

**VILLAGE OF BURR RIDGE – AGENDA  
MAYOR & BOARD OF TRUSTEES  
VILLAGE HALL – BOARD ROOM**

**Monday, January 23, 2023 - 7:00 P.M.**

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA**

All items listed with an asterisk are considered routine by the Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen requests, in which event the item will be removed from the Consent Agenda, discussed, opened for public comment, and voted upon during this meeting.

**5. MINUTES**

- A. \* Approval of Regular Board Meeting of January 9, 2023
- B. \* Receive and File Economic Development Meeting of January 4, 2023
- C. \* Receive and File Street Policy Committee Meeting of January 9, 2023
- D. \* Receive and File Plan Commission Meeting of January 16, 2023

**6. ORDINANCES**

- A. \* Approval of an Ordinance Amending the Village of Burr Ridge Personnel Manual
- B. \* Approval of an Ordinance Granting Special Uses for Automobile and Equipment Service, Outdoor Storage, and for a Fence in a Non-Residential District (Z-24-2022: 311 Shore Drive – DP Burr Ridge, LLC)

**7. RESOLUTIONS**

- A. \* Approval of a Resolution Authorizing an Extension of a Water Tower Lease Agreement (Verizon Wireless)
- B. \* Approval of a Resolution Regarding the Need for Confidentiality of Closed Session Minutes

**Public Comment Procedures:** Public comments will be accepted in written or statement form prior to or during the meeting. Written public comments shall identify whether the comment is intended to address a specific agenda item or is intended for general public comment under Section 9 – Public Comment. Public comments may also be made during the meeting when discussing specific items on the agenda. Any person seeking to address the Board on topics not on the agenda may do so during Section 9 – Public Comment.

- C. \* Approval of a Resolution Endorsing the Legislative Action Program of the DuPage Mayors and Managers Conference for the 2023 Legislative Session

**8. CONSIDERATIONS**

- A. Consideration of Update on Willow Springs Road Development
- B. Consideration of a Plan Commission Recommendation to Approve an Amendment to Ordinance #A-834-02-17 for a Special Use for Final Plat Approval and a Medical Office in the T-1 Transitional District as well as No Plan Commission Recommendation Regarding a Variation from Zoning Ordinance Section XI.C.8 to Permit Parking in the Front Yard (Z-22-2022: 7600-7630 County Line Road – MedProperties)
- C. \* Approval of Award of a Contract for the Purchase of Commercial Meters to Core & Main LP of St. Charles in the Amount of \$155,814.
- D. \* Approval of Award of a Contract for the Installation of Commercial Meters to Calumet City Plumbing of Calumet City in the Amount of \$70,914.
- E. \* Accept and File Resignation of Administrative Intern Gabriel Lopez.
- F. \* Approval of Vendor List Dated January 23, 2023, in the Amount of \$531,993.12 for all Funds, plus \$216,618.09 for Payroll for the Period Ending January 7, 2023, for a Grand Total of \$748,611.21.

**9. PUBLIC COMMENTS**

**10. REPORTS AND COMMUNICATIONS**

**11. ADJOURNMENT**

**NEXT MEETING – FEBRUARY 13, 2023 - 7:00PM**



## **January 23, 2023 Board Meeting Summary**

### **6A. Personnel Manual Amendments**

The Board approved a comprehensive amendment to the Personnel Manual in 2022. Going forward, staff will conduct an annual Personnel Manual review to ensure its ongoing appropriateness and compliance with applicable law. As many State laws governing the workplace take effect on January 1 every year, staff anticipates that these reviews will be presented to the Board shortly after January 1 going forward. The attached Ordinance represents the first such annual review. The amendments are limited to revisions in State law effective January 1, 2023:

- Adds “race-based traits” as a protected class in harassment matters
- Adds certain unpaid leave as being permissible in times of family events, such as in times of bereavement, failed adoptions, or other related matters.

**It is staff’s recommendation:** That the Ordinance be approved.

### **6B. Special Uses – Automobile Service Use**

Please find an Ordinance approving special use requests for automobile and equipment service, outdoor storage, and a fence in a non-residential district located at 311 Shore Drive. The Board directed staff to prepare the Ordinance at the January 9 meeting.

**It is staff’s recommendation:** That the Ordinance be approved.

### **7A. Verizon Water Tower Lease Extension**

The Village currently holds six total antenna leases at its two water tower sites. These leases are valuable in that they provide highly stable sources of revenue for little public service provision. One of the six leases (Verizon Wireless) is set to expire later in 2023. This particular lease has steadily grown in annual value to the Village; in 2022, the lease provided the Village with \$46,980 in revenue. Staff has negotiated a 20-year total extension set over four, 5-year terms with Verizon to continue this partnership through 2042. The financial terms of the extension include annual 3% escalators, as were present in the previous agreement, meaning that the Village will receive \$48,396 in rent revenue in 2023 from this lease and rising 3% annually thereafter. Over the 20-year life of the extension, the Village will realize just over \$1.3 million in total revenue. Shorter extensions and lease buyout options were explored, but neither option provided similar financial value or flexibility compared to the proposed extension.

**It is staff’s recommendation:** That the Resolution be adopted.

**7B. Closed Session Minutes**

State law requires the Village conduct periodic reviews of its closed session minutes to determine accuracy and the need for continued confidentiality. The Board has determined that the need for confidentiality still exists as to all closed session minutes that have not been previously released, and that such minutes shall remain confidential.

**It is staff's recommendation:** That the Resolution be adopted.

**7C. DMMC Legislative Action Program**

The DuPage Mayors and Managers Conference (DMMC), of which the Village is a member, annually produces a list of legislative goals for which DMMC and its membership pursue as priority issues. The DMMC Legislative Committee, chaired by Mayor Grasso, has finalized its 2023 Legislative Action Program (LAP) and requests community endorsement of the Program. The four major goals (with other more specific items listed in the packet) are the restoration of the Local Government Distributive Fund (LGDF), Financial Sustainability, Public Safety, and Local Authority. Approval of the Resolution does not commit the Village to any specific policy or legislative bill but does create a public show of support for the broad goals listed.

**It is staff's recommendation:** That the Resolution be adopted.

**8A. Willow Springs Road Sale**

The Village has recently received word that the Lyons Township High School District 204 Board of Education (LTHS) is considering the sale of a 70-acre property at 79<sup>th</sup> Street and Willow Springs Road in the Village of Willow Springs. While not located within the Village's corporate boundaries, the property is located near the Village, and its development would represent a significant change in its current condition and potentially impact residents on the east side of Burr Ridge as well as Edgewood Valley Country Club, located in Burr Ridge across 79<sup>th</sup> Street, in addition to nearby residential, park, and school properties located in Willow Springs.

On December 19, 2022, LTHS approved the property be offered for sale with a minimum sale price of \$55 million; one bidder (Bridge Industrial) submitted a \$55 million bid for the property, while a second bidder submitted a bid of \$46.5 million. Consideration of these bids by LTHS is expected to occur at its January 23 meeting.

The property is currently zoned as a Planned Unit Development (PUD) by Willow Springs, with only three uses listed as permitted on the property: retail (those businesses considered small/local in nature); single family housing on 30,000 square foot lots (equivalent to R-2B zoning in Burr Ridge); and senior family residential housing. Bridge Industrial considers the property suited for industrial development, for which the property is not presently zoned; in fact, industrial and warehouse uses generally in alignment with the developer's preferences are specifically designated as "prohibited uses" in the PUD.

Included in the packet is the PUD ordinance from the Village of Willow Springs as well as a recent letter from Willow Springs Village President Melissa Neddermeyer to the community detailing the Village's concerns with the proposed development. This agenda item is included for discussion, community information, and direction to staff as deemed appropriate by the Board.

**8B. Shirley Ryan Ability Lab – Parking Lot Expansion**

The Plan Commission transmits its recommendation to approve a request by MedProperties, LLC to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District (7600 County Line Road). The Plan Commission recommendation to approve a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard failed. The Shirley Ryan Ability Lab operates from the site and is requesting to reconfigure the existing parking lot to add an additional 30 parking spaces for a total of 113 parking spaces. The Plan Commission held public hearings on August 15, 2022, September 19, 2022, and January 16, 2023. At the public hearings, members of the public objected to the request and noted their concerns about the existing fence, headlight spill-over from the parking lot, parking lot lighting, interior lighting, trash pick-up, and stormwater. The Plan Commission voted 6 to 0 to recommend that the Board of Trustees approve the request for amending the special use, with conditions. Comparatively, the Plan Commission, by a vote of 3 to 2, does not submit a recommendation of approval for the variation request to permit parking in the front yard. Four affirmative votes were required to approve the motion due to the second petition including a variation.

**It is the Plan Commission's recommendation:** Staff be directed to prepare Ordinances on these petitions.

**8C-D. Commercial Water Meter Replacement and Installation**

The FY2023 budget allocates \$61,000 for purchases and contracts with plumbers as periodically needed to remove and replace failing commercial water meters. This year, with the advancement of our projects initiating AMI (advanced metering infrastructure) into the Village's water utility billing processes, several commercial meters require immediate replacement to be compatible with this new meter reading technology.

As approved by the Board on November 14, 2022, AMI installation is underway and will soon interconnect all our water meters directly to the Village's in-house financial software. AMI will replace our labor-intensive bi-monthly water billing processes with a centralized upload and data retrieval in order to monitor and send bills for water consumption. With this interconnectivity, the Village will improve its customer service, reduce unbilled water losses, and increase accountability and transparency to residents and businesses.

While our Public Works Department employees have been engaged in updating meters at over 4,000 residential accounts, the Village found that 88 commercial

accounts are using meters which have reached end of useful life and need to be replaced. Replacing these meters now will be beneficial as we have already identified and are utilizing licensed plumbers to replace and upgrade water meters inside other commercial buildings. Commercial buildings typically have larger pipes, constant occupancy, and complex plumbing for backflow prevention or fire suppression; therefore, a licensed plumbing contractor will be retained to install the Village-purchased meters. Replacing obsolete meters in commercial businesses will recapture lost revenue, as aging mechanical meters are known to wear and allow water to pass through unbilled. Staff expects this project to have a two-year return on total investment due to the recapture of unbilled water loss.

Staff has solicited a quote to purchase the replacement commercial meters from Core & Main of St. Charles, the Midwest region's authorized Sensus distributor and is the sole source supplier for Sensus products. Sensus is the metering product which is currently installed Village-wide and it's a central component of its transition to AMI. The Village has had satisfactory experience with Core & Main for all our orders, sales and service on our meter reading infrastructure and components since 2013. The attached quote in the amount of \$155,814 will purchase the 88 water meters and transponders for installation in the commercial businesses.

The Village has also solicited quotations from licensed plumbing contractors that have successfully managed meter replacements for other agencies. Of the three contractors solicited for quotes, Calumet City Plumbing Company has provided the most responsive and responsible quote that meets the Village's requirements. This company is highly recommended by Justice-Willow Springs Water Commission, DuPage County Public Works, and the City of Darien, all agencies in which meter replacement is on-going. The attached quote in the amount of \$70,914 would install the 88 water meters that the Village could purchase separately from Core & Main.

The business owners would first receive a letter from the Village at the end of January, by which they will be instructed to call the plumbing company or visit its website to set up an appointment for their building's meter replacement. A Public Works employee would be assigned to escort the plumber into the building and will be working simultaneously during the meter replacement to also install an electronic transceiver. All such work would be done by appointment and both the plumber and Village employee will carry identification badges. Any complicated plumbing issues that arise while installing the meter, which may include the fire suppression and backflow prevention devices, would be handled immediately by the licensed plumber with prior approval and supervision of the Department's Water & Wastewater Division Supervisor.

The total costs for purchasing and installing 88 commercial meters is \$226,728. The Water Committee has unanimously recommended these tasks be advanced and completed in the current fiscal year to smooth long-term operational efficiencies and recapture lost water usage, and staff has determined that adequate funds are available in the Water Fund for these contracts to be let without causing a loss of funding for other projects. Timely completion of all commercial meter replacements is essential in order to properly deploy our Sensus Flexnet AMI system that will be

operational this Spring. The water tower antennae installation, as well as our Finance Department software reprogramming are all on schedule to allow the fixed-point advanced metering infrastructure to ultimately improve our utility billing process and enhance our customer service delivery.

**It is staff's recommendation:** That the Board approve the purchases.

**8E. Resignation Letter – Gabriel Lopez**

Administrative Intern Gabriel Lopez submitted his resignation letter to the Village on January 6, with his last day with the Village being January 19. A copy of the letter is attached.

**It is staff's recommendation:** The Board accept the letter.

**REGULAR MEETING**  
**MAYOR AND BOARD OF TRUSTEES**  
**VILLAGE OF BURR RIDGE**

**January 9, 2023**

**CALL TO ORDER** The Regular Meeting of the Mayor and Board of Trustees of January 9, 2023, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:00 p.m. by Mayor Gary Grasso.

**PLEDGE OF ALLEGIANCE** Mayor Grasso asked Public Works Director Dave Preissig to lead the Pledge of Allegiance.

**ROLL CALL** was taken by the Village Clerk and the results denoted the following present: Trustees Franzese, Schiappa, Paveza, Mital, and Smith. Mayor Grasso was also present. Trustee Snyder had previously requested to attend the meeting remotely. Also present were Village Administrator Evan Walter, Deputy Police Chief Marc Loftis, Public Works Director Dave Preissig, and Village Attorney Brian Baugh.

Mayor Grasso asked for a motion for Trustee Snyder to attend the meeting remotely. A motion was made by Trustee Schiappa, and the Board unanimously approved.

**PRESENTATIONS AND PUBLIC HEARINGS**

There were no presentations or public hearings.

**CONSENT AGENDA – OMNIBUS VOTE**

Mayor Grasso read the Consent Agenda and asked the Board and public if any agenda item needed to be removed. There were no requests to remove any agenda item.

**APPROVAL OF REGULAR BOARD MEETING MINUTES OF DECEMBER 12, 2022** were approved for publication under the Consent Agenda by Omnibus Vote.

**RECEIVE AND FILE WATER COMMITTEE MEETING MINUTES OF DECEMBER 14, 2022** were noted as received and filed under the Consent Agenda by Omnibus Vote.

**RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF DECEMBER 19, 2022** were noted as received and filed under the Consent Agenda by Omnibus Vote.

**APPROVAL TO DIRECT STAFF TO PREPARE AN ORDINANCE APPROVING SPECIAL USES FOR (1) AUTOMOBILE AND EQUIPMENT SERVICE AND (2) OUTDOOR STORAGE PURSUANT TO ZONING ORDINANCE SECTION X.F.2; AND A SPECIAL**

Regular Meeting  
Mayor and Board of Trustees, Village of Burr Ridge  
January 9, 2023

**USE FOR (3) A FENCE IN A NON-RESIDENTIAL DISTRICT PURSUANT TO ZONING ORDINANCE SECTION IV.J (Z-24-2022: 311 SHORE DRIVE – DP BURR RIDGE, LLC)** the Board, under the Consent Agenda by Omnibus Vote, Approved the Direction to Staff.

**APPROVAL OF VENDOR LIST DATED JANUARY 9, 2023, IN THE AMOUNT OF \$480,640.54 FOR ALL FUNDS, PLUS \$418,958.48 PAYROLL PERIODS ENDING DECEMBER 10 & 24, 2022, FOR A GRAND TOTAL OF \$899,599.02** the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated January 9, 2023, and Payroll for the Period Ending December 10 & 24, 2022.

After reading the Consent Agenda, Mayor Grasso asked for a motion to approve.

Motion was made by Trustee Schiappa, seconded by Trustee Snyder, to approve the Consent Agenda – Omnibus Vote (attached as Exhibit A), and the recommendations indicated for each respective item be hereby approved.

Mayor Grasso asked for any discussion from the Board and/or public. There was none.

On Roll Call, Vote Was:

AYES: 6 - Trustees Schiappa, Snyder, Mital, Smith, Franzese, Paveza

NAYS : 0 - None

ABSENT: 0 - None

There being six affirmative votes the motion carried.

**CONSIDERATION OF STREET POLICY COMMITTEE RECOMMENDATION TO APPROVE THE 2023 ROAD PROGRAM**

Public Works Director Dave Preissig presented a summary of the 2022 capital road program, outlining a continued plan which focuses on the preservation and extension of village roads. A street survey was done in 2021 which provided the data to determine the roads in the most need of repair. Mr. Preissig gave an overview of the 2023 proposed road program at a cost of \$954,500, which includes repairs to the Devon of Burr Ridge subdivision as well as other miscellaneous road maintenance. He also mentioned that the Motor Fuel Tax (MFT) funds are anticipated to increase in 2023.

Motion was made by Trustee Paveza seconded by Trustee Mital, to approve the 2023 Road Program.

Mayor Grasso asked for any discussion from the Board and/or public. There was none.

On Roll Call, Vote Was:

AYES: 6 - Trustees Paveza, Mital, Smith, Franzese, Schiappa, Snyder

NAYS : 0 - None

Regular Meeting  
Mayor and Board of Trustees, Village of Burr Ridge  
January 9, 2023

ABSENT: 0 - None  
There being six affirmative votes the motion carried.

### **PUBLIC COMMENT**

Mayor Grasso asked for any public comment. There were none.

### **REPORTS AND COMMUNICATIONS**

Trustee Mital mentioned that the village staff are preparing events for 2023 and more information will be forthcoming.

Mayor Grasso wished residents a Happy New Year, said that Representative Jim Durkin, who represented Burr Ridge, tendered his resignation as of today and his replacement is not yet known. He also reminded residents that the Burr Ridge Police Department is hosting a burglar seminar on January 25 at 6:30 pm. The seminar will be held in-person only. There is no fee, however, advance registration is required.

Mayor Grasso also mentioned that all three trustees (Trustees Paveza, Schiappa, and Snyder) are running for re-election and there were no other candidates who petitioned to run. He also reminded residents to look at the 2022 village accomplishments covering all the great things which were done last year. The overview of 2022 accomplishments can be found on the village website.

Trustee Snyder thanked Trustee Schiappa for his assistance in helping him (and Trustee Paveza) with the election process.

### **ADJOURNMENT OF GENERAL MEETING TO CLOSED SESSION**

Mayor Grasso asked for a motion to adjourn the Regular Board meeting to the Closed Session at 7:18 p.m. to discuss the following agenda items:

### **DISCUSSION OF MINUTES OF MEETINGS LAWFULLY CLOSED UNDER THIS ACT FOR PURPOSES BY THE BODY OF THE MINUTES (5 ILCS 120/2(C)(21))**

### **COLLECTIVE NEGOTIATING MATTERS BETWEEN THE PUBLIC BODY AND ITS EMPLOYEES OR THEIR REPRESENTATIVES, OR DELIBERATIONS CONCERNING SALARY SCHEDULES FOR ONE OR MORE CLASSES OF EMPLOYEES (5 ILCS 120/2(C)(2))**

Motion was made by Trustee Paveza, seconded by Trustee Snyder to adjourn to the closed session.



Regular Meeting  
Mayor and Board of Trustees, Village of Burr Ridge  
January 9, 2023

On Roll Call, Vote Was:

AYES: 6 - Trustees Paveza, Snyder, Mital, Smith, Franzese, Schiappa

NAYS : 0 - None

ABSENT: 0 - None

There being six affirmative votes the motion carried, and the regular meeting was adjourned at 7:18 p.m. to go into the closed session meeting.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

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Susan Schaus  
Village Clerk  
Burr Ridge, Illinois

APPROVED BY the Mayor and Board of Trustees this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

**ECONOMIC DEVELOPMENT COMMITTEE MEETING MINUTES FOR THE  
REGULAR MEETING OF JANUARY 4, 2023**

**I. CALL TO ORDER**

Chairman Tony Schiappa called the meeting to order at 6:07 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois. The meeting was held in person and on Zoom at the Village Hall.

**II. ROLL CALL**

**Present:** In Person: 4 – Trustee Schiappa, Trustee Smith, Ms. Jepsen, Mr. Hassan  
Virtually: 3 – Ms. Hamilton, Mr. Kaplarevic, Mr. Stangle  
**Absent:** 2 – Mr. Simmons, Mr. Odeh

Special Projects Manager Hannah Weyant was also present.

**III. APPROVAL OF PRIOR MEETING MINUTES - OCTOBER 19, 2022 MEETING**

Before the discussion, Mr. Stangle disconnected from the meeting.

A **MOTION** was made by Ms. Jepsen and **SECONDED** by Trustee Smith to approve the Minutes from the October 19, 2022, meeting. **APPROVED** 7-0.

**IV. ECONOMIC DEVELOPMENT COMMITTEE TIME AND SIZE CHANGES**

Chairman Schiappa updated the committee on the new dates and meeting frequency of the committee. Meetings will continue to take place on the first Wednesday of the month but will only meet quarterly. Upcoming meetings are on April 5<sup>th</sup>, July 5<sup>th</sup>, and October 4<sup>th</sup>. Ms. Weyant advised the committee that they would want to reschedule the July 5<sup>th</sup> meeting to the following week to ensure a quorum.

Chairman Schiappa advised the committee that Bhagwan Sharma and Paul Stettin had resigned as committee members. In light of their resignations and due to challenges meeting quorum in 2022, he chose not to replace Mr. Sharma and Mr. Stettin and will reduce the committee size. With nine (9) members, the committee will only need five (5) members to attend each meeting.

Trustee Smith expressed his agreement with moving to quarterly and would like the committee to get more involved in the community since they do not need to meet as frequently. Chairman Schiappa agreed that he would like to see the committee more engaged in new business openings.

**V. ECONOMIC DEVELOPMENT COMMITTEE GOALS & BUDGET**

Ms. Weyant stated that the Board of Trustees has not finalized the FY2023 strategic goals and recommended that the committee focus on eliminating the barriers to success for businesses with a focus on promoting existing businesses and encouraging new business in Burr Ridge by utilizing the current systems within the Village. Ms. Weyant suggested enhancing the business section of the Burr Ridge website to make it more attractive to interested businesses while making it easy to navigate for existing businesses and people interested in visiting Burr Ridge. Ms. Weyant recommended that the committee focus on enhancing the marketing and business outreach to existing businesses through the Village's communication channels and design marketing material

to attract new businesses. Ms. Weyant suggested the possibility of a business event that could bring together existing businesses or an event meant to attract new businesses.

Ms. Jepson and Mr. Kaplarevic stated they did not know about the opening of the new business, Bullseye Axe Lounge. Ms. Jepson suggested that the committee know about new businesses opening so members can check in on those new businesses and welcome them to the area. Mr. Hassan stated that the Village Center encourages new businesses to join the chamber and would communicate with Ms. Weyant when new businesses are opening for her to disseminate the information to the committee.

Trustee Smith asked Mr. Hassan for his opinion on what type of businesses the committee should look to attract as desirable business opportunities. Mr. Hassan suggested that the key to success for existing businesses is to attract businesses that will increase foot traffic because businesses rely on visitors from outside the community for growth. Mr. Hassan suggested that he would prefer destination-orientated entertainment for the TCF development. Mr. Hassan said that the committee needs to know what type of destination-oriented entertainment would be appropriate for the area and that his organization could provide some suggestions, as they are already researching the industry. Mr. Kaplarevic suggested an aesthetically pleasing dome-style entertainment facility.

Ms. Jepsen requested that the Board of Trustees provide directions on what type of development they would like to see in the downtown area. She suggested they come up with what kind of developments they will accept. Ms. Jepsen prefers development that will bring more money to the other businesses and indicated that luxury apartments invite more people into the community. Ms. Jepsen suggested that businesses will invest more if there is more growth in the community.

Mr. Hassan stated that business owners could not grow their businesses without growth in the community. The downtown community could benefit from some luxury apartments. Mr. Hassan cautioned that the Village needs to beware of competition with other local villages.

Mr. Hassan stated that a goal the committee can look at is how existing businesses can request funds from the business improvement district. He said that improving signage should be a first step for the district and that the signage should be cohesive throughout the downtown district. Ms. Weyant stated that updates to the Village's signage requirement are a responsibility of the Plan Commission and would likely be evaluated in an upcoming comprehensive plan review that Community Development is working on for the 2024 fiscal year. Ms. Jepsen stated that businesses attract customers with signs. She said that how well new businesses can work with the Village and how quickly the process can work is important. Ms. Hamilton suggested that improved signage will help guide new visitors, as knowing where to go from the roadway can be challenging.

Ms. Hamilton suggested that when businesses put on events together, it attracts people into the community, which is why most downtowns always have things happening. Ms. Hamilton and Mr. Kaplarevic expressed interest in a venue or entertainment area that brings people into the community. Ms. Jepsen stated that something kid-oriented might help bring people to the community.

## **VI. BUSINESS LICENSING IMPROVEMENTS**

Ms. Weyant stated that the existing process for business licensing is currently under review. The business licensing process is complex and excludes pop-up vendors and food trucks. Ms. Weyant requested feedback from the committee on their experience with business licensing in other

communities to simplify the application process and collect the most appropriate business information to ensure the Village has emergency contact information for each business.

Ms. Jepsen stated that most municipalities request little information for the license fee but require proof of insurance. She said that whatever changes the Village makes should create a more straightforward program that captures as much information as necessary. Ms. Jepsen said existing businesses should have a grace period once the Village finalized changes.

## **VII. NEW BUSINESS IDEAS/ ACTION ITEMS**

Chairman Schiappa asked for action items. Mr. Hassan expressed interest in a business walk with all downtown business owners. It should not be an event intended for the public but to help the business owners get to know one another and the products and items sold in each business.

## **VIII. OTHER CONSIDERATIONS**

There were no considerations.

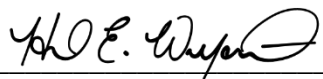
## **IX. PUBLIC COMMENT**

There were no further public comments.

## **X. ADJOURNMENT**

A **MOTION** was made by Trustee Smith and **SECONDED** by Ms. Hamilton to adjourn the meeting at 7:12 p.m. **APPROVED** 7-0.

**Respectfully Submitted:**

  
\_\_\_\_\_  
Hannah Weyant  
Special Projects Manager

**MINUTES****STREET POLICY COMMITTEE**

**Burr Ridge Village Hall - Board Room  
7660 S. County Line Road, Burr Ridge**

**Monday, January 9, 2023**

**CALL TO ORDER**

Mayor Grasso called the meeting to order at 6:22 p.m.

**ROLL CALL**

Present: Mayor Grasso, Trustee Al Paveza, Trustee Guy Franzese, Trustee Tony Schiappa

Also Present: Village Administrator Evan Walter, Public Works Director/Village Engineer David Preissig, Community Development Director Janine Farrell, Engineering Intern Caroline Long, and Development Engineer James Miedema.

**APPROVAL OF December 13, 2021, MINUTES**

Trustee Franzese made a motion to approve the minutes of December 13, 2021. The motion was **seconded** by Trustee Schiappa and **approved** by a vote of 4-0.

**YEAR-END SUMMARY OF THE 2022 CAPITAL PROGRAM**

Public Works Director/Village Engineer David Preissig presented information on the Capital Project Fund for FY23. The total FY23 Road Program costs were \$634,385, \$165,095 under budget. Significant savings were achieved in asphalt patching that was anticipated for the first-ever project on 89<sup>th</sup> Street, but which were not actually needed due to the better-than-anticipated condition of the road. Also, the seven-week long material producers strike was a detriment to all contractors and shortened the construction season, which prevented all our miscellaneous patching requests to be completed and paid out. Director Preissig discussed each contract and summarized the overall expenditures.

**CONSIDERATION OF FY2024 MOTOR FUEL TAX FUND**

Director Preissig presented on the Motor Fuel Tax (MFT) Fund, which receives the Village's share of the allotments by the Illinois Department of Transportation (IDOT) resulting from the State's tax on gasoline and diesel fuels. This fuel tax is distributed to municipalities based on their resident populations. In September 2022, IDOT updated its allocations using the populations of the 2020 Census, for which the Village receives an additional \$39,900 annually in motor fuel tax.

Beginning in FY2024, Director Preissig stated that staff proposes to allocate its MFT funds to other expenditures which are annually recurring in the Village's General Fund, such as salt purchases and tree maintenance contracts, then use General Fund revenues for the Road Program. Director Preissig explained that this will create a significant time savings since IDOT will not be required to review our Road Program documents and will also increase competitive bidding by allowing additional contractors to bid who would not otherwise be statutorily permitted on MFT-funded contracts. Director Preissig informed the Committee that the Village benefited from the aforementioned points when the 2019 Road Program contracts did not use MFT funds. The projected Motor Fuel Tax Fund forecasts are still in progress but could now total approximately \$468,000 annually based on a revised 2020 census population of 11,192.

**Minutes – Street Policy Committee  
Meeting of January 9, 2023**

Trustee Franzese asked where the MFT funds would be allocated instead of the Road Program. Village Administrator Walter said that the use of MFT funds will be outlined in an upcoming Board resolution that will list the contracts and purchases anticipated to use MFT funds that would otherwise be using up General Fund revenues.

**CONSIDERATION OF THE 2023 ROAD PROGRAM RECOMMENDATION**

Director Preissig presented the 2023 Road Program recommendation to the Committee, and explained how the recommendations were composed, through primarily the Pavement Condition Rating (PCR) tabulations and street ratings from the 2021 Street Rating Survey. Director Preissig sampled PCR values of the various streets and informed the Committee that some of the streets with lower PCR values are scheduled for next year while private site development on those streets are being completed. Director Preissig stated that staff is committed to providing a balanced, nominal budget while ensuring a sustainable pavement condition on the Village's street network, which incorporates a proactive pavement maintenance strategy. The proposed 2023 Road Program presented for consideration by Director Preissig to the Committee included the following Burr Ridge roadways:

- Devon of Burr Ridge subdivision
  - Aintree Ln
  - Grant St – south of 87<sup>th</sup> St
  - Hunter Ct
  - Bridle Ct
  - Devon Dr
  - Devon Ct
  - Wedgewood Dr – south of 87<sup>th</sup> St
  - Saddle Ct
  - Hanover Ct
  - Regent Ct
  - Royal Dr
  - Morgan Ct
  - Tori Ct
  - Westminster Dr
- Engineering for the 2024 Rebuild Illinois Bonds (RBI)-funded project for 83rd Street
- Pavement maintenance including patching, crack sealing, pavement marking
- Quality assurance with material testing contract

In 2023, proposed street resurfacing and preventative maintenance contracts total \$954,500. The Committee discussed the proposed 2023 Road Program and the Village's system-wide Pavement Condition Rating (PCR), which will be updated in 2023.

Trustee Schiappa inquired about the construction schedule. Director Preissig replied that without MFT funding requiring lengthy IDOT review schedules, staff will be able to significantly improve the early bidding, anticipate a contract award by late-February, and expect construction to start in early May.

**A motion** to recommend approval of the 2023 Road Program as submitted by staff was made by Trustee Franzese. Trustee Paveza **seconded** the motion. The motion was **approved** by a vote of 4-0.

**Minutes – Street Policy Committee  
Meeting of January 9, 2023**

**ADJOURNMENT**

There was no public comment. There being no further business, a **motion** was made by Trustee Franzese to adjourn the meeting. The motion was **seconded** by Trustee Schiappa and **approved** by a vote of 4-0. The meeting was adjourned at 6:40 p.m.

Respectfully submitted,

David Preissig, P.E.  
Public Works Director/Village Engineer

**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF JANUARY 16, 2023**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Vice-Chair Morton.

**ROLL CALL** was noted as follows:

**PRESENT:** 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton

**ABSENT:** 2 – Parrella and Trzupke

Community Development Director Janine Farrell was present.

**II. APPROVAL OF PRIOR MEETING MINUTES – DECEMBER 19, 2022**

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Broline to approve the minutes of the December 19, 2022, Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton,

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

Commissioner Irwin stated that he would like to have the December 5, 2022 meeting minutes amended. Commissioner Irwin wanted to clarify his comments regarding endorsements and payments and stated that his objection was to undisclosed payments and endorsements by political lobbyists. Vice-Chair Morton stated that he was not sure if approved minutes could be amended and that this needs to be confirmed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to amend the minutes of the December 5, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, Petrich, McCollian, Broline, Stratis, and Morton

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.



### III. PUBLIC HEARINGS

Vice-Chair Morton conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

#### **A. Z-26-2022: 525 Village Center Dr.; AT&T Special Uses; PUD Amendment and Findings of Fact**

Vice-Chair introduced the case and noted that the petitioner requested it be continued until February 6, 2023.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue Z-26-2022 to the February 6, 2023 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

#### **B. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact**

Vice-Chair Morton introduced the case and asked Director Farrell for a summary. Director Farrell presented the changes that occurred since the last meeting. The proposal to reconfigure the parking lot and add parking spaces to the north including five spaces in the front yard setback is unchanged. For stormwater, the petitioner submitted a revised Stormwater Management Report. The petitioner also presented at the Stormwater Management Committee meeting in November and received a recommendation of approval. For preventing lighting glare and spillover, the petitioner installed parking lot light shields, installed roller shades on interior windows, and proposes to plant evergreens along the fence line to the west.

Vice-Chair Morton asked if the petitioner was present and if they wished to add anything.

Petitioner Caitlyn Culbertson of Elrod Friedman LLP stated that they listened to the Commissioners and resident concerns and have addressed them. Ms. Culbertson stated that they have an updated landscape plan and a plan to address lighting in the parking lot. Ms. Culbertson stated that they are communicating with the cleaning company to adjust the timing and route of cleaning so that the interior lighting is no longer an issue. Ms. Culbertson stated that they attended the Stormwater Committee meeting and received a recommendation of approval.

Petitioner Trudy Buehler of Mackie Consultants discussed the connection of the dry well to the residential properties to the west. Ms. Buehler detailed the specific water flow direction and rates.

Petitioner Mike Trippiedi of Trippiedi Design discussed the fence elevation in relation to the grade and how the fence becomes shorter with the grade change from south to north. Mr. Trippiedi discussed the installation of the evergreen hedge row and explained that the fence elevation is effective at the southern end and then becomes deficient towards the northern end where the land begins to slope. The evergreens will provide screening in this area. Mr. Trippiedi is proposing to install the evergreens at 5 ft. tall, planted 5 ft. on center, with an initial 18" gap between them. The trees will fill in within 2-3 years.

Vice-Chair Morton asked for public comments.

Mark Thoma, 7515 Drew, presented slides and discussed the farmers drain tile that runs to SRA from the residential properties. Mr. Thoma spoke with the original engineer from Manhard Engineering who stated that there is a connection between the dry well and detention basin. Mr. Thoma is concerned that stormwater will back up onto his property. Mr. Thoma questioned why the detention structure was built in its location if it did not have a connection to the dry well. Mr. Thoma discussed the soil samples taken in 2017 which indicated fill on the property.

Commissioner Stratis asked Mr. Thoma if he spoke with the Village Engineer or the petitioner's engineer. Mr. Thoma said that he had not.

Mr. Thoma stated that he did not like the trees proposed along the fence line and doesn't believe it is enough coverage.

Commissioner Broline asked if Mr. Thoma believed that the information in the Stormwater Report was incorrect. Mr. Thoma stated yes.

Ms. Culbertson confirmed that the fence will remain on the property and that the plantings are concentrated along the properties where the headlights are an issue. Ms. Culbertson stated that the Village Engineer reviewed the plans and everything will be subject to final engineering approval.

Ms. Buehler was not involved in 2017 and is quoting from the Soil Boring Report done at the time. Ms. Buehler stated that the stormwater management section of the Soil Boring Report states that the soils are practically impervious. Commissioner Irwin asked for clarification on fill. Ms. Buehler stated that fill can mean the soil was moved from one location to another, or has gravel, or sand. Ms. Buehler cannot say for sure what the soils are between the dry well and the detention pond unless it is dug up.

Vice-Chair Morton asked if there is a connection between the dry well and detention pond. Ms. Buehler illustrated on the plans that the drain tile comes into the dry well very low and there is a second, emergency relief coming out of the dry well. Vice-Chair Morton confirmed with Ms. Buehler that if the dry well and detention pond are connected, the backyard will still drain, but there might be a temporary increase in a higher water level that can take a few hours to drain, depending on conditions.

Commissioner McCollian confirmed with Mr. Thoma that these were all prior conversations with someone at Manhard Engineering.

Commissioner Petrich questioned Mr. Thoma if he believes that the system is not working as it was designed. Mr. Thoma stated that it is working as designed but there is a passive connection between the dry well and detention pond. Ms. Buehler stated that she does not see anything in the design documents showing these two systems are connected and that the Village Engineer confirms. Commissioner Petrich stated that it cannot be proven they are connected.

Commissioners Irwin and Stratis stated that there has not been an analysis or tests done on the system since it was constructed so this is all speculative.

Commissioner Stratis asked if Mr. Thoma had any evidence that these systems are connected. Mr. Thoma stated that he was told in a meeting that they were connected.

Commissioners Petrich and Stratis confirmed with the petitioner that the soils report was done before construction.

Mr. Thoma asked why the dry well is located close to the detention pond. Ms. Buehler stated she believes that since the drain tile is so low, they tried to pick it up and then add the emergency release which sends water south.

The Commissioners, petitioner, and Mr. Thoma discussed of the location of the 24” drain tile.

Russell Allen, 7519 Drew, wanted to ensure that the care and maintenance of the trees be placed in the Ordinance and confirmed with the petitioner that the trees will be 5 ft. apart on center.

Alice Krampits, 7515 Drew, stated that parking was questioned heavily when the development was first proposed. The bus program played a role in the initial decision about parking requirements, and then the program was eliminated. Ms. Krampits is opposed to more impervious surface and parking in the front yard which makes it look like a B-1 zoning district not a Transitional District. Ms. Krampits recommended that a better solution to the parking issue should be found and there are no aesthetics since everything is concrete and asphalt. Commissioner Stratis asked what Ms. Krampits would like to see. Ms. Krampits stated more greenery and parking islands.

There was no additional public comment. Vice-Chair Morton asked for Commissioner discussion.

Commissioner Irwin reviewed the previous request and special use findings and stated that not much has changed. Commissioner Irwin stated that lighting and other issues have been addressed, so he does not see why the approval should be changed from before. Commissioner Irwin did not see the hardship for the five extra spots and supports approval of the special use but not the variation.

Commissioner McCollian is concerned about the stormwater and questioned what the resolution would be if they are wrong. Commissioner McCollian supported the parking variation.

