

PREPARED FOR:
SDTJ, LLC

OFFICE &
WAREHOUSE
BUILDING
45 MARKET STREET
CHELSEA, MA

Cutler
Design

43 Harvard Street
Worcester, MA 01609

(508) 757-7500 PHONE
(508) 799-2068 FAX
www.cutlerassociatesinc.com

KEY PLAN:

STAMP:

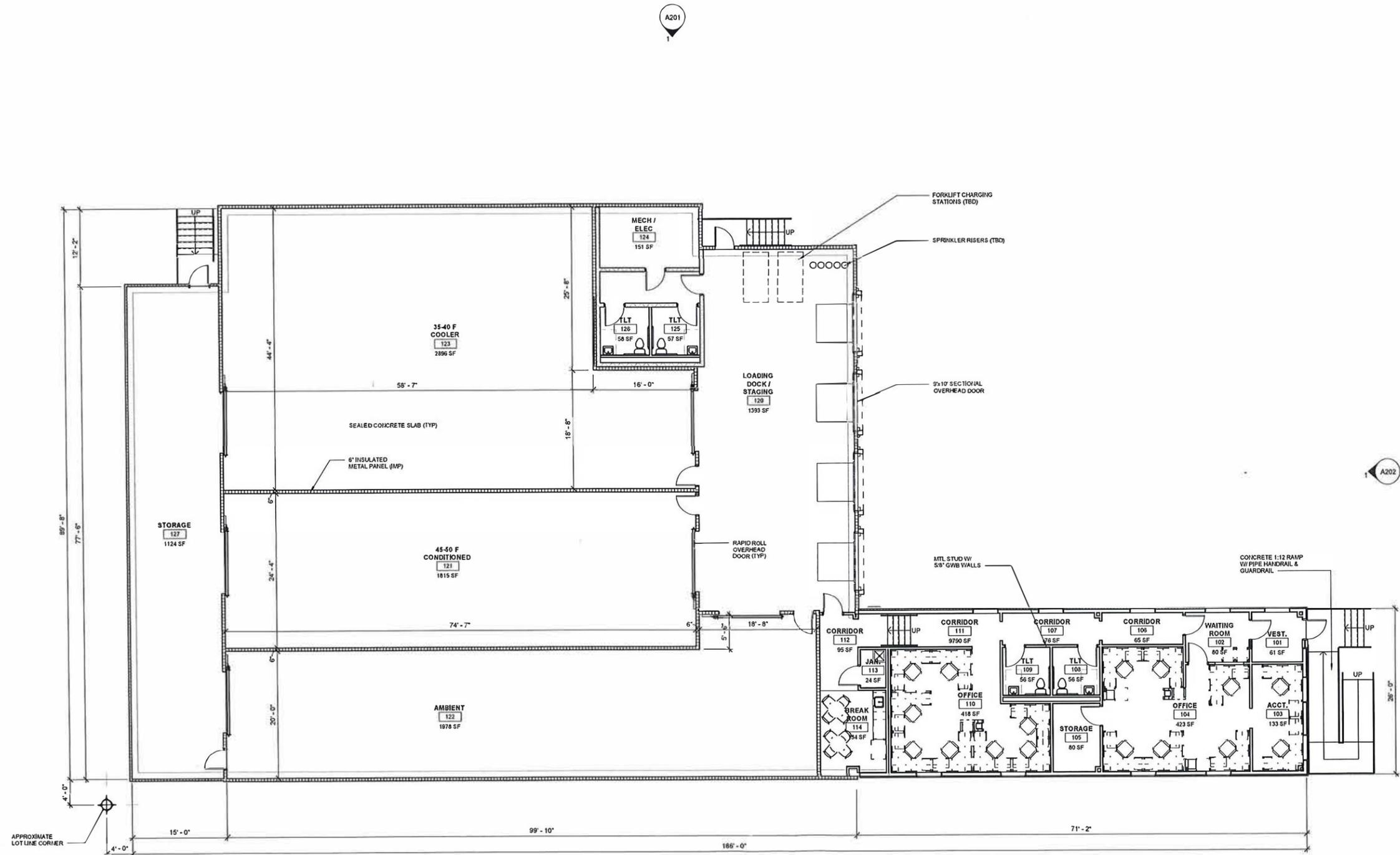


MARK	DATE	DESCRIPTION
C	01/31/20	ISSUED FOR PERMIT
B	01/30/20	FOR OWNER REVIEW
A	01/28/20	FOR OWNER REVIEW

SHEET TITLE:
OVERALL FLOOR PLAN

PROJECT NUMBER: 20005
DRAWN: SOS
DPIA CHECK: JAR
SHEET IDENTIFICATION:

A101



1 OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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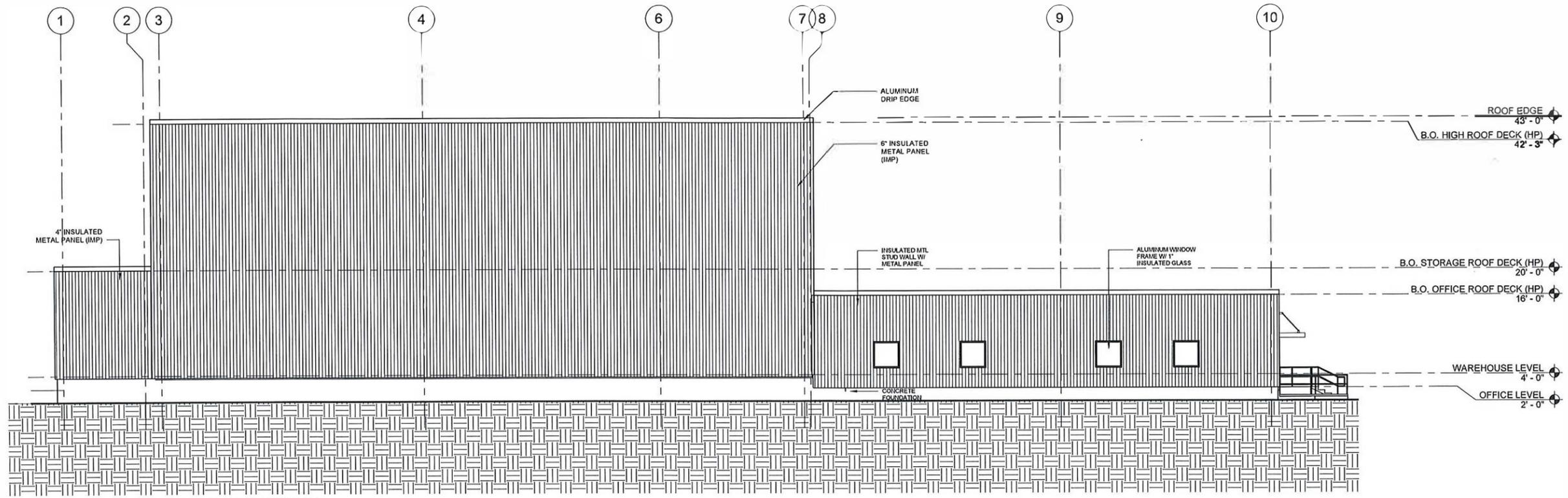


