



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Big Flats

Referring Official: Tom Whispel Title: Code Officer

Address: 476 Maple Street

Phone Number: 562-8443 E-mail: twhispel@bigflatsny.gov

Referring Board (check appropriate box): ☐ Legislative Board ☒ ZBA ☐ Planning Board

Petitioner(s): Justin & Abby Russell Phone: 207-1510

Petitioner's Mailing Address: 840 Harris Hill Rd, 14903 E-mail: \_\_\_\_\_

Location of Property: 840 Harris Hill Rd, Elmira, 14903

Tax Map Parcel Number(s): 67-04-1-15

Current Zoning District: Residential 1 (R1)

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Area Variance                | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input type="checkbox"/> Site Plan Review                        | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

Relief from rear yard setbacks to construct an addition to the home.

**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

- ☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_
- ☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_
- ☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): Harris Hill Rd, CR55
- ☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_
- ☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_
- ☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		8/21/18 9/25/18
Planning Board/Planning Commission		7/3/2018
City Council		

Action taken on this application (reviewed, approved, discussed, etc.)

set public hearing for 9/25/18

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**





June 19, 2018

Town of Big Flats Planning Board  
Attn: Brenda Belmonte  
476 Maple Street  
Big Flats, NY 14814

**Area Variance Review**

Re: Justin & Abby Russell  
840 Harris Hill Road  
Tax ID: 67.04-1-15

Application Materials Received – June 14, 2018  
Planning Board Meeting – July 3, 2018  
Zoning Board Meeting – July 24, 2018

**FILE COPY**

**Project Description**

The applicant has submitted a Zoning Variance application to construct an addition to the existing single-family residence within the rear setback line. The property is located at 840 Harris Hill Road and is located in the Residential (R1) District. The required rear yard setback is 60 feet. The existing structure is a nonconforming structure as it currently is setback 46.13 feet from the rear property line. The applicant will not meet the criteria outlined in Section 17.56.060 to extend, alter or modify a nonconforming structure and therefore an area variance will be required.

Section 17.16.020(B)(1) states that the rear yard setback is 60 feet. The applicant has not indicated on a site plan what the requested dimensional relief will be.

The applicant has submitted the following materials as part of this application:

1. Zoning Variance Application
2. Plot Plan of the referenced lot prepared by Twin Tiers Land Surveying dated November 26, 2012
3. Architectural plans of the proposed addition
4. Short Form EAF
5. Correspondence from the Chemung County Health Department dated May 15, 2018 on the approval of the use of the existing septic system.

**Area Variance Criteria & Comments**

Per Section 17.60.120 (B), in making a determination for an area variance, the Zoning Board of Appeals shall take into consideration the benefit to the applicant, if the area variance is granted, as weighed against the detriment to the health, safety, and general welfare of the neighborhood or community by such a grant. In making such determination, the Board shall consider the following:

1. Whether an undesirable change will be produced in the character of the neighborhood or community or a detriment to nearby properties will be created by granting of the area variances.



**Comment:** The character of the neighborhood is residential. Granting the variance for the reduced setback will not produce an undesirable change to the neighborhood or community. It should be noted that the area along the rear property line is heavily wooded with no dwellings adjacent to the property.

2. Whether the benefit is sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than area variance.

**Comment:** Due to the floor plan of the existing home, it may be difficult for the applicant to build the extension to the home at another location that would be compliant with setback requirement.

3. Whether the requested area variance is substantial.

**Comment:** We cannot render an opinion on this since the applicant has not provided a site plan to show the encroachment into the rear setback.

4. Whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

**Comment:** Granting of the variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

5. Whether an alleged difficulty of compliance with this title was self-created, which is relevant to the decision, but shall not necessarily preclude the granting of the area variance.

**Comment:** The difficulty of complying with the setback is self-created.

**State Environmental Quality Review:**

The proposed variance is a Type II action and does not require environmental review.

6 NYCRR Part 617.5(c) list of Type II actions include:

(10) "construction, expansion or placement of minor accessory/appurtenant residential structures, including garages, carports, patios, decks, swimming pools, tennis courts, satellite dishes, fences, barns, storage sheds or other buildings not changing land use or density"

**County Review:**

The proposal does need to be referred to the Chemung County Planning Board because the location meets the referral criteria in the General Municipal Law (GML) of New York State since it is located along County Road 33 (Harris Hill Road)





**Recommendation:**

Area Variance – We recommend that the applicant provide a site plan showing the proposed expansion and providing a dimension to the rear property line to determine the magnitude of variance being requested. Should the Planning Board be satisfied with the information provided, we recommend the Planning Board provide a positive recommendation to the Zoning Board to grant the requested area and height variance for the sign. It is our opinion that granting of the area variance will not create a detriment to the health, safety, and general welfare of the neighborhood or community.

If you have any questions regarding this review letter, please contact me by phone at (607) 333-3120 or via email at [rswitala@bergmannpc.com](mailto:rswitala@bergmannpc.com).

Best Regards,

BERGMANN ASSOCIATES

Robert Switala, PE, CPESC, CPSWQ  
Principal

Town of Big Flats  
Department of Planning

476 Maple Street  
Big Flats, NY 14814  
T: 607-562-8443  
<http://www.bigflatsny.gov>



## Zoning Variance Application

This application form is required as part of any request to process an action involving the zoning board of appeals that is not related to a proposed site plan or a proposed subdivision. In addition, the Town of Big Flats Municipal Code may require specific material to be submitted with this form. A copy of the applicable sections of the code are available upon request. It is the applicants responsibility to ensure that application package are complete and accurate.

**NOTE: THIS FORM IS ONLY REQUIRED FOR A ZONING ACTION NOT ASSOCIATED WITH A PLANNING BOARD ACTION**

**Applicant:**  
Name Justin and Abby Russell  
Address 840 Harris Hill Rd.  
Elmira, NY 14903  
Telephone 607-207-1510 and 607-846-0456

**Owner (If Different):**  
Name Same  
Address \_\_\_\_\_  
Telephone \_\_\_\_\_  
Parcel ID: 067.04-01-015  
Address: Same

**Current Zoning:** 210- Single Family Residential  
**Variance(s) Requested:** Adding on bedroom within 60ft of rear line  
**Proposed Use(s) of Site:** Addition of bedroom

**Character of Surrounding Lands** (agricultural, residential, wetlands, etc.): Residential (open and wooded)

### FEE SCHEDULE

**Area Variance** \$125  
Residential Area: ~~\$250.00~~ (per relief requested)  
Non-Residential Area: \$500.00 (per relief requested)  
Residential Signage: \$250.00 (per relief requested)  
Non-Residential Signage: \$500.00 (per relief requested)

**Use Variance**  
All Use Variances: \$1,000.00

**Zoning Amendment** (Petition Required)  
Up to 5 Acres: \$100.00  
5 – 25 Acres: \$250.00  
25+ Acres: \$500.00

Department Use Only:



**FILE COPY**



**Explanation of Request:**

We wish to add a bedroom onto the back of our home to accomodate our growing family. Addition includes one bedroom and laundry space.

Addition size 22 x 24 ft. Site plan attached.

**APPLICATIONS WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT**

Check one:    ✓

- ☒ Owner  
☐ Power of Attorney\*  
☐ Contract to Purchase\*  
☐ Official Agent\*  
☐ Other: \_\_\_\_\_

\*Attach evidence

I hereby certify that the above information and accompanying documents are truthful and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses, at my expense, for preparation of necessary environmental, engineering and planning studies.

[Signature]  
Legal Owner/Official Agent

6-14-18  
Date

[Signature]  
Legal Owner/Official Agent

6-14-18  
Date

\_\_\_\_\_  
Applicant (If Different)

\_\_\_\_\_  
Date

**Department Use (only)**

Public Hearing: ☐ Yes    Date Advertised: \_\_\_\_\_    Date Conducted: \_\_\_\_\_

617.20  
Appendix B

Short Environmental Assessment Form

\* Applicant to  
complete Part 1.

**Instructions for Completing**

\* **Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Russell Addition			
Project Location (describe, and attach a location map): 840 Harris Hill Rd., Town of Big Flats			
Brief Description of Proposed Action: Adding in a 22 x 24 ft for a 3rd bedroom on the main level of the home and a laundry space near the bedrooms. Under the addition will remain open and a concrete patio will be installed.			
Name of Applicant or Sponsor: Justin and Abby Russell		Telephone: 607-207-1510 and 607-846-0456	
		E-Mail: Abbyrussell@howardhanna.com and jrussell987@gmail.com	
Address: 840 Harris Hill Rd.			
City/PO: Elmira (physical address Big Flats)		State: NY	Zip Code: 14903
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES
3.a. Total acreage of the site of the proposed action?		2.978	acres
b. Total acreage to be physically disturbed?		0.012	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.978	acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? Private well Existing _____ If No, describe method for providing potable water: _____	NO	YES	
		<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Yes private septic Health Dept already approved current system, See attached.	NO	YES	
		<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres _____		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____ Drainage location and french drain surrounding current home will remain the same and repaired as a result of construction. Current french drain is failing and compromising existing foundation.	NO	YES	
	<input checked="" type="checkbox"/>		



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Abby Russell</u>		Date: <u>6-14-18</u>
Signature: <u>Abby Russell</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

WVA

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

Area Variance Criteria  
Section 17.60.120  
(Attachment to Zoning Application)

**\*\*Note:** You must respond, in writing, to each item listed for the requested variance.

1. Whether an undesirable change will be produced in the character of the neighborhood or community or a detriment to nearby properties will be created by the granting of the area variance.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ No foreseen adverse change. Location if addition is within a current fence line and trees block neighboring homes. Neighbors will not see addition or be impacted by the addition.

2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than area variance.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ We have considered other areas to improve around the home and this location is the most cost affective and farthest from neighboring homes considering everyone's privacy, not just our own. Also, the purpose of adding an additional bedroom as proposed allows our family to sleep on the dame level and side of the house for safety and ease of living.

3. Whether the requested area variance is substantial;

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ Not substaintial. The current corner of the home already is less than 60 feet from the boundary line which is a wooded area.

4. Whether the proposed area variance will have an adverse affect or impact on the physical or environmental conditions in the neighborhood or district;

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ No impact foreseen. Drainage around the home will remain the same and improved as a result. Direction of drainage will remain the same. No other foreseen concerns or issues relating to physical or enviromental conditions.

5. Whether the alleged difficulty of compliance with this title was self-created, which is relevant to the decision, but shall not necessarily preclude the granting of the area variance.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ The addition and request for variance came about when our family will be growing this summer. Adding this addition is more cost effective in the long run and we have no desire to move out of our home. We love where we love everything about our home, we just nedd a little more room.





Chemung County Health Department  
**Environmental Health Services**  
103 Washington St., PO Box 588  
Elmira, New York 14902-0588

**Phone: (607) 737-2019**  
**Fax: (607) 737-2059**  
[www.chemungcountyhealth.org](http://www.chemungcountyhealth.org)

May 15, 2018

Abby and Justin Russell  
840 Harris Hill Rd.  
Elmira, NY 14903

RE: **Approval for Use of Existing Septic System**  
840 Harris Hill Rd.  
Big Flats (T): Chemung (Co)

Dear Mr. and Ms. Russell:

Your request to use the existing septic system for property modification (1 bedroom addition) at the above referenced address is approved. Please be aware that when the present septic system needs to be replaced, it must meet the design standards current at the time of installation. Waivers will not be issued for the new system.

The current septic system will be undersized and could fail prematurely. The following recommendations will help extend the life of your existing system:

- Conserve water usage.
- Repair or replace leaking plumbing fixtures.
- Pump the septic tank every two years and have the tank checked for defective baffles.
- Have contractor retrofit NSF 46 effluent filter existing tank if not already installed.

Please feel free to contact this department with any questions regarding this correspondence.

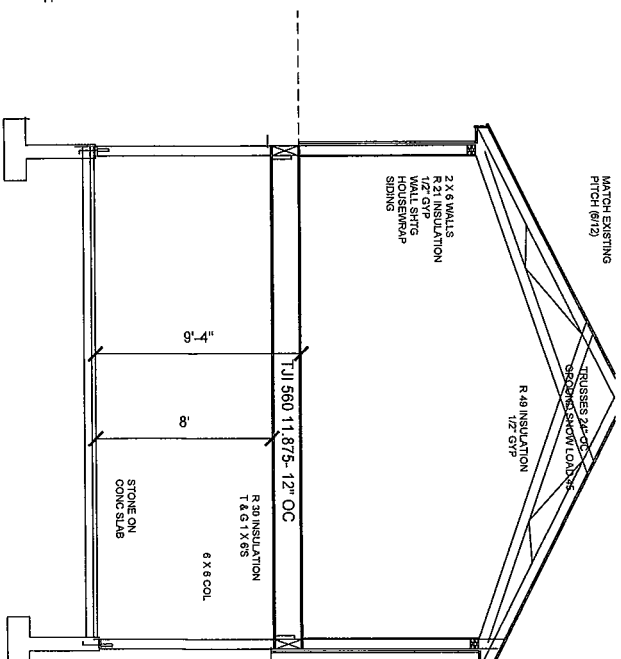
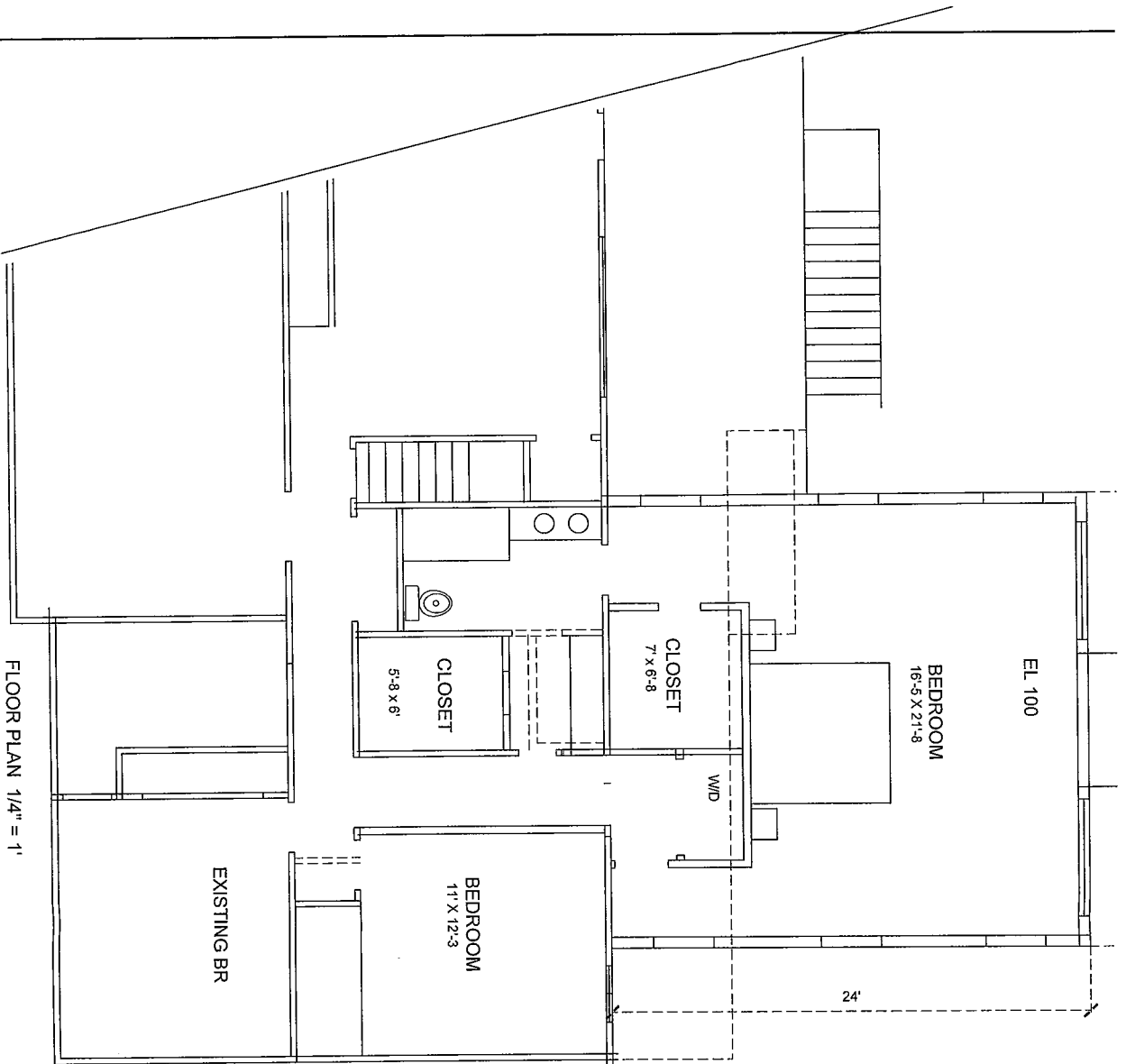
Sincerely,

A handwritten signature in blue ink that reads "Ths G Kump".

Thomas G. Kump, P.E., Director  
Environmental Health Services

TGK:ZJC

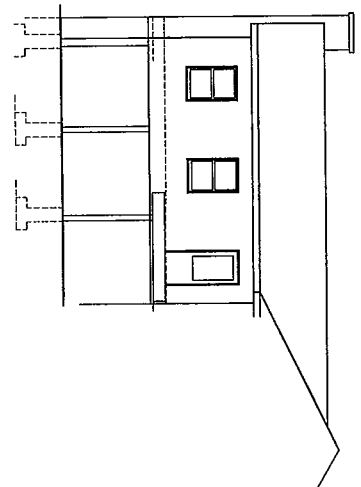
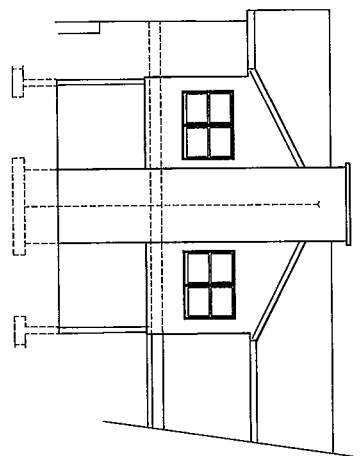
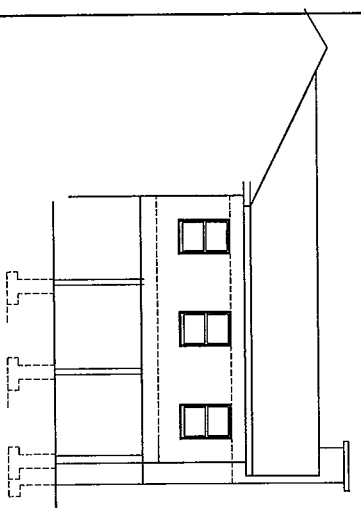
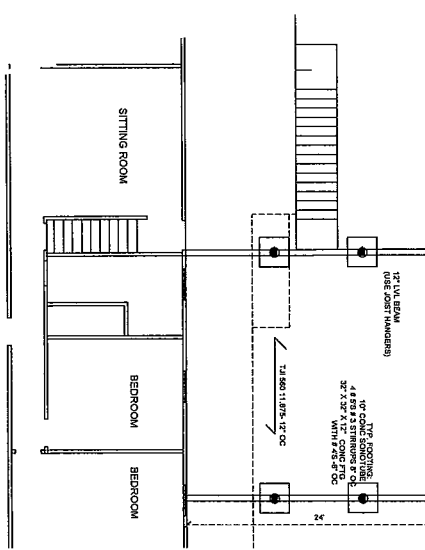
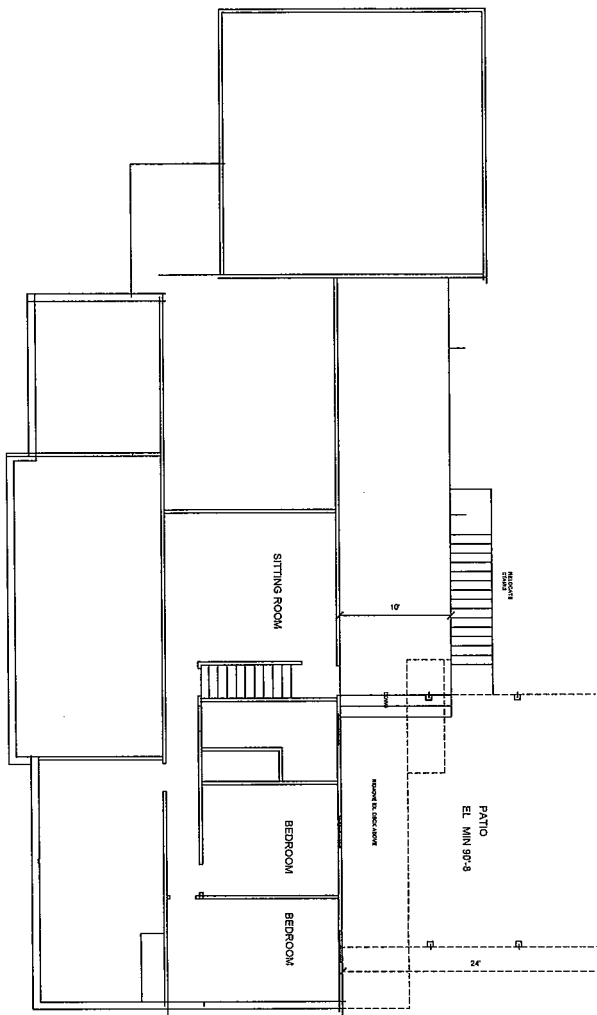
cc: Tom Whispel - Town of Big Flats Code Enforcement Officer



FLOOR PLAN, SECTION

ADDITION RUSSELL RESIDENCE  
840 HARRIS HILL ROAD, ELMIRA, NY 1490

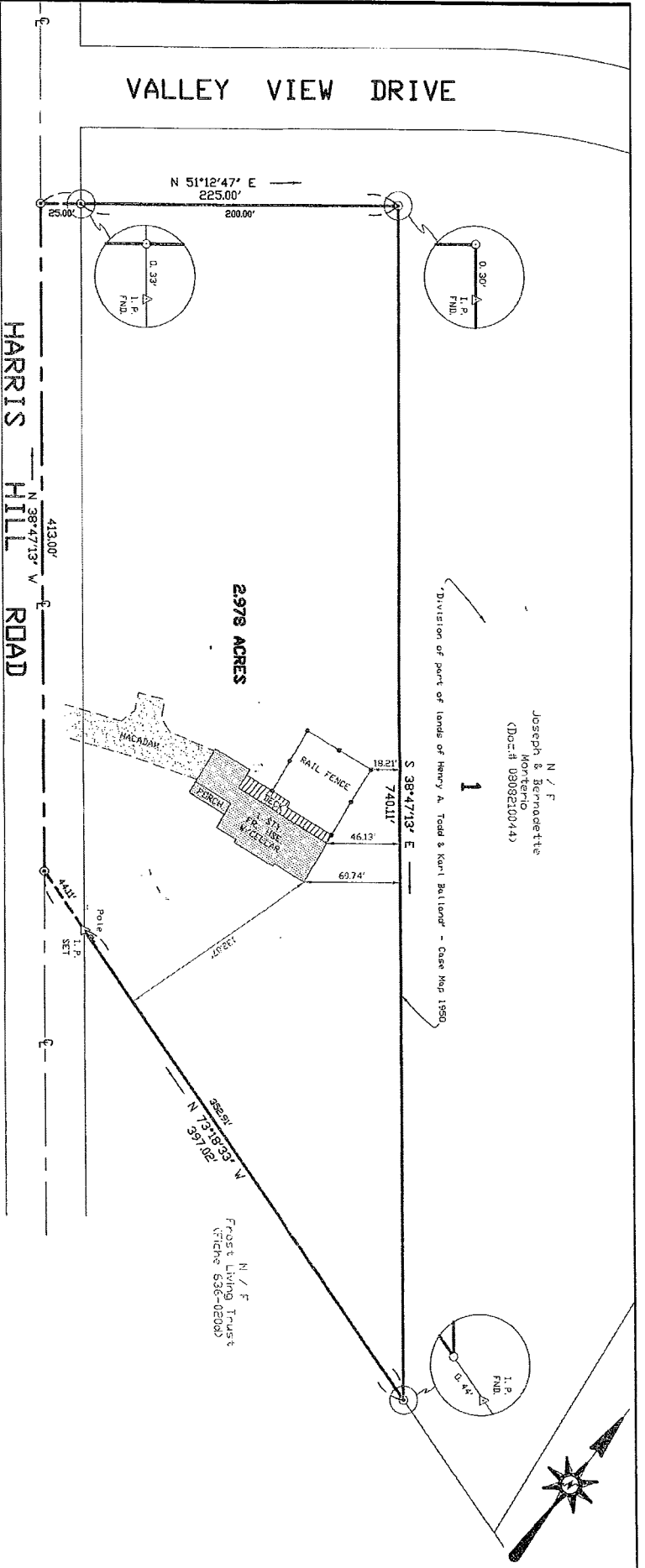




**ELEVATIONS, FOUNDATION PLAN**

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**ADDITION RUSSELL RESIDENCE**  
840 HARRIS HILL ROAD, ELMIRA, NY 14903



MAP OF LANDS BEING CONVEYED FROM <b>ALBERT C. &amp; ROXANNA R. D'AMBROSIO</b> TO <b>JUSTIN B. RUSSELL</b> LOCATED AT <b>840 HARRIS HILL ROAD</b> NEW YORK CHEMUNG COUNTY	
DATE NOV. 26, 2012 RECD REF. FICHE 421-0514 JOB NO. 12530	REVISED TAX MAP REF. 6704-1-15 SCALE 1" = 60'
TOWN OF BIG FLATS TWIN TIERS LAND SURVEYING 116 SOUTH MAIN STREET HORSEHARBS, NEW YORK	

TD. 1st PRIORITY MORTGAGE, INC.  
 FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 KEENAN LAW FIRM  
 KEYSER, MALONEY & WINNER, LLP  
 JUSTIN B. RUSSELL

1. HENRY TODD, JR. WAS A TRUE AND ASSAULT  
 OF REALTY AND SURVEYING ADAPTED BY THE NEW  
 YORK STATE ASSOCIATION OF PROFESSIONAL SURVEYORS.

NATIONAL 1. 000000 U.S. 90799

Existing survey used in site plan





## SEPTIC SYSTEM SITE EVALUATION

Date of Site Eval: 5/9/18 Done by: ZJC Site Approved: YES Site visit done: YES  
Site Eval Fee: \$135.00 Date Paid: 5/16/18 Receipt #: \_\_\_\_\_

Property Address: 840 Harris Hill Rd Town: Big Flats Tax Map #: 67.04-1-15  
Current Property Owner's Name: Abby and Justin Russell Phone #: (607)846-0456

Mail to: Abby and Justin Russell  
840 Harris Hill Rd.  
Elmira, NY 14903

### SPECIFICATIONS

Type of System: Property Modification - addition of 1 bedroom (3 total)  
Prior STS permits: 02-118

No. of Bedrooms: 3 Soil Conditions: Clay Design Rate: 600 gal/day

Parcel size: 2.99 Acres Topography: Slight to moderate slope Drainage (depth to groundwater): Unknown

Soil Percolation Rate: >60 min/in (Test date: EST)

Drinking Water Supply: Well Surface Water, type: Neighboring Pond

**SEPTIC TANK:** Capacity: 1000 gal. Type: ☐ New ☒ Existing ☐ Replacement

Minimum distance from house: 10 ft. Minimum distance to well and/or surface water: 50 ft.

- Watertight concrete, fiberglass, polyethylene, or steel.
- **Septic Tank Covers shall always be accessible.**
- Where Manholes are more than 12" below final grade, an extension collar shall be provided over each opening.
- When covers are flush with ground surface they must be locked or otherwise be made inaccessible.
- **Installation of an effluent filter on septic tank is required.**

**NOTE: TWO-COMPARTMENT SEPTIC TANKS ARE REQUIRED.**

SEWER FROM TANK TO DISTRIBUTION BOX:

4" Schedule 40 PVC or SDR 35 PVC or equivalent. Tight joints. Minimum grade: 1/8" per foot.

**PRIMARY DISTRIBUTION BOX:** Number of outlets: 5 Minimum distance to well and/or surface water: 100 ft.  
Adjustable outlet flow equalizing devices are recommended.

**SAND FILTER:** 12 ft. wide by 45 ft. long. ☒ Standard construction ☐ Gravel-less Chambers (no reduction)

Min. distance to property line: 10 ft. Min. distance to well and/or surface water: 100 ft.

- Filter sand must be from an approved source.
- Washed aggregate required.
- *Call Chemung County Health Department for latest information on sources of filter sand (737-2019).*
- *Detail sheet for additional information available from the Chemung County Health Dept.*
- **DO NOT DRIVE OVER SAND FILTER DURING CONSTRUCTION.**

### DISPERSION TRENCH:

Excavation: Length: Unknown ft. Minimum Width: 2 ft. Min. Depth: 18 in.

- Solid pipe to be used between system and trench.
- Perforated pipe to be used in trench.
- Backfill and cover excavation with gravelly soil or stone.
- Pipe must be completely covered.

REMARKS: Current system designed for 3 bedroom home and consists of an unknown size dispersion trench as the downstream mound was waived due to lot size restrictions. Per town of Big Flats assessor, home currently has 2 bedrooms. Homeowners Abby and Justin Russell are adding 1 bedroom addition to home in a location that will not affect the current septic system nor the location of the future replacement. Any future system installed must meet all code specifications, without waivers (see Approval for Use of Existing Septic Systems letter). ATU to be installed as property is on private well and is less than 3 acres in size.

This Site Evaluation is an assessment of this particular parcel of land with the intention to observe conditions and characteristics of the soil, topography, ground water, surface water, and any other factors needed to determine if the parcel is suitable for construction of an onsite wastewater treatment system (OWTS). The specifications listed above are based on conditions and regulations effective at the time the Site Evaluation was conducted. This Site Evaluation specified OWTS.

CHEMUNG COUNTY HEALTH DEPT.  
ENVIRONMENTAL HEALTH SERVICES  
103 WASHINGTON STREET  
ELMIRA, NEW YORK 14902

RECEIPT		DATE	No.
RECEIVED FROM		5/16/18	030471
for Site eval at 840 Harmon Hill Rd, BF			
FOR RENT			
FOR Septic site eval			
ACCOUNT			
PAYMENT			
BAL. DUE			
<input type="radio"/> CASH			
<input checked="" type="radio"/> CHECK			
<input type="radio"/> MONEY ORDER			
<input type="radio"/> CREDIT CARD			
BY	FROM	TO	
		Acct	312.02
			\$135.00
			DOLLARS

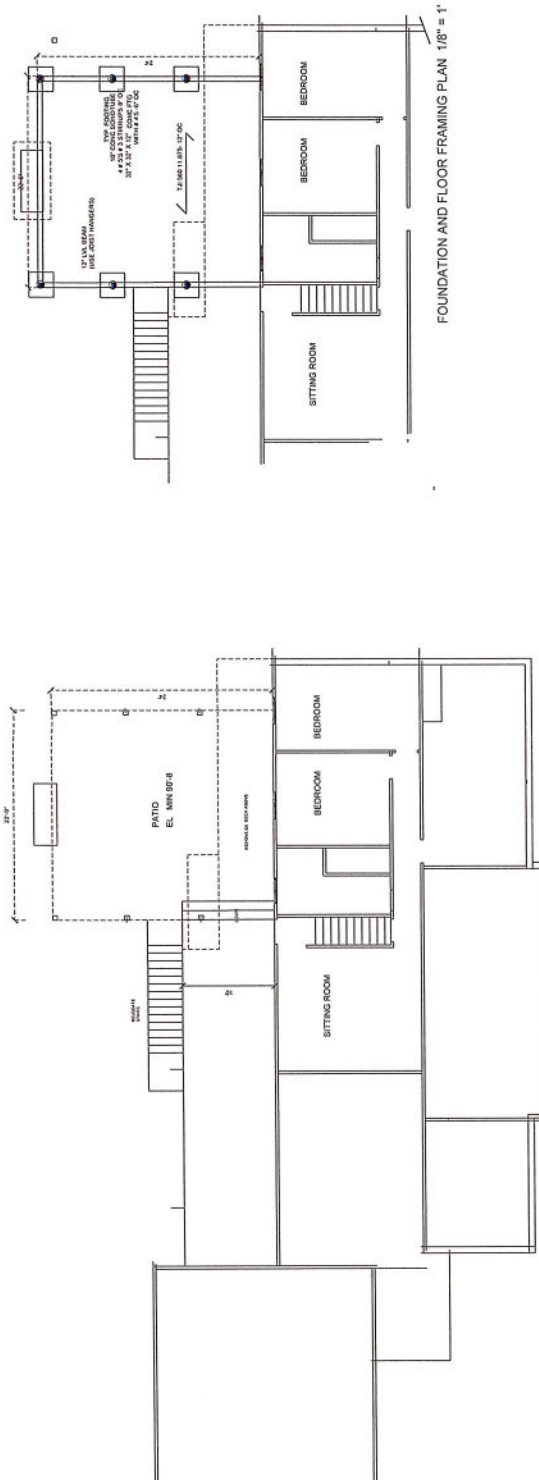




ANNE HERSH A.I.A. ARCHITECT  
2 W. MARKET ST., CORNING, NEW YORK  
T 607 962 7846 C 340 642 7407 E







FILE COPY

ELEVATIONS, FOUNDATION PLAN

ADDITION RUSSELL RESIDENCE  
840 HARRIS HILL ROAD, ELMIRA, NY 14903

ANNE WERSHALL ARCHITECT  
2 W. MARKET ST., CORNING, NEW YORK 14830  
T 607 962 7846 C 340 641 7407 awershall@aol.com

JUN 2, 2018  
JUN 2, 2018  
RECEIVED  
JUN 14 2018  
TOWN OF BIG FLATS  
PLANNING BOARD



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Big Flats

Referring Official: Tom Whispel Title: Code Enforcement

Address: 476 Maple Street

Phone Number: 562-8443 E-mail: twhispel@bigflatsny.gov

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Susan & William Cantando Phone: 731-7646 / 731-5140

Petitioner's Mailing Address: 107 Hibbard Rd E-mail: wcantando@hilliard  
Horseheads, NY 14845 corp.com

Location of Property: Same

Tax Map Parcel Number(s): 66.02-2-31.32

Current Zoning District: Business Neighborhood 2 (BN2)

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

Converting the existing barn into a catering & event facility.



**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_

☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): Hibbard Rd. CR17

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_)

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		8/7/2018, 9/4/2018
City Council		

Action taken on this application (reviewed, approved, discussed, etc.)

Preliminary approval

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**



**Town of Big Flats**  
Department of Planning

476 Maple Street  
Big Flats, NY 14814  
T: 607-562-8443  
<http://www.bigflatsny.gov>



## Site Plan Application

This application form is required as part of any request to process a planning action involving the review of a proposed Site Plan. In addition, the Town of Big Flats Municipal Code requires specific material to be submitted with this form. A copy of the applicable sections of the code are available upon request. It is the applicants responsibility to ensure that application package are complete and accurate.

**NOTE: AN INCOMPLETE APPLICATION CANNOT BE SCHEDULED FOR REVIEW**

**Preliminary Acceptance Date:** \_\_\_\_\_

**Final Approval Date:** \_\_\_\_\_ **Conditions** ☐ Yes ☐ No

**Name of Proposed Development:** Dairy Barn Event Center

**Applicant:**

**Name** Susan & William Cantando  
**Address** 107 Hibbard Rd  
Horseheads, NY 14845  
**Telephone** 731-7646 / 731-5140

**Plans Prepared by:**

**Name** Bergmann  
**Address** 2665 Corning Road  
Horseheads, NY 14845  
**Telephone** 607-333-3120



**Owner (If Different):**

**Name** \_\_\_\_\_  
**Address** \_\_\_\_\_  
**Telephone** \_\_\_\_\_

**Actions Requested**

- ☒ Site Plan Review  
☐ Site Plan Amendment  
☐ Area/Use Variance Requested (Additional Fees Apply)  
☐ Special Use/RLO Permit Required (Additional Fees Apply)

**Ownership Intentions:** ☐ Purchase ☐ Lease ☒ Other: Own

**Project Location:**

**Parcel ID:** 66.02-2-31.32  
**Address:** 107 Hibbard Rd  
Horseheads, NY 14845

**Other Permits Needed:** ☐ Dept. of Health - Water/Septic  
(all may not be applicable) ☐ Town of Big Flats DPW- Water

☐ Chemung County Sewer District

☐ NYSDEC- SPDES

☐ NYS/ACOE-Wetlands

☐ FAA

☐ NYSDOT

☒ Chemung County DPW-Driveway

☐ Town of Big Flats DPW-Driveway

☒ Town of Big Flats Building Permit

☐ Other: \_\_\_\_\_

**Current Zoning:** BN2

**Variance(s) Requested:** \_\_\_\_\_

**Proposed Use(s) of Site:** Catering Facility or Service

**Anticipated Construction Start Date:** Fall 2018

**Anticipated Completion Date:** TBD **Will Construction be Phased:** No

**Current Land Use of Site** (agricultural, commercial, residential, etc.): Commercial

**Character of Surrounding Lands** (agricultural, residential, wetlands, etc.): Residential, Commercial & Vacant

Estimated Cost of Proposed Improvement: \$ 25,000

**Estimated/Projected number of daily customers, employees, residents, etc.:**

Seasonal from April to October, anticipate use of facility 1-2 times per month. Number of customers varies depending on event.

**Estimate/Projected Hours of Operation:** 9AM - Midnight approximately 1-2 times per month

**Describe proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:**

- for residential buildings include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three- or more bedrooms) and number of parking spaces to be provided.
- for non-residential buildings, include total floor area and total sales area; number of automobile and truck parking spaces.
- other proposal structures.

(Use separate sheet if needed)

Proposed parking lot expansion to accomodate catering and event facility. Parking lot will contain 36 spaces including 2 handicapped

parking spaces and will be gravel surface. Project involves the construction of a 12'x20' deck and associated ramp and steps.

Additional use proposed is catering facility and catered events.

**APPLICATIONS WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT**

Check one: ☒

- ☒ Owner  
☐ Power of Attorney\*  
☐ Contract to Purchase\*  
☐ Official Agent\*  
☐ Other: \_\_\_\_\_

**FEE SCHEDULE**

**Residential: \$250.00\***

**Non-Residential: \$500.00\*\***

**Concept: \$200.00 (Fee goes toward full review)**

**\*add \$50.00 per 1,000 Sq. Ft. Gross Floor Area**

**\*\*add \$150.00 per 2,500 Sq. Ft. Gross Floor Area**

I hereby certify that the above information and accompanying documents are truthful and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses, at my expense, for preparation of necessary environmental, engineering and planning studies.

