



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Erin

Referring Official: Deda Cedez Title: Chair Planning Board

Address: 1138 Breesport Rd Erin NY 14838

Phone Number: 607-739-8814 E-mail: Erinplanningboard@gmail.com

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Nexamp Solar LLC Phone: \_\_\_\_\_

Petitioner's Mailing Address: 73 Van Dam St Spentog Springs NY 12866 E-mail: jfori@nexamp.com

Location of Property: 875 Breesport Rd Erin NY 14838

Tax Map Parcel Number(s): 51-1-31

Current Zoning District: ARI-R

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                             | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                              | <input type="checkbox"/> Rezoning              |
| <input type="checkbox"/> Site Plan Review                          | <input type="checkbox"/> Zoning Text Amendment |
| <input checked="" type="checkbox"/> Special/Conditional Use Permit | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment   | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____             |  |

Description of the proposed action (attach detailed narrative if available):

Solar Farm located on 99 acre farm  
total land to be developed 16 acres

**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_

☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): St Rt 223, Breesport Rd

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☒ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: FARM IS LOCATED IN AG DISTRICT

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission	<u>3/25/2019</u>	
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) Approved by planning Board 3/25/2019

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- ☒ Chemung County Planning Board – Municipal Referral Form
- ☒ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- ☒ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- ☐ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- ☒ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- ☐ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- ☐ Zoning Map
- ☐ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Nexamp Solar - Erin-Elston		
Project Location (describe, and attach a general location map): 875 Breesport Road (NYS Route 223)		
Brief Description of Proposed Action (include purpose or need): The Applicant, Nexamp Solar, LLC, is proposing the construction of a 2.1 megawatt (MW), alternating current (AC) community solar farms on a portion of a parcel located at 875 Breesport Road in the Town of Erin.		
Name of Applicant/Sponsor: Nexamp Solar, LLC (Joe Fiori)	Telephone: 978-296-3341 E-Mail: jfiori@nexamp.com	
Address: 73 Van Dam Street		
City/PO: Saratoga Springs	State: NY	Zip Code: 12866
Project Contact (if not same as sponsor, give name and title/role):	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Kenneth E Elston, III	Telephone: E-Mail:	
Address: 2770 County Route 60		
City/PO: Elmira	State: NY	Zip Code: 14931

## B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Erin Town Board	
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Erin Planning Board	
c. City, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC, NYSDOT, NYSEDA	
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## C. Planning and Zoning

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>If Yes, complete sections C, F and G.</li> <li>If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYS Major Basins: Upper Susquehanna _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____ _____	



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
AR-1R and AR

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Horseheads CSD

b. What police or other public protection forces serve the project site?

County Sheriff

c. Which fire protection and emergency medical services serve the project site?

Erin Volunteer Fire Department

d. What parks serve the project site?

\_\_\_\_\_

**D. Project Details****D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Renewable Energy

b. a. Total acreage of the site of the proposed action? 99.6 acres

b. Total acreage to be physically disturbed? 15.8 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 99.6 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

c. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 4 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_

- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>			
If Yes, show numbers of units proposed.			
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>
	<u>Multiple Family (four or more)</u>		
Initial Phase	_____	_____	_____
At completion	_____	_____	_____
of all phases	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes,	
i. Total number of structures <u>0</u>	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ 0 square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes,	
i. Purpose of the impoundment: <u>Stormwater management</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Stormwater Runoff</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>Earth fill</u>	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> <li>• Volume (specify tons or cubic yards): _____</li> <li>• Over what duration of time? _____</li> </ul>	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ix. Summarize site reclamation goals and plan: _____	
_____	
_____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	
_____	
_____	



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water? ☐ Yes ☒ No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No  
If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes? ☐ Yes ☒ No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

---

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will a line extension within an existing district be necessary to serve the project? If Yes:  <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul> </li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____ If Yes: <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____ If Yes: i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or <u>0.2</u> acres (impervious surface) _____ Square feet or _____ acres (parcel size) ii. Describe types of new point sources. <u>gravel access road</u> _____ iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? <u>on-site stormwater management practices</u> _____ • If to surface waters, identify receiving water bodies or wetlands: _____ <u>on-site stream</u> _____ • Will stormwater runoff flow to adjacent properties? _____	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____ If Yes, identify: i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____ ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____ iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____ If Yes: i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____ ii. In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	



<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am - 5pm</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am - 5pm</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am - 5pm</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:  <u>typical construction activity during daylight hours</u></p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:          _____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:          _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):          _____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation: _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	



s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

#### E. Site and Setting of Proposed Action

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☒ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.0	1.2	0.2
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)	98.6	98.4	-0.2
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam? ☐ Yes ☒ No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No  
If Yes:  
i. Has the facility been formally closed? ☐ Yes ☐ No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No  
☐ Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
☐ Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☒ No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

- v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☒ No
- If yes, DEC site ID number: \_\_\_\_\_
  - Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
  - Describe any use limitations: \_\_\_\_\_
  - Describe any engineering controls: \_\_\_\_\_
  - Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
  - Explain: \_\_\_\_\_

## E.2. Natural Resources On or Near Project Site

- a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 7 feet
- b. Are there bedrock outcroppings on the project site? ☐ Yes ☒ No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %
- c. Predominant soil type(s) present on project site:
- |                           |       |      |
|---------------------------|-------|------|
| Howard gravelly silt loam | _____ | 55 % |
| Valios gravelly silt loam | _____ | 40 % |
| Mardin channery silt loam | _____ | 5 %  |
- d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 7 feet
- e. Drainage status of project site soils: ☒ Well Drained: \_\_\_\_\_ 100 % of site  
☐ Moderately Well Drained: \_\_\_\_\_ % of site  
☐ Poorly Drained: \_\_\_\_\_ % of site
- f. Approximate proportion of proposed action site with slopes: ☒ 0-10%: \_\_\_\_\_ 95 % of site  
☒ 10-15%: \_\_\_\_\_ 5 % of site  
☐ 15% or greater: \_\_\_\_\_ % of site
- g. Are there any unique geologic features on the project site? ☐ Yes ☒ No  
If Yes, describe: \_\_\_\_\_
- h. Surface water features.
- i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☒ Yes ☐ No
- ii. Do any wetlands or other waterbodies adjoin the project site? ☒ Yes ☐ No  
If Yes to either i or ii, continue. If No, skip to E.2.i.
- iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☒ Yes ☐ No
- iv. For each identified regulated wetland and waterbody on the project site, provide the following information:
- |                                     |      |  |                  |   |
|-------------------------------------|------|--|------------------|---|
| • Streams:                          | Name | 810-3, 810-33                                  | Classification   | C |
| • Lakes or Ponds:                   | Name |  | Classification   |   |
| • Wetlands:                         | Name | Federal Waters, Federal Waters, Federal Waters | Classification   |   |
| • Wetland No. (if regulated by DEC) |      |  | Approximate Size |   |
- v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☒ No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_
- i. Is the project site in a designated Floodway? ☐ Yes ☒ No
- j. Is the project site in the 100-year Floodplain? ☐ Yes ☒ No
- k. Is the project site in the 500-year Floodplain? ☐ Yes ☒ No
- l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☒ No  
If Yes:  
i. Name of aquifer: Principal Aquifer

m. Identify the predominant wildlife species that occupy or use the project site:

deer	turkey	squirrel
fox	skunk	coyote

n. Does the project site contain a designated significant natural community? ☐ Yes ☒ No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_

ii. Source(s) of description or evaluation: \_\_\_\_\_

iii. Extent of community/habitat:

- Currently: \_\_\_\_\_ acres
- Following completion of project as proposed: \_\_\_\_\_ acres
- Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐ Yes ☒ No

If Yes:

i. Species and listing (endangered or threatened): \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐ Yes ☒ No

If Yes:

i. Species and listing: \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☒ Yes ☐ No

If yes, give a brief description of how the proposed action may affect that use: private hunting

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☒ Yes ☐ No

If Yes, provide county plus district name/number: CHEM003

b. Are agricultural lands consisting of highly productive soils present? ☐ Yes ☒ No

i. If Yes: acreage(s) on project site: \_\_\_\_\_

ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐ Yes ☒ No

If Yes:

i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐ Yes ☒ No

If Yes:

i. CEA name: \_\_\_\_\_

ii. Basis for designation: \_\_\_\_\_

iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☒ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☒ Yes ☐ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☒ No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☒ No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☒ No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature \_\_\_\_\_ Title \_\_\_\_\_

**PRINT FORM**



**Application For A Special Permit  
Uses Requiring Special Permits In All Districts**

**PURPOSE** - To Establish and Operate a Neighborhood Service and/or Beyond Neighborhood Services.

Location 875 BRESFORD ROAD (NYS 223)

Post Office Address

Zone - Please circle correct zone

AR

AR-1

R-1

R-2

**AR1-R**

Type of Service to be established

2.1 MW (AC) GROUND MOUNTED SOLAR ARRAY

Type of Building

NONE

Number of square feet to be used for Neighborhood and/or beyond Neighborhood Service

Size of plot. If less than one (1) acre give dimensions in feet 99.6 Lot No 51-1-31

Number of people to be engaged in such service 0

Will service increase in traffic? No

Will this service conform to the character of the neighborhood?

YES

**NOTICE TO PROPERTY OWNERS** - Notice of intent to apply for this Special Permit was mailed to all property owners within two (2) hundred of property line by first class mail as follows:

Name	Address	Date
1.		
2.	<u>LIST ATTACHED.</u>	
3.		
4.	<u>MAILED ON 3/15/19</u>	
5.		

Site plan, drawn to convenient scale showing the location of all buildings, parking areas, sign and any special features and pertinent information. More information may be required if needed. The uses of land adjacent to and facing the proposed site shall be indicated on site plan. Site plan must accompany application.

Number of proposed parking spaces: NONE

Signature of owner \_\_\_\_\_ if applicant is not owner of property, written consent of the owner must accompany application.

**VERIFICATION BY SUBSCRIPTION AND NOTICE - PENAL LAW SECTION 210.45**

It is a crime, punishable as A Misdemeanor under the laws of the State of New York, for a person, in and by written instrument, to knowingly make a false statement, or to make a statement which such person does not believe to be true.

\*\* Subscribed and Sworn to before me this 21 day of March 2019.

Name: Natasha Meehan

Title:

Term Expires: 7/12/2024

County of Suffolk



Applicant Signature

Randy Bartlett  
58 Sandbank Rd  
Erin NY 14838

Joseph & Terri Reed Jr.  
42 Sandbank Rd  
Erin NY 14838

Thomas & Kathleen Seymour  
36 Sandbank Rd  
Erin NY 14838

James & Edna Bailey  
861 Breesport Rd  
Erin NY 14838

John & Kendra Haynes  
897 Breesport Rd  
Erin NY 14838

ADJ Properties LLC  
220 Bannister Rd  
Breesport NY 14816

Marian Storch  
905 Breesport Rd.  
Erin NY 14838

Richard & Michelle Hetrick Jr.  
911 Breesport Rd  
Erin NY 14838

Timothy S. Brown  
852 Breesport Rd  
Erin NY 14838

Robert M Parmenter  
856 Breesport Rd.  
Erin NY 14838

Marilyn Darcey & David Brandt  
862 Breesport Rd.  
Erin NY 14838

Benjamin & Morgan Buck  
908 Breesport Rd.  
Erin NY 14838

Gene Burlew  
851 Breesport Rd.  
Erin NY 14838

Richard & Jackie Smith  
850 Breesport Rd.  
Erin NY 14838

Michael Tice  
7 Shamrock Dr.  
Erin NY 14838

Robert & Shilo Costley III  
8 Shamrock Dr.  
Erin NY 14838

William & Judith Vannan  
122 Lynhurst Ave.  
Horseheads NY 14845

John D McCracken II  
15 Shamrock Dr.  
Erin NY 14838

Mandy M Rudy  
16 Shamrock Dr.  
Erin NY 14838

Michael & Rebecca Kelsey  
19 Shamrock Dr.  
Erin NY 14838

Mary E. Williams  
20 Shamrock Dr.  
Erin NY 14838

Joan Mcnamara  
23 Shamrock Dr.  
Erin NY 14838

Todd R. Shumaker  
24 Shamrock Dr.  
Erin NY 14838

Barbara L. Parsons  
27 Shamrock Dr.  
Erin NY 14838

Cheryl Crowningshield Whitaker  
28 Shamrock Dr.  
Erin NY 14838

Charles & Laura Kennedy II  
31 Shamrock Dr.  
Erin NY 14838

Neva & Bradley Mott  
32 Shamrock Dr.  
Erin NY 14838

Lawrence & Suzanne Westbrook  
35 Shamrock Dr.  
Erin NY 14838

Patrick & Shannon Mcinerney  
36 Shamrock Dr.  
Erin NY 14838

Robert & Melissa Erhard  
39 Shamrock Dr.  
Erin NY 14838

Keith C. Wolf  
43 Shamrock Dr.  
Erin NY 14838

Christopher & Tammy Austin  
40 Shamrock Dr.  
Erin NY 14838

Judd & Donna Sullivan  
44 Shamrock Dr.  
Erin NY 14838

Jeffrey & Wanda Kailbourne  
48 Shamrock Dr.  
Erin NY 14838

Karl & Christine Ziegenfus  
51 Shamrock Dr.  
Erin NY 14838

Keith R Baenstead  
52 Shamrock Dr.  
Erin NY 14838

# AFFIDAVIT

Office of the Zoning Inspector  
Town of Erin  
1138 Breesport Rd.  
Erin, NY 14838

Pursuant to Article XI sec 1101 (Notice to property owners) of local law 10, Comprehensive Zoning Plan of the Town of Erin;

All applications for a special permit, including an appeal to the Board of Appeals under this law, shall contain an affidavit to the applicant that notice of application has been sent by First Class Mail to all property owners within two hundred (200) feet of the property lines of the property under consideration, and that such notice was mailed at least five (5) days prior to the making of the application and the location of the property. The records of the Town Assessor shall be used for the purpose of identification of property owners.

I (we) NEXAMP SOLAR, LLC - JOE FIORI, regarding my/our property  
At the following address 875 BREESPORT ROAD (NYS 223)  
Have notified by first class mail, all property owner(s) within 200 feet of the property for which I make application for, of my/our intent to; CONSTRUCT A 2.1 MW (AC) GROUND MOUNTED SOLAR ARRAY

Those property owners who have been notified of my intent to file application are as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. LIST ATTACHED
4. \_\_\_\_\_
5. MAILED ON 3/15/19
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_

VERIFICATION BY SUBSCRIPTION AND NOTICE - PENAL LAW SECTION 210.45

It is a crime, punishable as a Class A Misdemeanor under the Law of the State of New York, for a person to, in and by a written instrument, to knowingly make a false statement, or to make a statement, which such person does not believe to be true

\*\* Subscribed and Sworn, to before me this 21 day of March 20019

Name; Natasha Meehan  
Title; \_\_\_\_\_  
Term Expires: 7/12/2024  
County of; Suffolk

Applicant Signature



Randy Bartlett  
58 Sandbank Rd  
Erin NY 14838

Joseph & Terri Reed Jr.  
42 Sandbank Rd  
Erin NY 14838

Thomas & Kathleen Seymour  
36 Sandbank Rd  
Erin NY 14838

James & Edna Bailey  
861 Breesport Rd  
Erin NY 14838

John & Kendra Haynes  
897 Breesport Rd  
Erin NY 14838

ADJ Properties LLC  
220 Bannister Rd  
Breesport NY 14816

Marian Storch  
905 Breesport Rd.  
Erin NY 14838

Richard & Michelle Hetrick Jr.  
911 Breesport Rd  
Erin NY 14838

Timothy S. Brown  
852 Breesport Rd  
Erin NY 14838

Robert M Parmenter  
856 Breesport Rd.  
Erin NY 14838

Marilyn Darcey & David Brandt  
862 Breesport Rd.  
Erin NY 14838

Benjamin & Morgan Buck  
908 Breesport Rd.  
Erin NY 14838

Gene Burlew  
851 Breesport Rd.  
Erin NY 14838

Richard & Jackie Smith  
850 Breesport Rd.  
Erin NY 14838

Michael Tice  
7 Shamrock Dr.  
Erin NY 14838

Robert & Shilo Costley III  
8 Shamrock Dr.  
Erin NY 14838

William & Judith Vannanen  
122 Lynhurst Ave.  
Horseheads NY 14845

John D McCracken II  
15 Shamrock Dr.  
Erin NY 14838

Mandy M Rudy  
16 Shamrock Dr.  
Erin NY 14838

Michael & Rebecca Kelsey  
19 Shamrock Dr.  
Erin NY 14838

Mary E. Williams  
20 Shamrock Dr.  
Erin NY 14838

Joan Mcnamara  
23 Shamrock Dr.  
Erin NY 14838

Todd R. Shumaker  
24 Shamrock Dr.  
Erin NY 14838

Barbara L. Parsons  
27 Shamrock Dr.  
Erin NY 14838

Cheryl Crowningshield Whitaker  
28 Shamrock Dr.  
Erin NY 14838

Charles & Laura Kennedy II  
31 Shamrock Dr.  
Erin NY 14838

Neva & Bradley Mott  
32 Shamrock Dr.  
Erin NY 14838

Lawrence & Suzanne Westbrook  
35 Shamrock Dr.  
Erin NY 14838

Patrick & Shannon Mcinerney  
36 Shamrock Dr.  
Erin NY 14838

Robert & Melissa Erhard  
39 Shamrock Dr.  
Erin NY 14838

Keith C. Wolf  
43 Shamrock Dr.  
Erin NY 14838

Christopher & Tammy Austin  
40 Shamrock Dr.  
Erin NY 14838

Judd & Donna Sullivan  
44 Shamrock Dr.  
Erin NY 14838

Jeffrey & Wanda Kailbourne  
48 Shamrock Dr.  
Erin NY 14838

Karl & Christine Ziegenfus  
51 Shamrock Dr.  
Erin NY 14838

Keith R Baenstead  
52 Shamrock Dr.  
Erin NY 14838

Town of Erin Planning Board SEQR Public Hearing held, March 25, 2019, at the Erin Town Hall  
1138 Breesport Road, Erin, NY

Called to order at at 6:35 pm

Members present; Deda Cedar; Neda Staviski-Brown; Karen Johnson, Danielle Beauchamp  
Carol Morton

Others present; Dan Cleveland, Ken Elston, David, John Shields, Hune Engineers, Daniel  
Yanash, Hunt Engineers, Joe Fiori, Nexamp, Karl Siegeutus, Christine Siegeutus  
Time Keeper; Carol Morton

The purpose of this hearing is to allow for public comment on the special permit request of  
Nexamp Solar LLC for at 2.1 Solar Array located at 875 Breesport Road. Erin NY. The property  
is located in AR1-R (Agricultural-Residential with restrictions with additional restrictions)  
District defined by Local Law No 10-1992 Section 502 Permitted District Uses-as amended in  
1997 and requires a Special Use Permit as defined in Article XI Uses; under section 1. And  
section 15.

The property consists of 99.6 acres. With a dwelling, and outbuildings.

Please address all questions or comments to the planning board, wait to be acknowledged by  
the chair before you begin to speak. Please limit your comments to 3 minutes.

A letter was read from Chemung County Planning Department-Nicolett A Wagoner, AICP  
Commissioner of Planning stating they have no issue with the Erin Planning Board as SEQR  
acting as lead agency-filed

Public Notice was published in The Star-Gazette on 3/13/19-filed

The type of Action would be unlisted

Planning Board reviewed Full Environmental Assessment Form Part 1 and 2 filled out by  
NexampSolar

Concerns-how will this affect neighboring property values-answer-unknown at this time as solar  
farms are relatively new-maybe ask the town assessor, she may have a better answer.



Water and soil pollution-modules are encased in glass and have a silicon base if there is a failure of any of the panels there are no toxins in them to contaminate neighboring wells or waterways. Weed control shall be done by mowing, sheep might be considered at some point. No weed killer will be used on the property. Solar panels are set on poles leaving only .2 acres of impervious land-transformation from a cornfield to a meadow should improve stormwater and snowmelt runoff. All necessary stormwater management practice and applications will be used.

Noise-during construction truck traffic during deliveries, possibly some noise during the setting of the poles-once complete maybe a slight noise only heard in close proximity-would not be audible off-site.

Wildlife will have to re-route around the fence but there remains adequate land for them on the surrounding property-

Once the project is completed there will be little to no increase in traffic-during construction truck traffic will be routed up Sandbank road. Build time frame to be about 3 months to complete once started-start possible late summer or early fall.

There were no negative comments concerning this permit; all comments were supportive towards granting approval.

Planning board discussion;

Resolution 2019-3

Special Permit

Sponsored by; Karen Johnson

Seconded by; Carol Morton

Whereas, Nexamp has submitted an application for a special permit for a 2.1 Solar Array on a parcel of land located at 875 Breeseport Road, in the Town of Erin, parcel no 51-1-31 owned by Ken Elston and

Whereas; the property consist of 99.6 acres and the solar array will cover about 16 acres. And

Whereas; there will be minimal impact on the surrounding properties or increase of traffic.

And

Whereas; all surrounding property owners have been notified in writing and a public hearing was held with no objections to the proposed special permit. Be it

Resolved that; The Town of Erin Planning Board recommends approval of said permit with the stipulation that Nexamp will work with the Shamrock Drive Residents to minimize visual impact from their properties.

Be it

Further resolved that; Nexamp special permit application shall be forwarded to the Chemung County Planning Board for review.

Deda Cedar-aye

Carol Morton-aye

Karen Johnson-aye

Neda Staviski-Brown-aye

Danielle Beauchamp-aye

Meeting Closed at 7:44

Project:

Date:

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Planning Board Meeting March 25, 2019  
Public Hearing SEQ R

- 1 Ken Elson
- 2 John Shields, HUNT Engineers
- 3 DAN YANUSHA, HUNT ENGINEERS
- 4 JOL FUG NEXAMP
- 5 Dan Cleveland
- 6 Karl Ziegertus
- 7 Christae Ziegertus
- 8
- 9
- 10
- 11
- 12
- 13
- 14

Project: \_\_\_\_\_

Date: \_\_\_\_\_

### ***Short Environmental Assessment Form***

#### ***Part 3 Determination of Significance***

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- ☒ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Town of Erin Planning Board

3/25/2019

Name of Lead Agency

Date

Deda Cedar

Chair

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

State Environmental Quality Review  
Notice of Completion of Draft  
and  
Notice of SEQR Hearing

**Lead Agency:** Town of Erin Planning Board

**Project Number**

**Address:** 1138 Breesport Road  
Erin, NY 14838

**Date** 3/25/2019

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law. (and local law # 10-1992 if any)

A Draft Environmental Impact Statement has been completed and accepted for the proposed action described below. Comments are requested and will be accepted by the contact person until Erin Town Clerk. A public hearing on the Draft EIS will be held on 3/25/2019 (date and time) at Erin Town Hall (place).

**Name of Action:**

Nexamp Ground Mounted Solar Array

**Description of Action:**

Ground Mounted Solar Array consisting of 16 acres, leaving a total of .2 impervious after completion of project.

**Location:** (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

875 Breesport Road  
Erin, NY 14838

**Potential Environmental Impacts:**

None

**A copy of the Draft / Final EIS may be obtained from:**

Contact Person: Deda Cedar

Address: 1138 Breesport Road  
Erin, NY 14838

Telephone Number: 607-739-8814

**A copy of this notice must be sent to:**

Department of Environmental Conservation, 625 Broadway Albany, New York 12233-1750

Chief Executive Officer, Town/City/Village of Erin

Any person who has requested a copy of the Draft / Final EIS

Any other involved agencies

Environmental Notice Bulletin 625Broadway Albany, NY 12233-1750

**Copies of the Draft EIS must be distributed according to 6NYCRR 617.12(b).**



4 Commercial St, Rochester, NY 14614

PROJECT: Nexamp-Site/Civil SOW - Erin-Elston  
3178-001

DATE: 3/21/2019

SUBJECT: Nexamp Submittal

TRANSMITTAL ID: 003

PURPOSE: For your review and comment

VIA: Info Exchange

## FROM

NAME	COMPANY	EMAIL	PHONE
Daniel Yanosh 4 Commercial St Rochester NY 14614 United States	HUNT ENGINEERS, ARCHITECTS, LAND SURVEYORS & LANDSCAPE ARCHITECT, DPC	yanoshd@hunt-eas.com	585-327-7950

## TO

NAME	COMPANY	EMAIL	PHONE
erinplanningboard@gmail.com		erinplanningboard@gmail.com	

## REMARKS:

Deda,

Attached is our full submittal for discussion at the March 25<sup>th</sup> Planning Board meeting. The signed and notarized application forms will be sent shortly. If you have any questions, please let us know.

**Daniel P. Yanosh Jr, PE**  
**Project Manager**



P: (585) 327-7950 Ext:4027  
[www.hunt-eas.com](http://www.hunt-eas.com)

## DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NOTES
1	3/21/2019	Nexamp Erin Submittal.zip	
1	3/21/2019	image003.png	



Chair Cedar  
Erin Planning Board  
1138 Breesport Road  
Erin, NY 14838

March 20, 2019

**Re: Erin Renewables, LLC (Nexamp) Application to Build a 2.1 MW (AC) solar PV array. List of Permitting Items**

- 1) **Notarized Special Permit Application:** Attached.
- 2) **Landowner Authorization Letter:** Attached separately is the landowner authorization to apply for interconnection.
- 3) **Project Description:** Nexamp is proposing to develop a 2.1 MW (AC) ground mounted solar energy project (the Facility) on privately-owned property which is currently being utilized as an agricultural field. The total facility's footprint will encompass  $\pm 12.0$ -acres of farmland located on a  $\pm 43$ -acre parcel. Lansing Renewables, LLC will lease the property from the landowner over an initial term of 20 years, with options to extend.

This project will operate as a Community Distributed Generation (CDG) project under the NY Sun program. CDG projects provide a significant benefit to the local community, by enabling residents in the area to participate in a share of a local clean energy project and receive a discount on their electric bills.

Nexamp's program, Solarize My Bill, offers a 10% discount to any interested NYSEG customer. There are no long-term contracts, no credit checks, and no sign-up fees associated with the program. Visit Nexamp's webpage [www.solarizemybill.com](http://www.solarizemybill.com) for more information.

Nexamp would like to work closely with the Town of Erin to market the project to the local community.

- 4) **Project Drawings:** Site Plan Attached with hard copies submitted.
- 5) **Stormwater Management Plan:** Attached.
- 6) **Glare Analysis:** Nexamp has attached a Glare Analysis. Results show that no glare is expected to impact the surrounding the area.
- 7) **Operations and Maintenance Plan:** Template plan attached. Site specific plan forthcoming.
- 8) **Decommissioning Plan:** Attached



- 9) **Proof of Utility Interconnection Process:** Nexamp has attached NYSEG's interconnection queue data, which was updated as of March 15<sup>th</sup>, 2019. Nexamp's Project # is 14119, highlighted in yellow. The project was submitted in November, and as of this month we have received the final technical review.

Sincerely,

Joe Fiori  
Manager, Business Development



# New York State Standard Site Control Certification Form

New York State Electric and Gas Corporation  
Attn: Distributed Generation  
NYSEG, P.O. Box 5224, Binghamton, NY 13902-52241

Re:	DEVELOPER	Nexamp Solar, LLC ATTN: Joe Fiori – jfiori@nexamp.com
	PROJECT	
	PROPERTY	875 Breesport Road
		Erin NY, 14838

*Kenneth E. Elston III* (the "Customer-Generator") is the owner of the above-referenced property (the "Property").

*Nexamp Solar, LLC* (the "Developer") is the developer of the project identified above.

The Customer-Generator and the Developer have entered into an agreement authorizing the Developer to use the Property for the purpose of constructing and operating a distributed generation facility. The type of agreement that is in place is indicated below by a check mark.

	Signed option agreement to lease or purchase the Property
X	Executed lease agreement for the Property
	Executed agreement to purchase the Property
	License or other agreement granting exclusive right to use the Property for purposes of constructing and operating the distributed generation facility

Customer-Generator and Developer entered into the agreement on or about **7/9/2016**

Term of Agreement (including options to extend) **7/9/2019**

## Customer-Generator

## Developer

By: *Kenneth E. Elston*

By: *J. Fiori*

Printed Name: KENNETH E. ELSTON III

Printed Name: Joseph Fiori

Title: OWNER

Title: BD Manager

Date: 02/01/2018

Date:



To Whom it May Concern,

I grant the Applicant, Nexamp Solar, LLC the right to submit an application for Special Permit to build a 2.1 MW AC solar facility on my property, located at 875 Breesport Road, in Erin, New York.

Sincerely,

Kenneth E. Elston III

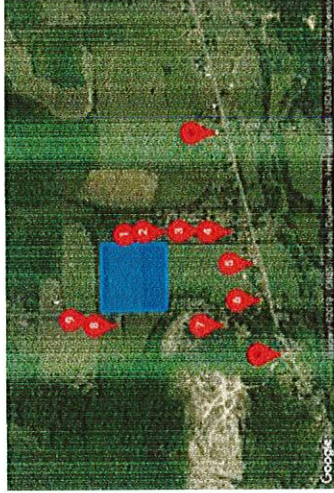
Kenneth E. Elston III  
Landowner



## GlareGauge Glare Analysis Results

### Site Configuration: 06326 Erin Elston

Project site configuration details and results.



Created March 15, 2019 1:32 p.m.  
Updated March 15, 2019 3:44 p.m.  
DNI varies and peaks at 1,000.0 W/m<sup>2</sup>  
Analyze every 1 minute(s)  
0.5 ocular transmission coefficient  
0.002 m pupil diameter  
0.017 m eye focal length  
9.3 mrad sun subtended angle  
Timezone UTC-5  
Site Configuration ID: 26177.4619

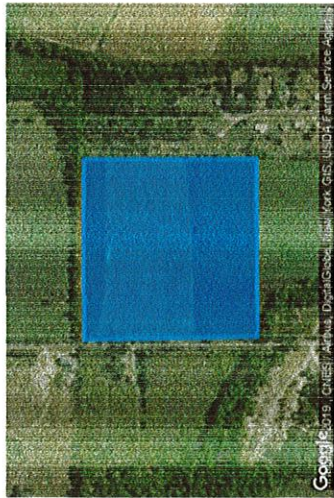
### Summary of Results No glare predicted!

