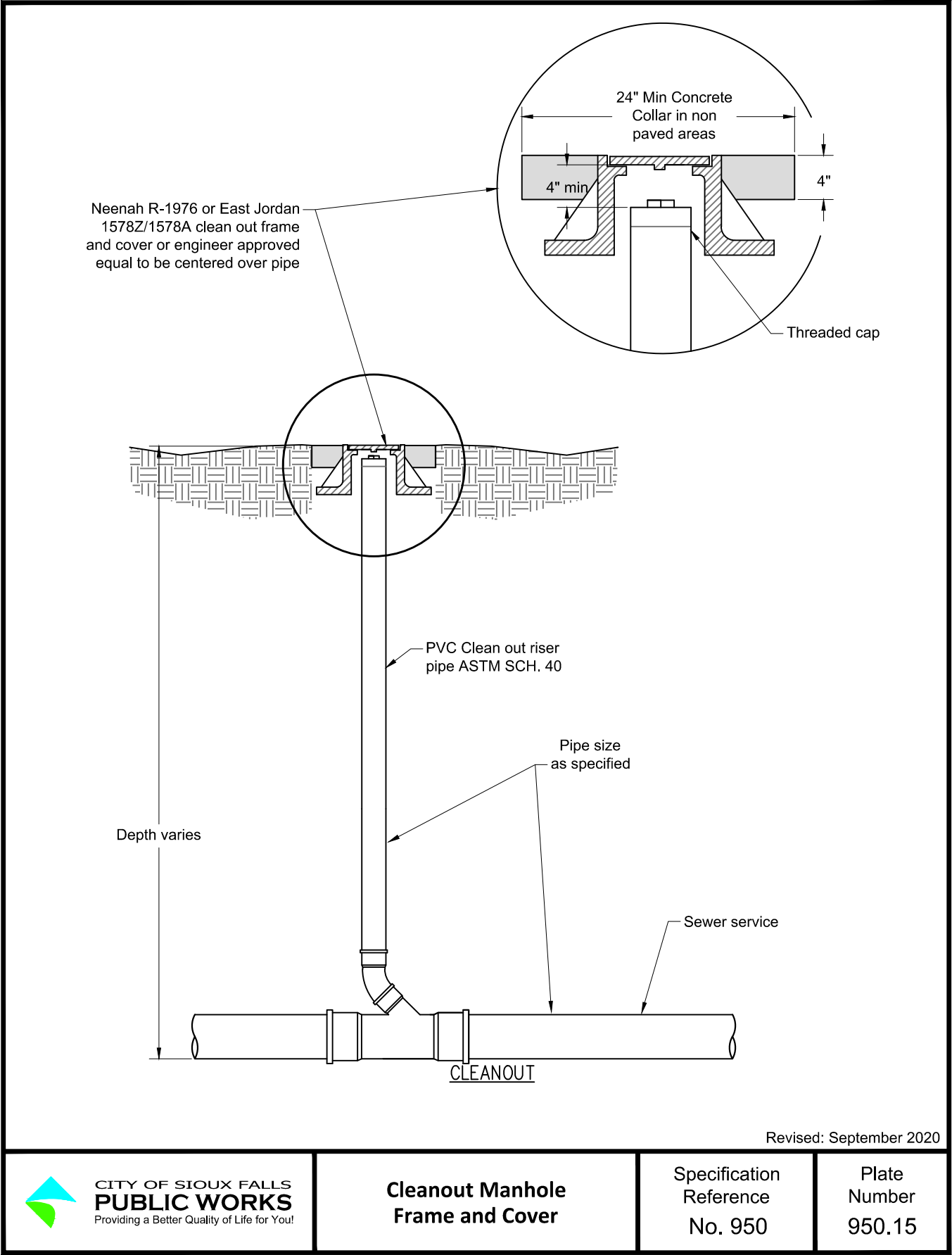
Revised: September 2020



**Typical Sanitary  
Sewer Service and Riser**

Specification  
Reference  
No. 950

Plate  
Number  
950.13



CITY OF SIOUX FALLS  
**PUBLIC WORKS**  
Providing a Better Quality of Life for You!

