

**VILLAGE OF BURR RIDGE – AGENDA
MAYOR & BOARD OF TRUSTEES
VILLAGE HALL – BOARD ROOM**

Monday, May 22, 2023 - 6:30 P.M.

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA**

All items listed with an asterisk are considered routine by the Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen requests, in which event the item will be removed from the Consent Agenda, discussed, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. * Approval of Regular Board Meeting of May 8, 2023
- B. * Receive and File Plan Commission Meeting of May 15, 2023

6. ORDINANCES

7. RESOLUTIONS

- A. * Approval of a Resolution Authorizing an Extension of a Water Tower Lease Agreement (T-Mobile)

8. CONSIDERATIONS

- A. Consideration of a Plan Commission Recommendation to Approve and Deny Revised Special Uses (Z-02-2023: 60 Shore Drive – Naddaf / Coda Motors)
- B. Consideration of a Plan Commission Recommendation to Deny a Minor PUD Amendment (PC-04-2023: 720-730 Village Center Drive – Pella)
- C. * Approval to Direct the Plan Commission to Hold a Public Hearing to Amend the Zoning Ordinance to Reduce the Number of Unrelated Persons Permitted to Occupy a Residential Structure
- D. *Approval of Vendor List Dated May 22, 2023 for Fiscal Year 2023 in the Amount of \$453,635.29 for all Funds
- E. * Approval of Vendor List Dated May 22, 2023 for Fiscal Year 2024 in the Amount of \$169,603.58 for all Funds, plus \$216,907.22 for Payroll Period Ending May 13, 2023, for a Grand Total of \$386,510.80

9. PUBLIC COMMENTS

Public comments may be made during the meeting when discussing specific items on the agenda or addressing any topics not on the agenda during this time. Public comments are accepted in any form prior to or during the meeting.

10. REPORTS AND COMMUNICATIONS

11. ADJOURNMENT (JUNE 12, 2023 – 6:30PM)

May 22, 2023 Board Meeting Summary

7A – Water Tower Lease Extension

The Village currently holds six total antenna leases at its two water tower sites. These leases are valuable in that they provide highly stable sources of revenue for little public service provision. One of the six leases is set to expire in 2026. In 2022, this lease provided the Village with \$48,397 in revenue. Staff has negotiated a 20-year extension with T-Mobile to continue this partnership through 2045; the Village will realize over \$1.5 million in revenue over the extension. Shorter extensions and lease buyout options were explored, but neither option provided similar financial value or flexibility compared to the proposed extension.

Recommendation: The resolution be adopted.

8A – Special Use Petition (Coda Motors)

On May 1, 2023, the Plan Commission held a public hearing for two special use requests located at 60 Shore Drive. The petitioner, Coda Motors, requested to expand their existing automobile sales use and to have outdoor, overnight storage of vehicles at the site. There were no public comments received. The Plan Commission voted unanimously to approve the special use request to expand the interior use but deny the outdoor storage of vehicles.

Recommendation: That staff prepare two ordinances: one to approve the interior special use request and one to deny the outdoor storage of vehicles.

8B – Remand Minor PUD Amendment (Pella)

On April 17, 2023, the Plan Commission reviewed a petition by Pella Restaurant to paint the entirety of the exterior facade of the tenant space at 720-730 Village Center Drive. The Plan Commission unanimously recommended denial of the request. After the meeting, the petitioner altered the plans based upon Plan Commission feedback. The petitioner removed additional canopies and awnings to be added along Village Center Drive and is not proposing to paint the facade located along Lifetime Drive. The Board may either remand the petition to the Plan Commission for reconsideration of the revised petition or direct staff to prepare an Ordinance either approving or denying the revised plans.

Recommendation: The Board provide direction on this petition.

8C – Residential Occupancy Amendment

Staff is requesting that the Board direct the Plan Commission to hold a public hearing to decrease the number of unrelated individuals who are permitted to reside together. Under Zoning Ordinance regulations, a “family” is defined as “two or more persons related by blood, marriage, or legal adoption living together as a single housekeeping unit within a dwelling unit, including foster children, domestic servants, and not more than two guests or roomers. The word “family” shall also include not more than five unrelated persons living together as a single housekeeping unit.” In the Village, there have been code enforcement issues of more than five unrelated persons residing together in one single-family home. In these situations, individuals rent rooms from the property owner who often does not reside on the premises. This type of arrangement is more closely aligned to a boarding, rooming, or lodging house,

and creates issues in otherwise single-family residential neighborhoods. Staff is requesting that the Board direct the Plan Commission to hold a public hearing to reduce the number of unrelated individuals residing together.

Recommendation: The Plan Commission be directed to hold a public hearing.

REGULAR MEETING
MAYOR AND BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE

May 8, 2023

Prior to the meeting, Trustees Tony Schiappa and Al Paveza were sworn in for their new term as Village Trustees by the Honorable Ana Demacopolous.

CALL TO ORDER The Regular Meeting of the Mayor and Board of Trustees of May 8, 2023, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 6:30 p.m. by Mayor Gary Grasso.

PLEDGE OF ALLEGIANCE Mayor Grasso asked Cayleigh O'Hare and Grace Massery to lead the Pledge of Allegiance.

ROLL CALL was taken by and the results denoted the following present: Trustees Franzese, Schiappa, Paveza, Mital, and Smith. Mayor Grasso was also present. Trustee Snyder was not in attendance and had given advance notice that he would be out of town. Also present were Village Administrator Evan Walter, Police Chief John Madden, Deputy Police Chief Ryan Husarik, Public Works Director Dave Preissig, Community Development Director Janine Farrell, Special Projects Manager Hannah Weyant, Administrative Services Manager Pam Foy, and Village Attorney Mike Durkin.

PRESENTATIONS AND PUBLIC HEARINGS

Mayor Grasso recognized and commended Cayleigh O'Hare and Grace Massery for winning the Irish Dance World Championship.

CONSENT AGENDA – OMNIBUS VOTE

Mayor Grasso read the Consent Agenda and asked the Board and public if any agenda item needed to be removed. There were no requests to remove any agenda item.

APPROVAL OF REGULAR BOARD MEETING MINUTES OF APRIL 10, 2023 was approved for publication under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE ECONOMIC DEVELOPMENT COMMITTEE MEETING MINUTES OF APRIL 5, 2023 was approved for publication under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF APRIL 17, 2023 was approved for publication under the Consent Agenda by Omnibus Vote.

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RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF MAY 1, 2023 was approved for publication under the Consent Agenda by Omnibus Vote.

APPROVAL OF AN ORDINANCE AMENDING SECTION VIII OF THE ZONING ORDINANCE TO AMEND REGULATIONS FOR OUTDOOR DINING (Z-03-2023: TEXT AMENDMENT – OUTDOOR DINING) the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

APPROVAL OF A RESOLUTION AUTHORIZING THE VILLAGE TO ENTER INTO A CONTRACT FOR THE PURCHASE OF ELECTRICITY FROM THE LOWEST COST ELECTRICITY PROVIDER FOR VILLAGE STREET LIGHTING the Board, under the Consent Agenda by Omnibus Vote, Approved the Resolution.

APPROVAL OF A RESOLUTION TERMINATING THE MAINTENANCE PERIOD FOR THE GRANT STREET SUBDIVISION (6100 GRANT STREET) the Board, under the Consent Agenda by Omnibus Vote, Approved the Resolution.

APPROVAL OF A PROCLAMATION DECLARING THE 175TH ANNIVERSARY OF THE I&M CANAL AND ILLINOIS & MICHIGAN CANAL NATIONAL HERITAGE AREA the Board, under the Consent Agenda by Omnibus Vote, Approved the Proclamation.

APPROVAL OF A PROCLAMATION DECLARING MAY 2023 AS MENTAL HEALTH AWARENESS MONTH IN THE VILLAGE OF BURR RIDGE the Board, under the Consent Agenda by Omnibus Vote, Approved the Proclamation.

APPROVAL OF A REQUEST FOR RAFFLE LICENSE FOR THE WILLOWBROOK/BURR RIDGE CHAMBER OF COMMERCE FOR THEIR TRIVIA NIGHT ON MAY 13, 2023 the Board, under the Consent Agenda by Omnibus Vote, Approved the Request for a Raffle License.

ACCEPT AND FILE RESIGNATION LETTER OF COMMUNITY DEVELOPMENT ASSISTANT ANNETTE NYENHUIS the Board, under the Consent Agenda by Omnibus Vote, Accepted the Resignation Letter.

APPROVAL OF VENDOR LIST DATED APRIL 24, 2023, FOR FISCAL YEAR 2023 IN THE AMOUNT OF \$737,247.68 FOR ALL FUNDS, PLUS \$222,210.17 FOR PAYROLL PERIOD ENDING APRIL 15, 2023, FOR A GRAND TOTAL OF \$959,457.85 the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated April 24, 2023, and Payroll for the Period Ending April 15, 2023.

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APPROVAL OF VENDOR LIST DATED MAY 8, 2023, FOR FISCAL YEAR 2023 IN THE AMOUNT OF \$516,199.08 FOR ALL FUNDS, PLUS \$208,614.49 FOR PAYROLL PERIOD ENDING APRIL 29, 2023, FOR A GRAND TOTAL OF \$724,813.57 the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated May 12, 2023, and Payroll for the Period Ending April 29, 2023.

APPROVAL OF VENDOR LIST DATED MAY 8, 2023, FOR FISCAL YEAR 2024 IN THE AMOUNT OF \$91,237.15 FOR ALL FUNDS, FOR A GRAND TOTAL OF \$91,237.15 the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated May 8, 2023.

After reading the Consent Agenda, Mayor Grasso asked for a motion to approve.

Motion was made by Trustee Schiappa, seconded by Trustee Franzese, to approve the Consent Agenda – Omnibus Vote (attached as Exhibit A), and the recommendations indicated for each respective item be hereby approved.

Mayor Grasso asked for any discussion from the Board and/or public. There was none.

On Roll Call, Vote Was:

AYES: 5 - Trustees Schiappa, Franzese, Paveza, Mital, Smith

NAYS : 0 - None

ABSENT: 1 - Trustee Snyder

There being five affirmative votes the motion carried.

CONSIDERATION OF A RESOLUTION APPOINTING TRUSTEE GUY FRANZESE AS PRESIDENT PRO-TEM FOR A TWO-YEAR TERM EXPIRING MAY 12, 2025

Village Administrator Evan Walter stated that as required by the Municipal Code, the Village must appoint a president pro tem to act in the absence of the Mayor at Board meetings or other official functions. Trustee Franzese was nominated by Mayor Grasso to continue in this role for an additional two-year term; he has served as president pro tem over the past two years.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa to approve the Consideration.

Trustee Franzese said that it was a great privilege to serve the village and community as Trustee and as Mayor Pro Tem, and that he was thankful for the support of the board and community in general.

Mayor Grasso asked for any discussion from the Board and/or public. There was none.

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On Roll Call, Vote Was:

AYES: 5 - Trustees Paveza, Schiappa, Mital, Smith, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Snyder

There being five affirmative votes the motion carried.

CONSIDERATION OF A RESOLUTION ADOPTING THE ILLINOIS MUNICIPAL CIVILITY PLEDGE

Village Administrator Evan Walter said that the Illinois Municipal League (IML) formally adopted a Civility Pledge. The Pledge seeks to restore civility in local governments, encourage productive dialogue, and build public trust throughout Illinois' numerous municipalities. This resolution formally adopts the IML's Civility Pledge. The Village previously adopted the Standards Of Excellence In Conduct And Ethics found in the Municipal Code; the Pledge will act as an additional commitment to the Standards already in place.

Motion was made by Trustee Franzese, seconded by Trustee Paveza to approve the Resolution.

Trustee Franzese said that the code of conduct for the village is quite thorough and comprehensive, and this summarizes how the Board, as elected officials, should handle themselves, and said he supported this resolution.

Mayor Grasso asked for any discussion from the Board and/or public. There was none.

On Roll Call, Vote Was:

AYES: 5 - Trustees Franzese, Paveza, Mital, Smith, Schiappa

NAYS : 0 - None

ABSENT: 1 - Trustee Snyder

There being five affirmative votes the motion carried.

PUBLIC COMMENT

Mayor Grasso asked for any public comment.

Alice Krampits, a Burr Ridge resident, discussed the 175th anniversary of the I&M Canal and National Heritage Corridor and that she is both the Burr Ridge representative and the Chairperson. She thanked the Board for their support and said that Burr Ridge was one of the 12 founding member communities for the I&M Canal and National Heritage Corridor. Their goal is to be stewards in the preservation and promotion of the historic, economic, recreational and cultural development of the national heritage corridor, which runs 96 miles along the I&M Canal. The canal opened in 1848, closed in 1933, and was a significant transportation corridor that helped develop Chicago. The boats were

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shallow and pulled by mules along the shore. Throughout the anniversary there will be events along the canal from April 2023-2024. There are 175 sites along the canal to visit and the canal corridor association is collecting historical stories and recipes, should residents want to share. There are some new programs offered, including bike rental for the trails and a fossil tour, which will be held on August 19 and will be family friendly. The Civic Center Authority will also be hosting an open house and lecture at the Willow Springs community center on November 4 and 5. A boat trip will also be offered, to LaSalle, on a boat in July, which includes history of the canal. Ms. Krampits said that residents should go to the website (<https://iandmcanal.org/175thanniversary/>) for more information and asked the village to post the link on their website. Mayor Grasso thanked Ms. Krampits for her dedication and for how well she represents the village.

REPORTS AND COMMUNICATIONS

Trustee Mital said that the Village was preparing for their summer events, and reminded residents that the Armed Forces Day event will take place on May 20th at 10:00 am at the Burr Ridge Veterans Memorial. She also mentioned that the concert series will start on June 1, starting at 6:30 pm and that the first concert will be sponsored by Jonny Cabs, and feature an Elton John cover band.

Mayor Grasso mentioned that there were a few new businesses in Burr Ridge: Nectar for coffee, smoothies and shakes; and also the Qua Spa for looking better and weight loss. He mentioned that he had participated in a Make a Wish Foundation event in Burr Ridge to raise funds and that it was nice to see events like this in the community. Mayor Grasso congratulated Al Paveza, Tony Schiappa and Joe Snyder on their re-election and for their professionalism on the Board.

Mayor Grasso also reminded residents that all future Board meetings will start at 6:30 pm.

ADJOURNMENT

Mayor Grasso asked for a motion to adjourn the Regular Board meeting.

Motion was made by Trustee Schiappa and seconded by Trustee Paveza to adjourn the meeting.

The Motion was approved by a unanimous voice vote of the Board of Trustees and the meeting was adjourned at 7:05 pm.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
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Susan Schaus
Village Clerk
Burr Ridge, Illinois

APPROVED BY the Mayor and Board of Trustees this _____ day of _____, 2023.

VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS
MINUTES FOR REGULAR MEETING OF MAY 15, 2023

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:01 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 8 – Irwin, McCollian, Parrella, Petrich, Broline, Stratis, Morton, and Trzupek
ABSENT: 0 – None

Community Development Director Janine Farrell was also present.

II. APPROVAL OF PRIOR MEETING MINUTES – MAY 1, 2023

A **MOTION** was made by Commissioner Parrella and **SECONDED** by Commissioner McCollian to approve the minutes of the May 1, 2023 meeting.

ROLL CALL VOTE was as follows:

AYES: 8 – Parrella, McCollian, Irwin, Petrich, Broline, Stratis, Morton, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

A. Z-05-2023: 1400 Burr Ridge Parkway/Portions of Outlots A, C, and D of Lakeside Pointe Subdivision/PINs 18-30-303-016-0000, 18-30-101-048-0000, 18-30-101-045-0000, and 18-30-101-047-0000 (McNaughton Development LLC); PUD Amendment, Special Use, Variations, Preliminary Plan approval, and Findings of Fact [CONTINUED FROM APRIL 17 & MAY 1, 2023]

Chairman Trzupek introduced the case. Director Farrell stated that the case was continued on April 17th and May 1st agendas due to questions about the ownership of the outlots on Lakeside Pointe. The Village's legal counsel spoke with the petitioner's legal counsel. The petitioner is a Class B member per the Declaration, and Class A members are owners of the individual lots. All of the individual lots have been sold. For McNaughton to convey a

portion of outlots to the Villas corner parcel and to combine the two subdivisions under one HOA, the Declaration must be amended which requires 50% of the Lakeside Pointe owners to approve the amendment. Director Farrell showed the aerial image of the site. Both properties are zoned R-5 and within PUDs, the prior Weekly Homes proposal and the current Lakeside Pointe development. The site is in the Burr Ridge Corporate Park and within their Declaration, parcels along the Frontage Rd. must be 3 acres for them to be developed. McNaughton seeks to combine a portion of the Lakeside Pointe outlots with the Villas parcel to meet that requirement. Both the Weekly Homes and Lakeside Pointe PUDs must be amended. Director Farrell noted the variation, special use, and Preliminary Plan requests. The Preliminary Plan noted variations from the Zoning and Subdivision Ordinances, contained a market analysis, and density information. There are five blocks of three units with stormwater detention in the corner and connected to Lakeside Pointe's detention. Director Farrell noted the variations from the Subdivision and Zoning Ordinances requested. The density is 4.19 units per acre, 4.7 units per acre net density without the road included. Floorplans and elevations were provided in the packet. For the landscape plan, the petitioner is proposing to plant trees on the southern property line and a portion on the Marriott's property, so a condition requiring an easement has been added. The petitioner provided Findings of Fact for the Commission to adopt if they are in agreement. Director Farrell reviewed the suggested conditions, including a condition that the amended and approved Declaration should be provided along with the Final Plan, 60-days after Board approval.

The petitioner, John Barry of McNaughton Development, stated that the property is located on the corner of Burr Ridge Pkwy and Bridewell Dr., measures 5.38 acres, is zoned R-5, and the adjacent land uses are Lakeside Pointe, Marriott, mixed-office building, and I-55 to the north. This is a private residential development with the HOA maintaining detention and the street. There is now a preference to not include the development in the Lakeside Pointe Subdivision. Existing pathway connections will be maintained, the water main, sanitary sewer connections, and storm sewer will pass through Lakeside Pointe with the ultimate connection to the lake to the south. The existing landscape material on the corner and the buffer on Lakeside will remain and will be supplemented. An easement will be provided on the Marriott property for landscaping. There will be 15-units around a cul-de-sac. The building materials will be masonry, SmartSide siding, and architectural grade asphalt shingles. Each unit will have a two-car garage and unfinished basements. Mr. Barry presented floorplans. A fiscal impact study was provided and showed net real estate values over first 20 years at 3.7 million to the taxing districts. The Village Center has changed since it was built. The density is appropriate for the site, this is a good product that meets the demand and has a positive impact on the Village Center, functions well, poses no undue burden on the community or neighbors, is not detrimental to neighboring property values, and is a complementary use on the site.

Chairman Trzupek stated that the Commission is aware of the ownership issues to the east. The Village has permission from the Village Attorney to hold a public hearing and direction that the Declaration must be amended for the property to the east. The Commission is aware of McNaughton's performance issues concerning what has not been

done in Lakeside Pointe, and that there were comments made about stormwater. The Commissioners are not engineers and the plans will have to be reviewed by the Village Engineer. Chairman Trzupek requested comments be kept to the plan itself.

Chairman Trzupek asked for public comment.

Dawn Kluchenek, 7238 Lakeside Circle, had previously submitted a letter to staff. Ms. Kluchenek was concerned about who would be responsible for maintaining the portion of the outlot conveyed to the Villas since there will be two HOAs. Ms. Kluchenek was concerned about the stormwater capacity and infrastructure of Lakeside Pointe and if it was adequate to take on the additional burden.

Chairman Trzupek stated that the two HOAs was new, questioned if the Lakeside Pointe PUD had to be amended, and noted that the Village Engineer commented on the stormwater.

George Spindler, lot 44 in Lakeside Pointe, stated that the new conditions specify that the petitioner will amend the Declaration of Lakeside Pointe but the petitioner is McNaughton Development LLC; the party to the Lakeside Pointe Declaration is McNaughton Development INC. The petitioner cannot amend the Declaration. Mr. Spindler stated that the outlot parcel should not be counted as part of the proposal and that this is only to meet the 3-acre requirement, which distorts the density calculation. Mr. Spindler stated that the articles of the Declaration require only 22 signatures, not votes.

Chairman Trzupek confirmed that the outlot is only to gain acreage and is not clear what roles INC or LLC play with amending the Declaration.

Mike Glynn, lot 19 in Lakeside Pointe, asked what gives McNaughton the right to claim ownership of the outlots. Chairman Trzupek reiterated that amending the Declaration is required as a condition. Mr. Glynn stated that the proposal does not meet any requirements such as street design, setbacks, and density. Mr. Glynn suggested that the development should be reduced by 4 units since it does not meet any requirements.