PV name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced
	deg	deg	min	min	kWh
PV array 1	SA tracking	SA tracking	0	0	-

### Component Data

PV Array(s)

Name: PV array 1  
Axis tracking: Single-axis rotation  
Tracking axis orientation: 180.0 deg  
Tracking axis tilt: 0.0 deg  
Tracking axis panel offset: 0.0 deg  
Maximum tracking angle: 52.0 deg  
Resting angle: 60.0 deg  
Rated power: -  
Panel material: Smooth glass with AR coating  
Vary reflectivity with sun position? Yes  
Correlate slope error with surface type? Yes  
Slope error: 8.43 mrad



Vertex	Latitude deg	Longitude deg	Ground elevation ft	Height above ground ft	Total elevation ft
1	42.180390	-76.717638	1256.83	0.00	1256.83
2	42.177879	-76.717673	1196.16	0.00	1196.16
3	42.177893	-76.714597	1207.38	0.00	1207.38
4	42.180399	-76.714408	1256.76	0.00	1256.76

## Discrete Observation Receptors

Number	Latitude deg	Longitude deg	Ground elevation ft	Height above ground ft	Total Elevation ft
OP 1	42.178543	-76.713888	1214.13	5.50	1219.63
OP 2	42.177809	-76.713780	1205.33	5.50	1210.83
OP 3	42.176450	-76.713721	1183.37	5.50	1188.87
OP 4	42.175325	-76.713769	1175.58	15.00	1190.58
OP 5	42.174493	-76.715441	1159.52	20.00	1179.52
OP 6	42.174206	-76.717389	1166.15	20.00	1186.15
OP 7	42.175602	-76.718649	1193.07	15.00	1208.07
OP 8	42.179715	-76.718666	1233.77	8.00	1241.77
OP 9	42.180632	-76.718355	1255.33	6.00	1261.33
OP 10	42.173437	-76.720205	1147.26	30.00	1177.27
OP 11	42.175921	-76.708575	1187.67	30.00	1217.67



PV Array Results

PV array 1

Component	Green glare (min)	Yellow glare (min)
OP: OP 1	0	0
OP: OP 2	0	0
OP: OP 3	0	0
OP: OP 4	0	0
OP: OP 5	0	0
OP: OP 6	0	0
OP: OP 7	0	0
OP: OP 8	0	0
OP: OP 9	0	0
OP: OP 10	0	0
OP: OP 11	0	0

## Assumptions

- Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.
- Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.
- Detailed system geometry is not rigorously simulated.
- The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actual values and results may vary.
- Several calculations utilize the PV array centroid, rather than the actual glare spot location, due to algorithm limitations. This may affect results for large PV footprints. Additional analyses of array sub-sections can provide additional information on expected glare.
- The subtended source angle (glare spot size) is constrained by the PV array footprint size. Partitioning large arrays into smaller sections will reduce the maximum potential subtended angle, potentially impacting results if actual glare spots are larger than the sub-array size. Additional analyses of the combined area of adjacent sub-arrays can provide more information on potential glare hazards. (See previous point on related limitations.)
- Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.
- Glare locations displayed on receptor plots are approximate. Actual glare-spot locations may differ.
- Glare vector plots are simplified representations of analysis data. Actual glare emanations and results may differ.
- Refer to the **User's Manual** for assumptions and limitations not listed here.

# NYSEG Interconnection List of Projects Nexamp Project: 14119

Project	Owner	Size (MW)	Location	Status	Interconnection Point	Estimated Completion Date	Notes
1	NYSEG	100	Albany	Active	Albany Interlocking Plant	2025	Project under construction
2	NYSEG	50	Albany	Active	Albany Interlocking Plant	2025	Project under construction
3	NYSEG	25	Albany	Active	Albany Interlocking Plant	2025	Project under construction
4	NYSEG	15	Albany	Active	Albany Interlocking Plant	2025	Project under construction
5	NYSEG	10	Albany	Active	Albany Interlocking Plant	2025	Project under construction
6	NYSEG	5	Albany	Active	Albany Interlocking Plant	2025	Project under construction
7	NYSEG	3	Albany	Active	Albany Interlocking Plant	2025	Project under construction
8	NYSEG	2	Albany	Active	Albany Interlocking Plant	2025	Project under construction
9	NYSEG	1	Albany	Active	Albany Interlocking Plant	2025	Project under construction
10	NYSEG	0.5	Albany	Active	Albany Interlocking Plant	2025	Project under construction
11	NYSEG	0.25	Albany	Active	Albany Interlocking Plant	2025	Project under construction
12	NYSEG	0.125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
13	NYSEG	0.0625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
14	NYSEG	0.03125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
15	NYSEG	0.015625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
16	NYSEG	0.0078125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
17	NYSEG	0.00390625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
18	NYSEG	0.001953125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
19	NYSEG	0.0009765625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
20	NYSEG	0.00048828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
21	NYSEG	0.000244140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
22	NYSEG	0.0001220703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
23	NYSEG	0.00006103515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
24	NYSEG	0.000030517578125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
25	NYSEG	0.0000152587890625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
26	NYSEG	0.00000762939453125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
27	NYSEG	0.000003814697265625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
28	NYSEG	0.0000019073486328125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
29	NYSEG	0.00000095367431640625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
30	NYSEG	0.000000476837158203125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
31	NYSEG	0.0000002384185791015625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
32	NYSEG	0.00000011920928955078125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
33	NYSEG	0.000000059604644775390625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
34	NYSEG	0.0000000298023223876953125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
35	NYSEG	0.00000001490116119384765625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
36	NYSEG	0.000000007450580596923828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
37	NYSEG	0.0000000037252902984619140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
38	NYSEG	0.00000000186264514923095703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
39	NYSEG	0.000000000931322574615478515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
40	NYSEG	0.0000000004656612873077392578125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
41	NYSEG	0.00000000023283064365386962890625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
42	NYSEG	0.000000000116415321826934814453125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
43	NYSEG	0.0000000000582076609134674072265625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
44	NYSEG	0.00000000002910383045673370361328125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
45	NYSEG	0.000000000014551915228366851806640625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
46	NYSEG	0.0000000000072759576141834259033203125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
47	NYSEG	0.00000000000363797880709171295166015625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
48	NYSEG	0.000000000001818989403545856475830078125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
49	NYSEG	0.0000000000009094947017729282379150390625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
50	NYSEG	0.00000000000045474735088646141895751953125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
51	NYSEG	0.000000000000227373675443230709478759765625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
52	NYSEG	0.0000000000001136868377216153547393798828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
53	NYSEG	0.00000000000005684341886080767736968994140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
54	NYSEG	0.000000000000028421709430403838684844970703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
55	NYSEG	0.0000000000000142108547152019193424224853515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
56	NYSEG	0.00000000000000710542735760095967121124267578125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
57	NYSEG	0.00000000000000355271367880047983560562133890625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
58	NYSEG	0.000000000000001776356839400239917802810669453125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
59	NYSEG	0.0000000000000008881784197001199589014053347265625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
60	NYSEG	0.00000000000000044408920985005997945070266736328125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
61	NYSEG	0.000000000000000222044604925029989725351333681640625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
62	NYSEG	0.0000000000000001110223024625149948626756668408203125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
63	NYSEG	0.0000000000000000555111512312574974313378334422015625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
64	NYSEG	0.00000000000000002775557561562874871566891672110078125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
65	NYSEG	0.000000000000000013877787807814374357834458360550390625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
66	NYSEG	0.0000000000000000069388939039071871789172291802751953125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
67	NYSEG	0.00000000000000000346944695195359358945861459013759765625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
68	NYSEG	0.000000000000000001734723475976796794729307295068798828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
69	NYSEG	0.0000000000000000008673617379883983973646536475343994140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
70	NYSEG	0.00000000000000000043368086899419919868232682376719970703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
71	NYSEG	0.000000000000000000216840434497099599341163411883599853515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
72	NYSEG	0.0000000000000000001084202172485497996705817059417999267578125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
73	NYSEG	0.0000000000000000000542101086242748998352908529708999633890625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
74	NYSEG	0.00000000000000000002710505431213744996764542648544998169453125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
75	NYSEG	0.000000000000000000013552527156068722483822713242724990847265625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
76	NYSEG	0.0000000000000000000067762635780343612419113566213624995423828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
77	NYSEG	0.00000000000000000000338813178901718062095567810681249977119140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
78	NYSEG	0.00000000000000000000169406589450859031047783905340624988559765625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
79	NYSEG	0.000000000000000000000847032947254295155238894526703124942798828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
80	NYSEG	0.000000000000000000000423516473627147577619447263351562471494140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
81	NYSEG	0.000000000000000000000211758236813573788809723631675781235724703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
82	NYSEG	0.0000000000000000000001058791184067868944048618158378906178623515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
83	NYSEG	0.00000000000000000000005293955920339344720243090791894530893117578125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
84	NYSEG	0.0000000000000000000000264697796016967236012154539594726544655890625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
85	NYSEG	0.00000000000000000000001323488980084836180060772697973632723279453125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
86	NYSEG	0.00000000000000000000000661744490042418090030386348986816361397265625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
87	NYSEG	0.000000000000000000000003308722450212090450151931744934081806986328125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
88	NYSEG	0.0000000000000000000000016543612251060452250759658724670409034931640625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
89	NYSEG	0.00000000000000000000000082718061255302261253798293623352045174658203125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
90	NYSEG	0.000000000000000000000000413590306276511306268991468116760225873291015625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
91	NYSEG	0.0000000000000000000000002067951531382556531344957340583801129366455078125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
92	NYSEG	0.00000000000000000000000010339757656912782656724786702919005646832275390625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
93	NYSEG	0.000000000000000000000000051698788284563913283623933514595028234161376953125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
94	NYSEG	0.0000000000000000000000000258493941422819566418119667572975141170806881640625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
95	NYSEG	0.00000000000000000000000001292469707114097832090598337864875705854034408203125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
96	NYSEG	0.000000000000000000000000006462348535570489160452991689324378529270172041015625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
97	NYSEG	0.00000000000000000000000000323117426778524458022649584466218926463508602078125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
98	NYSEG	0.000000000000000000000000001615587133892622290113247922331094823317543010390625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
99	NYSEG	0.0000000000000000000000000008077935669463111450566239611655472411587715051953125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
100	NYSEG	0.00000000000000000000000000040389678347315557252831198058277362057938575259765625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
101	NYSEG	0.000000000000000000000000000201948391736577786264155990291386810289692876298828125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
102	NYSEG	0.0000000000000000000000000001009741958682888931320779951456934051448464381494140625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
103	NYSEG	0.000000000000000000000000000050487097934144446566038997572846702572423219074703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
104	NYSEG	0.0000000000000000000000000000252435489670722232830194987864233512862116095373515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
105	NYSEG	0.00000000000000000000000000001262177448353611164150097439322116756310580476867578125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
106	NYSEG	0.000000000000000000000000000006310887241768055820750487196611083781527902384337890625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
107	NYSEG	0.0000000000000000000000000000031554436208840279103752435930554418907639511921689453125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
108	NYSEG	0.0000000000000000000000000000015777218104420139551876217965277209453819755960844703125	Albany	Active	Albany Interlocking Plant	2025	Project under construction
109	NYSEG	0.00000000000000000000000000000078886090522100697759381089826386047269098779804223515625	Albany	Active	Albany Interlocking Plant	2025	Project under construction
110	NYSEG	0.000000000000000000000000000000394430452610503488796905449131930236345493899021117578125	Alb				

## **[Project Name] O&M Services Plan**

**[Date]**

[LLC NAME], a wholly-owned subsidiary of Nexamp, Inc., as the developer and construction manager of an approximately [FACILITY SIZE] (DC) solar PV array on property owned by [LANDOWNER NAME] at [FACILITY ADDRESS] in [TOWN, STATE] is pleased to provide this Operation and Maintenance (O&M) services plan.

Nexamp Asset Management Services, Inc. (NAMS) is a full service photovoltaic Operations and Maintenance company, servicing more than 55 MWe as of May 2017. [LLC NAME] intends to contract with NAMS in order to provide O&M services for the project for the first ten years of the system operation. At that time, [LLC NAME] will revisit that contract and intends to renew the term.

Attached to this Services Plan is a typical scope of work for an O&M provider for a large-scale solar PV array. NAMS has used this scope of work as the basis for its services for infrastructure that it currently maintains. In the following template, "Contractor" represents NAMS and "Owner" represents the project owner, [LLC NAME].

The primary services under the scope of an O&M agreement include:

- Biannual array maintenance inspections, remote monitoring, unscheduled maintenance (fault detection and repair), and scheduled equipment replacement.
- On-site services typically require one or two pick-up trucks and two to four licensed technicians.
- Technicians perform work with hand tools and battery-operated power tools and rarely require generators or any motorized or heavy equipment.
- The array is designed to facilitate major equipment replacement using truck mounted boom lift every 10-15 years.
- [LLC NAME] will develop the site using a pile driven or screw mounting system for the array.

### Maintenance Activities:

- Mowing operations are typically conducted two to four times per season, depending on the weather conditions and resultant growth. Normally, two to four personnel using ride-on and self-propelled mowers and weed whackers will perform the mowing operations.
- The entire Site is inspected for any erosion problems upon each site visit and maintenance activity, a minimum of two times per year. Any erosion to roads, embankments, drainage structures/basins, ground cover, etc. is repaired using similar methods to the initial install, with like equipment and materials. Potentially, additional erosion control blankets, jute netting, etc. will be added to protect the maintenance improvement.



- Depending on the array location and surrounding vegetation, an arborist with boom truck will thin shading tree growth and limbs adjacent to power lines.
- In the event that weed control is required, NAMS uses only non-persistent solutions previously approved for use by DEP and many municipalities for use in regulated and protected areas. The frequency of this activity is typically once annually, if at all. Work is typically performed by licensed applicators using trailer born and backpack spraying apparatus.
- [LLC NAME] does not anticipate conducting module washing at this site. In the event that modules are washed, cleaning solution consists of 100% filtered water. Work is typically performed by two to four technicians using backpacks and scrubbing wands.
- Some snow removal may be required to allow site access during winter months, however no snow removal operations will be performed within the array areas. Snow clearing from modules may be completed depending on the amount and type of snow, two to four times per winter, to facilitate production. Snow clearing is completed manually by three to six laborers using hand held brooms and squeegees.
- Inspection of the storm water management facilities will occur at each site inspection, no less than biannually, with maintenance provided to restore the facilities to their original condition.

### **Scope of Work – O&M Services Contract**

Nexamp Asset Management Services (the "Contractor") will provide O&M services for the proposed [FACILITY SIZE] (DC) solar photovoltaic system located on property owned by [LANDOWNER NAME] at [FACILITY ADDRESS] in [TOWN, STATE] (the "Facility"). The services to be provided will include the operation, repair, monitoring and maintenance services listed below.

#### **FACILITY OPERATIONS**

The Facility will be operated in conformity to the operating specifications and requirements set forth in the O&M Manual, in compliance with prudent industry practices, in accordance with the terms and conditions of the interconnection agreement between the Owner and the local distribution utility, and in accordance with applicable law. As required to achieve these operational requirements, the O&M Contractor shall be present at the Facility site.

#### **PERFORMANCE MONITORING AND OPERATIONS REPORTING**

During the Service Term, Contractor shall:

- At all times perform basic monitoring of the Facility to make sure Facility is fully functional and record and report all meter data consistent with all Solar Program requirements.
- Provide Owner with web access to basic monitoring data.
- Provide Owner with monthly reporting of performance against predicted power and historical performance beginning two calendar months after the Commercial Operations Date (as defined as "Substantial Completion" in the EPC Agreement) is achieved, including, summaries of energy measured and reported by the Facility's revenue grade meters, a summary of planned maintenance, and a summary of all forced outages and emergency response measures and the steps that were taken to resolve such forced outages and emergency situations.
- Provide copies of all such information no later than thirty (30) calendar days of making or receiving information pertaining to maintenance and/or repair pertaining to the system and/or any portion thereof or the Interconnection.
- Maintain warranty records with all inverter, module, and mounting suppliers.
- Maintain service agreements with DAS suppliers.
- Prepare and submit required monthly reports, as the agent of Owner and after obtaining Owner's prior approval, to report all metered data to the Production Tracking Facility (PTS), maintained by the Massachusetts Clean Energy Center

(CEC) / Renewable Energy Trust (The reporting period for the PTS is open during the last five days of the reporting month through the first five days of the following month).

## **SCHEDULED INSPECTION AND MAINTENANCE**

- Contractor will perform required maintenance of the Facility in accordance with the written manufacturer requirements for operation and maintenance of the equipment that is part of the Facility (such written instructions are included in the O&M Manual).
- Contractor will provide continuous 24/7 active monitoring of Facility performance and provide a single point of contact for Facility maintenance and repair related issues.
- Contractor will implement the preventive maintenance schedule, if any, for each item of equipment that is part of the Facility, as set forth in the relevant portions of the O&M Manual.
- Contractor will maintain maintenance logs, records and reports documenting the provision of O&M Services hereunder in sufficient detail to allow Owner to verify that the Facility is performing in accordance with the Project Warranty and the performance requirements for the Facility. Contractor shall maintain current revisions of the drawings, specifications, lists, clarifications and other materials relating to the Facility.
- Contractor will complete and submit to Owner in a timely manner maintenance log sheets to document Contractor's provision of Services as required hereby in sufficient detail to allow Owner to verify that the Facility is performing in accordance with the Project Warranty and the performance requirements for the Facility.
- Contractor will regularly maintain the Facility, in accordance with the O&M Manual, and provide semi-annual on-site inspections by completing the following.
  - Visual inspection of all feeder terminations for corrosion.
  - Visual check of all power terminations/connections associated with the system e.g. DC combiner boxes, DC and AC disconnects, surge arrestors, inverters and PV modules and re-torque as necessary.
  - Test of ground continuity and correct any unsafe or abnormal issues.
  - Check of all fuses in inverters, combiner boxes, and disconnects (AC&DC).
  - Testing and recording of voltage and amperage of the arrays at the string level.

- Inspection of the combiner boxes, disconnects (AC&DC), and inverters with an infrared camera, with the purpose of detecting hotspots, bad connections, etc.
- Checking of the mechanical and structural integrity of the system.
- Cleaning or replacement of inverter air filters where applicable if necessary.
- Checking of inverter housing for dust/water ingress.
- Checking and replacement of any unserviceable system labeling as necessary.
- Visual inspection of weather stations and calibration verification against monitored data.
- Checking of modules for excessive dirt and debris. Cleaning is excluded.
- Providing written documentation to include summary report of findings including actions taken and recommendations for additional maintenance or repairs, etc.

## FAULT DETECTION AND DISPATCH

- Contractor shall respond to all alarms, alerts and service requests pertaining to the system within 24 hours of such alarm, alert and/or service request, as personnel safety and weather conditions permit.
- Contractor shall monitor and respond to forced outages and performance trends. Contractor and Owner shall notify the other as soon as practically possible, but in no event later than twenty-four (24) hours following their discovery, of "**Forced Outage**", which is defined as: (a) any material malfunction in the operation of the Facility and/or (b) any interruption in the delivery of energy to the Facility's revenue grade meters. Contractor shall apply safe industry best practices to fully resolve any Forced Outage as quickly as possible. To the extent the correction of the Forced Outage requires either O&M Services or Warranty Services, Contractor shall initiate the O&M Services or Warranty Services needed to return the Facility to service within 24 hours of such notice, and where applicable, as manufacturer service capabilities permit. Contractor shall provide Owner with an estimate of the time necessary to return the Facility to fully operational service. Contractor agrees to notify the Owner as soon as practicable when the Facility returns to service, but in no event later than twenty-four (24) hours following the Facility's return to service.
- **Emergency.** Contractor and Owner agree to notify the other upon the discovery of an Emergency condition pertaining to the Facility. If Contractor is notified of an Emergency condition by Owner or otherwise learns of an Emergency condition, Contractor agrees to promptly dispatch appropriate personnel to address such Emergency as quickly as possible in accordance with industry best practices, and as personnel safety permits. Contractor maintains the right to disconnect the Facility and/or to otherwise isolate the Facility from the electric distribution system servicing Owner's and Owner's property as a result of any Emergency



condition pertaining to the Facility as determined at the Contractor's discretion; provided, however, that the Contractor shall be responsible for any adverse consequences caused by such exercise of discretion if the exercise is negligent or represents a breach hereof.

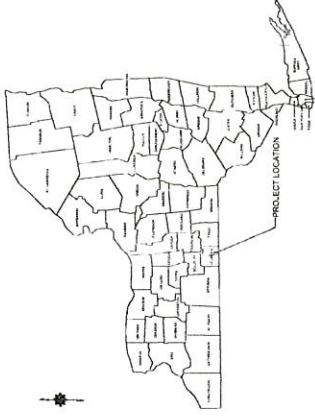
# NEXAMP SOLAR, LLC. ERIN SOLAR ARRAY

2.1 MW (AC) GROUND MOUNTED SOLAR ARRAY  
TOWN OF ERIN, CHEMUNG COUNTY, NY

## SITE PLAN DOCUMENTS:

### SHEET INDEX

NUMBER	TITLE	DATED	LAST REVISION
C1.0	EXISTING CONDITIONS	2/21/15	
C2.0	SITE IMPROVEMENT & LAYOUT PLAN	2/21/15	
C3.0	SITE GRADING & UTILITY PLAN	2/21/15	
C4.0	E&S PLAN	2/21/15	
C5.0	E&S DETAILS	2/21/15	
C6.0	SITE DETAILS	2/21/15	
C7.0	SITE DETAILS	2/21/15	



LOCATION MAPS

FEBRUARY 21, 2019  
HUNT NO. 3178.001

THIS IS TO CERTIFY THAT TO THE BEST OF OUR  
KNOWLEDGE, INFORMATION AND BELIEF - THESE  
PLANS AND SPECIFICATIONS ARE IN ACCORDANCE  
WITH APPLICABLE REQUIREMENTS OF THE BUILDING  
CODE, FIRE CODE, AND ENERGY CONSERVATION  
CONSTRUCTION CODE OF NEW YORK STATE.

APPLICANT INFORMATION:  
NEXAMP SOLAR, LLC.  
101 SUMMER STREET  
BOSTON, MA 02110

SOLAR CONSULTANT:  
NEXAMP SOLAR, LLC.  
ATTN: JOE FIORI  
73 VAN DAM STREET  
SARATOGA SPRINGS, NY 12866

PROJECT LOCATION  
875 BREESEPORT ROAD  
TOWN OF ERIN  
CHEMUNG COUNTY  
NEW YORK

**HUNT** ENGINEERS | ARCHITECTS | SURVEYORS  
4 Commercial Street, Suite 300, Rochester, NY 14614 P: 585-327-7950 F: 585-327-7949  
Offices: Horseheads | Rochester | Towanda



DATE	BY	APP'D
07/27/20	AS	AS
07/27/20	AS	AS
07/27/20	AS	AS

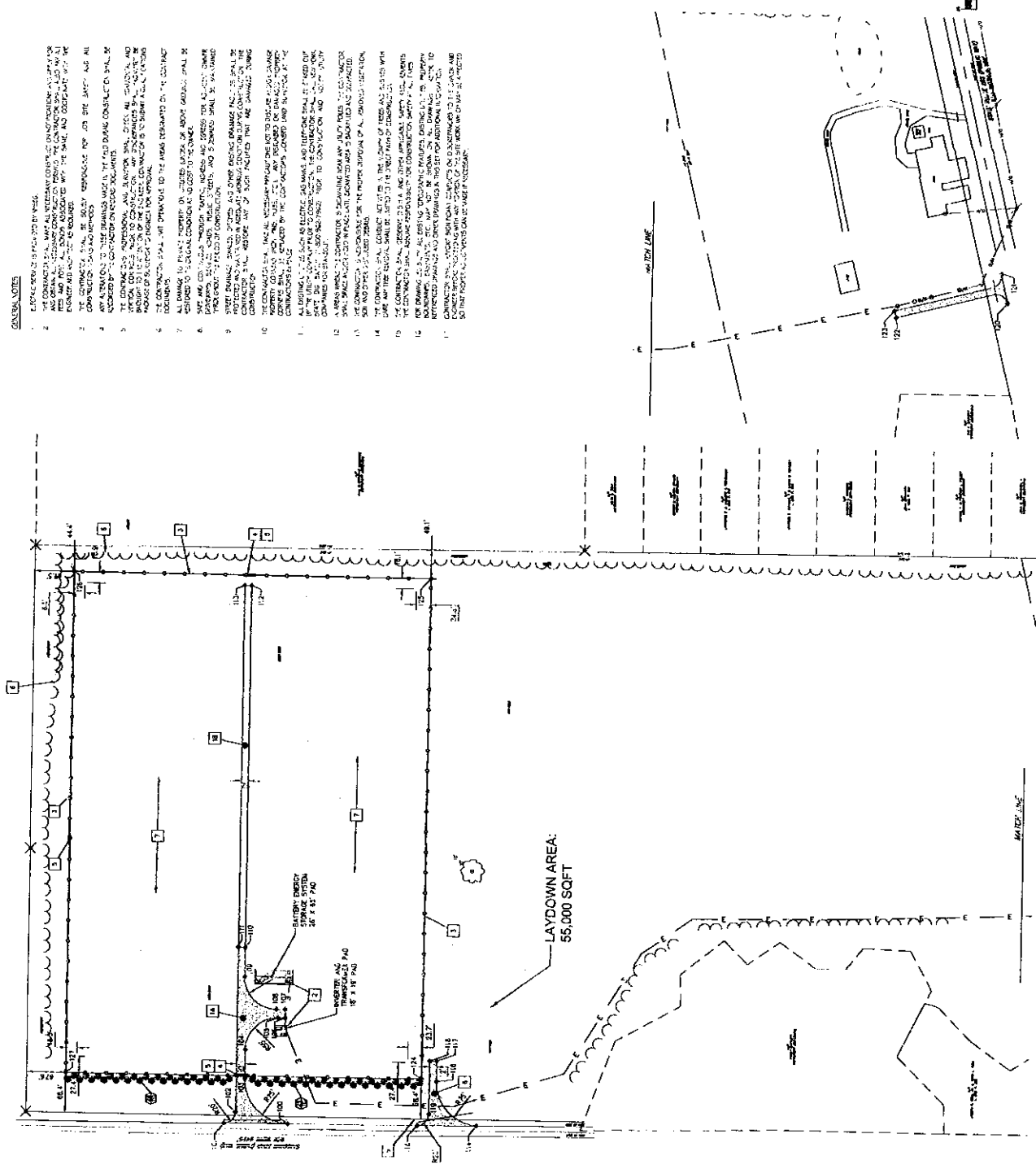
1. EXISTING SITE CONDITIONS SHALL BE MAINTAINED WHERE POSSIBLE.
2. ALL NEW CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
- A. NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS
  - B. NYS DEPARTMENT OF TAXATION AND FINANCE (DOT) REGULATIONS
  - C. NYS DEPARTMENT OF LABOR (DOL) REGULATIONS
  - D. NYS DEPARTMENT OF SOCIAL SERVICES (DSS) REGULATIONS
  - E. NYS DEPARTMENT OF HEALTH (DOH) REGULATIONS
  - F. NYS DEPARTMENT OF EDUCATION (DOE) REGULATIONS
  - G. NYS DEPARTMENT OF AGRICULTURE AND MARKETING (DAM) REGULATIONS
  - H. NYS DEPARTMENT OF CORRECTIONS AND COMMUNITY SUPERVISION (DOCCS) REGULATIONS
  - I. NYS DEPARTMENT OF TERRORISM AND EMERGENCY PREPAREDNESS (DOTERR) REGULATIONS
  - J. NYS DEPARTMENT OF TRANSPORTATION (DOT) REGULATIONS
  - K. NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS
  - L. NYS DEPARTMENT OF TAXATION AND FINANCE (DOT) REGULATIONS
  - M. NYS DEPARTMENT OF LABOR (DOL) REGULATIONS
  - N. NYS DEPARTMENT OF SOCIAL SERVICES (DSS) REGULATIONS
  - O. NYS DEPARTMENT OF HEALTH (DOH) REGULATIONS
  - P. NYS DEPARTMENT OF EDUCATION (DOE) REGULATIONS
  - Q. NYS DEPARTMENT OF AGRICULTURE AND MARKETING (DAM) REGULATIONS
  - R. NYS DEPARTMENT OF CORRECTIONS AND COMMUNITY SUPERVISION (DOCCS) REGULATIONS
  - S. NYS DEPARTMENT OF TERRORISM AND EMERGENCY PREPAREDNESS (DOTERR) REGULATIONS
  - T. NYS DEPARTMENT OF TRANSPORTATION (DOT) REGULATIONS

Point #	Elevation	Existing	Proposed
109	5.25	794574.33	793944.52
110	5.25	794574.33	793944.52
111	5.25	794574.33	793944.52
112	5.25	794574.33	793944.52
113	5.25	794574.33	793944.52
114	5.25	794574.33	793944.52
115	5.25	794574.33	793944.52
116	5.25	794574.33	793944.52
117	5.25	794574.33	793944.52
118	5.25	794574.33	793944.52
119	5.25	794574.33	793944.52
120	5.25	794574.33	793944.52
121	5.25	794574.33	793944.52
122	5.25	794574.33	793944.52
123	5.25	794574.33	793944.52
124	5.25	794574.33	793944.52
125	5.25	794574.33	793944.52
126	5.25	794574.33	793944.52
127	5.25	794574.33	793944.52
128	5.25	794574.33	793944.52
129	5.25	794574.33	793944.52
130	5.25	794574.33	793944.52
131	5.25	794574.33	793944.52
132	5.25	794574.33	793944.52
133	5.25	794574.33	793944.52
134	5.25	794574.33	793944.52
135	5.25	794574.33	793944.52
136	5.25	794574.33	793944.52
137	5.25	794574.33	793944.52
138	5.25	794574.33	793944.52
139	5.25	794574.33	793944.52
140	5.25	794574.33	793944.52
141	5.25	794574.33	793944.52
142	5.25	794574.33	793944.52
143	5.25	794574.33	793944.52
144	5.25	794574.33	793944.52
145	5.25	794574.33	793944.52
146	5.25	794574.33	793944.52
147	5.25	794574.33	793944.52
148	5.25	794574.33	793944.52
149	5.25	794574.33	793944.52
150	5.25	794574.33	793944.52
151	5.25	794574.33	793944.52
152	5.25	794574.33	793944.52
153	5.25	794574.33	793944.52
154	5.25	794574.33	793944.52
155	5.25	794574.33	793944.52
156	5.25	794574.33	793944.52
157	5.25	794574.33	793944.52
158	5.25	794574.33	793944.52
159	5.25	794574.33	793944.52
160	5.25	794574.33	793944.52
161	5.25	794574.33	793944.52
162	5.25	794574.33	793944.52
163	5.25	794574.33	793944.52
164	5.25	794574.33	793944.52
165	5.25	794574.33	793944.52
166	5.25	794574.33	793944.52
167	5.25	794574.33	793944.52
168	5.25	794574.33	793944.52
169	5.25	794574.33	793944.52
170	5.25	794574.33	793944.52
171	5.25	794574.33	793944.52
172	5.25	794574.33	793944.52
173	5.25	794574.33	793944.52
174	5.25	794574.33	793944.52
175	5.25	794574.33	793944.52
176	5.25	794574.33	793944.52
177	5.25	794574.33	793944.52
178	5.25	794574.33	793944.52
179	5.25	794574.33	793944.52
180	5.25	794574.33	793944.52
181	5.25	794574.33	793944.52
182	5.25	794574.33	793944.52
183	5.25	794574.33	793944.52
184	5.25	794574.33	793944.52
185	5.25	794574.33	793944.52
186	5.25	794574.33	793944.52
187	5.25	794574.33	793944.52
188	5.25	794574.33	793944.52
189	5.25	794574.33	793944.52
190	5.25	794574.33	793944.52
191	5.25	794574.33	793944.52
192	5.25	794574.33	793944.52
193	5.25	794574.33	793944.52
194	5.25	794574.33	793944.52
195	5.25	794574.33	793944.52
196	5.25	794574.33	793944.52
197	5.25	794574.33	793944.52
198	5.25	794574.33	793944.52
199	5.25	794574.33	793944.52
200	5.25	794574.33	793944.52

Point #	Elevation	Existing	Proposed
109	5.25	794574.33	793944.52
110	5.25	794574.33	793944.52
111	5.25	794574.33	793944.52
112	5.25	794574.33	793944.52
113	5.25	794574.33	793944.52
114	5.25	794574.33	793944.52
115	5.25	794574.33	793944.52
116	5.25	794574.33	793944.52
117	5.25	794574.33	793944.52
118	5.25	794574.33	793944.52
119	5.25	794574.33	793944.52
120	5.25	794574.33	793944.52
121	5.25	794574.33	793944.52
122	5.25	794574.33	793944.52
123	5.25	794574.33	793944.52
124	5.25	794574.33	793944.52
125	5.25	794574.33	793944.52
126	5.25	794574.33	793944.52
127	5.25	794574.33	793944.52
128	5.25	794574.33	793944.52
129	5.25	794574.33	793944.52
130	5.25	794574.33	793944.52
131	5.25	794574.33	793944.52
132	5.25	794574.33	793944.52
133	5.25	794574.33	793944.52
134	5.25	794574.33	793944.52
135	5.25	794574.33	793944.52
136	5.25	794574.33	793944.52
137	5.25	794574.33	793944.52
138	5.25	794574.33	793944.52
139	5.25	794574.33	793944.52
140	5.25	794574.33	793944.52
141	5.25	794574.33	793944.52
142	5.25	794574.33	793944.52
143	5.25	794574.33	793944.52
144	5.25	794574.33	793944.52
145	5.25	794574.33	793944.52
146	5.25	794574.33	793944.52
147	5.25	794574.33	793944.52
148	5.25	794574.33	793944.52
149	5.25	794574.33	793944.52
150	5.25	794574.33	793944.52
151	5.25	794574.33	793944.52
152	5.25	794574.33	793944.52
153	5.25	794574.33	793944.52
154	5.25	794574.33	793944.52
155	5.25	794574.33	793944.52
156	5.25	794574.33	793944.52
157	5.25	794574.33	793944.52
158	5.25	794574.33	793944.52
159	5.25	794574.33	793944.52
160	5.25	794574.33	793944.52
161	5.25	794574.33	793944.52
162	5.25	794574.33	793944.52
163	5.25	794574.33	793944.52
164	5.25	794574.33	793944.52
165	5.25	794574.33	793944.52
166	5.25	794574.33	793944.52
167	5.25	794574.33	793944.52
168	5.25	794574.33	793944.52
169	5.25	794574.33	793944.52
170	5.25	794574.33	793944.52
171	5.25	794574.33	793944.52
172	5.25	794574.33	793944.52
173	5.25	794574.33	793944.52
174	5.25	794574.33	793944.52
175	5.25	794574.33	793944.52
176	5.25	794574.33	793944.52
177	5.25	794574.33	793944.52
178	5.25	794574.33	793944.52
179	5.25	794574.33	793944.52
180	5.25	794574.33	793944.52
181	5.25	794574.33	793944.52
182	5.25	794574.33	793944.52
183	5.25	794574.33	793944.52
184	5.25	794574.33	793944.52
185	5.25	794574.33	793944.52
186	5.25	794574.33	793944.52
187	5.25	794574.33	793944.52
188	5.25	794574.33	793944.52
189	5.25	794574.33	793944.52
190	5.25	794574.33	793944.52
191	5.25	794574.33	793944.52
192	5.25	794574.33	793944.52
193	5.25	794574.33	793944.52
194	5.25	794574.33	793944.52
195	5.25	794574.33	793944.52
196	5.25	794574.33	793944.52
197	5.25	794574.33	793944.52
198	5.25	794574.33	793944.52
199	5.25	794574.33	793944.52
200	5.25	794574.33	793944.52



GRAPHIC SCALE  
1" = 100'  
1" = 100'

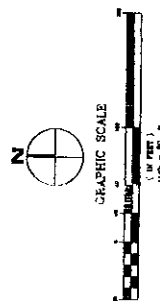


ERIN SOLAR ARRAY  
NEXAMP SOLAR, LLC  
775 BEECHPORT ROAD, TOWN OF ERIN, NY

100 Park Avenue, Room 1445, New York, NY 10022-3000  
Office: 212/697-1445 | Fax: 212/697-1446 | E-mail: info@huntington-engineers.com

[illegible][illegible]

THE ABOVE INFORMATION WAS OBTAINED FROM THE  
FEDERAL BUREAU OF INVESTIGATION, U.S. DEPARTMENT OF JUSTICE  
ON 11/11/68, AT NEW YORK, NEW YORK, BY SA [REDACTED]  
AND [REDACTED], NEW YORK, NEW YORK, AND [REDACTED]  
AT NEW YORK, NEW YORK, ON 11/11/68.