Legal Owner/Official Agent

Date

*Susan E. Cantano*  
Legal Owner/Official Agent

*7/19/18*  
Date

Applicant (If Different)

Date

**Department Use (only)**

Lead Agency: \_\_\_\_\_ Environmental Determination: \_\_\_\_\_

☐ Type I ☐ Type II ☐ Unlisted

**Final Plans Signed and Filed:** \_\_\_\_\_

Director of Planning Date

**Application Closeout Date:** \_\_\_\_\_

**Public Hearing:** ☐ Yes ☐ No **Date Advertised:** \_\_\_\_\_ **Date Conducted:** \_\_\_\_\_

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: Dairy Barn Event Center							
Project Location (describe, and attach a location map): 107 Hibbard Rd, Horseheads, NY 14845							
Brief Description of Proposed Action: Renovation of existing barn structure to be used for catered events. Project involves the construction of an additional gravel parking lot to the west of the existing structure.							
Name of Applicant or Sponsor: Susan & William Cantando		Telephone: 607-731-7646/607-731-5140 E-Mail: wcantando@hilliardcorp.com					
Address: 107 Hibbard Rd							
City/PO: Horseheads		State: NY	Zip Code: 14845				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Site Plan Approval - Town of Big Flats Planning Board			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? <span style="float: right;">1.18 acres</span> b. Total acreage to be physically disturbed? <span style="float: right;">_____ acres</span> c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">1.18 acres</span>							
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): Vacant <input type="checkbox"/> Parkland							

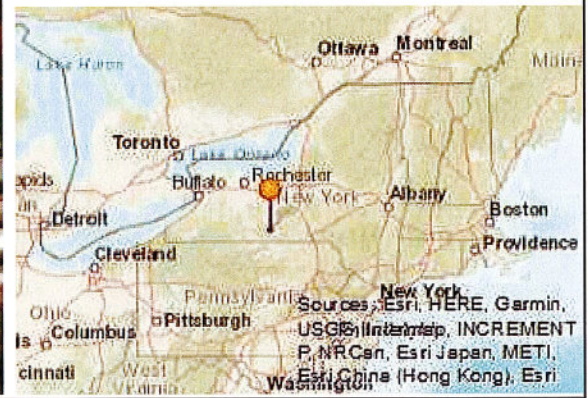


5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ No changes to existing water service	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ Temporary Restrooms will be utilized	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ No disturbance of wetlands. All wetlands are off-site	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	<b>NO</b>  <input checked="checked" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	<b>NO</b>  <input checked="checked" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	<b>NO</b>  <input checked="checked" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: _____ Date: <u>7/19/18</u></p> <p>Signature: _____</p>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No





2665 Corning Road / Horseheads, NY 14845  
607.795.1110 / 607.795.1444 fax  
www.bergmannpec.com

OWNER: CANTANDO REAL ESTATE LLC  
APPLICANT: SUSAN AND WILLIAM CANTANDO

107 HIBBARD ROAD  
BIG FLATS, NY 14814

DAIRY BARN CATERING FACILITY  
PRELIMINARY SITE PLAN

PROJECT CONTACT LIST

OWNER:  
CANTANDO REAL ESTATE LLC  
405 HIGHLAND AVE  
HORSEHEADS, NY 14845  
(607) 795-8667

APPLICANT:  
SUSAN AND WILLIAM CANTANDO  
107 HIBBARD ROAD  
BIG FLATS, NY 14814  
(607) 256-0052

CIVIL ENGINEER:  
BERGMANN  
2665 CORNING ROAD  
HORSEHEADS, NY 14845  
- CONTACT: ROBERT SHITALA  
- PHONE: 607.333.7156

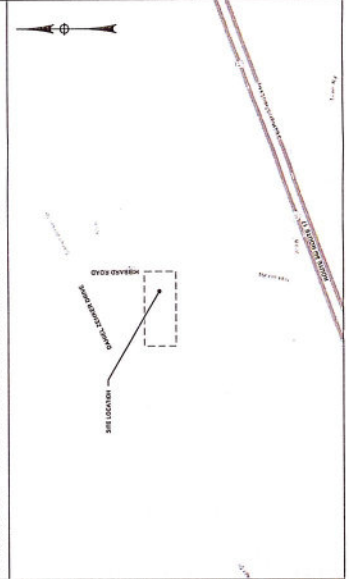
DRAWING INDEX

C000 COVER SHEET  
C001 EXISTING CONDITIONS AND DEMOLITION PLAN  
C002 SITE AND LANDSCAPE PLAN  
C003 GRADING PLAN  
C004 DETAILS

PROJECT LOCATION MAP: 1" = 300'



PROJECT TOPOGRAPHIC MAP: 1" = 300'



DATE DESCRIPTION



FILE



07/20/18

**DAIRY BARN  
CATERING FACILITY**

DAIRY BARN  
107 HIBBARD ROAD  
BIG FLATS, NY 14814

# DAIRY BARN

107 HIBBARD ROAD  
BIG FLATS, NY 14814



ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers,  
Landscape Architects & Surveyors, O.P.C.  
2205 Corning Road  
Horseshoe, NY 14845

Office: 807.795.1110  
Fax: 807.795.1464  
[www.borgmaninc.com](http://www.borgmaninc.com)

DATE	DESCRIPTION
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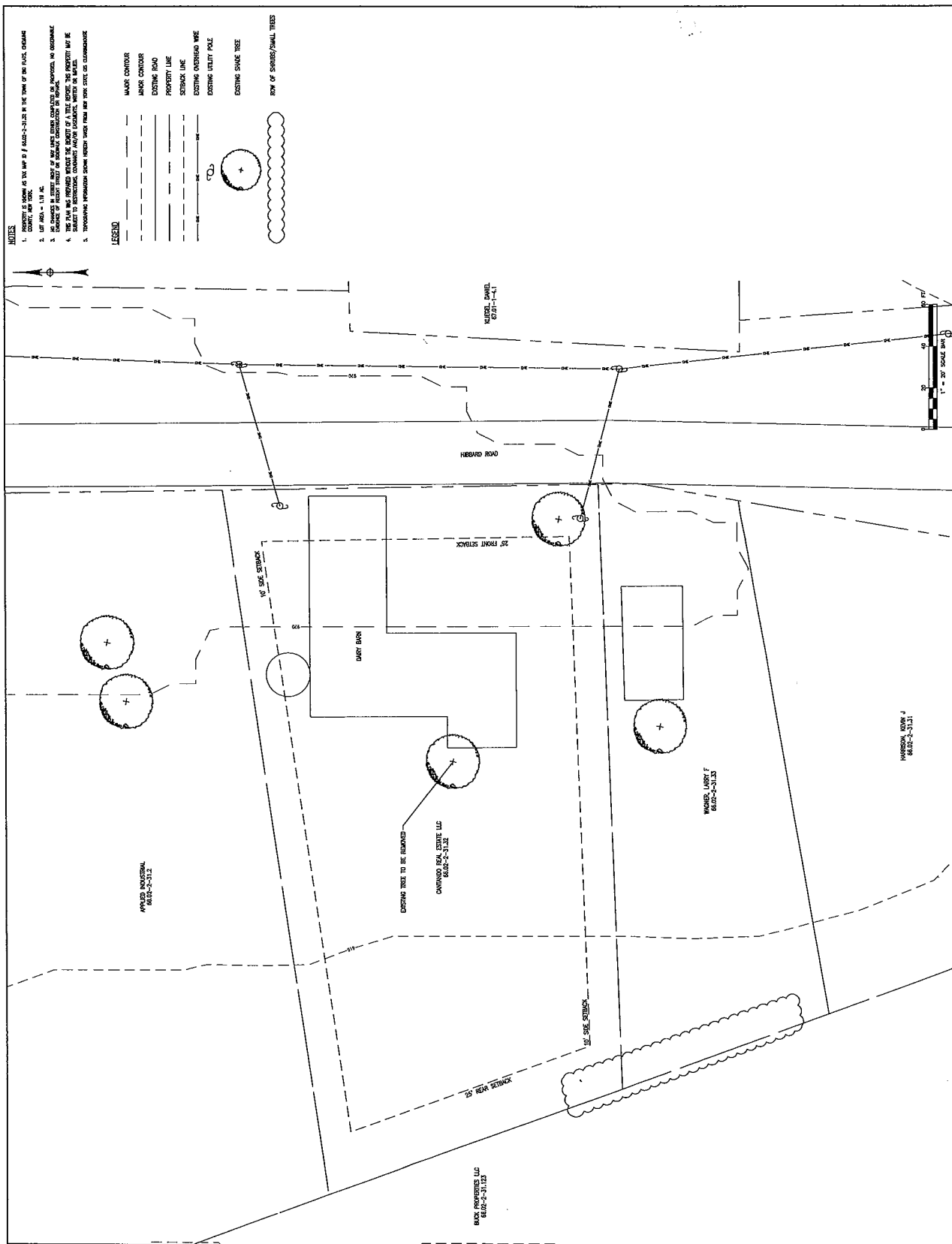
Copyright © Bergman Associates, Architects, Engineers,  
Landscapes Architects & Surveyors, P.C.

Percentage RPS	Comments RPS
Percentage H00	Percentage H00
Run Date	Report As Of

## EXISTING CONDITIONS PLAN

**COO1**

2 6 8

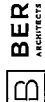


**DAIRY BARN  
CATERING FACILITY**

DAIRY BARN  
107 HIBBARD ROAD  
BIG FLATS, NY 14814

# DAIRY BARN

107 HIBBARD ROAD  
BIG FLATS, NY 14814



ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers,  
and Landscape Architects & Surveyors, D.P.C.  
5665 Cuming Road  
Bronx, NY 10465

Office 607.795.1110  
Fax: 607.795.1444  
[www.beigmanpc.com](http://www.beigmanpc.com)

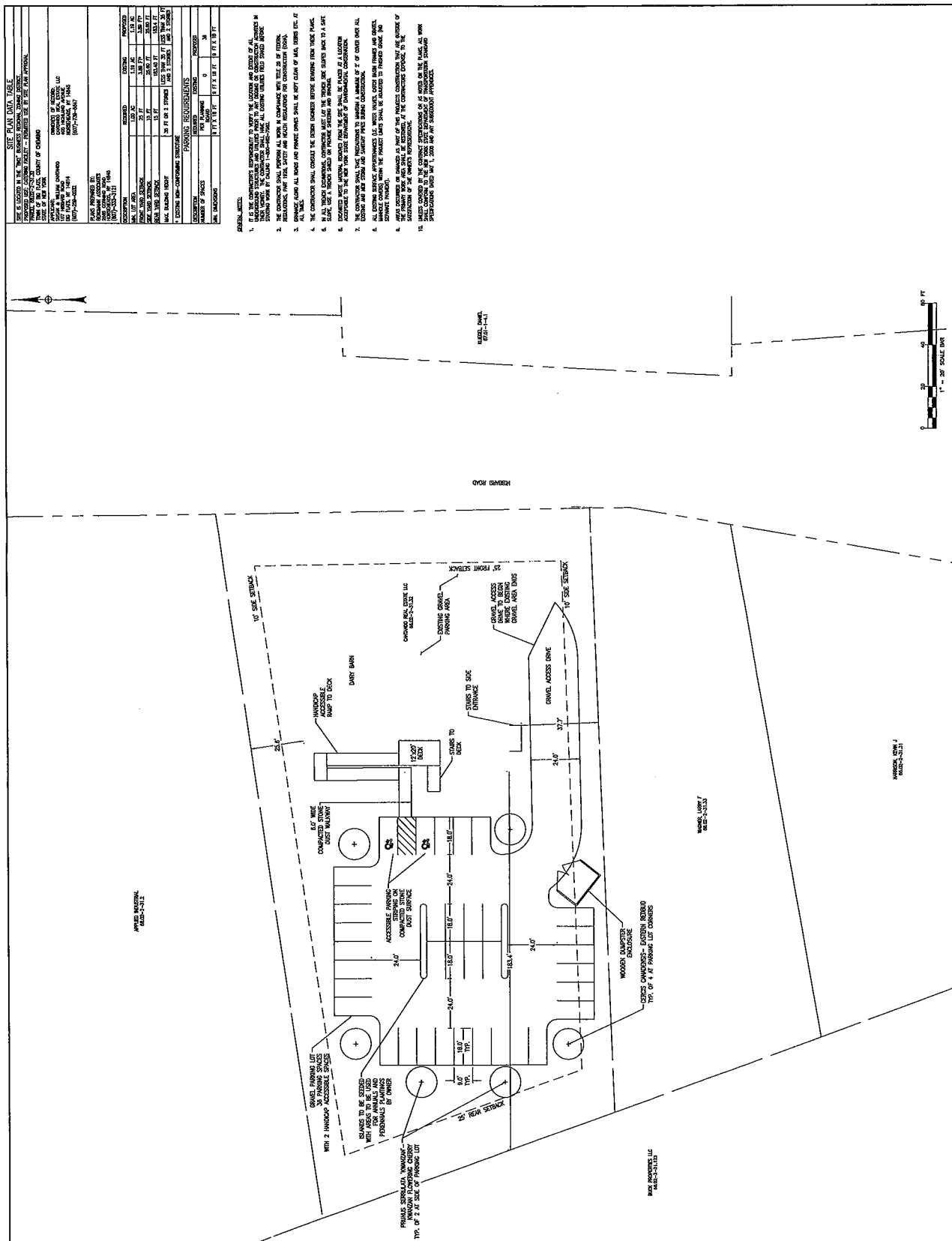
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Copyright © Bergmann Associates, Architects, Engineers.

<b>Patient Name</b>	<b>Clinical #</b>
995	895
<b>Treatment #</b>	<b>Treatment</b>
M00	M00
<b>Date Examined</b>	<b>Examiner's Initials</b>
01/26/78	

## SITE AND LANDSCAPE PLAN

C002





**DAIRY BARN  
CATERING FACILITY**

DAIRY BARN  
107 HIBBARD ROAD  
BIG FLATS, NY 14814

**DAIRY BARN**

107 HIBBARD ROAD  
BIG FLATS, NY 14814



ARCHITECTS ENGINEERS PLANNERS

Uergmann Associates, Architects, Engineers,  
Landscape Architects & Surveyors, D P C  
2685 Corning Road  
Horseheads, NY 14845

Office: 807.795.1110  
Fax: 807.795.1441  
[www.borpmancorp.com](http://www.borpmancorp.com)

DATE	DESCRIPTION
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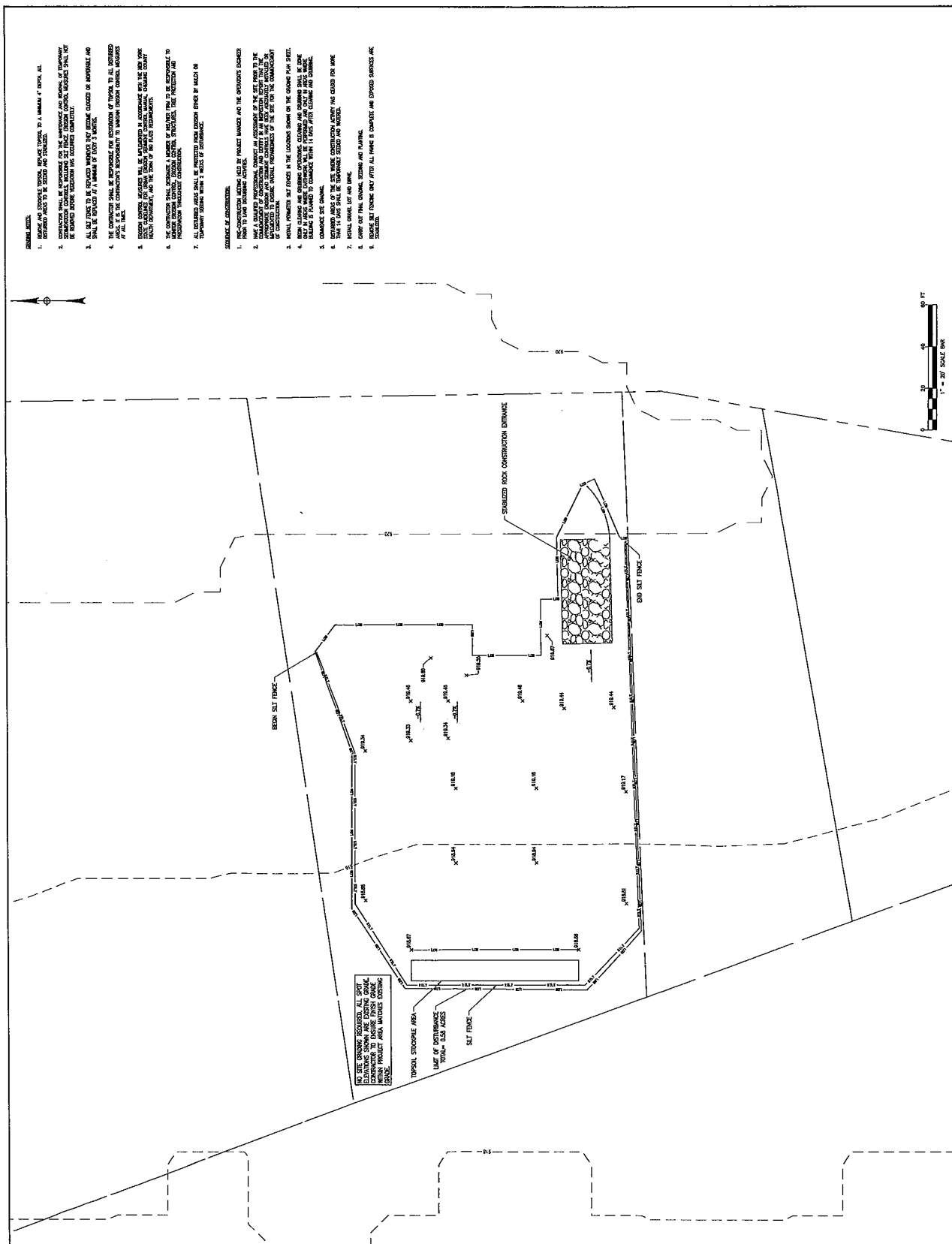


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Parameter	Value
Frequency	100
Amplitude	100
Phase	0
Offset	0
Units	deg

# GRADING AND EROSION CONTROL PLAN

**C-003**







## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Big Flats

Referring Official: Tom Whispe! Title: Code Enforcement

Address: 476 Maple Street

Phone Number: 562-8443 E-mail: twhispe!@bigflatsny.gov

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Delaware River Solar/Bergmann Engineers Phone: 607-333-3120

Petitioner's Mailing Address: 2665 Cornice Rd E-mail: rswitale@bergmannpe.com  
Horseheads, NY 14845 201 Chambers Rd.

Location of Property: \_\_\_\_\_

Tax Map Parcel Number(s): 47-1-33.1

Current Zoning District: Rural (RU)

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

Development of an approx. 4mw Solar farm



**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_

☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): Chambers Rd, CR 35

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_)

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		8/7/2018, 9/4/2018
City Council		

Action taken on this application (reviewed, approved, discussed, etc.)

Preliminary Approval

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**



# BERGMANN

ARCHITECTS ENGINEERS PLANNERS

Town of Big Flats  
Department of Building Inspections & Code Enforcement  
476 Maple Street  
Big Flats, NY 14814  
Attn: Brenda Belmonte



**RE: Delaware River Solar – Chambers Road Solar Farm Preliminary Site Plan Review**

Brenda;

On behalf of Delaware River Solar, enclosed please find a Preliminary Site Plan Review package for the development of an approximate 4 MW Solar Farm at 201 Chambers Road. The project is located within the Rural (RU) Zone, in which a major solar collection system is permitted under site plan approval and upon granting of a special permit by the Town Board. The following information has been provided as part of this submission:

- 10 reduced copies of the Chambers Road Solar Farm Preliminary Site Plans
- 3 Full size copies of the Chambers Road Solar Farm Preliminary Site Plans
- 10 copies of the signed Long EAF
- Site Plan Submission Checklist
- Check in the amount of \$300 made payable to Town of Big Flats for the Site Plan review fee

The proposed project involves the development of an approximate 4 MW solar farm facility located within an existing open field west of Chambers Road and north of Upson Road. The project has been designed to be in conformance with the recently adopted solar ordinance. The project proposes an evergreen screen barrier to be installed along the western and southern property boundaries to provide a visual screen for the adjacent residential dwellings. The existing trees located on the east side of the property along Chambers Road will remain with the only clearing being for the construction of the proposed access driveway. The development will have a 7' high perimeter fence with gate as required per the code.

The project will disturb less than 1 acre and therefore a SWPPP is not required. There will be no grading or earthwork associated with the solar panel construction. The panels will be installed on existing grade on a racking system that is supported by a steel pile driven into the ground. As a result, the post installation will result in minimal to no earth disturbance. Construction equipment required for installation of the panels on the racking system will be minimal. Earth disturbance will only occur for the construction of the driveway, equipment pads, underground electric trenching and posts. The existing field will be brush hogged prior to construction and mowed after construction. After construction is completed, access to the site will be minimal resulting in no increase in traffic volumes.

The applicant will adhere to and provide the required decommissioning items as outlined in the town code.



We would kindly ask that at the August 7<sup>th</sup> Planning Board meeting, the Board accept the application as a complete Preliminary Site Plan and process SEQR by declaring its intent to be lead agency on the Unlisted action with an uncoordinated review. We also request that the project be referred to the Chemung County Planning Board.

Should you have any questions or require any additional information, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert Switala'. The signature is fluid and cursive, with a large initial 'R'.

Robert Switala, PE  
PRINCIPAL, BERGMANN

Cc: George Reed, Delaware River Solar



Town of Big Flats  
Department of Planning

476 Maple Street  
Big Flats, NY 14814  
T: 607-562-8443  
<http://www.bigflatsny.gov>



Site Plan  
Application

This application form is required as part of any request to process a planning action involving the review of a proposed Site Plan. In addition, the Town of Big Flats Municipal Code requires specific material to be submitted with this form. A copy of the applicable sections of the code are available upon request. It is the applicants responsibility to ensure that application package are complete and accurate.

**NOTE: AN INCOMPLETE APPLICATION CANNOT BE SCHEDULED FOR REVIEW**

Preliminary Acceptance Date: \_\_\_\_\_  
Final Approval Date: \_\_\_\_\_ Conditions ☐ Yes ☐ No

Name of Proposed Development: Delaware River Solar - Chambers Road

**Applicant:**

Name Delaware River Solar  
Address 33 Irving Place, Suite 1090  
New York, NY 10003  
Telephone 917-750-1777

**Plans Prepared by:**

Name Bergmann Associates  
Address 2665 Coming Road  
Horseheads, NY 14845  
Telephone 607-333-3120

**Owner (If Different):**

Name Big Flats V, LLC  
Address 201 Chambers Road  
Horseheads, NY 14845  
Telephone \_\_\_\_\_

**Actions Requested**

- ☒ Site Plan Review  
☐ Site Plan Amendment  
☐ Area/Use Variance Requested (Additional Fees Apply)  
☐ Special Use/RLO Permit Required (Additional Fees Apply)

Ownership Intentions: ☐ Purchase ☒ Lease ☐ Other: \_\_\_\_\_

**Project Location:**

Parcel ID: 47-1-33.1  
Address: 201 Chambers Road  
Horseheads, NY

Other Permits Needed: ☐ Dept. of Health - Water/Septic  
(all may not be applicable) ☐ Town of Big Flats DPW- Water

☐ Chemung County Sewer District

☒ NYSDEC- SPDES

☐ NYS/ACOE-Wetlands

☐ FAA

☐ NYSDOT

☐ Chemung County DPW-Driveway

☐ Town of Big Flats DPW-Driveway

☒ Town of Big Flats Building Permit

☐ Other: \_\_\_\_\_

Current Zoning: RU - Rural

Variance(s) Requested: \_\_\_\_\_

Proposed Use(s) of Site: Solar Development

Anticipated Construction Start Date: Summer 2018

Anticipated Completion Date: TBD Will Construction be Phased: No

Current Land Use of Site (agricultural, commercial, residential, etc.): Agricultural

Character of Surrounding Lands (agricultural, residential, wetlands, etc.): Agricultural & Residential

Estimated Cost of Proposed Improvement: \$ TBD

Estimated/Projected number of daily customers, employees, residents, etc.:  
N/A

Estimate/Projected Hours of Operation: N/A

Describe proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

- for residential buildings include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three- or more bedrooms) and number of parking spaces to be provided.
- for non-residential buildings, include total floor area and total sales area; number of automobile and truck parking spaces.
- other proposal structures.

(Use separate sheet if needed)

Development of approximately 4MW AC Community Solar development.

APPLICATIONS WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Check one: ☒ ✓

- ☐ Owner  
☐ Power of Attorney\*  
☐ Contract to Purchase\*  
☒ Official Agent\*  
☐ Other: \_\_\_\_\_

**FEE SCHEDULE**

Residential: \$250.00\*

Non-Residential: \$500.00\*\*

Concept: \$200.00 (Fee goes toward full review)

\*add \$50.00 per 1,000 Sq. Ft. Gross Floor Area

\*\*add \$150.00 per 2,500 Sq. Ft. Gross Floor Area

I hereby certify that the above information and accompanying documents are truthful and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses, at my expense, for preparation of necessary environmental, engineering and planning studies.

Peter Dodge 5/18/18  
Legal Owner/Official Agent Date

Peter Dodge 5/18/18  
Legal Owner/Official Agent Date  
Applicant (If Different) Date

**Department Use (only)**

Lead Agency: \_\_\_\_\_ Environmental Determination: \_\_\_\_\_

☐ Type I ☐ Type II ☐ Unlisted

Final Plans Signed and Filed: \_\_\_\_\_  
Director of Planning Date

Application Closeout Date: \_\_\_\_\_

Public Hearing: ☐ Yes ☐ No Date Advertised: \_\_\_\_\_ Date Conducted: \_\_\_\_\_



## Site Plan Submission Checklist

Please fill all boxes as: complete, N/A or waiver requested

<u>Reference from Big Flats Zoning Law:</u>	<u>Complete:</u>	<u>Waiver Requested:</u>	<u>Notes:</u>
17.32.070 (A)(1): Area Map	X		See Cover Sheet and Area Parcel Map
17.32.070 (A)(1a): Proposed Lots	N/A		
17.32.070 (A)(1-b-i): Existing and Proposed Lots with Ownership	X		See area parcel map
17.32.070 (A)(1-b-i): Existing and Proposed Lots with Ownership	X		See area parcel map
17.32.070 (A)(1-b-ii): Existing and Proposed Uses	X		See area parcel map
17.32.070 (A)(1-b-iii): Existing and Proposed Districts	X		See area parcel map
17.32.070 (A)(1-b-iv): Existing and Proposed Roads	X		See area parcel map
17.32.070 (A)(1-b-v): Existing and Proposed Subdivisions	N/A		
17.32.070 (A)(1-b-vi): Existing and Proposed Easements	X		See Site Plan
17.32.070 (A)(1-b-vii): Existing and Proposed Structures	X		See Site Plan
17.32.070 (A)(1-b-ix): District boundaries including zoning, fire, school, sewer, and water	X		See area parcel map
17.32.070 (A)(1b-x): All Soil Classifications	X		Previously Submitted
17.32.070 (A)(2): Area Map of the Site Topography at a scale of not less than one inch to two thousand (2,000) feet, showing the entire proposed site area and the location of the lots for the proposed development	X		See Cover Sheet
17.32.070 (A)(3): A scaled site development map of the concept plan showing structures	X		See Site Plan



<u>Reference from Big Flats Zoning Law:</u>	<u>Complete</u>	<u>Waiver Requested</u>	<u>Notes:</u>
17.32.070 (A)(4a): Name, address, and telephone number of applicant	X		See Cover Sheet
17.32.070 (A)(4-b-i): Concise written description of the proposed purpose, nature, and magnitude of the use	X		See Cover Letter
17.32.070 (A)(4-b-ii): Concise written description of the projected time frame for the proposed development	X		See Cover Letter
17.32.070 (A)(4-b-iii): Notation of the acreage of the lot proposed for development	N/A		No Change
17.32.070 (A)(4-b-iv): Square footage of each proposed structure	X		See Site Plan
17.32.070 (A)(4-b-v): Proposal for the source of water supply and method for sewage disposal	N/A		
17.32.080 (A): Site Plan Application	X		Previously Submitted
17.32.080 (A)(4): Completed Environmental Assessment Form	X		See Long EAF
17.32.080 (A)(5): Supplemental engineering and technical reports as appropriate to the contents of the preliminary and final plans and required by the planning board	N		N/A - Disturbance under one acre
17.32.090 (B): Report and plan regarding any potential environmental impact associated with the proposed development	N/A		See Long EAF
17.32.090 (C): The mitigation offered or proposed for any environmental impact	N/A		
17.32.090 (D)(1): Title drawing, including name, address, and telephone number of applicant and the tax parcel number of the lot proposed for development	X		See Cover Sheet
17.32.090 (D)(2): North point, scale and date, all revision dates (month, day, and year)	X		See Site Plans
17.32.090 (D)(3): Boundaries of the development plotted to scale of not more than one hundred (100) feet to one inch on a survey map prepared by a <i>design engineer</i>	X		See Site Plans
17.32.090 (D)(4): Existing natural features such as watercourse, water body, wetland, wooded area and individual large trees and a notation of features to be retained	X		See Site Plans
17.32.090 (D)(5): Existing and proposed contours at intervals of not more than five feet of elevation	X		See Site Plans
17.32.090 (D)(6): Location of proposed use and the location, area and the height of all structures	X		See Site Plans

<u>Reference from Big Flats Zoning Law:</u>	<u>Complete</u>	<u>Waiver Requested</u>	<u>Notes:</u>
17.32.090 (D)(7): Location of all existing or proposed improvements, whether public or private, including roads, drives, internal drives, driveways, storm water management system, culverts, retaining walls, fences and easements	X		See Site Plans
17.32.090 (D)(8): Preliminary design of sewage disposal and water supply systems and location of such systems	N/A		
17.32.090 (D)(9): Location and design of all energy distribution facilities, including electrical, gas and solar energy system	X		See Site Plans
17.32.090 (D)(10): Location of any proposed buffer, barrier and landscaping	X		See Site Plans
17.32.090 (D)(11): Delineation of the extent of each residential area, description of dwelling unit type, and a calculation of the residential density in dwelling units per square foot for each such area			N/A No Residential Use
17.32.090 (D)(12): Location of each parking area and vehicle loading area, with access and egress to a drive, internal drive or driveway	X		See Site Plans
17.32.090 (D)(13): Location, design and size of all signs and outdoor lighting			N/A No Lighting
17.32.090 (D)(14): The approximate location and dimension of the area proposed for a neighborhood park or playground, or other recreation open space			N/A No Parks
17.32.090 (D)(15): Building orientation and site design for energy efficiency	N/A		
17.32.090 (D)(16): Grading plan and erosion control plan, including the description and location of control measures	X		See Site Plans
17.32.090 (D)(17): Location and design of a storm water management system	N/A		Disturbance under one acre
17.32.090 (D)(18): The lines and dimensions of any lot which is offered, or is to be offered, for dedication to a government for public use, with the purpose indicated thereon, and of any lot proposed to be reserved for the common use of the occupants of the proposed development			N/A
17.32.090 (E): A storm water management analysis and plan consistent with the requirements of The Standards for Storm Water Management in the town of Big Flats			N/A - Disturbance under one acre



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Chambers Road Solar Farm		
Project Location (describe, and attach a general location map): The proposed project is located on previously disturbed land and had been used for agricultural purposes.		
Brief Description of Proposed Action (include purpose or need): Delaware River Solar is proposing the development of a solar farm on approximately twenty-three (23) acres on a sixty-six (66) acre parcel of land formerly used for agriculture in the Town of Big Flats, Chemung County, New York. The purpose of the proposed project is to construct an approximately 4MW AC Community Solar development.		
Name of Applicant/Sponsor: Delaware River Solar c/o George Reed III		Telephone: 917.750.1777 E-Mail: george.reed@delawareriversolar.com
Address: 33 Irving Place, 10th floor		
City/PO: New York	State: New York	Zip Code: 10003
Project Contact (if not same as sponsor; give name and title/role):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:



## B. Government Approvals

**B. Government Approvals, Funding, or Sponsorship.** ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Big Flats Town Board - Special Use Permit	
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Big Flats Planning Board- Site Plan Approval and Special Use Permit	
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Chemung County - 239 referral & driveway permit	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

## C. Planning and Zoning

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>If Yes, complete sections C, F and G.</li> <li>If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYS Major Basins: Upper Susquehanna	
<hr/> <hr/> <hr/>	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
<hr/> <hr/> <hr/>	

### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Rural (RU)

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

### C.4. Existing community services.

a. In what school district is the project site located? Horseheads Central School District

b. What police or other public protection forces serve the project site?  
Big Flats Police Department and New York State Police Troop E- Zone 4

c. Which fire protection and emergency medical services serve the project site?  
Big Flats Volunteer Fire Department, Golden Glow Volunteer Fire Department, Guthrie Medical Services, and Arnot Health Center- Big Flats

d. What parks serve the project site?  
Barnes Hill Park and Pine Circle Park

### D. Project Details

#### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
Community Solar Farm

b. a. Total acreage of the site of the proposed action? 66.19± acres  
b. Total acreage to be physically disturbed? 0.98 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 66.19± acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases? ☐ Yes ☒ No  
i. If No, anticipated period of construction: 4 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes,	
i. Total number of structures _____ 0	
ii. Dimensions (in feet) of largest proposed structure: _____ 0 height; _____ 0 width; and _____ 0 length	
iii. Approximate extent of building space to be heated or cooled: _____ 0 square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <span style="float: right;"><input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____</span>	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>Earth fill</u>	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? <u>Excavation/ grading will be necessary in order to construct an access road.</u>	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> <li>• Volume (specify tons or cubic yards): <u>0 - earthwork will be balanced and kept on site</u></li> <li>• Over what duration of time? _____</li> </ul>	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____	
iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?

☐ Yes ☐ No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?

☐ Yes ☐ No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?

☐ Yes ☒ No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

☐ Yes ☒ No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project?

☐ Yes ☒ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

☐ Yes ☒ No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?

☐ Yes ☒ No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?

☐ Yes ☒ No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will line extension within an existing district be necessary to serve the project? _____</li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____	
If Yes:	
<ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____	
If Yes:	
i. How much impervious surface will the project create in relation to total size of project parcel? _____	
_____ Square feet or _____ acres (impervious surface)	
_____ Square feet or _____ acres (parcel size)	
ii. Describe types of new point sources. _____	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____	
<u>On-site surface water</u>	
<ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____</li> </ul>	
<ul style="list-style-type: none"> <li>• Will stormwater runoff flow to adjacent properties? _____</li> </ul>	
iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____	
If Yes, identify:	
i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____	
ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____	
iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____	
If Yes:	
i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____	
ii. In addition to emissions as calculated in the application, the project will generate:	
<ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend  
☐ Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_ ☐ Yes ☒ No

iv. Does the proposed action include any shared use parking? ☐ Yes ☒ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☒ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☒ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☒ No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐ Yes ☒ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐ Yes ☒ No

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l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ 8 a.m. - 5 p.m.
- Saturday: \_\_\_\_\_ 8 a.m. - 5 p.m.
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ N/A
- Saturday: \_\_\_\_\_
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_



<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p style="margin-left: 20px;"><u>Noise levels will increase during construction due to construction equipment during the hours of 8:00 a.m. - 5:00 p.m. Monday through Saturday.</u></p> <p style="margin-left: 20px;"><u>No significant impact with respect to noise is anticipated during operation.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>n.. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☒ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

#### E. Site and Setting of Proposed Action

##### E.1. Land uses on and surrounding the project site

###### a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- ☐ Urban ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☒ Rural (non-farm)
- ☐ Forest ☒ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

###### b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	0.41	+0.41
• Forested	7.92	7.64	-0.28
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	58.27	58.14	-0.13
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
\_\_\_\_\_

e. Does the project site contain an existing dam? ☐ Yes ☒ No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No  
If Yes:  
i. Has the facility been formally closed? ☐ Yes ☐ No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
\_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☒ No  
☐ Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
☐ Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☒ No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
\_\_\_\_\_



v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></li> <li>• Explain: _____</li> </ul>	
<b>E.2. Natural Resources On or Near Project Site</b>	
a. What is the average depth to bedrock on the project site? _____ 1.41 feet	
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site:	
Mardin channery silt loam, 8-15% slopes	31.2 %
Mardin channery silt loam, 2-8% slopes	23.0 %
Chenango channery silt loam, fans, 0 to 8 percent slopes	18.1 %
d. What is the average depth to the water table on the project site? Average: _____ 3± feet	
e. Drainage status of project site soils:	
<input checked="" type="checkbox"/> Well Drained:	54.2 % of site
<input type="checkbox"/> Moderately Well Drained:	_____ % of site
<input checked="" type="checkbox"/> Poorly Drained	7.7 % of site
f. Approximate proportion of proposed action site with slopes:	
<input checked="" type="checkbox"/> 0-10%:	48.7 % of site
<input checked="" type="checkbox"/> 10-15%:	37.9 % of site
<input type="checkbox"/> 15% or greater:	10.5 % of site
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes to either i or ii, continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
• Streams: Name 811-40	Classification C(T)
• Lakes or Ponds: Name _____	Classification _____
• Wetlands: Name Federal Waters, Federal Waters, Federal Waters,...	Approximate Size _____
• Wetland No. (if regulated by DEC) _____	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
j. Is the project site in the 100 year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
k. Is the project site in the 500 year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes:	
i. Name of aquifer: Principal Aquifer, Primary Aquifer	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Typical Northeast wildlife species: _____ Grey Squirrel _____</p> <p>Rabbit _____</p> <p>White-tailed Deer _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>i. If Yes: acreage(s) on project site? All of the twenty-two acre project site (22) is rated as highly productive soil.</p> <p>ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. CEAName: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
ii. Name: <u>Manning O.C. House</u>	
iii. Brief description of attributes on which listing is based: <u>A Building-Structure Inventory form was obtained, dated 09/25/1997. Said structure on or near the property that was originally used for agriculture.</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
	<input type="checkbox"/> Yes <input type="checkbox"/> No

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

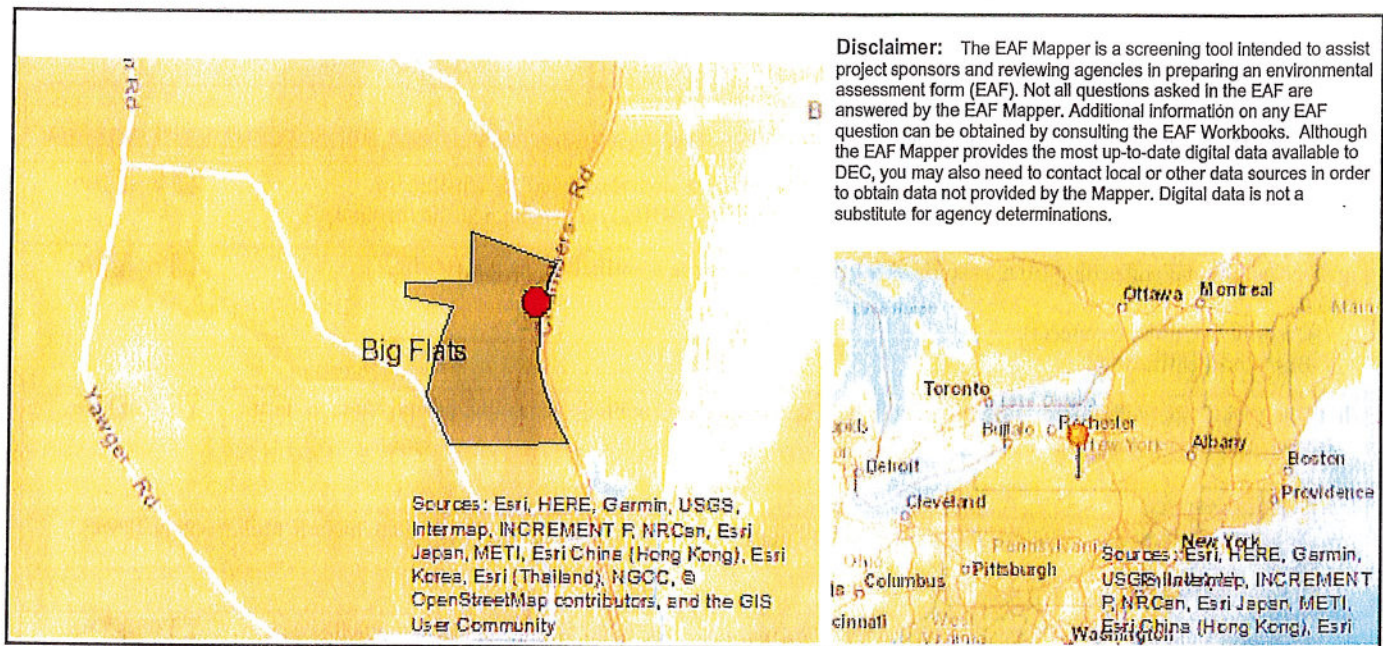
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name George Reed III Date 07/20/2018

Signature  Title Project Manager

for Danville River State





B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Major Basins: Upper Susquehanna
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	811-40
E.2.h.iv [Surface Water Features - Stream Classification]	C(T)
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d. [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**B** **BERGMANN**  
 ARCHITECTS ENGINEERS PLANNERS  
 2666 Caring Road // Horseheads, NY 14845  
 807.735.1110 / 807.735.1444 fax  
 www.bergmannpc.com

**OWNER: NY BIG FLATS V, LLC.**  
**APPLICANT: DELAWARE RIVER SOLAR**

201 CHAMBERS ROAD  
 BIG FLATS, NY 14845

CHAMBERS ROAD  
 SOLAR FARM PROJECT  
 PRELIMINARY SITE PLAN

**PROJECT CONTACT LIST**

**OWNER:**  
 - NY BIG FLATS V, LLC.  
 - 31 IRVING PLACE  
 - NEW YORK, NY 10003  
 - CONTACT: GEORGE REED III  
 - PHONE: 917.750.1777

**ARCHITECT:**  
 - TBD

**ELECTRICAL ENGINEER:**  
 - TBD

**APPLICANT:**  
 - DELAWARE RIVER SOLAR  
 - 10TH FLOOR  
 - 31 IRVING PLACE  
 - NEW YORK, NY 10003  
 - CONTACT: GEORGE REED III  
 - PHONE: 917.750.1777

**MECHANICAL ENGINEER:**  
 - TBD

**STRUCTURAL ENGINEER:**  
 - TBD

**CIVIL ENGINEER:**  
 - BERGMANN  
 - 2666 CARING ROAD  
 - HORSEHEADS, NY 14845  
 - CONTACT: ROBERT SMITH  
 - PHONE: 807.333.3726

**DRAWING INDEX**

C000 COVER SHEET  
 C001 GENERAL NOTES/LEGEND  
 C002 AREA PARCEL PLAN  
 C003 EXISTING CONDITIONS PLAN  
 C004 SITE PLAN  
 C005 EROSION AND SEDIMENTATION  
 CONTROL/GRADING PLAN  
 C006 - C008 DETAILS

**PROJECT LOCATION MAP: 1" = 1000'**



**PROJECT TOPOGRAPHIC MAP: 1" = 1000'**



DATE: DESCRIPTION:



PRELIMINARY  
 07/20/18  
 07273.00







NUMBER	TAX ID	PARCEL OWNER
1	47.00-1-13.21	Duggan, Thomas J
2	47.00-1-13.22	Larson, Michael J
3	47.00-1-16	Cook, John A
4	47.00-1-13.21	Atan, James B
5	47.00-1-13.21	Bradley, Douglas C
6	47.00-1-18.1	Woodward, Michael R
7	47.00-1-18.2	Slater, David B
8	47.00-1-17	Thompson, Sam
9	47.00-1-13.14	Thompson, Sam
10	47.00-1-13.2	Moran, David L

NUMBER	TAX ID	PARCEL OWNER
11	47.04-1-55.3	Patterson, Susan
12	47.04-1-55.3	Fried, John W
13	47.00-1-42.2	Bradford, David G
14	47.04-2-30	Reider, Patricia
15	47.04-2-40	McCarthy, Thomas P
16	47.04-2-40	Spicer, Paul A
17	47.04-2-42	Smith, Alan B
18	47.04-2-43	Buller, Anthony W
19	47.04-2-44	Likelihood, Elizabeth
20	47.00-1-31	Woodward, Michael

NUMBER	TAX ID	PARCEL OWNER
21	47.00-1-32.1	Von Nordstrom & Williams LLC
22	47.00-1-32.2	Bass, Robert H
23	47.00-1-34	Wilson, Robert F
24	47.00-1-33.212	Glennville, Lane E
25	47.00-1-35	Bass, Robert
26	47.00-1-36	Wilson, Robert F
27	47.00-1-37.1	Bass, Robert
28	47.00-1-38.3	Hepburn, Randy
29	47.00-1-38.4	Moran, Joseph J Jr



NOT TO SCALE  
ALL 2015 COUNTY SEWER PROJECTS TO BE DONE BY THE DATE THE DATE  
END DATE



# AREA PARCEL PLAN

C002



**B** BERGMANN  
ARCHITECTS ENGINEERS PLANNERS  
33 IRVING PLACE  
10TH FLOOR  
NEW YORK, NY 10003  
Tel: 212.512.1100  
Fax: 212.512.1101  
www.bergmann.com

**NY BIG FLATS V, LLC.**  
**CHAMBERS ROAD**  
**SOLAR FARM**  
**PROJECT**  
201 CHAMBERS ROAD  
BIG FLATS, NY 14845  
**DELAWARE RIVER**  
**SOLAR**











33 IRVING PLACE  
10TH FLOOR  
NEW YORK NY, 10003

2020 Caring Place  
 Lutheran Association, Architects, Engineers  
 Landscape Architects & Scientists, P.C.  
 Honesdale, NY 14855  
 office: 807.705.1110  
 fax: 807.705.1664  
 www.landscape.com

DATE	DESCRIPTION
------	-------------



20' DRIVEWAY (FMS)

15' SLOPE

2' SLOPE

1' SLOPE (FMS)

DRIVEWAY

CURB

GEOTEXTILE

Diagram illustrating a driveway section. The driveway is 20' wide (FMS). The slope is 15' high. The curb is 2' high. The slope is 1' high (FMS). The driveway is labeled "DRIVEWAY". The curb is labeled "CURB". The slope is labeled "SLOPE". The geotextile is labeled "GEOTEXTILE".

