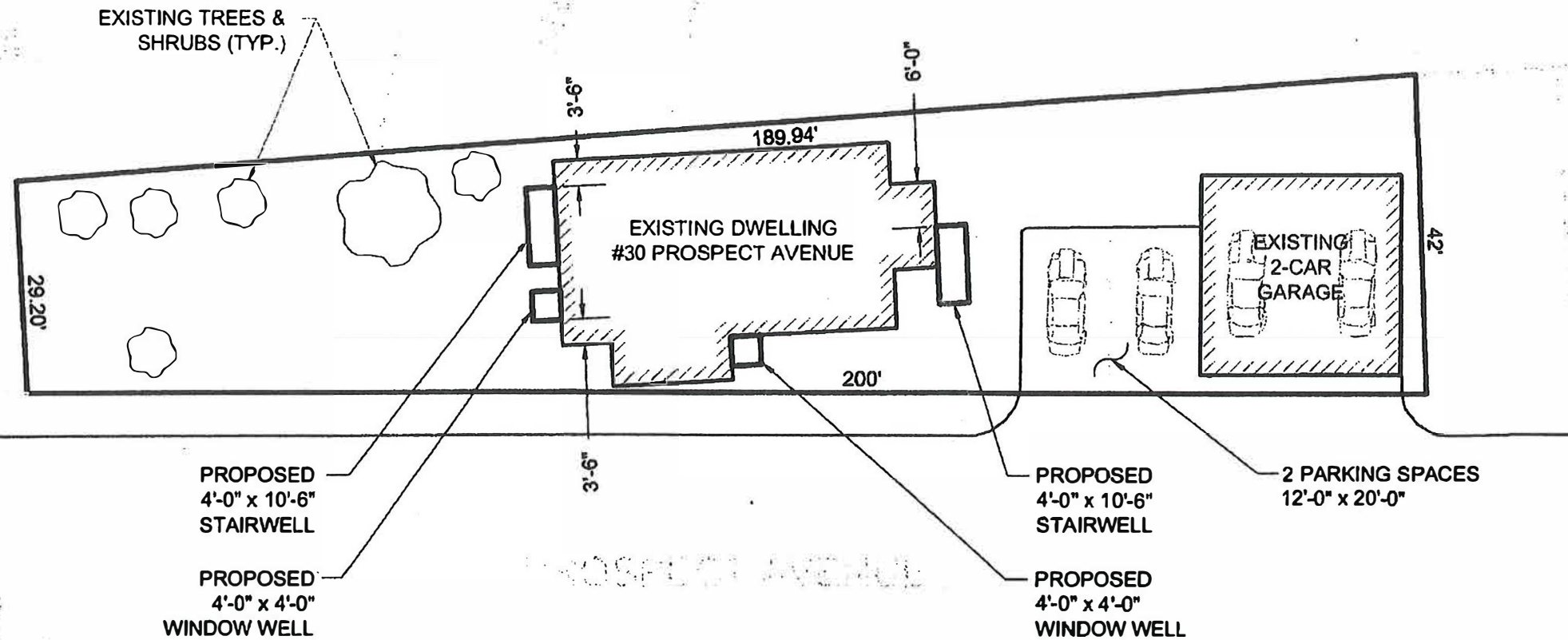
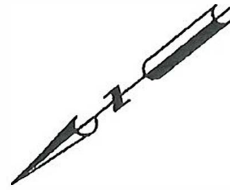




MARTINEZ RESIDENCE
30 PROSPECT AVENUE



Area Calculations:

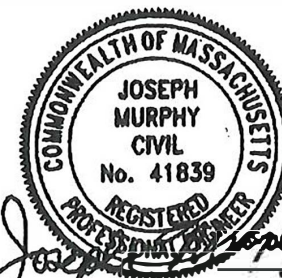
Parcel Area = 6,900± sq. ft. (Assessor's)
6,823± sq. ft. (calculated)

Useable Open Space = 4,063± sq. ft. (calculated)



Prepared for:
Jesus Martinez
30 Prospect Avenue
Chelsea, MA 02150

Parcel Data:
Location: 30 Prospect Avenue, Chelsea, MA 02150
Owner: Jesus Martinez
Parcel ID: 6098
Map / Lot: 92 / 87