Roy Pikus, 7296 Lakeside Circle, stated that the stand-alone HOA for the Villas raises questions about liabilities for stormwater on the Lakeside Pointe property and asked how this would work.

Chairman Trzupek responded that he expected easements and agreements to be created between the two entities.

Roy Pikus asked why Lakeside Pointe has to accept the responsibility of downstream water.

Mark Thoma, 7515 Drew, was disappointed in the amount of variances requested. Mr. Thoma stated that Burr Ridge Parkway is the gateway to the Village Center and it is not appealing to have backsides of homes and yards facing Burr Ridge Parkway.

There was no additional public comment. Chairman Trzupek asked for Commissioner discussion.

Commissioner Morton stated that it was wise to have two separate HOAs, that the architecture was monotonous, and the plan is to maximize density. Side-loaded garages and different details would be preferred. Commissioner Morton asked about drainage. John Barry confirmed that downspouts and gutters will be pulled away 10 ft. from homes into swales and there should not be standing water. Commissioner Morton stated that the density for the 2.77 acres is 5.41 units per acre which exceeds R-5 significantly and the outlot is key to bring the density down. Commissioner Morton does not see age and marketability as a compelling reason to approve or not approve. Commissioner Morton expressed concern about the road width and the turn radius of the fire truck, which seems to not be able to accommodate on street parking.

Commissioner Stratis asked for history of outlot C and why it was kept out. John Barry stated that outlot C encompasses a larger area including the lake. Commissioner Stratis did not see a reason to take Lakeside Pointe out of compliance by re-drawing lot lines. Commissioner Stratis stated that using the outlots subverts the density calculations and homes could potentially be lost if the outlot was not used. Commissioner Stratis stated that there are too many requests for deviations from the code. John Barry stated that the 28 ft. width road was approved for Lakeside Pointe. Commissioner Stratis asked about snow plowing. Mr. Barry stated that snow would be plowed to the cul-de-sac or on the private road towards Burr Ridge Parkway. Commissioner Stratis objected to the decks overhanging the setback. Director Farrell confirmed deck setback requirements were not the same as the principal residence. Commissioner Stratis asked why the bridge and remaining work is lingering. Mr. Barry stated it is the MWRD approval and the lead time to fabricate the bridge. Permits have been received and installation of the abutments will occur in the upcoming weeks. The bridge will be installed at the end of October. Commissioner Stratis asked if there was any sense if 22 yes votes will be received and what's the strategy. John Barry stated that the project is conditioned upon their approval and would like to get Plan Commission recommendation first. Commissioner Stratis was concerned that the entitlement is granted and approval from the neighbors is not received, so McNaughton builds anyway and says, "sue us." Jim Olguin, attorney for McNaughton Development, stated that it is hard to ask for approval for a project when they do not know what it will end up looking like. For the HOAs, the overall assessments will be less and the costs can shift to the new HOA. There would be a master agreement between the two HOAs regarding the shared areas and easements. The Declarations should not be amended if there is no development. Commissioner Stratis supported the use, the architecture, but preferred 12 homes versus 15 which would eliminate a number of variances from code.

Chairman Trzupsek asked about the 3-acre requirement. Director Farrell confirmed that this is part of the Covenant for the business park. John Barry stated that it was a condition of the annexation agreement. Director Farrell stated that this language was a first amendment to the Declaration and does not know what the language states in the annexation agreement. Jim Olguin stated that the Village and everyone in the Corporate Park would have to amend that Declaration and this is a reason why the property has sat vacant since additional land has to be added.

Commissioner Broline asked about the history of why the corner lot was not included in Lakeside Pointe. John Barry stated that there was a different owner of the corner lot and they could not agree on the price. Commissioner Broline stated that smaller units could reduce the number of setbacks. Mr. Barry stated that it would make it less marketable. Commissioner Broline struggles with allowing variations in one place and not permitting them in another. Mr. Barry stated that this is a unique property.

Commissioner Petrich agreed with the previous comments made and that townhomes are a good idea, but the number and degree of variations is too many. Commissioner Petrich preferred a different layout and less homes and that there are a lot of unknowns regarding stormwater.

Commissioner Parrella agreed with previous comments made and was concerned about life/safety and emergency vehicle access, snow plowing, and limited guest parking. Commissioner Parrella supported the use of townhomes with master bedrooms on the first floor, but the aesthetics were too uniform and did not support all front facing garages. Commissioner Parrella supported reducing the development to 10-12 units.

Commissioner McCollan had no issue with the use, but there is too little guest parking, the exterior is monotonous, and it is too dense.

Commissioner Irwin stated that there was no evidence that the petitioner met the Findings of Fact for the variation requests. Commissioner Irwin stated that there is no hardship, no evidence that the property cannot yield a reasonable return, has not seen anything unique to this property, the request is based primarily on financial gain, it will be detrimental to property values, and that the whole area is commercial. Commissioner Irwin stated that the use is not appropriate for the lot and should be a commercial use. In the Comprehensive Plan, the nature of the development does not fit with the requirements of wooded and unique residential uses, and that office use is the preferred use in the Corporate Park.

John Barry and Jim Olguin confirmed that the property is zoned residential, that I-55 is to the north which is not tranquil and poses a hardship for the residential use. Commercial use would be more impactful than residential use to the neighbors. The Village Center has struggled to get tenants and more people are needed in the downtown.

Commissioner Irwin stated that there could be an appropriate commercial use, that these homes will not save the Village Center, and did not support looking at the backs of homes along Burr Ridge Parkway.

Chairman Trzupek supported the use and stated that there is no suburban office or commercial coming to this lot. Chairman Trzupek did not support the backs of homes facing Burr Ridge Parkway and that the variations are due to too much density, but removing units does not change the development. Chairman Trzupek agreed with the comments about front load garages, the architectural monotony, and that it is too dense.

John Barry requested that they be continued until June 5 and take back the feedback they received.

Commissioner Irwin asked what the basis was that commercial would not work on the property. Chairman Trzupek stated that there are vacancies in the Village Center and the TCF property would develop first.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner McCollian to continue Z-05-2023 to June 5, 2023.

ROLL CALL VOTE was as follows:

AYES: 8 – Morton, McCollian, Irwin, Parrella, Petrich, Broline, Stratis, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

IV. CORRESPONDENCE

There was no discussion on the Board Report.

V. OTHER CONSIDERATIONS

There were no other considerations.

VI. PUBLIC COMMENT

Mark Thoma, 7515 Drew, stated that for the previous petition, McNaughton's acquisition of land seemed abusive and manipulated the codes. Mr. Thoma asked to see something changed in the codes.

Commissioner Stratis and Chairman Trzupek expressed concern about the strip of land from the outlots and about the conditions requiring amendment of the Declaration.

VII. FUTURE MEETINGS

Director Farrell noted that the denials of Z-02-2023 and PC-04-2023 are on the May 22nd Board agenda. Director Farrell stated that Pella has since changed their plans, so the proposal may be remanded back to the Commission for reconsideration.

Director Farrell noted that on June 5th, the continuation of Z-05-2023 and Z-06-2023 will be on the Plan Commission agenda. Commissioners Stratis and Irwin will likely not be able to attend the June 5th meeting.

Commissioner Irwin asked the Commission if they wished to explore amending the regulations for detached garage door height, increasing it from 9 ft. to 10 ft. The Commissioners and staff discussed the Zoning Ordinance amendment from a few years ago where attached garage door height was increased, permitting one door, up to 10 ft. in height.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Petrich to request Board of Trustees direction to hold a public hearing on amending the regulations for detached garage door height, increasing it from 9 ft. to 10 ft.

ROLL CALL VOTE was as follows:

AYES: 7 – Stratis, Petrich, McCollian, Parrella, Broline, Morton, and Trzupek
NAYS: 0 – None
ABSTAIN: 1 – Irwin

MOTION CARRIED by a vote of 7-0 with one abstention.

VIII. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to adjourn the meeting at 8:29 p.m.

ROLL CALL VOTE was as follows:

AYES: 8 - Irwin, Petrich, Parrella, McCollian, Broline, Stratis, Morton, and Trzupek
NAYS: 0 - None

MOTION CARRIED by a vote of 8-0

Respectfully Submitted:

Janine Farrell, AICP
Community Development Director

RESOLUTION NO. R-15-23**A RESOLUTION AUTHORIZING AN EXTENSION OF A WATER TOWER LEASE AGREEMENT (T-MOBILE)**

WHEREAS, T-Mobile currently holds an existing Lease Agreement with the Village of Burr Ridge to locate cellular wireless equipment in the form of an antenna system on top of the Village's water tower located at 16W050 83rd Street in exchange for rent and other considerations; and

WHEREAS, the existing Lease Agreement is scheduled to expire in 2026, and T-Mobile seeks to continue the Lease Agreement in the form of an extension to the existing Lease Agreement; and

WHEREAS, the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, have considered the Second Amendment to the Water Tower Lease Agreement as described in **Exhibit A**; and

WHEREAS, the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, have determined that it is in the best interests of said Village that said Second Amendment to the Water Tower Lease Agreement as described in Exhibit A be entered into by the Village of Burr Ridge.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2. That the Mayor and Board of Trustees of the Village of Burr Ridge hereby find that it is in the best interests of the Village of Burr Ridge and its residents that the aforesaid "Second Amendment to the Water Tower Lease Agreement" be entered into and executed by said Village of Burr Ridge, with said Agreement to be substantially in the form attached hereto and made a part hereof as Exhibit A.

Section 3. That the Mayor and Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, are hereby authorized to execute for and on behalf of said Village of Burr Ridge the aforesaid Agreement.

Section 4. This Resolution shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

PASSED by the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage

Counties, Illinois at a Regular Meeting thereof held on the 22nd day of May, 2023, and approved by the following roll call vote:

AYES:

NAYS:

ABSENT:

APPROVED this 22nd day of May, 2023, by the Village of Burr Ridge.

Mayor

ATTEST:

Village Clerk

SECOND AMENDMENT TO WATER TOWER LEASE AGREEMENT

This Second Amendment to Water Tower Lease Agreement (the "**Second Amendment**") is effective as of the last signature below (the "**Effective Date**") by and between Village of Burr Ridge, Cook and DuPage Counties, Illinois, a municipal corporation ("**Lessor**"), and T-Mobile Central LLC, a Delaware limited liability company ("**Lessee**") (each a "**Party**", or collectively, the "**Parties**").

Lessor and Lessee entered into that certain Water Tower Lease Agreement dated September 26, 2006, including that certain First Amendment to Water Tower Lease Agreement dated May 23, 2016, (including all amendments, collectively, the "**AgreementLease**") regarding the leased premises ("**Premises**") located at 16W050 83rd **Street**, Burr Ridge, IL 60527 (the "**Water Tower Site**").

For good and valuable consideration, Lessor and Lessee agree as follows:

1. Notwithstanding anything to the contrary in the Lease, starting on November 1, 2026, (the "**Revised Rent Date**"), Lessee shall pay Lessor Four Thousand Five Hundred Thirty-Nine and 24/100 Dollars (\$4,539.24) per month as **rRent**, partial calendar months to be prorated in advance, by the fifth (5th) day of each calendar month.

The **Rrent** will **continue to** escalate by three percent (3%) of the **Rrent** payable during the previous year on November 1, 2027, and on each anniversary thereafter. Where duplicate **Rrent** would occur, a credit shall be taken by Lessee for any prepayment of **Rrent** by Lessee.

2. At the expiration of the **current termLeaseAgreement**, the **AgreementLease** shall automatically renew for four (4) successive terms of five (5) years each (each a "**Renewal Term**"), unless Lessee notifies Lessor, in writing, of Lessee's intention not to extend the Lease at least thirty (30) days prior to the expiration of the current term or the then current Renewal Term.

3. All notices, requests, demands and other communications shall be in writing and shall be deemed to have been delivered upon receipt or refusal to accept delivery, and are effective only when deposited into the U.S. certified mail, return receipt requested, or when sent via a nationally recognized courier to the addresses set forth below. Lessor or Lessee may from time to time designate any other address for this purpose by providing written notice to the other Party.

If to Lessee:
T-Mobile USA, Inc.
12920 SE 38th Street
Bellevue, WA 98006
Attn: Lease Compliance/ CH55173A

If to Lessor:
Village of Burr Ridge,
Attn: Village Administrator
7660 S. County Line Road
Burr Ridge, Illinois 60527

With a copy to:

Michael K. Durkin

Village Attorney

Storino, Ramello, and Durkin

9501 Devon Avenue #800

Rosemont, IL 60018

4. Lessee and Lessor will reasonably cooperate with each other's requests to approve permit applications and other documents related to the Water Tower Site without additional payment or consideration.
5. Except as expressly set forth in this Second Amendment, the AgreementLease otherwise is unmodified. To the extent any provision contained in this Second Amendment conflicts with the terms of the AgreementLease, the terms and provisions of this Second Amendment shall control. Each reference in the AgreementLease to itself shall be deemed also to refer to this Second Amendment.
6. This Second Amendment may be executed in duplicate counterparts, each of which will be deemed an original. Signed electronic, scanned, or facsimile copies of this Second Amendment will legally bind the Parties to the same extent as originals.
7. Each of the Parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Second Amendment. Lessor represents and warrants to Lessee that the consent or approval of a third party has either been obtained or is not required with respect to the execution of this Second Amendment. If Lessor is represented by any property manager, broker or any other leasing agent ("Agent"), then (a) Lessor is solely responsible for all commission, fees or other payment to Agent and (b) Lessor shall not impose any fees on Lessee to compensate or reimburse Lessor for the use of Agent, including any such commissions, fees or other payments arising from negotiating or entering into this Second Amendment or any future amendment.
8. This Second Amendment will be binding on and inure to the benefit of the Parties herein, their heirs, executors, administrators, successors-in-interest and assigns.

SIGNATURES ON FOLLOWING PAGE

IN WITNESS, the Parties execute this Second Amendment as of the Effective Date.

LESSOR:

**Village of Burr Ridge, Cook and DuPage
Counties, Illinois,
a municipal corporation**

LESSEE:

**T-Mobile Central LLC,
a Delaware limited liability company**

By: _____

Print Name: _____

Title: _____

Date: _____

By: _____

Print Name: _____

Title: _____

Date: _____



May 22, 2023

Mayor Gary Grasso and Board of Trustees
7660 County Line Road
Burr Ridge, Illinois 60527

Re: Z-02-2023: 60 Shore Drive (Naddaf – Coda Motors); Special Use Amendment, Special Use, and Findings of Fact

Dear Mayor and Board of Trustees:

The Plan Commission transmits its recommendation to approve a special use request to expand the existing automobile sales use and to deny a special use request for outdoor, overnight storage of vehicles.

The petitioner is Coda Motors, a tenant at 60 Shore Dr. In 2019, Coda Motors, an online based automobile sales business, was approved for a special use for auto sales but limited to 7,400 sq. ft. of floor area and outdoor display and storage of vehicles was prohibited. The petitioner is now requesting to expand their interior operations to 10,100 sq. ft. and to store vehicles outside, overnight.

After due notice as required by law, the Plan Commission held a public hearing on May 1, 2023. There were no public comments received or made during the public hearing. While the petitioner was notified of the public hearing and requested to be present, no one attended the meeting to represent the case. The Plan Commission supported the interior expansion of the use since it was consistent with the prior 2019 approval and would not be detrimental to the surrounding industrial area. The Plan Commission did not support the outdoor, overnight storage of retail vehicles ancillary to the special use. The petitioner is requesting to use 29 spaces out of 62 total spaces for storage. The vehicles will be parked outside, overnight, temporarily, while they are being prepared for sale before being moved indoors. Coda Motors uses spaces in front of the building which are unmarked for customer parking and moving vehicles in and out of the building for test drives or pick-up. The Commission was concerned that there would not be adequate parking on the site for all of the tenants at 60 Shore Dr. (three total). The Commission was also concerned about theft and vandalism since the vehicles are not secured by a fence. The Commission believed that the outdoor, overnight storage of vehicles could negatively impact the other tenants and the surrounding area.

Based on the above considerations and the submitted Findings of Fact, the Plan Commission voted 8 to 0 to **recommend that the Board of Trustees approve** Z-02-2023, a request to amend Ordinance #A-834-02-19, a special use for automobile sales, to expand the existing special use from 7,400 sq. ft. to 10,100 sq. ft., with Findings of Fact, and with the following conditions:

1. The special use shall be limited to the sale of automobiles with minor detailing and repairs.
2. The special use shall be limited to the 10,100 square feet of floor area known as Suites A-B at 60 Shore Drive.
3. The special use shall be limited to Joseph Naddaf and his business partners and shall expire at such time that Mr. Naddaf and his business partners no longer occupy the space or an assignment or termination of the lease at 60 Shore Drive occurs.
4. Outside display or storage of any goods, materials, and automobiles shall be prohibited.
5. Outdoor mechanical maintenance of any vehicle shall be prohibited.

Based on the above considerations and the amended Findings of Fact, the Plan Commission voted 8 to 0 to ***recommend that the Board of Trustees deny*** Z-02-2023, a request for a special use for outdoor, overnight storage of retail vehicles ancillary to a special use in accordance with Zoning Ordinance section X.F.

Sincerely,

Greg Trzupek, Chairman
Plan Commission/Zoning Board of Appeals



As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

Coda Motors is already in operation at the site and stores the vehicles indoors. There are other vehicle dealerships in the Village and the outdoor storage of vehicles does not provide a service or opportunity to the Village or its residents.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The storage of vehicles outdoors, overnight, may pose a safety concern to the public by encouraging theft and vandalism.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The outdoor, overnight storage of vehicles may be injurious to neighboring properties since outdoor vehicle storage is not commonly found in the Village. This may negatively impact property values in the Hinsdale Industrial Park and surrounding area.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The outdoor, overnight storage of vehicles is not commonly found in the Village and requires special use approval, even in the industrial districts. While the surrounding area is already developed for industrial uses, this use may impede the redevelopment or improvement of properties since property values could be impacted by this outdoor storage.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The parking needs of the other tenants in the building were not specified in the petition and as a result, the use of the property by the other tenants may be negatively impacted by 29 parking spaces, almost half of the total parking, used for vehicle storage by one tenant.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Ingress and egress have already been provided to the site.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

For industrial areas, the Comprehensive Plan recommends to "maintain the existing industrial parks in the Village to appropriate standards and enhance them as a continued tax base for the Village." The outdoor storage of vehicles may not be determined to be an enhancement to the industrial districts.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The outdoor storage of vehicles requires special use approval. The vehicles will be required to be parked within striped parking spaces, which they currently are not.



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-02-2023: 60 Shore Drive (Naddaf – Coda Motors); Requests to amend Ordinance #A-834-02-19, a special use for automobile sales, to expand the existing special use from 7,400 sq. ft. to 10,100 sq. ft., and an additional special use for outdoor, overnight storage of retail vehicles ancillary to a special use in accordance with Zoning Ordinance section X.F.

HEARING:

May 1, 2023

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP
Community Development Director

PETITIONER:

Joseph Naddaf, Coda Motors

PETITIONER STATUS:

Tenant

PROPERTY OWNER:

Tim Masters

EXISTING ZONING:

G-I General Industrial PUD

LAND USE PLAN:

Recommends Light Industrial Uses

EXISTING LAND USE:

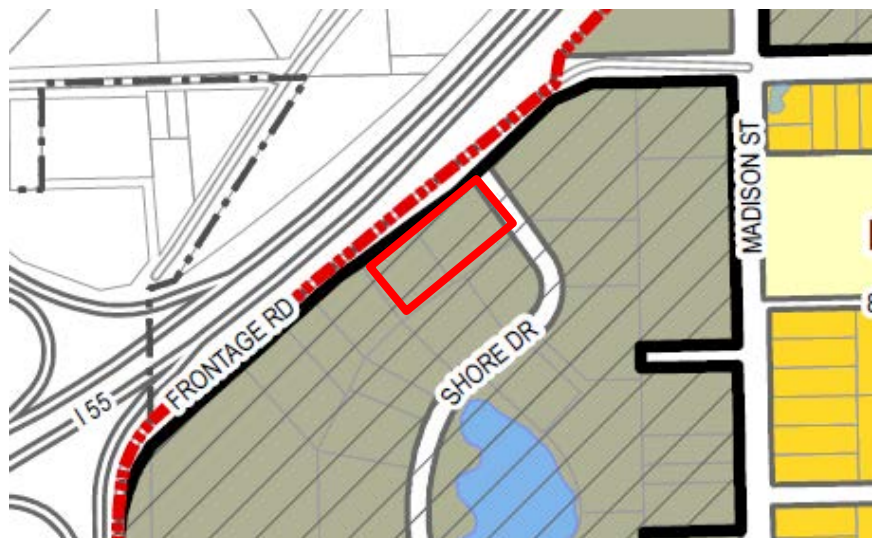
Multi-tenant Building

SITE AREA:

2.2 Acres

SUBDIVISION:

Hinsdale Industrial Park



The petitioner is Joseph Naddaf, current tenant operating Coda Motors from the site, an online based automobile sales business. In 2019, Coda Motors was approved for a special use to permit automobile sales at the site (Ordinance A-834-02-19). Two conditions of approval limited the floor area to 7,400 sq. ft. for the business and prohibited the outside display or storage of automobiles. The petitioner is now requesting to expand their internal operations to 10,100 sq. ft. and to permit the outdoor storage of vehicles.