1" = 30' SCALE BAR

CONSTRUCTION NOTES:

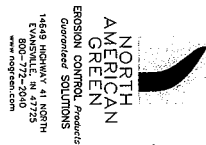
1. DRIVEWAY SHALL BE CONSTRUCTED OF 4 INCHES OF ASPHALT (PER SECTION 2.07.02) BASED ON CORNER, 3" STAKED PROFILES (ASTM D 690) MAXIMUM GIVE FLEXIBILITY.
2. THE DRIVEWAY SHOULD BE STIPPED OR TEXTURED AND TOPSOIL.
3. IF ANY SOFT SURFACE SOILS ARE ENCOUNTERED, THEY SHOULD BE REMOVED AND REPLACED WITH COMPACTED FILL. ALL UNDESIRABLE FILL MATERIAL SHALL PRODUCE A SIGN OF 3.0 OR GREATER.

C005

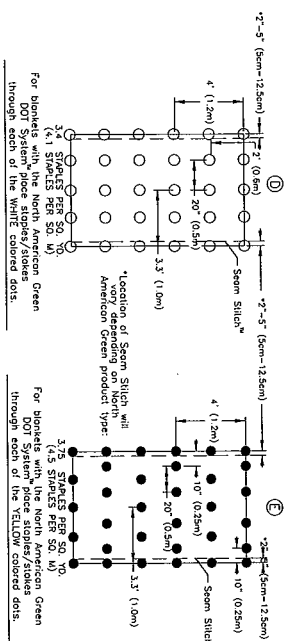
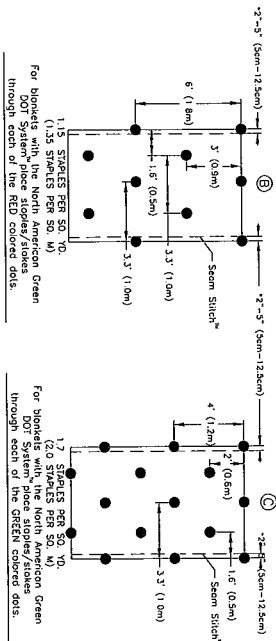
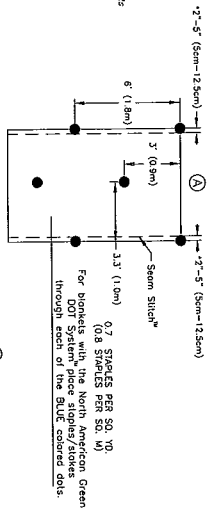


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Landscapes Architects & Surveyors, (Pty) Ltd

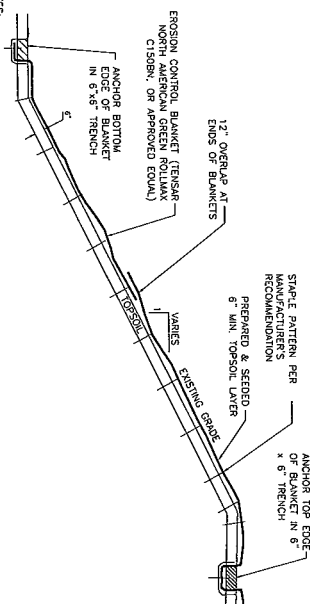
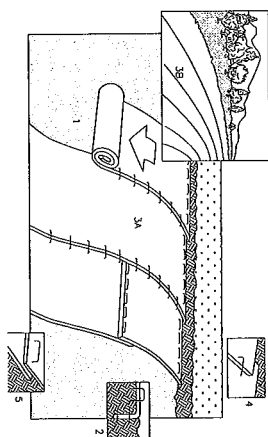
Product Description	Product No.
875	1975
Product No.	Product No.
Case	Case
Product Description	Product Description
875	1975



# DOT SYSTEM™ STAPLE PATTERN GUIDE



EROSION CONTROL BLANKET  
STAPLE PATTERN  
NO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 12" OVERLAP. STAPLE THROUGH OVERLAPED AREA, APPROXIMATELY 12" APART.
6. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL 3:1 OR STEEPER SLOPES WITH A MINIMUM OF 6 INCHES OF TOPSOIL.
7. REFER TO STAPLE PATTERN DETAIL FOR ADDITIONAL STAPLE INFORMATION.
8. THE USE OF FLEXIBLE GROWTH MEDIUM, BONDED FIBER MATRIX, OR POLYMER STABILIZED FIBER MATRIX, APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, IS AN ACCEPTABLE ALTERNATIVE TO THE USE OF EROSION CONTROL BLANKET.

EROSION CONTROL BLANKET  
NO SCALE

**NY BIG FLATS V, LLC.**  
CHAMBERS ROAD  
SOLAR FARM  
PROJECT  
201 CHAMBERS ROAD  
BIG FLATS, NY 14845

**DELAWARE RIVER  
SOLAR**

33 IRVING PLACE  
10TH FLOOR  
NEW YORK, NY 10003



Bergmann Architects Engineers Planners  
1000 Crossing Road  
Hawthorne, NY 10880

Date: 08/25/16  
Dwg: 007 725.1410  
www.bergmann-ny.com

DATE	DESCRIPTION



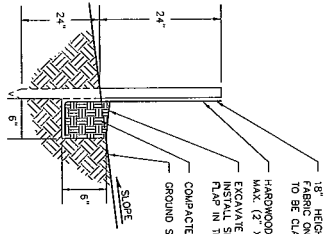
Engineer's Signature: [Signature]  
Professional Engineer, State of New York  
License No. 12345

DATE	DESCRIPTION
08/25/16	REVISED
08/25/16	REVISED

**DETAILS I**

**C006**





NOTES:

1. FENCE SHALL BE INSTALLED ON A LEVEL GRADE. EXTEND ENDS OF FENCING UPHILL SO BOTTOM OF FENCE IS AT AN ELEVATION ABOVE TOP OF FENCE.
2. SEDIMENT MUST BE REMOVED FROM SILT BARRIERS FENCING WHEN HEIGHT OF SILT REACHES A MAXIMUM OF 9" AGAINST SILT FENCE.
3. MAXIMUM SLOPE LENGTHS CONTRIBUTING TO SILT FENCE MUST NOT EXCEED THE LENGTH BELOW:

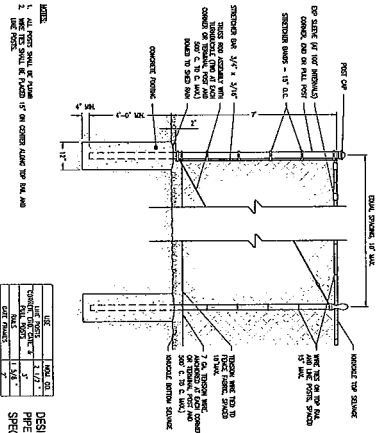
SLOPE	SLOPE LENGTH
< 3	250
< 5	100
< 10	50
< 20	25
< 25	20
< 30	15
< 50	10

4. FABRIC SHALL BE FASTENED TO POSTS WITH METAL FASTENERS AND REINFORCING MATERIAL PLACED BETWEEN THE FABRIC AND FASTENER.
5. SEDIMENT TRAPS SHALL BE INSPECTED WEEKLY AND AFTER EACH STORM EVENT. SILT FENCE WHICH HAS BEEN UNDERMINED OR OVERTOPPED SHALL BE REPLACED WITH A STONE FILTER OUTLET.

COMPONENT	MIN. SIZE	MAX. LENGTH	MAX. WEIGHT
COMPONENT 1: SILT FENCE	12' x 2' x 2'	12'	100 lbs
COMPONENT 2: SILT FENCE	12' x 2' x 2'	12'	100 lbs
COMPONENT 3: SILT FENCE	12' x 2' x 2'	12'	100 lbs
COMPONENT 4: SILT FENCE	12' x 2' x 2'	12'	100 lbs

SILT FENCE

NO SCALE

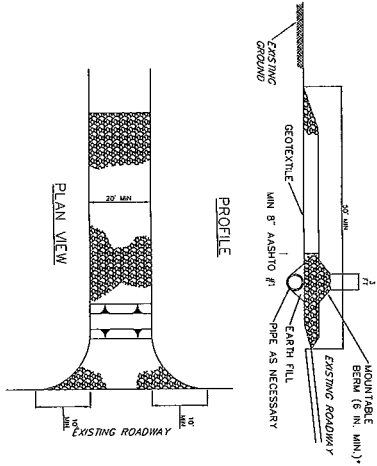


DESIGNER TO COORDINATE PIPE SIZES WITH SPECIFICATIONS

PIPE SIZE	PIPE WEIGHT
12"	100 lbs
10"	50 lbs
8"	25 lbs
6"	15 lbs
4"	10 lbs

CHAIN-LINK FENCE DETAIL

NO SCALE

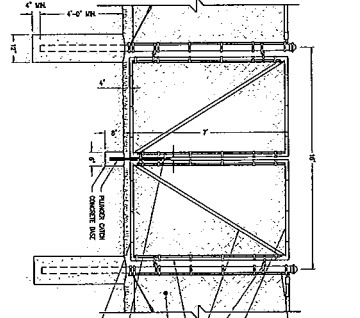


NOTES:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERGED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHENEVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER FOR SIZE OF DITCH BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE MAINTAINED TO THE SPECIFIED THICKNESS FOR THE DURATION OF THE PROJECT. ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO THE SPECIFIED THICKNESS FOR THE DURATION OF THE PROJECT. ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO THE SPECIFIED THICKNESS FOR THE DURATION OF THE PROJECT.

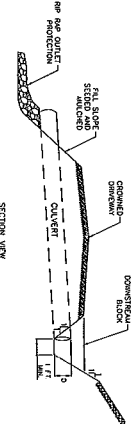
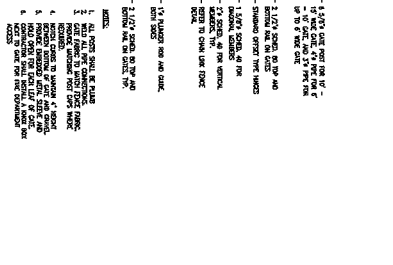
STABILIZED CONSTRUCTION ENTRANCE

NO SCALE



CHAIN-LINK FENCE GATE DETAIL

NO SCALE



NOTES:

1. ALL NOTES SHALL BE FURNISHED IMMEDIATELY UPON COMPLETION OF DESIGN. NOTES SHALL BE FURNISHED IMMEDIATELY UPON COMPLETION OF DESIGN. NOTES SHALL BE FURNISHED IMMEDIATELY UPON COMPLETION OF DESIGN.
2. THE CULVERT SHALL BE INSTALLED ON A LEVEL GRADE. EXTEND ENDS OF CULVERT UPHILL SO BOTTOM OF CULVERT IS AT AN ELEVATION ABOVE TOP OF CULVERT.
3. SEDIMENT MUST BE REMOVED FROM CULVERT FENCING WHEN HEIGHT OF SILT REACHES A MAXIMUM OF 9" AGAINST SILT FENCE.
4. MAXIMUM SLOPE LENGTHS CONTRIBUTING TO CULVERT FENCE MUST NOT EXCEED THE LENGTH BELOW:

CROSS CULVERT

NO SCALE

**NY BIG FLATS V, LLC.**  
CHAMBERS ROAD  
SOLAR FARM  
PROJECT  
201 CHAMBERS ROAD  
BIG FLATS, NY 14845

**DELAWARE RIVER  
SOLAR**

33 IRVING PLACE  
10TH FLOOR  
NEW YORK, NY 10003

**BERGMANN**  
ARCHITECTS ENGINEERS PLANNERS

Project Location: Delaware River Solar Farm, Big Flats, NY 14845  
Project No.: 002-202-1110  
Date: 08/20/2016  
Drawn by: [Name]  
Checked by: [Name]  
Reviewed by: [Name]

DATE: REVISION:



Engineer's Signature: [Signature]  
License No.: [Number]  
Expiration Date: [Date]

NO.	DATE	DESCRIPTION
1	08/20/2016	ISSUED FOR PERMIT
2	08/20/2016	REVISIONS
3	08/20/2016	REVISIONS
4	08/20/2016	REVISIONS
5	08/20/2016	REVISIONS
6	08/20/2016	REVISIONS
7	08/20/2016	REVISIONS
8	08/20/2016	REVISIONS
9	08/20/2016	REVISIONS
10	08/20/2016	REVISIONS

DETAILS II

**C007**

SOIL AMENDMENT		PER ACRE		PER 1,000		PER 1,000		NOTES
SEEDING	PERMANENT SEEDING	SEEDING	PERMANENT SEEDING	SEEDING	PERMANENT SEEDING	SEEDING	PERMANENT SEEDING	
SOIL AMENDMENT APPLICATION RATE EQUIVALENTS								
AGRICULTURAL LIME	6 TONS	240 LB.	240 LB.	2,400 LB.	2,400 LB.	24,000 LB.	24,000 LB.	ON A PER 500 YD. TON BASIS
10-10-20 FERTILIZER	1,000 LB.	25 LB.	25 LB.	250 LB.	250 LB.	2,500 LB.	2,500 LB.	ON A PER 500 YD. TON BASIS
AGRICULTURAL LIME	1 TON	40 LB.	40 LB.	400 LB.	400 LB.	4,000 LB.	4,000 LB.	ON A PER 500 YD. TON BASIS
10-10-20 FERTILIZER	500 LB.	12.5 LB.	12.5 LB.	125 LB.	125 LB.	1,250 LB.	1,250 LB.	ON A PER 500 YD. TON BASIS
COMPOST STANDARDS								
ORGANIC MATTER CONTENT		80% - 100% (DRY WEIGHT BASIS)		FIBROUS AND ELONGATED		5:5:80		ON A PER 500 YD. TON BASIS
ORGANIC POSITION		FIBROUS AND ELONGATED		5:5:80		35% - 55%		
PH		5.5 - 6.0		5:5:80		35% - 55%		
MOSTESTURE CONTENT		5:5:80		5:5:80		35% - 55%		
PARTICLE SIZE		5:5:80		5:5:80		35% - 55%		ON A PER 500 YD. TON BASIS
SOLUBLE SALT CONCENTRATION		5:5:80		5:5:80		35% - 55%		
SOLUBLE SALT CONCENTRATION		5:5:80		5:5:80		35% - 55%		
SOLUBLE SALT CONCENTRATION		5:5:80		5:5:80		35% - 55%		
MULCH APPLICATION RATES								
MULCH TYPE		PER ACRE		PER 1,000		PER 1,000		NOTES
MULCH TYPE		PER ACRE		PER 1,000		PER 1,000		
MULCH TYPE		PER ACRE		PER 1,000		PER 1,000		
MULCH TYPE		PER ACRE		PER 1,000		PER 1,000		
STRAW	3 TONS	140 LB.	140 LB.	1,400 LB.	1,400 LB.	14,000 LB.	14,000 LB.	ON A PER 500 YD. TON BASIS
HAY	3 TONS	140 LB.	140 LB.	1,400 LB.	1,400 LB.	14,000 LB.	14,000 LB.	ON A PER 500 YD. TON BASIS
WOOD CELLULOSE	1,500 LB.	35 LB.	35 LB.	350 LB.	350 LB.	3,500 LB.	3,500 LB.	ON A PER 500 YD. TON BASIS
WOOD	1,000 LB.	25 LB.	25 LB.	250 LB.	250 LB.	2,500 LB.	2,500 LB.	ON A PER 500 YD. TON BASIS
WOOD CHIPS	4 - 6 TONS	165 - 275 LB.	165 - 275 LB.	1,650 - 2,500 LB.	1,650 - 2,500 LB.	16,500 - 25,000 LB.	16,500 - 25,000 LB.	ON A PER 500 YD. TON BASIS

- [illegible]

**B**  
**BERGMANN**  
ARCHITECTS ENGINEERS PLANNERS

DATE	DESCRIPTION
	Landscape Architects & Surveyors, D.P.C. 2005 Corning Road Haverstraw, NY 10905  office: 847.705.1110 fax: 847.720.1444 www.brynmagne.com

DATE	DESCRIPTION
------	-------------



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Landscape Architects & Surveyors, D.P.C.

Name: <b>Theresa</b> 893 Assigned to: <b>Clark</b> My e-mail: 01/23/2018	Date: <b>1/18</b> 893 Assigned to: <b>Clark</b> My e-mail: 01/27/2018
---	--

### DETAILS III

**GOOD**



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)

[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Catlin

Referring Official: James Plate Title: Planning Board Chairman

Address: 1448 Chambers Road, Beaver Dams, NY 14812

Phone Number: 607-738-5668 E-mail: catlinplanning@gmail.com

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Melissa Ballard Phone: 256-424-2567 Cell

Petitioner's Mailing Address: 216 West Side Square, Huntsville, AL 35801 E-mail: melissa.ballard@broadwaygroup.net

Location of Property: 391 Rt.414

Tax Map Parcel Number(s): 16.00-1-82

Current Zoning District: Neighborhood Business

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

Dollar General Store. Contact Ms. Ballard to receive the Site Plan documents in the form needed for review. I have included Resolution 18-01 and 18-02, application, SEQR form, and NYSDOT documents we have received from the applicant.



**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

- ☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_
- ☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_
- ☒ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): Route 414
- ☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_
- ☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_
- ☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission	9/27/2018	8/23/2018 and 9/27/2018
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) See included documents

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**

**DRAFT RESOLUTION**  
**TOWN OF CATLIN PLANNING BOARD**  
**RESOLUTION 18-02**

Motion by:  
Seconded by:

**WHEREAS**, The Town of Catlin Planning Board has received an application from the Broadway Group for Site Plan Review for a Retail use (commercial building) as allowed for in Town of Catlin Zoning Local Law; and

**WHEREAS**, The Planning Board has determined this to be an Unlisted Action under 6NYCRR Part 617; and

**WHEREAS**, The Town of Catlin Planning Board has determined that this action may involve the following agencies:

1. NYS DOT
2. NYS DEC
3. Chemung County Health Department
4. Chemung County SWCD
5. Chemung County Planning Board
6. Any other agencies

now, therefore, be it

**RESOLVED**, That the Planning Board wishes to become the Lead Agency for the Broadway Group SEQRA review. While 617.6(b)(3)(i) allows for 30 calendar days to determine Lead Agency status, the Town of Catlin Planning Board requests that the above-named agencies respond no later than September 26, 2018 to allow us to process the Site Plan Review in a timely manner and

**RESOLVED**, That this resolution, a copy of the Site Plan Review Application, a copy of the preliminary plan, with or without conditions, and copy of the Short Environmental Assessment Form be sent to the above named agencies for their use in this matter

(Results):      Ayes:  
                     Nays:

**DRAFT**  
**TOWN OF CATLIN PLANNING BOARD**  
**RESOLUTION 18-01\_**

Motion by:  
Seconded by:

**WHEREAS**, the Broadway Group has applied for a Site Plan Review for a Retail Use, and

**WHEREAS**, The Planning Board has reviewed the application in accordance with Article 9.8 of Town of Catlin Zoning Local Law, and found the following:

- 1) Project has been found to be an Unlisted action for the purposes of the SEQRA review.
- 2) The Planning Board will conduct a Coordinated review and will request to become lead agent with the following involved agencies:
  - a) NYS DOT
  - b) NYS DEC
  - c) Chemung County Health Department
  - d) Chemung County SWCD
  - e) Chemung County Planning Board
- 3) The following items were considered:
  - a)
- 4) The following items will be required prior to action on the Final Plan:
  - a)
- 5) Any other items.

now, therefore, be it

**RESOLVED**, That the Planning Board <approves/with conditions/disapproves> the Preliminary Plan in accordance with Article 9.8 Zoning and

**RESOLVED**, That a public hearing for<applicant> Site Plan Application be scheduled for <date of next meeting> at 7 PM as required by Article 9.8.1 F Zoning and

**RESOLVED**, The Town of Catlin Planning Board requests to become the lead Agency for the SEQRA review of this project, see Resolution 18-02,and

**RESOLVED**, That copies of this resolution be provided to the applicant and Town Clerk.

(Results):      Ayes:  
                     Nays:



## Melissa Ballard

---

**From:** Puleo, Andrew (DOT) <Andrew.Puleo@dot.ny.gov>  
**Sent:** Friday, July 27, 2018 8:33 AM  
**To:** Melissa Ballard  
**Cc:** Curren, Allan J. (DOT); Willard, Denise L. (DOT)  
**Subject:** CTL# 67461  
**Attachments:** NYSDOT Region6 - Stormwater Policy.jpg

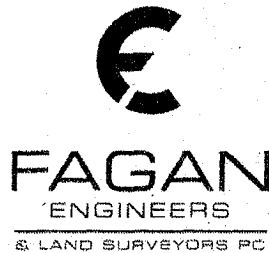
Hi Melissa,

**Re: Stage 2: (7-18-18 Submission)**  
**Broadway Group, Minor Comm. Drvwy., Rt. 414, Town of Cailtin (Beaver Dams)**

WE have completed our review of the 7-18-18 submission and require that the following items be addressed:

1. This permit application must comply with the NYSDOT Region 6 Stormwater Policy. A copy is attached.
2. Utility Plan, sheet C4: The lengths of pipe in the STORM SEWER PROFILE must match those in the plan view, or else describe why they are different.
3. PERM 33-COM, § 2.14 Plan Requirements, D. Existing and proposed drainage features: The "Provided" box for Driveway culverts was checked, but none were shown on the plans.
4. Provide truck turning templates.
5. Dual exit lanes will not be allowed, please revise the plans so as to depict (1) exit lane.

Thank you,  
A. Puleo  
607.324.8517



July 31, 2018

Andrew Puleo  
New York State Department of Transportation  
107 Broadway  
Hornell, NY 14843

RE: Beaver Dams Site  
Catlin (T), Chemung (Co), NY  
FE Project 2017.023-009

Dear Mr. Puleo:

This is our response to your comments provided on July 27, 2018 for the above-referenced project. The following is an item by item response, numbered in accordance with your original comments.

*C1 This permit must comply with the NYSDOT Region 6 Stormwater Policy. A copy is attached.*

**R1 The total land disturbance for this project equates to 0.91 acres. Therefore, a full SWPPP is not necessary. However, the Client has elected to manage all runoff created with the use of three interconnected drywells. Infiltration tests and a deep hole test have been conducted in the areas with proposed drywells to determine size and depth of the proposed drywells (see sheet C1 for testing locations). Due to the parking lot being at a lower elevation than the State road, there shall be no stormwater runoff to the State road or connecting to the State storm sewer system. All runoff in the front grassy area shall sheet flow to the south into the existing ditch line running along the property line. This ditch line then flows westerly and empties into Post Creek.**

*C2 Utility Plan, sheet C4: The lengths of pipe in the STORM SEWER PROFILE must match those in the plan view, or else describe why they are different.*

**R2 Please see sheet C4 for revision to the profile.**

*C3 PERM 33-COM, § 2.14 Plan Requirements, D. Existing and proposed drainage features: The "Provided" box for Driveway culverts was checked, but none were shown on the plans.*

**R3 Please see PERM 33-COM, § 2.14 Plan Requirements, D. Existing and proposed drainage features for revised selection.**

Page 2  
Mr. Andrew Puleo  
July 31, 2018

*C4 Provide truck turning templates.*

**R4 Please see sheet C16 for truck turning templates.**

*C5 Dual exit lanes will not be allowed, please revise the plans so as to depict (1) exit lane.*

**R5 Please see sheet C2 for revised drive exit layout.**

If you have any questions or comments, please feel free to contact me at (607) 734-2165, ext. 229.

Sincerely,

FAGAN ENGINEERS & LAND SURVEYORS, P.C.



Brian Grose, EIT  
Staff Engineer

L:\PROJECTS\2017\2017-023\009 Beaver Dams Site\WYSDOT\Response Letter 2018-07-30.doc



Town of Corning Building Department

1448 Chambers Road  
Beaver Dams, NY 14812  
(607)739-5598

**Site Plan Review**

**Property:**

**Location:** 391 St Rt 414

**Tax Map#:** 16.00-1-82

**Class:** 312

**Front:** 0.00 **Zone:**

**Depth:** 0.00 **Lot:**

**Acres:** 4.00 **Subdivision:**

**Owner:**

Smith, Patrick

PO Box 112

Corning, NY

**Applicant:** Smith, Patrick  
PO Box 112  
Corning, NY 14830  
( ) -

**STATUS:** APPROVED

**Fee:** 50.00

**Date Approved:** 07/16/18

**Date Expires:** 07/16/19

**Planning/Zoning#:** 18-0001

**Description of Need for Planning/Zoning Action:** Review of site plan for a commercial building

**Conditions/Notes:** Plans submitted by the Broadway Group LLC and Fagan Engineers

7/16/18  
Date

  
Bryan Hallgren, Code Enforcement Officer

Melissa Ballard  
256 - 424 - 2567 Broadway Group



**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

**General Location of Project:** The project is located roughly 3,440-FT south of Chambers Road, and roughly 4,180-FT northwest of the Dandy Mini-Mart located on NYS Route 414. Please see attached USGS Location Map for reference.

**Description of Present use of Property:** The lot is currently vacant and zoned as General Business.

**Description of Proposed use of Property:** The proposed use shall be a 9,100-SF retail store with 32 parking stalls.

**Statement of Ownership:** Pat Smith is the current property Owner. The Broadway Group is in the process of purchasing the property.

**Applicant's Opinion of Environmental Impact:** The project shall not have any environmental impacts on the adjoining properties. The parking lot is curbed with three dry wells collecting any storm-water.

**Statement Regarding Provisions for Water Supply and Sewage Disposal:** The project shall include a private well and a private sewage treatment system.



# LETTER OF TRANSMITTAL

Date: July 9, 2018  
FE Project Number: 2017.023-009

TO:  
Town of Catlin  
Brian Hallgren, Code Enforcement Officer  
1448 Chambers Road  
Beaver Dams, NY 14812

RE:  
Project Name: Beaver Dams Site  
Subject: Site Plan Application  
Municipality: Town of Catlin

Delivered Via: ☒ US Post ☐ Certified Mail ☐ Overnight Express ☐ Hand Delivered

We are sending you the following items: ☒ Enclosed ☐ Under Separate Cover via: \_\_\_\_\_

- ☐ Change Order ☐ Copy(s) of Letter ☒ Plans ☐ Prints ☐ Samples ☐ Shop Drawings  
☐ Specifications ☐ Other: \_\_\_\_\_

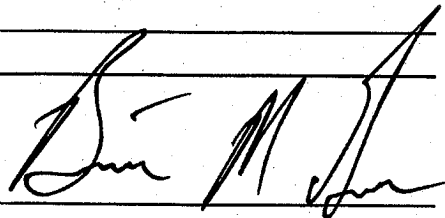
Copies	Date	Project No.	Description
1	7/09/2018	2017.023-009	Site Plan Application
1	7/09/2018	2017.023-009	Authorization Letter
1	7/09/2018	2017.023-009	SEQR Short Form
1	7/09/2018	2017.023-009	Full Size Site Plan Drawings

## THESE ARE TRANSMITTED AS CHECKED BELOW:

- ☐ For Approval ☐ Approved as Submitted ☐ Resubmit \_\_\_ Copies for Approval  
☒ For Your Use ☐ Approved as Noted ☐ Submit \_\_\_ Copies for Distribution  
☐ As Requested ☐ Returned for Correction ☐ Return \_\_\_ Corrected Prints  
☐ Review and Comment ☐ Other: \_\_\_\_\_  
☐ FOR BIDS DUE \_\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

NOTE: \_\_\_\_\_

COPY TO:  
File

SIGNED: 

*If enclosures are not as noted, kindly notify us at once.*


M:\Data Processing\GO\FE Forms\General Office\Standard Formats\Transmittal Letter (2016).doc

## DESIGNATION OF AUTHORIZED AGENT

I, Patrick H. Smith (Seller), have entered into a Sales Contract with Remlap Properties, LLC (The Broadway Group, LLC, assignee) for sale of a 3.84 acre parcel known as and described below in the Town of Catlin, Chemung County, NY:

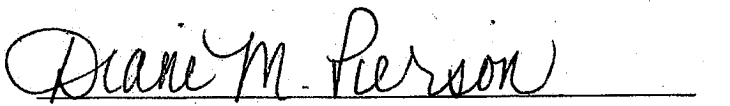
Tax Parcel # 16.00-1-82

Seller authorizes The Broadway Group, LLC, as assignee of Remlap Properties, LLC, to act as the Authorized Agent with the Town of Catlin (Town) to apply for Site Plan Approval as required by the Town and any and all other permits related to the development of this parcel for use as a single tenant retail store. This authorization allows The Broadway Group, LLC to apply for any and all permits that the Town, NYSDOT and NYSDEC determine to be needed in order to develop the subject property. These permits are required for The Broadway Group, LLC to purchase subject property.

  
Patrick H. Smith

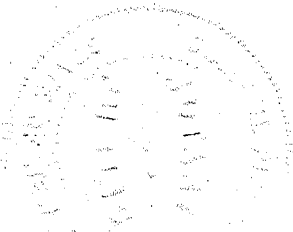
I, Diane M. Pierson, a Notary Public of the County of Steuben, State of New York, hereby certify that Patrick H. Smith, personally appeared before me this day and being duly sworn acknowledged that the above form was executed by her (him).

Witness my hand and notary seal, this 28<sup>th</sup> day of June, 2018.

  
My commission expires March 3, 2022

Notary Seal

DIANE M. PIERSON  
Notary Public, State of New York  
01PI6004422  
Qualified in Steuben County  
Commission Expires March 3, 2022



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

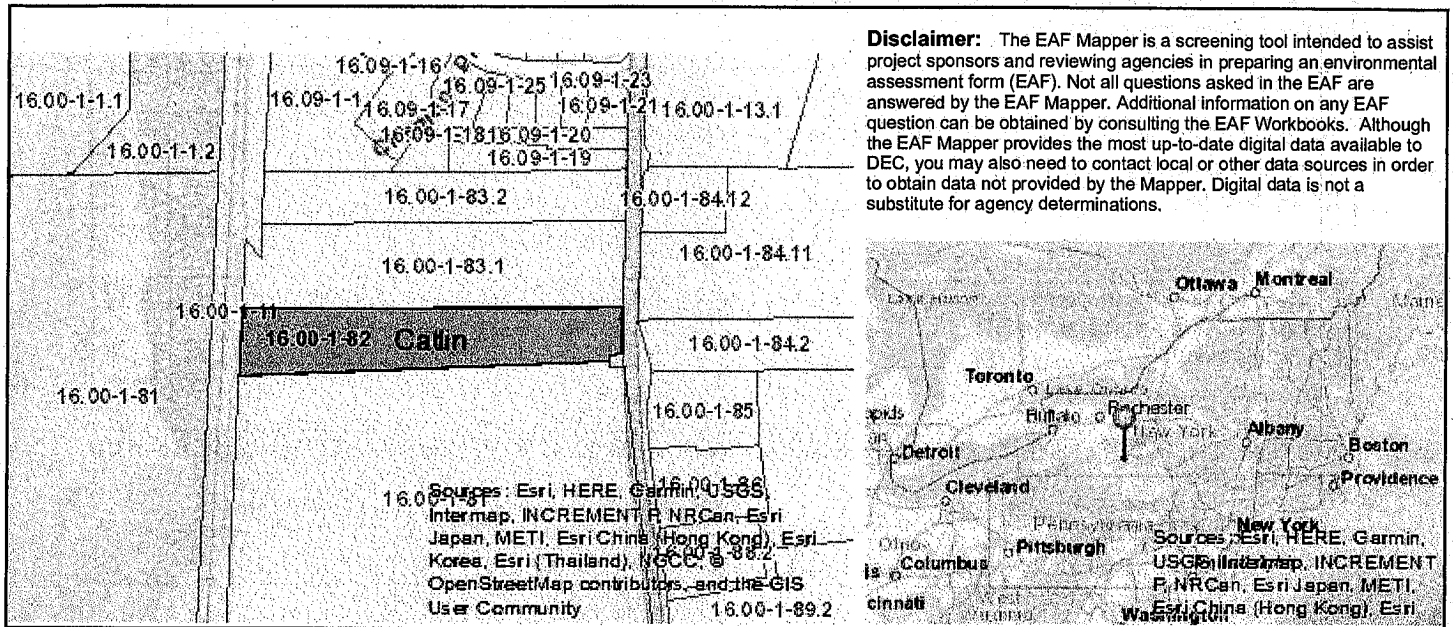
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Beaver Dams Site			
Project Location (describe, and attach a location map): 42.251421, -76.958180			
Brief Description of Proposed Action: The Client is proposing to build an 9,100 SF commercial building with 28 parkings stalls, loading area, dumpster area, private wastewater treatment system, and private potable water system/well.			
Name of Applicant or Sponsor: The Broadway Group, LLC		Telephone: 256-533-7287	
		E-Mail: melissa.ballard@broadwaygroup.net	
Address: 216 West Side Square			
City/PO: Huntsville		State: AL	Zip Code: 35801
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Catlin Planning Board - Site Plan Approval, Town of Catlin Zoning Board - , NYSDOT - Driveway Permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		4.00 acres	
b. Total acreage to be physically disturbed?		~0.89 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.00 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ The Client is proposing to drill a new private well for potable water	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ The Client is proposing to install a new wastewater treatment system.	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>The Broadway Group, LLC</u> Date: <u>7/2/18</u> Signature: <u>[Signature]</u> <u>Robert M. Broadway, Manager</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

Bryan Gross

x 237  
734 2165

**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

This Application has been developed by the Town of Catlin Planning Board for use by the Code Enforcement Officer and the Public. It is anticipated that the applicant will have become familiar with the Local Laws and Ordinances in the Town of Catlin.

Type of review requested: Subdivision/ Site Plan (Circle one)

Tax Parcel Number: 16.00-1-82

Name of Proposed Project: Beaver Dams Dollar General

Owners Name: Patrick Smith

Address: 395 NYS Route 414, Beaver Dams, NY 14812

Telephone Number: \_\_\_\_\_

Applicants Name: The Broadway Group, LLC

Address: 216 West Side Square, Huntsville, AL 35801

Telephone Number: 256-533-7287

On the back of this sheet please provide the following information:

General location of project:

Description of present use of property:

Description of proposed use of property:

Statement of ownership:

Applicant's opinion of environmental impact:

Statement regarding provisions for water supply and sewage disposal:

The information provided on this application as well as any information requested by the Catlin Planning Board is true and correct to the best of my knowledge. It will be used as the basis for approval, approval with conditions, or disapproval of this Application

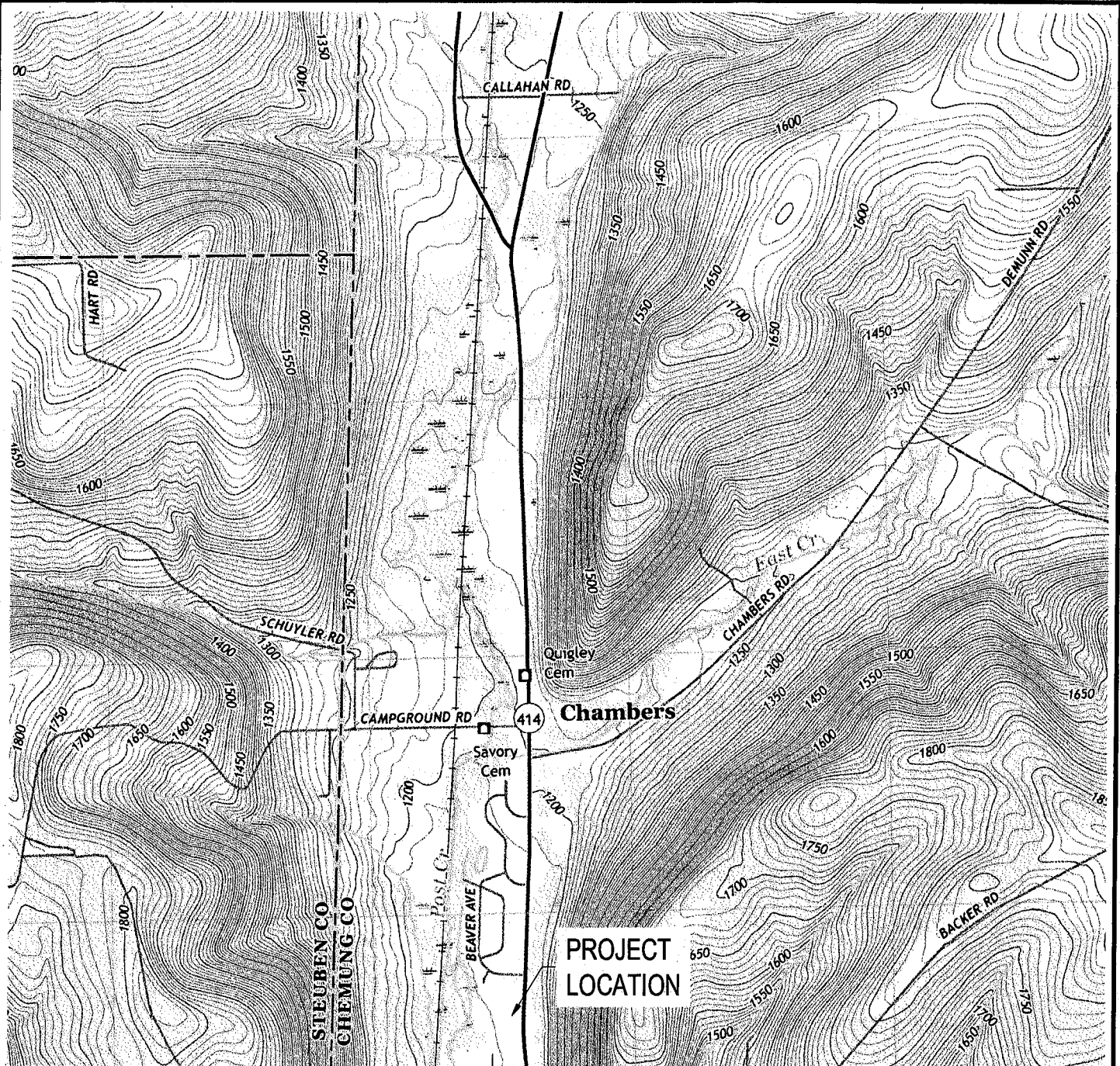
Owners Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant's Signature: \_\_\_\_\_ Date: 7/2/18

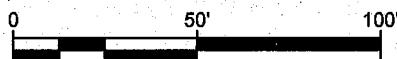
April 26, 2001

Page 1





USGS LOCATION MAP



**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC

113 East Chemung Place  
Elmira N.Y. 14904  
Phone (607) 734-2165  
Fax (607) 734-2169  
www.FaganEngineers.com

**The Broadway Group**  
**Beaver Dams Site**  
**Catlin (T), Chemung (Co.), NEW YORK**

Scale:	1" = 50'
Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
Project No.:	2017.023-009
Drawing Name:	17023.009-a.dwg

**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

Map or Plan Checklist

Tax Parcel Number: 16.00-1-82

Owners Name: Pat Smith

Applicants Name: The Broadway Group

Name of Proposed Project: Beaver Dams Site

Type of review; Concept Preliminary or Final (Circle one)

ITEM	REQUIRED	PROVIDED
1. Applicable fee collected		✓
2. Certified Survey		✓
3. Tax Parcel Number		✓
3. Scale not less than: (Circle one)		
A. Site Plan:		
i. Concept Plan: 1":2000'		
ii. Preliminary: 1":100'		
B. Subdivision:		
i. Concept: 1":200'		
ii. Preliminary: 1":50'		
4. Show Entire Parcel		
5. North Arrow		✓
6. Name of Project		✓
7. Owner or Applicant Name		✓
8. Existing Buildings		✓
9. Existing Streets		✓
10. Proposed Streets		
11. Existing Utilities		✓
12. Proposed Utilities		✓
13. Septic and Well Location		✓
14. Natural Features		
15. Contour Lines		✓
16. Rights of Way		✓
17. Existing Driveways		✓
18. Proposed Driveways		✓
19. All Proposed Signage (Refer to Section 10.7, Zoning Law)		✓
20. All Proposed Buffer, Landscaping, and Barrier (Refer to Section 10.23, Zoning Law)		✓
21. Existing Location of All Included Drainage Features		✓
22. Proposed Location of All Included Drainage Features		✓
23. Drainage System Details		✓
24. New Street(s) and Associated Ditch Cross Sections		
25. All Adjoining Property(s) Identified on Map		✓
26. Other Items: Use back of this Sheet		

**NOTE:** Site plan requires (12) paper copies of plan. Subdivision requires (12) copies of plan.

**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

ITEM	REQUIRED	PROVIDED
Other Items From 26 on Page 3		
A.		
B.		
C.		
D.		
E.		
F.		
G.		
H.		
I.		
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Y.		
Z.		