Commissioner Stratis agreed with Commissioner Irwin on the special use and is not concerned about the parking variation as long as green space requirements are met. Director Farrell confirmed that they were. Commissioner Stratis requested something else provided for the trees like mats to prevent wood chips washing away. Mr. Trippiedi stated that there will be oak sedge groundcover to maintain the slope, confirmed that it will stay in place year-round, and that it is shown on the landscape plan. Commissioner Stratis discussed the care of arborvitae. Commissioner Stratis stated that he is proud of SRA, that it is a beautiful addition to the community, and appreciated their responses to the issues. Commissioner Stratis has faith in staff and their review of the submissions and data. Commissioner Stratis did not hear any actionable data and only conjecture about what could be happening regarding stormwater. Commissioner Stratis supported both requests.

Commissioner Broline looks at inputs and givens and is focused in on the facts as an engineer. Commissioner Broline stated that the system was likely redesigned to reduce costs. Commissioner Broline did not support the parking in the front since this is a Transitional District and should be viewed as such from the front and back. Commissioner Broline preferred to have someone take soil samples.

Commissioner Petrich stated that since the five spaces are in the front, and that they are permitted in the Business District, he supports the request. Commissioner Petrich stated that the stormwater is designed to be separate, and it cannot be proven otherwise unless the engineers do a project to challenge it. Commissioner Petrich stated that everyone has reviewed and agreed to the information and has no issue with the stormwater.

Vice-Chair Morton agrees with Commissioner Stratis. Vice-Chair Morton stated that he is not sure if the petitioner has met the hardship standard for the variation. Vice-Chair Morton stated that the van program was a great amenity to the community and hopes that it is reconsidered to bring it back. Vice-Chair Morton stated that parking in that area is difficult and there may be a future tenant requesting a variation. Vice-Chair Morton stated that only four full spaces are in the setback and only a small portion of the fifth. Vice-Chair Morton appreciated the responsiveness of SRA.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to close the public hearing for Z-22-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, Petrich, McCollian, Broline, Stratis, and Morton  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to recommend approval of Z-22-2022, a request by MedProperties, LLC to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District, with Findings of Fact, and with the following conditions:

1. The development shall comply with the submitted site plan, subject to final engineering approval, attached as Exhibit A.
2. The development shall comply with the submitted landscape plan, subject to staff review and approval, attached as Exhibit A.
3. The petitioner, owner, tenant, or occupant shall maintain the landscaping including but not limited to the prompt replacement of any diseased or dead material.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, Stratis, McCollian, Petrich, Broline, and Morton  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Stratis to recommend approval of Z-22-2022, a request by MedProperties, LLC for a variation from Zoning Ordinance section X.I.C.8 to permit parking in the front yard, with Findings of Fact.

**ROLL CALL VOTE** was as follows:

**AYES:** 3 – Petrich, Stratis, and Morton  
**NAYS:** 2 – Irwin and Broline

**MOTION FAILED** by a vote of 3-2.

## V. CORRESPONDENCE

### A. Board Reports

There were no comments on the Board Report.

### B. Building Reports

There was no building report and no comments.

**VI. OTHER CONSIDERATIONS**

**A. PC-01-2023 10S630 Garfield Ave. (Aliyeva); Extraterritorial Review of a Variation**

Vice-Chair Morton introduced the case and asked for a summary. Director Farrell stated that this is an extraterritorial review of a variation request located in unincorporated DuPage County. The parcel is south of Oak Creek Club, east of the Oak Ridge Creek Subdivision, and to the west of Rustic Acres, the former Village Public Works facility. The property is accessed through a private road easement located on Oak Creek Club property. The petitioner proposes to divide the property into two lots. Staff reviewed the request and had a concern about the easement on Oak Creek Club's property. Staff was unable to find a copy of the easement and does not know if it will permit this new lot access. Staff requested a copy of the easement through the County and was informed that the DuPage County State's Attorney reviewed the easement and stated that the new lot should be able to use it. Staff also requested verification from DuPage County that the Oak Creek Club HOA was notified.

Vice-Chair Morton asked what actions the Commission could take on this proposal. Director Farrell stated that there is no formal Plat of Subdivision review or approval required since the division is exempt under the Plat Act. The Commission's comments are limited to concerns about the lot width and easement access.

Vice-Chair Morton confirmed with Director Farrell that Oak Creek Club can comment on the petition through the public hearing.

Commissioner Stratis was concerned about the legal review of the easement performed by DuPage County and does not believe that the new lot would necessarily be granted access.

The Commissioners discussed if notification was provided to Oak Creek Club. The Commissioners also questioned the possibility of forcibly annexing the property and that the proposed division would not be approved under Village codes and ordinances.

The Commissioners directed staff to submit comments to DuPage County requesting a delay in the vote until more information is provided about the easement and to mention that the proposed division would not be approved under Village codes.

**B. PC-02-2023 Annual Zoning Review**

Vice-Chair Morton polled the Commissioners to see if they preferred to hold the discussion on the annual zoning review until Chairman Trzupke is present. The Commissioners agreed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue PC-02-2023 until February 6, 2023.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

## **VII. PUBLIC COMMENT**

Mark Thoma, 7515 Drew, asked how to prove to staff that additional water is on his property. Mr. Thoma stated that the functioning of the system was explained to him by Manhard Engineering when the development was originally planned, that he had to hire an engineer, and had to inform the engineers that there is a watershed in the area.

## **VIII. FUTURE MEETINGS**

Vice-Chair Morton noted the future Village Board and Plan Commission meetings and the cases scheduled.

## **IX. ADJOURNMENT**

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 8:52 p.m.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, Stratis, McCollian, Petrich, Broline, and Morton  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

**Respectfully Submitted:**

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Janine Farrell, AICP  
Community Development Director

ORDINANCE NO. A-661-01-23

AN ORDINANCE AMENDING THE VILLAGE OF BURR RIDGE PERSONNEL MANUAL

WHEREAS, the corporate authorities of the Village of Burr Ridge (“Village”) have previously adopted an "Ordinance Adopting the Village of Burr Ridge Personnel Manual and Repealing Ordinance Numbers 403 and 415, as Amended," and subsequent amendments by ordinance; and

WHEREAS, the corporate authorities of the Village have determined that it is in the best interest of the Village to revise its Personnel Manual as described in Exhibit A.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. The Village of Burr Ridge Personnel Manual is hereby amended as described in the attachment included herein as Exhibit A.

Section 2. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

ADOPTED this 23<sup>rd</sup> day of January, 2023, pursuant to a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 23<sup>rd</sup> day of January, 2023.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk



## Section 2: Conditions of Employment

### 2.1 Equal Opportunity in Employment

The Village values and respects diversity in the workforce. It is the policy and practice of the Village to hire, promote, and compensate employees, and to administer all employment practices in accordance with applicable law, without regard to status or perceived status in a protected class, including race, traits associated with race, including but not limited to, hair texture and protective hairstyles such as braids, locks and twists, color, national origin, citizenship, work authorization status, age, religion, disability status, association with a person with a disability, gender, sexual orientation, gender identity, gender expression, genetic information, pregnancy, military status, or marital status.

In the event that an employee has a complaint of discrimination or retaliation or believes that conduct prohibited by the Manual or applicable law may be occurring, the employee is required to:

- A. Immediately report the complaint or incident in writing to their Supervisor. If the Supervisor is involved in the incident, the employee should report the incident to the next individual in the chain of command that is not involved, including another Supervisor, Department Head, Village Administrator, or Village Attorney.
- B. The employee may also file a charge of discrimination with the U.S. Equal Employment Opportunity Commission or with the Illinois Department of Human Rights.

There shall be no discrimination or retaliation against any employee who, in good faith, makes a complaint or report of discrimination, retaliation, or harassment.

### 2.2 Americans with Disabilities Act Guidelines

It is the policy of the Village to comply with all provisions of the Americans with Disabilities Act ("ADA"). The Village will not discriminate against any qualified employee or job applicant with respect to any term or condition of employment based on a physical or mental disability or the perception of a physical or mental disability. The Village shall make reasonable modifications or adjustments to a job or the work environment so as to enable the performance of essential job functions for any employee with a disability that is known to the Village if such accommodation does not result in an undue hardship to the Village. Employees should notify their immediate Supervisor, Department Head, or the Village Administrator of any needed accommodations.

Any applicant or employee who believes that they have been discriminated against based on a physical or mental disability or based on a perception that they suffer from a physical or mental disability should follow the Complaint Procedure (Section 14). Employees who wish to receive more information regarding the federal ADA regulations relating to workplace accommodations may contact the United States Department of Justice.

## 2.3 Anti- Harassment / Anti-Discrimination Policy

### Statement of Policy

The Village desires to provide a professional working environment for its employees so that employees may carry out their duties in a productive and positive surrounding. The Village is committed to maintaining a work environment that is free from all forms of harassment or discrimination of any kind. In keeping with this commitment, the Village will not tolerate any form of harassment, including sexual harassment, or discrimination of any kind based upon race, traits associated with race, including but not limited to, hair texture and protective hairstyles such as braids, locks and twists, color, religion, sex, pregnancy, ancestry, national origin, age, disability, gender, sexual orientation, gender identity, gender expression, marital status, citizenship status, or other legally protected group status, by its employees or against its employees by anyone, including supervisors, co-workers, officers, vendors, customers or any third party. This Policy is intended to assure that the Village is taking all steps to prevent harassment and discrimination in the workplace and to correct harassing or discriminatory conduct that does occur before it becomes severe or pervasive.

Each officer and employee bears a responsibility to refrain from discrimination or harassment in the workplace. Village employees who engage in discriminatory or harassing conduct may be subject to disciplinary action, up to and including termination of employment with the Village. It is the responsibility of all supervisors to make sure that the work environment is free from harassment or discrimination of any kind.

The Village also prohibits retaliation of any kind against anyone who has complained about discrimination or harassment, whether that concern relates to discrimination against or harassment of the individual raising the concern or against another individual.

### Definitions and Prohibited Conduct

#### *Sexual Harassment*

Sexual harassment, for purposes of this policy, means any harassment or discrimination on the basis of an individual's actual or perceived sex or gender, including unwelcome sexual advances, requests for sexual favors, other verbal, non-verbal, or physical acts of a sexual or sex-based nature, where:

- A. Submission to such conduct is made, either explicitly or implicitly, a term or condition of an individual's employment;
- B. Submission to or rejection of such conduct by an individual is used as the basis for employment decisions affecting such individual; or
- C. Such conduct has the purpose or effect of substantially interfering with an individual's work performance or creating an intimidating, hostile, or offensive working environment.

Sexual harassment can occur between members of the same or different genders. Any such behavior is unacceptable but especially so in the workplace or work-related settings. Sexual harassment affects the victim but also other employees as well. Sexually-oriented acts or sex-based conduct have no legitimate business purpose. Where such conduct is directed by someone in a management position toward a subordinate, the former will be held to a higher standard of accountability because of the degree of control and influence they have or are perceived to have over the employment conditions and benefits of the subordinate.

Prohibited acts of sexual harassment may include a range of subtle or not-so-subtle behaviors and may involve individuals of the same or different gender. Such behavior may include, but is not limited to: unwanted sexual advances; requests for sexual favors; sexual jokes and innuendo; verbal abuse of a sexual nature; commentary about an individual's body, sexual prowess, or sexual deficiencies; leering; catcalls; touching; insulting or obscene comments or gestures; display or circulation in the workplace of sexually suggestive objects or pictures (including through e-mail, instant messaging, texts, Internet or computer usage); and other physical, verbal or visual conduct of a sexual nature. Harassment that does not include sexual activity or language may also constitute discrimination if it is severe or pervasive and directed at employees because of their actual or perceived gender.

Harassment or discrimination consists of unwelcome conduct of any kind, whether verbal or physical, or disparate treatment affecting an individual's terms and conditions of employment based upon a person's actual or perceived race, traits associated with race, including but not limited to, hair texture and protective hairstyles such as braids, locks and twists, color, religion, sex (gender), pregnancy, ancestry, national origin, age, physical or mental disability, sexual orientation, gender identity, gender expression, marital status, citizenship status, or other legally protected group status. Harassing conduct includes, but is not limited to: epithets, slurs, or negative stereotyping; threatening, intimidating, or hostile acts; denigrating jokes and display; or circulation in the workplace of written or graphic material that denigrates or shows hostility or aversion toward an individual or group (including through e-mail, texts, etc.) because of their actual or perceived protected status.

#### Individuals Covered Under the Policy

This policy covers all Elected and Appointed Officials, employees, and officers of the Village. The Village will not tolerate, condone or allow harassment or discrimination, whether engaged in by fellow employees, officers, or by other non-employees who conduct business with the Village. The Village supports and encourages reporting of all incidents of harassment and discrimination, regardless of who the offender may be, and will promptly investigate all reported incidents. Where the alleged offender is not an employee or officer of the Village, the Village Administrator, in consultation with the complainant, will review the complaint and make every effort to identify a reasonable remedy if harassment or discrimination has been confirmed.

When FMLA leave ends, the employee will be returned to the same position, if it is available, or to an equivalent position for which the employee is qualified, unless the employee is considered a “key employee” under applicable regulatory guidelines.

## **5.8 Jury Duty or Other Court Attendance**

An employee summoned for jury duty or to serve as a witness (not as a plaintiff or defendant) in a court case that necessitates an absence from assigned duties within the employee's standard weekly work schedule shall be granted pay at straight time for such absence. Such an employee shall report for the employee's regular duties while excused from such attendance in court unless it is impossible or unreasonable for the employee to do so.

## **~~5.9 Death in Immediate Family Leave~~**

~~An employee may be granted an emergency leave of absence of up to three days annually for bereavement leave without loss of pay as a result of a death in the immediate family. An employee may request to use additional time-off from their accrued vacation, but such additional time-off is subject to the approval of the Village Administrator. A member of the immediate family shall be defined to be any employee's parent, spouse, child (including step or adopted), sibling (including half or step), parent-in-law, child-in-law, grandparent, grandchild, or aunt/uncle.~~

## **5.10 Child Family Bereavement Leave**

In accordance with the State Child Illinois Family Bereavement Leave Act, employees will be provided up to 80 hours of unpaid leave for the death of a child and up to six weeks of unpaid leave for the death of a second child in a 12-week period. The Act also provides for up to 80 hours of unpaid leave for the death of covered family members, such as stepchildren, spouses, domestic partners, siblings, parents, in-laws, grandchildren, and grandparents, as well as qualifying reasons for leave including miscarriage, stillbirth, failed adoption match, failed surrogacy agreement, unsuccessful intrauterine insemination, or any diagnosis that negatively impacts fertility or pregnancy outcomes.

The Village will provide 24 hours of annual paid bereavement leave as a result of death in the immediate family. The Village's paid bereavement leave shall be inclusive of a member of the immediate family, defined as the employee's parent, spouse, child (including step or adopted), sibling (including half or step), parent-in-law, child-in-law, grandparent, grandchild, aunt/uncle, or first cousin.

## **5.11 Part-Time, Seasonal and Temporary Employees**

Part-time, seasonal, or temporary employees may not work more than 1,000 hours in any given calendar year and earn no paid time off as a condition of their employment. These employees may request flexible schedules at the discretion of their applicable Department Head if they require leave from their regular employment.

ORDINANCE NO. A-834-~~xx~~-23AN ORDINANCE GRANTING SPECIAL USES FOR AUTOMOBILE AND  
EQUIPMENT SERVICE, OUTDOOR STORAGE, AND FOR A FENCE IN A NON-  
RESIDENTIAL DISTRICT

(Z-24-2022: 311 SHORE DRIVE - DP BURR RIDGE, LLC)

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**WHEREAS**, an application for three special use approvals for certain real estate has been filed with the Community Development Director of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

**WHEREAS**, said Plan Commission of this Village held public hearings on the question of granting said special use approvals on November 21 and December 19, 2022, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

**WHEREAS**, the Village of Burr Ridge Plan Commission has made its report on the request for special use approvals, including its findings and recommendations, to this Mayor and Board of

Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

**NOW THEREFORE, Be It Ordained** by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of the special use approvals indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the petitioner for the special use requests for the property located at 311 Shore Drive, Burr Ridge, Illinois, is Pat Daly of DP Burr Ridge, LLC (hereinafter "Petitioner"). The Petitioner requests special use approvals for automobile and equipment service, outdoor storage, and a fence in a non-residential district. The Petitioner intends to lease the property to Tesla Motors, Inc.
- B. That the proposed Tesla Motors, Inc. automobile repair facility is located within an industrial area and will not be detrimental to the surrounding area or public.

C. That the requests are unique to the property's location and the specific requirements and business plan of Tesla Motors, Inc.

**Section 3:** That special use approvals for automobile and equipment service, outdoor storage, and a fence in a non-residential district **are hereby granted** for the property commonly known as 311 Shore Drive and identified with Permanent Real Estate Index Number of **09-35-205-008**, subject to the following conditions:

1. The special uses are limited to Tesla Motors, Inc.
2. The development shall substantially comply with the submitted plans, attached as Exhibit A.
3. The fence is permitted to be up to 7' in height, within the side yard, and with the flat picket top as depicted on the plans attached as Exhibit A.
4. Vehicle repair work shall be confined to the interior of the building only.
5. Only the sale of parts is permitted. There shall be no sales of vehicles from the premises.

**Section 4:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

**PASSED** this 23<sup>rd</sup> day of January, 2023, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

**AYES:** -

**NAYS:** -

**ABSENT:** -

**APPROVED** by the Mayor of the Village of Burr Ridge on this  
23<sup>rd</sup> day of January, 2023.

---

Mayor

ATTEST:

---

Village Clerk



# EXHIBIT A



## Operational Letter - Tesla Collision Center

Tesla Motors, Inc. is proposing to redesign and use the existing 40,650sf building located at 311 Shore Dr, Burr Ridge, IL as an auto repair service facility as defined in the local zoning code. The property is currently zoned General Industrial, which under a Special Use Permit allows "Automobile and truck and equipment sales, rental and service." The applicant is requesting that Special Use.

The proposed project consists of fully remodeling the existing building into an automotive collision repair center that will address the repair of Tesla vehicles that have been involved in a collision. The operation includes the assessment of damage and if needed, the repair or replacement of the following

- Frame
- Body Panels
- Glass
- Paint
- Mechanical and trim components to ensure the functionality and safety of the vehicle

The anticipated hours of operation will be Monday through Sunday from 8am to 7pm. During this time, approximately 35-45 employees will provide repair services for approximately 60-80 vehicles each week. There will be two shifts. First shift from 6am-3pm and a second at 3pm-12am. Each shift will have the same number of employees. All vehicles will be repaired within the 4 walls of the facility and public view will be limited. Work in progress (WIP) vehicles will be inside the building. Repairs typically take 11-16 days on average.

Prevention protocols consistent with Tesla Environmental Health & Safety operational guidelines will be used to manage hazardous waste streams, noise, and odor generated by operations. For example, various fume and dust extraction devices are used in the collision repair process and contained filtrated air systems are used for paint application process. Noise is mitigated by containing all repair work within the facility with use of air regulators for pneumatic tooling and equipment. Battery handling and storage guidelines for 12 volt and high voltage systems are provided to all employees through Tesla's service information website - <https://service.tesla.com/>. Additionally, first responder handling of battery systems is made publicly available - <https://www.tesla.com/firstresponders>.

Customers who come to the facility will primarily be by appointment only. We estimate 5 to 15 appointment customers per day. Day of customers (walk-ins) are limited, but we estimate 1 per day. Customers will either bring their car in or have a provider tow their car to our facility on the day of their appointment. After dropping off their cars, customers are eligible for a ride share voucher (e.g. Uber) to get to their next destination. When their car is complete, customers are usually dropped off by a 3<sup>rd</sup> party or walk-in after returning a rental.

The existing parking lot will be partially fenced off for public and private uses. The private use area will be screened from public view. On a typical day, we anticipate parking use to be as follows:

- Customers – 2 max at any given time
- Employees – 35 (screened/private)
- Vehicles Waiting for Repair Work to commence – 20 (screened/private)
- Repair complete vehicles waiting for customer pickup – 15

The remaining parking will be held in reserve to accommodate our staff and customers in the event Tesla elects in the future to include sales at this facility.

Thank you for your time in reviewing our project proposal. We look forward to being a part of the City of Burr Ridge and having our services be available to its community.

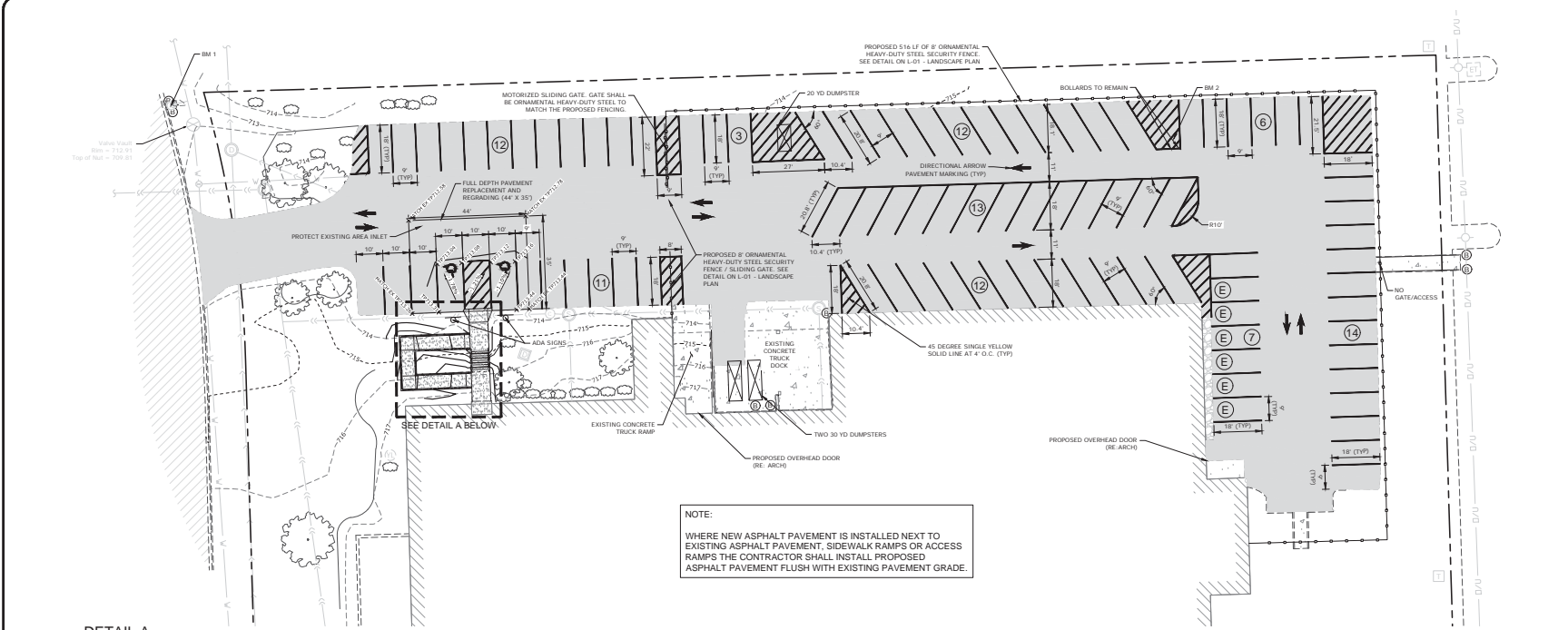
Sincerely,

Joanie Velazquez | Expansion Program Manager, Collision

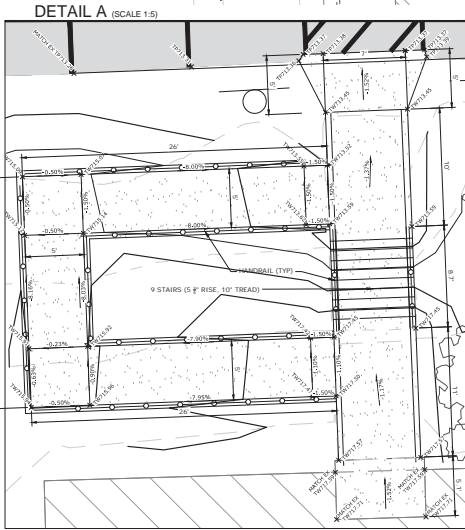
ISSUED FOR	DATE
1. CLIENT REVIEW	10/1/2022
2. AGENCY REVIEW	10/27/2022
3. AGENCY REVIEW	12/9/2022
4. --	--
5. --	--
6. --	--
7. --	--
8. --	--
9. --	--
10. --	--
11. --	--
12. --	--

REVISIONS	ITEM	DATE
1.		
2.		
3.		
4.		
5.		
6.		



**NOTE:**  
WHERE NEW ASPHALT PAVEMENT IS INSTALLED NEXT TO EXISTING ASPHALT PAVEMENT, SIDEWALK RAMPS OR ACCESS RAMPS THE CONTRACTOR SHALL INSTALL PROPOSED ASPHALT PAVEMENT FLUSH WITH EXISTING PAVEMENT GRADE.



**GENERAL PAVING NOTES**

- ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING: CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (STANDARD SPECIFICATIONS), LATEST EDITION, INCLUDING ALL UPDATES AND STANDARDS THEREOF.
- STANDARDS AND REQUIREMENTS OF VILLAGE OF BURR RIDGE.
- ADDITIONAL DETAILS AND REQUIREMENTS PROVIDED IN THE CONTRACT DOCUMENTS, INCLUDING THIS PLAN SET.
- ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
- THE SUBGRADE OF PAVEMENT AREAS SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF STANDARD PROCTOR DENSITY.
- THE SUBGRADE SHALL BE PROOF ROLLED, INSPECTED AND APPROVED BY THE VILLAGE OF BURR RIDGE PRIOR TO PLACING THE BASE MATERIAL. NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO FINISHED SUBGRADE PREPARATION.
- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPILL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE ROADWAY SUBGRADE, PROOF ROLLED, PLACING TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES TO FINISHED GRADE IN THE PARKWAYS AREAS ONLY, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
- THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING THE SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
- THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, PROOF ROLLING, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
- THE PROPOSED PAVEMENT SHALL BE OF THE TYPE AND SPECIFICATIONS AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND CONSTRUCTED IN STRICT CONFORMANCE WITH THE PREVIOUSLY REFERENCED IDOT STANDARD SPECIFICATIONS AND VILLAGE OF BURR RIDGE.
- AREAS OF DEFICIENT PAVING, INCLUDING CORROSION, SMOOTHNESS, THICKNESS, AND ASPHALT MIXTURE, SHALL BE DELINEATED, REMOVED, AND REPLACED IN COMPLIANCE WITH SPECIFICATIONS REQUIREMENTS UNLESS CORRECTED OTHERWISE AS DIRECTED AND APPROVED BY THE OWNER.
- FIELD QUALITY CONTROL TESTS SPECIFIED HEREIN WILL BE CONDUCTED BY THE OWNER'S INDEPENDENT TESTING LABORATORY (ITL) AT NO COST TO THE CONTRACTOR. ANY TESTING AND INSPECTION RESULTING FROM THE REQUIREMENTS OF NECESSARY PERMITS BY VILLAGE OF BURR RIDGE OR THE STATE OF ILLINOIS SHALL BE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PERFORM ADDITIONAL TESTING AS CONSIDERED NECESSARY BY THE CONTRACTOR FOR ASSURANCE OF QUALITY CONTROL. RETESTING REQUIRED AS A RESULT OF FAILED INITIAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- FIELD TESTING, FREQUENCY, AND METHODS MAY VARY AS DETERMINED BY AND BETWEEN THE OWNER, THE ITL, AND VILLAGE OF BURR RIDGE.
- TESTING SHALL BE PERFORMED ON FINISHED SURFACE OF EACH ASPHALT CONCRETE COURSE FOR SMOOTHNESS, USING 10' 0" STRAIGHTEDGE APPLIED PARALLEL WITH, AND AT RIGHT ANGLES TO CENTERLINE OF PAVED AREA. THE FOLLOWING TOLERANCES IN 10' FT SHALL NOT BE EXCEEDED: BASE COURSE SURFACE: 1/4-INCH WEARING COURSE SURFACE: 1/8-INCH.
- NO PONDING SHALL OCCUR ON PAVED SURFACES. REFER TO "GENERAL NOTES" IN THIS PLAN SET.

**PAVEMENT MARKING NOTES**

- MATERIAL DESCRIPTION: A FAST DRYING, HIGH HIDING MARKING PAINT FOR CONCRETE, BRICK, AND BITUMINOUS SURFACE. SUITABLE FOR PAINTING CENTERLINES AND EDGE LINES OF HIGHWAYS, CROSSWALKS AND STOP ZONES, PARKING LOTS, TRAFFIC AISLES, ETC. DO NOT APPLY TO IN TEMPERATURES BELOW 50 °F.
- TWO COATS OF PAINT SHALL BE APPLIED.

BENCHMARKS	
DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1 NORTHEAST BOLT ON FIRE HYDRANT	714.96
BENCHMARK 2 NORTHWEST BOLT IN "MUELLER" ON FIRE HYDRANT	719.88



**LEGEND**

- PROPERTY LINE
- - - - - LOT LINE
- - - - - EXISTING RIGHT-OF-WAY
- - - - - EXISTING EASEMENT LINE
- - - - - EXISTING EDGE OF PAVEMENT
- - - - - PROPOSED EDGE OF PAVEMENT
- ○ ○ ○ ○ PROPOSED 8" CHAIN LINK FENCE WITH BLACK VINYL PRIVACY SLATS
- ○ ○ ○ ○ PROPOSED GRADE BREAK LINE
- PROPOSED ROAD STRIPING
- ○ ○ ○ ○ PROPOSED ADA PARKING SPACE
- ○ ○ ○ ○ NUMBER OF PROPOSED PARKING SPACES IN A ROW
- ○ ○ ○ ○ PROPOSED ELECTRIC CAR CHARGING STATIONS
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- ▨ PROPOSED 2 1/4" ASPHALT OVERLAY / PAVEMENT SEPAR
- 1.6% DIRECTION OF SHEET FLOW
- TOP OF WALK ELEVATION
- TOP OF PAVEMENT ELEVATION
- FINISHED GRADE ELEVATION



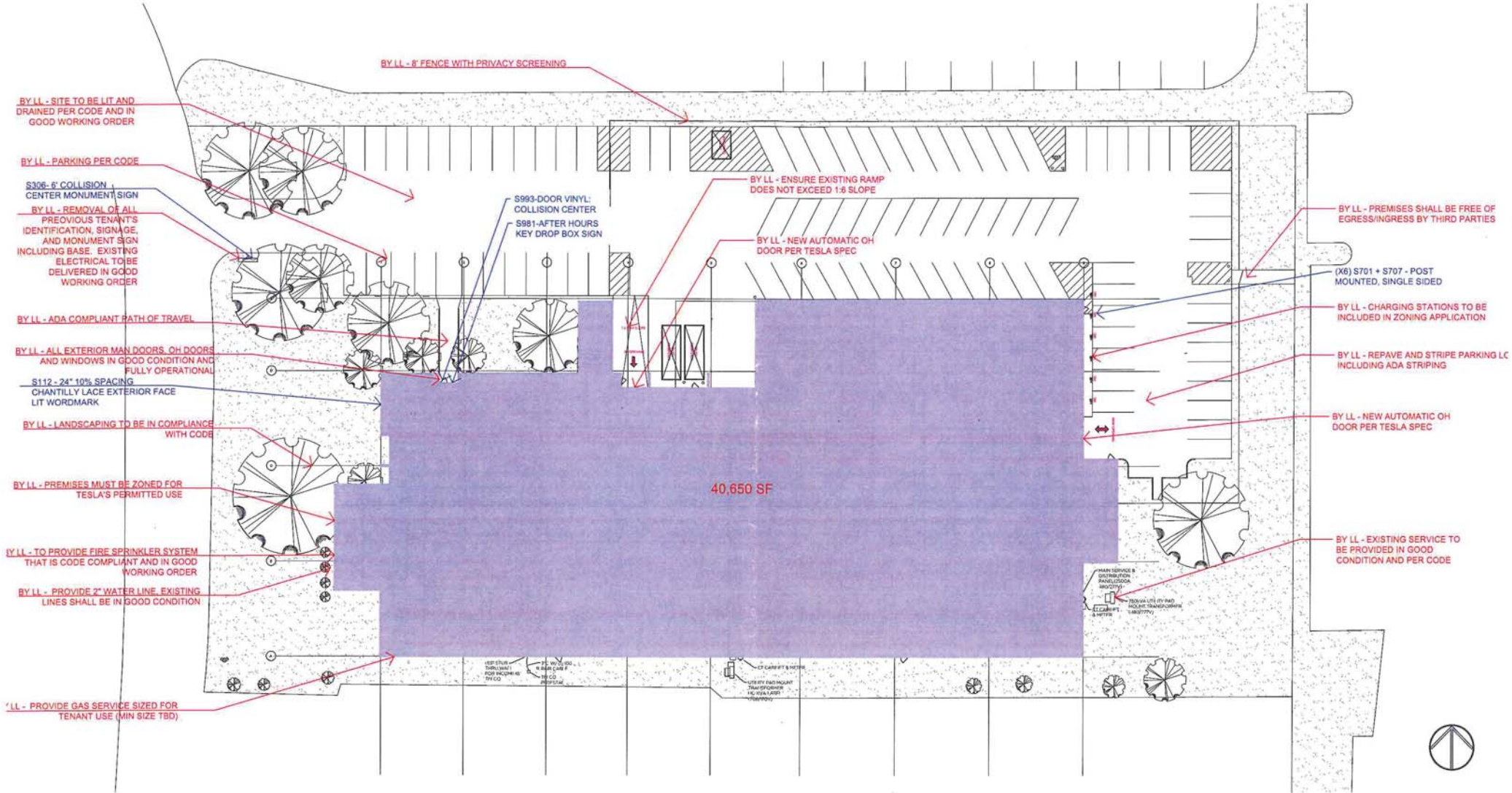




# CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

SITE PLAN  
TRT ID 20157

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)



NOT TO SCALE

ESLA September 12, 2022



TRAFFIC FLOW

NA | 311 SHORE DR BURR RIDGE, IL | US

\*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COST

CONFIDENTIAL

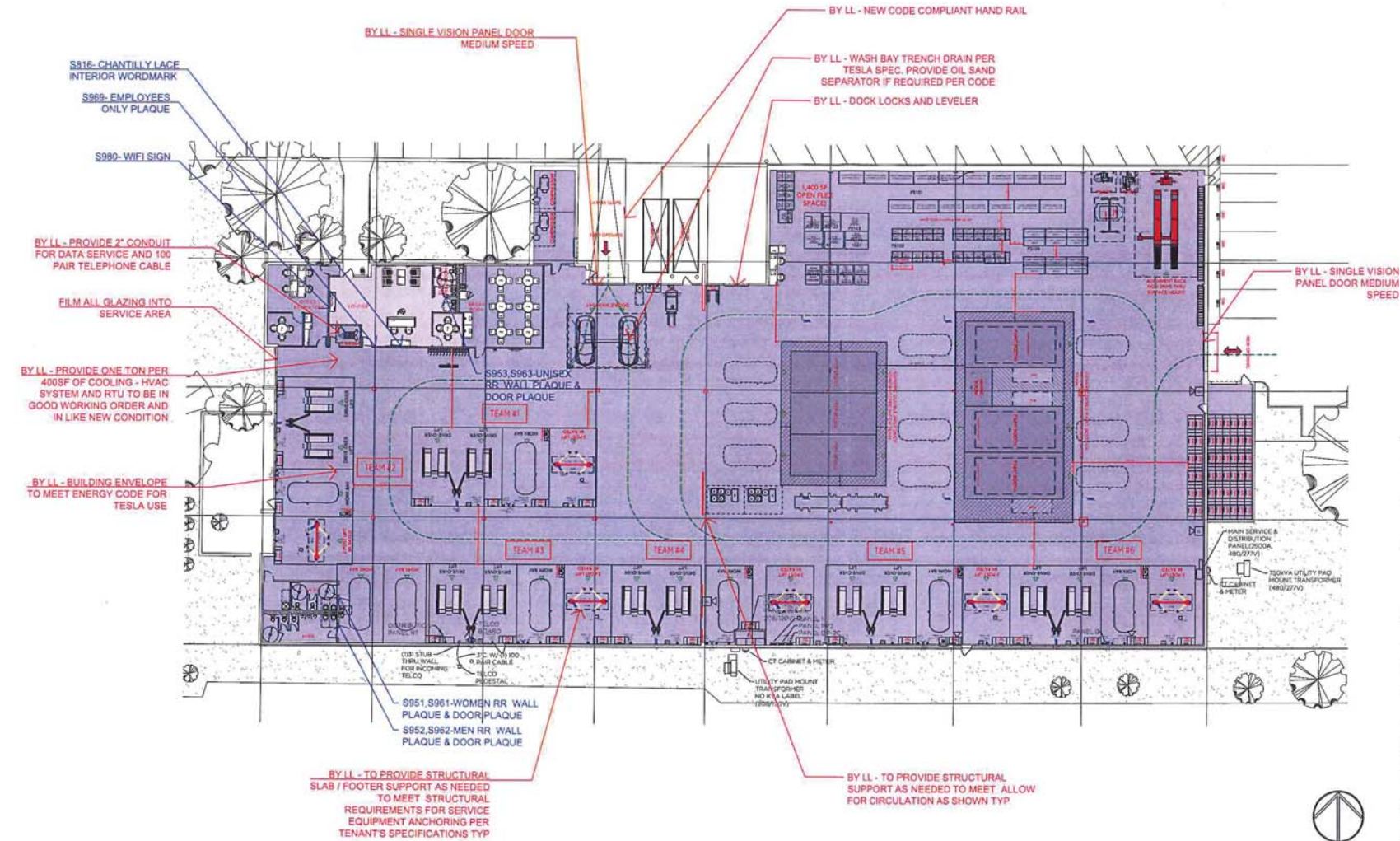


# CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

CONCEPT FLOOR PLAN  
TRT ID 20157

CONFIDENTIAL

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)



