



**PETITION FOR SPECIAL PERMIT AND/
OR MAJOR SITE PLAN REVIEW**

(Please type or print)

ZBA Use Only

File # _____

Each application for Special Permit and Major Site Plan submission shall be prepared in accordance with the provisions of Zoning Ordinance Section 34-214 and 34-215. The purpose of this document is to identify the submission requirements in checklist form, so as to help applicants better understand the process and guide them in the preparation of their application. The applicant should refer to the following resources for more in-depth descriptions of the Special Permit and Major Site Plan requirements:

Zoning Ordinance- <http://library.municode.com/index.aspx?clientId=14939>

Chelsea Development Guide - www.ci.chelsea.ma.us/Public_Documents/ChelseaMA_Planning/publications

Site Information - Maps available at Assessor's Office
and GIS maps are found at:
<http://maps.chelseama.gov/>

Property Address: 84-86 Washington Ave #1

Assessor's Map: _____ & Lot: _____

Suffolk Registry of Deeds: Book # _____ Page # _____

Certificate Number (if registered) _____

Current Zoning District (Check One)

- | | |
|---|---|
| ☐ Residence 1 | ☐ Industrial |
| ☒ Residence 2 | ☐ Waterfront |
| ☐ Residence 3 | ☐ Light Industrial |
| ☐ Retail Business | ☐ Light Industrial 2 |
| ☐ Retail Business 2 | ☐ Naval Hospital Commercial |
| ☐ Shopping Center | ☐ Naval Hospital Residential |
| ☐ Business | |
| ☐ Highway Business | |

Overlay Districts (If Applicable):

2. General Information

Petitioner Name: Jose Miranda

Petitioner Address: 73 Clark Ave Chelsea, Ma

Tel. #: Days (857) 231 - 1938

Evenings: (857) 231 - 1938

Fax: () _____ - _____

Email: _____

Petitioner is: ☐ Owner ☐ Prospective Purchaser ☐ Tenant
☐ Licensee ☒ Other (Describe) Contractor

Owner Name (if different): Erick Armando Escobar Calderon

Owner address: _____

Tel. #: Days (857) 919 - 0807

Evenings: (857) 919 - 0807

Fax: () _____ - _____

Email: _____

Designee Name (if different from Petitioner): _____

Designee address: _____

Tel. #: Days () _____ - _____

Evenings: () _____ - _____

Fax: () _____ - _____

Email: _____

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CITY CLERK'S OFFICE
CHelsea, MA

2020 MAR 13 A 8:31

- ☒ Special Permit ☐ Site Plan Approval ☐ Planned Development
☐ Amend an Existing Board Order (provide previous Case Number and explain) _____

3. Type of Application (Check all that apply):

4. Written Project Summary- Describe the project and proposed work, existing and planned uses, structure(s) locations, square footage of building(s), units/number of bedrooms (if applicable), parking, setbacks, project schedule, hours of operation/number of employees (if applicable) and zoning relief necessary: (Use additional sheets as needed):

Extend Store from 84 Washington to 86 Washington. Renovate Apartment 1 on 86 Washington and the basement. Make the basement into a storage area with an office and bathroom. Bring Plumbing and Electrical to code.

5. Type of Request (Check all that apply):

- ☒ Use Request by Special Permit ☐ Reconstruction/Extension/Alteration of Nonconforming Structure
☐ Change/Extension of Nonconforming Use ☐ Off-Street Parking Relief/Off-Street Loading Relief

6. Fee Schedule (Fees may be paid by personal check, treasurer's check or money order)

Special Permit Application Fee: **See attached Fee Schedule (effective January 1, 2017)**
\$80.00 payable to the *Chelsea Record*

Site Plan Application Fee: \$80.00 payable to the *Chelsea Record*

I/We hereby certify under the pains and penalties of perjury that the foregoing information contained in this petition are true and complete.



SIGNATURE OF PETITIONER

3/12/20

DATE



SIGNATURE OF PROPERTY OWNER

3/12/20

DATE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED AND WILL BE RETURNED TO APPLICANT

Zoning Board of Appeals
City Hall, Room 101, 500 Broadway
Chelsea, Massachusetts 02150
Telephone (617) 466-4180



City of Chelsea

DEPARTMENT OF INSPECTIONAL SERVICES

City Hall, 500 Broadway
Chelsea, Massachusetts 02150

2020 MAR 13 A 8:31

Michael McAteer
Director

Telephone (617) 466-4130
March 9, 2020 Fax (617) 466-4145

Jose Miranda/Erick Calderon
86 Washington Avenue
Chelsea, MA 02150

Re: 86 Washington Avenue – Residential 2 District

Dear Sir:

This office has completed its review of your Application for an Alteration Permit seeking approval for the extension of a meat/grocery market from 84 Washington Avenue into the first floor and basement of the above-referenced property and we find as follows:

Based on the current City of Chelsea Zoning Ordinance, this referenced use (next door) is classified as a lawfully established non conforming use within the Residential 2 District in which said premises are located.

