

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
LANDMARKS COMMISSION
Council Chambers
140 Main Street, Menasha**

November 13, 2013

5:00 PM

AGENDA

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. [Minutes of the October 28, 2013 Landmarks Commission Meeting](#)

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA OR ANY ITEM RELATED TO THE LANDMARKS RESPONSIBILITIES OF THE LANDMARKS COMMISSION

Five (5) minute time limit for each person

E. COMMUNICATIONS

1. [Wisconsin Landmarks Newsletter – October 2013](#)

F. ACTION ITEMS

1. [Application for Façade Improvement Grant – 64 Racine Street – 206 Club](#)

G. DISCUSSION

1. [Menasha High School Site and Building Plans](#)
2. Bridge Tower Museum Update
3. [Broad Street Lot / Main Street Pedestrian Link](#)
4. Façade Improvement Program Grant/Loan Balance
5. Future Landmarks Commission Activities/Projects

H. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

I. ADJOURNMENT

*If you are not able to attend this meeting, please contact the
Community Development Department no later than the Monday prior to the meeting.*

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

CITY OF MENASHA
Special Landmarks Commission
Council Chambers, 3rd Floor, City Hall – 140 Main Street
October 28, 2013
DRAFT MINUTES

A. CALL TO ORDER

Meeting called to order by Comm. Taylor at 5:45 PM.

B. ROLL CALL/EXCUSED ABSENCES

LANDMARKS MEMBERS PRESENT: Ald. Mike Keehan, Commissioners Paul Brunette, Kristi Lynch and James Taylor.

LANDMARKS MEMBERS EXCUSED: Commissioner Peg Docter and Tom Grade.

LANDMARKS MEMBERS ABSENT:

OTHERS PRESENT: PP Homan, Jason Torres and Kristine Walsh with VIX en TORR.

C. MINUTES TO APPROVE

1. **Minutes of the October 9, 2013 Landmarks Commission Meeting**

Motion by Ald. Keehan, seconded by Comm. Brunette to approve the October 9, 2013 Landmarks Commission meeting minutes.

The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA OR ANY ITEM RELATED TO THE RESPONSIBILITIES OF THE LANDMARKS COMMISSION

1. No one spoke.

E. COMMUNICATIONS

1. **None**

F. ACTION ITEMS

1. **Sign Application – 230 Main Street – VIX en TORR**

PP Homan explained that as proposed, the signage met the minimum requirements of the city's sign code as well as the C-2 Sign Guidelines.

Mr. Torres, co-owner of VIX en TORR, a clothing boutique, provided commissioners with an overview of the sign, including location, chrome finish, dimension, and production schedule.

Commissioners had a general discussion pertaining to how much of the storefront would be occupied; how the proposed sign and store would fit with the current mix in downtown; and how the city would be able to assist in preparations for the grand opening.

Commissioner Brunette inquired about how the sign was to be affixed to the building.

Mr. Torres explained they had two options, one to affix each letter directly to the building; and another to have the letters attached to a channel.

Motion by Comm. Brunette, seconded by Ald. Keehan to approve the VIX en TORR signage application, as approved.

The motion carried.

G. DISCUSSION ITEMS

1. **None.**

H. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

I. ADJOURNMENT

Moved by Comm. Brunette, seconded by Ald. Keehan to adjourn at 6:03 PM.

The motion carried.

Respectfully submitted by PP Homan.

WISCONSIN LANDMARKS NEWSLETTER

WAHPC Members

Commissions:

Appleton
Beloit
Cedarsburg
Columbus
De Pere
Eau Claire
Evansville
Fond du Lac
Janesville
Kenosha
La Crosse County
Lake Geneva
Marshfield
Menasha
Milwaukee
Monroe
Neenah
New Berlin
Oregon
Oshkosh
Reedsburg
Richland Center
Sauk City
Stoughton
Thiensville
Viroqua
Waukesha
Waupaca
Town of Westport
Wauwatosa
West Allis
Whitewater

Individuals:

Mary Poser, *Columbus*
Bill and Lynn Weinshrott,
Fond du Lac
Judith Adler, *Janesville*
Carol Krug, *Madison*
Ruth Voss, *Marshfield*
Buddy Lucero, *River Falls*
Kathy Grace, *Winneconne*

Milton Proves to be a Perfect Location for Conference

The annual conference was held on April 27th at the Milton House in Milton. The day started with Cori Olson, director of the Milton House and a member of the Milton Historic Preservation Commission, telling of the history of the building and of the recent activities of the Commission. Milton has contracted with Carol Cartwright to complete a Historic Resources Survey for the city. Carol explained the techniques of conducting a survey and gave numerous visual examples.

A presentation was then given by Rick Bernstein, Field Services Representative, Wisconsin Historical Society, about designating local historic properties. The final session of the event was a program on legal strategies for historic preservation commissions conducted by Chip Brown, Local Government Assistance Coordinator, Wisconsin Historical Society.

As always the regional roundtable gave the attendees a chance to share stories regarding the achievements of their commissions. Barbara Ellefson and Patricia Wolfe were re-elected to serve three-year terms on the board of directors.

Tours of the Milton House, Northleaf Winery and Milton College followed the programming.

The 2013 Historic Preservation Excellence Award was presented to Cameron Aslaksen Architects for "Warehouse Row" which



Bill Weinshrott presents award to Jan Aslaksen, Dave Cameron and Richard Smith as Reedsburg commission members Monica Liegel, June Albertus and Jeanine Mueller and Reedsburg city planning administrator Brian Duvalle look on.

demonstrates creative and adaptive reuse of a historic building. When looking for space

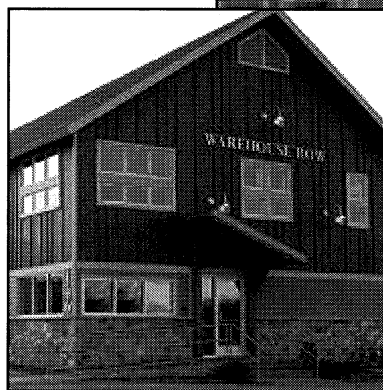
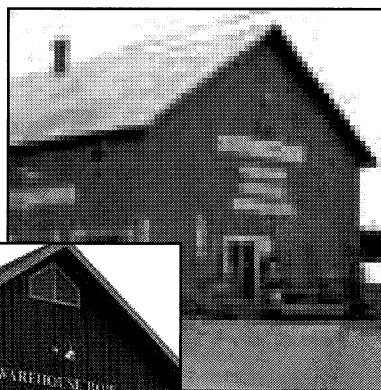
for their expanding architectural firm Jan Aslaksen, Dave Cameron and Richard Smith decided to purchase the building which was originally a seed and produce warehouse. The building is located at 146 Railroad Street and sits at the west

Before

gateway to the city's oldest industrial corridor and one block from downtown.

Design elements meld the building's history with modern sensibilities of energy efficiency and sustainability.

Loft-style openness showcases exposed, old-growth timbers. The original freight elevator was preserved as a sculptural element. The renovated warehouse offers retail and office space.



After





WAHPC Board

President/Treasurer

Kathy Grace
914 Maple Street
Winneconne, WI 54986
(920) 582-3256
gendiva@charter.net

Vice President

Peter Sorensen
281 East Merrill Ave.
Fond du Lac, WI 54935
(920) 923-0657

Secretary

John Decker
143 W. Main Street
Evansville, WI 53536
(608) 882-5528
deckercorp@charter.net

Past President

Bill Weinshrott
412 Willow Dr.
Fond du Lac, WI 54935
(920) 923-2373
wein57@hotmail.com

Director

Barbara Ellefson
PO Box 643
Beaver Dam, WI 53916
(920) 885-6334
Barbara @
absoluteonestop.com

Director

Arlan Kay
5685 Lincoln Rd.
Oregon, WI 53575
(608) 835-5882
Arlan_archnet@tds.net

Director

Patricia Wolfe
9428 W. Manitoba St.
West Allis, WI 53227
(414) 541-3930
gmawolfe@yahoo.com

Advisor

Rick Bernstein
Wisconsin Historical Society
(608) 264-6583
Rick.Bernstein@
wisconsinhistory.org

WAHPC

PO Box 166,
Winneconne, WI 54986
WAHPCmail@gmail.com

Vets and Volunteers Restore Cow Palace



The US Forest Service sponsored a pilot program this past summer to help veterans develop job skills through service learning. They teamed with HistoriCorps, a Colorado nonprofit specializing in historic building rehabilitation, the Student Conservation Association and other volunteers to train veterans in historic preservation techniques.

One of the projects chosen for the program was restoration of the Cow Palace, which is part of the Forest Lodge complex in the Chequamegon National Forest. The Forest lodge was listed on the National Register in 2002.

The Cow Palace is a one-story, vertical half log-sided building designed in the Rustic style of the early 20th Century. The

I-shaped structure consists of a concrete-floored cow milking parlor adjoined by a cream separator room on one end of the building, a machinery maintenance bay in the middle, and living quarters for about eight people on the other end. Part of the living quarters was built in the 1940s.

The work of the veterans crew at the Cow Palace involved replacing the moss-covered cedar shakes on the 7,000-square foot roof with new shakes and repairing the structure underneath where needed, restoring the three cupolas on the roof, splicing in new pieces into rotted ends of logs and replacing ship-lap boards.

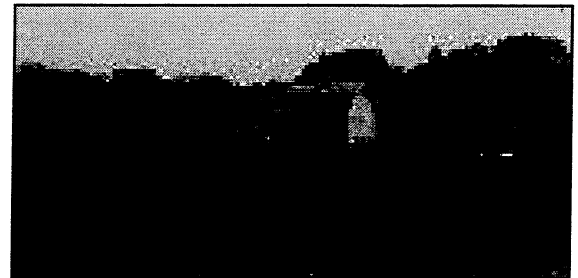
The building has lead-lined pure silica glass windows. "They're a little distorted, 6-over-6 paned windows typical of that era, almost like stained glass," said project leader Michael Salisbury. "The building is rustic, almost an Adirondack style, with stone decorative work on the foundation and rough-hewn doors.

The Veterans Historic Preservation Team consisted of seven military veterans from across the U.S. and their Student Conservation Association crew leader. They have joined 12 national forest "Passport in Time" volunteers to work on the structure.

Brookfield Residents Hope to Preserve Buildings on Ruby Farms *From Brookfield Now*

Commercial real state firm Irgens purchased the 66-acre Ruby Farms site in September with plans for a mixed-use development that could include offices, retail and residences.

A concerned group of citizens hopes Irgens will retain some of the historical buildings, which include a farmhouse, barns, a granary, a milk-processing facility and other outbuildings built in the mid-1800s. The group has sent a letter to Irgens with their concerns. "This should be the cornerstone of your development," the group's letter reads. "How many other developments



The property sits along Calhoun Road between Interstate-94 and Bluemound Road.

can boast of a gem like this nestled within its borders?"

The Ruby Farms property has been deemed potentially eligible for the National Register of Historic Places by the Wisconsin Historical Society due to its Greek Revival architecture. In 2005, the farm was named one of the state's 10 most endangered historic properties by the Wisconsin Trust for Historic Preservation.

Awards Announced Across the State

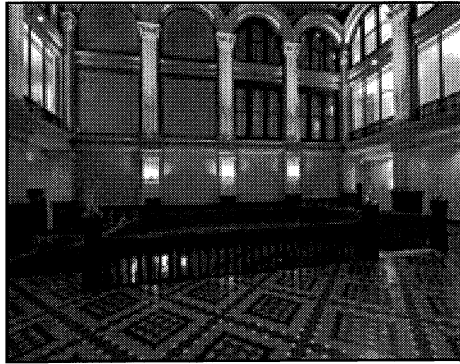
Wisconsin Historical Society has announced that the First Hospitality Group of Rosemont, Illinois has been awarded the 2013 Historic Restoration Award for the interior and exterior rehabilitation work on downtown Milwaukee's Hilton Garden Inn. The project has also received a Cream of the City award from the Milwaukee Historic Preservation Commission and the Mayor's Design Award from the City of Milwaukee.

Others receiving Cream of the City awards include:

1. Milwaukee County Parks/Recreation for restoration of the South Lion Bridge and lookout area in Lake Park. Mead & Hunt provided design engineering services and assistance during construction for this project.
2. Giuffre VIII LLC for restoration of the Milwaukee gas light company building which is now the headquarters of the Zimmerman Architectural Studios, Inc.
3. River Park Properties, LLC for restoration of the Bancroft flats.

Appleton

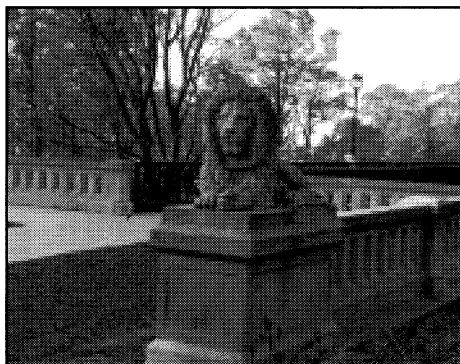
The City of Appleton Historic Preservation Commission's Historic Restoration Certificate Awards were presented to John and Karen Chavlovich for their home at 303 North Drew Street and to Erika Regennitter for her home at 832 East College Avenue. Both property owners have restored the exterior of the buildings using colors used during the time period the historical style of the buildings.



1. Interior of the Hilton Garden Inn



3. Zimmerman Architectural Studios, Milwaukee



2. Lion bridge in Lake Park



303 North Drew Street, Appleton

Kenosha

Kenosha's Historic Preservation Commission honored three recent, prominent building restoration projects.

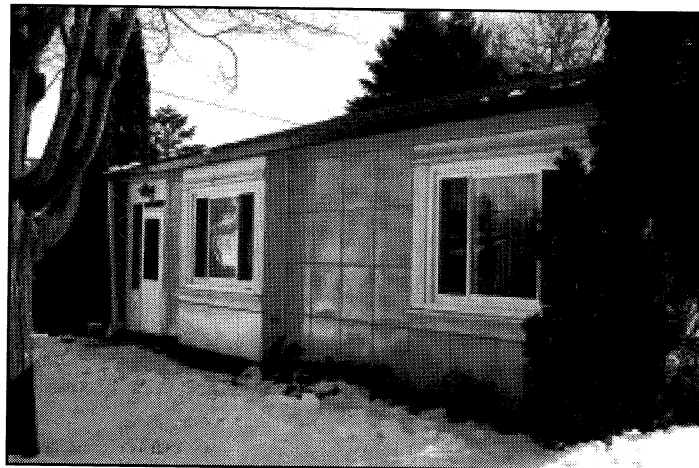
- Kenosha County Courthouse, 912 56th Street - A \$5.5 million exterior restoration included a detailed assessment and cleaning of the limestone facade, repair of mortar joints and replacement of damaged blocks, new landscaping and the installation of energy-efficient exterior lighting.
- Reuther High School, 913 57th Street - An \$8.2 million exterior restoration included a comprehensive assessment of the causes of stone movement and severe deterioration in several steel areas behind the limestone facade, particularly around cornices, parapet walls and around third-floor windows. The entire exterior was cleaned, mortar joints were repaired and damaged limestone blocks were repaired or replaced.
- Southport lighthouse keeper's residence – 5117 Fourth Avenue - The project involved the restoration of the house to its 1908-era appearance. Exterior work included replacement of windows, relocation of the rear entrance to its original location, the recreation of a long-gone front porch, plus brick replacement and cleaning. Interior work involved re-plastering of walls and ceilings and refinishing of floors and stairways.

Note: If your preservation/landmark commission presents awards please send the information, with a photograph to Kathy Grace at wahpcmail@gmail.com and they will be highlighted in a future issue of this newsletter.

Lustron Homes Built to Last

American veterans returning from WW II battlefields were faced with a critical shortage of affordable housing. Carl G. Strandlund, an executive with Chicago Vitreous Enamel Products, saw an opportunity to use the porcelain-enameled steel panels popular for filling stations to create mass-produced steel houses.

Strandlund hired two Chicago architects to create several 1,025-square-foot, two-bedroom, ranch-style prototypes. Consumer appeal came from the homes' openness and flexibility, and they featured postwar innovations for comfort and convenience, including an efficient heating system and built-in storage in the form of kitchen cabinets, bookshelves, china closet and a bedroom vanity. Certain models also boasted a combination dishwasher-washing machine dubbed the "Automagic." Structurally, a Lustron house consisted of two-foot-square enameled-steel panels bolted to and covering a steel framework set on a concrete slab. The interior panels were even embossed to resemble wood graining. In promotional material, Lustron boasted of its homes being nearly maintenance-free, with a roof that never needed new shingles, walls that never needed painting, and a steel structure that was impervious to fire, lightning, rust and rodents.



Lustron home in Marshall, Wisconsin

Originally priced at about \$10,000, not counting the lot, Lustron homes were assembled by various builders from pieces made in the former Lustron factory in Columbus, Ohio, and shipped by flatbed truck to building sites. They took about 350 hours to assemble.

Buffeted by problems including an erratic post-war steel supply, reportedly poor distribution systems, higher prices than existing fabricated homes and resistance from traditional builders, Lustron filed for bankruptcy in 1950, long before most of the 20,000 orders for homes it had taken between 1946 and 1948 could be filled. Before the end, nearly 2,500 homes were sold. Many still stand throughout the country.

Historic Preservation Institute Receives Gift

David and Julia Uehlein have donated \$500,000 to the University of Wisconsin-Milwaukee's School of Architecture and Urban Planning to support the Historic Preservation Institute. The Institute, which is housed within the school, is dedicated to the preservation and adaptive reuse of historic buildings and environments. It gives students the chance to gain hands-on experience in the field of preservation. The gift will help fund a graduate level historic preservation design studio, which will focus on the challenges of retaining key historic buildings and neighborhoods in Milwaukee as well as other projects of importance in Milwaukee.

Matt Jarosz, director of the Institute, commented "This grant will significantly elevate our educational resources. The city of Milwaukee will serve as our laboratory of study in building documentation, historic research, re-use design proposals, and studies in the economics of heritage retention."

Very Brief Notes

Strong support is being voiced by municipalities and organizations for State Bill 132 which would increase historic preservation tax credits to 20 percent.

Milton and New Holstein showcased their recently completed Historic Surveys to the public. These surveys were completed through grants from the federal government received because of these communities status as a Certified Local Government.

Gorman & Company of Oregon won an award from the National Housing & Rehabilitation Association in the category of Best Commercial/Retail/Non-Residential Project for their work on the old Pabst Brewery and the creation of the Brewhouse Inns & Suites.

Wisconsin Association of Historic Preservation Commissions Membership

If you are interested in History it's time to take the next step and become a member of Wisconsin Association of Historic Preservation Commissions. Join a vibrant community that enjoys, and takes pride in Wisconsin history. Help to ensure that we continue to support preservation for generations to come.

Please check one:

- ☐ Commission membership \$40.00
Please include a copy of commission members name, address, phone and e-mails.
- ☐ Individuals and Groups \$25.00

Send this form with check payable to WAHPC to:
WAHPC, PO Box 166, Winneconne, WI 54986

2013 Membership Form *(please print clearly)*

commission name _____

contact person name _____

address _____

city _____ state _____ zip _____

phone _____ email _____

web address _____

Ringling Mansion Sold *From Baraboo New Republic*

The Albrecht C. Ringling House, added to the National Register in 1976, has been sold to two circus professionals and a New York businessman. Joe Colossa, a trainmaster with Ringling Bros. circus, and his wife Carmen, a circus motorcycle performer, have jointly purchased the mansion, located at 623 Broadway, Baraboo, along with Donald G. Horowitz, owner of the New York-based Wittendale's Florist and Greenhouse. Their goal is to transform the mansion into a museum and tribute to the Ringling family. That eventually will mean restoring the interior of the home to its 1910 appearance. Within two years the hope is also to use the museum as a bed and breakfast.

Al and Lou Ringling built the mansion in 1905. The Baraboo Elks Club, which acquired the property in 1936 and has since used it as its headquarters, sold the facility for an up-front payment of \$250,000. As part of the deal, the Elks will have a 10-year lease valued at \$180,000 on the mansion's lower level. The mansion had become a financial burden for the Elks, who spent \$87,000 on roof repairs about two years ago. The service club also has deferred a number of much-needed maintenance projects, including electrical and plumbing repairs, in recent years.



The facility is open for tours by appointment. To schedule a tour call (608) 448-7455.



Wisconsin Association of
Historic Preservation Commissions
PO Box 166, Winneconne, WI 54986



Contributors

Writer and editor:

Kathy Grace: gendiva@charter.net

Graphic designer:

Beth Sever: bsevermn@gmail.com

Have a Story to Tell?

Has your commission experienced a recent success or disappointment? Do you have any story to share from your experience? The Wisconsin Landmarks Newsletter is always looking for contributions or ideas for stories from our readers. Contact Kathy Grace at 920-582-3256 or at wahpcmail@gmail.com.

Wisconsin Landmarks Newsletter is published quarterly to inform and update local preservation/landmark commissions and individuals on recent topics in preservation and upcoming events.