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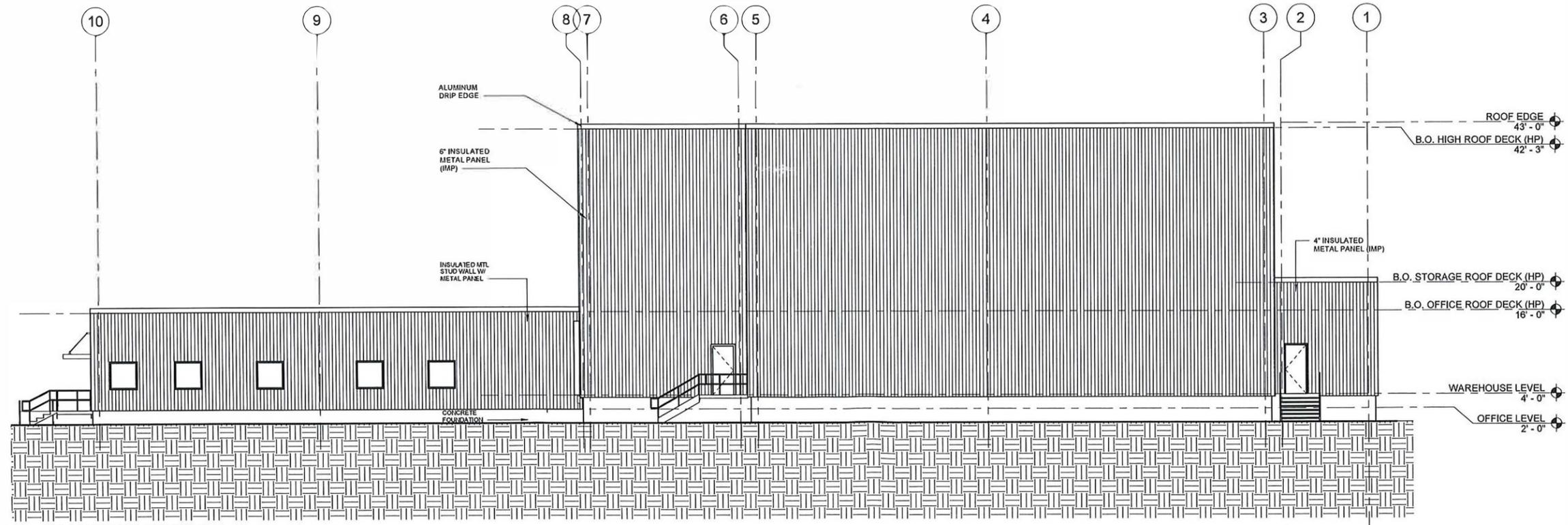
SHEET TITLE:
**EXTERIOR
ELEVATIONS**

PROJECT NUMBER: 20005
DRAWN: SOS
DPM CHECK: JAR

SHEET IDENTIFICATION:
A201



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

C:\Users\masallea\Documents\20005 Building B Community Suffolk_CENTRAL_ems.skellog\cutdweb.com.rvt 2/10/2020 4:03:40 PM