Pursuant to Section 34-51 of the City of Chelsea Zoning Ordinance, the Board of Appeals may grant a Special Permit to reconstruct, extend, alter, or change a non-conforming structure or use only if it determines that such change shall not be substantially more detrimental to the neighborhood than the prior non-conforming structure.

Therefore, your Application has been denied and your proposed extension may not be lawfully permitted unless the Zoning Board of Appeals grants the required Special Permit. Petition forms, for that purpose, are enclosed for your convenience.

Yours truly,

Michael McAteer
Director

MMC
Encl.

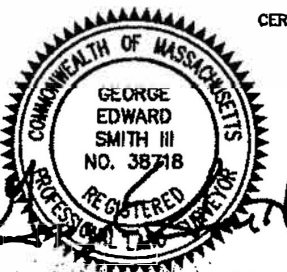
Cc: John Depriest, Director of Planning and Development Department

NEW ENGLAND LAND SURVEY

Professional Land Surveyors


710 MAIN STREET
N.Oxford, MA 01537
PHONE: (508) 987-0025**FAX: (508) 438-6604****REGISTRY SUFFOLK****MORTGAGE INSPECTION PLAN**NAME ERICK A ESCOBAR CALDERONLOCATION 86 WASHINGTON STREETCHELSEA, MASCALE 1"=20'DATE 04/22/19

BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING DWELLING STRUCTURES TO PROPERTY LINE OFFSETS (UNLESS OTHERWISE NOTED IN DRAWING BELOW). NOTE: NOT DEFINED ARE ABOVE GROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS, ETC. THIS IS A MORTGAGE INSPECTION PLAN; NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VII, CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



CERTIFY TO: _____

DEED REFERENCE: 21782/332

PLAN REFERENCE: _____

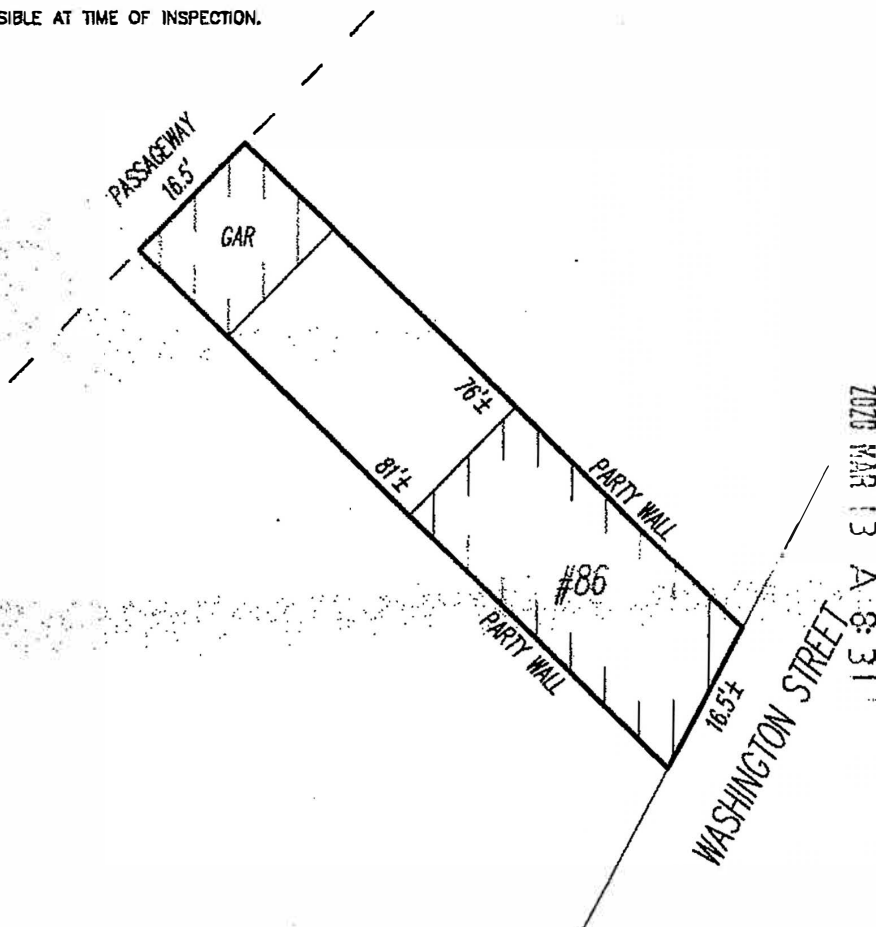
WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FIRM:

25025C0018J DTD: 3/16/16

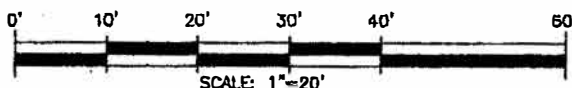
FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY HUD AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.

*SUBJECT TO DOCUMENTS SET FORTH IN DEED.

*REAR OF PROPERTY INACCESSIBLE AT TIME OF INSPECTION.