# SITE E&SC PLAN

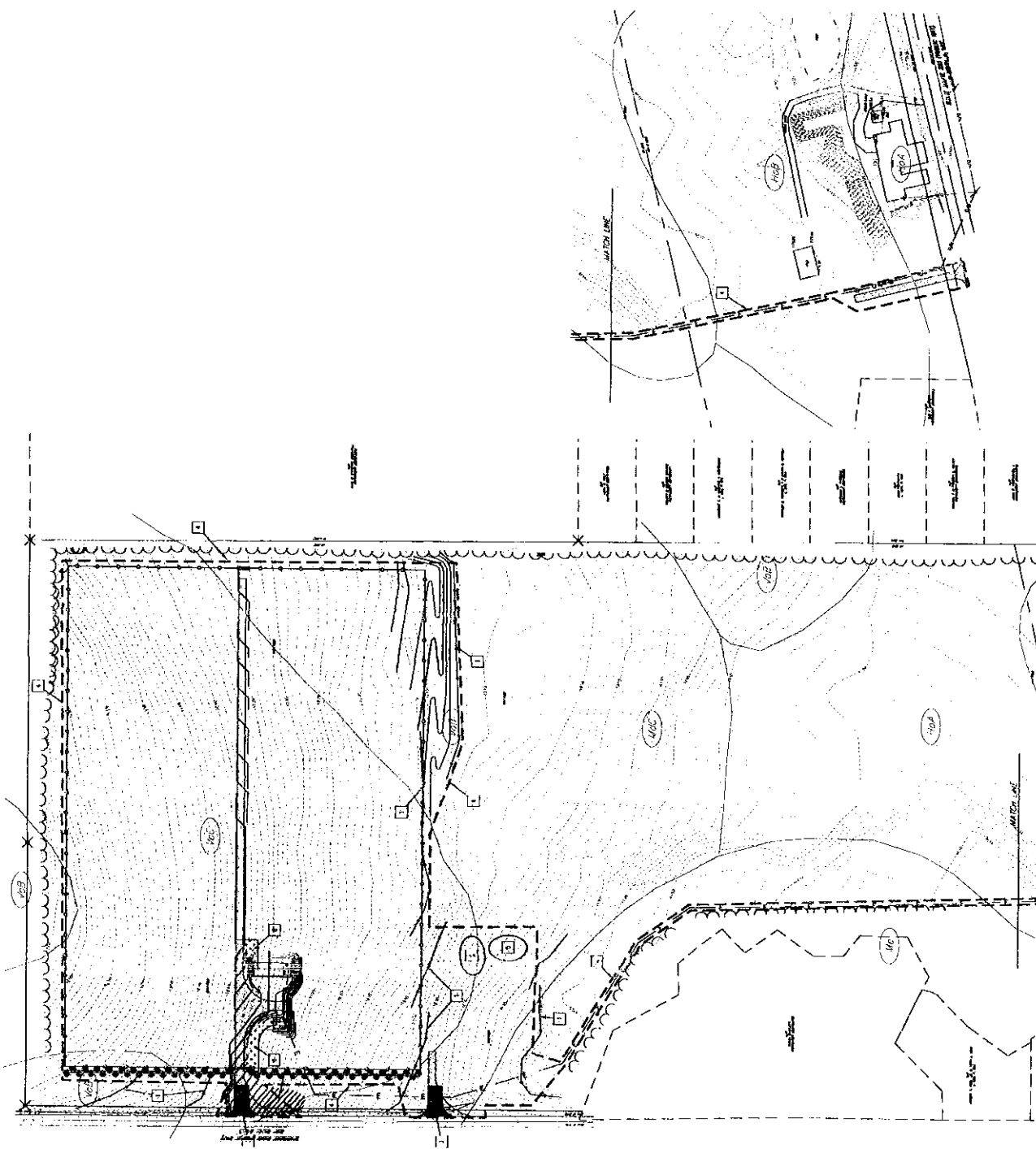
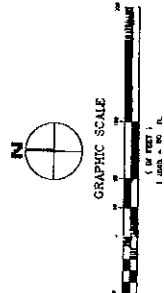
ERIN SOLAR ARRAY  
NEXAMP SOLAR, LLC  
875 BUFFINGTON ROAD, TOWN OF FRY, NY

HUNT

**ENGINEERS ARCHITECTS SURVEYORS**  
100 Prince Street, Birmingham, B2 6AA. Tel: 097 554 1200 or 097 554 1800  
Orlando McCann / Birmingham / Birmingham

DATE:	11-11-2011
NAME OF THE VENDOR:	...

DRAWN BY :	AMM
CHECKED BY :	CPY
DATE :	02/25/19
SCALE :	AS SHOWN



- [illegible]





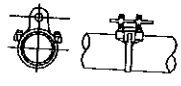


## C7.1

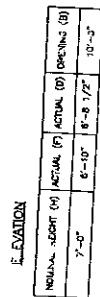
RECORD POST  
INDEX (TOP)



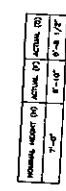
#### 4 GRAVEL ROAD DETAIL



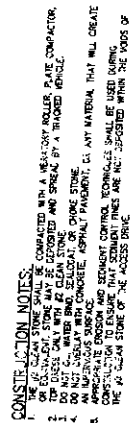
NOMINAL HEIGHT (H)	ACTUAL (F)	ACTUAL (D)	3-D DRAWING (B)
7'-0"	8'-10"	8'-8 1/2"	8'-0"



**2 CHAIN LINK DOUBLE GATE DETAIL**  
SCALE: N.T.S.



### 3 CHAIN LINK FENCE DETAIL

[illegible]

**5** **PERVIOUS ACCESS DRIVE DETAIL**  
SCALE: N.T.S.

#### 4 GRAVEL ROAD DETAIL

# STAR-GAZETTE


State of New York  
County of Chemung, SS:

Davis being duly sworn, deposes and says she is the Principal Clerk of the Elmira Star-Gazette, Division of Gannett Newspaper Subsidiary, publishers of the Star-Gazette newspaper printed and published daily in Elmira, and of general circulation in said county, and that a NOTICE, of which annexed is a printed copy, out from said newspaper has been published in said newspaper on:

03/13/19

Subscribed and sworn to before me this 13 day of March, 2019

K. Marano  
Notary Public



NOTICE IS HEREBY GIVEN that a Public Hearing will be held by the Town of Erin Planning Board on March 25, 2019 at 6:30 p.m., at the Erin Town Hall, 1138 Breesport Road Erin, NY regarding a SEQRR review for application for a Nexamp Solar LLC, solar array located at 875 Breesport Road, Erin NY Public hearing of the Special Use Permit and Site Plan Review of the proposed Solar Array shall follow the close of the SEQRR Review. The regular meeting of the Town of Erin Planning Board shall follow the close of the public hearings.

At such public hearing, all persons interested who wish to be heard will be heard.  
3/13/2019

---

000343716-01



ANDREW M. CUOMO  
Governor

## Parks, Recreation, and Historic Preservation

ERIK KULLESEID  
Commissioner

February 28, 2019

Mr. Dan Yanosh  
Project Manager  
HUNT Engineers  
4 Commercial Street  
Rochester, NY 14614

Re: DEC  
Nexamp Solar  
Breesport Rd., Erin, NY  
19PR01190

Dear Mr. Yanosh:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the New York State Office of Parks, Recreation and Historic Preservation's opinion that your project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Michael F. Lynch, P.E., AIA  
Director, Division for Historic Preservation

---

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • [www.nysparks.com](http://www.nysparks.com)

NOTICE IS HEREBY GIVEN that a Public Hearing will be held by the Town of Erin Planning Board on March 25, 2019 at 6:30 p.m., at the Erin Town Hall, 1138 Breesport Road Erin NY regarding a SEQR Review for application for a Nexamp Solar LLC, solar array located at 875 Breesport Road, Erin NY Public hearing of the Special Use Permit and Site Plan Review of the proposed Solar Array shall follow the close of the SEQR Review. Regular meeting of the Town of Erin Planning Board shall follow the close of the public hearings. At such public hearing, all persons interested who wish to be heard will be heard



CHEMUNG COUNTY PLANNING DEPARTMENT  
Chemung County Commerce Center  
400 East Church Street, P.O. Box 588  
Elmira, New York 14902-0588  
607-737-5510

March 14, 2019

Deda Cedar, Chair  
Town of Erin Planning Board  
1138 Breesport Road  
Erin, NY 14838

Re: Town of Erin Planning Board – SEQR Lead Agency for Proposed Solar Farm at 875 Breesport Road

Dear Deda,

Thank you for the Notice of Intent stating that the Planning Board is willing to act as SEQRA Lead Agency for environmental review of the above-referenced project. The Chemung County Planning Department has no objection to the Planning Board's assumption of responsibilities for the purpose of this review.

Feel free to contact me with any questions at [nwagone@chemungcountyny.gov](mailto:nwagone@chemungcountyny.gov) or 607-737-5510.

Sincerely,

A handwritten signature in cursive script, appearing to read "Nicolette Wagoner".

Nicolette A. Wagoner, AICP  
Commissioner of Planning



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Big Flats

Referring Official: Tom Whispel Title: Code Enforcement

Address: 476 Maple St, Big Flats, NY 14814

Phone Number: 562-8443 x206 E-mail: twhispel@bigflatsny.gov

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Captain's Sealcoating - Gregory Lorenz Phone: 738-4408

Petitioner's Mailing Address: 2839 County Line Dr  
Big Flats, NY 14814 E-mail: info@captainssealcoating.com

Location of Property: 3129 State Rte 352

Tax Map Parcel Number(s): 76.00-2-10.12

Current Zoning District: BN - Business Neighborhood

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):



**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_

☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): State Route 352  
County Rte 64 (Main Street)

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_)

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		4/3/2019 5/7/2019
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) \_\_\_\_\_

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**





March 24, 2019

Town of Big Flats Planning Board  
Attn: Brenda Belmonte  
476 Maple Street  
Big Flats, NY 14814

**Preliminary Site Plan Review**

Re: Gregory Lorenz  
3129 NYS Route 352  
Tax ID: 76.00-2-10.12

Application Materials Received – March 14, 2019  
Planning Board Meeting – April 2, 2019

**Project Description**

The applicant has submitted a Preliminary Site Plan application to utilize the property at 3129 NYS Route 352 as commercial and retail use. Currently there are two existing structures on the property. No improvements to the site or existing buildings appear to be proposed with this application.

The parcel is located within the Business Neighborhood (BN) District and the propose use would be classified as Office, General Business and Retail, Small Scale which are both permitted uses under Site Plan approval in the BN Zone.

The applicant has submitted the following materials:

- Site Plan Application
- Description of Proposed Use of Property
- Sketch showing area existing buildings and lot

Many of the items required under the Site Plan Requirements per Section 17.32.070 and 17.32.090 have not been included in the Site Plan Application Package. Due to the minor nature of this project, many of the items requested under this section are not applicable. It is our opinion that the applicant has provided sufficient information in order for the Planning Board to deem this application completed and proceed with the preliminary site plan review.

**17.48.010 Off-Road Parking and Loading Requirements**

The applicant has indicated that all parking will be used by employees, commercial vehicles and in the future retail customers. It is unclear how many parking spaces are available on site as the current parking area does not appear to be striped. It is unclear from the application how much square footage of the existing building will be used for retail and how much will be used for the general business use. The applicant shall provide additional information to determine if sufficient parking is available for the proposed use.



We recommend that the applicant provide a site plan showing the parking areas with striping. Each parking space shall be a minimum 9'x18' in size. The plan shall also show the required handicapped parking space with the applicable signage and striping.

The applicant shall also confirm that there is an all-weather driveway from the existing driveway onto NYS Route 352 to the parking lot.

### **State Environmental Quality Review**

The proposed development would be classified as an Unlisted action with an uncoordinated review. The applicant has not provided the Short Form EAF. The applicant shall complete so that the Planning Board can complete the environmental review for this project.

### **County Review**

The site plan application must be referred to the Chemung County Planning Board for a review of potential intermunicipal impacts because the site meets at least one of the criteria for referral found in the General Municipal Law (GML) of New York State:

- The site meets the criteria of within five hundred feet of the right-of-way of an existing or proposed county or state parkway, thruway, expressway, road or highway. [GML 239-m(b)(iii)]

### **Recommendation**

The Board must first determine if the information submitted is sufficient for the application to be deemed complete. If the Board deems the application complete, they should waive the site plan requirements outlined in Sections 17.32.070 and 17.32.090.

The Planning Board must refer the application to the Chemung County Planning Board for review.

The applicant will need to submit the Short EAF Form before the Planning Board can take action on SEQR.

We recommend that the Board request additional information on how the applicant will meet the parking requirements and request that a site plan be submitted to show how the parking area will be striped to ensure compliance with Section 17.48.010.

If you have any questions regarding this review letter, please contact me by phone at (607) 333-3120 or via email at [rswitala@bergmannpc.com](mailto:rswitala@bergmannpc.com).

Best Regards,  
BERGMANN ASSOCIATES

Robert Switala, PE, CPESC, CPSWQ  
Principal



**Town of Big Flats**  
Department of Planning

476 Maple Street  
Big Flats, NY 14814  
T: 607-562-8443  
<http://www.bigflatsny.gov>



## Site Plan Application

This application form is required as part of any request to process a planning action involving the review of a proposed Site Plan. In addition, the Town of Big Flats Municipal Code requires specific material to be submitted with this form. A copy of the applicable sections of the code are available upon request. It is the applicants responsibility to ensure that application package are complete and accurate.

**NOTE: AN INCOMPLETE APPLICATION CANNOT BE SCHEDULED FOR REVIEW**

Preliminary Acceptance Date: \_\_\_\_\_  
Final Approval Date: \_\_\_\_\_ Conditions ☐ Yes ☐ No

Name of Proposed Development: Captain's Sealcoating, LLC  
Retail Location  
Applicant: \_\_\_\_\_ Plans Prepared by: \_\_\_\_\_

Name Gregory Lorenz  
Address 2839 County Line Dr.  
Big Flats NY 14814  
Telephone 607-738-4408

Name Gregory Lorenz  
Address \_\_\_\_\_  
Telephone \_\_\_\_\_

Department Use Only:

**MAR 14 2019**

TOWN OF BIG FLATS  
PLANNING BOARD

**Owner (If Different):**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
Telephone \_\_\_\_\_

**Actions Requested**

- ☒ Site Plan Review  
☐ Site Plan Amendment  
☐ Area/Use Variance Requested (Additional Fees Apply)  
☐ Special Use/RLO Permit Required (Additional Fees Apply)

Ownership Intentions: ☒ Purchase ☐ Lease ☐ Other: \_\_\_\_\_

**Project Location:**

Parcel ID: 76.00-2-10.12  
Address: 3129 St Rt 352

Other Permits Needed: ☐ Dept. of Health - Water/Septic  
(all may not be applicable) ☐ Town of Big Flats DPW- Water

- ☐ Chemung County Sewer District  
☐ NYSDEC- SPDES  
☐ NYS/ACOE-Wetlands  
☐ FAA  
☐ NYSDOT  
☐ Chemung County DPW-Driveway  
☐ Town of Big Flats DPW-Driveway  
☐ Town of Big Flats Building Permit  
☐ Other: \_\_\_\_\_

Current Zoning: COMM + BN

Variance(s) Requested: \_\_\_\_\_

Proposed Use(s) of Site: Contractor Office /  
Retail

Anticipated Construction Start Date: Spring 2020

Anticipated Completion Date: Fall 2020 Will Construction be Phased: Unknown

Current Land Use of Site (agricultural, commercial, residential, etc.): Commercial

Character of Surrounding Lands (agricultural, residential, wetlands, etc.): Commercial / Residential

Info @ captainsssealcoating.com

Estimated Cost of Proposed Improvement: \$ Unknown

Estimated/Projected number of daily customers, employees, residents, etc.:

Unknown

Estimate/Projected Hours of Operation: Retail / Contractor Main Headquarters

Describe proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

- for residential buildings include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three- or more bedrooms) and number of parking spaces to be provided.
- for non-residential buildings, include total floor area and total sales area; number of automobile and truck parking spaces.
- other proposal structures.

(Use separate sheet if needed)

See Attached

APPLICATIONS WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Check one: ☒ Owner

- ☐ Power of Attorney\*  
☐ Contract to Purchase\*  
☐ Official Agent\*  
☐ Other: \_\_\_\_\_

I hereby certify that the above information and accompanying documents are truthful and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses, at my expense, for preparation of necessary environmental, engineering and planning studies.

[Signature]  
Legal Owner/Official Agent

\_\_\_\_\_ Date

\_\_\_\_\_  
Legal Owner/Official Agent

\_\_\_\_\_ Date

\_\_\_\_\_  
Applicant (If Different)

\_\_\_\_\_ Date

**FEE SCHEDULE**

**Residential: \$250.00\***

**Non-Residential: \$500.00\*\***

**Concept: \$200.00 (Fee goes toward full review)**

**\*add \$50.00 per 1,000 Sq. Ft. Gross Floor Area**

**\*\*add \$150.00 per 2,500 Sq. Ft. Gross Floor Area**

**Department Use (only)**

Lead Agency: \_\_\_\_\_ Environmental Determination: \_\_\_\_\_

☐ Type I ☐ Type II ☐ Unlisted

Final Plans Signed and Filed: \_\_\_\_\_

Director of Planning Date

Application Closeout Date: \_\_\_\_\_

Public Hearing: ☐ Yes ☐ No Date Advertised: \_\_\_\_\_ Date Conducted: \_\_\_\_\_

**Name of Proposed Development: Captain's Sealcoating, LLC Retail Location**

**Applicant:**

Gregory Lorenz

2839 County Line Dr

Big Flats, NY 14814

Ownership Interest: Lease from May 2019 - October 2019, Owner has offered right of first refusal to purchase the property. We will work to secure financing to purchase the property by the spring of 2020. No modifications to the property are intended until ownership is transferred.

**Project Location:**

Parcel ID # 76.00-2-10.12

**Address:**

3129 NYS Route 352

Big Flats, NY 14814

**Hours of operation:**

Posted hours will be April 1<sup>st</sup> – November 1<sup>st</sup>

Monday – Friday 8am – 5pm

Saturday – 8am – 2pm

Sunday – Closed

Offseason is approximately November 1<sup>st</sup> – April 1<sup>st</sup>. Operating hours will change during that time of year and will fluctuate often.

Crew hours will be different from posted operating hours. The seal coating crews will arrive up to two hours prior to posted operating hours and may have extended hours beyond posted hours.

**Immediate Use: May of 2020**

This review is being submitted for use in the day to day operations of Captain's Sealcoating, LLC from this location. Day to day operations will include mail, tractor trailer deliveries, starting and ending point for crew members working on sealcoating at customer locations, and office space for the company. We intend to use part of the building as the current owner transitions out of the space. Our staff will use the front parking lot daily throughout our season (April 1<sup>st</sup> – November 1<sup>st</sup>). When not in use the company sealcoating trucks (Ford F450 and Ford F550 flatbed sealcoating trucks) will be parked in the front parking lot. Tools and equipment will be stored in out buildings located to the southeast and northeast of the main building. A small portion of the main building will be designated for office space while the current owners moves his belongings out. We plan to transition into the full space by spring of 2020.

Sign: We plan to use the current sign location out front of the building to display advertising for the business. We will only modify landscaping at the base of the sign, no additional modifications to the sign are intended prior to spring of 2020.

Until the 2019 sealcoating season is over, we will not plan to use this location as retail or a public use facility. I have outlined our future plans for this location, but no current renovations or construction is planned for Captain's Sealcoating, LLC.

Future Plans: **No sooner than spring of 2020**

We intend to convert the building into a retail location to resell seal coating equipment and supplies. Along with the retail operation we will resell sealer. The sealer for resale and internal use will be stored in a 6000 gallon bulk storage tank. The bulk storage tank will be located behind the large blue building to the Northeast of the main building. We will take care to conceal the tank from view and comply with all necessary safety standards to operate a tank and pump for sealer resale. The tank and pump will be operated by Captain's Sealcoating, LLC staff that have been properly trained. No consumer use of the equipment will be allowed. We can submit an amended or renewed sight plan review when we have plans and specifics to review.





## Image Mate Online

[Navigation](#) [GIS Map](#) | [DTF Links](#) [Assessment Info](#)

[Help](#) [Log In](#)

### Commercial

[Property Info](#)

[Owner/Sales](#)

[Inventory](#)

[Improvements](#)

[Tax Info](#)

[Report](#)

[Comparables](#)

### Municipality of Town of Big Flats

SWIS:	072400	Tax ID:	76.00-2-10.12
-------	--------	---------	---------------

### Tax Map ID / Property Data

Status:	Active	Roll Section:	Taxable
Address:	3129 NYS Route 352		
Property Class:	484 - 1 use sm bld	Site Property Class:	484 - 1 use sm bld
Ownership Code:			
Site:	Com 1	In Ag. District:	No
Zonning Code:	06 -	Bldg. Style:	Not Applicable
Neighborhood:	24402 -	School District:	Horseheads
Property Description:	Ss Route 352		
Total Acreage/Size:	289.37 x 160.71	Equalization Rate:	----
Land Assessment:	2018 - \$44,800	Total Assessment:	2018 - \$112,100
Full Market Value:	2018 - \$112,100		
Deed Book:	11042	Deed Page:	60035
Grid East:	722666	Grid North:	777394

### Special Districts for 2018

Description	Units	Percent	Type	Value
FD241-Big flats fire dist	0	0%		0
SW241-County solid waste	0	0%		0
WD242-Big Flat watr dist 2	1	0%		0
WD245-Water Dist 5	1	0%		0

### Land Types

Type	Size
Primary	289 x 160

### Photographs

(Click on photo to enlarge it.)

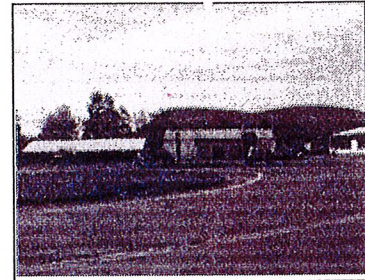


Photo 1 of 2



### Maps

[Pin Property on GIS Map](#)

[View in Google Maps](#)

[View in Bing Maps](#)

[Map Disclaimer](#)





+

-

0

1

2

▼

Q

⊙

**parcels**

---

ParcelNumber	
CountySBL	072400
SBL	0760000002010012
PrintKey	76.00-2-10.12
SwisSBL	0724000760000002
Acreage	0.70
Muni_Name	Big Flats
Muni Type	Town
Surv_Ref	2679
USNGR	
Parcel_Locations	
Control_No	1104260035
Deed_Bk	

[Zoom to](#)

Province of Ontario, Esri





Province of Ontario, Esri

60ft

-76.24342, 133 Degrees



617.20  
Appendix B  
Short Environmental Assessment Form

\* Applicant to  
complete Part 1.

Instructions for Completing

\* **Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information																		
Name of Action or Project: Captain's Sealcoating new location																		
Project Location (describe, and attach a location map): 3129 St. Rt. 352, Big Flats NY																		
Brief Description of Proposed Action: Use current buildings as new office/retail location for captain's sealcoating.																		
Name of Applicant or Sponsor: Greg Lorenz		Telephone: 607-738-4408																
		E-Mail: info@captainssealcoating.com																
Address: 2839 County Line Dr., Big Flats NY 14814																		
City/PO: Big Flats		State: NY	Zip Code: 14814															
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"><tr><th>NO</th><th>YES</th></tr><tr><td>X</td><td></td></tr></table>	NO	YES	X												
NO	YES																	
X																		
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"><tr><th>NO</th><th>YES</th></tr><tr><td>X</td><td></td></tr></table>	NO	YES	X												
NO	YES																	
X																		
3.a. Total acreage of the site of the proposed action? <u>1.06</u> acres																		
b. Total acreage to be physically disturbed? <u>0</u> acres																		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>0</u> acres																		
4. Check all land uses that occur on, adjoining and near the proposed action. <table border="0"><tr><td><input type="checkbox"/> Urban</td><td><input checked="" type="checkbox"/> Rural (non-agriculture)</td><td><input type="checkbox"/> Industrial</td><td><input checked="" type="checkbox"/> Commercial</td><td><input checked="" type="checkbox"/> Residential (suburban)</td></tr><tr><td><input type="checkbox"/> Forest</td><td><input checked="" type="checkbox"/> Agriculture</td><td><input type="checkbox"/> Aquatic</td><td colspan="2"><input type="checkbox"/> Other (specify): _____</td></tr><tr><td><input type="checkbox"/> Parkland</td><td colspan="4"></td></tr></table>				<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)	<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other (specify): _____		<input type="checkbox"/> Parkland				
<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)														
<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other (specify): _____															
<input type="checkbox"/> Parkland																		

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
		<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
		<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO	YES	
		<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>		



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Greg Lorenz Date: 4/9/2019

Signature: [Signature]

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Big Flats

Referring Official: Tom Whispe Title: Code Enforcement

Address: 476 Maple St., Big Flats, NY 14814

Phone Number: 562-8443 x206 E-mail: twhispe1@bigflatsny.gov

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Fagan / Shale Rock PUD Phone: 734-2165

Petitioner's Mailing Address: 113 E. Chemung Pl  
Elmira, NY 14904 E-mail: tom.dobrydney@faganengineers.com

Location of Property: Hibbard Road

Tax Map Parcel Number(s): 66.02-2-31.171

Current Zoning District: Rural (RU)

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):



**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_

☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): Hubbard Road

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances): \_\_\_\_\_

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		4/2/2019, 5/7/2019
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) \_\_\_\_\_

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Shalerock Planned Unit Development		
Project Location (describe, and attach a general location map): Northwest of the intersection of Hibbard Road and Daniel Zenker Drive		
Brief Description of Proposed Action (include purpose or need):  The proposed project is a mix of commercial and residential uses including self-storage, single-family homes, duplexes and townhomes. The residential component will have three district areas: Shalerock Reserve, Shalerock Villas and Shalerock Townhomes. The Reserve will consist of 37 single family residences. These residences are traditional 1 to 2 story residences of greater than 2,000 sf similar to the dimensions of the adjacent residential area (~0.3 acres minimum) and will be custom built. The 23 anticipated Villas are slightly smaller single family residences (1,500-2,000 sf) also on smaller lots (~0.2 acres). Landscaping and snow removal will be provided for the Villas and Townhomes (legal mechanism to be determined). The Townhomes consist of 31 dwelling units in a duplex or triplex arrangement on a 7.1 acre portion of the Site. The actual mix will be determined during the planning process. The proposal includes the development of a Planned Unit Development zone on a 52.65 acres +/- parcel.		
Name of Applicant/Sponsor: J. Clark Construction	Telephone: 607-739-3883 E-Mail: jclark328gts@aol.com	
Address: 923 W Broad Street		
City/PO: Horseheads	State: NY	Zip Code: 14845
Project Contact (if not same as sponsor; give name and title/role): Fagan Engineers & Land Surveyors, P.C.	Telephone: 607-734-2165 E-Mail: James.Gensel@FaganEngineers.com	
Address: 113 E. Chemung Place		
City/PO: Elmira	State: NY	Zip Code: 14904
Property Owner (if not same as sponsor): Jerry & Carol Welliver	Telephone: E-Mail:	
Address: 107 Lyons Drive Ext.		
City/PO: Horseheads	State: NY	Zip Code: 14845

## B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board - PUD	April 2019
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - PUD	Preliminary Oct. 2018 / Final May 2019
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County PB Referral	November 2018 (TBD)
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Chemung County Health Department	May 2019
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOH NYSDEC	May 2019
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	USACE	Only if Wetland Permit is Necessary (TBD)
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, identify the plan(s): NYS Major Basins: Upper Susquehanna _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	

<b>C.3. Zoning</b>	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<u>RU and BN2</u>	
b. Is the use permitted or allowed by a special or conditional use permit?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes,	
i. What is the proposed new zoning for the site? <u>Planned Unit District (PUD)</u>	
<b>C.4. Existing community services.</b>	
a. In what school district is the project site located?	<u>Horseheads</u>
b. What police or other public protection forces serve the project site?	<u>Chemung County Sheriff</u>
c. Which fire protection and emergency medical services serve the project site?	<u>Big Flats Fire Department</u>
d. What parks serve the project site?	<u>Town of Big Flats</u>

#### D. Project Details

<b>D.1. Proposed and Potential Development</b>	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? <u>Residential and Commercial</u>	
b. a. Total acreage of the site of the proposed action?	<u>52.65</u> acres
b. Total acreage to be physically disturbed?	<u>30.000</u> acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>52.65</u> acres
c. Is the proposed action an expansion of an existing project or use? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	
d. Is the proposed action a subdivision, or does it include a subdivision? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes,	
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) <u>Residential and Commercial</u>	
ii. Is a cluster/conservation layout proposed? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
iii. Number of lots proposed? <u>TBD - ~60</u>	
iv. Minimum and maximum proposed lot sizes? Minimum <u>0.2 acres</u> Maximum <u>1.0 acres</u>	
e. Will proposed action be constructed in multiple phases? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
i. If No, anticipated period of construction: _____ months	
ii. If Yes:	
• Total number of phases anticipated	<u>6</u>
• Anticipated commencement date of phase 1 (including demolition)	<u>6</u> month <u>2019</u> year
• Anticipated completion date of final phase	<u>10</u> month <u>2025</u> year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____	
<u>TBD - However phasing will accommodate all access and utility services.</u>	



f. Does the project include new residential uses? ☒ Yes ☐ No  
If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	<u>7</u>	<u>8</u>	<u>12</u>	
At completion of all phases	<u>~60</u>	<u>10</u>	<u>21</u>	

g. Does the proposed action include new non-residential construction (including expansions)? ☒ Yes ☐ No  
If Yes,

i. Total number of structures 3+ (Actual Number TBD during Site Plan Review of Individual Phases)

ii. Dimensions (in feet) of largest proposed structure: 24 height; 80 width; and 300 length

iii. Approximate extent of building space to be heated or cooled: 48,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☒ Yes ☐ No  
If Yes,

i. Purpose of the impoundment: Stormwater retention

ii. If a water impoundment, the principal source of the water: ☐ Ground water ☒ Surface water streams ☐ Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: TBD million gallons; surface area: TBD acres

v. Dimensions of the proposed dam or impounding structure: TBD height; TBD length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
On-site soil materials from cut/fill.