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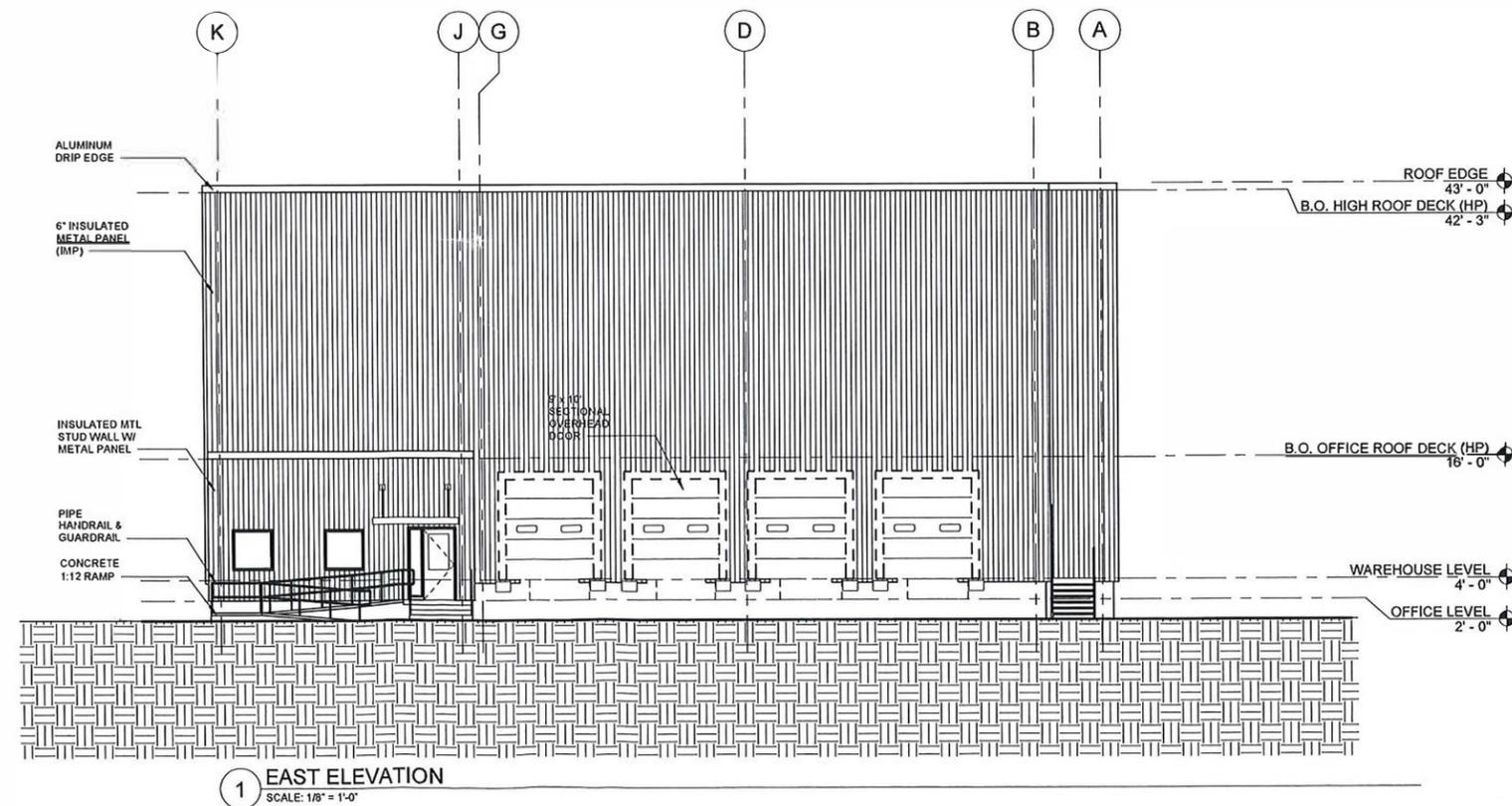
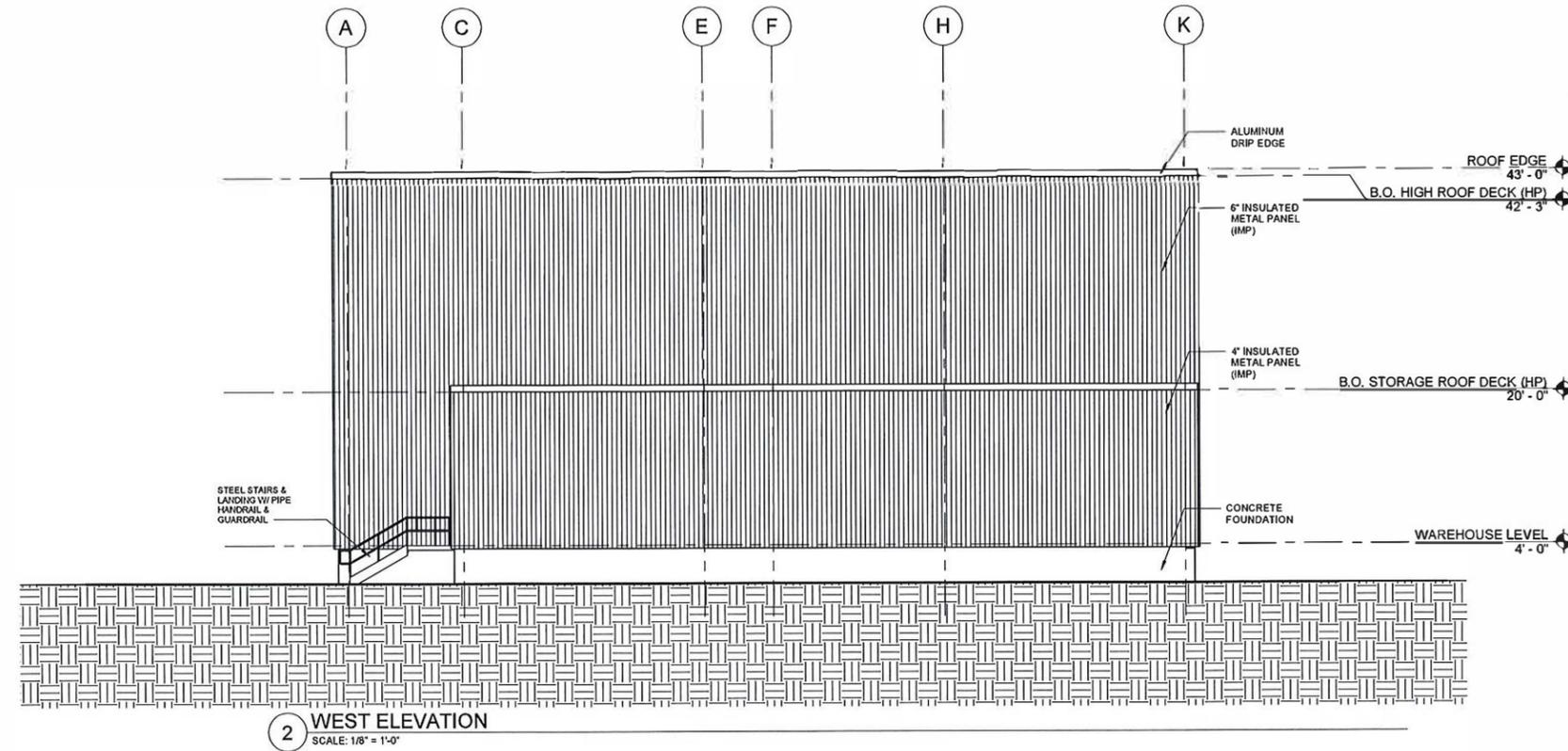
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SHEET TITLE:
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PROJECT NUMBER: 20005
DRAWN: SOS
DPM CHECK: JAR

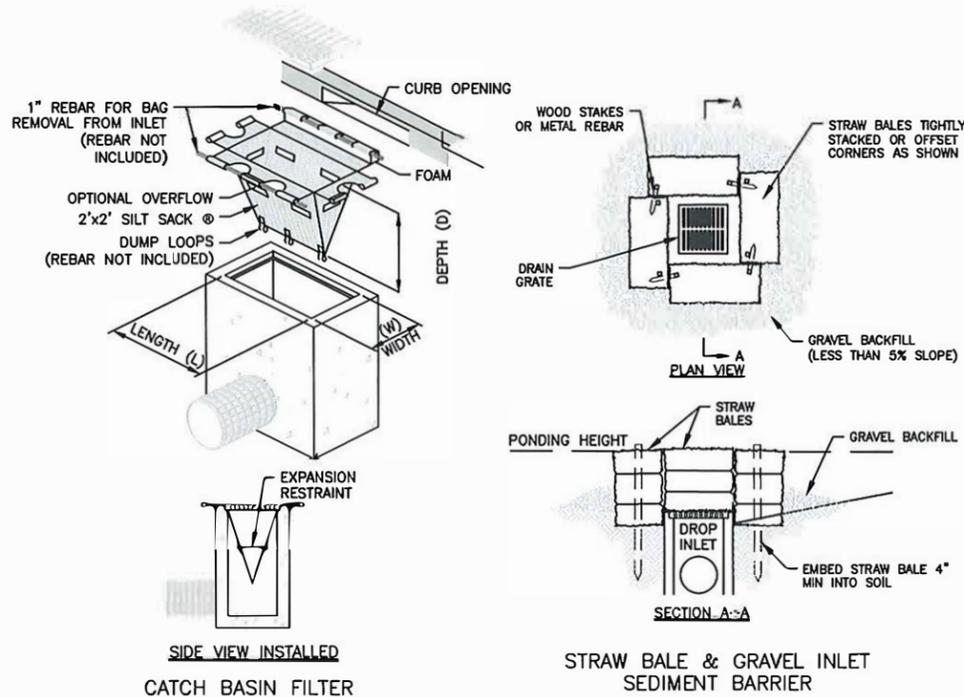
SHEET IDENTIFICATION:

A202

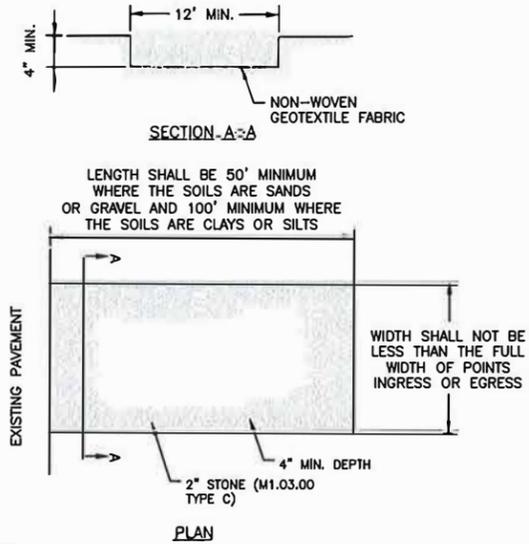


EROSION & SEDIMENT CONTROL NOTES:

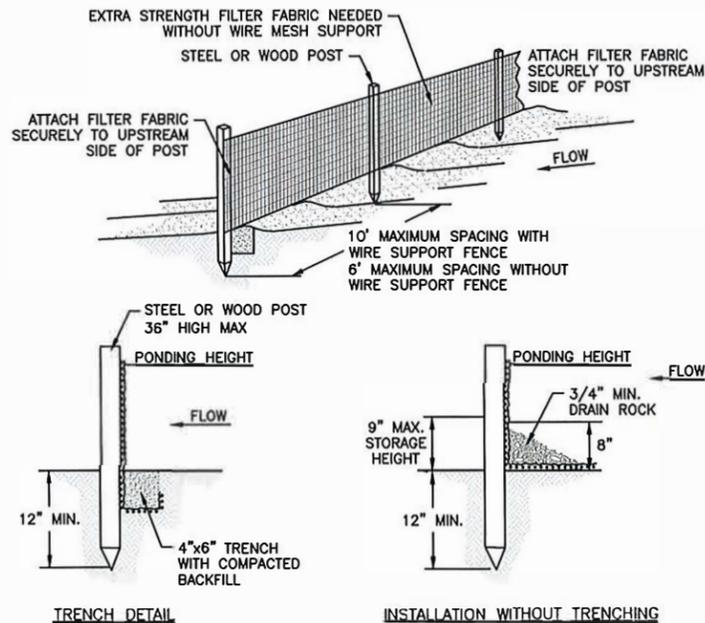
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED AND UPGRADED AS NECESSARY DURING CONSTRUCTION BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND INSTALL ADDITIONAL CONTROL MEASURES AS NEEDED DURING CONSTRUCTION.
2. ALL CATCH BASINS RECEIVING DRAINAGE FROM THE PROJECT SITE MUST BE PROVIDED WITH A CATCH BASIN FILTER.
3. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
4. SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL DEVICES MUST BE PROPERLY REMOVED AND DISPOSED. ALL DAMAGED CONTROLS MUST BE REMOVED AND REPLACED.
5. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING WIND EROSION AND DUST THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL MAY INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND STREET SWEEPING ADJACENT ROADWAYS.
7. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCE ACTIVITIES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZED SOILS WITHIN 14 DAYS OF THE LAST DISTURBANCE.
8. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
9. THE CONTRACTOR MUST KEEP ON-SITE AT ALL TIMES ADDITIONAL FILTER BERMS AND/OR SILT FENCE FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER OR CONSERVATION COMMISSION TO MITIGATE ANY EMERGENCY CONDITION.
10. THE CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROLS AS SHOWN MAY NOT BE PRACTICAL DURING ALL STAGES OF CONSTRUCTION. EARTHWORK ACTIVITY ON-SITE MUST BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO A SEDIMENT CONTROL DEVICE OR INFILTRATED TO THE GROUND.
11. DEMOLITION AND CONSTRUCTION DEBRIS MUST BE PROPERLY CONTAINED AND DISPOSED OF.
12. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.



TEMPORARY INLET PROTECTION
NOT TO SCALE



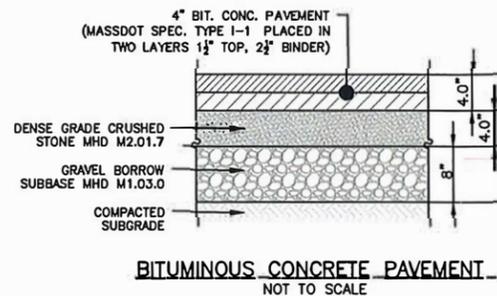
- NOTES:**
1. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS NOTED ABOVE.
 2. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 3. LOCATION: SEE C100 FOR LOCATION OF CONSTRUCTION ENTRANCES.
- TEMP CONSTRUCTION ENTRANCE**
NOT TO SCALE



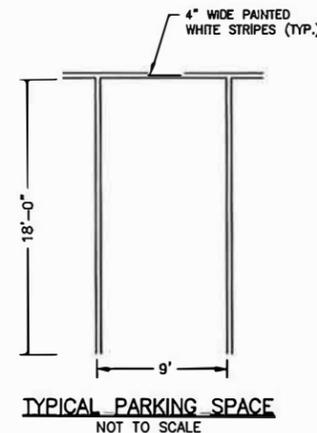
NOTES:

1. EROSION CONTROL BARRIER (HAY BALES, SILT FENCE OR EROSION STOCK) SHALL BE PLACED AROUND ALL MATERIAL STOCKPILE AREAS AND MAINTAINED AT STAGING AREAS TO ASSURE NO SILTATION ONTO PUBLIC OR PRIVATE WAYS OR PROPERTY.

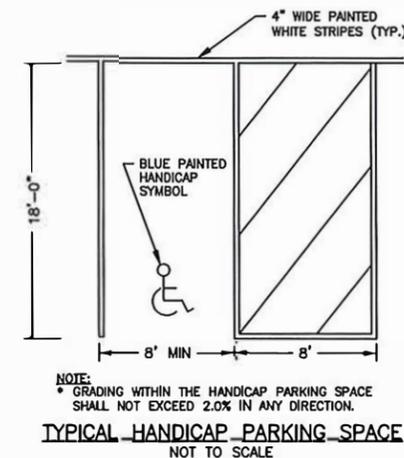
EROSION CONTROL BARRIER
NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



TYPICAL PARKING SPACE
NOT TO SCALE



TYPICAL HANDICAP PARKING SPACE
NOT TO SCALE

NOTE:
* GRADING WITHIN THE HANDICAP PARKING SPACE SHALL NOT EXCEED 2.0% IN ANY DIRECTION.