- SPECIAL CONDITIONS:**
- ZONING BY LL
  - UTILITY UPGRADES BY LL

**WORKBAY COUNT**

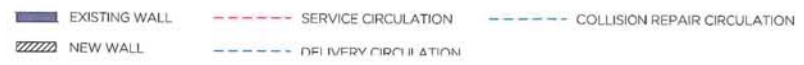
2-POST LIFTS	6
FUTURE 2-POST LIFTS	0
SCISSOR LIFTS	12
OPEN BAYS (SERVICE)	8
<b>SUBTOTAL</b>	<b>26</b>
PDI BAYS (SALES)	0
<b>TOTAL</b>	<b>26</b>

**AREA BREAKDOWN (SF):**

<b>GROSS TOTAL:</b>	<b>40,475</b>	SF	-	%
FIRST FLOOR:	40,475	SF	-	%
SECOND FLOOR:	NA	SF	-	%
<b>NET TOTAL:</b>	<b>39,298</b>	SF	100	%
SERVICE SHOP:	3,308	SF	84	%
PARTS AND STORAGE:	3,998	SF	10	%
LOUNGE:	970	SF	2	%
BOH:	1,249	SF	3	%
SHOWROOM:	NA	SF	#	%
DELIVERY:	NA	SF	#	%
UNBUILT/OTHER:	NA	SF	#	%

SCALE: 1/32" = 1'-0"

TESLA September 12, 2022



\*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COSTS

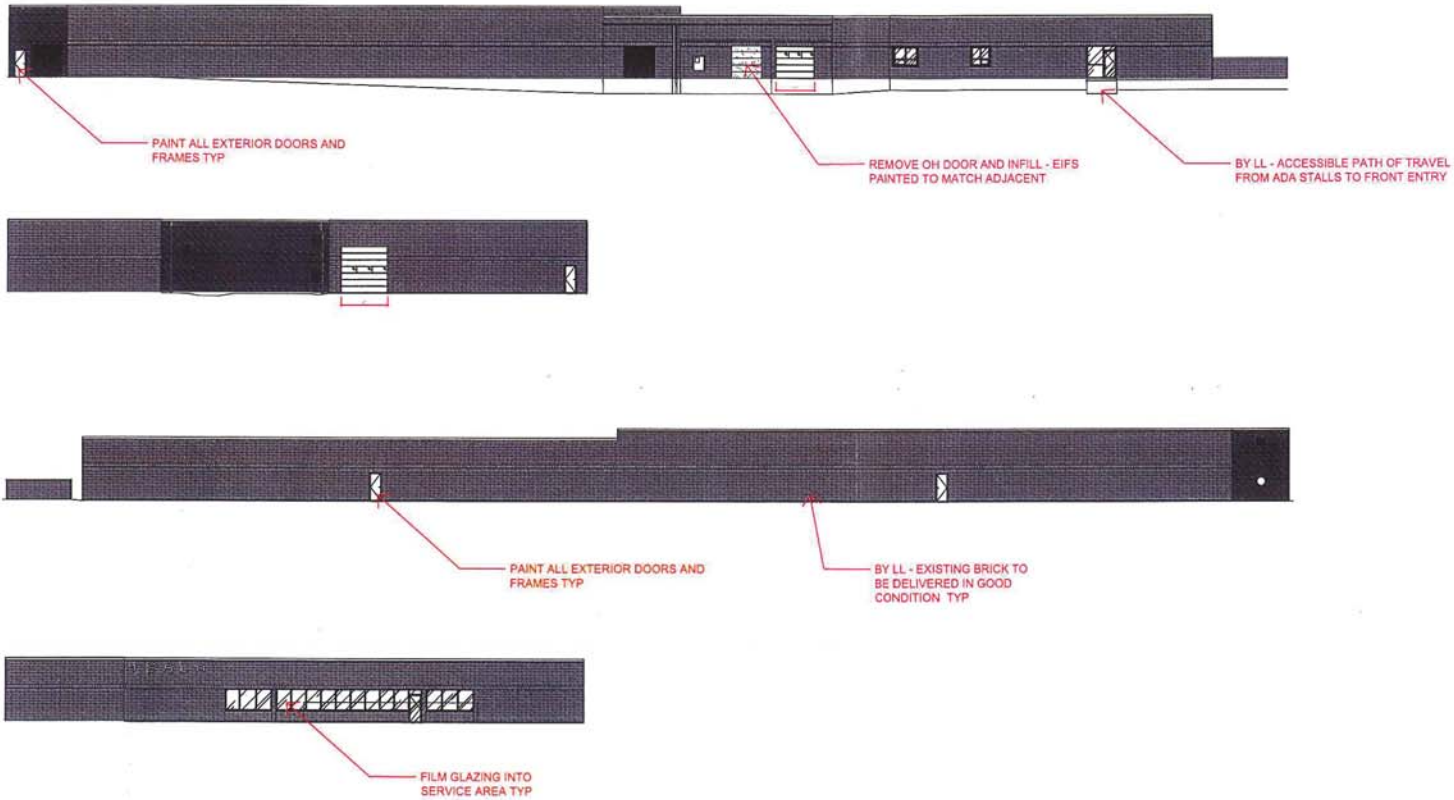
NA 1311 SHORE DR BURR RIDGE, IL 1 US

# CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

ELEVATION  
TRT ID 20157

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SCALE: 1/32" = 1'-0"

ESLA September 12, 2022

NA | 311 SHORE DR BURR RIDGE, IL | US

\*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COS

CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

SCOPE OF WORK  
TRT ID 20157

CONFIDENTIAL

BUILDING SHELL	(N)	(E)	FINISH:	NOTES:
PAINTING:	X	-		PAINT EXTERIOR DOORS AND FRAMES

<del>SHOWROOM</del>	<del>(N)</del>	<del>(E)</del>	<del>FINISH:</del>	<del>NOTES:</del>
<del>FLOORING:</del>	<del>-</del>	<del>-</del>	<del>TILE</del>	<del>-</del>
<del>CEILING:</del>	<del>-</del>	<del>-</del>	<del>OPEN CEILING</del>	<del>-</del>
<del>LIGHTING:</del>	<del>-</del>	<del>-</del>	<del>SUSPENDED</del>	<del>-</del>
<del>PAINTING:</del>	<del>-</del>	<del>-</del>	<del>-</del>	<del>-</del>

LOUNGE	(N)	(E)	FINISH:	NOTES:
FLOORING:	X	-	CARPET	-
CEILING:	X	-	ACT	-
LIGHTING:	X	-	2 X 2 DROP IN	-
PAINTING:	X	-		-

SERVICE	(N)	(E)	FINISH:	NOTES:
FLOORING:	X	-	SEALED CONCRETE	-
CEILING:	X	-	OPEN CEILING	-
LIGHTING:	X	-	SUSPENDED	-
PAINTING:	X	-		WALLS AND CEILINGS

CUSTOMER RR	(N)	(E)	FINISH:	NOTES:
FLOORING:	X	-	TILE	-
CEILING:	X	-	GYP	-
LIGHTING:	X	-	DOWNLIGHT	-
PAINTING:	X	-		-

EMPLOYEE RR	(N)	(E)	FINISH:	NOTES:
FLOORING:	X	-	VCT	-
CEILING:	X	-	ACT	-
LIGHTING:	X	-	2 X 2 DROP IN	-
PAINTING:	X	-		-

OFFICE	(N)	(E)	FINISH:	NOTES:
FLOORING:	X	-	CARPET	-
CEILING:	X	-	ACT	-
LIGHTING:	X	-	2 X 2 DROP IN	-
PAINTING:	X	-		-

BRANDING	QTY	NOTES
WORD MARK - NON ILLUM	1	-
WORD MARK - ILLUM:	1	-
T-FLAG:	-	-
MONUMENT SIGN:	1	-
BLADE SIGN	-	-
SERVICE SIGN:	-	-
WAY FINDING PACKAGE	-	-

SITE WORK	NOTES
DIRECTIONAL ARROWS:	-
RAMPS/STAIRS:	X BY LL
FENCING:	X BY LL
LANDSCAPING:	X BY LL
PARKING LOT STRIPING:	X BY LL
DRAINAGE:	X BY LL
TRASH ENCLOSURE:	X BY LL - IF REQUIRED

BUILDING UPGRADES	(LL)	(T)	REPAIR	REPLACE WITH NEW	ADD NEW	NOTES
PANEL UPGRADES:	X	-	X	-	-	IF REQUIRED
RTU:	X	-	-	X	-	REFER TO BRINCO REPORT
UNIT HEATERS:	-	-	-	-	-	
HVAC:	X	-	-	X	-	
NEW TRENCH:	X	-	-	-	X	
OILSAND, WATER SEP.	X	-	-	-	X	IF REQUIRED
NEW ROLL-UP DOORS	X	-	-	-	X	SIZE: 12X12 QTY: 1 SIZE: 10X8 QTY: 1
ELEVATOR	-	-	-	-	-	

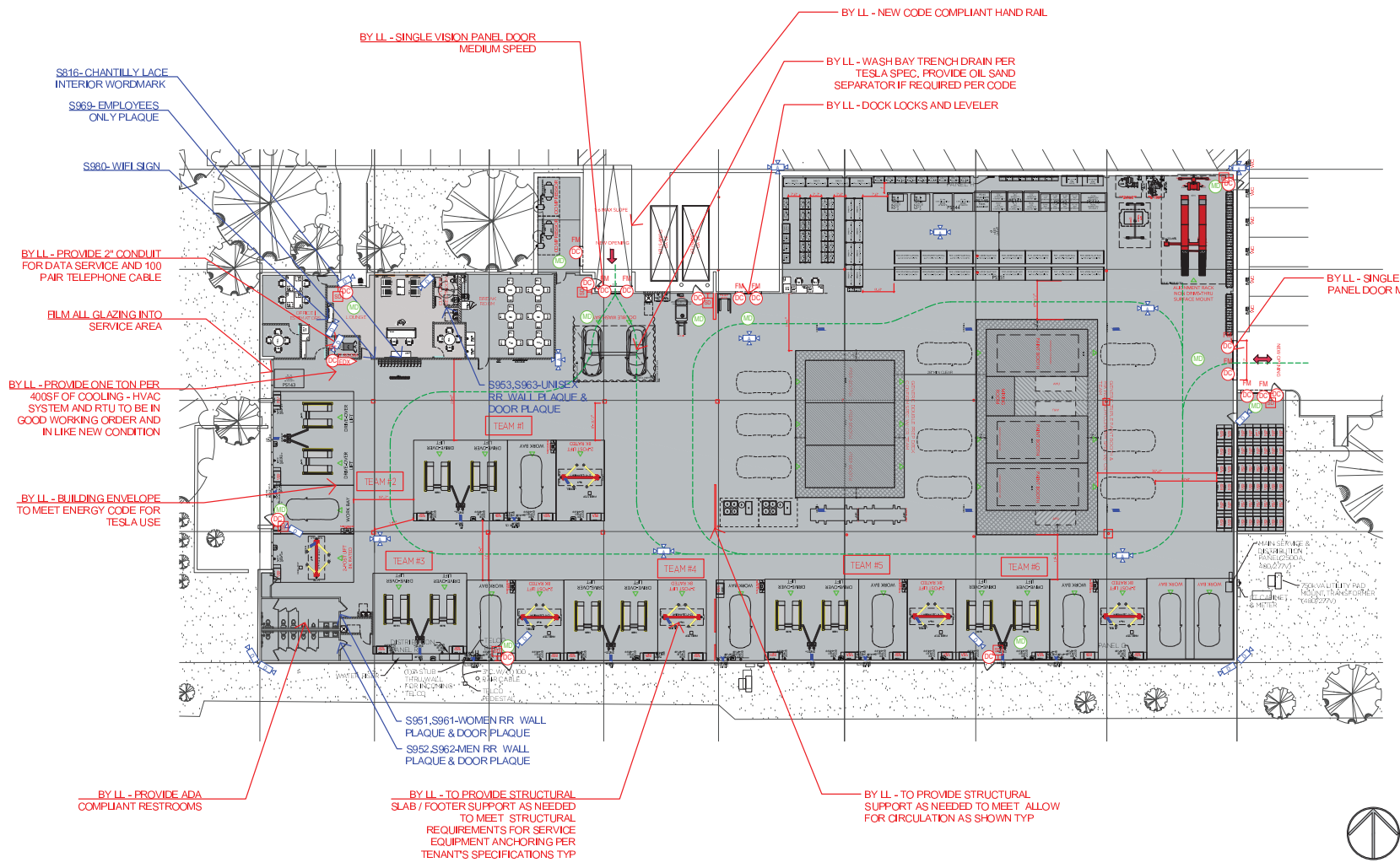


# CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

©Copyright 2021 Tesla Motors, Inc. All rights reserved. Proprietary and Confidential Business Information  
CONFIDENTIAL

CONCEPT FLOOR PLAN  
TRT ID 20157

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)



VSS			
Description	Quantity	Unit	
CAMERA - A_MULTI-SENSOR	9	Count	
CAMERA - D_DOME	12	Count	

IDS			
Description	Quantity	Unit	
DOOR CONTACT - CONCEALED	8	Count	
DOOR CONTACT - FLOOR MOUNT OHD	9	Count	
MOTION DETECTOR - CEILING	11	Count	
SOUNDER	8	Count	

ACS			
Description	Quantity	Unit	
DOOR CONTACT - DOUBLE POLE - DOUBLE THROW	1	Count	
ELEC LOCK - ELEC EXIT REX	1	Count	

SCALE: 1/32" = 1'-0"

TESLA September 27, 2022

- EXISTING WALL
- SERVICE CIRCULATION
- COLLISION REPAIR CIRCULATION
- NEW WALL
- DELIVERY CIRCULATION

\*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COST

NA 1311 SHORE DR BURR RIDGE, IL USA

Ameristar Perimeter Security Fence - Echelon II

<https://www.ameristarperimeter.com/us/en/content-fragments/products/ornamental-fence-gates/echelon/echelon-ii/assets/Echelon2-Slide-6.png/jcr:content/renditions/cq5dam.M.1200.0.jpeg>



**RESOLUTION NO. R-\_\_\_\_\_-23****A RESOLUTION AUTHORIZING AN EXTENSION OF A WATER TOWER LEASE AGREEMENT (VERIZON WIRELESS)**

**WHEREAS**, Verizon Wireless currently holds an existing Lease Agreement with the Village of Burr Ridge to locate cellular wireless equipment in the form of an antenna system on top of the Village's water tower located at 16W050 83<sup>rd</sup> Street in exchange for rent and other considerations; and

**WHEREAS**, the existing Lease Agreement is scheduled to expire in 2023, and Verizon seeks to continue the Lease Agreement in the form of an extension to the existing Lease Agreement; and

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, have considered the Second Amendment to the Water Tower Lease Agreement as described in Exhibit A; and

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, have determined that it is in the best interests of said Village that said Second Amendment to the Water Tower Lease Agreement as described in Exhibit A be entered into by the Village of Burr Ridge.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2. That the Mayor and Board of Trustees of the Village of Burr Ridge hereby find that it is in the best interests of the Village of Burr Ridge and its residents that the aforesaid "Second Amendment to the Water Tower Lease Agreement" be entered into and executed by said Village of Burr Ridge, with said Agreement to be substantially in the form attached hereto and made a part hereof as Exhibit A.

Section 3. That the Mayor and Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, are hereby authorized to execute for and on behalf of said Village of Burr Ridge the aforesaid Agreement.

Section 4. This Resolution shall be in full force and effect from and after its passage,

approval and publication in the manner provided by law.

PASSED by the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois at a Regular Meeting thereof held on the 23<sup>rd</sup> day of January, 2023, and approved by the following roll call vote:

AYES:

NAYS:

ABSENT:

APPROVED this 23<sup>rd</sup> day of January, 2023, by the Village of Burr Ridge.

---

Mayor

ATTEST:

---

Village Clerk



**SECOND AMENDMENT TO WATER TOWER LEASE AGREEMENT**

**THIS SECOND AMENDMENT TO WATER TOWER LEASE AGREEMENT** ("Amendment") is made this 23<sup>rd</sup> day of January, 2023, between the Village of Burr Ridge, Cook and DuPage Counties, Illinois, a municipal corporation ("Lessor") and Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("Lessee").

**WHEREAS**, Lessor and Lessee previously entered into a Water Tower Lease Agreement dated March 21, 2003 as amended (collectively, the "Lease") that provides for the installation and operation of Lessee's communications facility on Lessor's water tower ("Tower"), along with space on the ground for Lessee's equipment shelter located at the real property known at 16W050 83<sup>rd</sup> Street, Burr Ridge, Illinois ("Property"); and

**WHEREAS**, the parties are currently operating under the Lease; and

**WHEREAS**, the parties wish to extend the term of the Lease; and

**WHEREAS**, it is now the intention of Lessor and Lessee to enter into an agreement amending the Lease.

**NOW THEREFORE**, in consideration of the promises hereinafter made and other good and valuable consideration, the receipt of which is hereby acknowledged, Lessor and Lessee agree as follows:

1. The recitals set forth above are incorporated herein by reference.

2. Extensions. Upon expiration of the current term, the parties agree that the Lease shall be automatically extended for four (4) additional five (5) year terms (each an "Additional Extension") unless Lessee terminates it at the end of the then current term by providing written notice to Lessor of its intent to terminate at least six (6) months prior to the end of the then current Additional Extension term. The annual rent shall increase on each annual anniversary of the Commencement Date by three (3) percent of the rent amount for the previous year.

3. Other than as specifically amended herein, all other terms and conditions of the Lease shall remain in full force and effect. Where there is conflict between the terms of the Lease and this Amendment, the terms of this Amendment shall control. Unless otherwise indicated or introduced in this Amendment, all defined terms referenced in the Amendment shall have the same meaning as those found in the Lease.

IN WITNESS WHEREOF, the parties hereto have executed in duplicate this lease Amendment on the day and year first above written.

**Lessor:**  
**Village of Burr Ridge, Cook and Dupage**  
**Counties, Illinois**

**Lessee:**  
**Chicago SMSA Limited Partnership d/b/a Verizon**  
**Wireless**

**By: Cellco Partnership, its general partner**

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

155 1/2 Rt. 83 (Village of Burr Ridge)  
00044502211  
2300032595

## WATER TOWER LEASE AGREEMENT

This Agreement, made this 21<sup>st</sup> day of March, 2003, between the Village of Burr Ridge, Cook and DuPage Counties, Illinois, a municipal corporation, with its principal mailing address of 7660 S. County Line Road, Burr Ridge, Illinois 60527 (hereinafter designated "LESSOR") and Chicago SMSA Limited Partnership, d/b/a Verizon Wireless, with its principal offices at 180 Washington Valley Road, Bedminster, New Jersey 07921 (hereinafter designated "LESSEE"). The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party."

### WITNESSETH

In consideration of the mutual covenants contained herein and intending to be legally bound hereby, the Parties hereto agree as follows:

1. PREMISES. LESSOR hereby leases to LESSEE a portion of space on the LESSOR's Water Tower ("Tower") located on the Water Tower Site legally described on Exhibit "A" attached hereto and hereby made a part hereof, together with property adjacent to said Water Tower Site for the installation of LESSEE's equipment building, which portion of said Water Tower Site is legally described on Exhibit "B" attached hereto and hereby made a part hereof ("Equipment Building Site"). LESSOR further leases to LESSEE the non-exclusive right for ingress and egress, seven (7) days a week, twenty-four (24) hours a day, on foot or motor vehicle, including trucks, over the portion of the Water Tower Site shown on Exhibit "C" attached hereto and hereby made a part hereof (the "Access Easement"). The space on the Tower, the Equipment Building Site and the Access Easement are hereinafter collectively referred to as the "Premises." LESSEE shall be entitled to construct on said Tower up to twelve (12) panel antennas on top of the Tower and a twelve (12) foot by thirty (30) foot by ten (10) foot high prefabricated, unmanned equipment shelter on the Equipment Building Site, which equipment building shall be self contained and constructed out of a brown exposed aggregate concrete and shall be constructed on a concrete pad. LESSEE shall install sufficient landscaping to screen said equipment building from the view from any adjacent public streets in accordance with the landscape plan approved by the LESSOR, the cost of which shall be at least \$500.00 or such greater sum that LESSEE chooses to spend. In addition, LESSEE shall, at its expense, install new electric service (with a separate meter) between the existing well house and the Tower, and further, at its expense, extend the existing asphalt driveway to its Equipment Building.

LESSOR hereby grants permission to LESSEE to install, maintain and operate the radio communications equipment, antennas and appurtenances described in Exhibit "D" attached hereto.

LESSEE reserves the right to replace the aforementioned equipment with similar and comparable equipment, provided said replacement does not increase tower loading of said Tower nor the size of the equipment building.

2. SURVEY. LESSOR also hereby grants to LESSEE the right to survey the Water Tower Site, Building Equipment Site and Access Easement, and said survey shall then become Exhibit "E" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibits "A," "B" and "C." Cost for such work shall be borne by the LESSEE. LESSEE shall hold LESSOR harmless from and against any and all claims made directly or indirectly arising out of or in connection with such survey.

3. TERM. This Agreement shall be effective as of the date of execution by both Parties, provided, however, the initial term shall be for five (5) years and shall commence on the Commencement Date (as hereinafter defined), at which time rental payments will be due at an annual rental rate to be paid in equal monthly installments on the first (1st) day of the month, in advance, to the Village of Burr Ridge or to such other person, firm or place as the LESSOR may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date. The Commencement Date is defined as the first (1st) day of the month following the date this Agreement is executed by the Parties or the first (1st) day of the month following the date LESSEE is granted a building permit by the governmental agency charged with issuing such permits, whichever event occurs last.

4. EXTENSIONS. This Agreement shall automatically be extended for one (1) additional five (5) year term unless LESSOR or LESSEE terminates it at the end of the initial term by giving the other party written notice of the intent to terminate at least six (6) months prior to the end of the initial term.

5. RENTAL. The annual rental for the first year shall be \$27,600.00, payable in advance in equal monthly installments, and said amount shall be increased each and every year thereafter by an additional 3% of the prior year's annual rent (e.g., \$28,428.00 in the second year, \$29,280.84 in the third year, etc.).

6. USE; GOVERNMENTAL APPROVALS. LESSEE shall use the Premises for the purpose of constructing, maintaining and operating a communications facility and uses incidental and all necessary appurtenances. An eight (8) feet high security fence consisting of powder coated wrought iron (real iron) construction shall be placed around the perimeter of the Equipment Building Site by LESSEE at a location approved by LESSOR, which fenced-in area may be used by other similar users in the future so that they may install their own equipment building(s). In the event there are additional users in the future, the LESSOR shall require them to pay their pro rata share of the cost of any additional fencing required by LESSOR hereunder. All improvements shall be at LESSEE's sole cost and expense and, except for the security fence which is a requirement hereof, shall be at the discretion and option of the LESSEE. LESSEE shall have the right to replace, repair, add or otherwise modify its equipment or any portion thereof, whether the equipment is specified or not on any exhibit attached hereto, during the term of this Agreement; provided, however, the number of antennas on the Water Tower shall not increase without LESSOR's consent and further provided that any replacement equipment shall not increase the burden on LESSOR's property rights, specifically including access to the Water

Tower nor the tower loading of the Tower. LESSEE will maintain the Premises in a good condition, reasonable wear and tear excepted. It is understood and agreed that LESSEE's ability to use the Premises is contingent upon its obtaining, at its sole cost and expense, after the execution date of this Agreement, all of the certificates, permits and other approvals (collectively the "Governmental Approvals") that may be required by any federal, state or local authorities as well as satisfactory soil boring tests which will permit LESSEE use of the Premises as set forth above. Prior to commencing any construction, LESSEE shall submit to LESSOR a complete set of LESSEE's plans for construction on the Premises and pay reasonable fees and costs as required by the LESSOR, specifically including all costs to have LESSOR's engineering firm review the plans and conduct required inspections. Within thirty (30) days of commencing construction by the LESSEE, the LESSEE shall provide to the LESSOR certification by an engineer registered in the State of Illinois that the facilities have been completed in accordance with the approved building plans. The building plans must include detail as to the method of attachment of the antenna facilities, including the antenna and any power cables attached to any part of the Tower. The plans must include a statement from a registered engineer stating that the method of attachment is consistent with accepted engineering standards and will not interfere with the LESSOR's use of the Tower. The LESSEE shall assume all liability and shall hold the LESSOR harmless for any damage to or compromise of the structural integrity of the Tower which may result from the LESSEE's use of the Tower.

LESSOR shall cooperate with LESSEE in its effort to obtain the Governmental Approvals and shall take no action which would adversely affect the status of the Premises with respect to the proposed use by LESSEE. In the event that any of such applications for such Governmental Approvals should be finally rejected or LESSEE determines that such Governmental Approvals may not be obtained in a timely manner or any Governmental Approval issued to LESSEE is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority, or if the soil boring tests are found to be unsatisfactory so that LESSEE, in its sole discretion, determines that it will be unable to use the Premises for its intended purposes or the LESSEE determines that the property is no longer technically compatible for its intended use, LESSEE shall have the right to terminate this Agreement. Notice of the LESSEE's exercise of its right to terminate shall be given to LESSOR in writing by certified mail, return receipt requested, and shall be effective upon the receipt of such notice by the LESSOR. All rentals paid to said termination date shall be retained by the LESSOR. Upon such termination, this Agreement shall become null and void and all the Parties shall have no further obligations, including the payment of money, to each other.

LESSEE shall perform any and all such soil boring tests, at its sole cost and expense, and shall return LESSOR's property to its original condition upon completion of any such soil boring tests. Furthermore, LESSEE shall indemnify and hold harmless LESSOR from and against any and all claims that may arise, directly or indirectly, in connection with the conducting of such soil boring tests or the results thereof.



7. ACCESS TO TOWER. LESSOR agrees the LESSEE shall have free access to the Tower and Premises at all times for the purpose of installing and maintaining the said equipment. Whenever exercising the right to access the Tower, LESSEE shall notify LESSOR in writing at least three (3) days prior thereto of their intent to access the Tower; provided, however, in the event of an emergency, LESSEE shall give LESSOR such notice as may be possible under the circumstances, including telephone or e-mail notification. It is agreed, however, that only authorized engineers, employees or properly authorized contractors of LESSEE or persons under their direct supervision will be permitted to enter said Premises or upon said Tower. LESSOR shall have at all times the right to use the Premises, Tower Access Easement and Water Tower Site on, over or across which the facilities of LESSEE shall be installed and maintained, as fully as if this Lease to LESSEE had not be granted, and without liability to LESSEE for any loss, direct or indirect, consequential damages, expenses or inconvenience resulting from such use by LESSOR except in the case of gross negligence or willful misconduct by LESSOR, its agents, employees or assigns. Notwithstanding the foregoing, LESSOR shall use all reasonable efforts to prevent any material interference with LESSEE's operations.

8. TOWER COMPLIANCE. LESSOR covenants that it will keep the Tower in good repair, as required by all federal, state, county and local laws. The LESSOR shall also comply with all rules and regulations enforced by the Federal Communications Commission with regard to the lighting, marking and painting of towers. To the extent any such lighting, marking and/or painting is required by virtue of the installation of LESSEE's equipment (including the antennas), then such lighting, marking and/or painting shall be done at LESSEE's sole cost and expense. If the LESSOR fails to make such repairs, including maintenance, the LESSEE may make the repair and LESSEE shall have the right to deduct the costs of the repairs from the succeeding monthly rental amounts normally due from the LESSEE to the LESSOR. If the LESSEE fails to pay for any such lighting, marking or painting required of it, then LESSOR may add such cost to the next payment of rent due hereunder, which LESSEE shall then promptly pay. In addition, all attachments to the Tower shall be painted to match the color of the Tower.

No materials may be used in the installation of the antennas or transmission lines that will cause corrosion or rust or deterioration of the Tower structure or its appurtenances.

All antenna(s) on the Tower must be identified by a marking fastened securely to its bracket on the Tower and all transmission lines are to be tagged at the conduit opening where it enters any user's equipment space.

LESSEE, at its sole cost and expense, shall further remove the existing antennas and inside cabling on the Tower, which antennas and inside cabling are no longer in use.

9. INTERFERENCE.

a. LESSEE agrees to have installed radio equipment of the type and frequency which will not cause measurable interference to the equipment existing, as of the date this Agreement is executed by the Parties, of the LESSOR. In the event LESSEE's equipment causes such interference, and after LESSOR has notified LESSEE of such interference, LESSEE will take all steps necessary to correct and eliminate the interference. In the event such interference cannot be eliminated, LESSOR shall have the right and option to terminate this Lease Agreement upon thirty (30) days written notice to LESSEE. LESSOR agrees that LESSOR and/or any other tenants of the Premises who currently have or in the future take possession of the Premises will be permitted to install only such radio equipment that is of the type and frequency which will not cause measurable interference to the existing equipment of the LESSEE. The Parties acknowledge that there will not be an adequate remedy at law for non-compliance with the provisions of this paragraph and, therefore, either Party shall have the right to specifically enforce the provisions of this paragraph in a court of competent jurisdiction.

b. LESSEE acknowledges that LESSOR does or may lease space on the Premises, Water Tower Site and/or the Tower to other tenants, lessees or licensees who may be engaged in the business of telecommunications (hereinafter "Other Tenants"), and that to the best of LESSEE's knowledge and belief, the activities conducted by the Other Tenants will not interfere with LESSEE's proposed cellular telecommunications operations permitted under this Agreement, nor will LESSEE's activities interfere with any Other Tenants' use of the Premises, Water Tower Site and/or the Tower.

c. Radio Frequency Emissions. LESSEE shall, at its sole cost and expense, comply with the radio frequency exposure limits (the "RF Exposure Limits") promulgated under 47 C.F.R. §1.1307, *et seq.* (as amended from time to time) of the Code of Federal Regulations. LESSEE, at its sole discretion, may modify or cause modifications of its telecommunications equipment or conditions at the Tower and/or Premises in order to ensure that LESSEE's operations will at all times be in such compliance. LESSEE shall submit to LESSOR copies of environmental evaluations for RF Exposure Limits required under RF Emissions Regulations for all regulated equipment located at the Tower and Premises (the "RF Emissions Documentation").

LESSOR shall require each of its licenses or tenants (including LESSEE) to operate their respective equipment in compliance with RF Emission Regulations. LESSOR agrees that it shall, and shall require potential or actual users that locate and operate transmitting equipment on the Tower to, agree that if the Tower fails, or would fail by the addition or modification of the equipment at the Tower, to comply with the RF Exposure Limits at any time during the term of this Lease, then the existing or prospective user at the Tower causing or who would cause such failure shall take commercially reasonable steps to bring the Tower into compliance, including preparation and filing of any required Environmental Assessments ("EAs") and modifications of equipment. Notwithstanding the foregoing, if compliance cannot be established within a reasonable period of time, or if such user cannot provide solutions acceptable to the then-existing

other users for controlling access to areas where RF Exposure Limits are exceeded, then, in the case of a new user, such new user shall not have the right to occupy and transmit from the Tower, or in the case of an existing user, the last user added or the user who by virtue of a modification of its equipment caused the Tower not to comply with RF Emissions Regulations shall be required to stop transmitting at the Tower until a solution is found, or to remove its equipment. LESSOR agrees that each agreement with a user will be in writing and shall provide that prior to such user occupying all or any portion of the Tower, or modifying or adding equipment at the Tower, such user shall (i) provide an environmental evaluation of the new or modified equipment, (ii) provide each user with a copy of a new evaluation of the Tower inclusive of the equipment in question, and (iii) not add any new use or any such addition or modification, if the result thereof would be to cause the Tower to no longer be in compliance with RF Emission Regulations. In the event of any user's violation of any of the foregoing provisions, LESSOR, or the LESSEE, shall be entitled to immediate and continuing injunctive relief to eliminate such violation, in addition to any other remedies available in law or equity. Each user of the Tower shall be responsible for submitting environmental evaluations and EAs for its own equipment as required under the RF Emissions Regulations.

10. LESSEE COMPLIANCE. All installations and operations in connection with this Agreement by LESSEE shall meet with all applicable Rules and Regulations of the Federal Communications Commission, Federal Aviation Agency, and all applicable codes and regulations of the township, county and state concerned. Under this Agreement, the LESSOR assumes no responsibility for the licensing, operation and/or maintenance of LESSEE's radio equipment.

11. INDEMNIFICATION. Each Party shall indemnify and hold the other harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the use and occupancy of the Premises by the Party, its servants or agents, excepting, however, such claims or damages as may be due to or caused by the acts or omissions of the other Party, or its servants or agents; provided, however, LESSEE releases and forever discharges LESSOR of and from any and all liability for direct or consequential damage or injury that may be done to the Premises or the LESSEE's antenna equipment and facilities at any time resulting from use by LESSOR of the Premises or the Tower, as well as from any and all liability, loss or damage, including lost revenue, to which LESSEE may be subjected by reason of the installation, use, maintenance, repair or removal of the Tower, or any activities on or around the Premises by LESSOR, its agents, employees, contractors, licensees and other lessees, except in the case of gross negligence or willful misconduct on the part of the LESSOR, its agents employees or contractors.

12. INSURANCE. The Parties shall maintain standard fire insurance policies with extended coverage, in such amounts as they may agree. In addition, the following provisions shall apply:

a. During the term of this Agreement, the LESSEE shall provide the following types of insurance in not less than the specified amounts:

- i. Comprehensive General Liability - \$2,000,000.00 per occurrence.
- ii. Auto Liability - Combined Single Limit Amount of \$1,000,000.00 on any contractor owned and/or hired and/or non-owned motor vehicles engaged in operations within the scope of this contract.
- iii. Workers Compensation - Statutory; Employers Liability \$1,000,000.00 (the policy shall include a "waiver of subrogation").
- iv. Umbrella Coverage - \$2,000,000.00.

b. The LESSEE shall furnish to the LESSOR satisfactory proof of coverage of the above insurance requirements, by a reliable company or companies, before commencing any work. Such proof shall consist of certificates executed by the respective insurance companies and filed with the LESSOR. Said certificates shall contain a clause to the effect that, for the duration of the contract, the insurance policy cannot be canceled, nonrenewed or changed without written notification thirty (30) days in advance to the LESSOR. In addition, said certificates shall list the LESSOR and its officers, agents and employees as additional insureds on all required insurance policies.

c. The LESSEE shall require subcontractors, if any, not protected under the contractor's policies to take out and maintain insurance of the same nature in amounts, and under the same terms, as required of the LESSEE.

d. Any insurance provided by LESSEE, or any of LESSEE's subcontractors, shall be primary to any insurance of the LESSOR.

e. Both parties agree that either party may self-insure against any loss or damage which could be covered by a comprehensive general public liability insurance policy and/or the standard fire insurance policies with extended coverage.

13. ANNUAL TERMINATION. Notwithstanding anything to the contrary contained herein, provided LESSEE is not in default hereunder and shall have paid all rents and sums due and payable to the LESSOR by LESSEE, LESSEE shall have the right to terminate this Agreement during the first extension thereof upon the annual anniversary of this Agreement, as extended, provided that three (3) months prior written notice is given the LESSOR.

14. REMOVAL UPON TERMINATION. LESSEE, upon termination of the Agreement, shall, within ninety (90) days, remove its building(s), antenna structure(s) (except footings), fixtures and all personal property, and otherwise restore the Premises, Water Tower

Site and Tower to their original condition, reasonable wear and tear excepted. LESSOR agrees and acknowledges that all of the equipment, fixtures and personal property of the LESSEE shall remain the personal property of the LESSEE and the LESSEE shall have the right and obligation to remove the same, whether or not said items are considered fixtures and attachments to real property under applicable law. If such time for removal causes LESSEE to remain on the Premises after termination of this Agreement, LESSEE shall pay rent pro rata at the then-existing annual rental rate computed on a monthly basis until such time as the removal of the building, antenna structure(s), fixtures and all personal property is completed.

15. RIGHTS UPON SALE. Should the LESSOR, at any time during the term of this Agreement, decide to sell all or any part of the Premises to a purchaser other than LESSEE, such sale shall be under and subject to this Agreement and LESSEE's rights hereunder, and any sale by the LESSOR of the portion of the property underlying the Access Easement herein granted shall be under and subject to the right of the LESSEE in and to such Access Easement.

16. QUIET ENJOYMENT. LESSOR covenants that LESSEE, on paying the rent and performing the covenants, shall peaceably and quietly have, hold and enjoy the Premises to the extent provided for herein, it being specifically acknowledged that the LESSOR shall continue to use its Tower for water storage purposes and it being further specifically acknowledged that LESSOR may in the future allow additional users/other tenants to use a portion of the Premises and/or Tower.

17. TITLE. LESSOR covenants that LESSOR is seized of good and sufficient title and interest to the Premises and has full authority to enter into and execute this Agreement. LESSOR further covenants that there are not other liens, judgments or impediments of title on the Premises, or affecting LESSOR's title to the same, and that there are no covenants, easements or restrictions which prevent the use of the Premises by the LESSEE as set forth above.

18. INTEGRATION. It is agreed and understood that this Agreement contains all agreements, promises and understandings between the LESSOR and LESSEE and that no verbal or oral agreements, promises or understandings shall be binding upon either the LESSOR or LESSEE in any dispute, controversy or proceeding at law, and any addition, variation or modification to this Agreement shall be void and ineffective unless made in writing, signed by the Parties. In the event any provision of the Agreement is found to be invalid or unenforceable, such finding shall not effect the validity and enforceability of the remaining provisions of this Agreement. The failure of either Party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights under the Agreement shall not waive such rights and such Party shall have the right to enforce such rights at any time and take such action as may be lawful and authorized under this Agreement, either in law or in equity.

19. GOVERNING LAW. This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the laws of the state in which the Premises is located.

20. ASSIGNMENT/SUBLEASE/OTHER USE. This Agreement may be sold, assigned or transferred by the LESSEE without any approval or consent of the LESSOR to the LESSEE's principal, affiliates, subsidiaries of its principal or to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the Federal Communications Commission in which the property is located by reason of a merger, acquisition or other business reorganization. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of the LESSOR. Moreover, LESSEE shall not sublease its rights hereunder and shall not allow any other party to use its equipment, including its antennas, without the express written consent of LESSOR, which consent must provide for the sharing by LESSOR and LESSEE of any additional revenue derived by LESSEE as a result of LESSOR consenting to such sublease or use. The parties hereby agree that any additional revenue generated by such sublease or use shall be shared equally between the parties.