**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

**SEQR CONSIDERATIONS CHECKLIST**

Type of review requested: Subdivision/ Site Plan (Circle one)

Tax Parcel Number: 16.00-1-82

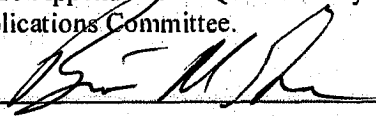
Project Name: Beaver Dams Site

Owners Name: Pat Smith

Applicant's Name: The Broadway Group

ITEM	YES	NO
1) Does this project involve development of more than 5 acres?		✓
2) Are there any DEC classified streams within 500 ft. of this project?		✓
3) Are there any wetlands within 500 ft. of this project?	✓	
4) Will any structure on this project exceed 4000 sq.ft. in area including all paved areas?	✓	
5) Will any structure on this project exceed 35 ft. in height at peak?		✓
6) Is this project within 500 ft. of any municipal water supply (well)?	✓	
7) Will this project create any hazardous waste or create an air or water discharge other than ordinary sewage disposal system?		✓
8) Are any of the thresholds exceeded as referenced in Sect.617.4 of 6NYCRR Part 617?		✓
9) Has there been any documented public controversy over this project?		✓
10) In the opinion of the preparer are there any environmental concerns other than those listed?		✓
a)		
b)		
c)		
d)		
11) Is this a: Type I Action/Type II Action/ or <u>Unlisted</u> Action( Circle one)		

Note: Any answer in the Yes column may require the completion of Part 617.20 Appendix A SEQR form. Part 617.20 Appendix C SEQR form may be used when determined by the Planning Board or Applications Committee.

Preparer's Signature: 

Date: 7/9/2018

Fagan Engineers + Land Surveyors, P.C.



**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

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**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

Final Checklist

Type of review requested: Subdivision Site Plan (Circle one)

Tax Parcel Number: 16.00-1-82

Project Name: Beaver Dams Site

Owners Name: Pat Smith

Applicant's Name: The Broadway Group

ITEM	REQUIRED	DATE COMPLETED
1) Application form( Pages 1 and 2)	✓	7/2/2018
2) General Location Maps		
a) Tax Map Extract		
b) USGS Topographical Map	✓	7/2/2018
3) SEQR Considerations Checklist( Page 5)		6/12/2018
a) Type of Action: I, II, <u>unlisted</u> (circle one)	✓	
b) SEQR Form 617.20 Appendix A		
c) SEQR Form 617.20 Appendix C		
4) Planning Map or Plat		
5) Map/Plan Checklist( Page 3)	✓	7/2/2018
6) Chemung County Health Department Disposal Permits	✓	
7) County Sewer District Permits		
8) Driveway Permits		
a) DOT	✓	
b) Chemung County Highway		
c) Town of Catlin Highway		
9) Approvals/Notifications		
a) Chemung County Planning Board		
b) Adjoining Town(s)		
c) DEC		
d) Others		
10) Storm Water Drainage Plan		
11) Water Department Letter		
12) Public Hearing		
13) Other Items		
a)		
b)		
c)		
d)		

Preparer's Signature: \_\_\_\_\_

Date: 7/9/2018

April 26, 2001

*Fagan Engineers & Land Surveyors, P.C.*

Page 7

**TOWN OF CATLIN**  
**APPLICATION FOR PLANNING BOARD REVIEW**

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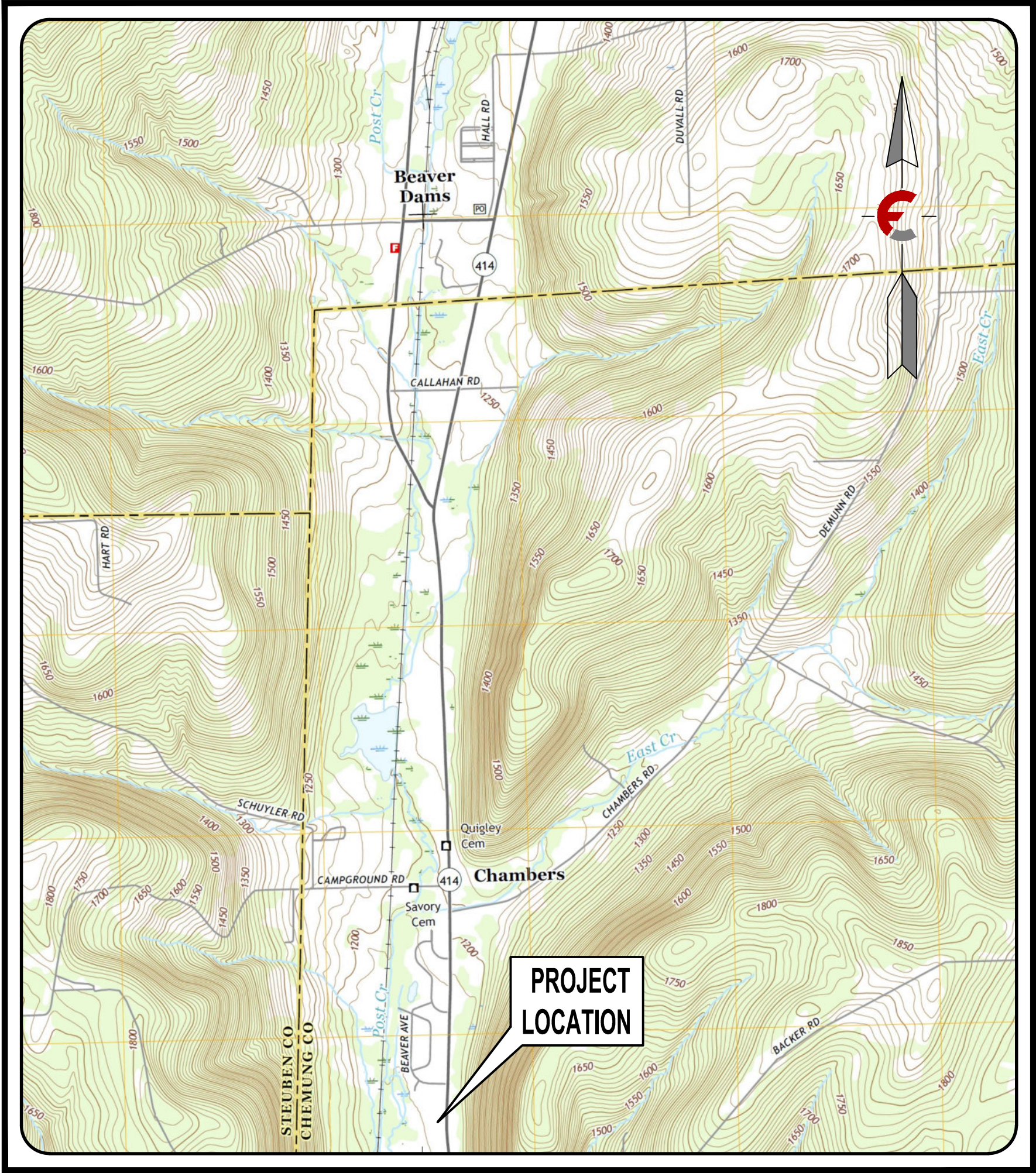


Project Drawings For

# The Broadway Group

# Beaver Dams Site

## Catlin (T), Chemung (Co.), NEW YORK



LOCATION MAP

JULY 2018  
LAST REVISED: AUGUST 29, 2018

PREPARED FOR:  
**The Broadway Group, LLC**  
216 West Side Square  
Huntsville, AL 35801

PREPARED LOCATION:  
**The Broadway Group**  
**Beaver Dams Site**  
NYS Route 414  
Beaver Dams, NY 14812

INDEX OF DRAWINGS	
NO.	TITLE
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	LANDSCAPING PLAN
C6	CIVIL DETAILS
C7	CIVIL DETAILS
C8	WASTEWATER TREATMENT DETAILS
C9	WASTEWATER TREATMENT DETAILS
C10	E & S PLAN
C11	E & S DETAILS
C12	NYSDOT WORK ZONE DETAILS
C13	NYSDOT WORK ZONE DETAILS
C14	NYSDOT WORK ZONE DETAILS
C15	NYSDOT WORK ZONE DETAILS
C16	TRUCK ACCESS DETAILS



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Rev.	Date	Revision Description
3.	8/27/18	Town of Catlin PB Comments
2.	8/15/18	Chemung Co. Health Dept. Comments
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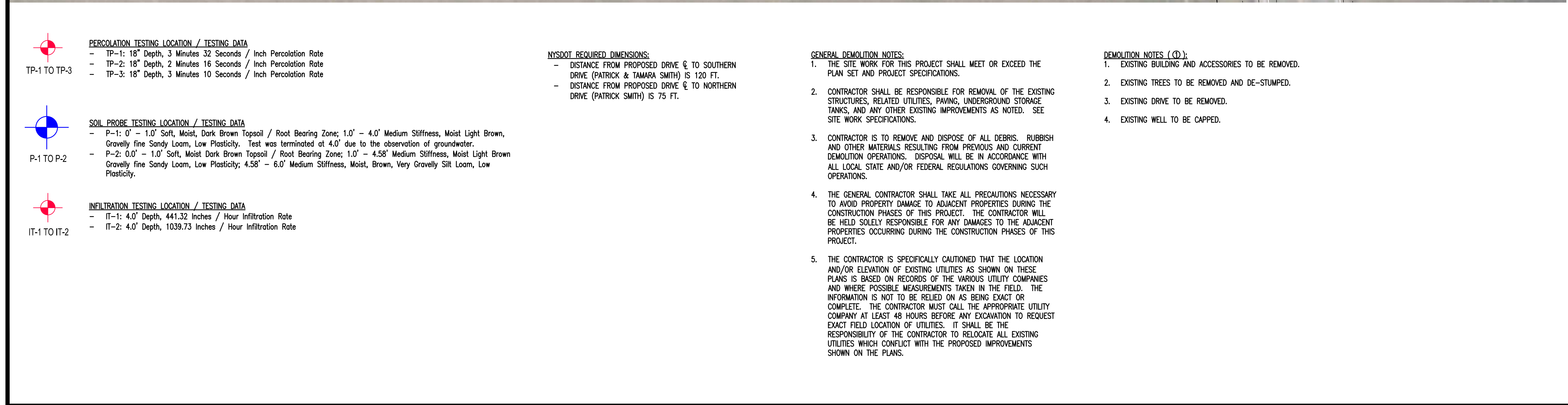
**The Broadway Group**  
**Beaver Dams Site**  
Catlin (T), Chemung (Co.), NEW YORK

**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC  
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Scale:	As Noted
Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
Project No.:	2017.023-009
Drawing Name:	17023.009-a.dwg

TITLE  
**CO**





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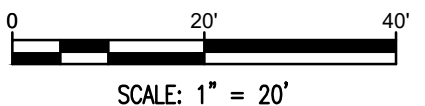




LEGEND	
---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING EDGE OF ROADWAY
---	EXISTING CURB LINE
---	EXISTING SANITARY SEWER
---	EXISTING GAS MAIN
---	EXISTING UTILITY LINE
---	EXISTING FENCE LINE
---	EXISTING WATER LINE
---	EXISTING CONTOUR LINE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED CONTOUR LINE
---	PROPOSED EASEMENT
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---	PROPOSED SILT FENCE
---	PROPOSED COMPOST SOCK
---	EXISTING SANITARY MANHOLE
---	EXISTING FIRE HYDRANT ASSEMBLY
---	EXISTING CLEANOUT
---	EXISTING LAMP POST
---	EXISTING SPOT ELEVATION
---	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER VALVE
---	PROPOSED THRUST BLOCK
---	PROPOSED FIRE HYDRANT ASSEMBLY
---	PROPOSED CLEANOUT
---	PROPOSED LIGHTING FIXTURE
---	PROPOSED SPOT ELEVATION
---	PROPOSED DRYWELL
---	PROPOSED CATCH BASIN
---	PROPOSED INLET PROTECTION

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Dig Safely New York  
(non-members must be contacted separately)



ESTIMATED SITE QUANTITIES		
DESCRIPTION	QUANTITY	UNIT
CONCRETE SIDEWALK	1,490	SF
ASPHALT CURB	200	SF
STANDARD DUTY ASPHALT PAVING	3,615	SF
HEAVY DUTY ASPHALT PAVING	14,555	SF
HEAVY DUTY CONCRETE PAVING	810	SF
ESTIMATED R.O.W. QUANTITIES		
DESCRIPTION	QUANTITY	UNIT
STANDARD DUTY ASPHALT PAVING		SF
HEAVY DUTY ASPHALT PAVING	800	SF
PARKING RATIO		
	BUILDING SQ. FT.	REQUIRED
TOTAL	9,026	32
REQUIRED PARKING RATIO	3.5 PER 1,000 SQ. FT. OF TOTAL AREA	32

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

- GENERAL UTILITY NOTES:
- ALL WATER LINES SHALL BE TYPE K COPPER WITH 5" MIN. COVER.
  - ALL BUILDING SANITARY SEWER LINES SHALL BE SDR-35 PVC WITH 4" MIN. COVER. ALL MAIN SANITARY SEWER LINES SHALL BE SDR-35 PVC WITH 4" MIN. COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN, OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM FAGAN ENGINEERS & LAND SURVEYORS, P.C. AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. FAGAN ENGINEERS & LAND SURVEYORS, P.C. AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER THE TYPICAL PIPE TRENCH DETAIL ON SHEET C7. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER THE TYPICAL PIPE TRENCH DETAIL ON SHEET C8.
  - FOR LIGHTING REQUIREMENTS SEE ES1.

- GENERAL SITE NOTES:
- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - ALL CURB RETURN RADI SHALL BE 3' OR 10'. AS SHOWN TYPICAL ON THIS PLAN UNLESS OTHERWISE NOTED.
  - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING DETAILS ON SHEET C6 OVER THE ENTIRE CUSTOMER PARKING LOT AREA AND OVER ALL TRUCK AND DELIVERY APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER THE ACCESSIBLE PARKING DETAILS ON SHEET C6.
  - ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER THE TYPICAL SIGN INSTALLATION DETAIL ON SHEET C7.
  - ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER THE ACCESSIBLE PARKING SIGN DETAIL ON SHEET C6.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH LOCAL JURISDICTION IF A PHYSICAL MAILBOX IS REQUIRED. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION, PLACEMENT, AND INSTALLATION.
  - DRIVEWAY CONSTRUCTION WITHIN ROAD RIGHT-OF-WAY SHALL ME JURISDICTIONAL REQUIREMENTS.
  - WATER WELL DESIGN FROM LICENSED INSTALLED SHALL BE PROVIDED FOR OWNERS REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - ALL WORK ZONE TRAFFIC CONTROLS SHALL CONFORM TO THE 2009 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE CURRENT NEW YORK STATE SUPPLEMENT, NYSDOT STANDARD SPECIFICATIONS, NYSDOT STANDARD SHEETS, AND NYSDOT WORK ZONE TRAFFIC CONTROL MANUAL DATED JANUARY 2012.
  - PROPOSED STOP BAR PAVEMENT MARKINGS AND STOP SIGN SHALL NOT BE INSTALLED WITHIN NYSDOT RIGHT-OF-WAY.
  - SIDEWALK AND CURB RAMPS TO BE DESIGNED/CONSTRUCTED TO NYSDOT STANDARD SPECIFICATIONS AND BE ADA COMPLIANT.



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Scale:	1" = 20'
Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
Project No.:	2017-023-009
Drawing Name:	17023.009-a.dwg

**SITE PLAN**

**C2**







- SANITARY SEWER ELEVATIONS:**
- 1,000 GALLON SEPTIC TANK INLET INVERT 1177.23
  - 1,000 GALLON SEPTIC TANK OUTLET INVERT 1177.06
  - 5 FEET OF 4-INCH GRAVITY SEWER SLOPED AT 2% 0.10 FT
  - 500 GALLON PUMP TANK INLET INVERT 1176.96
  - 500 GALLON PUMP TANK OUTLET INVERT 1176.79
  - 4-HOLE DISTRIBUTION BOX INLET INVERT 1179.83
  - 4-HOLE DISTRIBUTION BOX OUTLET INVERT 1179.67
  - SEE SHEET C8 FOR LATERAL ELEVATIONS

**GENERAL STORMWATER NOTES:**

1. TOTAL LAND DISTURBANCE EQUATES TO 0.98 ACRES. NO STORMWATER MANAGEMENT PRACTICES ARE NECESSARY FOR THIS PROJECT. THE CLIENT WILL STILL FOLLOW ALL EROSION & SEDIMENT CONTROL PRACTICES DURING THE CONSTRUCTION PHASE.

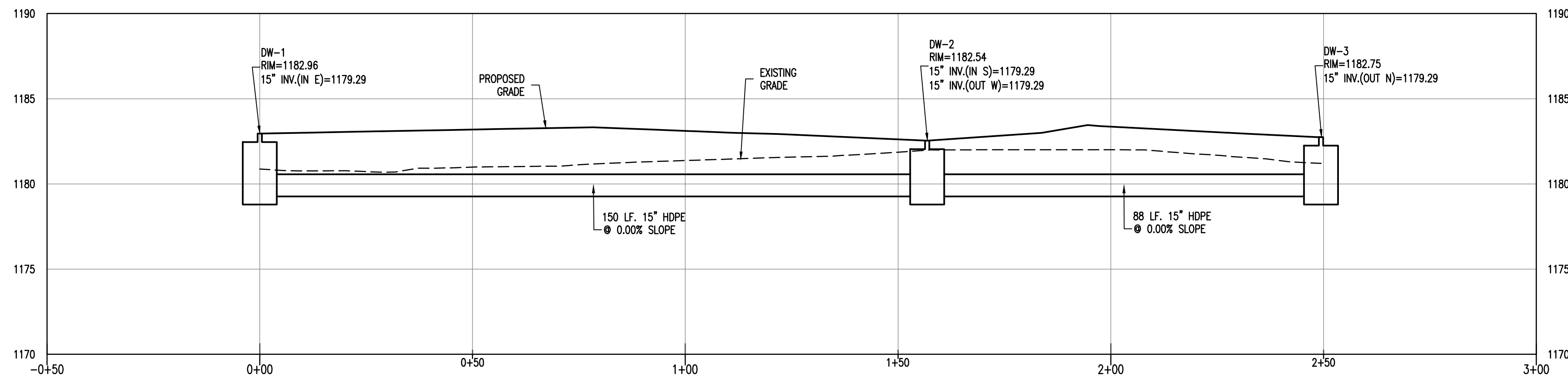
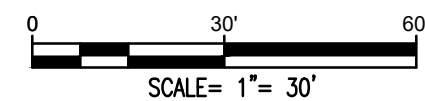
**LEGEND**

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF ROADWAY
- ===== EXISTING CURB LINE
- SAN --- EXISTING SANITARY SEWER
- G --- EXISTING GAS MAIN
- UG/E/T/C --- EXISTING UTILITY LINE
- x --- EXISTING FENCE LINE
- W --- EXISTING WATER LINE
- 932 --- EXISTING CONTOUR LINE
- 100 --- PROPOSED LIMIT OF DISTURBANCE
- 99 --- PROPOSED CONTOUR LINE
- ST --- PROPOSED EASEMENT
- ST --- PROPOSED STORM SEWER
- ===== PROPOSED CURB LINE
- SAN --- PROPOSED SANITARY SEWER
- G --- PROPOSED GAS LINE
- UG/E/T/C --- PROPOSED UTILITY LINE
- W --- PROPOSED WATER LINE
- SF --- PROPOSED SILT FENCE
- CS --- PROPOSED COMPOST SOCK
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING CLEANOUT
- EXISTING LAMP POST
- EXISTING SPOT ELEVATION
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER VALVE
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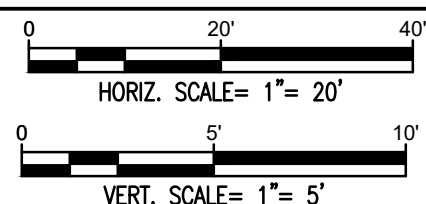
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**STORM SEWER PROFILE**



Rev.	Date	Revision Description
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Date: 6/4/2018

Design By: BMG

Drawn By: BMG

Checked By: KMS

Project No.: 2017-023-009

Drawing Name: 17023.009-a.dwg

**UTILITY PLAN**

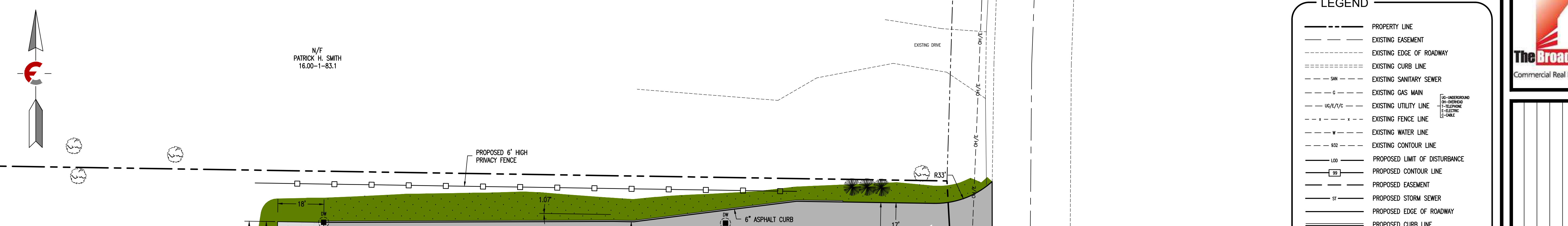
**C4**



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1. ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED
2. AREAS TO RECEIVE SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
3. SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/4 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AID IN LYING EROSION OF PERENNIAL SEED DURING GERMINATION.
4. STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
5. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

6. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SODDED/SEEDED AREAS.
7. ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH WITH EDGING AS REQUIRED, AND SHALL ALSO HAVE A WATER PERMEABLE WEED MAT INSTALLED.
8. ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING AS REQUIRED.
9. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
10. ALL DISTURBED GRADES GREATER THAN 8:1 SHALL BE STABILIZED BY SODDING. SODDING PINS ARE TO BE USED ON ALL 3:1 TO 4:1 GRADES.
11. PRIOR TO FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS/TRASH AND MEET ALL REQUIREMENTS OUTLINED IN THIS PLAN.

6. LOCATE RAINBIRD CONTROL PANEL IN RECEIVING AREA NEXT TO ELECTRICAL PANEL.

- SOD AREAS
- SEED AREAS

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---

0 20' 40'

SCALE: 1" = 20'

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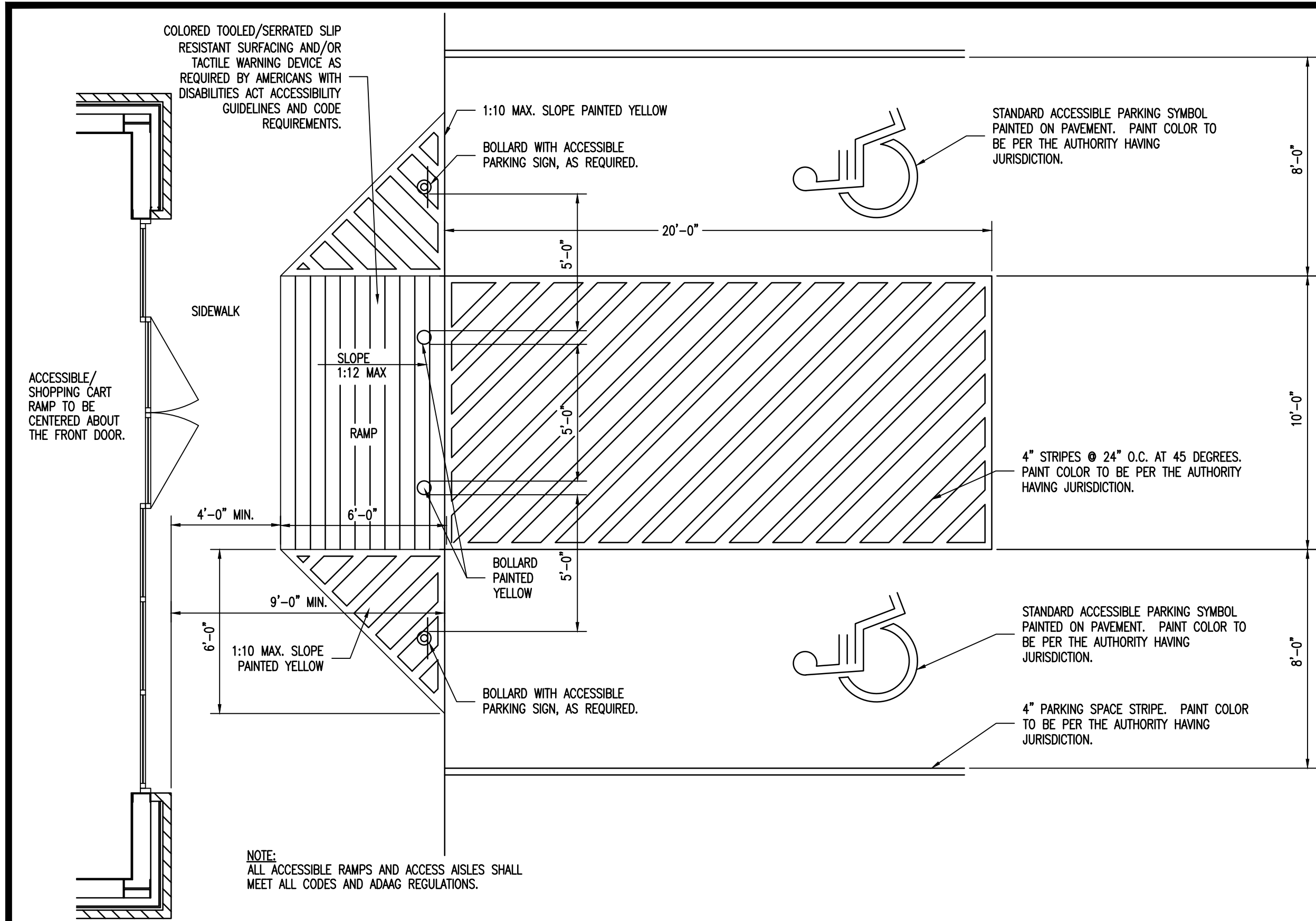
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**LANDSCAPING  
PLAN**

**C5**

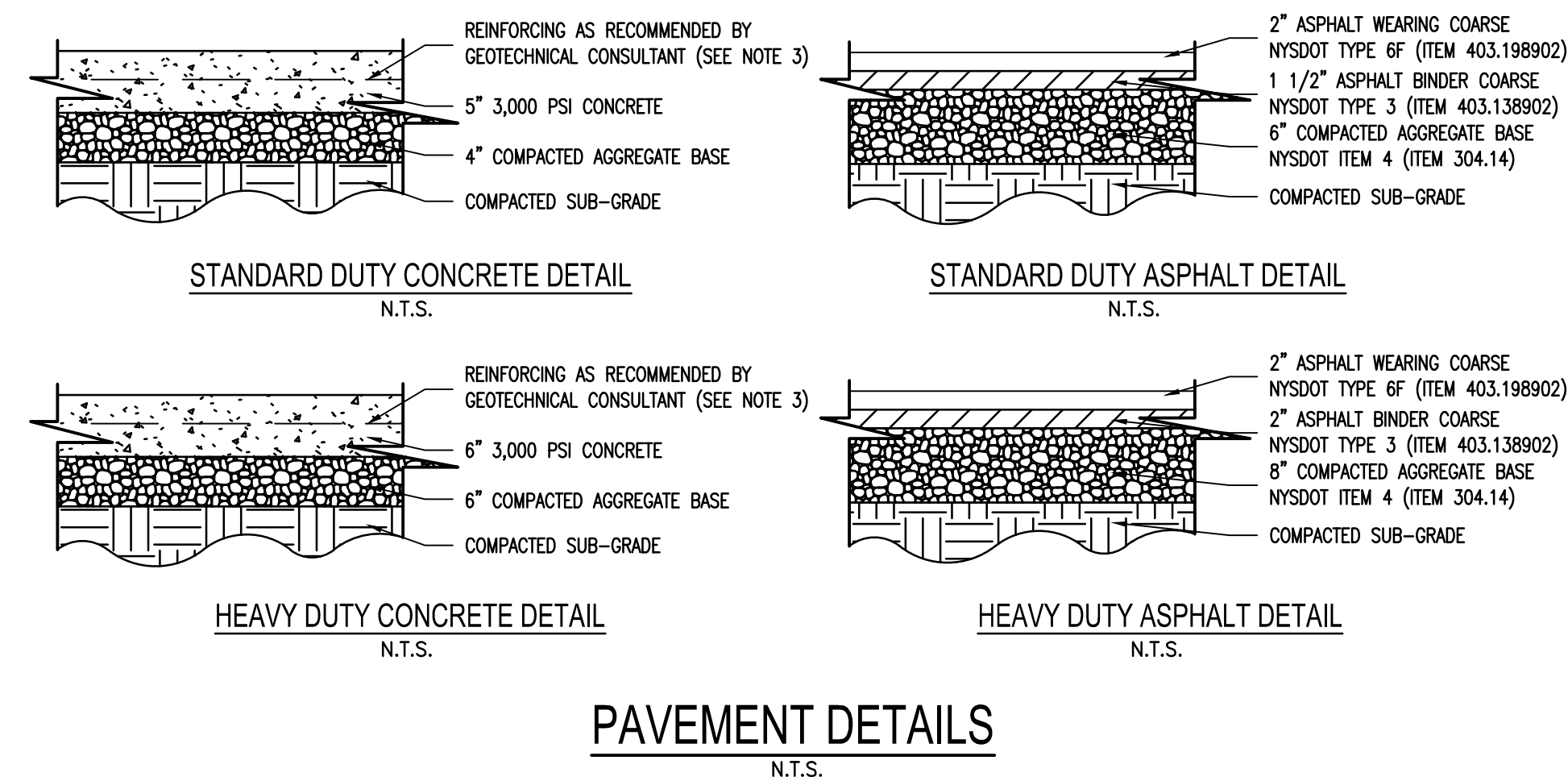




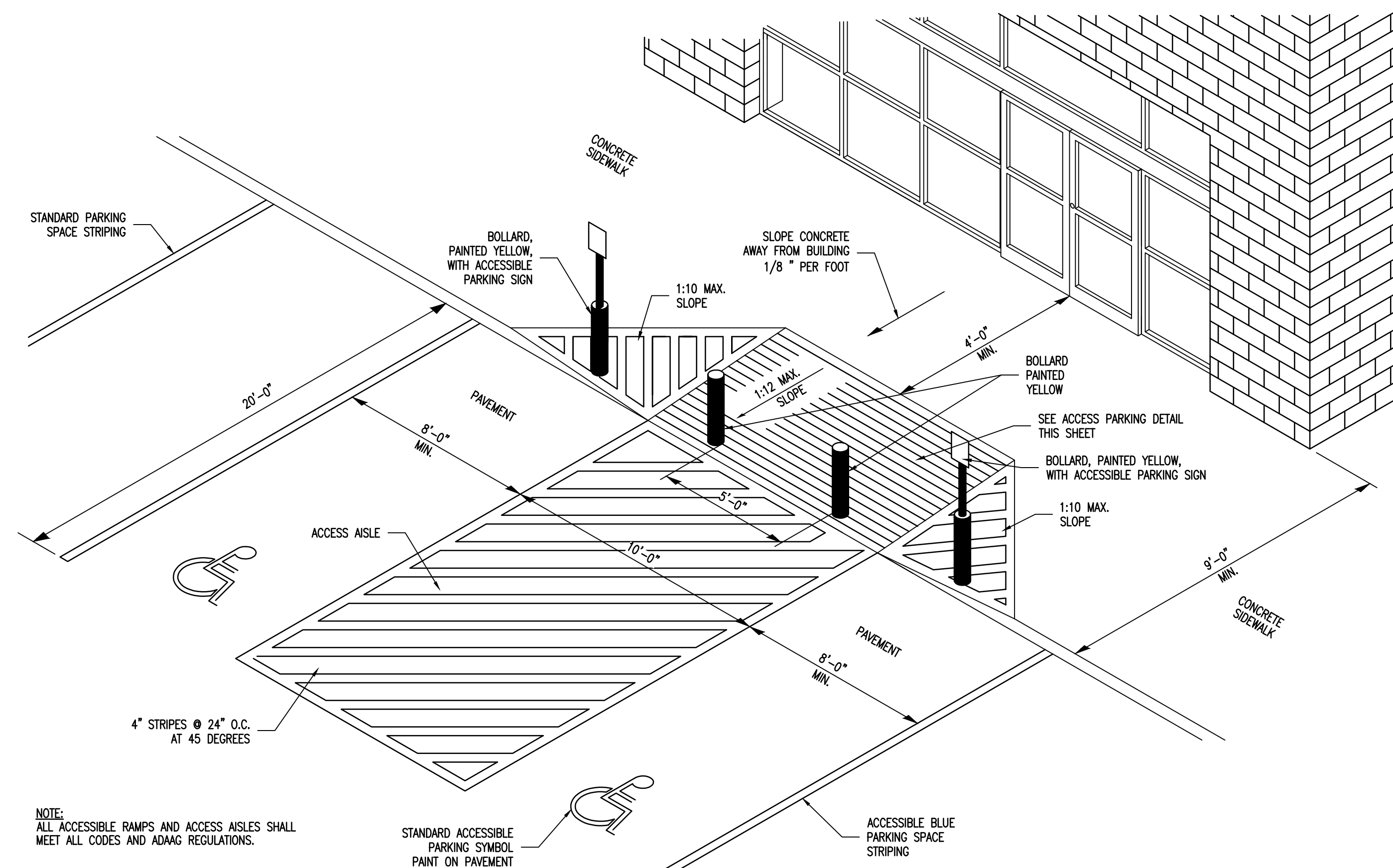


ACCESSIBLE PARKING DETAIL  
N.T.S.

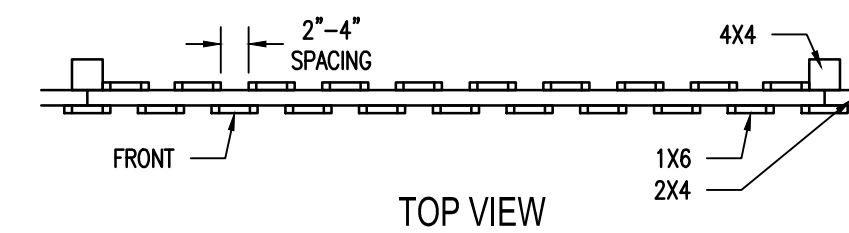
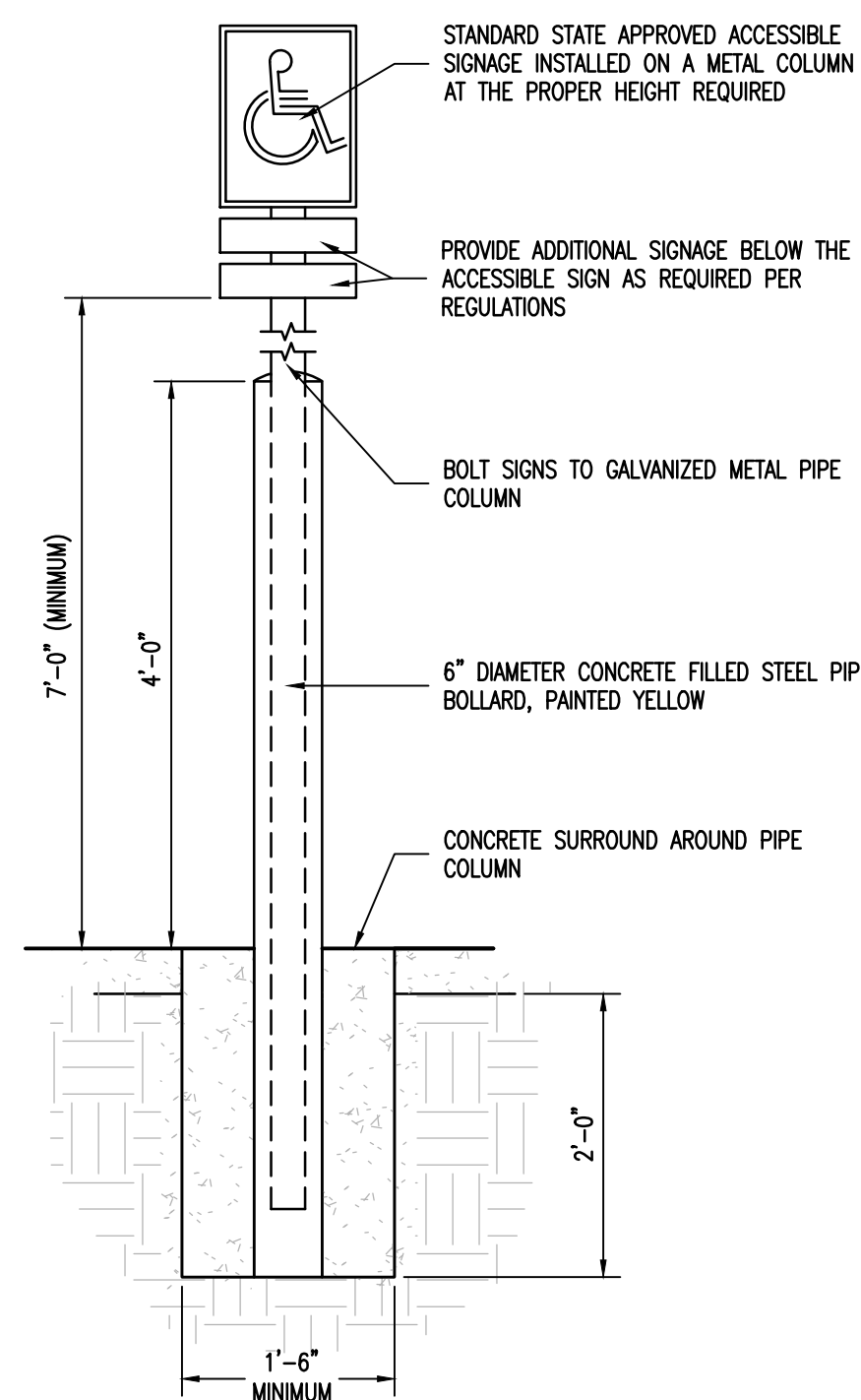
ACCESSIBLE PARKING SIGN DETAIL  
N.T.S.



PAVEMENT DETAILS  
N.T.S.