### D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? ☒ Yes ☐ No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? Site Grading

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): 0
- Over what duration of time? N/A

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
On-Site soil materials to be balanced through cut/fill design

iv. Will there be onsite dewatering or processing of excavated materials? ☐ Yes ☒ No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? TBD acres

vi. What is the maximum area to be worked at any one time? < 5 acres acres

vii. What would be the maximum depth of excavation or dredging? ~5 feet

viii. Will the excavation require blasting? ☐ Yes ☒ No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
To develop the site as a PUD including amenities.

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☒ Yes ☐ No  
If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Size of existing man-made retention basin will increase for stormwater mitigation.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

Increase in size.

iii. Will proposed action cause or result in disturbance to bottom sediments?

☐ Yes ☒ No

If Yes, describe:

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?

☒ Yes ☐ No

If Yes:

- acres of aquatic vegetation proposed to be removed: Minimal

- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_

- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_

- proposed method of plant removal: \_\_\_\_\_

- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?

☒ Yes ☐ No

If Yes:

i. Total anticipated water usage/demand per day: 30,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

☒ Yes ☐ No

If Yes:

- Name of district or service area: Big Flats Water District

- Does the existing public water supply have capacity to serve the proposal?

☒ Yes ☐ No

- Is the project site in the existing district?

☒ Yes ☐ No

- Is expansion of the district needed?

☐ Yes ☒ No

- Do existing lines serve the project site?

☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project?

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

TBD through discussions with the District

- Source(s) of supply for the district: Wells

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

☐ Yes ☒ No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_

- Date application submitted or anticipated: \_\_\_\_\_

- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?

☒ Yes ☐ No

If Yes:

i. Total anticipated liquid waste generation per day: 30,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Domestic Sanitary

iii. Will the proposed action use any existing public wastewater treatment facilities?

☒ Yes ☐ No

If Yes:

- Name of wastewater treatment plant to be used: Chemung County Sewer District

- Name of district: Chemung County Sewer District #1

- Does the existing wastewater treatment plant have capacity to serve the project?

☒ Yes ☐ No

- Is the project site in the existing district?

☐ Yes ☒ No

- Is expansion of the district needed?

☒ Yes ☐ No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will line extension within an existing district be necessary to serve the project? _____</li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul> <p style="margin-left: 20px;">TBD - Potential connections on Daniel Zenker Drive at two locations _____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____</p> <p>_____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="margin-left: 40px;">_____ Square feet or <u>&lt; 19</u> acres (impervious surface) *Estimate is based on maximum lot coverage rate</p> <p style="margin-left: 40px;">_____ Square feet or <u>52.65</u> acres (parcel size)</p> <p>ii. Describe types of new point sources. <u>None. Utilize existing stormwater drainage ways</u></p> <p>_____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p style="margin-left: 20px;"><u>Existing Stormwater Basin that will be improved.</u></p> <p>_____</p> <ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____</li> <li style="margin-left: 20px;"><u>On-site stormwater pond</u></li> </ul> <p>_____</p> <ul style="list-style-type: none"> <li>• Will stormwater runoff flow to adjacent properties? _____</li> </ul>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☒ Yes ☐ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☒ Morning ☒ Evening ☐ Weekend  
☐ Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_ < 2

iii. Parking spaces: Existing 0 Proposed 300+ (Inc. Gar) Net increase/decrease 300+

iv. Does the proposed action include any shared use parking? (At Community Center) ☒ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:  
Creation of a new subdivision with new local roads. Parcel 5 to be accessed via Hibbard Road and Daniel Zenker Drive (CCDPW Permit Req.)

---

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? CTRAN ☒ Yes ☐ No  
Route 20 ☐ Yes ☒ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☒ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☒ Yes ☐ No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☒ Yes ☐ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
Typical residential

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Grid/Local Utility

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐ Yes ☒ No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ N/A
- Saturday: \_\_\_\_\_ N/A
- Sunday: \_\_\_\_\_ N/A
- Holidays: \_\_\_\_\_ N/A

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ 24 Hrs
- Saturday: \_\_\_\_\_ 24 Hrs
- Sunday: \_\_\_\_\_ 24 Hrs
- Holidays: \_\_\_\_\_ 24 Hrs

(Based on Storage Use)

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:  <u>Proposal is to stay within Town allowed construction times.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>n.. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  <u>Potential street lights pending NYSEG/Town Lighting District. Also typical residential lighting. All lighting will be Dark Sky compliant.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

#### E. Site and Setting of Proposed Action

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☒ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☒ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.0	20.00	20.00
• Forested	13.40	4.20	-9.20
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	34.75	0	-34.75
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	2.50	4.00	1.50
• Wetlands (freshwater or tidal)	2.00	2.00	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Lawns</u>	0	22.45	22.45



c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☒ Yes ☐ No  
If Yes,  
i. Identify Facilities:  
Adjacent Daycare Facility

e. Does the project site contain an existing dam? ☐ Yes ☒ No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No  
If Yes:  
i. Has the facility been formally closed? ☐ Yes ☐ No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No  
☐ Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
☐ Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☒ No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Explain: _____</li> </ul>	
<b>E.2. Natural Resources On or Near Project Site</b>	
a. What is the average depth to bedrock on the project site? _____ >10 feet	
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site:	
Wallington	46 %
Unadilla	24 %
Chenango	14 %
d. What is the average depth to the water table on the project site? Average: _____ >6 feet	
e. Drainage status of project site soils:	
<input type="checkbox"/> Well Drained:	_____ % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	75 % of site
<input checked="" type="checkbox"/> Poorly Drained	25 % of site
f. Approximate proportion of proposed action site with slopes:	
<input checked="" type="checkbox"/> 0-10%:	100 % of site
<input type="checkbox"/> 10-15%:	_____ % of site
<input type="checkbox"/> 15% or greater:	_____ % of site
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes to either i or ii, continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
• Streams: Name <u>811-47</u> Classification <u>C</u>	
• Lakes or Ponds: Name _____ Classification _____	
• Wetlands: Name <u>Federal Waters, Federal Waters, Federal Waters,...</u> Approximate Size _____	
• Wetland No. (if regulated by DEC) _____	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
j. Is the project site in the 100 year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
k. Is the project site in the 500 year Floodplain? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes:	
i. Name of aquifer: <u>Principal Aquifer, Primary Aquifer</u>	

m. Identify the predominant wildlife species that occupy or use the project site:		
Deer <hr/>	Fox <hr/>	Rabbits <hr/>
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. Describe the habitat/community (composition, function, and basis for designation): _____		
ii. Source(s) of description or evaluation: _____		
iii. Extent of community/habitat:		
<ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>		
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If yes, give a brief description of how the proposed action may affect that use: _____		
_____		
<b>E.3. Designated Public Resources On or Near Project Site</b>		
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes, provide county plus district name/number: _____		
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>		
i. If Yes: acreage(s) on project site? 49.6		
ii. Source(s) of soil rating(s): 2018 NY Ag Land Classification - Chemung		
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature		
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____		
_____		
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. CEA name: _____		
ii. Basis for designation: _____		
iii. Designating agency and date: _____		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6 NYCRR Part 666?	
	<input type="checkbox"/> Yes <input type="checkbox"/> No

#### F. Additional Information

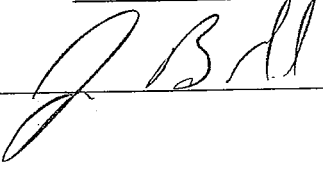
Attach any additional information which may be needed to clarify your project.

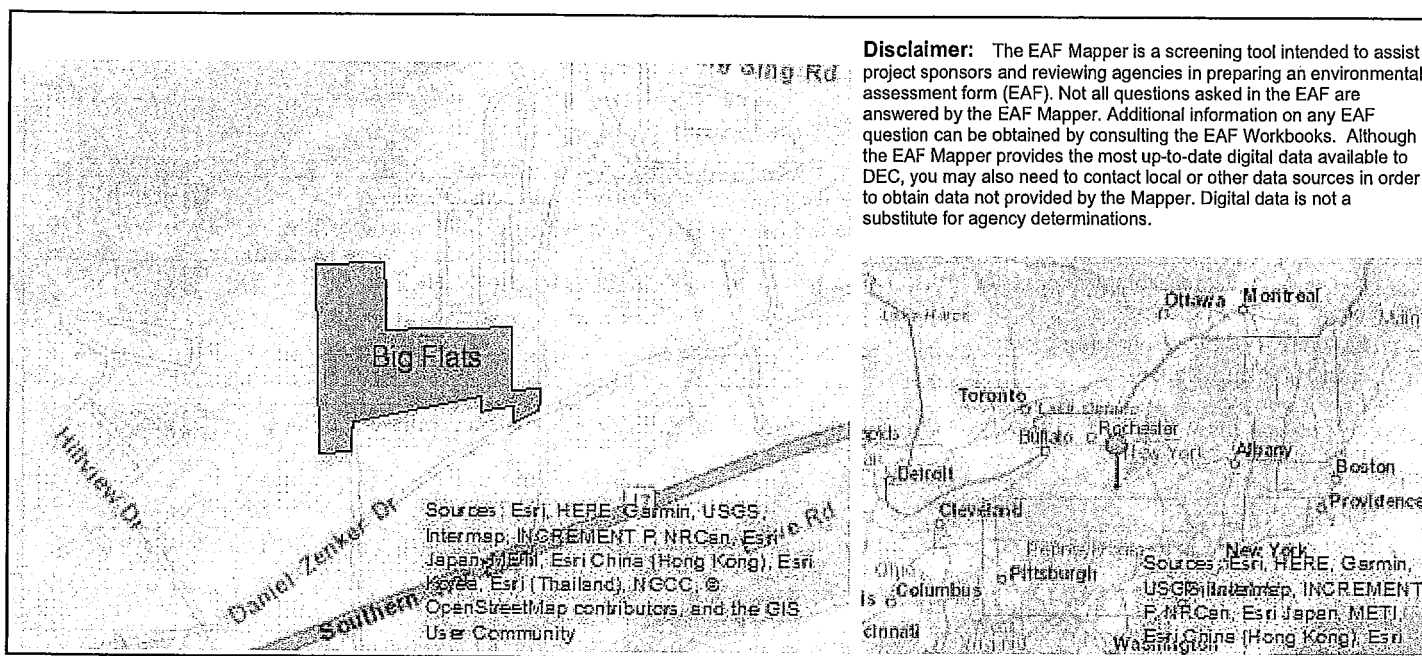
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name James B. Gensel, P.E., CPESC Date April 19, 2019 (Updated)

Signature  Title Engineer for Applicant



B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Major Basins: Upper Susquehanna
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	811-47
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

<b>E.2.j. [100 Year Floodplain]</b>	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
<b>E.2.k. [500 Year Floodplain]</b>	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
<b>E.2.l. [Aquifers]</b>	Yes
<b>E.2.l. [Aquifer Names]</b>	Principal Aquifer, Primary Aquifer
<b>E.2.n. [Natural Communities]</b>	No
<b>E.2.o. [Endangered or Threatened Species]</b>	No
<b>E.2.p. [Rare Plants or Animals]</b>	No
<b>E.3.a. [Agricultural District]</b>	No
<b>E.3.c. [National Natural Landmark]</b>	No
<b>E.3.d [Critical Environmental Area]</b>	No
<b>E.3.e. [National Register of Historic Places]</b>	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
<b>E.3.f. [Archeological Sites]</b>	Yes
<b>E.3.i. [Designated River Corridor]</b>	No





March 25, 2019

Town of Big Flats Planning Board  
Attn: Brenda Belmonte  
476 Maple Street  
Big Flats, NY 14814

**Preliminary PUD Plan Review**

Re: Shalerock Planned Unit Development  
Hibbard Road  
Tax ID: 66.02-2-31.171

Application Materials Received – March 15, 2019  
Planning Board Meeting – April 2, 2019

**Project Description**

The applicant has previously submitted a Site Plan application to construct a Planned Unit Development (PUD) consisting of single-family homes, multifamily units consisting of duplexes and apartments and commercial facilities. The site is located in the northwest corner of the intersection of Hibbard Road and Daniel Zenker Drive. The property is approximately 57.6 acres in area and is located within the Rural (RU) District and Business Neighborhood 2 (BN2) District.

The applicant has previously submitted the concept plan to initiate the Planned Unit Development (PUD) review and approval process. The PUD will require public water and sewer to be available on-site. Currently there is public water to this site but there is no public sewer. The applicant will need to extend sewer from Daniel Zenker Drive and will need to provide documentation from the Chemung County Sewer District on the ability to extend the sewer to the site.

We have reviewed this Plan with the assumption that sewer can be extended to the site and the project would fall under Chapter 17.21 Planned Unit Development (PUD) District regulations. The PUD provides a mean by which different land uses within an area covered by a single development plan may be combined to achieve compatibility among uses.

The applicant has submitted revised Preliminary Planned Unit Development Plans for Shalerock Planned Unit Development last revised March 14, 2019 prepared by Fagan Engineers. The plan has been modified in that the number of townhomes has increased and the number of villas has decreased.

Bergmann previously reviewed the plans in conjunction with Section 17.21 Planned Unit Development requirements. Attached to this review is a list of the Performance Standards outlined in Section 17.21.080. The applicant has provided all the necessary information to complete a review of the performance standards. The following represents comments on what was submitted:



- A. Setbacks – The front, side and rear yard setbacks for individual structures within the PUD will be determined in conjunction with the final approval of the planned unit development plan. The applicant is proposing the following:

Type	Front Setback	Rear Setback	Side Setback
Reserve	25 feet	30 feet	10 feet
Villas	20 feet	25 feet	5/10 feet
Townhomes	25 feet	25 feet	10 feet

These setbacks are similar to what was established by the Planning Board for the other PUD application currently under review. **Our only recommendation would be to have a 30-foot front setback for the Reserve units as this would be consistent with the front setback established with the other application.** This would also keep the setbacks for the Reserves to be consistent with the density established in the R1 District.

- B. Height – no information has been provided on the proposed heights of the buildings.
- C. Parking – any parking areas for the commercial facilities will need to be compliant with Chapter 17.48 of the Town Code. Parking information shall be provided to show compliance with parking requirements for commercial uses. Parking and striping shall be denoted for community building.
- D. The applicant is also proposed development near and on the existing natural gas pipeline easement. It appears the trail system will cross the easement. The applicant will need to provide correspondence from the gas company providing authorization if they plan to encroach the ROW.
- E. Noise – we anticipate that this development will adhere to the Noise Performance Standards outlined in the PUD requirements. However, a Final PUD approval shall include the condition that all development, tenants, and users must adhere to the noise regulations outlined in Chapter 17.
- F. Lighting – A lighting district is proposed to be developed for this project, as a result the Town will need to provide input on the type of fixture to be utilized. The applicant has provided a photometric plan and indicated that the fixture is dependent on the town wide standardization of the fixture type. The lighting plan does not denote the fixture height, but no fixtures shall be mounted higher than 15 feet. The applicant has indicated that the trail will be closed from dusk to dawn and therefore no lighting is proposed along the trail. A note shall be included on the site plan denoting the time restrictions for the trail and where signage for the public will be located to denote this restriction.
- G. Landscaping – the future commercial use along Daniel Zenker Drive shall utilize landscaped islands and additional buffering as required per the performance standards. This can be a conditional of final approval of the commercial space. In addition, a maintenance plan and agreement shall be required for the portion of the development that will be under control of an HOA, developer and/or property management company. It is also recommended that maintenance requirements be included as part of the deed restrictions for the individual lots. The maintenance plan and agreement shall include a provision that all shrubs and trees that die shall be replaced within one growing season.
- H. Signage – no information is provided for any signage. A condition of approval shall be all signage shall confirm to Chapter 17.52 or the applicant will need to obtain the necessary area variance.





- I. Waste Disposal - No information on storage and/or screening of waste facilities has been provided. This is mostly applicable for the retail space along Daniel Zenker Drive. The applicant has indicated that they will comply but has not provided information or details on compliance with this performance standard. We recommend that a condition of final approval be that all dumpsters must be enclosed and landscape screening.
- J. Appearance/Architectural - Information on the architectural and appearance of the townhouse structures has been provided. The applicant shall submit information on the residential units prior to Final PUD approval.
- K. Environmental - There is an existing wetland on the western part of the parcel. A formal wetland delineation will be required to be submitted as part of the preliminary planned unit development review. The applicant should provide documentation to indicate that no environmental resources (i.e. wetland or streams) will be impacted with the proposed development. Any impacts may require permitting. The applicant has indicated that a preliminary wetland delineation has been performed. A copy of this report shall be provided for our review and the location of the delineation flags shall be indicated on the existing conditions and master development plans.
- L. The applicant is proposed to connect to a private road that extends from Palmer Road. Coordination with land owner and Town to make this private road public. In addition, the private road will need to be brought up to Town road standards. This shall be reflected on the plans and made a condition of Final PUD approval.
- M. The existing condition plan, C1, shows two parcels in the existing conditions. This is not accurate and there is only one parcel with a total of approximately 57.6 acres. This should be revised to reflect the current existing conditions.
- N. Access to the commercial use off Daniel Zenker Drive will need to be reviewed and approved by the County.
- O. Stormwater Management – This project will require a SWPPP as it will disturb more than 1 acre. There is an existing drainage ditch and retention pond within the project area. The applicant will need to have the project reviewed and approved by the Chemung County Stormwater Coalition.
- P. Water and Sewer shall be reviewed and approved by the Town of Big Flats and Chemung County Sewer.

### **Procedure**

(See Section 17.21.060 for detailed procedure instructions):

- a. Planning Board will perform a pre-application meeting – **performed at the August 7<sup>th</sup> Planning Board meeting**
- b. Applicant prepares a Preliminary Planned Unit Development Plan Submission. – **In Progress**
- c. Planning Board reviews Preliminary Planned Unit Development Plan. – **anticipated at April 2, 2019 Planning Board meeting**
- d. Planning Board provides recommendation to the Town Board within 62 days of a complete application.
- e. Town Board reviews Preliminary Planned Unit Development Plan.
- f. Town Board holds public hearing within 62 days of receiving findings and recommendation from Planning Board.



- g. Town Board within 62 days of holding public hearing will render decision on application and forward to Planning Board.
- h. If approved, applicant submits Final Planned Unit Development Plan.
- i. Planning Board reviews Final Planned Unit Development Plan and provides recommendation to Town Board.
- j. Town Board issues Planned Unit Development Final Plan approval.

### **State Environmental Quality Review**

Per the Planned Unit Development regulations, all PUD applications shall be considered a Type I action under SEQRA requiring coordinated review. The Planning Board declared its intent to be lead agency and issues a coordinated review to the various involved agencies at the November 2018 Planning Board meeting. We recommend that the Planning Board complete Parts 2 and 3 of SEQR.

### **County Review**

The site plan submission must be referred to the Chemung County Planning Board for a review of potential intermunicipal impacts because the site meets at least one of the criteria for referral found in the General Municipal Law (GML) of New York State:

- The site borders the right-of-way of Daniel Zenker Drive meeting the criteria of within five hundred feet of the right-of-way of an existing or proposed county or state parkway, thruway, expressway, road or highway. [GML 239-m(b)(iii)]

We recommend that the application be referred to the County Planning Board for review.

### **Recommendation**

The applicant has provided all additional information to allow our review of the Planned Unit Development performance standards. We recommend that the Planning Board accept this as a Preliminary Planned Unit Development Plan. In addition, we recommend the following action:

1. The Planning Board refer the Preliminary Planned Unit Development plan to the County Planning Board
2. The Planning Board refer the Preliminary Planned Unit Development plan to the Town Board for concurrence of the recommended deviations as noted on the PUD Checklist and provide a positive recommendation for Preliminary PUD Plan approval.
3. Obtain a final updated Long Form EAF from the applicant updated to reflect the accepted Preliminary PUD Plans and at the May 7, 2019 Planning Board meeting, the Planning Board complete Parts 2 and 3 of SEQR to complete the SEQR process.



If you have any questions regarding this review letter, please contact me by phone at (607) 333-3120 or via email at [rswitala@bergmannpc.com](mailto:rswitala@bergmannpc.com).

Best Regards,

BERGMANN ASSOCIATES

A handwritten signature in black ink, appearing to read 'Robert Switala'. The signature is fluid and cursive, with the first name 'Robert' and last name 'Switala' clearly distinguishable.

Robert Switala, PE, CPESC, CPSWQ  
Principal



March 15, 2019

Mr. Tom Whispel, Code Enforcement Officer  
Town of Big Flats  
476 Maple Street  
PO Box 449  
Big Flats, NY 14814

RE: Shaleroch Planned Unit Development (PUD)  
Final Master Plan  
FE Project #2018-006

Dear Mr. Whispel:

We would like to thank the Town Staff and the Planning Board for continuing to assist with this Project. Please find the following documents as part of Final Planned Unit Development Master Plan submission based on the Town's Review:

- Two (2) sets of Final Master Plan Drawings (Full-size),
- Ten (10) sets of Final Master Plan Drawings (Half-size), and
- Ten (10) copies of the Engineering Report (Previously Submitted).

We look forward to working with the Planning Board. If you have any questions or comments, please feel free to contact us.

Sincerely,

FAGAN ENGINEERS & LAND SURVEYORS, P.C.

A handwritten signature in blue ink, appearing to read 'J B Gensel', is written over the printed name and title.

James B. Gensel, P.E., CPESC  
President

Cc: Jim Clark, J. Clark Construction

L:\PROJECTS\2018\2018-006\Town PB\2019-03-15 PUD\BFPB 2019-03-15.doc



		Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
A	*No use shall be permitted that causes dust, smoke, gas, or fumes odor, noise, vibration or excessive light...	X				
B	Any other performance standards of the town shall apply to the PUD in addition to these	X				
<b>C Access and Traffic Impacts</b>						
1	Minimal traffic and safety impacts to existing and proposed roads	X		Applicant has provided a trip generation report to show minimal increase on trips onto the road network.		
2	Access to site with limited curb cuts	X		Only 1 new curb cut on Daniel Zenker, utilize Hickory Drive and private road off of Palmer Road		
3	Pedestrian and vehicular traffic shall be separated; walkways shall be provided for access to adjacent properties between businesses	X		Sidewalks proposed throughout Phases A-C where residential housing is proposed.		
4	For public convenience pedestrian and/or bicycle connection to various uses		X	No offsite connectivity is proposed	Bergmann recommends a deviation from this standard since there is no offsite pedestrian or bike systems	
5	Walkways must conform to ADA	X		Applicant agrees to comply.		
<b>D Parking and Loading Requirements</b>						
1	Parking shall conform to Section 17.48.010	X				
2	Parking shall be located to the rear and side of buildings. In no case shall parking be allowed in the planting strip adjacent to the sidewalk or within the front setback of any lot.		X		Bergmann recommends a deviation from this standard for the residential units and commercial areas.	
3	Parking spaces shall be on or off the lot	X				
4	Buildings that do not have street frontage must provide access for emergency vehicles	X				
5	No cul-de-sacs are permitted	X				

		Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
6	If more than one use then the number of spaces required shall be 70 percent of the sum of required spaces for each category of use	X		Single use for each individual lot		
7	Planning board may reduce the number of required parking spaces for the general business or professional office building/industrial portion of the building by 50 percent	X		Does not appear this will be required or necessary.		
8	Off street loading areas	X				
<b>E Noise</b>						
1	Residential units shall be constructed so that interior noise levels do not exceed an Ldn of 45 dB in any habitable room	X		Applicant has indicated they will comply.		
2	Maximum permissible sound	X		Condition Recommended	Applicant has indicated this information will be provided in the future once Commercial tenants are determined. We recommend the Board state that all future users my adhere to noise regulations as outlined in Chapter 17.	
3	Sound Pressure Level	X		Condition Recommended	Applicant has indicated this information will be provided in the future once Commercial tenants are determined. We recommend the Board state that all future users my adhere to noise regulations as outlined in Chapter 17.	
4	Sound levels specified shall not be exceeded for more than 15min per day	X		Applicant has indicated they will comply.		
5	No construction activities on a site abutting residential use between the hours of 9pm and 7am	X		Applicant has indicated they will comply.		
6	Business, professional office, or small scale light industrial shall be designed and operated so that neighboring residents are not exposed to offensive noise.	X		Applicant has indicated they will comply		
7	Common walls between residential and non-residential uses shall be constructed to minimize transmission of noise and vibration	X		Applicant has indicated they will comply		

		Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
8	Residential buildings to be constructed or rehabilitated shall be designed or retrofitted to filter out noise through construction	X		Not applicable		
<b>F Vibration, Smoke, Heat, Glare, and Odor</b>						
1	Vibration shall not be discernible to any human's sense of feeling for 3 minutes in any one hour or a total of 15 minutes in any one day	X				
2	Smoke Visibility	X				
3	Heat and glare shall not be discernible from the outside of any structure	X				
4	Odor, dust, and fumes shall be effectively confined to the premises or so disposed as to avoid air pollution	X				
<b>G Lighting</b>						
1	All outdoor lighting should conform to Section 17.36.240	X				
2	Parking areas shall be illuminated to provide appropriate visibility and security during hours of darkness	X				
3	Outdoor lighting shall not direct light beyond property boundaries. Light shall be directed away from residences	X				
4	Lighting of the site shall be adequate at ground level for the protection and safety of the public in regard to pedestrian and vehicular safety	X				
<b>5 Exterior Lighting Plan Required</b>						
5a	Show proposed and existing lighting locations and orientation	X				
5b	Provide photometric plans and specifications	X				

	Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
6	X				
7	X		Condition of approval shall be to limit the fixture height to no higher than 15 feet.		
<b>H Storage</b>					
1	X		All materials, supplies, and equipment shall be stored in accordance with Fire Code of NY State and Property Maintenance Code of NY State		
<b>I Waste Disposal</b>					
1	X		Waste disposal shall follow NY State Dept of Health regulations		
2	X		Storage and Waste Facilities shall be screened from view		
3	X		Appropriate provisions shall be made for the disposal of trash		
<b>J Loading/Unloading</b>					
1	X		Loading and unloading may be limited to weekdays between the hours of 7am and 9pm only		
2	X		Signs shall conform in accordance to Chapter 17.52	Additional information required.	
<b>K Landscaping Requirements</b>					
1	X		Landscaping plans should specifically address streetscape aesthetics		
2	X		Screening of mechanical equipment, trash, and loading areas shall be provided through the use of walls, fences, and/or dense, evergreen plant materials		
3	X		Parking Area Landscaping		
3a	X		Parking areas shall be screened from residential uses, streets, and walkways using trees and shrubs adapted to the region		

Shalerock PUD  
17.21.080 Performance Standards

		Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
3b	The landscaped perimeter shall be at least five feet wide	X				
3c	Landscaping shall be provided for interior vehicular use areas to provide visual and climatic relief	X				
3d	The parking area shall be landscaped with sufficient shade trees to provide 50 percent shade within 15 years of installation	X				
3e	The use of porous pavement and/or perforated brick or block shall be used to the extent feasible to increase on-site water retention for plant material, groundwater supplies, and to reduce problems associated with runoff	X		Not applicable		
4	Completion of landscaping requirements may be postponed due to seasonal weather conditions for a period not to exceed 6 months from the time of project completion	X				

		Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
<b>L Maintenance of Landscaping and Screening</b>						
1	All landscaping shall be maintained by the property owner	X			Maintenance Plan & Agreement will be required.	
2	Landscaping and screening plant materials shall not encroach on the public walkways or roadways in a way that impedes pedestrian or vehicular traffic	X				
3	Shrubs and trees that die shall be replaced within one growing season	X			Maintenance Plan & Agreement will be required.	
4	If the property owner fails to do so, the town reserves the right to maintain the landscaping and screening after notifying the owners, agents, renters, or lessees by certified mail	X		Applicant agrees to this condition.		
6	If any property owner fails or refuses to pay with due any charge imposed under this section additional charges may be levied against the persons property collection by the county	X		Applicant agrees to this condition.		
<b>M Appearance/ Architectural/ Site Design</b>						
1	Architectural design shall be compatible with the character and scale of building in the town of Big Flats and in compliance with the town's development design guidelines	X				
2	Variation in detail, form, and siting shall be used to provide visual interest and avoid monotony	X				
3	Proposed buildings shall relate harmoniously to each other with adequate light, air circulation, and separation between buildings	X				
4	Proposed buildings shall be compatible within the context of the PUD congruent color, scale, and character of the existing natural and built environment	X				



Shalerock PUD  
 17.21.080 Performance Standards

		Complies	Deviation	Explanation	Bergmann Recommendation and Comments	Planning Board Recommendation
5	Existing buildings shall remain compatible with the historic character and scale of contiguous building within the PUD for the purpose of reconstruction or rehabilitation	X		No existing buildings		
6	Site development plans should address the pedestrian environment for residents, visitors, and employees	X				
7	Designs which integrate and protect existing wetland areas into the landscape without disturbing them are encouraged	X			Preliminary Wetland Delineation Report shall be provided for review and delineation limits shall be denoted on existing condition plan.	
8	Buildings or structures that are listed or eligible for inclusion on the State or National Register of Historic Places shall be converted, constructed, reconstructed, restored or altered to maintain or promote the status of the building or structure on, or eligibility for inclusion on the State or National Register of Historic Places	X		Not applicable		