JOE MURPHY, P.E.
159 PINE STREET
QUINCY, MA 02170

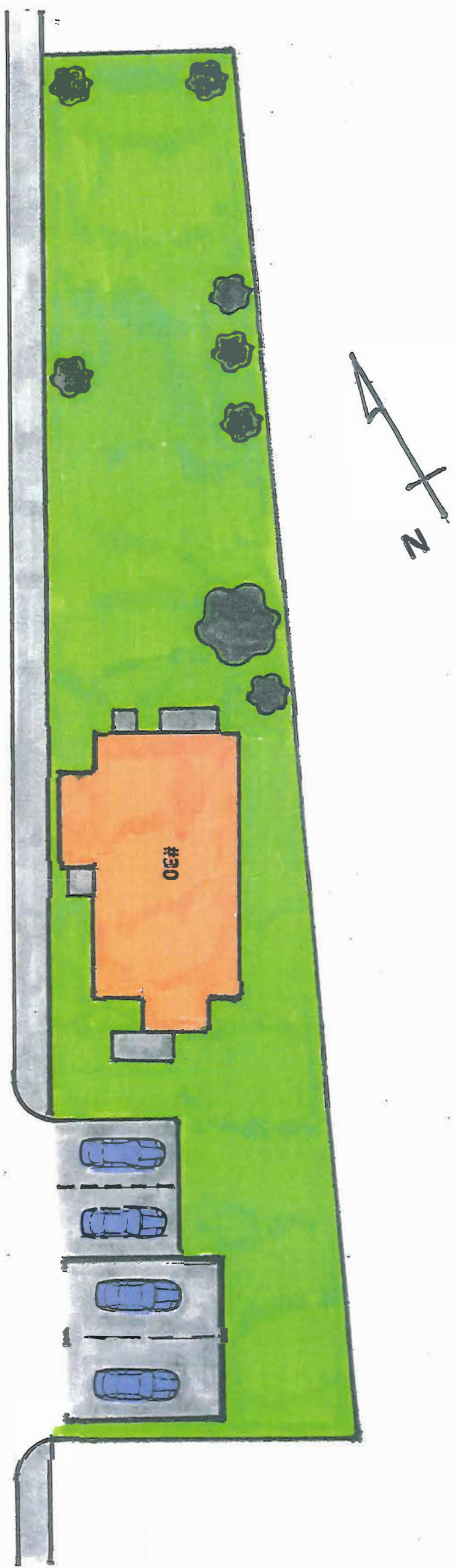
PROPOSED TWO-FAMILY CONVERSION
30 PROSPECT AVENUE
CHELSEA
MASSACHUSETTS

SCALE: 1"=20'

December 13, 2019

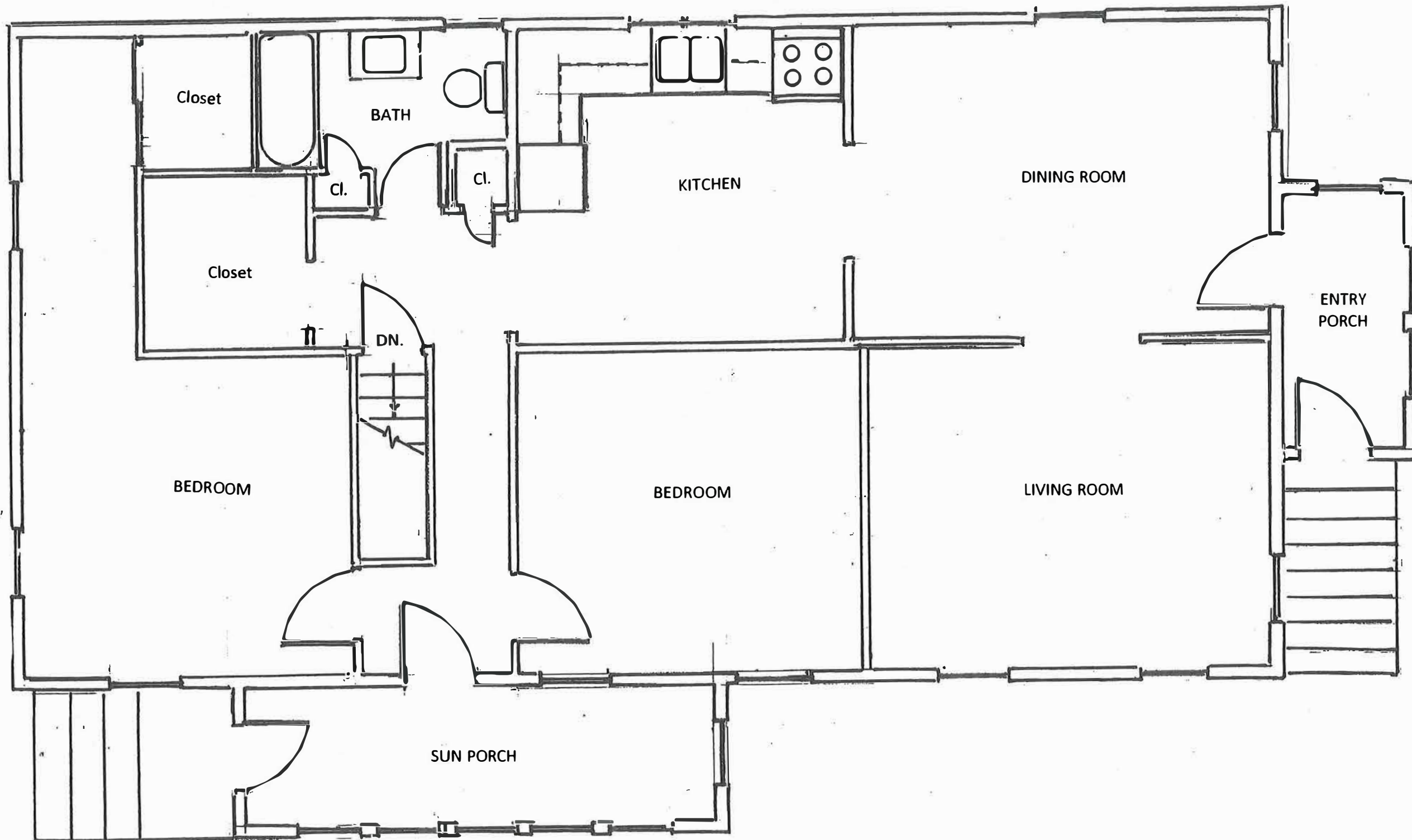
Site Plan
Scale: 1" = 20'-0"

PROSPECT AVENUE



Martinez Residence
30 Prospect Avenue

Proposed Two Family
Conversion



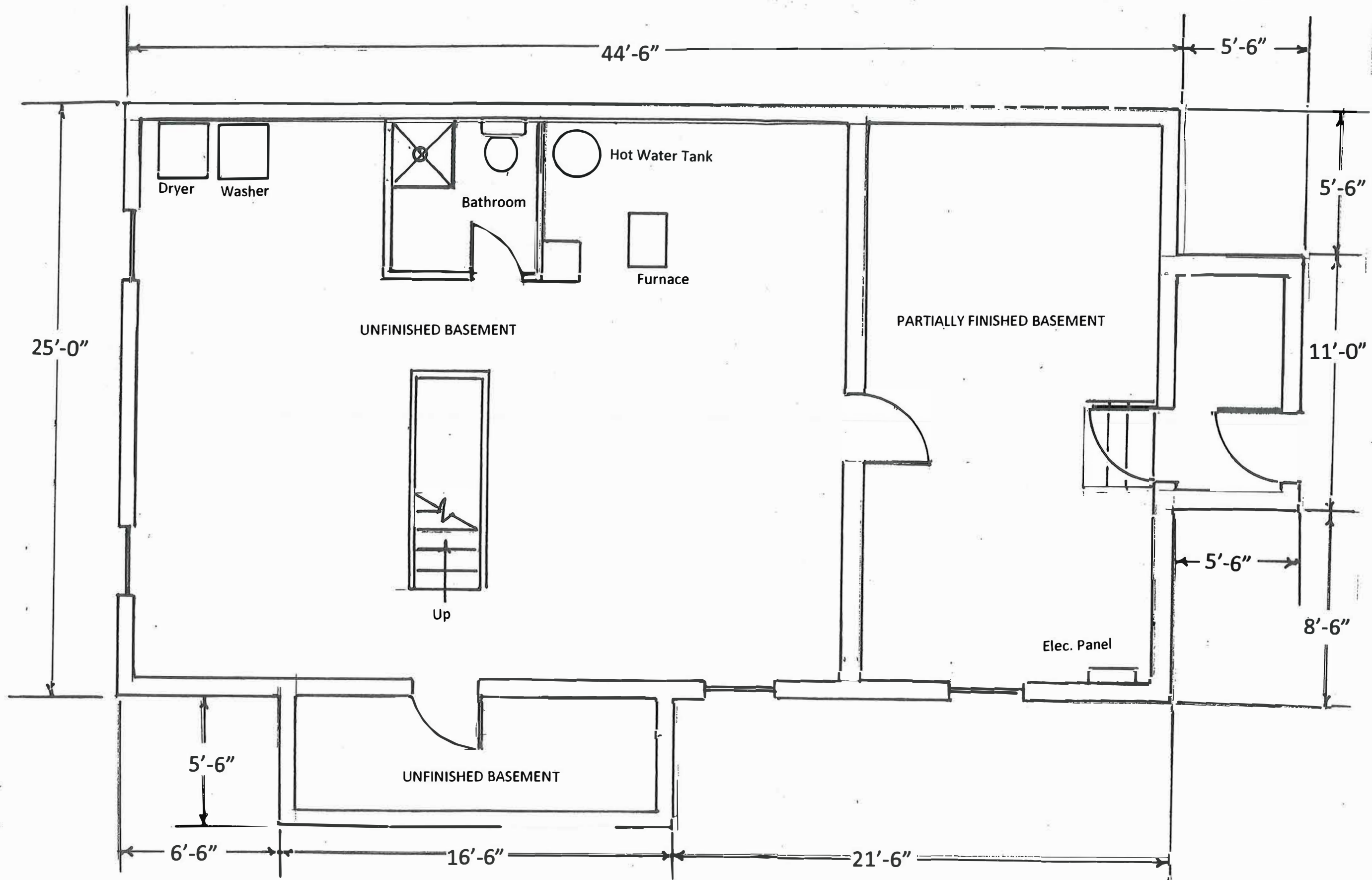
Existing First Floor Plan

Scale: $\frac{1}{4}" = 1'-0"$

Proposed Two Family
Conversion

Martinez Residence
30 Prospect Avenue

2



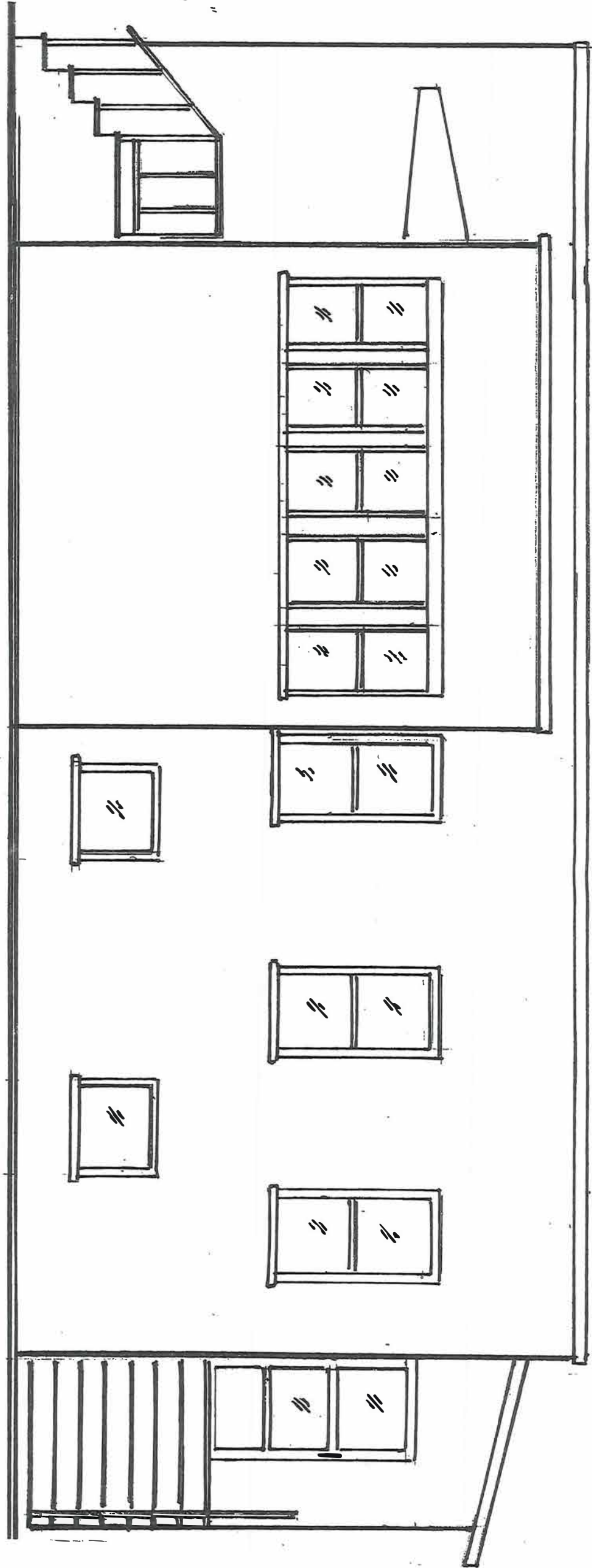
Existing Basement Floor Plan

Scale: 1/4" = 1'-0"

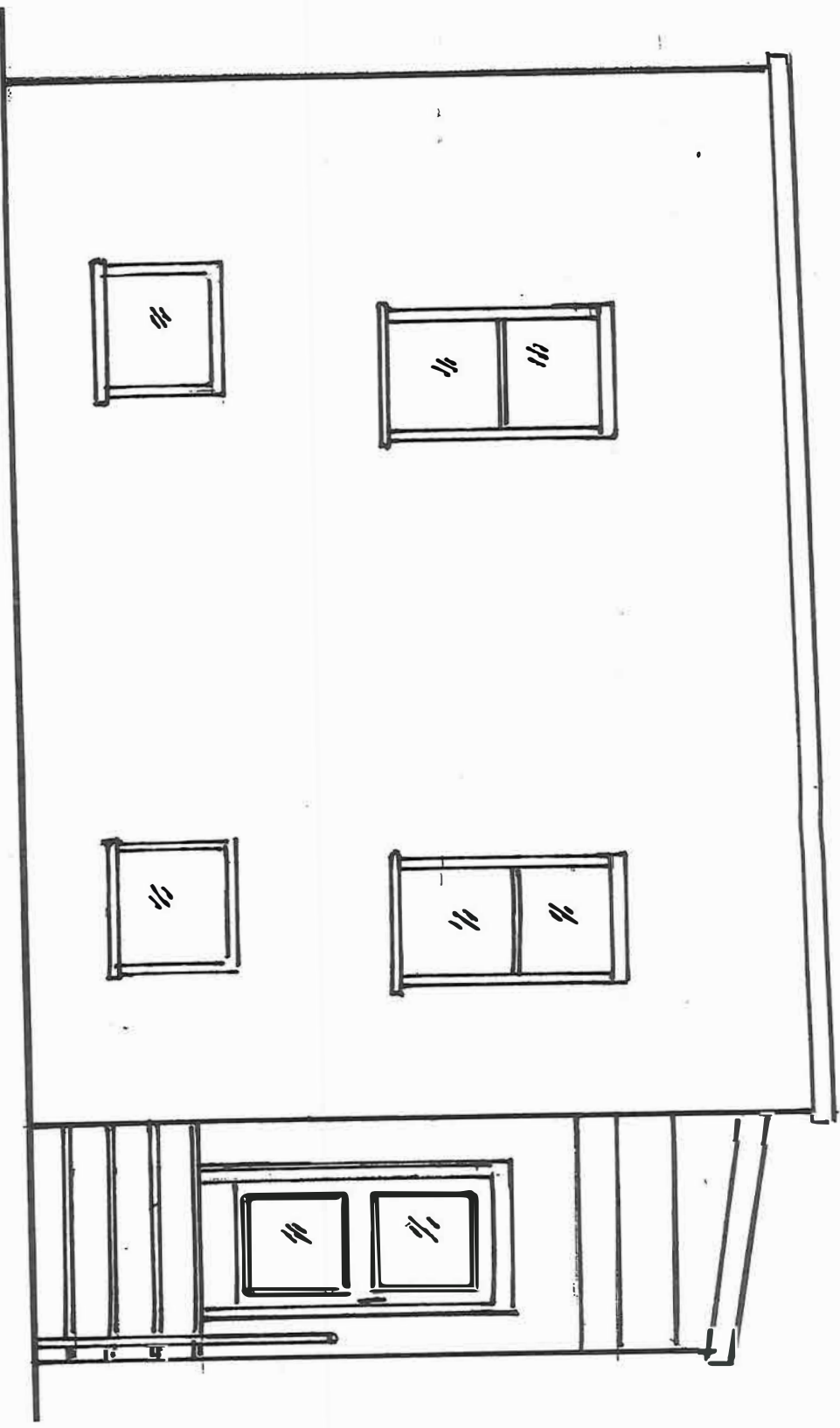
Proposed Two Family
Conversion

Martinez Residence
30 Prospect Avenue

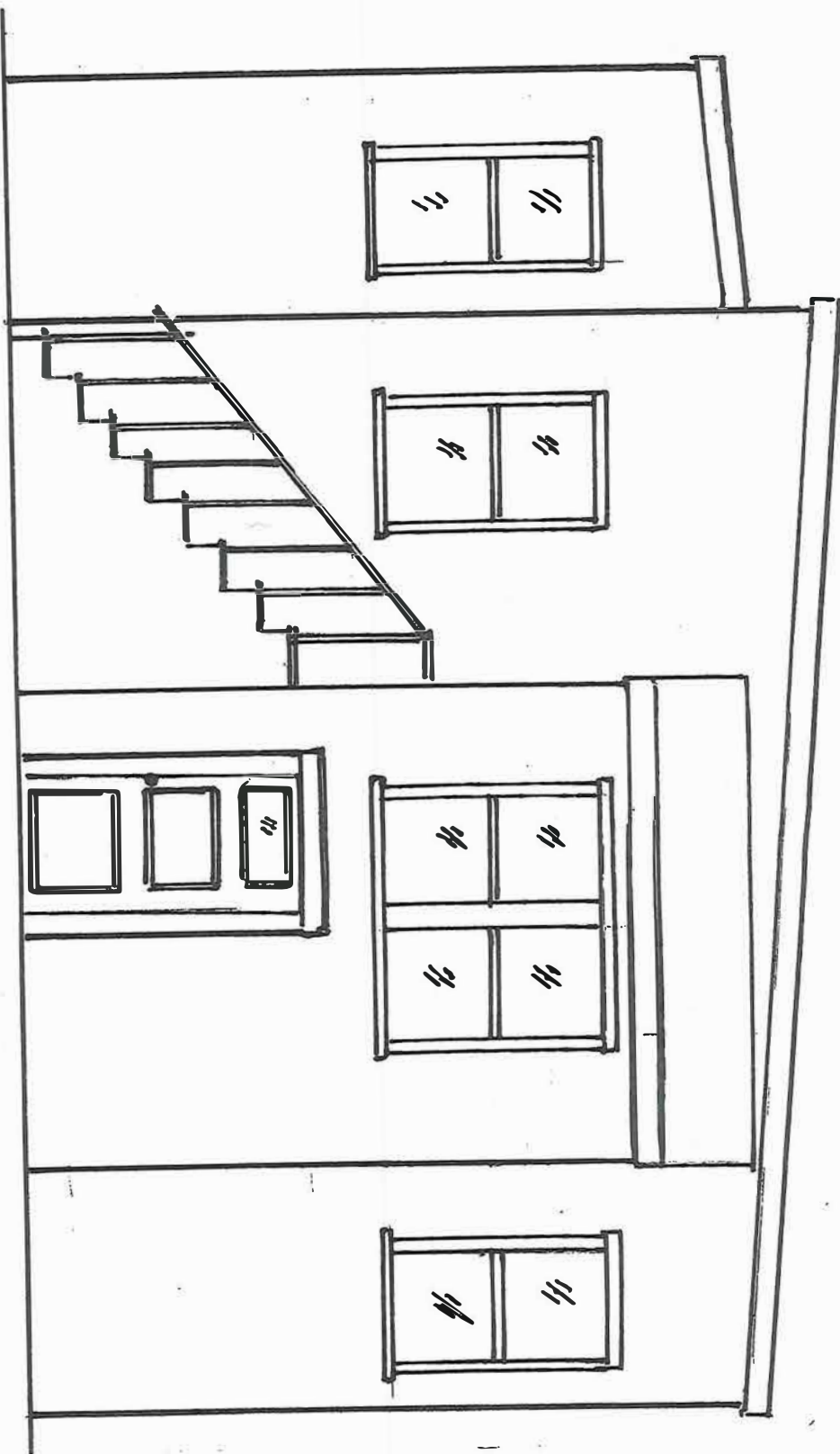
Existing Front Elevation
Scale: 1/4" = 1'-0"

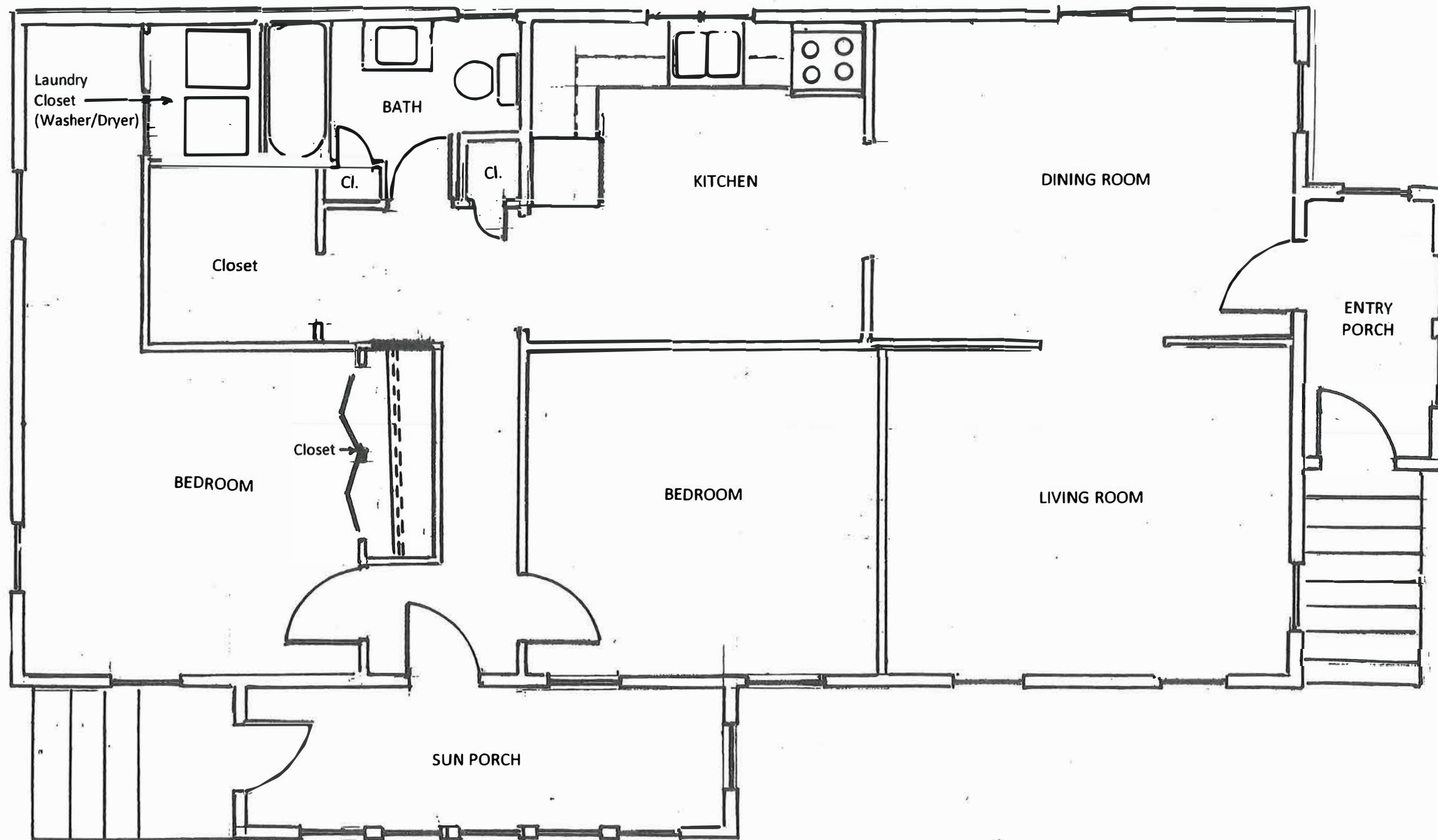


Existing Left Side Elevation
Scale: 3/8" = 1'-0"



Existing Right Side Elevation
Scale: 1/4" = 1'-0"



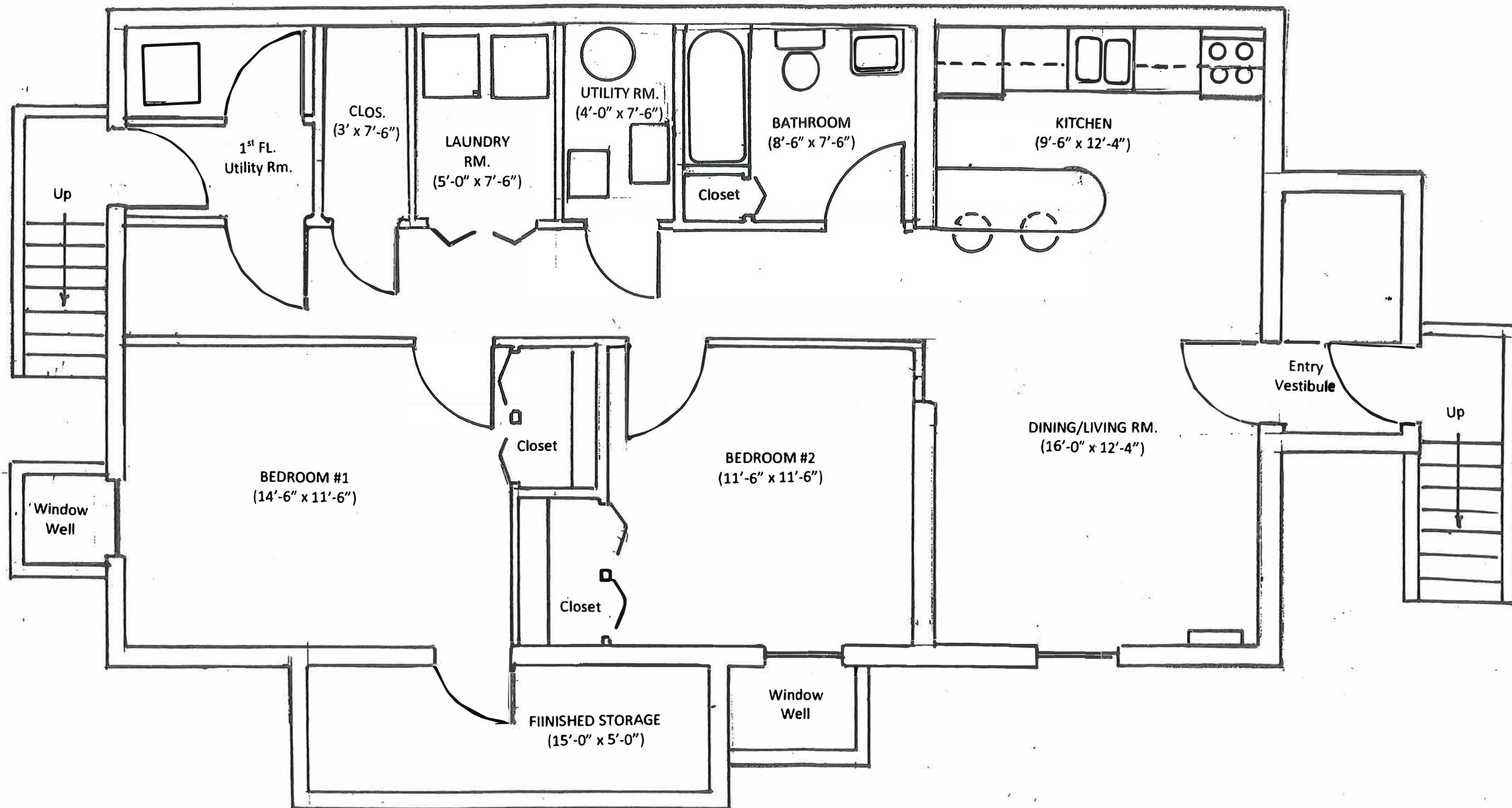


Proposed First Floor Plan

Scale: ¼" = 1'-0"

Proposed Two Family
Conversion

Martinez Residence
30 Prospect Avenue



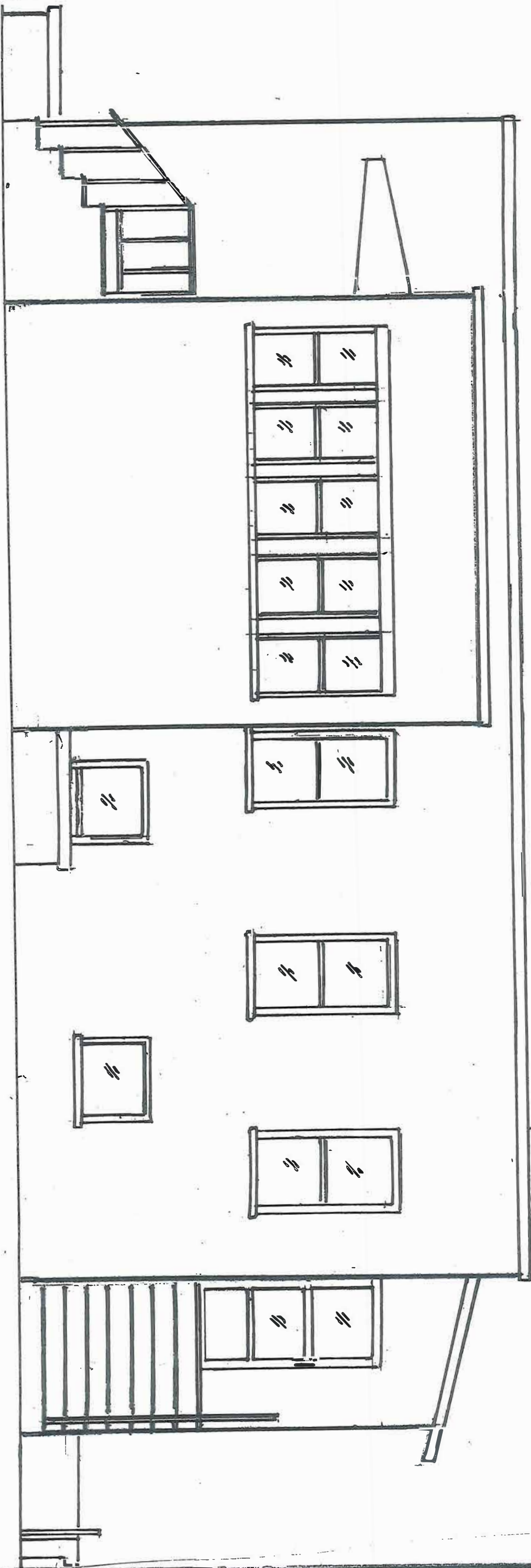
Proposed Basement Floor Plan

Scale: 1/4" = 1'-0"

**Proposed Two Family
Conversion**

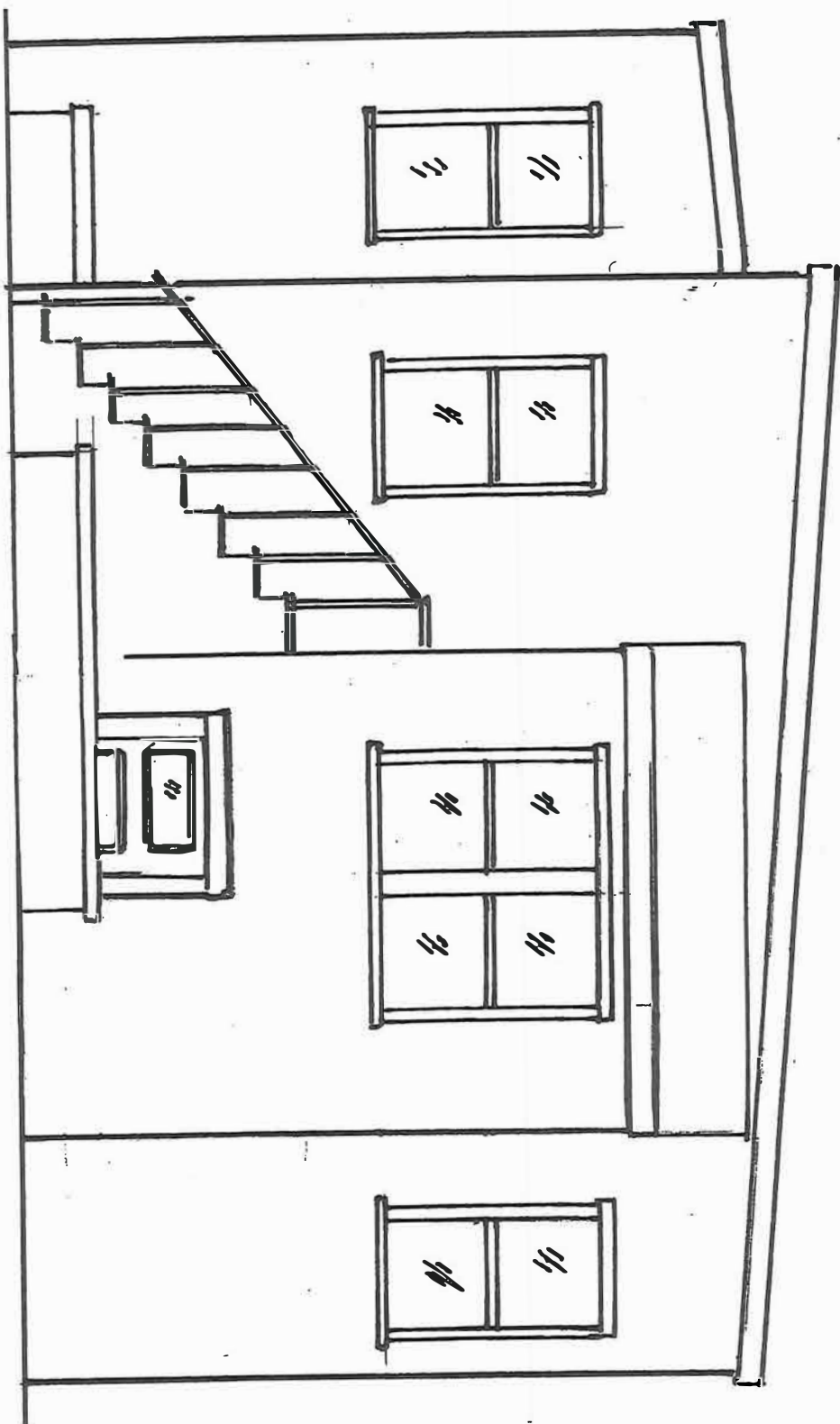
**Martinez Residence
30 Prospect Avenue**

Proposed Front Elevation
Scale: 1/8" = 1'-0"

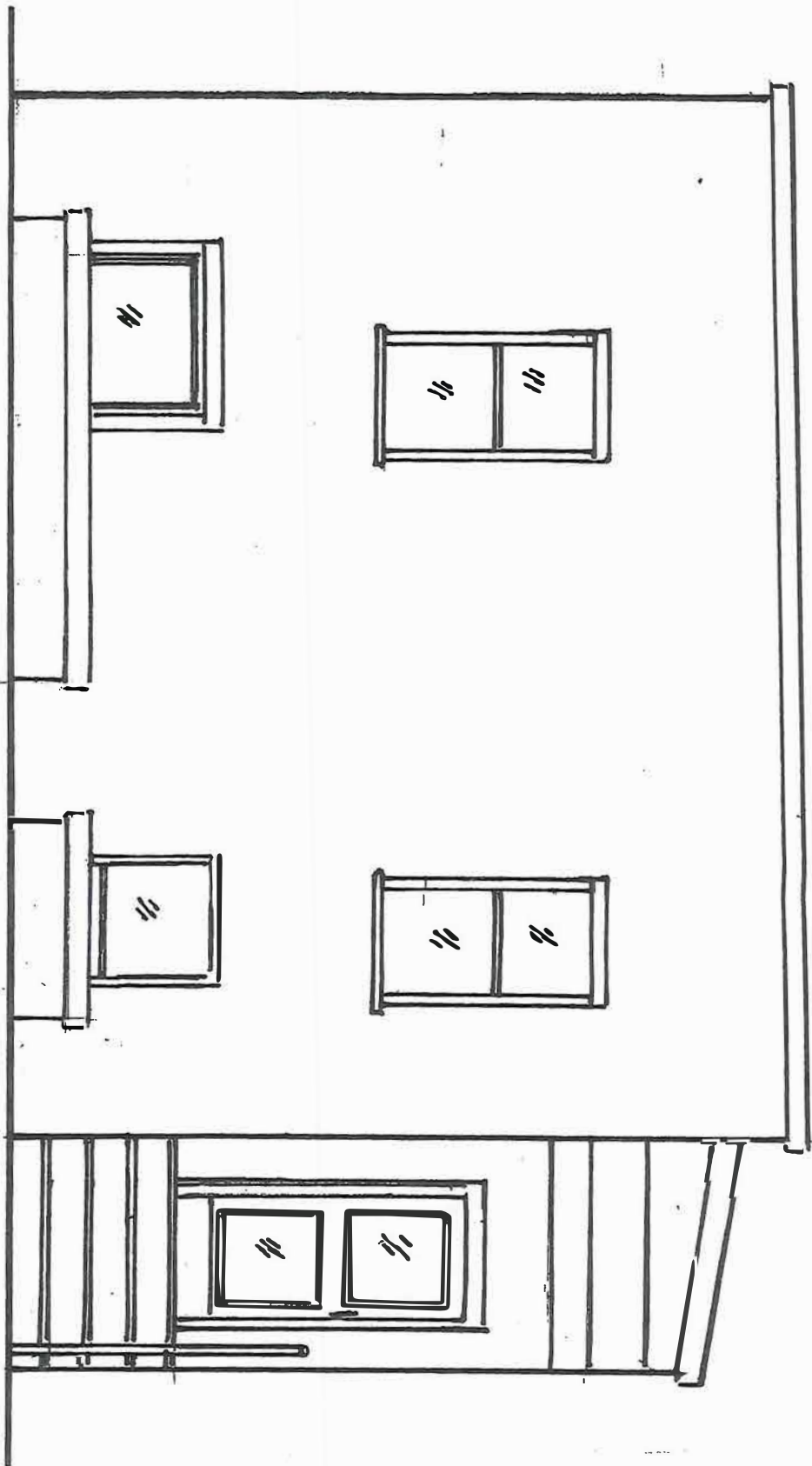


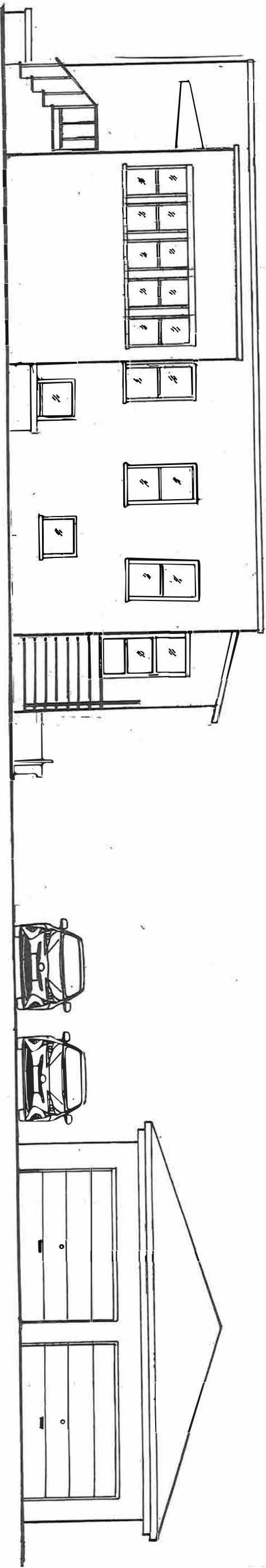
Proposed Right Side Elevation

Scale: 1/4" = 1'-0"



Proposed Left Side Elevation
Scale: 1/8" = 1'-0"





Prospect Avenue Street Scape Elevation

No Scale



EXISTING FRONT – 30 PROSPECT AVE.



EXISTING RIGHT SIDE – 30 PROSPECT AVE.



EXISTING LEFT SIDE – 30 PROSPECT AVE.

Proposed Two Family
Conversion

Martinez Residence
30 Prospect Avenue