

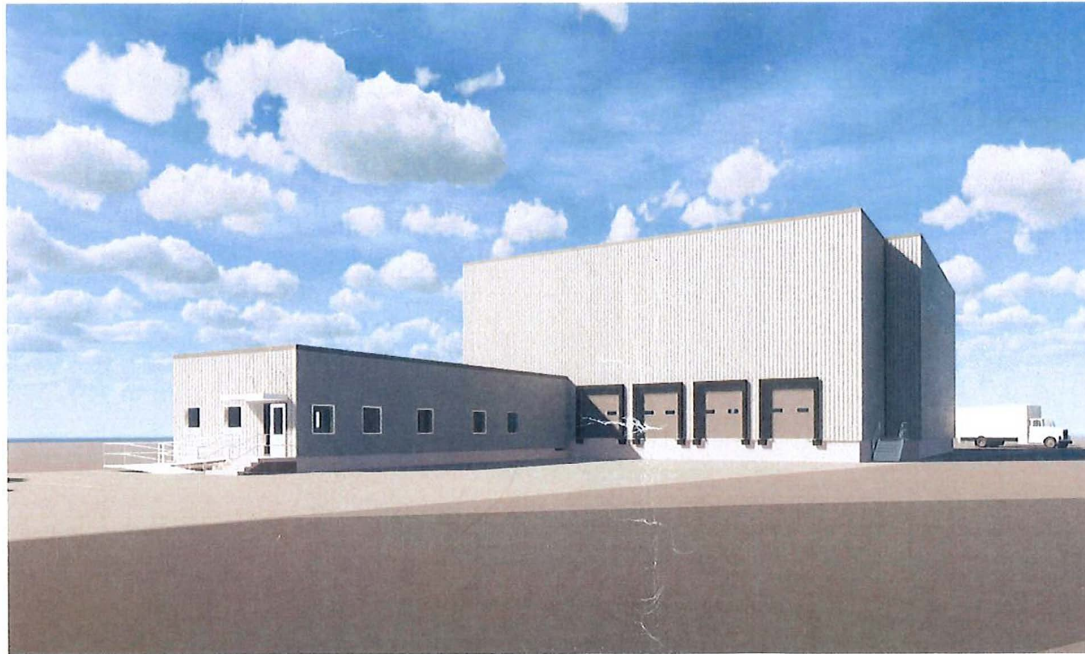
45 MARKET STREET PERMIT SET Chelsea, Massachusetts

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COVER SHEET
LOCUS PLAN
EXISTING CONDITIONS SURVEY
OVERALL FLOOR PLAN
EXTERIOR ELEVATIONS
EXTERIOR ELEVATIONS
SITE PREPARATION PLAN
SITE LAYOUT PLAN
TOPOGRAPHY & DRAINAGE PLAN
UTILITY PLAN
SITE DETAILS
SITE DETAILS
SITE DETAILS
SITE DETAILS
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PREPARED FOR:
SDTJ, LLC

**OFFICE &
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CHELSEA, MA

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KEY PLAN:

STAMP:



NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION
B	02/13/20	ISSUED FOR PERMIT
A	02/05/20	ISSUED FOR PERMIT

SHEET TITLE:

COVER SHEET

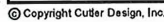
PROJECT NUMBER:	20005
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DRAWN:	MB
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DPM CHECK:	RL
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SHEET IDENTIFICATION:

C000



C001

SHEET IDENTIFICATION:

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C	01/31/20	ISSUED FOR PERMIT
B	01/30/20	FOR OWNER REVIEW
A	01/28/20	FOR OWNER REVIEW

SHEET TITLE:

OVERALL FLOOR
PLAN

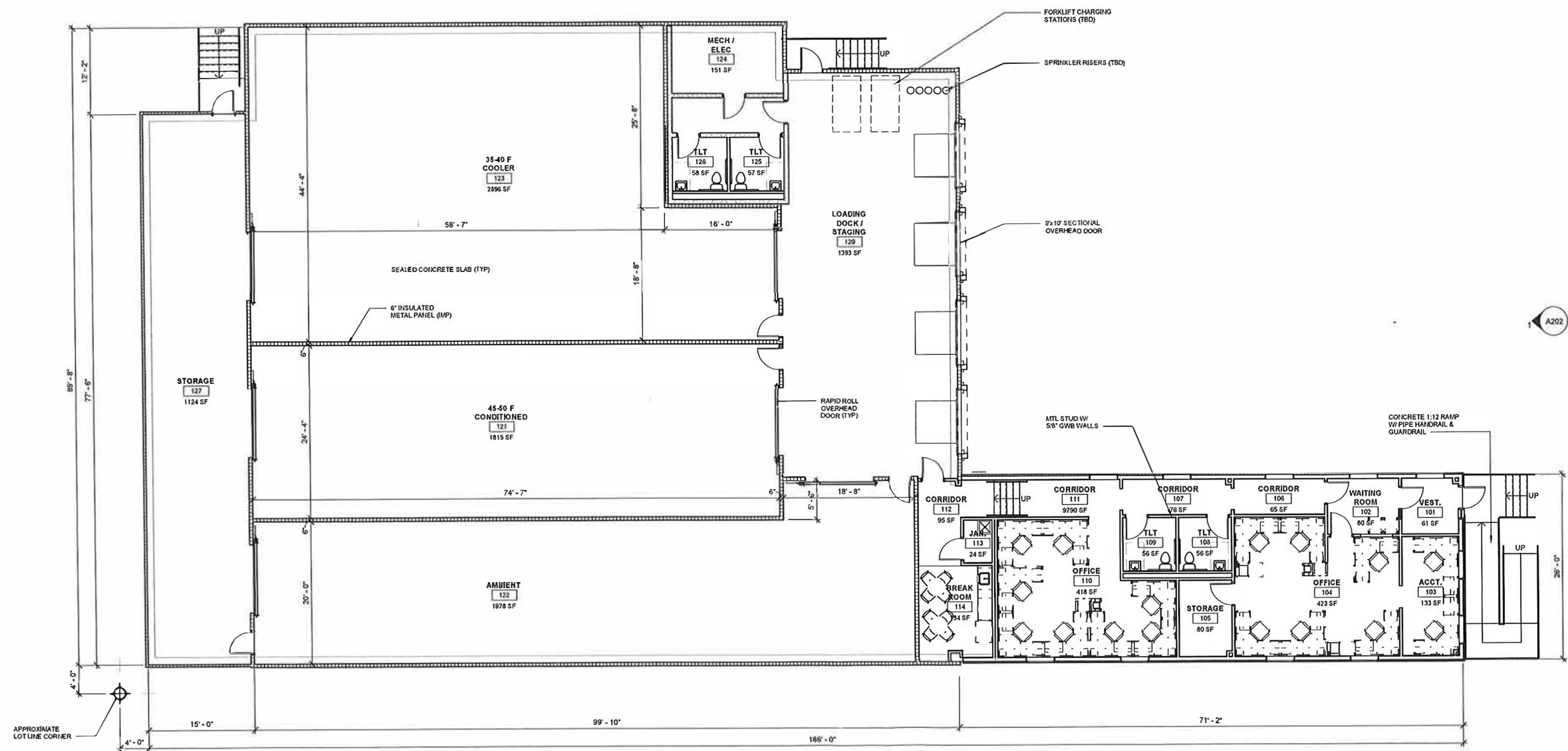
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DRAWN: SOS

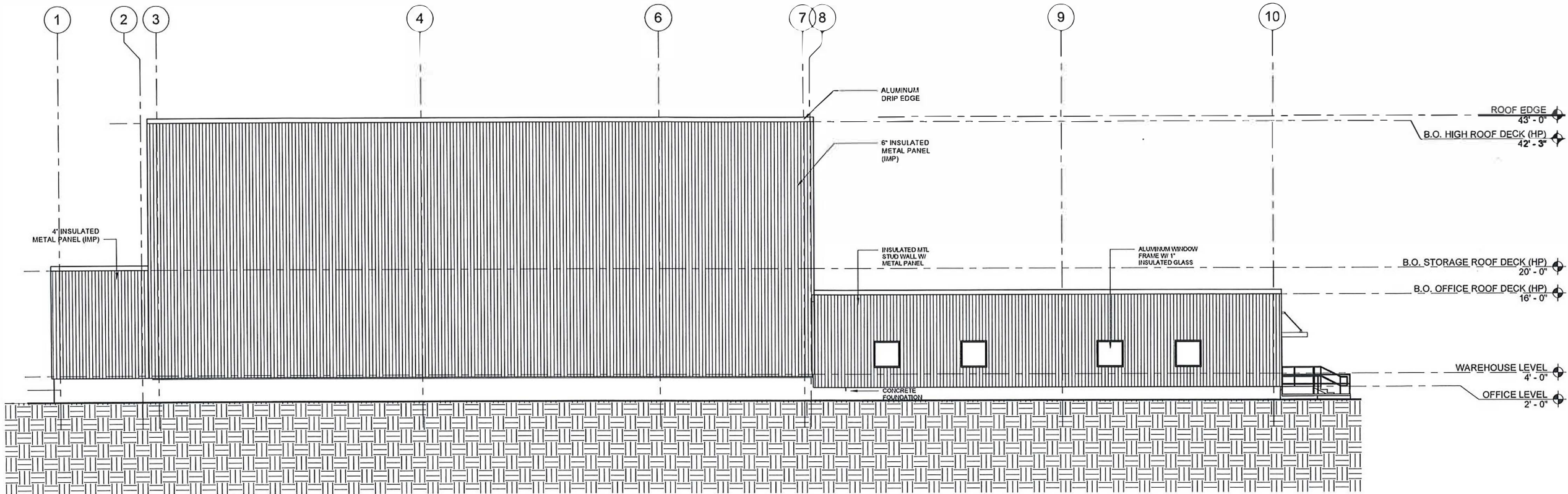
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SHEET IDENTIFICATION:

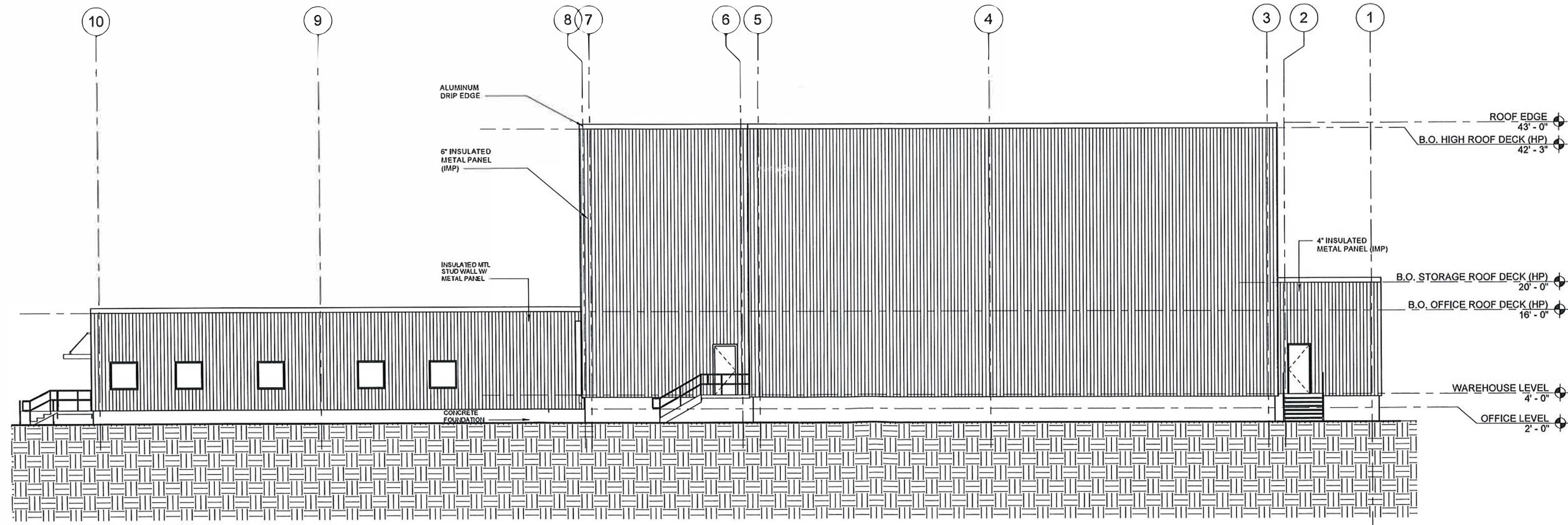
A101



1 OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT NUMBER:	20005
DRAWN:	SOS
DPM CHECK:	JAR
SHEET IDENTIFICATION:	

A201

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SHEET TITLE:

EXTERIOR ELEVATIONS

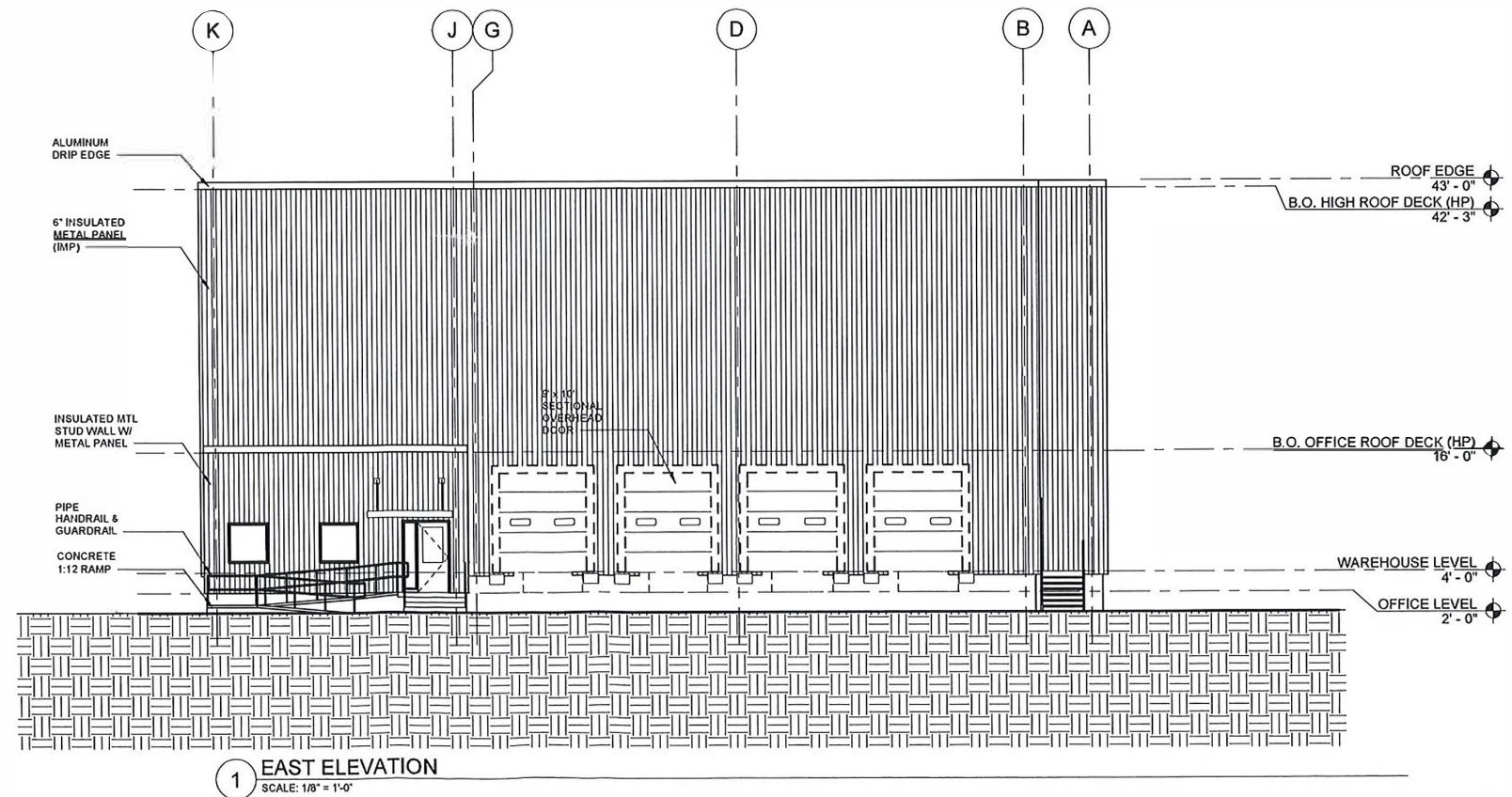
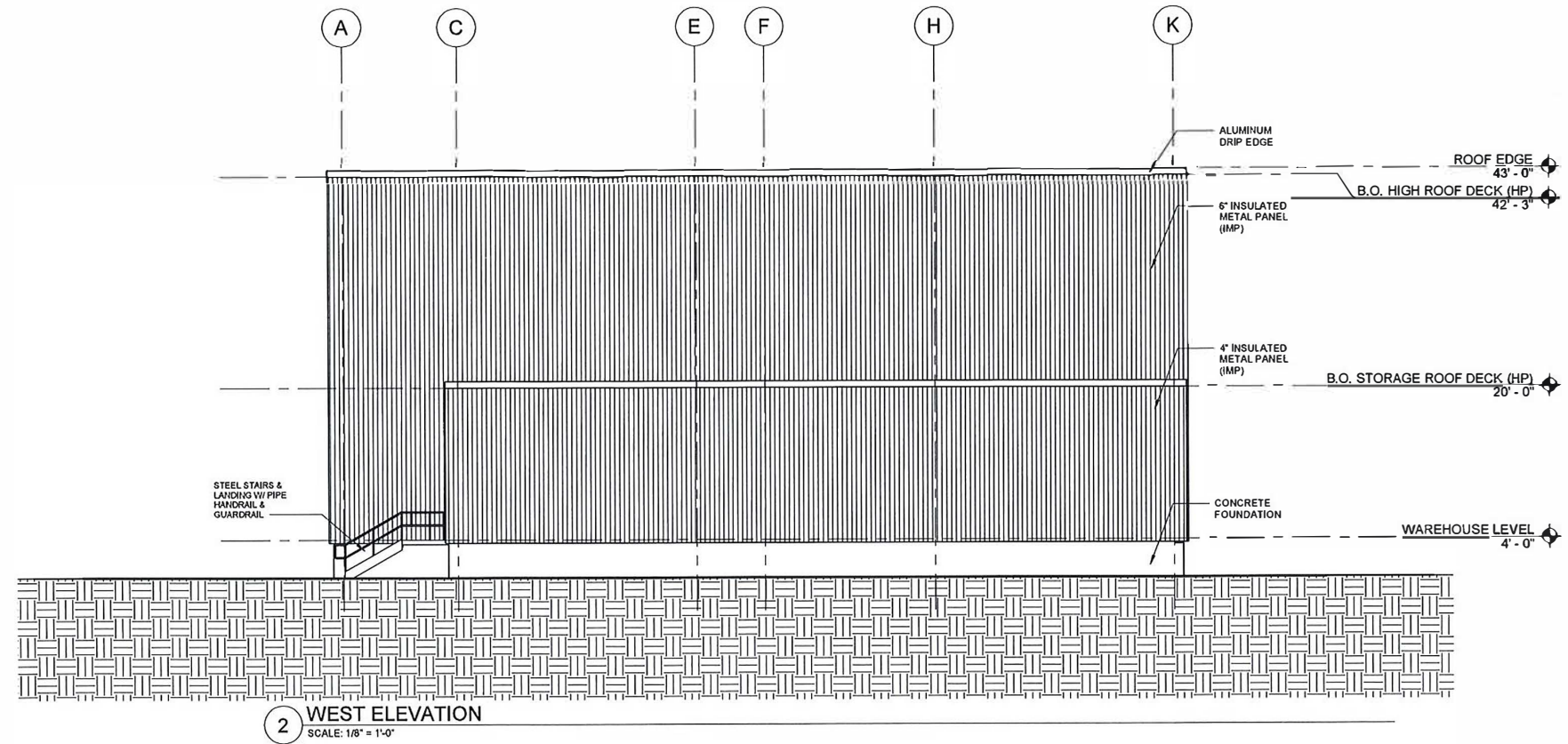
PROJECT NUMBER: 20005

DRAWN: SOS

DPM CHECK: JAR

SHEET IDENTIFICATION:

A202





-

ABAN	ABANDON
R&D	REMOVE & DISPOSE
R&S	REMOVE & STACK
■	INLET PROTECTION
	CONSTRUCTION FENCE
— SF —	SILT FENCE

C100





1. EXISTING TOPOGRAPHIC, PROPERTY LINE AND UTILITY INFORMATION SHOWN IS BASED ON A PLAN ENTITLED "EXISTING CONDITIONS SURVEY, 45 MARKET STREET, CHELSEA, MA," PREPARED BY FELDMAN LAND SURVEYORS, AND DATED JANUARY 3, 2020.

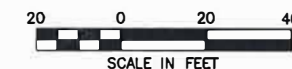
ZONING DISTRICT: INDUSTRIAL		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	1 ACRE	0.614 ACRES
MINIMUM LOT FRONTAGE	150 FEET	62.4 FEET
MAXIMUM FLOOR AREA RATIO	1.1	0.45
MAXIMUM HEIGHT ¹	40 FEET	43 FEET ¹
FRONT YARD SETBACK	15 FEET	113.8 FEET
SIDE YARD SETBACK ²	NA	3.5 FEET
REAR YARD SETBACK	10 FEET	3.7 FEET
MAXIMUM LOT COVERAGE ³	50%	45%
MINIMUM DISTANCE BETWEEN ACCESS POINTS TO THE SAME LOT	100 FEET	NA
PARKING SPACES ⁴	15	15
LOADING SPACES	1	4

¹ SEC 34-80 PART (1) OF THE "CODE OF ORDINANCES, CITY OF CHELSEA, MASSACHUSETTS:" IN INDUSTRIAL DISTRICTS, BUILDING HEIGHTS GREATER THAN THAT PERMITTED IN THE DISTRICT AS LISTED ON THE TABLE OF DIMENSIONAL REGULATIONS IN SECTION 34-262 MAY BE ALLOWED BY SPECIAL PERMIT AND AFTER SITE PLAN APPROVAL PROVIDED THAT SUCH HEIGHT SHALL NOT BE GREATER THAN 80 FEET.

2 SEC 34-50 PART (C) OF THE "CODE OF ORDINANCES, CITY OF CHELSEA, MASSACHUSETTS." NO ACCESSORY BUILDING, STRUCTURE OR USE SHALL BE LOCATED WITHIN THE REQUIRED FRONT YARD AREA NOR SHALL BE LOCATED NEARER THAN FIVE FEET TO ANY SIDE OR REAR LOT LINE EXCEPT BY SPECIAL PERMIT FROM THE ZONING BOARD OF APPEALS.

³ SEC 34-78 PART (K) OF THE "CODE OF ORDINANCES, CITY OF CHELSEA, MASSACHUSETTS:" IN THE INDUSTRIAL DISTRICT, A GREATER PERCENTAGE OF SITE COVERAGE MAY BE PERMITTED BY SPECIAL PERMIT PROVIDED THAT THE OFF-STREET PARKING AND LOADING REQUIREMENTS ARE MET.

4 SEC 34-283 OF THE "CODE OF ORDINANCES, CITY OF CHELSEA, MASSACHUSETTS:"
OFF-STREET PARKING REQUIREMENTS FOR INDUSTRIAL USES REQUIRES ONE SPACE
FOR EACH 1,000 SF OF FLOOR AREA, PLUS ONE SPACE FOR EACH THREE
EMPLOYEES ON THE LARGEST SHIFT.



KEY PLAN:

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SHEET TITLE:

PROJECT NUMBER:	20005
DRAWN:	MB
DPM CHECK:	RL
SHEET IDENTIFICATION:	

C200

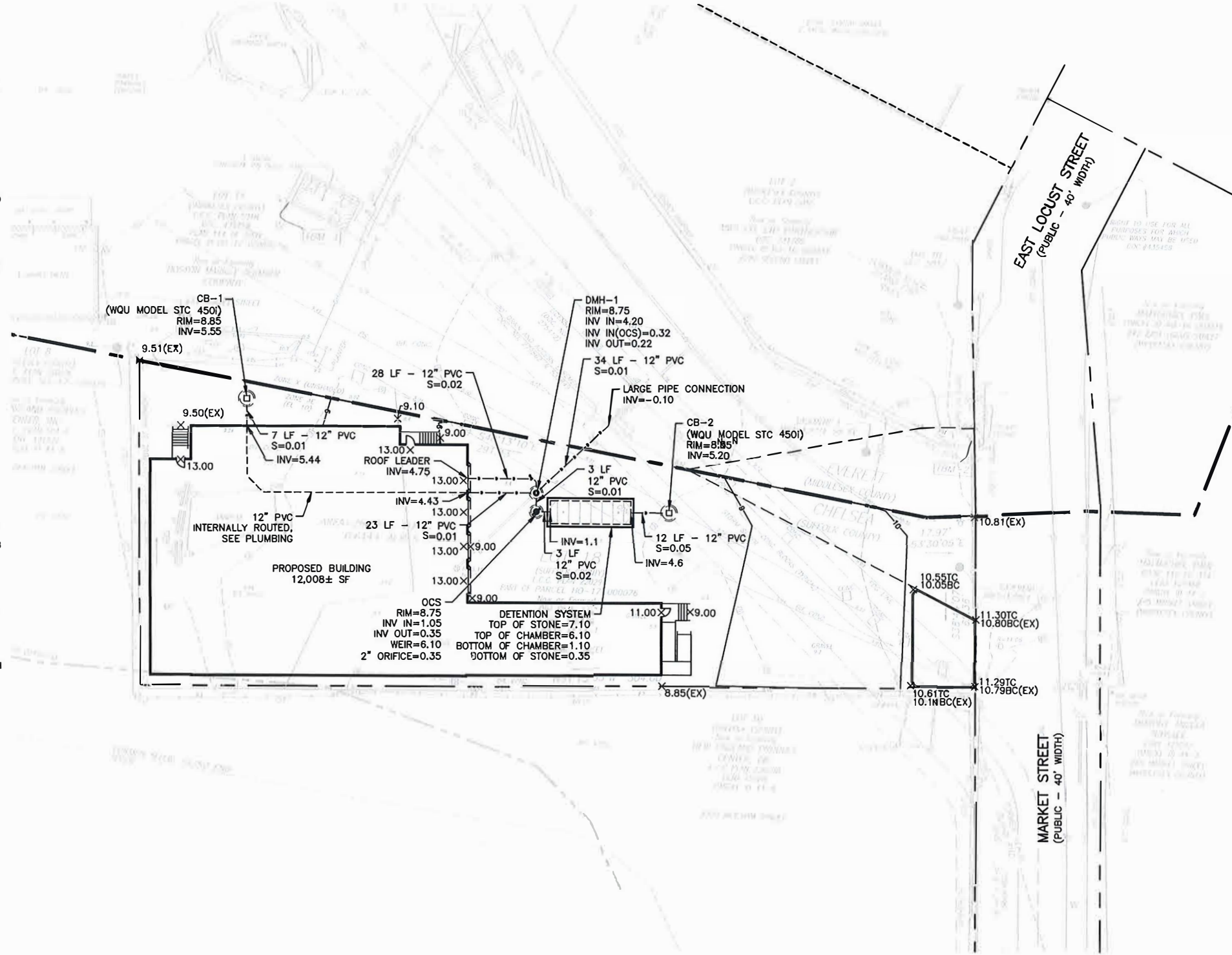


NOTES:

- EXISTING TOPOGRAPHIC, PROPERTY LINE, AND UTILITY INFORMATION SHOWN IS BASED ON A PLAN ENTITLED "EXISTING CONDITIONS SURVEY, 45 MARKET STREET, CHELSEA, MA," PREPARED BY FELDMAN LAND SURVEYORS, AND DATED JANUARY 3, 2020.
- THE ACCURACY AND COMPLETENESS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION BEGINS THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT (888)344-7233.
- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
- ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AT NO ADDITIONAL COST TO THE OWNER. IF THE CONTRACTOR ADJUSTS UTILITY COVERS IT SHALL BE DEEMED PART OF THE WORK AND THERE WILL BE NO ADDITIONAL COMPENSATION.
- ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING.
- NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE ENGINEER.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED & DISPOSED.
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AT HIS OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
- ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD DETAILS OF THE CHELSEA DEPARTMENT OF PUBLIC WORKS.
- PIPE SLOPES ARE IN FEET/FEET.
- GAS, TELEPHONE AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC AND PLUMBING CONSULTANTS.
- CONTRACTOR MUST PAY ALL FEES AND PERMITS.
- SANITARY SEWER AND STORM DRAIN CONNECTIONS MUST BE A MINIMUM OF 10 FEET APART FROM ANY NEW OR EXISTING WATER SERVICE CONNECTIONS.
- RIM ELEVATIONS OF ALL STRUCTURES ARE APPROXIMATE AND SHALL BE FLUSH TO FINISH GRADE. THIS INCLUDES ADJUSTING THE RIM ELEVATIONS OF EXISTING MANHOLES, GATES, ETC. FINAL ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD.
- EXISTING SERVICES SHALL NOT BE CONNECTED TO THE PROPOSED WATER MAIN UNTIL THAT MAIN HAS PASSED PRESSURE TEST AND DISINFECTION REQUIREMENTS.
- THE CONTRACTOR SHALL CALL CHELSEA WATER & SEWER AT 1-617-466-4310 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO ANY SHUTDOWN OF THE WATER MAINS. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED, CHELSEA DPW, AND THE CITY TREASURER'S OFFICE BY FLYER OR FAX AT LEAST 48 HOURS PRIOR TO SHUTDOWN.
- ALL SEWERS AND DRAINS IN WORK SITE SHALL BE BAITED FOR RODENT CONTROL PRIOR TO START-UP OF CONSTRUCTION.
- ALL STREET EXCAVATIONS SHALL BE COMPLETELY CLOSED AT THE END OF EACH WORKING DAY BY BACKFILLING, COVERING WITH STEEL PLATES MAY BE ALLOWED IF APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES WHICH HOLD WATER IN THE SYSTEM. CHELSEA WATER & SEWER WILL, ON 24 HOURS NOTICE FROM THE CONTRACTOR, OPEN AND/OR CLOSE ANY VALVES REQUIRED FOR DRAINING OR ADMITTING WATER TO THE VARIOUS SECTIONS OF THE WATER MAINS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY IN WRITING 24 HOURS IN ADVANCE, ANY OCCUPANT THAT WILL BE WITHOUT WATER DUE TO A SHUTDOWN.
- UTILITY CONNECTIONS TO THE CITY OF CHELSEA UTILITIES TO BE COORDINATED WITH THE DEPARTMENT OF PUBLIC WORKS

LEGEND:

- LF LINEAR FOOT
INV INVERT
PVC POLYVINYL CHLORIDE PIPE
CB CATCH BASIN
WQU WATER QUALITY UNIT
DMH DRAIN MANHOLE
OCS OUTLET CONTROL STRUCTURE
G GATE VALVE
D DRAIN LINE
--- PROPERTY LINE
--- CITY LINE
--- EASEMENT LINE



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SHEET TITLE:		

TOPOGRAPHY &
DRAINAGE PLAN

PROJECT NUMBER: 20005
DRAWN: MB
CHECK: RL

SHEET IDENTIFICATION:
C300

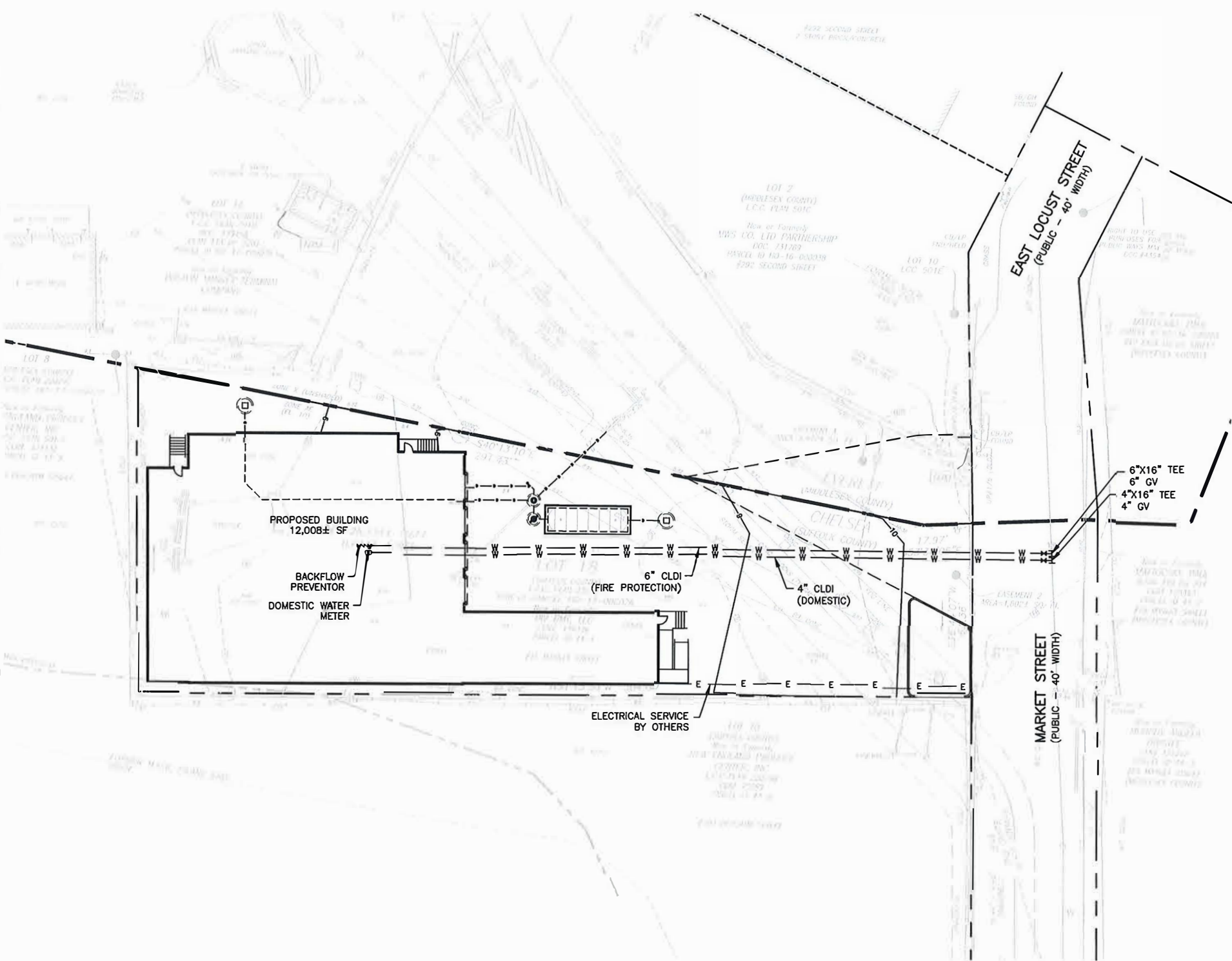


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02/25/20	ISSUED FOR PERMIT

SHEET TITLE:

UTILITY PLAN

PROJECT NUMBER:	20005
DRAWN:	MB
DPM CHECK:	RL

SHEET IDENTIFICATION:

C400

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED AND UPGRADED AS NECESSARY DURING CONSTRUCTION BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND INSTALL ADDITIONAL CONTROL MEASURES AS NEEDED DURING CONSTRUCTION.
2. ALL CATCH BASINS RECEIVING DRAINAGE FROM THE PROJECT SITE MUST BE PROVIDED WITH A CATCH BASIN FILTER.
3. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
4. SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL DEVICES MUST BE PROPERLY REMOVED AND DISPOSED. ALL DAMAGED CONTROLS MUST BE REMOVED AND REPLACED.
5. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING WIND EROSION AND DUST THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL MAY INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND STREET SWEEPING ADJACENT ROADWAYS.
7. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCE ACTIVITIES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZED SOILS WITHIN 14 DAYS OF THE LAST DISTURBANCE.
8. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
9. THE CONTRACTOR MUST KEEP ON-SITE AT ALL TIMES ADDITIONAL FILTER BERMS AND/OR SILT FENCE FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER OR CONSERVATION COMMISSION TO MITIGATE ANY EMERGENCY CONDITION.
10. THE CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROLS AS SHOWN MAY NOT BE PRACTICAL DURING ALL STAGES OF CONSTRUCTION. EARTHWORK ACTIVITY ON-SITE MUST BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO A SEDIMENT CONTROL DEVICE OR INFILTRATED TO THE GROUND.
11. DEMOLITION AND CONSTRUCTION DEBRIS MUST BE PROPERLY CONTAINED AND DISPOSED OF.
12. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

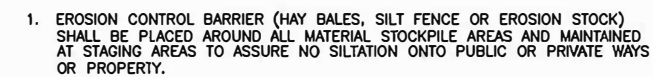
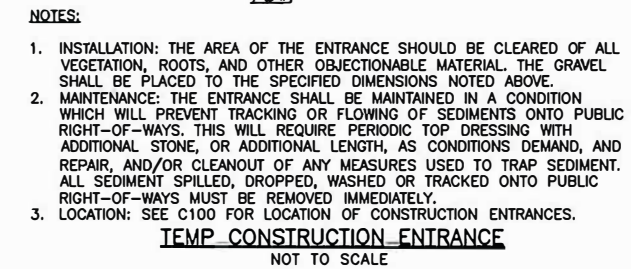
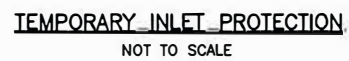


Diagram illustrating the typical dimensions and markings for a handicap parking space:

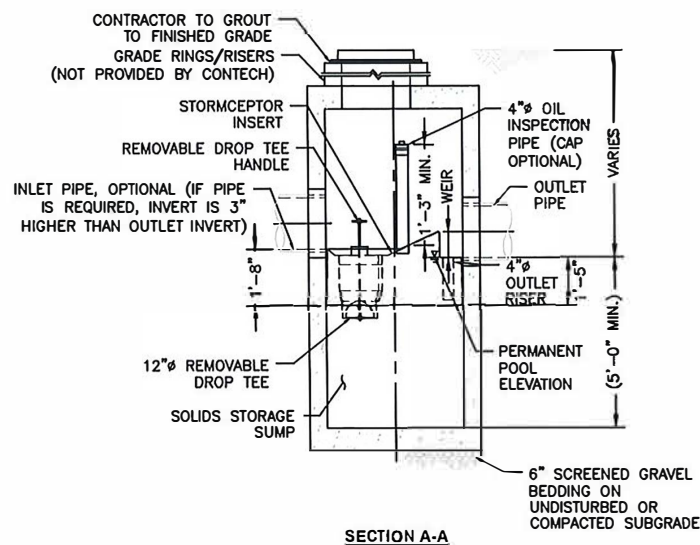
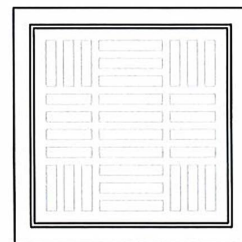
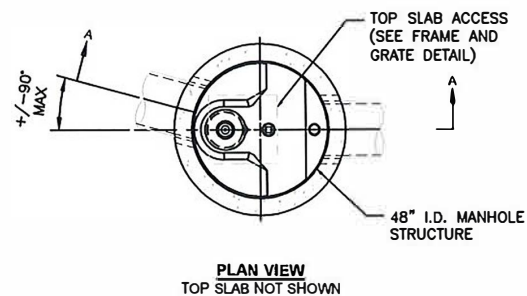
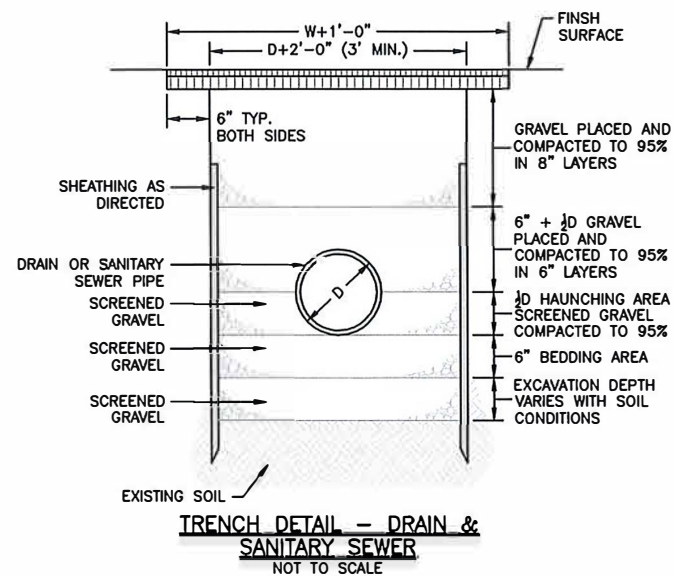
- Overall width: 18'-0"
- Overall length: 8' MIN
- Width of the parking space: 8'
- Markings: 4" wide painted white stripes (typ.) and a blue painted handicap symbol.

NOTE:

- Grading within the handicap parking space shall not exceed 2.0% in any direction.

TYPICAL HANDICAP PARKING SPACE
NOT TO SCALE

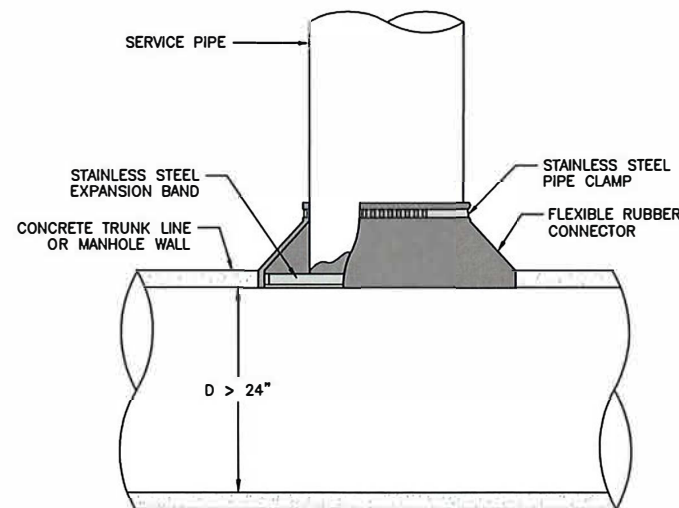
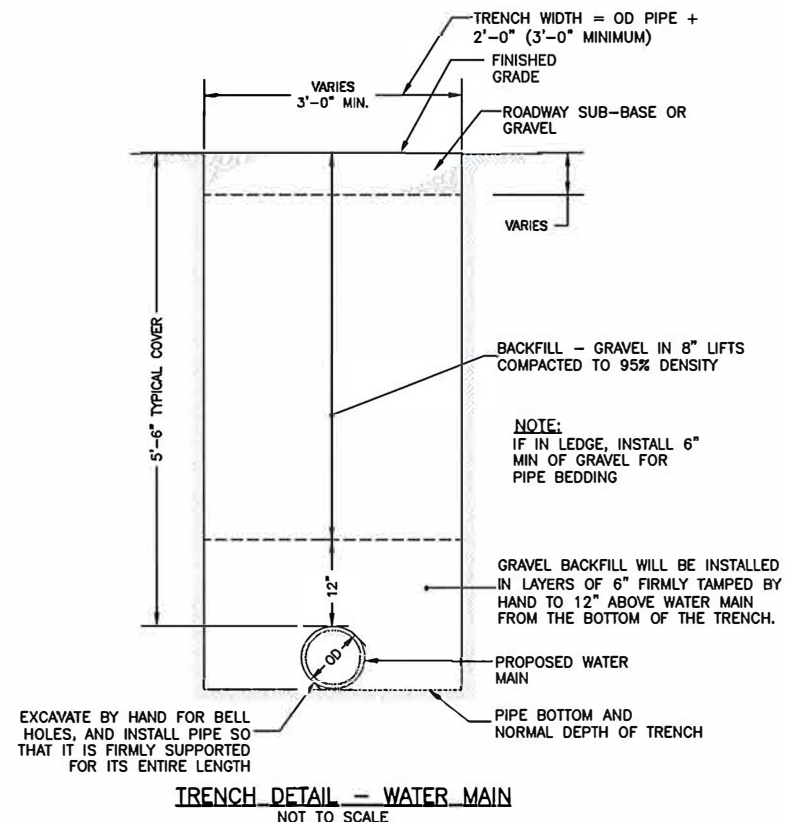
C500



WATER QUALITY UNIT - STC 450i
NOT TO SCALE

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
 - STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 - STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



- NOTES:**
- OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL.
 - ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL.
 - SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE PIPE OR WALL.
 - IF TRUNK LINE DIAMETER IS LESS THAN 24" THEN A SADDLE TYPE CONNECTION WILL BE USED.

PREPARED FOR:
SDTJ, LLC

OFFICE &
WAREHOUSE
BUILDING
45 MARKET STREET
CHELSEA, MA

Cutler
Design
43 Harvard Street
Worcester, MA 01609
(508) 757-7500 PHONE
(508) 799-2088 FAX
www.cutlerassociatesinc.com

CIVIL ENGINEER:
HOWARD STEIN HUDSON
11 Beacon Street, Suite 1010
Boston, MA 02108
(617) 482-7080 PHONE
www.hshassoc.com

KEY PLAN:

STAMP:



NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION
B	02/13/20	ISSUED FOR PERMIT
A	02/05/20	ISSUED FOR PERMIT

SHEET TITLE:

SITE DETAILS

PROJECT NUMBER: 20005
DRAWN: MB
DPM CHECK: RL
SHEET IDENTIFICATION:

C501

**OFFICE &
WAREHOUSE
BUILDING**
15 MARKET STREET
CHELSEA, MA

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Since 1987
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KEY PLAN:

STAMP:



NOT FOR CONSTRUCTION

[illegible]

B	02/13/20	ISSUED FOR PERMIT
A	02/05/20	ISSUED FOR PERMIT

SITE DETAILS

PROJECT NUMBER: 20005

DRAWN: MB

DPM CHECK: RL

SHEET IDENTIFICATION:

C502



TYPICAL GATE VALVE INSTALLATION
NOT TO SCALE



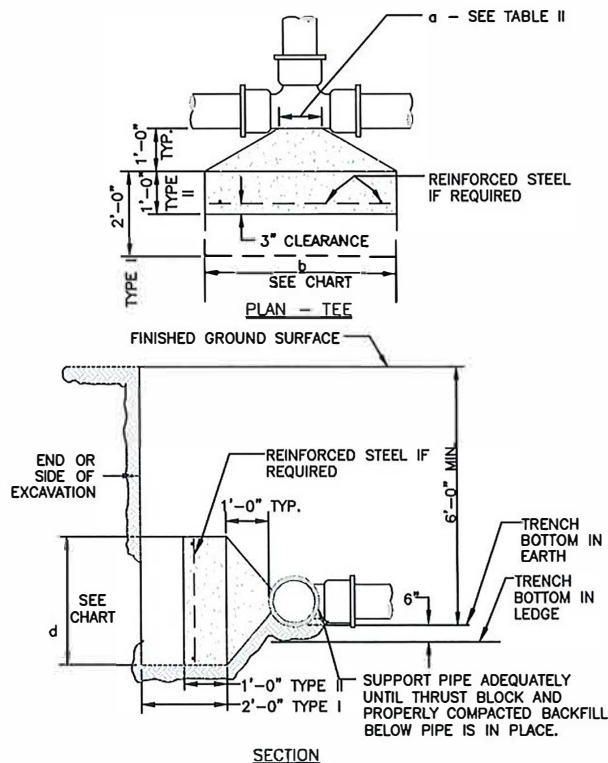
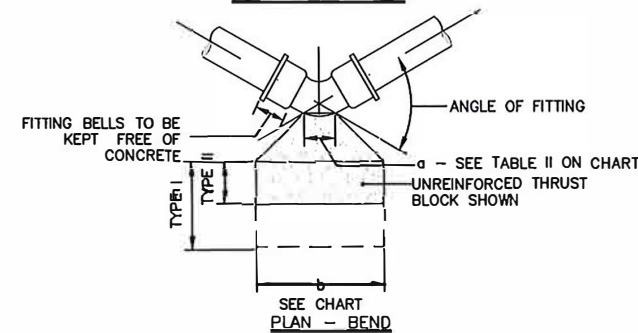
1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
2. USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
3. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

TAPPING SLEEVE & VALVE
NOT TO SCALE

PIPE DIAMETER - INCHES	90° FITTING	OTHERS
6, 6.625 & 12	1 - 6	1 - 0
16 & 20	2 - 0	1 - 6
24" - 30"	3 - 0	2 - 0

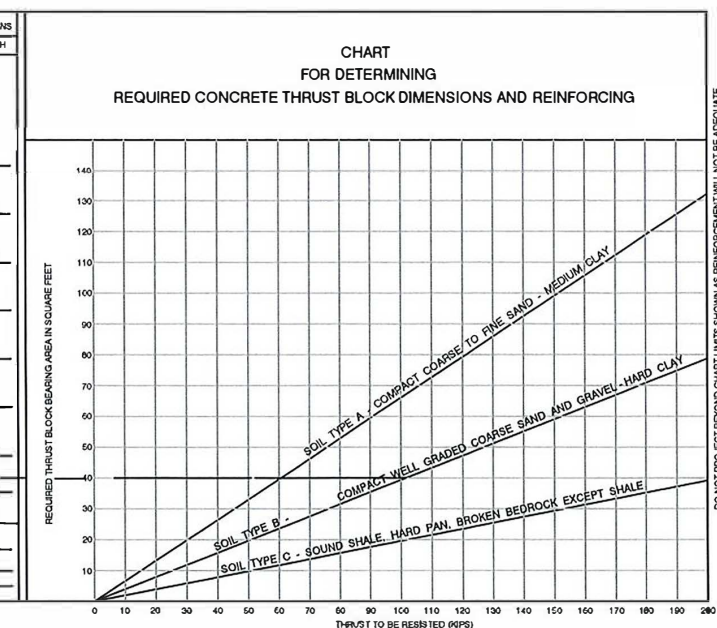
		TABLE 1 - THRUST - KIPS (WATER PRESSURE = 200 P.S.I.)								
PIPE O.D./FEET INCHES	8	8	10	12	16	20	24	30	36	42
DEAD ENDS AND TEES	5.6	10	15.8	22.6	40.2	62.6	90.4	141.0	203.6	277.0
90°	7.9	14.2	22.4	32.0	58.8	88.8	127.7	199.0	283.8	392.0
67 1/2°	-	11.1	17.0	25.1	44.7	70.0	100.2	157.0	228.0	308.0
59 1/4°	-	-	14.9	21.2	37.9	59.2	85.1	133.0	192.0	261.0
45°	-	-	-	17.3	30.8	48.1	69.0	108.0	159.0	212.0
33 3/4°	-	-	-	13.1	23.3	30.5	52.5	82.0	118.0	161.0
22 1/2°	-	-	-	8.8	15.7	24.5	35.2	55.0	79.5	108.0

DESIGN THRUST BLOCKS OR OTHER SUITABLE ANCHORAGE TO SUIT ACTUAL CONDITIONS

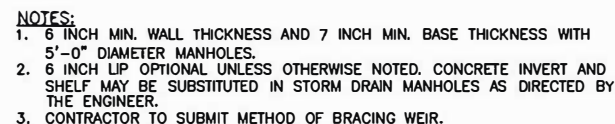


THRUST BLOCK
NOT TO SCALE

REINFORCING STEEL EACH WAY						THRUST BLOCK DIMENSION	
TYPE I THRUST BLOCK			TYPE II THRUST BLOCK			b = WIDTH	d = DEPTH
SOIL TYPE			SOIL TYPE				
A	B	C	A	B	C		
#6@12	#7@12	#8@11	#6@12	#7@9	#8@11	18'-0"	8'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			16'-0"	8'-0"
#5@12	#6@12	#7@9	#6@12	#7@9	#8@11	14'-0"	8'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			12'-0"	8'-0"
#5@12	#6@12	#7@9	#6@12	#7@9	#8@11	10'-0"	8'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			8'-0"	8'-0"
#4@12	#5@12	#6@9	#4@12	#5@12	#6@9	7'-0"	7'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			6'-0"	6'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			5'-0"	5'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			4'-0"	4'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			3'-0"	3'-0"
SPECIAL DESIGN REQUIRED			DO NOT USE			2'-0"	2'-0"



THRUST BLOCK DIMENSIONS
NOT TO SCALE



PROPOSED DETENTION SYSTEM NO. 1

(6) STORMTECH ADS STORMTECH MC-4500 CHAMBERS
(2) STORMTECH MC-4500 END CAPS
(1) THERMOPLASTIC 30 MIL LINER
INSTALLED WITH 12" COVER STONE, 9" BASE STONE, 12" SIDE STONE,
12" END STONE AND 40% STONE VOIDS

PROPOSED DETENTION SYSTEM NO. 2

MAXIMUM ALLOWABLE GRADE:
MINIMUM ALLOWABLE GRADE:
TOP OF STONE:
TOP OF CHAMBER:
BOTTOM OF CHAMBER:
BOTTOM OF STONE:

NOTES

* DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.

The diagram is a cross-section view of a stormwater detention system. It shows an MC-4500 chamber with an end cap, surrounded by stone and geotextile. The chamber is 100 inches wide and 60 inches high. The stone is 12 inches thick on the sides and ends, and 9 inches thick on the base. A 4-inch perforated underdrain is located below the chamber. A 30-mil impermeable liner is placed under the stone. The top of the stone is 24 inches above the top of the chamber. The bottom of the chamber is 9 inches above the bottom of the stone. The diagram also shows an excavation wall, a perimeter stone, and a 6-ounce non-woven geotextile. Labels include: PERIMETER STONE, EXCAVATION WALL, THERMOPLASTIC 30 MIL IMPERMEABLE LINER TO BE PLACED UNDER AND AROUND THE SIDE OF THE STONE, DO NOT PLACE LINER ON TOP OF STONE LAYER, 12", MC-4500 END CAP, SUBGRADE SOILS, 4" PERFORATED HDPE UNDERDRAIN, 12" TYP., 9", 60", 100", 12", 24" MIN., 7" MAX., TOP OF STONE, TOP OF CHAMBER, BOTTOM OF CHAMBER, BOTTOM OF STONE, GRANULAR WELL GRADED SOIL/AGGREGATE MIXTURES, <35% FINES, COMPACT IN 12" MAX LIFTS TO 95% STANDARD PROCTOR DENSITY, MC-3500 CHAMBER, SEE PLAN AND DETAILS FOR TREATMENT, 4" PERFORATED UNDERDRAIN CLEAN OUT, CLEAN, WASHED, ANGULAR STONE (AASHTO M43 DESIGNATION BETWEEN #3 AND #4), 6 OZ. NON-WOVEN GEOTEXTILE ALL AROUND CLEAN, CRUSHED STONE.

1. CHAMBERS SHALL BE STORMTECH MC-4500 OR APPROVED EQUAL.
2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
3. THE STRUCTURAL DESIGN SHALL SHOW THE STRUCTURAL BACKFILL, THE INSULATION REQUIREMENTS, AND THE LOADS THAT THE LOAD FACTORS SPECIFIED IN THE ASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE ASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
4. CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2922 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
5. CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2767, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
6. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE USED. THE MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - a. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LIVE FACTOR DESIGN LOADS OF 1.5 OR EQUAL TO 1.55 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2767 AND BY ASHTO FOR THERMOPLASTIC PIPE.
 - b. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE ASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR THE 5 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE ASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - c. A STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
7. CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

1. STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500 AND MC-4500 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - * STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - * BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - * BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 9" (229 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE WITH AN AASHTO M43 DESIGNATION BETWEEN #3 AND #4.
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF CATCH BASIN FILTER INSERT DURING CONSTRUCTION TO PROTECT ALL INLETS TO THE SURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

1. STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500 AND MC-4500 CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - * NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - * NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500 AND MC-4500 CONSTRUCTION GUIDE".
 - * WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT ARE 50,000 LBS IN THE "STORMTECH MC-3500 AND MC-4500 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

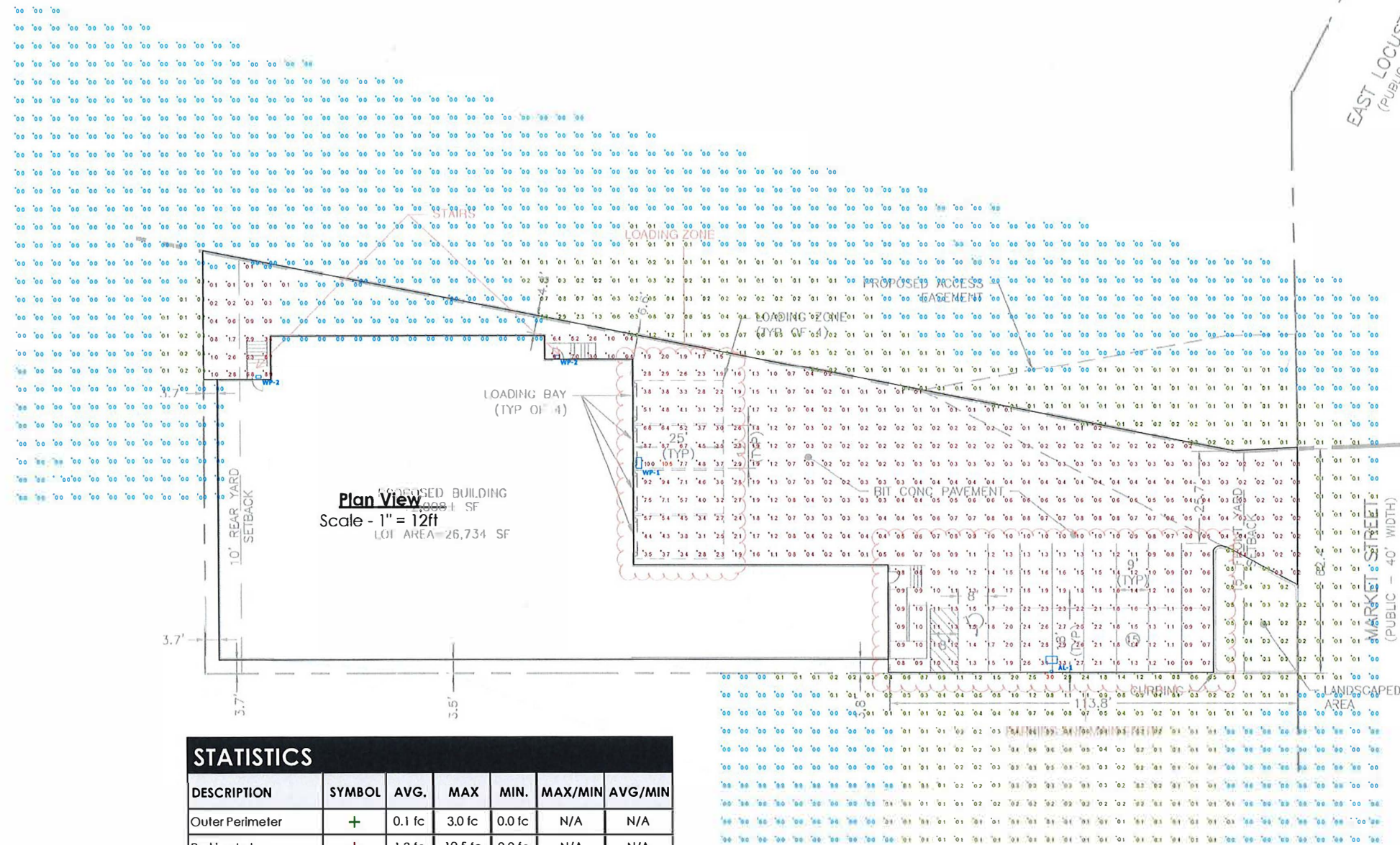
CONTACT STORMTECH AT 1-888-692-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

C503



45 Market St.
Chelsea
02-11-2020

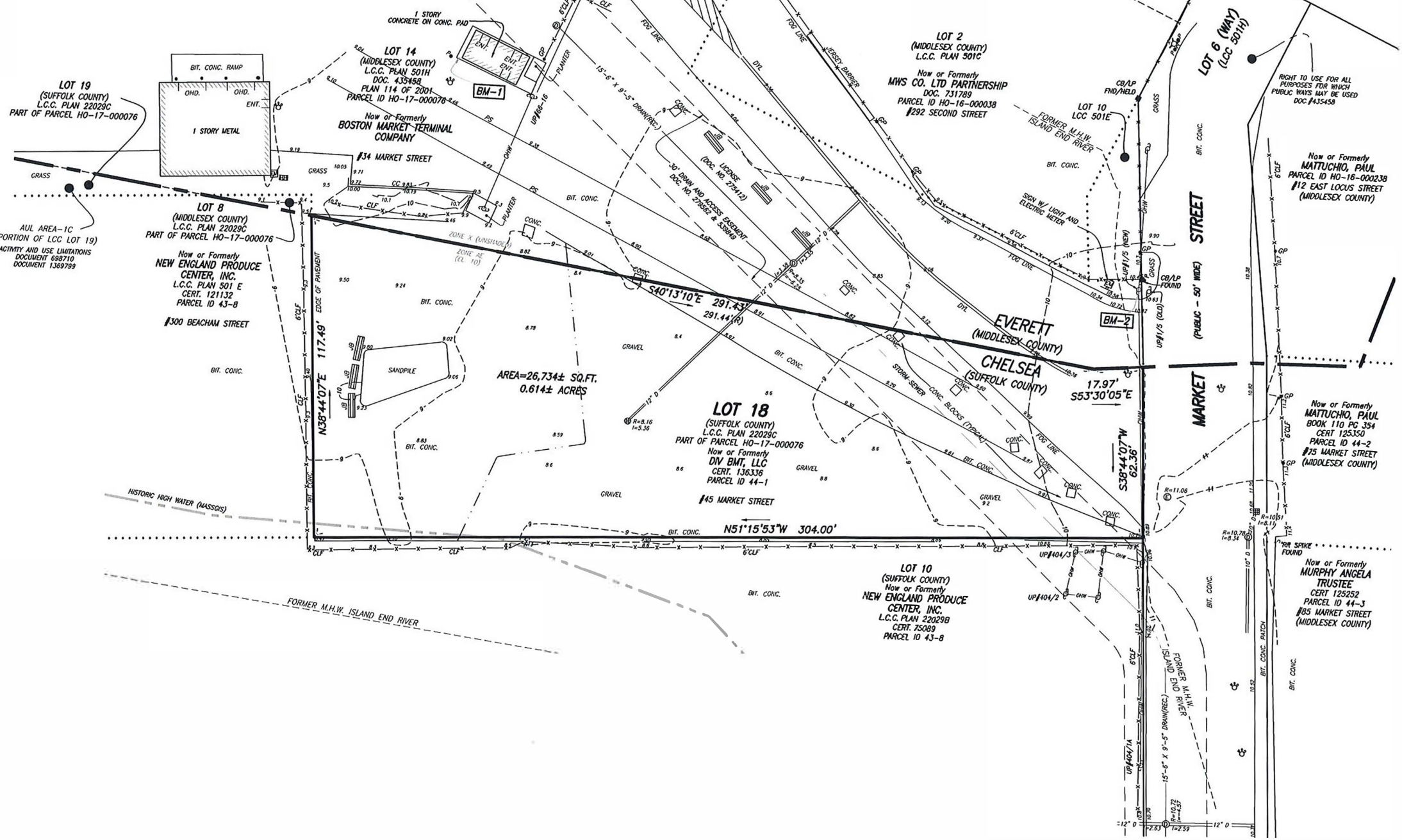
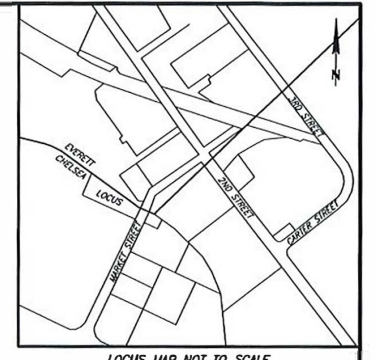
Designer:
Tanner J. Lindstrom
Date:
02/11/2020
Scale:
Not to Scale
Drawing No.
Summary



- NOTES:
- REFLECTANCES ASSUMED:
SURFACE: 50
 - MOUNTING HEIGHTS:
TYPE AL-1 @ 20'-0" AFG
TYPE WP-1 @ 15'-0" AFG
TYPE WP-2 @ 12'-0" AFG
 - TASK HEIGHT: AT GRADE
 - CALCULATION POINT SPACING: 5'x5' OC

DISCLAIMER:

- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.



- NOTES:**
- 1) BENCHMARK INFORMATION:
BENCHMARK USED:
BM-1: SQUARE CUT ON CONCRETE SLAB @ NORTHWEST CORNER OF CONCRETE FOOTING. ELEVATION = 10.01'
BM-2: SPIKE IN SOUTHWEST SIDE OF UTILITY POLE #1/5. ELEVATION = 11.80'
 - 2) ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON GPS OBSERVATIONS TAKEN ON DECEMBER 19, 2019.
 - 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
 - 4) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD ZONE "AE", AN AREA WITHIN THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 250250018A, CITY OF BOSTON COMMUNITY NUMBER 250200, PANEL NUMBER 0018, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
 - 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE FOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON S&D RECORD PLANS. SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED, BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

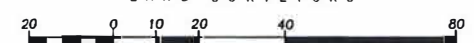
LEGEND

- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF/WATER GATE
- ⊙ CATCH BASIN
- ⊙ ROUND CATCH BASIN
- ⊙ D-FRAME CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ ELECTRIC HANDHOLE
- ⊙ CONCRETE BOUND
- ⊙ STONE BOUND
- ⊙ BOUND FOUND
- ⊙ BOUND FOUND WITH DRILL HOLE
- ⊙ GATEPOST
- ⊙ POST
- ⊙ SIGN
- ⊙ UTILITY POLE W/ LIGHT
- ⊙ CONCRETE CURB
- ⊙ CHAIN LINK FENCE
- ⊙ DOUBLE YELLOW LINE
- ENT ENTRANCE
- OHV OVERHEAD WIRE
- OHD OVERHEAD DOOR
- PS PAINT STRIPE
- ⊙ JERSEY BARRIER
- ⊙ ELECTRIC METER

**EXISTING CONDITIONS SURVEY
45 MARKET STREET
CHELSEA, MASS.**

FELDMAN LAND SURVEYORS JANUARY 03, 2020
152 HAMPDEN STREET PHONE: (617)357-9740
BOSTON, MASS. 02119 www.feldmansurveyors.com

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RESEARCH	FIELD CHIEF VR	PROJ MGR DJR	APPROVED	SHEET NO. 1 OF 1
CAD	CADD UN/AF	FIELD CHECKED	CDD FILE 17230	JOB NO. 17230

FILENAME: S:\PROJECTS\17200\17230\DWG\17230-EC.dwg



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.

D. Raffle
DAMIEN J. RAFFLE, PLS (MA 49629)
DJR@FELDMANSURVEYORS.COM

01/14/2020
DATE