21. NOTICES. All notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

LESSOR: Steven S. Stricker  
Village Administrator  
Village of Burr Ridge  
7660 S. County Line Road  
Burr Ridge, Illinois 60527

Copy to: Terrence M. Barnicle  
Village Attorney  
Klein, Thorpe and Jenkins, Ltd.  
20 N. Wacker Drive, Suite 1660  
Chicago, Illinois 60606-2903

LESSEE: Chicago SMSA  
d/b/a Verizon Wireless  
180 Washington Valley Road  
Bedminster, New Jersey 07921  
Attention: Network Real Estate

Notice shall be effective upon receipt or delivering the same to a commercial courier, as permitted above.

22. SUCCESSORS. This Agreement shall extend to and bind the heirs, personal representatives, successors and assigns of the Parties hereto.

23. RECORDING. LESSOR agrees to execute a Memorandum of this Lease Agreement, which LESSEE, at its expense, shall record with the DuPage County Recorder of Deeds. The date set forth in the Memorandum of Lease is for recording purposes only and bears no reference to commencement of either the term hereof or rent payments.

24. DEFAULT. In the event there is a default by the LESSEE with respect to any of the provisions of this Agreement or its obligations under it, including the payment of rent, the LESSOR shall give LESSEE written notice of such default. After receipt of such written notice, the LESSEE shall have fifteen (15) days in which to cure any monetary default and thirty (30) days in which to cure any non-monetary default, provided the LESSEE shall have such extended period as may be required beyond the thirty (30) days if the nature of the cure is such that it reasonably requires more than thirty (30) days and the LESSEE commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion. The LESSOR may not maintain any action or effect any remedies for default against the LESSEE unless and until the LESSEE has failed to cure the same within the time periods provided in this paragraph.

25. ENVIRONMENTAL.

a. LESSOR will be responsible for all obligations of compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or concerns as may now or at any time hereafter be in effect, that are or were in any way related to activity now conducted in, on or in any way related to, the Premises, unless such conditions or concerns are caused by the activities of the LESSEE.

b. LESSOR shall hold LESSEE harmless and indemnify the LESSEE from and assume all duties, responsibility and liability at LESSOR's sole cost and expense, for all duties, responsibilities and liability (for payment of penalties, sanctions, forfeitures, losses, costs or damages) and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding which is in any way related to : (a) failure to comply with any environmental or industrial hygiene law, including without limitation any regulations, guidelines, standards or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene concerns or conditions as may now or at any time hereafter be in effect, unless such compliance results from conditions caused by the LESSEE; and (b) any environmental or industrial hygiene conditions arising out of or in any way related to the condition of the Premises or activities conducted thereon, unless such environmental conditions are caused by the LESSEE.

c. LESSEE will be responsible for all obligations of compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or concerns as may now or at any time hereafter be in effect that are or were in any way related to activity now conducted in, on, or in any way related to the Premises if such conditions or concerns are caused by the activities of the LESSEE.

d. LESSEE shall hold LESSOR harmless and indemnify the LESSOR from and assume all duties, responsibility and liability at LESSEE's sole cost and expense, for all duties, responsibilities and liability (for payment of penalties, sanctions, forfeitures, losses, costs or damages) and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding which is in any way related to: (i) failure to comply with any environmental or industrial hygiene law, including without limitation any regulations, guidelines, standards or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene concerns or conditions as may now or at any time hereafter be in effect, when such compliance results from conditions caused by the LESSEE; and (ii) any environmental or industrial hygiene conditions arising out of or in any way related to the condition of the Premises or activities conducted thereon, when such environmental conditions are caused by the LESSEE.

e. LESSEE indemnifies LESSOR and agrees to hold LESSOR harmless from and against any and all losses, liabilities, damages, injuries, costs, expenses and claims of any and every kind whatsoever paid, incurred or suffered by or asserted against LESSOR for, with respect to, or as a direct or indirect result of the presence on or under, or the escape, seepage, leakage, spillage, discharge emission, discharging or release from the Premises or into or upon the Water Tower Site or any land, the atmosphere, or any watercourse, body of water or wetland, of any hazardous material (as that term is defined under applicable federal and state laws) ("Hazardous Materials") (including, without limitation, any losses, liabilities, damages, injuries, costs, expenses or claims asserted or arising under applicable environmental laws) caused by or in the control of LESSEE.

f. LESSOR indemnifies LESSEE and agrees to hold LESSEE harmless from and against any and all losses, liabilities, damages, injuries, costs, expenses and claims of any and every kind whatsoever paid, incurred or suffered by or asserted against LESSEE for, with respect to, or as a direct or indirect result of the presence on or under, or the escape, seepage, leakage, spillage, discharge, emission, discharging or release from the Premises or any other areas under LESSOR's control into or upon the Premises or any land, the atmosphere, or any watercourse, body of water or wetland, of any Hazardous Materials (including, without limitation, any losses, liabilities, damages, injuries, costs, expenses or claims asserted or arising under applicable environmental laws) caused by or in the control of LESSOR.



26. CASUALTY. In the event of damage by fire or other casualty to the Premises that cannot reasonably be expected to be repaired within sixty (60) days following same or, if the Premises is damaged by fire or other casualty so that such damage may reasonably be expected to disrupt LESSEE's operations at the Premises for more than sixty (60) days, then LESSEE may at any time following such fire or other casualty, provided LESSOR has not completed the restoration required to permit LESSEE to resume its operation at the Premises, terminate this Lease upon fifteen (15) days written notice to LESSOR. Any such notice of termination shall cause this Lease to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Lease and the Parties shall make an appropriate adjustment, as of such termination date, with respect to payments due to the other under this Lease. Notwithstanding the foregoing, all rent shall abate during the period of such fire or other casualty.

27. SUBMISSION OF LEASE. The submission of this Lease for examination does not constitute an offer to lease the Premises and this Lease becomes effective only upon the full execution of this Lease by the Parties. If any provision herein is invalid, it shall be considered deleted from this Lease and shall not invalidate the remaining provision of this Lease. Each of the Parties hereto warrants to the other that the person or persons executing this Lease on behalf of such party has the full right, power and authority to enter into and execute this Lease on such Party's behalf and that no consent from any other person or entity is necessary as a condition precedent to the legal effect of this Lease.

28. APPLICABLE LAWS. LESSEE shall use the Premises as may be required or as permitted by applicable laws, rules and regulations. LESSOR agrees to keep the Premises in conformance with all applicable laws, rules and regulations and agrees to reasonably cooperate with the LESSEE, at LESSEE's expense, regarding any compliance required by the LESSEE in respect to its use of the Premises.

29. SURVIVAL. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement. Additionally, any provisions of this Agreement which require performance subsequent to the termination or expiration of this Agreement shall also survive such termination or expiration.

30. CAPTIONS. The captions contained in this Agreement are inserted for convenience only and are not intended to be part of the Agreement. They shall not affect or be utilized in the construction or interpretation of the Agreement.

31. TERMINATION. In the event that LESSOR terminates the Lease, and the lease of all other communications providers located on the Tower, for any reason other than default of LESSEE, Lessor agrees to reimburse LESSEE within ten (10) days of written request all out-of-pocket expenses incurred by LESSEE as a result of such termination, including but not limited to the depreciated cost of the equipment and the costs of constructing and decommissioning the LESSEE's communication facilities. The parties agree that such calculation of damages shall

not include lost revenue or other consequential damages. Notwithstanding the foregoing, in the event that any other telecommunications lease on the Tower is not similarly terminated, LESEE shall retain all rights and remedies in law and equity and that no limitation on calculation of damages shall be applicable.

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR: VILLAGE OF BURR RIDGE  
AN ILLINOIS MUNICIPAL CORPORATION

Karen J. Thomas  
WITNESS: Village Clerk

By: Jo V. Simon  
Village President

LESSEE: CHICAGO SMSA LIMITED PARTNERSHIP  
AN ILLINOIS LIMITED PARTNERSHIP

BY: Deanne Gimple

CELLCO PARTNERSHIP  
Its sole general partner  
By: David R. Heverling  
Area Vice President-Network

3203

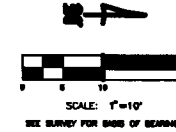
## **EXHIBIT A**

LOT 25 IN HINSDALE INDUSTRIAL PARK, UNIT TWO, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

**EXHIBIT B**

THE AREA 25.0 FEET WIDE BEGINNING AT THE NORTHWEST PROPERTY CORNER AND EXTENDING EAST 45.0 FEET ALONG THE NORTH PROPERTY LINE OF LOT 25 IN HINSDALE INDUSTRIAL PARK, UNIT TWO, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

# EXHIBIT C



**PAVEMENT MATERIAL**

**ACCESS ROAD (HYDRO)**

40 S.Y.  
 1" COMPACTED AGGREGATE BASE COURSE, CA-4  
 1" SMOOT SMOOT SURFACE GEOTEXTILE FABRIC OR APPROVED EQUAL

72 S.Y.  
 1.5" BITUMINOUS SURFACE COURSE, CLASS I, TYPE 2  
 1" BITUMINOUS BASE COURSE  
 1" BITUMINOUS SAND, CLASS I, TYPE 2  
 SMOOT SMOOT SURFACE GEOTEXTILE FABRIC OR APPROVED EQUAL

**LEASE SITE**

HYDRO  
 1" TOPSOIL

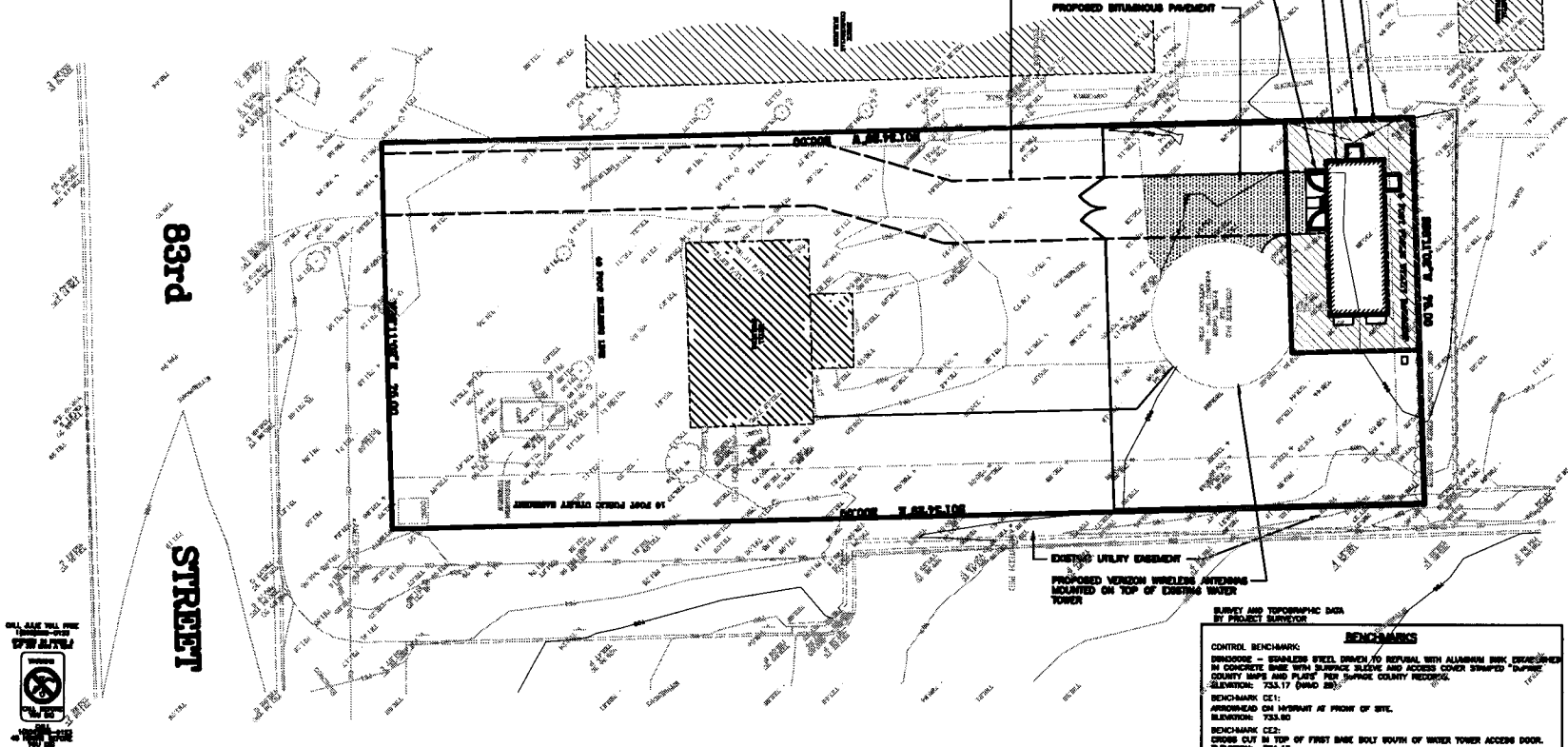
THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, THE COST OF REMOVAL OF ANY SURFACE VEGETATION AND ORGANIC SOILS OR OTHER DELETERIOUS MATERIALS (IN EXCESS TOPSOIL) AND THE REPLACEMENT WITH ENGINEERED BACKFILL FOR THE BITUMINOUS ACCESS DRIVE AND LEASE SITE, IN ACCORDANCE WITH THE RECOMMENDATIONS OF HIGHEST ENGINEERING SERVICES (HES) FILE NO. E-20070 DATED AUGUST 13, 2002 AND THE HES FIELD REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING HIGHEST ENGINEERING SERVICES TO COORDINATE WITH THEM TO HAVE A FIELD REPRESENTATIVE ON SITE.

THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION REPORT, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS, AND IN WRITING AS TO THE NATURE OF THE EXISTING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE INFORMED IN THE PLANS AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING, AS REQUIRED ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT CONSTRUCTION SHALL BE REPLACED TO EXISTING OR BETTER CONDITION AT NO ADDITIONAL COST.

CONTRACTOR TO PROVIDE APPROXIMATE 50% BY EXISTING AREA AND TEMPORARY ROAD. CONTRACTOR SHALL COORDINATE WITH AGENCIES CONTRACTOR. A STAGING AREA AND TEMPORARY ROAD THAT IS ACCEPTABLE TO THE OWNER, EXISTING AREA AND TEMPORARY ROAD SHALL BE RESTORED TO EXISTING CONDITIONS AS NECESSARY UPON COMPLETION OF PROJECT.

BEFORE AND DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL AS NECESSARY IN THE FORM OF SILT FENCES FOR THE SITE AND SLOES AROUND ANY EXISTING STRUCTURES, SLOES, OR EXCAVATIONS SUSCEPTIBLE TO EROSION. EROSION CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED TO ENSURE PROPER FUNCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF WORK.



1	RELEASD FOR PERMIT AND BID	B-11
2	RELEASD FOR CONSTRUCTION	B-12
3	RELEASD FOR PERMIT AND BID	B-13
4	RELEASD FOR CONSTRUCTION	B-14
5	RELEASD FOR PERMIT AND BID	B-15
6	RELEASD FOR CONSTRUCTION	B-16
7	RELEASD FOR PERMIT AND BID	B-17
8	RELEASD FOR CONSTRUCTION	B-18
9	RELEASD FOR PERMIT AND BID	B-19
10	RELEASD FOR CONSTRUCTION	B-20

**CHICAGO SMSA limited partnership**  
 d/b/a Verizon Wireless  
 23000282595  
 187050 83RD STREET  
 BURR RIDGE, ILLINOIS  
 I-55 & ROUTE 83

**ENGINEERING SITE PLAN**

AUG 2002  
 DRAWN BY: JAK  
 CHECKED BY: JAK  
 DATE: 08/01/02

**CE DESIGN, LTD.**  
 ENGINEERS/ARCHITECTS  
 1870 ROCKWELL ROAD,  
 BOLLING, MD 20746  
 (847) 392-3370 FAX (847) 392-2222

4675  
 C-1

## EXHIBIT D

LESSEE is authorized to install and maintain the following equipment:

### ANTENNA INFORMATION

ANTENNAS: ( 12 ) panel antennas @142' AGL.

Orientation: 15-130-255

Diameter of transmission line: Not to exceed 1 5/8"

EQUIPMENT: Per construction drawings.

LM  
11/6/02

**RESOLUTION NO. R-39-02**

**RESOLUTION AUTHORIZING WATER TOWER LEASE AGREEMENT  
(VERIZON WIRELESS)**

**WHEREAS**, Verizon Wireless has proposed a Lease Agreement to permit the installation of an antenna system on top of the Village's water tower at 16W050 83rd Street in exchange for rent and other considerations;

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, did consider a certain Lease Agreement with Verizon Wireless in that form attached hereto and made a part hereof as **EXHIBIT 1**; and

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, have determined that it is in the best interests of said Village that said Lease Agreement be entered into by the Village of Burr Ridge;

**NOW, THEREFORE, Be It Resolved** by the President and Trustees of the Village of Burr Ridge, Cook and Du Page Counties, Illinois, as follows:

**Section 1**: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

**Section 2**: That the President and Board of Trustees of the Village of Burr Ridge hereby find that it is in the best interests of the Village of Burr Ridge and its residents that the aforesaid "Water Tower Lease Agreement" be entered into and executed by said Village of Burr Ridge, with said Agreement to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**.

LM  
11/6/02

**Section 3:** That the President and Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, are hereby authorized to execute for and on behalf of said Village of Burr Ridge the aforesaid Agreement.

**Section 3:** This Resolution shall be in full force and effect upon its adoption and approval as required by law.

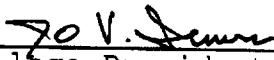
**ADOPTED** this 25th day of November, 2002, by a roll call vote as follows:

**AYES:** 5 - Trustees Derma, Rohner, Pallat, Paveza and Sodikoff.

**NAYS:** 1 - Trustee Cizek.

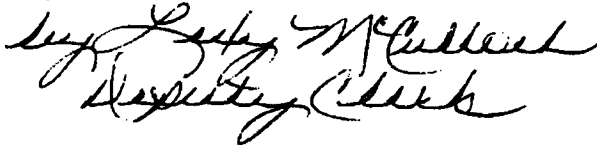
**ABSENT:** 0 - None.

**APPROVED** this 25th day of November, 2002 by the President of the Village of Burr Ridge.

  
\_\_\_\_\_  
Village President

ATTEST:

  
\_\_\_\_\_  
Village Clerk

  
\_\_\_\_\_  
Deputy Clerk

s:\employees\lacculloch\lexydocs\resolu\agreement-verizonlease.doc





Mr. Steven Stricker  
Village Administrator  
Village of Burr Ridge  
7660 S. County Line Rd.  
Burr ridge, IL. 60527

October 20, 2004

**Re: Verizon Wireless Site 1\_93/ located at 16W050 83<sup>rd</sup> Street, Burr Ridge, IL. 60527**

Dear Mr. Stricker,

In the next couple of months, Verizon Wireless will be upgrading its telecommunications equipment in order to continue to provide its customers with the highest level of quality service possible. Specifically, Verizon Wireless will be replacing its existing antennas with a newer, better performing model.

Per paragraph 6 of the above referenced Site Agreement, Verizon Wireless must obtain the Lessor's written consent to make any such replacements at the site. Verizon Wireless plans to utilize the following new antenna type:

<b><u>Make</u></b>	<b><u>Model</u></b>
CSA	PCSA090-19-2

As required by the existing lease agreement, Verizon Wireless is asking for your cooperation and your consent for the installation of this new equipment at its facility. Please grant your consent with the appropriate signature below, and return this letter to me in the enclosed envelope provided for your convenience.

Should have any questions; feel free to call me direct at (773) 395-5105.

Best regards,

Ty Howard  
On behalf of Verizon Wireless

*Ty Howard*  
Enclosure

Agreed and Approved this 19 day of  
January, 2005 by LESSOR:

Signature: *Steven Stricker*

Name: STEVEN STRICKER

Title: Village Administrator



**FMHC Corporation**  
*Real Estate Consultants to the Communications Industry*

August 19, 2003

Village of Burr Ridge  
7660 County Line Road  
Burr Ridge, IL 60527

Attention: Mr. Steven Stricker

RE: Verizon Wireless Agreement\_Satisfaction of Landscaping Requirements.

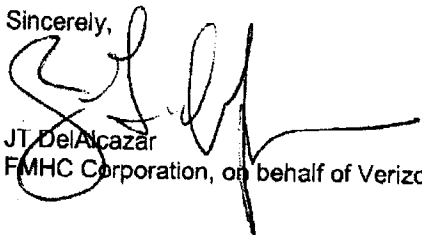
Dear Mr. Stricker,

This letters in intended to confirm the understanding between the Village of Burr Ridge and Chicago SMSA Limited Partnership, d/b/a Verizon Wireless "Verizon Wireless"), regarding landscaping requirements pursuant to the Lease dated 3/21, 2003.

Notwithstanding anything to the contrary contained in the Lease, acceptance of the enclosed \$500.00, shall satisfy any all of Verizon Wireless' landscaping obligations under the Lease.

If this is acceptable to the Village, please sign and date this letter in the space provided below.

Sincerely,

  
JT DelAlcazar  
FMHC Corporation, on behalf of Verizon Wireless

Agreed to this 19 day of \_\_\_\_\_, 2003

By: Stu Stricker

Name: Steven Stricker

Title: Village Administrator

Real Estate Department



Verizon Wireless  
180 Washington Valley Road  
Bedminster, NJ 07921

April 9, 2003

Steven S. Stricker  
Village Administrator  
Village of Burr Ridge  
7660 S. County Line Road  
Burr Ridge, IL 60527

Re: Water Tower Lease Agreement between Village of Burr Ridge, and Chicago SMSA Limited Partnership d/b/a Verizon Wireless

Dear Sir or Madam:

On the 21st day of March 2003, Chicago SMSA Limited Partnership, d/b/a Verizon Wireless, entered into a Water Tower Lease Agreement with Village of Burr Ridge, for the property located 16W050 83<sup>rd</sup> St., in the town of Burr Ridge, in DuPage County, in the State of Illinois.

Pursuant to Paragraph 3 of the Agreement, this letter will serve as your notification that the commencement date of the Agreement is effective January 1st, 2003.

The initial term is for the period of (5) years at a monthly rental of \$2300.00 to be paid in equal monthly installments.

I have instructed our Accounting Department to issue a check in the amount of \$11500.00, which represents payment for the months of January 2003 through May 2003.

I trust the foregoing is clear but should you have any questions now or in the future regarding this lease, please contact Allan Wolff at 908-607-8829.

Sincerely,

A handwritten signature in black ink, appearing to read "Allan Wolff", written over a horizontal line.

Allan Wolff  
Network Real Estate Coordinator

Site: I555 & 83/55404



# VILLAGE OF BURR RIDGE

7660 S. COUNTY LINE ROAD • BURR RIDGE, IL 60527-4721 • (630) 654-8181

FAX: (630) 654-4542

<http://www.burr-ridge.gov>

Jo V. Irmen  
President

Karen J. Thomas  
Village Clerk

Steven S. Stricker  
Administrator

March 5, 2003

Mr. Marc Kruer  
President  
Conversions Technologies, Inc.  
343 W. 83<sup>rd</sup> Street, Suite C  
Burr Ridge, IL 60527-7093

Dear Marc,

This is a follow-up to our conversation of March 3. I have attached the yet-to-be-signed water tower lease agreement with Verizon. As the lease agreement indicates, Verizon has been provided a non-exclusive right to construct an antenna on our water tower at Madison and 83<sup>rd</sup> Streets. Also for your information please be aware that the base of the elevated tank near Madison and 83<sup>rd</sup> Streets has an elevation of 729.5 feet and is approximately 133 feet high. The tank on Garfield Avenue extended (Harvester Park) has an elevation of 715.5 at the base and is approximately 147 feet tall.

As we discussed, the Village of Burr Ridge would entertain discussions regarding a possible lease to install antennas on either one of the elevated tanks. In the meantime, if you have any questions, please do not hesitate to contact me at (630) 654-8181, extension 100.

Very truly yours,

Steven Stricker  
Village Administrator

SS:bp  
encl

cc: Village President and Board of Trustees  
Assistant to the Administrator  
Village Engineer  
Public Works Superintendent  
Community Development Director

**RESOLUTION NO. R-\_\_\_\_\_-23****A RESOLUTION REGARDING THE NEED FOR  
CONFIDENTIALITY OF CLOSED SESSION MINUTES**

**WHEREAS**, pursuant to Section 2.06(d) of the Open Meetings Act (5 ILCS 120/1 *et seq.*), the corporate authorities have undertaken a semi-annual review of minutes of all closed sessions which have not been previously released to the public; and

**WHEREAS**, the corporate authorities find that the need for confidentiality still exists as to the minutes of all closed session meetings.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. The corporate authorities hereby find that the need for confidentiality still exists as to all closed session minutes that have not been previously released, and that such minutes shall remain confidential.

Section 2. This Resolution shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

PASSED by the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois at a Regular Meeting thereof held on the 23<sup>rd</sup> day of January, 2023, and approved by the following roll call vote:

AYES:

NAYS:

ABSENT:

APPROVED this 23<sup>rd</sup> day of January, 2023, by the Village of Burr Ridge.

---

Mayor

ATTEST:

---

Village Clerk

**RESOLUTION NO. R-\_\_\_\_\_ -23****A RESOLUTION ENDORSING THE LEGISLATIVE ACTION PROGRAM OF THE DUPAGE MAYORS AND MANAGERS CONFERENCE FOR THE 2023 LEGISLATIVE SESSION**

**WHEREAS**, the Village of Burr Ridge is a member of the DuPage Mayors and Managers Conference; and

**WHEREAS**, the DuPage Mayors and Managers Conference develops its annual Legislative Action Program with the goal of establishing a comprehensive platform on legislative issues in order to protect and benefit the interests of its member municipalities, residents, and businesses in these municipalities, and the region generally; and

**WHEREAS**, on November 16, 2022, the DuPage Mayors and Managers Conference Board of Directors voted unanimously to adopt its 2023 Legislative Action Program, attached hereto as **Exhibit A**; and

**WHEREAS**, the Village of Burr Ridge, will individually benefit by formally establishing positions on legislative issues affecting municipalities, thereby giving clear direction to officials and employees of the Village of Burr Ridge regarding legislative positions that may be represented in official capacity or on behalf of the municipality; and

**WHEREAS**, provisions such as preserving local authority over our rights-of-way are important for numerous issues including regulating the placement of wireless communication devices by private vendors.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, that the Village of Burr Ridge hereby adopts the following sections of the DuPage Mayors and Managers Conference's 2023 Legislative Action Program (**Exhibit A**).

**BE IT FURTHER RESOLVED** that a copy of this Resolution be forwarded to the DuPage Mayors and Managers Conference, to all County, state, and federal legislators representing the Village of Burr Ridge, and to the Office of the Governor.

**PASSED** by the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois at a Regular Meeting thereof held on the 23<sup>rd</sup> day of January, 2023, and approved by the following roll call vote:

AYES:

NAYS:

ABSENT:

APPROVED this 23<sup>rd</sup> day of January, 2023, by the Village of Burr Ridge.

---

Mayor

ATTEST:

---

Village Clerk



# DuPage Mayors & Managers Conference 2023 Legislative Action Program

*A coalition of cities and villages working together, the Conference fosters collaboration and advocates for excellence in municipal government.*

## Local Government Distributive Fund

The DuPage Mayors and Managers Conference will advocate for the **restoration of the Local Government Distributive Fund** to 10% to fund infrastructure, public safety, pensions, and other critical community obligations.

### Financial Sustainability

- Address **public safety pension funding** concerns by permitting all municipalities to implement a rolling amortization period.
- Ease the burden of **Freedom of Information Act** regulations on municipalities by extending the response period for non-commercial requests, allowing electronic records fees, and clarifying the definition of a recurrent requester.

### Public Safety

- **Protect qualified immunity** to ensure local governments are not unduly liable for municipal officials discharging their duties according to existing policy.
- Address provisions in the **SAFE-T Act** that require clarification or modification to ensure public safety, specifically regarding pre-trial release and Class B & C misdemeanors.
- Add exemptions to disclosure for automatic **license plate readers (LPRs)** under the Freedom of Information Act.

## Local Authority

- **Oppose preemptions** of municipal authority and burdensome mandates.
- Remove restrictions on utilizing **hotel/motel and locally imposed sales tax** revenue in non-home rule municipalities.
- Permit non-home rule municipalities to implement & utilize local **motor fuel taxes (MFT)** consistent with non-home rule municipalities in Cook County.
- Repeal arbitrary restrictions on **non-home rule municipal authority**, including those related to crime-free housing programs, eminent domain, police personnel discipline procedures, and environmental regulatory authority.
- Permit municipalities to enact a 5% **Automobile Renting Occupation & Use Tax** on second division vehicles, including trucks rented for moving furniture and goods.



**Melissa Neddermeyer**  
Village President

**Ryan Grace**  
Village Administrator

**Lori Charles**  
Village Clerk



**Trustees**  
Tom Arra  
Terry Carr, Sr.  
Mike Kennedy  
Rick Mika  
Ernie Moon  
Fred Posch

January 17, 2023

Dear Residents of Willow Springs,

Yesterday I shared an update with respect to Lyons Township High School (LTHS) putting out to bid its property that is located near the corner of Willow Springs Road and German Church Road. I will share an added update.

Today, for the first time, Village Administrator Ryan Grace and I met with Bridge Industrial, the highest bidder for the property. We learned about Bridge Industrial's vision for the property, and that vision is exclusively industrial development.

We provided the current zoning ordinance and indicated that the property is not zoned for industrial development. When asked if they could devise a project that meets the current zoning ordinance, that did not seem likely.

We explained that the community is overwhelmingly unsupportive of industrial development on this property and highlighted the reasons why. We asked Bridge Industrial to consider retracting their bid to purchase the property. I appreciate them taking the time to meet with us.

LTHS is expected to consider the bid at the LTHS Board Meeting on Monday, January 23, 2023, at 7:30 pm at LTHS North Campus. We will continue to keep the community updated. Please reach out if you have any questions or concerns to share.

Yours truly,

A handwritten signature in black ink that reads "Melissa Neddermeyer". The signature is fluid and cursive, with a large loop at the end.

Melissa Neddermeyer  
Willow Springs Village President

VILLAGE OF WILLOW SPRINGS  
COOK COUNTY, ILLINOIS

ORDINANCE NO. 31-0-2007

AN ORDINANCE: AMENDING TITLE 9A (ZONING REGULATIONS) OF THE VILLAGE OF WILLOW SPRINGS VILLAGE CODE, 1983, AS AMENDED, TO ESTABLISH A NEW ZONING DISTRICT TO BE KNOWN AS THE NORTH WILLOW SPRINGS ROAD CORRIDOR - PLANNED DEVELOPMENT (NWSRC-PD) DISTRICT; TO ESTABLISH THE PROCEDURES AND STANDARDS FOR PLANNED UNIT DEVELOPMENTS WITHIN THE NORTH WILLOW SPRINGS ROAD CORRIDOR - PLANNED DEVELOPMENT (NWSRC-PD) DISTRICT; AND TO AMEND THE VILLAGE'S ZONING MAP TO RE-ZONE CERTAIN PROPERTIES TO THE NORTH WILLOW SPRINGS ROAD CORRIDOR - PLANNED DEVELOPMENT (NWSRC-PD) DISTRICT

**WHEREAS**, the President and Board of Trustees of the Village of Willow Springs have determined that in order to implement the guidelines initiated by amendments to the Village's Comprehensive Plan pursuant to Ordinance No. 26-0-2002, it is necessary to create a new zoning district to provide for the mixed-use development and redevelopment of that certain area of the Village identified within the Village's Comprehensive Plan as the North Willow Springs Road Corridor; and

**WHEREAS**, the President and Board of Trustees of the Village of Willow Springs have determined that to foster unified development with a mix of uses in order to diversify and strengthen the economic base of the Village, a planned development method of establishing and reviewing development proposals within the North Willow Springs Road Corridor is in the best interests of the residents of the Village; and

**WHEREAS**, the President and Board of Trustees of the Village of Willow Springs have determined, as recommended by the Village's Planning Consultants and its Plan Commission, that the sub-area of the Village consisting of lands along Willow Springs Road located north of German Church Road and south of 79th Street and containing approximately 80 acres, and which is legally described on Exhibit "A" which is attached hereto and incorporated herein by reference, should be re-zoned from its current residential zoning district to the new zoning district to be established by this Ordinance to be known as the North Willow Springs Road Corridor - Planned Development (NWSRC-PD) District; and

**WHEREAS**, following the required publication of Public Notice, the Planning & Zoning Commission of the Village of Willow Springs held public hearings on November 2, 2005, December 7, 2005, January 4, 2006, February 8, 2006 and April 5, 2006, on the matter of the application filed by the Village of Willow Springs Village Board; and,

**WHEREAS**, the Plan Commission has made its Findings and Recommendation, dated June 7, 2006, a copy of which is attached hereto, marked Exhibit "C" and incorporated herein by reference, with respect to the granting of said rezoning with certain conditions; and,

**WHEREAS**, the Village Board has reviewed the Plan Commission's Findings and Recommendation on various dates and continued its review after requesting clarification from the Plan Commission. The Plan Commission has clarified the Findings and Recommendation for the Village Board. The Village Board has subsequently gone over and discussed the Findings and Recommendation at various meetings.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOW SPRINGS, COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**Section 1. Premises and Preambles.** The premises and preambles set forth above are incorporated herein by reference and made an integral part hereof as if fully recited herein.

**Section 2. Findings of Fact - Zoning Amendment Standards.** The Village Board has determined the amendment to Title 9A which will establish the NWSRC-PD District will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. The Village Board has further determined the amendment will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor substantially diminish or impair property values within adjoining areas, nor will the amendment impede the normal and orderly growth, development and improvement of the surrounding property, as well as the Village at large.

**Section 3. Amendment.** That Title 9A, entitled "Zoning Regulations" of the Village of Willow Springs Village Code, 1983, as amended, be further amended by adding thereto a new Chapter 11, as follows:

**"CHAPTER 11  
NORTH WILLOW SPRINGS ROAD CORRIDOR -  
PLANNED DEVELOPMENT (NWSRC-PD) DISTRICT:**

**SECTION:**

- 9A-11-1: Purpose; Location and Services
- 9A-11-2: Permitted Uses
- 9A-11-3: Prohibited Uses
- 9A-11-4: Applicability
- 9A-11-5: Definitions

**9A-11-1: PURPOSE; LOCATION AND SERVICES:**

A. Purpose: The NWSRC-PD District is established to provide for the development of a compatible mixture of open-space, commercial, single-family residential, and senior-oriented residential uses. Specific land uses, designs, and densities allowed in the NWSRC-PD District shall adhere to the principles and guidelines described in the Comprehensive Plan and amendment for the North Willow Springs Road Corridor, adopted by the Village Board on December 12, 2002 by Ord. No. 26-0-2002. The procedures and standards that govern the NWSRC-PD District are set forth in Section 9A -1-5-1: Planned Unit Developments, unless otherwise noted in this Chapter.

B. Location and Services: The NWSRC-PD District is intended to be applied to lands north of German Church Road, having substantial frontage along the west side of Willow Springs Road, north to the Village's northern boundary. The District shall contain approximately eighty (80) acres, in accordance with the Village's Comprehensive Plan, 1990, as amended, and shall be served by public water and sewer.

**9A-11-2: PERMITTED USES:**

A. The following uses shall be permitted, subject to compliance with the Site Plan Review standards and process contained in Section 9A-1-9: secondary schools, public and not-for-profit.

B. The following uses may be permitted in the NWSRC-PD District, subject to approval as part of an approved planned development in accordance with the requirements of this ordinance:

Retail and all other uses allowed in the B-1 Community Shopping District, unless otherwise restricted.

Single family residential housing at a minimum of SR-3 (30,000 ft<sup>2</sup>) or higher

Senior Residential Housing.

C. Any other use authorized in a Special Use Planned Development Ordinance approved by the Village Board for individual developments in accordance with the procedures and standards of Sections 9A-1-5-1 and 9A-5-1G-4.

**9A-11-3: PROHIBITED USES:**

Any use that is not authorized pursuant to Section 9A-11-2 shall not be allowed, and in addition the following uses shall be specifically prohibited, in the NWSRC-PD District:

- Automotive fueling and/or service station, including service and minor repair
- Automobile and truck laundries
- Used automobile dealerships
- Auto wrecking/salvage yards
- Animal kennels
- Mini warehouses/self-service and personal storage facilities
- Industrial and warehouse uses
- Wholesale establishments
- Any other use the Village Board believes would be detrimental to the health, welfare, and safety of Willow Springs residents.

**9A-11-4: APPLICABILITY:**

A. Secondary schools, not requiring planned development special use approval, shall be subject to the regulations and procedures for Site Plan review in Section 9A-1-9.

B. All other uses permitted in Section 9A-11-2, and requiring a planned development special use, shall be subject to the procedures and standards of Sections 9A-1-5-1 and 9A-1-5-1 G.4.

**9A-11-5: DEFINITIONS:**

**SENIOR RESIDENTIAL HOUSING:** A for-profit, continuing care residential community under single ownership and management in which (i) all living units are restricted to use by persons 55 years of age and older in accordance with the federal Fair Housing Act, (ii) use restrictions in a form satisfactory to the Village have been recorded against the property occupied by the Senior Residential Housing use, and (iii) there shall be a mix of the following component uses, as long as a majority of the Senior Residential Housing is Independent Housing:

A. Independent Housing. Housing that provides a living arrangement of self-contained living units (each containing a full kitchen and bath) that integrates shelter, food services, and other services for independent adults who do not require 24-hour oversight. [Services shall include meals, laundry, transportation, and housekeeping.] The Village strongly encourages the construction of villa style homes to be used as Independent Housing.

B. Minimal Care Housing. Housing that provides a living arrangement consisting of a special combination of living units and personalized services designed to respond to the scheduled and unscheduled needs of seniors who may need help with activities of daily living. Services shall include meals, laundry, transportation, and housekeeping. Minimal care housing may include, but need not be limited to, assisted living establishments licensed by the State of Illinois pursuant to 77 Ill. Admin. Code 295, or any successor provisions.

C. Intermediate Care Housing. A residential facility licensed by the State of Illinois as an "Intermediate Care Facility" pursuant to 17 Ill. Admin. Code 300, or any successor provisions.

D. Skilled Care Housing. A residential facility licensed by the State of Illinois as an "Skilled Nursing Facility" pursuant to 77 Ill. Admin. Code 300, or any successor provisions.