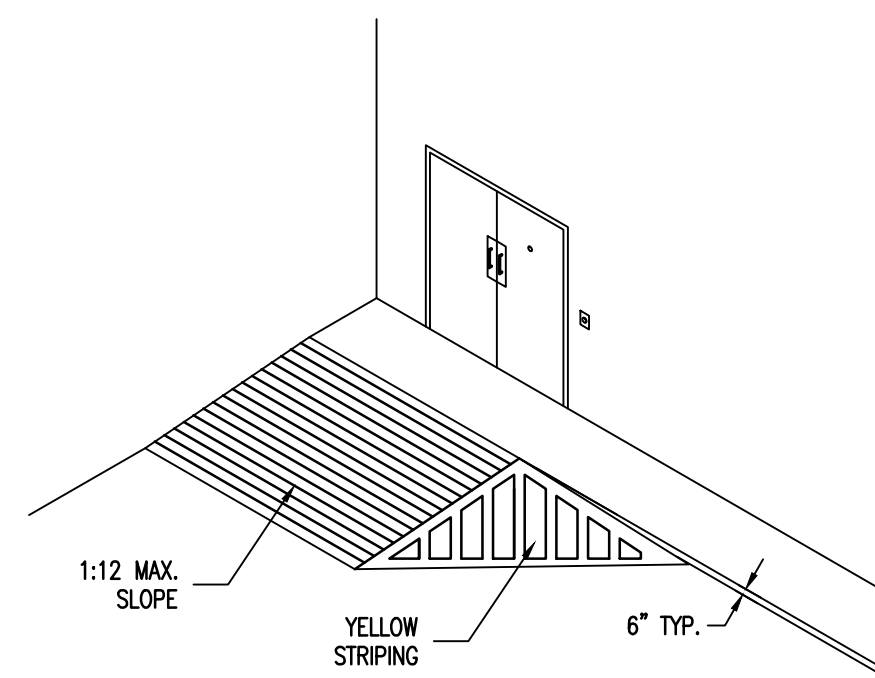
ACCESSIBLE PARKING, ACCESS RAMP, AND  
ACCESS AISLE DETAILS  
N.T.S.



IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THEN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE CRITERIA SET PLANS AND ANY APPLICABLE GOVERNMENTAL REQUIREMENTS.

NOTE:  
1. WOOD TO BE TREATED PINE. USE GALVANIZED NAILS FOR FASTENING.  
2. NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.

PRIVACY FENCE DETAIL  
N.T.S.



RECEIVING DOOR DETAIL  
N.T.S.

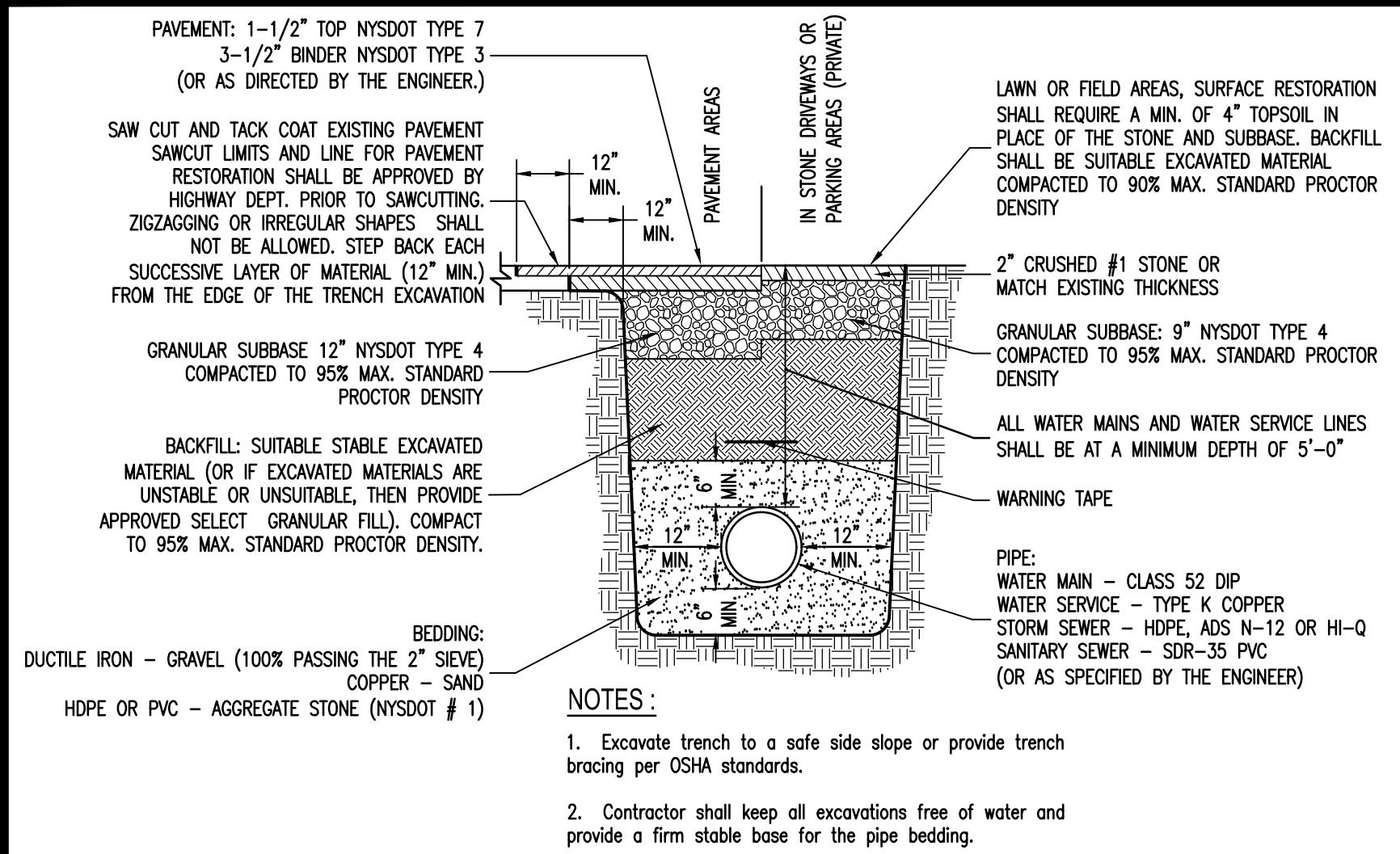
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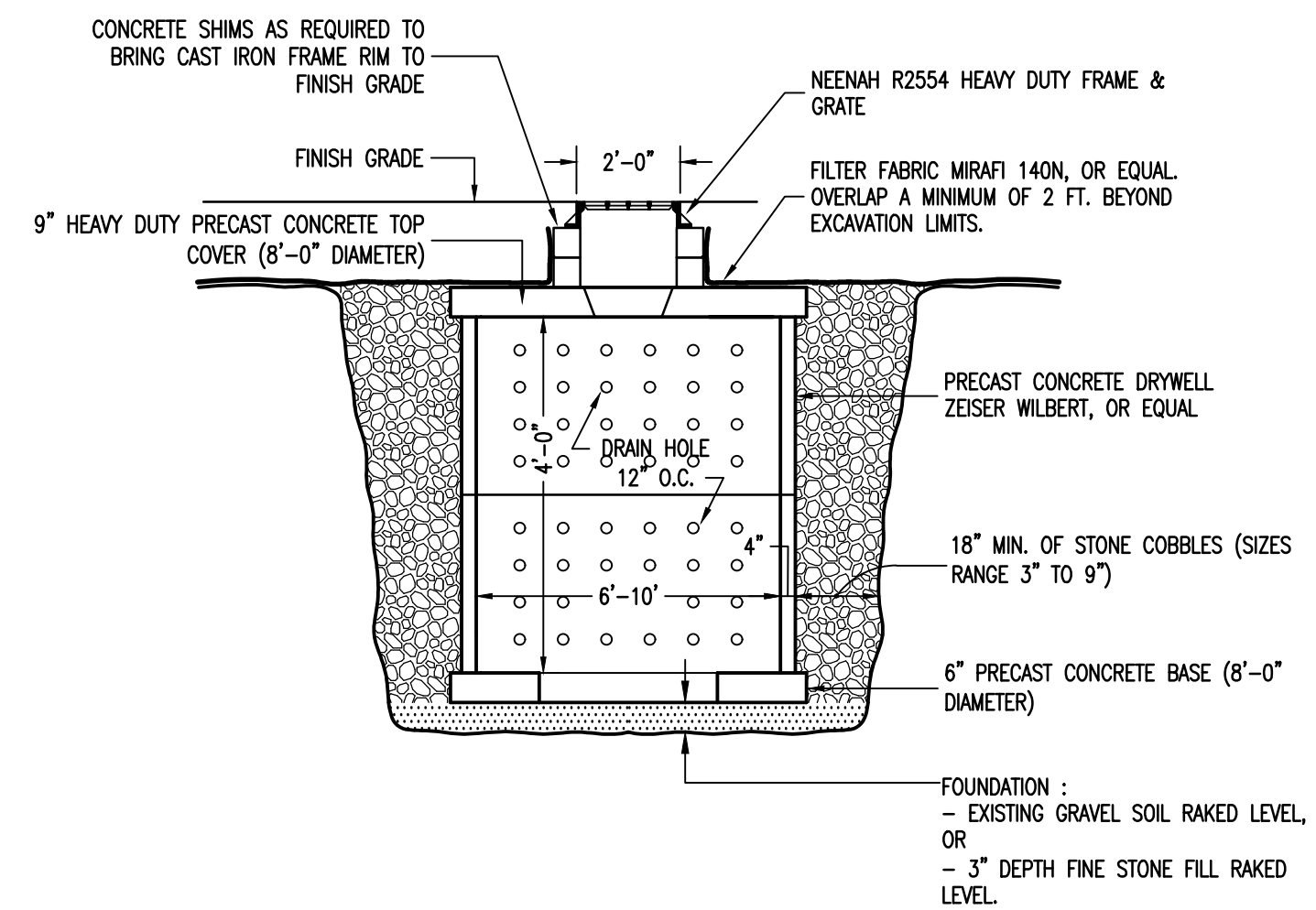
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Checked By:	KMS
Project No.:	2017-023-009
Drawing Name:	17023.009-a.dwg





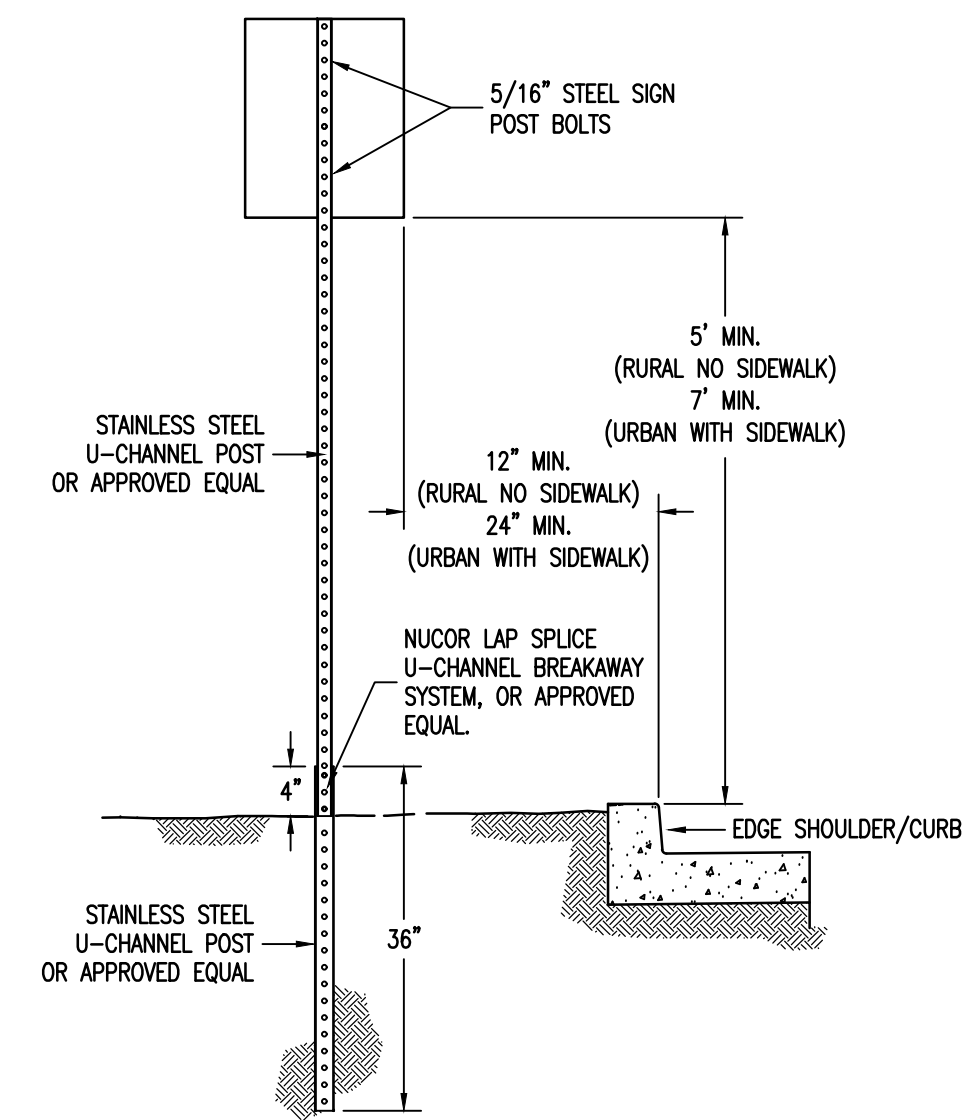


TYPICAL PIPE TRENCH DETAIL  
N.T.S.

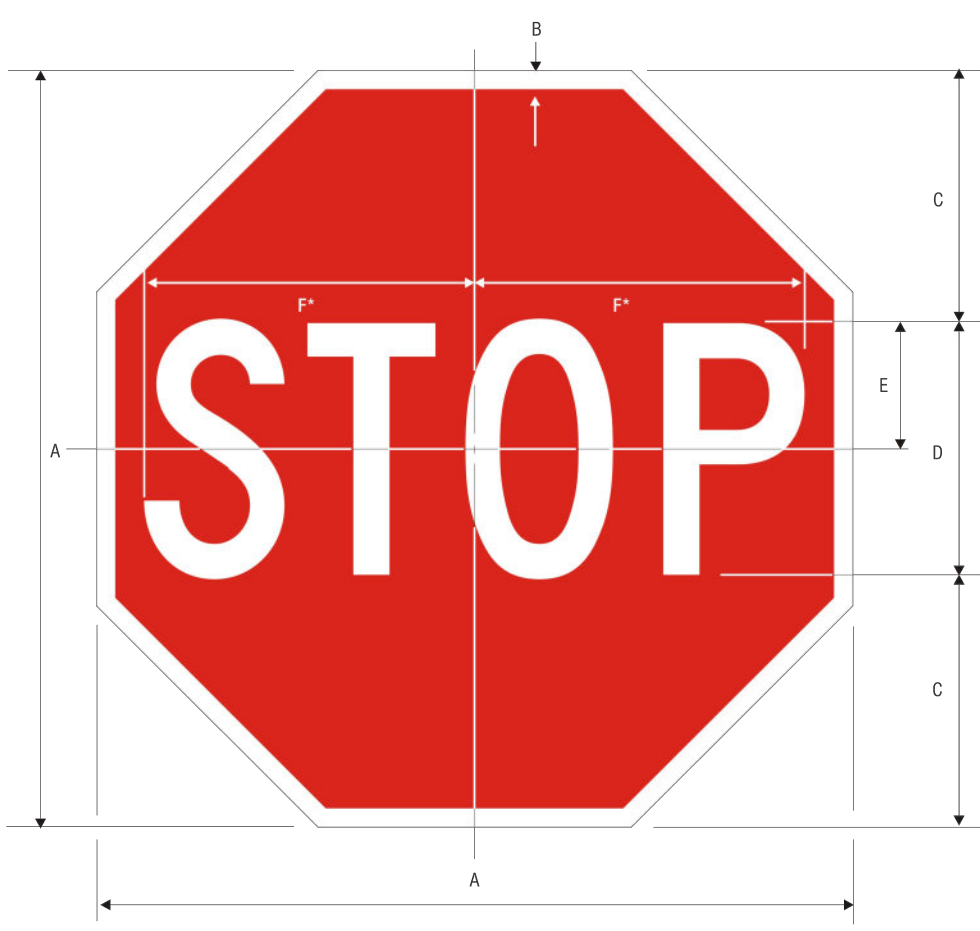


TYPICAL 8' DIA. DRYWELL DETAIL  
N.T.S.

NOTE:  
- SINGLE DRYWELL CAPACITY IS 201 CF OR 1504 GAL  
- TOTAL DRYWELL SYSTEM CAPACITY IS 895 CF OR 6695 GAL



TYPICAL SIGN INSTALLATION  
N.T.S.

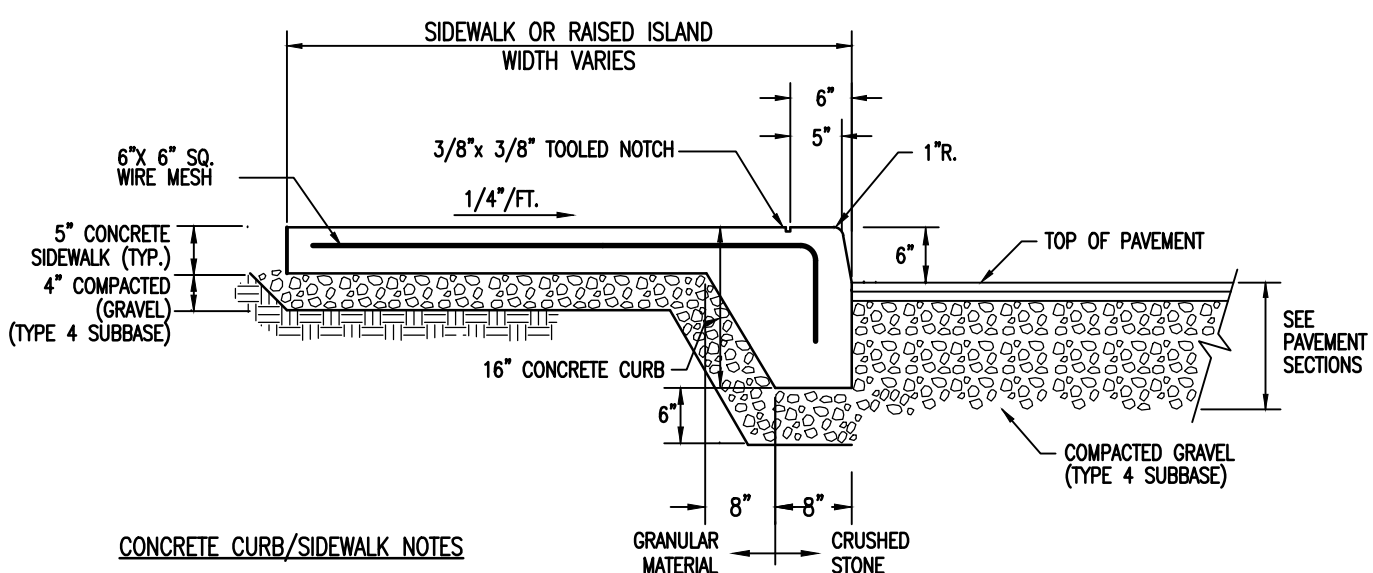


R1-1 STOP  
\*Reduce spacing 40%

A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20

COLORS: LEGEND — WHITE (RETROREFLECTIVE)  
BACKGROUND — RED (RETROREFLECTIVE)

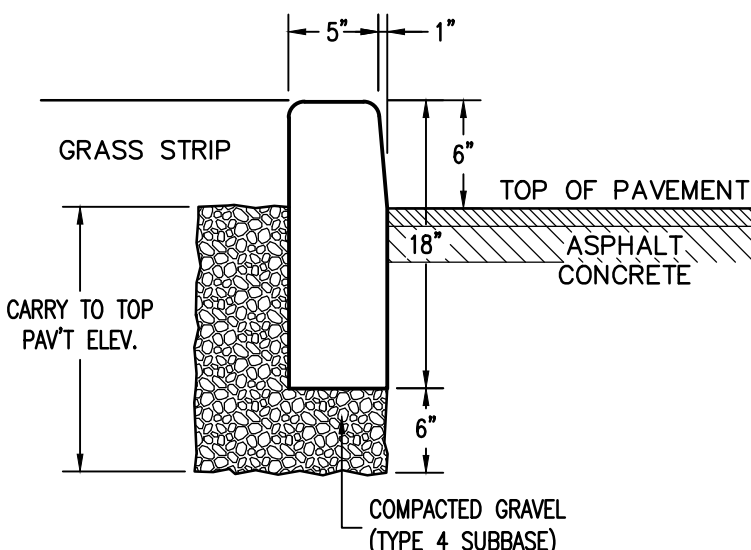
TYPICAL STOP SIGN  
N.T.S.



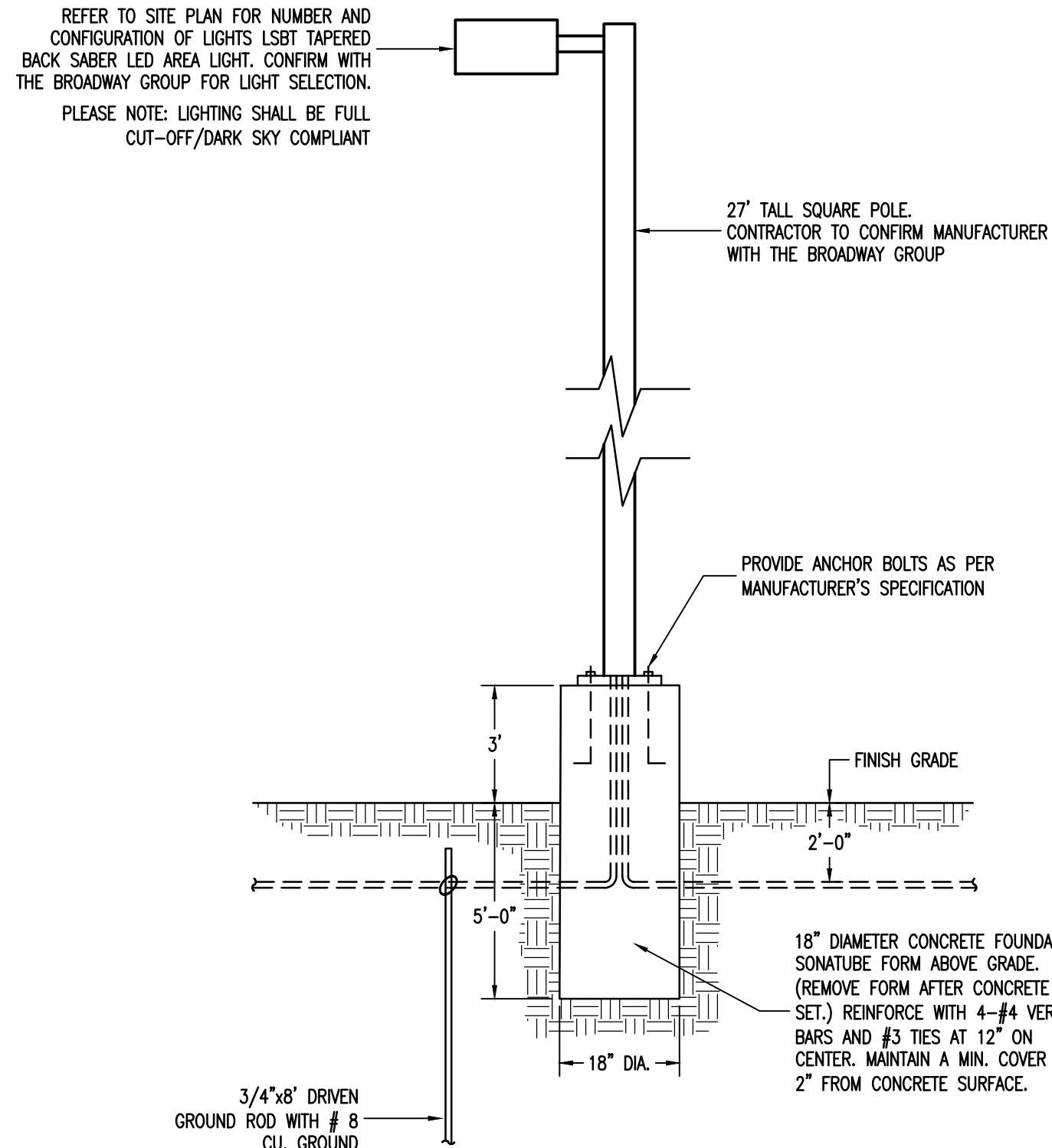
CONCRETE CURB/SIDEWALK NOTES

1. PROVIDE 3500 PSI (28 DAY COMPRESSIVE STRENGTH) CONCRETE, UTILIZING TYPE II PORTLAND CEMENT.
2. PROVIDE 5/8" WIDE ASPHALT IMPREGNATED FIBER BOARD CONTROL JOINTS IN SIDEWALK CONSTRUCTION AS FOLLOWS :
  - ADJACENT TO ALL CONCRETE CURBING
  - ADJACENT TO ALL BUILDING FOUNDATIONS/ WALLS
  - APPROXIMATELY EVERY 24 FT. IN LONG SIDEWALK RUNS.
3. SIDEWALK SHALL HAVE A LIGHT BROOM FINISH ACROSS THE WALK.
4. EDGES AND JOINTS SHALL BE ROUNDED BY AND EDGING TOOL ACCEPTABLE TO OWNER.
5. CONTRACTION JOINTS SHALL BE TOOLED TO FORM SQUARE BLOCKS.
6. RAMP SLOPE SHALL BE NO GREATER THAN 1:12 .
7. CONCRETE CURB / SIDEWALK SHALL BE COATED WITH A CURING COMPOUND AFTER FINISHES ARE COMPLETE.

INTEGRAL CONCRETE SIDEWALK / CURB  
N.T.S.



6" ASPHALT CURB  
N.T.S.



PARKING AREA LIGHTING DETAIL  
N.T.S.



Rev.	Date	Revision Description
3.	8/27/18	Town of Catlin PB Comments
2.	8/15/18	Chemung Co. Health Dept. Comments
1.	7/30/18	NYSOT Comments

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**The Broadway Group**  
**Beaver Dams Site**  
Catlin (T), Chemung (Co.), NEW YORK

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Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
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**CIVIL DETAILS**  
**C7**



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Residential Onsite Wastewater Treatment System Design for The Broadway Group – Beaver Dams Site

GENERAL INFORMATION:  
The proposed design consists of one Wastewater Treatment System for the proposed Commercial Building in Beaver Dams, NY. Based on Owners knowledge from existing stores and the supporting calculations found in the engineering report, the proposed subsurface conventional absorption trench system shall be designed to handle the effluent from the proposed septic system with a design flow of 200 gallons per day.

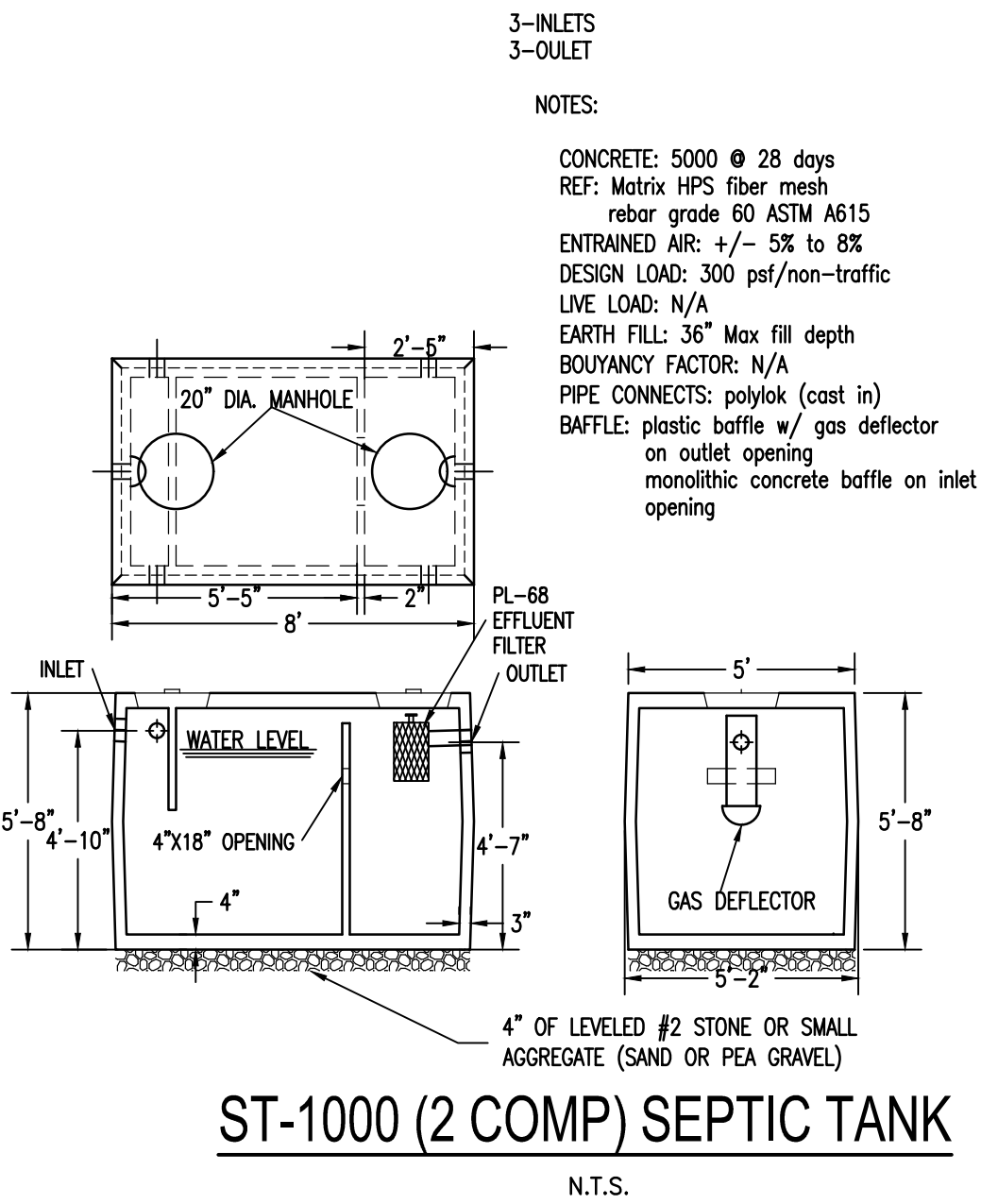
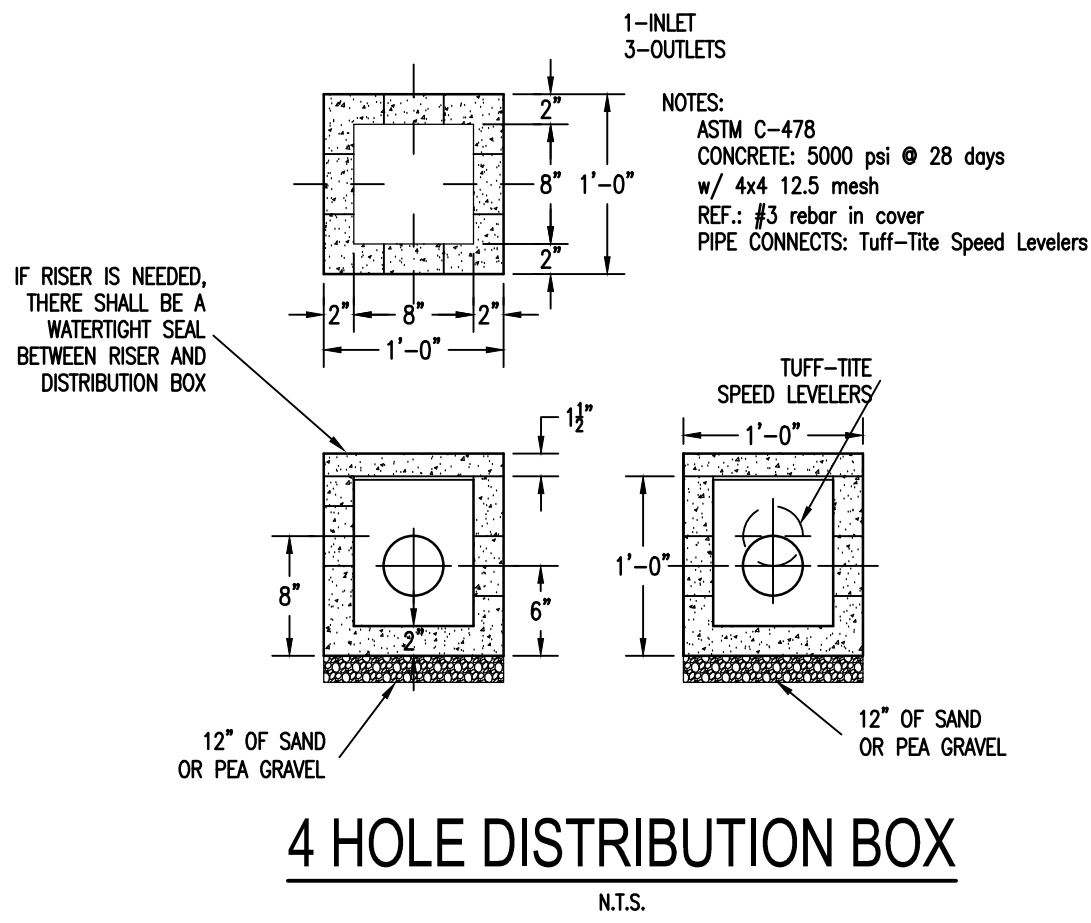
PROPOSED OWTS DESIGN FLOW:  
200 GPD (based on existing stores and supporting calculations)

- SOILS & PERCOLATION TEST DATA:
- Deep Test Pit #1: 0" – 12" Vegetation Layer; 12" – 48" gravelly silt loam, light brown; Test terminated at 48" due to groundwater.
  - Percolation Test Pit #1: 18" depth, 3 minutes 32 seconds / inch percolation rate
  - Percolation Test Pit #2: 18" depth, 2 minutes 16 seconds / inch percolation rate
  - Percolation Test Pit #3: 18" depth, 3 minutes 10 seconds / inch percolation rate

The proposed subsurface absorption trench system shall be located in the vicinity of test pits #1–#3; therefore the design soil percolation rate of 5 minutes per inch shall be utilized.

SEPTIC TANK DESIGN:  
Table D-2 in the New York State Design Standards for Intermediate Sized Wastewater Treatment Systems Handbook states that the Minimum Effective Tank Capacity for a Daily Flow under 5,000 GPD shall be 1.5 x Daily Flow = 1.5 x 200 GPD = 300 Gallons. Therefore a 1,000 Gallon septic tank is being proposed.

ABSORPTION TRENCH DESIGN:  
200 GPD / 1.20 GPD/FT<sup>3</sup> (Application Rate) = 167 FT<sup>3</sup>  
167 FT<sup>3</sup> = Total Trench Length x 2 FT (Width) = 84 FT  
84 FT (Total Trench Length) = 2 Trenches @ 42 FT



NOTE:  
1. IF RISER IS NEEDED, THERE SHALL BE A WATERTIGHT SEAL BETWEEN RISER AND SEPTIC TANK

Material Specifications

- Non-Perforated Sewer Pipe
- 4" SDR-35 PIPE, TYPE 1 GRADE, ASTM D-3034 OD = 4.215" (0.120 min. wall)

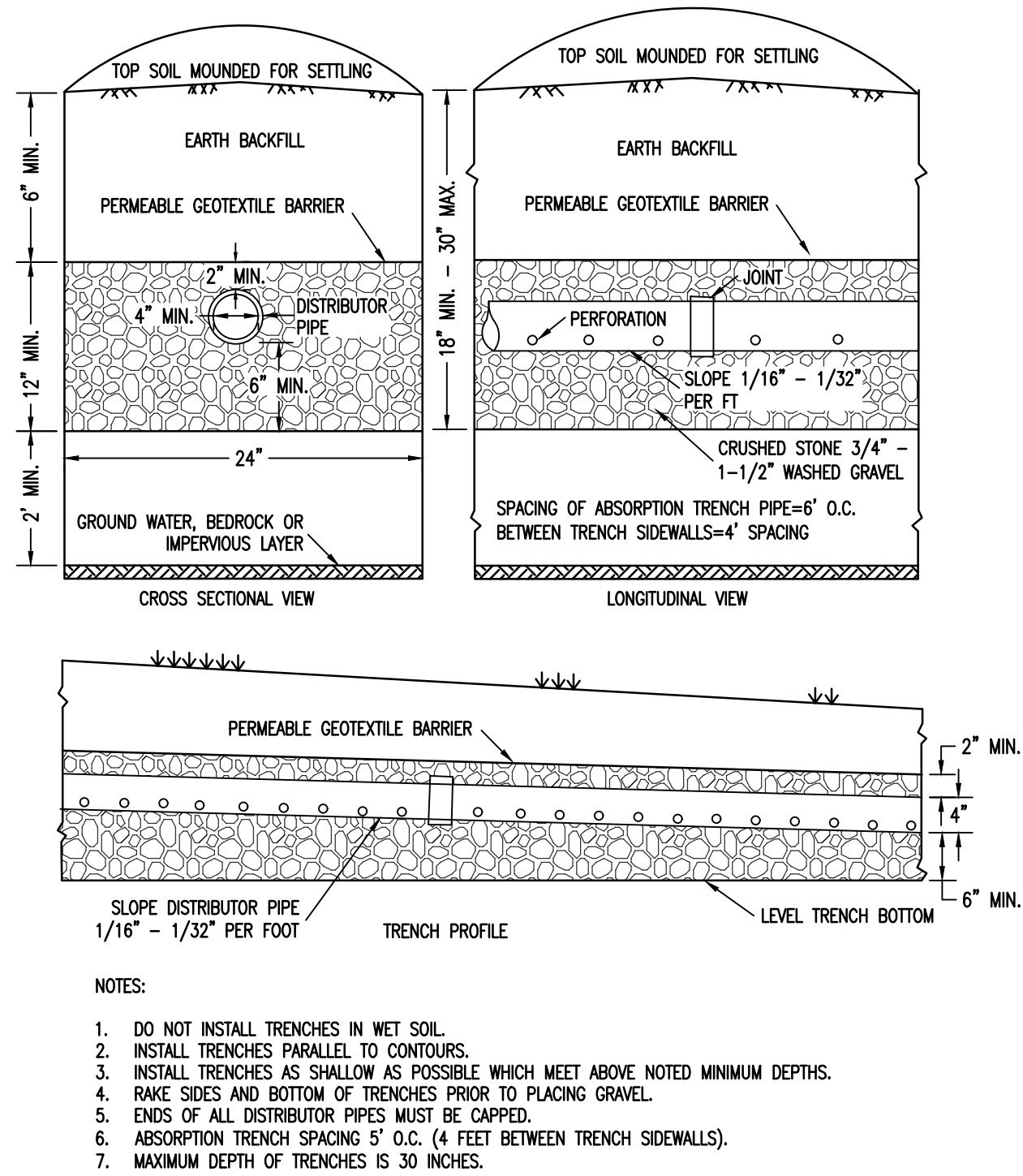
- Perforated Distribution Pipe
- 4" SDR-35 PIPE, TYPE 1 GRADE, ASTM D-3034 OD = 4.215" (0.120 min. wall)

- Septic Unit:
- ST-1000 Septic Tank, by Zeiser Wilbert Vault, Elmira, NY or approved equal

- Distribution Box:
- 1 (One) 4-Hole Distribution Box, by Zeiser Wilbert Vault, Elmira, NY or approved equal

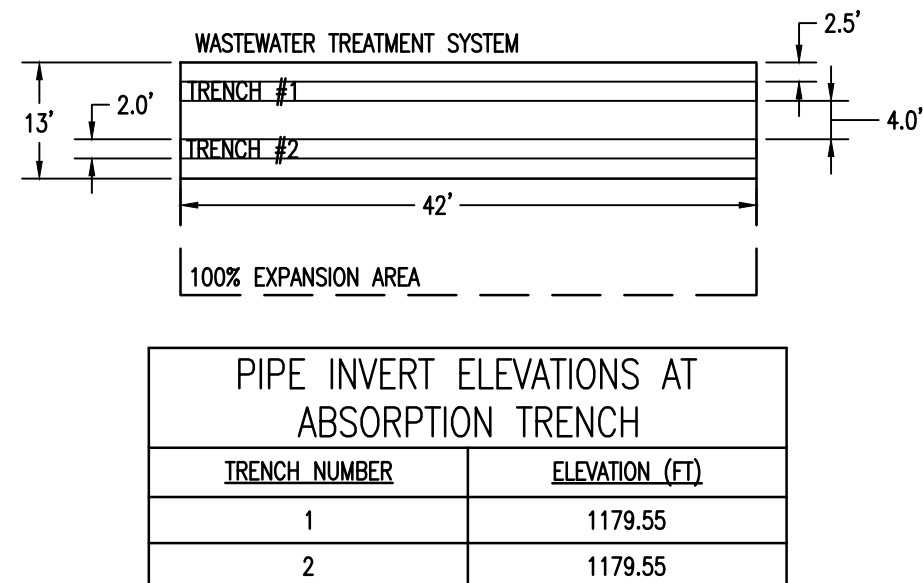
Construction Methods and Requirements for a Conventional Absorption Trench System:

- All existing trees and stumps within the absorption bed area footprint shall be cut at grade and removed.
- Bed location and depth should be marked by stakes before area is excavated. The natural surface shall not be significantly disturbed. Heavy equipment use in the designated absorption bed area should be minimized to prevent soil permeability reduction due to compaction plus possible side wall cave-in.
- After a final grade check, trench excavation may begin. Trench area shall be excavated to design depth elevation with bottom level (Refer to this sheet for depth elevations).
- Following excavation, the trench area bottom should be graded by hand. The bottoms of the trench area should be checked by a transit, engineer's level or carpenter's level to assure that the trench area is practically level. A level, flat surface is required.