**Cleanout Manhole  
Frame and Cover**

Specification  
Reference  
No. 950

Plate  
Number  
950.15

Details

REVISIONS

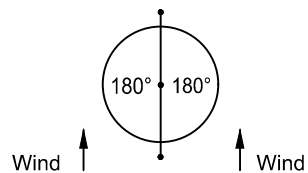
Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157



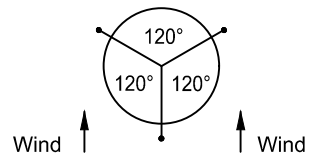
Sheet

N7

Industrial Park Lot 6 Site Development  
Crooks, South Dakota

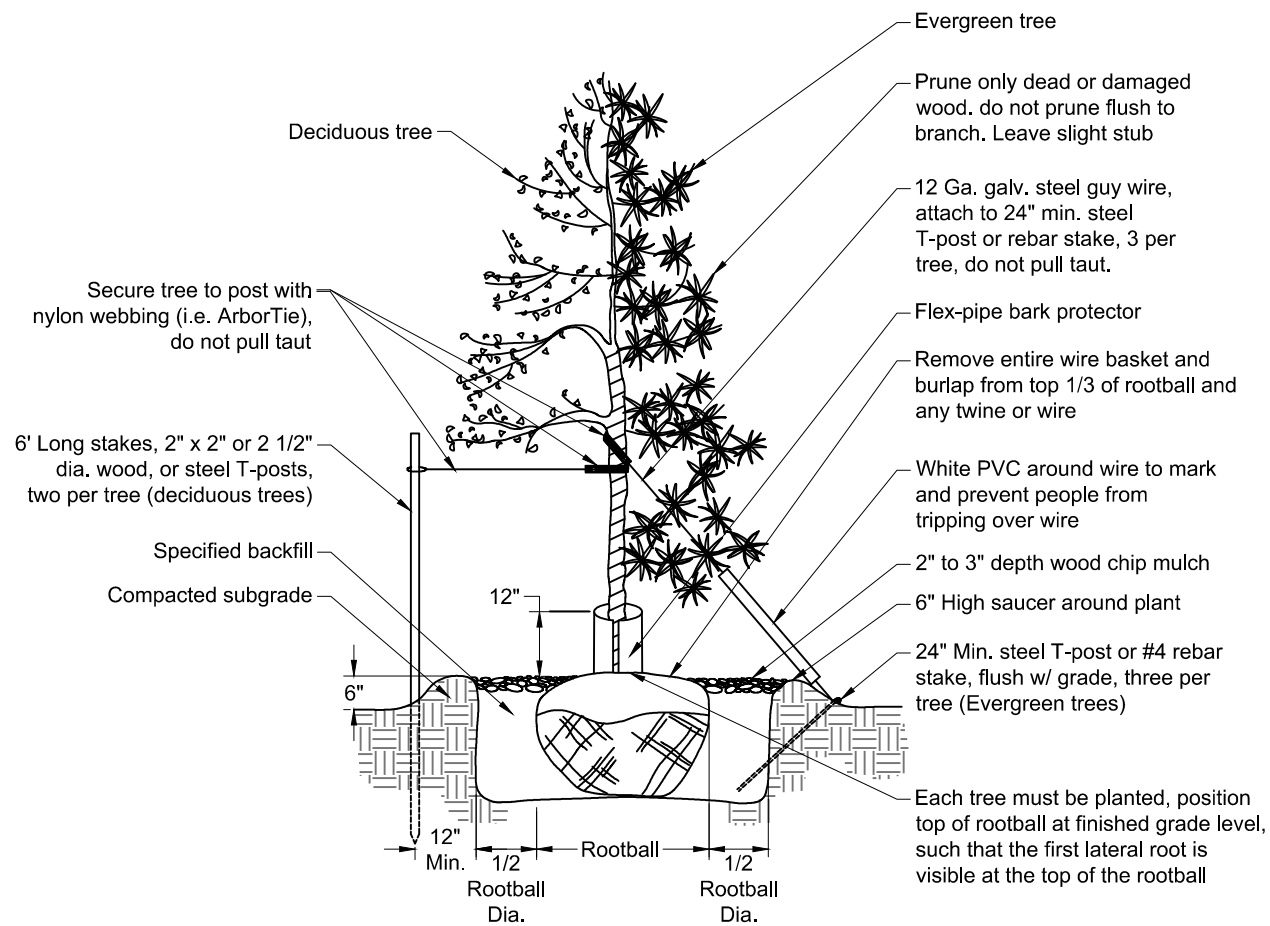


Guying Pattern For  
