

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
LANDMARKS COMMISSION
Menasha City Center
100 Main Street, Menasha
Room 132**

**March 9, 2022
5:00PM**

AGENDA

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. Minutes of the October 6, 2021 Landmarks Commission Meeting

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA OR ANY ITEM RELATED TO THE LANDMARKS RESPONSIBILITIES OF THE LANDMARKS COMMISSION

Five (5) minute time limit for each person

E. COMMUNICATIONS

F. ACTION/DISCUSSION ITEMS

1. Application for Renovation - 192 Main Street – Rusted Rooster
2. Historic Month Planning

G. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

H. ADJOURNMENT

If you have any questions, please call the Community Development Department at (920) 967-3650 between 8:00 AM – 4:00 PM, Monday through Friday.

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

CITY OF MENASHA
Landmarks Commission
Menasha City Center, Room 133
100 Main Street, Menasha
October 6, 2021
DRAFT MINUTES

A. CALL TO ORDER

The meeting was called to order by Alderperson Grade at 5:00 PM.

B. ROLL CALL/EXCUSED ABSENCES

LANDMARKS MEMBERS PRESENT: Alderperson Tom Grade, Commissioners George Davis, Arnie Collier, Kate Mueller and Kim Massey

LANDMARKS MEMBERS EXCUSED: Commissioners Jeff Heimerman

OTHERS PRESENT: PP Stephenson, CDD Schroeder, and Shirley Heinz (Menasha Historical Society)

C. PUBLIC HEARING

No public hearing.

D. MINUTES TO APPROVE

1. Minutes of the August 11, 2021 Landmarks Commission Meeting

Commissioner Collier made a motion to approve the minutes of the August 11th, 2021 Landmarks Commission Meeting. The motion was seconded by Commissioner Mueller. The motion carried.

E. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA OR ANY ITEM RELATED TO THE LANDMARKS RESPONSIBILITIES OF THE LANDMARKS COMMISSION

Five (5) minute time limit for each person

No public comments.

F. COMMUNICATIONS

No communications

G. ACTION / DISCUSSION ITEMS

1. Renewed and Reclaimed: Sign Application

PP Stephenson provide an overview of the proposed signage for renewed and reclaimed. General discussion ensued including the following:

- Font of lettering
- Sign regulations
- Sign guidelines
- Type of sign, mounting, and placement
- Lighting

Commissioner Davis motioned to approve the proposed sign for Renewed Reclaimed as presented with the recommendation to consider alternative font for the sign lettering. The motion was seconded by Massey. The motion carried.

2. Awning within Historic Districts

Commission discussed investments into historic buildings within the City. General discussion ensued around construction trends, historical accuracy, responsibility of Landmarks, investment, past approvals, garage doors, lighting and awnings.

No action was taken.

3. Teen Town Mural Presentation

Shirley Heinz, Menasha Historical Society provided the Landmarks Commission an overview of the existing mural, Teen Town, within the upper level of the Memorial Building. Ms. Heinz

presented her research of the mural, the historical significance and the request to preserve the mural by adding a Plexiglas barrier to prevent further deterioration.

General discussion ensued.

Commissioner Davis motioned to support and recommend the City of Menasha allow for the installation of a plaque and Plexiglas barrier to protect the historic Teen Town Mural located within the upper level of the Memorial Building. The motion was seconded by Collier. The motion carried.

H. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

No public comments at this time.

I. ADJOURNMENT

A motion was made by Commissioner Mueller to adjourn the meeting at 5:53 PM. The motion was seconded by Commissioner Collier. The motion carried.

Minutes prepared by CDD Schroeder



**Application for renovation, remodel or signage
project in a Menasha Historical District**

Date: 2/23/2022 Property Address: 192 Main St. 1st floor, Menasha, WI 54952
Applicant's name: Kari Mudler Owner or Renter? Owner
Mailing Address if different than Property Address: 4648 North Kuray Dr.
City: Appleton State: WI Zip: 54913
Daytime Phone: 920 277 6164 Evening Phone: 920 277 6164 E-mail: kmudler42@gmail.com

Description of planned improvement: Please see all attached design plans. We are providing architectural plans, inspirational images, and a full design packet.

Note: Please attach all material lists, material brochures, samples and photos, Ascale drawing is recommended or may be required by the Commission.

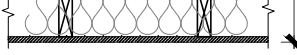



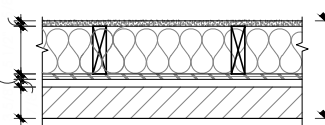
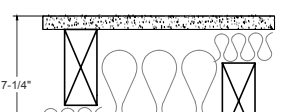
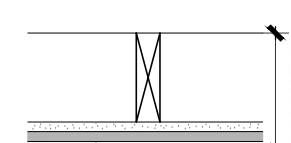
List all contractors, sub contractors and material suppliers UKB Homes (GC), Rick Jeffers (Electric)
Edge Plumbing, Bob's Heating & Cooling (HVAC),
American Overhead Doors, ACE Flooring

Estimated Total Cost: \$1,000,000 Estimated Start Date: Mar 20th Estimated Completion Date: June 20th

Contact: Nick or Misty @ UKB Homes. with Amy

Quigley. Thank you!