Expansion of Use:

Coda Motors was originally approved for 7,400 sq. ft. of floor area dedicated to the business. Coda Motors would like to expand their internal use to 10,028 sq. ft. of leased area, rounded up to 10,100 sq. ft. for the purposes of this request. This additional internal space will include two bathrooms and a kitchen. The owner has authorized this expansion of the use. The hours of operation, number of employees, and number of anticipated customers will not change. Since the original special use limited the floor area, the special use must be amended.

Outdoor Storage:

Coda Motors was prohibited from storing or displaying vehicles outside of the building. In the G-I zoning district, the outdoor, overnight storage of retail vehicles ancillary to a special use requires a separate special use. Since the original special use prohibited outdoor storage, this special use must be amended and a new special use for the outdoor storage requested. The petitioner uses the area in front of their main entrance for customer parking and the temporary storage of vehicles which are being taken for a test drive or sold. The area located near the front entrance does not have designated or striped parking spaces. Coda Motors is proposing to use 29 spaces located at the rear of the building to store vehicles overnight while they are being photographed and evaluated before being listed for sale and moved indoors.

There are two other tenants located at 60 Shore Dr.: UR Boss, an online based automobile sales business, and MyGreenMattress, which appears to be a light manufacturing or warehouse use. According to the property owner, there are no assigned parking spaces for any tenants at the site. According to the Plat of Survey, there are 62 total spaces. Should Coda Motors be approved to use 29 spaces for storage, 33 spaces will remain for the other two tenants. For these uses, the minimum Zoning Ordinance based parking space requirements are based upon the total number of employees which is unknown. The standard calculation would be two parking spaces per three employees.

Land Use and Site Plan

The property is surrounded on all sides by G-I General Industrial zoning as well as by comparable industrial and flex space development. Automobile sales and outdoor storage are listed as special uses in the G-I General Industrial District. Other retail sales and service businesses are also listed as special uses in the G-I General Industrial District. The petitioner provided a business plan and Plat of Survey detailing the location of the outdoor storage, included as Exhibit A.

Public Hearing History

Prior to Coda Motors occupying this space in 2019, a special use was approved in 2013 for Brand Max Motors and in 2017 for Midwest Auto. Neither operation permitted outdoor storage.

Public Comment

No public comments were received.

Findings of Fact and Recommendation

The petitioner has submitted findings of fact which may be approved if the Plan Commission is in agreement with those findings. If the Commission recommends approval to (1) amend Ordinance #A-834-02-19, a special use for automobile sales, to expand the existing special use from 7,400 sq. ft. to 10,100 sq. ft., and (2) an additional special use for outdoor, overnight storage of retail vehicles ancillary to a special use in accordance with Zoning Ordinance section X.F, staff recommends the following conditions which were included on the previous special use. The Commission may wish to approve each request separately.

1. The special use permit shall be limited to the sales of automobiles with minor detailing and repairs.
2. The special use shall be limited to the 10,100 square feet of floor area known as Suites A-B at 60 Shore Drive.
3. The special use shall be limited to Joseph Naddaf and his business partners and shall expire at such time that Mr. Naddaf and his business partners no longer occupy the space or an assignment or termination of the lease at 60 Shore Drive occurs.
4. Outdoor mechanical maintenance of any vehicle shall be prohibited.
5. The outdoor storage of vehicles shall be limited to the 29 spaces shown on the Plat of Survey provided in Exhibit A.
6. The outdoor display of vehicles used as an advertising mechanism is prohibited.

Appendix

Exhibit A – Petitioner’s Materials

- Application
- Business plan
- Plat of Survey showing outdoor storage area
- Findings of Fact

Exhibit B – Ordinance A-834-02-19

Exhibit C – Public Notifications



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

MAR 27 2023
VILLAGE OF BURR RIDGE

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): CODA MOTORS LLC

STATUS OF PETITIONER: ACTIVE USED CAR WAREHOUSE

PETITIONER'S ADDRESS: 60 SHORE DR A-B, BURR RIDGE IL 60527

ADDRESS OF SUBJECT PROPERTY: SAME

PHONE: (630) 789-2277

EMAIL: JOSEPH @ CODA MOTORS.COM

PROPERTY OWNER: TIM MASTERS

PROPERTY OWNER'S ADDRESS: _____ PHONE: _____

PUBLIC HEARING REQUESTED: ☒ Special Use ☒ Rezoning ☐ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

ALLOW THE DEALERSHIP TO HAVE CARS IN THE BACK OF THE BUILDING AREA
THAT AREA IS USED AS A STAGING AREA FOR VEHICLES THAT NEED SERVICE
WORK THE AREA BY THE MAIN ROAD WILL BE CLEAR EVERYNIGHT BEFORE CLOSING
Amend PUD ord.# A-834-02-19 and special use for outdoor, overnight retail vehicle storage

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 2.2 acres EXISTING ZONING: G-I PUD

EXISTING USE/IMPROVEMENTS: Multi-tenant industrial building

SUBDIVISION: Hinsdale Industrial Park

PIN(S) # 09-35-203-005 & 09-35-203-004

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

3/27/23
Date of Filing

From: [Joseph Naddaf](#)
To: [Janine Farrell](#)
Subject: Re: FW: Application Materials
Date: Thursday, March 2, 2023 7:12:47 PM
Attachments: [image001.jpg](#)
[Village.pdf](#)

Hello,

Coda Motors LLC is an internet based company, we have been in business since March of 2019 and occupied the same location at 60 Shore DR suite A-B Burr ridge, IL 60527. Coda Motors has 12 full time/part time employees. We are open Monday-Thursday from 9-7, Friday - Saturday 9-6 and Sunday closed.

We have been at our location for 4 years, our business grew and our number of cars increased. We are renting space from PermaSeal in Burr Ridge to allow for extra car storage. We sell 35-50 cars per month on average.

We recently added space within our building for filing and to have the use of 2 extra bathrooms and a kitchen. Our location had a unisex bathroom and no kitchen. We occupy a little over 10000 SQ with that addition. The extra space is connected through a back door.

Most of our customers are set up through appointments. Customers come in on a specific car that we already have waiting for them outside in front of our building. The customers take the vehicles on a test drive and if they like it, they purchase it. Very simple process. Unlike other car retailers, the only customers that come to visit us are set up through the internet. We get about 3-5 customers a day.

We sell quite a few vehicles to customers that have never set foot at our store. Our internet department shares all the information pertaining to those vehicles including the service history and carfax. After we receive their payment we arrange for shipping.

We are aware of the privilege granted to us by the village, we appreciate it and would like to stay in good standing. We have asked for a few changes for the sole reason of helping the flow of our growth. We need the staging area for the purchased cars that need inspections and work done before they are offered for retail. We also need to have cars parked in the front during the day for our preset test drives.

Regards,

Joseph Naddaf

Coda Motors LLC

EXHIBIT A

PROFESSIONALS ASSOCIATED SURVEY, INC.

7500 N. 19TH AVENUE, SUITE 100, DENVER, CO 80202

TEL: 333-1500 FAX: 333-1517

ALTA/ACSM LAND TITLE SURVEY

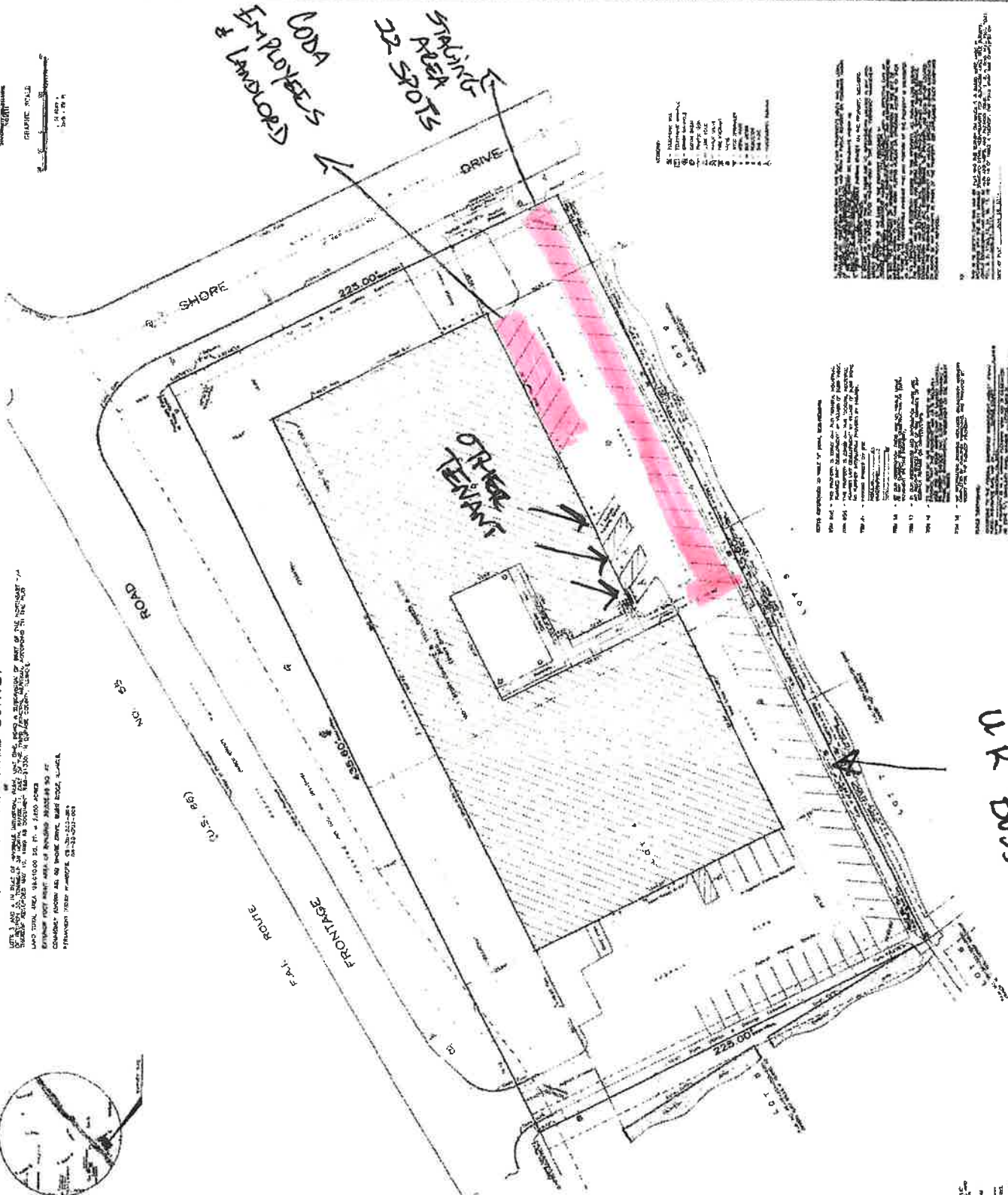
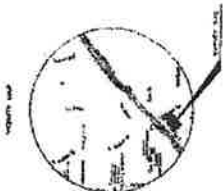
THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY RECORD AS FILED IN THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, IN THE YEAR 1998.

LAND TOTAL AREA: 18.5000 AC. ± 1850 ACRES

EXHIBIT NOT BEING USED FOR ANY OTHER PURPOSES

CONDUCTED BY: ALTA ASSOCIATES, INC. 10-10-98

PROFESSIONAL SEAL: 10-10-98



- 1. Survey of the land shown on the map.
- 2. Survey of the land shown on the map.
- 3. Survey of the land shown on the map.
- 4. Survey of the land shown on the map.
- 5. Survey of the land shown on the map.
- 6. Survey of the land shown on the map.
- 7. Survey of the land shown on the map.
- 8. Survey of the land shown on the map.
- 9. Survey of the land shown on the map.
- 10. Survey of the land shown on the map.

THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, AND HAS FOUND THAT THE SURVEY IS CORRECT AND ACCURATE. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, AND HAS FOUND THAT THE SURVEY IS CORRECT AND ACCURATE. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, AND HAS FOUND THAT THE SURVEY IS CORRECT AND ACCURATE.

THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, AND HAS FOUND THAT THE SURVEY IS CORRECT AND ACCURATE. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, AND HAS FOUND THAT THE SURVEY IS CORRECT AND ACCURATE. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF THE CITY AND COUNTY OF DENVER, COLORADO, AND HAS FOUND THAT THE SURVEY IS CORRECT AND ACCURATE.

U R B04



Findings of Fact – Special Use
Burr Ridge Zoning Ordinance

Address:

60 SHORE DR AB BURR RIDGE, IL 605

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

CODA MOTORS IS AN INTERNET BASE DEALERSHIP, OUR PRESENCE IN BURR RIDGE CAN BRING IN EXTRA REVENUE TO THE VILLAGE, WHILE FOLLOWING THE VILLAGE'S GUIDELINES

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

WE ARE AWARE OF THE PUBLIC HEALTH & SAFETY, WE DO NOT HAVE A SERVICE DEPARTMENT, NO HAZARDOUS MATERIALS. MOST OF OUR CLIENTS ARE FROM THE INTERNET WE CLOSE EARLY ENOUGH, WE NEVER HAD ANY MAJOR DISTURBANCES IN THE LAST YEAR, SINCE OPEN

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

NOT AT ALL, SAFETY IS OUR #1 CONCERN, WE ARE NOT ADDING OR CHANGING ANYTHING TO THE BUILDING.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

AGREE, OUR DEALERSHIP WILL NOT AFFECT THE NORMAL & ORDERLY DEVELOPMENT

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

YES

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

YES, WE ARE BY APPOINTMENT ONLY

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

AGREE

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

AGREE

EXHIBIT B

ORDINANCE NO. A-834-02-19

AN ORDINANCE GRANTING SPECIAL USE APPROVAL PURSUANT TO SECTION X.F.2.a OF THE BURR RIDGE ZONING ORDINANCE TO PERMIT AN AUTOMOBILE SALES USE IN AN EXISTING BUILDING

(Z-01-2019: 60 Shore Drive - Naddaf)

WHEREAS, an application for a special use for certain real estate has been filed with the Assistant to the Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on January 21, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for special uses, including its

findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 60 Shore Drive, Burr Ridge, Illinois, is Joseph Naddaf (hereinafter "Petitioner"). The Petitioner requests special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance to permit an automobile sales use in an existing building.
- B. That the property will not detract from the public health, safety, morals, comfort, or general welfare.
- C. That the special use will not adversely impact any adjacent properties.

- D. That the special use will allow the petitioner to bring a necessary service to the residents of the Village.
- E. That the site plan of the property is adequate for the use.
- F. That adequate traffic facilities are present on or adjacent to the property.
- G. That the use is not contrary to the objectives of the Official Comprehensive Plan.
- H. That the special use will otherwise conform to the applicable regulations of the Zoning Ordinance.

Section 3: That the special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance to permit an automobile sales use in an existing building is ***hereby granted*** for the property commonly known as 60 Shore Drive and identified by the Permanent Real Estate Index Number (PIN) of: **09-35-203-005.**

Section 4: That approval of the special uses is subject to compliance with the following conditions:

- A. The special use permit shall be limited to the sales of automobiles with minor detailing and repairs.
- B. The special use shall be limited to the 7,400 square feet of floor area known as Suite A at 60 Shore Drive.
- C. The special use permit shall be limited to Joseph Naddaf and his business partners and shall expire at such time that Mr. Naddaf and his business partners no longer occupies the space or an assignment or termination of the lease at 60 Shore Drive occurs.
- D. Outside display or storage of any goods, materials, and automobiles shall be prohibited.
- E. Outdoor mechanical maintenance of any vehicle shall be prohibited.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

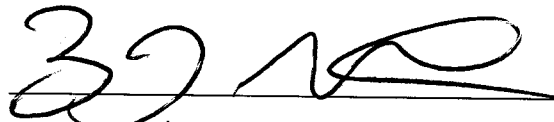
PASSED this 11th day of February, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Snyder, Mital, Paveza, Mottl, Franzese, Schiappa

NAYS: 0 - None

ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 11th day of February, 2019.


Acting Village President

ATTEST:


Village Clerk

EXHIBIT C





**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

60 SHORE DR A-B, BURR RIDGE, IL 6052

Property Owner or Petitioner:

JOSEPH NADDAS
(Print Name)
[Signature]
(Signature)



LEGAL NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at 7:00 p.m. on **Monday, May 1, 2023, at Village Hall, 7660 County Line Road, Burr Ridge, Illinois, 60527.**

PURPOSE OF HEARING

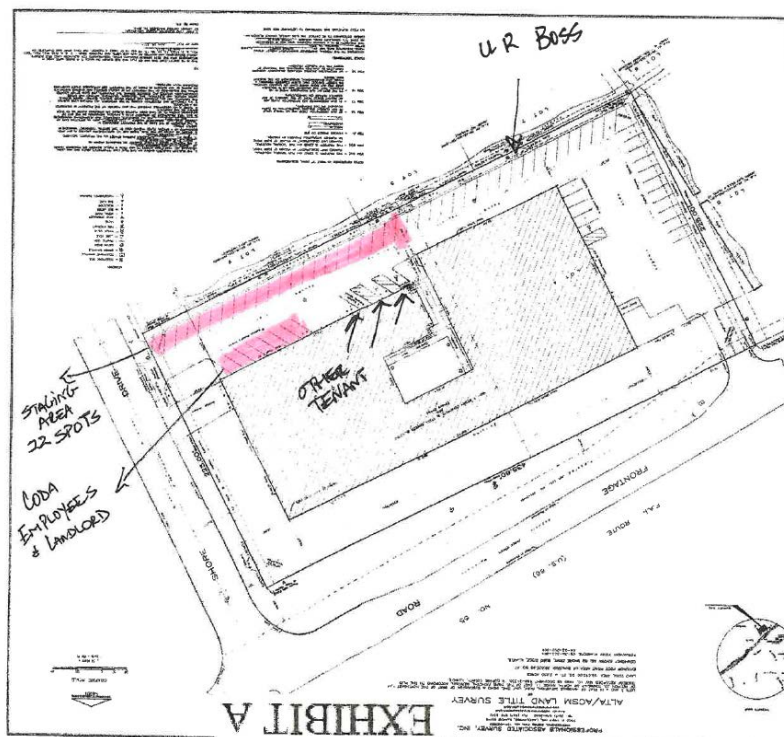
The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Joseph Naddaf of Coda Motors for an amendment to Ordinance #A-834-02-19, a special use for automobile sales, to expand the existing special use from 7,400 sq. ft. to 10,100 sq. ft. The petitioner is requesting an additional special use for outdoor, overnight storage of retail vehicles ancillary to a special use in accordance with Zoning Ordinance section X.F. The petition number and address of this petition is **Z-02-2023: 60 Shore Drive** and the Permanent Real Estate Index Numbers are **09-35-203-005-0000 and 09-35-203-004-0000.**

Public comment may be provided by individuals who physically attend the meeting at 7660 County Line Road, Burr Ridge, Illinois, 60527. All written public comment wishing to appear in the Plan Commission report shall be provided no later than Tuesday, April 25, 2023. All public comment may be emailed to Community Development Director Janine Farrell (jfarrell@burr-ridge.gov) or mailed to Ms. Farrell's attention at the address above. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

Greg Trzupek, Chairman

MEMBERS: GREG TRUZPEK, MIKE STRATIS, JIM BROLINE, BARRY IRWIN, JOSEPH PETRICH, ENZA PARRELLA, RICHARD MORTON, AND DEANNA MCCOLLIAN.



