



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number \_\_\_\_\_

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Horseheads

Referring Official: Cathy Wood Title: Planning Board Secretary

Address: 150 Wyaunt Rd, Horseheads, NY 14845

Phone Number: (607) 739-8783 E-mail: cwoode@townofhorseheads.org

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): The Broadway Group Phone: (256) 533-7287

Petitioner's Mailing Address: 216 West Side Square E-mail: deanna.hyche@broadwaygroup.net  
Huntsville, Alabama 35801

Location of Property: 101 Old Ithaca Rd, Horseheads NY 14845

Tax Map Parcel Number(s): 49.03-2-38

Current Zoning District: Business

Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

Develop a 9100 SF retail building (Dollar General)

The proposed action applies to real property within five hundred feet (500') of the following

(Please identify each item by filling in the appropriate blank after each item)

☒ (a) Boundary of the (City), (Village) or (Town) of: Horseheads

☒ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): State Route #168

☐ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (include (County) or (State Route) # and name of (Road)): \_\_\_\_\_

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances): \_\_\_\_\_

Hearings/Meetings Schedule		
Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		3/10/19, 4/3/19
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) reviewed

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State
- \_\_\_\_\_ Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**



## TOWN OF HORSEHEADS

150 Wygant Rd., Horseheads, NY 14845

Tel no. 607-739-8783

Fax no. 607-739-0469

ZONING: SECTION 239 REVIEW SUBMISSION

Submission Date: 3/07/2019

- Submitted to: ☒ Chemung County Planning Board, 400 E. Church St., Elmira, NY 14901  
☒ Village of Horseheads, 202 S. Main St., Horseheads, NY 14845  
☐ Village of Elmira Heights, 215 Elmwood Ave., Elmira Heights, NY 14903  
☐ Town of Big Flats, 476 Maple St., Big Flats, NY 14814  
☐ Town of Catlin, 1448 Chambers Rd., Beaver Dams, NY 14812  
☐ Town of Veteran, 4046 Watkins Rd., Millport, NY 14864  
☐ Town of Erin, 1138 Breesport Rd., Erin, NY 14838  
☐ Town of Elmira, 1255 W. Water St., Elmira, NY 14905  
☐ Other

Project Name: The Broadway Group

Project Sponsor/Applicant: The Broadway Group

Project Sponsor/Applicant Mailing Address: 216 West Side Square, Huntsville, Alabama 35801

Project Location: 101 Old Ithaca Rd, Horseheads, NY 14845

Tax Map Number(s): 49.03-2-38

Municipality Zoning District: Business

Brief Project Description: Develop a 9100 SF retail building ( Dollar General).

Pursuant to § 239-l, -m and -n of the General Municipal Law, enclosed for your review and recommendation is the application for (check all applicable):

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Rezoning (Map Adoption or Amendment)                              |
| <input type="checkbox"/> Area Variance               | <input type="checkbox"/> Zoning Text Change (Ordinance or Local Law Adoption or Amendment) |
| <input type="checkbox"/> Use Variance                | <input type="checkbox"/> Comprehensive Plan Adoption or Amendment                          |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Subdivision Review  |
| <input type="checkbox"/> Planned Development         | <input type="checkbox"/> Other [describe] Click here to enter text.                        |

The application qualifies for review because the project tax map parcel is located within five hundred [500] feet of the following (check all applicable):

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Municipal[village, town] Boundary*                                | <input type="checkbox"/> State/County Park or Other Recreation Area |
| <input checked="" type="checkbox"/> State/County Road CR68  | <input type="checkbox"/> State/County Drainage/way/Watercourse      |
| <input type="checkbox"/> State/County-owned land on which a public building or institution is located |   |
- Farm located in Agricultural District

## TOWN OF HORSEHEADS

150 Wygant Rd., Horseheads, NY 14845

Tel no. 607-739-8783

Fax no. 607-739-0469

The following public hearings and/or meetings are scheduled by the following board(s) (check all applicable):

Public Hearing Date/Time	Meeting Date/Time
<input type="checkbox"/> Town Board	
<input type="checkbox"/> Zoning Board of Appeals	
<input checked="" type="checkbox"/> Planning Board	04/03/2019, 7:00PM
<input type="checkbox"/> Other	

\*Pursuant to General Municipal Law § 239-m, the legislative body or reviewing board of a municipality shall give notice of a public hearing for a proposed *Special Use Permit, Use Variance, Site Plan Review* or *Subdivision Review* to the Clerk of an adjacent municipality at least ten [10] days prior to the public hearing when the subject property is located within five hundred [500] feet of the adjacent municipality.