[Signature]
Perman

WALL TYPE	DESIGN	DESCRIPTION
1		SEPARATION WALL 1 HOUR FIRE RATED PARTITION U/L DES U 305 2x4 or 2x6 STUDS @ 16" O.C. WITH BATT INSULATION TO CEILING. INSTALL 1/2" TYPE "X" GYP. BD. FULL HGT. EACH SIDE
2		TYPICAL INTERIOR PARTITION WALL 2x4 STUDS @ 16" O.C. [WITH BATT INSULATION-VERIFY W/OWNER] TO CEILING. INSTALL 1/2" GYP. BD. FULL HGT. EA. SIDE TYP. (MRGB ON ALL SIDES OF WALLS EXPOSED TO BATHS) (2x6 STUDS FOR PLUMBING WALLS)
3		TYPICAL INTERIOR PARTITION WALL 2x6 STUDS @ 16" O.C. WITH BATT INSULATION TO CEILING. INSTALL 1/2" GYP. BOARD FULL HGT. EA. SIDE TYP. MRGB ON INT. SIDE OF BATHS
4		SEPARATION WALL 1 HOUR FIRE RATED BARRIER U/L DES U 305 2x4 or 2x6 STUDS @ 16" O.C. INSTALL 5/8" TYPE "X" GYP. BD. FULL HGT. EACH SIDE TO UNDERSIDE OF FLOOR TRUSSES
5		TYPICAL EXTERIOR WALL W/BRICK VENEER 2x6 STUDS @ 16" O.C. WITH R-19 BATT INSULATION. INSTALL 1/2" GYP. BD. FULL HGT. INTERIOR SIDE OF WALL. 4" INS. VAPOR BARRIER, EXTERIOR, 4" BRICK VENEER, 7/8" AIR SPACE TYVEK BUILDING WRAP ON 1/2" A.P.A. RATED 0.5 S. SHEATHING ON STUDS [USE 2X4 STUDS AT EXT. GARAGE WALLS]
6		TYPICAL INTERIOR PARTITION WALL 5/8" SHEETROCK BRAND FIRECORE C CORE GYPSUM PANEL, 2x4 LOAD BEARING STAGGERED WOOD STUD @ 16" O.C., 2X6 PLATE, 3/4" MINERAL WOOL BATT, 5/8" SHEETROCK BRAND FIRECORE C CORE GYPSUM PANEL, JOINTS FINISHED. PERIMETER CALKED-EST. FIRE RATING BASED ON UL DESIGN U505 AND UL DESIGN U340
7		System Performance 1 HR Fire U/L Design No. U340 5/4 STC Sound RAL-11-77-149 TYPICAL FINISH UNDER STAIRS RESILIENT CEILING-2 LAYERS 5/8" FIRECORE C CORE GYPSUM PANEL, 1" NOM. WOOD SUB & FINISH FLOOR, 2X10/2X12 WOOD JOIST 16" O.C. RC-1 CHANNEL @24" O.C. SCREW OVER BASE LAYER. BASE LAYER SCREW TO CHANNEL 12" O.C. JOINTS FINISHED U/L DES. L510-2 HR SYSTEM WITH 5/8" FIRECORE C CORE U/L DES. L511

CARBON MONOXIDE DETECTOR SHALL BE CONNECTED TO BUILDINGS POWER SUPPLY AND HAVE BATTERY BACKUP

- ⑤ SMOKE DETECTOR PER INTERNATIONAL BUILDING CODE

- ☒ EXHAUST FAN TO SWITCH, TYP. ALL BATHS

- ☐
- GARAGE DOOR OPENER- VERIFY WITH OWNER

F-1 = 20 MIN. HOUR FIRE DOOR ASSEMBLY WITH SPRING CLOSER HINGES

WALL TYPES & LEGEND

NTS	A101
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GENERAL NOTES:

1. ALL DIMENSIONS ARE TO STUD THICKNESS. OVERALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
2. CRITICAL DIMENSIONS TO BE HELD CLEAR.
3. INTERIOR DOORS TO BE LOCATED WITHIN 5'-7" OF CORNER TO ALLOW FOR TRIM. UON
4. MISTURE RESISTANT GYP. BD. ON UON WET WALLS WHERE APPROPRIATE.
5. ISOLATE ALL PLUMBING WALLS -TYP.
6. INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL COMPLY W/ IAC CHAPTER 44.
7. ALL PENETRATIONS THROUGH REQUIRED FIRE-RESISTIVE ASSEMBLIES SHALL BE PROTECTED PER IBC 711 BY THE CONTRACTOR MAKING SAID PENETRATION.
8. ALL JOINTS INSTALLED ON OR BETWEEN FIRE RESISTANT RATED WALLS, FLOOR OR FLOOR/CEILING ASSEMBLIES AND ROOFS OR ROOF/CEILING ASSEMBLIES SHALL BE PROTECTED BY APPROVED FIRE RESISTANT JOINT SYSTEMS PER IBC 702 GENERAL. CONTRACTOR TO SCHEDULE JOINT PROTECTION PRIOR TO INSTALLATION OF FINISHES.
9. ALL HEATING EQUIPMENT SHALL BE DIRECT VENTING & SEALED COMBUSTION UNITS. U.N.O.
10. ALL TOILET ROOM FINISHES TO BE IMPERVIOUS TO WATER.

GENERAL PLAN NOTES:

- CLARE SHOULD BE TAKEN TO LEAVE EXISTING ITEMS UNDISTURBED AND STILL ACCOMMODATE WORK, EXISTING AREAS TO BE PROTECTED DURING CONSTRUCTION
- COORDINATE W/ PLUMBING CONTRACTOR FOR ALL UNDER-SLAB PIPING PRIOR TO POURING SLAB.
- COORDINATE ALL FLOOR FRAMING WITH PLANNED PLUMBING FIXTURES TO ENSURE DRAINS DO NOT HIT FRAMING MEMBERS, BOX OUT FRAMING WHERE NEEDED.