**SHALERUCK  
PLANNED UNIT DEVELOPMENT  
TOWN OF BIG FLATS, CHEMUNG COUNTY, NEW YORK**

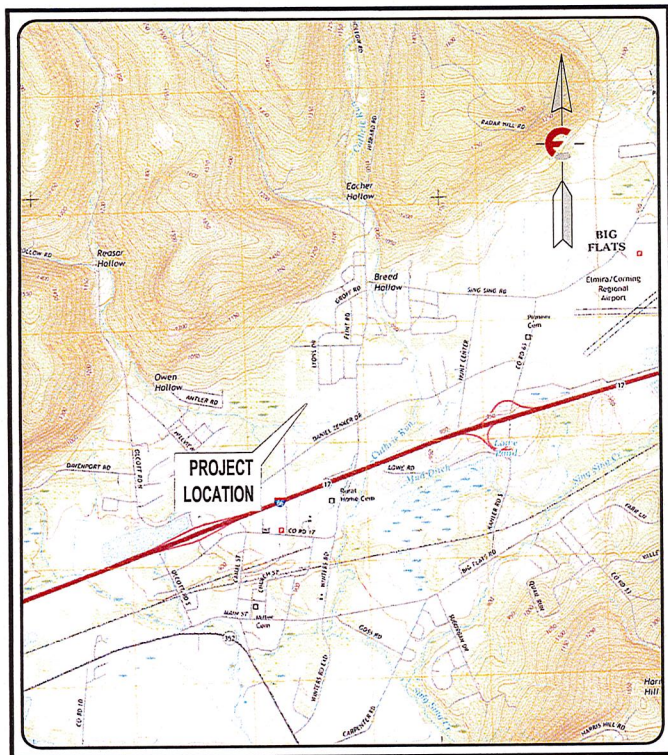
**October 17, 2018**

**Last Revised: March 14, 2019**

**PREPARED FOR:**

## J. Clark Construction

**923 West Broad Street  
Horseheads, New York 14845**

**Tax Map #66.02-2-31.171**

## LOCATION MAP

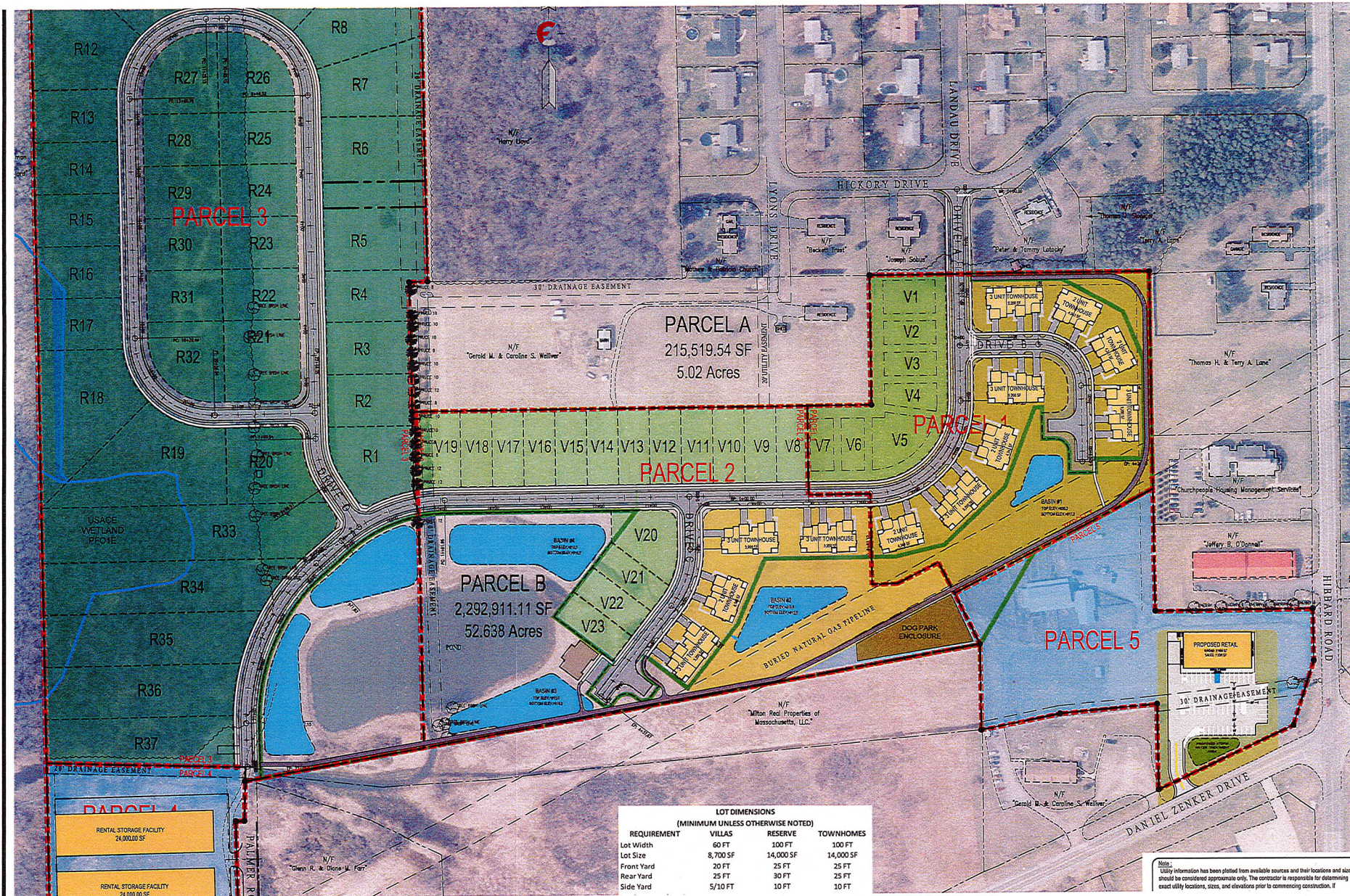
## INDEX OF DRAWINGS

NO.	TITLE
C1	EXISTING CONDITIONS
C2	MASTER SITE PLAN
C3	MASTER GRADING PLAN
C4	MASTER UTILITY PLAN
C5	PHASE 1 SITE PLAN
C6	PHASE 1 GRADING PLAN
C7	PHASE 1 UTILITY PLAN
C8	PHASE 1 UTILITY PLAN SOUTH
C9	ROADWAY PROFILES
C10	ROADWAY PROFILES
C11	CIVIL DETAILS
C12	CIVIL DETAILS
C13	PHASE 1E & S PLAN
C14	E & S DETAILS
C15	FIRE VEHICLE ACCESS PLAN
C16	SWPPP
C17	SWPPP DETAILS









**LOT DIMENSIONS  
(MINIMUM UNLESS OTHERWISE NOTED)**

REQUIREMENT	VILLAS	RESERVE	TOWNHOMES
Lot Width	60 FT	100 FT	100 FT
Lot Size	8,700 SF	14,000 SF	14,000 SF
Front Yard	20 FT	25 FT	25 FT
Rear Yard	25 FT	30 FT	25 FT
Side Yard	5/10 FT	10 FT	10 FT

**Note:**  
Utility information has been plotted from available sources and their locations and due should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If

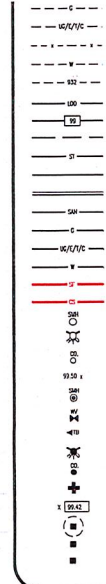
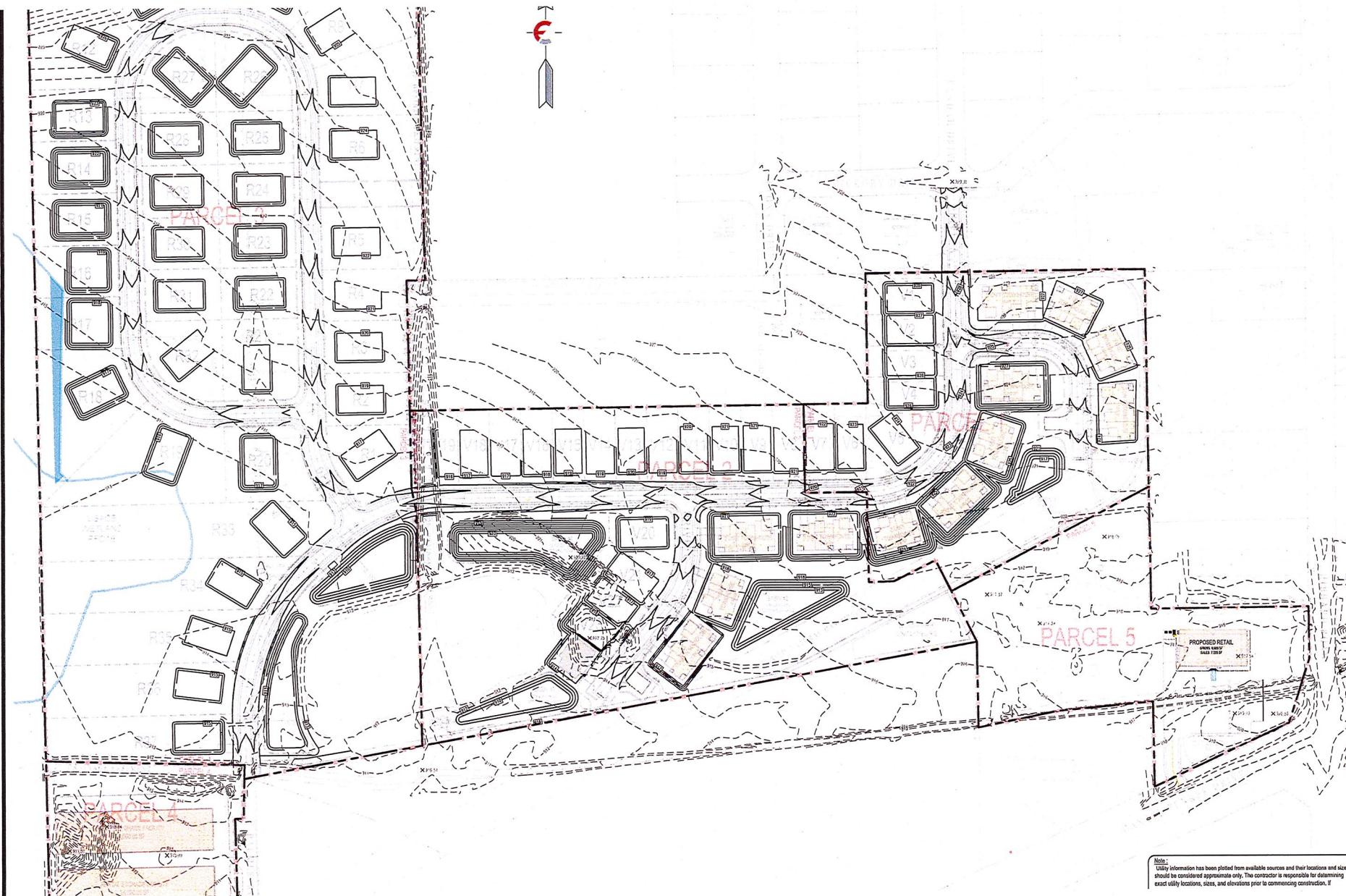
**Scale:**  
1" = 100'

**Legend:**

- SH 20 37 1.8
- SH VIL 4.6 23 4.7
- SH TO 7.1 31 4.4
- SH CO 7.4
- CO OP 10

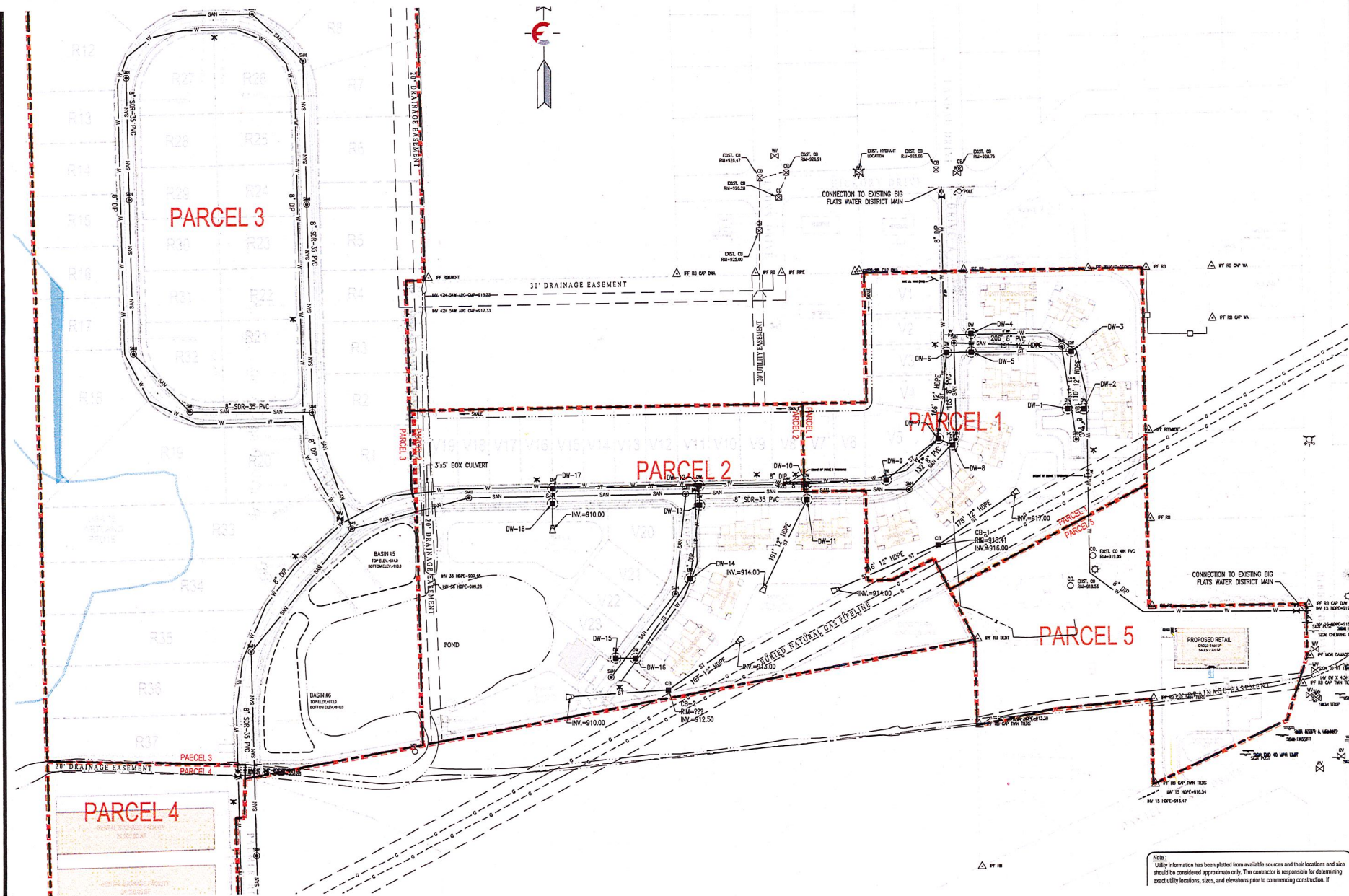
**Zone:**  
BN2 - BUSI  
TAX M





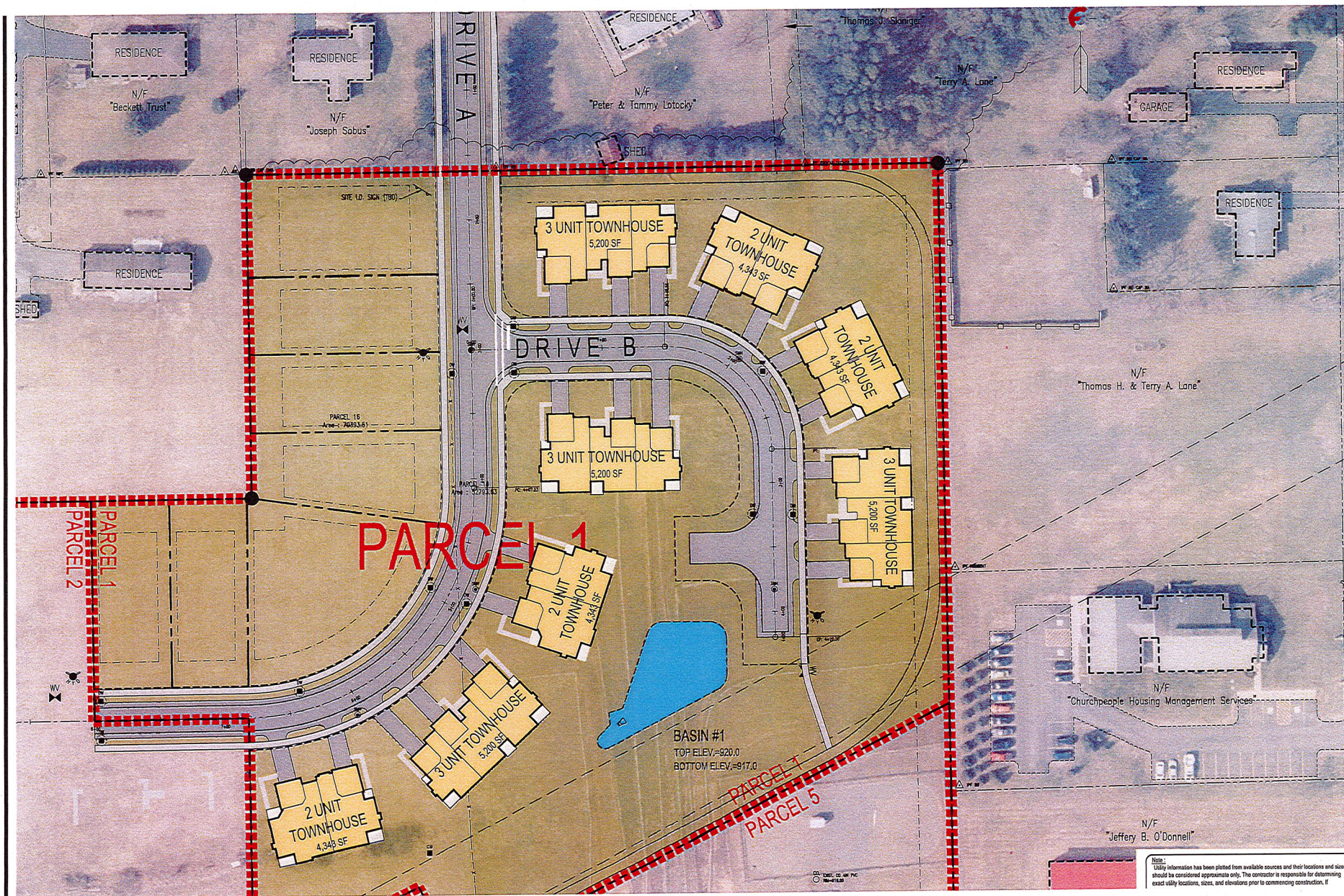
Note:  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction, if



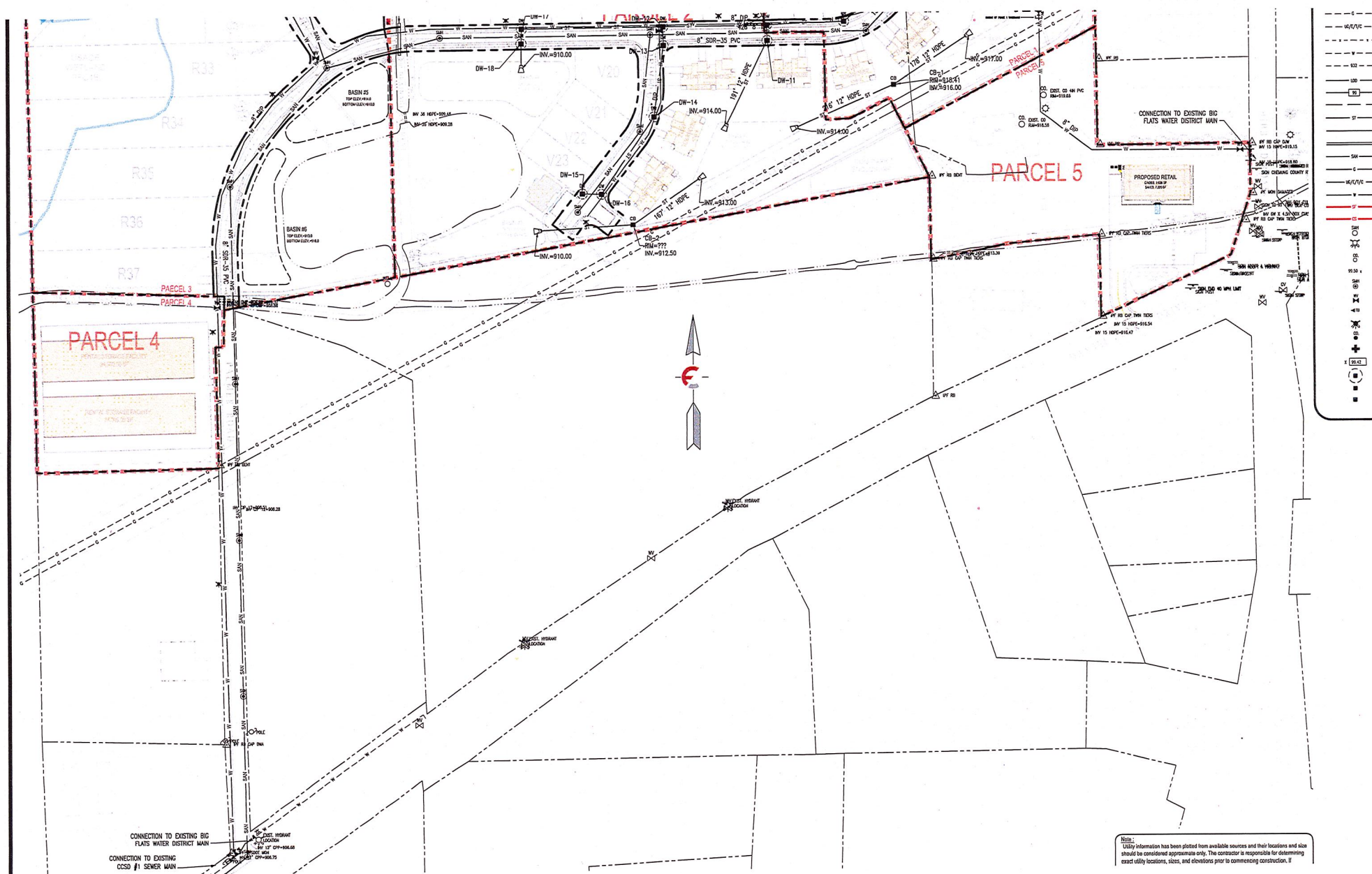


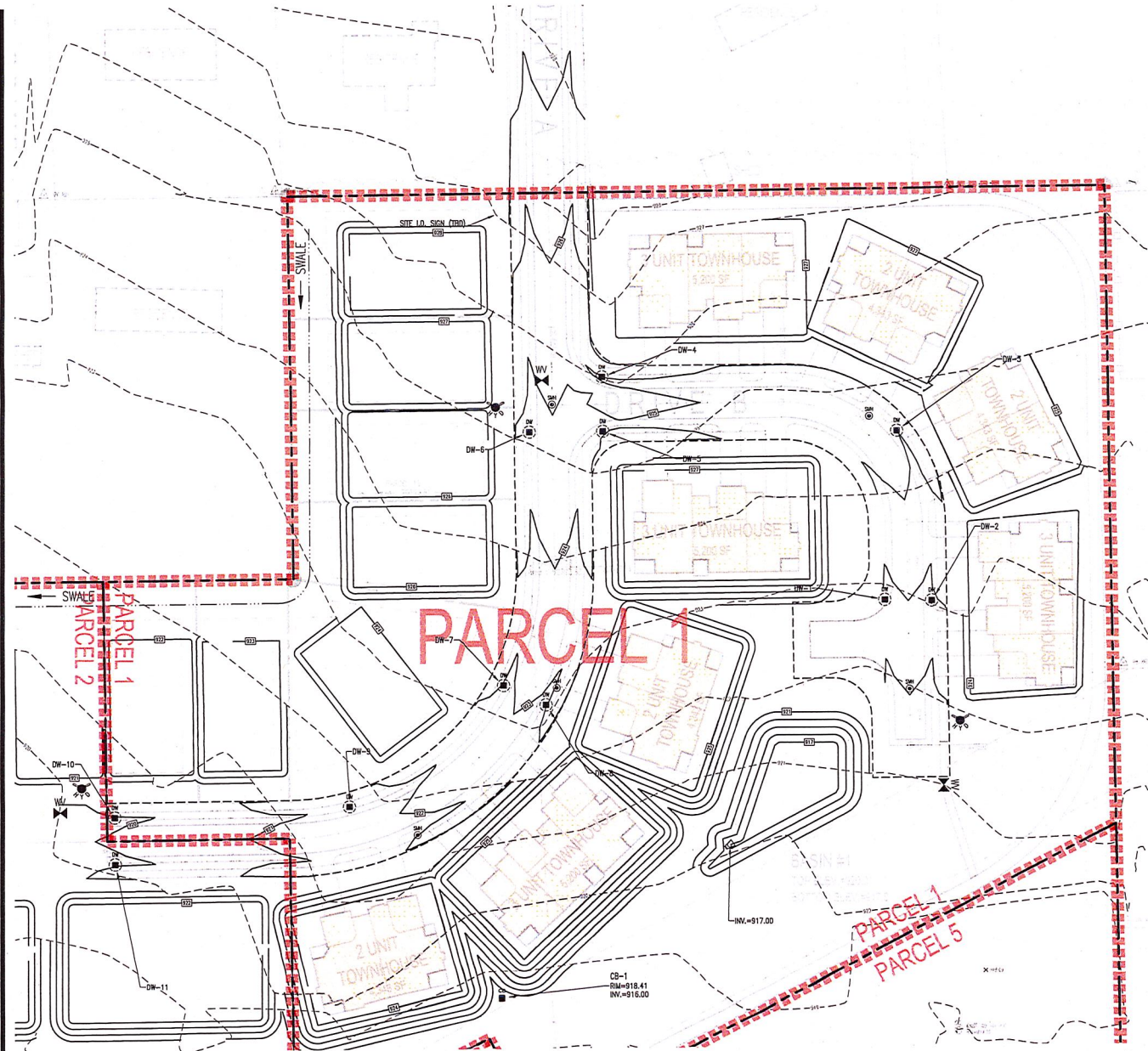
**Note:**  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If





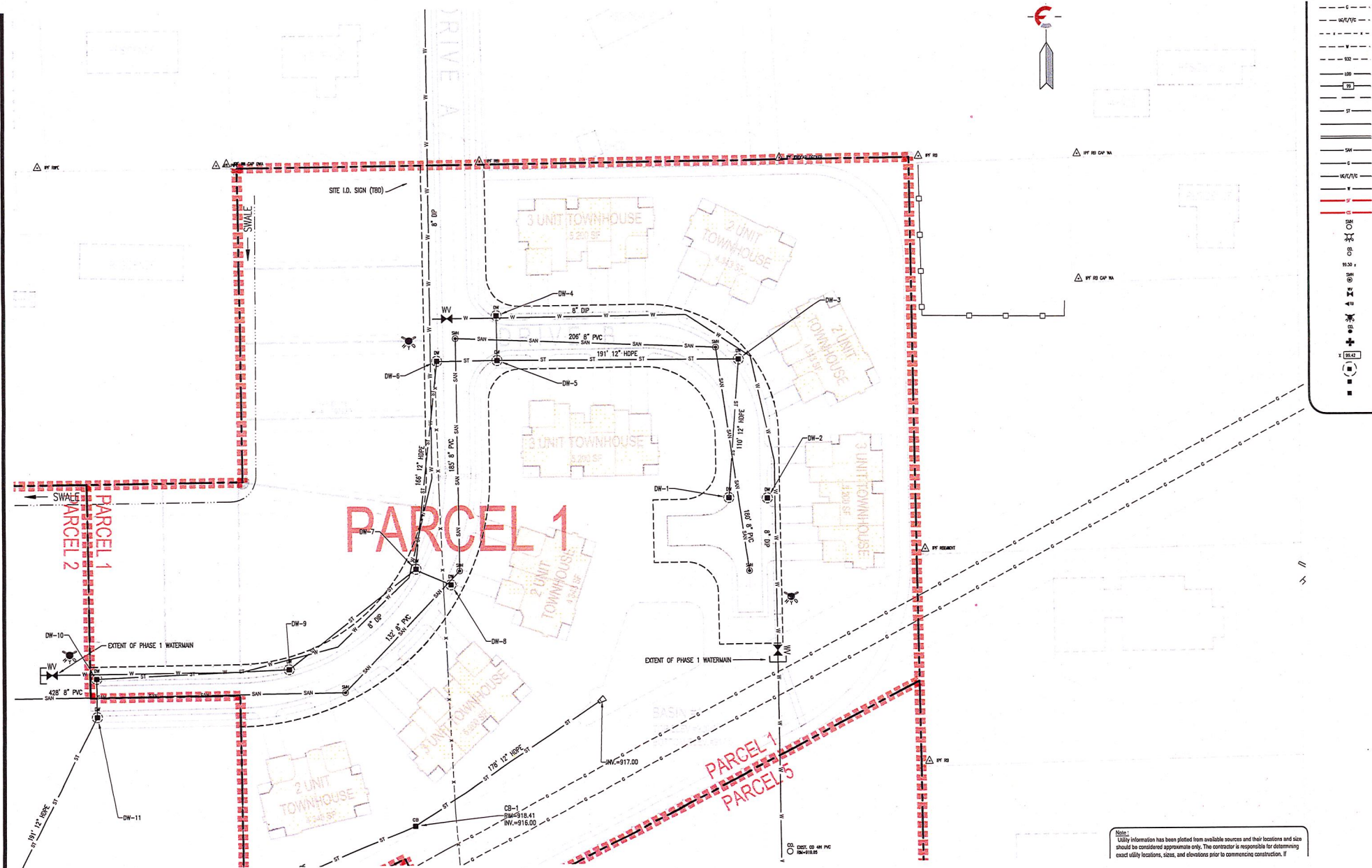




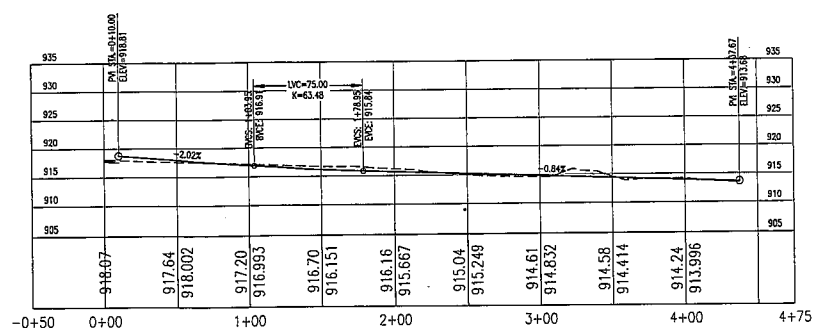
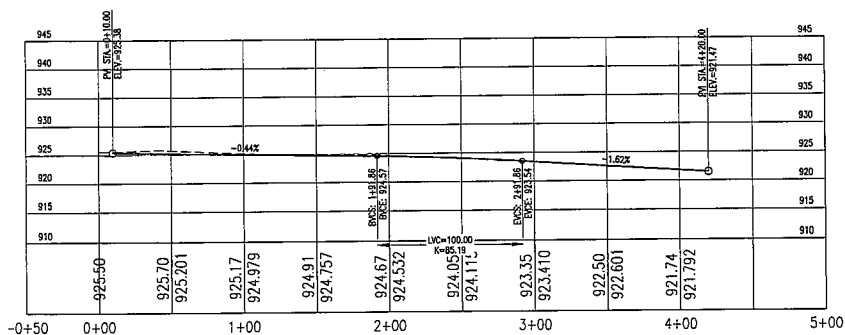
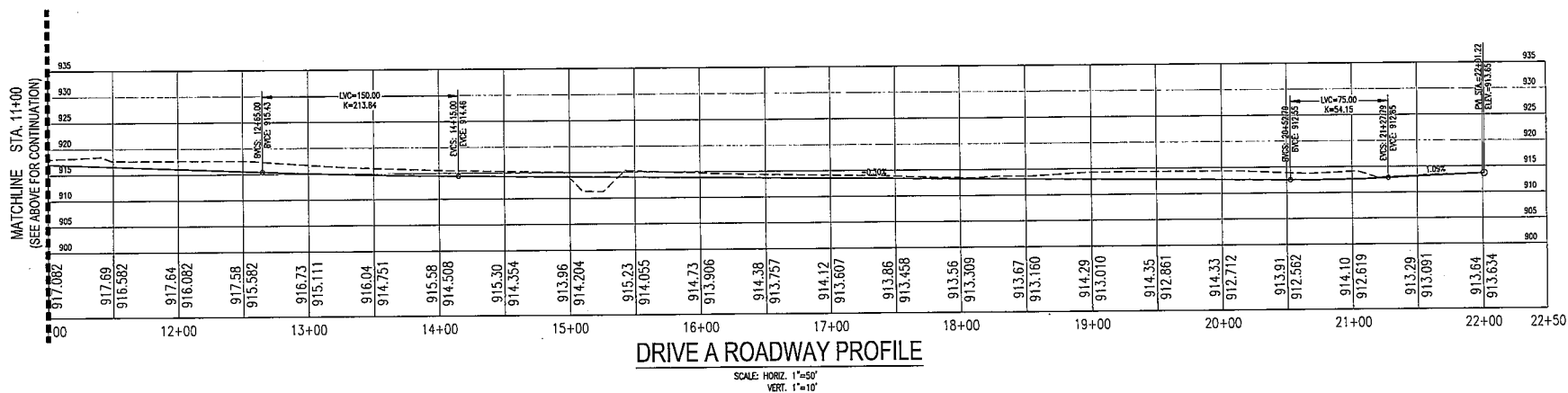
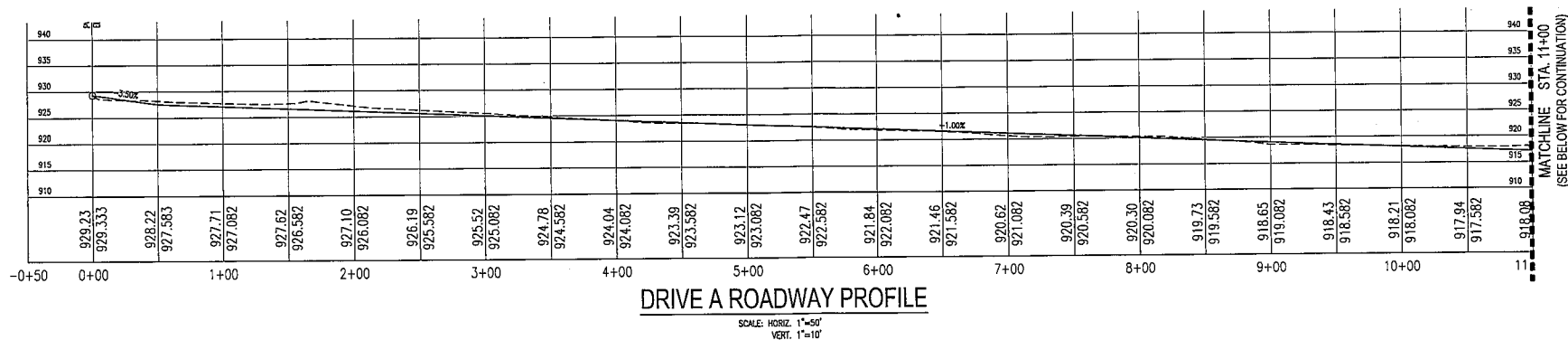