**LIVING UNITS:** Either: (i) living space for occupancy of individuals within a Senior Residential Housing facility (with or without kitchen facilities); or (ii) a dwelling unit located within a Senior Residential Housing facility."



Section 4. Amendments. That Section 9A-1-5-1, entitled "Special Use - Planned Unit Developments" of the Village of Willow Springs Village Code, 1983, as amended, be further amended by adding thereto a new Section, 9A-1-5-1G.4. as follows:

**"4. North Willow Springs Road Corridor - Planned Development:**

A. General Objectives: Overall land use and design objectives for development within North Willow Springs Road Corridor - Planned Development District (NWSRC-PD) include:

(1) Shops, open space, and Senior Residential Housing should be located in close proximity to each other to create an integrated development that is pedestrian oriented and accessible for vehicles.

(2) Parks and passive open space shall be incorporated into each Residential and Senior Residential Housing development within the NWSRC-PD.

(3) New development should respect the residential character of nearby areas through establishment of transitional zones, adequate setbacks, landscape buffer areas, minimum lighting levels, and screening between such residential areas and incompatible uses.

(4) Future road access points should be minimized and coordinated with existing and planned streets.

(5) The opportunity for cut-through traffic in residential areas should be minimized.

(6) Development within existing woodland areas should be restricted if viable woodland areas exist based upon a recent certified tree survey.

(7) The identity and image of the Willow Springs Road corridor, and other arterial roads in the district, as defined by the Comprehensive Plan, should be enhanced with landscaping, streetscape elements, and infra-structure improvements.

(8) The impact on local school districts should be minimized, and positive financial benefits to local school districts should be enhanced.

B. Land Use and Design Guidelines:

(1) General Design Standards Applicable to All Uses:

(A) Land Use Allocation: All land uses shall conform to the intent of the Village of Willow Springs Comprehensive Plan, as amended. The standards below shall serve as guidelines in the review of a specific project:

- SR-3 Single family residential: 20% Minimum to 40% Maximum of total NWSRC-PD District.

- B-1 Neighborhood Commercial: 10% Minimum to 15% Maximum of total NWSRC-PD District with access and frontage restricted to Willow Springs Road only.

- Public Accessible Parks & Open Space: 10% minimum of total NWSRC-PD District. Required setback areas, retention areas, and detention areas, shall not be used in calculating open space.

- Senior Residential Housing: 35% minimum to 60% maximum of total NWSRC-PD District with a density of not greater than 12 living units per acre, including Independent, Minimal Care, Intermediate Care and Skilled Care Housing (a majority of Senior Residential Housing shall be Independent Housing).

(i) Any development within the NWSRC-PD District should reserve and maintain a minimum of fifty percent (50%) of each development site area for publicly accessible parks and/or "outdoor" open space. This should include preservation of the Burr Oak forest at the southwest corner of Willow Springs Road and 79th Street, and any other significant trees worthy of preservation. Required setback areas shall not be used in calculating open space.

(ii) The balance of the land within the NWSRC-PD District shall consist of a mix of residential and non-residential uses that conforms to the intent of the Comprehensive Plan. Except as otherwise may be provided, for the purposes of this Section 9A -1-5-1G.9 "Senior Residential Housing" developments as permitted in Section 9A-11-3 shall be classified as a non-residential use.



(B) Minimum Development Size: No single development shall be permitted on a site less than 40 acres, except where the development is a component of an approved planned development project that is equal to, or greater than 40 acres in total.

(C) Building/Yard Setbacks: All front, side and rear Building/Yard setbacks shall be a minimum of 100 feet. All landscape Buffer Yards shall be a minimum of 100 feet and shall include an undulating berm with an average height of eight(8)feet with a 3:1 slope. Required setback areas shall not be used in calculating open space.

(D) Access and Circulation:

(i) Sidewalks, at least five (5') feet in width, shall be provided adjacent to all public and private streets, unless otherwise provided in the planned development special use permit ordinance.

(ii) A system of pedestrian and bicycle trails shall be incorporated into the design of all developments within the NWSRC-PD District. All developments within the NWSRC-PD District shall be required to coordinate connection points between existing and proposed trails on adjoining private or public properties in order to further the Village's objective to create a unified trail system.

(iii) Access points into developments within the NWSRC-PD District should be minimized and should be aligned with existing public and private roads. Any required improvements to adjacent roads will be the responsibility of the developer, as may be recommended by the Village traffic planning or engineering consultant, or by other governmental agencies having jurisdiction over such roads, in response to a traffic study required for the project(s). Required road improvements shall be set forth in the planned development special use permit ordinance.

(iv) Concrete curbs shall be provided around the perimeters of all off-street parking lots, and all internal private roads.

(E) Landscaping, Buffering, and Screening:

1. (i) Minimum Size of Plant Materials:

Trees and shrubs used for landscaping shall conform to the following minimum standards upon installation:

(a) Evergreen trees: Not less than eight (8') feet in height.

(b) Ornamental trees: Not less than ten (10') feet in height.

(c) Shade Trees: Not less than three and 1/2 (3.5") inches in caliper, as measured six inches above grade.

(d) Shrubs: Not less than twenty-four (24") inches in height, unless used for screening, in which case shrubs shall not be less than four (4') feet in-height.

(F) Buffer Yards:

(i) A minimum landscape buffer yard of one hundred (100) feet shall be required along the full length of Willow Springs Road and all other arterial roads within the NWSCR-PD District, and shall include an undulating berm having an average height of eight (8) feet with a 3:1 slope; the final design of such berm shall be approved as part of a final planned development plan.

(ii) A minimum landscape buffer yard of one hundred (100) feet shall be required along the full length of 79th Street and German Church Road, and all other major collector roads.

(iii) A minimum landscape buffer yard of one hundred (100) feet shall be required along the entire lot line of all uses that abut an existing or planned residential property.

(iv) No buildings or parking area shall be permitted within a required buffer yard.

(v) Unless otherwise provided, internal buffer yards between buildings or uses shall be as defined in the planned development special use permit ordinance.

(G) Minimum Density of Plant Materials in Buffer Yards:

(i) The following table (see Appendix attached for

illustrations of the minimum number of plantings required in each bufferyard) classifies bufferyards into two categories: A and B. To calculate the minimum number of plants required in a buffer yard, the length of each side of a property requiring a bufferyard should be divided by one hundred feet (100') and multiplied by the number of plants shown in the appropriate illustration; fractions of plants should be rounded up to the next whole number.

Proposed Land Use	BUFFER YARD DENSITY*				
	Adjacent Land Use				
	Senior Housing (Non-Residential)	Non-Residential	Arterial Roads	Collector Roads	Residential
Senior Housing (Non-Residential)	A	A	B+	A	B
Non-Residential	A	A	B+	A	B

\*Note: At least 20% of the area of all bufferyards shall be planted with perennial and annual beds

+Requires use of an undulating berm, masonry wall, or wood fence or a combination of these elements

(ii) All landscape areas shall be irrigated.

(iii) See Appendix attached for illustrations of landscaped buffer yards A and B. The final design of all buffer yards shall be approved as part of the planned development special use ordinance.

(H) Parkway and Street Trees:

(i) All dedicated and private collector roads should include a minimum 10 foot parkway strip between the sidewalk and the roadway.

(ii) All dedicated and private collector roads shall have street trees within the parkway strip on both side of the street, with not less than one tree for every 40 linear feet of right-of-way or fraction thereof,

provided, however, that clustered landscape designs that provide a more creative parkway treatment are encouraged.

(iii) All parkways and other areas to be grassed shall be sodded grass and not seeded.

(I) Parking Lots and Screening:

(i) Subject to sub-paragraphs (a) and (b) below, all parking lots shall include landscape islands at a ratio of one landscape island for every fifteen (15) parking spaces or fraction thereof, such that no parking space may be greater than one hundred and thirty-five feet (135') away from a landscape island. Each island shall be a minimum of 10' by 20' in size and shall be concrete curbed and ground covered and shall include at least one tree in addition to other shrubs and plant materials.

(a) The maximum spacing requirement between parking spaces and landscaped islands may be waived to allow for a lesser number of larger landscaped islands to be provided, which islands shall be of sufficient size to sustain a diversity of plant material and shall be designed to be irregularly shaped and placed within the parking lot in a non-grid fashion in order to create relief in the monotonous layout of the parking lot; and

(b) All landscaped islands shall be irrigated.

(ii) In addition to the requirements of part I(i) immediately preceding, and within a distance of thirty (30') feet surrounding parking areas, not less than one tree shall be provided for every two (2) parking spaces.

(iii) All parking lots located in front of the primary building and that is not otherwise fully screened from the public right-of-way shall be screened with a hedge, berm, or similar treatment covering one hundred (100%) percent of the width of the parking lot. Hedges and berms should be maintained between 30 and 40 inches in height and berms should generally maintain a slope of 1:2 (vertical: horizontal) and have a natural undulating design.

(iv) All parking lots located adjacent to Senior Residential Housing developments shall be screened from view using a continuous hedge of six feet (6') in height along one hundred (100%) percent of the width of the parking lot. Shrubs shall be spaced at a maximum of four feet (4') on center. A solid screen may be achieved by clustering shrubs beneath shade or ornamental trees, by using evergreen trees, berms or any mix thereof, or by providing a six foot (6') solid commercial grade wood fence or masonry wall along the length of the property. Shade trees shall be provided inside the fence at the equivalent of one (1) tree every fifty lineal feet (50'), or fraction thereof.

(v) Loading docks, service yards, trash receptacles, and open storage yards shall be screened from view from the public right-of-way and adjacent properties by a masonry wall, or solid year-round landscaping.

(vi) There should be sufficient quantities of shade, ornamental, and evergreen trees, shrubs and ground covers to adequately screen unattractive views at the side and rear of adjacent buildings.

(J) Foundation Landscaping:

(i) At minimum an eight (8') foot wide landscape area should be provided adjacent to all building walls (excluding driveways, entrance areas, covered walkways, service and delivery areas).

(ii) Foundation landscape areas shall be planted with a balance of understory and evergreen trees, shrubs, flowers, and ground covers, designed to provide year-round colors.

(iii) Foundation landscape plantings should emphasize the softening of large expanses of building walls length and height, accent building entrances and architectural features and screen mechanical equipment adjacent to buildings.

(K) Tree Preservation: Tree surveys shall be required for all developments within the NWSRC-PD District. Every effort in the design of building and parking areas shall be made to protect the existing quality trees. Particular attention shall be made to preserve the Burr Oak Forest

at the southwest corner of Willow Springs Road and 79th Street and other high quality trees, where located in the NWSRC-PD District.

(L) Building Design:

(i) Bulk and Mass: All buildings should be designed with treatments to break up the mass and bulk. Buildings shall include vertical architectural treatment to break down the scale of the building into visually smaller components. Any facade with a blank wall shall be screened through landscaping, berming, and/or fencing. Architectural details shall continue on all facades visible from the public right-of-way. Large expanses of blank walls facing the street are inappropriate.

The following design elements should be incorporated to break up the horizontal plane of a building or wall:

- (a) Change in color, texture, or materials;
- (b) Projections, recesses, and reveals, structural bays, entrances;
- (c) Grouping of windows or doors; and/or

(ii) Materials and Color:

(a) A minimum of 80% of all facades (discounting windows and doors), visible from the public right-of-way or surrounding residential areas, should be covered with face brick, natural stone, or some other masonry product of similar quality so as to add texture, color and visual interest and to avoid the bland appearance of large walls, roofs and facades.

(b) Ribbed metal/vinyl siding is prohibited as a primary exterior surface material. It may be used as trim material covering no more than 10% of any facade.

(c) Smooth faced gray concrete block and tilt up concrete panels are prohibited on all facades visible from the public right-

of-way or neighboring properties. These products may be used for structural purposes provided they are covered with an appropriate material such as face brick.

(d) E.I.F.S. (commonly known as Drivit) should be used for accent purposes only, and should not cover more than 10% of any facade visible from the public right-of-way.

(e) Facade colors should be earth tone colors with low reflectance. High-intensity, metallic, or fluorescent colors are prohibited.

(f) All final building materials, specifications, and colors shall be listed in the planned development special use permit ordinance.

(iii) Mechanical Equipment: Roof-mounted heating, ventilation and air conditioning equipment (excluding roof vents), ductwork, air compressors, and other fixed operating machinery shall be fully screened from public view with architectural treatments that complement the overall design of the structure.

#### (M) Lighting

(i) Light fixtures shall not produce glare on adjacent residential properties. To achieve this, luminaries shall be shielded to prevent light shining beyond the lot lines onto neighboring properties, and light levels shall not exceed 0.2 foot-candle measured at the property line. All light fixtures, with the exception of decorative fixtures used in pedestrian areas when expressly approved by the Village, shall consist of flush mounted, cut-off lighting, such that no part of the bulb or fixture lens extends below the fixture housing.

(ii) Light standards shall not exceed twelve (12') feet in height.

(iii) Decorative lighting fixtures and standards shall be provided in all development areas.

(iv) For buildings and ground surfaces the following average maintained levels of illumination shall not be exceeded:

(a) Building and Monuments (floodlighted)

Foot-candle Light Surfaces	5.0
Medium Light Surfaces	10.0
Medium Dark Surfaces	15.0
Dark Surfaces	20.0

(b) Parking Areas

Senior Residential Housing	2.0
Other Uses	.... 4.5

(c) Building Entrances and Exits 0.5

Notwithstanding the foregoing, the Village may authorize higher levels of illumination for certain uses upon a determination that demonstrates that the level of light produced from the site will not negatively impact adjacent property or the character of the Village.

(v) All developments shall submit catalogue cuts of all proposed lighting fixtures and styles and a photometric study and plan indicating light levels for buildings and parking areas within the entire site.

(vii) Light level measurements shall be in preformed in accordance with the Illuminating Engineering Society of North America, IES Lighting Handbook standards.

(N) Signs:

(i) Maximum Sign Area per Zoning Lot by Street Classification and Use. The maximum total area of all monument signs along arterial roadways on a zoning lot for which a permit is required, shall not exceed the following: (All street classifications shall be as identified in the Comprehensive Plan of the Village of



Willow Springs).

(a) Regional Arterial Road

(1) Commercial Use = 3.0 square feet/lineal foot, but not to exceed 350 square feet

(2) Senior Housing = 0.25 square feet/lineal foot, but not exceed 200 square feet

(b) Community/Local Arterial Road

(1) Commercial Use = 1.5 square feet/lineal foot, but not exceed 200 square feet

(2) Senior Housing = 0.20 square feet/lineal foot, but not exceed 100 square feet

ii) Number, Dimensions, Location of Individual Signs by Street Classification. Individual monument signs subject to the limits of N(i)(a) and (b) immediately preceding shall not exceed the applicable maximum number, dimensions, or setbacks provided below:

(a) Square Feet per Lineal Foot of Frontage\*\*:

Regional Arterial Road

(1) Commercial Use = 0.35 square feet/lineal foot

(2) Senior Housing = 0.15 square feet/lineal foot

Community/Local Arterial Road

(1) Commercial Use = 0.20 square feet/lineal foot

(2) Senior Housing = 0.10 square feet/lineal foot

\*\*No permitted free-standing sign shall be required to be less than 25 square feet.

Freestanding signs shall not exceed 125 square feet in area.

(b) Height: eight feet (8')

(c) Setback: fifteen feet (15')

(d) Number of Signs Permitted Per Zoning Lot: one (1)

(1) Each zoning lot shall be allowed one (1) sign; provided that any lot with more than 1,000 lineal feet of frontage on any single street shall be permitted one (1) additional sign for every additional 500 lineal feet of frontage.

(2) Lots fronting on two or more streets are allowed the permitted sign area for each street frontage, but signs cannot be accumulated and used on one street in excess of that allowed for lots with only one street frontage.

(e) Building Signs. Building signs shall be authorized on any zoning lot in accordance with the Village Sign Code or as authorized in the POD Ordinance.

(f) Design Standards.

(1) Applicants shall describe in graphic form, the proposed design for all signs for the purpose of establishing a uniform format and appearance.

(2) Signs along roadways shall be monument signs. These signs should be made of a high-quality neutral material such as brick, stone, or other similar products, in order to maintain the historically rural character of the community. Pole or pylon signs are

prohibited.

(3) The colors and materials of signs shall be similar to and compatible with the architectural style, colors and materials of the related building. Every sign shall be designed as an integral architectural element of the building and site to which it relates.

(4) The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's message and shall be composed in proportion to the area of the sign face.

(5) Internal illumination of signs is prohibited.

(6) Changeable copy on signs and message signs are prohibited.

(7) Signs should be oriented to vehicular traffic as well as pedestrians, and scaled appropriately.

(8) Except as specified above, all signs shall meet the requirements of the Village's Sign Code.

(O) Underground Utilities: All utilities, including electric, telephone, gas and cable within and along all public and private roads shall be installed underground.

(P) Utility Meters/Transformers: Wall-mounted utility meters shall not be mounted on the front elevation of a building. Wall-mounted utility meters and ground supported transformers shall be painted to match the nearest building. If visible from residential areas or the public right-of-way, meters and transformers shall be screened by landscaping equal in height to the tallest meter or transformer.

c. Senior Housing Design and Service Standards:

(1) The following design and services standards shall apply to all Senior Residential Housing Developments:

(A) Density: Not to exceed twelve(12) living units per acre.

(B) Building Height: Not to exceed three (3) stories or 36 feet. An increase in height may be justified if a project achieves an excellence of design, provides more open space and/or other amenities than required, and demonstrates that the added height will not negatively impact surrounding properties.

(C) Maximum Lot Coverage: Fifty Percent (50%) of total site area, including all structures, drive aisles, and parking areas.

(D) Parking Requirements:

(i) One (1) underground resident parking space shall be provided for each (1) living unit, and such spaces shall be marked for use by the Senior Residential Housing. All developments shall comply with the handicapped parking space requirements under the American Disabilities Act.

(ii) One (1) visitor parking space shall be provided for every two (2) living units, and such spaces shall be marked for use by the Senior Residential Housing.

(iii) Employee parking stalls shall equal the highest number of employees on duty during any one shift.

(E) Walkways and Curbs: All external walkways and curbs shall contain ramps in place of, or in conjunction with, steps. Ramp slope shall not exceed five percent (5%).

(2) The following design and services standards shall apply to Senior Residential Housing developments:

(A) Minimum Living Unit Size: Independent Housing components within a Senior Residential Housing development shall comply with the following minimum requirements for each living unit:

- (i) Studio, 800 square feet square feet
- (ii) One-Bedroom Units, 1000 square feet
- (iii) Two-Bedroom Units 1200 square feet

(B) Building Height: Shall not exceed three (3) stories or thirty-six (36) feet. When adjacent to a residential area, building heights shall not exceed two (2) stories or twenty-four (24) feet. Variations based on design excellence or increase amenities shall be limited to four (4) stories or forty-eight (48) feet.

(C) Gross density : Shall not exceed twelve (12) living units per acre and shall include all levels of care facilities (independent, minimal, intermediate and skilled)

(D) Laundry Facilities: All Senior Residential Housing developments shall provide laundry facilities adequate to accommodate the number of living units proposed within each individual residential structure. For structures containing multiple living units a minimum of one (1) washer and one (1) dryer per each ten (10) living units shall be provided; however in no case shall there be less than two (2) washers and dryers provided within a multiple unit structure. All free-standing and/or attached units, which provide primary access to the unit through an independent exterior door, shall contain one (1) washer and one (1) dryer.

(E) Required Services and Amenities for Senior Residential Housing:

(i) A building manager or supervisory employee shall be on site 24 hours per day.

(ii) A 24-hour internal emergency response system call button shall be provided in all units.

(iii) All residents shall have access to an on-site health care facility, which maintains at least one employee on duty 24 hours per day who is trained in the administration of first aid and who is certified in cardio-pulmonary resuscitation for the elderly.

(iv) The owner and operators or manager shall, on at least a semiannual basis, survey the personal and service needs of the residents and document

changes in medical history or conditions.

(v) The manager shall maintain a detailed and current written emergency medical plan for each resident. This plan shall be based upon the semiannual survey and upon any supplemental information provided by the resident.

(vi) All residents shall have access to a shared dining facility located within the development.

(vii) All residents shall have access to a full service fitness center which shall provide a wide range of equipment and services to accommodate the recreational and medical needs of seniors.

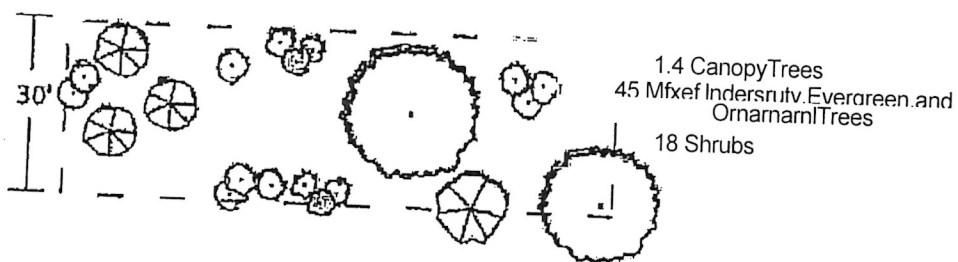
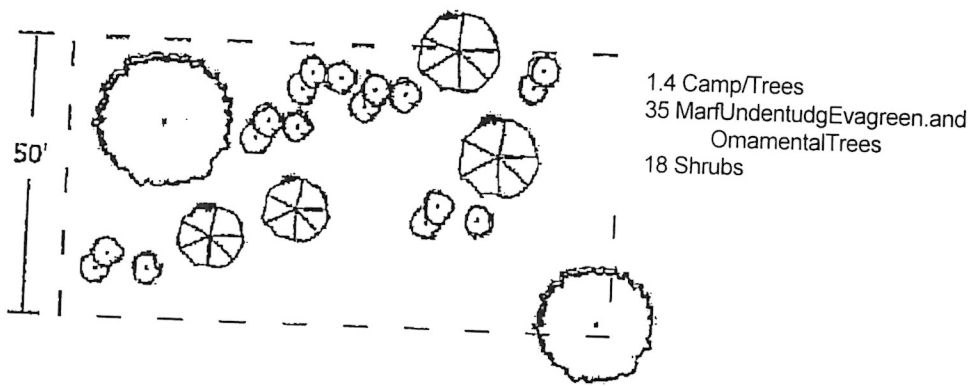
(viii) Interior community space and related equipment shall be required to provide social and recreational opportunities for project occupants. Included may be such facilities as game rooms, meeting rooms, music and craft rooms.

(ix) Elevators shall be provided in all buildings containing living units that are completely contained on a story above the first floor. In such cases, an elevator shall not be more than one hundred feet (100') from a living unit it is intended to serve.

d. Commercial Design Standards (not including Senior Residential Housing): All bulk and area standards for commercial uses within the NWSRC-PD shall comply with the regulations set forth in Section 9A-5-5, except for the following:

- (1) Floor Area Ratio: FAR of .25
  - (2) Building Height: 3 stories or 35'
  - (3) Maximum Impervious Surface Coverage: 50% of planned development area; 3 stories or 35'
  - (4) Maximum Impervious Surface Coverage: 50% of planned development area"
-

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Buffer Yard "A" Density - Minimum Plant Material per 100'

Plant Key: Canopy Trees

Understory, Evergreen, Ornamental Trees

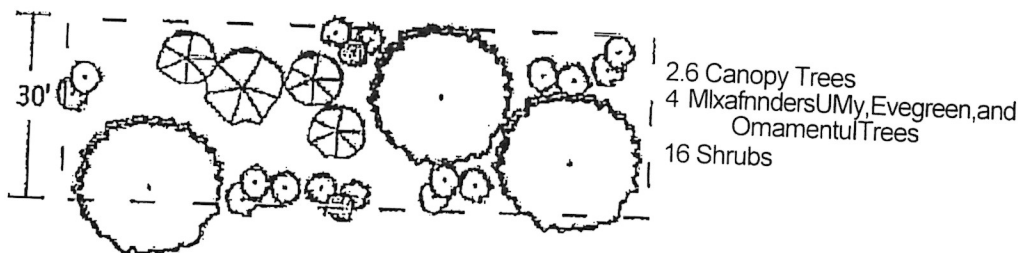
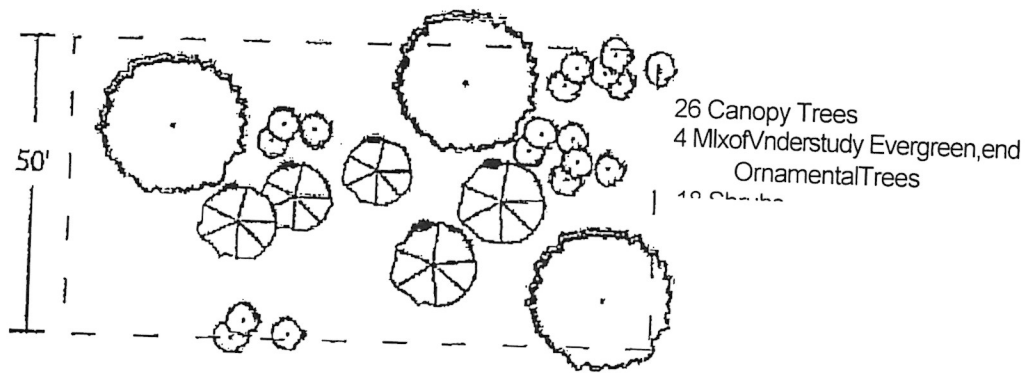
Shrubs

C

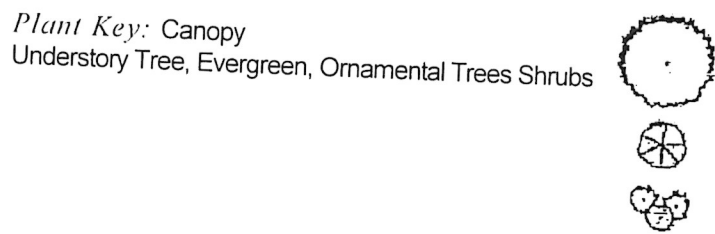
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BUFFER YARD "A"





*Buffer Yard "B" Density - Minimum Plant Material per 106'*



BUFFER YARD "B"

Section 5. Map Amendment.

A. That all of that area, as legally described on Exhibit "A" which is attached hereto and incorporated herein by reference, and which is generally bounded by Willow Springs Road on the east, German Church Road on the south, 79th Street on the north and on the west by the east rear lot line of the residences fronting on School Avenue and Howard Avenue and the east lot line of the Pleasantdale Element School (District 107) property and containing approximately 80 acres, be and the same is hereby re-zoned as within the North Willow Springs Road Corridor - Planned Development (NWSRCPD) District.

B. That the official zoning map of the Village of Willow Springs be forthwith revised to indicate the re-zoning imposed in Paragraph A above.

Section 6. Penalty.

A. Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with, or who resists enforcement of any of the provisions of this Ordinance, or who shall refuse to remedy a violation of any such provisions shall, upon conviction, where no specific penalty is provided for the section being violated, be punished by a fine not to exceed Seven Hundred Fifty Dollars (\$750.00) or the greatest allowable fine permitted by State Statute for any one offense. A separate offense shall be deemed committed for each day such violation shall continue.

B. In the event any building or structure erected, constructed, reconstructed, altered, repaired, converted or maintained, or any building, structure or land is used in violation of this Ordinance, the Village by and through its Building Commissioner, Director of the Code Enforcement or other appropriate official, in addition to other remedies, may institute an appropriate action or proceeding, (1) to prevent the unlawful erection, construction, reconstruction, alteration, repair, conversion, maintenance or use; (2) to prevent the occupancy of the building, structure or land; (3) to prevent any illegal action, conduct business or use in or about the premises; or (4) to restrain, correct or abate the violation.

Section 7. Repeal. That all ordinances or parts of ordinances in conflict with the provisions hereof are hereby repealed insofar as the conflict herewith.

Section 8. Effective Date, Publication. That this Ordinance shall become and be effective immediately upon its passage, approval

and publication in the manner provided by law. It is ordered that

publication of this Ordinance be made by duplicating thereof in pamphlet form, said pamphlets to be deposited in the Office of the village Clerk of the Village of Willow Springs, for general distribution.

PASSED this 12 day of July, 2007.

*[Signature]*

Village Clerk

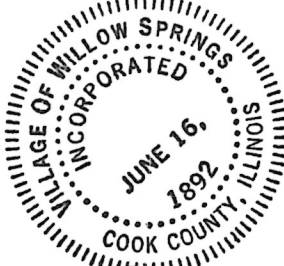
VOTING AYE: TRUSTEES Bartik, Kaptur, Bohac, Stanphill

VOTING NAY: TRUSTEES Mesece, Imbarrato

ABSTAIN: none

ABSENT: none

APPROVED this 12 day of July, 2007.



*[Signature]*

Village President

PUBLISHED and DEPOSITED in my office this 12 day of July, 2007.

*[Signature]*

Village Clerk

EXHIBIT "A" TO VILLAGE OF WILLOW SPRINGS  
ORDINANCE NO.-0-2007

LEGAL DESCRIPTION OF NORTH WILLOW SPRINGS ROAD  
CORRIDOR - PLANNED DEVELOPMENT (NWSRC-PD) DISTRICT:

THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THAT PART THEREOF DEDICATED FOR PUBLIC STREETS) IN SECTION 32, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, TOGETHER WITH THE EAST 266 FEET OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THE NORTH 500 FEET THEREOF AND EXCEPT THE SOUTH 290.4 FEET THEREOF) ALL IN COOK COUNTY, ILLINOIS.

PINS: 18-32-101-001  
18-32-103-002  
18-32-103-003  
18-32-103-004  
18-32-103-005  
18-32-103-006  
18-32-109-01



January 23, 2023

Mayor Gary Grasso and Board of Trustees  
7660 County Line Road  
Burr Ridge, Illinois 60527

**Re: Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact**

Dear Mayor and Board of Trustees:

The Plan Commission transmits its recommendation to approve a request by MedProperties, LLC to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District. The Plan Commission recommendation to approve a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard failed.

After due notice as required by law, the Plan Commission held public hearings on August 15, 2022, September 19, 2022, and January 16, 2023. The case was continued without discussion on October 17 and December 5, 2022 at the request of the petitioner. The case was also reviewed by the Stormwater Management Committee on November 22, 2022. The petitioner, MedProperties, LLC, is the tenant of property located at 7600-7630 County Line Rd. The Shirley Ryan AbilityLab (SRA) currently operates its outpatient and day rehab center at the site.

SRA is requesting to reconfigure the existing parking lot to add an additional 30 parking spaces for a total of 113 parking spaces. The reconfiguration of the parking lot includes elimination of landscape islands along the west and south sides, relocation and addition of ADA spaces, reducing the size of the drop off area to the south (outpatient program entrance), and addition of five parking spaces to the north within the front yard and in front of the building (day rehab program entrance). The petitioner stated that the addition of these spaces will help alleviate the lack of parking issues for the property since their group transportation van program ended during the pandemic, resulting in more individuals arriving separately, each requiring parking. SRA also has a lease agreement with the Village of Burr Ridge to use ten parking spaces at the rear of the Village Hall for overflow parking. SRA intends to renew this lease agreement and increase the request to thirty parking spaces in conjunction with this proposal. The Board of Trustees is the authorized agent to approve the lease agreement.

At the public hearings, members of the public objected to the request and noted their concerns about the existing fence, headlight spill-over from the parking lot, parking lot lighting, interior lighting, trash pick-up, and stormwater. Objections received via email and the minutes from the August 15 and September 19 meetings are included in the attached Plan Commission packet. The draft minutes from the January 16, 2023 meeting are included in the Board packet. Full details of the petitioner's responses to these issues are included in the attached Plan Commission packet. In summary, the petitioner worked with the cleaning crew to modify their cleaning route within the building and where they park on the property, modified the garbage company's pick-up schedule, installed parking lot light shields, installed interior roller shades, and additional evergreen landscaping is proposed along the fence line. Regarding stormwater, the petitioner worked with Village Engineer David Preissig, provided an updated Stormwater Management Report, and attended the Stormwater Management Committee where approval was received for their proposal. The petitioner states that the additional impervious area will result in an increase in water level in the detention pond on the site, which the pond can handle. The stormwater run-off from the neighboring residential properties is conveyed separately to a dry well on the property and will not be impacted.

The Plan Commission determined that the amendment to the special use and final plat to reconfigure the parking lot would not negatively impact other properties in the area. The Plan Commission found that the measures already taken by the petitioner like installation of roller shades and light shields, and future measures like installation of the proposed landscaping, will help to minimize the impact to the neighboring residential properties to the west. The Plan Commission discussed stormwater management on the site and supported the Stormwater Management Committee's approval, review by the Village Engineer, and report by the petitioner's engineer.

Based on the above considerations and the submitted findings of fact, the Plan Commission voted 6 to 0 to **recommend that the Board of Trustees approve Z-22-2022**, a request by MedProperties, LLC to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District, with Findings of Fact, and with the following conditions:

1. The development shall comply with the submitted site plan, subject to final engineering approval, attached as Exhibit A.
2. The development shall comply with the submitted landscape plan, subject to staff review and approval, attached as Exhibit A.
3. The petitioner, owner, tenant, or occupant shall maintain the landscaping including but not limited to the prompt replacement of any diseased or dead material.

Regarding the variation request for the addition of five parking spaces within the front yard and within the front yard setback, the Commissioners were not unanimous in their decision. For those Commissioners who did not support the request, they stated that parking in the front yard is only permitted in the Business Districts and is not appropriate in the Transitional District. These Commissioners also stated that the standard to prove a hardship was not met. For those Commissioners who supported the request, they stated that the addition of the four full spaces and a portion of the fifth was minor. These Commissioners were also concerned that a future tenant of the site may require a variation to add additional parking spaces to accommodate a new use. There were two Commissioners absent at the January 16<sup>th</sup> meeting and Commissioner McCollan, as the Alternate Member of the Plan Commission, is not a member of the Zoning Board of Appeals and cannot vote on variation requests. The Plan Commission, by a vote of 3 to 2, **does not submit a recommendation of approval to the Board of Trustees** for Z-22-2022, a request by MedProperties, LLC for a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard. Four affirmative votes were required to approve the motion.

Sincerely,

Richard Morton, Vice-Chair  
Plan Commission/Zoning Board of Appeals



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Request to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District and a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard.**

**HEARINGS:**

August 15, 2022, September 19, 2022, and January 16, 2023

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

MedProperties, LLC

**PETITIONER STATUS:**

Tenant/Manager

**PROPERTY OWNER:**

MPG RIC Burr Ridge, LLC

**EXISTING ZONING:**

T-1/Transitional

**LAND USE PLAN:**

Recommends office uses

**EXISTING LAND USE:**

Medical office

**SITE AREA:**

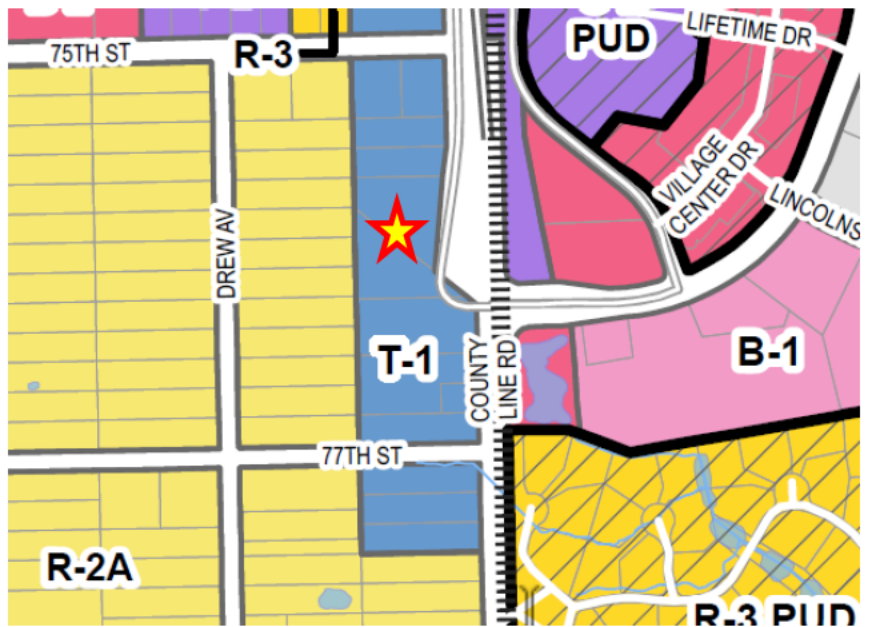
2.61 Acres

**SUBDIVISION:**

None

**PARKING:**

83 Spaces (72 regular, 11 ADA)





## Staff Report and Summary

Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact

The petitioner, MedProperties LLC, is requesting to amend previously approved plans for a medical office (Ordinance #A-834-02-17) in order to reconfigure the existing parking lot. Since the property is zoned T-1/Transitional, the new development required site plan approval in 2016 (continued into 2017). Any subsequent changes to those approved plans also requires Plan Commission and Board of Trustees approval.

This petition was heard on August 15 and September 19, 2022. During the public hearings, members of the public objected to the request and noted their concerns about the fence, head lights in the parking lot, parking lot lighting, interior lighting, trash pick-up, and stormwater. These items and the petitioner's responses are detailed below, and full details are provided in Exhibit A.

The Shirley Ryan AbilityLab (SRA) currently operates its outpatient and day rehab center at the site. The existing parking lot contains 83 parking spaces. The petitioner wishes to make changes to the parking lot which will add 30 parking spaces for a total of 113 spaces (see following page for details and diagrams illustrating the changes). The addition of these spaces will help alleviate the lack of parking issues for the property. The petitioner stated that their group transportation van program ended during the pandemic, resulting in more individuals arriving separately, each requiring parking. At the August 15, 2022 meeting, the petitioner was asked to confirm with SRA that this van program will not return. The petitioner provided information in Exhibit A stating that the "AbilityLab has no current plan to reinstate the medi-van program." The Plan Commission and Board of Trustees do not have the authority to require reinstatement of the transportation program.