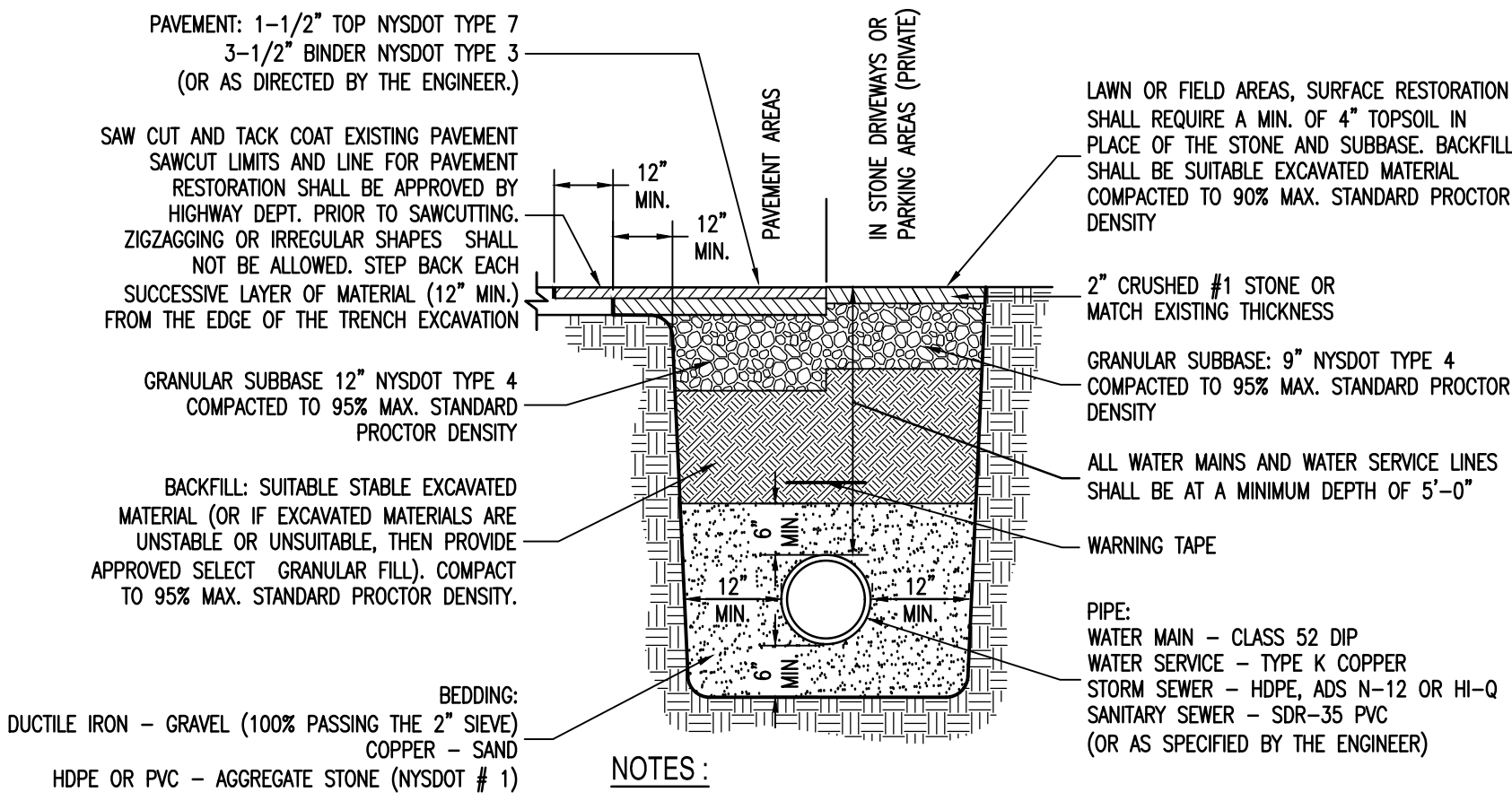
CONVENTIONAL ABSORPTION TRENCH DETAIL

N.T.S.



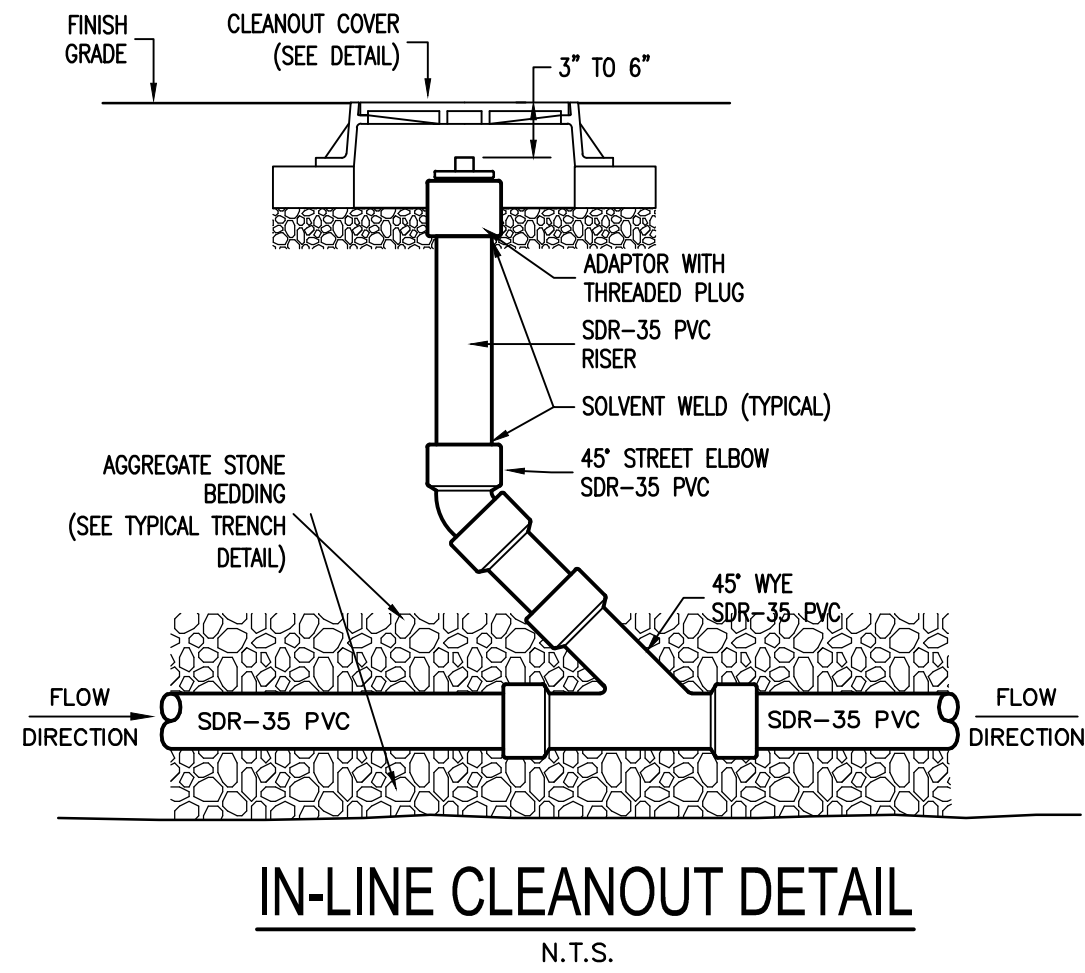
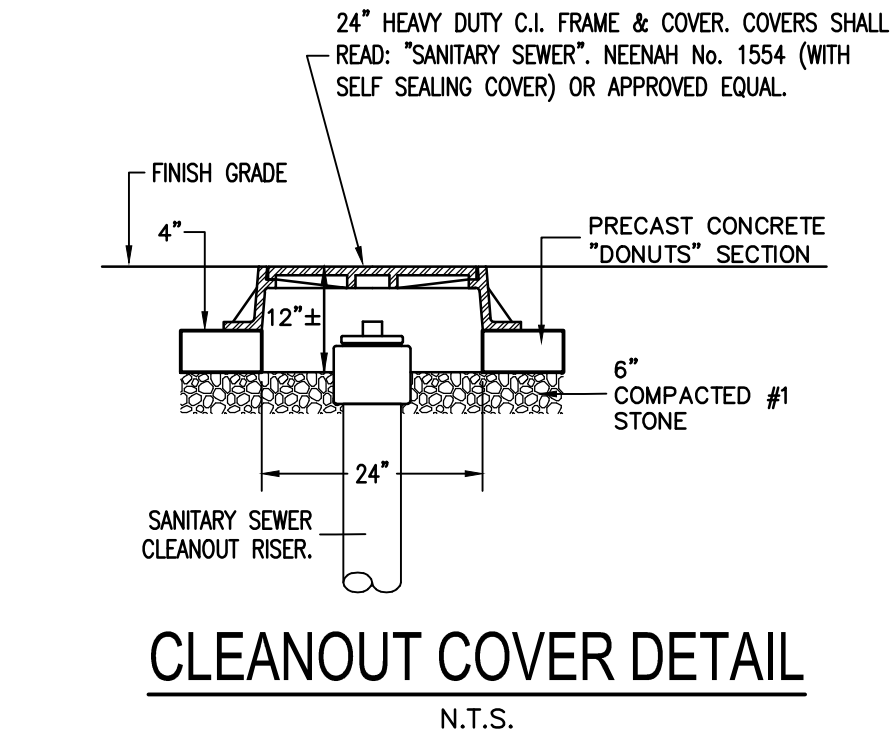
ABSORPTION TRENCH INLET INVERT ELEVATIONS

N.T.S.



TYPICAL PIPE TRENCH DETAIL

N.T.S.



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Engineer Or Land Surveyor Shall Affix To  
The Item His Seal And The Notation  
"Altered By" Followed By His Signature  
And The Date Of Such Alteration, And  
A Specific Description Of The Alteration.



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Drawn By:	BMG
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WASTEWATER  
TREATMENT DETAILS

C8



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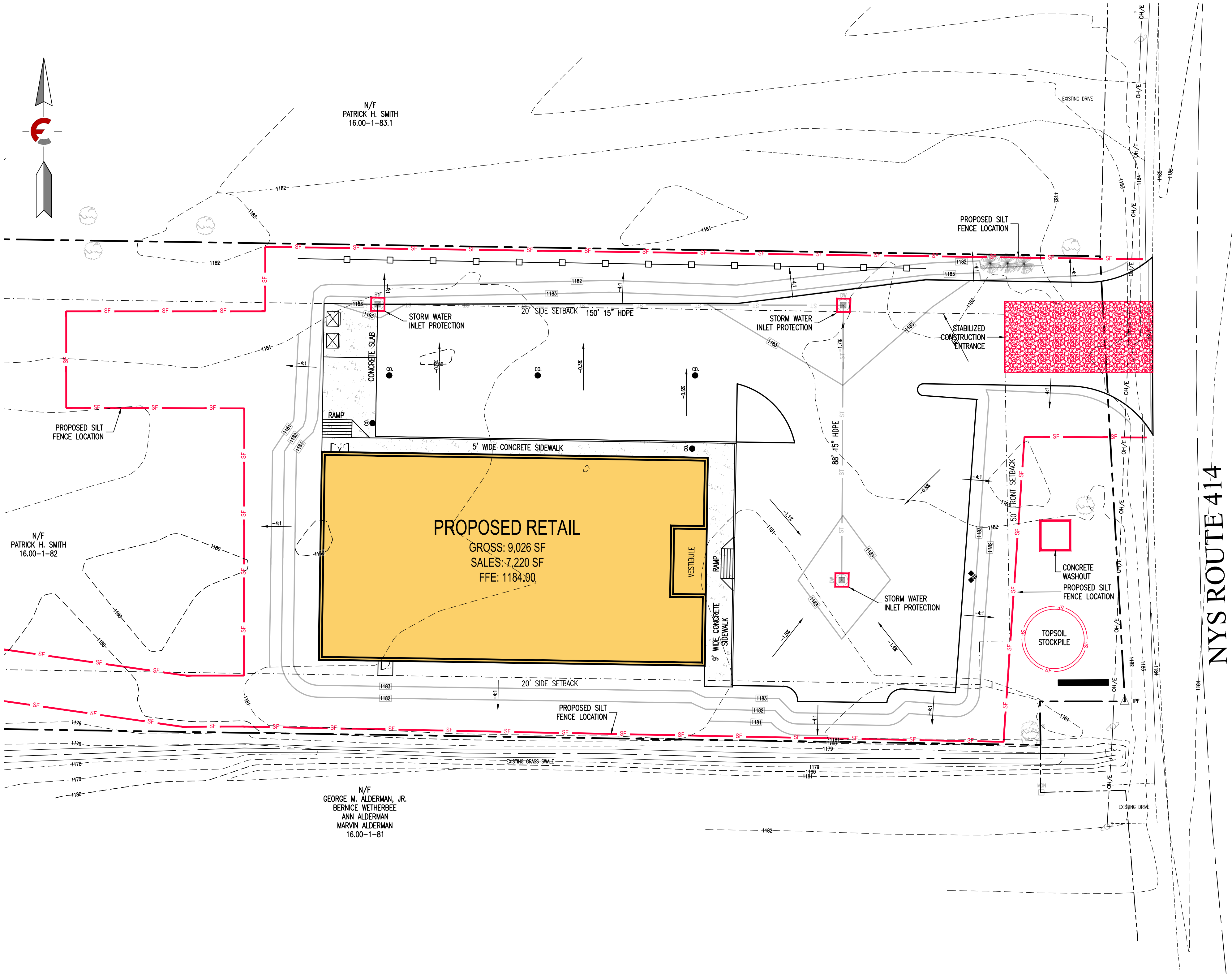


E&S PLAN NOTES:

1. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMPs.
2. EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
3. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
5. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
6. SITE CONTRACTOR TO BECOME CO-PERMITTEE PRIOR TO EARTHWORK ACTIVITIES COMMENCING. SITE CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS OF THE E&S PERMITS.

CONSTRUCTION SEQUENCE

1. ALL PAGE NUMBERS (P.5\*\*) REFER TO THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (JULY 2016). SELECT STANDARDS AND SPECIFICATIONS ARE INCLUDED IN APPENDIX D.
2. INSTALL STABILIZED CONSTRUCTION ACCESS (P.2.30). THE LENGTH: FIFTY (50) FEET MINIMUM. THE WIDTH: TWELVE (12) FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. IF ONLY ONE ENTRANCE IS USED THE MINIMUM WIDTH SHALL BE TWENTY-FOUR (24) FEET.
3. STANDARD SILT FENCE (P.5.54) OR COMPOST FILTER SOCK (5.70) SHALL THEN BE PLACED ALONG THE DOWNSTREAM LIMIT OF DISTURBANCE.
4. PERFORM BULK GRADING OF THE PROJECT SITE.
5. CONSTRUCT UNDERGROUND UTILITIES INCLUDING THE STORM SEWER SYSTEM.
6. PERFORM FINAL SITE GRADING (CUT/FILL).
7. INLET PROTECTION (P.5A.27) SHALL BE PLACED AROUND ALL STORM DRAIN INLETS. UTILIZE TYPE II IN AREAS OF EXCAVATION AND TYPE III IN PAVEMENT AREAS.
8. CONSTRUCT THE MAIN PROJECT ELEMENTS INCLUDING THE BUILDINGS, DRIVEWAYS AND ASSOCIATED INFRASTRUCTURE.
9. SPREAD TOPSOIL, FINE GRADE, SEED, MULCH AND ESTABLISH VEGETATIVE COVER FOR THE PROJECT SITE.
10. REMOVE SEDIMENT TRAP AND SILT FENCE/COMPOST FILTER SOCK ONCE VEGETATION IS ESTABLISHED. VEGETATION IS REQUIRED TO REACH A GROUND COVER DENSITY OF 80% BEFORE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE CAN BE REMOVED.



LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF ROADWAY
- EXISTING CURB LINE
- SAN --- EXISTING SANITARY SEWER
- G --- EXISTING GAS MAIN
- UG/E/T/C --- EXISTING UTILITY LINE
- X --- EXISTING FENCE LINE
- W --- EXISTING WATER LINE
- 932 --- EXISTING CONTOUR LINE
- 100 --- PROPOSED LIMIT OF DISTURBANCE
- 99 --- PROPOSED CONTOUR LINE
- ST --- PROPOSED EASEMENT
- ST --- PROPOSED STORM SEWER
- --- PROPOSED EDGE OF ROADWAY
- SAN --- PROPOSED SANITARY SEWER
- G --- PROPOSED GAS LINE
- UG/E/T/C --- PROPOSED UTILITY LINE
- W --- PROPOSED WATER LINE
- SF --- PROPOSED SILT FENCE
- CS --- PROPOSED COMPOST SOCK
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING CLEANOUT
- EXISTING LAMP POST
- EXISTING SPOT ELEVATION
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER VALVE
- PROPOSED THRUST BLOCK
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED CLEANOUT
- PROPOSED LIGHTING FIXTURE
- PROPOSED SPOT ELEVATION
- PROPOSED DRYWELL
- PROPOSED CATCH BASIN
- PROPOSED INLET PROTECTION

Note:  
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.  
**IT'S THE LAW!**  
Call three days before you dig!  
**1-800-962-7962**  
Dig Safely New York  
(non-members must be contacted separately)



NYS ROUTE 414



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Rev.	Date	Revision Description
1.	7/30/18	NYSDOT Comments
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**Beaver Dams Site**  
Catlin (T), Chemung (Co.), NEW YORK



Scale:	1" = 20'
Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
Project No.:	2017-023-009
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E & S PLAN

C10



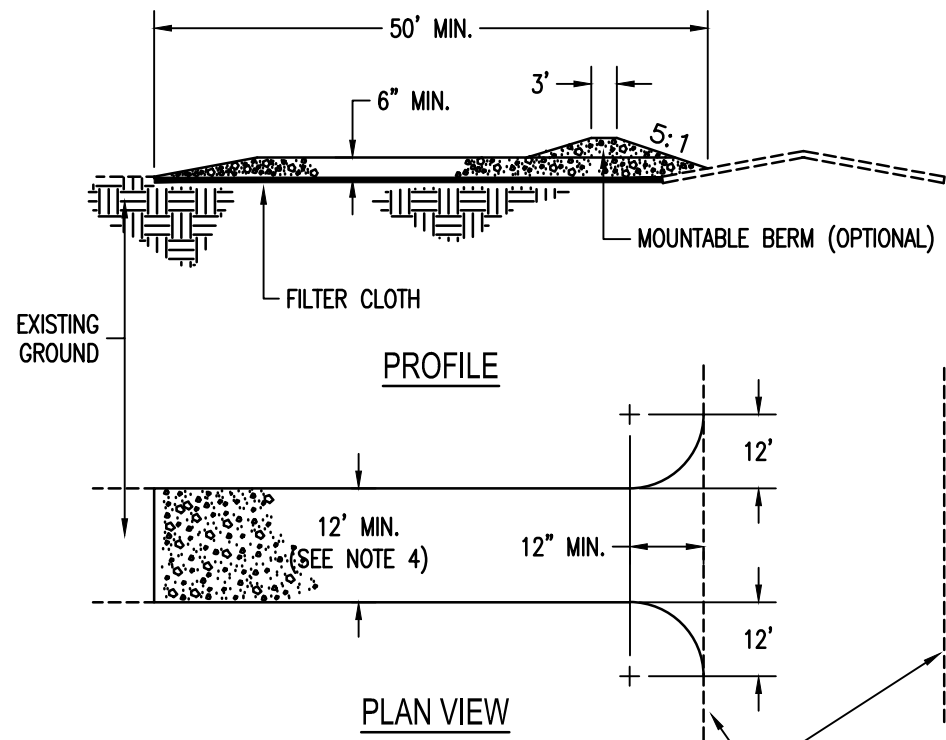
STANDARD AND SPECIFICATIONS FOR LAWN AREA IMPROVEMENT

Establishing Grasses (Turf grasses)

1. Time of planting:
- Fall planting is preferred. Seed after August 15. In the spring plant until May 15.
  - If seeding is done between May 15 and August 15, irrigation may be necessary to insure a successful seeding.
2. Site Preparation:
- A. Install needed water and erosion control measures and bring area to be seeded to desired grades. A minimum of 4 in topsoil is required.
- B. Prepare seedbed by loosening soil to a depth of 1 to 6 inches.
- C. Remove all stones over 1 inch in diameter, sticks and foreign matter from the surface.
- D. Lime to pH if 6.0 – 7.0.
- E. Fertilize as per soil test or apply 800 to 900 pounds of 5-10-10 or equivalent per acre (20 lbs./1,000 sf.).
- F. Incorporate lime and fertilizer in top 2 – 4 inches of topsoil.
- G. Smooth and firm the seedbed.
3. Planting:
- Use a cultipacker type seeder if possible.
  - If seed is to be drilled, cultipack or roll before and after seeding. Drill the seed to a depth of 3/8 to 1/2 inch. If seed is to be broadcast, cultipack or roll after seeding on loose soil.
  - If hydroseeded, lime and fertilizer may be applied through the seeder.
4. Mulching:
- A. Site preparation:
- a. Prior to mulching, install the necessary temporary or permanent erosion control (structural) practices and drainage systems within or adjacent to area to be mulched.
- b. Slope, grade and smooth the site if conventional equipment is to be used in applying and anchoring the mulch.
- c. Remove all undesirable stone and other debris depending on anticipated land use.
- d. Compacted or crusted soil surface should be loosened to at least 2 inches by disking or other suitable methods.
- B. Mulching Materials:
- The best combination is straw (small grain) mulch applied at 2 ton/acre (90 lbs./1,000 sf.) and anchored with wood fiber mulch (hydromulch) at 500 – 700 lbs./acre (11 – 17 lbs./1,000 sf.). The wood fiber mulch must be applied through a hydroseeder immediately after mulching.
5. Seed mixtures:

SITE/USE	SPECIES % BY WEIGHT	Lbs./1,000 sf.	Lbs./Acres
Sunny Sites (well moderately well and somewhat poorly drained soils)	65% Kentucky Bluegrass Blend	2.0 – 2.6	85 – 114
	20% Perennial Ryegrass	0.6 – 0.8	26 – 35
	15% Fine Fescue	0.4 – 0.6	19 – 26
		3.0 – 4.0	130 – 175
Sunny Droughty Sites – General recreation areas and lawns, low maintenance (somewhat excessively to excessively drained soils)	65% Fine Fescue	2.6 – 3.3	114 – 143
	15% Perennial Ryegrass	0.6 – 0.7	26 – 33
	20% Kentucky Bluegrass Blend	0.8 – 1.0	35 – 44
		4.0 – 5.0	174 – 220

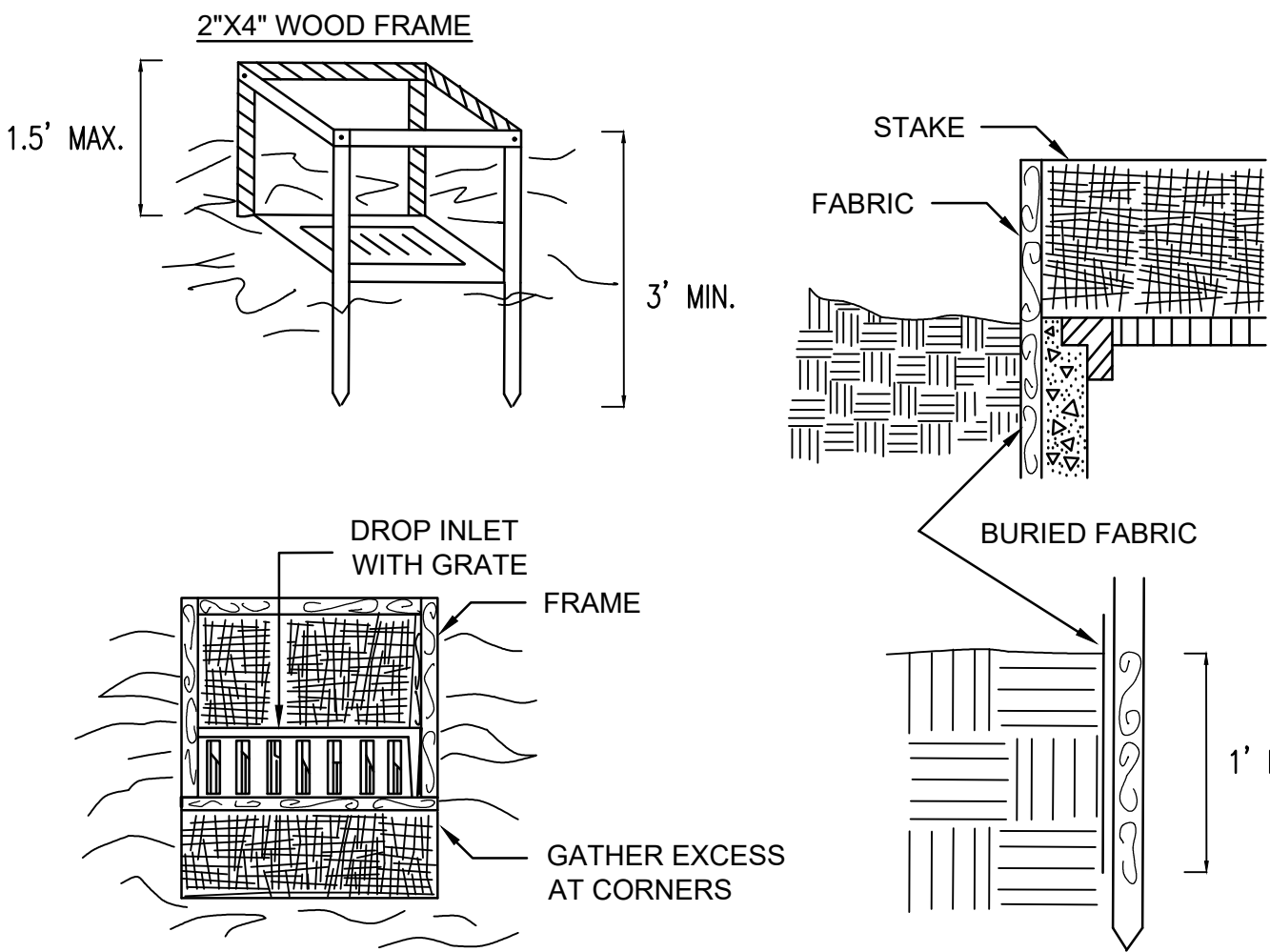
6. First Year
- Fertilize 3 to 4 weeks after germination by applying 1 lb. nitrogen/1,000 sf. using a complete fertilizer with a 2-1-1 or 4-1-3 ratio or as recommended by soil test results.
  - Restrict use. New seedling's should be protected from use for 1 full year to allow development of a dense sod with good root structure.
7. Maintaining Grasses
- Maintain a pH of 6.0 to 7.0.
  - Fertilize in late May to early June as follows with 10-10-10 analysis fertilizer at the rate of 10 lbs./1,000 sf. and repeat in late August if sod density is not adequate. Top dress weak sod annually in the spring but at least once every 2 to 3 years.
  - Aerate compacted or heavily used areas, like athletic fields, annually as soon as soil moisture conditions permit. Aerate area 6 to 8 times using a spoon or hollow tine type aeration. Do not use solid spike equipment.
  - Reseed bare and thin areas annually with original species.



STABILIZED CONSTRUCTION ENTRANCE

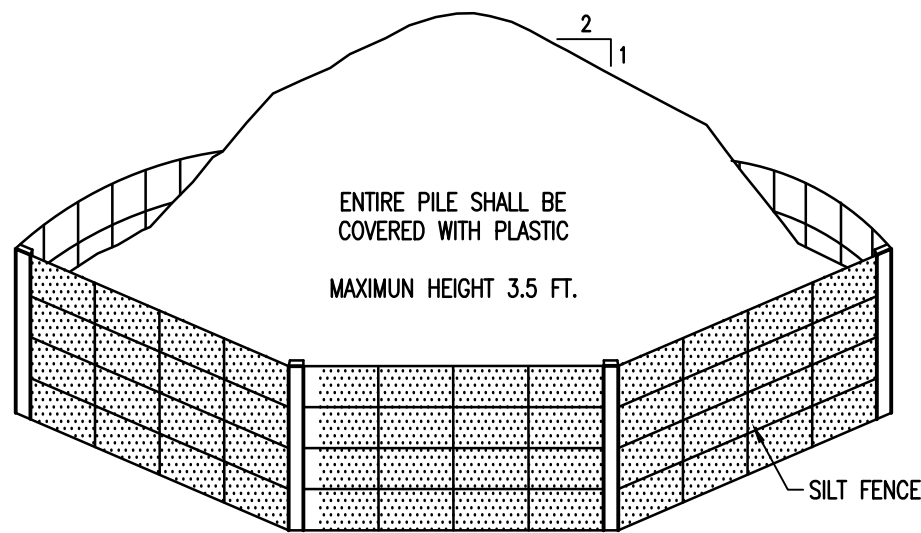
NTS.  
CONSTRUCTION SPECIFICATIONS

1. Stone size: – Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length: – As required, but no less than 50 feet.
3. Thickness: – Not less than (6) inches.
4. Width: – Twelve (12) ft. Minimum, but not less than the full width at points where ingress or egress occurs. If only one entrance is used the minimum width shall be twenty-four (24) feet.
5. Filter cloth: – Will be placed over the entire area prior to placing of stone.
6. Surface water: – All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes is permitted.
7. Maintenance: – The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately by Contractor.
8. Washing: – Wheels shall be cleaned to remove sediment prior to entrance onto a public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.



FILTER FABRIC STORM DRAIN PROTECTION

NTS.

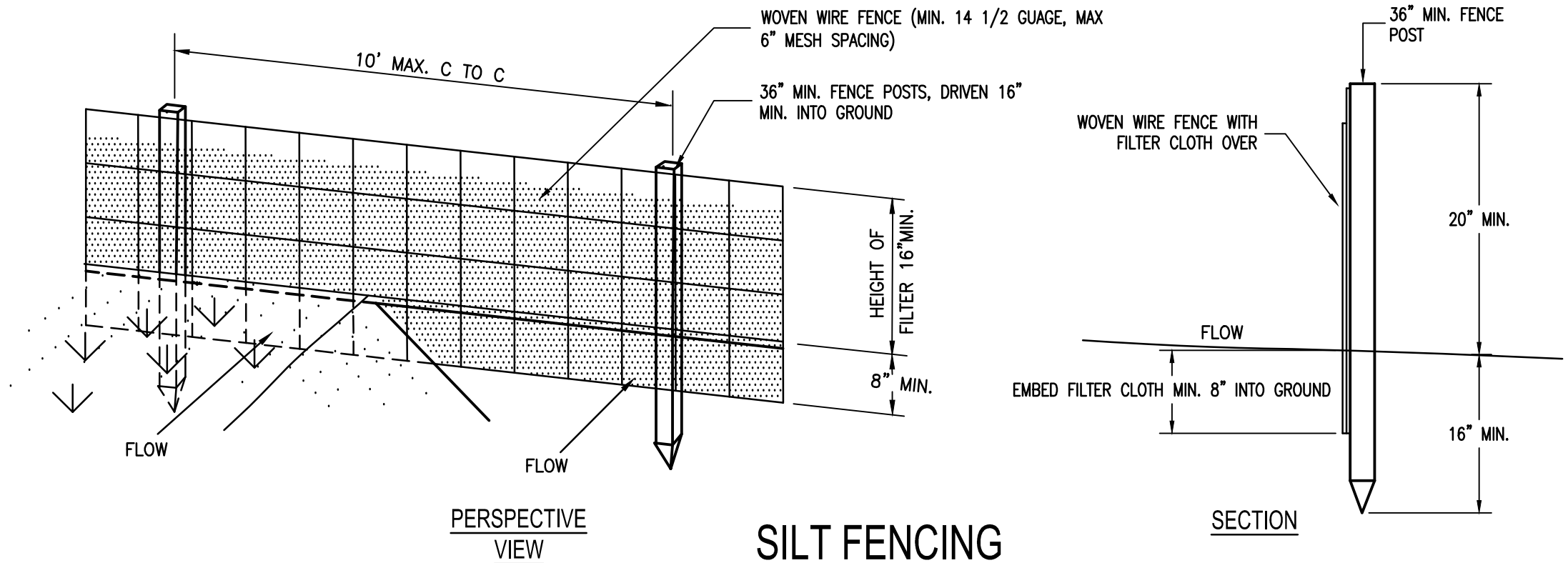


SOIL STOCKPILING NOTES:

1. AREA FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SIDESLOPES SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING AND THEN STABILIZED WITH SEED OR SECURED IMPERVIOUS COVER.
4. SEE SILT FENCE INSTALLATION DETAIL.
5. PLASTIC SHEETING SHALL BE PLACED BELOW ALL STOCKPILE AREAS.

SOIL STOCKPILE DETAIL

NTS



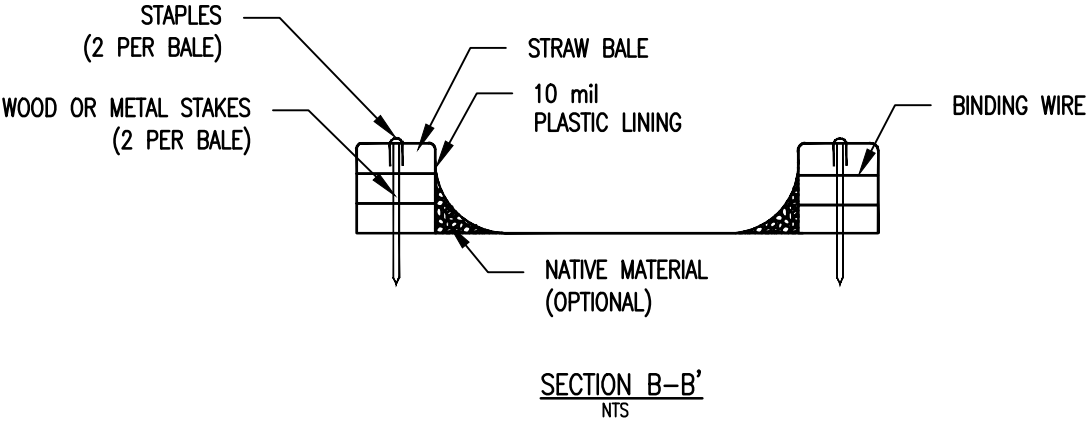
PERSPECTIVE VIEW

SILT FENCING

NTS.

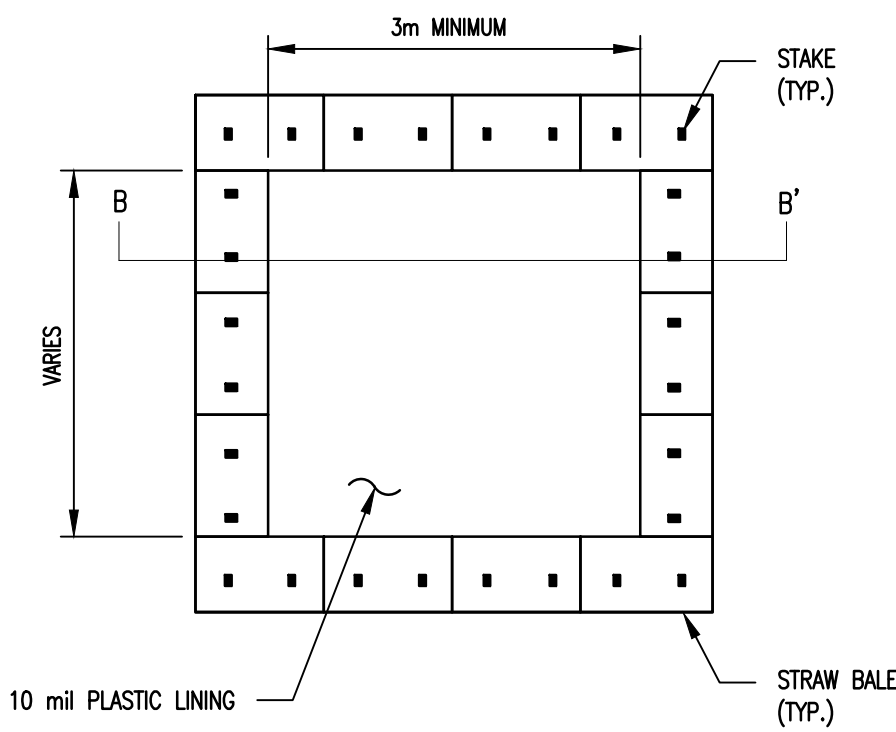
CONSTRUCTION SPECIFICATIONS FOR FABRICATED SILT FENCE

1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.
2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
3. When two sections of filter cloth adjoin each other they shall be over-lapped by 6" and folded.
4. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
- Posts: Steel either "I" or "U" type or 2" hardwood.
- Fence: Woven wire, 14 1/2 ga. 6" max. mesh opening filter.
- Cloth: Filter x, mirafri 100x, stabo-linka 1140n or approved equal. prefabricated unit: geofab, envirofence, or approved equal.



SECTION B-B'

NTS

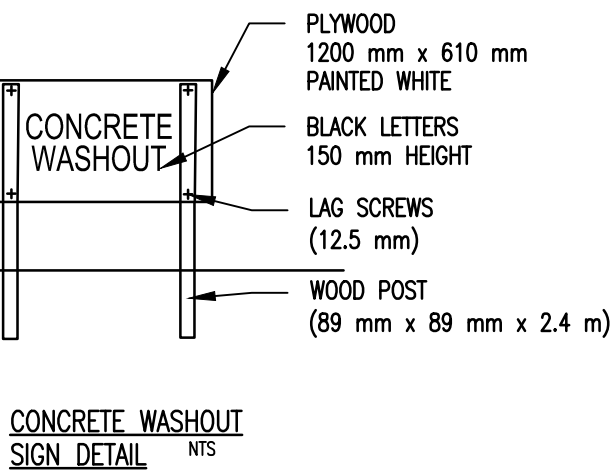


PLAN

NTS

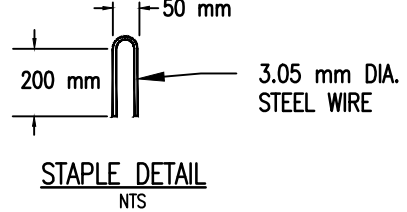
CONCRETE WASHOUT DETAIL

NTS



CONCRETE WASHOUT SIGN DETAIL

NTS



STAPLE DETAIL

NTS



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E & S DETAILS

C11



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1.	7/30/18	NYSDOT Comments		
2.	8/15/18	Chemung Co. Health Dept.		
3.	8/27/18			Town of Catlin PB Comments

It is A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor Is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.