Notice of public hearing has been given to the Adjacent Municipality(s) on Click here to enter a date..

Application submitted by: Cathy Wood, Planning Board Secretary— March 6, 2019



# 866

# Short Environmental Assessment Form

## Part 1 - Project Information

RECEIVED

FEB 27 2019

TOWN CLERK'S OFFICE

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

### Part 1 – Project and Sponsor Information

Name of Action or Project:			
The Broadway Group - Horseheads Site			
Project Location (describe, and attach a location map):			
101 Old Ithaca Road, Horseheads, NY 14845			
Brief Description of Proposed Action:			
To build a 9,100 SF commercial building with 32 parking stalls, loading area, dumpster area, and connection to public utilities.			
Name of Applicant or Sponsor:		Telephone: 256-533-7287	
The Broadway Group, LLC		E-Mail: deanna.hyche@broadwaygroup.net	
Address:			
216 West Side Square			
City/PO:	State:	Zip Code:	
Huntsville	AL	35801	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: CCDFW - Driveway Permit, CCSWC - SW Approval, Chemung County PB 239-M Referral, NYSDEC - eNOI			
			NO YES
			<input checked="" type="checkbox"/> <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?			1.05 acres
b. Total acreage to be physically disturbed?			1.05 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			1.05 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?		NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____		NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional			
<input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Harrier, Upland Sa...		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
16. Is the project site located in the 100-year flood plan?		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
a. Will storm water discharges flow to adjacent properties?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
All stormwater runoff shall be collected and treated by an underground infiltration system.			
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<p align="center"><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>488</u> Date: <u>02-26-19</u></p> <p>Signature: <u>Bob Broadway</u> Title: <u>Managing Member/Owner</u></p>			