Petition materials are posted on the website in the link below:

https://www.burr-ridge.gov/government/boards_committees_commissions/plan_commissions_zoning_board_of_appeals/index.php

Burr Ridge homepage – Government – Boards, Committees, and Commissions – Plan Commission & Zoning Board of Appeals – Upcoming Public Hearing Petitions

The May 1, 2023 Plan Commission meeting agenda packet will be posted the Thursday before the meeting and will be available on the website here:

https://www.burr-ridge.gov/government/boards_committees_commissions/plan_commissions_zoning_board_of_appeals/agendas_minutes.php

Burr Ridge homepage – Government – Agendas & Minutes – Plan Commission & Zoning Board of Appeals

760 N FRONTAGE LLC
760 N FRONTAGE RD
WILLOWBROOK, IL 60527

7900 MADISON LLC
3100 DUNDEE RD
NORTHBROOK, IL 60062

8040 MADISON LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

ALCO SALES & SERVICE CO
6851 HIGH GROVE BLVD
BURR RIDGE, IL 60527

BARBARA HOLDING CO LLC
640 JOLIET RD.
WILLOWBROOK, IL 60527

BIRTCH, ERIC & JOANNE
7921 S MADISON
BURR RIDGE, IL 60527

BRONSON & BRATTON
240 SHORE DR
BURR RIDGE, IL 60527

BRONSON & BRATTON INC
220 SHORE DR
BURR RIDGE, IL 60527

CHICAGO TITLE 8002371582
150 SHORE DR
BURR RIDGE, IL 60527

COMPASS RE HOLDINGS LLC
15W580 FRONTAGE RD
BURR RIDGE, IL 60527

COMPLETE SUPPLY INC
16W281 79TH ST
HINSDALE, IL 60527

DONNAN REAL ESTATE I LLC
224 SHORE CT
BURR RIDGE, IL 60527

DRK REAL ESTATE INVEST
19W451 DEERPATH LN
LEMONT, IL 60439

EWM LLC
835 79TH ST
WILLOWBROOK, IL 60527

FERRIS MEDIA LLC
111 SHORE DR
BURR RIDGE, IL 60527

G2K LLC
109 SHORE DR
BURR RIDGE, IL 60527

GINGER, BETSY A
15 DEER PATH TR
BURR RIDGE, IL 60527

GUO, ZHENGANG
1413 WESLEY CT
WESTMONT, IL 60559

KARLYN BLDG JOINT VENTURE
9450 W BRYN MAWR APT. 550
ROSEMONT, IL 60018

KLING CORP
800 W 79TH ST
WILLOWBROOK, IL 60527

LA SALLE NATL 113122
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

LAYKO PROPERTIES
100 SHORE DR APT. 2
BURR RIDGE, IL 60527

LDD PROPERTIES LLC
16W020 79TH ST
BURR RIDGE, IL 60527

LEWANDOWSKI, DONALD E
14818 GREENVIEW RD
ORLAND PARK, IL 60462

LOMBARDI, ANNE
406 W 69TH ST
DARIEN, IL 60561

M.T. REAL ESTATE HOLDINGS
136 SHORE DR
BURR RIDGE, IL 60527

MBC 57 LLC
9450 BRYN MAWR AVE APT. 550
ROSEMONT, IL 60018

MC CAIG, KENT & CYNTHIA
815 79TH ST
WILLOWBROOK, IL 60527

PACKAGING DESIGN CORP
101 SHORE DR
BURR RIDGE, IL 60527

QSS REAL ESTATE LLC
1519 W 55TH ST
LA GRANGE, IL 60525

RANDOLPH PROPERTIES LLC
250 LAKELAND DR
PALOS PARK, IL 60464

RUSH TRUCK CENTERS OF IL
PO BOX 06019
CHICAGO, IL 60606

SCHOOL DISTRICT NO 62
7700 CLARENDON HILLS
WILLOWBROOK, IL 60527

SHORE 114 LLC
116 SHORE DR. UNIT 1
BURR RIDGE, IL 60527

SSC PROPERTY HOLDINGS INC
PO BOX 25025
GLENDALE, CA 91201

VIP MORGAN LLC
477 W WRIGHTWOOD AVE.
ELMHURST, IL 60126

WALKER, JOHN H.
15W765 80TH ST
BURR RIDGE, IL 60521

WILLOWBROOK 2012 LLC
50W580 N FRONTAGE RD
BURR RIDGE, IL 60527



May 22, 2023

Mayor Gary Grasso and Board of Trustees
7660 County Line Road
Burr Ridge, Illinois 60527

Re: PC-04-2023: 720-730 Village Center Dr. (Pella Restaurant); Minor Change to a PUD and Findings of Fact

Dear Mayor and Board of Trustees:

The Plan Commission transmits its recommendation to deny a request for a minor change to PUD Ordinance A-834-14-21. The petitioner, Pella Restaurant, seeks to paint the exterior façade of the tenant space located at 720-730 Village Center Dr.

The Plan Commission reviewed the request on April 17, 2023. Although it was not a public hearing, public comments were made by Kristy Tramontana, a representative of Village Center management, supporting the request. The original approved plans for the restaurant included renderings which did not indicate the façade being painted. The petitioner requested paint all exterior facades an off white color scheme and install additional awnings which were also not shown on the original approved plans. The Plan Commission unanimously denied this request, expressing concern over painting the brick, specifically the permeability of the paint and the maintenance required. The Commission stated that painting any of the existing brick was inconsistent with the look of the Village Center per the building materials that were originally reviewed and approved. The Plan Commission also expressed concern about the longevity of the restaurant and making permanent exterior changes specific to this tenant.

After the Plan Commission meeting, the petitioner altered the plans which were presented. The petitioner has removed some of the awnings or canopies, only proposing awnings over the main entrance on Village Center Drive which wrap around the side of the building on Lifetime Drive, terminating where the current off-white façade ends. There is one additional canopy over an entrance on Lifetime Drive which was not shown on the original 2021 approval. These awnings are flat, not meeting the 30 degree slope requirement in the Village Center PUD; the 2021 approval did show these flat style canopies. At the April 17, 2023 meeting, the Plan Commission did not support the additional awnings which were proposed along Village Center Drive; those have been removed from this current proposal.

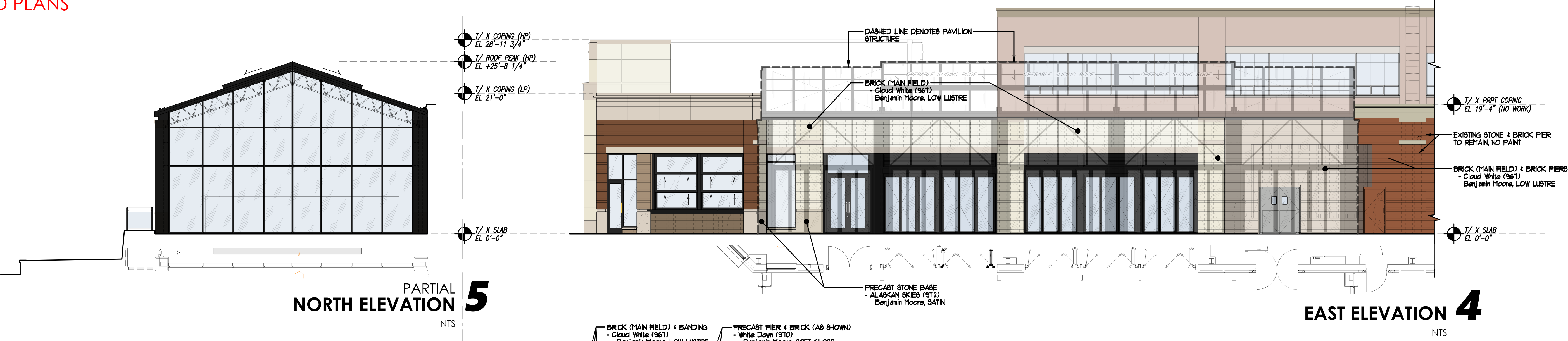
The petitioner has also altered the paint scheme. The portions of the building which are currently off-white along Village Center Drive and Lifetime Drive will be painted a similar hue. The petitioner will also be painting one additional section of the building which is now red brick along Village Center Drive (this is the shorter façade consisting of a single window to the north of the main entrance). The petitioner is also proposing to paint the inside of the new addition. This red brick will be painted an off-white color, matching the overall paint scheme for the front area. The existing red brick along Lifetime Drive will not be painted. At the April 17, 2023 meeting, the Plan Commission expressed support for painting the brick interior of the addition and only the portions of the building which were pre-cast.

Based on the above considerations, the Board may wish to remand the case back to the Plan Commission for review of the recently revised plans or move forward and direct staff to prepare an Ordinance accordingly.

Should the Board wish to approve the revised plans and direct staff to prepare the Ordinance, staff recommends that the following condition be added: The painting shall substantially comply with the plans as included in Exhibit A. Exhibit A is attached to this letter.

Sincerely,

Greg Trzupek, Chairman
Plan Commission/Zoning Board of Appeals



7345 West 100th Place
Suite 100
Bridgeview, IL 60455

hirambuilders.com
info@hirambuilders.com
tel (708) 852-5533

PELLA SIGNATURE

PROPOSED PAINT SCHEME

720 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

Drawing Name	PROPOSAL SP10.1	Drawing Date	2023.05.10
Sheet Number	SP10.1	Scale	NTS
Project Number	21200		
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VILLAGE OF BURR RIDGE

MEMORANDUM

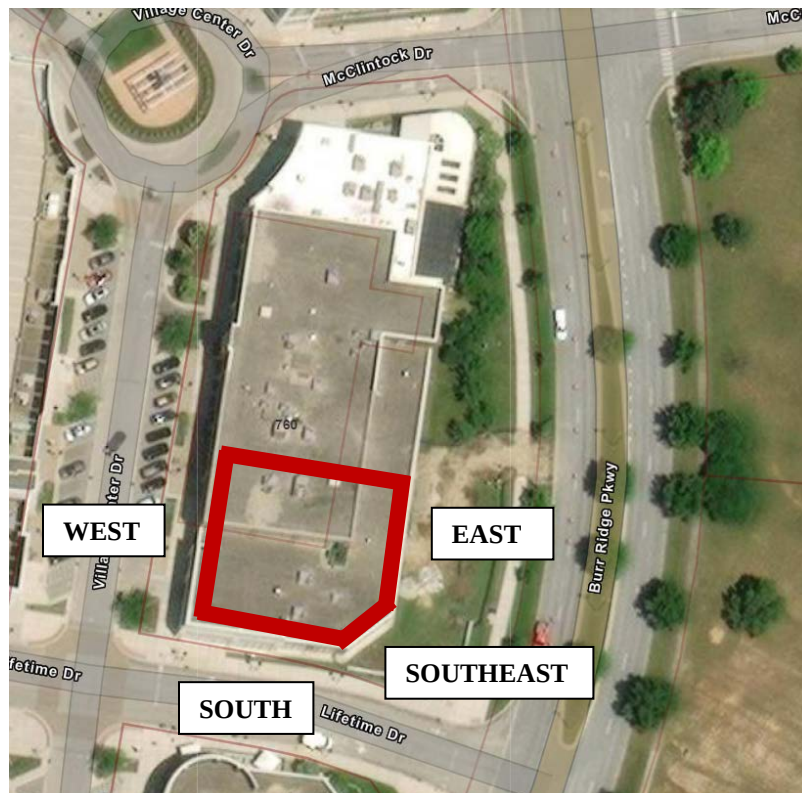
TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Janine Farrell, AICP
Community Development Director

DATE: April 17, 2023

RE: 720-730 Village Center Drive (Pella Restaurant)

Please find attached a request for a minor change to a Planned Unit Development, Ordinance #A-834-14-21 (Z-09-2021). In 2021, Pella Restaurant was approved for an amendment to the Village Center PUD (Ordinance #A-834-10-05) to permit the addition of a patio with an all-season room for outdoor dining. This addition was located to the east and southeast, along Burr Ridge Parkway. Within the approved documents from the August 23, 2021 Board meeting packet, renderings were submitted which appear to show only the main entrance façade along Village Center Drive (west) being painted, with the remaining facades remaining unpainted. The south façade was not included in the renderings.



Pella Restaurant outlined in red with the facades/elevations marked.



Renderings from the 2021 approval showing the west, east, and southeast facades.

In 2023, Pella Restaurant submitted their sign package to the Village for building permit approval. While the signs vary from the renderings shown, the signage complies with Village Center PUD requirements. During Plan Commission and Board review, signage is typically not considered unless it is part of the zoning requests. The building permit signage submittal package proposed the painting of all four facades of Pella Restaurant, not just the west/main entrance. As this was not shown in the approved plans, staff determined this to be a minor change to the PUD. Village Center ownership approved the plans, including painting of the facades and the selected paint colors.

Zoning Ordinance section XIII.L.8 discusses the procedures for major and minor changes to PUDs. “Major changes are those which alter the concept or intent of the planned unit development, including but not limited to increases in the density; increases in the height of buildings or structures; internal use of buildings and structures; reductions of proposed open space; a proposed change in the proportion of housing types; changes in standards of or alignment of roads, utilities, water, electricity, and drainage; or changes in the final governing ordinance.” Any action which does not fit under the major change is constituted as a minor change. The Plan Commission may disagree with this interpretation by staff and can recommend that the change be processed as a major change which requires a public hearing.

Zoning Ordinance section XIII.L.8.b outlines the minor change process: *The Plan Commission may, after review and consideration of minor changes which do not change the concept or intent of the development, recommend to the Village Board of Trustees such minor changes in the planned unit development as it deems appropriate without the requirement for further public hearings and without going through the "preliminary approval" steps, and the Village Board of Trustees shall then make such decision on the proposed minor change as it deems appropriate.*

Findings of Fact and Recommendation

Findings of Fact have been provided which the Plan Commission may adopt if in agreement with those findings. Should the Commission recommend approval of the request to consider a minor change to PUD Ordinance #A-834-14-21 (Z-09-2021) to paint all exterior restaurant facades, with Findings of Fact, staff recommends the following condition:

1. The painting shall substantially comply with the plans as included in Exhibit A.

Attachments

Exhibit A – Petitioner’s Materials

- Application
- Findings of Fact
- Plans

Exhibit B – Ordinance A-834-14-21 and original approved plans



VILLAGE OF BURR RIDGE

 PETITION FOR PUBLIC HEARING
 PLAN COMMISSION/ZONING BOARD OF
 APPEALS

RECEIVED

APR 07 2023

BURR RIDGE

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Eduardo MarquezSTATUS OF PETITIONER: Project Manager, Hiram Builders LLC & Pella Signature LLCPETITIONER'S ADDRESS: 7345 W 100th Place Bridgeview, IL 60455ADDRESS OF SUBJECT PROPERTY: 720 Village Center Drive Burr Ridge, IL 60527PHONE: (708) 309-2583EMAIL: eddie@hirambuilders.comPROPERTY OWNER: Kristy Tramontana C/O Edwards Realty
 PROPERTY OWNER'S ADDRESS: 701 Village Center Drive Burr Ridge, IL 60527
 PHONE: (630)654-2782

 PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

DESCRIPTION OF REQUEST:

Request to amend the existing plan commission approval as follows:

 - Continue the submitted paint scheme for Pella Signature, Permit #22-023
 as shown on documents dated 2023.03.13

- Sheet "SP9.A1.1" added to show Pavilion coverage of added painted surfaces

Minor PUD change g1

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: +/- 20 acres EXISTING ZONING: B-2 PUDEXISTING USE/IMPROVEMENTS: Multi-tenant developmentSUBDIVISION: Burr Ridge Village CenterPIN(S) # 18-30-300-045-0000 + 18-30-300-055-0000 g1

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

4/6/2023

Date of Filing



HIRAM BUILDERS LLC.

7345 West 100th Place • Suite 100 • Bridgeview, IL 60455 • 708.852.5533 • info@hirambuilders.com

Thursday, April 6, 2023

Janine Farrell
Community Development Director
Village of Burr Ridge
7660 County Line Rd
Burr Ridge, IL 60527

Hello Janine,

The following is the transcription of the Findings of Fact for a Planned Unit Development (PUD) Village of Burr Ridge Zoning Ordinance with our responses (colored in red). We hope that the Zoning Commission, along with Ms. Crystal Beach, Mr. Evan Walter, and others, find this small change to our previous approval insignificant enough that allows Pella Signature to create, and maintain a vibrant impact to the Burr Ridge Village Center and the Village of Burr Ridge itself. If anyone happens to have any questions, I welcome you to contact myself via email (eddie@hirambuilders.com) or via telephone (708.309.2583).

- a. In what respects the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations.

The proposed amendment provides consistent color scheme to reflect all exposed elevations to be painted same.

- b. The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

This paint scheme addition does meet the requirements and standards of approved paint schemes.

- c. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, area, bulk, and use, required improvements, construction and design standards and the reasons why such departures are or are not deemed to be in the public interest.

Not applicable



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- d. The extent of public benefit produced, or not produced, by the planned unit development in terms of meeting the planning objectives and standards of the Village. Any specific beneficial actions, plans or programs agreed to in the planned unit development proposal which are clearly beyond the minimum requirements of this Ordinance shall be specifically listed as evidence of justified bulk premiums and/or use exceptions.

Not applicable

- e. The physical design of the proposed plan and the manner in which said design does or does not make adequate provision for public services, provide adequate control over vehicular traffic, open space and further the amenities of light and air, recreation and visual enjoyment.

Propose paint scheme does not conflict with above concerns.

- f. The relationship and compatibility, beneficial or adverse, of the proposed plan to the adjacent properties and neighborhood.

The proposed paint scheme conforms to approved plan.

- g. The desirability of the proposed plan to the Village's physical development, tax base and economic well-being.

Not Applicable

- h. The conformity with the recommendations of the Official Comprehensive Plan as amended, and all other official plans and planning policies of the Village of Burr Ridge.

Not applicable

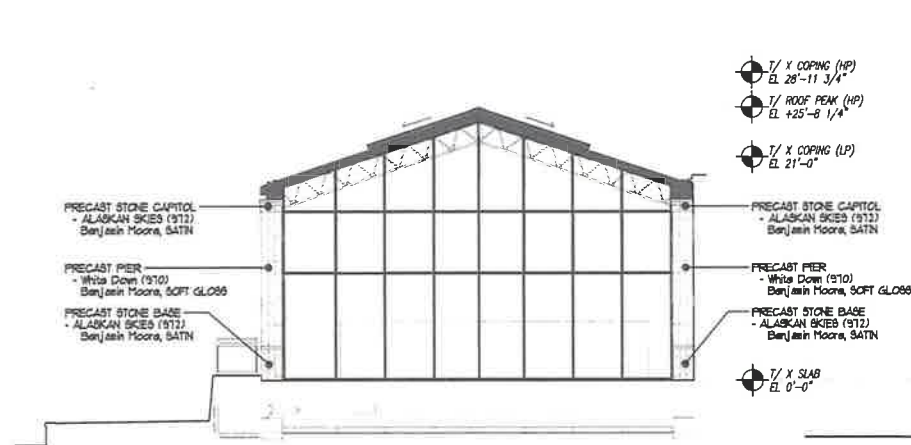
- i. Conformity with the standards set forth in Section XIII.L.7 of this Ordinance.

Conforms to overall paint scheme.