GENERAL NOTES

NTS	A101
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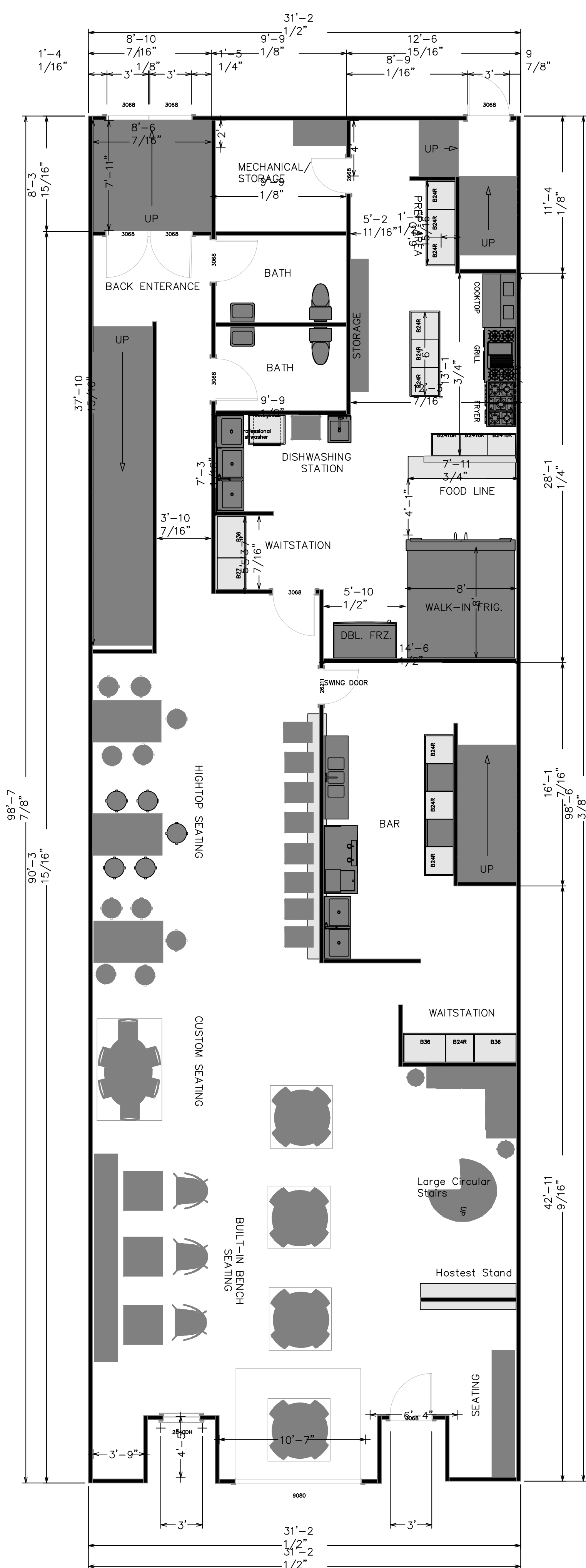
GENERAL PROJECT NOTES:

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS CONTRACT.
- HVAC, ELECTRICAL AND PLUMBING ARE TO BE DESIGN BUILD, COMPLYING W/ ALL LOCAL, STATE, & NATIONAL CODES, AND TO BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER ASSUMES NO LIABILITY.
 - ALL HEATING EQUIPMENT TO BE SEALED COMBUSTION TYPE & DIRECT VENTING
 - ALL MECHANICAL, HVAC, ELECTRICAL, AND PLUMBING SYSTEMS & ALL EQUIPMENT TO BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BUILDING OWNER AND/OR BUILDING OCCUPANTS ASSUME FULL RESPONSIBILITY FOR MAINTENANCE AND OPERATION. INSTALLATION, DETAILS, & INSTALLATION, SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS.
 - ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM THE PREMISES DAILY.
 - DIMENSIONS ARE TO BE FIELD VERIFIED & ADJUSTED ACCORDINGLY. THE DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
 - ALL DIMENSIONS ARE FROM ACTUAL FINISHED SURFACES, UNON ON THE PLAN. ALLOWANCES SHALL BE MADE FOR FLOOR & WALL FINISHES.

GENERAL PLAN NOTES

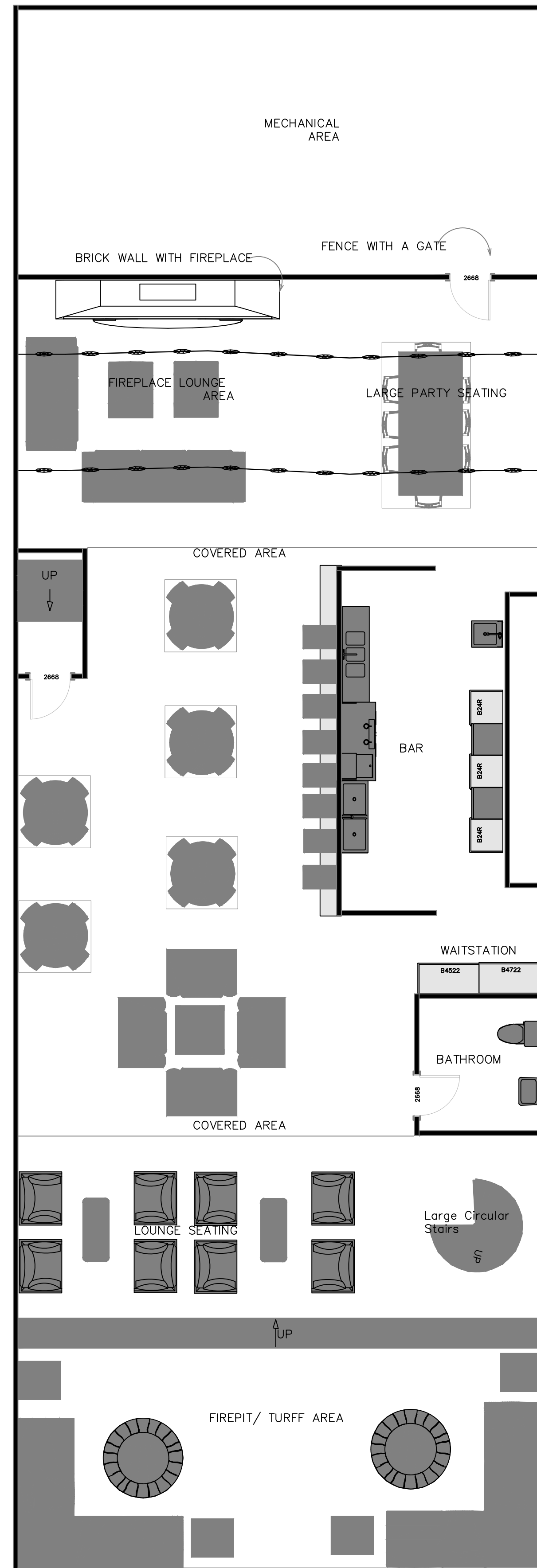
NTS | A101

- 4" THICK CONC. FLOOR W/ #10/#10, 6X6 W.W.M ON 8" COMPACTED GRANULAR FILL. SITE
VERIFY FLOOR DRAIN PLACEMENT WITH OWNER PRIOR TO POURING FLOOR.