Project Drawings For

# The Broadway Group Horseheads Site Horseheads (T), Chemung (Co.), New York

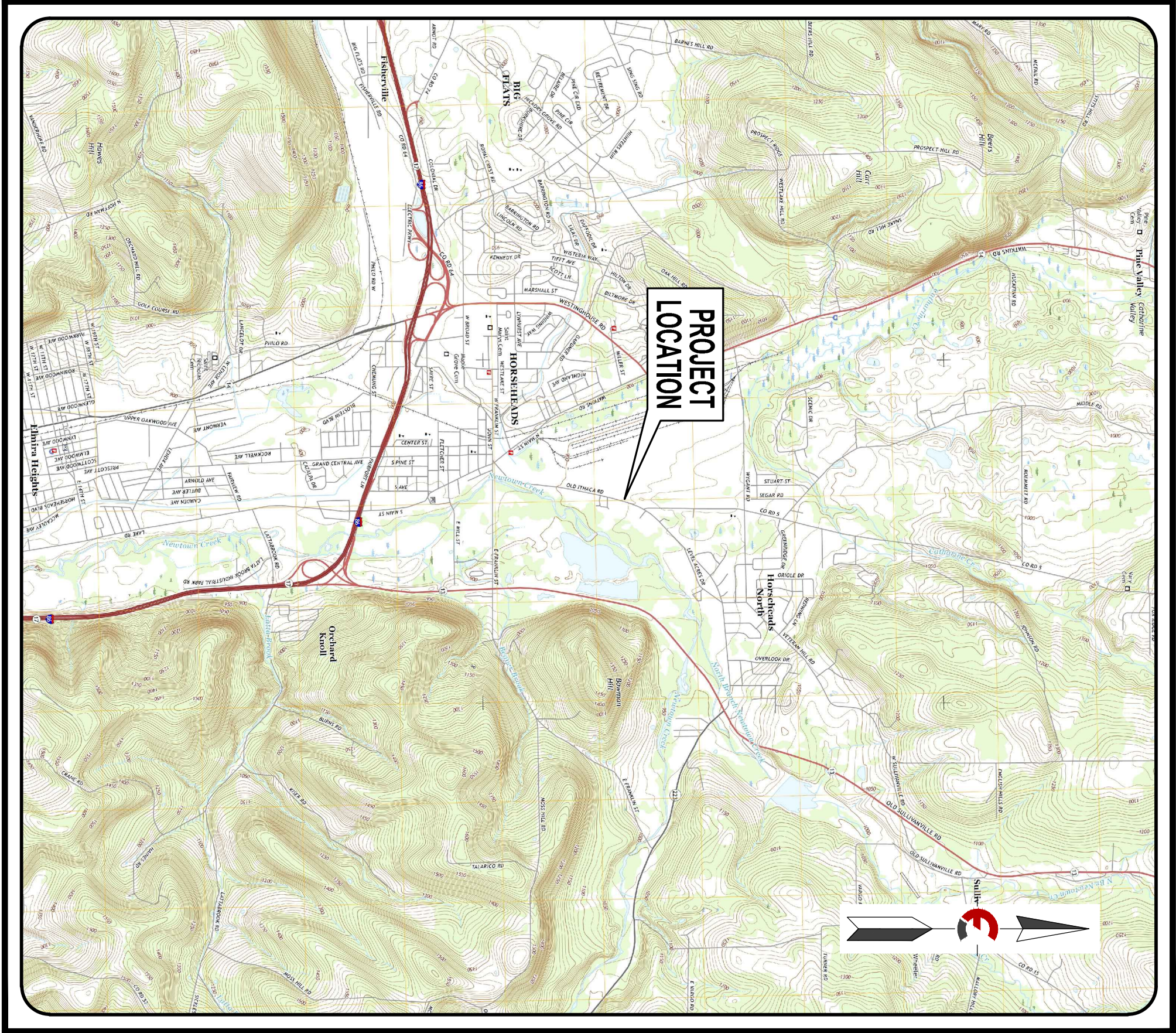
January 2019

PREPARED FOR:

The Broadway Group, LLC  
216 West Side Square  
Huntsville, AL 35801

PREPARED LOCATION:

The Broadway Group  
Horseheads Site  
101 Old Ithaca Road  
Horseheads, NY



LOCATION MAP

## INDEX OF DRAWINGS

NO.	TITLE
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	LANDSCAPING PLAN
C6	CIVIL DETAILS
C7	CIVIL DETAILS
C8	E & S PLAN
C9	E & S DETAILS
C10	TRUCK ACCESS DETAILS

Rev.	Date	Revision Description

IT IS A VIOLATION OF THE NEW YORK EDUCATION LAW, ARTICLE 145 SECTION 209, FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO PREPARE OR TO ALTER ANY DESIGN OR SURVEY BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL BE LIABLE TO THE STATE OF NEW YORK FOR THE VIOLATION AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**The Broadway Group  
Horseheads Site**  
Horseheads (T), Chemung (Co.), New York

**FAGAN**  
ENGINEERS  
S. LAND SURVEYORS P.C.  
113 East Chemung Place  
Horseheads, NY 14904  
P.O. Box 145  
Fax (607) 734-2169  
www.FaganEngineers.com

Scale:	As Shown
Date:	11x17 Prints are 1/2 Size
Design By:	January 11, 2019
Drawn By:	BMG
Checked By:	CEL
Project No.:	KMS
Drawing Name:	2017.023-016
	17023-016-4.dwg



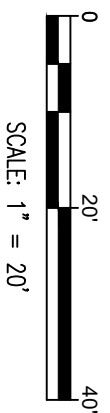


LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF ROADWAY
- EXISTING CURB LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING GAS MAIN
- EXISTING UTILITY LINE
- EXISTING FENCE LINE
- EXISTING WATER LINE
- EXISTING CONTOUR LINE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED CONTOUR LINE
- PROPOSED EASEMENT
- PROPOSED STORM SEWER
- PROPOSED EDGE OF ROADWAY
- PROPOSED CURB LINE
- PROPOSED SANITARY SEWER
- PROPOSED GAS LINE
- PROPOSED UTILITY LINE
- PROPOSED WATER LINE
- PROPOSED SUI FENCE
- EXISTING COMPOST SOX
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING CLEANOUT
- EXISTING LAMP POST
- EXISTING SPOT ELEVATION
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER VALVE
- PROPOSED THURST BLOCK
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED CLEANOUT
- PROPOSED LIGHTING FIXTURE
- PROPOSED SPOT ELEVATION
- PROPOSED DRAINELL
- PROPOSED CATCH BASIN
- PROPOSED INLET PROTECTION