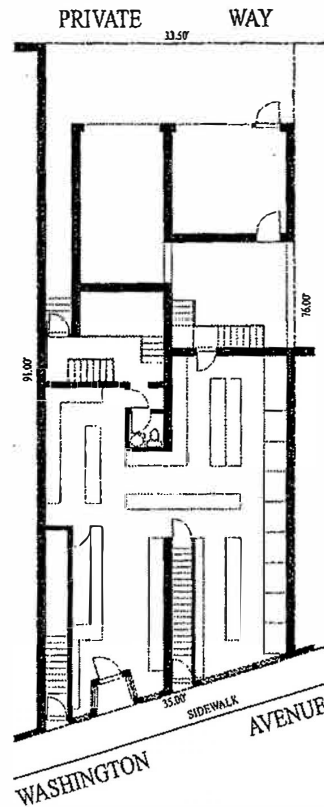
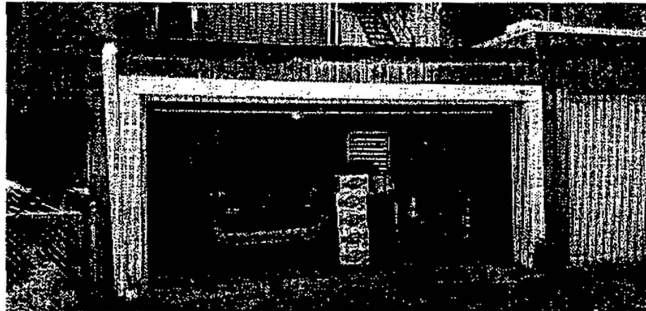


REQUESTED BY: MAWLAW, P.C.
 DRAWN BY: CBC
 CHECKED BY: GES
 FILE: 19MIP4479



RECEIVED
 CITY CLERK'S OFFICE
 CHELSEA, MA

2020 MAR 13 A 8:31



NOTE:
THE LAND SURVEYOR SHALL
VERIFY ALL SETBACKS SHOWN
IN THIS FIGURE.

SITE PLAN

SCALE: 1/8" = 1'-0"



Project:

84 WASHINGTON AVENUE

Proposed Alterations

84 Washington Avenue,
Chelsea MA 02150

Owner:

VICENTINOS MEAT MARKET

August 12, 2019

LIST OF DRAWINGS:

COVER SHEET/SITE PLAN

EX1 EXISTING BASEMENT PLAN

EX2 EXISTING FIRST FLOOR PLAN

EX3 EXISTING FRONT ELEVATION

D1.0 FIRST FLOOR DEMOLITION PLAN

A1.0 PROPOSED BASEMENT PLAN

A2.0 PROPOSED FIRST FLOOR PLAN

A3.0 PROPOSED FRONT ELEVATION

A4.0 PROPOSED REFLECTED CEILING PLANS



Design

Development Consultants

495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9712 (Tel)
617-443-4226 (Fax)
Harold@rayneintl.com

ARCHITECT:

HEZEKIAH PRATT ARCHITECTURE + DESIGN

321 Lowell Avenue, Newton, MA 02459
Tel: 617-330-3749 hpratt@hpa.com

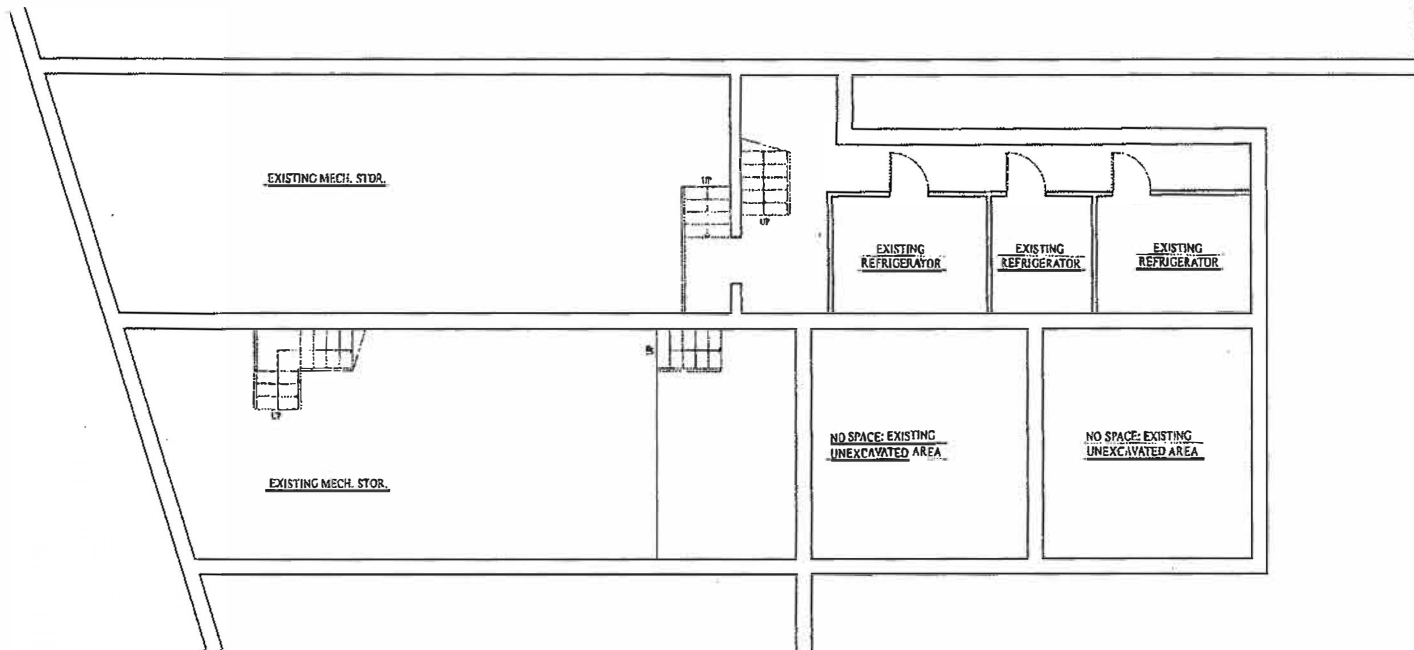
PRINT SET: 8.12.19

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EXISTING CONDITIONS

DIMENSIONS:
ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK. BEFORE IT IS COMMENCED, ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR HIS DISCUSSION. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT ACCORDING TO THE SCALE, BUT FIGURED DIMENSIONS AND DETAIL DRAWINGS ARE IN ALL CASES TO BE FOLLOWED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE, REGARDLESS OF DIMENSIONS SHOWN ON DRAWINGS. HE SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS PROVISION.



1
EX1
EXISTING BASEMENT PLAN
KUEW-14

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OFFICE
CHelsea, MA

Project:
84 WASHINGTON AVENUE
Proposed Alterations
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-445-8226 (Fax)
HaroldRaym@aol.com

Architect:
HEZEKIAH PRATT
454 Lovell Avenue, Newton, MA 02467
Tel: 617.320.3749
email: hpratt@gmail.com



REV #	DATE	ISSUANCE

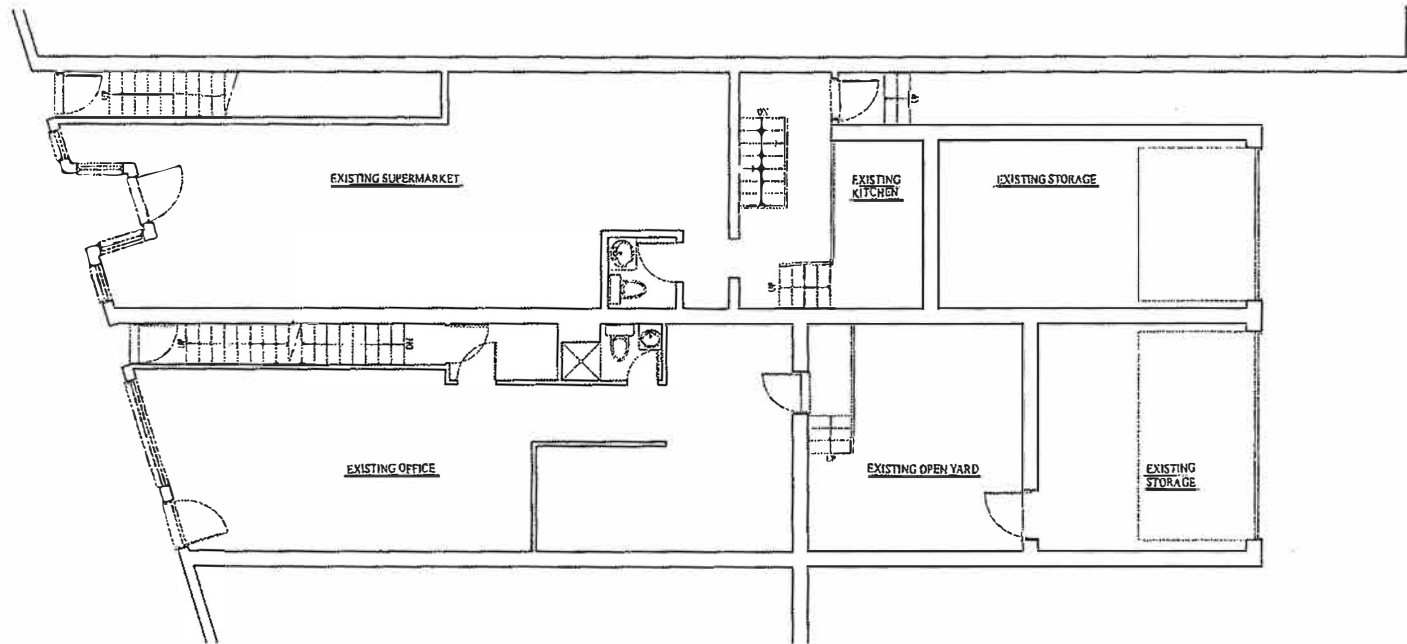
Drawing Title:
EXISTING BASEMENT PLAN

SHEET No:
EX1

JOB No.	
DATE	6-12-19
DWG BY	BLS

EXISTING CONDITIONS

DIMENSIONS:
ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK BEFORE IT IS COMMENCED. ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR HIS DECISION. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT ACCORDING TO THE SCALE, BUT FIGURED DIMENSIONS AND DETAIL DRAWINGS ARE IN ALL CASES TO BE FOLLOWED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE, REGARDLESS OF DIMENSIONS SHOWN ON DRAWINGS. HE SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS PROVISION.