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KEY PLAN:

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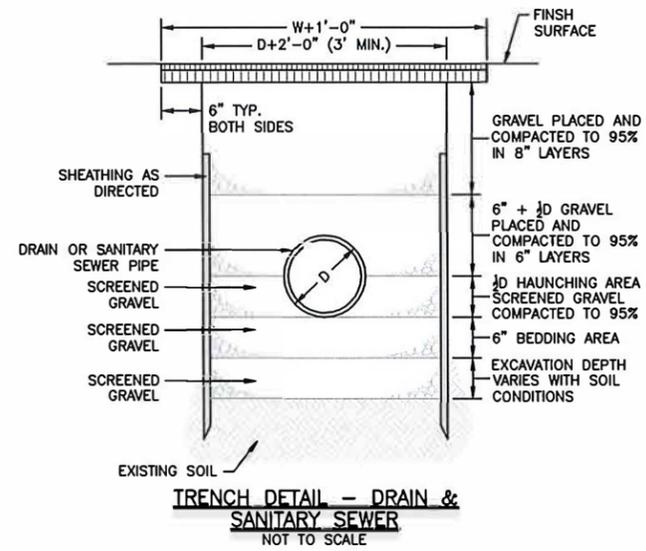
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A	02/05/20	ISSUED FOR PERMIT

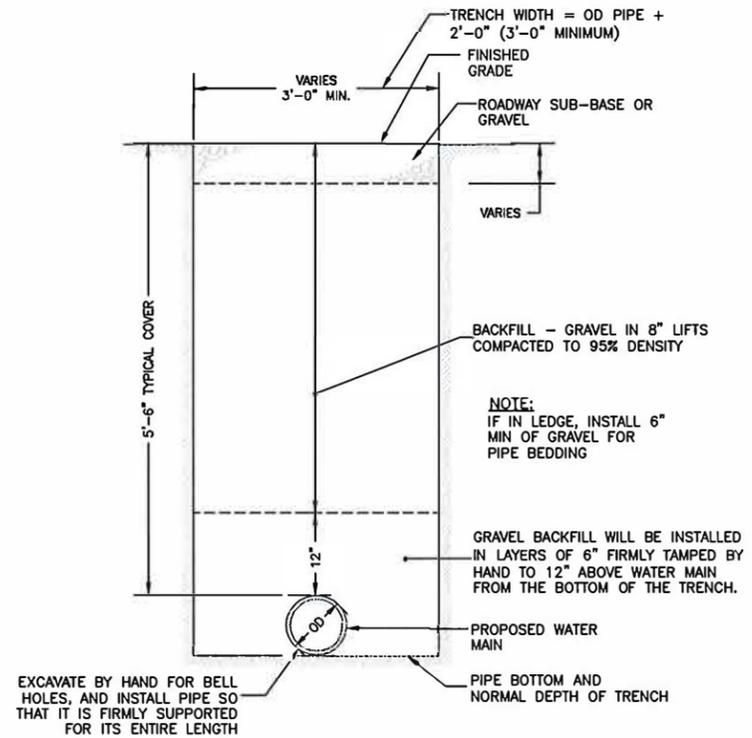
SHEET TITLE:
SITE DETAILS

PROJECT NUMBER: 20005
DRAWN: MB
DPM CHECK: RL

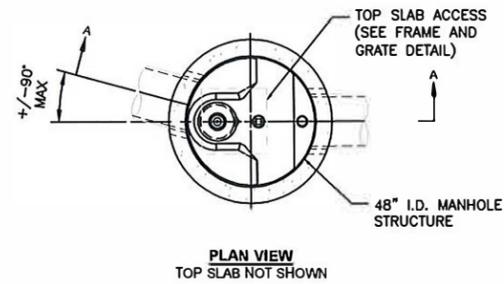
SHEET IDENTIFICATION:
C500



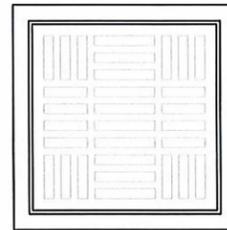
TRENCH DETAIL - DRAIN & SANITARY SEWER
NOT TO SCALE



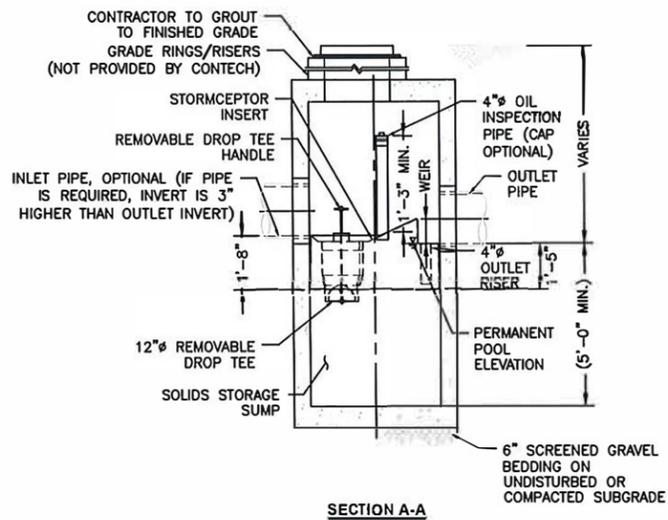
TRENCH DETAIL - WATER MAIN
NOT TO SCALE



PLAN VIEW
TOP SLAB NOT SHOWN



FRAME AND GRATE
NOT TO SCALE



SECTION A-A

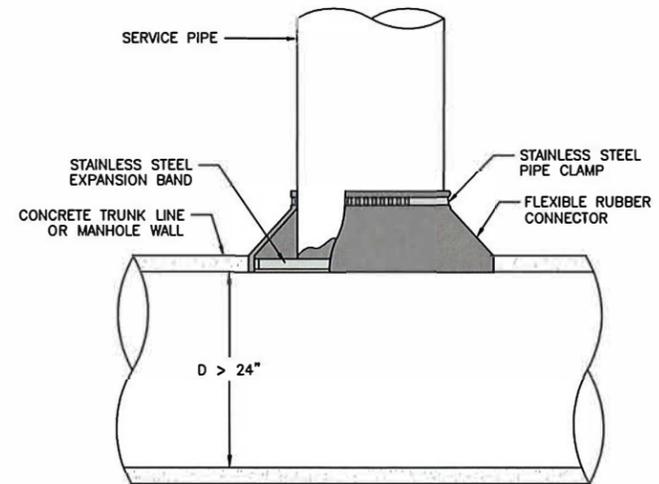
WATER QUALITY UNIT - STC 450i
NOT TO SCALE

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



NOTES:

1. OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL.
2. ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL.
3. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE PIPE OR WALL.
4. IF TRUNK LINE DIAMETER IS LESS THAN 24" THEN A SADDLE TYPE CONNECTION WILL BE USED.