Deciduous Tree Planting



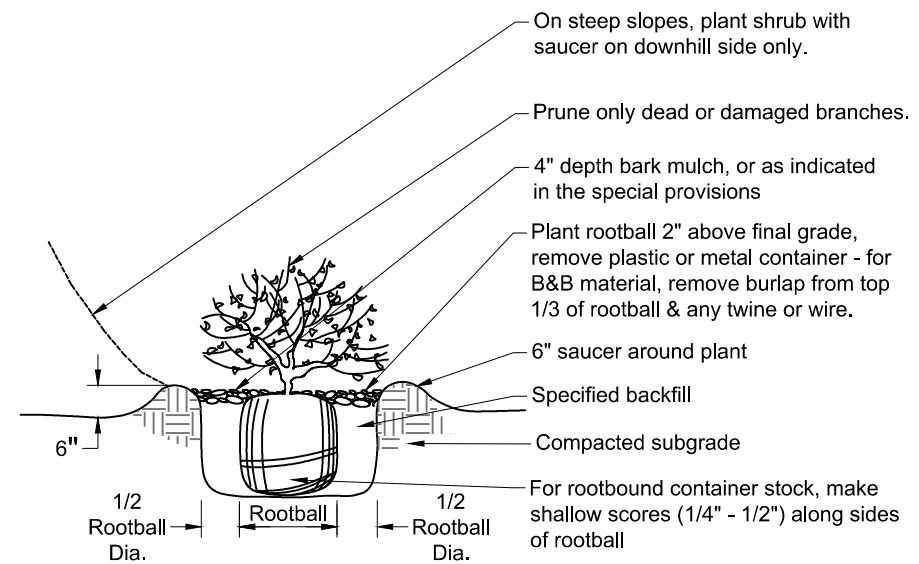
For trees on 4:1 or steeper slopes,  
place 2 guys upslope, one  
downslope; otherwise place for  
prevailing wind.

Guying Pattern For  
Evergreen Tree Planting



Deciduous and Evergreen  
Tree Planting and Guying Detail

(Guy and stake deciduous trees 2" and larger caliper  
and coniferous trees over 4' ht.)  
Not to scale