1
EX2
EXISTING FIRST FLOOR PLAN
12-13-10
MA
OFFICE
6707

Project:
84 WASHINGTON AVENUE
Proposed Alterations
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-445-8226 (Fax)
HaroldRaym@aol.com

Architect:
HEZEKIAH PRATT
454 Lowell Avenue, Newton, MA 02457
Tel: 617-320-3749
email: hpratt@gmail.com



REV #	DATE	DESCRIPTION

Drawing Title:
EXISTING FIRST FLOOR PLAN

SHEET NO.:
EX2

DATE	6-12-10
DATE BY	D-3

EXISTING CONDITIONS

NOTES:
ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK BEFORE IT IS COMMENCED. ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR HIS DECISION. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT ACCORDING TO THE SCALE, BUT FIGURED DIMENSIONS AND DETAIL DRAWINGS ARE IN ALL CASES TO BE FOLLOWED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE, REGARDLESS OF DIMENSIONS SHOWN ON DRAWINGS. HE SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS PROVISION.



1
EX3
EXISTING FRONT ELEVATION

Project:
84 WASHINGTON AVENUE
Proposed Alterations
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-445-8226 (Fax)
HaroldRaym@aol.com

Architect:
HEZEKIAH PRATT
454 Lowell Avenue, Newton, MA 02457
Tel: 617-320-3749
email: hezpratt@aol.com



REVISION DATE DESCRIPTION

Drawing Title:
EXISTING FRONT ELEVATION

SHEET No.

EX3

JOB No.
DATE 8-13-19
DWG BY JLS

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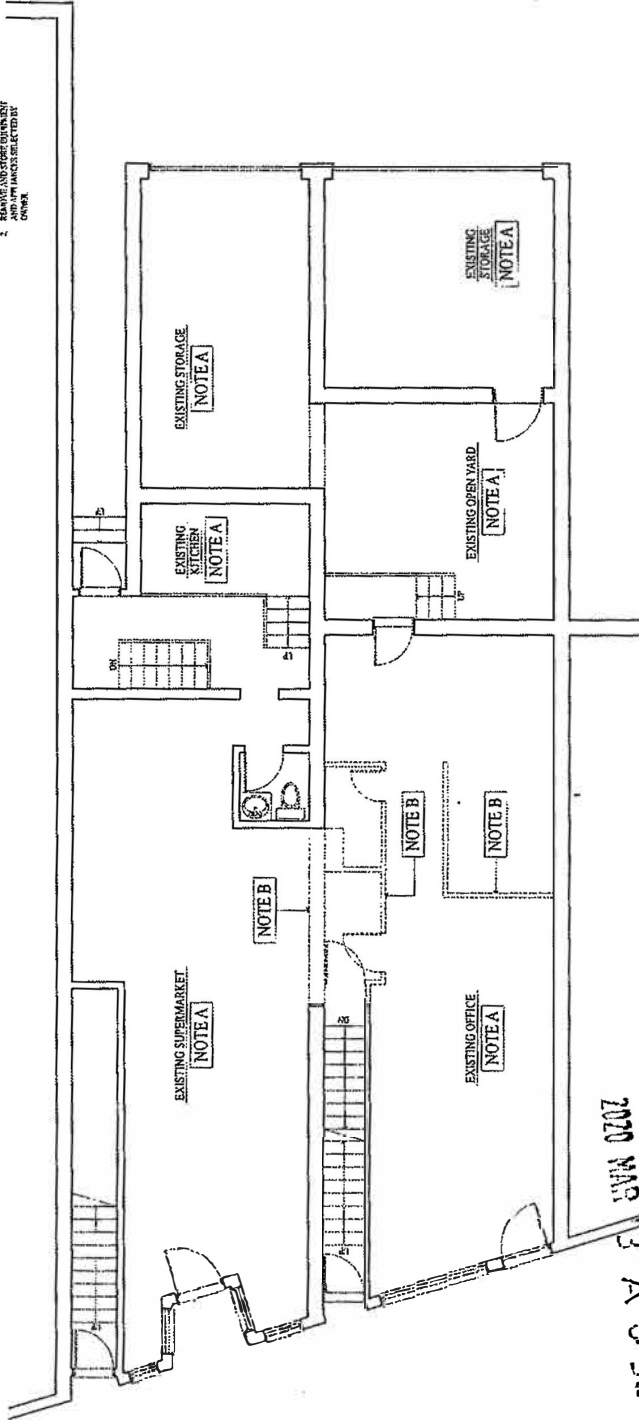
PROPOSED ALTERATIONS

DIMENSIONS: ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, PURCHASE OR INSTALLATION OF ANY MATERIALS OR EQUIPMENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CALCULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CALCULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CALCULATIONS.

- NOTES:
- EXCEPT WHERE OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 - THESE DIMENSIONS SHALL BE BASED ON THE EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.
 - THESE DIMENSIONS SHALL BE BASED ON THE EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.
 - THESE DIMENSIONS SHALL BE BASED ON THE EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.