Note:  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If unidentified or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.  
Call three days before you dig!  
**IT'S THE LAW!**  
1-800-562-7962  
Dig Safely New York  
(nonmembers must be contacted separately)



- GENERAL DEMOLITION NOTES:
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PLAN SET AND PROJECT SPECIFICATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
  - CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
  - THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT ADJACENT PROPERTIES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL OBTAIN POSITIVE INFORMATION AS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

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**The Broadway Group**  
**Horseheads Site**  
Horseheads (T), Chemung (Co.), New York

**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC  
119 East Chemung Place  
Bingham, N.Y. 14904  
P: 607.734-2169  
F: 607.734-2169  
www.FaganEngineers.com

Scale: 1"= 20'  
11x17 Prints are 1/2 size  
Date: January 11, 2019  
Design By: BMG  
Drawn By: CEL  
Checked By: KMS  
Project No.: 2017 023-016  
Drawing Name: 17023-016-4-dwg

**EXISTING**  
**CONDITIONS**  
**C1**





Rev.	Date	Revision Description

It is a Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item in Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor Is Altered, The Altering Engineer Or Land Surveyor Shall Attest To The Item His Seal And The Notation "Altered By," Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.

# The Broadway Group

## Horseheads Site

Horseheads (T), Chemung (Co.), New York

  
**FAGAN**  
ENGINEERS  
113 East Chermung Place  
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Date:	January 11, 2019
Design By:	BMG
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Drawing Name:	17023.016-a.dwg

# SITE PLAN

## LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING EDGE OF ROADWAY
	EXISTING CURB LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING GAS MAIN
	EXISTING UTILITY LINE
	EXISTING FENCE LINE
	EXISTING WATER LINE
	EXISTING CONTIGUOUS LINE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED CONTIGUOUS LINE
	PROPOSED EASEMENT
	PROPOSED STORM SEWER
	PROPOSED EDGE OF ROADWAY
	PROPOSED CURB LINE
	PROPOSED SANITARY SEWER
	PROPOSED GAS LINE
	PROPOSED UTILITY LINE
	PROPOSED WATER LINE
	PROPOSED SILT FENCE
	PROPOSED COMPOST SOCK
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT ASSEMBLY
	EXISTING CLEANOUT
	EXISTING LAMP POST
	EXISTING SPOT ELEVATION
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER VALVE
	PROPOSED THIRST BLOCK
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED CLEANOUT
	PROPOSED LIGHTING FIXTURE
	PROPOSED SPOT ELEVATION
	PROPOSED DRAINWELL
	PROPOSED CATCH BASIN
	PROPOSED INLET PROTECTION

**Note:** Utility information has been plotted from available sources and their locations and sizes should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.

11 three days before you dig!  
**1-800-962-7962**  
 Dig Safely New York  
 Members must be contacted separately

Members must be contacted separately.

**PRELIMINARY PRINT**

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ESTIMATED SITE QUANTITIES			
DESCRIPTION	QUANTITY	UNIT	
CONCRETE SIDEWALK	2,275	SF	
CONCRETE CURB	165	SF	
STANDARD DUTY ASPHALT PAVING	8,575	SF	
HEAVY DUTY ASPHALT PAVING	12,760	SF	
HEAVY DUTY CONCRETE PAVING	480	SF	
ESTIMATED R.O.W. QUANTITIES			
DESCRIPTION	QUANTITY	UNIT	
STANDARD DUTY ASPHALT PAVING		SF	
HEAVY DUTY ASPHALT PAVING	205	SF	
PARKING RATIO			
BUILDING SQ. FT.	REQUIRED	PROVIDED	
TOTAL	7,220	31	32
REQUIRED PARKING RATIO	1 PER 250 SQ. FT. OF TOTAL AREA		

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS – PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND WELT. SURFACES FREE OF HEAVY RUST. 2 COATS SHERWIN WILLIAMS – FEN 4000 ASPHALTIC ACRID ENAMEL SAFETY YELLOW 685100
STRIPING – PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS – PROFAR PAVIC MARKING PAINT YELLOW 1J5495
HANDICAP STRIPING – PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS – PROFAR PAVIC MARKING PAINT TLC, BLUE

1. ALL WATER LINES SHALL BE TYPE K COPPER WITH 5" MIN. COVER.
  2. ALL BUILDING SANITARY SEWER LINES SHALL BE 30"-35" P.C. WITH 4" MIN. COVER. ALL MAN SANITARY SEWER LINES SHALL BE 30"-35" P.C. WITH 4" MIN. COVER.
  3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  4. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS. ALL UTILITY DISRUPTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL THE UTILITY APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WETTED MAIN, OR ANY OTHER UTILITY, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS AND COORDINATE THE CONNECTION AND ALL UTILITY CROSSINGS AND INROAD FROM ENGINEERS' AND LAND SURVEYORS, P.C. AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. FIELD ENGINEERS' AND LAND SURVEYORS, P.C. AND ITS CLIENTS SHALL BE WELL AWARENESS IN THE EVENT THAT THE CONTRACTOR FAILS TO FULFILL SUCH NOTIFICATION.
  7. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR UNLESS SPECIFICATIONS REQUIRE, THE PRELIMINARY SHARP BEADING SHALL BE THE TYPICAL PRE TRENCH DETAIL ON SHEET C7. ALL SANITARY SEWER PIPE BEADING SHALL BE INSTALLED PER THE TYPICAL PRE TRENCH DETAIL ON SHEET C8.
- FOR LOADING REQUIREMENTS SEE E31.

1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. ALL CURB RETURN RATES SHALL BE 3" OR 10", AS SHOWN TYPICAL OF THIS PLAN UNLESS OTHERWISE NOTED.
3. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING DETAILS ON SHEET C6. OVER THE DRIVE CUSTOMER PARKING LOT AREA AND OVER THE DRIVE CUSTOMER DRIVEWAY, THE PAVING SHALL BE IN ACCORDANCE WITH THE PAVING DETAILS ON SHEET C6. THE DRIVEWAY SHALL BE PAVED PER THE ACCESSIBLE PARKING DETAILS ON SHEET C6.
4. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER THE TYPICAL SIGN INSTALLATION DETAIL ON SHEET C7.
5. ALL ACCESSIBLE PARKING STATUS SHALL HAVE SIGNAGE INSTALLED PER THE ACCESSIBLE PARKING SIGN DETAIL ON SHEET C8.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY ADDRESS WITH LOCAL JURISDICTION IF A PHYSICAL MAILBOX IS REQUIREMENT. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION, PLACEMENT, AND INSTALLATION.
7. DRAINAGE CONSTRUCTION WITHIN ROAD RIGHT-OF-WAY SHALL MEET JURISDICTIONAL REQUIREMENTS.
8. WATER WELL DESIGN FROM LICENSED INSTALLER SHALL BE PROVIDED FOR OWNERS REVIEW AND APPROVAL PRIOR TO INSTALLATION.
9. ALL WORK ZONE TRAFFIC CONTROL SHALL CONFORM TO THE 2000 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE CURRENT NEW YORK STATE SUPPLEMENT NYSOT STANDARD SPECIFICATIONS, STANDARD STANDARD SHEETS, AND NYSOT WORK ZONE TRAFFIC CONTROL MANUAL DATED JANUARY 2012.
10. PROPOSED STOP BAR PAVEMENT MARKINGS AND STOP SIGN SHALL NOT BE INSTALLED WITHIN NYSOT RIGHT-OF-WAY.
11. SIGNMAK AND CURB RAMP(S) TO BE DESIGNED/CONSTRUCTED TO NYSOT STANDARD SPECIFICATIONS AND BE ADA COMPLIANT.









Rev.	Date	Revision Description

It's A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He Is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor Is Altered, The Altering Engineer Or Land Surveyor Shall Attest To The Item His Seal And The Notation "Altered By," Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration,

# The Broadway Group

## Horseheads Site

Horseheads (T), Chemung (Co.), New York



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## UTILITY PLAN

64

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## LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING EDGE OF ROADWAY
	EXISTING CURB LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING GAS MAIN
	EXISTING UTILITY LINE
	EXISTING FENCE LINE
	EXISTING WATER LINE
	EXISTING CONTOUR LINE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED CONTOUR LINE
	PROPOSED EASEMENT
	PROPOSED STORM SEWER
	PROPOSED EDGE OF ROADWAY
	PROPOSED CURB LINE
	PROPOSED SANITARY SEWER
	PROPOSED GAS LINE
	PROPOSED UTILITY LINE
	PROPOSED WATER LINE
	PROPOSED SILT FENCE
	PROPOSED COMPOST SOCK
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT ASSEMBLY
	EXISTING CLEANOUT
	EXISTING LAMP POST
	EXISTING SPOT ELEVATION
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER VALVE
	PROPOSED THURST BLOCK
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED CLEANOUT
	PROPOSED LIGHTING FIXTURE
	PROPOSED SPOT ELEVATION
	PROPOSED DIRTWELL
	PROPOSED CATCH BASIN
	PROPOSED INLET PROTECTION

**Note:** Utility information has been plotted from available sources and their locations and sizes should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.

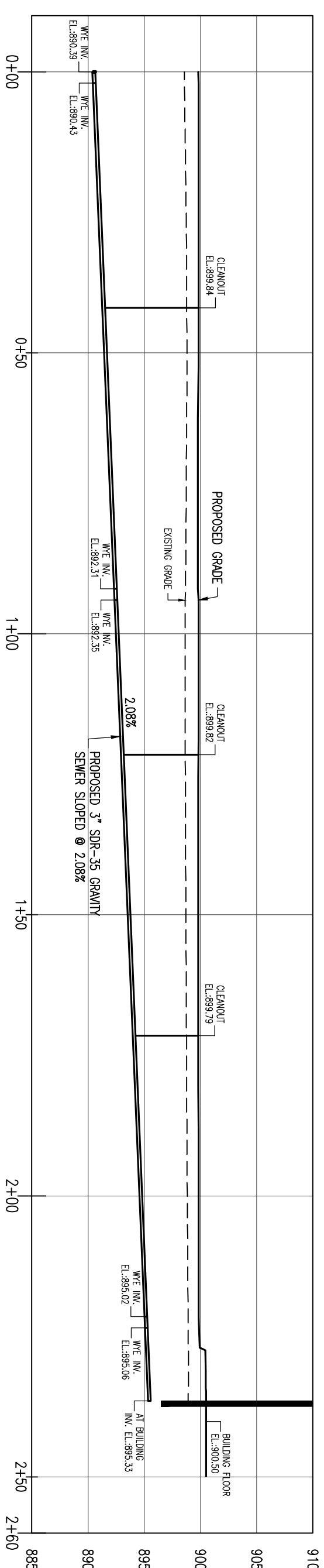
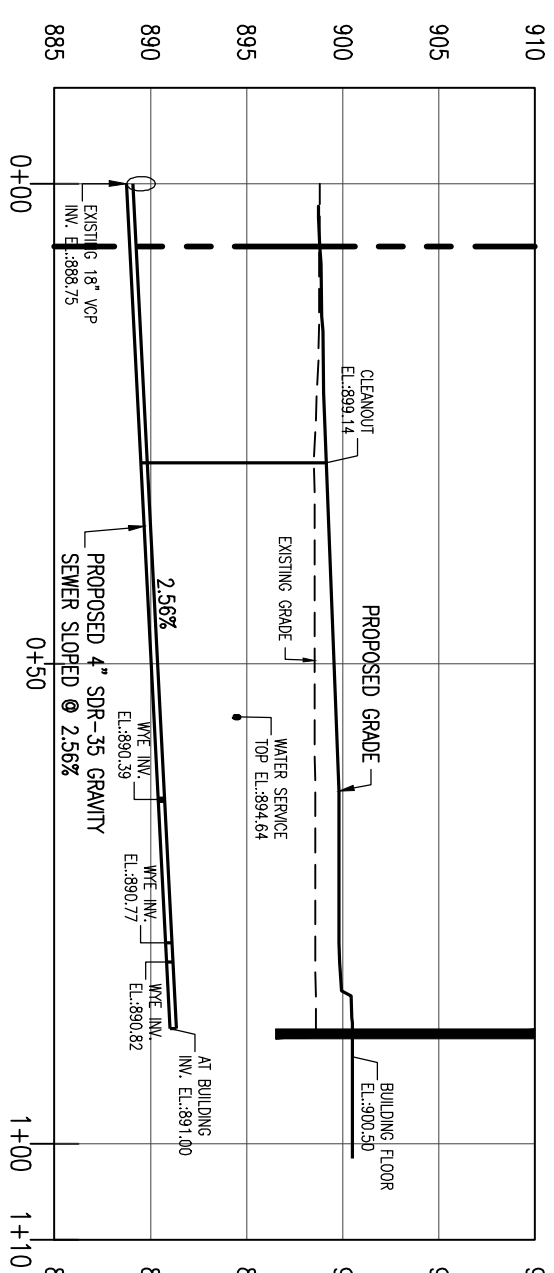
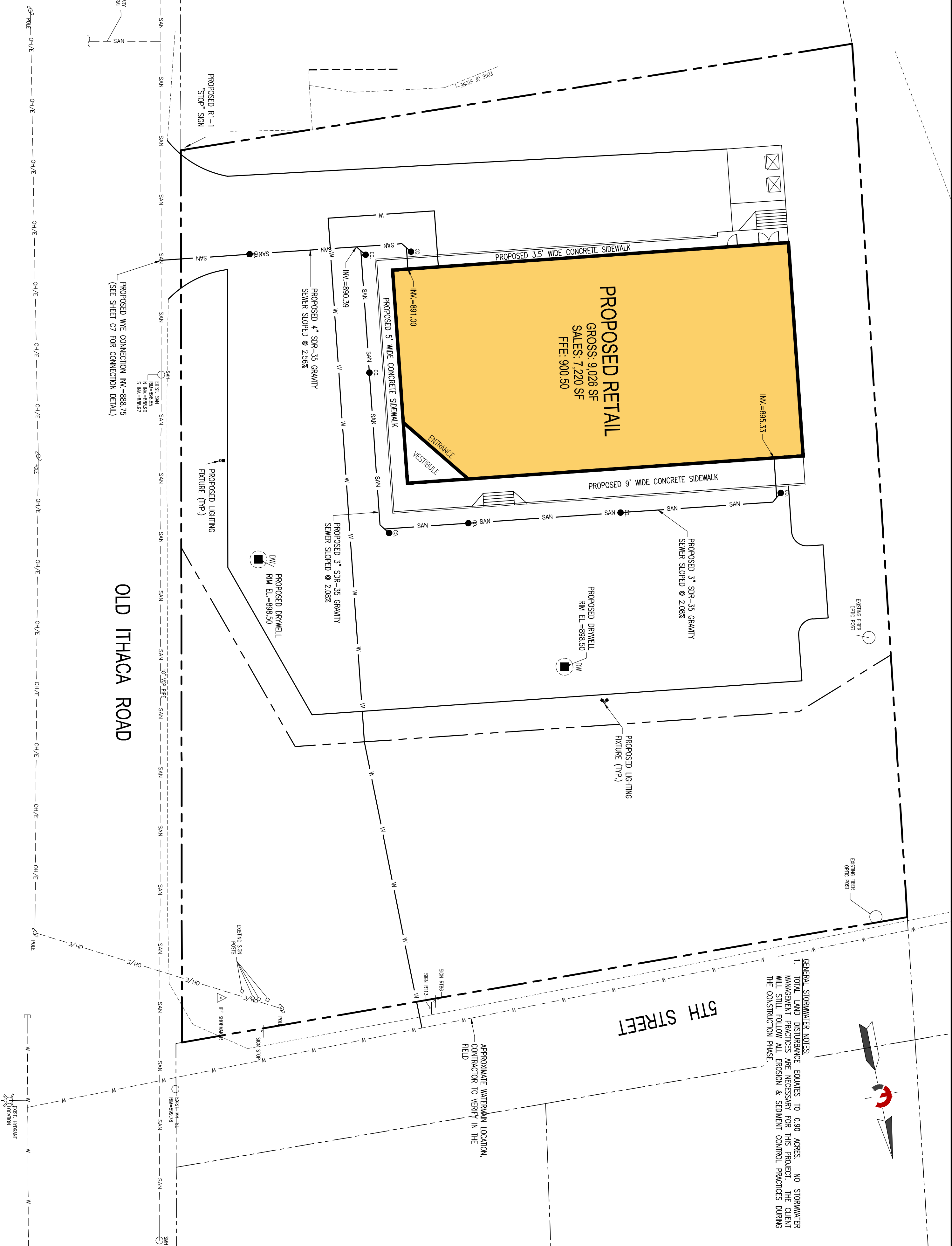
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# SANITARY SEWER PROFILE



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# LANDSCAPING PLAN



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## LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING EDGE OF ROADWAY
	EXISTING CURB LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING GAS MAIN
	EXISTING UTILITY LINE
	EXISTING FENCE LINE
	EXISTING WATER LINE
	EXISTING CONTOUR LINE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED CONTOUR LINE
	PROPOSED EASEMENT
	PROPOSED STORM SEWER
	PROPOSED EDGE OF ROADWAY
	PROPOSED CURB LINE
	PROPOSED SANITARY SEWER
	PROPOSED GAS LINE
	PROPOSED UTILITY LINE
	PROPOSED WATER VALVE
	PROPOSED SILT FENCE
	PROPOSED COMPOST SOCK
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT ASSEMBLY
	EXISTING CLEANOUT
	EXISTING LAMP POST
	EXISTING SPOT ELEVATION
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER VALVE
	PROPOSED THRIFT BLOCK
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED CLEANOUT
	PROPOSED LIGHTING FIXTURE
	PROPOSED SPOT ELEVATION
	PROPOSED DRIVEWAY
	PROPOSED CATCH BASIN
	PROPOSED INLET PROTECTION

**Note:** Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplanned utilities are encountered, the contractor is required to notify the owner immediately.

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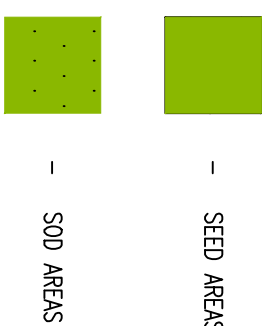
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50' MIN.

- # STABILIZED CONSTRUCTION ENTRANCE
- EXISTING SLOPE**

**FILTER CLOTH**

**MOUNTABLE BERM (OPTIONAL)**

**PROFILE**

**PLAN VIEW**

**EXISTING PAVEMENT**

12" MIN.

(SEE NOTE 4)

12" MIN.

12"

12"

12"

1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.

2. Length - As required, but no less than 50 feet.

3. Thickness - Not less than (6) inches.

4. Width - Twelve (12) ft. Minimum, but not less than the full width at points where ingress or egress occurs. If only one entrance is used the minimum width shall be twenty-four (24) feet.

5. Filter cloth - Will be placed over the entire area prior to placing of stone.

6. Surface water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a movable berm with 5:1 slopes is permitted.

7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressings with additional stone as conditions demand and repair and/or cleanup of any measures used to top sediment. All sediment spilled, dropped, wasted or tracked onto public rights-of-way must be cleaned immediately by Contractor.

8. Washing - Wheels shall be removed to separate sediment prior to entrance onto a public right-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.

9. Periodic inspection and needed maintenance shall be provided after each rain.

**GATHER EXCESS**

(c)  $\frac{1}{\sqrt{2}}$

- 
- DEWATERING
- CONCRETE BLOCK
- 2:1 S
- STONE
- STONE & BLOCK PLAN VIEW
- 4'
- 3-1/2' STONE
- T
- P



- 
- The Broadway Group**
- Commercial Real Estate Development

[illegible]

- # roadway Group seheads Site (T), Chemung (Co.), New York

**Waad**  
**ad**  
**nung**

6. LAND SURVEYORS PC  
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[www.fcpennsurveyors.com](http://www.fcpennsurveyors.com)

## Date: January 11, 2019

- 
- 10 ml PLASTIC LINING
- PLAN  
1/16"



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**TRUCK ACCESS**  
**DETAILS**

**C10**

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**TRUCK ENTERING**  
SCALE: 1"=30'



**TRUCK LEAVING**  
SCALE: 1"=30'