Shrub Planting Detail  
Not to scale

Revised: February 2021

**Tree Planting**



Specification  
Reference  
No. Special

Plate  
Number  
1100.01 SP

Details

REVISIONS

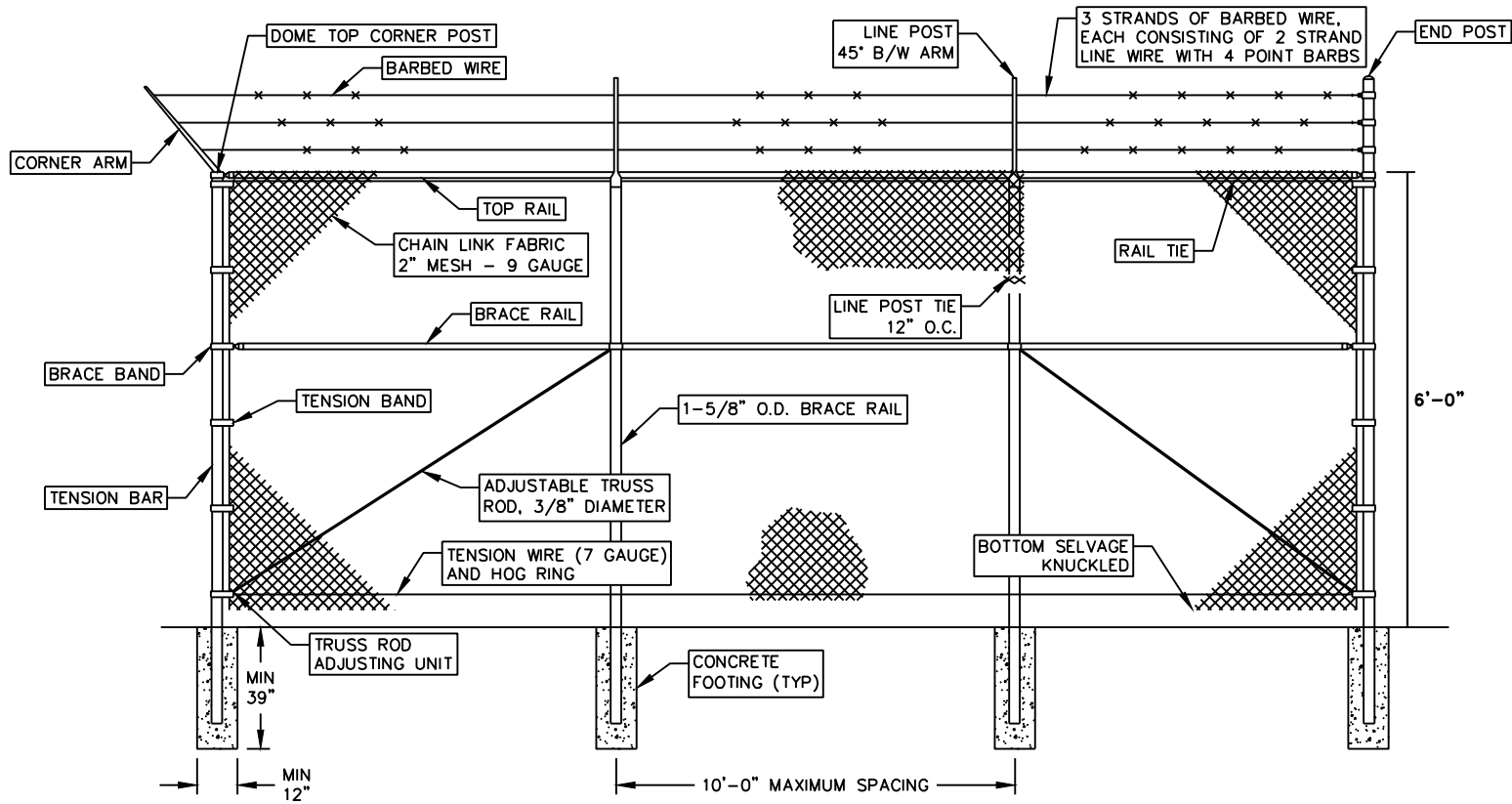
Project Manager: JTM  
Designer: MLP  
Project Number: 672019  
Phone: (605) 339-4157



Sheet

N8

Industrial Park Lot 6 Site Development  
Crooks, South Dakota



**TYPICAL FENCING DETAIL**  
**NOT TO SCALE**

POST, RAIL, BRACING SIZE REQUIREMENTS	
POST USE	FENCE HEIGHT
	48" TO 96" (NOMINAL DIAMETER)
LINE POST	2"
TERMINAL POST*	2-1/2"
TOP/INTERMEDIATE RAIL BRACES	1-1/4"
WALK-IN GATE POST	3"
VEHICLE GATE POST	3-1/2"
*INCLUDES CORNER, ANGLE, END AND PULL POSTS	