**Note:**  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If



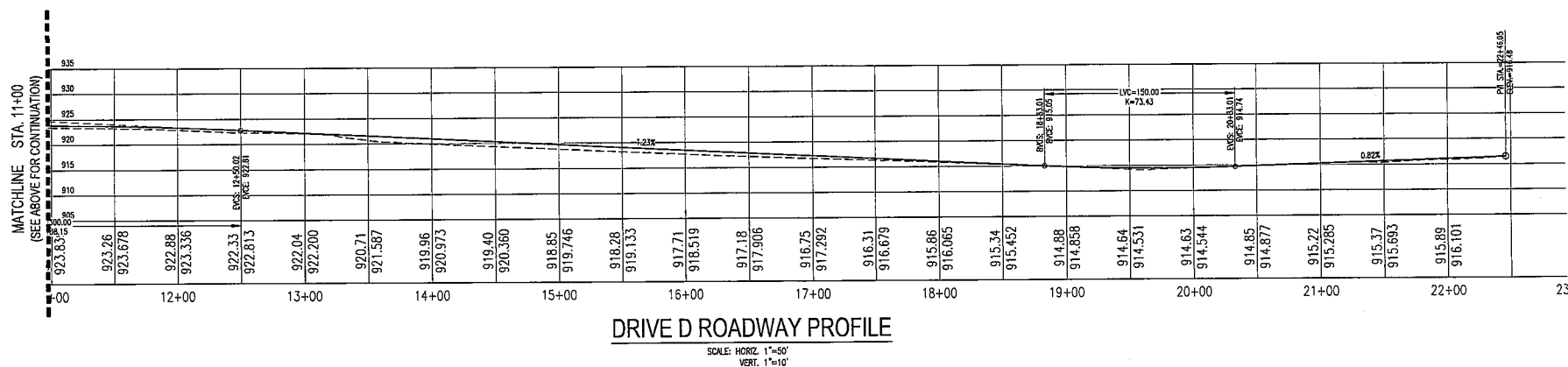
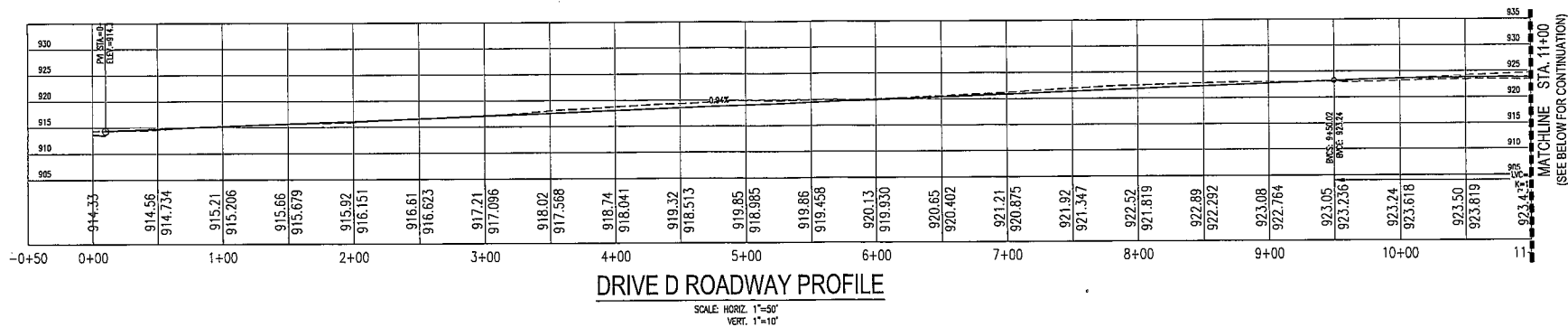


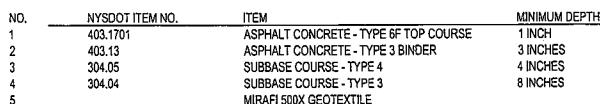
**Note:**  
 Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction, if



Note:  
Utility information has been provided.  
Should be considered approximate  
exact utility locations, sizes, and  
orientations or misaligned utilities  
owner immediately.

New York State law requires an





N.T.S.



N.T.S.

1. The Local Code Enforcement Officer shall be notified prior to the repair of existing sidewalk or construction of new sidewalk within a public right-of-way.
2. Appropriate barricades shall be required for the entire construction area.
3. Provide 3500 psi (28 day compressive strength) concrete, utilizing Type II Portland cement and 6" x 6" x 24" wire mesh reinforcement.
4. Provide 5/8" wide asphalt impregnated fiber board expansion joints in sidewalk construction as follows:
  - Adjacent to all concrete curbing and gutters.
  - Adjacent to all building foundations and walls.
  - Adjacent yard walls, exterior walls of sidewalks.
  - Approximately every 20 to 30 ft. in long sidewalk runs.
5. Sidewalk shall have a tight broom finish across the walk. Edges and joints shall be rounded by an edging tool.
6. Side walk shall be coated with a curing compound after finishing are completed.



AREAS BASED ON AN INTERNAL PRESSURE OF 150 P.S.I.G. AND A SOIL BEARING PRESSURE OF 3000 P.S.F.

1. Thrust blocks shall be placed at all bends, tees, and dead ends.
2. The thrust restraint bearing areas listed above are based on the internal pressure and seal bearing capacities noted. If adverse soil conditions warrant these areas will require adjustment as directed by the engineer.
3. Form thrust blocks such that all mechanical joint filling's nuts & bolts are not covered over with concrete.
4. Thrust restraint gaskets (in push-on type joints): "tidal lock gaskets" shall be utilized in affected pipe joints.
5. Mechanical joint filling thrust restraint - above iron pipe, i.e.: roughing metal 1100, or equivalent or all mechanical joint fillings (all of various and substantial fillings (the typical case) where concrete thrust blocks are not practical, reliable, or subject to future

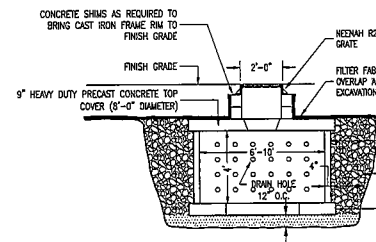
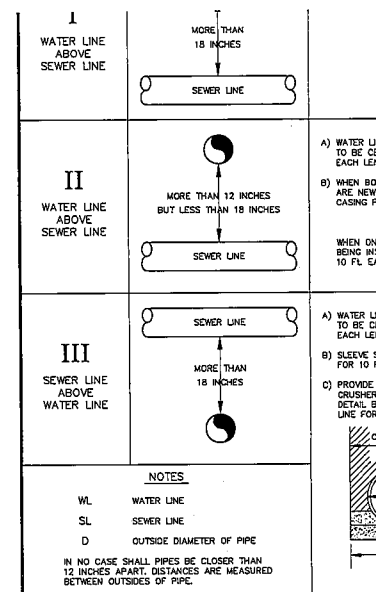


NTS



1. All joints on fire hydrant lateral to be mechanical joint, with a minimum of (3) thrust rods each.
2. Do not block hydrant weep holes with concrete thrust block.
3. Engineer may order weep holes plugged if hydrant base is below high ground water table.
4. Contractor shall field verify all hydrant elevations prior to ordering risers
5. Contractor shall verify with water department the proper valve opening direction.

N.T.S.



NTS.

## TYPICAL STOP S





- Prepare seedbed by loosening soil to a depth of 1 to 6 inches.
  - Remove all stones over 1 inch in diameter, sticks and foreign matter from the surface.
  - Lime to pH if 6.0 - 7.0.
  - Fertilize as per soil test or apply 800 to 900 pounds of 5-10-10 or equivalent per acre (20 lbs./1,000 sq. ft.).
  - Incorporate lime and fertilizer in top 2 - 4 inches of topsoil.
  - Smooth and firm the seedbed.
- Planting:
    - Use a cultipacker type seeder if possible.
    - If seed is to be drilled, cultipack or roll before and after seeding. Drill the seed to a depth of  $\frac{1}{8}$  to  $\frac{1}{4}$  inch. If seed is to be broadcast, cultipack or roll after seeding on loose soil.
    - If hydroseeded, lime and fertilizer may be applied through the seeder.

#### 4. Mulching:

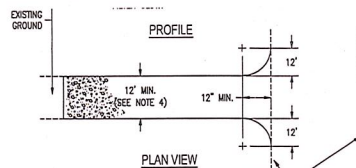
- Site preparation:
  - Prior to mulching, install the necessary temporary or permanent erosion control (structural) practices and drainage systems within or adjacent to area to be mulched.
  - Slope, grade and smooth the site if conventional equipment is to be used in applying and anchoring the mulch.
  - Remove all undesirable stone and other debris depending on anticipated land use.
  - Compacted or crusted soil surface should be loosened to at least 2 inches by disking or other suitable methods.
- Mulching Material:
  - The best combination is straw (small grain) mulch applied at 2 ton/acre (80 lbs./1,000 sq. ft.) and anchored with wood fiber mulch (hydramulch) at 500 - 700 lbs./acre (11 - 17 lbs./1,000 sq. ft.). The wood fiber mulch must be applied through a hydroseeder immediately after mulching.

#### 5. Seed mixtures:

SITE/USE	SPECIES & BY WEIGHT	Lbs./1,000 sq. ft.	Lbs./Acre
Sunny Sites (well moderately well and somewhat poorly drained soils)	65% Kentucky Bluegrass Blend	2.0 - 2.8	85 - 114
	20% Perennial Ryegrass	0.6 - 0.8	26 - 35
	15% Fine Fescue	0.4 - 0.6	19 - 26
Sunny Droughty Sites - General recreation areas and lawns, low maintenance (somewhat excessively to excessively drained soils)	65% Fine Fescue	2.6 - 3.3	114 - 143
	15% Perennial Ryegrass	0.6 - 0.7	26 - 33
	20% Kentucky Bluegrass Blend	0.8 - 1.0	35 - 44
		4.0 - 5.0	174 - 220

#### 6. First Year

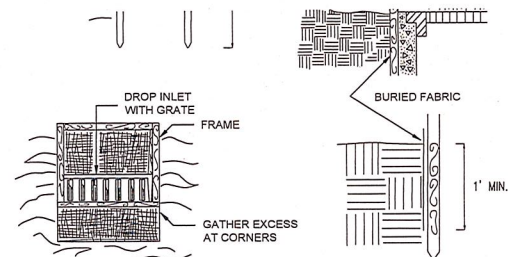
- Fertilize 3 to 4 weeks after germination by applying 1 lb. nitrogen/1,000 sq. ft. using a complete fertilizer with a 2-1-1 or 4-1-3 ratio or as recommended by soil test results.
  - Restrict use. New seedling should be protected from use for 1 full year to allow development of a dense sod with good root structure.
- #### 7. Maintaining Grasses
- Maintain a pH of 6.0 to 7.0.
  - Fertilize in late May to early June as follows with 10-10-10 analysis fertilizer at the rate of 10 lbs./1,000 sq. ft. and repeat in late August if sod density is not adequate. Top dress weak sod annually in the spring but at least once every 2 to 3 years.
  - Aerate compacted or heavily used areas, like athletic fields, annually as soon as soil moisture conditions permit. Aerate area 6 to 8 times using a spoon or hollow tine type aeration. Do not use solid spike aeration.
  - Re-seed bare and thin areas annually with original species.



## STABILIZED CONSTRUCTION ENTRANCE

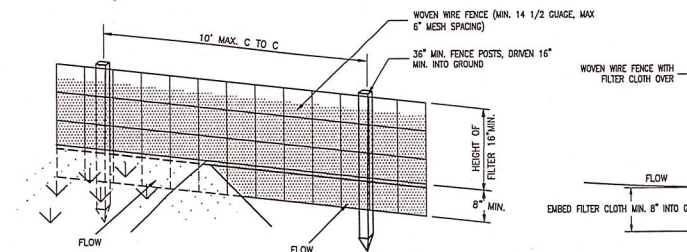
### NTS. CONSTRUCTION SPECIFICATIONS

- Stone size: - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length: - As required, but no less than 50 feet.
- Thickness: - Not less than (6) inches.
- Width: - Twelve (12) ft. Minimum, but not less than the full width at points where ingress or egress occurs. If only one entrance is used the minimum width shall be twenty-four (24) feet.
- Filter cloth: - Will be placed over the entire area prior to placing of stone.
- Surface water: - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes is permitted.
- Maintenance: - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately by Contractor.
- Washing: - Wheels shall be cleaned to remove sediment prior to entrance onto a public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.



## FILTER FABRIC STORM DRAIN PROTECTION

NTS.



### PERSPECTIVE VIEW

## SILT FENCING

NTS.

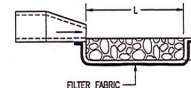
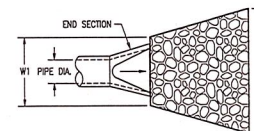
### CONSTRUCTION SPECIFICATIONS FOR FABRICATED SILT FENCE

- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
- When two sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

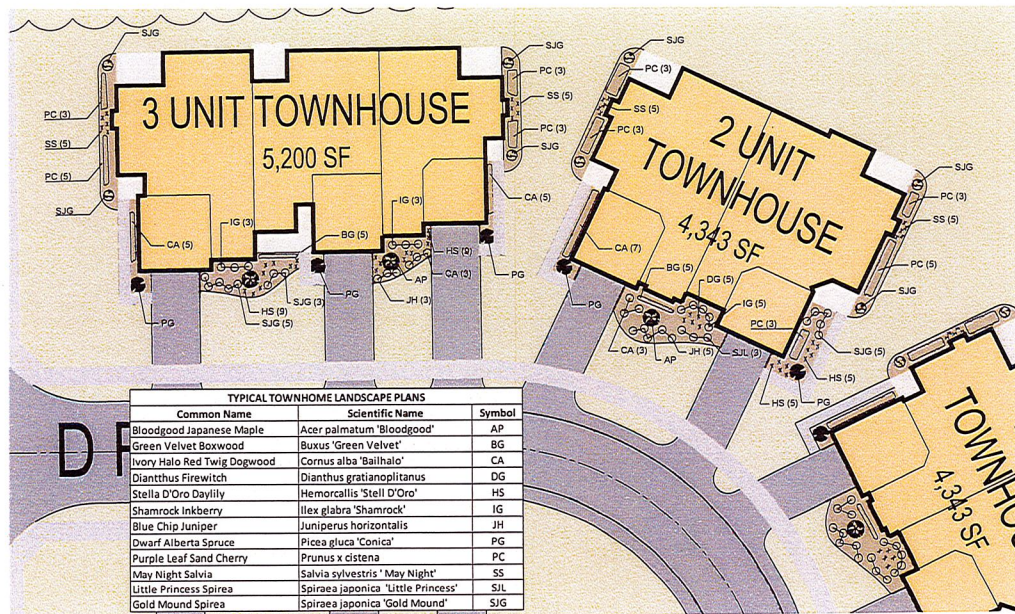
Posts: Steel either "I" or "u" type or 2" hardwood.

Fence: Woven wire, 14 1/2 ga. max. mesh opening filter.

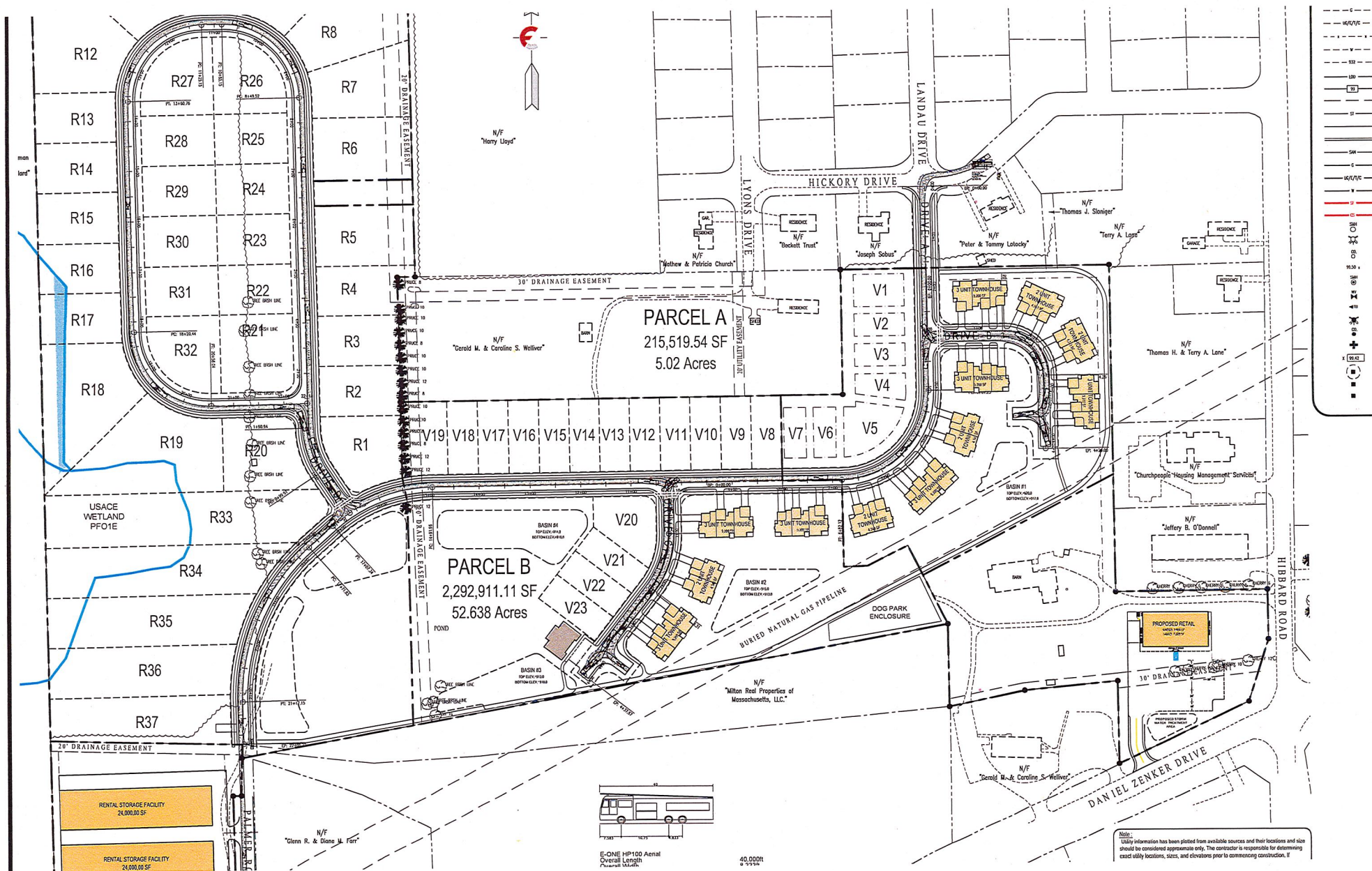
Cloth: Filter x, minifit 100x, stabl-fibre 1140m or approved predrilled units, geotext, envirofence, or approved equal.



OUTLET No.	PIPE DIA. (in)	Q (cfs)	V (fps)	STONE DIA. (in)	W1 (ft)	WV (ft)
1-#1	-	-	-	-	-	-



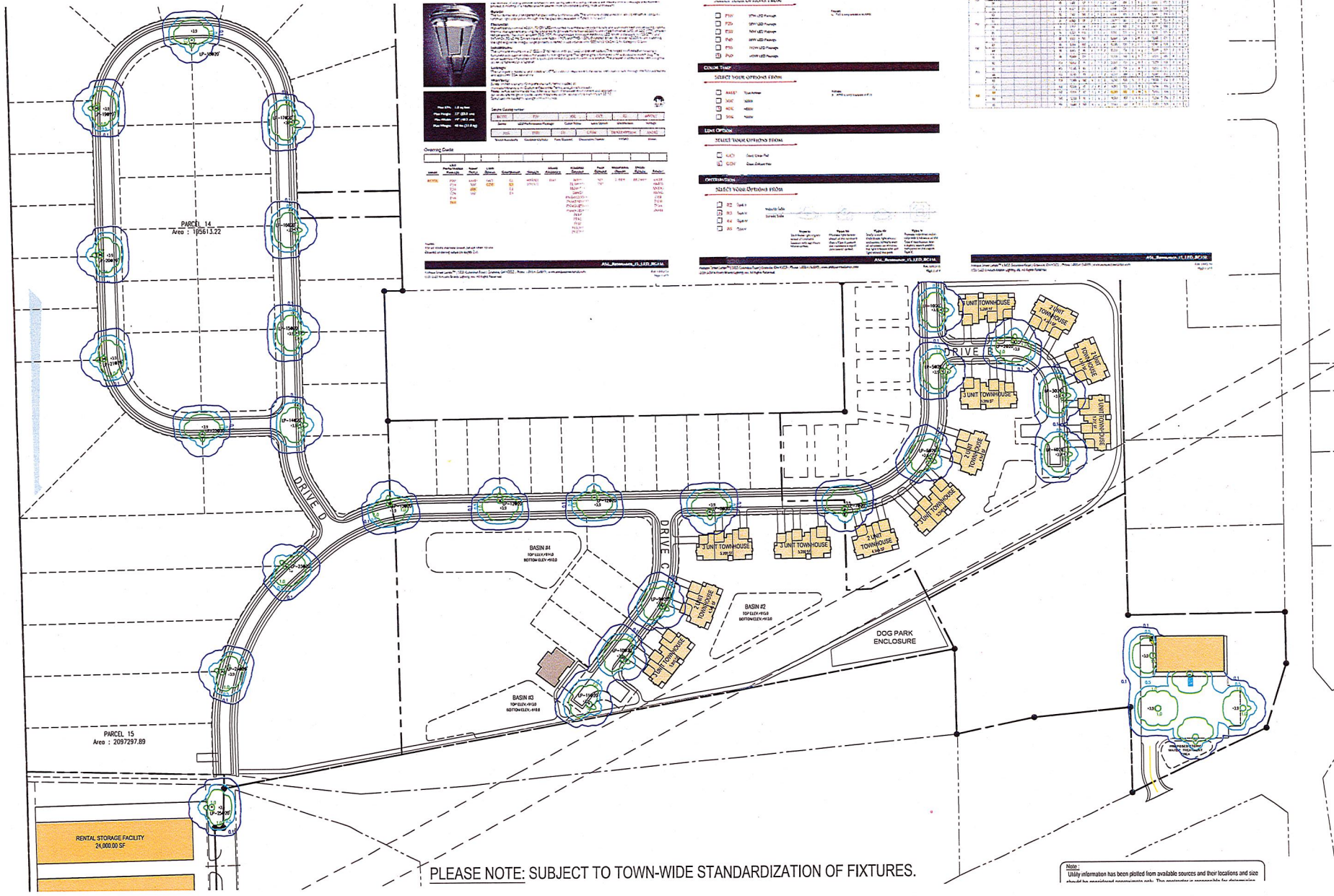












**Lighting Schedule**

Lighting Schedule Table:

Lighting Schedule	Lighting Schedule	Lighting Schedule	Lighting Schedule	Lighting Schedule	Lighting Schedule
1	2	3	4	5	6
7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36
37	38	39	40	41	42
43	44	45	46	47	48
49	50	51	52	53	54
55	56	57	58	59	60
61	62	63	64	65	66
67	68	69	70	71	72
73	74	75	76	77	78
79	80	81	82	83	84
85	86	87	88	89	90
91	92	93	94	95	96
97	98	99	100	101	102
103	104	105	106	107	108
109	110	111	112	113	114
115	116	117	118	119	120
121	122	123	124	125	126
127	128	129	130	131	132
133	134	135	136	137	138
139	140	141	142	143	144
145	146	147	148	149	150
151	152	153	154	155	156
157	158	159	160	161	162
163	164	165	166	167	168
169	170	171	172	173	174
175	176	177	178	179	180
181	182	183	184	185	186
187	188	189	190	191	192
193	194	195	196	197	198
199	200	201	202	203	204
205	206	207	208	209	210
211	212	213	214	215	216
217	218	219	220	221	222
223	224	225	226	227	228
229	230	231	232	233	234
235	236	237	238	239	240
241	242	243	244	245	246
247	248	249	250	251	252
253	254	255	256	257	258
259	260	261	262	263	264
265	266	267	268	269	270
271	272	273	274	275	276
277	278	279	280	281	282
283	284	285	286	287	288
289	290	291	292	293	294
295	296	297	298	299	300

**Lighting Schedule**

Lighting Schedule Table:

Lighting Schedule	Lighting Schedule	Lighting Schedule	Lighting Schedule	Lighting Schedule	Lighting Schedule
1	2	3	4	5	6
7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36
37	38	39	40	41	42
43	44	45	46	47	48
49	50	51	52	53	54
55	56	57	58	59	60
61	62	63	64	65	66
67	68	69	70	71	72
73	74	75	76	77	78
79	80	81	82	83	84
85	86	87	88	89	90
91	92	93	94	95	96
97	98	99	100	101	102
103	104	105	106	107	108
109	110	111	112	113	114
115	116	117	118	119	120
121	122	123	124	125	126
127	128	129	130	131	132
133	134	135	136	137	138
139	140	141	142	143	144
145	146	147	148	149	150
151	152	153	154	155	156
157	158	159	160	161	162
163	164	165	166	167	168
169	170	171	172	173	174
175	176	177	178	179	180
181	182	183	184	185	186
187	188	189	190	191	192
193	194	195	196	197	198
199	200	201	202	203	204
205	206	207	208	209	210
211	212	213	214	215	216
217	218	219	220	221	222
223	224	225	226	227	228
229	230	231	232	233	234
235	236	237	238	239	240
241	242	243	244	245	246
247	248	249	250	251	252
253	254	255	256	257	258
259	260	261	262	263	264
265	266	267	268	269	270
271	272	273	274	275	276
277	278	279	280	281	282
283	284	285	286	287	288
289	290	291	292	293	294
295	296	297	298	299	300

Table with 10 columns and 10 rows. The columns are labeled 1 through 10, and the rows are labeled A through J. The table contains numerical data.

PLEASE NOTE: SUBJECT TO TOWN-WIDE STANDARDIZATION OF FIXTURES.

Note: Utility information has been plotted from available sources and their locations and size should be considered approximate only. The engineer is responsible for determination.



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of ELMIRA

Referring Official: ERIC CRANDALL Title: CODE ENFORCEMENT OFFICER

Address: 1255 W. WATER ST ELMIRA, NY 14905

Phone Number: (607) 734-3608 E-mail: CODEOFFICER@TOWNOFELMIRA.COM

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): TODD MOLTER Phone: (607) 857-5261

Petitioner's Mailing Address: 469 JERUSALEM HILL RD E-mail: TFMOLTER1@HOTMAIL.COM

Location of Property: 423 JERUSALEM HILL RD ELMIRA, NY 14901

Tax Map Parcel Number(s): 100.00-2-7.212

Current Zoning District: AGRICULTURAL/RURAL

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input checked="" type="checkbox"/> Subdivision Review |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning                      |
| <input type="checkbox"/> Site Plan Review                        | <input type="checkbox"/> Zoning Text Amendment         |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment          |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium                    |
| <input type="checkbox"/> Other (please specify): _____           |  |

#### Description of the proposed action (attach detailed narrative if available):

SUBDIVIDE PARCEL 100.00-2-7.211 INTO AN 8.00 ACRE PLAT AROUND EXISTING DWELLING AND MERGE REMAINING 34.79 ACRES INTO PARCEL 100.00-2-7.212. BOTH PARCELS ARE OWNED BY THE APPLICANT.

**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

- ☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_
- ☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_
- ☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): CO RD 1 JERUSALEM HILL RD
- ☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_
- ☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_
- ☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_)

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission	05/06/2019	04/01/2019 AND 05/06/2019
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) REVIEWED AND DISCUSSED

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- ☒ Chemung County Planning Board – Municipal Referral Form
- ☒ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- ☒ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- ☐ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- ☒ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- ☐ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- ☐ Zoning Map
- ☐ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**

1255 W. Water Street

Elmira, New York 14905

Office of Code Enforcement: (607) 734-3608, Fax: (607) 734-4089, e-mail: [codeofficer@townofelmira.com](mailto:codeofficer@townofelmira.com)

SUBDIVISION APPLICATION

Date 3/13/19

Property Zone: AR Tax Map number 100.00-2-7.212 Major Number \_\_\_\_\_

Property Owner Name Todd F. Molter

Address 469 JERUSALEM HILL RD. ELMIRA 14901

Contact Numbers: phone \_\_\_\_\_ cell 607-857-5261 fax \_\_\_\_\_

e-mail tmolter1@hotmail.com

Applicant's Name Todd F. Molter

Address 469 JERUSALEM HILL RD.