SMALLER SIZE: EXISTING CONDITION TO BE REMOVED
EXISTING WALL TO REMAIN

- LEGEND:
- REMOVE EXISTING CONDITION
 - REMAINING AND EXISTING CONDITION
 - NEW WALL TO BE CONSTRUCTED



2020 MAR 13 A 8 32

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OFFICE OF THE CITY CLERK
BOSTON, MA

Project:
84 WASHINGTON AVENUE
Proposed Alterations
Chelsea, MA 02150

OWNER:
Vicendinos Meat Market
Chelsea, MA 02150

Design
Development
Consultants
495 Blue Hill Avenue
Dorchester, MA 02121
(617) 445-8226 (Tel)
(617) 445-8226 (Fax)
Hecoddyne@aol.com

Architect:
HEZEKIAH PRATT
451 Lowell Avenue, Newton, MA 02459
(617) 552-1300 (Tel)
Email: hpratt@pratt.com



DATE: 1/28/2020

Drawing Title:
FIRST FLOOR DEMOLITION PLAN

D1.0

Sheet No.:
Date:
Scale:

Project
84 WASHINGTON AVENUE
Proposed Alteratnns
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-445-8226 (Fax)
HaroldRaymi@aol.com

Architect:
HEZEKIAH PRATT
454 Lowell Avenue, Newton, MA 02467
Tel: 617.320.3749
email: hpratt@gmail.com

[illegible]

Proposed Basement Plan

A1.0

NO. 10	DATE 6-12-19	IN THE
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PROPOSED ALTERATIONS

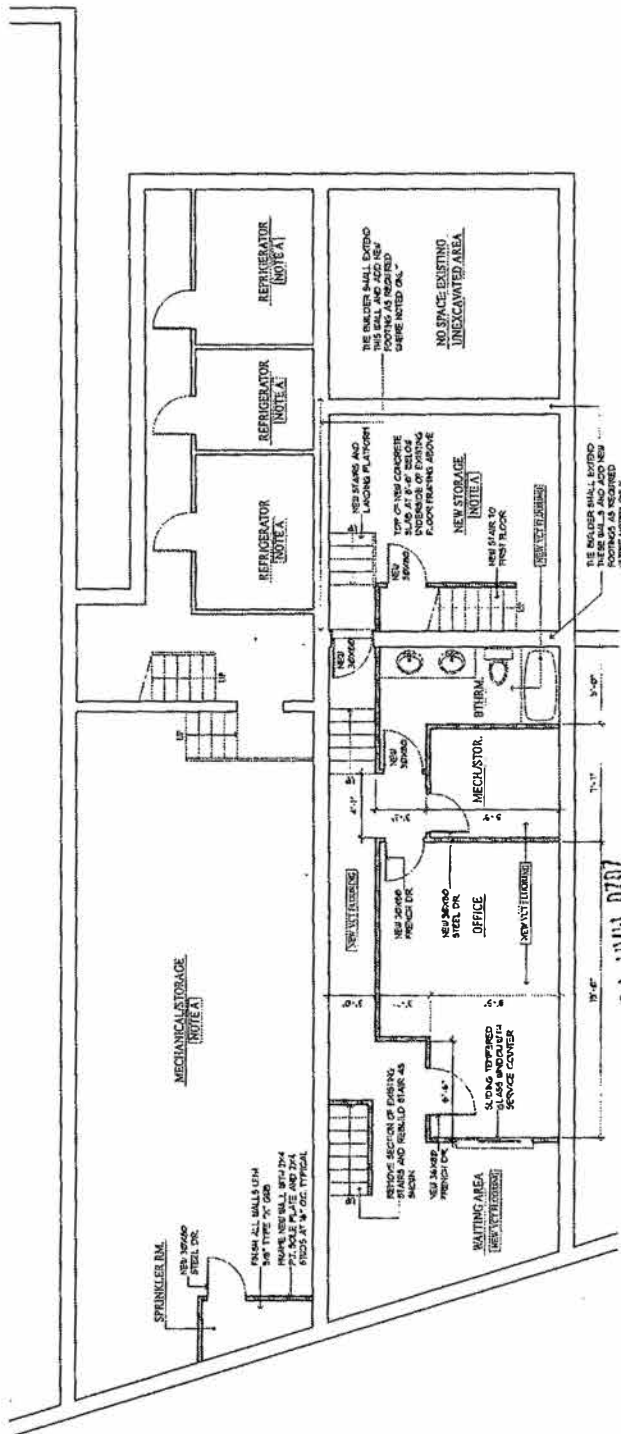
WARNINGS: ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK REFERRED TO HEREIN. IT IS CONSIDERED THE RESPONSIBILITY OF THE CONTRACTOR TO DISCOVER AND REPORT IMMEDIATELY TO THE ARCHITECT FOR HIS DECISION, ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE THE CORRECT ACCORDING TO THE SCALE, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS REVISION.

Still

- THE BUILDERS SHALL VERIFY ALL EXISTING LOAD BEARING WALLS IN THE FIELD AND PRINTING PLANT ARE STAFFED AS NECESSARY TO SUPPORT STRUCTURE BEHIND BEARING ANY COLL.