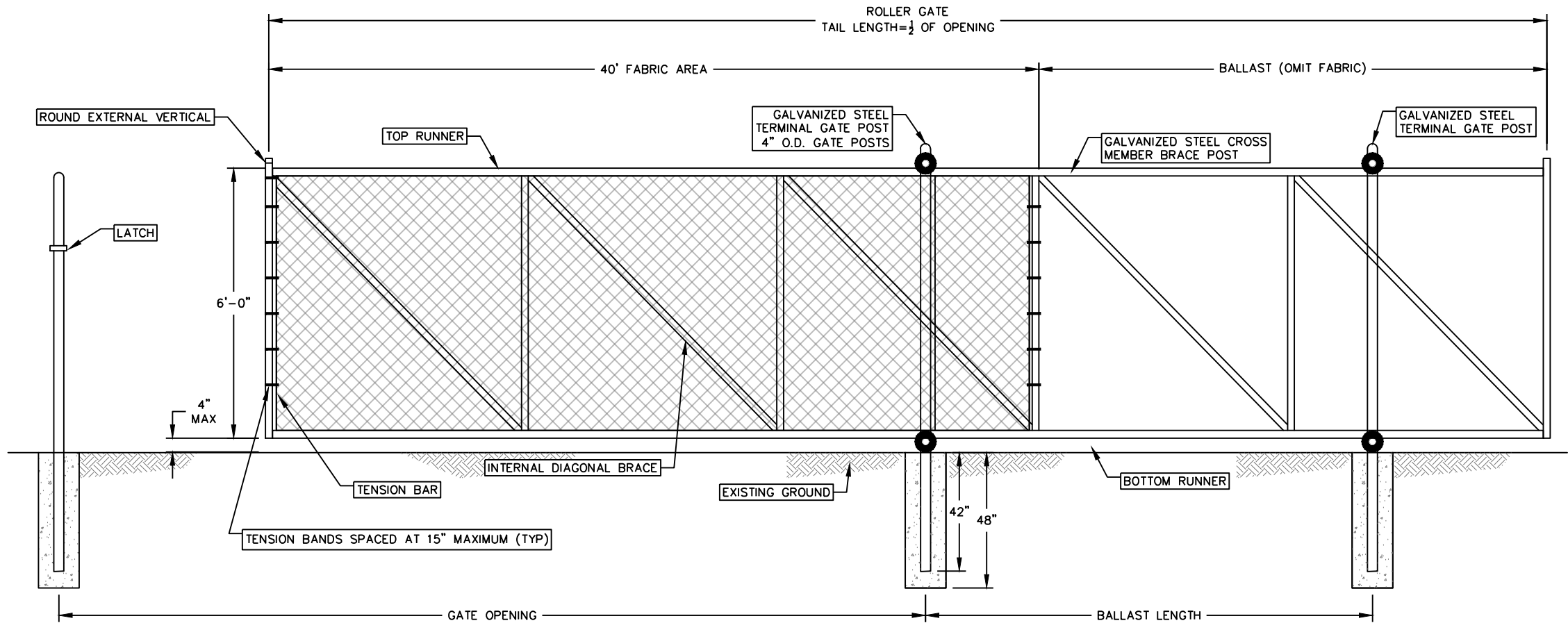
FOOTING DEPTH REQUIREMENTS		
POST USE	FENCE HEIGHT	
	48" TO 96"	
	DIAMETER	DEPTH
LINE AND BRACE POSTS	10"	3'-0"
TERMINAL POST*	12"	3'-0"
WALK-IN GATE POST	10"	3'-6"
VEHICLE GATE POST	12"	3'-6"
*INCLUDES CORNER, ANGLE, END AND PULL POSTS		



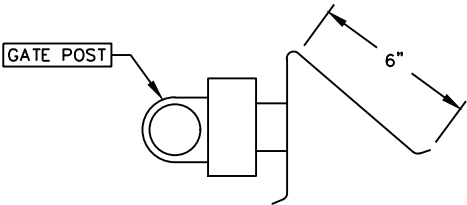


NOTES:

- 1. GATE ROLLERS TO BE NYLON POLYMER, SEE DAC INDUSTRIES STEALTH GATE ROLLERS FOR EXAMPLE DETAIL AND SPEC.
- 2. POSTS SHALL INCLUDE CAPS.
- 3. INSTALL FABRIC ON OUTSIDE OF POST.