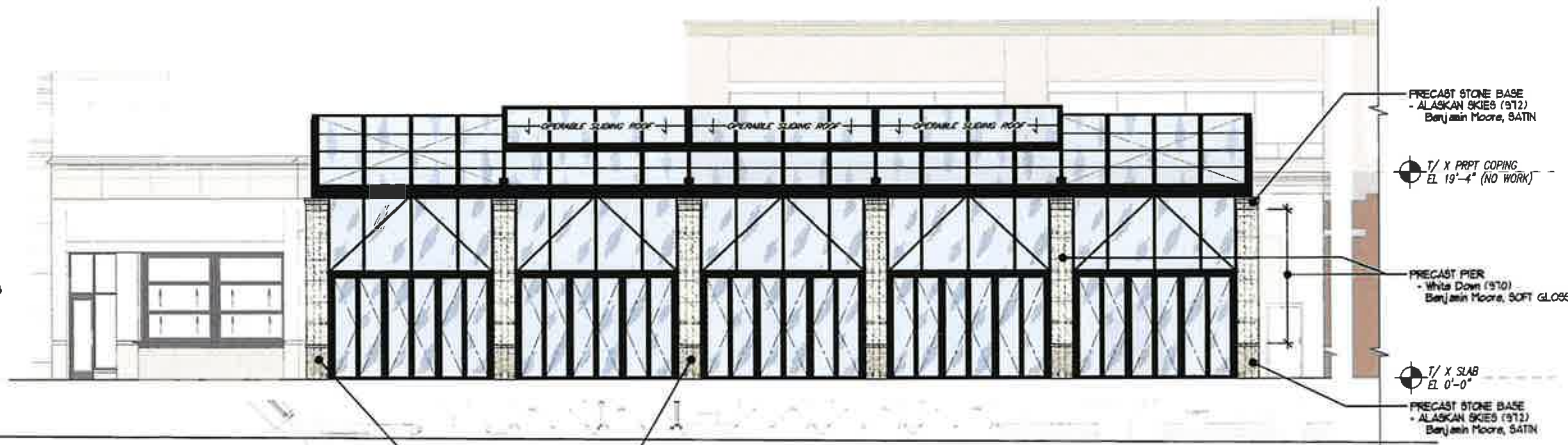
Best regards,

Eddie Marquez | Project Manager | eddie@hirambuilders.com

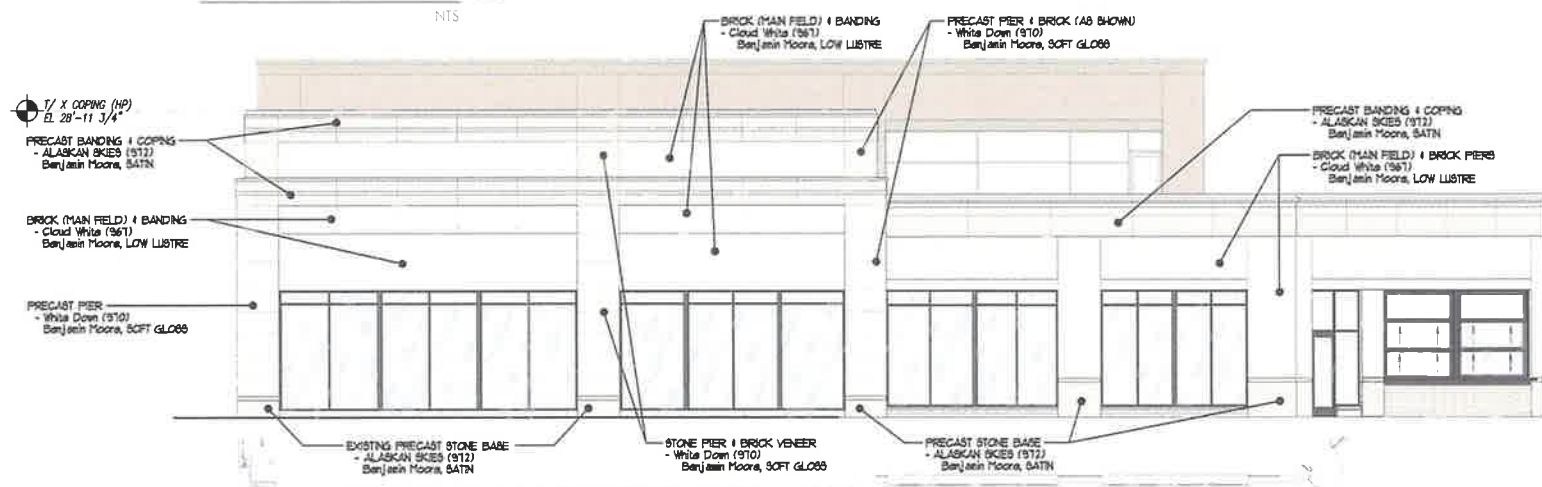




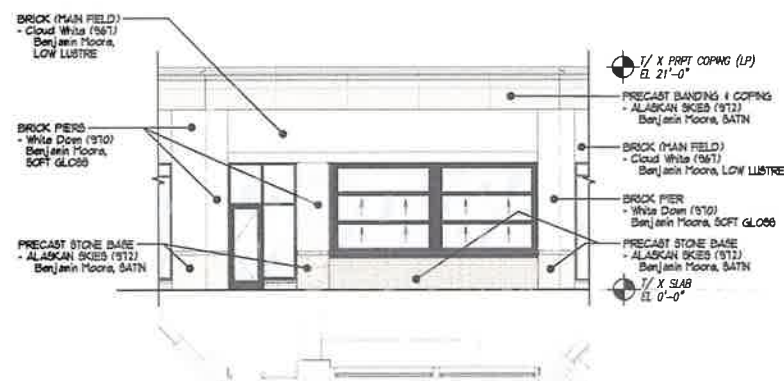
PARTIAL NORTH ELEVATION 5 NTS



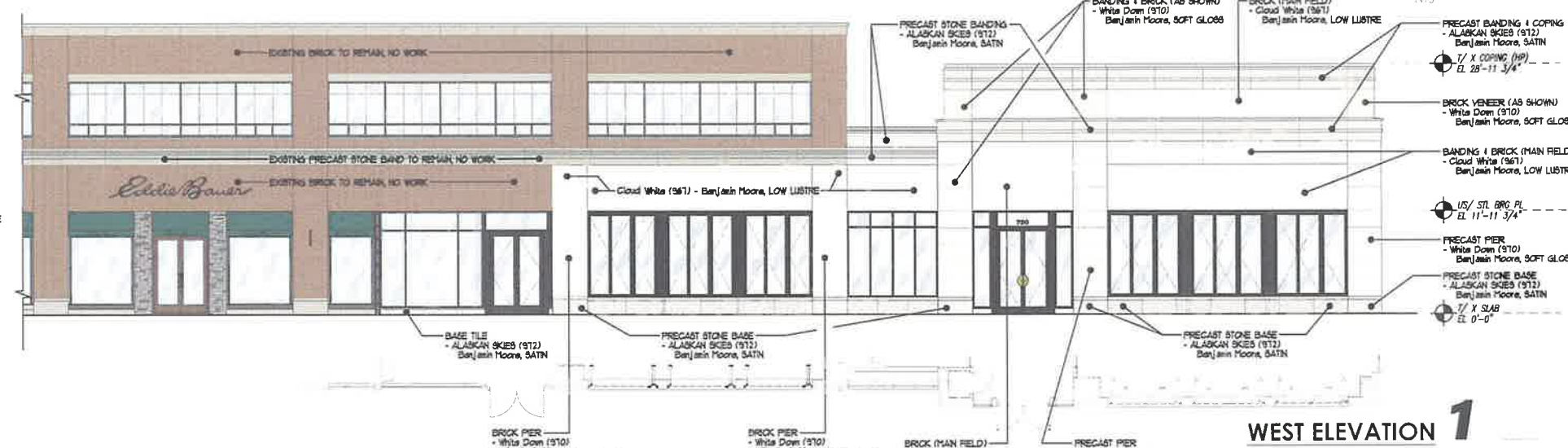
EAST ELEVATION 4 NTS



SOUTH ELEVATION 3 NTS



SOUTHEAST ELEVATION 2 NTS



WEST ELEVATION 1 NTS



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hirambuilders.com
info@hirambuilders.com
tel (708) 852-5533

PELLA SIGNATURE

PROPOSED PAINT SCHEME

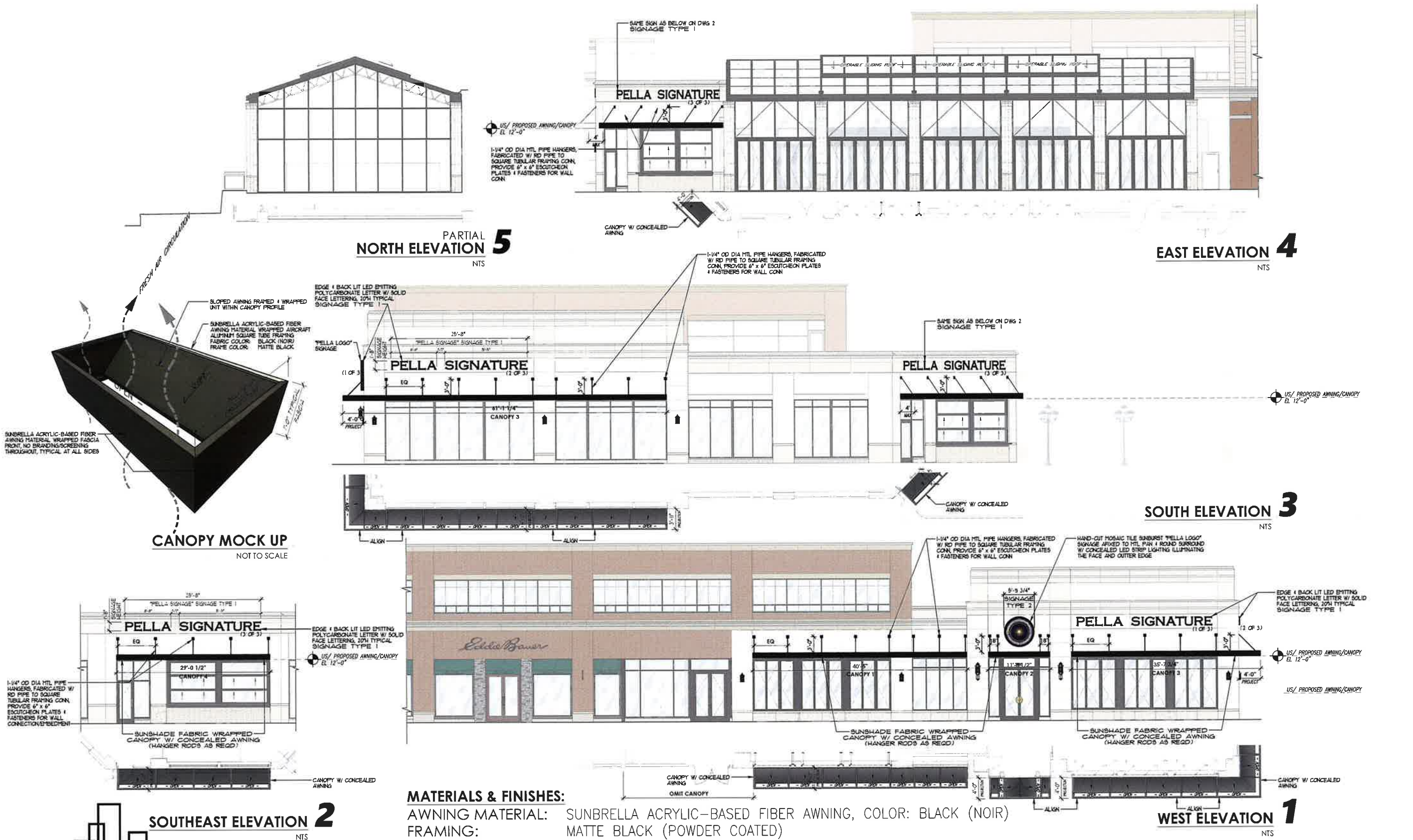
720 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

Drawing Name	Drawing Date
PROPOSED PAINTING	2023.04.06
Sheet Number	Scale
SP9.A1.1	NTS
	Project Number
	21200

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BUILDERS

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Suite 100
Bridgeview, IL 60455

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info@hirambuilders.com
tel (708) 852-5533

PELLA SIGNATURE

PROPOSED SIGNAGE & CANOPIES

720 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

Drawing Name	Drawing Date
PROPOSED PAINTING	2023.04.06
Sheet Number	Scale
SP9.A2	NTS
	Project Number
	21200

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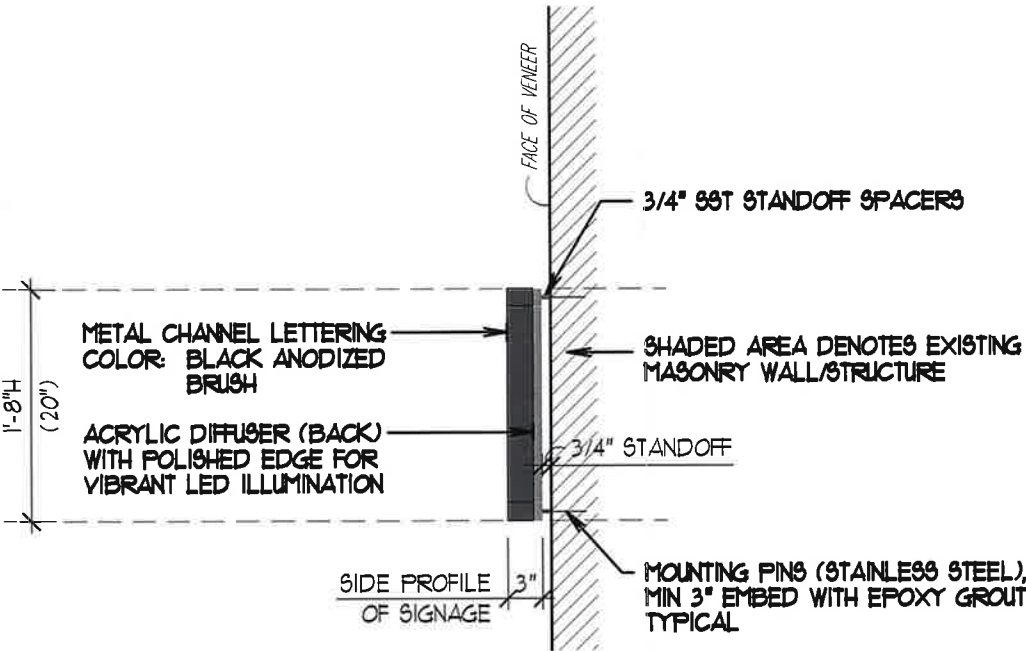
SIGNAGE TYPE 1

QUANTITY: 3
LOCATIONS: WEST, SOUTH, AND SOUTHEAST ELEVATIONS
SIZE: 1'-8" (20")H x 25'-8" (308")W | 43 SF PER SIGN | 129 SF TOTAL

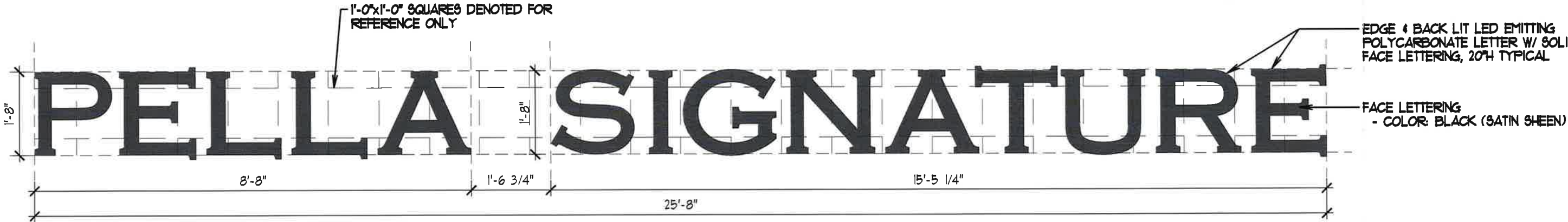
DESCRIPTION:
BRUSHED "COPPERPLATE GOTHIC LIGHT FONT" METAL CHANNEL LETTERS (SOLID FACE) OVER ACRYLIC DIFFUSER WITH POLISHED EDGE, EDGE TO BE ILLUMINATED FROM INTERIOR FACE OF LETTER STROKES, ILLUMINATION TO BE WHITE (4,000K) IN COLOR.

- SHALL NOT REQUIRE RACEWAY
- SHALL NOT BE OF COLORED LIGHT
- SHALL NOT BE BLINKING, FLUCTUATING, OR MOVING

LETTERS:			(required to complete three signs)		
A x6	L x6	S x3			
E x6	N x3	T x3			
G x3	P x3	U x3			
I x3	R x3				



SIDE ELEVATION
SIGNAGE TYPE 1 **1B**
NTS



FRONT ELEVATION
SIGNAGE TYPE 1 **1A**
NTS



7345 West 100th Place
Suite 100
Bridgeview, IL 60455

hirambuilders.com
info@hirambuilders.com
tel (708) 852-5533

PELLA SIGNATURE

SIGNAGE TYPES, SIZES, & PAINT

720 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

Drawing Name	Drawing Date
SIGNAGE DESIGN EXHIBIT	2023.03.13
Sheet Number	Scale
SP9.A3	AS NOTED
	Project Number
	21200

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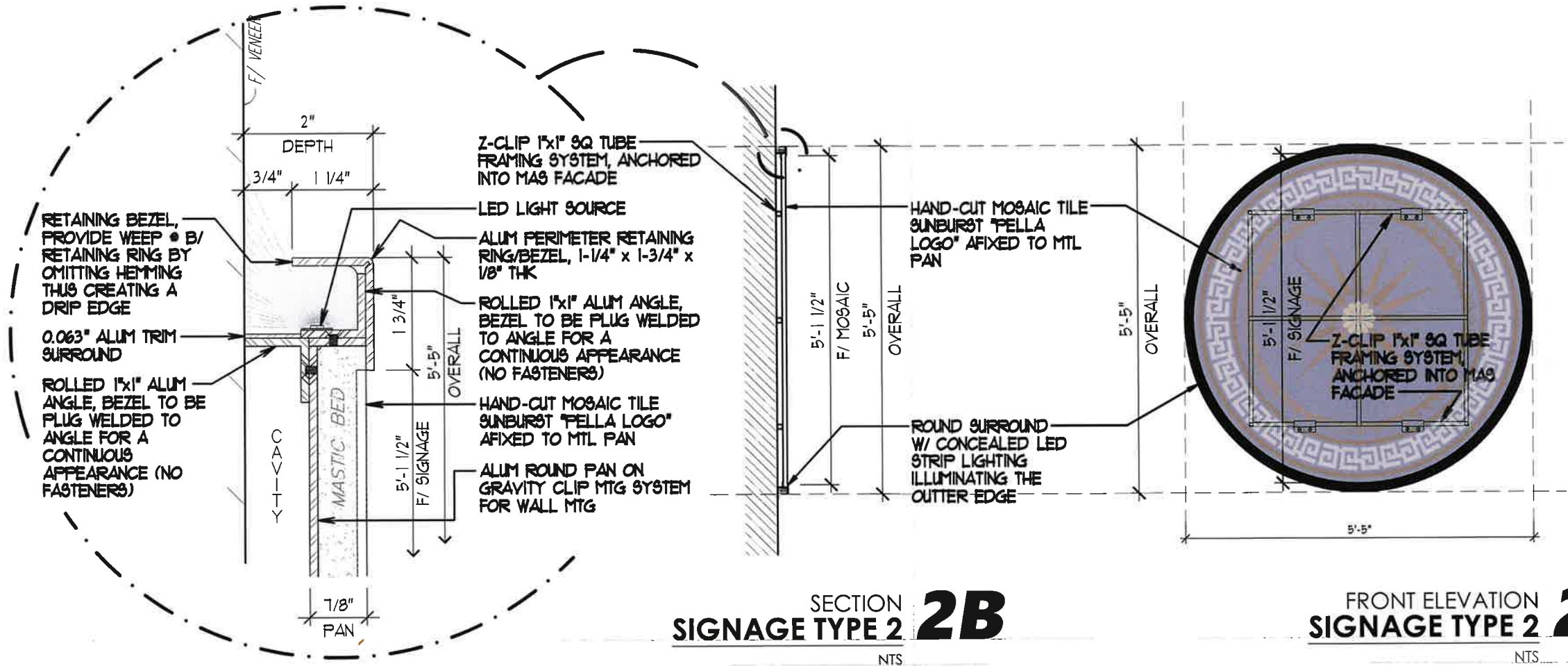
SIGNAGE TYPE 2

QUANTITY: 1
LOCATIONS: WEST ELEVATION
SIZE: 5'-5" (65")H x 5'-5" (65")W | 30 SF

DESCRIPTION:

LOGO SIGNAGE TO BE FABRICATED FROM AIRCRAFT ALUMINUM WITH A FINAL PAINTED FINISH, COLOR: "FREEDMAN BLACK" WITH A SATIN SHEEN. THE HAND-CUT MOSAIC TILE SUNBURST "PELLA LOGO" CENTER TO BE AFIXED TO THE SIGN FRAMING. MOUNTING BRACKETS TO BE CONCEALED, LED AT PERIMETER FOR EDGE HALO EFFECT ONLY.

- SHALL NOT REQUIRE RACEWAY
- SHALL NOT BE OF COLORED LIGHT
- SHALL NOT BE BLINKING, FLUCTUATING, OR MOVING



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Suite 100
Bridgeview, IL 60455

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PELLA SIGNATURE

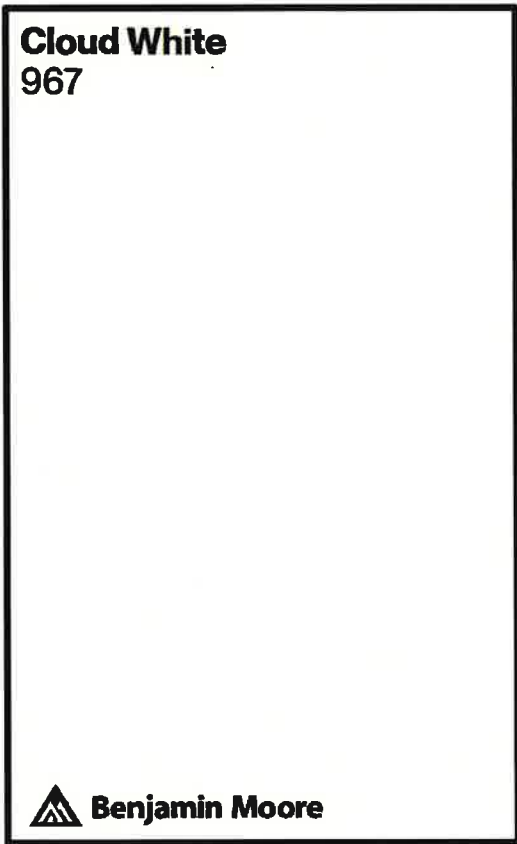
SIGNAGE TYPES, SIZES, & PAINT
720 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

Drawing Name	Drawing Date
SIGNAGE DESIGN EXHIBIT	2023.03.13
Sheet Number	Scale
SP9.A.4	AS NOTED
Project Number	21200

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PRELIMINARY PLAN FOR INFORMATIONAL PURPOSES ONLY. NOT TO BE ASSUMED AS ACCURATE FIELD CONDITIONS. FINAL LAYOUT MAY VARY.

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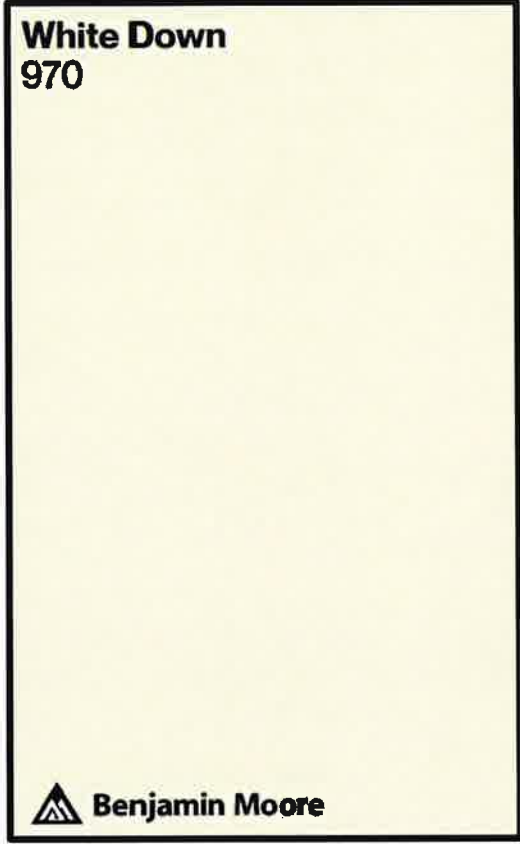


MAIN FIELD COLOR

COLOR NAME: WHITE DOWN
COLOR CODE: 967
PAINT SHEEN: LOW LUSTRE

"A go-to neutral that can refresh a space, while providing a warm, welcoming feeling." - BenjaminMoore.com

"Flat is good at hiding surface imperfections and delivers beautiful color." - BenjaminMoore.com

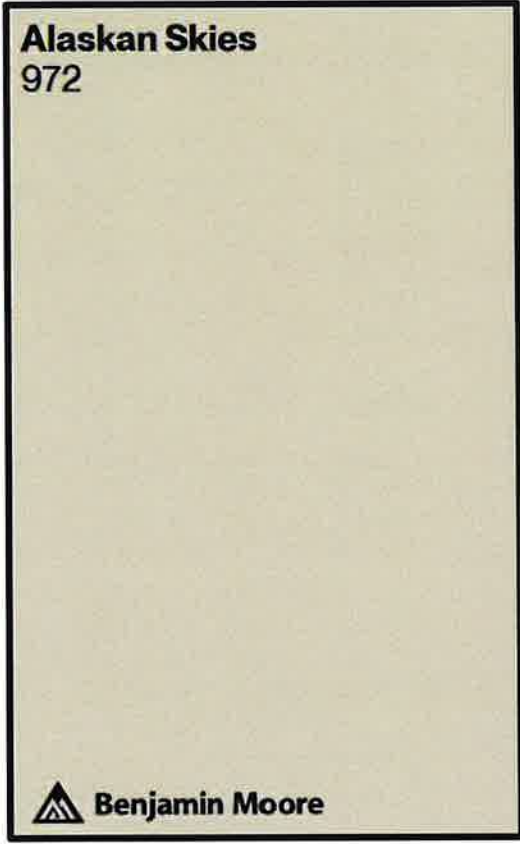


STONE & COLUMNS

COLOR NAME: WHITE DOWN
COLOR CODE: 970
PAINT SHEEN: SOFT GLOSS

"The barest greige undertone gives this cozy white its feathery softness." - BenjaminMoore.com

"Semi-Gloss is more moisture resistant and easier to clean." - BenjaminMoore.com



STONE BASE & BANDS

COLOR NAME: ALASKAN SKIES
COLOR CODE: 972
PAINT SHEEN: SATIN

"A go-to neutral that can refresh a space, while providing a warm, welcoming feeling." - BenjaminMoore.com

"Satin stays cleaner and stands up to abrasion better than Flat." - BenjaminMoore.com



7345 West 100th Place
Suite 100
Bridgeview, IL 60455
hirambuilders.com
info@hirambuilders.com
tel (708) 852-5533

PELLA SIGNATURE
SIGNAGE TYPES, SIZES, & PAINT
720 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

Drawing Name	Drawing Date
PAINT SCHEME EXHIBIT	2023.03.13
Sheet Number	Scale
SP9.A5	AS NOTED
	Project Number
	21200

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EXHIBIT B

ORDINANCE NO. A-834-14-21

AN ORDINANCE GRANTING AN AMENDMENT TO PUD ORDINANCE #A-834-10-05 TO PERMIT THE ADDITION OF A PATIO WITH AN ALL-SEASON ROOM TO ACCOMMODATE OUTDOOR DINING

(Z-09-2021: 720-730 Village Center Drive - Kostandinov)

WHEREAS, an application for special use approval for certain real estate has been filed with the Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use approvals on July 19, 2021 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a PUD Amendment, including its findings and recommendations, to this Mayor and Board of

Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of special use approvals indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 720-730 Village Center Drive, Burr Ridge, Illinois, is Alexander Kostandinov (hereinafter "Petitioner"). The Petitioner requests an amendment to Ordinance #A-834-10-05 to amend the outdoor space use adjacent to Building 4 of the Village Center to add a patio with a permanent/retractable awning to accommodate outdoor dining.
- B. That the restaurant is in a shopping center with a variety of commercial tenants including other restaurants.
- C. That the subject property can support the installation of a patio with an auxiliary structure.

Section 3: That special use approval for a PUD amendment *is hereby granted* for the property commonly known as 720-730 Village Center Drive and identified by the Permanent Real Estate Index Numbers of 18-30-300-045-0000 and 18-30-300-055-1001.

Section 4: That the PUD amendment is subject to the following terms and conditions:

1. The amendment for a restaurant to add a patio to accommodate outdoor seating shall be made to Alexander Kostandinov and his business partners of Pella Restaurant and shall not be transferable to any other party.
2. The special use shall substantially comply with the submitted site plans including but not limited to the number of seats, location of the awnings, etc.
3. The hours of operation shall be until 1am for indoor dining and bar areas and 11pm for outdoor dining and bar areas. Any area labeled as "indoor/outdoor" must cease service to the outdoor portion at 11pm. "Outdoor dining areas" shall be defined as the areas defined as "retractable open terrace dining area" and "open terrace area" on the petitioner's submitted site plan.
4. Sound originating from the restaurant shall be kept to a level so as not to be audible from residential units.
5. Tables shall be cleaned promptly following use.
6. Furniture and umbrellas shall be weighted to prevent their movement in the wind.
7. Outdoor food preparation, storage, or display is prohibited.
8. Additional landscaping shall be added on the perimeter of the patio under a plan approved by staff.
9. No pots shall be permitted as decorative features on the roof of the retractable structure.
10. Brick masonry matching the existing Village Center buildings shall be added whenever possible as cladding on the retractable structure.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as

required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 23rd day of August, 2021, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

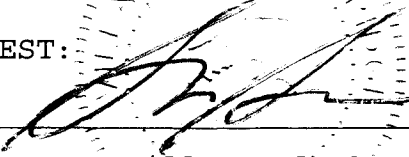
AYES: 6 - Trustees Franzese, Mital, Smith, Schiappa,
 Paveza, Snyder

NAYS: 0 - None

ABSENT: 0 - None

APPROVED by the Mayor of the Village of Burr Ridge on this 23rd day of August, 2021.

ATTEST:



Village Clerk



Mayor



ARCHITECTURE * ENGINEERING * CONSTRUCTION

3 Fifty-Fifth Street
Oshkosh, Wisconsin 53141

tel: (262) 818-4620
e-mail: tonyg@tgar.biz

PELLA RESTAURANT

720 VILLAGE CENTER DRIVE
BURR RIDGE, IL 60527
AUGUST 11, 2021

GENERAL NOTES

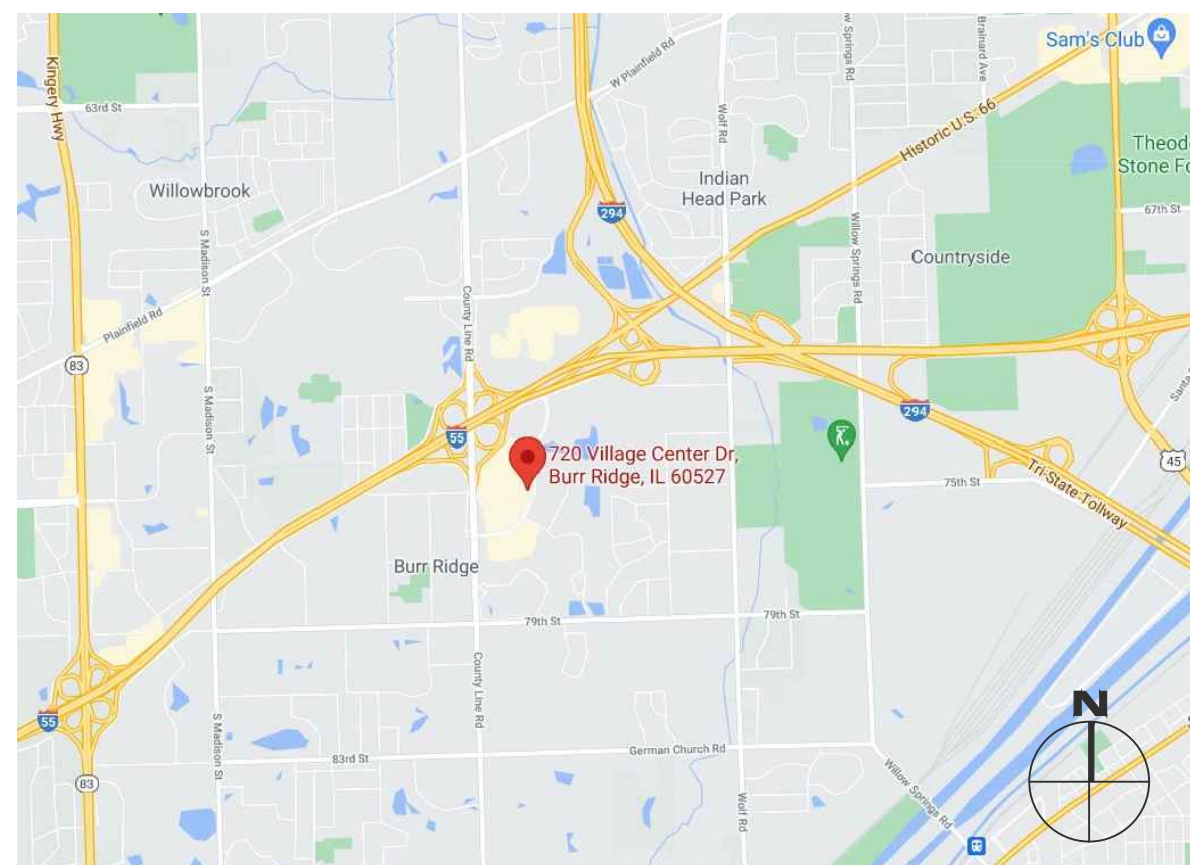
1. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS & DIMENSIONS.
2. EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.
4. UNLESS NOTED OTHERWISE (UND) ALL DETAILS SHOWN ARE TO BE CONSIDERED TO BE TYPICAL.
5. ALL WORK SHALL BE IN COMPLIANCE W/ STATE & LOCAL CODES FOR RESPECTIVE TRADES.

APPLICABLE CODES

VILLAGE OF BURR RIDGE
ADOPTED CODES:

2012 INTERNATIONAL BUILDING CODE
2012 ENERGY CONSERVATION CODE
2012 INTERNATIONAL FIRE CODE
2011 NATIONAL ELECTRIC CODE
2012 LIFE SAFETY CODE
LATEST MANDATED EDITION OF
ILLINOIS ACCESSIBILITY CODE
2012 INTERNATIONAL EXISTING BUILDING CODE
VILLAGE OF BURR RIDGE BUILDING ORDINANCE
VILLAGE OF BURR RIDGE ZONING ORDINANCE
VILLAGE OF BURR RIDGE
MUNICIPAL CODE, CHAPTER 8

VICINITY MAP



CONSULTANTS

OWNER: R.A.P. PROPERTIES
13965 W BURLEIGH RD, SUITE 10
BROOKFIELD, WI 53005
262-505-6650

ARCHITECT: TGAR GROUP, INC.
1213 55TH STREET
KENOSHA, WI 53140
ATTN.: TONY GARZA
(262) 818-4620
EMAIL: TONYG@TGAR.BIZ

SHEET INDEX

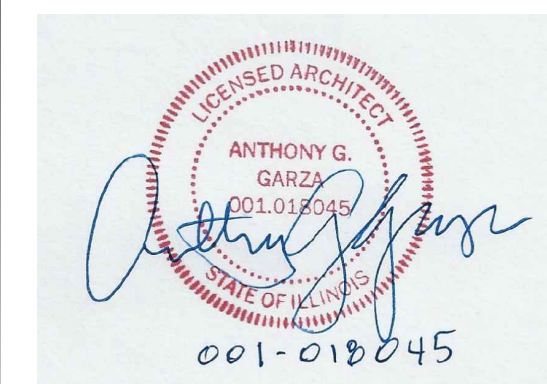
ARCHITECTURAL	
T1	TITLE SHEET
A0.0	SITE PLAN
A1.0	DEMO PLAN
A2.0	FLOOR PLAN
A3.0	ELEVATIONS
RENDERING 1	
RENDERING 2	
RENDERING 3	



TGAR GROUP, Inc.

ARCHITECTURE · ENGINEERING · CONSTRUCTION
DESIGN BUILD

I hereby certify under oath that these plans (see sheet list below) were prepared by me or under my direct supervision, that I am familiar with the codes and ordinances of the Village of Burr Ridge, and to the best of my knowledge these plans comply with the Building Ordinance, Zoning Ordinance and other applicable codes and ordinances of the Village of Burr Ridge, Illinois. This certification is to include every sheet listed above under "Sheet Index."



Anthony G. Garza
Architect

PELLA RESTAURANT

720 VILLAGE CENTER
BURR RIDGE, IL

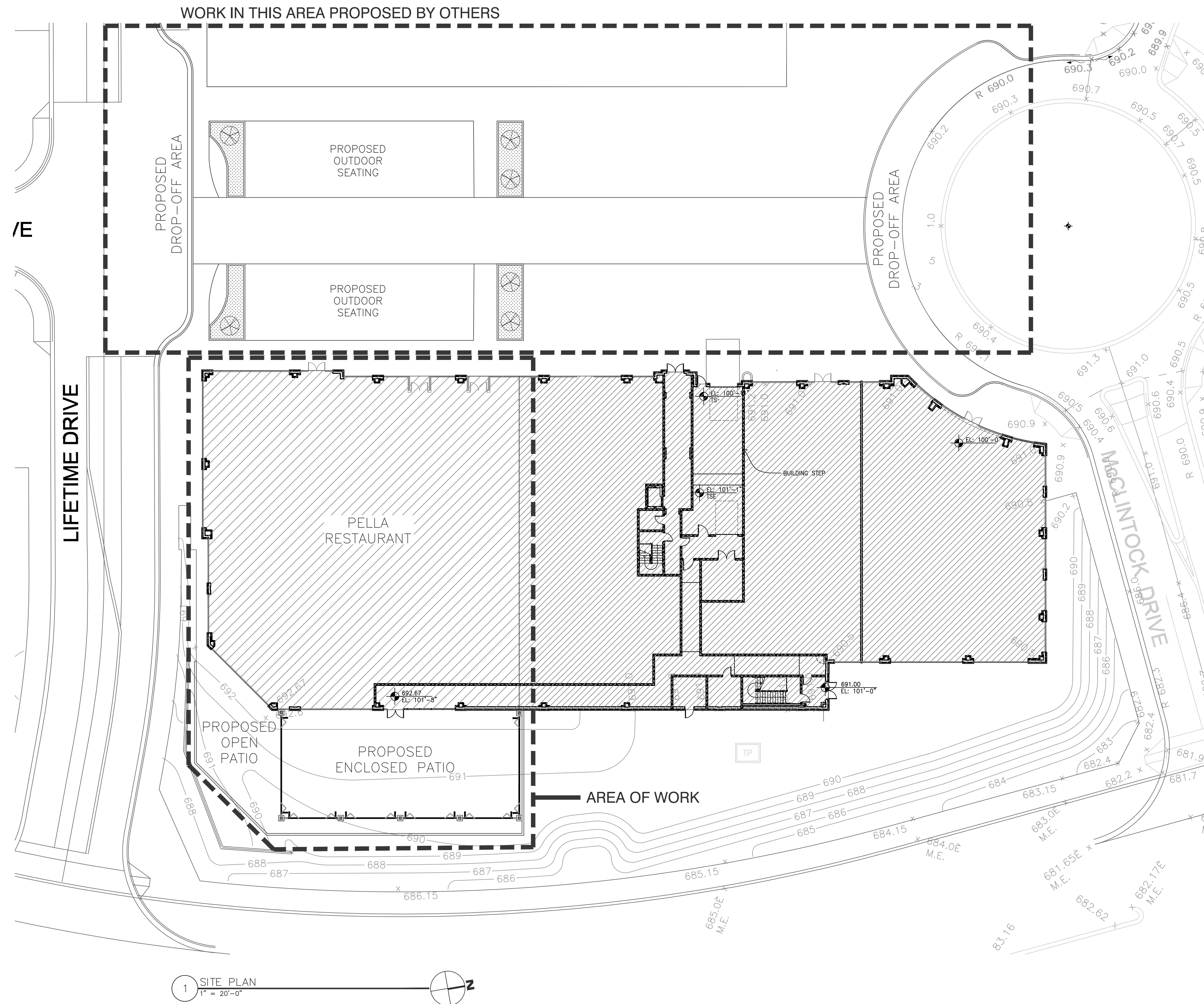
PRINCIPAL IN CHARGE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED: _____ DATE: 08/11/2021

TITLE SHEET

SCALE: NO SCALE

PROJECT NO.
22120

SHEET NO.:
1





TGAR

TGAR GROUP, Inc.

ARCHITECTURE * ENGINEERING * CONSTRUCTION

1213 Fifty-Fifth Street
Kenosha, Wisconsin 53140

Ph.: (262) 818-4620
-mail: tonyg@tgar.biz

E-mail: tonyg@tgar.biz

DEMOLITION NOTES

- REVIEW WITH OWNER ALL SALVAGEABLE COMPONENTS BEING REMOVED PRIOR TO DISCARDING OR REMOVING MATERIALS.
- COORDINATE ALL CAPPING OF MISCELLANEOUS SYSTEMS WHICH END AT FIXTURES, WALLS, OR CEILINGS TO BE REMOVED. CAPPING SHALL BE COMPLETED IN SUCH A MANNER THAT WILL NOT INTERFERE WITH NEW WORK OR BE VISIBLE IN FINISHED SPACES.
- COORDINATE REMOVAL, RELOCATION, AND REROUTING (AS REQUIRED) OF ALL MECHANICAL OR ELECTRICAL PIPES, CONDUTS, VENTS, CONTROLS, ETC., WHICH ARE LOCATED IN WALLS, FLOORS, OR CEILINGS TO BE REMOVED.
- REMOVE ALL EXISTING WALL MOUNTED ITEMS NOT REQUIRED
- PATCH HOLES TO MATCH EXISTING CONDITIONS PRIOR TO PAINTING.
- ALL CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING A BID, IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS WILL CONFLICT WITH WORK UNDER THIS CONTRACT. CONTACT ARCHITECT / G.C. BEFORE REMOVING THE ITEM.
- SHORE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM DEMOLITION WORK.
- NOTIFY ARCHITECT OF ANY CONDITION THAT MAY PROVE TO BE DETRIMENTAL TO THE STRUCTURE DURING THE DEMOLITION PHASE.

LEGEND

 EXISTING WALL

 NEW WALL

DEMO WALL



NEW DOOR

NEW DOOR

 EXISTING DOOR

EXISTING DO

[illegible]

COMMENTS

DATE _____

PELLA RESTAURANT

720 VILLAGE CENTER
BURR RIDGE IL.

PRINCIPAL IN CHARGE:

DESIGNED BY

DRAWN BY:

CHECKED BY:

DATE:08/11/2021

SHEET DESCRIPTION

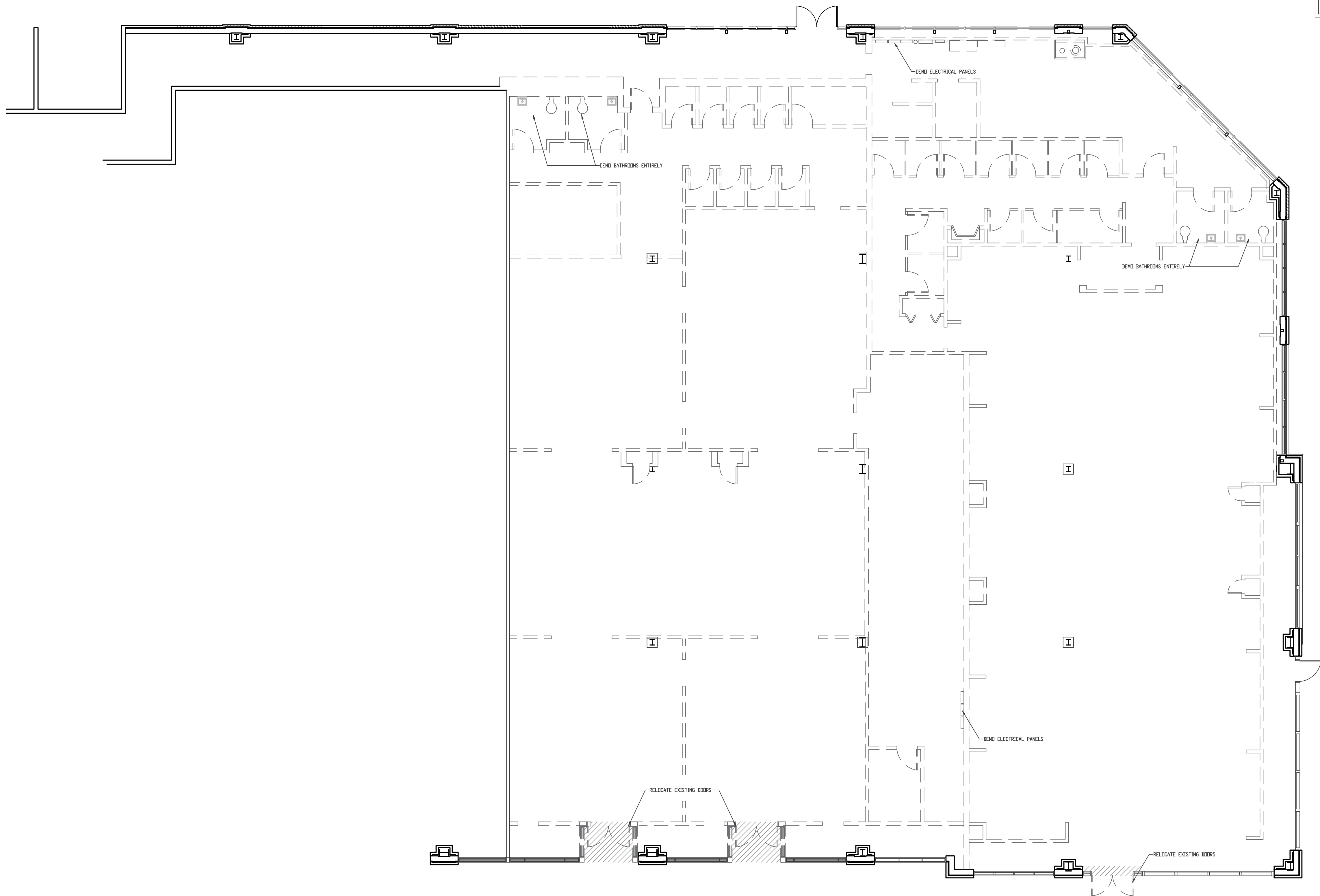
DEMO PLAN

SCALE: 1/8"=1'-0"

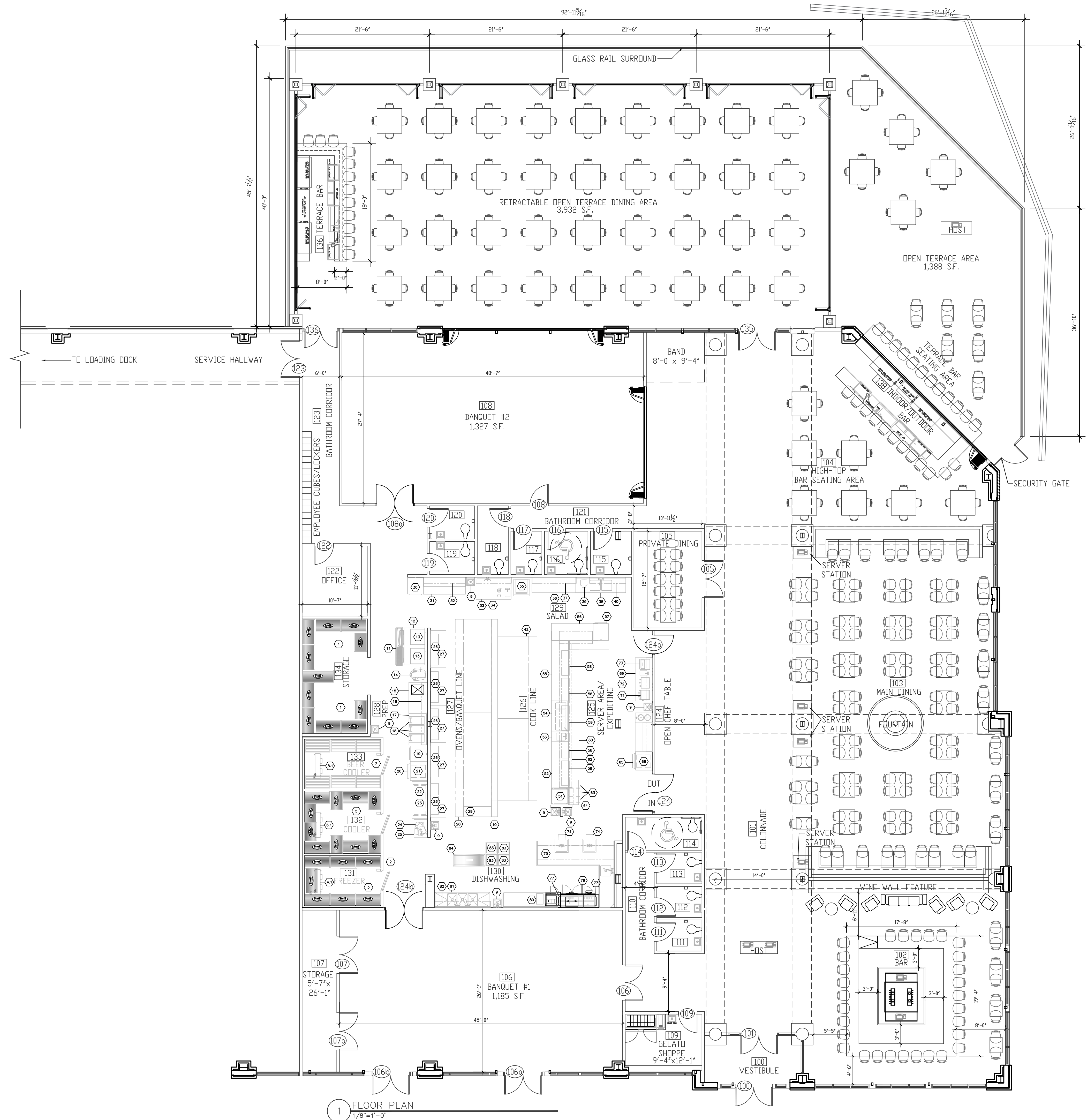
PROJECT NO.

SHEET NO.:

A10



1 DEMO PLAN
1/8"=1'-0"

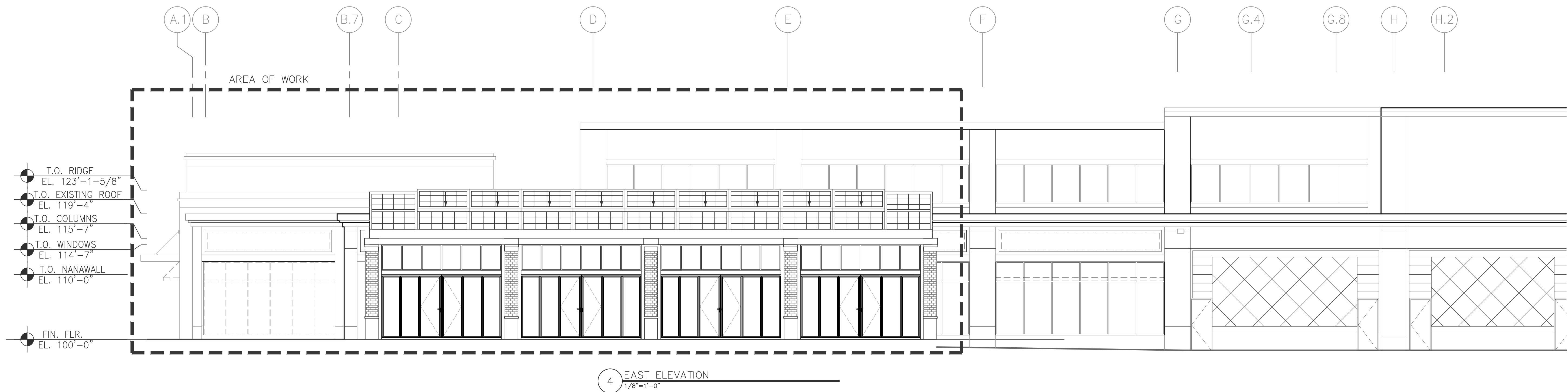
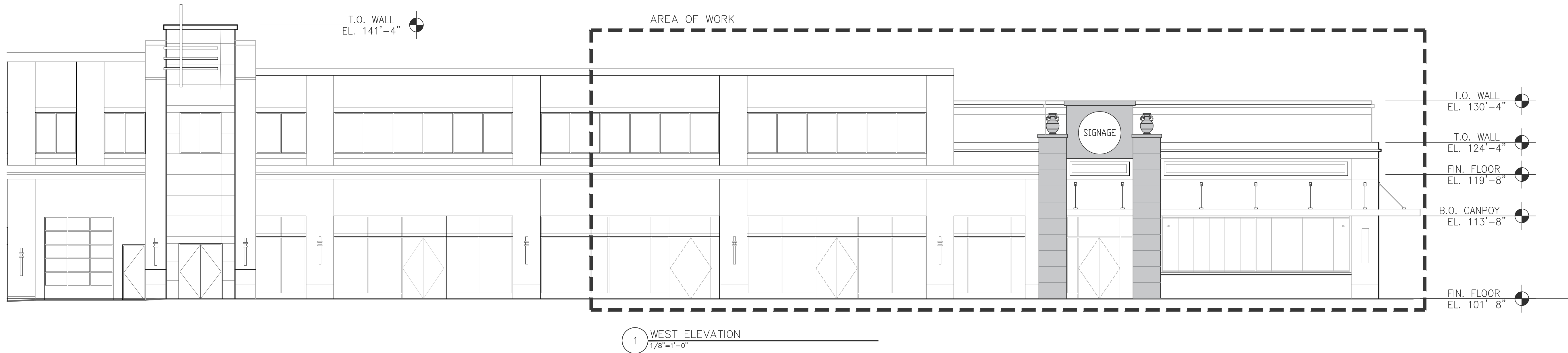




TGAR GROUP, Inc.

ARCHITECTURE * ENGINEERING * CONSTRUCTION

DESIGN BUILD
1213 Fifty-Fifth Street
Kenosha, Wisconsin 53140
Ph: (262) 818-4620
E-mail: tonyg@tgar.biz



COMMENTS

DATE

PELLA RESTAURANT

720 VILLAGE CENTER
BURR RIDGE IL.

PRINCIPAL IN CHARGE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED: DATE:08/11/2021
SHEET DESCRIPTION

ELEVATIONS

SCALE: 1/8"=1'-0"

PROJECT NO.:

SHEET NO.:

A3.0



RENDERING 1 - VILLAGE CENTER ENTRANCE



RENDERING 2 - PATIO



RENDERING 3 - PATIO REAR VIEW

VILLAGE OF BURR RIDGE

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 5/22/2023

PAYMENT DATE: 5/24/2023

FISCAL 22-23

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 108,943.43	\$ 108,943.43
23	Hotel/Motel Tax Fund	6,871.69	6,871.69
31	Capital Improvements Fund	54,938.24	54,938.24
51	Water Fund	282,633.08	282,633.08
52	Sewer Fund	248.85	248.85
	TOTAL ALL FUNDS	<u>\$ 453,635.29</u>	<u>\$ 453,635.29</u>

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User: asullivan
DB: Burr Ridge

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 04/30/2023 - 04/30/2023
UNJOURNALIZED
OPEN

Page: 1/4

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 1010 Boards & Commissions					
10-1010-80-8025	Background on Richard Barker	Gold Shield Detective Ager	03/26/23	2082	1,075.00
10-1010-80-8025	Polygraphs	Kevin W. Shaughnessy	02/15/23	0223-0001	770.00
Total For Dept 1010 Boards & Commissions					1,845.00
Dept 2010 Administration					
10-2010-40-4042	2023 April Conference Meeting	DuPage Mayors & Manager Cc	04/28/23	11672A	40.00
10-2010-50-5030	Burr Ridge Non Public Safety Cel	AT&T Mobility	04/25/23	287310366548X0503202	640.33
10-2010-50-5030	Burr Ridge Public Safety Cell Ph	AT&T Mobility	04/25/23	287309346353X0503202	120.54
Total For Dept 2010 Administration					800.87
Dept 4010 Finance					
10-4010-50-5020	Consulting WE 04/23 & 04/30/23	GovTemps USA, LLC	05/04/23	4174383	3,235.05
Total For Dept 4010 Finance					3,235.05
Dept 4020 Central Services					
10-4020-50-5050	Copier Maintenance/Toner - Admin	Canon Solutions America, I	04/30/23	6004131205	91.60
Total For Dept 4020 Central Services					91.60
Dept 4040 Information Technology					
10-4040-70-7000	Falcon - Flock Cameras	Flock Safety	01/06/23	7938	3,125.00
10-4040-70-7082	Board Room Broadcast Updates	Telvue Corporation	03/23/23	16677	15,960.50
Total For Dept 4040 Information Technology					19,085.50
Dept 5010 Police					
10-5010-40-4032	Initial Allowance - Tim Andersen	JG Uniforms, Inc.	04/28/23	114059	62.00
10-5010-40-4032	E02268 Bates GX8 boots	Ray O'Herron	05/05/23	2269343	138.18
10-5010-40-4032	Uniform Allowance Copp	Ray O'Herron	05/05/23	2269345	174.99
10-5010-40-4032	Uniform Allowance Murphy	Ray O'Herron	05/05/23	2269347	22.98
10-5010-40-4032	Uniform Allowance Murphy	Ray O'Herron	05/05/23	2269347	8.25
10-5010-40-4032	Uniform Allowance Murphy	Ray O'Herron	05/05/23	2269347	94.71
10-5010-40-4032	Uniform Allowance Murphy	Ray O'Herron	04/21/23	3154630	125.94
10-5010-40-4042	Handgun Skills Training	North East Multi-Regional	04/13/23	323740	300.00
10-5010-50-5020	Comprehensive Searches & Reports	LexisNexis Risk Solutions	03/31/23	1267894-20230331	1,282.15
10-5010-50-5020	Comprehensive Searches & Reports	LexisNexis Risk Solutions	04/30/23	1267894-20230430	1,436.10
10-5010-50-5051	Car Washes PD	Fuller's Car Wash	04/30/23	9352	221.00
10-5010-60-6040	IC015 Safetec Deluxe PPE Kits	Gall's Inc.	02/28/23	023706310	435.60
10-5010-60-6040	Shipping	Gall's Inc.	02/28/23	023706310	24.01
10-5010-60-6040	FE898 Survival Throw Bag	Gall's Inc.	03/01/23	023720848	459.00
10-5010-60-6040	Shipping	Gall's Inc.	03/01/23	023720848	25.20
10-5010-60-6040	FE898 Survival Throw Bag	Gall's Inc.	03/01/23	023720881	91.80
10-5010-60-6040	Shipping	Gall's Inc.	03/01/23	023720881	5.10
Total For Dept 5010 Police					4,907.01
Dept 6010 Public Works					
10-6010-40-4032	Uniform Allowance Just	Blain Supply, Inc.	04/21/23	8979	182.85
10-6010-50-5030	Burr Ridge Non Public Safety Cel	AT&T Mobility	04/25/23	287310366548X0503202	560.68
10-6010-50-5030	Burr Ridge Public Safety Cell Ph	AT&T Mobility	04/25/23	287309346353X0503202	1,412.73
10-6010-50-5035	Classified Listings	Chicago Tribune	04/30/23	072230549000	105.19
10-6010-50-5051	Car Wash PW	Fuller's Car Wash	04/30/23	9349	17.00
10-6010-50-5052	VH Special Service Clean Windows	Best Quality Cleaning, LLC	04/28/23	45795	750.00
10-6010-50-5052	VH Clean Chairs	Best Quality Cleaning, LLC	04/28/23	45795	1,392.00
10-6010-50-5052	VH Clean Blinds	Best Quality Cleaning, LLC	04/28/23	45795	475.00
10-6010-50-5052	VH Clean/Wax Tile	Best Quality Cleaning, LLC	04/28/23	45795	1,250.00

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User: asullivan
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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 04/30/2023 - 04/30/2023

Page: 2/4

UNJOURNALIZED
OPEN

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-50-5052	VH Clean Carpets	Best Quality Cleaning, LLC	04/28/23	45795	1,450.00
10-6010-50-5052	VH Clean/Wax Tile Ladies Locker	Best Quality Cleaning, LLC	04/28/23	45795	300.00
10-6010-50-5052	VH Clean/Wax Tile West Wing	Best Quality Cleaning, LLC	04/28/23	45795	200.00
10-6010-50-5052	BRPDSpecial Service Clean Window	Best Quality Cleaning, LLC	04/28/23	45799	1,250.00
10-6010-50-5052	BRPD Clean Chairs	Best Quality Cleaning, LLC	04/28/23	45799	1,476.00
10-6010-50-5052	BRPD Clean Blinds	Best Quality Cleaning, LLC	04/28/23	45799	675.00
10-6010-50-5052	BRPD Clean/Wax Tile	Best Quality Cleaning, LLC	04/28/23	45799	2,250.00
10-6010-50-5052	BRPD Clean Carpets	Best Quality Cleaning, LLC	04/28/23	45799	950.00
10-6010-50-5052	PW Inspection	Cummins Sales and Service	04/23/23	F2-33667	285.49
10-6010-50-5052	Installation of 4- new Comm. doo	Goldy Locks, Inc.	04/25/23	36408367	3,965.28
10-6010-50-5053	Turf Pro Black	Tameling Industries	04/27/23	0177490	160.00
10-6010-50-5056	Turf Pro Black	Tameling Industries	04/27/23	0177490	160.00
10-6010-50-5057	Monthly Maintenance (PW)	Beary Landscape Management	04/01/23	254132	1,556.34
10-6010-50-5058	Janitorial Services - Holding Ce	Service Master	04/25/23	220964	195.00
10-6010-50-5065	Village Street Lights	Constellation NewEnergy, I	04/28/23	65035080401 Apr23	2,740.41
10-6010-50-5066	Freight for delivery	Ozinga Materials, Inc.	04/28/23	165686	350.00
10-6010-50-5066	Fuel Surcharge	Ozinga Materials, Inc.	04/28/23	165686	19.13
10-6010-50-5076	Inspections Mar23	B&F Construction Code Serv	04/19/23	17515	2,480.00
10-6010-50-5076	Plan Review Project 1127997	B&F Construction Code Serv	04/24/23	61509	1,200.00
10-6010-50-5076	Plan Review Permit 23-103	B&F Construction Code Serv	04/24/23	61513	300.00
10-6010-50-5076	Comm. Permit Plan Reviews and In	B&F Construction Code Serv	04/28/23	61536	721.25
10-6010-50-5080	PW Sewer	Flagg Creek Water Reclamat	04/26/23	008917-000 Apr23	120.73
10-6010-60-6010	BRPD Liners	Best Quality Cleaning, LLC	04/30/23	45816	167.80
10-6010-60-6010	VH Liners	Best Quality Cleaning, LLC	04/30/23	45816	251.70
10-6010-60-6010	BRPD Towels	Best Quality Cleaning, LLC	04/30/23	45816	209.75
10-6010-60-6010	VH Towels	Best Quality Cleaning, LLC	04/30/23	45816	461.45
10-6010-60-6010	BRPD - TP	Best Quality Cleaning, LLC	04/30/23	45816	68.95
10-6010-60-6010	VH - TP	Best Quality Cleaning, LLC	04/30/23	45816	206.85
10-6010-60-6010	Husky Contractor Bags	Home Depot Credit Services	04/28/23	5526423	119.88
10-6010-60-6010	Epoxy	Home Depot Credit Services	04/28/23	5526423	8.98
10-6010-60-6010	Kids Shovel, Padded Tdown	Menards - Hodgkins	04/25/23	18159	106.06
10-6010-60-6010	6x2x2 Bin blocks	Ozinga Materials, Inc.	04/28/23	165686	825.00
10-6010-60-6010	Office Enclosures; Admin & Finan	Robotunits, Inc.	04/28/23	80036710	90.24
10-6010-60-6010	Digitally Printed Flags	W.G.N. Flag & Decorating C	02/22/23	61992	806.00
10-6010-60-6020	Late Fee Assessed	SuperFleet MasterCard	04/26/23	FB346 Apr23	38.71
10-6010-60-6050	Circuit Breaker Finder-Carry Cas	Home Depot Credit Services	04/28/23	5526423	59.82
10-6010-60-6050	Grinder, Hammer Drill Bit Set, H	Home Depot Credit Services	04/28/23	5526423	943.85
10-6010-60-6060	State Contract Bulk Rock Salt	Cargill Inc-Salt Division	11/30/22	2907744714	6,081.25
10-6010-70-7010	DIP-7384-8HD Bosch 32TB DIP 7000	SGTS, Inc.	02/23/23	22530-2	6,275.37
10-6010-70-7010	VJD-7513 Bosch H.265 UHD Decoder	SGTS, Inc.	02/23/23	22530-2	3,862.07
10-6010-70-7010	NDP-7512-Z30K Bosch 7000 Series	SGTS, Inc.	02/23/23	22530-2	12,842.04
10-6010-70-7010	NDV-8503-RX Bosch 8000 Series IP	SGTS, Inc.	02/23/23	22530-2	15,587.55
10-6010-70-7010	NDS-5704-F360 Bosch 5000 Series	SGTS, Inc.	02/23/23	22530-2	472.05
10-6010-70-7010	VG4-A-9542 Corner Mount Adapter	SGTS, Inc.	02/23/23	22530-2	309.12
10-6010-70-7010	Shipping and Handling	SGTS, Inc.	02/23/23	22530-2	233.83
Total For Dept 6010 Public Works					78,978.40
Total For Fund 10 General Fund					108,943.43
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5069	Monthly Maintenance (Hotel/Motel	Beary Landscape Management	04/01/23	254132	6,871.69

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Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
Total For Dept 7030 Special Revenue Hotel/Motel					6,871.69
Total For Fund 23 Hotel/Motel Tax Fund					6,871.69
Fund 31 Capital Improvements Fund					
Dept 8020 Sidewalks/Pathway					
31-8020-70-7052	Construction Obs. Garfield Av &	Triggi Construction, Inc.	04/26/23	2221-03	54,938.24
Total For Dept 8020 Sidewalks/Pathway					54,938.24
Total For Fund 31 Capital Improvements Fund					54,938.24
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-50-5020	Consulting WE 04/23 & 04/30/23	GovTemps USA, LLC	05/04/23	4174383	1,493.10
51-6030-50-5030	Burr Ridge Non Public Safety Cel	AT&T Mobility	04/25/23	287310366548X0503202	351.62
51-6030-50-5050	Pump Station Preventative Mainte	Cummins Sales and Service	04/29/23	F2-35660	154.17
51-6030-50-5050	Overage on Purchase Order	Cummins Sales and Service	04/29/23	F2-35660	147.17
51-6030-50-5052	Monthly Maintenance (Water)	Beary Landscape Management	04/01/23	254132	573.40
51-6030-50-5067	Grass Seed	Conserv FS, Inc.	04/26/23	6423117	1,180.00
51-6030-60-6010	O Rings and Nipple Fittings	Pirtek	04/27/23	BO-T00013929	109.32
51-6030-60-6010	Turf Pro Black	Tameling Industries	04/27/23	0177490	160.00
51-6030-60-6070	Water Purchases Apr23	Village of Bedford Park	05/04/23	0020060000 Apr23	262,182.30
51-6030-70-7082	Two-Way Tower Base Station	Core & Main LP	04/13/23	R807290	8,832.00
51-6030-70-7082	Two-Way Tower Base Station	Core & Main LP	04/13/23	S638526	5,960.00
51-6030-70-7082	Sensus Analytics Integration Fee	Core & Main LP	04/13/23	S638526	1,490.00
Total For Dept 6030 Water Operations					282,633.08
Total For Fund 51 Water Fund					282,633.08
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-50-5020	Consulting WE 04/23 & 04/30/23	GovTemps USA, LLC	05/04/23	4174383	248.85
Total For Dept 6040 Sewer Operations					248.85
Total For Fund 52 Sewer Fund					248.85

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Fund Totals:					
Fund 10 General Fund					108,943.43
Fund 23 Hotel/Motel Tax Fund					6,871.69
Fund 31 Capital Improvements Fund					54,938.24
Fund 51 Water Fund					282,633.08
Fund 52 Sewer Fund					248.85
Total For All Funds:					453,635.29

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 5/22/2023

PAYMENT DATE: 5/24/2023

FISCAL 23-24

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 104,207.41	\$ 104,207.41
23	Hotel/Motel Tax Fund	24,888.86	24,888.86
31	Capital Improvements Fund	23,221.39	23,221.39
51	Water Fund	8,296.11	8,296.11
52	Sewer Fund	8,989.81	8,989.81
	TOTAL ALL FUNDS	<u>\$ 169,603.58</u>	<u>\$ 169,603.58</u>

PAYROLL

PAY PERIOD ENDING May 13, 2023

	TOTAL PAYROLL
Board	\$ 2,450.00
Administration	18,318.10
Finance	1,901.74
Police	125,008.52
Public Works	31,951.15
Water	26,599.73
Sewer	10,677.98
TOTAL	<u>\$ 216,907.22</u>
GRAND TOTAL	<u><u>\$ 386,510.80</u></u>

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Fund 10 General Fund					
Dept 1010 Boards & Commissions					
10-1010-50-5010	Adjudication Legal Services Apr2	Denise K. Filan	05/11/23	36702	450.00
10-1010-80-8010	English Garden Jones	Vince's Flowers & Landscap	05/02/23	12752-1	82.95
Total For Dept 1010 Boards & Commissions					532.95
Dept 2010 Administration					
10-2010-50-5030	Land Line May23	First Communications, LLC	05/06/23	125341449	511.27
10-2010-60-6010	Desk File/Sorter	Runco Office Supply	05/11/23	905220-0	21.49
10-2010-60-6010	Tower Fan	Runco Office Supply	05/11/23	905220-0	79.99
Total For Dept 2010 Administration					612.75
Dept 4010 Finance					
10-4010-60-6010	Mouse Pad	Runco Office Supply	05/03/23	904220-0	13.03
10-4010-60-6010	Bulletin Board	Runco Office Supply	05/03/23	904220-0	76.99
Total For Dept 4010 Finance					90.02
Dept 4020 Central Services					
10-4020-50-5040	BR Printed #10 Envelopes	Grasso Graphics, Inc.	05/01/23	32490	214.93
10-4020-60-6000	Sugar Packets	Runco Office Supply	05/03/23	904220-0	26.17
10-4020-60-6000	Sugar in the Raw Packets	Runco Office Supply	05/03/23	904220-0	14.94
10-4020-60-6000	Shipping Tape	Runco Office Supply	05/03/23	904220-0	16.99
Total For Dept 4020 Central Services					273.03
Dept 4040 Information Technology					
10-4040-50-5020	IT Support Services	Orbis Solutions	05/01/23	5574678	600.00
10-4040-50-5020	IT Support Services	Orbis Solutions	05/01/23	5574685	1,608.25
10-4040-50-5020	IT Support Services	Orbis Solutions	05/01/23	5574687	5,965.00
10-4040-50-5061	ArcGIS Desktop Basic Primary Mai	ESRI Inc.	05/01/23	94478673	440.00
10-4040-50-5061	ArcGIS Online Viewer	ESRI Inc.	05/01/23	94478673	540.00
10-4040-50-5061	ArcGIS Online Creator	ESRI Inc.	05/01/23	94478673	1,614.00
10-4040-50-5061	ArcGIS Community Analyst Web App	ESRI Inc.	05/01/23	94478673	98.00
10-4040-50-5061	Microsoft 365 Business Standard	National Tek Services, Inc	05/11/23	18218	55.20
10-4040-50-5061	Laserfiche Cloud FY24 License &	TKB Associates, Inc.	05/08/23	14985	18,735.00
10-4040-50-5061	Overage of Purchase Order	TKB Associates, Inc.	05/08/23	14985	371.00
10-4040-60-6010	Printer Toner Cartridges	Next Day Toner Supplies, I	05/11/23	5269069	95.60
10-4040-60-6010	Printer Toner Cartridges	Next Day Toner Supplies, I	05/12/23	5269210	100.85
Total For Dept 4040 Information Technology					30,222.90
Dept 5010 Police					
10-5010-40-4032	Initial Uniform Allowance - Deni	JG Uniforms, Inc.	05/08/23	114547	867.79
10-5010-40-4032	Initial Allowance Tim Andersen	JG Uniforms, Inc.	05/01/23	114148	845.00
10-5010-40-4032	112012-729 S/S V2 Pro-Performanc	Ray O'Herron	05/08/23	2269720	139.41
10-5010-40-4032	114041-729 Trouser Cargo Pro-Dut	Ray O'Herron	05/08/23	2269720	86.43
10-5010-40-4032	Overage on Uniform Allowance Gar	Ray O'Herron	05/08/23	2269720	54.12
10-5010-40-4032	112012-729 First Tactical Short	Ray O'Herron	05/04/23	2269089	162.00
10-5010-40-4032	SGK100 Kevlar Search Gloves	Ray O'Herron	05/04/23	2269089	16.99
10-5010-40-4032	Uniform Allowance Denis, J	Ray O'Herron	05/06/23	2269590	279.88
10-5010-40-4032	114041-729 First Tactical Trous	Ray O'Herron	05/10/23	2270347	128.70
10-5010-40-4032	111004-019 First Tactical Men's	Ray O'Herron	05/10/23	2270347	73.99
10-5010-40-4032	Uniform Allowance Moraveccek Over	Ray O'Herron	05/10/23	2270347	33.30
10-5010-40-4040	Annual IPAC Membership Dues	Ill. Police Accreditation	05/08/23	516	100.00
10-5010-50-5030	Land Line May23	First Communications, LLC	05/06/23	125341449	55.14
10-5010-50-5051	Repair Heater in 2021 Tahoe	American Chevrolet, Inc.	05/02/23	12720	214.95
10-5010-50-5051	Squad 2016 Maintenance	B & E Auto Repair Service	05/02/23	145174	44.70

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Fund 10 General Fund					
Dept 5010 Police					
10-5010-50-5051	Squad 2104 Maintenance	Burr Ridge Car Care, Inc.	05/02/23	61342	219.75
10-5010-50-5051	Squad 2111 Maintenance	Burr Ridge Car Care, Inc.	05/03/23	61353	209.96
10-5010-50-5051	Squad 2107 Maintenance	Burr Ridge Car Care, Inc.	05/12/23	61433	113.09
10-5010-50-5095	Stray Contract Services May23	Hinsdale Humane Society	05/02/23	BR5-2023	200.00
Total For Dept 5010 Police					3,845.20
Dept 6010 Public Works					
10-6010-40-4032	Uniform Allowance Hovorka	Blain Supply, Inc.	05/03/23	133	595.89
10-6010-40-4032	Uniform Allowance Jones, M	Blain Supply, Inc.	05/03/23	134	234.95
10-6010-40-4032	Uniform Allowance Scherer	Blain Supply, Inc.	05/03/23	132	104.85
10-6010-40-4032	Embroidery on Carhart Jacket & S	Specialty Stitches	05/02/23	14933	219.90
10-6010-40-4032	Embroidery on Carhart Jacket & S	Specialty Stitches	05/02/23	14934	295.91
10-6010-50-5020	Elevator Inspection	Elevator Inspection Service	05/04/23	115888	32.00
10-6010-50-5020	Contractual Weather Forecasting	Murray and Trettel, Inc.	04/30/23	0523-13	4,450.00
10-6010-50-5050	Gloves, Hex Nut, Flat Washer	L. A. Fasteners, Inc.	05/12/23	1-319188	22.30
10-6010-50-5052	Installation of 4- new Comm. doo	Goldy Locks, Inc.	05/03/23	36402736	3,988.36
10-6010-50-5052	Installation of 4- new Comm. doo	Goldy Locks, Inc.	05/03/23	36400049	2,976.22
10-6010-50-5052	Service & Labor to Recode Interi	Goldy Locks, Inc.	05/02/23	38486013	500.00
10-6010-50-5052	Replace Frame for Door #2	Goldy Locks, Inc.	05/10/23	38735217	845.00
10-6010-50-5052	Toilet Assembly, Cover, Vacuum B	Grainger, Inc.	05/09/23	9701618259	81.88
10-6010-50-5052	G9 LED Bulbs	Industrial Electric Supply	05/02/23	S100022029.001	78.00
10-6010-50-5052	LU100/ECO ATR 23282IP	Industrial Electric Supply	05/05/23	S100022305.001	78.78
10-6010-50-5055	Maintenance Traffic Signals	COMED	05/04/23	3699071070 May23	33.52
10-6010-50-5057	Utility Park and Sites	Beary Landscape Management	05/01/23	254981	926.25
10-6010-50-5057	Roadside Mowing	Beary Landscape Management	05/01/23	254981	611.20
10-6010-50-5058	Mat Rentals - PD	Breens Inc.	05/02/23	18414	38.50
10-6010-50-5058	Mat Rentals - VH and PW	Breens Inc.	05/09/23	18555	38.50
10-6010-50-5058	Janitorial Services - Holding Ce	Service Master	05/08/23	221387	195.00
10-6010-50-5080	Lakewood Aerator	COMED	05/04/23	9258507004 May23	19.35
10-6010-50-5080	Windsor Aerator	COMED	05/04/23	9342034001 May23	19.35
10-6010-50-5095	Mosquito Abatement Service	Clarke Environmental Mosqui	05/15/23	001028381	11,350.00
10-6010-50-5095	2022 Property Tax Commerce	DuPage County Collector	05/01/23	0924301022 2022	2,050.40
10-6010-60-6000	File Envelopes	Runco Office Supply	05/01/23	903485-1	94.99
10-6010-60-6000	Office Supplies	Runco Office Supply	05/03/23	904239-0	16.74
10-6010-60-6000	Office Supplies	Runco Office Supply	05/10/23	905008-0	159.84
10-6010-60-6000	Office Supplies	Runco Office Supply	05/11/23	905214-0	30.67
10-6010-60-6010	Gloves, Hex Nut, Flat Washer	L. A. Fasteners, Inc.	05/12/23	1-319188	67.80
10-6010-60-6043	Chain Saw Files, Mix Oil, Bar O	Alexander Equipment Compar	05/03/23	197391	635.16
10-6010-60-6043	Topsoil	Hinsdale Nurseries, Inc.	05/03/23	1780939	14.25
10-6010-60-6043	(4) Trees Ivory Japanese &Prairi	Hinsdale Nurseries, Inc.	05/15/23	1785168	874.00
10-6010-70-7000	Cronkwhite 3612EA	Atlas Bobcat Inc.	05/02/23	Q38551	13,363.00
10-6010-70-7000	ZT7000 Zero Turn Mower	Atlas Bobcat Inc.	05/08/23	Q38552	14,920.00
10-6010-70-7000	48" Soil Conditioner Attachment	Atlas Bobcat Inc.	05/04/23	Q38554	8,668.00
Total For Dept 6010 Public Works					68,630.56
Total For Fund 10 General Fund					104,207.41
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5069	Municipal Campus	Beary Landscape Management	05/01/23	254980	3,125.00
23-7030-50-5069	Medians and Four Corners	Beary Landscape Management	05/01/23	254980	974.89
23-7030-50-5069	Spring and Fall Cleanup	Beary Landscape Management	05/01/23	254980	588.73
23-7030-50-5069	Turf Weed Control and Fertilizer	Beary Landscape Management	05/01/23	254980	214.23

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Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5069	Medians and Gateways	Beary Landscape Management	05/01/23	254981	2,079.33
23-7030-50-5069	Roadside Mowing	Beary Landscape Management	05/01/23	254981	1,197.19
23-7030-50-5069	County Line Rd at I55	Beary Landscape Management	05/01/23	254981	1,959.61
23-7030-50-5069	Utility Park and Sites	Beary Landscape Management	05/01/23	254981	699.41
23-7030-50-5069	Turf Weed Control and Fertilizer	Beary Landscape Management	05/01/23	254981	955.05
23-7030-50-5075	Gateway Sign	COMED	05/03/23	1153168007 May23	19.35
23-7030-50-5075	Median Lighting	COMED	05/04/23	1319028022 May23	46.87
23-7030-80-8012	Village Holiday Tree - 1st Insta	BRVC Owner, LLC	04/04/23	7001	9,529.20
23-7030-80-8012	VofBR Sponsorship-FF at Village	Ferrari Club of America	05/06/23	3	3,500.00
Total For Dept 7030 Special Revenue Hotel/Motel					24,888.86
Total For Fund 23 Hotel/Motel Tax Fund					24,888.86
Fund 31 Capital Improvements Fund					
Dept 8010 Capital Improvement					
31-8010-70-7010	Prof. Engr. Serv.; Wolf Rd Ped X	Patrick Engineering Inc.	05/03/23	22277.031-4	4,045.50
Total For Dept 8010 Capital Improvement					4,045.50
Dept 8030 Equipment Replacement					
31-8030-50-5071	Lease Maintenance	Enterprise FM Trust	05/01/23	FBN4745697	115.27
31-8030-50-5071	Lease Maintenance	Enterprise FM Trust	05/01/23	FBN4745647	140.27
31-8030-80-8065	Lease Principal	Enterprise FM Trust	05/01/23	FBN4745697	9,282.92
31-8030-80-8065	Lease Principal	Enterprise FM Trust	05/01/23	FBN4745647	6,421.08
31-8030-80-8075	Lease Interest	Enterprise FM Trust	05/01/23	FBN4745697	1,555.22
31-8030-80-8075	Lease Interest	Enterprise FM Trust	05/01/23	FBN4745647	1,661.13
Total For Dept 8030 Equipment Replacement					19,175.89
Total For Fund 31 Capital Improvements Fund					23,221.39
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	Uniform Allowance Jones, M	Blain Supply, Inc.	05/03/23	134	187.96
51-6030-40-4040	Annual BSI Online Subscription F	Backflow Solutions Inc.	05/01/23	8081	495.00
51-6030-50-5025	Utility Billing Postage	Postmaster	05/10/23	05/10/23	2,000.00
51-6030-50-5052	Utility Park and Sites	Beary Landscape Management	05/01/23	254981	434.77
51-6030-50-5052	Roadside Mowing	Beary Landscape Management	05/01/23	254981	138.62
51-6030-50-5071	Lease Maintenance	Enterprise FM Trust	05/01/23	FBN4745647	123.88
51-6030-50-5080	2 M Tank	COMED	05/04/23	9256332027 May23	158.97
51-6030-50-5080	Well #5	COMED	05/04/23	4497129114 May23	23.36
51-6030-50-5095	Utility Billing May23	Third Millennium Assoc. Ir	05/11/23	29151	1,137.19
51-6030-60-6010	Suction Strainers	Grainger, Inc.	05/03/23	9695370990	35.42
51-6030-60-6010	Manhole Ladder	Grainger, Inc.	05/03/23	9695371014	347.85
51-6030-60-6010	Propress Coupling, Copper Reduci	Grainger, Inc.	05/05/23	9698578151	127.45
51-6030-60-6010	Topsoil	Hinsdale Nurseries, Inc.	05/03/23	1780939	14.25
51-6030-80-8065	Lease Principal	Enterprise FM Trust	05/01/23	FBN4745647	2,536.82
51-6030-80-8075	Lease Interest	Enterprise FM Trust	05/01/23	FBN4745647	534.57
Total For Dept 6030 Water Operations					8,296.11
Total For Fund 51 Water Fund					8,296.11
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Uniform Allowance Jones, M	Blain Supply, Inc.	05/03/23	134	46.99

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Fund 52 Sewer Fund						
Dept 6040 Sewer Operations						
52-6040-40-4032	Uniform Allowance Dewart	Blain Supply, Inc.	05/01/23	9916	239.96	
52-6040-50-5020	Remote MH Inspections	RJN Group, Inc.	05/05/23	386911	3,015.00	
52-6040-50-5020	Sewer Televising & Review	RJN Group, Inc.	05/05/23	386911	3,528.72	
52-6040-50-5020	Lift Station Report & Technical	RJN Group, Inc.	05/05/23	386911	365.59	
52-6040-50-5020	Contingency	RJN Group, Inc.	05/05/23	386911	1,557.19	
52-6040-50-5080	Chasemoor Lift Station	COMED	05/04/23	0356595009 May23	236.36	
Total For Dept 6040 Sewer Operations					8,989.81	
Total For Fund 52 Sewer Fund					8,989.81	

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Fund Totals:					
Fund 10 General Fund					104,207.41
Fund 23 Hotel/Motel Tax Fund					24,888.86
Fund 31 Capital Improvements Fund					23,221.39
Fund 51 Water Fund					8,296.11
Fund 52 Sewer Fund					8,989.81
Total For All Funds:					169,603.58