TYPICAL FIELD CONNECTION TO LARGE CONCRETE PIPE OR CONCRETE MANHOLE
NOT TO SCALE

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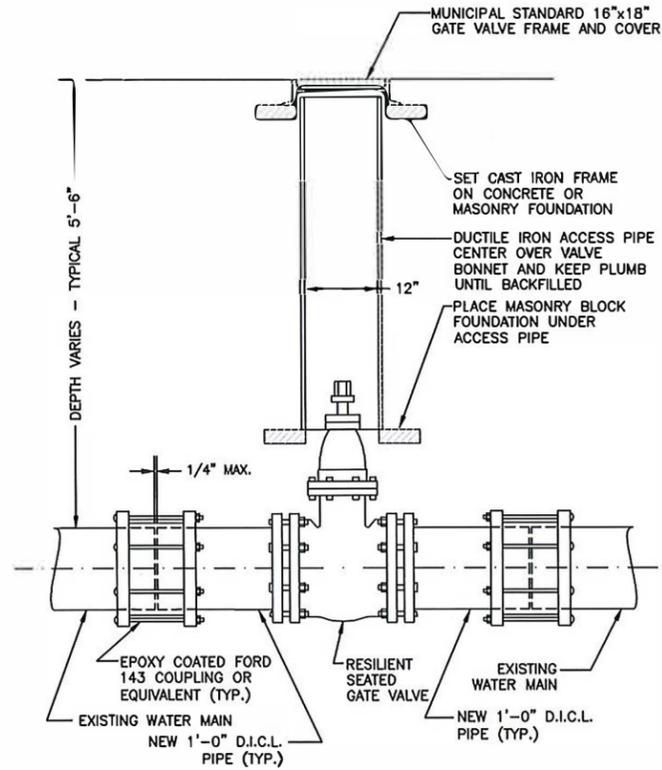
PROJECT NUMBER: 20005

DRAWN: MB

DPM CHECK: RL

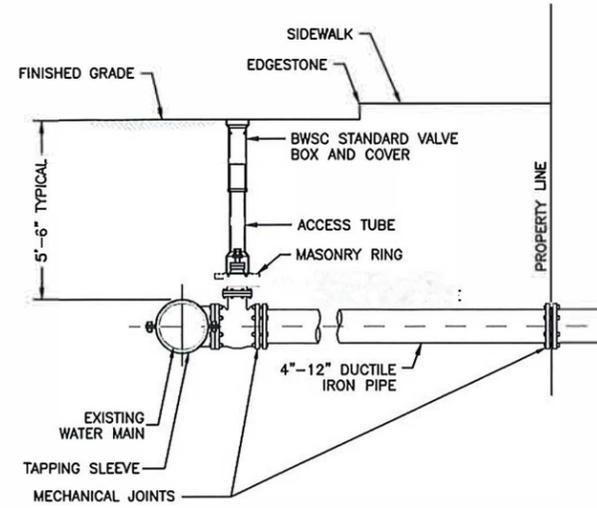
SHEET IDENTIFICATION:

C501



NOTE:
1. ALL EXCAVATION AND BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF CHELSEA REQUIREMENTS.

TYPICAL GATE VALVE INSTALLATION
NOT TO SCALE



NOTES:

1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
2. USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
3. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

TAPPING SLEEVE & VALVE
NOT TO SCALE

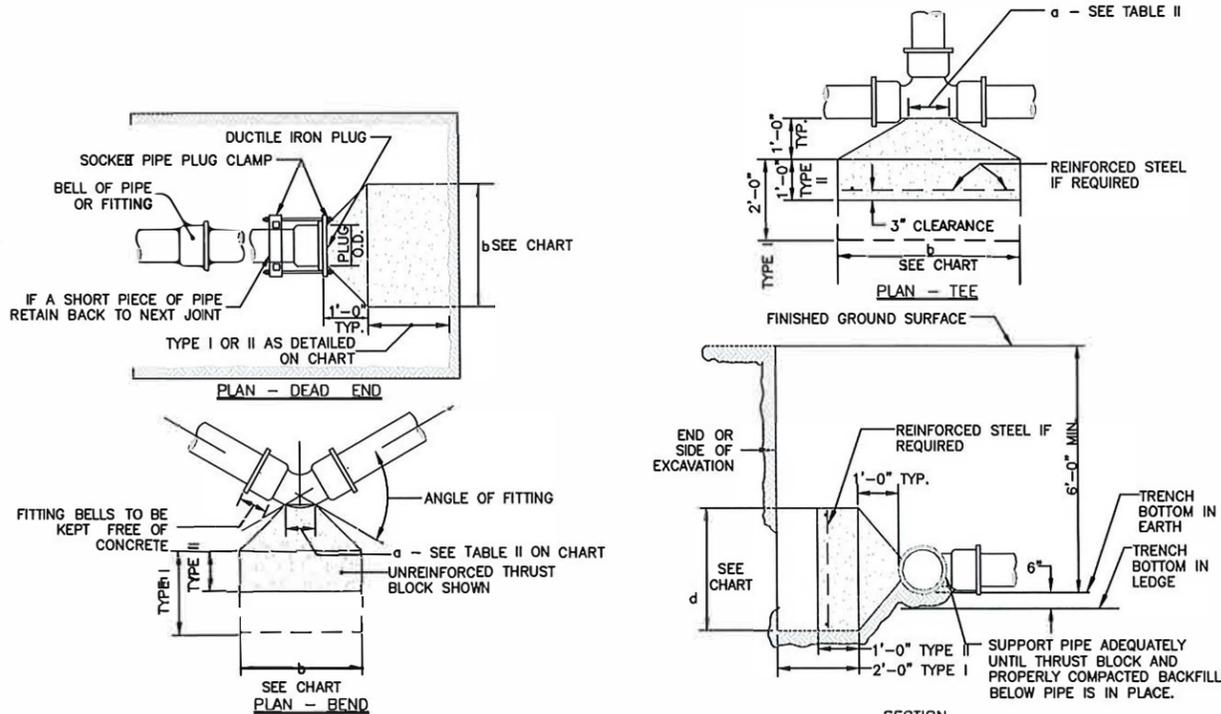
TABLE II - "a" DIMENSION - FEET

PIPE DIAMETER - INCHES	90° FITTING	OTHERS
6, 8, 10 & 12	1-6	1-0
16 & 20	2-0	1-8
24 - 30"	3-0	2-0

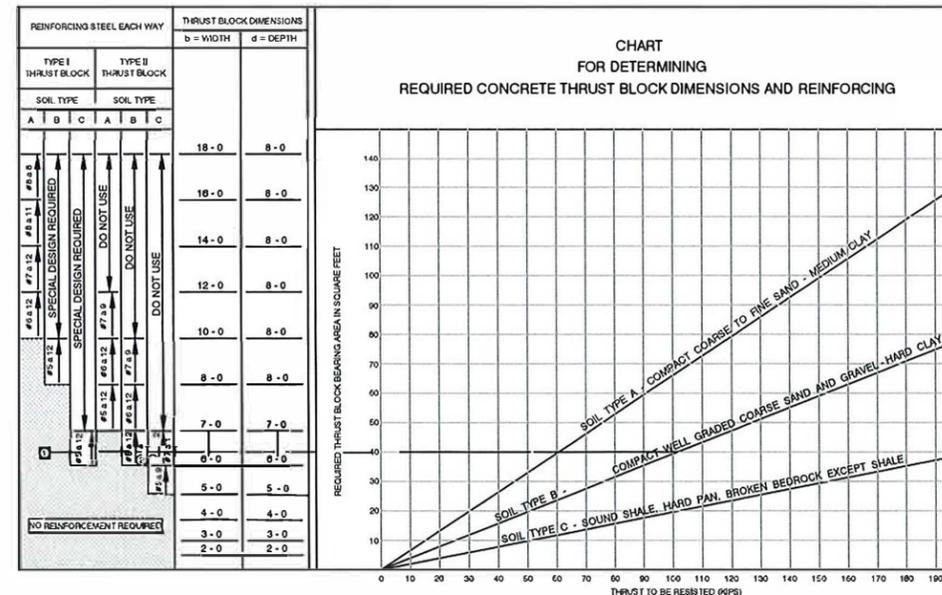
TABLE I - THRUST - KIPS (WATER PRESSURE = 200 P.S.I.)