POST SIZE CHART			
APPLICATION	FABRIC HEIGHT	PIPE SIZES OUTSIDE NORMAL DIA.	
END CORNER & PULL POSTS	4'-12"	2.875"	2-1/2"
LINE POSTS	4'-12"	2.375"	2"
TOP RAILS & BRACES	4'-12"	1.660"	1-1/4"



SLIDING GATE DETAIL  
NOT TO SCALE



Date: 08/12/2023

Prepared by: Tobias Schantz, City Administrator/Finance Officer

**Agenda item(s): 4) Annexation agreement & 5) Resolution 2023-14**

Narrative:

The previously approved annexation agreement and resolution for the property (passed at the June 12 regular monthly meeting) could not be indexed by the Register of Deeds due to a mistake in the legal description. This error has been corrected and new approval of the annexation agreement and passage of the resolution are needed.

Previous Council action:

Passed resolution and approved agreement for parcel in question.

Possible action:

- 1) Approval of item(s) & resolution.
- 2) Approval of item(s) & resolution with modifications.
- 3) Disapprove item(s) & resolution.
- 4) No action.

Staff recommendation:

Staff recommends the approval of the items.

Misc. comment:

Applicable items are included in the packet for review.



Drafted by:  
Patrick J. Glover  
MEIERHENRY SARGENT LLP  
315 S. Phillips Avenue  
Sioux Falls, SD 57104  
(605) 336.3075

## ANNEXATION AGREEMENT

Pursuant to the authority contained in SDCL § 9-4-1.1, this Annexation Agreement (hereinafter “Agreement”), made and entered into on this \_\_\_\_\_ day of \_\_\_\_\_, 2023, by and between the City of Crooks, a South Dakota municipal corporation, 701 S. West Avenue, PO Box 785, Crooks, South Dakota 57020 (hereinafter “City”) and *Lori A. Clausen*, 47155 258<sup>th</sup> Street, Sioux Falls, SD, 57107-6433 (collectively referred to as the “Owner”).

### WITNESSETH:

**WHEREAS**, *Lori A. Clausen*, is the owner of record of certain real estate, which real estate is subsequently sometimes referred to in its entirety as “Parcel 1” legally described as follows:

*Tract 2 of Benson’s Addition in the NE ¼, section 13, T. 102 N., R. 50 W.,*

*Minnehaha County, South Dakota.*

**WHEREAS**, the Owner have voluntarily executed a petition to annex the Premises into the municipal boundaries of the City, which petition is on file with the finance officer’s office; and

**WHEREAS**, Parcel 1 (which parcel are subsequently collectively referred to as the “Premises”) constitute territories which are contiguous to the municipal boundaries of the City and



contiguous with each other and which when taken as a whole constitute territory which is contiguous to and may be annexed to the City, as provided in SDCL Chap. 9-4 Article; and

**WHEREAS**, the City, after due and careful consideration, has concluded that the annexation of said Premises to the City under the terms and conditions set forth below, would further the growth of the City, enable the City to control the development of the area, and serve the best interests of the City; and

**WHEREAS**, it is to the mutual benefit of the City and the Owner to enter into the following Agreement.

**NOW, THEREFORE, IN CONSIDERATION OF THE ABOVE PREMISES AND THE COVENANTS AS HEREINAFTER SET FORTH, IT IS AGREED BY AND BETWEEN THE PARTIES AS FOLLOWS:**

**1. Incorporation of Recitals.**

The City and the Owner confirm and incorporate the foregoing recitals into this Agreement.

**2. Purpose.**

The purpose of this Agreement is to set forth the terms and conditions of the annexation of the Premises to the City. Except as expressly provided for herein to the contrary, all terms and conditions herein are in addition to all requirements concerning annexation contained in the Crooks Municipal Code.

**3. Further Acts.**

Owner agrees to execute, collectively and each respectively, promptly upon request of the City, any and all surveys and other documents necessary to effect the annexation of the Premises and the other provisions of this Agreement. Owner agrees to not sign any other petition for

annexation of the Premises or any petition for an annexation election relating to the Premises, except upon request of the City.

#### **4. Annexation Documents.**

Owner agrees to provide legal documents, surveys, engineering work, newspaper publication, maps, and reports determined by the City to be necessary to accomplish the annexation.

#### **5. Continued Single-Family Residential Use.**

Owner shall have the right to continue to use the Premises for single-family residential purposes until such time as the Premises are rezoned pursuant to Section 6 below.