WILLIAMS

- | | |
|---|-----------------------------|
|  | NEW STUD PLACED WALL |
|  | EXISTING WALL TO REMAIN |
|  | EXISTING WALL TO BE REMOVED |



2020 MAR 13 A 8:24

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CITY CLERK'S OFFICE
CHICAGO, ILL. 60601



Project
84 WASHINGTON AVENUE
Proposed Alterations
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-445-8226 (Fax)
HaroldRaym@aol.com

Architect:
HEZEKIAH PRATT
454 Lowell Avenue, Newton, MA 02467
Tel: 617 320 3749
e-mail: hpratt@pratt.com



REV#4	DATE	ISSUANCE
-------	------	----------

Deputy Tax

A2.0

DATE 2-12-14

PROPOSED ALTERATIONS

DIMENSIONS: ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, INSTALLATION OR INSTALLATION OF ANY PORTION OF THE WORK. WHEN IT IS COMMENCED, ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR HIS DECISION. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT. ACCORDING TO THE SCALE OF THE DRAWINGS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE. REGARDLESS OF DIMENSIONS SHOWN ON DRAWINGS, HE SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS PROVISION.

50725

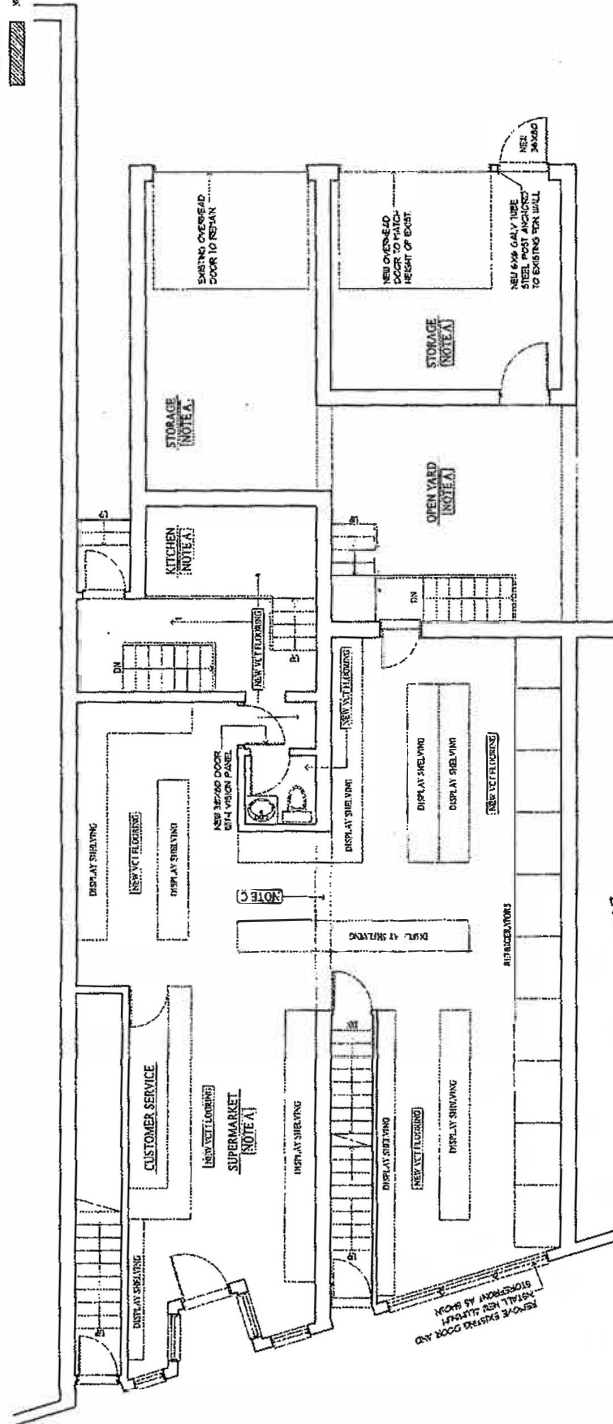
- A. EXCEPT WHERE OTHERWISE NOTED OR INDICATED ALL CONNECTIONS ARE CASTING AND SHALL REMAIN UNCHANGED
- B. THE BULKHEAD SHALL VERIFY ALL EXISTING LOAD-BEARING WALLS IN THE FIELD AND PROVIDE APPROPRIATE SUPPORT AS NECESSARY TO SUPPORT STRUCTURE BEFORE REMOVAL OF ANY WALLS
- C. THE CONTRACTOR SHALL INSTALL NEW STEEL BEAM AS REQUIRED TO SUPPORT STRUCTURE ABOVE THE STEEL BEAM SHALL BE ENGINEERED BY THE DESIGNER

WALL LEGEND:

EXISTING WALL TO BE REMOVED

ALIGNED WITH THE BUILDING

11/15/2011 11:00 AM



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PROPERTY OFFICE
CHICAGO, ILL. 60604
2020 MAR 13 A 8:28
PASSED FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"
A2.0
1

PROPOSED ALTERATIONS

DIMENSIONS:
ALL DIMENSIONAL CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADERS SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK BEFORE IT IS COMMENCED. ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR HIS DECISION. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT ACCORDING TO THE SCALE, BUT FIGURED DIMENSIONS AND DETAIL DRAWINGS ARE IN ALL CASES TO BE FOLLOWED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE, REGARDLESS OF DIMENSIONS SHOWN ON DRAWINGS. HE SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS PROVISION.