General location of property 423 JERUSALEM HILL RD ELMIRA 14901

Subdivision Name: \_\_\_\_\_

Existing Number of Parcels: 1 Proposed Number of Parcels: 2 For Residential Use? ☒

Fee paid by Todd Molter Amount 60.00 Received by \_\_\_\_\_

Survey Date: 3-1-19 Job No. \_\_\_\_\_

**Project Narrative:**

Subdivide parcel 100.00-2-7.211 into an 8.00 acre plat around existing dwelling and merge remaining 34.79 acres into parcel 100.00-2-7.212

**RECEIVED**

MAR 13 2019

Town of Elmira  
Code Enforcement

All applications shall be completely filled out and be submitted to this office fifteen days before the next scheduled Planning Board meeting date. Subdivision plats shall be in accordance with section 198 of The Code of the Town of Elmira and eleven sets must be presented. The subdivider, or his duly authorized representative, MUST attend the monthly meeting of the Planning Board at which the subdivision plat is to be considered.

**NO EXCEPTIONS**

Planning Board meeting date: 4/1/19

Applicant Signature Todd F. Molter Date 3/13/19



# Short Environmental Assessment Form

## Part 1 - Project Information


### Instructions for Completing

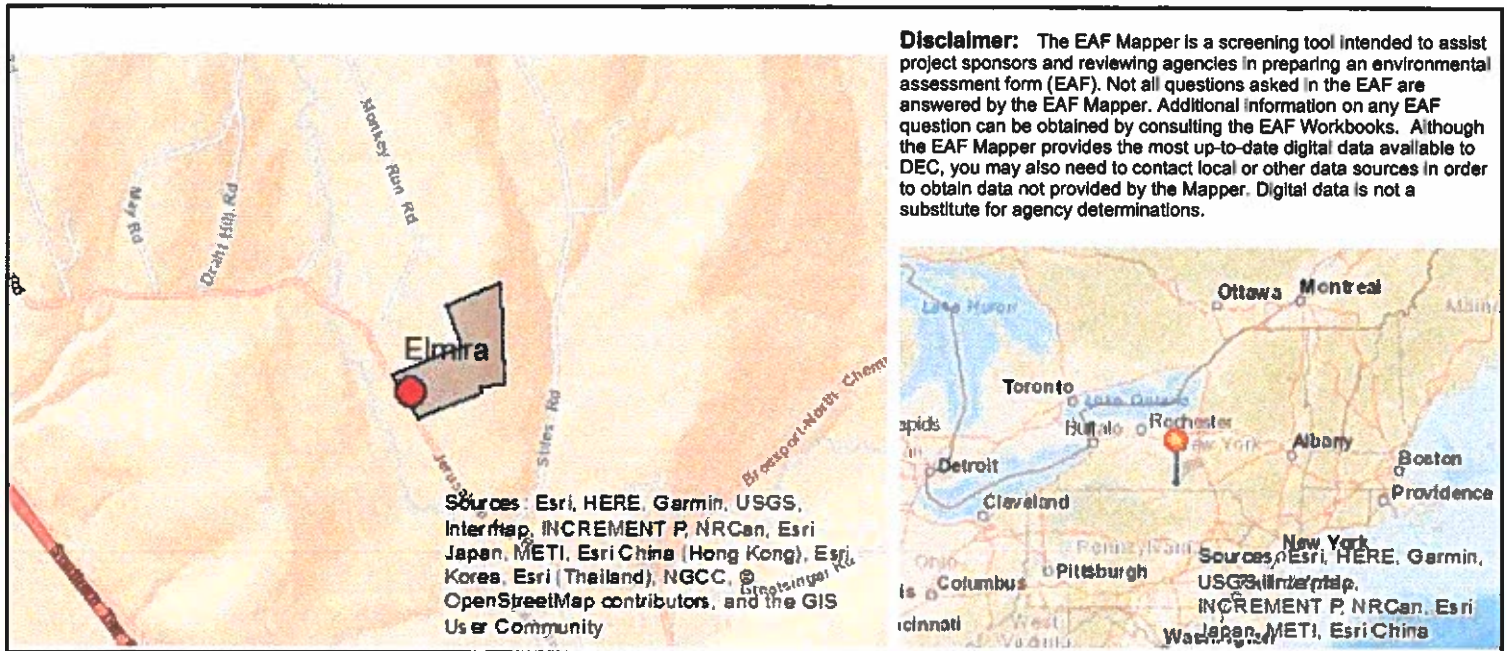
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: <b>MOLTER SUBDIVISION</b>			
Project Location (describe, and attach a location map): <b>423 JERUSALEM HILL RD ELMIRA, NY 14901 TAX MAP: 100.00-2-7.211</b>			
Brief Description of Proposed Action: <div style="border: 1px solid black; padding: 5px; margin: 5px 0;">SUBDIVIDE PARCEL 100.00-2-7.211 INTO AN 8.00 ACRE PARCEL AROUND EXISTING DWELLING AND MERGE REMAINING 34.79 ACRES INTO PARCEL 100.00-2-7.212</div>			
Name of Applicant or Sponsor:  <b>TODD MOLTER</b>		Telephone: (607) 857-5261  E-Mail: tfmolter1@hotmail.com	
Address:  <b>469 JERUSALEM HILL RD</b>			
City/PO:  <b>ELMIRA</b>		State:  <b>NEW YORK</b>	Zip Code:  <b>14901</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <b>TOWN OF ELMIRA PLANNING BOARD</b>			YES  <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? <b>42.79</b> acres b. Total acreage to be physically disturbed? <b>0</b> acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <b>59.93</b> acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<div style="display: flex; justify-content: space-between;"> <span>5. Urban <input type="checkbox"/> Forest <input type="checkbox"/> Parkland</span> <span>Rural (non-agriculture) <input checked="" type="checkbox"/> Agriculture</span> <span>Industrial <input type="checkbox"/> Aquatic</span> <span>Commercial <input type="checkbox"/> Other(Specify):</span> <span>Residential (suburban) <input type="checkbox"/></span> </div>			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	N/A  <input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO  <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES  <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO  <input type="checkbox"/> <input checked="" type="checkbox"/>	YES  <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>TERRA F. MOLTEN</u> Date: <u>4/10/19</u> Signature: <u></u> Title: <u>OWNER</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No



NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Elmira will conduct a public hearing on May 6, 2019 at 7:00 pm at the town hall, 1255 W. Water St., Elmira NY 14905, to consider the Minor Subdivision Application from Todd F Molter for property at 423 Jerusalem Hill Rd in the Town of Elmira. All interested persons are invited to attend.

Mark S. Miles, Chairman, Town of Elmira  
Planning Board

## ATTACHMENT 'A'

500' Adjacent properties to 423 Jerusalem Hill Rd., Elmira, NY 14901

TAX ID	Property Owner (Last, First)	Property Address
100.00-2-7.22	YOUNG, RYAN & STEPHANIE	Jerusalem Hill Rd 407
100.00-2-13	MAY, LEIGHTON & JEAN K.	Jerusalem Hill Rd 401
100.00-2-7.11	KIEFFER, DAVID & DEBORA	Jerusalem Hill Rd 306
100.00-2-16.12	BILYNSKY, MICHAEL P.	Jerusalem Hill Rd 547
101.00-1-20.1	FRICKEL, LARRY & KATHLEEN	Monkey Run Rd 76
101.00-1-1	MAY, DENNIS G.	Jerusalem Hill Rd 582
91.00-1-19.2	TEETER, TERRY & BARBARA	Stiles Rd 266

**Town of Elmira, New York  
PLANNING BOARD**

**Meeting, April 1, 2019 – 7:00 pm EDT**

**DRAFT MINUTES**

PRESENT: Chairman Mark Miles

Members: J. Walter Booth  
James Carozza  
Paul DiPietro  
Nick Kapnolas  
Ron McConnell

ABSENT: Joe Janeski

ALSO PRESENT: Scott Moore, Town Attorney  
Eric Crandall, Code Enforcement Officer  
Chip LeValley, Recording Secretary

Mark Miles welcomes members and guests and introduces new member James Carozza who replaces Joe Coletta. Mr. Miles then remarks that the articles of organization are required as this is the first meeting for 2019. He asks Mr. LeValley to start the proceedings.

Mr. LeValley remarks that the first item would be to elect a Chairman and asks for a nomination or motion.

**MOTION** by Nick Kapnolas to appoint Mark Miles as **Chairman** for 2019.

Second by Ron McConnell

Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell and Booth.

Nays: none

Chairman Miles then continues the organizational items by asking for a nomination for Vice Chairman.

**MOTION** by Ron McConnell to appoint Walter Booth as **Vice Chairman** for 2019.

Second by Nick Kapnolas

Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell, Booth..

Nays: none

Chairman Miles asks for a nomination for Secretary.

**MOTION** by Nick Kapnolas to appoint Paul DiPietro as **Secretary** for 2019

Second by Ron McConnell

Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell, Booth.

Nays: none

Chairman Miles asks for a motion to set the meeting time and date.

**MOTION** by Nick Kapnolas to set the meeting date as the first Monday in the month if there is business to conduct, and the meeting time as 7:00 pm local time.

Second by Ron McConnell

Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell, Booth

Nays: none

Chairman Miles asks for a motion for the publisher of the board's public notices. Ron McConnell offers the Elmira Star Gazette as the newspaper for board notices however James Carozza remarks that in his opinion the Corning Leader gets wider readership in the town. Chairman Miles appreciated the input and asks for a motion.

**MOTION** by Ron McConnell to name the Elmira Star Gazette as publisher.

Second by Paul DiPietro

Ayes: Miles, DiPietro, Kapnolas, McConnell, Booth.

Nays: Carozza

Chairman Miles then returns the meeting to the regular order of business and asks the members if there are any corrections to the minutes of the last meeting on August 6, 2018. Hearing none then asks for a motion.

**MOTION** by Paul DiPietro to approve the minutes of the August 6, 2018 meeting.

Second by Nick Kapnolas

Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell, Booth.

Nays: none

### AGENDA ITEM – Minor Subdivision for Todd Molter

Chairman Miles remarks that the Town Attorney recuses himself from this portion of the meeting as his law firm has a business relationship with the applicant family.

Chairman Miles recognizes Todd Molter and asks him to offer details concerning the subdivision application. Todd Molter explains that the 8.00 acres lot shown on the plat attached to the application is a portion of the acreage (42.79 acres – Nancy L. Molter, RLT) he inherited as a result of his mother's passing away. This lot is located at 423 Jerusalem Hill Road. He



desires to sell the house on that 8 acre lot but wants to retain the balance (34.79 acres) of the lot for grazing by his cattle. Todd Molter owns the lot adjacent and desires to merge it with the 34.79 acres of the subdivided lot.

Nick Kapnolas asks if Todd's house is near the house on the lot to be subdivided and Todd replies that it is; they both are on the east side of Jerusalem Hill road with Todd's house behind and up the hill from his late mother's. Walter Booth asks if there are any easements on any of the parcels involved in the subdivision or merger. Todd Molter responds that there are no easements on any lot.

Chairman Miles hearing no further questions asks the members if they feel there is enough information to be able to consider the plat provided as the Preliminary Subdivision plat and to move to a public hearing.

**MOTION** by Paul DiPietro to accept the application as complete and to set a public hearing for the subdivision of parcel having tax ID of 100.00-2-7.211, SWIS number 073089.

Second by: Ron McConnell

Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell, Booth.

Nays: None.

*(Secretary's note: The public hearing for Molter Subdivision was set for May 6, 2019 by Motion of member Ron McConnell seconded by Walter Booth. Motion was at 0:52 of the meeting, just prior to adjournment. Because of the large number of persons on the meeting room positioning for the next agenda item the setting of hearing date was inadvertently overlooked until the end of the meeting)*

### AGENDA ITEM – Zoning Board of Appeals referral of Use Variance for School of Good Works

Chairman Miles asks if all members received the packet of material supporting the School of Good Works (SoGW) referral including the letters of recommendation and then introduces Joe Works and asks him to inform the board about his plans for the use of the facility at 1310 W. Church Street also known locally as the "monastery."

Joe Works offers that he proposes to purchase the property and put it to four uses. First as a home for him and his family in the "old country club" section; second as a home for the caretaker and his family; third as a place to conduct a church function two days a week throughout the year; and fourth to provide a meeting facility for a 'camp retreat' for bible study twice in the summer and occasional weekend seminars through the year. Joe Works explains that the context of "camp" and "retreat" is to meet inside a facility to study a particular topic, similar to "science" or "math" camps elsewhere. One week would be for young women and the second, for young men.

Nick Kapnolas asks about the rent that Joe Works would pay and the annual budget indicated in the Business Plan. Joe Works confirms that the number is correct as much of the work needed is done on a volunteer basis.

Walter Booth asks if the historic gas utility costs have been investigated and Joe Works replies that the utility, NYSEG, does not keep records that far back but that the broker's representative feels it around \$600 per month.

Chairman Miles asks the name of the local church that wishes to rent space in the monastery and conduct Thursday and Sunday services and Joe Works says that it is called Twin Tiers Christians and they currently meet in the Mark Twain Building at 104 W. Gray Street in Elmira. Chairman Miles asks who the pastor is and Joe Works replies that it is operated by the members as a non-denominational group who have been meeting there for over two years.

Paul DiPietro asks Joe Works if he or any of the other SoGW principals own any other properties used for the purpose stated in the Business Plan and Joe Works responds that they do not and that their common activity, the SoGW, has always rented in the past and that they feel a more appropriate use of the rents monies would be to go to support this facility.

Chairman Miles asks if Joe Works teaches bible study anywhere else and Joe Works indicates he instructs at Florida College, Temple Terrace Florida; Indiana Bible Camp, Jasonville Indiana as well as at Spruce Lake Camp in Canadensis Pennsylvania.

Paul DiPietro asks if the students age 18 to 21 would drive themselves to the retreat and Joe Works indicates that because of the distances involved, most will car-pool to save money so the number of cars would not be many.

Ron McConnell asks how many staff would be present during the activities. Joe Works says that seven kitchen volunteers, eight teachers and twelve councilors for a total of 27, give or take one or two. Chairman Miles asks how many students have enrolled in the past and Joe Works indicates that they have had a maximum of 92 counting staff. Chairman Miles asks if that would be the most and Joe Works says that he is planning for a maximum of 120 as indicated in the Business Plan. Chairman Miles asks if there is room for that many and Joe Works says that there are 38 rooms that could be used for sleeping depending on local code enforcement modification.

Chairman Miles asks if boys and girls will be housed on the same floor or in the same rooms and Joe Works replies that each retreat camp is not co-ed so one session will all male and the other all female.

James Carozza indicated that the schedule is fairly rigorous and wonders if at the end of the day students would be allowed to leave the building or campus. Joe Works says that they would not leave the property and the program is not designed to accommodate periods of time away from study.

Paul DiPietro asks if the public is permitted to visit the facility and Joe Works says that on Thursdays and Sundays the public is welcome and invited to participate in the church services.

Walter Booth asks why the Use Variance Application was changed to reflect a “church” use.

Joe Works asks if Attorney Moore would explain the change. Mr. Moore said the in the course of Zoning Board deliberations on the various uses Mr. Works would put the building to it became apparent that the most intensive use would be the twice-per-week, fifty two weeks per year, use as a church. Use as a church is a permitted use in the AAA zone district. Therefore if the application was amended the ZBA would then deliberate whether to accept the amendment and then to determine what may be accessory uses and if those would need their own use variances. Mr. Moore concluded that in any and all cases, the Site Plan would ultimately come before the Planning Board.

Chairman Miles then speaks to the public in attendance what the flow of the SoGW Site Plan application is through the two town boards and that there will be a public hearing where the public may make comments and put questions to the board, but that the meeting we’re conducting now is simply a referral from the ZBA meeting of March 26, 2019, and the board will return the referral with comment.

Walter Booth remarks to Joe Works that it appears that he (Joe) has been all over the world and wonders what brought him and the SoGW to Elmira. Joe Works explains that he has had missionary duties to areas of need around the world and it has been from his “base” in northern New Jersey. He had conducted the summer retreats at the Spruces campground just across the NJ-PA border for the last eleven years. It was the invitation of the Twin Tiers Christians who offered him more flexibility in his evangelism if he were to move to this area and since his granddaughters live in Elmira, and the monastery revealed itself as an idea facility for the retreats as well as the church, it seemed that this was a place to be.

Paul DiPietro asks Mr. Moore about the “life” of a use variance if granted. Would the variance continue even if the new owner of the monastery were to sell and move away? Mr. Moore replies that once the use variance is granted it attaches to the property and would continue only if the next owner conducts the same activity that the first variance was granted for. If the new owner conducts a different use then that different use would require a variance. Mr. Moore also explains that if the property remains empty and unused for more than a year, the use variance granted to the first occupant expires.

Chairman Miles asks for a motion on the referral if there are no other comments or questions.

**MOTION** by Jim Carozza to return the School of Good Works variance referral to the Zoning Board of Appeals with No Comment.  
Second by Paul DiPietro.  
Ayes: Miles, Carozza, DiPietro, Kapnolas, McConnell, Booth.  
Nays: none.

TOWN OF ELMIRA PLANNING BOARD

Chairman Miles then states that the meeting is now open to public comment on this matter or any other that pertains to Planning Board function. He asks that commenters state their name and address. Following are those persons having a comment:

<u>Commenter</u>	<u>Address</u>	<u>Comment</u>
1. Mary Ann Mecca	133 Grandview	What Denomination affiliation
2. Cindy Manning	116 Morningside Av	Wonders about other uses
3. Beth Frigard	317 Glen Av	Safeguards
4. Steve Mecca	133 Grandview	Clarify rental or ownership
5. Mimi Petrillose	1499 W. Church St.	Facility condition
6. Mary Ann Mecca	133 Grandview	Parking adequate
7. Mary Johnson	73 Larchmont Road	Facility able to house quantity
8. Joe Coletta	408 Hendy Avenue	Co-Ed use and occupancy
9. Tim Broadwell	413 Arcadia Av.	Comments on his being a counselor
10. Rich Emmanuel	1306 W. Church St	Neighbors not vigilantes
11. Joe Works	120 Grandview	Comment addressing concerns voiced

There being no other commenter Chairman Miles closes the public comment portion of the meeting.

Chairman Miles asks if there is any other business before the board and hearing none, asks for a motion to adjourn.

*(Secretary's note: At this point in the meeting, 7:52 pm, the recording secretary reminds the Chairman that a motion for the subdivision public hearing is still needed. The motion is made and appears on page three of these minutes.)*

**MOTION** by Nick Kapnolas to adjourn the meeting.

Second by Ron McConnell

Ayes; Coletta, Kapnolas, DiPietro, Janeski, McConnell, Miles

Nays: none

Meeting ended at 7:53 pm EDT.

# # #





N / F  
Ryan & Stephanie Young  
(Doc. #0401090110)



NOTE: Map, as shown, based on field locations of visible evidence only. Grounds heavily snow covered.

		MAP OF PART OF LANDS OF	
		NANCY L. MOLTER REVOCABLE LIVING TRUST	
		LOCATED AT	
		423 JERUSALEM HILL ROAD	
		TOWN OF ELMIRA	CHEMUNG COUNTY
		NEW YORK	
		TWIN TIERS LAND SURVEYING	
		116 SOUTH MAIN STREET HORSEHEADS, NEW YORK	
DATE	REVISED		
MARCH 1, 2019			
DEED REF.	TAX MAP REF.		
Doc. 0810230094	P/D 100.00-1-7.211		
JOB NO.	SCALE		
1963	1" = 60'		



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☒ City ☐ Town ☐ Village of City of Elmira

Referring Official: Thomas Skebey \_\_\_\_\_ Title: Director of Code Enforcement \_\_\_\_\_

Address: 101 W. Second Street, Elmira, NY 14901 \_\_\_\_\_

Phone Number: X5694 \_\_\_\_\_ E-mail: [tskebey@cityofelmira.net](mailto:tskebey@cityofelmira.net) \_\_\_\_\_

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Streeter Associates, Inc. \_\_\_\_\_ Phone: 607-734-4151 \_\_\_\_\_

Petitioner's Mailing Address: 101 E. Woodlawn Ave., Elmira, NY 14901 \_\_\_\_\_ E-mail: [mmuldoon@streeterassociates](mailto:mmuldoon@streeterassociates) \_\_\_\_\_

Location of Property: 101 E. Woodlawn Ave. \_\_\_\_\_

Tax Map Parcel Number(s): 79.18-4-20 \_\_\_\_\_

Current Zoning District: IA \_\_\_\_\_

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input type="checkbox"/> X Site Plan Review                      | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available): Minutes & Resolution Attached.

**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☒ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): Clemens Center Parkway

☐ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): \_\_\_\_\_

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated:

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission	5/2/19	
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) Reviewed, discussed, Referred \_\_\_\_\_

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**



## City of Elmira

Inspection Services Department

Phone: (607) 737-5653

<http://www.cityofelmira.net>

101 W. Second St.

Elmira, NY 14901

Fax: (607) 733-5235

## City Planning Commission Application

### To the City Planning Commission:

#### A. Statement of Ownership and Interest

I (We) Streeter Associates, Inc

Name of Applicant

of 101 East Woodlawn Avenue

Street #

Elmira, NY 14901

City, State, Zip

hereby make application to the City Planning Commission for:

- ☒ 1. Site Plan review – Section 1025.6(a) of the Zoning Ordinance
- ☐ 2. Review of Junkyards and Mobile/Manufactured Home Park
- ☐ 3. Review and recommendation(s) of Planned Development District
- ☐ 4. Review and recommendation(s) of Proposed Zoning Regulation Amendments or Changes of District Boundary Amendments
- ☐ 5. Review and Approval of Subdivision of Land
- ☐ 6. Other:

#### B. Location of Property

- 1. The property in question is situated at the following address:  
101 East Woodlawn Avenue  
Elmira, NY 14901
- 2. current zoning classification IA-Light Industrial (Available from Inspection Services)
- 3. tax map # 79.18-4-20 (Available from Assessor's Office: (607) 737-5670)
- 4. Is the property in question located within five hundred (500) feet from the boundary of any city, village, or town, or from any county or state parkway, expressway, throughway, or other limited access highway, or from the right-of-way of any stream or drainage channel owned by the county or for which the county has established channel lines, or from any county or state lands on which a public building or institution is situated?

☒ Yes      ☐ No

**PLEASE TAKE NOTICE** that if the above application is for a variance, or special permit, or approval of a site plan or fencing and planting in "Junkyards", or the establishment of a mobile/manufactured home park, and if the answer to question "B.4." above in the respective application is "Yes", the aforesaid application must be referred to the Chemung County Planning Board for its recommendation and report **before** a final determination can be made by the City of Elmira's Planning Commission or Zoning Board of Appeals.



### C. General Data

1. Current Use Office Building Proposed Use Office Building

2. Number of dwelling units proposed: \_\_\_\_\_

3. Number of employees proposed: 10

4. Parking spaces required: 26

A. Proposed: 29 C. Loading Zone Required: [ ] Yes ☒ No

B. Handicapped: \_\_\_\_\_ D. Curb Cut Permit Required: [ ] Yes ☒ No

5. Type of Non-Residential Use (if any)

Office Building

6. Lot Size A. Length: 408.79 Ft.

B. Depth: 388.55 Ft.

C. Area: 86248.13 Square Ft.

(A and B available from Assessor's Office)  
(607) 737-5670

7. Building Information

A. Number of Stories: 2

B. Floor area per story in square feet: (Available from the Assessor's Office)

Basement: N/A First Floor: 2405 Second Floor: 2405 Third Floor: N/A

8. Applicant's relationship to the property:

☒ A. Owner

[ ] B. Purchaser (with valid purchase offer)

[ ] C. Tenant (present)

[ ] D. Tentant (new) Lease Commitment: [ ] Yes [ ] No

[ ] E. Attorney for: [ ] A [ ] B [ ] C [ ] D [ ] F

[ ] F. Other (explain) \_\_\_\_\_

A. Name and Address of Record Owner:

Streeter Associates, Inc.  
101 East Woodlawn Avenue  
Elmira, NY 14901

B. Name and Address of Attorney:

- D. If you would like to receive an electronic copy of the agenda and/or minutes that apply to your application, please provide your e-mail address, otherwise you may view and/or download this information at [www.cityofelmira.net/boards](http://www.cityofelmira.net/boards). If you do not provide an e-mail address, please refer to #1 of the Application Instruction for meeting dates and times.

Applicant's e-mail address: MMuldoon@streeterassociates.com

STATE OF NEW YORK)  
COUNTY OF CHEMUNG) ss:

Sworn to before me this

20 day of March, 2019  
TIFFANY A. MILLER  
Notary Public, State of New York (year)  
Chemung County No. 01MI6378183  
Commission Expires July 23, 2020

(Notary Public)

*T Miller*

*MMuldoon* - Agent for Applicant  
Applicant's Signature

101 E. Woodlawn Ave, Elmira, NY 14901  
Applicant's Address

607-734-4151  
Applicant's Phone Number

← **THIS FORM MUST BE NOTARIZED**

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

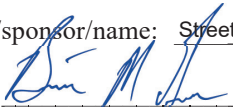
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

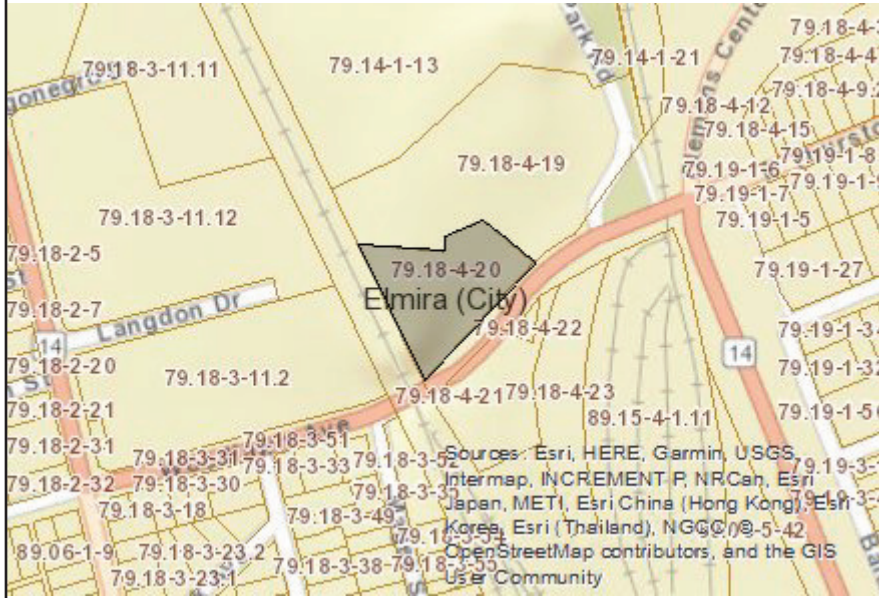
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: SAI Building Expansion Site Plan			
Project Location (describe, and attach a location map): 101 East Woodlawn Avenue, Elmira, NY 14901			
Brief Description of Proposed Action: The Owner is proposing a 62' x 32'-5.25" building expansion and a new parking layout at their current location.			
Name of Applicant or Sponsor: Streeter Associates, Inc.		Telephone: 607-734-4151 E-Mail: MMuldoon@streeterassociates.com	
Address: 101 East Woodlawn Avenue			
City/PO: Elmira		State: NY	Zip Code: 14901
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Elmira - Planning Board Approval, Chemung County Planning Board - M-239 Review		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.98 acres	
b. Total acreage to be physically disturbed?		0.50 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.98 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	N/A  <input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO  <input checked="" type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	



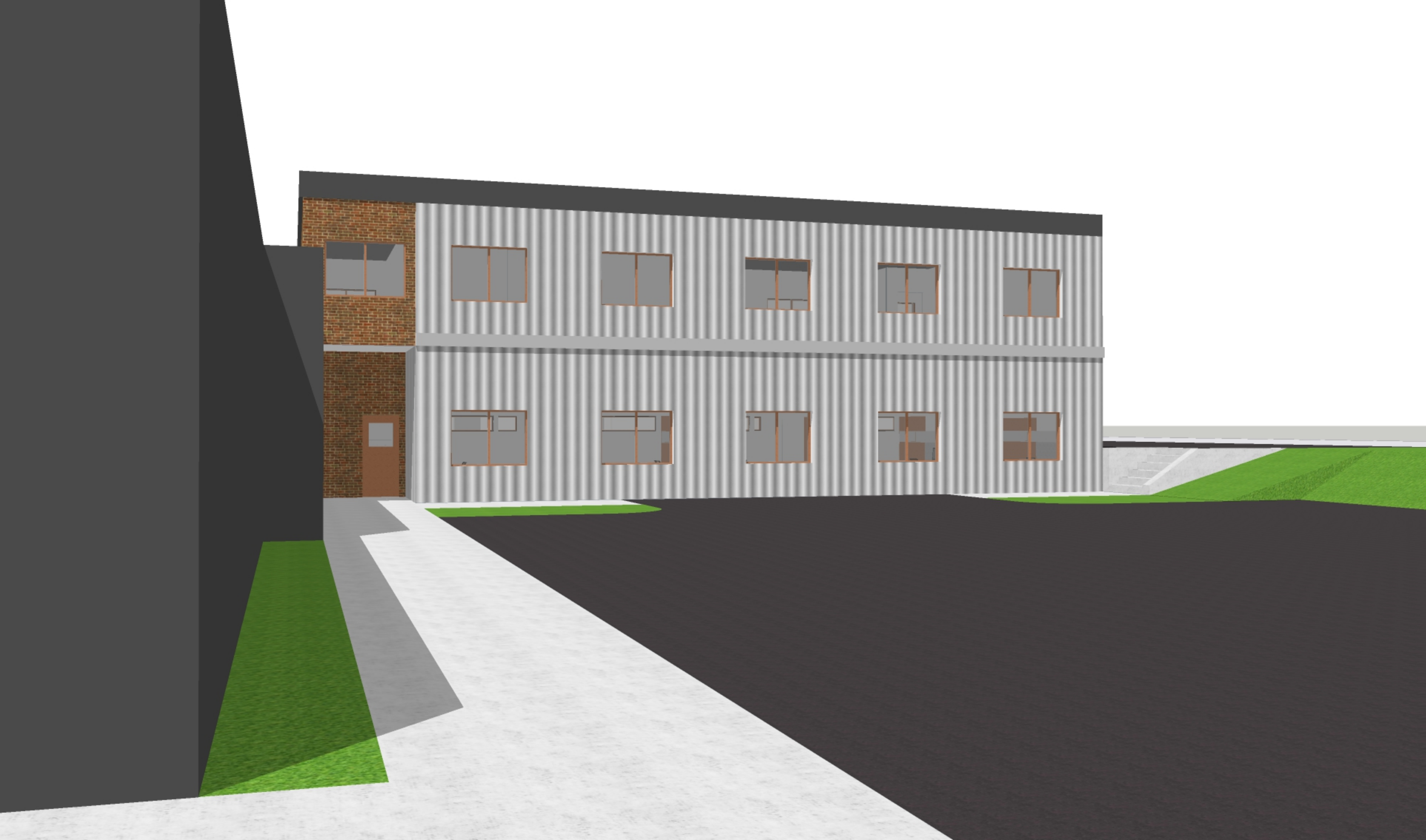
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____ All stormwater shall be collected by a series of drywells and infiltrate into the ground. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ The following NYSDEC remediation sites adjoins the project site: 808042. This NYSDEC remediation site is separated from the project site by Woodlawn Avenue.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Streeter Associates, Inc.</u> Date: <u>3/20/2019</u>  Signature: <u></u> - Agent for Applicant      Title: <u>Applicant Engineer</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes











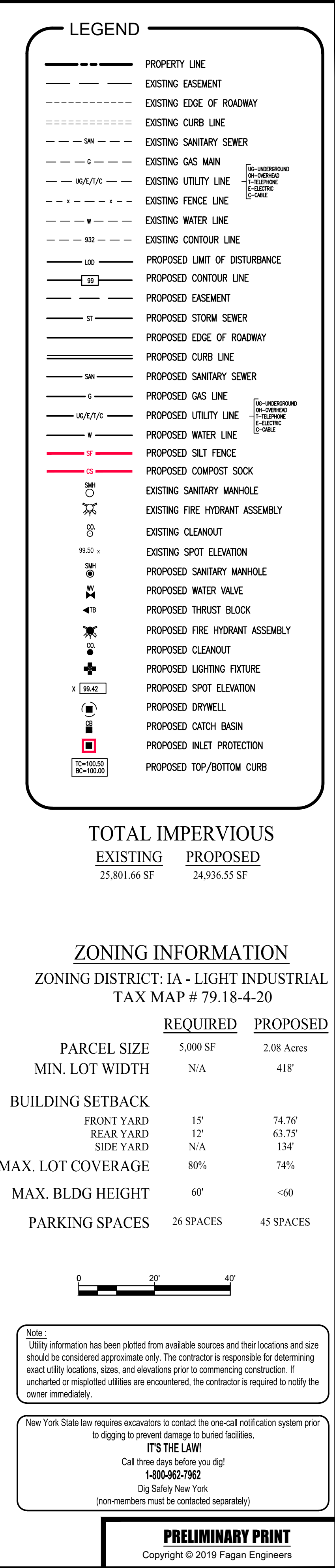




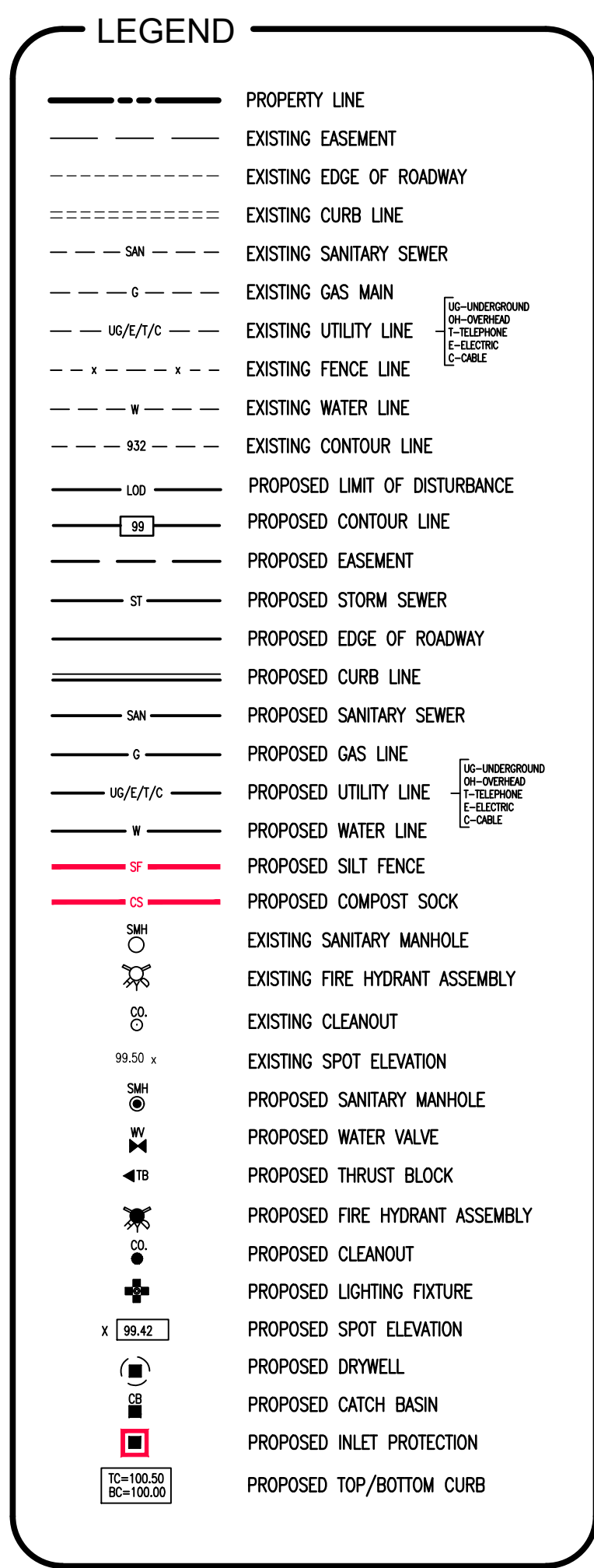






[illegible]



[illegible]

It Is A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He Is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way. If An Item Bearing The Seal Of An Engineer Or Land Surveyor Is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.

SEAL

**STREETER ASSOCIATES, INC.**  
**OFFICE EXPANSION PROJECT**  
**CITY OF ELMIRA, CHEMUNG COUNTY, NEW YORK**



113 East Chemung Place  
Elmira N.Y. 14904  
Phone (607) 734-2165  
Fax (607) 734-2169  
[www.FaganEngineers.com](http://www.FaganEngineers.com)

Scale:	1" = 20' 11x17 Prints are 1/2 Size
Date:	March 19, 2019
Design By:	RSN
Drawn By:	RSN
Checked By:	BMG, JBG
Project No.:	98.110.001
Drawing Name:	98110.001.dwg

## GRADING PLAN

## C4

Note :  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.

**IT'S THE LAW!**

Call three days before you dig!

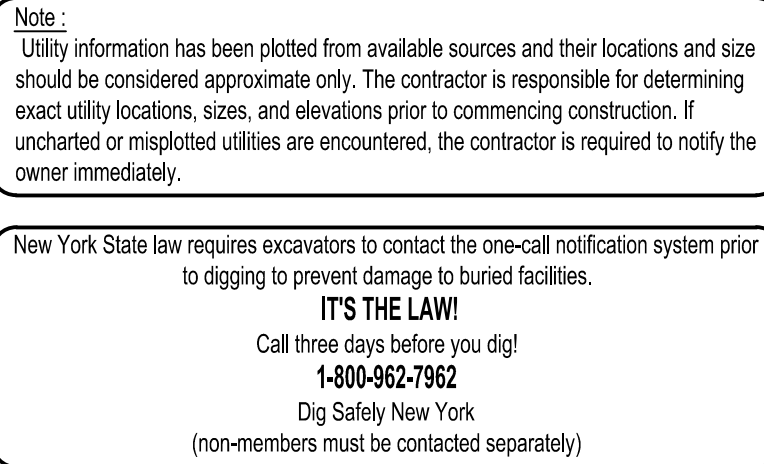
**1-800-962-7962**

Dig Safely New York

(non-members must be contacted separately)

**PRELIMINARY PRINT**  
Copyright © 2019 Fagan Engineers





<b>UTILITY PLAN</b>
<b>C5</b>



Copyright © 2019 Fagan Engineers

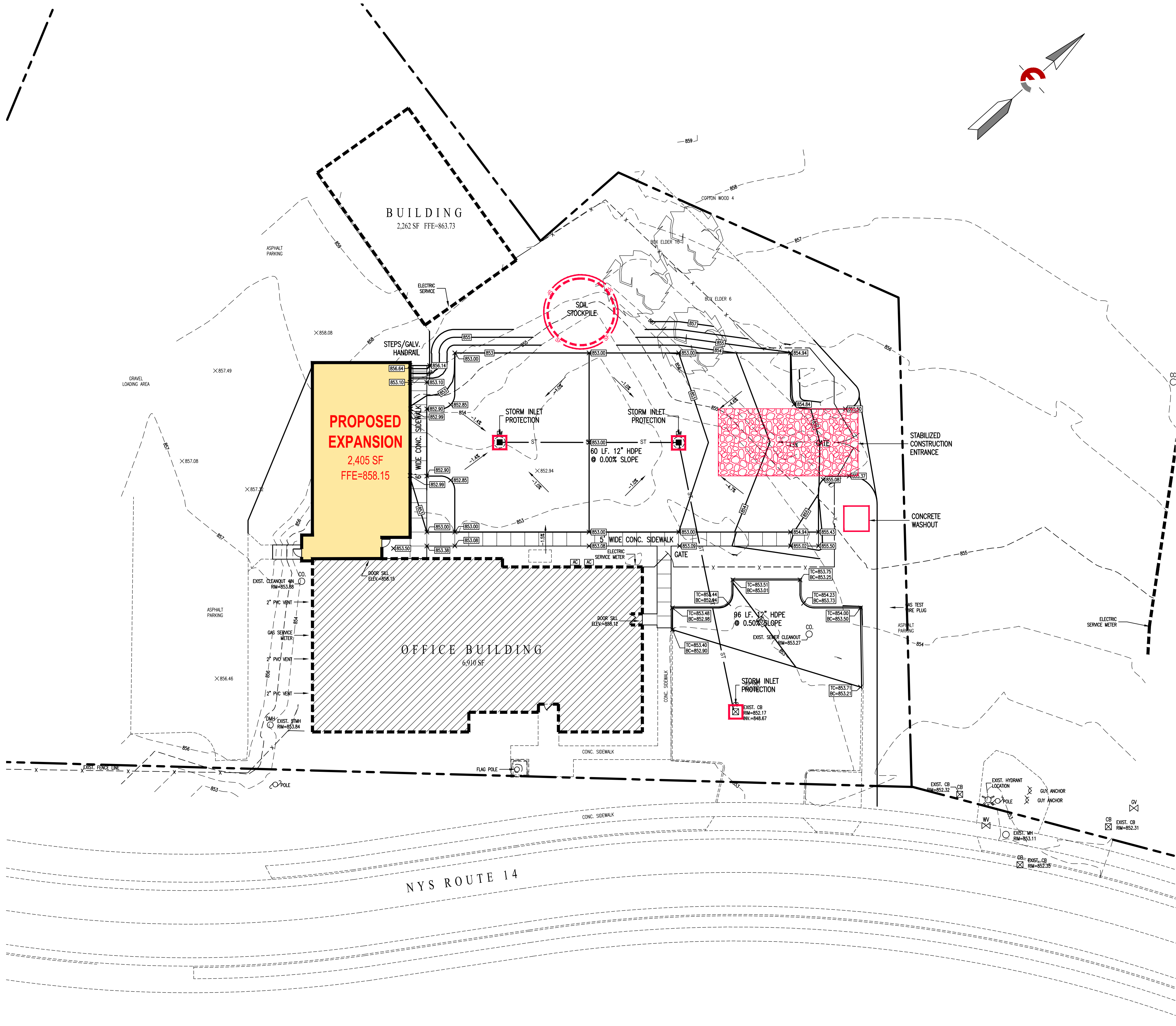


E&S PLAN NOTES:

- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMPs.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SITE CONTRACTOR TO BECOME CO-PERMITTEE PRIOR TO EARTHWORK ACTIVITIES COMMENCING. SITE CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS OF THE E&S PERMITS.

CONSTRUCTION SEQUENCE

- ALL PAGE NUMBERS (P. 5\* \*\*) REFER TO THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE (P. 5A.75). WIDTH: - TWELVE (12) FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. IF ONLY ONE ENTRANCE IS USED THE MINIMUM WIDTH SHALL BE TWENTY-FOUR (24) FEET.
- STANDARD SILT FENCE (P. 5A.19) SHALL THEN BE PLACED AROUND ALL DISTURBED AREAS.
- CLEAR AND GRUB THE SITE. STRIP TOPSOIL AND STOCKPILE ON-SITE WITH PERIMETER SILT FENCE AND VEGETATIVE COVER.
- CONSTRUCT BUILDING FOUNDATION AND ENCLOSE BUILDING.
- CONSTRUCT STORM WATER BASINS AND PERFORM LAND GRADING IN ACCORDANCE WITH MANUAL (P. 5B.49). INSURE ALL RUNOFF IS DIVERTED TO THE SEDIMENT BASIN UNTIL THE SITE IS STABILIZED (80% COVERAGE).
- CONSTRUCT PROPOSED STORM SEWER AND INSTALL TEMPORARY SEDIMENT TRAPS (P. 5A.41) AT EACH INLET.
- INLET PROTECTION (P. 5A.27) SHALL BE PLACED AROUND ALL STORM DRAIN INLETS. UTILIZE TYPE II IN AREAS OF EXCAVATION AND TYPE III IN PAVEMENT AREAS. CONVERT ALL FABRIC DROP INLET PROTECTION TO TYPE III IN-PAVEMENT PROTECTION UPON PAVING WITHIN PROJECT AREA.
- INSTALL ROCK OUTLET PROTECTION (P. 5B.21) AT ALL STORM SEWER OUTLETS.
- FINALIZE CONSTRUCTION OF MAIN PROJECT ELEMENTS INCLUDING INFRASTRUCTURE AND NEW PAVEMENT.
- SPREAD TOPSOIL, FINE GRADE, SEED, MULCH AND ESTABLISH VEGETATIVE COVER.
- REMOVE SEDIMENT FROM ANY SEDIMENT TRAPS OR BASINS.
- REMOVE TEMPORARY EROSION CONTROL METHODS WHEN CONTRIBUTING DRAINAGE AREAS ARE STABILIZED.



LEGEND

- |     |                                |
|-----|--------------------------------|
| --- | PROPERTY LINE                  |
| --- | EXISTING EASEMENT              |
| --- | EXISTING EDGE OF ROADWAY       |
| --- | EXISTING CURB LINE             |
| --- | EXISTING SANITARY SEWER        |
| --- | EXISTING GAS MAIN              |
| --- | EXISTING UTILITY LINE          |
| --- | EXISTING FENCE LINE            |
| --- | EXISTING WATER LINE            |
| --- | EXISTING CONTOUR LINE          |
| --- | PROPOSED LIMIT OF DISTURBANCE  |
| --- | PROPOSED CONTOUR LINE          |
| --- | PROPOSED EASEMENT              |
| --- | PROPOSED STORM SEWER           |
| --- | PROPOSED EDGE OF ROADWAY       |
| --- | PROPOSED CURB LINE             |
| --- | PROPOSED SANITARY SEWER        |
| --- | PROPOSED GAS LINE              |
| --- | PROPOSED UTILITY LINE          |
| --- | PROPOSED WATER LINE            |
| --- | PROPOSED SILT FENCE            |
| --- | PROPOSED COMPOST SOCK          |
| --- | EXISTING SANITARY MANHOLE      |
| --- | EXISTING FIRE HYDRANT ASSEMBLY |
| --- | EXISTING CLEANOUT              |
| --- | EXISTING SPOT ELEVATION        |
| --- | PROPOSED SANITARY MANHOLE      |
| --- | PROPOSED WATER VALVE           |
| --- | PROPOSED THRUST BLOCK          |
| --- | PROPOSED FIRE HYDRANT ASSEMBLY |
| --- | PROPOSED CLEANOUT              |
| --- | PROPOSED LIGHTING FIXTURE      |
| --- | PROPOSED SPOT ELEVATION        |
| --- | PROPOSED DRYWELL               |
| --- | PROPOSED CATCH BASIN           |
| --- | PROPOSED INLET PROTECTION      |
| --- | PROPOSED TOP/BOTTOM CURB       |

Note:  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.  
**IT'S THE LAW!**  
Call three days before you dig!  
**1-800-962-7962**  
Dig Safely New York  
(non-members must be contacted separately)

**PRELIMINARY PRINT**  
Copyright © 2019 Fagan Engineers

It is a Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date. Of Such Alteration, And A Specific Description Of The Alteration.

SEAL

**STREETER ASSOCIATES, INC.**  
**OFFICE EXPANSION PROJECT**  
CITY OF ELMIRA, CHEMUNG COUNTY, NEW YORK

**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC

113 East Chemung Place  
Elmira N.Y. 14904  
Phone (607) 734-2165  
Fax (607) 734-2169  
www.FaganEngineers.com

Scale: 1" = 20'  
11x17 Prints are 1/2 Size  
Date: March 19, 2019  
Design By: RSN  
Drawn By: RSN  
Checked By: BMG, JBG  
Project No.: 98.110.001  
Drawing Name: 98110.001.dwg

**E & S PLAN**

**C7**



### Establishing Grasses (Turf grasses)

- | <u>SITE/USE</u>  | <u>SPECIES % BY WEIGHT</u>   | <u>Lbs./1,000 sf.</u> | <u>Lbs./acre</u> |
|--|------------------------------|-----------------------|------------------|
| Sunny Sites (well moderately well and somewhat poorly drained soils)   | 65% Kentucky Bluegrass Blend | 2.0 - 2.6             | 85 - 114         |
|  | 20% Perennial Ryegrass       | 0.6 - 0.8             | 26 - 35          |
|  | 15% Fine Fescue              | 0.4 - 0.6             | 19 - 26          |
|  |                              | 3.0 - 4.0             | 130 - 175        |
|  |                              |                       |                  |
| Sunny Droughty Sites - General recreation areas and lawns, low maintenance (somewhat excessively to excessively drained soils) | 65% Fine Fescue              | 2.6 - 3.3             | 114 - 143        |
|  | 15% Perennial Ryegrass       | 0.6 - 0.7             | 26 - 33          |
|  | 20% Kentucky Bluegrass Blend | 0.8 - 1.0             | 35 - 44          |
|  |                              | 4.0 - 5.0             | 175 - 220        |
|  |                              |                       |                  |

- 
- The drawing consists of two parts: a cross-section labeled "PROFILE" and a top-down view labeled "PLAN VIEW".
- PROFILE:** This view shows the structure's cross-section. It features a sloped top surface with a 5:1 ratio. A horizontal dimension of 50' MIN. is shown across the top. A 6" MIN. thick layer is indicated, with a 3' horizontal distance from the edge to the center of this layer. A "FILTER CLOTH" is shown at the base of the structure. A "MOUNTABLE BERM (OPTIONAL)" is shown on the right side. The structure is situated on "EXISTING GROUND".
- PLAN VIEW:** This view shows the structure from above. It is a rectangular structure with a width of 12' MIN. and a length of 12' MIN. (SEE NOTE 4). The structure is shown with a "FILTER CLOTH" at the base. The "EXISTING PAVEMENT" is shown on the right side.

## CONSTRUCTION SPECIFICATIONS

- 
- ENTIRE PILE SHALL BE COVERED WITH PLASTIC
- MAXIMUM HEIGHT 3.5 FT.
- SILT FENCE

## SOIL STOCKPILING NOTES:

- NOT TO SCALE

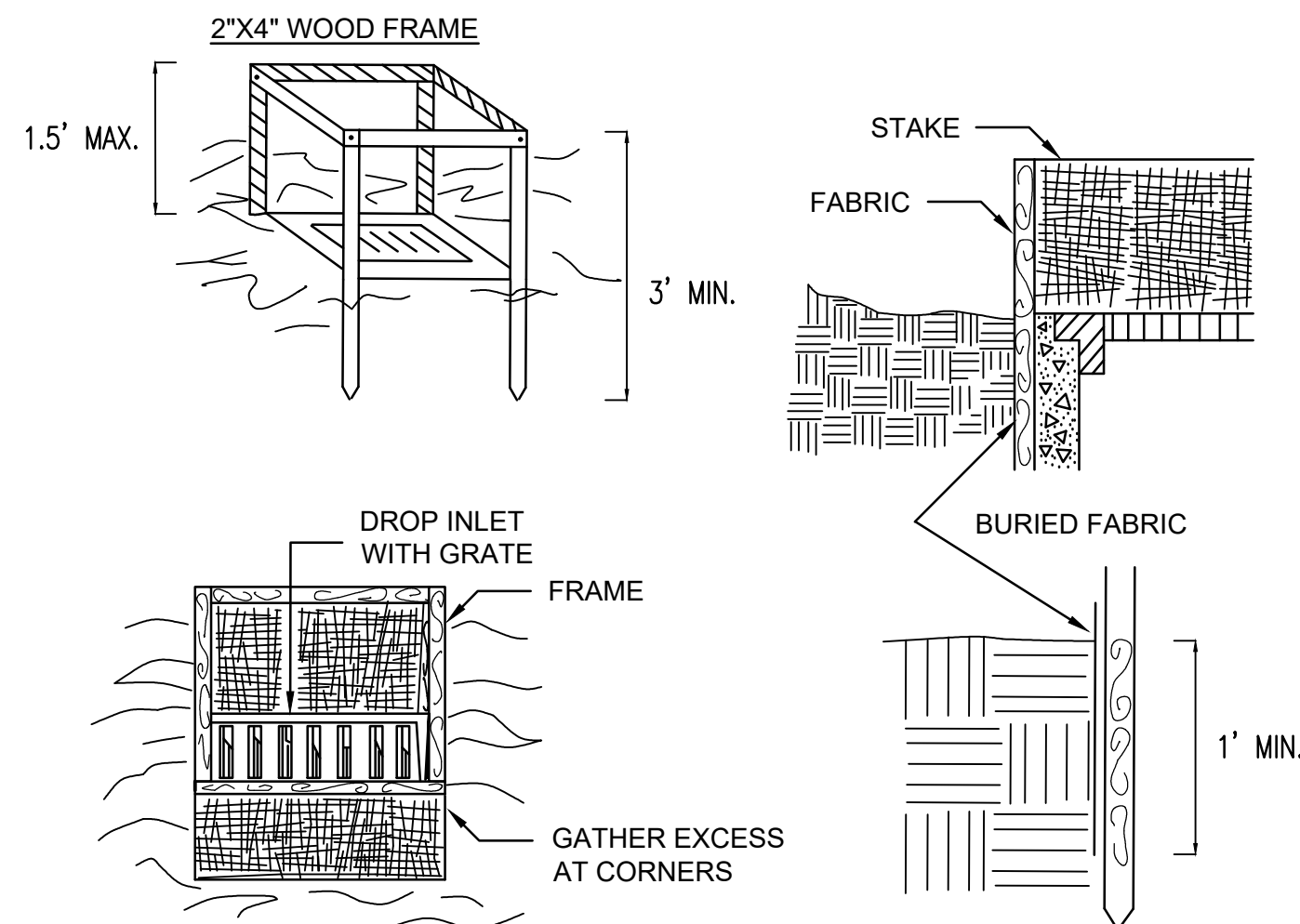


## NTS.

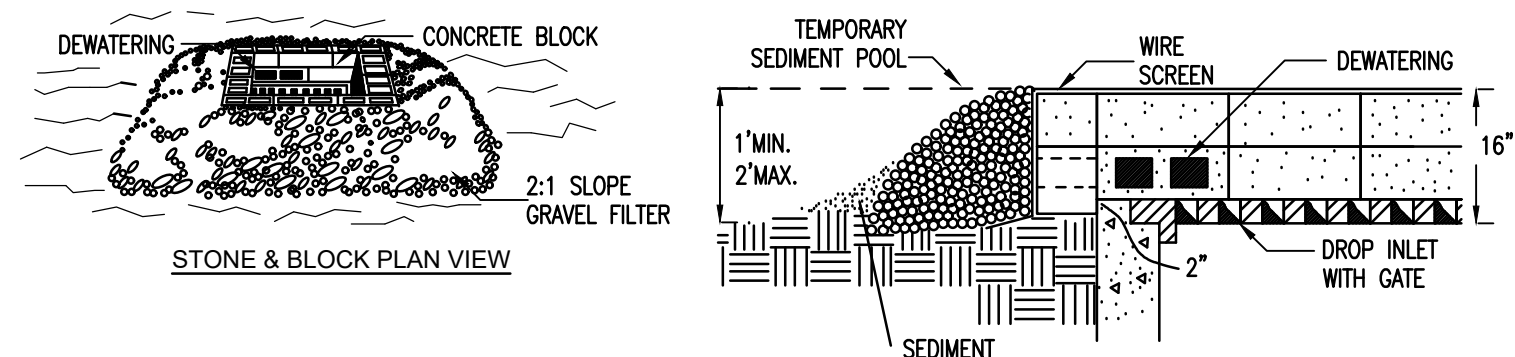
## CONSTRUCTION SPECIFICATIONS FOR FABRICATED SILT FENCE

- Posts: Steel either "t" or "u" type or 2" hardwood.

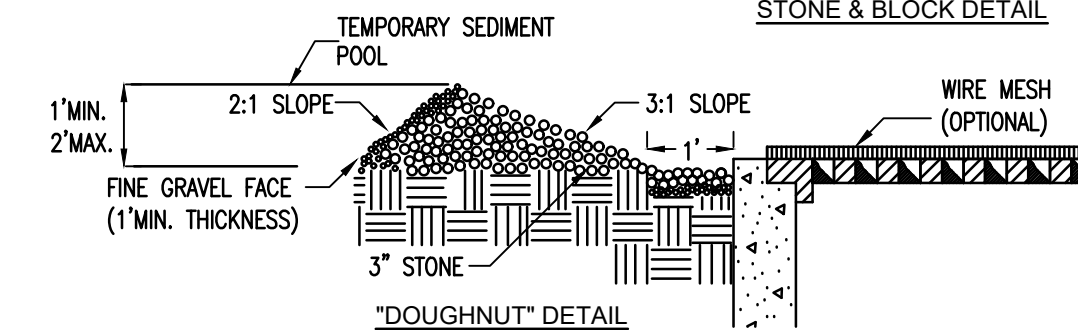
Cloth: Filter x, mirafi 100x,  
stabi-linka t140n or approved equal.  
prefabricated unit: geofab,  
envirofence, or approved equal.



## NTS.

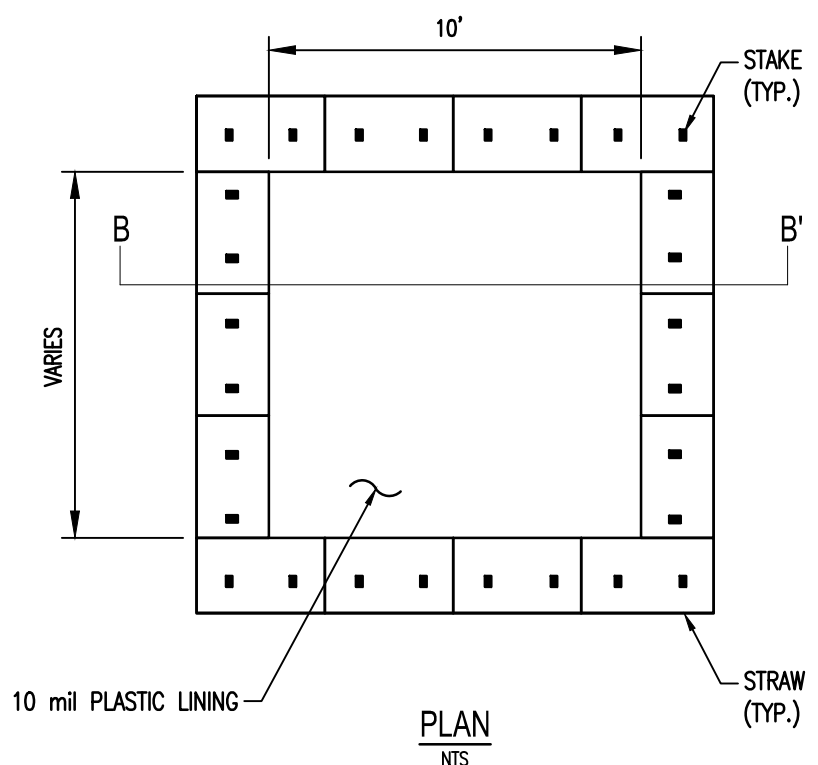
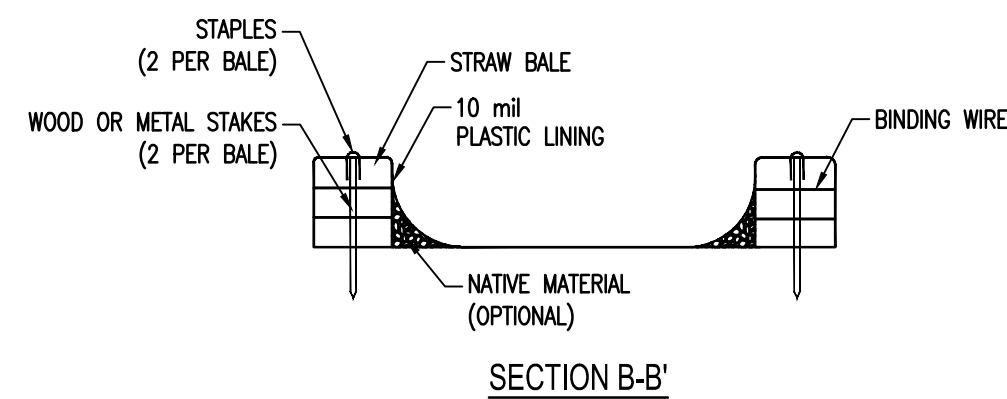


## STONE & BLOCK DETAIL



N.T.S.

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.



## NTS

### SPECIFICATIONS FOR SILT FENCE PROTECTION

- |  |  |    | Addition of Overall Plan Sheet |         | Revision Description |  |
|--|--|----|--------------------------------|---------|----------------------|--|
|  |  |    | Rev                            | Date    |                      |  |
|  |  | 1. |                                | 4/19/19 |                      |  |
| <p>It is A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He Is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date. Of Such Alteration, A Specific Description Of The Alteration</p> |  |    |                                |         |                      |  |

SEAL

**STREETER ASSOCIATES, INC.**  
**OFFICE EXPANSION PROJECT**  
**CITY OF ELMIRA, CHEMUNG COUNTY, NEW YORK**



**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC

113 East Chemung Place  
Elmira N.Y. 14904  
Phone (607) 734-2165  
Fax (607) 734-2169  
[www.FaganEngineers.com](http://www.FaganEngineers.com)

Scale:	As Noted 11x17 Prints are 1/2 Size
Date:	March 19, 2019
Design By:	RSN
Drawn By:	RSN
Checked By:	BMG, JBG
Project No.:	98.110.001
Drawing Name:	98110.001.dwg

## E & S DETAILS

C8

PRELIMINARY PRINT

Copyright © 2019 Fagan Engineers

**WOODLAWN PROPERTIES, LLC**  
103 East Woodlawn Avenue  
Elmira, NY 14901

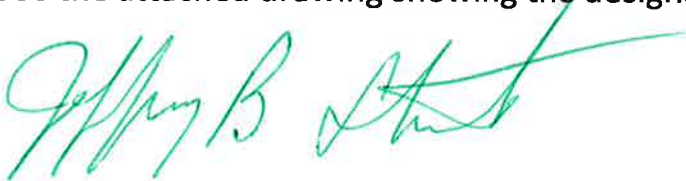
Date: April 19, 2019

To: Whom it May Concern

I, Jeffrey B. Streeter, as owner of Woodlawn Properties, LLC, located at 103 East Woodlawn Avenue (and noted as tax parcel ID: 79.18-4-19) hereby give permission for Streeter Associates, Inc., located at 101 East Woodlawn Avenue (and noted as tax parcel ID: 79.18-4-20), to use a portion of the property as an Easement or Right of Way.

The area is inclusive of a "curb cut" from Woodlawn Avenue and is designated as usable for access into and out of Streeter Associates parking lots, maintenance shop, and all business related vehicular traffic.

See the attached drawing showing the designated area of both parcels.



Jeffrey B. Streeter

Owner – Woodlawn Properties, LLC

Attachment





BUILDING  
2,405 SF FEB-2025.18

PROPOSED  
EXPANSION  
2,405 SF  
FEB-2025.18

OFFICE BUILDING  
4,800 SF

Tax ID: 79.18-4-20

Tax ID: 79.18-4-19

NYS ROUTE 14