PIPE DIAMETER - INCHES	6	8	10	12	16	20	24	30	36	42
DEAD ENDS AND TEES	5.6	10	15.8	22.6	40.2	62.8	90.4	141.0	203.6	277.0
90°	7.0	14.2	22.4	32.0	58.8	88.8	127.7	199.0	288.0	392.0
67 1/2°	-	11.1	17.8	25.1	44.7	70.0	100.2	157.0	228.0	308.0
59 1/4°	-	-	14.9	21.2	37.9	59.2	85.1	133.0	192.0	261.0
45°	-	-	-	17.3	30.8	48.1	69.0	108.0	156.0	212.0
33 3/4°	-	-	-	13.1	23.3	36.5	52.5	82.0	118.0	161.0
22 1/2°	-	-	-	8.8	15.7	24.5	35.2	55.0	79.5	108.0

DESIGN THRUST BLOCKS OR OTHER SUITABLE ANCHORAGE TO SUIT ACTUAL CONDITIONS



THRUST BLOCK
NOT TO SCALE



THRUST BLOCK DIMENSIONS
NOT TO SCALE

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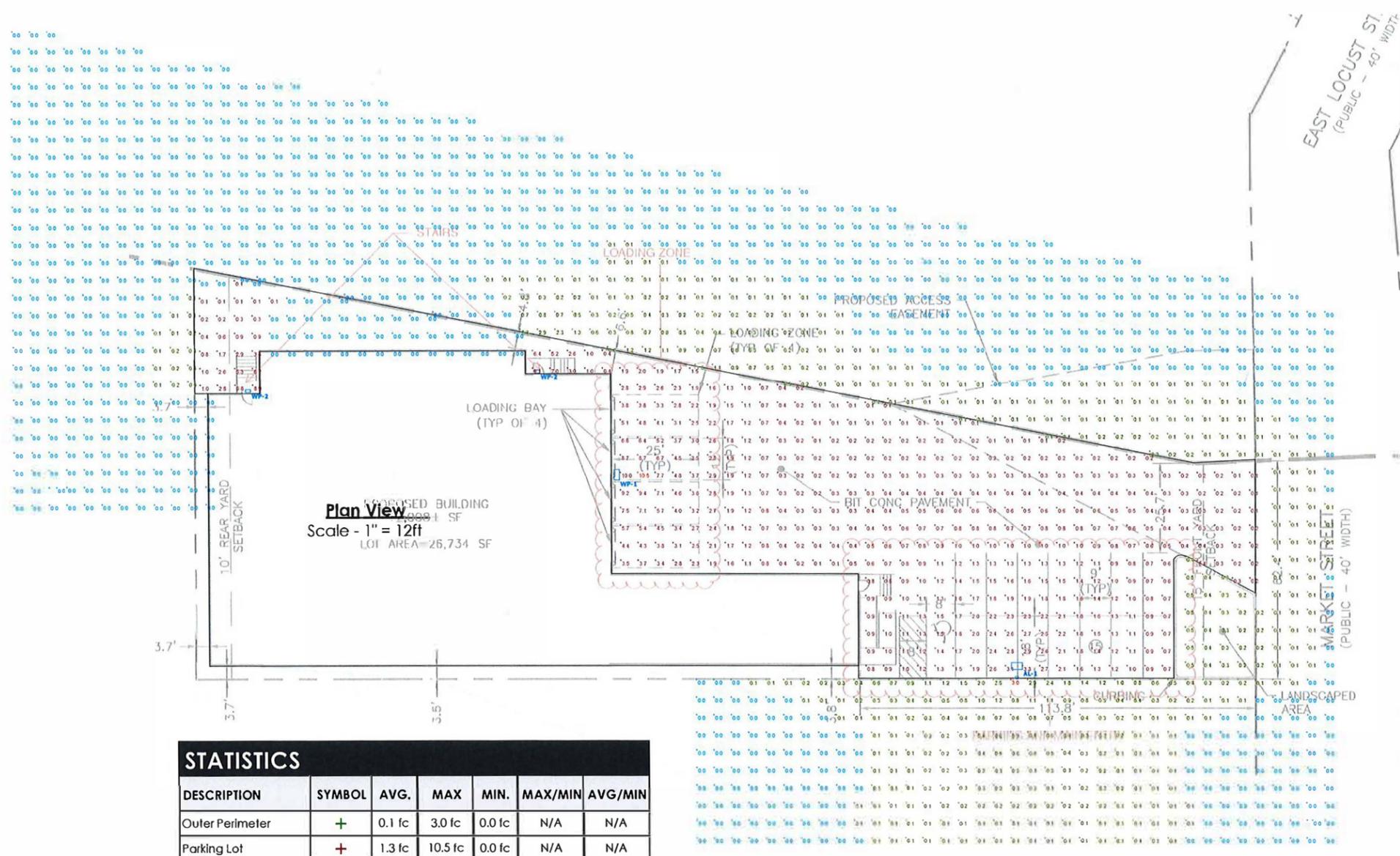
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SITE DETAILS

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DPM CHECK: RL
SHEET IDENTIFICATION:

C502



Plan View
 Scale - 1" = 12ft
 LOT AREA = 26,734 SF

- NOTES:**
- REFLECTANCES ASSUMED:
SURFACE: 50
 - MOUNTING HEIGHTS:
TYPE AL-1 @ 20'-0" AFG
TYPE WP-1 @ 15'-0" AFG
TYPE WP-2 @ 12'-0" AFG
 - TASK HEIGHT: AT GRADE
 - CALCULATION POINT SPACING: 5'X5' OC

DISCLAIMER:

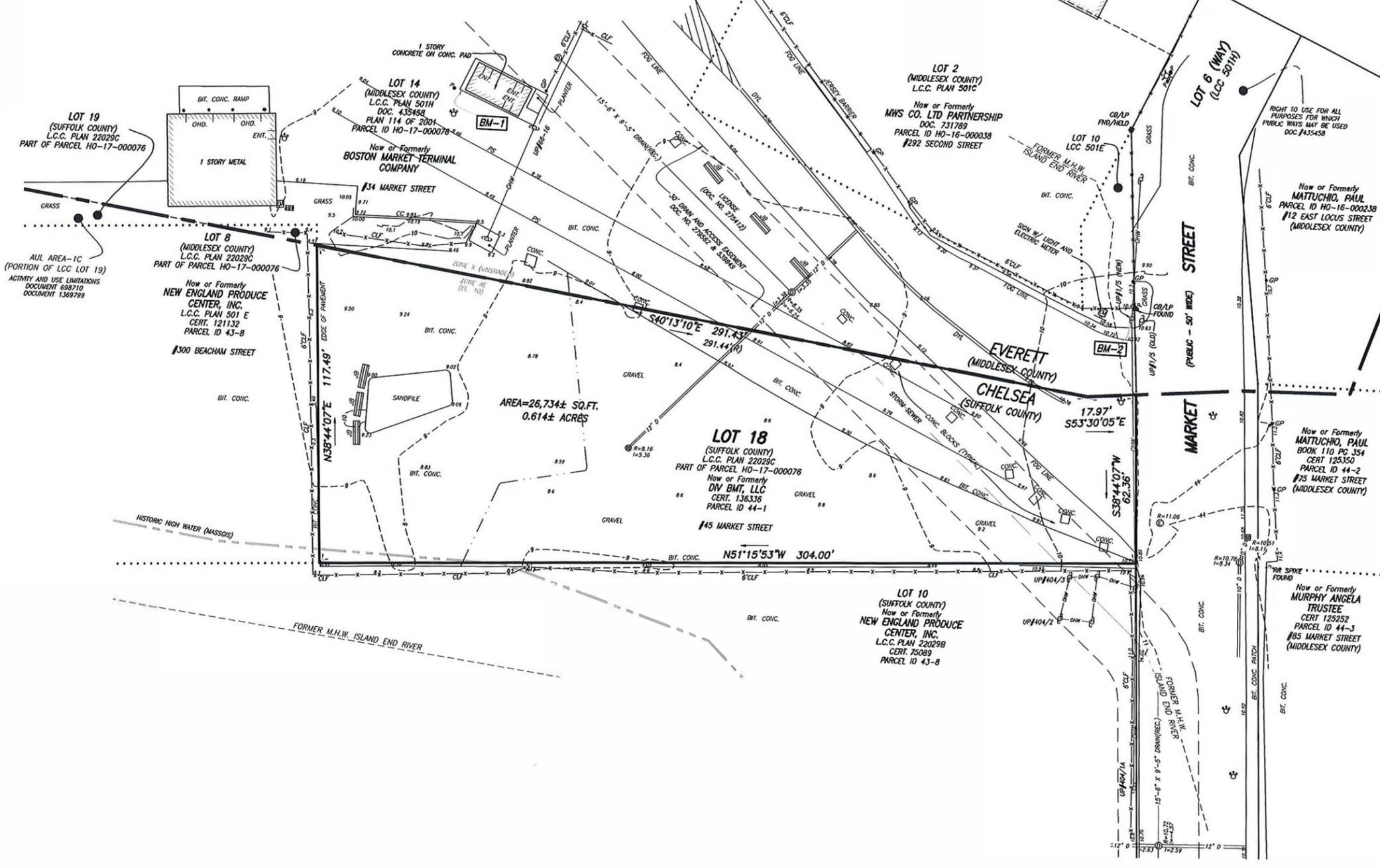
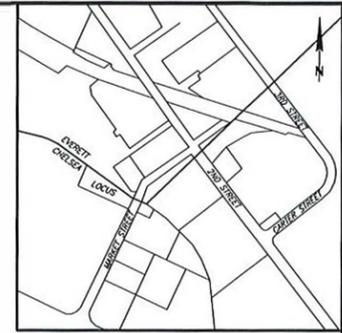
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX	MIN.	MAX/MIN	AVG/MIN
Outer Perimeter	+	0.1 fc	3.0 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.3 fc	10.5 fc	0.0 fc	N/A	N/A

SCHEDULE										
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	# OF LAMPS	LUMENS PER LAMP	LLF	WATTAGE
	AL-1	1	Lithonia Lighting	DSX0 LED P4 40K T4M MVOLT	DSX0 LED P4 40K T4M MVOLT	LED	1	10335	0.9	92
	WP-1	1	Lithonia Lighting	WDGE3 LED P4 70CRI R4 40K	WDGE3 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 OPTIC		1	12537	0.9	87.8914
	WP-2	2	Lithonia Lighting	WDGE1 LED P2 40K 80CRI VF	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	1978	0.9	15.0178

45 Market St.
 Chelsea
 02-11-2020

Designer
 Project J. Lindstrom
 Date
 01/11/2020
 Scale
 Not to Scale
 Drawing No.
 Summary



NOTES:

- 1) BENCHMARK INFORMATION:
BENCHMARK USED:
BM-1: SQUARE CUT ON CONCRETE SLAB @ NORTHWEST CORNER OF CONCRETE FOOTING. ELEVATION = 10.01'
BM-2: SPIKE IN SOUTHWEST SIDE OF UTILITY POLE #1/5. ELEVATION = 11.80'
- 2) ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON GPS OBSERVATIONS TAKEN ON DECEMBER 19, 2019.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD ZONE "AE", AN AREA WITHIN THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25025C0018L, CITY OF BOSTON COMMUNITY NUMBER 250287, PANEL NUMBER 0018, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE FOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS. SINCE SUBSURFACE UTILITIES CANNOT BE WISELY VERIFIED BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

LEGEND

- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊖ ELECTRIC MANHOLE
- ⊗ HYDRANT
- ⊘ WATER SHUT OFF/WATER GATE
- ⊙ CATCH BASIN
- ⊖ ROUND CATCH BASIN
- ⊗ D-FRAME CATCH BASIN
- ⊙ UTILITY POLE
- ⊖ ELECTRIC HANDHOLE
- ⊗ CONCRETE BOUND
- ⊘ STONE BOUND
- ⊙ BOUND FOUND
- ⊖ BOUND FOUND WITH DRILL HOLE
- ⊗ GATEPOST
- ⊘ POST
- ⊙ SIGN
- ⊖ UTILITY POLE W/ LIGHT
- ⊗ CONCRETE CURB
- ⊘ CHAIN LINK FENCE
- ⊙ DOUBLE YELLOW LINE
- ⊖ ENTRANCE
- ⊗ OVERHEAD WIRE
- ⊘ OVERHEAD DOOR
- ⊙ PAINT STRIPE
- ⊖ JERSEY BARRIER
- ⊗ ELECTRIC METER

EXISTING CONDITIONS SURVEY
45 MARKET STREET
CHELSEA, MASS.

FELDMAN LAND SURVEYORS JANUARY 03, 2020
152 HAMPDEN STREET PHONE: (617)357-9740
BOSTON, MASS. 02119 www.feldmansurveyors.com

FELDMAN
LAND SURVEYORS

20 0 10 20 40 60 80
SCALE: 1"=20'

RESEARCH	FIELD CHIEF VR	PROJ MGR DJR	APPROVED	SHEET NO. 1 OF 1
CAD	CADD UN/AF	FIELD CHECKED	CRD FILE 17230	JOB NO. 17230

FILENAME: S:\PROJECTS\17200a\17230\DWG\17230-EC.dwg



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.

D. Raffle

DAMIEN J. RAFFLE, PLS (MA 49629) 01/14/2020 DATE
DJR@FELDMANSURVEYORS.COM