#### **6. Zoning and Development.**

The parties recognize that it is the intent and desire of the Owner to continue single-family residential use on the Premises for the foreseeable future. City agrees that it will not rezone the Premises until the Owner (or their respective heirs, successors, and assigns, including but without limitation, all subsequent owners of the Premises, and all persons claiming under them), each respectively, requests rezoning. After such rezoning of the Premises, the City and the Owner will enter into a separate agreement covering the development of the respective Premises.

#### **7. Conformity with Laws.**

Owner agrees that the use of the Premises shall be in conformance with, and that Owner shall comply with, all City ordinances and resolutions.

#### **8. No Repeal of Laws.**

Nothing contained in this Agreement shall constitute or be interpreted as a repeal of the City's ordinances or resolutions, or as a waiver of the City's legislative, governmental, or police powers to promote and protect the health, safety, and welfare of the City and its inhabitants.

#### **9. Severability.**

The City and the Owner agree that if any part, term, portion, or provision of this Agreement is held by a court of competent jurisdiction to be illegal or unenforceable, then the validity of the remaining parts, terms, portions, or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if the Agreement did not contain the particular part, term, portion, or provision held to be invalid.

#### **10. Municipal Services.**

The City agrees to make available to the Premises all of the usual municipal services in accordance with the ordinances and policies of the City which services include, but are not limited to, police protection, fire protection, emergency medical services and water and sewer services. Owner understands that all usual municipal services may not be immediately available upon the successful annexation of the Premises. City agrees to make all usual municipal services available at the Premises when it is feasible to do so. Owner agrees to waive any and all rights to force City to provide usual municipal services granted under applicable state statutes in exchange for immediate annexation of the Premises.

#### **11. Time is of the Essence.**

It is understood and agreed by the City and the Owner that time is of the essence of this Agreement, and that all of the parties will make every reasonable effort, including the calling of special meetings, if necessary, to expedite the subject matters hereof.

#### **12. Future Cooperation.**

The City and the Owner agree that they will cooperate with one another in accomplishing the terms, conditions, and provisions of the Agreement, and will execute such additional documents as necessary to effectuate the same.

#### **13. Amendment.**



This Agreement may be amended by the City and any Owner without the consent of any other Owner as long as such amendment affects only that Owner's portion of the Premises. Such amendments shall be in writing, and shall be binding upon all persons or entities having an interest in the property subject to the amendment unless otherwise specified in the amendment. Except as otherwise provided herein, this Agreement shall not be amended unless approved in writing by all parties hereto.

#### **14. Entire Agreement.**

This Agreement embodies the entire agreement of the parties. There are no promises, terms, conditions, or obligations other than those contained herein; and this Agreement supersedes all previous communications, representations, or agreements, either verbal or written, between the parties.

#### **15. Indemnification.**

Owner, collectively and each respectively, agrees to indemnify and hold harmless the City and the City's officers, employees, agents, and contractors, from and against all liability, claims, and demands, including attorney's fees and court costs, which arise out of or are in any manner connected with the annexation of the Premises, or with any other annexation or other action determined necessary or desirable by the City in order to effectuate the annexation of the Premises. Owner further agrees to investigate, handle, respond to, and to provide defense for and defend against or at the City's option to pay the attorney's fees for defense counsel of the City's choice for, any such liability, claims, or demands.

#### **16. Owners.**

As used in this Agreement, the term "Owners" or "Owner" shall include any of the heirs, transferees, successors, or assigns of Owner, and all such parties shall have the right to enforce

this Agreement and shall be subject to the terms of this Agreement, as if they were the original parties thereto.

**17. Amendments to Law.**

As used in this Agreement, unless otherwise specifically provided herein, any reference to any provision of any City ordinance, resolution, or policy is intended to refer to any subsequent amendments or revisions to such ordinance, resolution, or policy, and the parties agree that such amendments or revisions shall be binding upon Owner.

**18. Binding Effect.**

This Agreement shall be binding upon and inure to the benefit of the heirs, transferees, successors, and assigns hereof, and shall constitute covenants running with the land. This Agreement shall be recorded with the Minnehaha County Register of Deeds, at Owner's expense. Subject to the conditions precedent herein, this Agreement may be enforced in any court of competent jurisdiction.