Wisconsin Association of Historic
Preservation Commissions
PO Box 166,
Winneconne, WI 54986
WAHPCmail@gmail.com



Upcoming Events

7th Annual Local History and Preservation Conference

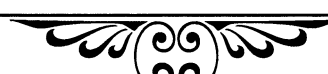
Wisconsin Historical Society and the
Wisconsin Council for Local History present

The 7th Annual Local History and Historic Preservation Conference

Wisconsin Rapids
Hotel Mead & Conference Center
October 11-12, 2013
Section 106: an introduction

A Seminar from the National Preservation Institute in cooperation with the Wisconsin Historical Society

November 6-8, 2013
Madison, WI
<http://www.npi.org/sem-106i.html>





Application for Grant or Loan

Date: 4 OCT. 2013 Property Address: 64 RACHINE ST., MENASHA

Applicant's name: 206 Club Owner or Renter? Owner

Mailing Address if different than Property Address: _____

City: Menasha State: Wisconsin Zip: 54952

Daytime Phone: 920-725-5699 Evening Phone: SAME E-mail: sad2728@hotmail.com

Description of planned improvement: REPLACE LOWER FRONT WINDOWS & DOOR
WITH MODERN THERMO-PANES. ALSO ADD AN 'ATTACHED,
REAR, GROUND LEVEL PORCH ROOF TO PROTECT
CUSTOMERS & MEMBERS FROM THE WEATHER. (SEE ATTACHMENT)

Note: Please attach all available bids, proposals and estimates for the planned improvement including a material lists, material brochures, samples and photos. A scale drawing is recommended or may be required by the Commission.

List all contractors, sub contractors and material suppliers TRI-CITY GLASS & DOOR (APPLETON), OMNI
GLASS & PAINT (OSHKOSH)
MENARD'S (APPLETON) - BUILDING SUPPLIES

Estimated Total Cost: \$ 7305.⁰⁰ Estimated Start Date: 1 NOV. 2013 Estimated Completion Date: 30 NOV. 2013

Total amount being requested from the Landmarks Commission: \$ ~~7305.⁰⁰~~ Grant or Loan? GRANT
\$3650.⁰⁰

Terms and Conditions:

1. The landmarks Commission reserves the right, in its sole discretion, to approve or deny any request for grants or loans, in whole or in part, or to conditional approval and/or payment of said grant or loan upon such terms as it deems appropriate. No grant or denial of any prior requests shall constitute precedent for the grant or denial of any subsequent request.
2. Every request shall comply with the Improvement Grant/Loan Policies stated on the back of this form which are incorporated herein by reference.
3. Payment shall only be made for those improvements approved by the landmarks Commission prior to or contemporaneous with the contribution request.
4. Payment shall only be made upon submission of actual invoices for labor or material and only for work that is performed in compliance with all applicable state, county and municipal code provisions and with required permits. Completion of work shall be verified by the Director of Community Development.

TO WHOM IT MAY CONCERN;

IT IS FELT, BY MEMBERS OF THE
BOARD OF THE '206 CLUB', THAT A
'REAR PORCH' ROOF, WOULD GREATLY
IMPROVE CONDITIONS FOR OUR
ELDERLY AND DISABLED MEMBERS,
CUSTOMER'S TOO! WE HAVE SEVERAL
WHO REQUIRE THE ASSISTANCE OF
WALKERS & CAINS.

THANK YOU VERY MUCH

PORCH ROOF DESIGNER,
DRAFTMAN & MODEL MAKER

Kirby D. Bonnin

KIRBY D. BONNIN



AUTOMOTIVE • RESIDENTIAL • COMMERCIAL
The Right Product. The Right Way.®

**A Minority Owned &
Operated Business**

2001 N. KOENIG RD.
Appleton, WI 54911
920.734.9164
800.449.8081
f 920.734.1096

□ 1811 E. Mason St.
Green Bay, WI 54302
920.468.7820
800.242.8177
f 920.468.5337

Proposal

Replying to subject inquiry, we are pleased to quote as follows; and unless otherwise agreed in writing, the conditions constitute a part of this quotation.

206 Club

10/02/2013

Attn: Kirby Brown

Re: *Storefront Windows*

Terms: Net 30 days, 1% interest per month on unpaid balances.

We propose to **remove** existing glass and aluminum storefront windows.
Furnish and install bronze aluminum thermally broken fixed storefront windows.

- All exterior glazed with 1" clear Low-E insulated glass, tempered where required.
- Includes sealants at our work.
- All per attached sketches.

Sum of \$5,685.00, Tax Included

Add \$1,840.00 to *furnish and install* new full glass and aluminum entrance with standard hardware.

If you have any questions please call me at 920-734-9164, or email. Thank You!

BILL VANDENHEUVEL,
COMMERCIAL DEPT. MNGR/ESTIMATOR, TRI CITY GLASS & DOOR, INC.
EMAIL: billvh@tricityglass-door.com
BVH;cvh

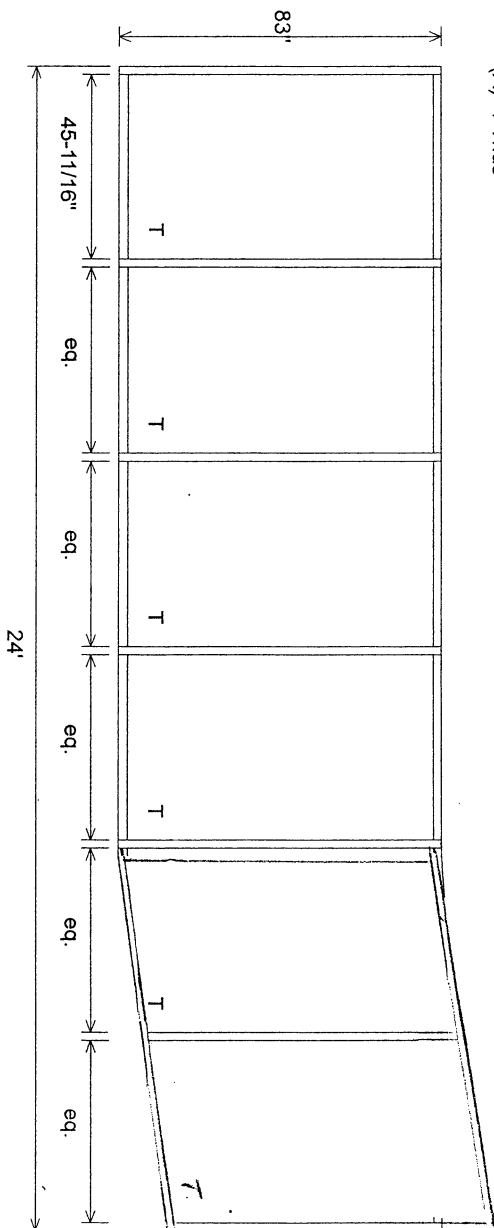
Acceptance of this proposal by Buyer shall be acceptance of all terms and conditions recited herein which shall supersede any conflicting term in any other contract document. Any of the Buyer's terms and conditions in addition or different from this proposal are objected to and shall have no effect. Buyer's agreement herewith shall be evidenced by Buyer's signature hereon or by permitting Seller to commence work for project.

As required by the Wisconsin Construction Lien Law, builder hereby notifies owner that persons or companies furnishing labor or materials for the construction on owner's land may have lien rights on owner's land and buildings if not paid. Those entitled to lien rights, in addition to the above signed builder, are those who contract directly with the owner or those who give the owner notice within 60 days after they first furnish labor or materials for the construction. Accordingly, owner probably will receive notices from those who furnish labor or materials for the construction, and should give a copy of each notice received to his mortgage lender, if any. Builder agrees to cooperate with the owner and his lender, if any, to see that all potential lien claimants are duly paid.

Date of Acceptance: _____

Signature: _____

(A) 1 Thus



Job #106 - KIRBY BROWN - 206 CLUB - MENASHA

TriCity Glass & Door
2801 N. Roemer Road
Appleton, WI 54911
Ph. 920-734-9164
Fax 920-734-1096

EXCEPTIONS – IMPORTANT – PLEASE READ!

Our quotation is based upon the use of your cranes, hoists, and/or elevators to place materials on floors, and use of all jobsite utilities, without charge to Omni Glass & Paint, Inc.

OUR PROPOSAL DOES NOT INCLUDE THE FOLLOWING:

- Dumpster or disposal fees.
- Cleaning or washing of any glass, aluminum or other items covered in this proposal, protection of same after installation, and replacement or repair of material damaged by others.
- Furnishing or installation of any wood, masonry, steel, subframes, blocking, etc., required for the subsequent installation of our materials, or the installation of any electrical, heating, plumbing, or other work which may be required, except as noted in our quotation.
- Barricades of all sorts against weather, pilferage, or for other reasons.
- Any temporary enclosures, whether or not they are due to window manufacturer's delivery.
- Back charges for any services not specifically previously agreed to in writing, and/or back charges of any nature for delays to the project caused by conditions beyond our control.
- Special shifts or overtime unless agreed to in writing.

OTHER CONDITIONS:

- Any work done on owner's glass will be done at owner's risk.
- It is understood that if you use your own contract form, the conditions of the quotation fully apply, unless specifically written out and mutually agreed upon.
- Delivery to jobsite is understood to be transported to jobsite only, not unloaded, or spotted.
- Any warranty on materials, expressed or implied, is from the manufacturer only.
- Seller warranties labor for one year from date of installation.
- Any work done on owner's existing window sash, framing, trim and stops, will be done at owner's risk. Seller assumes no responsibility for damage of above.

TERMS

- Payments are due 30 days after invoice.
- Past due accounts subject to interest charge of 1-1/2%, per month (annual rate of 18%).
- Seller reserves right to stop work or delivery whenever an account is in arrears, without recourse by affected parties.

Retainages (when allowed) are due immediately upon receipt from owner.

WARRANTY

- Omni Glass & Paint, Inc. warranties its labor for one (1) year from date work completed.
- All materials used are under warranty by the manufacturer. Warranties may vary by manufacturer. Omni Glass & Paint, Inc. does not warranty materials.

Accepted _____

OMNI GLASS & PAINT, INC.

Date _____

By _____

EXCEPTIONS – IMPORTANT – PLEASE READ!

Our quotation is based upon the use of your cranes, hoists, and/or elevators to place materials on floors, and use of all jobsite utilities, without charge to Omni Glass & Paint, Inc.

OUR PROPOSAL DOES NOT INCLUDE THE FOLLOWING:

- Dumpster or disposal fees.
- Cleaning or washing of any glass, aluminum or other items covered in this proposal, protection of same after installation, and replacement or repair of material damaged by others.
- Furnishing or installation of any wood, masonry, steel, subframes, blocking, etc., required for the subsequent installation of our materials, or the installation of any electrical, heating, plumbing, or other work which may be required, except as noted in our quotation.
- Barricades of all sorts against weather, pilferage, or for other reasons.
- Any temporary enclosures, whether or not they are due to window manufacturer's delivery.
- Back charges for any services not specifically previously agreed to in writing, and/or back charges of any nature for delays to the project caused by conditions beyond our control.
- Special shifts or overtime unless agreed to in writing.

OTHER CONDITIONS:

- Any work done on owner's glass will be done at owner's risk.
- It is understood that if you use your own contract form, the conditions of the quotation fully apply, unless specifically written out and mutually agreed upon.
- Delivery to jobsite is understood to be transported to jobsite only, not unloaded, or spotted.
- Any warranty on materials, expressed or implied, is from the manufacturer only.
- Seller warranties labor for one year from date of installation.
- Any work done on owner's existing window sash, framing, trim and stops, will be done at owner's risk. Seller assumes no responsibility for damage of above.

TERMS

- Payments are due 30 days after invoice.
 - Past due accounts subject to interest charge of 1-1/2%, per month (annual rate of 18%).
 - Seller reserves right to stop work or delivery whenever an account is in arrears, without recourse by affected parties.
- Retainages (when allowed) are due immediately upon receipt from owner.

WARRANTY

- Omni Glass & Paint, Inc. warranties its labor for one (1) year from date work completed.
- All materials used are under warranty by the manufacturer. Warranties may vary by manufacturer. Omni Glass & Paint, Inc. does not warranty materials.

Accepted _____

OMNI GLASS & PAINT, INC.

Date _____

By _____

190, 350 and 500 Standard Entrances

Single Source
Packages
Generate Versatile
First Impressions

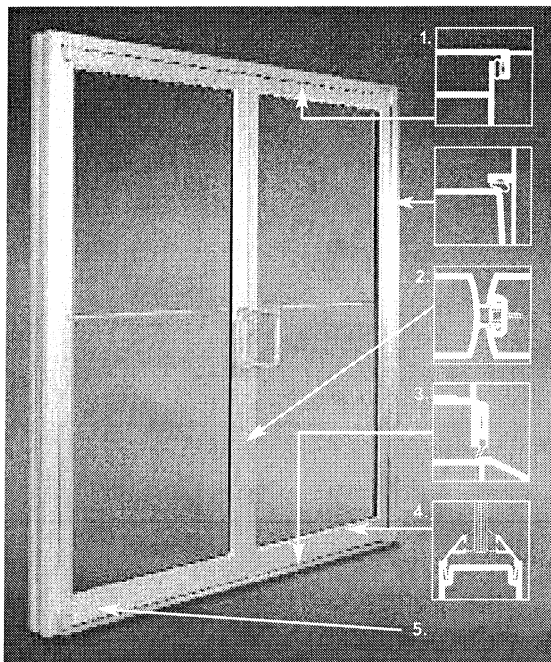
206 Club--Menasha
Attn: Kirby Bonnin

Garland Special Events Center, Garland, TX
Architect: HKS, Inc., Dallas, TX
Glazing Contractor: B & B Glass, Inc., Dallas, TX

Tough yet attractive, the clean lines of Kawneer's Standard Entrances are designed as a single-source package of door, door frame and hardware that is easily adaptable to custom requirements. Designed to complement new or remodel construction, modern or traditional architecture, they are engineered, constructed and tested to make good first impressions while withstanding the rigors of constant use by occupants and visitors.

Performance

To resist both lever arm and torsion forces that constantly act on any door, all three entrances feature welded corner construction with Sigma deep penetration and fillet welds plus mechanical fastenings at each corner – a total of 16 welds per door. Each door corner comes with a Limited Lifetime Warranty, good for the life of the door under normal use operation. It is transferable from building owner to owner and is in addition to the standard two-year warranty covering material and workmanship of each Kawneer Door.



1. Thermoplastic elastomer weatherstrip in blade-stop of frame jambs, header or transom bar.
2. Integral polymeric fin is attached to adjustable astragal creating an air barrier between pairs of doors.
3. Optional surface-applied bottom weatherstrip with flexible blade gasket. Extruded raised lip on threshold to provide a continuous contact surface for bottom weatherstrip.
4. Standard 1/4" beveled glass stops sheet water and dirt off without leaving residue.
5. Available in all finishes offered by Kawneer.

The 190 Narrow Stile Entrance

- Is engineered for moderate traffic in applications such as stores, offices and apartment buildings
- Vertical stile measures 2-1/8"; top rail 2-1/4" and bottom rail 3-7/8"
- Results in a slim look that meets virtually all construction requirements

The 350 Medium Stile Entrance

- Provides extra strength for applications such as schools, institutions and other high traffic applications
- Vertical stiles and top rails measure 3-1/2"
- Bottom rail measures 6-1/2" for extra durability

The 500 Wide Stile Entrance

- Creates a monumental visual statement for applications such as banks, libraries and public buildings
- Vertical stiles and top rail are 5"; bottom rail measures 6-1/2"
- Results in superior strength for buildings experiencing heavy traffic conditions

Economy

Kawneer's Sealair® bulb neoprene weatherstripping forms a positive seal around the door frame and provides a substantial reduction in air infiltration, resulting in improved comfort and economies in heating and cooling costs. The system is wear and temperature-resistant and replaces conventional weathering. Bottom weatherstrip at the interior contains a flexible blade gasket to meet and contact the threshold, enhancing the air and water infiltration performance characteristics.

For the Finishing Touch

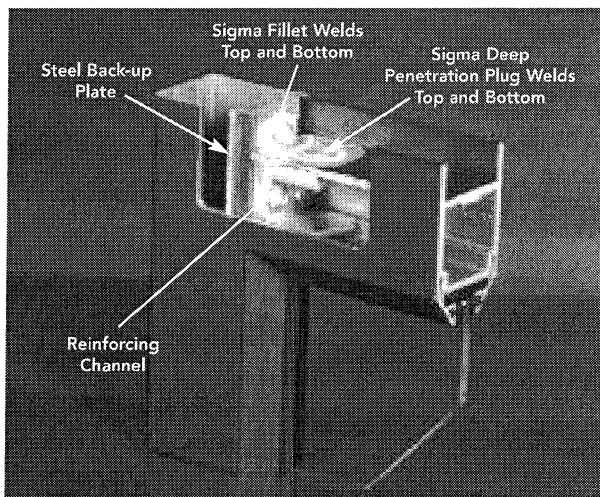
Permanodic® Anodized finishes are available in Class I and Class II in seven different colors.

Painted Finishes, including fluoropolymer that meet or exceed AAMA 2605, are offered in many standard choices and an unlimited number of specially-designed colors.

Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

General

- Heights vary to 10'; widths range from approximately 3' to 4'
- Door frame face widths range to a maximum of 4", while depths range to 6"
- Door operation is single or double-acting with maximum security locks or Touch Bar Panics standard
- Architect's Classic one inch round, bent bar push/pull hardware is available in various finishes and sizes
- Infills range from under 1/4" to more than 1"



Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770 . 449 . 5555

KAWNEER
AN ALCOA COMPANY



Features

- 190 narrow stile has 2-1/8" vertical stile, 2-1/4" top and 3-7/8" bottom rail
- 350 medium stile has 3-1/2" vertical stile, 3-1/2" top and 6-1/2" bottom rail
- 500 wide stile has 5" vertical stile, 5" top and 6-1/2" bottom rail
- Door is 1-3/4" deep
- Dual moment welded corner construction
- Single or double acting
- Offset pivots, butt hinges, continuous geared hinge or center pivots
- Surface mounted or concealed closers
- MS locks or panic hardware
- Architects Classic push/pulls
- Infills range from 1/4" to 1"
- Adjustable astragal utilizing pile weathering with polymeric fin at meeting stiles
- Sealair® bulb polymeric weatherstripping in door frames
- Permanodic® anodized finishes in 7 choices
- Painted finishes in standard and custom choices

Optional Features

- Numerous push/pull finishes
- Paneline® exit device or Paneline® EL exit device
- Wide variety of bottom rail, cross rail and muntins

Product Applications

- 190 narrow stile - engineered for moderate traffic in applications such as offices, stores and apartment buildings
- 350 medium stile - provides extra strength for schools, institutions and other high traffic applications
- 500 wide stile - creates a monumental visual statement for banks, libraries or buildings that experience heavy traffic conditions

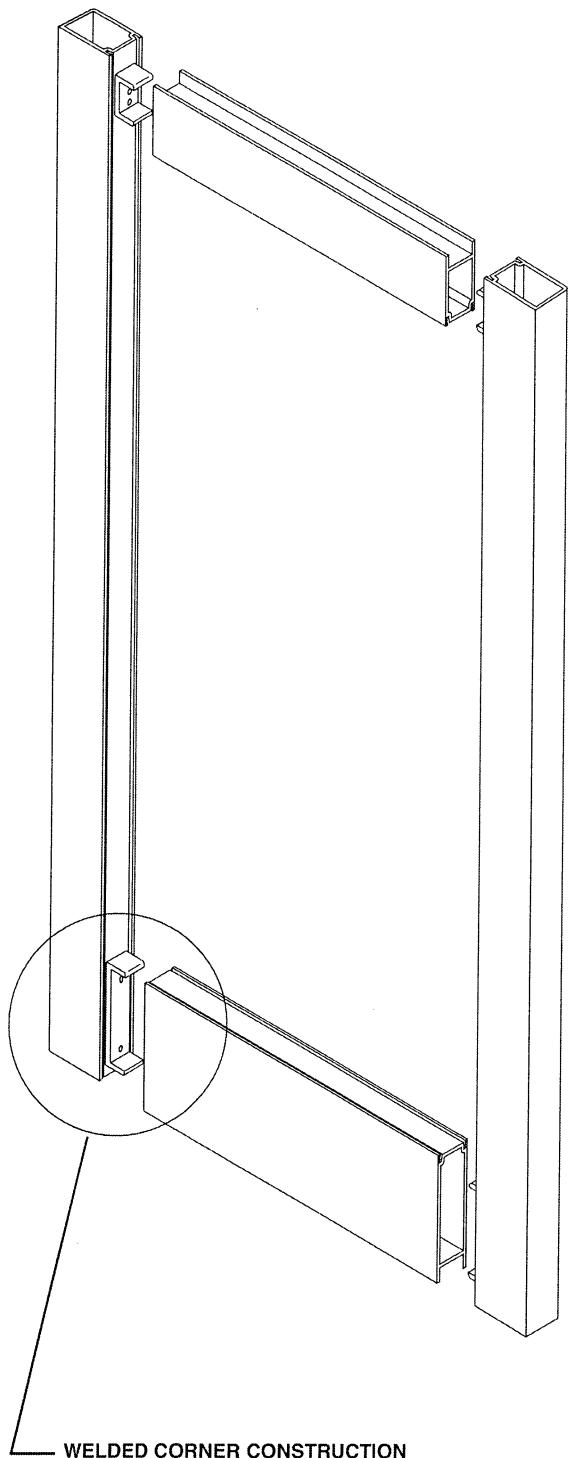
For specific product applications,
Consult your Kawneer representative.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

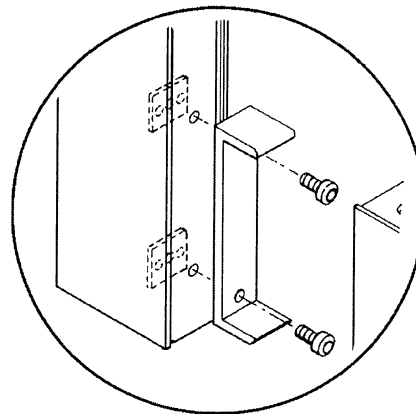
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

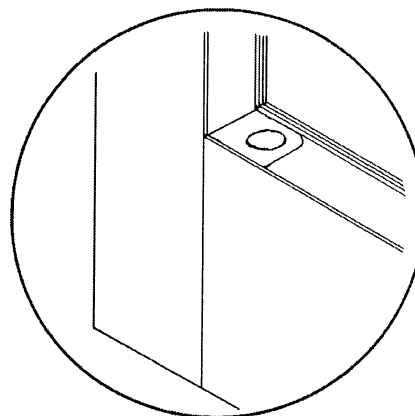
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012



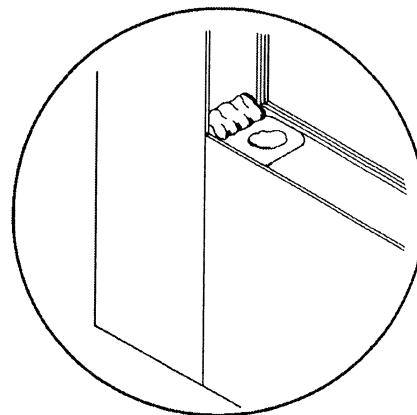
WELDED CORNER CONSTRUCTION



#1 MECHANICAL FASTENING is accomplished by attaching a 5/16" (7.9) thick extruded aluminum channel clip to the vertical stile with 1/4"-20 heat strengthened bolts and 3/16" thick steel nut plates for a high strength welding base for attachment horizontal member.



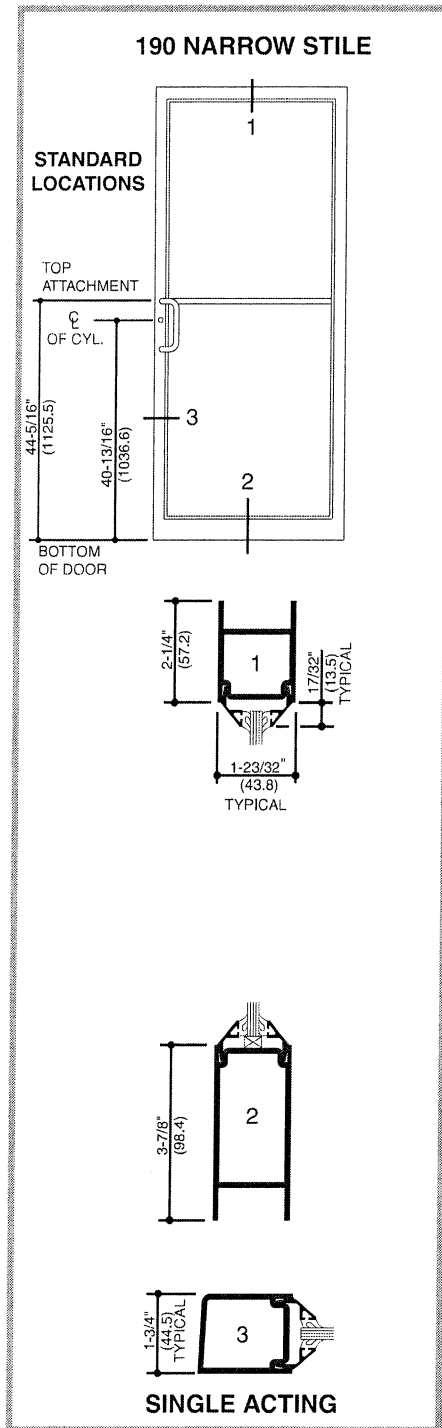
#2 SIGMA* DEEP PENETRATION PLUG WELDS are made top and bottom after the horizontal is properly positioned over the channel clip to help provide the strongest door corner joint currently available.



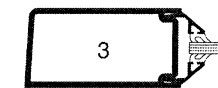
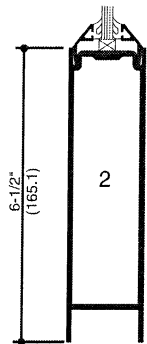
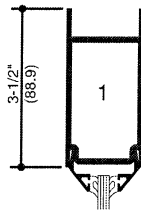
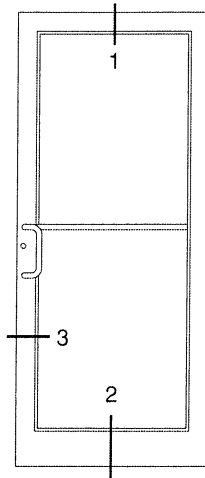
#3 SIGMA* FILLET WELDS along both top and bottom webs of the rail extrusion complete the welded corner construction.

* An arc welding process known as Shielded Inert Gas Metal Arc (SIGMA) or also known as Metal Inert Gas (MIG).

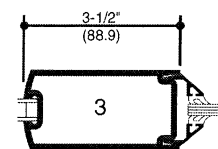
SCALE 3" = 1' 0"



350 MEDIUM STILE

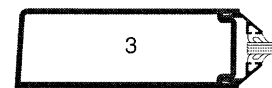
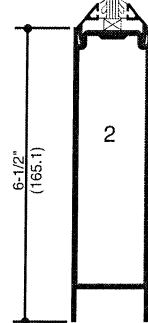
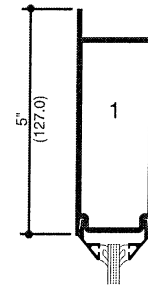
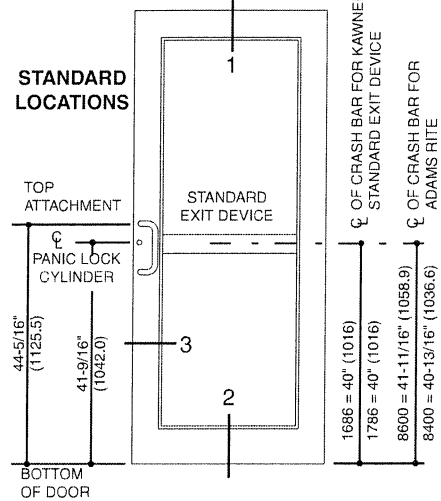


SINGLE ACTING

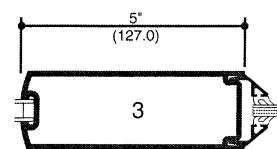


DOUBLE ACTING

500 WIDE STILE



SINGLE ACTING



DOUBLE ACTING

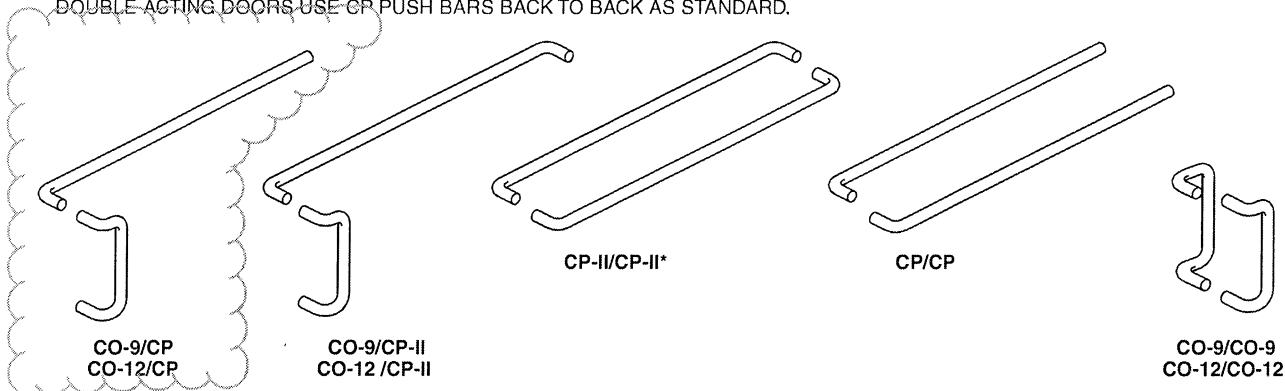
Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

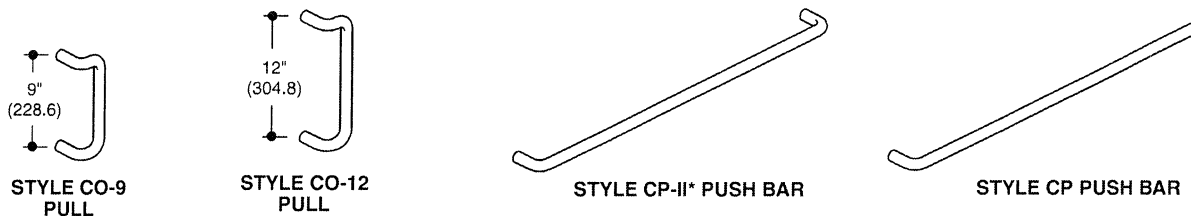
REFER TO **HARDWARE SECTION** FOR COMPLETE HARDWARE INFORMATION.

ARCHITECTS CLASSIC (PUSH PULL SETS)

SINGLE ACTING DOORS USE A PULL HANDLE AND PUSH BAR AS STANDARD
DOUBLE ACTING DOORS USE CP PUSH BARS BACK TO BACK AS STANDARD.



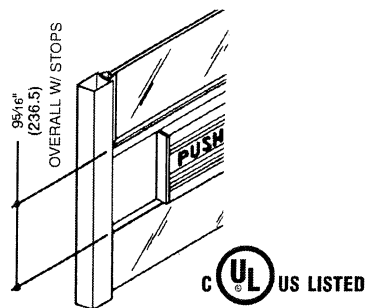
ARCHITECTS CLASSIC (COMPONENTS)



* CP-II PUSH BAR IS NOT TO BE USED FOR BACK TO BACK MOUNTING ON D/A DOORS.

EXIT DEVICES

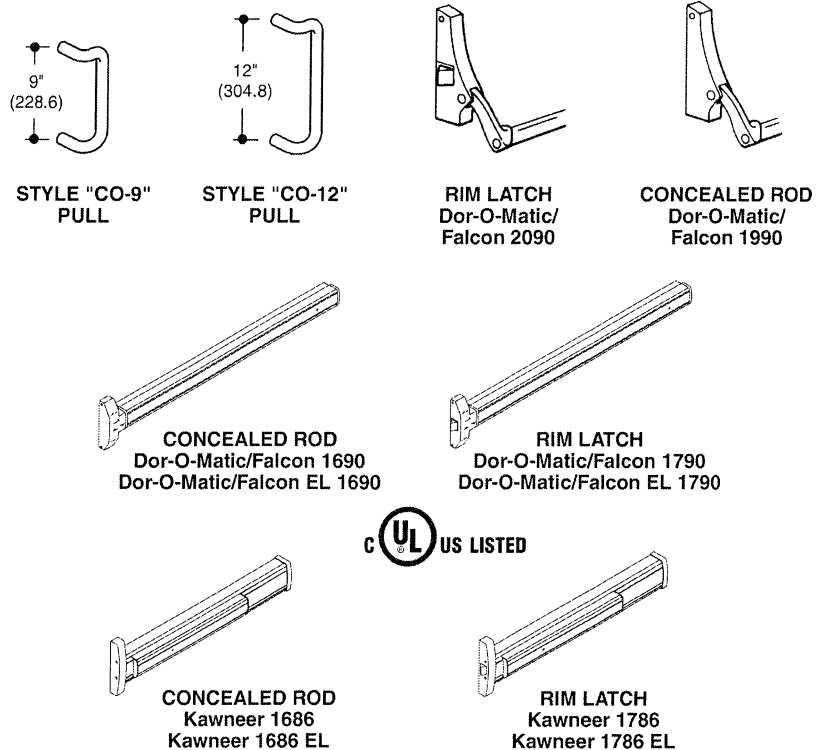
KAWNEER PANELINE® / PANELINE® EL



EXTERIOR VIEW OF 190 DOOR (350/500 SIMILAR)
"CPN" PULL AND OPTIONAL CYLINDER GUARD SHOWN.

SEE PAGE 13 FOR COMPLETE PANELINE® INFORMATION

PANICS AND PULLS

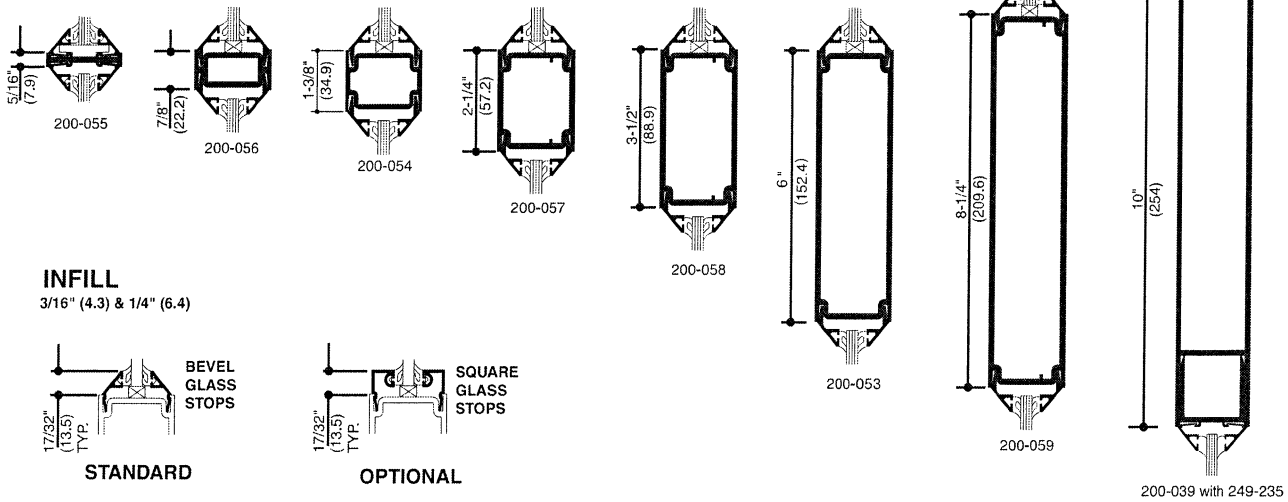


Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

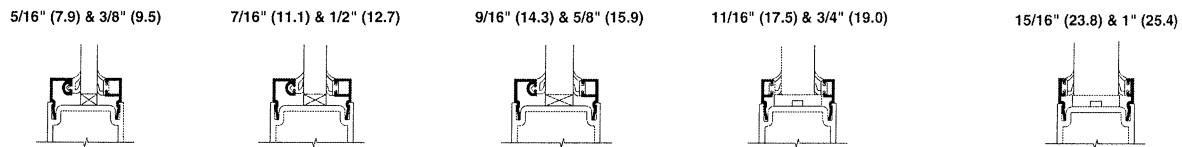
© Kawneer Company, Inc., 2012

SCALE 3" = 1' 0"

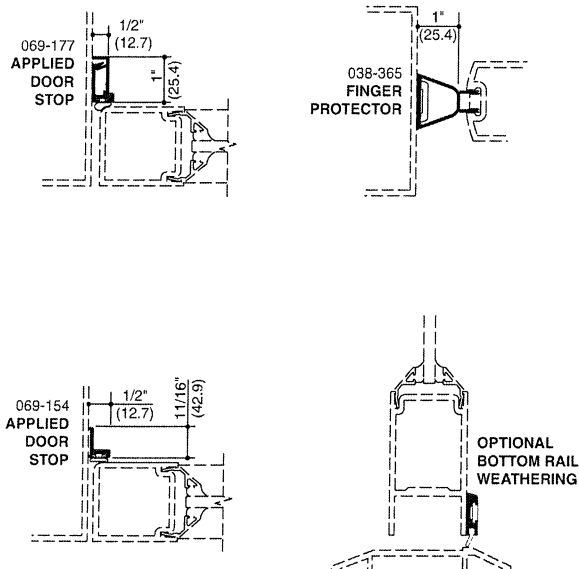
HORIZONTAL / VERTICAL INTERMEDIATE RAILS



INFILL OPTIONS



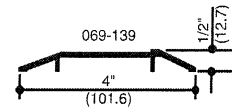
ACCESSORY ITEMS



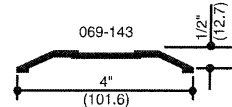
THRESHOLDS

APPLICATION

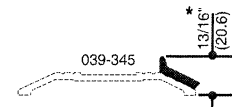
FOR SINGLE ACTING DOOR



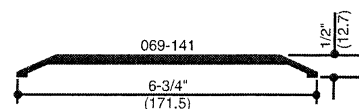
FOR CENTER HUNG CONCEALED CLOSER



APPLIED STOP FOR SINGLE ACTING DOOR



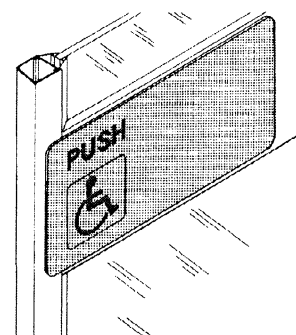
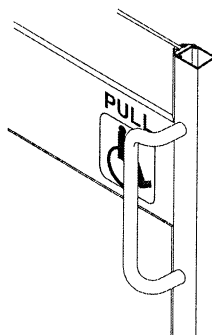
FOR CENTER HUNG FLOOR CLOSERS



*SOME BUILDING CODES LIMIT THRESHOLD HEIGHT TO 1/2" (12.7) MAX.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

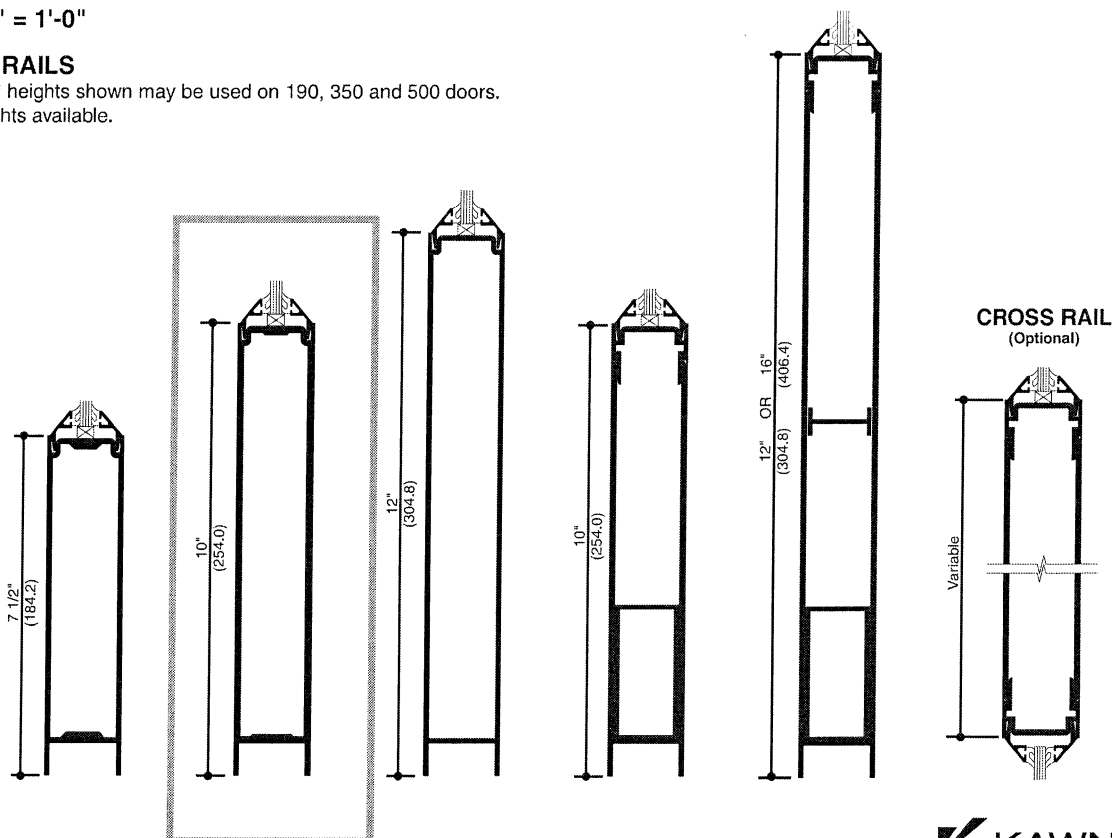
**PUSH-PULLS
STYLE**

Description	Architects Classic CO-12 Pull	BF3 Push Shield with symbol
Application	Door with or without exit device	Door cross rail (omit w/exit device)
Length/Size	12" OC Pull attachment	15-7/8" x 7-7/8" (403.2 x 200.0) 1/8" (3.2) Thick
Height Location	44-5/16" from Top Mounting Hole to Btm. of Door	
Total Projection	3-1/4" (82.6) Projection	1/8" (3.2)
Material / Finish	See Hardware Section A8	Black Plastic Pebble Finish

Note: The word "Pull" and the symbol of access anodized on the exterior surface of the optional cross rail are standard - black on clear rail, clear on dark bronze or black rail. Anodized letters on push bar accent are clear on black. Letters and symbols on plastic push shield are engraved and filled with white epoxy enamel.

SCALE 3" = 1'-0"**BOTTOM RAILS**

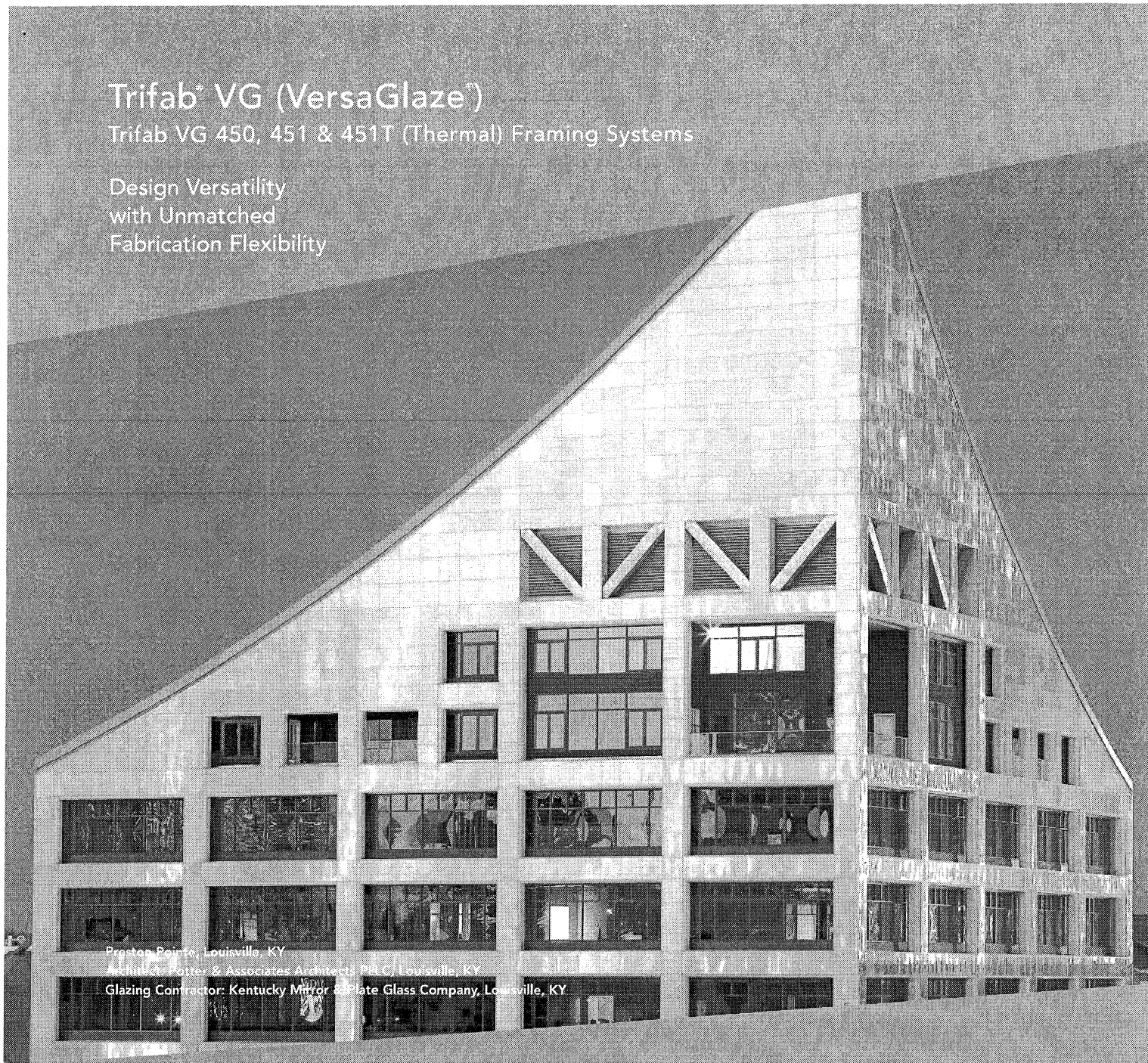
Standard rail heights shown may be used on 190, 350 and 500 doors.
Custom heights available.



Trifab® VG (VersaGlaze®)

Trifab VG 450, 451 & 451T (Thermal) Framing Systems

Design Versatility
with Unmatched
Fabrication Flexibility



Preston Pointe, Louisville, KY

Architect: Potter & Associates Architects PLLC, Louisville, KY

Glazing Contractor: Kentucky Mirror & Plate Glass Company, Louisville, KY

Trifab® VG (VersaGlaze) is built on the proven and successful Trifab platform – with all the versatility its name implies. Trifab set the standard and Trifab® VG improves upon it. There are enough fabrication, design and performance choices to please the most discerning building owner, architect and installer. Plus the confidence a tried and true framing system instills. Select from four glazing applications, four fabrication methods and multiple infill choices. Consider thermal options and performance, SSG and Weatherseal alternatives and your project takes an almost custom shape whether your architecture is traditional or modern and the building is new or retrofitted.

Aesthetics

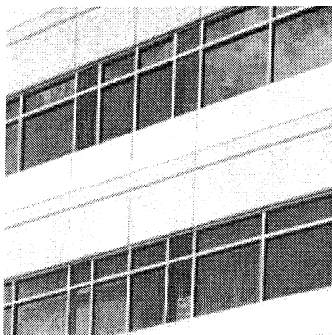
Trifab® 450 has 1-3/4" sight lines and both Trifab® 451 and Trifab® 451T have 2" sight lines, while all three have a 4-1/2" frame depth. Designers can not only choose front, center or back glass planes, they can now add the versatility of multi-plane glass applications, thus allowing a greater range of design possibilities for specific project requirements and architectural styles. Structural Silicone Glazing (SSG) and Weatherseal options further expand the designer's choices.

Trifab® VG can be used on almost any project due to virtually seamless incorporation of Kawneer entrances, Sealair® windows or GLASSvent™ for visually frameless ventilators. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing owner, architect and installer with proven, tested and quality products from a single source supplier.

Economy

Trifab® VG offers four fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two piece vertical members. Provides the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation.
- **Shear Block** – for punched openings or continuous runs using tubular moldings. Provides the option to pre-assemble multi-lite units using shear block clips under controlled shop labor conditions. Clips provide tight joints for transporting large units. Less field time is necessary to fill large openings.
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the job.
- **Type B** – for multi-lite punched openings. Provide option for pre-assembled units for installation into single openings and controlled shop labor costs. Head and sill running through provide fewer joints and require less time to fill large openings.



Brighton Landing, Cambridge, MA
Architects: ADD Inc., Cambridge, MA
Glazing Contractors: Ipswich Bay Glass
Company, Inc., Rowley, MA

Optional patented HP Flashing™ and HP Interlock clip are engineered to eliminate the perimeter sill fasteners and their associated blind seals and are compatible with all glass planes.

Trifab® VG 450, 451 and 451T can be flush glazed from either the inside or outside. The Weatherseal option provides an alternative to the structural silicone glazed vertical mullions. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior, without the added labor of scaffolding or swing stages. Optional patented HP Flashing™ and HP Interlock

Performance

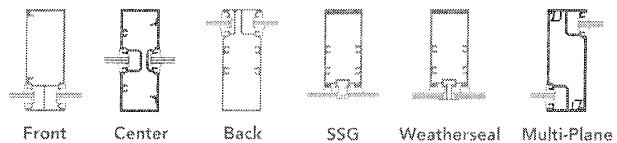
Kawneer's IsoLock™ Thermal Break option is available on Trifab® VG 451T. This process creates a composite section and prevents dry shrinkage

U-factor, CRF values and STC ratings for Trifab® VG vary depending upon the glass plane application. Project specific U-factors can now be determined for each individual project. (See Kawneer Architectural Manual or Website for additional information)

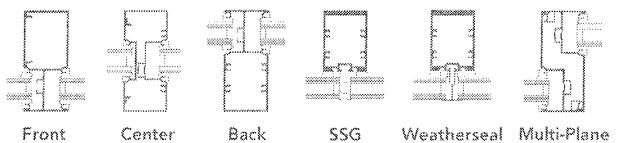
Performance Test Standards

Air Performance	ASTM E 283
Water	AAMA 501 and ASTM E 331
Structural	ASTM E 330
Thermal	AAMA 1503
Thermal Break	AAMA 505 and AAMA TIR-A8
Acoustical	AAMA 1801 and ASTM E 1425

Trifab VG 450



Trifab VG 451/451T



Finishes

Permadonic Anodized finishes are available in Class I and Class II in seven different colors.

Painted Finishes, including fluoropolymer that meet or exceed AAMA 2605, are offered in many standard choices and an unlimited number of specially-designed colors.

Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770 . 449 . 5555



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Features

- Trifab® VG 451/451T is 4-1/2" deep with a 2" sightline
- Front, Center, Back or Multi-Plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline, Shear Block, Stick or Type-B fabrication
- SSG / Weatherseal option
- Isolock® lanced and debridged thermal break option with Trifab® VG 451T
- Infill options up to 1-1/8" thickness
- Permanodic® anodized finishes in 7 choices
- Painted finishes in standard and custom choices

Optional Features

- High performance interlocking flashing
- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-factors (See Thermal Charts)

Product Applications

- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- Kawneer Sealair® windows or GLASSvent® are easily incorporated

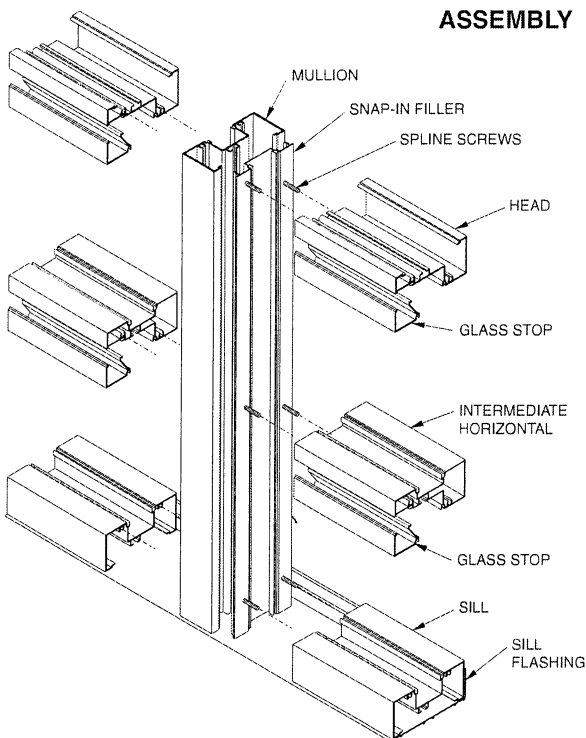
For specific product applications,
Consult your Kawneer representative.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© Kawneer Company, Inc., 2012

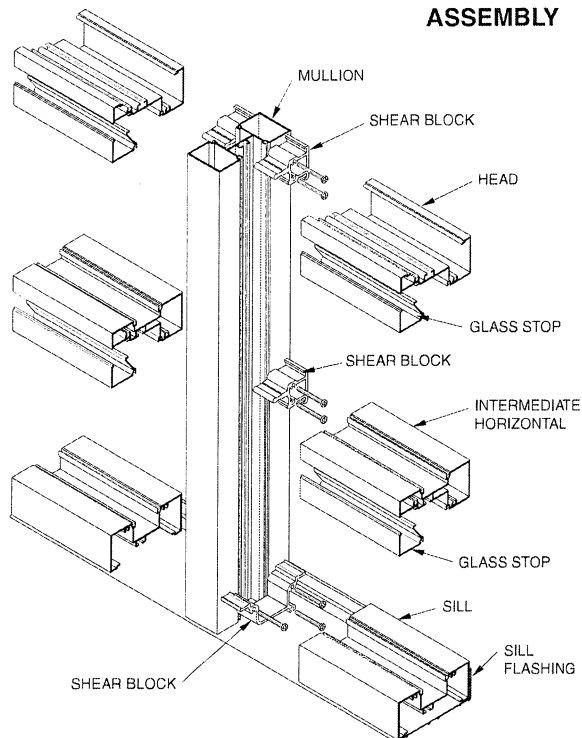
The split vertical in the **Screw Spine** system allows a frame to be installed from unitized assemblies. Screws are driven through the back of the verticals into splines extruded in the horizontal framing members. The individual units are then snapped together to form a complete frame.

SCREW SPLINE ASSEMBLY

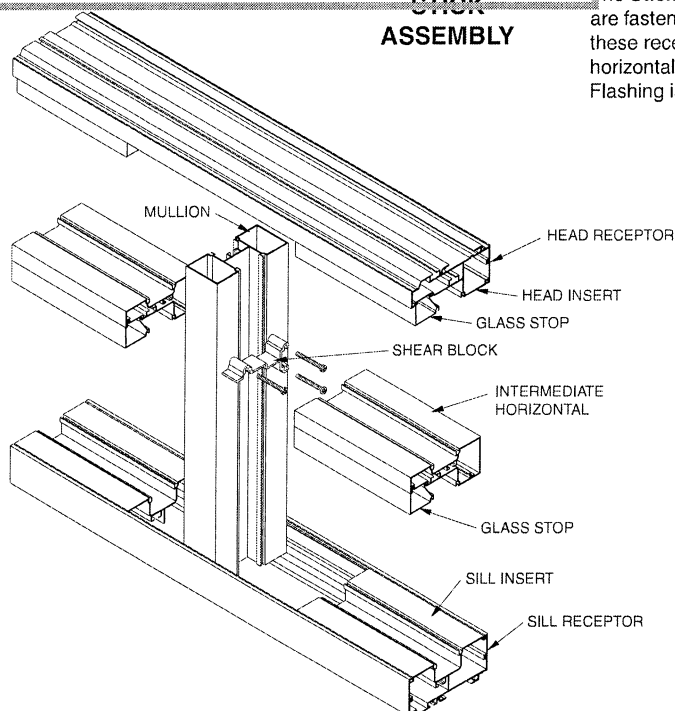


The **Shear Block** system of fabrication allows a frame to be pre-assembled as a single unit. Horizontals are attached to the verticals with shear blocks.

SHEAR BLOCK ASSEMBLY



STICK ASSEMBLY



The **Stick** system allows on-site construction. Head and sill receptors are fastened to the surround. Vertical mullions are then installed in these receptors and are held in place by snap-in inserts. Intermediate horizontal members are attached to the verticals with shear blocks. Flashing is not required.

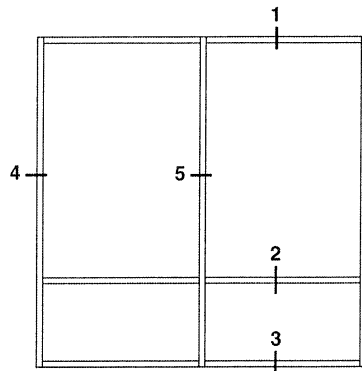
NOTE:

If the end reaction of the mullion (mullion spacing (ft.) times height (ft.) times specified windload (psf) divided by two) is more than 500 lbs., the optional mullion anchors must be used. (See page 14)

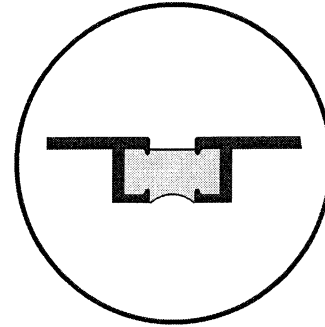
Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of products and framing systems, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

SCALE 3" = 1'-0"



ELEVATION IS NUMBER KEYED TO DETAILS

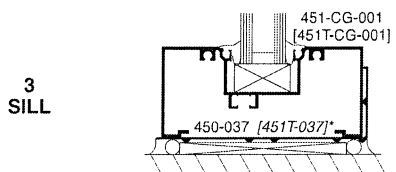
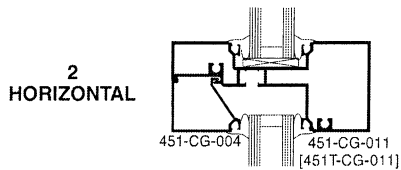
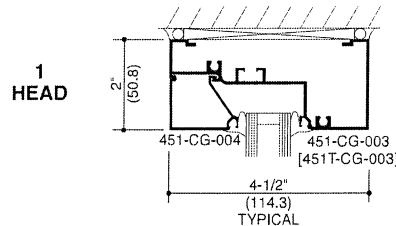
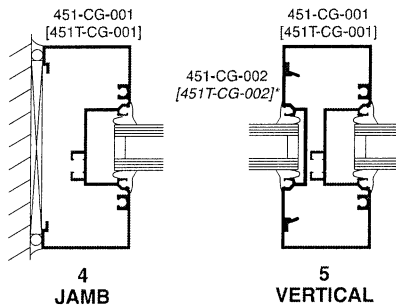


NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

*Note: See Misc. Details for Thermal Pocket Filler and Thermal Flashing.

SCREW SPLINE

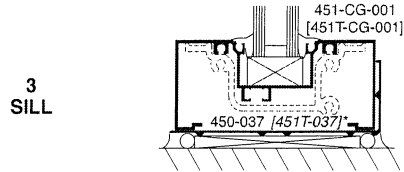
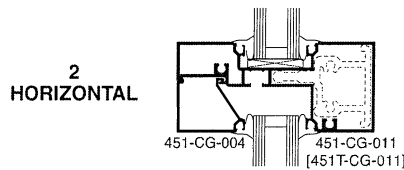
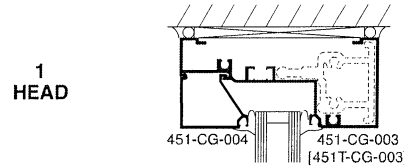
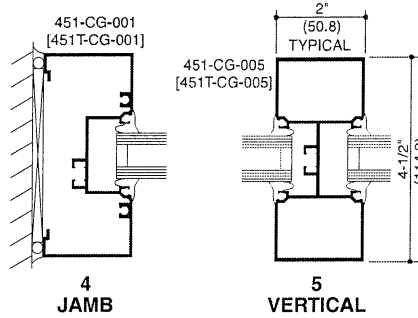
CAD Details (TF451) = TF_VG_451-SS-Center--CAD.zip
(TF451T) = TF_VG_451T-SS-Center--CAD.zip



*See Page 14 for Thermal Flashing and Optional High Performance Flashing

SHEAR BLOCK

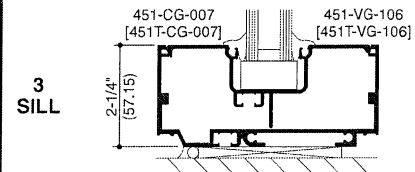
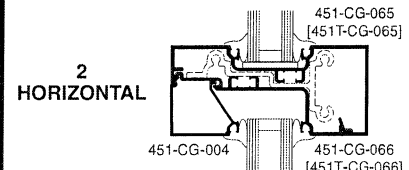
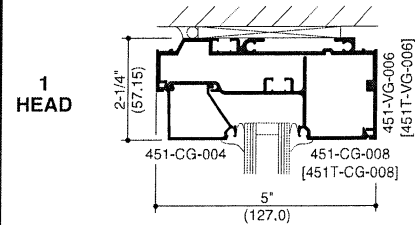
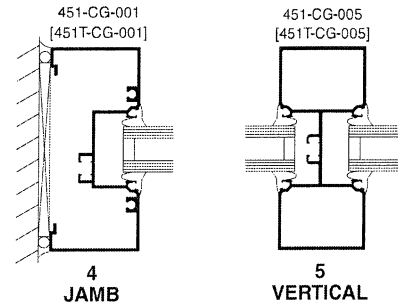
CAD Details (TF451) = TF_VG_451-SB-Center--CAD.zip
(TF451T) = TF_VG_451T-SB-Center--CAD.zip



*See Page 14 for Thermal Flashing and Optional High Performance Flashing

STICK

CAD Details (TF451) = TF_VG_451-Stick-Center--CAD.zip
(TF451T) = TF_VG_451T-Stick-Center--CAD.zip



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

SCALE 3" = 1'-0"

CAD Details - ENTRANCE

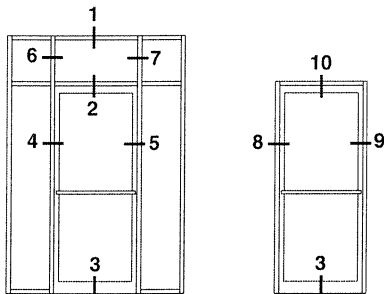
(TF451) = TF_VG_451_Ent-Center--CAD.zip

(TF451T) = TF_VG_451T_Ent-Center--CAD.zip

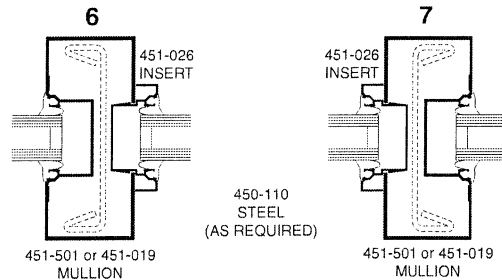
TRIFAB® VG 451 FRAMING INCORPORATING KAWNEER® "190" DOORS.

DOOR FRAMING NON-THERMAL ONLY

NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM.
SEE ENTRANCE DETAILS FOR ADDITIONAL INFORMATION.

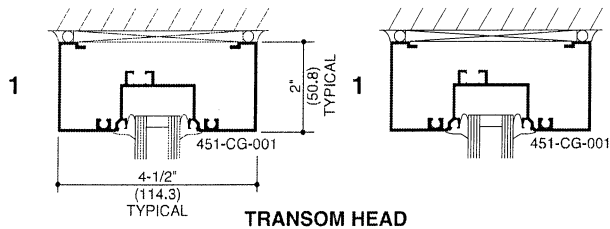


ELEVATIONS ARE NUMBER KEYED TO DETAILS

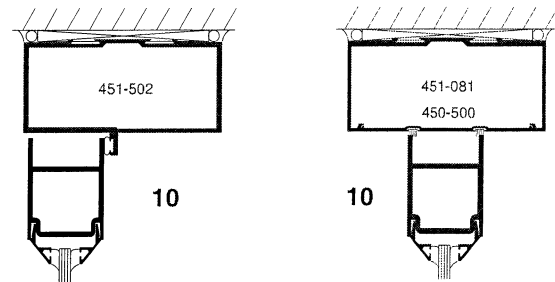
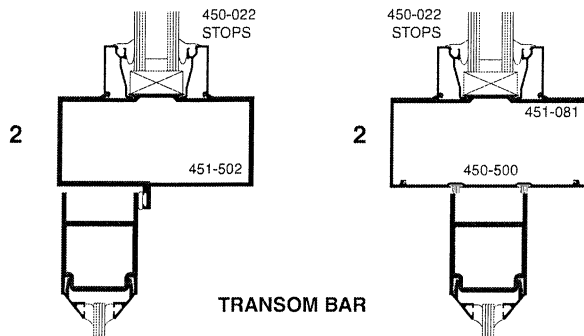


TRANSOM JAMBS

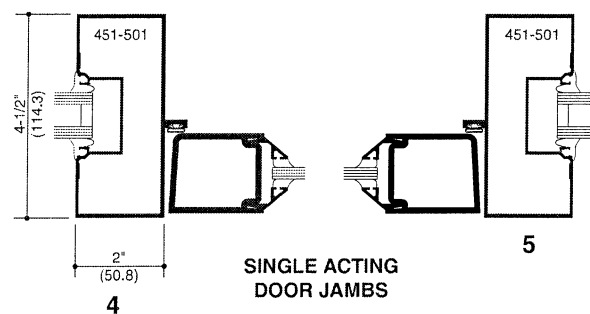
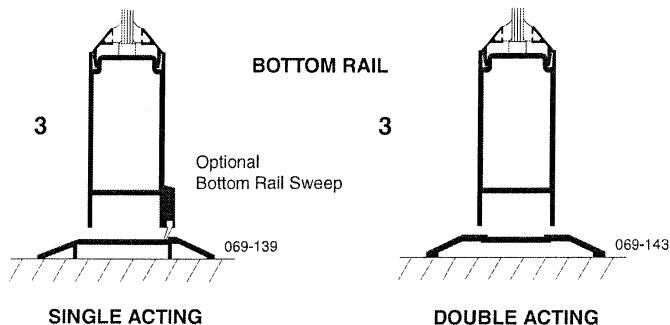
Transom area for both double or single acting doors with glass surround. Jamb above transom bar are routed out to accept glass holding insert with or without steel reinforcing.



TRANSOM HEAD

SINGLE ACTING
HEADERDOUBLE ACTING
HEADER

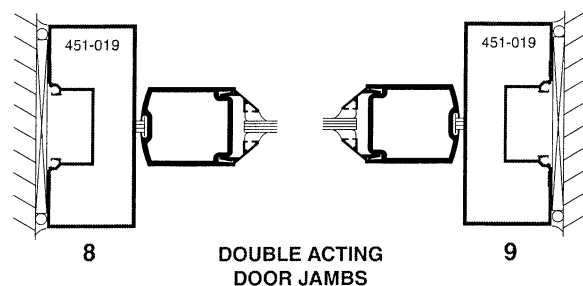
TRANSOM BAR

SINGLE ACTING
DOOR JAMBS

BOTTOM RAIL

SINGLE ACTING

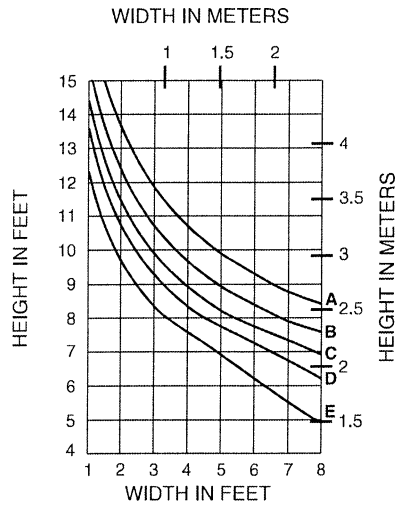
DOUBLE ACTING

DOUBLE ACTING
DOOR JAMBS

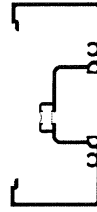
Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

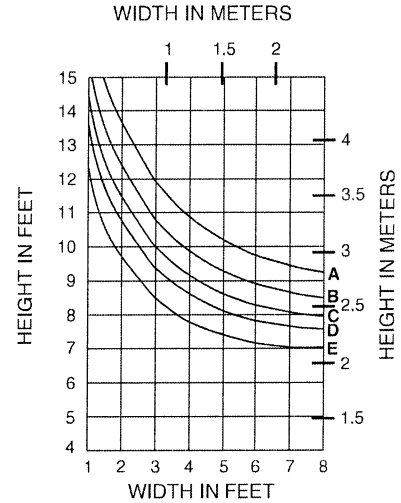
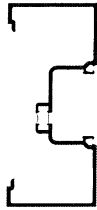
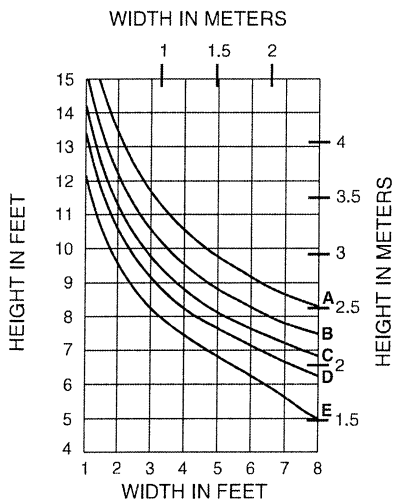
© Kawneer Company, Inc., 2012

WITH HORIZONTALS

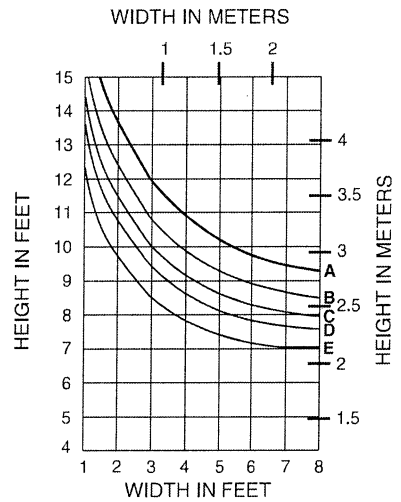
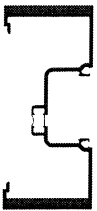
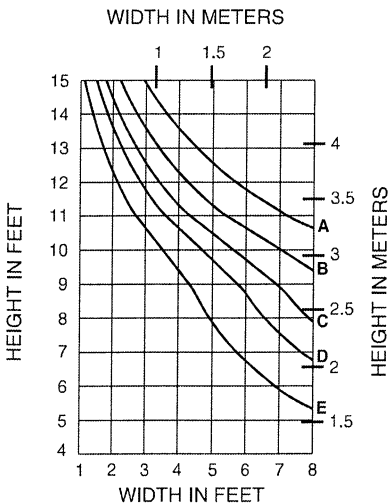
A = 15 PSF (720 Pa)
 B = 20 PSF (960 Pa)
 C = 25 PSF (1200 Pa)
 D = 30 PSF (1440 Pa)
 E = 40 PSF (1920 Pa)

**451T-CG-001**

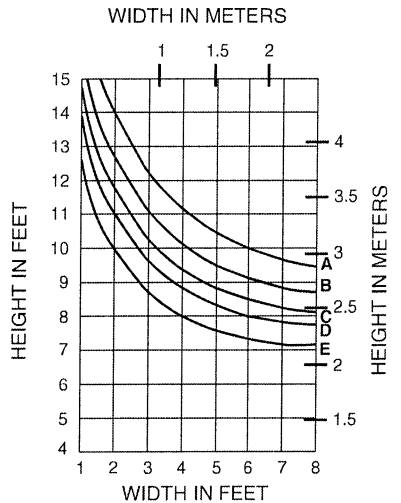
WINDLOAD CHARTS ARE BASED ON
 COMPOSITE PROPERTIES WHICH ARE
 CALCULATED IN ACCORDANCE WITH
 AAMA TIR-A8 AND AAMA 505

WITHOUT HORIZONTALS**WITH HORIZONTALS****451T-CG-012**

WINDLOAD CHARTS ARE BASED ON
 COMPOSITE PROPERTIES WHICH ARE
 CALCULATED IN ACCORDANCE WITH
 AAMA TIR-A8 AND AAMA 505

WITHOUT HORIZONTALS**WITH HORIZONTALS****451T-CG-013**

WINDLOAD CHARTS ARE BASED ON
 COMPOSITE PROPERTIES WHICH ARE
 CALCULATED IN ACCORDANCE WITH
 AAMA TIR-A8 AND AAMA 505

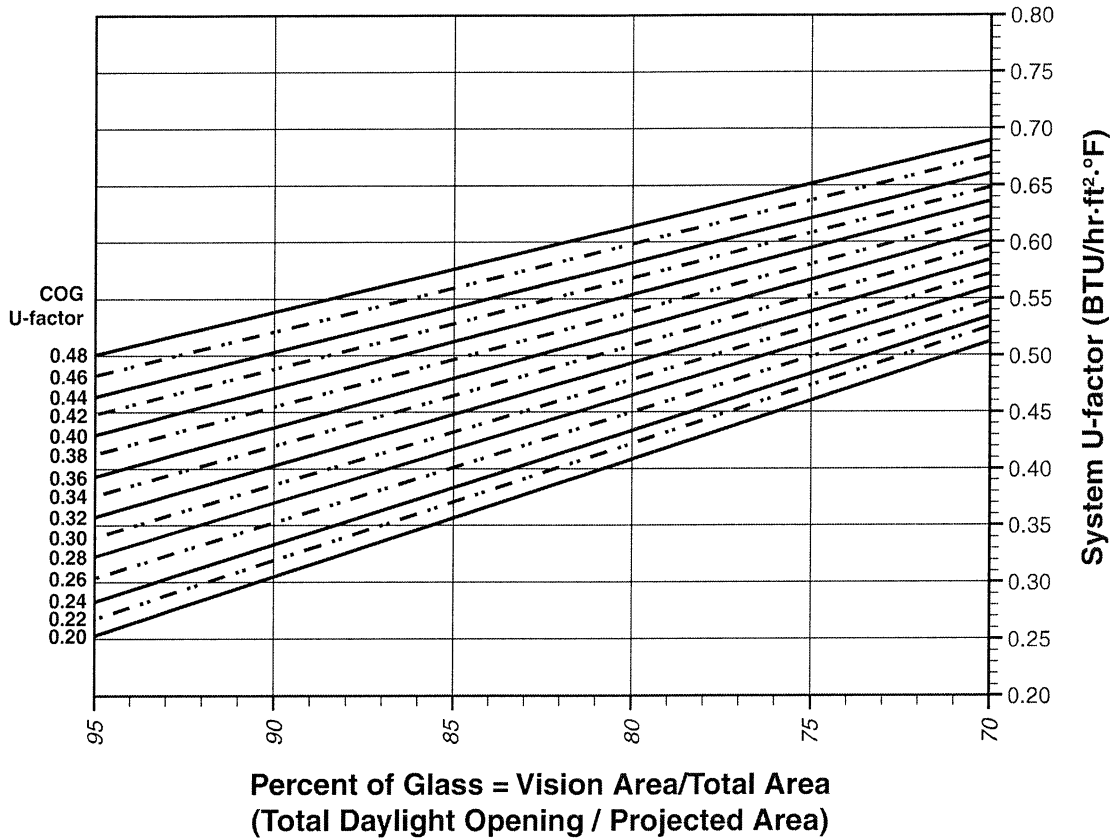
WITHOUT HORIZONTALS

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
 © Kawneer Company, Inc., 2012

TRIFAB® VG 451T (CENTER – Thermal)

System U-factor vs Percent of Glass Area



Notes for System U-Factor, SHGC and VT charts:

For glass values that are not listed, linear interpolation is permitted.

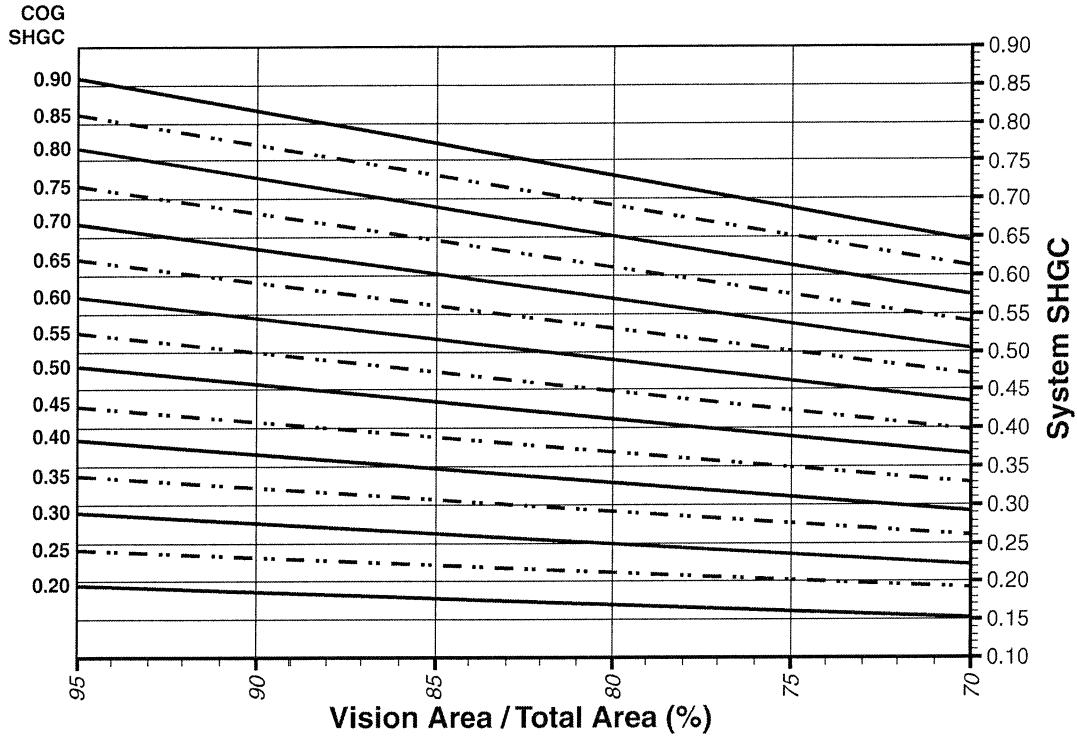
Glass properties are based on center of glass values and are obtained from your glass supplier.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

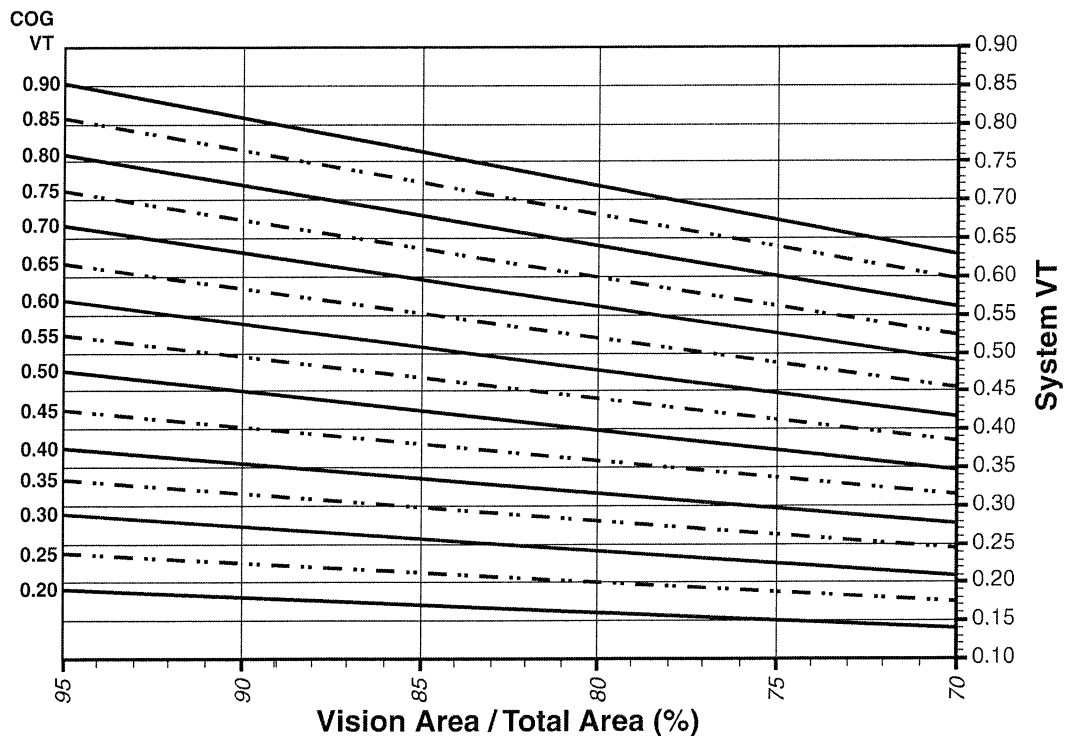
TRIFAB® VG 451T (CENTER – Thermal)

System Solar Heat Gain Coefficient (SHGC) vs Percent of Vision Area



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

System Visible Transmittance (VT) vs Percent of Vision Area



Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012

TRIFAB® VG 451T (CENTER – Thermal)

Thermal Transmittance ¹

Glass U-Factor ³	Overall U-Factor ⁴
0.48	0.55
0.46	0.54
0.44	0.52
0.42	0.51
0.40	0.49
0.38	0.47
0.36	0.46
0.34	0.44
0.32	0.43
0.30	0.41
0.28	0.39
0.26	0.38
0.24	0.36
0.22	0.34
0.20	0.33

SHGC Matrix ²

Glass SHGC ³	Overall SHGC ⁴
0.90	0.80
0.85	0.75
0.80	0.71
0.75	0.66
0.70	0.62
0.65	0.58
0.60	0.53
0.55	0.49
0.50	0.44
0.45	0.40
0.40	0.36
0.35	0.31
0.30	0.27
0.25	0.23
0.20	0.18

Visible Transmittance ²

Glass VT ³	Overall VT ⁴
0.90	0.79
0.85	0.75
0.80	0.70
0.75	0.66
0.70	0.61
0.65	0.57
0.60	0.53
0.55	0.48
0.50	0.44
0.45	0.40
0.40	0.35
0.35	0.31
0.30	0.26
0.25	0.22
0.20	0.18

NOTE: For glass values that are not listed, linear interpolation is permitted.

1. U-Factors are determined in accordance with NFRC 100.
2. SHGC and VT values are determined in accordance with NFRC 200.
3. Glass properties are based on center of glass values and are obtained from your glass supplier.
4. Overall U-Factor, SHGC, and VT Matrices are based on the standard NFRC specimen size of 2000mm wide by 2000mm high (78-3/4" by 78-3/4").

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2012



Rhino Series

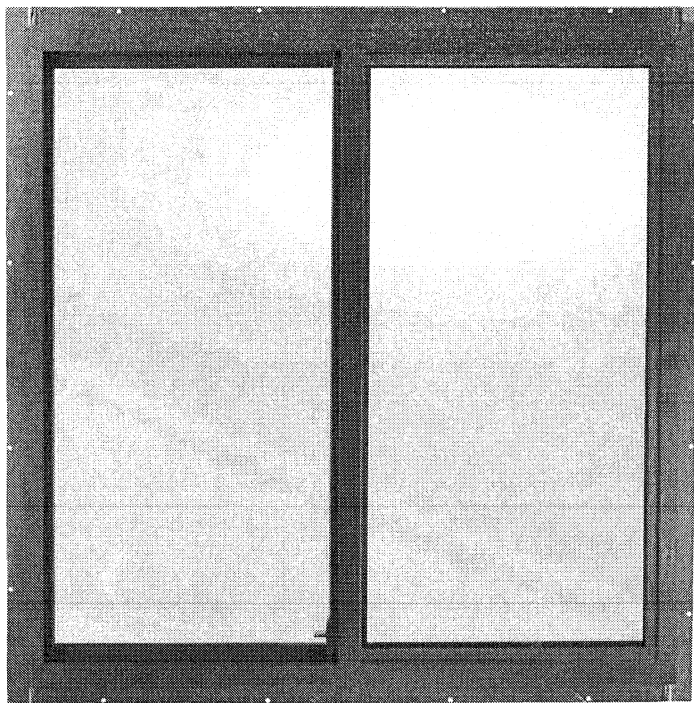
COMMERCIAL ALUMINUM WINDOWS

HORIZONTAL SLIDERS | LC-30/45/50

5000 SERIES

2nd Floor--Dual Sliding
Window Product
Information


GerkinTM
WINDOWS & DOORS



A

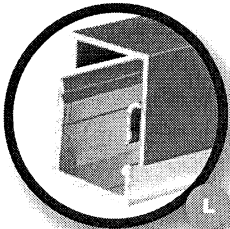
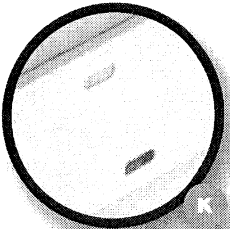
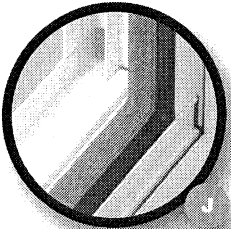
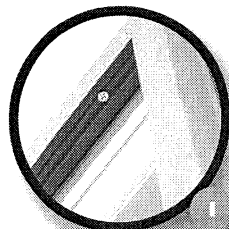
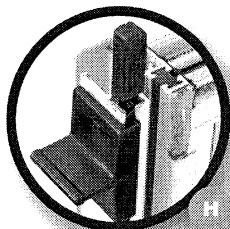
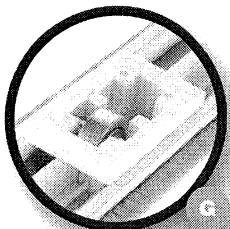
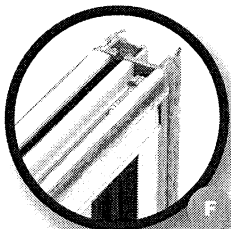
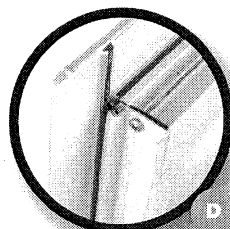
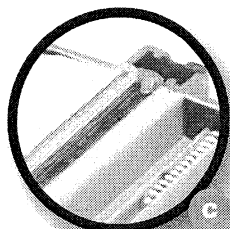
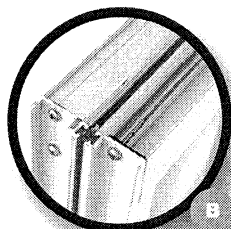
Gerkin™

WINDOWS & DOORS

Quality since 1932

Our primary focus has been to manufacture energy saving window and door products. Throughout our history we have established ourselves as an innovator in the design and manufacturing capability of insulated windows and doors.

Stringent product testing and innovative design has allowed our products to evolve as market and consumer needs change. In the winter of 1989-90 we started to conceptualize and design our Rhino Commercial Aluminum window and door series. Today we have several commercial window styles in the Rhino line. This window and door series consists of a commercial horizontal slider, casement, single hung, double hung, hopper, awning, fixed and patio door. Each Rhino window reflects the design and manufacturing expertise we've implemented over the years. We also publish our AAMA test results to back up our claims of product performance and quality.





Rhino Series

COMMERCIAL ALUMINUM WINDOWS

HORIZONTAL SLIDERS | LC-30

5000 SERIES

LC-30 FEATURES

- A** AAMA LC-PG30-HS rated slider window (156" x 72" 3-lite slider tested).
- B** 2 3/8" thermally broken frame depth: Gerkin offers thermal breaks in the frame and sash for improved thermal efficiency.
- C** Polyethylene foam seal pads at all sash and frame corners: Gerkin ensures a tight fit at all corners by using these seals to seal out light, air and water.
- D** Integral nail fin: Nail fins are a standard feature for this window. The corners are closed which allows for full perimeter flashing. As an option, Gerkin will remove the nail fin for masonry and subframe installations.
- E** Jamb and Mullion Interlocks: The use of two interlocks helps to reduce deflection and creates a snug fit due to reduced movement away from the weather seals. The structure of the window is enhanced and air infiltration is reduced.
- F** Dual Weatherstripping: This window features heavy wool pile weatherstripping with a Mylar fin on both sides of the sash. This means that whether there are negative or positive pressures on the window, there will never be a disconnection of weatherstrip, thus giving Gerkin one of the tightest sliders on the market.
- G** Adjustable zinc chromate carbon steel ball bearing rollers: These rollers are designed to last for years with trouble free easy operation. Our sliders are among one of the easiest windows to operate with a maximum operating force of 15 pounds on the largest window we make. The rollers also offer a secondary height adjustment to help with sightline adjustments after installation.
- H** Two-position deadbolt lock: This level 10 forced entry rated deadbolt offers a secondary lock position which allows for security while offering two inches of ventilation.
- I** Anti-lift stop: Gerkin installs a security feature that won't allow the sash to be lifted out of the lock while the deadbolt is in either of the two locked positions.

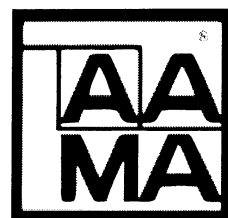
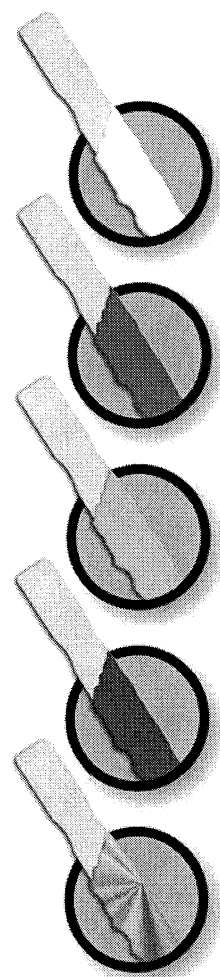
- J** All sash are marine glazed for easy replacement and stress free operation.
- K** Weeps with baffles: Gerkin includes an open cell foam inside each weep hole, which restricts snow, dirt, insects and other debris from entering the window through the weeps.
- L** Standard options: Gerkin offers complete subframe and panning systems, snap trims, sill flashing, stacking frames, stacking "H" channel, structural mulls, mull covers and factory applied extension jambs.
- 6063-T5 Alloyed aluminum with butt cut fabrication and stainless steel screw fasteners.
- 5/8" OA double strength glass: Gerkin insulates it's own glass and offers a twenty year seal warranty as well as a one year stress crack warranty. With the use of the Super Spacer® warm edges spacer system, Gerkin insures a long seal life and thermal efficient glass. Standard glass options are LoE³, bronze and gray tint, obscure and tempered. Internal glass grills are also a standard option. Custom glass options are available.
- Extruded aluminum screen frames: The strength of extruded screens is a major maintenance cost advantage for Gerkin over easily damaged roll form screens.
- Other options: Gerkin offers insulated panels as well as a louver system with a non-insulated blank-off panel for PTAC units. This unit can be incorporated into our Rhino window system and used in conjunction with any Rhino window.

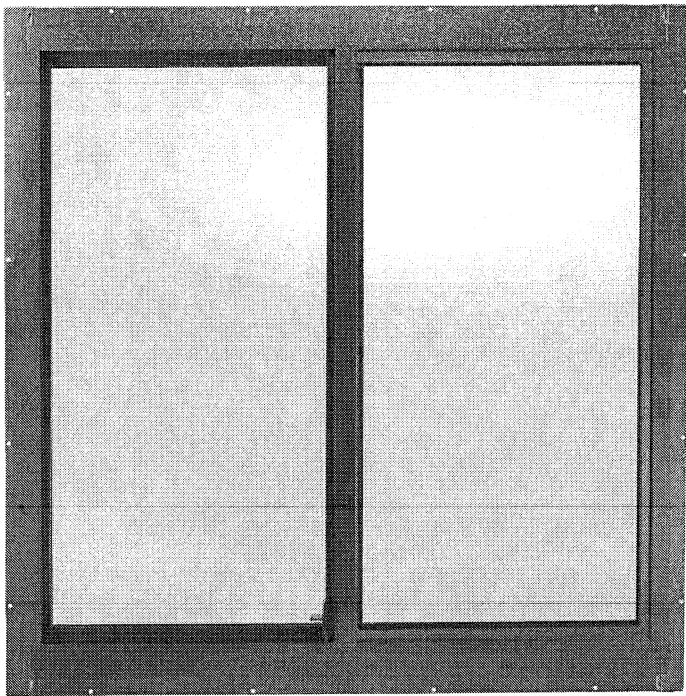
ONLINE INFORMATION

Our website at www.gerkin.com offers AutoCAD details of window drawings and written specifications for architectural use. The Gerkin estimating department offers quoting and shop drawing services. Distributor catalogs are also available for over the counter quoting and architectural detail referral.

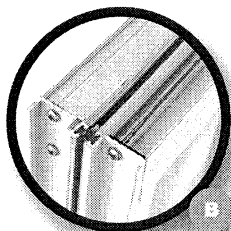
COLORS

Four standard colors: Gerkin stocks organic painted finishes in white and bronze as well as anodic finishes of clear anodized and dark bronze anodized. Custom paint and anodized finishes are available.

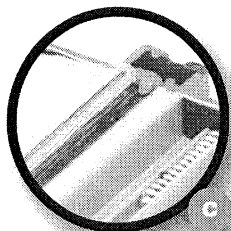




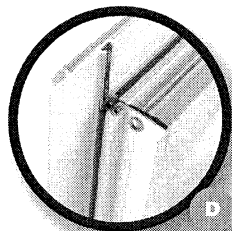
A



B



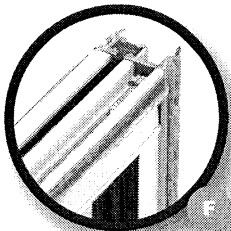
C



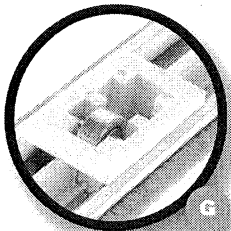
D



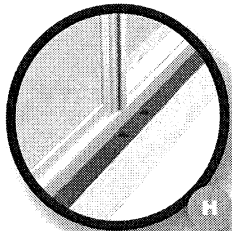
E



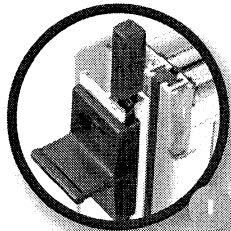
F



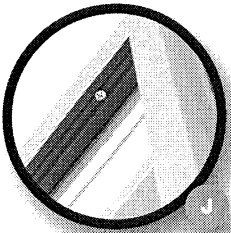
G



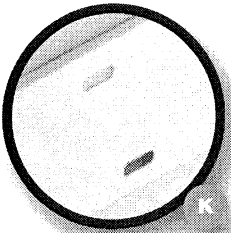
H



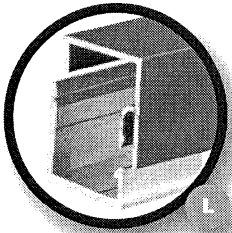
I



J



K



L



Rhino Series

COMMERCIAL ALUMINUM WINDOWS

HORIZONTAL SLIDERS | LC-45/50

5045 SERIES

LC-45/LC-50 FEATURES

- A** AAMA LC-PG45-HS rated slider window (120" x 64" 3-lite slider tested).
AAMA HS-C50 108" x 60" XOX
- B** 2 3/8" thermally broken frame depth: Gerkin offers thermal breaks in the frame and sash for improved thermal efficiency.
- C** Polyethylene foam seal pads at all sash and frame corners: Gerkin ensures a tight fit at all corners by using these seals to seal out light, air and water.
- D** Integral nail fin: Nail fins are a standard feature for this window. The corners are closed which allows for full perimeter flashing. As an option, Gerkin will remove the nail fin for masonry and subframe installations.
- E** Jamb and Mullion Interlocks: The use of two interlocks helps to reduce deflection and creates a snug fit due to reduced movement away from the weather seals. The structure of the window is enhanced and air infiltration is reduced.
- F** Dual Weatherstripping: This window features heavy wool pile weatherstripping with a Mylar fin on both sides of the sash. This means that whether there are negative or positive pressures on the window, there will never be a disconnection of weatherstrip, thus giving Gerkin one of the tightest sliders on the market.
- G** Adjustable zinc chromate carbon steel ball bearing rollers: These rollers are designed to last for years with trouble free operation. Our sliders are among one of the easiest windows to operate with a maximum operating force of 18 pounds on the largest window we make. The rollers also offer a secondary height adjustment to help with sightline adjustments after installation.
- H** Ridged non-weatherable PVC sill track: With the deeper sill track on this slider, Gerkin has incorporated a secondary sill, which the sash rolls on. This PVC product is quiet, doesn't scratch and has a weep system that removes water from the operating area of the sash.
- I** Self-latching deadbolt lock: This level 10 forced entry rated deadbolt offers automatic locking when the window is closed. This is a great security feature for motels and apartments.

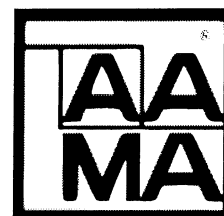
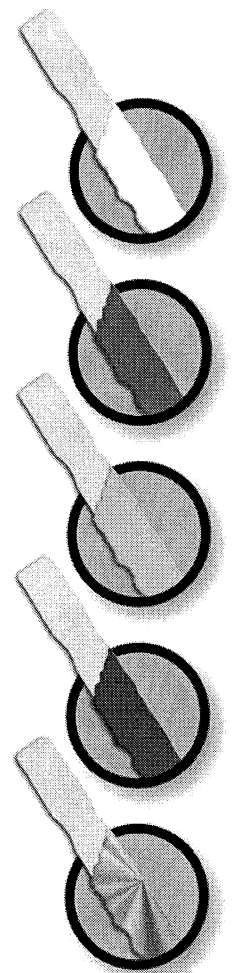
- J** Anti-lift stop: Gerkin installs a security feature that won't allow the sash to be lifted out of the lock while the deadbolt is in the locked position. The window must be fully open prior to being able to remove the sash.
- K** Weeps with baffles: Gerkin includes an open cell foam inside each weep hole, which restricts snow, dirt, insects and other debris from entering the window through the weeps.
- L** Standard options: Gerkin offers complete subframe and panning systems, snap trims, sill flashing, stacking frames, stacking "H" channel, structural mulls, mull covers and factory applied extension jambs.
- M** 5/8" OA double strength glass: Gerkin insulates it's own glass and offers a twenty year seal warranty as well as a one year stress crack warranty. With the use of the Super Spacer® warm edges spacer system, Gerkin insures a long seal life and thermal efficient glass. Standard glass options are LoE³, bronze and gray tint, obscure and tempered. Internal glass grills are also a standard option. Custom glass options are available.
- N** Extruded aluminum screen frames: The strength of extruded screen frames is a major maintenance cost advantage for Gerkin over easily damaged roll form screens.
- O** Other options: Gerkin offers insulated panels as well as a louver system with a non-insulated blank-off panel for PTAC units. This unit can be incorporated into our Rhino window system and used in conjunction with any Rhino window.

ONLINE INFORMATION

Our website at www.gerkin.com offers AutoCAD details of window drawings and written specifications for architectural use. The Gerkin estimating department offers quoting and shop drawing services. Distributor catalogs are also available for over the counter quoting and architectural detail referral.

COLORS

Four standard colors: Gerkin stocks organic painted finishes in white and bronze as well as anodic finishes of clear anodized and dark bronze anodized. Custom paint and anodized finishes are available.



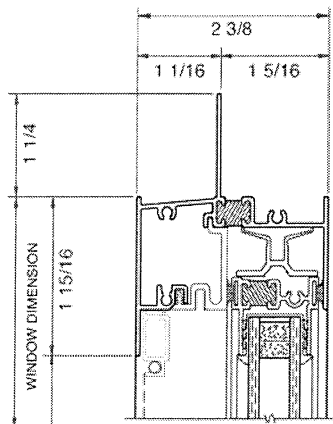


Rhino Series

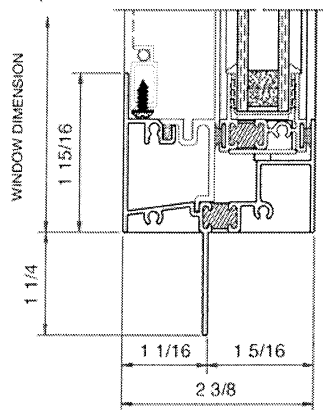
COMMERCIAL ALUMINUM WINDOWS

HORIZONTAL SLIDERS ■ LC-30/45/50

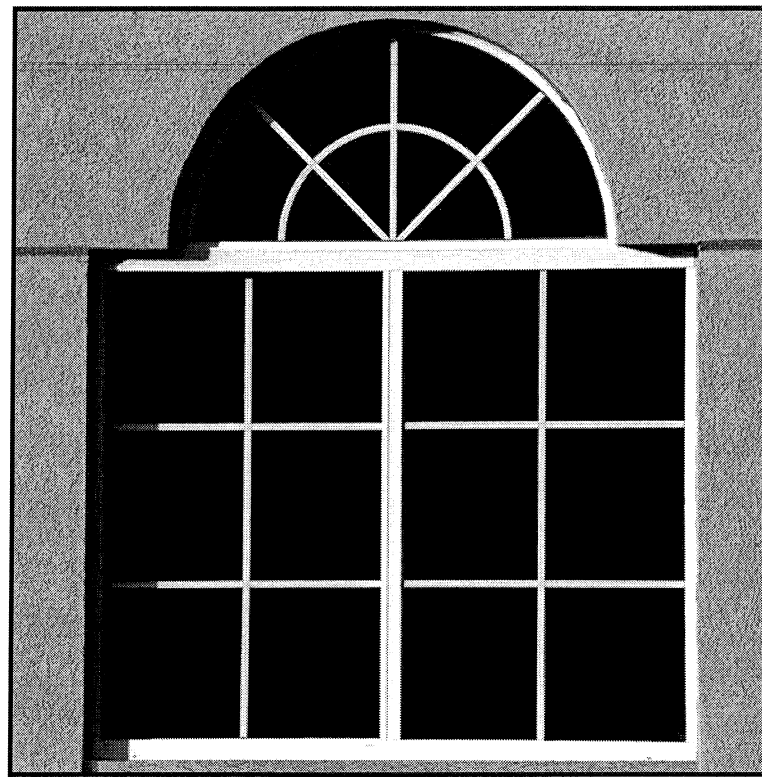
LC-30 HORIZONTAL & VERTICAL DETAILS



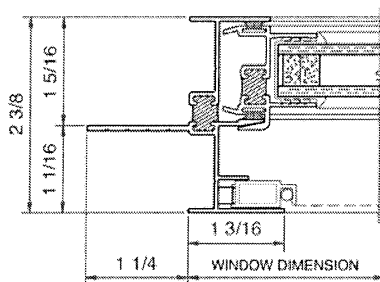
HEAD AT SASH



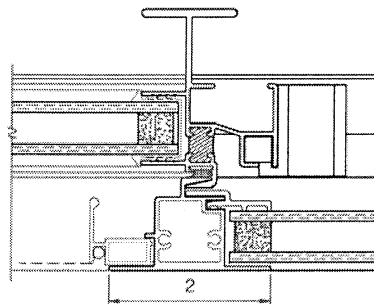
SILL AT SASH



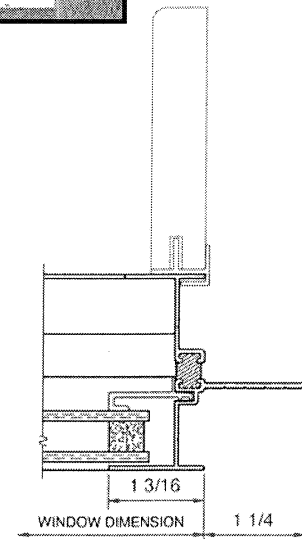
C-30 SLIDER/HALF ROUND



OPERATOR JAMB



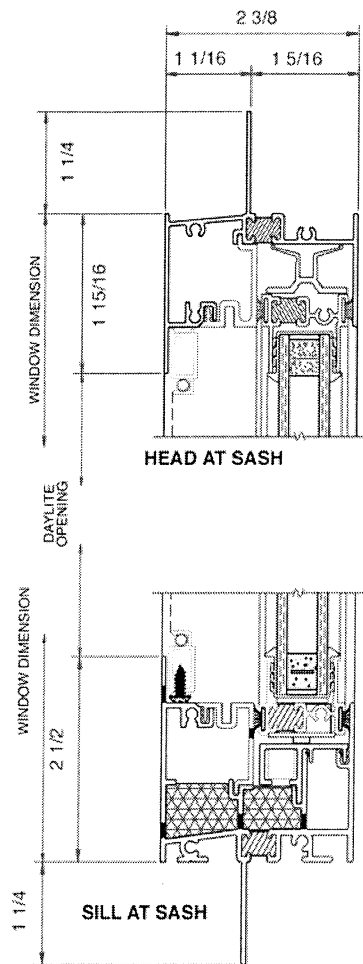
MEETING RAIL



FIXED JAMB w/
EXTENSION JAMB

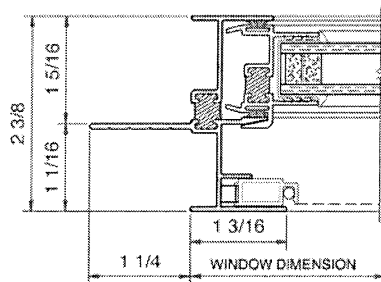
MECHANICALS

LC-45/LC-50 HORIZONTAL & VERTICAL DETAILS

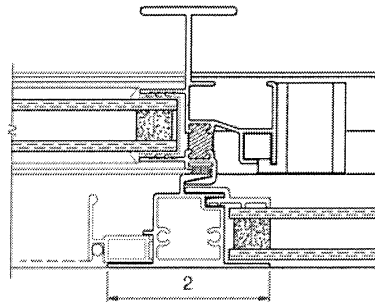


LC-45

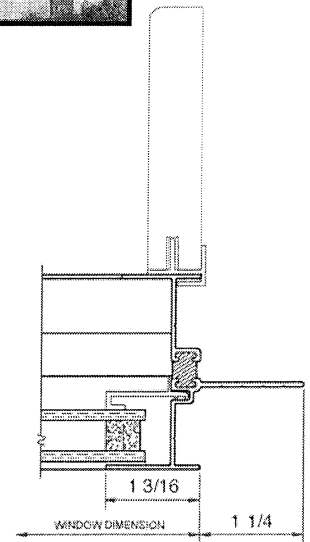
Top sliders shown with extended leg arch above and PTAC unit below. Other sliders shown with PTAC units below.



OPERATOR JAMB



MEETING RAIL



FIXED JAMB w/
EXTENSION JAMB



Rhino Series

COMMERCIAL ALUMINUM WINDOWS

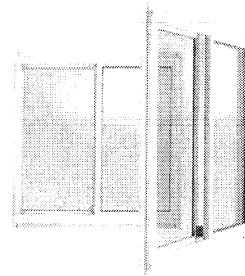
HORIZONTAL SLIDERS | LC-30/45/50

5000 SERIES

AAMA TEST RESULTS

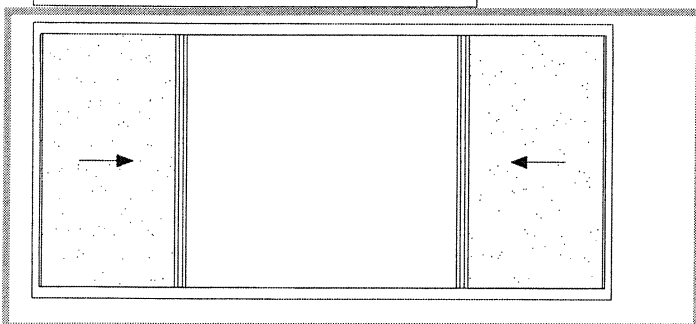
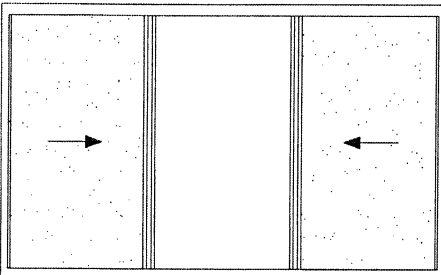
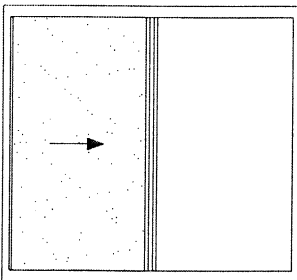
MODEL	CLASS	TEST SIZE	AIR INFILTRATION (cfm/sq. ft.)	WATER (psf)	SWL* (psf)	U-VALUE w/LoE/Argon	SHGC*	VT*	CONDENSATION RESISTANCE	SOUND TRANSMISSION CLASS	
5000	LC-PG30 -HS	156"x72" (XOX)	0.07	4.5	45.0	.37	.24	.54	43	STC 31 w/ 1/4 Lam X 1/8 A	DTIC 28
5045	LC-PG45 -HS	120"x64" (XOX)	0.07	6.75	67.5	.38	.24	.54	43	STC 31 w/ 1/4 Lam X 1/8 A	DTIC 28
5045	HS-C50	108"x60" (XOX)	0.06	7.50	75.0	.38	.24	.54	43	STC 31 w/ 1/4 Lam X 1/8 A	DTIC 28

*Structural Wind Load • *Solar Heat Gain Coefficient • *Visible Transmittance
TESTED AND CERTIFIED TO AAMA/WDMA/CSA 101/I.S.2/A440-05 & A440-08
U-VALUE/SHGC/VT/CRF TESTED TO NFRC 100/200/500



All Gerkin Rhino Products offer a comprehensive Limited Warranty. For detailed warranty information, visit www.gerkin.com

STANDARD SLIDER OPTIONS



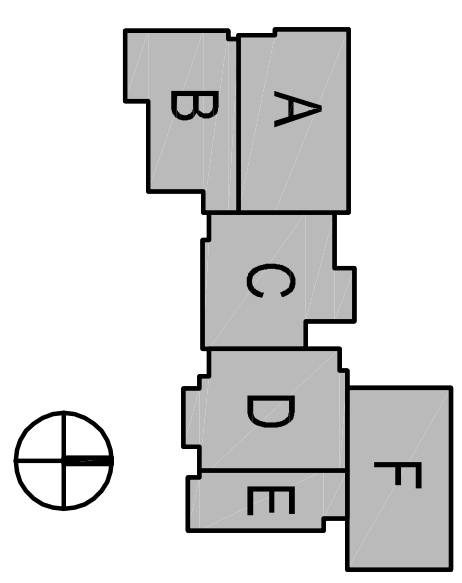
P.O. BOX 3203
SIOUX CITY, IA 51102
PHONE: 402.494.6000
FAX: 402.494.6765
TOLL FREE: 800.475.5061



Super Spaces®







KEYNOTES:

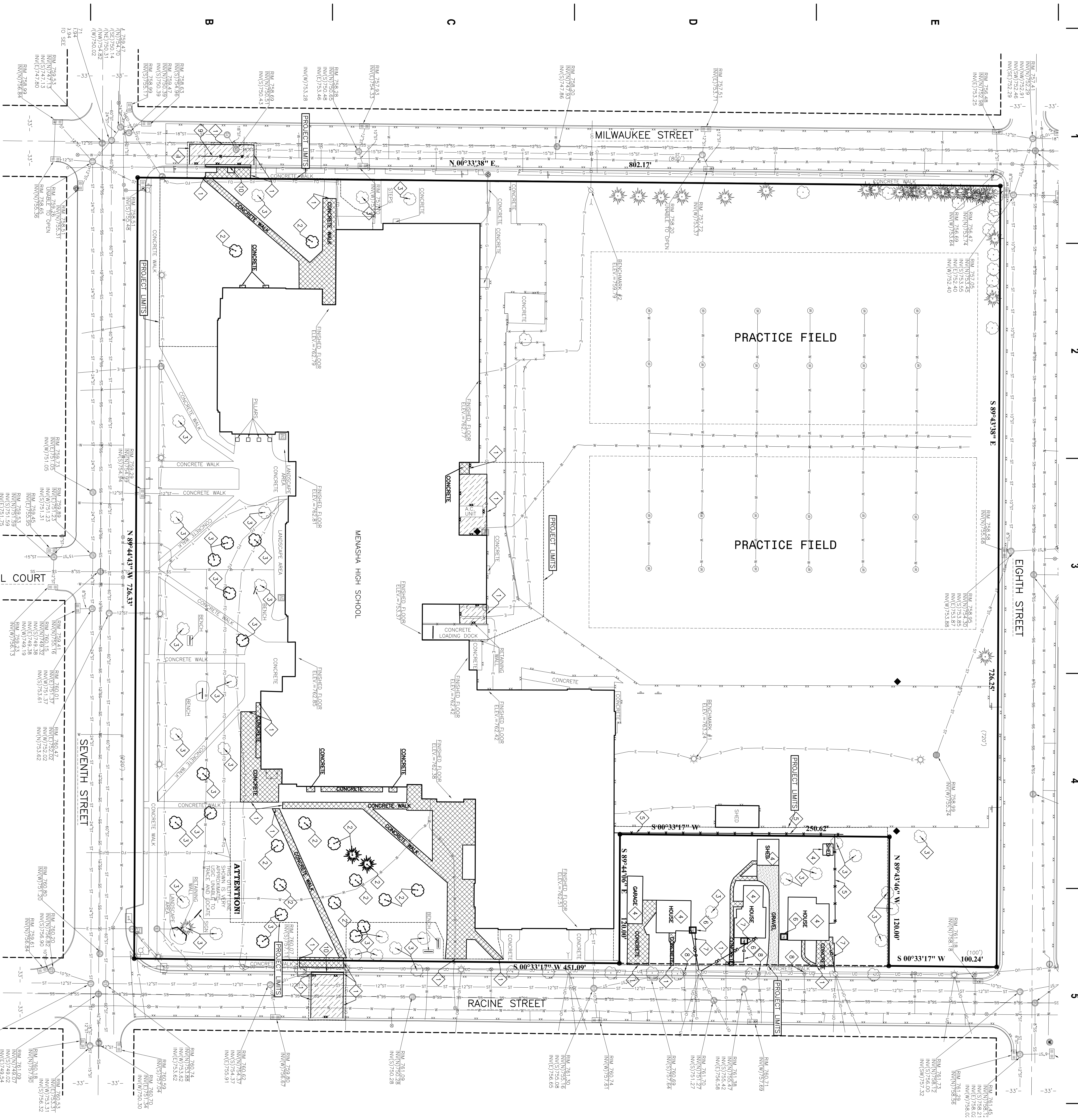
- 1 SAWCUT EXISTING PAVEMENT
- 2 CLEAR AND GRUB EXISTING TREE
- 3 SAVE AND PROTECT EXISTING TREE
- 4 DEMOLISH/REMOVE EXISTING STRUCTURE
- 5 DEMOLISH/REMOVE EXISTING FENCE
- 6 COORDINATE WITH GAS UTILITY TO REMOVE EXISTING SERVICE
- 7 COORDINATE WITH ELECTRIC UTILITY TO REMOVE EXISTING SERVICE
- 8 COORDINATE WITH MUNICIPALITY TO ABANDON EXISTING WATER AND SANITARY SEWER SERVICE
- 9 REMOVE EXISTING DUCTILE IRON PIPE
- 10 REMOVE EXISTING CONCRETE CURB & GUTTER

DEMOLITION HATCH PATTERNS:

- GRAVEL REMOVAL
- CONCRETE REMOVAL
- ASPHALT REMOVAL

LEGEND	
	SAWCUT EXISTING PAVEMENT
	CLEAR AND GRUB EXISTING TREE
	SAVE AND PROTECT EXISTING TREE
	DEMOLISH/REMOVE EXISTING STRUCTURE
	DEMOLISH/REMOVE EXISTING FENCE
	COORDINATE WITH GAS UTILITY TO REMOVE EXISTING SERVICE
	COORDINATE WITH ELECTRIC UTILITY TO REMOVE EXISTING SERVICE
	COORDINATE WITH MUNICIPALITY TO ABANDON EXISTING WATER AND SANITARY SEWER SERVICE
	REMOVE EXISTING DUCTILE IRON PIPE
	REMOVE EXISTING CONCRETE CURB & GUTTER

- ## GENERAL NOTES:
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
 2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 3. ACCEPT FOR REDEMPTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 4. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
 5. CONDITIONS WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
 6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND BASE BID CONTRACT.
 7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
 8. STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
 9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
 10. THE CONTRACTOR SHALL KEEP ALL CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE OUTSIDE WITHIN THE PROJECT LIMITS.
 11. ALL CONCRETE SAWCUTS SHALL BE FULL DEPTH AT NEAREST JOINT.



UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART ON THE BASIS OF INFORMATION OBTAINED FROM THE MENASHA HIGH SCHOOL ARCHITECT. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN RESULTING FROM THE INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THE ARCHITECT'S RECORD DRAWINGS. SOME UTILITIES HAVE BEEN LOCATED BY WAYS PROVIDED BY OTHERS - LOCATIONS ARE APPROXIMATE. PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON THIS PLAN. CONTACT DIGGER'S HOTLINE FOR LOCATIONS, FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED ON THE FOLLOWING INFORMATION:
 1. RECORD DRAWINGS
 2. FIELD SURVEY
 3. PUBLIC RECORDS
 4. PRIVATE RECORDS
 5. FIELD VERIFICATION
 6. FIELD VERIFICATION
 7. FIELD VERIFICATION
 8. FIELD VERIFICATION
 9. FIELD VERIFICATION
 10. FIELD VERIFICATION
 11. FIELD VERIFICATION
 12. FIELD VERIFICATION
 13. FIELD VERIFICATION
 14. FIELD VERIFICATION
 15. FIELD VERIFICATION
 16. FIELD VERIFICATION
 17. FIELD VERIFICATION
 18. FIELD VERIFICATION
 19. FIELD VERIFICATION
 20. FIELD VERIFICATION
 21. FIELD VERIFICATION
 22. FIELD VERIFICATION
 23. FIELD VERIFICATION
 24. FIELD VERIFICATION
 25. FIELD VERIFICATION
 26. FIELD VERIFICATION
 27. FIELD VERIFICATION
 28. FIELD VERIFICATION
 29. FIELD VERIFICATION
 30. FIELD VERIFICATION
 31. FIELD VERIFICATION
 32. FIELD VERIFICATION
 33. FIELD VERIFICATION
 34. FIELD VERIFICATION
 35. FIELD VERIFICATION
 36. FIELD VERIFICATION
 37. FIELD VERIFICATION
 38. FIELD VERIFICATION
 39. FIELD VERIFICATION
 40. FIELD VERIFICATION
 41. FIELD VERIFICATION
 42. FIELD VERIFICATION
 43. FIELD VERIFICATION
 44. FIELD VERIFICATION
 45. FIELD VERIFICATION
 46. FIELD VERIFICATION
 47. FIELD VERIFICATION
 48. FIELD VERIFICATION
 49. FIELD VERIFICATION
 50. FIELD VERIFICATION
 51. FIELD VERIFICATION
 52. FIELD VERIFICATION
 53. FIELD VERIFICATION
 54. FIELD VERIFICATION
 55. FIELD VERIFICATION
 56. FIELD VERIFICATION
 57. FIELD VERIFICATION
 58. FIELD VERIFICATION
 59. FIELD VERIFICATION
 60. FIELD VERIFICATION
 61. FIELD VERIFICATION
 62. FIELD VERIFICATION
 63. FIELD VERIFICATION
 64. FIELD VERIFICATION
 65. FIELD VERIFICATION
 66. FIELD VERIFICATION
 67. FIELD VERIFICATION
 68. FIELD VERIFICATION
 69. FIELD VERIFICATION
 70. FIELD VERIFICATION
 71. FIELD VERIFICATION
 72. FIELD VERIFICATION
 73. FIELD VERIFICATION
 74. FIELD VERIFICATION
 75. FIELD VERIFICATION
 76. FIELD VERIFICATION
 77. FIELD VERIFICATION
 78. FIELD VERIFICATION
 79. FIELD VERIFICATION
 80. FIELD VERIFICATION
 81. FIELD VERIFICATION
 82. FIELD VERIFICATION
 83. FIELD VERIFICATION
 84. FIELD VERIFICATION
 85. FIELD VERIFICATION
 86. FIELD VERIFICATION
 87. FIELD VERIFICATION
 88. FIELD VERIFICATION
 89. FIELD VERIFICATION
 90. FIELD VERIFICATION
 91. FIELD VERIFICATION
 92. FIELD VERIFICATION
 93. FIELD VERIFICATION
 94. FIELD VERIFICATION
 95. FIELD VERIFICATION
 96. FIELD VERIFICATION
 97. FIELD VERIFICATION
 98. FIELD VERIFICATION
 99. FIELD VERIFICATION
 100. FIELD VERIFICATION

BENCH MARK

ELEVATIONS ARE REFERENCED TO WAD 88 DATUM.

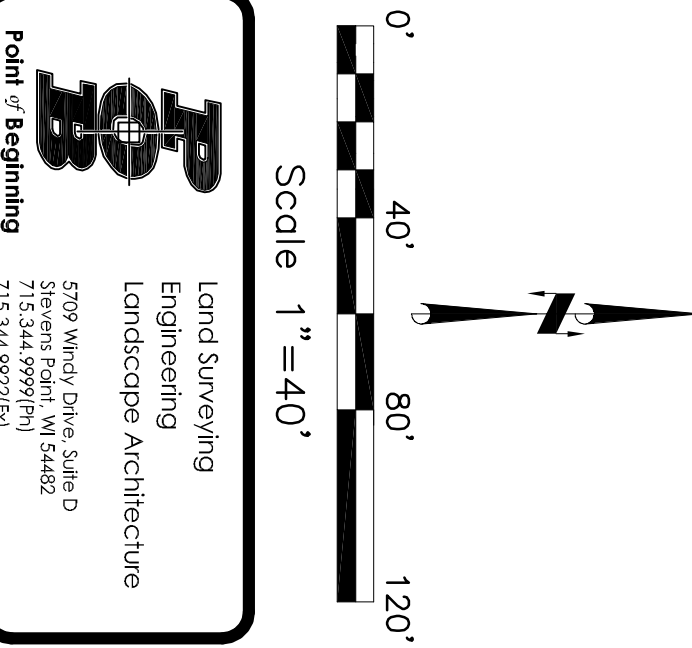
BENCHMARK #1
 1. ON LIGHT POLE BASE, LOCATED IN THE MAIN TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.
 ELEVATION = 753.24

BENCHMARK #2
 1. ON POLE, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET FROM SEVENTH STREET.
 ELEVATION = 759.12

BENCHMARK #3
 1. ON HORIZONTAL, LOCATED IN THE NORTHEAST CORNER OF THE SCHOOL BUILDING.
 ELEVATION = 759.12

DESCRIPTION

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND 17, MENASHA HIGH SCHOOL, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



PROJECT INFORMATION

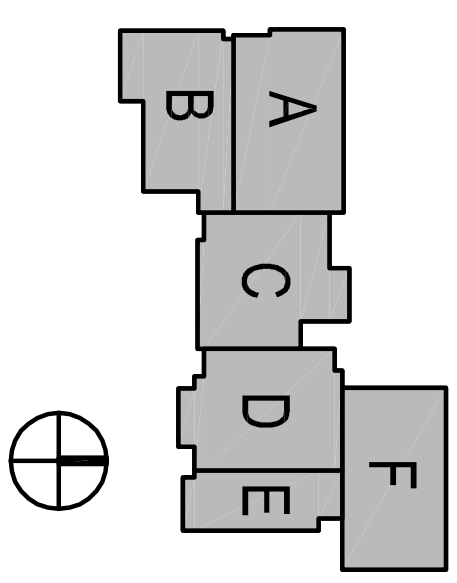
MENASHA HIGH SCHOOL

420 Seventh Street
Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS		
#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS

This document is a design document and shall not be used for construction documents and shall not be used for the building of construction purposes.

PROJECT MANAGER
MLB

PROJECT NUMBER
310285

DATE
10-24-13

LAYOUT PLAN

C101

LEGEND	
These standard symbols will be found in the drawings	
Sanitary pipe construction DOCS	
Water pipe construction DOCS	
Gas pipe construction DOCS	
Sanitary sewer	
Storm sewer	
Overhead utilities	
Buried electric	
Buried gas	
Waterman	
Fiber optics	
Face line	
Contours	
Rectangular catch basin	
Circular catch basin	
Soil boring	
Irrigation head	
Electric meter	
Electric manhole	
Electric transformer	
Gas valve	
Guard post	
City well	
Horizontal	
Lightpole	
Parapet	
Sanitary manhole	
Storm manhole	
Sign	
Storm manhole	
Telephone pedestal	
Traffic signal	
Water manhole	
Water valve	
Tree	
Tree	
Computed corner	
Recorded as	

GENERAL NOTES:

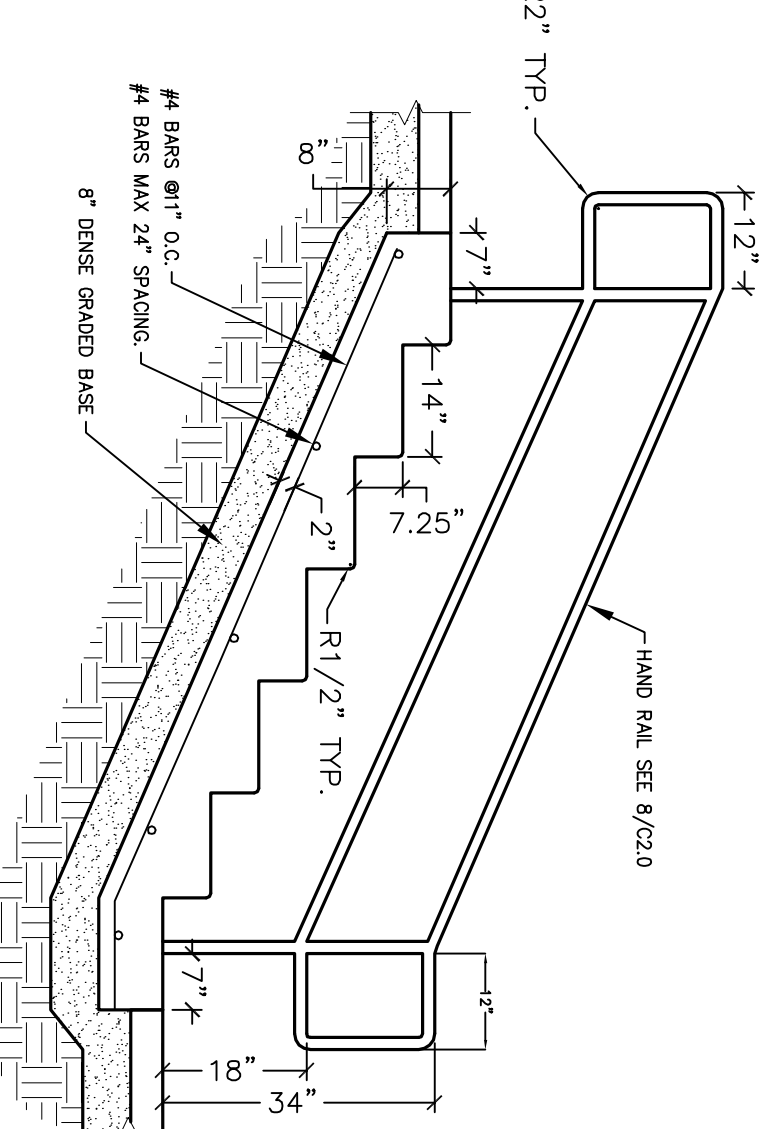
1. SET SHEET C101 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
2. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS.
4. ALL BIDDERS SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF WORK WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
5. RECONSTRUCT CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
6. GUTTER AND GUTTER RADIUS DIMENSIONS ARE TO THE FLOWLINE OF CURB AND ASPHALT STREET REPAIR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MENASHA STANDARD SPECIFICATIONS.

KEYNOTES:

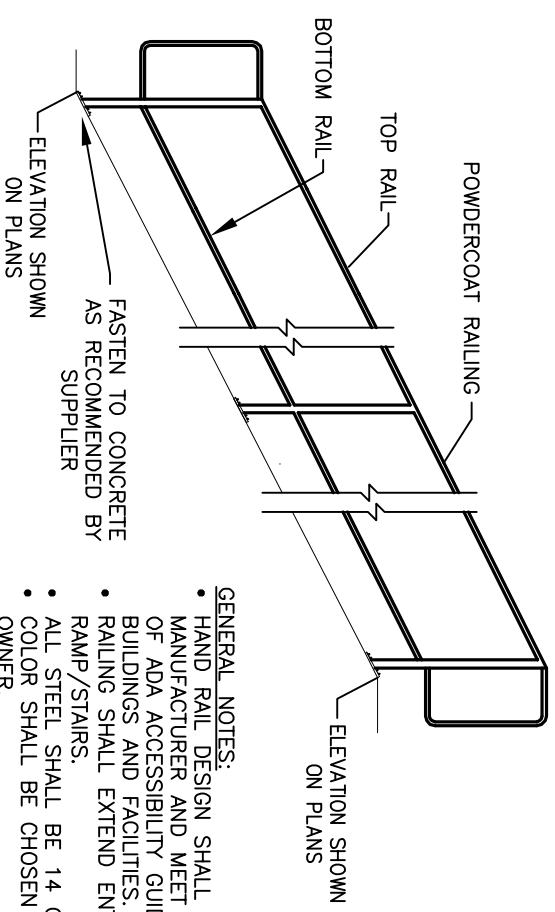
1. CONCRETE STRIPS
2. 30" CURB & GUTTER

PAVEMENT HATCH PATTERNS:

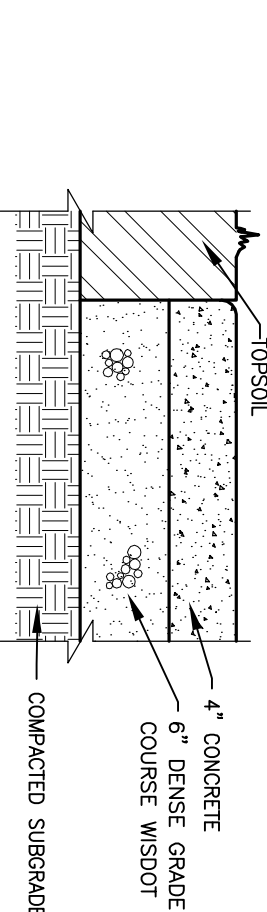
1. 4" CONCRETE PAVEMENT
2. ASPHALT STREET REPAIR (SEE GENERAL NOTE 7)



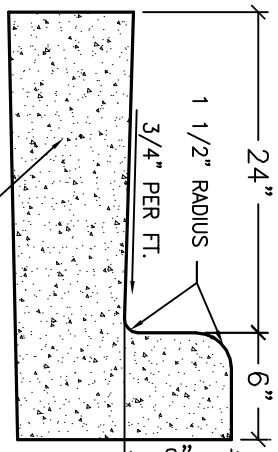
EXTERIOR STAIRS



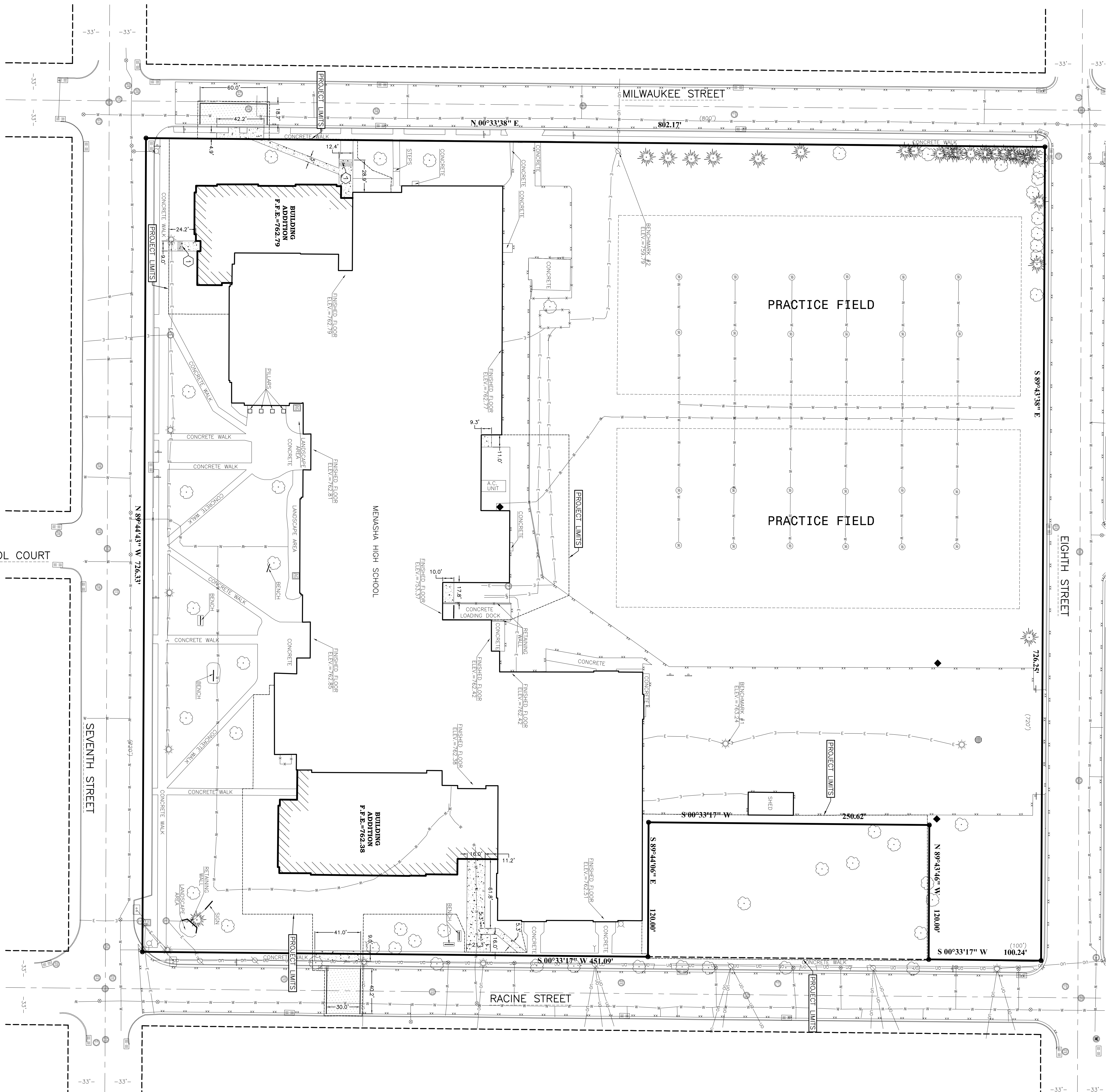
EXTERIOR HANDRAIL



4\"/>



30\"/>

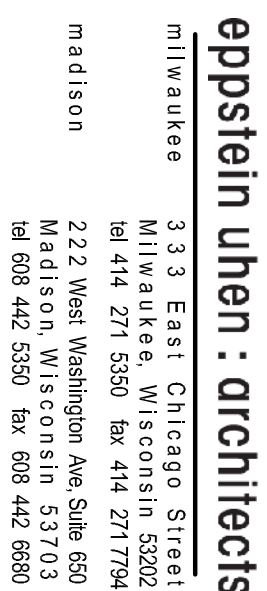


UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART ON THE BASIS OF INFORMATION OBTAINED FROM THE CITY OF MENASHA. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN REFLECTED IN THESE RECORD DRAWINGS. SOME UTILITIES HAVE BEEN LOCATED BY WAYS PROVIDED BY OTHERS - LOCATIONS ARE APPROXIMATE. PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON MAP. CONTACT DIGGERS HOTLINE FOR LOCATIONS, FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.

BENCH MARK

ELEVATIONS ARE REFERENCED TO MWD 88 DATUM. BENCHMARK #1: 1.2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND 17. BENCHMARK #2: 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. BENCHMARK #3: 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200. BENCHMARK #4: 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300. BENCHMARK #5: 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400. BENCHMARK #6: 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500. BENCHMARK #7: 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600. BENCHMARK #8: 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700. BENCHMARK #9: 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800. BENCHMARK #10: 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900. BENCHMARK #11: 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



MENASHA HIGH SCHOOL

420 Seventh Street
Menasha, WI 54952

REVISIONS		
#	DATE	DESCRIPTION



PROGRESS DOCUMENTS

be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER	MLB
PROJECT NUMBER	310285
DATE	10-24-13

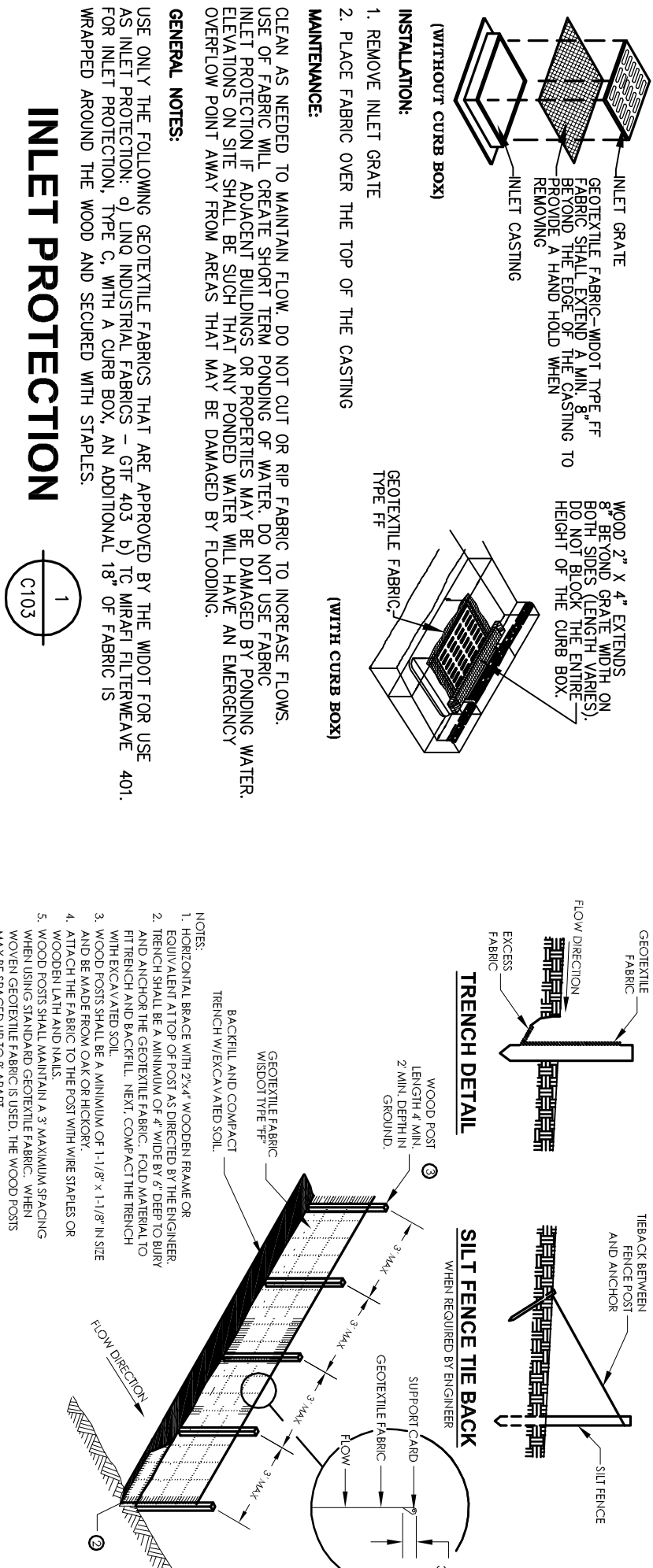
EROSION CONTROL PLAN

C103

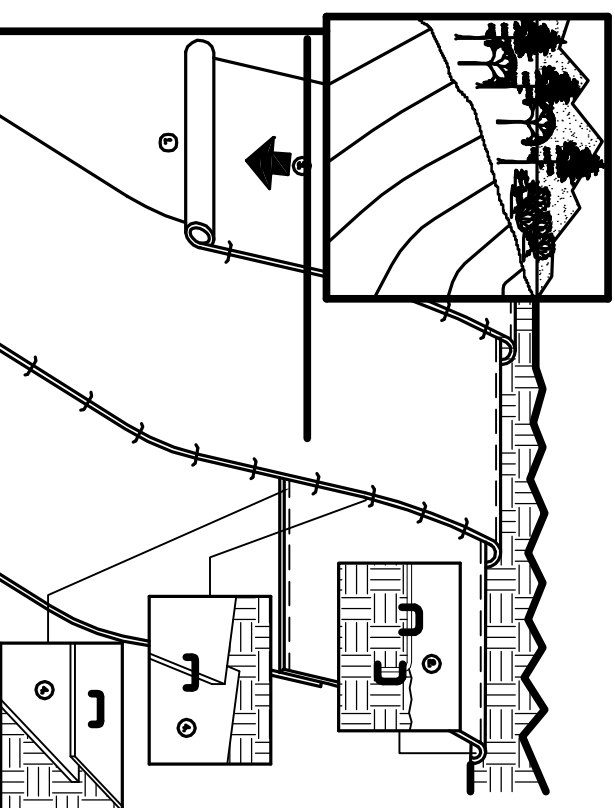
1. THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPALITY AT LEAST 3 WORKING DAYS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL ELEMENTS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
3. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MANUA EXISTING VEGETATION AS LONG AS POSSIBLE.
4. THE CONTRACTOR SHALL MAINTAIN VEGETATION COVERED BY THE END OF EACH WORK DAY. AT THE END OF EACH WORK DAY, ALL EXISTING VEGETATION SHALL BE RECOVERED TO THE PREVIOUS CONDITION. EXCESSIVE AMOUNTS OF SOIL, TRUCKS, OR CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MACHINERY, OR MANUAL SWEEPING OPERATIONS, ONCE A WEEK AT A MINIMUM, BEFORE MINIMAL RAIN EVENTS, AND AS DIRECTED BY THE CITY OF MENASHA.
5. INSIDE THE PERMITS ZONE, THERE SHALL BE NO EXCESSIVE CONSTRUCTION ACTIVITIES, INCLUDING SOIL STOCKPILES, EXPOSED TO THE PUBLIC FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
6. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN AND CREEPING WATERS.
7. THE CONTRACTOR SHALL MAINTAIN THE RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
8. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE CONTRACT. SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL. PRACTICES IN ACCORDANCE WITH THE WISCONSIN AND "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-18.
9. TO PREVENT EROSION, EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL THE GROWTH OF VEGETATION IS ESTABLISHED. REMOVAL OF TEMPORARY EROSION CONTROL ELEMENTS SHALL BE PART OF THE CONSTRUCTION WORK BASE BID.
11. SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM SITE, FILTER BAGS OR SCREENING SHALL BE USED TO REMOVE SEDIMENT FROM THE WATER.
12. THE CONTRACTOR SHALL MAINTAIN THE SAME TECHNICAL STANDARDS 1061 TO PREVENT THE DISPERSE OF SEDIMENT TO THE SURROUNDING ENVIRONMENT.
13. IF BARE SOIL WILL BE EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
14. BARE FENCE SHALL BE INSTALLED AROUND THE BASE OF ALL STOCKPILED TOPSOIL AND GRAVEL.
15. EROSION PROTECTION SHALL BE MAINTAINED ADJACENT TO THE SITE, THROUGH THE STREET FROM THE SITE, AND IN THE NEXT SET OF LOTS DOWNSTREAM OF THE SITE.

[illegible]

Figure 1 is a schematic diagram of the experimental setup. It shows a cross-section of a riverbed with a proposed sill fence and an inlet protection. The riverbed is labeled "EROSION CONTROL BLANKET". The water level is indicated by a dashed line labeled "110". The sill fence is labeled "PROPOSED SILL FENCE" and the inlet protection is labeled "INLET PROTECTION". The riverbed is labeled "EXISTING CONTOUR" and "110". The water level is indicated by a dashed line labeled "110". The sill fence is labeled "PROPOSED SILL FENCE" and the inlet protection is labeled "INLET PROTECTION". The riverbed is labeled "EROSION CONTROL BLANKET".



SILT FENCE



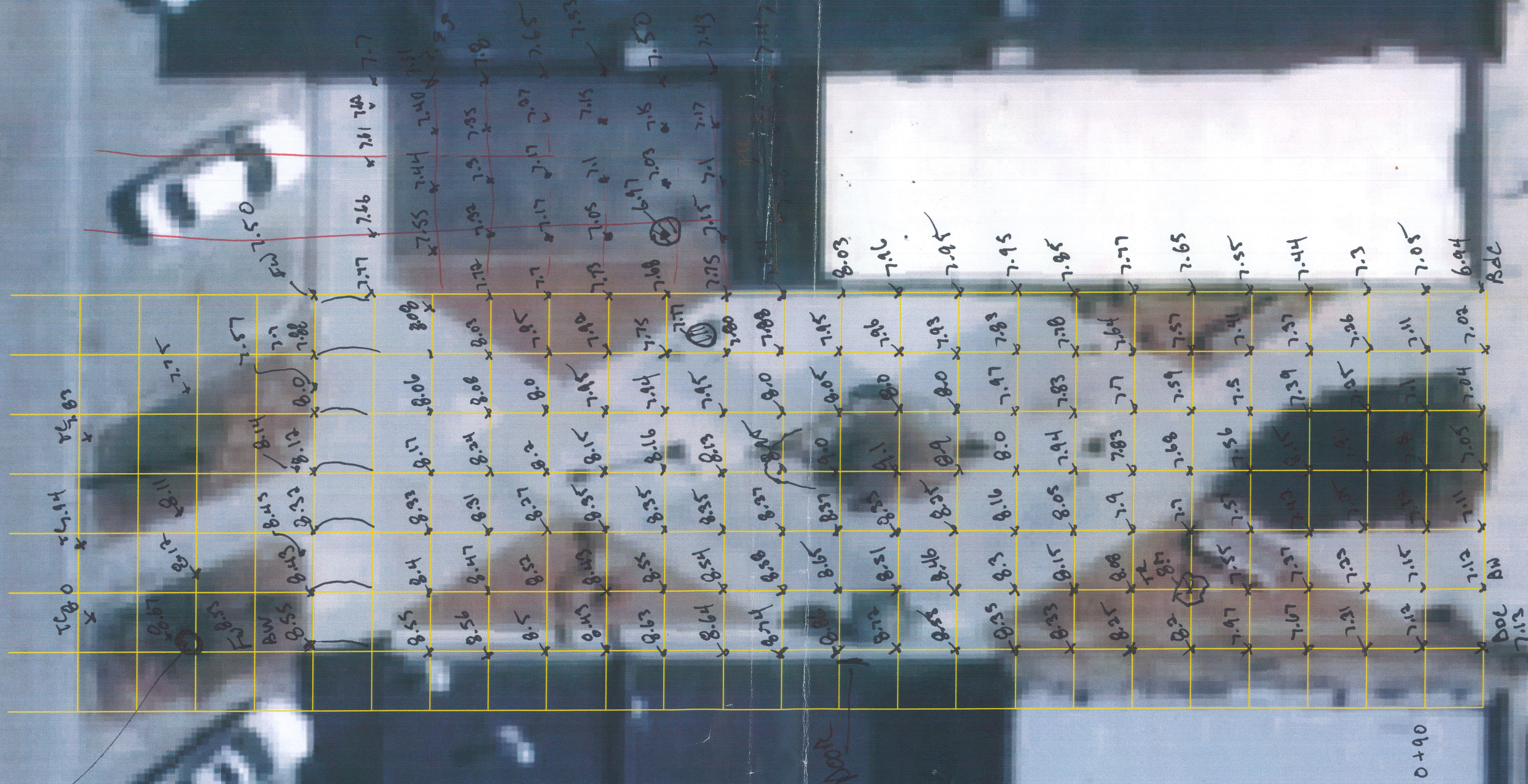
EROSION CONTROL BLANKET



Approx. 200 Elevation Shots

Broad Street Parking Lot

True



BENCHMARK: HYDRANT @ NW COR.

OF Broad & Racine "RR" ELEV = 759.27 USGS

SITE B.M.: NW COR OF Con Base For Elec Pcd

50' ± - NE OF SITE ELEV. = 758.28 "X"

MAIN ST.