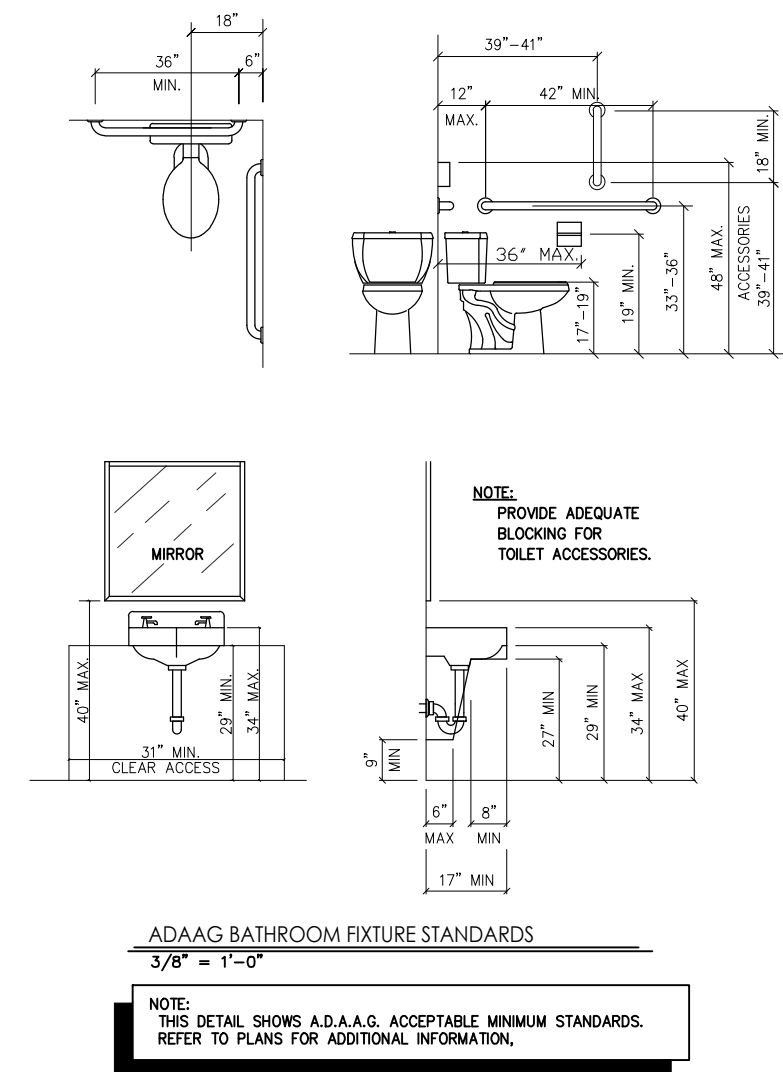
First Floor Plan

SCALE: 3/16" = 1'-0"



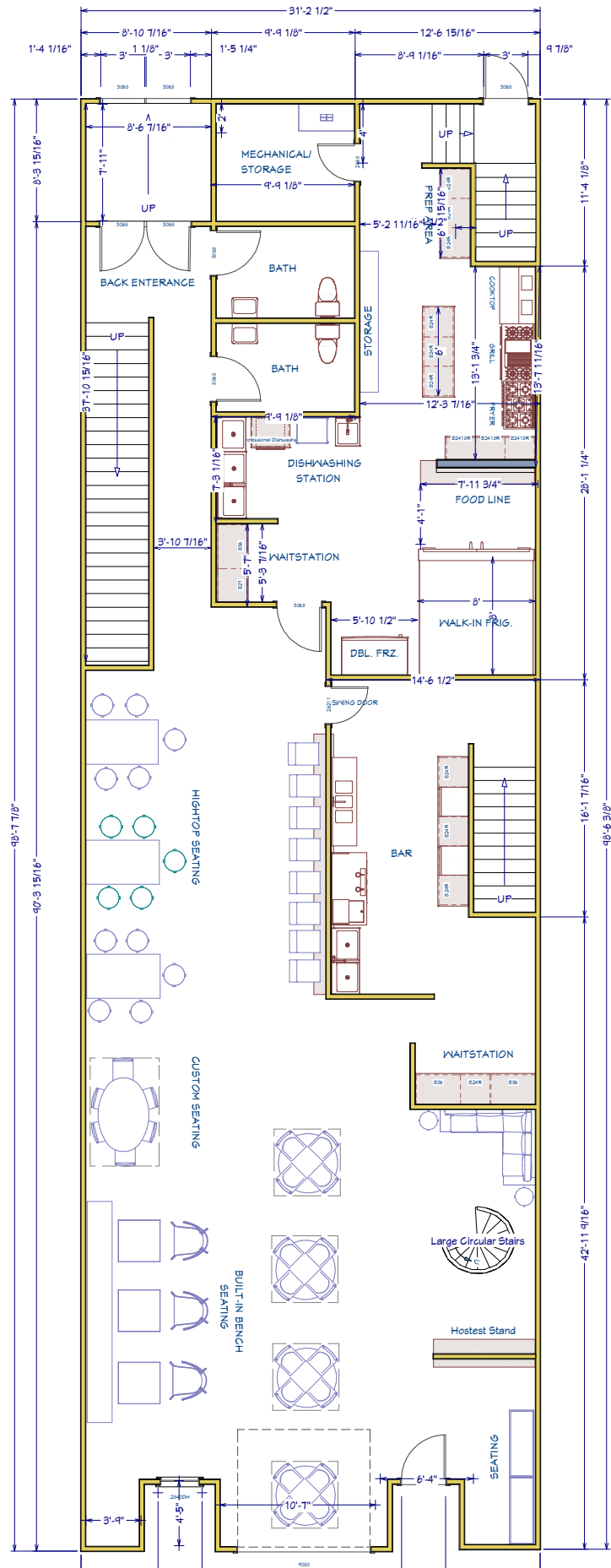
Roof Plan

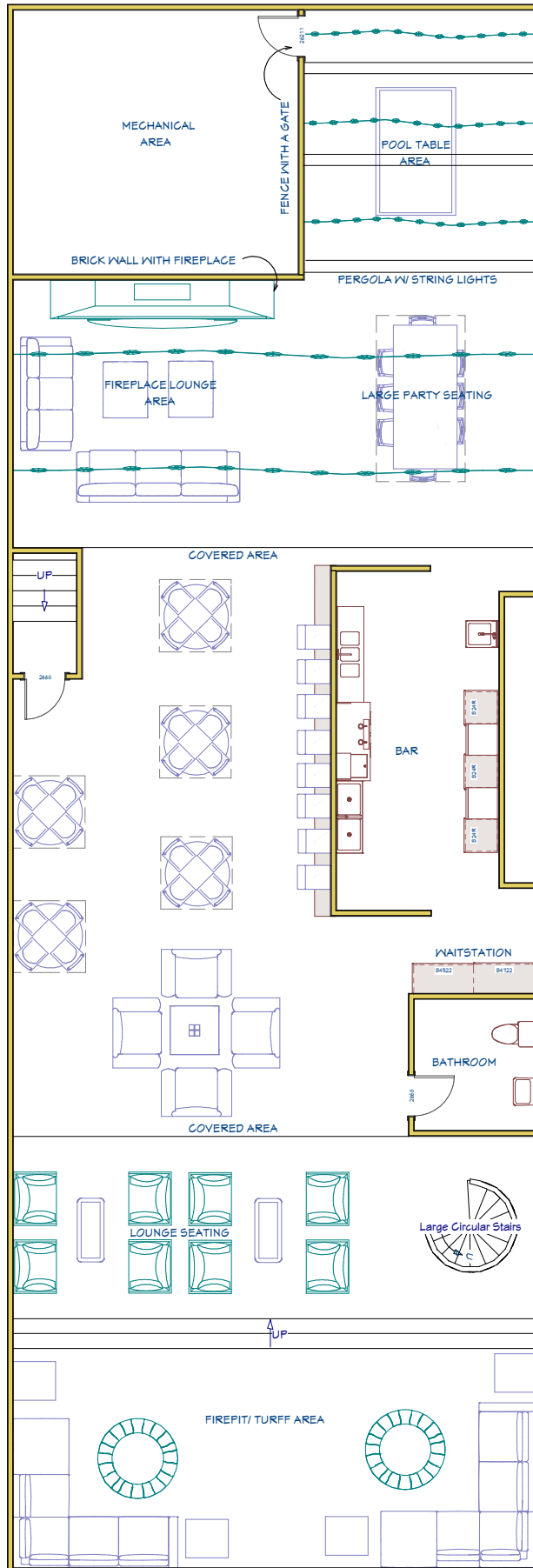
SCALE: 3/16" = 1'-0'



6" x 7" x 1/8" THICK RAISED TACTILE
PICTOGRAM REST ROOM SIGN IN
COMPLIANCE WITH 1998 ICC-ANSI-117.1
SECTION 703.6 REQUIREMENTS. STYLE
AS SELECTED BY OWNER. (1) ONE
EACH FOR THE MEN'S AND WOMEN'S
TOILET ROOM.

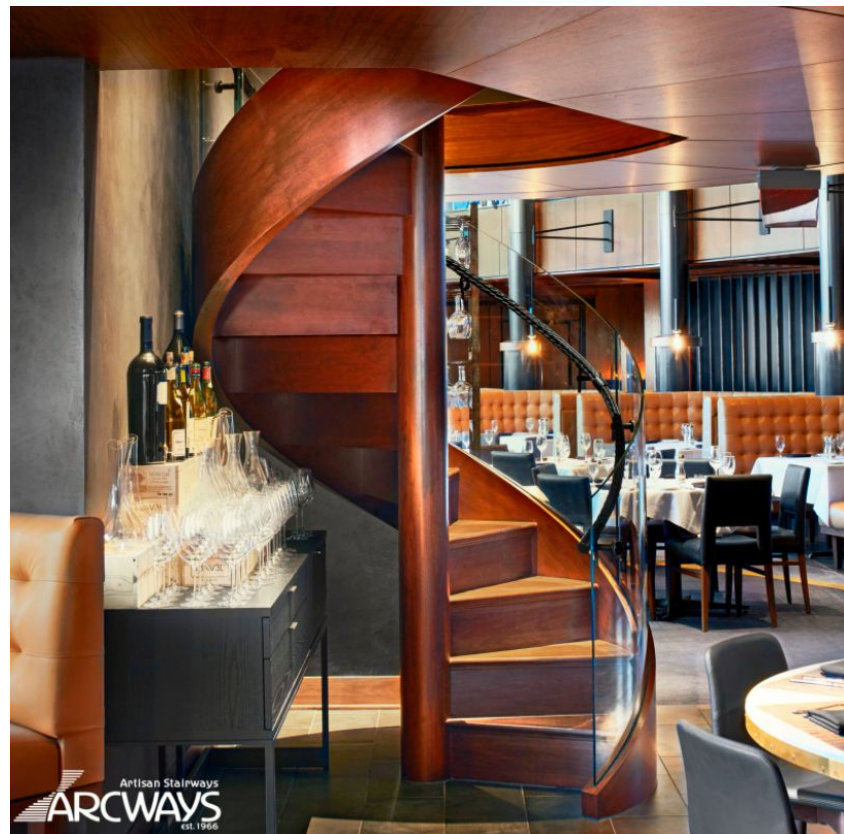
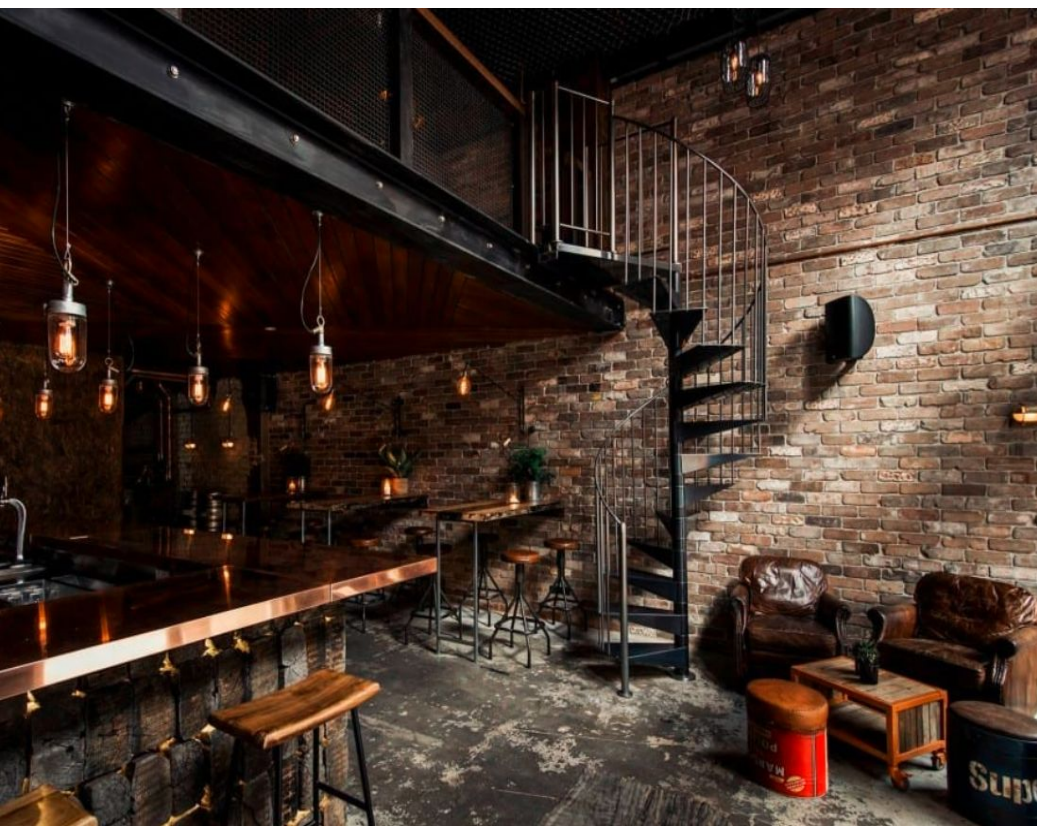
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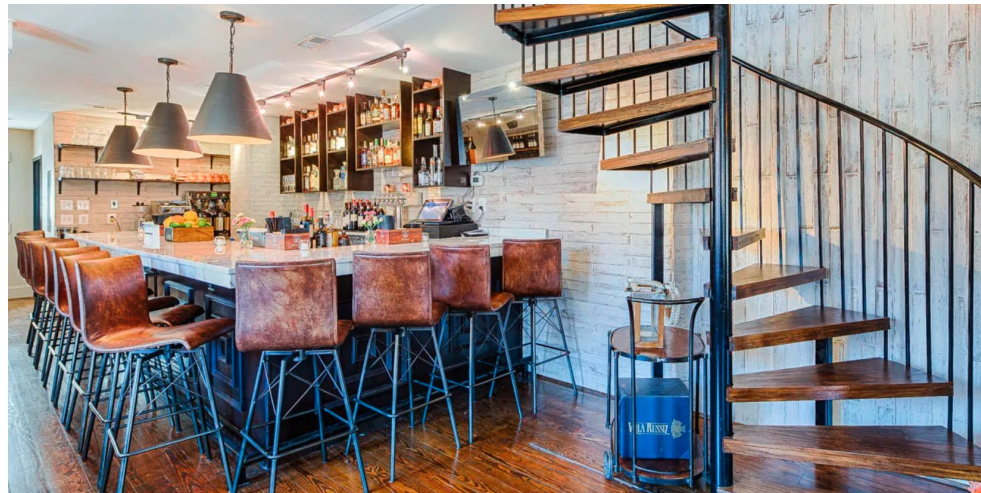




Rusted Rooster

VKB Homes

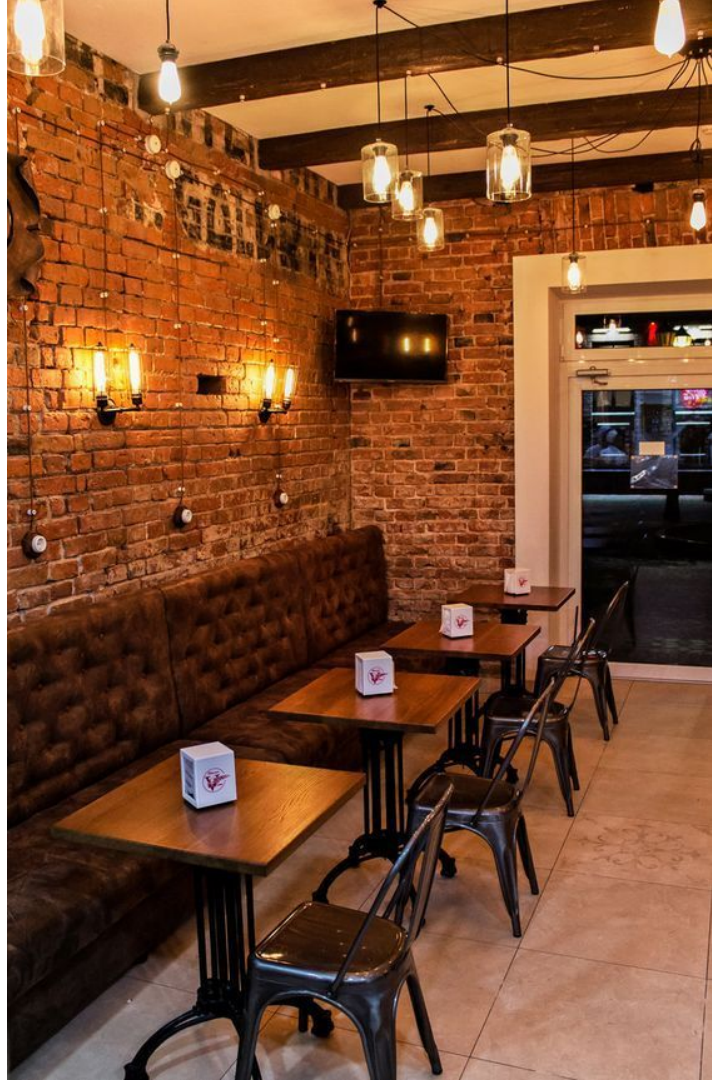


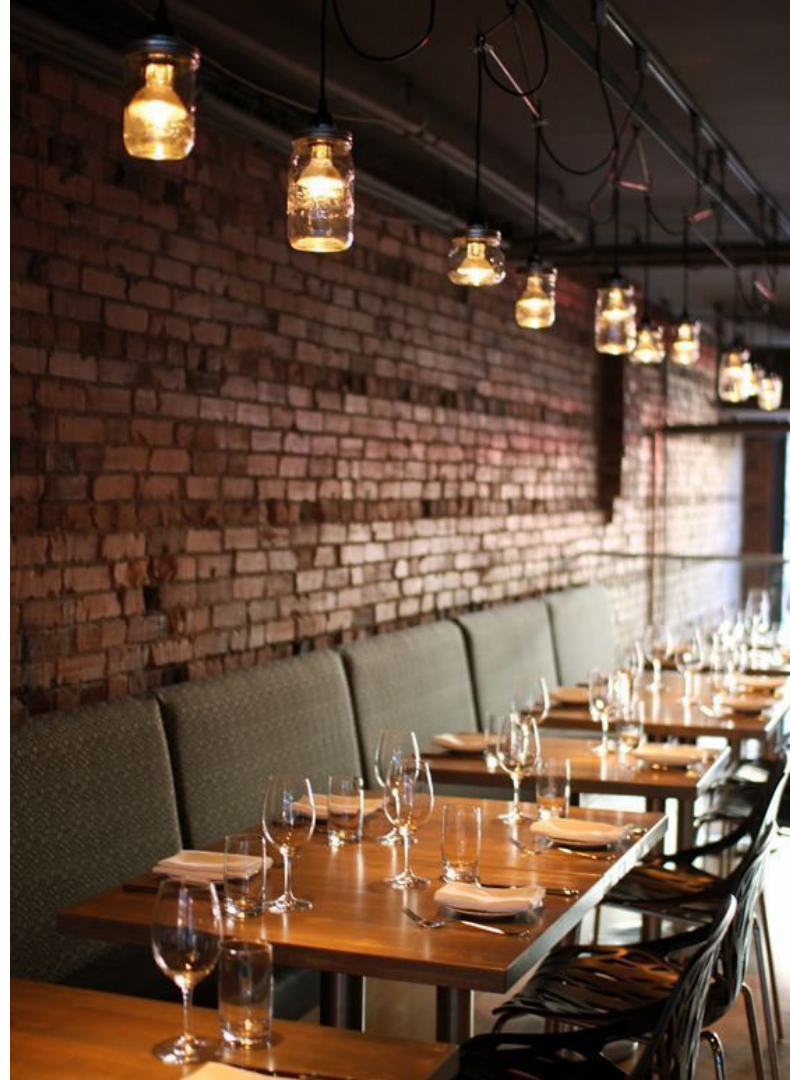
















RESTAURANT DESIGN























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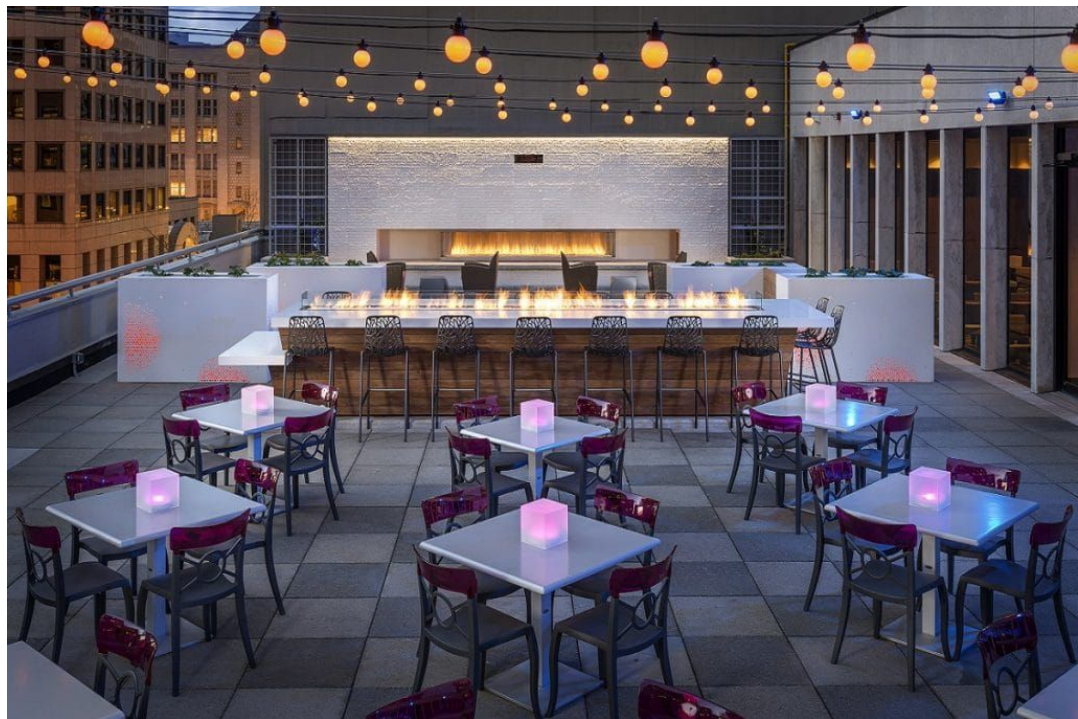
- Integrated speakers and audio jack
- Built-in camera and barcode scanner

- Built-in receipt printer



- 5" touch screen
- WiFi and 4G connectivity

- Contactless payment reader
- Pin Debit, MSR, EMV, NFC reader



























Menasha Landmarks Historic Preservation Month

Event Running From:
May 1st to June 1st.

RULES:

Answer the questions below either by writing your answers in the blank or on a separate document. Turn your answers in at City Hall (100 Main Street Menasha) or via email to jstephenson@ci.menasha.wi.us. All answers can be found using the Landmarks Website Map Application located [here](#). All correct applications will be entered to win Downtown Menasha gift cards worth up to \$100.

01

Which architectural firm designed Sand acres estate for Colonel J. Sensenbrenner?

02

Which island home sailed from Oshkosh to Menasha via Lake Winnebago?

03

How many people were killed in the 1888 waiting paper company plant explosion?

04

Which home on Broad street was recognized as the “Century Home” at the 1960 Wisconsin State fair?

05

What was developed on the Menasha Wooden Ware stave yards in 1930?

06

This landmark was filled with persian carpets, artwork and elegant furniture.

07

There was a printing press in the dining room of this landmark home.

08

The corners of this landmark building features stone quoining and balustered balconettes.

09

What landmark shares archiectural styles and features with Menasha High School?

**ENTER FOR A CHANCE TO WIN A \$100
DOWNTOWN MENASHA SHOPPING SPREE!**

Discover Historic Menasha And Win A Shopping Spree!

1



2



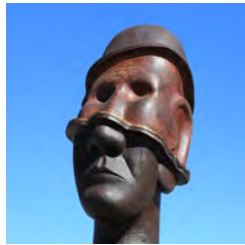
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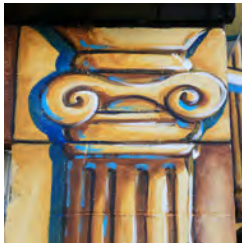
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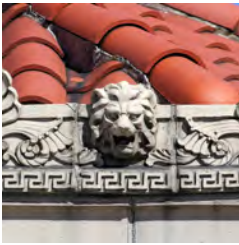
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8



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10



11



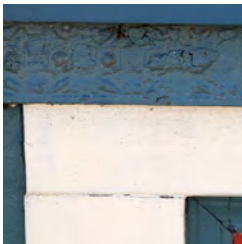
12



13



14



15



16



**Identify these architectural details and be entered for a chance to win a
Downtown Menasha shopping spree.
All completed entries will receive a coupon for a free single-scoop ice
cream cone from Lemon Loves Lime.**



Photos courtesy by: Nicholas Jevne - Menasha Historical Society



Entry forms available at

Menasha Public Library: 440 First Street

Club Liquor: 234 Main Street

Studio R: 163 Main Street

Jitters: 23 Main Street

Mihm's Charcoal Grill: 342 Chute Street

Menasha City Hall: 100 Main Street, 2nd Floor

Lemon Loves Lime: 192 Main Street

WeatherVane: 186 Main Street

Wild Apple Gallery: 210 Main Street

Your Daily Grind: 204 Main Street

Menasha Senior Center: 116 Main Street

Call 920-967-3650 for more details.

Official Rules:

1. Locate the features where the photos on the opposite side of this form were taken.
2. Enter the location and / or street address next to its matching photo number below.
3. Include your name, address and phone number where indicated.
4. ALL ENTRIES MUST BE TURNED IN BY 5:00 PM, FRIDAY, MAY 31, 2019.

Entries with the correct address and street location for all 16 photos will be entered into a drawing for a chance to win a Downtown Menasha shopping spree. Contest is open to participants of all ages.

Completed forms must be submitted to the Community Development Department located on the Second Floor, Menasha City Center, 100 Main Street, or the drop-box no later than Thursday, May 31st at 5:00pm. **For weekend or after-hours drop-off, please use the City of Menasha Drop-Box located on the center island of the Menasha City Center parking lot.**

All participants will receive a coupon for a free, single-scoop ice cream cone from Lemon Loves Lime (located at 192 Main Street). If entry form is received in the mail or after hours, the coupon will be mailed to the participant.

01. _____	09. _____
02. _____	10. _____
03. _____	11. _____
04. _____	12. _____
05. _____	13. _____
06. _____	14. _____
07. _____	15. _____
08. _____	16. _____

(Please print)

Participant Name: _____

Address: _____

City: _____ State: _____ ZIP: _____

Phone: _____ Email: _____