**19. Failure to Annex.**

This Agreement shall be null and void if the City fails to approve the annexation of the Property.

**20. No Warranties by City.**

It is the intention of the Owners and the City to be bound by this Agreement; however, the City makes no representation or warranty as to the validity or enforceability of such provisions and this Agreement against the City, and by entering into this Agreement the Owners acknowledge and accept that no such representation or warranty is made on the part of the City.

**21. Notice.**

All notices required under this Agreement shall be in writing and shall be hand-delivered or sent by facsimile transmission or registered or certified mail, return receipt requested, postage

prepaid, to the addresses of the parties herein set forth. All notices by hand delivery shall be effective upon receipt. All facsimile transmissions shall be effective upon transmission receipt. All notices by mail shall be considered effective 72 hours after deposit in the United States mail with the proper address as set forth below. Either party by notice so given may change the address to which future notices shall be sent.

**22. No Third-Party Rights.**

This Agreement is made solely for the benefit of the parties hereto and is not intended to nor shall it be deemed to confer rights to any persons or entities not named as parties hereto.

**23. Governing Law.**

The laws of the State of South Dakota shall govern the validity, performance, and enforcement of this Agreement. Should either party institute legal suit or action for enforcement of any obligation contained herein, it is agreed that the venue of such suit or action shall be in Minnehaha County, South Dakota.

**24. Headings.**

The section headings in this Agreement shall not be used in the construction or interpretation hereof as they have no substantive effect and are for convenience only.

**25. Authority and Counterparts.**

This Agreement may be executed in counterparts, each of which shall be deemed an original but all of which shall constitute one and the same document.

**APPROVED BY THE CROOKS CITY COUNCIL**, at its regular city council meeting on the \_\_\_\_\_ day of \_\_\_\_\_, 2023.



By: F. Butch Oseby  
Its: Mayor

ATTEST:

By: Tobias Schantz  
Its: Municipal Finance Officer

{{Remainder of page intentionally left blank}}

OWNER PARCEL 1:

Lori A. Clausen  
Lori A. Clausen

STATE OF SOUTH DAKOTA )  
: SS  
COUNTY OF MINNEHAHA )

On this, the 19<sup>th</sup> day of August, 2023, before me, the undersigned officer, personally appeared [*Name of Owner of Parcel 1*], known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



Jodi M. Heiser  
Notary Public – South Dakota  
My Commission expires: 9.12.26

{{Remainder of page intentionally left blank}}

**CITY OF CROOKS  
RESOLUTION #2023-14**

**A RESOLUTION TO ANNEX PROPERTY CONTIGUOUS TO THE CITY OF CROOKS  
UPON RECEIPT OF A PETITION FOR VOLUNTARY ANNEXATION.**

**WHEREAS**, there has been presented to the City Council of the City of Crooks a written petition signed by the owners and otherwise in compliance with the provisions of SDCL Chapter 9-4 requesting voluntary annexation of certain real property into the municipal boundaries of the City of Crooks. Such real properties being legally described as:

Tract 2 of Benson's Addition in the NE ¼, section 13, T. 102 N., R. 50 W., Minnehaha County, South Dakota.

**WHEREAS**, the property to be annexed is contiguous to the municipal boundaries of the City of Crooks; and,

**WHEREAS**, said petition having been signed by not less than three-fourths of the registered voters and by the owners of not less than three-fourths of the value of the property sought to be annexed;

**NOW THEREFORE, BE IT RESOLVED** that the City Council of the City of Crooks, Minnehaha County, South Dakota, grants the relief sought in the aforementioned petition for annexation pursuant to SDCL 9-4-1 and shall extend its boundaries to include the aforementioned and described real property, and that the Municipal Finance Officer of the City of Crooks shall cause a duly certified transcript of this Resolution to be filed with the Register of Deeds, Minnehaha County, South Dakota.

Aye:  
Nay:  
Abstain:

Dated this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
F. Butch Oseby, Mayor

(SEAL)

Attest:

\_\_\_\_\_  
Tobias Schantz, Finance Officer

Passed:  
Published:  
Effective: