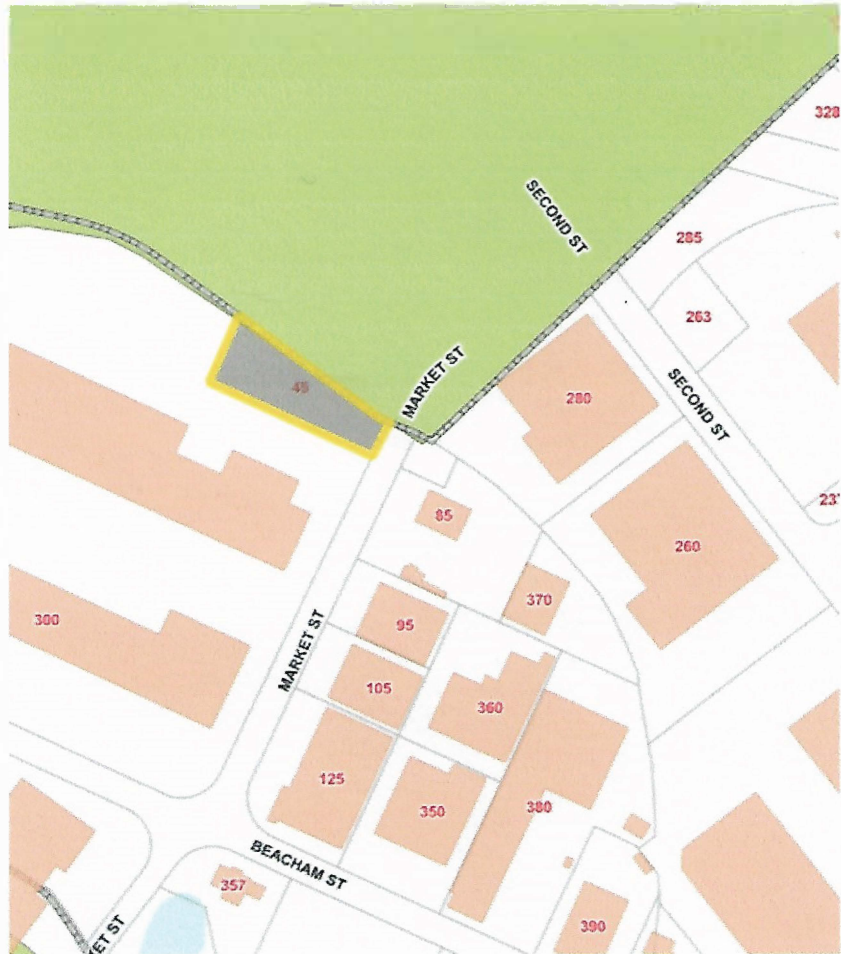


**CASE: 2020-02 45 Market Street – Russell Forsberg**

Department of Planning &amp; Development - 3/3/2020

**REQUEST:** Construction of a wholesale food warehouse.**ZONING DISTRICT/LAND USES:** Industrial (i) District: primarily food wholesale distribution.**PERMITS/RELIEF:**

ITEM	REQUIRED/PERMITTED	PROPOSED	RELIEF TYPE
<b>Minimum Lot Area</b>	1 acre (43,560 sq ft) Section 34-262	Approx. 26,745 sq ft (Petition)	Variance
<b>Minimum Frontage</b>	150 feet Section 34-262	62.4 ft	Variance
<b>Minimum Rear Yard Setback</b>	10 feet 34-262o	3.7'	Variance
<b>Parking Spaces: Number</b>	16 Section 34-106 & 34-283	15	Special Permit
<b>Parking Spaces: Location Side Yard</b>	Not within 5 feet of side lot line Section 34-106(c)(1)	On southerly lot line	Special Permit
<b>Parking Spaces: Tandem Spaces</b>	Each Space accessible by means of intervening private drive Section 34-106(d)(1)	Tandem Spaces	Special Permit
<b>Loading Spaces: Maneuvering Area</b>	Sufficient reserved space so that vehicles can be maneuvered into position without interference with required off-street parking Section 34-107(d)(3)	Maneuvering space includes access easements	Special Permit
<b>Maximum Height</b>	40 feet by right, 80 feet by Special Permit Section 34-262 & 34-80(1)	43'	Special Permit



## **PLANNING & DEVELOPMENT COMMENTS/QUESTIONS:**

Note 6 on Site Preparation Plan C100, should be revised to read as follows:

Area for stockpile items shall be located and reviewed by the General Contractor, engineer, architect, and Conservation Agent prior to removal operations.

The Site Layout Plan (Sheet C200) shows a small (approximately 250 square feet) snow storage area. This does not appear to be sufficient for a site that will be mostly impervious. What is the plan for snow storage when the storage capacity of the designated area is exceeded?

A small (approximately 410 square feet) landscaped area is shown at the frontage on Market Street, but no landscaping plan is provided. A request has been made for relief from the Landscaping requirements in Section 34-108 of the Zoning Ordinance. While it is agreed that there are no residential uses or residential districts near the site, thus negating the need for the buffer between nonresidential and residential uses, there should be some provision for landscaping in conformance with items 4 (visual relief and source of shade in parking areas and other areas, and protection from wind in open areas), and 5 (preserve or improve the visual and environmental character of the city as viewed from residential or publicly accessible locations. A landscaping plan listing number, type, and size of the plantings must be provided for Department review and Board approval.

A request has been made to waive the requirement for a Development Impact Statement. It can possibly be agreed that some aspects of the DIS are not relevant to the proposed warehouse and distribution use (i.e., impacts on schools); however, it is extremely important that the Petitioner address the traffic and access issue. The site is or was a part of the Boston Market Terminal (BMT) site in Everett. While the site identified in the Petition will house a 12,008 square foot warehouse distribution company, it is encumbered by several easements providing access and egress from the remainder of the BMT site. The Davis Companies, owner of the BMT site, have proposed a major redevelopment of that site for fulfillment, which is expected to involve numerous vehicle trips by large trucks, vans, and personal vehicles. The Petitioner should provide a traffic and access study that shows that the proposal will not be negatively impacted by the proposed traffic and access arrangements on the site.

No sanitary sewer is shown on the utility plan.

What is the trash storage and disposal plan?

## **FIRE DEPARTMENT COMMENTS:**

The Department has submitted the following comments:

1. The building shall be fully sprinklered with fire department connection.
2. Fire alarm system installed with notification to the fire department in the event of an emergency.
3. A Knox key box is required to be installed at the front and rear of the building.

4. In accordance with the Mass State Building Code an evaluation is to be performed to determine Emergency responder radio coverage.

5. A stamped engineered set of fire and sprinkler plans are to be submitted to this office for review and permit issued by for both by the fire department.

**DEPARTMENT OF PUBLIC WORKS COMMENTS:**

The Department of Public Works comments are attached.

**MEETING SCHEDULE:**

Zoning Board of Appeals	March 10, 2020
Planning Board	March 24, 2020



*City of Chelsea*  
*Department of Public Works*  
*City Hall, 500 Broadway*  
*Chelsea, Massachusetts 02150*

*Bertram Taverna, Director*  
*Phone: (617) 466-4200*  
*Fax: (617) 466-4210*

March 3, 2020

Mr. John DePriest, AICP, Director  
Department of Planning & Development  
City Hall, 500 Broadway  
Chelsea, MA 02150

Re: DPW Review Comments  
Special Permit Application  
45 Market Street

On behalf of the Department of Public Works (DPW), we are writing to provide **preliminary** comments on the referenced project/application. Please note that these comments do not constitute approvals for utility or Building Permit requirements, which must be met **prior to the start of construction**. For utility connections, the Applicant must secure connection and backflow prevention approvals from Chelsea Water & Sewer (CW&S). If a Special Permit is granted, DPW will review the full project design in support of the Building Permit application. If a Building Permit is issued, the Applicant must secure a DPW Street Opening Permit. If the work zone cannot be contained within the private property, the Applicant must also secure a DPW Street Occupancy Permit.

Based upon a review of the drawings and information submitted with the Special Permit application, DPW offers the following **preliminary** comments, but reserves the right to comment further during the hearing process:

*General*

DPW considers the drawings and information submitted with the Special Permit application to be at a "planning/permitting" level, which depicts project concept, scope, scale, and limited detail. The development of comprehensive design plans, detail drawings, and specifications suitable for construction will be required to apply for a Building Permit. At that stage, DPW will be able to properly review the project for the many areas of concern within DPW purview.

- e Sheet C200 calls out a "Landscaped Area" at the property line. No details are provided on the proposed Landscaped Area, however it should be known that the City requires a minimum 5' wide continuous sidewalk.e
- e Please see the attached Chelsea Water & Sewer memo for comments related to water, sewer, and storm drain utilities.e
- e Please see the attached City Standards that must be met prior to applying for a Building Permit.

If you have any questions regarding this matter, please contact DPW at your earliest convenience.

Respectfully submitted,

Rebecca Wright, Assistant City Engineer  
Department of Public Works

## MEMORANDUM

To: Rebecca Wright, Assistant City Engineer  
From: Patty Chesebrough, Manager, CW&S  
Copy: Lou Mammolette, City Engineer  
Mike McAteer, Director, ISD  
Date: February 28, 2020  
Subject: Review of Water, Sewer & Drain for Proposed Renovation  
**45 Market Street – Office & Warehouse**

I have reviewed the attached drawings and have the following comments with respect to water, sewer, and drain infrastructure:

### Water:

- 1.e No fire flow test report is on file for this redevelopment. One must be submitted.e
- 2.e The Existing Conditions Survey should be revised to show the 16-inch water main in Market Street.e
- 3.e C400 and C502 have conflicting information regarding the proposed water services. The drawings must be revised to indicate the new domestic and fire services shall be installed via tapping sleeve and valve. Additionally, the drawings must indicate the following:e
  - a.e An additional valve must be installed at the property line on all new water services.e
  - b.e The allowable separation between water service taps, as well as between taps and any bellse or couplings found on the existing water main, shall be a minimum of three feet.e
  - c.e The Typical Gate Valve Installation detail is not correct for new construction and must be revised to remove the two couplings.e
- 4.e The applicant shall notify Chelsea Water & Sewer (CW&S) a minimum of 72 hours in advance of the proposed water taps. After installation of the water services and before backfilling, the applicant shall call CW&S for inspection.e
- 5.e The applicant needs to submit a backflow Device Design Data Sheets for the proposed new water services. Domestic services shall be equipped with Reduced Pressure Backflow Preventers and fire services shall be equipped with Double Check Detector Check Valve Assemblies.e

### Sewer:

- 1.e There is no indication in any of the drawings what is proposed for sanitary sewer. This needs to be added to C400.e

### Drain:

- 1.e C300 appears to indicate that the applicant is proposing to run the leader pipe for catch basin CB-1 under the building. This catch basin leader must be rerouted to be outside the foundation.e

- 2.s C300 and C501 indicates that the discharge from the stormwater detention system will connect to an existing drain line owned by the City of Everett. As such, this connection and associated upstream stormwater systems must meet City of Everett standards. The applicant shall demonstrate to Chelsea that appropriate Everett approval and/or permits have been secured.s
- 3.s As per prior discussions with DPW, CW&S has not reviewed the calculations for the proposed stormwater detention system; however, this system must meet MassDEP stormwater standards.s
- 4.s The applicant should be required to submit an Operation & Maintenance plan, schedule, and agreement for maintaining the stormwater retention system.s

Please let me know if you have questions. Thank you. Patty



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*Department of Public Works*  
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*Chelsea, Massachusetts 02150*

*Bertram Taverna, Director*  
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Below is a list of standard guidelines to be met upon securing a Building Permit:

*Domestic Water Service*

- o The applicant needs to submit a backflow prevention Device Design Data Sheet for the proposed new 6" fire service and the 4" domestic service.o
- o The applicant needs to coordinate with the city for the purchase and install of a new water meter.o

*Fire Protection Water Service*

- o The fire service requires a Double Check Detector Check.o
- o During the Building Permit review phase, DPW will require the Applicant to demonstrate a high level of care in the development of the fire suppression/sprinkler system design. At a minimum, the Applicant will be expected to perform the following:o
  - oo Schedule fire flow testing with CW&S using an independent, third-party company knowledgeable in fire flow testing and sprinkler system design. Flow test shall be performed at locations approved by DPW. Furnish a copy of the test report indicating pertinent data and test results, testing locations, dates, times, names of individuals performing the tests, and names of CW&S personnel that witnessed the tests.o
  - oo Submit a brief written report documenting the sizing of fire service lines to support the proposed project. Reference to the National Fire Protection Association (NFPA) Code is required.o
  - oo Submit a fire suppression/sprinkler system design prepared and stamped by a Massachusetts-licensed Fire Protection Engineer. Design shall include provisions for proper backflow prevention.o
  - oo Submit a Device Design Data Sheet for proposed backflow prevention devices to CW&S for review and approval.o
- o The Applicant must schedule pipe installation and connections to City water mains with CW&S.o

*Sanitary Sewer Service*

- o DPW review does **not** cover yard or interior pipe sizing/design, which is the responsibility of the Applicant and their Engineer/Architect in conformance with all applicable governing codes.o
- o The Applicant must schedule pipe installation and connections to City sewers with CW&S.o
- o The sewer service must be of PVC piping material.o

*Curbing/Curb Cuts & Sidewalks*

- o Concrete driveway apron at all entrances to tie into the new adjacent concrete sidewalk.o
- o New vertical granite curbing shall be installed with typical reveal of 6-inches +/-, except at ramps and transitions where tapering occurs.o



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- t New 4,000 psi concrete sidewalks and driveway transitions shall be installed with wire mesh/steel reinforcement. Sidewalks shall be 4-inch thick and driveways shall be 6-inch thick. Finish shall match City standard.t
- t Compliance with ADA requirements during design and construction of new sidewalks is the responsibility of the Applicant and their Engineer/Architect in conformance with all applicable governing codes.t

*Driveway/Pavement Transitions to City Streets*

- t The Applicant is required to fully restore in kind any pavement damaged during the construction of the proposed project. New pavement in driveways/parking lot areas shall match existing pavement thicknesses, but must meet the following minimum thicknesses: 12-inch gravel base course, 2-inch bituminous concrete binder course, and 2-inch bituminous concrete surface course.t

*Traffic Management*

- t The Applicant will be required to submit a traffic management plan (TMP) for DPW review and approval prior to the start of construction. The TMP must address both vehicular and pedestrian impacts to the Spencer Avenue and Eastern Avenue corridor and intersection associated with project construction.t
- t DPW reserves the right to require that the Applicant provide and maintain any and all signage, traffic management, and safety systems deemed, in the sole opinion of the City, to be necessary for public safety and the maintenance of a reasonable level of service with respect to traffic during construction.t