# The Broadway Group Beaver Dams Site Catlin (T), Chemung (Co.), NEW YORK

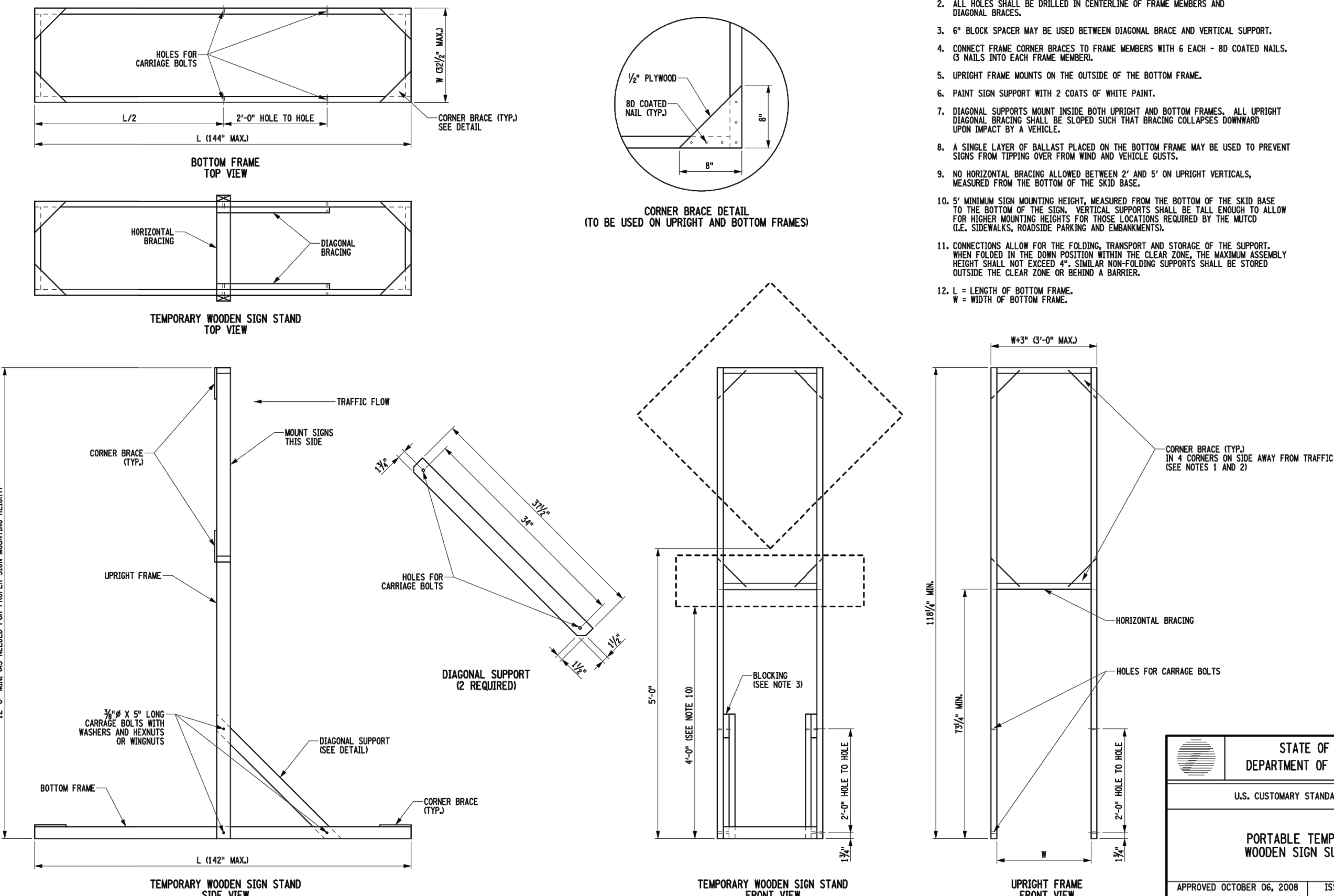


**FAGAN**  
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& LAND SURVEYORS PC

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Scale:	As Noted 11x17 Prints are 1/2 Size
Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
Project No.:	2017-023-009
Drawing Name:	17023.009-a.dwg

## NYSDOT WORK ZONE DETAILS

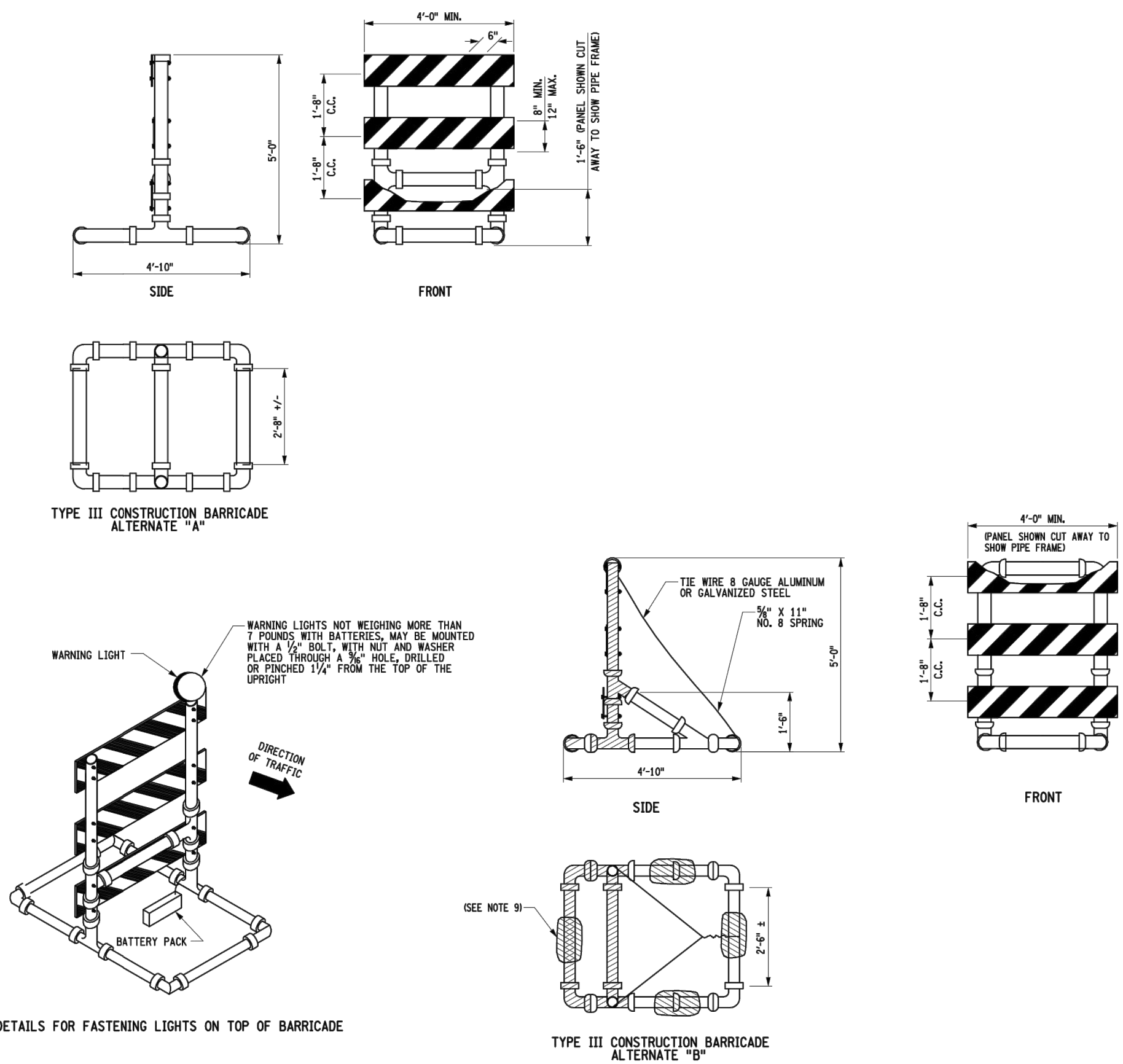


**NOTES:**

- ALL LUMBER SHALL BE 2 X 4 DIMENSIONAL LUMBER. CONNECT FRAME MEMBERS WITH 2 EACH 12D COATED NAILS.
- ALL HOLES SHALL BE DRILLED IN CENTERLINE OF FRAME MEMBERS AND DIAGONAL BRACES.
- 6" BLOCK SPACER MAY BE USED BETWEEN DIAGONAL BRACE AND VERTICAL SUPPORT.
- CONNECT FRAME CORNER BRACES TO FRAME MEMBERS WITH 6 EACH - 8D COATED NAILS. (3 NAILS INTO EACH FRAME MEMBER).
- UPRIGHT FRAME MOUNTS ON THE OUTSIDE OF THE BOTTOM FRAME.
- PAINT SIGN SUPPORT WITH 2 COATS OF WHITE PAINT.
- DIAGONAL SUPPORTS MOUNT INSIDE BOTH UPRIGHT AND BOTTOM FRAMES. ALL UPRIGHT DIAGONAL BRACING SHALL BE SLOPED SUCH THAT BRACING COLLAPSES DOWNWARD UPON IMPACT BY A VEHICLE.
- A SINGLE LAYER OF BALLAST PLACED ON THE BOTTOM FRAME MAY BE USED TO PREVENT SIGNS FROM TIPPING OVER FROM WIND AND VEHICLE GUSTS.
- NO HORIZONTAL BRACING ALLOWED BETWEEN 2' AND 5' ON UPRIGHT VERTICALS, MEASURED FROM THE BOTTOM OF THE SKID BASE.
- MINIMUM SIGN MOUNTING HEIGHT, MEASURED FROM THE BOTTOM OF THE SKID BASE TO THE BOTTOM OF THE SIGN. VERTICAL SUPPORTS SHALL BE TALL ENOUGH TO ALLOW FOR HIGHER MOUNTING HEIGHTS FOR THOSE LOCATIONS REQUIRED BY THE MUTCD (I.E. SIDEWALKS, ROADSIDE PARKING AND ENHANCEMENTS).
- CONNECTIONS ALLOW FOR THE FOLDING, TRANSPORT AND STORAGE OF THE SUPPORT. WHEN FOLDED IN THE DOWN POSITION WITHIN THE CLEAR ZONE, THE MAXIMUM ASSEMBLY HEIGHT SHALL NOT EXCEED 4'. SIMILAR NON-FOLDING SUPPORTS SHALL BE STORED OUTSIDE THE CLEAR ZONE OR BEHIND A BARRIER.
- L = LENGTH OF BOTTOM FRAME.  
W = WIDTH OF BOTTOM FRAME.


	STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET	
PORTABLE TEMPORARY WOODEN SIGN SUPPORT	
APPROVED OCTOBER 06, 2008 /S/ J.F. TYMAN, P.E. DEPUTY CHIEF ENGINEER (CONSTRUCTION)	ISSUED UNDER EB 08-036  619-04

EFFECTIVE DATE: 01/08/09



**NOTES:**

- THE DETAILS AND MATERIALS FOR TYPE III CONSTRUCTION BARRICADES ARE NCHRP 350 APPROVED. IF THE CONTRACTOR ELECTS TO USE AN ALTERNATE DESIGN OR MATERIALS, THE ALTERNATIVE SHALL BE NCHRP 350 APPROVED.
- THE ALTERNATES SHOWN ON THIS SHEET ARE EQUALLY ACCEPTABLE AND THE CONTRACTOR MAY USE ANY ONE OR A MIXTURE OF TYPES.
- PANELS SHALL HAVE 6" WIDE REFLECTORIZED ORANGE AND WHITE DIAGONAL STRIPES OF TYPE I OR TYPE III SHEETING SLOPING AT AN ANGLE OF 45°. IN ACCORDANCE WITH §729-08, THE STRIPES SHALL SLOPE DOWNWARD TOWARD THE SIDE ON WHICH TRAFFIC IS TO PASS.
- BALLAST MAY BE PLACED ON THE BASE MEMBERS OF THE BARRICADE. BALLAST SHALL NOT EXTEND INTO THE ACCESSIBLE PASSAGE WIDTH OF 5' WHERE BARRICADES ARE USED TO CHANNELIZE PEDESTRIANS.
- PANELS FOR BARRICADES MAY BE WOOD, PLASTIC, OR ALUMINUM PIPE FOR BARRICADES SHALL USE SDR SIZES 21 TO 32S.
- WHEN THE BATTERY AND LIGHT WEIGH MORE THAN 7 LBS, THE BATTERY SHALL BE MOUNTED ON THE BOTTOM OF THE BARRICADE.
- ALL PIPES SHALL BE WHITE, WHITE FITTINGS ARE PREFERRED, BLACK MAY BE USED. ALL JOINTS IN ALTERNATE "A" SHALL BE GLUED WITH A SOLVENT CEMENT COMPATIBLE WITH THE PVC PIPE.
- ALL JOINTS IN ALTERNATE "B" SHALL BE FREE TO SEPARATE UPON VEHICLE IMPACT. SHAVED PIPES AND FITTINGS SHALL BE TIED TOGETHER WITH A MINIMUM 5/8" DIA. NYLON, OR EQUIVALENT ROPE THREADED INTO THE PIPE AND FITTING INTERIOR.
- IF BARRICADES ARE USED TO TEMPORARILY CHANNELIZE PEDESTRIANS, THERE SHALL BE A CONTINUOUS DETECTABLE BOTTOM AND TOP RAILS WITH NO GAP BETWEEN INDIVIDUAL BARRICADES TO BE DETECTABLE TO BLIND OR VISUALLY IMPAIRED USERS OF LONG CANES. THE BOTTOM OF THE BOTTOM RAIL SHALL BE NO HIGHER THAN 6" ABOVE THE GROUND AND THE TOP OF THE TOP RAIL SHALL BE NO LOWER THAN 3' ABOVE THE GROUND.

	STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET	
TYPE III CONSTRUCTION BARRICADES (SHEET 1 OF 2)	
APPROVED OCTOBER 06, 2008 /S/ J.F. TYMAN, P.E. DEPUTY CHIEF ENGINEER (CONSTRUCTION)	ISSUED UNDER EB 08-036  619-02

EFFECTIVE DATE: 01/08/09





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It Is A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He Is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor Is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.

**The Broadway Group  
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## NYS DOT WORK ZONE DETAILS

# C13

1. THE PARTY DETAILS DEPICTED ON THE STANDARD SHEETS AND IN THE MATFOL, REFLECT THE MINIMUM REQUIREMENTS.
2. THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE STANDARD SHEETS, FOR REVIEW AND APPROVAL. IF THE REGIONAL DIRECTOR OR HIS/HER DEPUTY ISSUES CHANGES TO THE PLANNED IMPLEMENTATION OF SUCH REVISIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVISIONS. THE CONTRACTOR SHALL PLAN, SUCH CHANGES MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DEPUTY. THIRTY (30) WORKING DAYS BEFORE THE COMMENCEMENT OF SUCH REVISIONS.
3. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LOCAL PERMITS AND TO OBTAIN THE NECESSARY EMERGENCY RESPONSE OUTSIDE LOCAL WORKING HOURS. THE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE RESIDENT ENGINEER, AND THE LOCAL POLICE.

**ACTIVITY AREA**

1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
2. WHEN TWO OR MORE AREAS ARE ADJACENT, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL MAINTAIN AN ADEQUATELY SAFE DISTANCE AND THAT LINE CONTINUIT IS MAINTAINED THROUGHOUT ALL WORK AREAS.

**SIGNS**

1. THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND THE SIGNS MAY BE ADJUSTED BASED ON SIGN DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL OF THE ENGINEER.
2. ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL PLAN LAYOUT SHALL BE COVERS, REMOVED, STORED OR RESET. AS REQUESTED BY THE ENGINEER, ALL APPROVED EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.
3. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
4. ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE, TWO-WAY TRAVEL DURING AND BEYOND THE WORK ZONE. IN CASES WHERE LANE CLOSURE, LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE, LANE SIGNS SHALL BE POSTED ON THE WORKING SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
5. SIGNS MOUNTED ON THE MEDIAN OF DIVIDED HIGHWAYS WHERE MEDIAN BARRIERS IS IN PLACE, MAY BE MOUNTED ON THE BARRIER WITH A SADDLE TYPE BRACKET, LAYING THE SIGN DOWNWARD, WITH THE BOTTOM OF THE SIGN 10' ABOVE THE ROAD SURFACE.
6. THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MATFOL, ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE REGIONAL DIRECTOR OR BY HIS/HER DEPUTY.
7. WY-19-11 MAY BE USED IN PLACE OF WY-19-11.


**CHANNELIZING DEVICES**

1. WHERE POSSIBLE, ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVEL WAY.

**PUBLIC ACCESS**

**BARRIER/SHADOW VEHICLES**

1. BARRIER AND SHADOW VEHICLES SHALL BE REQUIRED AS PER STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES".
2. NO WORK ACTIVITY, EQUIPMENT, VEHICLES AND/OR MATERIALS SHALL BE LOCATED BETWEEN THE BARRIER OR SHADOW VEHICLE AND THE ACTIVE WORK AREA (ROLL AHEAD DISTANCE).
3. THE CONTRACTOR MAY BE REQUIRED TO PROVIDE A BARRIER VEHICLE IN CONJUNCTION WITH POLICE PRESENCE IN THE WORK ZONE, TO BE INCLUDED IN THE UNIT BID PRICE FOR BASIC WORK ZONE TRAFFIC CONTROL.

	STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET	
WORK ZONE TRAFFIC CONTROL GENERAL NOTES	
APPROVED SEPTEMBER 18, 2008 <u>/S/ DAVID J. CLEMENTS, P.E.</u> DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY	ISSUED UNDER EB 08-036  619-10

CLOSURE TYPE	EXPOSURE CONDITION <sup>1</sup>	USE REQUIREMENTS <sup>4,5</sup>			
		FREEMAN	NON-FREEMAN (PRECONSTRUCTION POSTED SPEED LIMIT)		
			≥ 45 MPH	35-40 MPH	≤ 30 MPH
LANE CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED <sup>2</sup>	REQUIRED <sup>3</sup>	REQUIRED <sup>3</sup>	OPTIONAL <sup>2</sup>
	NON-TRAVELABLE HAZARD (IE. EQUIPMENT, MATERIALS, EXCAVATION) ONLY NO WORKERS EXPOSED	REQUIRED <sup>2</sup>	REQUIRED <sup>3</sup>	OPTIONAL <sup>2</sup>	OPTIONAL <sup>2</sup>
SHOULDER CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED <sup>2</sup>	REQUIRED <sup>3</sup>	OPTIONAL <sup>2</sup>	OPTIONAL <sup>2</sup>
	NON-TRAVELABLE HAZARD (IE. EQUIPMENT, MATERIALS, EXCAVATION) ONLY NO WORKERS EXPOSED	REQUIRED <sup>2</sup>	OPTIONAL <sup>2</sup>	OPTIONAL <sup>2</sup>	OPTIONAL <sup>2</sup>

1. THE EXPOSURE CONDITIONS DESCRIBED IN TABLE 1-1 ASSUMES THERE IS NO POSITIVE PROTECTION (TEMPORARY TRAFFIC) BARRIERS PROVIDED. WHERE WORKERS OR HAZARDS ARE PROTECTED BY A TEMPORARY TRAFFIC BARRIER, THE BARRIER SHALL BE PROVIDED.
2. WHERE THE REQUIREMENT IS "OPTIONAL", EITHER A BARRIER VEHICLE OR THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6-2) SHALL BE PROVIDED.
3. REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE BARRIER VEHICLE FOR EACH CLOSED LANE AND EACH OPENED PAVED SURFACE. IN ADDITION, IN MOST CASES, IF THE WORK SPACE MOVES WITHIN THE STATIONARY CLOSURE, THE BARRIER VEHICLE SHALL BE REPOSITIONED ACCORDINGLY. BARRIER VEHICLES SHALL BE REQUIRED TO BE OPERATED BY A LICENSED OPERATOR DURING ALL WORKING AND NON-WORKING HOURS UNTIL THE HAZARD NO LONGER EXISTS. EXCEPTIONS TO THESE REQUIREMENTS MAY BE MADE, AS APPROVED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE. BARRIER VEHICLE PLACEMENT SHALL BE INSPECTED AND NOT ALLOW INTERFERE WITH THE SAFE OPERATION OF TRAFFIC.
4. BARRIER VEHICLES ARE NOT REQUIRED FOR MILLING AND/OR PAVING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE SHALL BE PROVIDED.
5. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6-2) SHALL BE PROVIDED.

TABLE 6A-1 FORMULAS FOR DETERMINING TAPER LENGTHS															
SPEED LIMIT (MI) (40 MPH OR LESS		TAPER LENGTH (L) FT.†													
45 MPH OR MORE		L = WS <sup>2</sup> /60													
		L = WS													
				† TAPER LENGTH = WIDTH OF OFFSET (FT.) × PREDETERMINED POSTED SPEED LIMIT (MPH)											
STANDARD TAPER LENGTHS															
LATERAL SHIFT OF TRAFFIC FLOW PATH		TEMPORARY TRAFFIC CONTROL ZONE SPEED LIMIT													
		25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH						
4	50	60	85	110	180	200	220	240	260						
5	50	75	105	135	225	250	275	300	325						
6	65	90	125	160	270	300	330	360	390						
7	80	105	145	190	315	360	395	420	455						
8	85	120	165	215	360	400	440	480	520						
9	95	135	185	240	450	490	540	585	630						
10	105	150	205	270	450	500	550	600	650						
11	115	165	220	290	450	510	570	630	710						
12	125	180	245	320	540	600	660	720	780						

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	DISTANCE
25	155 FT.
30	200 FT.
35	250 FT.
40	305 FT.
45	360 FT.
50	425 FT.
55	495 FT.
60	570 FT.
65	645 FT.

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	PLACEMENT DISTANCE (FT.)			
	BARRIER VEHICLES*			
	(18000 LBS.)		(24000 LBS.)	
	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
> 55	100 FT.	200 FT.	100 FT.	200 FT.
45 - 55	100 FT.	200 FT.	85 FT.	165 FT.
< 45	85 FT.	165 FT.	50 FT.	100 FT.

\* AS DEFINED IN NYSDOT STANDARD SPECIFICATION 619:  
BARRIER VEHICLE - VEHICLE USED FOR STATIONARY SHOULDER  
CLOSURES, LANE CLOSURES, AND OTHER STATIONARY WORK ZONES.  
MINIMUM DISTANCE SHOWN REFLECTS THE ACTUAL ROLL AHEAD  
DISTANCE FROM MANUFACTURER.

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	PLACEMENT DISTANCE (FT.)			
	SHADOW VEHICLES**			
	(18000 LBS.)		(24000 LBS.)	
	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
> 55	230 FT.	330 FT.	180 FT.	280 FT.
45 - 55	180 FT.	280 FT.	150 FT.	250 FT.
< 45	100 FT.	200 FT.	100 FT.	200 FT.






















\* AS DEFINED IN NYSDOT STANDARD SPECIFICATION 619:  
SHADOW VEHICLE - VEHICLE USED FOR MOBILE OR SHORT DURATION  
WORK OPERATIONS.  
MINIMUM DISTANCE SHOWN REFLECTS THE ACTUAL ROLL AHEAD  
DISTANCE FROM MANUFACTURER.


TYPE OF TAPER	TAPER LENGTH (L)
MERGING TAPER	L
SHIFTING TAPER	L/2
SHOULDER TAPER	L/3
ONE-LANE, TWO-WAY TRAFFIC TAPER	100 FT. MAXIMUM
DOWNSTREAM TAPER	100 FT. PER LANE

TYPE OF POSITIVE BARRIER	POSTED SPEED LIMIT				
	30 MPH	40 MPH	50 MPH	55 MPH	65 MPH
TEMPORARY CONCRETE BARRIER	8:1	11:1	14:1	16:1	20:1
BOX BEAM OR HEAVY POST CORRUGATED BEAM	7:1	9:1	11:1	12:1	15:1

ROAD TYPE	DISTANCE BETWEEN SIGNS			SIGN LEGEND	
	A (FT.)	B (FT.)	C (FT.)	XX	YY
URBAN (≤ 30 MPH)	100	100	100	AHEAD	AHEAD
URBAN (35-40 MPH)	200	200	200	AHEAD	AHEAD
URBAN (≥ 45 MPH)	350	350	350	1000 FT.	AHEAD
RURAL	500	500	500	1500 FT.	1000 FT.
EXPRESSWAY / FREEWAY	1000	1500	2640	1 MILE	1/2 MILE

- \* PRECONSTRUCTION POSTED SPEED LIMIT
- \* URBAN: MEETS MORE THAN 1 OF THE FOLLOWING CRITERIA: SIDEWALKS, BICYCLE USAGE, CURBING, CLOSED DRAINAGE SYSTEMS, DRIVEWAY DENSITIES GREATER THAN 24 DRIVEWAYS PER MILE, MINOR COMMERCIAL DRIVEWAY DENSITIES OF 10 DRIVEWAYS PER MILE OR GREATER, EXISTING DRIVEWAYS, NUMEROUS RIGHT OF WAY CONSTRAINTS, HIGH DENSITY OF CROSS STREETS, 85TH PERCENTILE SPEEDS OF 45 MPH OR LESS.
- \* RURAL: ANY AREA NOT EXHIBITING MORE THAN ONE OF THE ABOVE CHARACTERISTICS.
- \* EXPRESSWAY: DIVIDED HIGHWAYS FOR TRAFFIC WITH FULL OR PARTIAL CONTROL OF ACCESS AND GENERALLY WITH GRADE SEPARATIONS AT MAJOR CROSSROADS.
- \* FREEWAYS/INTERSTATE: LOCAL OR INTER REGIONAL HIGH-SPEED, DIVIDED, HIGH-VOLUME FACILITIES WITH FULL OR PARTIAL CONTROL OF ACCESS.

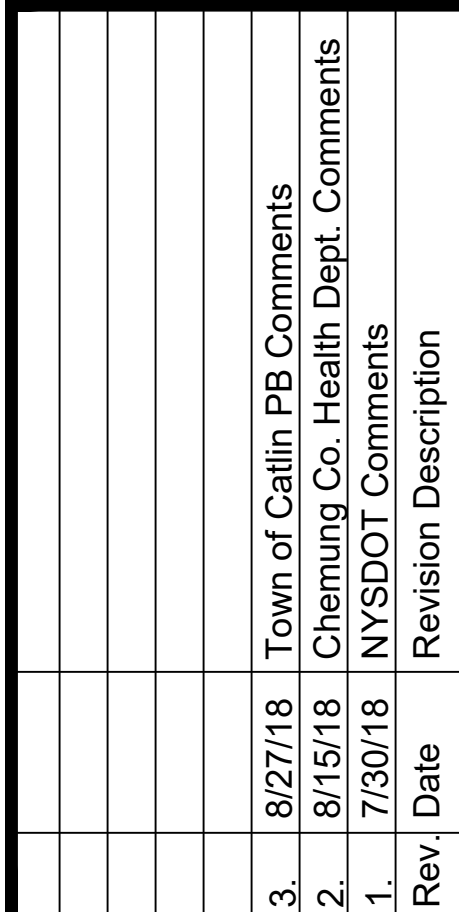
WORK ZONE TRAFFIC CONTROL LEGEND	
SYMBOL	DESCRIPTION
	ARROW PANEL
	ARROW PANEL, CAUTION MODE
	ARROW PANEL TRAILER OR SUPPORT
	CHANGEABLE MESSAGE SIGN (PMS)
	CHANNELIZING DEVICE
	CRASH CUSHION/TEMPORARY IMPACT ATTENUATOR
	DIRECTION OF TEMPORARY TRAFFIC DETOUR
	DIRECTION OF TRAFFIC
	FLAGGER
	FLAG TREE
	LUMINAIRE
	PAYMENT MARKINGS THAT SHALL BE REMOVED FOR A LONG-TERM PROJECT
	SIGN, TEMPORARY
	TEMPORARY BARRIER
	TEMPORARY BARRIER WITH WARNING LIGHTS
	TRAFFIC OR PEDESTRIAN SIGNAL
	TYPE III BARRICADE
	WARNING LIGHTS
	WORK SPACE
	WORK VEHICLE
	WORK VEHICLE WITH TRUCK MOUNTED ATTENUATOR

	STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET	
WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES	
APPROVED SEPTEMBER 18, 2008	ISSUED UNDER EB 03-086
<u>/S/ DAVID J. CLEMENTS, P.E.</u> DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY	619-11

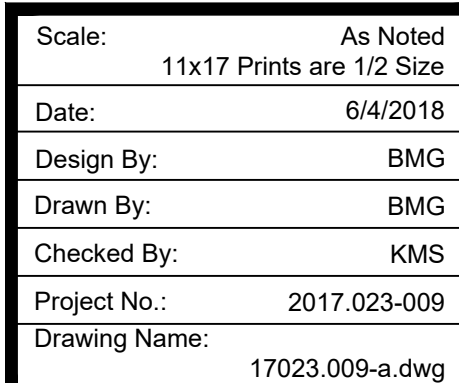


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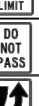


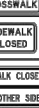
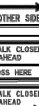




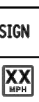






























# The Broadway Group Beaver Dams Site



## C14


WORK ZONE TRAFFIC CONTROL SIGN TABLE					
SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEWAY
	NY18-11	B	24"x34"	48"x34"	48"x34"
	NY18-12	B	24"x36"	36"x54"	48"x32"
	NY18-17	A	36"x36"	48"x48"	48"x48"
	NY18-30	A	48"x24"	48"x24"	48"x24"
	NY18-31	A	48"x24"	48"x24"	48"x24"
	NY18-32	A	48"x24"	48"x24"	48"x24"
	NY18-33	A	48"x24"	48"x24"	48"x24"
	R1-1	D	36"x36"	36"x36"	48"x48"
	R1-2	E	36"x36"x36"	48"x48"x48"	60"x60"x60"
	R2-1	B	24"x30" VIB (SEE NOTE 5)	36"x48"	36"x48"
	R2-11	B	24"x30"	36"x48"	36"x48"
	R2-12	B	24"x36"	36"x54"	36"x54"
	R4-1	B	24"x30"	36"x48"	36"x48"
	R4-7	B	24"x30"	36"x48"	36"x48"
	R4-7G NARROW	B	18"x30"	-----	-----
	R4-8	B	24"x30"	36"x48"	36"x48"
	R4-8G NARROW	B	18"x30"	-----	-----
	R4-9	B	24"x30"	36"x48"	36"x48"
	R5-1	E	36"x36"	36"x36"	48"x48"
	R9-8	B	36"x11.8"	36"x11.8"	-----
	R9-9	B	24"x11.2"	24"x11.2"	-----
	R9-10L R9-10R	B	24"x11.2"	24"x11.2"	-----
	R9-11L R9-11R	B	24"x11.8"	24"x11.8"	-----
	R9-11Ld R9-11LdR	B	24"x11.2"	24"x11.2"	-----
	R10-6	B	24"x36"	24"x36"	-----
	R11-2	B	48"x30"	48"x30"	48"x30"

WORK ZONE TRAFFIC CONTROL SIGN TABLE					
SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAY
	W1-3a	B	60"x30"	60"x30"	-----
	W1-4L W1-4R	A	36"x36"	48"x48"	48"x48"
	W1-4aL W1-4aR	A	36"x36"	48"x48"	48"x48"
	W1-4aL W1-4aR	A	36"x36"	48"x48"	48"x48"
	W1-4L W1-4R	A	36"x36"	48"x48"	48"x48"
	W1-6L	A	48"x24"	60"x30"	60"x30"
	W1-6R	A	48"x24"	60"x30"	60"x30"
	W1-8L A AND BORDER	A	18"x24"	30"x36"	30"x36"
	W1-8R A AND BORDER	A	18"x24"	30"x36"	30"x36"
	W3-1	A <sup>4</sup>	36"x36"	48"x48"	48"x48"
	W3-2	A <sup>4</sup>	36"x36"	48"x48"	48"x48"
	W3-3	A <sup>4</sup>	36"x36"	48"x48"	48"x48"
	W3-4	A	36"x36"	48"x48"	48"x48"
	W3-5	A <sup>4</sup>	36"x36"	48"x48"	48"x48"
	W4-1L W4-1R	A	36"x36"	48"x48"	48"x48"
	W4-2L W4-2R	A	36"x36"	48"x48"	48"x48"

















COLOR CODE LEGEND	
CODE	DESCRIPTION
A	BLACK LEGEND AND BORDER ON AN ORANGE BACKGROUND
B	BLACK LEGEND AND BORDER ON A WHITE BACKGROUND
C	WHITE LEGEND AND BORDER ON A GREEN BACKGROUND
D	WHITE LEGEND AND BORDER ON A RED BACKGROUND
E	RED LEGEND AND BORDER ON A WHITE BACKGROUND
F	BLACK LEGEND AND BORDER ON A FLUORESCENT YELLOW GREEN BACKGROUND
G	WHITE LEGEND AND BORDER ON A BLUE AND RED BACKGROUND

NOTES:

1. DIMENSIONS ARE SHOWN AS WIDTH X HEIGHT.
2. FOR SIGNAGE NOT SHOWN ON THESE TABLES REFER TO THE MULT.C.D.
3. COLORS FOR DIRECTION PLQUES, ADVANCE TURN ARROWS, AND DIRECTIONAL ARROWS SHALL MATCH THE ROUTE OR INTERSTATE SIGN THAT THEY SUPPLEMENT AS PER THE MULT.C.D.
4. MULTICOLORED SYMBOL IMPOSED ON SIGN WITH BLACK LEGEND AND BORDER ON AN ORANGE BACKGROUND.
5. FOR R2-1 SIGN LARGER DIMENSIONS SHALL BE USED WHEN SIGN FACES MULTIPLE LANES ON A CONVENTIONAL ROAD.

	STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION	
U.S. CUSTOMARY STANDARD SHEET		
SIGN TABLE (SHEET 1 OF 2)		
APPROVED APRIL 1, 2012  /S/ TODD WESTHUIS, P.E.  DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY	ISSUED UNDER EB 12-010   619-12	

EFFECTIVE DATE: 05/03/2012


WORK ZONE TRAFFIC CONTROL SIGN TABLE					
SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAN
	W13-1P	A	24"x32"	30"x30"	30"x30"
	W13-3	A	36"x36"	36"x36"	36"x36"
	W13-4P	A	48"x48"x36"	-----	-----
	W16-1P	SEE NOTE 3 A OR F	18"x24"	24"x30"	----
	W16-2P	A	24"x18"	30"x24"	-----
	W16-4P	SEE NOTE 3 A OR F	30"x24"	-----	-----
	W16-SPL W16-SPL	SEE NOTE 3 A OR F	24"x18"	-----	-----
	W16-TPL W16-TPL	SEE NOTE 3 A OR F	24"x12"	30"x18"	-----
	W16-9P	SEE NOTE 3 A OR F	24"x12"	30"x18"	-----
	W20-1	A	36"x36"	48"x48"	48"x48"
	W20-2	A	36"x36"	48"x48"	48"x48"
	W20-3	A	36"x36"	48"x48"	48"x48"
	W20-4	A	36"x36"	48"x48"	48"x48"
	W20-5	A	36"x36"	48"x48"	48"x48"
	W20-5a	A	36"x36"	48"x48"	48"x48"
	W20-7	A	36"x36"	48"x48"	48"x48"

WORK ZONE TRAFFIC CONTROL SIGN TABLE					
SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FRE
	W21-1	A	36"x36"	48"x48"	48"
	W21-4	A	36"x18"	48"x24"	48"
	W21-5	A	36"x36"	48"x48"	48"
	W21-5dL W21-5dR	A	36"x36"	48"x48"	48"
	W21-5dL W21-5dR	A	36"x36"	48"x48"	48"
	W21-8	A	36"x36"	48"x48"	48"
	W22-1	A	36"x36"	48"x48"	48"
	W22-2	A	42"x36"	42"x36"	42"
	W22-3	A	42"x36"	42"x36"	42"
	W23-2	A	36"x36"	48"x48"	48"
	W24-1L W24-1R	A	36"x36"	48"x48"	48"
	W24-1dL W24-1dR	A	36"x36"	48"x48"	48"
	W24-1dL W24-1dR	A	36"x36"	48"x48"	48"

COLOR CODE LEGEND	
CODE	DESCRIPTION
A	BLACK LEGEND AND BORDER ON AN ORANGE BACKGROUND
B	BLACK LEGEND AND BORDER ON A WHITE BACKGROUND
C	WHITE LEGEND AND BORDER ON A GREEN BACKGROUND
D	WHITE LEGEND AND BORDER ON A RED BACKGROUND
E	RED LEGEND AND BORDER ON A WHITE BACKGROUND
F	BLACK LEGEND AND BORDER ON A FLUORESCENT YELLOW GREEN BACKGROUND
G	WHITE LEGEND AND BORDER ON A BLUE AND RED BACKGROUND

NOTES:

1. DIMENSIONS ARE SHOWN AS WIDTH X HEIGHT.
2. FOR SIGNAGE NOT SHOWN ON THESE TABLES REFER TO THE M.U.T.C.D.
3. WHEN USED IN CONJUNCTION WITH A BICYCLE SIGN (W11-1) OR PEDESTRIAN CROSSING (W11-2) COLOR CODE SHALL MATCH.

	STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION	
LLS. CUSTOMARY STANDARD SHEET		
SIGN TABLE (SHEET 2 OF 2)		
APPROVED APRIL 1, 2012	ISSUED UNDER EB 12-010	
<u>W. TODD WESTHUIS, P.E.</u> DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY		619-12





Rev.	Date	NYSDOT Comments	Chernung Co. Health Dept. Comments	Town of Catlin PB Comments
3.	8/27/18			
2.	8/15/18			
1.	7/30/18			

It is A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor Is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.

## The Broadway Group Beaver Dams Site Catlin (T), Chernung (Co.), NEW YORK

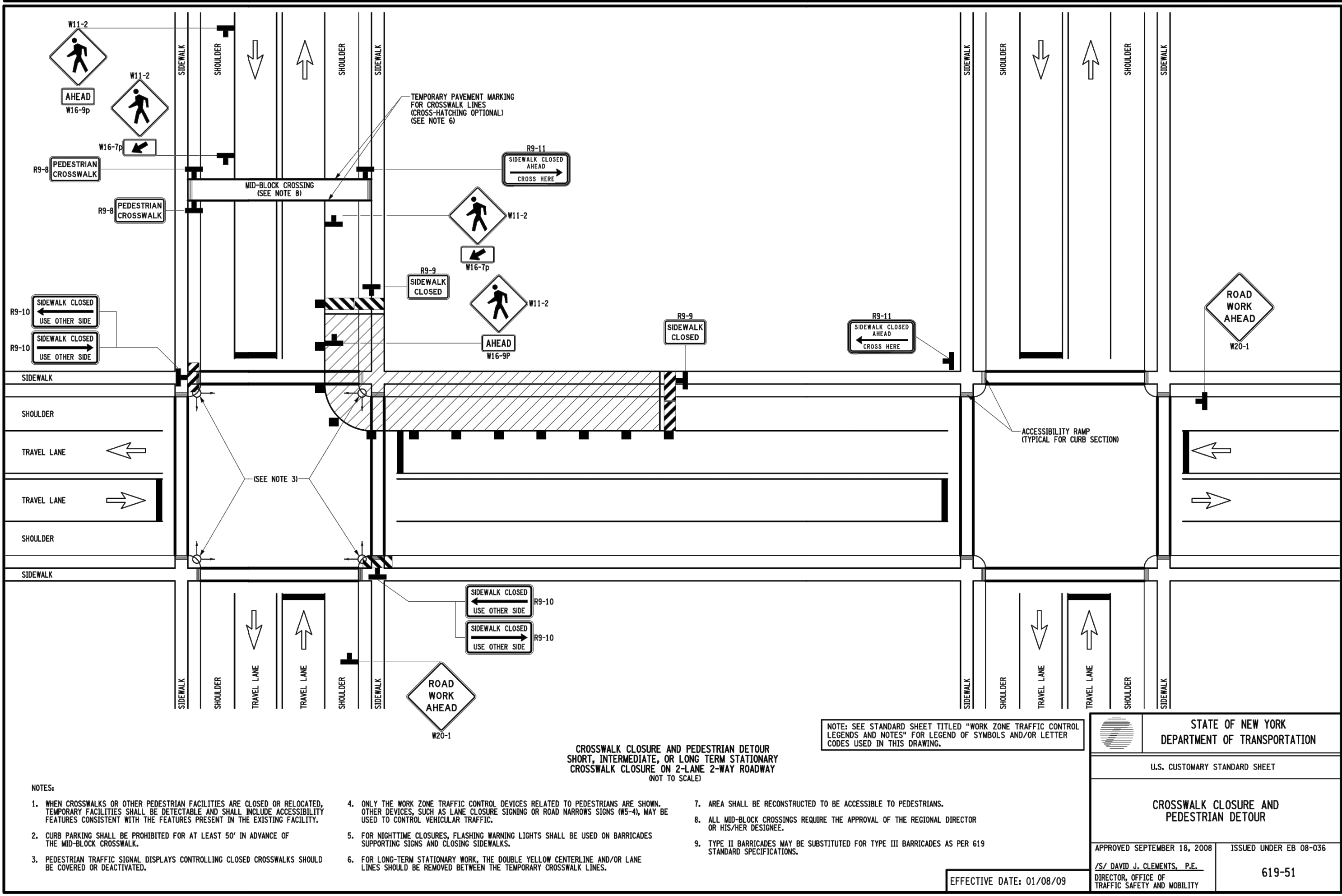
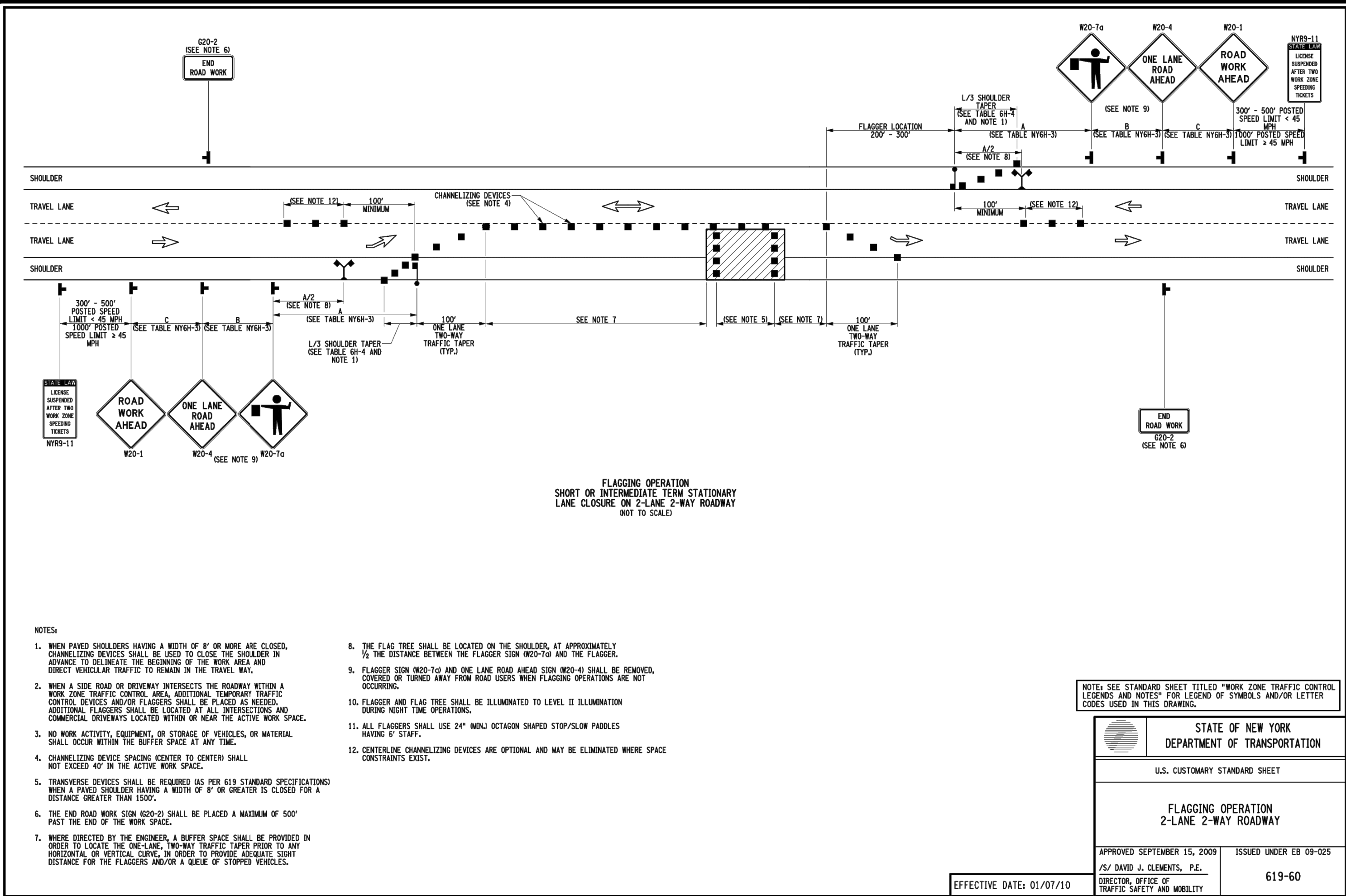
**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC

113 East Chernung Place  
Elmira N.Y. 14904  
Phone (607) 734-2165  
Fax (607) 734-2169  
www.FaganEngineers.com

Scale:	As Noted 11x17 Prints are 1/2 Size
Date:	6/4/2018
Design By:	BMG
Drawn By:	BMG
Checked By:	KMS
Project No.:	2017.023-009
Drawing Name:	17023.009-a.dwg

## NYSDOT WORK ZONE DETAILS

**C15**



**FINAL PRINT**  
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Rev.	Date	Revision Description
1.	7/30/18	NYSDOT Comments
2.	8/15/18	Chemung Co. Health Dept. Comments
3.	8/27/18	Town of Catlin PB Comments

It is A Violation Of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item In Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.

**The Broadway Group**  
**Beaver Dams Site**  
Catlin (T), Chemung (Co.), NEW YORK

**FAGAN**  
ENGINEERS  
& LAND SURVEYORS PC

113 East Chemung Place  
Elmira N.Y. 14904  
Phone: (607) 734-2165  
Fax: (607) 734-2169  
www.FaganEngineers.com



**TRUCK ACCESS DETAILS**  
**C16**



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Catten

Referring Official: Dorel Phelps Title: T/Clerk

Address: 1448 Chambers Rd, B-Dams 14812

Phone Number: 607-739-5598 E-mail: cattentownclerk@gmail.com

Referring Board (check appropriate box): ☐ Legislative Board ☒ ZBA ☐ Planning Board

Petitioner(s): Williams Construction Phone: 607-215-0410

Petitioner's Mailing Address: 1251 PA. Av. Pine City E-mail: DWilliams93@

Location of Property: 864 Chambers Rd, 14871 STNY.RR.COM

Tax Map Parcel Number(s): 27.00 - 1-39512

Current Zoning District: AR

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Area Variance                | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input type="checkbox"/> Site Plan Review                        | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

See Attached 20' x 46' Car Port



**The proposed action applies to real property within five hundred feet (500') of the following**

(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☐ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): \_\_\_\_\_

☐ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): \_\_\_\_\_

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has  
established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture  
and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_

**Hearings/Meetings Schedule**

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		<del>8/23/18</del>
Zoning Board of Appeals	10/4/18	9/18/18
Planning Board/Planning Commission		8/23/18
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) \_\_\_\_\_

**"Full Statement" Checklist**

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

**For All Actions:**

- \_\_\_\_\_ Chemung County Planning Board – Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

**For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND**

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.**



Town of Catlin  
1448 Chambers Rd  
Beaver Dams, New York 14812  
607-739-5598



**Application to the Zoning Board of Appeals**

APPEAL # \_\_\_\_\_  
DATE 8/13/18

This application, made on the 13 day of 08, 2018 is an appeal from the decision of the Code Enforcement Officer, to grant a Permit based on the requirements set forth in the Town of Catlin Zoning Laws, Local Law #3 of 1999. Included with this application is a site plan of the property and the appropriate filing fee.

Zone: AR Tax Map ID # 27.00-1-39.512

Applicant: WILLIAMS CONSTRUCTION Phone: 607-215-0410

Street Address: 1251 PENNSYLVANIA AVE. Cell: 607-259-9262

City: PINE CITY State: NY Zip: 14871 Office: 607-215-0410

Email Address: DWILLIAMS93@STNY.RR.COM

Property Owner: BRIAN KOZENKO Phone: \_\_\_\_\_

Street Address: 864 CHAMBERS RD Cell: 607-738-5042

City: HORSEHEADS State: NY Zip: 14845 Office: \_\_\_\_\_

Pursuant to the Provisions of \_\_\_\_\_, of the Town of Catlin Zoning Law, I (we) do hereby apply to the Zoning Board of Appeals for the Following:

LOCATION BY ADDRESS: 864 CHAMBERS RD

Project Description: CAR PORT ADDITION 20'x46'

Action(s) Required:

☒ Area Variance, Minor

\_\_\_\_\_ Special Use Permit

\_\_\_\_\_ Area Variance, Major

\_\_\_\_\_ Temporary Use Permit

\_\_\_\_\_ Use Permit

\_\_\_\_\_ Rezoning Request

\_\_\_\_\_ Change of Non-Conforming Use

\_\_\_\_\_ Flood Zone Variance

**Continue on Back**

**RESIDENTIAL GARAGE SHED POLE BARN CARPORT**

Attached ☒ Unattached \_\_\_\_\_ Dimensions: Structure \_\_\_\_\_ Lot Size \_\_\_\_\_

Indicate distance from: Side Lines R \_\_\_\_\_ L \_\_\_\_\_ Rear Line \_\_\_\_\_ Street Line \_\_\_\_\_

**ADDITIONS DECKS**

To Front of House \_\_\_\_\_ To Side of House \_\_\_\_\_ Rear of House \_\_\_\_\_

Dimensions: Entire House \_\_\_\_\_ Proposed Addition \_\_\_\_\_ Lot Size \_\_\_\_\_

Indicate distance from: Side Lines R \_\_\_\_\_ L \_\_\_\_\_ Rear Line \_\_\_\_\_ Street Line \_\_\_\_\_

**NEW DWELLING MANUFACTURED HOME**

One Family \_\_\_\_\_ Two Family \_\_\_\_\_ Apartment \_\_\_\_\_ Other \_\_\_\_\_

Dimensions: Building \_\_\_\_\_ Lot Size \_\_\_\_\_

Indicate distance from: Side Lines R \_\_\_\_\_ L \_\_\_\_\_ Rear Line \_\_\_\_\_ Street Line \_\_\_\_\_

**COMMERCIAL INDUSTRIAL SIGNS SOLAR/WIND ENERGY SYTEM**

Building \_\_\_\_\_ Sign \_\_\_\_\_ Solar/Wind Energy System \_\_\_\_\_ Other \_\_\_\_\_

Dimensions: Building \_\_\_\_\_ Sign \_\_\_\_\_ Lot Size \_\_\_\_\_

Indicate distance from: Side Lines R \_\_\_\_\_ L \_\_\_\_\_ Rear Line \_\_\_\_\_ Street Line \_\_\_\_\_

REASON FOR VARIANCE: 50' SIDE SET BACK REQUIRED

INDICATE HARDSHIP: \_\_\_\_\_

Fee: 50.<sup>00</sup> ☒ Paid

I/We do hereby certify that the information contained herein and on the site plan submitted herewith is to the best of my/our knowledge true, accurate and correct.

Applicants Signature: [Signature]

Date: 8/13/18

**All Zoning Board of Appeals applications for an Area Variance or Use Variance must be submitted to the Planning Board per Article 12 Sub 6 of the Zoning Law.**



 Williams Construction		SITE PLAN	Kozemko 864 Chambers Road Horsheads, NY 14845	DRAWN BY: AC SCALE: 1"=20' on Arch D DATE: 8-13-2018 L-1
--	--	-----------	---	--





Town of Catlin Building Department  
1448 Chambers Road  
Beaver Dams, NY 14812  
(607)739-5598

**Area Variance Form**

**Property:**

**Location:** 864 Chambers Rd  
**Tax Map#:** 27.00-1-39.512  
**Class:** 210

**Front:** 0.00 **Zone:** R-1  
**Depth:** 0.00 **Lot:**  
**Acres:** 8.69 **Subdivision:**

**Owner:**

Kozemko Brian M  
864 Chambers Rd  
Horseheads, NY

**Applicant Type :** ☒ Owner ☐ Contractor ☐ New

**Fee:** 50.00

**Applicant:** Kozemko Brian M  
864 Chambers Rd  
Horseheads, NY 14845  
6077951646

**STATUS:** PENDING

**Date Approved:** / /

**Date Denied:** / /

**Date Expires:** / /

**Planning/Zoning#:** 18-0003

**Application Date:** 08/13/18

**Building Permit#:** 18-0038

Grounds for Rejection of Building Permit: A 50' side set back is required where there is only 44'-2" to the side property line.

Description of Need for Planning/Zoning Action: A 5'-10" Area Variance on the side property line.

Conditions/Notes: Bryan Hallgren  
Code Enforcement Officer

**Actions:**

**TOWN OF CATLIN PLANNING BOARD  
RESOLUTION 18-03**

Motion by: J. Plate  
Second by: J. Maroney

**WHEREAS**, a request has been submitted to the Zoning Board of Appeals by Brian Kozemko for property at 864 Chambers Road, Tax Map ID# 27.00-1-39.512 and

**WHEREAS**, Article 12.6 of Catlin Zoning Local Law, allows for the Planning Board to comment on variance requests made to the Zoning Board of Appeals: and

**WHEREAS**, The Planning Board has made the following findings:

There are no negative comments

therefore, be it

**RESOLVED**, That the Planning Board recommends the following:  
Adherence to Article 12, Zoning, on this request if necessary.

VOTE:      Ayes:   P. Forcier, J. Plate, J. Wakeman, W. Clack, and J. Maroney  
             Nays:   None



## Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510

[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

### Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Horseheads

Referring Official: Cathy Wood Title: Planning Board Secretary

Address: 150 Wygant Rd. Horseheads, NY 14845

Phone Number: (607) 739-8783 E-mail: cwoode@townofhorseheads.org

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Sheesley Sewer Service Phone: 607-733-1862

Petitioner's Mailing Address: 1862 Grand Central E-mail: office@sheesleys.com  
Horseheads, NY 14845

Location of Property: "same"

Tax Map Parcel Number(s): 073489 69.14-2-26

Current Zoning District: Commercial

#### Proposed Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Area Variance                           | <input type="checkbox"/> Subdivision Review    |
| <input type="checkbox"/> Use Variance                            | <input type="checkbox"/> Rezoning              |
| <input checked="" type="checkbox"/> Site Plan Review             | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit          | <input type="checkbox"/> Zoning Map Amendment  |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium            |
| <input type="checkbox"/> Other (please specify): _____           |  |

Description of the proposed action (attach detailed narrative if available):

Remove and rebuild canopy area



The proposed action applies to real property within five hundred feet (500') of the following  
(Please identify each item by filling in the appropriate blank after each item)

☐ (a) Boundary of the (City), (Village) or (Town) of: \_\_\_\_\_

☒ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): CR 606

☐ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway);  
(Include (County) or (State Route) # and name of (Road): \_\_\_\_\_

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has  
established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture  
and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_

#### Hearings/Meetings Schedule

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		9-5-18, 10-3-18
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) referred to County

#### "Full Statement" Checklist

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

##### For All Actions:

- \_\_\_\_\_ Chemung County Planning Board ~ Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

##### For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline:** Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.

# 757 B



Town of Horseheads Application for Planning Board Review

RECEIVED

AUG 29 2018

TOWN CLERK'S OFFICE

Project location: 1862 Grand Central Ave, Elmira Heights

Tax Map ID#: 073489 69.14-2-26

Application for: ☒ Site Plan Review ☐ Subdivision ☐ Special Permit ☐ Other

Applicant: Sheesley Sewer Service Inc. / Michael A. Cowan

Address: 1862 Grand Central Ave

Elmira Heights State: NY Zip: 14903

Phone: 607-733-1862 Fax: 607-737-1435 Cell: 607-738-6960

Email Address: office@sheesleys.com Send Agenda by Email: ☒ Yes

Owner: (if different) Michael A. Cowan

Address: same as above

State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Cell: \_\_\_\_\_

Email Address: \_\_\_\_\_ Send Agenda by Email: ☐ Yes

Plans Prepared by: Michael Cowan / Elmira Structures

Address: 1862 Grand Central Ave

Elmira Heights State: NY Zip: 14903

Phone: 607-733-1862 Fax: 607-737-1435 Cell: 607-738-6960

Email Address: office@sheesleys.com Send Agenda by Email: ☒ Yes

Project Description: Upgrade / Rebuild canopy area

General Location: Back of Current building

Current Zoning: Commercial

Present Use of Property: Sewer Septic business

Will Property disturb one acre or more? ☐ Yes If so, How Much? No

Description of Stormwater Management: N/A

Water: ☒ Public ☐ Private Sewage: ☒ Public ☐ Private

Total site area: 1900 Sq. ft

Anticipated construction time: 3 WKS +/- Staged: ☒ Yes ☐ No

Estimated Cost of Project: \$ 82,240.00

*The information provided is true and correct to the best of my knowledge. I understand that the completion of this application neither implies nor guarantees approval of this project.*

Applicant Signature: Michael H. Con Date: 8.29.18

Owner Signature: Michael H. Con Date: 8.29.18

*All Applications for Planning Board must be received 10 days before scheduled meeting.*

Address: 150 Wygant Rd. Horseheads, NY 14845 Phone: 607-739-7605 Fax: 607-739-0469

Office Use:

Date received: \_\_\_\_\_ By: \_\_\_\_\_

Plan File #: \_\_\_\_\_ ☐ Assign plan file #

Referrals to: ☐ Chemung County

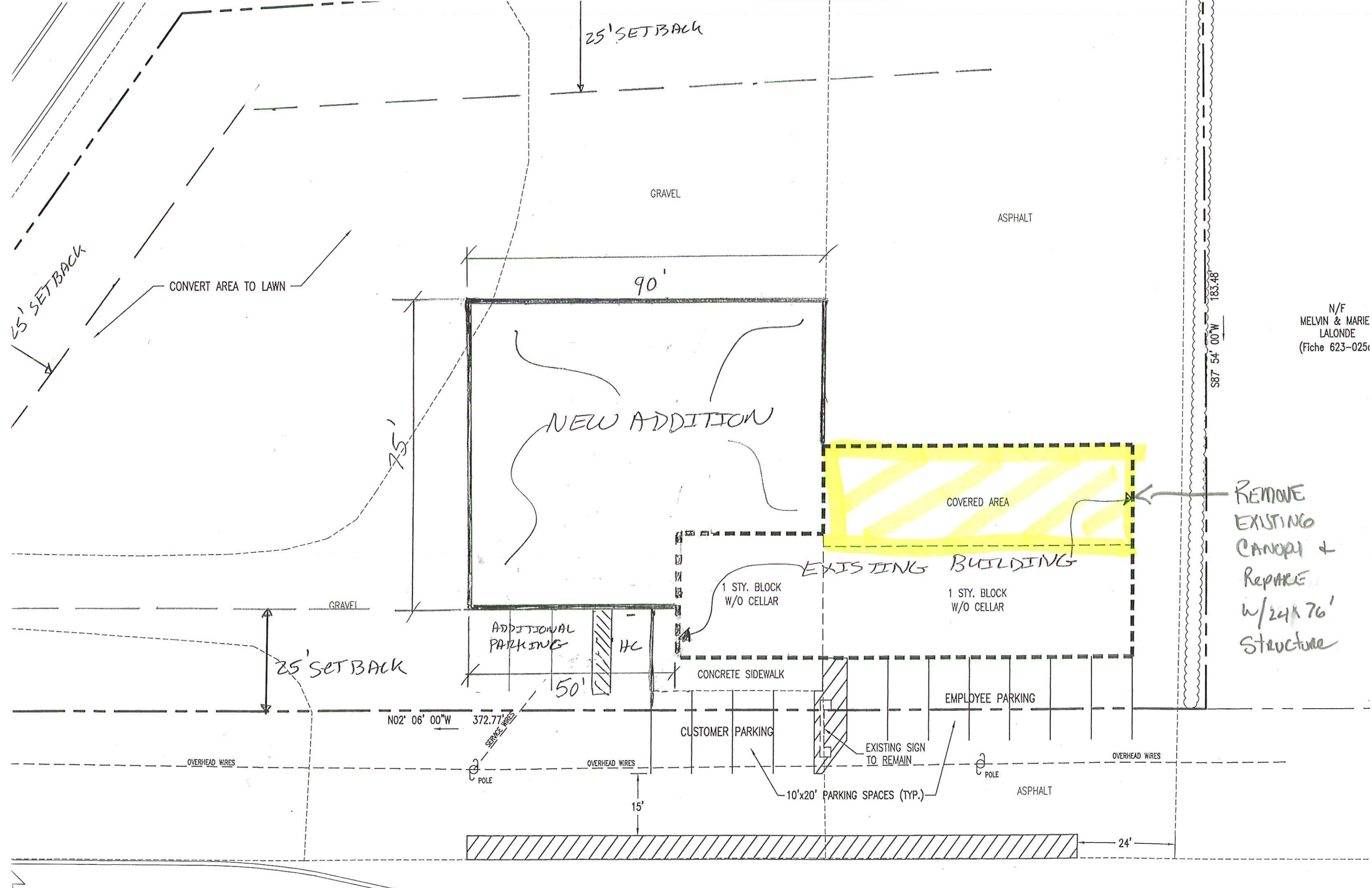
☐ Village of \_\_\_\_\_

☐ Town of \_\_\_\_\_

☐ Other \_\_\_\_\_

Fee: \_\_\_\_\_ Paid: ☐ Yes





N/F  
MELVIN & MARIE  
LALONDE  
(Fiche 623-025)



RECEIVED SEP 10 2018  
Chemung County Planning Board

Chemung County Commerce Center  
400 East Church Street  
P.O. Box 588  
Elmira, New York 14902-0588

(607) 737-5510  
[www.chemungcountyny.gov](http://www.chemungcountyny.gov)  
[planning@co.chemung.ny.us](mailto:planning@co.chemung.ny.us)

Referral Number

For office use only

Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: ☐ City ☒ Town ☐ Village of Horseheads

Referring Official: Cathy Wood Title: Planning Board Secretary

Address: 150 Wygant Rd. Horseheads, NY 14845

Phone Number: (607) 739-8783 E-mail: cwoode@townofhorseheads.org

Referring Board (check appropriate box): ☐ Legislative Board ☐ ZBA ☒ Planning Board

Petitioner(s): Sonbyrne Sales Inc. Phone: (315) 214-6455

171 Rte. 5  
Petitioner's Mailing Address: Weedsport, NY 13166 E-mail: christian.brunelle@byrnedairy.com

Location of Property: Northwest corner of Philo Rd. + Nys 1714

Tax Map Parcel Number(s): Portion of 58.20-2-3.1

Current Zoning District: PUD

Proposed Action: (check all that apply)

☐ Area Variance

☐ Use Variance

☒ Site Plan Review

☐ Special/Conditional Use Permit

☐ Comprehensive Plan Adoption / Amendment

☐ Other (please specify):

☐ Subdivision Review

☐ Rezoning

☐ Zoning Text Amendment

☐ Zoning Map Amendment

☐ Moratorium

Description of the proposed action (attach detailed narrative if available):

Construct a 4,232 +/- sq.ft. Byrne Dairy Retail Store + Fueling Facility. 3 acres part of a larger parcel.

The proposed action applies to real property within five hundred feet (500') of the following

(Please identify each item by filling in the appropriate blank after each item)

☒ (a) Boundary of the (City) (Village) or (Town) of: Horseheads

☒ (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): CR 14

☐ (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): \_\_\_\_\_

☐ (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: \_\_\_\_\_

☐ (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: \_\_\_\_\_

☐ (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: \_\_\_\_\_

#### Hearings/Meetings Schedule

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		9-5-18, 10-3-18
City Council		

Action taken on this application (reviewed) approved, discussed, etc.) referred to Village HHSDS  
+ County 9-6-18

#### "Full Statement" Checklist

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

##### For All Actions:

- \_\_\_\_\_ Chemung County Planning Board -- Municipal Referral Form
- \_\_\_\_\_ All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- \_\_\_\_\_ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- \_\_\_\_\_ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- \_\_\_\_\_ Municipal board meeting minutes on the proposed action (PDF preferred).

##### For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND

- \_\_\_\_\_ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- \_\_\_\_\_ Zoning Map
- \_\_\_\_\_ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

**Deadline:** Please submit completed referrals by close of business **10 business days prior to the Chemung County Planning Board meeting.**



#862A

RECEIVED

AUG 24 2018



## Town of Horseheads Application for Planning Board Review

TOWN CLERK'S OFFICE

Project location: Northwest corner of Philo Rd and NY State Rte 14Tax Map ID#: Portion of 58.20-2-3.1Application for: ☒ Site Plan Review ☒ Subdivision ☐ Special Permit ☐ OtherApplicant: Sonbyrne Sales Inc. / Christina BrunelleAddress: 171 Rte 5WeedsportState: NYZip: 13166Phone: (315) 214-6455 Ext 502 Fax: (315) 689-5077 Cell: (315) 420-7575Email Address: christina.brunelle@sonbyrne.com Send Agenda by Email: ☒ YesOwner: (if different) Charles Olin, William Olin, Donna SchnetzAddress: 73 and 91 Philo Road WestElmiraState: NYZip: 14903Phone: — Fax: — Cell: —Email Address: — Send Agenda by Email: ☐ YesPlans Prepared by: Plumley EngineeringAddress: 8232 Loop Rd.BaldwinsvilleState: NYZip: 13027Phone: (315) 638-8587 Fax: — Cell: —Email Address: — Send Agenda by Email: ☐ YesProject Description: Construct New Byrne Dairy Retail Store and FuelingGeneral Location: NW corner of Philo Rd and NY State Rte 14FacilityCurrent Zoning: PUTD

Present Use of Property: VACANT

Will Property disturb one acre or more? ☒ Yes If so, How Much? 1.1 +/- acres

Description of Stormwater Management: ONSITE SW BASINS, BIORETENTION BASINS AND DRAINAGE SWALE

Water: ☒ Public ☐ Private Sewage: ☒ Public ☐ Private

Total site area: 3.00 +/- acres

Anticipated construction time: Spring 2019 Staged: ☐ Yes ☒ No

Estimated Cost of Project: \$1750,000

The information provided is true and correct to the best of my knowledge. I understand that the completion of this application neither implies nor guarantees approval of this project.

Applicant Signature: [Signature] Date: 8-21-18

Owner Signature: [Signature] Date: 8/22/18

All Applications for Planning Board must be received 10 days before scheduled meeting.

Address: 150 Wygant Rd. Horseheads, NY 14845 Phone: 607-739-7605 Fax: 607-739-0469

Office Use:

Date received: \_\_\_\_\_ By: \_\_\_\_\_

Plan File #: \_\_\_\_\_ ☐ Assign plan file #

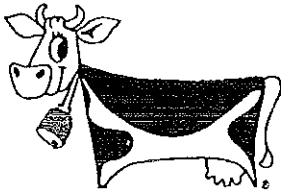
Referrals to: ☐ Chemung County

☐ Village of \_\_\_\_\_

☐ Town of \_\_\_\_\_

☐ Other \_\_\_\_\_

Fee: \_\_\_\_\_ Paid : ☐ Yes



MILK  
ICE CREAM

# SONBYRNE SALES, INC.

171 ROUTE 5

WEEDSPORT, NEW YORK 13166 • PHONE (315) 214-6455 • FAX (315) 689-5077

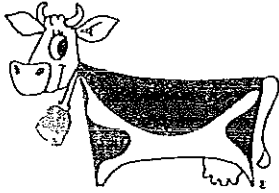
## Byrne Dairy – Horseheads Route 14 Project Narrative

### Northwest corner of Philo Road and NY State Route 14

Sonbyrne Sales Inc. would like to construct and operate a new Byrne Dairy Retail Store and Fueling Facility at the Northwest Corner of Philo Road and NY State Route 14. The parcel will be approximately 3.0+/- acres with 630'+/- of frontage along NY State Route 14. Site is currently (1) Tax parcel being 55 +/- acres, therefore a subdivision creating (2) separate parcels will be required. Currently site is Vacant. The new store would be approx. 4,232+/- sqft. and have porches attached to two sides of the main building. Fuel canopy would be freestanding and have fuel pumps under the canopy. The site has existing Public Water and Public Sewer availability. The site will have (2) curbcuts. The operation of the store would be 365 days/24 hours. An outside screened dumpster enclosure will be used for trash and cardboard removal. LED and "Dark Sky" approved lighting will be used for ALL exterior site lighting and fuel canopy lighting. The operation will employ in excess of (25) employees or approximately (16) +/- Full-time equivalent employees. The site is zoned Planned Unit Development (PUD). The proposal will comply with all NYSDEC Stormwater regulations' (SWPPP).

— "MIGHTY FINE" —





MILK  
ICE CREAM

# SONBYRNE SALES, INC.

171 ROUTE 5

WEEDSPORT, NEW YORK 13166 • PHONE (315) 214-6455 • FAX (315) 689-5077

Town of Horseheads  
150 Wygant Road  
Horseheads, NY 14845

June 4<sup>th</sup>, 2018

Re: Proposed Byrne Dairy Philo Road and Route 14 Time Table for Development

To Whom It May Concern:

Sonbyrne Sales Inc. currently has the Northwest corner of Philo Road and State Route 14 under contract and is proposing to construct a new Byrne Dairy Retail store and fueling facility at the site. Sonbyrne Sales Inc. plans on obtaining all necessary permits for the location in the next (60) days and construction would commence in March of 2019 and be completed by June 15<sup>th</sup>, 2019. If weather allows Sonbyrne Sales Inc. may start sitework in October/November of 2018.

Sincerely,

Christian Brunelle  
Senior Executive Vice President  
Sonbyrne Sales Inc.

— "MIGHTY FINE" —

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

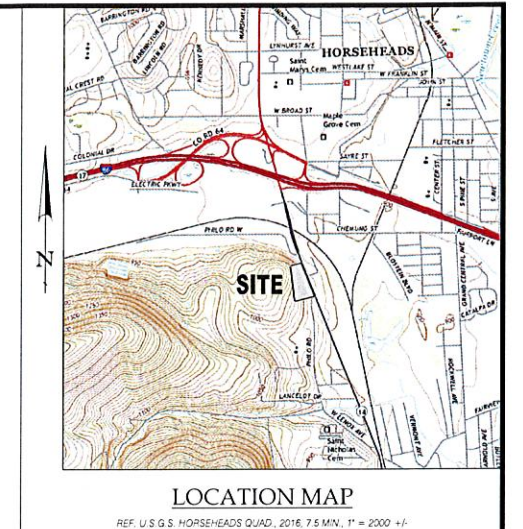
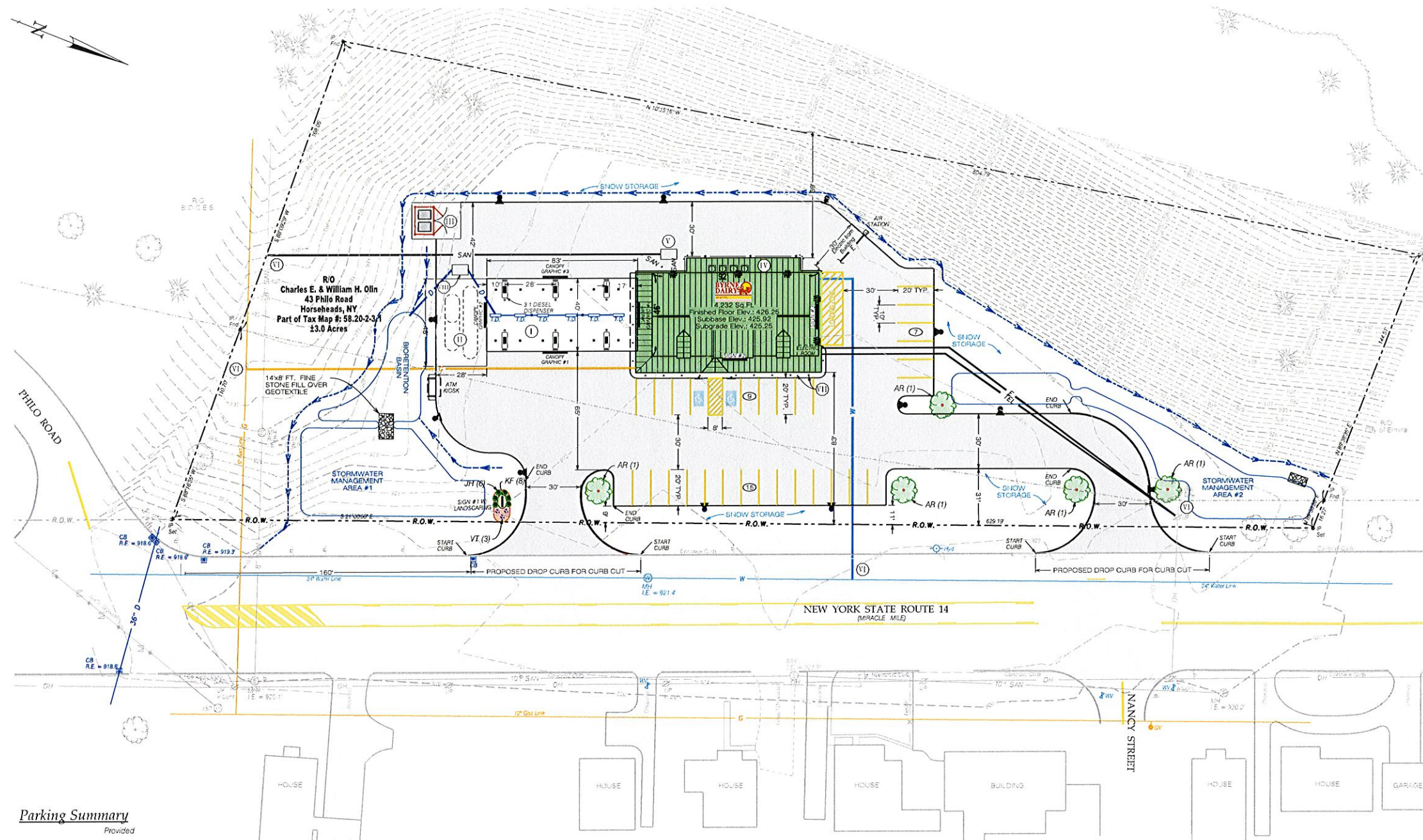
<b>Part 1 - Project and Sponsor Information</b>																		
Name of Action or Project: HORSEHEADS BYRNE DAIRY- SITE PLAN APPROVAL																		
Project Location (describe, and attach a location map): NORTHWEST CORNER OF PHILO RD. AND NY STATE RTE. 14, PORTION 43 PHILO ROAD WEST ELMIRA, NY 14903																		
Brief Description of Proposed Action: PROJECT INVOLVES THE CONSTRUCTION OF A 4,200 SQUARE FOOT CONVENIENCE STORE WITH FUELING FACILITIES, ALONG WITH ASSOCIATED PARKING, UTILITIES, LANDSCAPING AND STORMWATER MANAGEMENT SYSTEM.																		
Name of Applicant or Sponsor: SONBYRNE SALES, INC.; CONTACT: CHRISTIAN BRUNELLE		Telephone: (315) 214-6455 E-Mail: christian.brunelle@bymedairy.com																
Address: 171 ROUTE 5 WEST																		
City/PO: WEEDSPORT		State: NY	Zip Code: 13166															
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center; padding: 2px;">NO</td> <td style="text-align: center; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>											
NO	YES																	
<input checked="" type="checkbox"/>	<input type="checkbox"/>																	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC- SPDES DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES, PBS REGISTRATION; NYSDOT- HIGHWAY WORK PERMIT; CHENANGO COUNTY HEALTH DEPARTMENT- PLUMBING PERMIT			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center; padding: 2px;">NO</td> <td style="text-align: center; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>											
NO	YES																	
<input type="checkbox"/>	<input checked="" type="checkbox"/>																	
3.a. Total acreage of the site of the proposed action?		±3.0 acres																
b. Total acreage to be physically disturbed?		±2.0 acres																
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		±3.0 acres																
4. Check all land uses that occur on, adjoining and near the proposed action.																		
<table style="width: 100%;"> <tr> <td><input type="checkbox"/> Urban</td> <td><input type="checkbox"/> Rural (non-agriculture)</td> <td><input type="checkbox"/> Industrial</td> <td><input checked="" type="checkbox"/> Commercial</td> <td><input checked="" type="checkbox"/> Residential (suburban)</td> </tr> <tr> <td><input type="checkbox"/> Forest</td> <td><input type="checkbox"/> Agriculture</td> <td><input type="checkbox"/> Aquatic</td> <td colspan="2"><input checked="" type="checkbox"/> Other (specify): INSTITUTIONAL- BOCES</td> </tr> <tr> <td><input type="checkbox"/> Parkland</td> <td colspan="4"></td> </tr> </table>				<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)	<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Other (specify): INSTITUTIONAL- BOCES		<input type="checkbox"/> Parkland				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)														
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Other (specify): INSTITUTIONAL- BOCES															
<input type="checkbox"/> Parkland																		

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?		NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <u>FINAL STORMWATER MANAGEMENT SYSTEM TO BE DETERMINED. ANTICIPATED DISCHARGE IS TO</u> <u>ESTABLISHED DRAINAGE SWALES AND/OR EXISTING STORM SEWER SYSTEM ALONG STATE ROUTE 14.</u>		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ <u>PURPOSE IS STORMWATER MANAGEMENT. FINAL SIZE TO BE DETERMINED. POND WILL BE DESIGNED TO LIMIT DISCHARGE RATES FROM THE DEVELOPED SITE TO THOSE EXPERIENCED UNDER EXISTING CONDITIONS.</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Southern Sales Inc. / Christina Brown</u> Date: <u>8-23-18</u> Signature: <u>[Signature]</u>		





- Key**
- Existing**
- Property Line
  - R.O.W.
  - Reputed Owner
  - Overhead Utility
  - Gas Main
  - Water Main
  - Sanitary Sewer
  - Utility Pole
  - Catch Basin
  - Drainage Manhole
  - Hydrant
  - Tree
  - Hedge Row
  - Sign
- Proposed**
- Number of Parking Spaces
  - Handicapped Parking w/ Applicable Signage
  - 17' High Light Pole & Fixture / Wall Pack
  - Water Sewer
  - Sanitary Sewer
  - Underground Electric / Telephone
  - Gas Service
  - Drainage Swale
  - Tree / Shrub

**Parking Summary**

	Provided
Automobile Parking:	31
Handicapped Parking:	2

Notes:

Number of Handicapped spaces required equals two (2), based upon New York State Building Code.

- Notes:
- Basemap Reference:  
Map made for Sonbyrne Sales, Inc. located at New York State Route 14 (Miracle Mile), Town of Horseheads, Chemung County, New York; Prepared by: Twin Tiers Land Surveying, Dated: May 30, 2018; Job No.: 18236.
  - Elevations based on NAVD 1988 datum. Benchmark on south flange bolt of fire hydrant on east side of State Route 14, elevation 924.3.
  - According to the New York State DEC Environmental Mapper (webpage), there are no DEC wetlands on or within 100' of the site.
  - According to the US Fish and Wildlife Service Wetland Online Mapper (webpage), there are no federal wetlands on the site.
  - According to The National Flood Insurance Program "Floodway - Flood Boundary and Floodway Map" for The Town of Horseheads (Panel No. 360153 0015D, Dated: September 29, 1996) the site is not located in the 100 year flood plain.

**Plan View**



**Planting Chart**

KEY	BOTANICAL NAME COMMON NAME	SIZE @ PLANTING	QUANTITY
AR	Acer Rubrum Red Maple	1 1/2" CAL.	5
JH	Juniperus Horizontal "Andora" Creeping Juniper	#3 CONT.	6
VT	Viburnum "Plicatum Tomentosum" Mortesi Doublefile	#7 CONT.	3
KF	Koeleria "Feather Reed" Grass	#5 CONT.	8

- Notes:
- All topsoil layers shall be a minimum of 4-inches thick.
  - All trees & shrubs are to be "ball & burlap" at planting.
  - Evergreen shrubs shall be 3 to 4 feet in height at planting.
  - All planting & lawn areas shall be maintained.

**Lighting Chart**

Symbol	Qty.
■	Recessed Canopy Light LED Fixture - (Dark-Sky Friendly Compliant) 14
▶	16' Light Pole LED Fixture - (Dark-Sky Friendly Compliant) 12
■	Wall Lighting 10' Mounting Height LED Fixture - (Dark-Sky Friendly Compliant) 5

**Plan Notes**

- 83' x 40' overhead canopy w/ recessed canopy lights for pump islands and 81' x 40' steel reinforced concrete dispenser pad by petroleum contractor. Pad to be graded toward trench drains (T.D.) centered in pad. Tank vents in two columns on the southern side of dispenser island. Site contractor responsible to 5' of canopy pad.
- 1,344 sq. ft. (28' x 48') steel reinforced concrete tank pad w/:
  - 15,000 gallon, 8' diameter x 44'-6" long, double-walled fiberglass regular unleaded gasoline underground storage tank (bottom of tank at a depth of 12' below grade) by petroleum contractor.
  - 10,000 gallon (5,000 gallon diesel fuel; 5,000 gallon super unleaded gasoline), 8' diameter x 31'-1" long, split compartment double-walled underground storage tank (bottom of tank at a depth of 12' below grade) by petroleum contractor.Site contractor responsible to 5' of tank pad. Tank pad, UST and UST piping by petroleum contractor.
- 30' wide x 20' long steel reinforced concrete dumpster pad by site contractor. Chainlink fence w/ PVC slats enclosure for dumpster by Byrne Dairy.
- 8 x 62' refrigeration, HVAC & generator pad w/ partial roof by building contractor w/ fence enclosure by fence contractor.
- Plumbing contractor shall provide and install a 1,000 gallon grease trap, a vent, trap & cleanout assembly per applicable Dept. of Health Standards. Work to be coordinated with Byrne Dairy, Department of Health & applicable contractors. Site contractor responsible for excavation and backfill around grease trap.
- Coordinate water, sanitary, electrical, gas & telephone service locations and connections with applicable utility company.
- Flush (with pavement) concrete sidewalk with 6" dia. bollards centered on each parking spaces - see Parking Stall Bollard detail for additional information.
- Oil/Water Separator by site contractor.

**ZONED: PLANNED UNIT DEVELOPMENT**

**Site Information**

- Lot Size: 131,115 Sq. Ft. (3.0 Acres)
- Building Setbacks:
  - A. Front Yard: 83'
  - B. Rear Yard: 69'
  - C. Side Yard: 305 N; 207 S
  - D. Height of Structures: Building & Facade: 24' Canopy: 18'
- Lot Width: 629'
- Lot Coverage:
  - Building Roof: 6,180 Sq. Ft. = 4.7%
  - Canopy: 3,320 Sq. Ft. = 2.5%
  - Asphalt Pavement & Concrete: 36,985 Sq. Ft. = 28.2%
  - Green Space: 84,630 Sq. Ft. = 64.6%

**PLUMLEY ENGINEERING**  
Civil and Environmental Engineering  
PLUMLEY ENGINEERING, P.C.  
6322 LOOP ROAD  
BALDWINVILLE, NY 13027  
TELEPHONE: (315) 638-5587  
FAX: (315) 638-9740  
WWW.PLUMLEYENG.COM



REVISIONS:

Per Chemung County Stormwater Coalition	DATE: 09/05/18	BY: JFC
Moved light pole.	09/07/18	JFC

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PROJECT: **HORSEHEADS BYRNE DAIRY**  
CLIENT: SONBYRNE SALES, INC.  
LOCATION: TOWN OF HORSEHEADS, CHEMUNG COUNTY, NEW YORK



DWG. TITLE: **FINAL SITE PLAN**  
Note: No alteration permitted hereon except as provided under Section 7209 Subdivision 2 of the New York State Education Law.

PROJECT No.: 2018036  
FILE NAME: C201  
SCALE: 1" = 30'  
DATE: AUG. 2018  
ENGD BY: JFC  
DRAWN BY: JUL  
CHECKED BY: JFC  
SHEET NO.: **C201**  
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