Project:
84 WASHINGTON AVENUE
Proposed Alterations
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-445-8226 (Fax)
HaroldRaym@aol.com

Architect:
HEZEKIAH PRATT
454 Lowell Avenue, Newton, MA 02467
Tel: 617.320.3749
email: hcp@hpratt.com



REV #	DATE	REVISION

Drawing Title:
PROPOSED FRONT ELEVATION

SHEET No.
A3.0

JOB No.	
DATE	3/13/20
DRAWN BY	SLA

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RECEIVED
CITY ENGINEER'S OFFICE
CHELSEA, MA

Project:
84 WASHINGTON AVENUE
Proposed Alterations
84 Washington Avenue
Chelsea, MA 02150

OWNER:
Vicentinos Meat Market
Chelsea, MA 02150

**Design
Development
Consultants**
495 Blue Hill Avenue
Dorchester, MA 02121
617-306-9912 (Tel)
617-444-8226 (Fax)
Harold@aem@aol.com

Architect:
HEZEKIAH PRATT
454 Lovell Avenue, Newton, MA 02467
Tel: 617.320.3749
email: hezpratt@gmail.com



1963-1964

Working Title

A4.0

NOV 1964

PROPOSED ALTERATIONS

ALL DIMENSIONS CALLED OUT ON OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCY OR INCONSISTENCY OF DIMENSIONS IS DISCOVERED, IT SHALL BE CORRECTED IMMEDIATELY TO THE ARCHITECT FOR HIS DECISION. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT ACCORDING TO THE SCALE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR ALL DIMENSIONS SHOWN ON DRAWINGS. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR ALL WORK AFFECTED BY THIS REVISION.

FIXTURE SCHEDULE	
⊗	NEW EXIT SIGN
3 1/4"	NEW EMERGENCY LIGHT
⊙	NEW FIRE EXTINGUISHER
1 1/2"	NEW ASSEMBLY
1 1/2"	NEW FIRE ALARM CONTROL PANEL
1 1/2"	NEW PELL. STATION
1 1/2"	NEW STAIRWIND
1 1/2"	NEW 10' HANDRAIL SHAKI DETECTOR
1 1/2"	NEW HANDRAIL CARBON MONOXIDE SMOKE ALARM
1 1/2"	NEW SPRINKLER HEAD
1 1/2"	NEW SPRINKLER HEAD LOCATION AND HEIGHT AS PER TWO DETAIL UNIT
1 1/2"	NEW FIBERGLASS SIGNATURE
1 1/2"	NEW SECURITY ALARM
1 1/2"	NEW 2'X4' RECESSED LED LIGHT
1 1/2"	NEW 2'X4' RECESSED LED LIGHT
1 1/2"	NEW 2'X4' WATERPROOF RECESSED LED LIGHT
1 1/2"	NEW 6" RECESSED LED LIGHT FIXTURES
1 1/2"	NEW SUPPLY AIR DIFFUSER
1 1/2"	NEW RETURN AIR DIFFUSER



INDICATES NEW SUSPENDED

2 PROPOSED FIRST FLOOR -
A4.0 REFLECTED CEILING PLAN - 1/8" = 1'-0"

2/A4.6



JOSEPH R. FERN, JR.
58 ENGLEWOOD AVE.
CHELSEA, MA 02150

53-8199/2113

1158

DATE 3/13/20 FMP

PAY TO Chelsea Record \$ 80.00
THE ORDER OF
Eighty Dollars & 00/100 DOLLARS



www.metrocu.org

MEMO AD Fee

Joseph R Fern

⑆ 211381990⑆ 000005485220⑈ 1158

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

JOSEPH R. FERN, JR.
58 ENGLEWOOD AVE.
CHELSEA, MA 02150

53-8199/2113

1159

DATE 3/13/20 FMP

PAY TO City of Chelsea \$ 700.00
THE ORDER OF
Seven Hundred Dollars & 00/100 DOLLARS



www.metrocu.org

MEMO Variance (S.P. Permit)

Joseph R Fern

⑆ 211381990⑆ 000005485220⑈ 1159

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

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2020 MAR 13 A 8:32



CITY OF CHELSEA
ZONING BOARD OF APPEALS
City Hall, 500 Broadway, Room 101
Chelsea, Massachusetts 02150

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Arthur Arsenault, Member
Joseph Mahoney, Member
Hugo Perdomo, Member
Marilyn Vega-Torres, Member
Joan Cromwell, Associate

Paulette Velastegui, Secretary

TO: Jeanette Cintron White, City Clerk
FROM: John DePriest 
RE: Special Permit/Variance/Major Site plan Review Petition(s)
DATE: 3-13-20

Petition for:

X Special Permit 84-86 Washington Ave

 Variance

 Major Site Plan Review

Submitted By:

Jose Miranda

Includes all submittal items and is complete for submittal purposes. Photos to be submitted prior to posting of the hearing.

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