The Zoning Ordinance requires six parking spaces for each doctor for a medical office use. According to the original zoning case information, there are only a few doctors present on site. Since this is a rehabilitation facility, therapy is provided other medical professionals like Physical Therapists. The minimum parking requirement is met for a medical office use, but for a general office use (if the building was ever converted), 100 parking spaces would be required (building is 24,898 sq. ft. per Plat of Survey). With the proposal, this requirement would be met. Additionally, the Shirley Ryan AbilityLab has a lease agreement with the Village of Burr Ridge to use ten parking spaces at the rear of the Village Hall for overflow parking. The Shirley Ryan AbilityLab intends to renew this lease agreement and increase the request to thirty parking spaces in conjunction with this proposal. The Board of Trustees is the authorized agent to approve the lease agreement.

### ***Stormwater***

Stormwater concerns were discussed at the previous public hearings. The petitioner attended the November 22, 2022 Stormwater Management Committee where the proposal was discussed. An excerpt of these meeting minutes is included as Exhibit E. The Stormwater Committee unanimously recommended approval of the stormwater facility modifications as part of the proposed improvements to the site. In summary, the runoff from the neighboring residential properties is conveyed separately from the runoff of the development and proposed new impervious surface. The runoff from the development and proposed additional impervious surface currently is and will be directed to the existing detention facility and the high-water elevation will be raised approximately 3 inches. The Village Engineer, David Preissig, reviewed the reports and plans regarding the stormwater on the site and from a preliminary review, it complies with the Village's requirements.

### ***Landscaping, Fence, Headlights, and Parking Lot Lighting***

Neighbors stated that the fence does not adequately block headlights from vehicles within the parking lot. SRA ceases operation at 6:00pm, however, a cleaning crew works overnight and parks



## Staff Report and Summary

Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact

alongside the western boundary fence. SRA worked with the cleaning crew to change the location where the crew parks to mitigate the headlight issue at the fence line. SRA is also proposing to add additional evergreen landscaping along the fence line to block the headlights. The petitioner submitted a revised landscape plan which may be adopted by the Plan Commission if approval is recommended.

Neighbors stated that there is glare from the parking lot lights. Since the last hearing, SRA added light shields to the parking lot lights to prevent glare and light spillover.

### ***Lighting – Interior***

SRA worked with their cleaning crew to modify their procedures and have the western side of the facility cleaned first, and also to turn off the lights in that area once they finished. Since the last hearing, roller shades have been installed on the windows on the western side to minimize the light spilling through the windows.

### ***Trash pick-up***

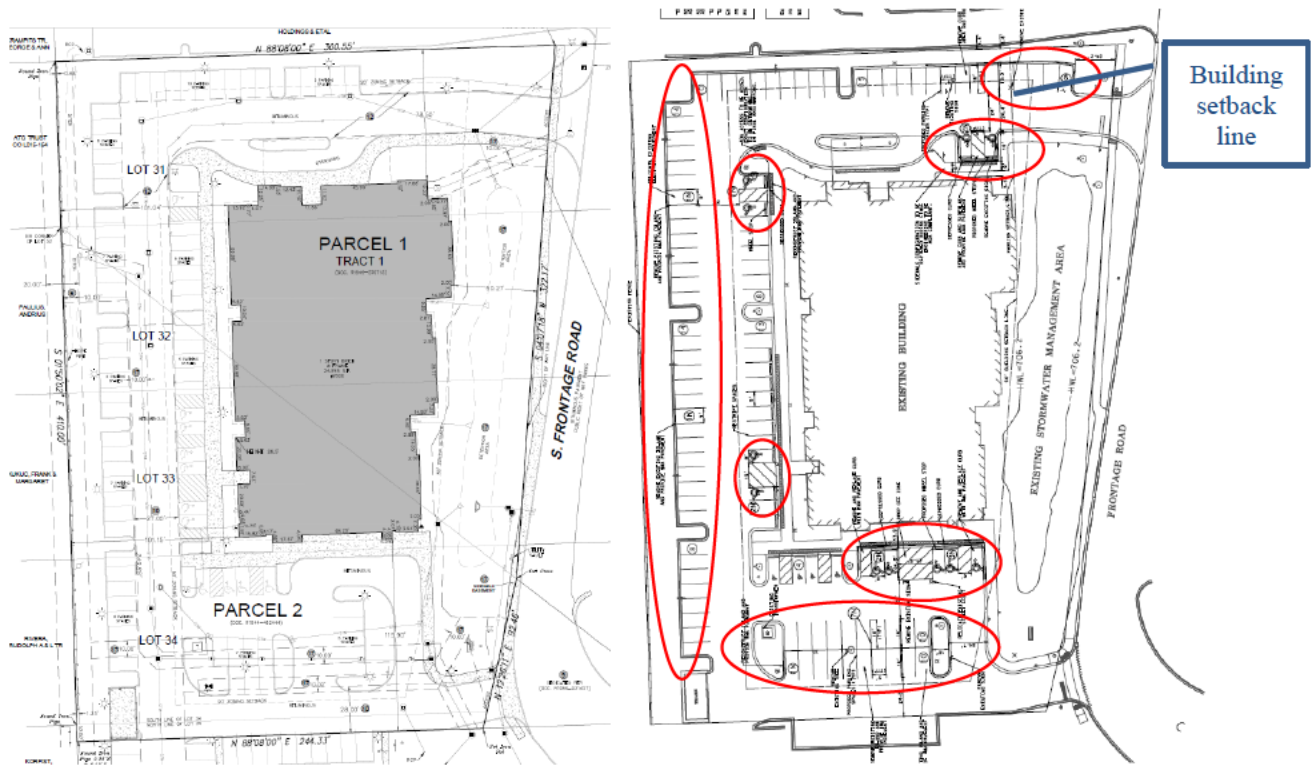
At the August 15, 2022, neighbors stated that trash pick-up is disruptive. There is no proposed change to the location of the dumpsters through this request. SRA worked with their trash company to modify the schedule and will have pick-up no earlier than 7:00a.m. on Wednesday and Thursday (garbage and recycling).

### ***Summary of proposed changes***

- Elimination of two landscape islands along the west side and subsequent reconfiguration of the islands so no more than 15 spaces are in a row.
- Addition of parking spaces to the north, including five spaces within the front yard. The required front yard is 50 ft. and the petitioner is proposing a 24.2 ft. setback from the property line adjacent to S. Frontage Rd. Since parking is prohibited within the front yard and in front of the building, variation approval is required.
- Elimination of three ADA spaces to the rear of the building.
- Drop off to the south (outpatient program entrance) has been reconfigured with a smaller loading area and addition of ADA spaces.
- Reconfiguration of the south parking area, eliminating and reconfiguring landscape islands.

## Staff Report and Summary

Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact



*A comparison of the existing site plan (left) with the proposed changes (right). Red circles indicate areas of change.*

### **Public Hearing History – Related to MedProperties, LLC**

#### **Z-12-2016:**

- Special uses for Final Plan approval and to permit a medical office in the T-1 district (Ordinance A-834-02-17)
- Variations for the following: (1) a parking lot and dumpster enclosure 20 ft. from rear lot line, 30 ft. minimum requirement; (2) a parking lot and shared access drive without the 8 ft. setback from the south side lot line; (3) a parking lot drive aisle to encroach into the front yard.
- The Plan Commission held public hearings on October 17, November 21 (case was continued, no public comments or discussion), and December 5, 2016 on the requests. The minutes from October 17 and December 5 are included as attachments.

### **Public Comment**

Several public comments were made at the August 15 and September 19, 2022 meetings. Excerpts from those meeting minutes are included as Exhibit D. Additional public comments were received via email and are included as Exhibit F.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend approval of the amendment to Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District, and a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard, staff recommends the following conditions:

Staff Report and Summary

Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact

1. Development shall comply with the submitted site plan, subject to final engineering approval, attached as Exhibit A.
2. Development shall comply with the submitted landscape plan, subject to staff review and approval, attached as Exhibit A.

**Appendix**

Exhibit A – Petitioner’s Materials and Public Notifications

- Petition with supplemental narrative (revised from September 19, 2022)
- Findings of Fact
- Authorization from owner
- Stormwater Report (revised from September 19, 2022)
- Signage consent and sign photo
- Public notifications
- Plat of Survey
- Proposed site plan
- Existing landscape plan
- Proposed landscape plan

Exhibit B – Ordinance #A-834-02-17 and plans from 2017 approval

Exhibit C – Excerpts of minutes from October 17 and December 5, 2016 Plan Commission meetings

Exhibit D – Excerpts of minutes from August 15 and September 19, 2022 Plan Commission meetings

Exhibit E – Excerpt of minutes from November 22, 2022 Stormwater Management Committee meeting

Exhibit F – Public Comments





Exhibit A

# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

JUL 15 2022

VILLAGE OF BURR RIDGE

### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): MedProperties, LLC

STATUS OF PETITIONER: Manager

PETITIONER'S ADDRESS: 71 S. Wacker Drive, Suite 3725, Chicago, IL 60606

ADDRESS OF SUBJECT PROPERTY: 7600 County Line Road, Burr Ridge, IL 60527 and 7630

PHONE: 847-977-0986

EMAIL: jsullivan@medpropertiesgroup.com

PROPERTY OWNER: MPG RIC Burr Ridge, LLC

PROPERTY OWNER'S ADDRESS: 71 S. Wacker Drive, Suite 3725 PHONE: 847-977-0986  
Chicago, IL 60606

PUBLIC HEARING REQUESTED:  Special Use  Rezoning  Text Amendment  Variation(s)

#### DESCRIPTION OF REQUEST:

Please see Supplement to Petition for description of request.

### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 2.61 acres EXISTING ZONING: T-1/Transitional

EXISTING USE/IMPROVEMENTS: Medical office

SUBDIVISION: \_\_\_\_\_

PIN(S) # 09-25-402-019 and 09-25-402-020

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

7/15/2022  
Date of Filing



**PETITION FOR PUBLIC HEARING  
PLAN COMMISSION/ZONING BOARD OF APPEALS**

**Second Supplemental Submission**

**Applicant: MedProperties, LLC**

**Property: 7600 County Line Road (“*Subject Property*”)**

**Description of Request:**

The Subject Property is currently developed as medical office building pursuant to a Special Use Permit and Variations granted by the Village in 2017. Applicant seeks an amendment to its Special Use Approval and an additional variation to allow for additional parking at the Subject Property. The use of the Subject Property as a medical office will not change. No changes to the building on the Subject Property are proposed.

Ordinance No. A-834-02-17 - An Ordinance Granting Special Use Approvals Pursuant To The Burr Ridge Zoning Ordinance For Final Plan Approval And To Permit A Medical Office In The T-1 Transitional District was approved by the Village Board on January 9, 2017. This Ordinance granted special use approval for site, landscaping and building elevation plan approval and special use approval for the use of the Subject Property for a medical office.

Ordinance No. A-834-03-17 - An Ordinance Granting Variations From The Village of Burr Ridge Zoning Ordinance To Permit The Construction Of A Parking Lot And Dumpster Enclosure 20 Feet From The Rear Lot Line Rather Than The Required 30 Feet; To Permit The Parking Lot And Shared Access Drive Without the Required 8 Foot Setback From The South Side Lot Line; And To Permit A Parking Lot Drive Aisle To Encroach Into The Front Yard was approved by the Village Board on January 9, 2017. This Ordinance granted variations from Section XI.C.11.a(2)(a) to permit the construction of a parking lot and dumpster enclosure 20 feet from the rear lot line rather than the required 30 feet; a variation from Section XI.C.11.a(2)(c) to permit the parking lot and shared access drive without the required 8 foot setback from the south side lot line; and a variation from Section XI.C.8 to permit a parking lot drive aisle to encroach into the front yard.

Applicant now seeks an amendment to the Special Use Permit to approve a revised site plan that allows for additional parking and an additional variation from Section XI.C.8.c to allow five additional parking spaces in the NE corner of the Subject Property to extend beyond the building setback line. Currently, the Subject Property has 83 parking spaces. Applicant seeks to add an additional 30 parking spaces in total through both the amended site plan and variation, providing 113 total parking spaces for the Subject Property.

## **Background:**

Applicant previously submitted a complete application for an amendment to its Special Use Approval and an additional variation which included proposed Findings of Fact, as well as a Supplemental Submission prior to the second public hearing. Applicant appeared before the Plan Commission on August 15, 2022 and September 19, 2022 and provided testimony as to both the request for an amendment to its Special Use approval and variation. At the public hearings, members of the public raised specific comments relating to the Subject Property and requested zoning relief. The Plan Commission continued the public hearing to January 16, 2023 in order to allow Applicant to address these comments. Applicant is providing the following Second Supplemental Submission to provide additional information to the Plan Commission and address the comments and questions raised by the residents.

**Car Headlights:** At the Plan Commission meetings on August 15, 2022 and September 19, 2022, residents expressed concerns associated with light coming from the parking lot over the fence from car headlights. By way of background, the site was designed with a 20' wide buffer yard at the western perimeter to serve two primary functions: (i) provide storm water management of the residential water shed to accommodate storm water runoff through our site; and (ii) create a visual landscape buffer with a 6' high privacy fence (offset 1' within the Subject Property line) in conjunction with continuous landscape plantings. The fence was previously approved by the Village Board of Trustees by Ordinance No. A-834-02-17 which granted the Special Use approval for the Subject Property. The final design of the fence was subsequently reviewed and approved by Village staff as required under the Ordinance. Applicant has confirmed with the Village that any change to the fence's location or height would require additional zoning approval from the Village.

An inventory of the plants visible from above the fence line include:

- (5) J.N. Muscledwood (intermediate deciduous tree, mature height 25-35')
- (3) Tulip Tree (deciduous shade tree, mature height 70-90')
- (3) State Street Maple (deciduous shade tree, mature height 50')
- (31) American Hazelnut (deciduous large shrub, mature height 10-15')
- (11) Blackhaw Viburnum (deciduous intermediate tree, mature height 12-15')
- (8) Autumn Jazz Viburnum (deciduous large shrub, mature height 10')
- (48) Northwind Switch Grass (tall ornamental grass, mature height 7')

Applicant has investigated several potential options as it relates to mitigating light from car headlights into the residential lots located to the west of the Subject Property. Applicant proposes an evergreen screen for the purpose of abating vehicle headlights at the west parking lot perimeter that are partially screened by an existing privacy fence. A revised Landscape Plan and Images of the proposed west parking lot perimeter are enclosed for your reference. The proposal includes:

- New continuous evergreen hedge to obstruct vehicle headlights adjacent to residential lots 71 and 72 to supplement the existing 6' privacy fence at property line (~2' below parking lot pavement). No additional measures are necessary for the privacy fence



adjacent to residential lots 69 and 70 as it is at, or slightly below the parking lot and effectively impedes headlights.

- Specified 38-Mission Arborvitae sized at 5' height x 3.5' wide at installation (mature size 10-15' high x 6-8' wide, broadly pyramidal, and wider than other arborvitae species at 5' height).
- Mission Arborvitae evergreen hedge is at minimum 5' setback from back of curb near upper slope of stone channel with close spacing at 5' on center.
- The hedge at installation will have an 18" gap between plants with 70% coverage that will fill-in in 2-3 years for 100% coverage, based on a conservative 6" annual growth rate.
- The hedge will appear to be ~4' high viewed from the parking lot as elevation of hedge location is 1' lower at upper slope; however, with proximity of hedge sited at a 5' setback, versus the fence at 20' setback from parking, an initial lower screen will be both effective and aesthetically pleasing.

**Interior Building Lighting:** At the Plan Commission meetings on August 15, 2022 and September 19, 2022, residents expressed concerns associated with the interior building lighting during afterhours, specifically during the night and at the locations of 2 openings on the west side of the property. Subsequent to the September 19, 2022 meeting, Applicant has installed 4 roller shades at the 4 windows along the west side of the property that did not have shades installed. *See* enclosed invoice with photograph. These 4 windows, which encompass 2 openings (each opening is at the end of a corridor inside of the building), now have roller shades installed to impede any light from emitting during the day/night. All windows along the west side of the building now have roller shades installed.

**Parking Lot Lights:** At the Plan Commission meeting on September 19, 2022, a resident showed a picture of visible light emitting directly from the parking lot light fixture lamp. Subsequent to the September 19, 2022 meeting, Applicant has installed parking lot light shields affixed to the parking lot light fixtures located on the building side of the west side of the property. *See* enclosed plan and photographs. These parking lot light fixtures now have light shields installed on the west side of the lamp, which eliminates the ability to see directly into the lamp and light emitting directly from the parking lot light fixture.

**Stormwater Details:** Subsequent to the last plan commission meeting, Mackie Consultants, LLC updated the Stormwater Management Report to address the concerns noted by the Plan Commission. *See* enclosed Detention Basin Cross Section Exhibit. The soils report and drainage conditions were further analyzed to confirm the separation between the offsite storm sewer flow and the onsite stormwater management system.

A cross section was developed that identified a 29-foot separation between the dry well conveying offsite flows and the high-water elevation of the stormwater management system. The soils report for this area, dated January 2017 stated "Although permeability tests were not performed on the existing clay fill, clayey topsoil and native clay soils, we would estimate their permeability to be in the range of 10<sup>-6</sup> to 10<sup>-8</sup> cm/sec, making them practically impervious." Based on the distance between the two structures and the existing clay soils, the two systems should be considered

separate. Therefore, increases in the high-water level of the detention basin do not have an impact on the flow in the offsite storm sewer system.

Mackie Consultants, LLC also presented the proposed improvements to the Village of Burr Ridge Stormwater Management Committee on Tuesday, November 22, 2022. After the presentation and a Q&A session with the stormwater committee members, the Stormwater Committee voted to recommend approval of the stormwater facility modifications to be constructed as part of the proposed improvements to the Shirley Ryan Ability Lab. As of the date of this summary (January 9th), the minutes from the board meeting have not been published online, therefore, we are unable to provide the actual text of the motion. The proposed design will maintain the existing drainage from the residential properties to the west. The runoff from the additional impervious areas will be directed to the existing detention facility. The proposed design does not include any modifications to the existing outlet control structure. The high-water elevation of the detention will be raised approximately 3-inches, however, as previously noted this system is separate from the storm sewer system that conveys the runoff from the residential areas.

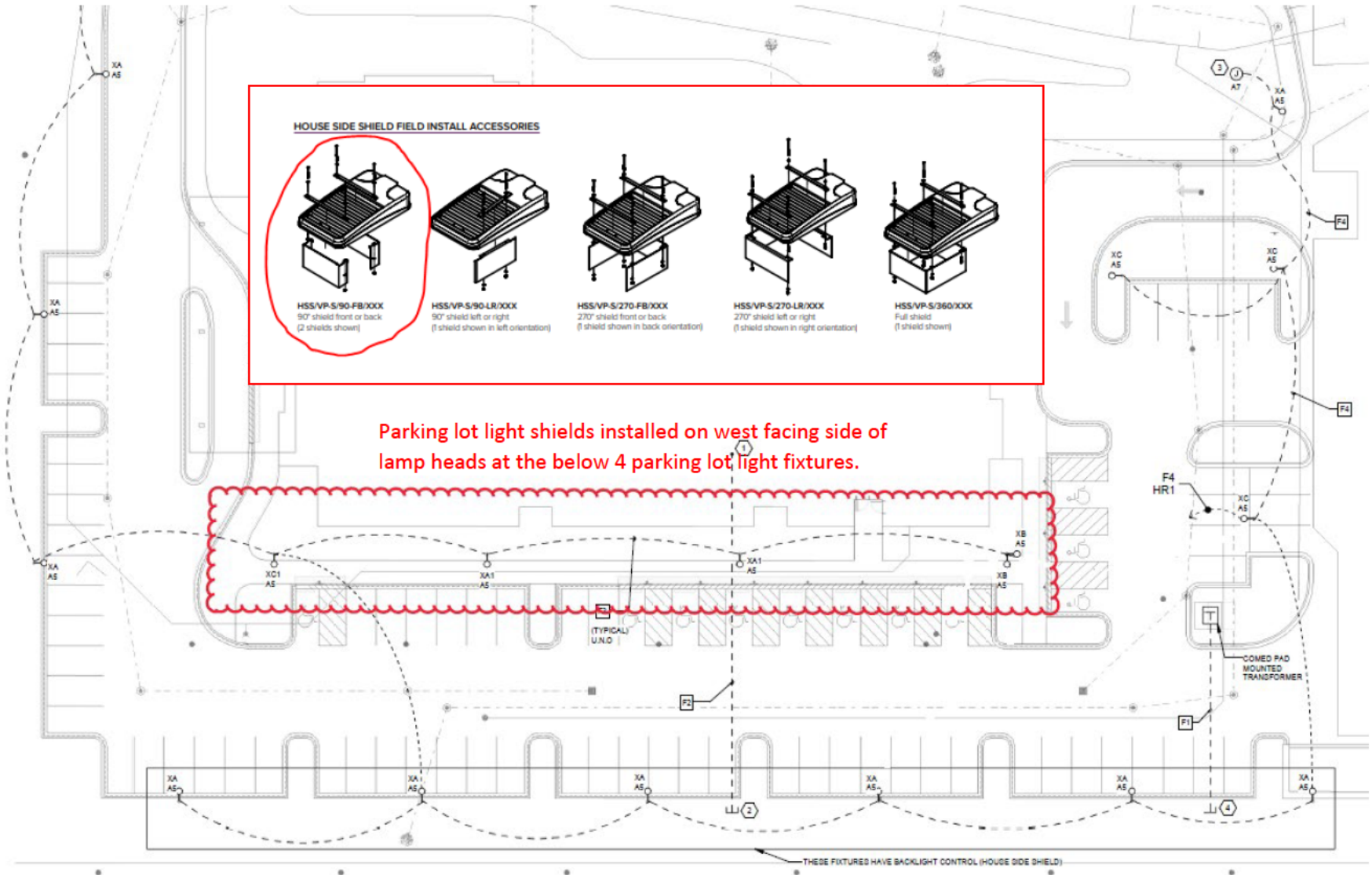
Therefore, the proposed parking lot improvements will not impact the offsite drainage conveyed from the residential properties to the west.

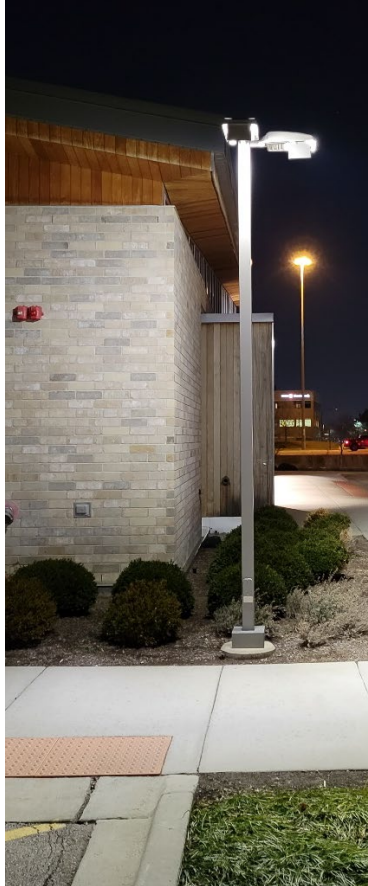
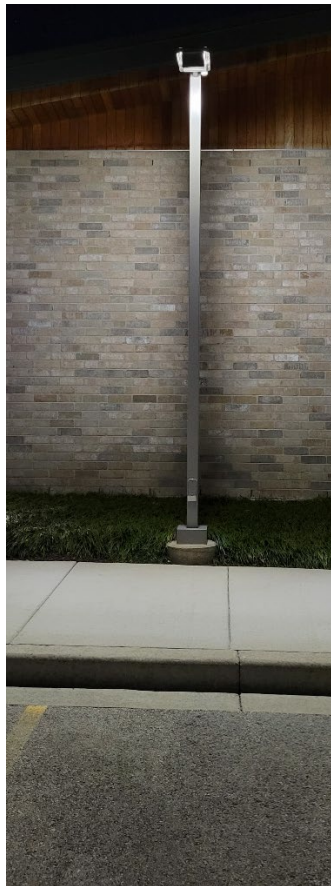
**Contact Information For Residents:** Applicant sincerely hopes that this additional information and mitigation efforts resolves most, if not all, of the concerns expressed by residents at the August 15, 2022 and September 19, 2022 Plan Commission meetings. Applicant is committed to being a good neighbor and will continue to work with residents to address any further concerns or issues that may arise in the future. If any resident has a question, comment or concern about the Subject Property, they may contact the AbilityLab's front desk, either by phone or in-person. AbilityLab staff that work at the front desk have been instructed to alert upper management of any communications with residents. Additionally, residents are welcome to contact Applicant directly using the below contact information:

Jane Szymczak  
Assistant Property Manager, MedProperties Group  
Address: 71 S Wacker Drive, Suite 3725, Chicago, IL 60606  
Direct: 847 897 7304 Fax: 847-897-7333  
E-Mail: [jszymczak@medpropertiesgroup.com](mailto:jszymczak@medpropertiesgroup.com)  
Web: <http://www.medpropertiesgroup.com/>

# Shirley Ryan AbilityLab Burr Ridge

## Parking Lot Light Shields







**Shirley Ryan AbilityLab Burr Ridge**

Window Roller Shades – West Side of Building



Quote: 3737 / Date: 10/12/2022

Customer

Indecor Inc.  
8222 Lehigh Ave  
Morton Grove, IL  
60053, US  
(773) 561-7670

Prepared By:  
Jeff Hunt  
(773) 406-6359  
jeffhunt@indecorinc.com

Med Properties

IL  
US

Jack Sullivan

jsullivan@medpropertiesgroup.com

Project: Med Properties

**Scope of Work**

4 Mechoshade Manual Clutch Rollershades

- Fabric: 1513 - Grey
- Includes Fascia
- M5 Clutch

\* Tax not applied to part or subcomponent

**Included(+)**

1. \*Installation price is based on standard fastening procedures for drywall, aluminum, or wood surfaces. There will be additional charges for structural difficulties such as steel or concrete.
2. Price is good for 90 days from date on quote.
3. Non Union Installation
4. Field verification

**Excluded(-)**

1. Attic Stock
2. Sales Tax

**Notes**

**Summary**

Subtotal \$ 3,094.50

Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance  
**Address: 7600 County Line Road**

Pursuant to Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

In 2017, the Village granted a special use permit for the use of the property as a medical office. Petitioner is only seeking an amendment to the site plan for the property related to on-site parking. The use will not change.

The use of this property as a medical office has been providing benefits to the Village and its residents since 2017. The Shirley Ryan AbilityLab (“*AbilityLab*”) is the premier rehabilitation institution recognized worldwide for its advanced technology, research and treatment practices. The location of this facility in Burr Ridge provides residents and the surrounding communities with access to a world renowned, comprehensive rehabilitation facility not currently available in the community. This facility provides expert care for patients who no longer require hospitalization, but still need intensive rehabilitation care and is part of the AbilityLab’s ongoing commitment to bring its services directly to residents in the Chicagoland area via outpatient clinics.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The amendment to the site plan will have no impact on the hours of operation, level of traffic, intensity of use, and quality of the facility. No significant impact or change is anticipated because of the amendment to the site plan to provide additional on-site parking.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

In 2017, the Village granted a special use permit for the use of the property as a medical office. Petitioner is only seeking an amendment to the site plan for the property related to on-site parking. The use will not change. Since its approval in 2017, the special use has not been injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor has it substantially diminished or impaired property values within the neighborhood.

- d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

In 2017, the Village granted a special use permit for the use of the property as a medical office. Petitioner is only seeking an amendment to the site plan for the property related to on-site parking. The use will not change.

Since its approval in 2017, the special use has not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Much of the surrounding property is currently developed and fully improved. In addition, the medical use is consistent with the current use patterns in existence today. Existing office and commercial uses along County Line Road act as a transitional buffer to the surrounding residential uses and all of these uses successfully coexist presently. There are no anticipated impacts to any future development of surrounding properties by the amendment to the site plan.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

Adequate utilities, access roads, drainage and/or necessary facilities have already been provided for the property. This is reflected in the plans submitted with the Petition and previously submitted in the application for the zoning relief granted for this property in 2017.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The additional parking spaces requested in the site plan will alleviate congestion and parking limitations in the area. Due to the pandemic, the Tenant's group transportation van program was eliminated, resulting in more family members and caretakers transporting patients. It is estimated that approximately two-thirds of the patients in the Day Rehab program utilized the transportation van program, which equates to around 26 – 33 patients in AM and PM blocks. This has resulted in an increased demand for parking on the northside of the facility to allow family members and caretakers to wait until treatment is completed.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

In 2017, the Village granted a special use permit for the use of the property as a medical office. Petitioner is only seeking an amendment to the site plan for the property related to on-site parking. The use will not change.

The special use currently in place for this property is consistent with the Official Comprehensive Plan. In Section 2, Community Vision, Goals and Objectives, item 1.1.2 Commercial/Industrial Development, the goal is listed as “Commercial and industrial developments should strengthen and maintain property values and provide a strong tax base for the Village.” The development of the property and the use of the property as a medical office building has provided financial and commercial benefits to the Village by generating tax revenue and bringing visitors and business to the area. Since 2017, this facility has proven to be an asset to the Village not only financially but by providing residents with convenient access to a world renowned medical facility.

The objective specific to an office/commercial use is to “Facilitate development of only those commercial/industrial uses that generate traffic patterns that do not significantly impact the existing residential environment.” In response to the goal, the development provided a new building meeting most of the current zoning requirements with elements such as dumpster enclosures and landscaping while maintaining critical access for adjacent properties and creating a consistent street frontage along South Frontage Road.

In addition, the Comprehensive Plan contemplates maintaining similar use patterns as those that existed at the time the Comprehensive Plan was adopted. At the time of adoption in 1999, the Existing Land Use Map designated the property as office. At the same time, the Future Land Use Map designated the property as office. The special use for medical office currently in place is consistent with the Official Comprehensive Plan.

- h.** The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The proposal conforms to all regulations except for the limited requested variations already approved in 2017 and the additional variation requested in this Petition. The reasons for the variation requested are further outlined below.



Findings of Fact – Variation  
Burr Ridge Zoning Ordinance  
Address: 7600 County Line Road

**Requested Variation: Variation for five additional parking spaces in the NE corner of the property to be located in front of the building setback line (Zoning Ordinance Section XI.C.8.c)**

Pursuant to Section XIII.H.3 of the Village of Burr Ridge Zoning Ordinance, for a variation to be approved, the petitioner must confirm all of the following findings by providing facts supporting such findings.

- a. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

The property is unique in its functionality as there are two main entrances to the facility servicing separate programs: one entrance on the south side for the Tenant's outpatient program, and one entrance on the north side for the Tenant's Day Rehab program. The rectangular shape and size of the parcel limited the parking layout in the original development (majority of the parking had to be located west of the building and only one row of parking could be accommodated on the west side) given setback constraints as well as other regulations and restrictions contained in the Village Zoning Ordinance. As such, more parking was planned for the south side of the facility (outpatient program) with the intent that a transportation van program would be in place for the north side of the facility (Day Rehab program), which provided parking relief. As a result of the Covid-19 pandemic, the Tenant had to eliminate its transportation van program, which caused the north side of the site to experience parking congestion. The requested additional five spaces, which are simply an extension of an existing row of parking, would provide the Tenant with needed parking spaces for its most vulnerable patient base.

- b. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located.

Without the additional parking, the property will be under-parked and congestion on the north side of the facility will occur, reducing value to the Tenant and causing continued strain on part of its operations -- strain for both the Tenant and, more importantly, the patients. If the property cannot accommodate the parking needs of the patients, it will not be viable for the Tenant to stay at this location. The enforcement of the setback line to not allow parking in front of the building would prevent five convenient and innocuous additional spaces.

- c. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.

The request is unique to the property's functionality as there are two main entrances to the facility servicing separate programs, with the Day Rehab program being accessed from the northside entrance where the five requested parking spaces would be located. The rectangular shape and size of the parcel limited the parking layout in the original development given setback constraints as well as other regulations and restrictions contained in the Village Zoning Ordinance. The position of the building on the property provides for viable parking areas that are technically in front of the building but are to the side of the facility and adjacent to an open area.

- d.** The purpose of the variation is not based primarily upon a desire to increase financial gain.

The purpose of the variation is to provide additional on-site parking spaces for patients and visitors to the property. The variation allows for patients and visitors to safely park, more comfortably assist patients in/out of their vehicles and will alleviate congestion at the north side of the site.

- e.** The alleged difficulty or hardship is caused by this Ordinance and has not been created by any persons presently having an interest in the property.

The Village Zoning Ordinance, absent the requested variation, results in impractical use of the northeast corner of the property and creates legal and physical challenges related to parking for the property based upon building and parking setbacks, in combination with parcel shape and size. It will be an issue for any potential redevelopment of the property.

- f.** The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Granting the variation will maintain the parking and access to the northeast corner of the property and will have no negative impact on the surrounding properties.

- g.** The granting of the variation will not alter the essential character of the neighborhood or locality.

The granting of the variation will maintain the character of the locality. Not granting the variance will cause parking, congestion and vehicular circulation problems for this property and the surrounding properties. The variation will not alter the essential character of the neighborhood or locality but rather enhance and maintain the existing character. All trees that need to be removed due to a conflict with the new improvements will be replaced on a 1:1 ratio with what exists today at the facility and the perimeter landscaping will be planted with a mix of vegetation in continuous landscape close to 100% opacity along the adjacent private lot.

- h.** The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

The proposed variation will serve to retain the existing and orderly development of the property and will have no impact on adjacent properties or roadways, public safety, or property values. Additionally, the variation will not create drainage problems on adjacent properties as the existing

stormwater detention basin on the east side of the facility has adequate capacity to handle the minimal increase in impervious surface area.

- i. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

The proposed variation will allow for the development of a use consistent with the Comprehensive Plan.

July 15, 2022

Janine Farrell, AICP  
Community Development Director  
Village of Burr Ridge  
7660 County Line Road  
Burr Ridge, Illinois 60527

Dear Ms. Farrell:

As you know, MPG RIC Burr Ridge, LLC ("**Owner**") is the current owner of the Property located at 7600 County Line Road in Burr Ridge, Illinois. Owner supports and has authorized MedProperties, LLC ("**MedProperties**" or "**Manager**") and its representatives and agents to apply for a special use permit and variations and other necessary relief and permits related to the Property.

Please do not hesitate to contact me if you need any additional information. Thank you.

Sincerely,

**MPG RIC Burr Ridge, LLC**

By: 

Name: Matthew Campbell

Title: Authorized Signatory



January 12, 2023

Janine Farrell, AICP  
Community Development Director  
Village of Burr Ridge  
7660 County Line Road  
Burr Ridge, IL 60527

**Re: Parking Lot Improvements  
Shirley Ryan Ability Lab  
Burr Ridge, Illinois**

Dear Ms. Farrell:

The addition of the new impervious surfaces associated with the parking lot improvements and increase in high water elevations of the stormwater management area on the Shirley Ryan Ability Lab will not alter the rate of flow of the stormwater associated with the existing residential properties located to the west of the project area. In addition, the proposed improvements will not have an adverse impact to the drainage system conveying flows from the from these neighboring properties.

All stormwater improvements will be construction in accordance with Village of Burr Ridge requirements.

Please let me know if you have any questions or comments.

Very truly yours,  
MACKIE CONSULTANTS, LLC

---

Trudy K. Buehler, PE  
Senior Project Manager

Cc: Jack Sullivan, MedProperties  
Caitlyn Culbertson, Elrod Friedman

N:\4328\Engineering\Design\Special Use\230112.Letter regarding drainage.docx

# **STORMWATER MANAGEMENT REPORT**

**FOR**

## **PARKING LOT IMPROVEMENTS SHIRLEY RYAN ABILITY LAB BURR RIDGE, ILLINOIS**

**Prepared By:**



**Mackie Consultants, LLC**  
9575 W. Higgins Road, Suite 500  
Rosemont, IL 60018  
(847)696-1400  
[www.mackieconsult.com](http://www.mackieconsult.com)

**Dated: September 8<sup>th</sup>, 2022**  
**Revised: November 14, 2022**

## **STORMWATER MANAGEMENT NARRATIVE**

### **PARKING LOT IMPROVEMENTS**

#### **SHIRLEY RYAN ABILITY LAB**

#### **BURR RIDGE, ILLINOIS**

Dated: November 14, 2022

The proposed improvements include the reconfiguration of the existing parking lot to add 30 parking spaces. The parking spaces are being added by increasing the size of the parking areas and by reconfiguring existing islands. The proposed plan adds 4,073 square feet of additional impervious area.

#### Existing conditions:

The Shirley Ryan Ability Lab improvements were constructed in 2017/2018. Stormwater Management for the site was provided in accordance with the DuPage Countywide Stormwater and Floodplain Ordinance and Village of Burr Ridge requirements current at the time of construction. A copy of the original Stormwater Management Report completed by Manhard Consulting, dated March 20, 2017 has been provided in Tab 4.

A detention basin is located on the east side of the site. This detention basin provides the Stormwater Detention Storage and Post Construction Best Management Practice (PCBMP) Storage requirements. The PCBMP high water elevation is 705.60 while the detention storage high water elevation is 706.20.

The PCBMP volume is controlled through a notch in a weir wall located within the flared end section that discharges to an outlet control structure. The outlet control structure contains a weir wall that has a 3-inch restrictor.

A storm sewer system and conveys the drainage from onsite to the detention system.

The Stormwater Report completed by Manhard Consulting, LLC also notes that a separate storm sewer system was constructed to convey by-pass flows from the west of the subject property to the south. Approximately 8.24 acres of offsite upstream tributary area drains through the site. To accommodate this offsite flow, a 24-inch storm sewer was constructed from a drainage ditch along the west side of the site to the existing drainage ditch southeast of the subject property.

In addition, an 8-inch drain tile that conveyed offsite flows was reconstructed and connected to the 24-inch storm sewer system conveying the offsite flows. It should be noted that the drain tile was deeper than the 24-inch storm sewer system, therefore, a dry well was constructed to connect the 8-inch drain tile to the 24-inch storm sewer system. The dry well allows the runoff conveyed through the drain tile to either infiltrate into the ground or when the water elevation

reaches the elevation of the 24-inch storm sewer to be conveyed through the storm sewer system. The detail for this dry well can be found on page C-110 in Tab 5.

Based on the information provided by the previous consultant, the onsite storm sewer system was completely separate from the storm sewer system conveying the offsite flows. The drywell is approximately 30-feet from the high-water elevation of the detention facility.

Proposed Conditions:

As previously noted, the proposed development increases the impervious area onsite. Therefore, additional PCBMP storage volume and detention volume will be required. The additional PCBMP storage volume was calculated as 1.25" over the increase in impervious coverage. The detention volume required was calculated utilizing the NRCS Runoff requirements for the increase in curve number.

Additional PCBMP volume required = 424 cubic feet

Additional detention volume required = 736 cubic feet

Total PCBMP Volume required = 8,281 cubic feet

Total Detention Storage volume required = 3,959 cubic feet.

To provide the additional PCBMP volume, we are proposing to raise the PCBMP high water elevation by modifying the height of the weir wall located within the flared end section that discharges to the outlet control structure. We will also then be raising the detention basin high water elevation. The existing weir wall within the outlet control structure is at elevation 706.8 which is still lower than the proposed high-water elevation. We are also not proposing to modify the restrictor within the outlet control structure. The PCBMP high water elevation will be raised 0.35 feet (705.6 to 705.95) while the detention volume high water elevation will be raised 0.30 feet (706.2 to 706.5).

Per the existing topographic survey, the adjacent grades around the detention facility are approximately 707.5. Therefore, the freeboard requirements are still being met.

As previously noted, the onsite storm sewer system is separate from the storm sewer system conveying offsite flows, therefore, the increase in high water elevation of the detention facility will not have an impact on the conveyance of the offsite flows. In addition, the dry well is approximately 30-feet from the high-water elevation of the detention facility.

We also obtained a copy of the original soils report for the site dated January 27, 2017. The soils report contains a section on the construction of the Stormwater Management facility and notes there is existing native clay material adjacent to the detention facility. The report



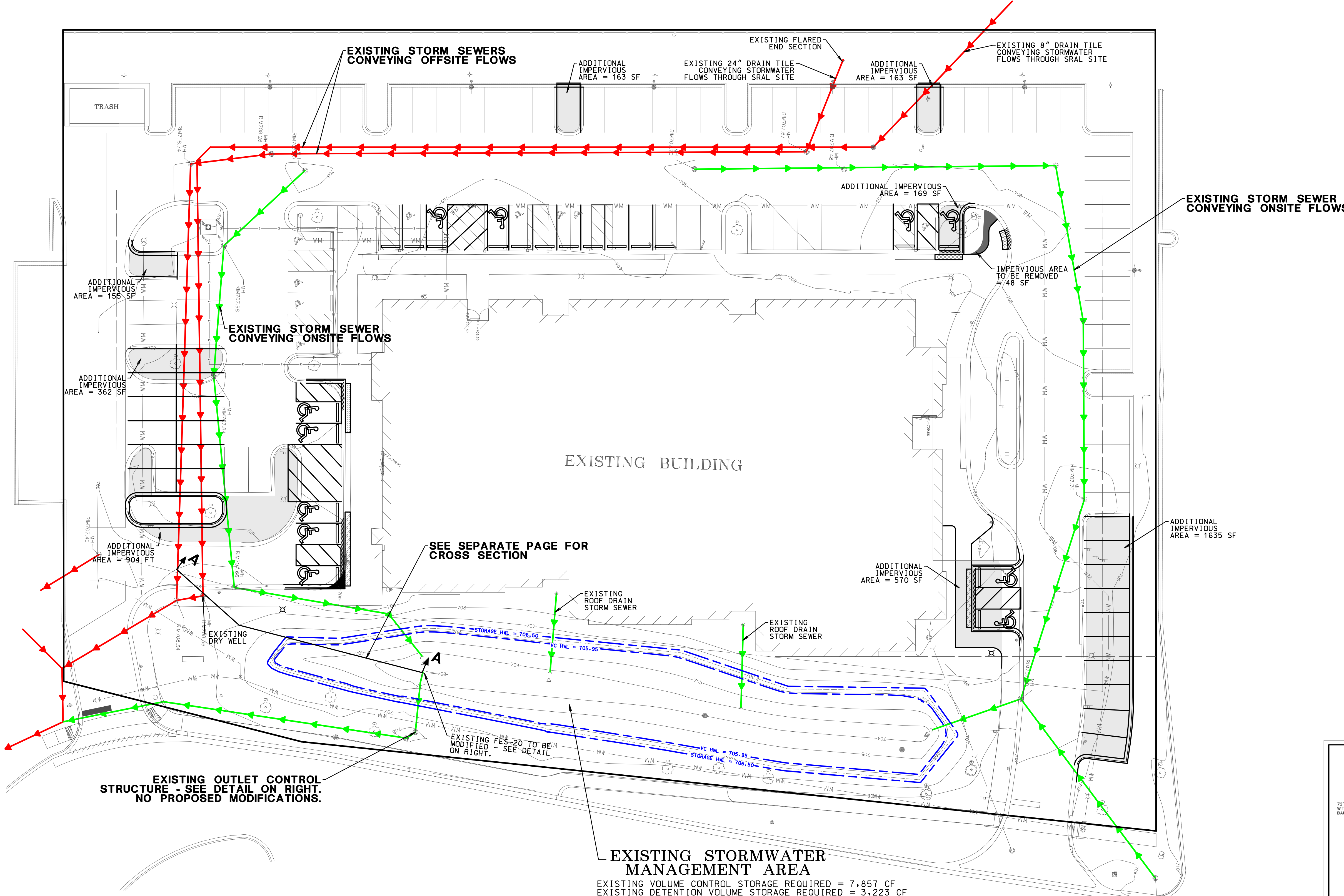
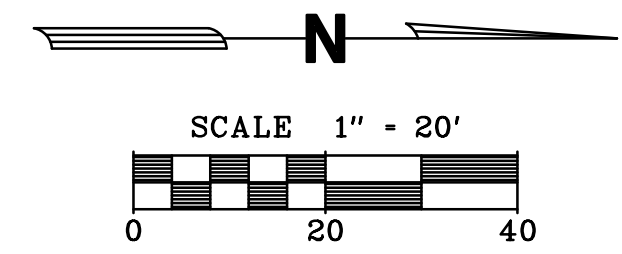
“estimates their permeability to be in the range of  $10^{-6}$  to  $10^{-8}$  cm/sec, making them practically impervious.”

The proposed improvements have been designed to provide the necessary PCBMP and detention volume storage requirements due to the increase in impervious area. These modifications will not have an impact on the surrounding areas.

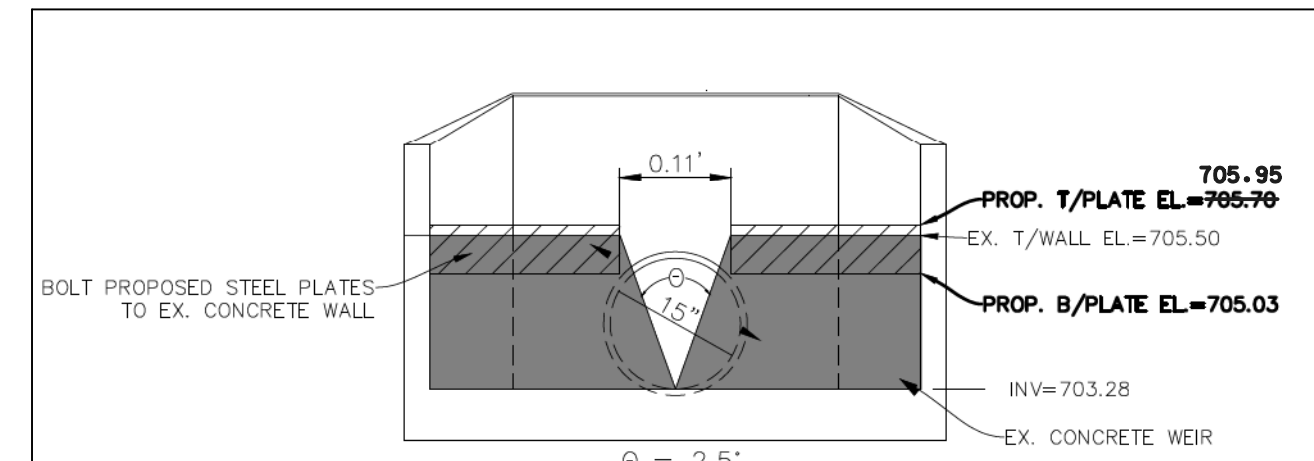
List of Appendices:

- Tab 1: Stormwater Management Plan depicting existing and proposed conditions  
Cross Section of relationship between dry well and detention facility
- Tab 2: Stormwater Management Calculations
- Tab 3: Soils Report, dated January 27, 2017
- Tab 4: Stormwater Management Report completed by Manhard Consulting dated  
March 20, 2017
- Tab 5: Record Drawings completed by Manhard Consulting, dated April 24, 2018

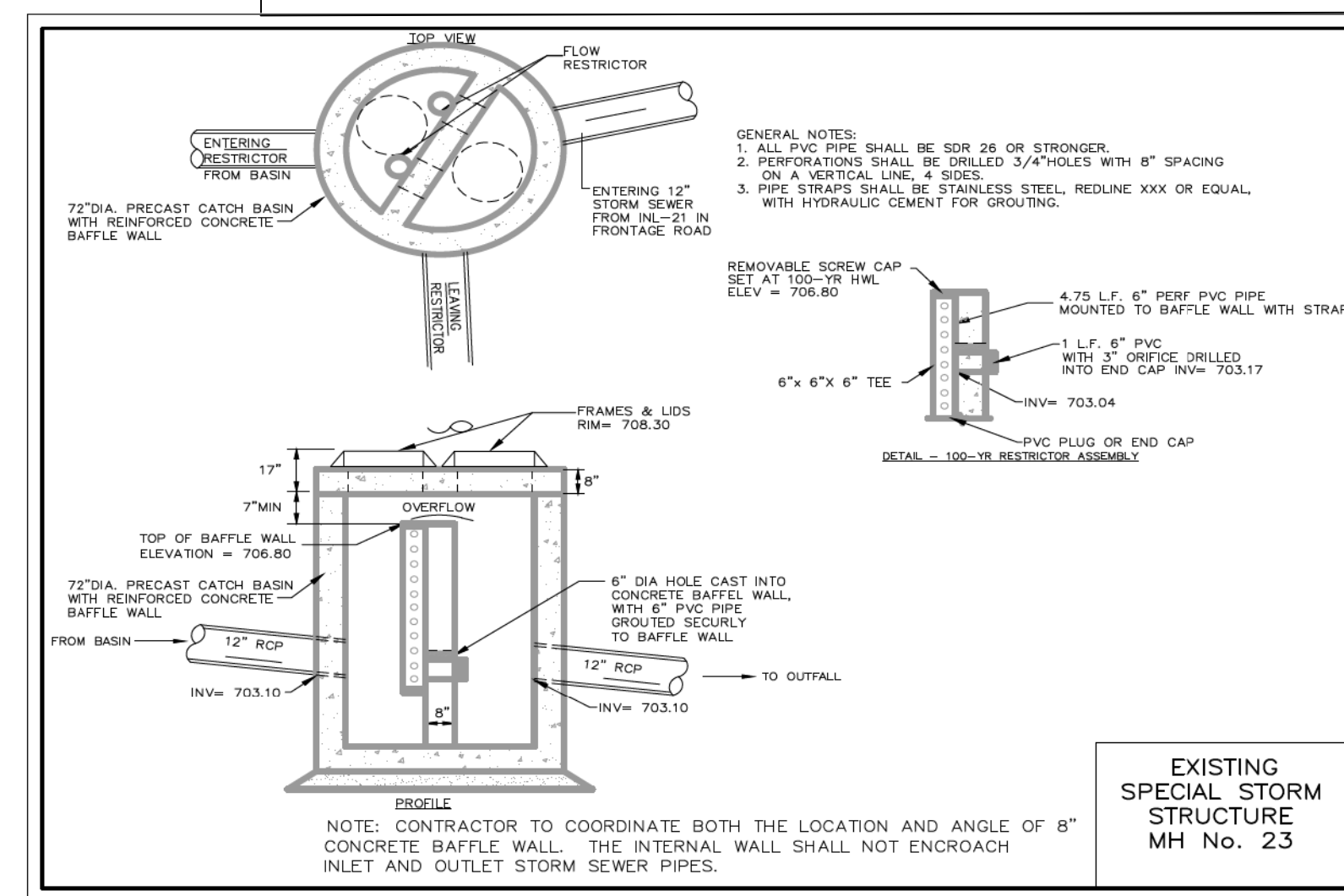
**TAB 1**



STORMWATER LEGEND	
	ADDITIONAL IMPERVIOUS AREA 4,121 SF
	IMPERVIOUS AREA TO BE REMOVED 48 SF



**PROPOSED MODIFICATION TO FES-20 W/ RESTRICTOR WALL**



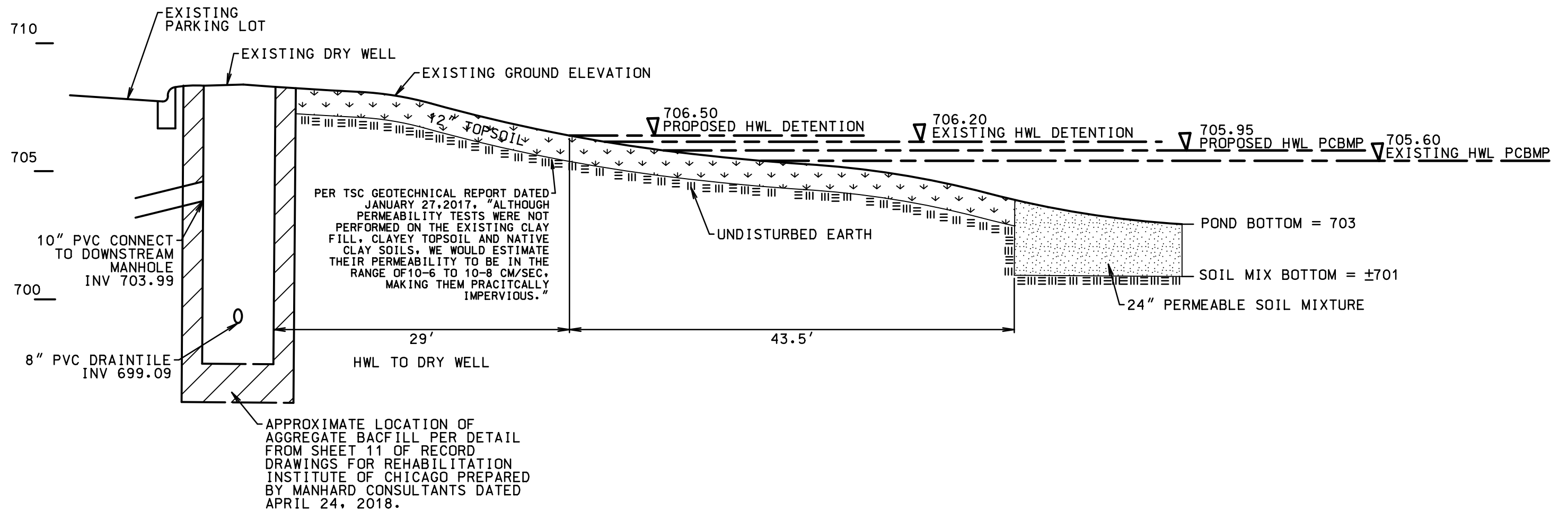
**EXISTING STORMWATER MANAGEMENT AREA**

EXISTING VOLUME CONTROL STORAGE REQUIRED = 7,857 CF  
 EXISTING DETENTION VOLUME STORAGE REQUIRED = 3,223 CF  
 EXISTING PCBMP HWL = 705.6  
 EXISTING DETENTION HWL = 706.2

ADDITIONAL VOLUME CONTROL STORAGE REQUIRED = 424 CF  
 ADDITIONAL DETENTION VOLUME STORAGE REQUIRED = 736 CF

PROPOSED VOLUME CONTROL STORAGE REQUIRED = 8,281 CF  
 PROPOSED DETENTION VOLUME STORAGE REQUIRED = 3,959 CF  
 PROPOSED PCBMP HWL = 705.95  
 PROPOSED DETENTION HWL = 706.5  
 PROPOSED PCBMP VOLUME PROVIDED = 8,447 CF  
 PROPOSED DETENTION VOLUME PROVIDED = 4,008 CF

DESIGNED	JT
DRAWN	SC
APPROVED	TKB
DATE	09/08/2022
DATE	11-14-2022
DESCRIPTION OF REVISION	REVISED PER STORMWATER COMMENTS
BY	TKB
SCALE	1" = 20'



### CROSS SECTION A-A

HORIZONTAL SCALE: 1" = 10'  
 VERTICAL SCALE: 1" = 4'

11/14/2022 2:00 PM 11/14/2022 2:00 PM 11/14/2022 2:00 PM 11/14/2022 2:00 PM

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT:  
**MPG RIL BURR RIDGE, LLC**  
 71 SOUTH WACKER DRIVE, SUITE 3725  
 CHICAGO, IL 60606  
 PHONE: 847-897-7315

DATE	DESCRIPTION OF REVISION	BY

DESIGNED	JT
DRAWN	JT
APPROVED	TKB
DATE	11-14-2022
SCALE	1" = 10'

**DETENTION BASIN CROSS SECTION EXHIBIT**  
**SHIRLEY RYAN ABILITY LAB**  
**BURR RIDGE, ILLINOIS**

SHEET  
**1 OF 1**  
 PROJECT NUMBER: 4328  
 © MACKIE CONSULTANTS LLC, 2022  
 ILLINOIS FIRM LICENSE 184-002694

# TAB 2





# Stormwater Overview

**Shirley Ryan Ability Lab  
Burr Ridge, Illinois  
November 14, 2022**

<b>Total Site Area</b>	113,758 sq. feet	<b>2.61 acres</b>
<b>Existing Impervious Area</b>	75,421 sq. feet	<b>1.73 acres</b>
<b>Existing Curve Number</b>	89.9	
<b>Proposed Impervious A</b>	79,494 sq. feet	<b>1.82 acres</b>
<b>Proposed Curve Number</b>	90.8	
<b>Additional Impervious Area</b>	4,073 sq. feet	

**Additional Volume Control Requirement:** 1.25 inch per sf of impervious area  
 Volume Control Required = 424 cubic feet  
**Volume Control required for entire site = 8281 cubic feet**

**Additional Detention Storage Requirement:**

Curve Number = 80.00 = CN for grass areas  
 Area = 0.09 acres  
 Precipitation = 8.57 inches 100 yr, 24hr

Computed Results: NRCS Runoff Equation

S = 2.50 inches  
 Runoff = 6.16 inches  
 Volume = 2091 required

Curve Number = 98.00 = CN for proposed areas  
 Area = 0.09 acres  
 Precipitation = 8.57 inches 100 yr, 24hr

Computed Results: NRCS Runoff Equation

S = 0.20 inches  
 Runoff = 8.33 inches  
 Volume = 2827 cubic feet needed for proposed site design

Additional Detention Required = 736 cubic feet  
 Detention required per original design = 0.074 ac-ft = 3223 cubic feet  
**Total detention storage required = 3959 cubic feet**

**Stormwater Storage to be provided**

**PCBMP Storage Provided = 8,447 cubic feet**  
**Detention Storage Provided = 4,008 cubic feet**



# Stormwater Detention Volume Calculations

Shirley Ryan Ability Lab  
 Burr Ridge, Illinois  
 November 14, 2022

Elevation (ft)	Area		Average Area (ft <sup>2</sup> )	Incremental Storage (cu-ft)	Cummulative Storage (cu-ft)
	(ft <sup>2</sup> )	(ac)			
703.23	80	0.002			0
			829	638	
704.00	1,577	0.036			638
			2,810	2,810	
705.00	4,042	0.093			3,447
			5,263	4,999	
705.95	6,483	0.149			8,447
			6,634	332	
706.00	6,784	0.156			8,778
			7,352	3,676	
706.50	7,920	0.182			12,454

	Elevation (ft, NAVD88)	Storage (cf)	Storage (ac-ft)
NWL	703.23	0	0.000
	704.00	638	0.015
	705.00	3447	0.079
PCBMP	705.95	8447	0.194
	706.00	8778	0.202
HWL	706.50	12454	0.286

PCBMP Volume Provided = **8,447 cf**

Detention Volume Provided= **4,008 cf**

# Existing Curve Number

**Shirley Ryan Ability Lab  
Burr Ridge, Illinois  
November 14, 2022**

Type of Area:

Detained Area                       Major Stormwater System  
 Unrestricted Area                       Other: \_\_\_\_\_  
 Upstream Area

Condition:

Proposed Condition                       Existing Condition

Per the NRCS Soil Map:                      soils consist of mainly **Urban Soils**

These soils have a Hydrologic Soil Group of **C O R D**

Location	Area (sq ft)	Total Area (sq ft)	Total Area (acres)	Percent of Total Area	Curve Number
----------	-----------------	--------------------------	--------------------------	-----------------------------	-----------------

**Pervious Areas**

Green Space                      **38,337**                      **0.88**                      **34%**                      **74.0**

**Impervious Areas**

Roads, Roofs, Sidewalks:                      **75,421**                      **1.73**                      **66%**                      **98.0**

Open Water                      **0**                      **0.00**                      **0%**                      **100.0**

**Overall Project Area**

**113,758** sf                      **100%**

**Weighted Curve Number:** **89.9**



# Runoff Curve Number

**Shirley Ryan Ability Lab  
Burr Ridge, Illinois  
November 14, 2022**

Type of Area:

Detained Area                       Major Stormwater System  
 Unrestricted Area                       Other: \_\_\_\_\_  
 Upstream Area

Condition:

Proposed Condition                       Existing Condition

Per the NRCS Soil Map:                      soils consist of mainly **Urban Soils**

These soils have a Hydrologic Soil Group of **C O R D**

Location	Area (sq ft)	Total Area (sq ft)	Total Area (acres)	Percent of Total Area	Curve Number
----------	-----------------	--------------------------	--------------------------	-----------------------------	-----------------

**Pervious Areas**

Green Space                      **34,264**                      **0.79**                      **30%**                      **74.0**

**Impervious Areas**

Roads, Roofs, Sidewalks:                      **79,494**                      **1.82**                      **70%**                      **98.0**

Open Water                      **0**                      **0.00**                      **0%**                      **100.0**

**Overall Project Area**

**113,758** sf                      **100%**

**Weighted Curve Number:** **90.8**

# TAB 3



**TESTING SERVICE CORPORATION**

*Corporate Office*

360 S. Main Place, Carol Stream, IL 60188-2404  
630.462.2600 • Fax 630.653.2988

*Local Offices:*

457 E. Gundersen Drive, Carol Stream, IL 60188-2492  
630.653.3920 • Fax 630.653.2726

650 N. Peace Road, Suite D, DeKalb, IL 60115-8401  
815.748.2100 • Fax 815.748.2110

1350 TriState Parkway, Unit 122, Gurnee, IL 60031-9135  
847.249.6040 • Fax 844.767.4721

2235 23<sup>RD</sup> Avenue, Rockford, IL 61104-7334  
815.394.2562 • Fax 815.394.2566

203 Earl Road, Suite A, Shorewood, IL 60404-9446  
815.744.1510 • Fax 815.744.1728

# Report of Soils Exploration

## RIC Outpatient Facility

## 7630 S. County Line Road

## Burr Ridge, Illinois

## HDR Engineering/ Architecture, Inc.

*Geotechnical & Environmental Engineering*



*Construction Materials Engineering & Testing*



*Laboratory Testing of Soils, Concrete & Asphalt*



*Geo-Environmental Drilling & Sampling*

# GEOTECHNICAL GROUP





TESTING SERVICE CORPORATION

*Local Office:*

457 E. Gundersen Drive, Carol Stream, IL 60188-2492  
630.653.3920 • Fax 630.653.2726

*Corporate Office:*

360 S. Main Place, Carol Stream, IL 60188-2404  
630.462.2600 • Fax 630.653.2988

Local Office  
January 27, 2017

Mr. Todd Eicken  
HDR Engineering/Architecture, Inc.  
30 West Monroe Street, Suite 700  
Chicago, Illinois 60603

Re: L-86,243  
RIC Outpatient Facility  
7630 S. County Line Road  
Burr Ridge, Illinois

Dear Mr. Eicken:

This report presents results of a soils exploration performed for the proposed Rehabilitation Institute of Chicago (RIC) Outpatient Facility in Burr Ridge, Illinois. These geotechnical engineering services have been provided in accordance with TSC Proposal No. 57,989B dated January 6, 2017 and the attached General Conditions, incorporated herein by reference.

The project site is located at 7630 S. County Line Road, part of a commercial/office development. Two (2) existing buildings (to be demolished) with asphalt parking/driveway and landscaped areas around them are presently located on the property. A drainage ditch is present along the east end of the site next to South Frontage Road. The proposed building site is relatively flat with the ground surface elevations at the boring locations only varying by about 1½ feet.

The proposed RIC Outpatient Facility will be a 1-story building with a footprint of ±24,400 sf. It will be a slab-on-grade structure (i.e. no basements) with top of finished floor (FF) set at Elevation 709.5. The maximum exterior and interior column loads have been estimated by the Structural Engineer at 62 kips (24 kips DL) and 102 kips (42 kips DL), respectively. It is understood that the existing pavement areas are to be reconstructed as part of the proposed site redevelopment.

A Preliminary Storm Layout plan provided by Manhard Consulting (dated 1-04-17) shows a proposed detention basin along the east end of the site, i.e. in the area of the existing drainage ditch. The high water level (HWL) is shown at Elevation 706.3, with the bottom of the proposed basin ranging from Elevations 703.5 - 704.5.

Results of field and laboratory testing and recommendations based upon these data are included in this report. Specifically addressed are structure and floor slab support, site-grading/demolition issues, pavement design and construction, the detention basin, and groundwater management.

### **Field Investigation and Laboratory Testing**

Eleven (11) soil borings were performed for this study. The boring locations were selected and laid out in the field by TSC. Reference is made to this enclosed Boring Location Plan for the drilling layout, ground surface elevations at the borings also being shown. The elevations were acquired by TSC

using a Trimble R8 GNSS Receiver which uses the North American Vertical Datum of 1988 (NAVD88), being rounded to the nearest 0.5 foot.

Borings 1 - 6 in the building area were extended 15 feet below existing grade, with Borings 7 and 8 for the proposed detention basin also to 15 feet and Borings 9 - 11 in pavement areas to 5 feet. They were drilled and samples tested in accordance with currently recommended American Society for Testing and Materials specifications. Soil sampling was performed at 2½-foot intervals in conjunction with the Standard Penetration Test (SPT), for which driving resistance to a 2" split-spoon sampler (N-value in blows per foot) provides an indication of the relative density of granular materials and consistency of cohesive soils. Water level readings were taken during and following completion of drilling operations, with the boreholes then immediately backfilled for safety reasons and those in pavement areas also patched at the surface.

Soil samples were examined in the laboratory to verify field descriptions and to classify them in accordance with the Unified Soil Classification System. Laboratory testing included water content determinations for all cohesive and intermediate (silt or loamy) soil types. An estimate of unconfined compressive strength was obtained for all cohesive soils using a calibrated pocket penetrometer (Qp), with actual measurements of unconfined compressive strength (Qu) performed on representative samples of native clay soils. Dry unit weight tests were also run on specimens of clay fill.

Reference is made to the attached boring logs which indicate subsurface stratigraphy and soil descriptions, results of field and laboratory tests, as well as water level observations. Definitions of descriptive terminology are also included. While strata changes are shown as a definite line on the boring logs, the actual transition between soil layers will probably be more gradual.

### **Discussion of Test Data**

Boring 1 was performed in an existing sidewalk, encountering 4½" P.C. concrete underlain by 5 inches granular base course materials. Borings 2, 6 and 9 - 11 (5 total) were drilled in existing pavement areas, revealing 2 to 5 inches bituminous concrete underlain by 5 to 12 inches granular base. The pavement thicknesses were estimated from the disturbed sides of the augered boreholes and should be considered approximate; pavement cores may be taken if more accurate measurements or descriptions of the pavement (including possible fabric interlayers) are required.

Borings 3 - 5, 7 and 8 were taken in existing landscaped and ditch areas, revealing 8 to 11 inches surficial topsoil respread at the surface or under a layer of mulch (B-4). The topsoil layer in Boring 3 was underlain by a few inches of crushed stone. Fill materials were encountered below the pavement section at Borings 1, 2, 9 and 11 and below the topsoil respread/crushed stone materials in Borings 3 - 5, 7 and 8, extending to depths typically ranging from about 3 to 8 feet below existing grade (only 1½ feet deep at B-8).

The fill materials consisted of silty clay soils with variable amounts of organic matter/topsoil. Samples of the cohesive fill exhibited variable dry unit weights and water contents ranging from 87 to 116 pounds per cubic foot (pcf) and 16 to 33 percent, respectively. The pocket penetrometer readings were also variable and ranged from 0.5 to 3.75 tons per square foot (tsf). These data represent fill materials that were not placed for the most part under controlled conditions, i.e. a non-engineered fill.

An apparent native topsoil layer was found buried beneath the fill materials in Borings 4, 5, 7 and 8, extending to depths ranging from about 3 to 9 feet below existing. Samples of the clayey topsoil materials exhibited relatively high moisture contents typically ranging from 36 to 42 percent.

The uppermost few feet of native soils below fill and buried topsoil materials in Borings 2, 4, 5 and 7 - 9 consisted of silty clay of apparent medium to high plasticity. These CL/CH materials (Unified classification) were typified by moderate unconfined compressive strengths ranging from 1.0 to 2.5 tsf at relatively high water contents of between 24 and 32 percent. Very soft to soft and very moist silty clay soils were found underlying the fill materials in Boring 3, extending to a depth of 10½ feet below existing grade. Samples of the very soft to soft cohesive soils exhibited unconfined compressive strengths/pocket penetrometer readings of 0.25 to 0.5 tsf at water contents of 24 to 36 percent.

Native soils below pavement section, existing fill and buried topsoil materials otherwise consisted predominantly of tough to hard silty clays, with an approximate 2 to 3-foot thick layer of stiff (medium) silty clay found at a depth of 5½ feet in Boring 8. They exhibited unconfined compressive strengths ranging from about 1.0 to 4.5+ tsf at water contents typically between 14 and 21 percent (occasionally both lower and higher).

Borings 6, 9 and 10 were "dry" both during and upon completion of drilling operations. Free water was found trapped within topsoil/granular base materials at depths of 6 to 12 inches below existing grade in Borings 3 and 11. Free water was otherwise found in the borings at depths ranging from 3 to 10 feet below existing grade.

### **Analysis and Recommendations**

#### **1) General Overview / Bearing Table**

As previously discussed, the proposed redevelopment will consist of a new RIC Outpatient Facility. It will be a 1-story slab-on-grade structure. Proposed FF has been set at Elevation 709.5. Judging by the ground surface elevations at the boring locations and an assumed finished pad elevation at FF - 0'-10", grade is within a few inches of final pad subgrade elevation.

Borings 1 - 6 were drilled in the area of the proposed building. The existing fill materials encountered to depths of approximately 5 to 8 feet below existing grade at Borings 1 - 5 exhibited dry unit weights as low as about 90 pcf and water contents as high as 30 to 33 percent. These data represent poorly-compacted/non-engineered fill materials. The existing fill was underlain by a topsoil layer in Borings 4 and 5 that extended to depths of about 6 and 9 feet below existing grade, respectively, and exhibited high moisture contents of up to 39 percent. Soft and very moist native silty clay soils were also found underlying fill materials in Boring 3, extending to a depth of 10½ feet below existing grade. The existing fill, buried topsoil and soft/very moist native clay soils are not considered suitable for foundation support, also providing a deficient base for slab-on-grade construction.

The proposed 1-story building may be supported on footing foundations. However, removal and replacement of the above described unsuitable materials as part of site-grading/building pad construction or the use of ground improvement methods are required so that footing foundations could be utilized for structure support. As previously mentioned, proposed FF for the new structure has been set at Elevation 709.5. Interior and exterior footings are expected to bear at about FF -2'-0" and -



4'-0" (minimum frost depth), respectively. This would place exterior and interior footing grades at approximate Elevations 705.5 and 707.5, respectively.

Summarized in the following table is the depth/elevation at which in-situ native soils are considered capable of supporting a net allowable bearing pressure of 3000 psf were encountered at Borings 1 - 6 in connection with footing foundations and building pad construction. Ground surface elevations and the depth of existing fill (F) are also shown.

Boring No.	Ground Surface Grade	Depth of Existing Fill (Feet)	3000 psf Native Bearing - Building Pad Undercut	
			Depth (Feet)	Elevation
1	709.0	5.0	5.0	704.0
2	708.0	5.5	5.5	702.5
3	708.0	5.5	10.5	697.5
4	708.0	5.5 B	5.5	702.5
5	709.5	9.0 B	9.0	700.5
6	709.5	1.0 P	1.0	708.5

B Apparent native topsoil found buried beneath existing fill materials - depth shown is to bottom of layer.

P Pavement Section.

Alternatives for foundation and floor slab support at the boring locations include removal and replacement of the unsuitable materials as part of site-grading operations (building pad construction) and the use of ground improvement methods. Both alternatives are discussed separately in the following sections of this report. It should be noted that none of the borings were drilled within the existing buildings located on the site, with more favorable soil conditions to possibly be present there.

## 2) Building Pad Construction/Demolition Issues

It is understood that current plans call for the existing structures located on the site to be demolished and removed. The existing buildings encroach on the northeast and southwest portions of the proposed building footprint. Building demolition must be taken into account in foundation and site grading plans. In this regard, existing concrete floor slabs and foundation walls as well as asphalt/concrete pavements should be removed as part of site demolition in proposed building and pavement areas. This will promote subsurface drainage and minimize obstructions in future foundation and utility excavations.

All existing utility lines should also be removed in the area of the proposed building. Shallow utility lines located under proposed pavement areas should ideally be removed. Granular backfill should be placed in the excavations that are left, to be compacted to 95 percent Modified Proctor density.

Deeper pipes may be filled with flowable grout. However, the condition of backfill materials left in-place over these pipes will have to be further evaluated when the site is stripped, i.e. their suitability for pavement support.

Building pad construction will otherwise require that existing fill, buried topsoil and soft clay soils be removed and replaced to the approximate depths shown in the above bearing table for the boring locations. This will require cuts to approximate Elevations 697 to 704 at Borings 1 - 5. With top of finished floor being set at Elevation 709.5, associated new fills are expected to be in the range of about 5 to 11 feet at Borings 1 - 5. At Boring 6 (drilled near the southwest corner of the proposed building), grade after stripping of existing pavements will basically be at final pad subgrade elevation. Suitable bearing soils (tough to very tough native silty clay) were found at this elevation at the boring location.

Undercutting will require that the building pad be enlarged to permit the horizontal distribution of exterior footing loads. In the regard, it is recommended that the base of the undercut extend a minimum of 5 feet outside the outer edge of the structure plus 0.5 feet for every foot of new fill to be placed.

Existing fill can for the most part be reused as part of building pad construction. Exceptions would include surficial clayey topsoil layers. However, most of the existing fill will have to be reduced in moisture content in order to meet the 95 percent compaction criterion, i.e. those materials exceeding about 18 percent in moisture content. The topsoil and root zone materials should be used in non-structural fill areas or disposed of offsite.

Prior to the placement of new fill, exposed subgrade soils should be evaluated to determine whether adequate compaction may be achieved for the first lift. Marginal subgrade stability may mean that clay fill cannot be initially compacted. Marginal bearing soils for fill placement were revealed in Borings 2, 4 and 5, i.e. native silty clay soils exhibiting water contents exceeding 25 percent. Where this condition occurs, it is recommended that coarse aggregate be placed in the bottom of the excavation until a stable base for compaction of clay fill is achieved. This typically consists of a 12 to 24-inch "bridging" lift of coarse aggregate fill such as IDOT gradation CA-1 ("3-inch rock"), usually compacted by track-rolling.

New fill should otherwise consist of approved granular materials or inorganic silty clays of low to medium plasticity. It is recommended that compaction for the building pad be to a minimum of 95 percent of maximum dry density as determined by the Modified Proctor test (ASTM D1557). The fill should be placed in approximate 9 inch loose measure for cohesive soils and up to 12 inches for granular materials, each lift to be compacted to the specified density prior to the placement of additional fill.

Moisture control is important in the compaction of most soil types, and it is recommended that the water content of new fill be within 1 percentage point on the low side and 3 percentage points on the high side of optimum moisture as established by its laboratory compaction curve. As previously discussed, a large portion of existing fill materials will likely have to be reduced in moisture content in order to meet this criterion. If the fill replacement operation is performed when drying of high moisture content clay soils cannot be accomplished by typical discing and aeration procedures, lime modification may be utilized by mixing 3 to 5 percent of lime by-products (by soil weight) with the clay



materials. It should be noted that lime products will not be effective when the soil temperature is below approximately 50 degrees F.

Footings can be constructed on new engineered fill that is placed as part of building pad construction as described above. A net allowable bearing pressure not to exceed 3000 psf may be used in connection with footing design. The floor slab could be designed for a subgrade modulus of 150 pounds per cubic inch (pci) with associated settlement expected to be negligible.

It is recommended that all continuous wall footings be made at least 24 inches wide and isolated foundations at least 3.0 feet square, regardless of calculated dimensions. For frost considerations, all exterior footings should be constructed at least 3.5 feet below outside finished grade and 4.0 feet for foundations located outside of heated building limits. Interior footings may be constructed at higher elevations as long as they are protected against frost heave in the event of winter construction.

Due to the relatively variable depth of fill that is anticipated, it is also recommended that all foundation walls be reinforced. This may consist of a minimum of two #5 rebars placed at the top and bottom of foundation walls. The reinforcing steel should be made continuous using overlaps at splices and corner bends having lengths in accordance with the direction of the Structural Engineer.

The 3000 psf bearing value may be increased by up to 33 percent for intermittent loads such as wind and seismic loading; the 33% increase may also be applied to the toe pressure of eccentrically loaded footings as long as the average bearing pressure does not exceed 3000 psf. The above recommendations should otherwise result in total foundation settlements not exceeding 1.0 inch, for which differential settlement of less than 0.7 inches would be anticipated.

### 3) Ground Improvement Alternative

In lieu of the removal and replacement (building pad construction) alternative described above, ground improvement methods may be utilized to reinforce the existing fill, buried topsoil and soft/very moist native silty clay soils. The recommended ground improvement technique is the use of aggregate piers (stone columns/rammed aggregate piers) to improve the existing fill, buried topsoil and soft/very moist native clay soils at least under proposed footing areas. If not risk for floor slab settlement is desired, aggregate piers should also be utilized to reinforce the existing fill, buried topsoil and soft clay soils under floor slabs-on-grade.

The aggregate piers are constructed by making 24 to 36-inch diameter holes through the fill, buried topsoil and low strength soils and backfilling them with thin lifts of compacted aggregate. Compaction densifies the aggregate and increases the lateral stress in the soil matrix. The system will serve to reduce settlements and increase bearing capacity by replacing the existing fill, buried topsoil and soft/very moist native clay soils with a stiffer composite soil matrix. Conventional columns and wall footings and floor slabs can then be supported on the aggregate pier-reinforced ground.

It is preliminarily estimated that footings bearing on the aggregate pier-reinforced ground should be able to be designed for a net allowable bearing pressure of at least 3000 psf, while limiting settlements to 1" or less. The floor slabs of the proposed building can also be supported on aggregate pier-reinforced ground with this alternative. Specialty contractors with experience in the design and installation of geopiers or stone columns should be consulted in regard to these matters. Aggregate pier ground improvement is a specialty, geotechnical design-build system that is prepared by the

installer, and it is typical for the design soil bearing capacity of the aggregate pier-improved ground and the anticipated settlements of the foundations to be provided by the selected ground improvement firm.

It is recommended that the width of all continuous wall footings be made at least equal to (and ideally larger than) the width of the aggregate pier elements and isolated foundations be made at least 3.0 feet square, regardless of calculated dimensions. For frost considerations, all exterior footings should be constructed at least 3.5 feet below outside finished grade and 4.0 feet for foundations located outside of heated building limits. Interior footings may be constructed at higher elevations as long as they are protected against frost heave in the event of winter construction.

In accordance with the International Building Code (IBC), the Site Class for seismic design is to be based on average soil properties in the top 100 feet. Site Class D is to be used unless site specific soils information is available, which applies in the present case. To determine whether Site Class C can be used, we would recommend determining the in-situ shear wave velocity profile in the upper 100 feet at the site using a surface-wave seismic method such as the Refraction Microtremor (ReMi) method.

#### 4) Ground Supported Slabs

Floor slab construction in this area typically utilizes a granular base for load distribution and as a leveling course and capillary break. Typical base course materials include IDOT gradations CA-6 (well-graded sand and gravel with fines) or CA-7 ( $\frac{1}{4}$ " to  $\frac{3}{4}$ " chips). The CA-6 material should be compacted using vibratory equipment to 95 percent Modified Proctor density, the CA-7 until a dense and stable state is achieved. The CA-7 material is considered free-draining, providing a superior capillary break if one is desired.

Use of a vapor barrier beneath the floor slabs is not considered critical. In any event, the specifications and recommendations of the floor covering manufacturer(s) will take precedence and should be strictly followed.

The concrete slabs should be isolated from foundation elements, i.e. jointed around columns and foundation walls, to permit minor differential settlement to occur without causing undue cracking or distress. They should also be provided with adequate reinforcement and jointing to minimize the effects of any slab movement and control minor cracking. In this regard, slab-on-grade construction and jointing should be in accordance with ACI 360-10 (Guide to Design of Slabs-on-Ground).

#### 5) Pavement Design and Construction

It is assumed that existing fill will be left in-place under new pavement areas, with minor settlement that may occur to typically be tolerated. As previously discussed, existing fill materials provide marginal to in some cases deficient subgrade support. This should be further evaluated on the basis of proof-rolling.

Upon stripping any vegetation/topsoil/root zone materials and existing pavements or cutting to final subgrade elevation, the exposed subgrade in pavement areas should be proof-rolled in order to detect the presence of unsuitable/unstable soil types. The proof-roll should be performed using a loaded

dump truck or other approved piece of heavy construction equipment. Proof-rolling should be performed in perpendicular directions to provide complete coverage.

All soft or unstable materials determined by proof-rolling should be reworked and recompacted or, if that does not significantly improve subgrade stability, removed and replaced. Solutions to such instability problems would likely consist of undercutting the unstable soils 1 to 2 feet and replacement with coarse granular material such as IDOT gradations CA-1 or CA-7. A geotextile fabric or geogrid product may be placed at the bottom of the undercuts prior to backfilling with the "bridging" coarse granular material.

New fill should otherwise consist of approved granular materials or inorganic silty clays of low to medium plasticity. It is recommended that compaction be to a minimum of 95 percent of maximum dry density as determined by the Modified Proctor test (ASTM D 1557). Exposed subgrade materials should also be compacted to at least 95 percent Modified Proctor density.

Moisture control is important in the compaction of most soil types, and it is recommended that the water content of new fill be within 1 percentage point on the low side and 3 percentage points on the high side of optimum moisture as established by its laboratory compaction curve. If the soil is compacted too dry, it will have an apparent stability which will be lost if it later becomes saturated. If the soil is too wet, the Contractor will not be able to achieve proper compaction.

A nominal Illinois Bearing Ratio (IBR) value of 2.5 is typically used for the design of asphalt pavements in this area, reflecting the clay subgrade which is prevalent. Use of this value assumes that any soft or unstable areas will be remediated, i.e. subgrade stabilized until passing a proof-roll.

Base course and subbase materials for anticipated asphalt pavements should otherwise conform to IDOT gradation CA-6 and be compacted to 95 percent Modified Proctor density or 100 percent of the Standard Proctor (ASTM D 698) maximum density value. Bituminous materials should be an approved IDOT Superpave minimum design, with N30 or N50 typical for light-duty parking lots and N50 or N70 for heavy-duty pavements. Standard Specifications for Road and Bridge Construction, Sections 406 and 1032 should also be referenced. They should be compacted to between 93 and 97 percent of their theoretical maximum density, as determined by the supplier.

Portland Cement Concrete (PCC) or heavy duty bituminous concrete is recommended for pavements with heavy truck traffic and high traffic load areas such as garbage truck dumpster loading areas. Standard Specifications for Road and Bridge Construction, Sections 353 and 420, should be followed.

#### 6) Stormwater Management Facility

Borings 7 and 8 were drilled in the area of a proposed stormwater management facility along the east end of the site (existing drainage ditch). The high water level (HWL) is shown at Elevation 706.3 on the plan provided, with the bottom of the proposed basin ranging from Elevations 703.5 - 704.5. Relatively minor cuts/fills are required to construct the proposed basin. Based on the results of the borings, it is recommended that side slopes no steeper than 4H:1V be utilized for the proposed basin.

Water retention should not be a problem due to the cohesive nature of subsurface soils. Although permeability tests were not performed on the existing clay fill, clayey topsoil and native clay soils, we

would estimate their permeability to be in the range of  $10^{-6}$  to  $10^{-8}$  cm/sec, making them practically impervious.

### 7) Groundwater Management

Based on the results of the borings, serious groundwater problems are not anticipated due to the cohesive/impervious nature of existing soils. However, the accumulation of run-off water or seepage at the base of excavations should still be expected to occur during foundation construction and site work. The Contractor should be prepared to implement dewatering/unwatering procedures, as a minimum to include pumping from strategically placed sumps.

### Closure

It is recommended that full-time observation and testing be provided by Testing Service Corporation personnel during foundation construction, so that the soils at foundation levels can be observed and tested. In addition, adequacy of building materials, stripping and undercutting, fill placement and compaction as well as slab-on-grade and pavement construction should be monitored for compliance with the recommended procedures and specifications.

The analyses and recommendations submitted in this report are based upon the data obtained from the eleven (11) soil borings performed at the locations indicated on the Boring Location Plan. This report does not reflect any variations which may occur between these borings or elsewhere on the site, the nature and extent of which may not become evident until during the course of construction. As previously discussed, none of the borings were drilled within the existing buildings located on the site, with more favorable soil conditions to possibly be present there.

It has been a pleasure to assist you with this work. Please call if there are any questions or if we may be of further service.

Respectfully submitted,

TESTING SERVICE CORPORATION



Alfredo J. Bermudez  
Senior Geotechnical Engineer  
Registered Professional Engineer  
Illinois No. 062-046608



Michael V. Machalinski, P.E.  
Vice President

AJB:MVM:ab  
Enc.





## TESTING SERVICE CORPORATION

**1. PARTIES AND SCOPE OF WORK:** If Client is ordering the services on behalf of another, Client represents and warrants that Client is the duly authorized agent of said party for the purpose of ordering and directing said services, and in such case the term "Client" shall also include the principal for whom the services are being performed. Prices quoted and charged by TSC for its services are predicated on the conditions and the allocations of risks and obligations expressed in these General Conditions. Unless otherwise stated in writing, Client assumes sole responsibility for determining whether the quantity and the nature of the services ordered by Client are adequate and sufficient for Client's intended purpose. Unless otherwise expressly assumed in writing, TSC's services are provided exclusively for client. TSC shall have no duty or obligation other than those duties and obligations expressly set forth in this Agreement. TSC shall have no duty to any third party. Client shall communicate these General Conditions to each and every party to whom the Client transmits any report prepared by TSC. Ordering services from TSC shall constitute acceptance of TSC's proposal and these General Conditions.

**2. SCHEDULING OF SERVICES:** The services set forth in this Agreement will be accomplished in a timely and workmanlike manner. If TSC is required to delay any part of its services to accommodate the requests or requirements of Client, regulatory agencies, or third parties, or due to any cause beyond its reasonable control, Client agrees to pay such additional charges, if any, as may be applicable.

**3. ACCESS TO SITE:** TSC shall take reasonable measures and precautions to minimize damage to the site and any improvements located thereon as a result of its services or the use of its equipment; however, TSC has not included in its fee the cost of restoration of damage which may occur. If Client desires or requires TSC to restore the site to its former condition, TSC will, upon written request, perform such additional work as is necessary to do so and Client agrees to pay to TSC the cost thereof plus TSC's normal markup for overhead and profit.

**4. CLIENT'S DUTY TO NOTIFY ENGINEER:** Client represents and warrants that Client has advised TSC of any known or suspected hazardous materials, utility lines and underground structures at any site at which TSC is to perform services under this Agreement. Unless otherwise agreed in writing, TSC's responsibility with respect to underground utility locations is to contact the Illinois Joint Utility Locating Information for Excavators for the location of public, but not private, utilities.

**5. DISCOVERY OF POLLUTANTS:** TSC's services shall not include investigation for hazardous materials as defined by the Resource Conservation Recovery Act, 42 U.S.C. § 6901, et. seq., as amended ("RCRA") or by any state or Federal statute or regulation. In the event that hazardous materials are discovered and identified by TSC, TSC's sole duty shall be to notify Client.

**6. MONITORING:** If this Agreement includes testing construction materials or observing any aspect of construction of improvements, Client's construction personnel will verify that the pad is properly located and sized to meet Client's projected building loads. Client shall cause all tests and inspections of the site, materials and work to be timely and properly performed in accordance with the plans, specifications, contract documents, and TSC's recommendations. No claims for loss, damage or injury shall be brought against TSC unless all tests and inspections have been so performed and unless TSC's recommendations have been followed.

TSC's services shall not include determining or implementing the means, methods, techniques or procedures of work done by the contractor(s) being monitored or whose work is being tested. TSC's services shall not include the authority to accept or reject work or to in any manner supervise the work of any contractor. TSC's services or failure to

perform same shall not in any way operate or excuse any contractor from the performance of its work in accordance with its contract. "Contractor" as used herein shall include subcontractors, suppliers, architects, engineers and construction managers.

Information obtained from borings, observations and analyses of sample materials shall be reported in formats considered appropriate by TSC unless directed otherwise by Client. Such information is considered evidence, but any inference or conclusion based thereon is, necessarily, an opinion also based on engineering judgment and shall not be construed as a representation of fact. Subsurface conditions may not be uniform throughout an entire site and ground water levels may fluctuate due to climatic and other variations. Construction materials may vary from the samples taken. Unless otherwise agreed in writing, the procedures employed by TSC are not designed to detect intentional concealment or misrepresentation of facts by others.

**7. DOCUMENTS AND SAMPLES:** Client is granted an exclusive license to use findings and reports prepared and issued by TSC and any sub-consultants pursuant to this Agreement for the purpose set forth in TSC's proposal provided that TSC has received payment in full for its services. TSC and, if applicable, its sub-consultant, retain all copyright and ownership interests in the reports, boring logs, maps, field data, field notes, laboratory test data and similar documents, and the ownership and freedom to use all data generated by it for any purpose. Unless otherwise agreed in writing, test specimens or samples will be disposed immediately upon completion of the test. All drilling samples or specimens will be disposed sixty (60) days after submission of TSC's report.

**8. TERMINATION:** TSC's obligation to provide services may be terminated by either party upon (7) seven days prior written notice. In the event of termination of TSC's services, TSC shall be compensated by Client for all services performed up to and including the termination date, including reimbursable expenses. The terms and conditions of these General Conditions shall survive the termination of TSC's obligation to provide services.

**9. PAYMENT:** Client shall be invoiced periodically for services performed. Client agrees to pay each invoice within thirty (30) days of its receipt. Client further agrees to pay interest on all amounts invoiced and not paid or objected to in writing for valid cause within sixty (60) days at the rate of twelve (12%) per annum (or the maximum interest rate permitted by applicable law, whichever is the lesser) until paid and TSC's costs of collection of such accounts, including court costs and reasonable attorney's fees.

**10. WARRANTY:** TSC's professional services will be performed, its findings obtained and its reports prepared in accordance with these General Conditions and with generally accepted principles and practices. In performing its professional services, TSC will use that degree of care and skill ordinarily exercised under similar circumstances by members of its profession. In performing physical work in pursuit of its professional services, TSC will use that degree of care and skill ordinarily used under similar circumstances. This warranty is in lieu of all other warranties or representations, either express or implied. Statements made in TSC reports are opinions based upon engineering judgment and are not to be construed as representations of fact.

Should TSC or any of its employees be found to have been negligent in performing professional services or to have made and breached any express or implied warranty, representation or contract, Client, all parties claiming through Client and all parties claiming to have in any way relied upon TSC's services or work agree that the maximum aggregate amount of damages for which TSC, its officers, employees and agents shall be liable is limited to \$50,000 or the total amount of the fee paid to TSC for its services performed with respect to the project, whichever amount is greater.

# GENERAL CONDITIONS

## Geotechnical and Construction Services

In the event Client is unwilling or unable to limit the damages for which TSC may be liable in accordance with the provisions set forth in the preceding paragraph, upon written request of Client received within five days of Client's acceptance of TSC's proposal together with payment of an additional fee in the amount of 5% of TSC's estimated cost for its services (to be adjusted to 5% of the amount actually billed by TSC for its services on the project at time of completion), the limit on damages shall be increased to \$500,000 or the amount of TSC's fee, whichever is the greater. This charge is not to be construed as being a charge for insurance of any type, but is increased consideration for the exposure to an award of greater damages.

**11. INDEMNITY:** Subject to the provisions set forth herein, TSC and Client hereby agree to indemnify and hold harmless each other and their respective shareholders, directors, officers, partners, employees, agents, subsidiaries and division (and each of their heirs, successors, and assigns) from any and all claims, demands, liabilities, suits, causes of action, judgments, costs and expenses, including reasonable attorneys' fees, arising, or allegedly arising, from personal injury, including death, property damage, including loss of use thereof, due in any manner to the negligence of either of them or their agents or employees or independent contractors. In the event both TSC and Client are found to be negligent or at fault, then any liability shall be apportioned between them pursuant to their pro rata share of negligence or fault. TSC and Client further agree that their liability to any third party shall, to the extent permitted by law, be several and not joint. The liability of TSC under this provision shall not exceed the policy limits of insurance carried by TSC. Neither TSC nor Client shall be bound under this indemnity agreement to liability determined in a proceeding in which it did not participate represented by its own independent counsel. The indemnities provided hereunder shall not terminate upon the termination or expiration of this Agreement, but may be modified to the extent of any waiver of subrogation agreed to by TSC and paid for by Client.

**12. SUBPOENAS:** TSC's employees shall not be retained as expert witnesses except by separate, written agreement. Client agrees to pay TSC pursuant to TSC's then current fee schedule for any TSC employee(s) subpoenaed by any party as an occurrence witness as a result of TSC's services.

**13. OTHER AGREEMENTS:** TSC shall not be bound by any provision or agreement (i) requiring or providing for arbitration of disputes or controversies arising out of this Agreement or its performance, (ii) wherein TSC waives any rights to a mechanics lien or surety bond claim; (iii) that conditions TSC's right to receive payment for its services upon payment to Client by any third party or (iv) that requires TSC to indemnify any party beyond its own negligence. These General Conditions are notice, where required, that TSC shall file a lien whenever necessary to collect past due amounts. This Agreement contains the entire understanding between the parties. Unless expressly accepted by TSC in writing prior to delivery of TSC's services, Client shall not add any conditions or impose conditions which are in conflict with those contained herein, and no such additional or conflicting terms shall be binding upon TSC. The unenforceability or invalidity of any provision or provisions shall not render any other provision or provisions unenforceable or invalid. This Agreement shall be construed and enforced in accordance with the laws of the State of Illinois. In the event of a dispute arising out of or relating to the performance of this Agreement, the breach thereof or TSC's services, the parties agree to try in good faith to settle the dispute by mediation under the Construction Industry Mediation Rules of the American Arbitration Association as a condition precedent to filing any demand for arbitration, or any petition or complaint with any court. Paragraph headings are for convenience only and shall not be construed as limiting the meaning of the provisions contained in these General Conditions.

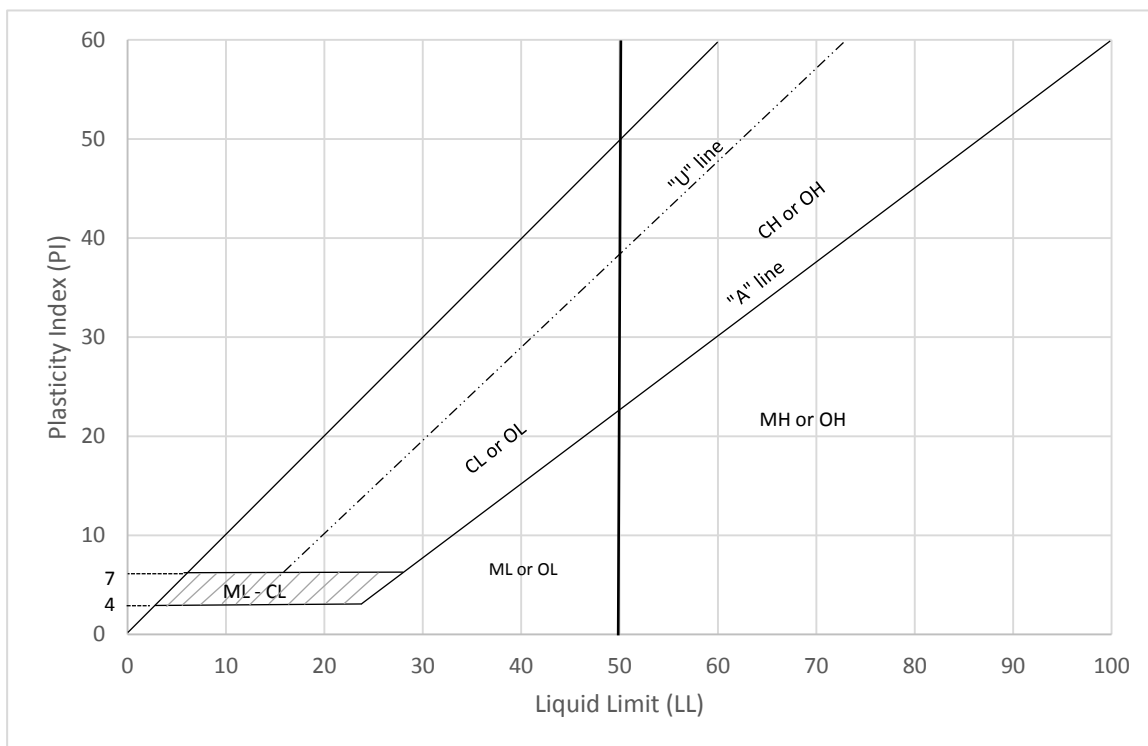
# Testing Service Corporation Unified Classification Chart



CRITERIA FOR ASSIGNING GROUP SYMBOLS AND GROUP NAMES USING LABORATORY TEST <sup>a</sup>				SOIL CLASSIFICATION	
				Group Symbol	GROUP NAME <sup>b</sup>
COARSE - GRAINED SOILS more than 50% retained on No. 200 sieve	GRAVELS  More than 50% of coarse fraction retained on No. 4 sieve	CLEAN GRAVELS less than 5% fines <sup>c</sup>	$C_u \geq 4$ and $1 \leq C_c \leq 3$ <sup>e</sup>	GW	Well-graded gravel <sup>f</sup>
			$C_u < 4$ and/or $1 > C_c > 3$ <sup>e</sup>	GP	Poorly-graded gravel <sup>f</sup>
		GRAVELS WITH FINES more than 12% fines <sup>c</sup>	Fines classify as ML or MH	GM	Silty gravel <sup>f, g, h</sup>
			Fines classify as CL or CH	GC	Clayey gravel <sup>f, g, h</sup>
	SANDS  50% or more of coarse fraction passes No. 4 sieve	CLEAN SANDS less than 5% fines <sup>d</sup>	$C_u \geq 6$ and $1 \leq C_c \leq 3$ <sup>e</sup>	SW	Well-graded sand <sup>i</sup>
			$C_u < 6$ and/or $1 > C_c > 3$ <sup>e</sup>	SP	Poorly-graded sand <sup>i</sup>
		SANDS WITH FINES more than 12% fines <sup>d</sup>	Fines classify as ML or MH	SM	Silty sand <sup>g, h, f</sup>
			Fines classify as CL or CH	SC	Clayey sand <sup>g, h, f</sup>
FINE - GRAINED SOILS 50% or more passed the No. 200 sieve	SILTS & CLAYS  Liquid limit less than 50%	Inorganic	$PI > 7$ or plots on or above "A" line <sup>j</sup>	CL	Lean clay <sup>k, l, m</sup>
			$PI < 4$ or plots below "A" line <sup>j</sup>	ML	Silt <sup>k, l, m</sup>
		Organic	$\frac{\text{Liquid limit} - \text{oven dried}}{\text{Liquid limit} - \text{not dried}} < 0.75$	OL	Organic clay <sup>k, l, m, n</sup> Organic silt <sup>k, l, m, o</sup>
			PI plots on or above "A" line	CH	Fat clay <sup>k, l, m</sup>
	SILTS & CLAYS  Liquid limit 50% or more	Inorganic	PI plots below "A" line	MH	Elastic silt <sup>k, l, m</sup>
			$\frac{\text{Liquid limit} - \text{oven dried}}{\text{Liquid limit} - \text{not dried}} < 0.75$	OH	Organic clay <sup>k, l, m, p</sup> Organic silt <sup>k, l, m, q</sup>
		Organic	PI plots on or above "A" line	PT	Peat
			PI plots below "A" line	PT	Peat
Highly organic soils		Primarily organic matter, dark in color, and organic odor		PT	Peat

- a. Based on the material passing the 3-inch (75-mm) sieve.  
 b. If field sample contained cobbles and/or boulders, add "with cobbles and/or boulders" to group name  
 c. Gravels with 5 to 12% fines required dual symbols  
 GW-GM well graded gravel with silt  
 GW-GC well graded gravel with clay  
 GP-GM poorly graded gravel with silt  
 GP-GC poorly graded gravel with clay  
 d. Sands with 5 to 12% fines require dual symbols  
 SW-SM well graded sand with silt  
 SW-SC well graded sand with clay  
 SP-SM poorly graded sand with silt  
 SP-SC poorly graded sand with clay  
 e.  $C_u = D_{60}/D_{10}$   $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$

- f. If soils contains  $\geq 15\%$  sand, add "with sand" to group name.  
 g. If fines classify as CL-ML, use dual symbol GC-GM, SC-SM  
 h. If fines are organic, add "with organic fines" to group name  
 i. If soils contains  $\geq 15\%$  gravel, add "with gravel" to group name  
 j. If Atterberg Limits plot in hatched area, soil is a CL - ML, silty clay  
 k. If soils contains 15 to 29% plus No. 200, add "with sand" or "with gravel" whichever is predominant  
 l. If soil contains  $\geq 30\%$  plus No. 200, predominantly sand, add "sandy" to group name.  
 m. If soils contains  $\geq 30\%$  plus No. 200, predominantly gravel, add "gravelly" to group name  
 n.  $PI \geq 4$  and plots on or above "A" line  
 o.  $PI \geq 4$  and plots below "A" line  
 p.  $PI$  plots on or above "A" line  
 q.  $PI$  plots below "A" line





# TESTING SERVICE CORPORATION

## LEGEND FOR BORING LOGS



**FILL**



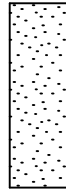
**TOPSOIL**



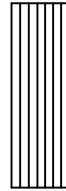
**PEAT**



**GRAVEL**



**SAND**



**SILT**



**CLAY**



**DOLOMITE**

### SAMPLE TYPE

- SS = Split Spoon
- ST = Thin-Walled Tube
- A = Auger
- MC = Macro-Core (Geo Probe)

### WATER LEVELS:

- ▼ While Drilling
- ▽ End of Boring
- ▼ 24 Hours

### FIELD AND LABORATORY TEST DATA

- N = Standard Penetration Resistance in Blows per Foot
- WC = In-Situ Water Content
- Qu = Unconfined Compressive Strength in Tons per Square Foot
  - \* Pocket Penetrometer Measurement: Maximum Reading = 4.5 tsf
- DRY = Dry Unit Weight in Pounds per Cubic Foot

### SOIL DESCRIPTION

#### MATERIAL

- BOULDER
- COBBLE
- Coarse GRAVEL
- Small GRAVEL
- Coarse SAND
- Medium SAND
- Fine SAND
- SILT and CLAY

#### PARTICLE SIZE RANGE

- Over 12 inches
- 12 inches to 3 inches
- 3 inches to 3/4 inch
- 3/4 inch to No. 4 Sieve
- No. 4 Sieve to No. 10 Sieve
- No. 10 Sieve to No. 40 Sieve
- No. 40 Sieve to No. 200 Sieve
- Passing No. 200 Sieve

#### COHESIVE SOILS

<u>CONSISTENCY</u>	<u>Qu (tsf)</u>
Very Soft	Less than 0.3
Soft	0.3 to 0.6
Stiff	0.6 to 1.0
Tough	1.0 to 2.0
Very Tough	2.0 to 4.0
Hard	4.0 and over

#### COHESIONLESS SOILS

<u>RELATIVE DENSITY</u>	<u>N (bpf)</u>
Very Loose	0 - 4
Loose	4 - 10
Firm	10 - 30
Dense	30 - 50
Very Dense	50 and over

#### MODIFYING TERM

- Trace
- Little
- Some

#### PERCENT BY WEIGHT

- 1 - 10
- 10 - 20
- 20 - 35



ELEVATIONS

GROUND SURFACE	<b>709.0</b>
END OF BORING	<b>694.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>4.0'</b>
▽ AT END OF BORING	<b>Dry</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.4	708.6	4½" P.C. Concrete **
								0.8	708.2	5" Crushed Stone **
		1	SS	10	18.7	3.75*	110			FILL - Gray trace dark brown silty CLAY, little sand and gravel, moist (CL)
		2	SS	11	30.2	1.25*	92			▽ FILL - Dark brown and gray silty CLAY, little sand, trace gravel, trace organic, very moist (CL)
5		3	SS	15	17.6	3.27 3.0*				Very tough brown trace gray silty CLAY, little sand and gravel, moist (CL)
		4	SS	13	17.9	2.28 2.5*				
10		5	SS	20	14.8	4.5+*		10.5	698.5	Hard brown silty CLAY, little sand and gravel, moist (CL)
		6	SS	24	14.4	3.27 3.75*		13.0	696.0	Very tough gray silty CLAY, little sand and gravel, moist (CL)
15		End of Boring at 15.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		** Approximate thicknesses determined by flight auger methods								
		Diedrich Automatic Hammer used for SPT								
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.





ELEVATIONS

GROUND SURFACE	<b>708.0</b>
END OF BORING	<b>693.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>6.0'</b>
▽ AT END OF BORING	<b>4.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.4	707.6	5" Bituminous Concrete **
								0.9	707.1	6" Crushed Stone **
		1	SS	14	16.7	3.5*	116			FILL - Gray trace black silty CLAY, little sand and gravel, trace organic, moist (CL)
		2	SS	13	29.6	1.75*	92			▽ FILL - Black and dark gray silty CLAY and TOPSOIL, little sand, very moist (CL/OL)
5		3	SS	8	26.3	1.56 1.5*			5.5	702.5 ▼ Tough brown and gray silty CLAY, little sand, moist (CL/CH)
		4	SS	9	17.8	2.42 2.5*			8.0	700.0 Very tough brown silty CLAY, some sand, trace gravel, moist (CL)
10		5	SS	18	17.8	4.5+*			10.5	697.5 Hard brown silty CLAY, little sand, trace gravel, moist (CL)
		6	SS	10	16.1	2.0*			13.0	695.0 Tough to very tough gray silty CLAY, little sand, trace gravel, moist (CL)
15		End of Boring at 15.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		** Approximate thicknesses determined by flight auger methods								
		Diedrich Automatic Hammer used for SPT								
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS

GROUND SURFACE	<b>708.0</b>
END OF BORING	<b>693.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>0.5'</b>
▽ AT END OF BORING	<b>10.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0										▽ FILL - Black clayey TOPSOIL
								0.7	707.3	FILL - Gray Crushed Stone
								1.0	707.0	
		1	SS	8	21.7	2.0*	106			FILL - Gray little black silty CLAY, trace to little sand and gravel, trace organic, very moist to moist (CL)
		2	SS	11	16.6	1.75*	113			
5								5.5	702.5	
		3	SS	5	26.0	0.50 0.25*				Soft to very soft brown little gray silty CLAY, trace sand and gravel, trace organic, very moist (CL)
		A			36.4	0.25*				
		4	SS	4	23.7	0.5*		9.0	699.0	
		B								▽ Soft brown and gray silty CLAY, little sand, trace gravel, very moist (CL)
10								10.5	697.5	
		5	SS	18	18.6	2.48 2.75*				Very tough brown and gray silty CLAY, little sand, trace gravel, moist (CL)
		6	SS	13	13.4	1.0*		13.0	695.0	
15										End of Boring at 15.0'
										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										Diedrich Automatic Hammer used for SPT
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.





ELEVATIONS

GROUND SURFACE	<b>709.5</b>
END OF BORING	<b>694.5</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>10.0'</b>
▽ AT END OF BORING	<b>10.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.7	708.8	FILL - Black clayey TOPSOIL
		1	SS	5	32.5	1.0*	87			FILL - Dark brown to black silty CLAY, trace sand and gravel, trace organic, very moist (CL)
		2	SS	11	16.0	2.75*	114	3.0	706.5	FILL - Gray trace dark gray silty CLAY, little sand, trace gravel, moist to very moist (CL)
5		3	SS	8	20.6	2.5*	108			
		A	SS	8	36.1	1.0*		8.0	701.5	
		4	SS	8	31.6	1.56		9.0	700.5	Black clayey TOPSOIL, very moist (OL)
10		B	SS	8	31.6	1.5*		10.5	699.0	▽ Tough brown and gray silty CLAY, little sand, moist (CL/CH)
		5	SS	5	21.9	1.5*				Tough brown and gray silty CLAY, little sand, trace gravel, moist (CL)
		6	SS	9	18.8	1.69 1.75*				
15		End of Boring at 15.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		Diedrich Automatic Hammer used for SPT								
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS

GROUND SURFACE	<b>709.5</b>
END OF BORING	<b>694.5</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>Dry</b>
▽ AT END OF BORING	<b>Dry</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	$\gamma_{DRY}$	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.3	709.2	3 1/2" Bituminous Concrete **
								1.0	708.5	8" Crushed Stone **
		1	SS	12	18.5	1.69 2.0*				Tough to very tough brown silty CLAY, trace to little sand and gravel, moist (CL)
		2	SS	10	24.3	1.62 2.0*				
5		3	SS	16	17.8	3.0*		5.5	704.0	
		4	SS	16	16.1	3.54 4.0*				
		5	SS	24	15.7	2.25*				
10		A			16.0	4.5+*				Very tough to hard brown and gray silty CLAY, little sand and gravel, moist (CL)
		6	SS	22						
15		B			14.7	3.25*		14.5	695.0	Very tough gray silty CLAY, little sand and gravel, moist (CL)
										End of Boring at 15.0'
										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										** Approximate thicknesses determined by flight auger methods
										Diedrich Automatic Hammer used for SPT
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.

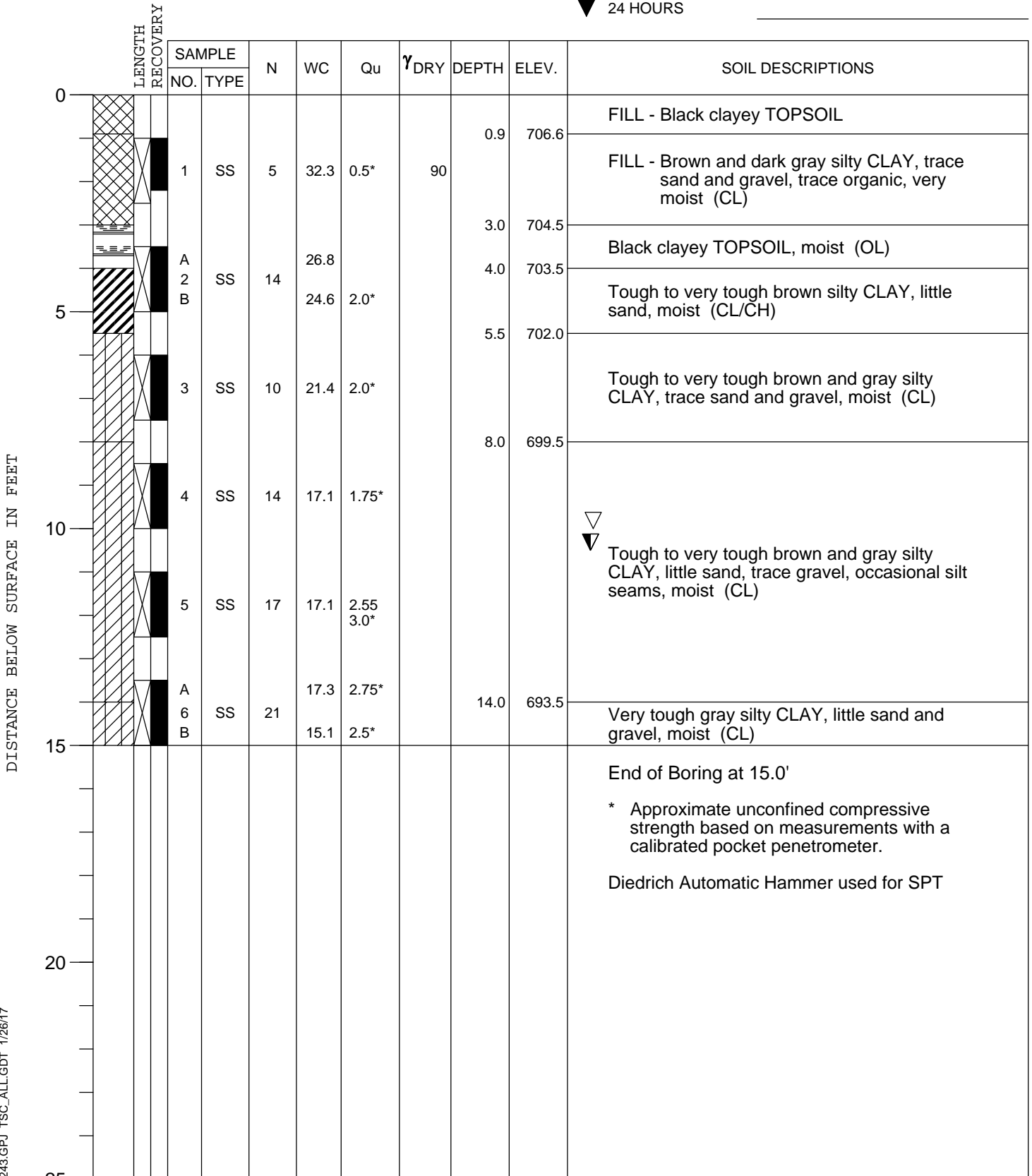


ELEVATIONS

GROUND SURFACE	<b>707.5</b>
END OF BORING	<b>692.5</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>10.5'</b>
▽ AT END OF BORING	<b>10.0'</b>
▼ 24 HOURS	



TSC 86243.GPJ TSC\_ALL.GDT 1/26/17



ELEVATIONS	
GROUND SURFACE	<b>704.0</b>
END OF BORING	<b>689.0</b>

WATER LEVEL OBSERVATIONS	
▽ WHILE DRILLING	<b>3.0'</b>
▽ AT END OF BORING	<b>3.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0										FILL - Black clayey TOPSOIL
0.8							99	0.8	703.2	FILL - Dark brown silty CLAY, little sand, trace gravel, trace organic, very moist (CL)
1.5		A	SS	9	25.9	0.75*		1.5	702.5	
		B			42.9	0.75*				Black clayey TOPSOIL, very moist (OL)
								3.0	701.0	▼
		2	SS	9	32.1	1.03 1.0*				Tough brown and gray silty CLAY, little sand, very moist (CL/CH)
5								5.5	698.5	
		3	SS	6	22.6	0.90 0.75*				Stiff brown and gray silty CLAY, little sand, trace gravel, very moist (CL)
								8.0	696.0	
10		4	SS	14	19.0	2.5*				Very tough to tough brown silty CLAY, little sand, trace gravel, moist (CL)
		5	SS	22	20.1	1.69 1.5*				
								13.0	691.0	
		6	SS	16	13.8	1.5*				Tough gray silty CLAY, some sand and gravel, moist (CL)
15										End of Boring at 15.0'
										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										Diedrich Automatic Hammer used for SPT

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS  
 GROUND SURFACE **708.5**  
 END OF BORING **703.5**

WATER LEVEL OBSERVATIONS  
 ▽ WHILE DRILLING **Dry**  
 ▽ AT END OF BORING **Dry**  
 ▽ 24 HOURS

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.4	708.1	4½" Bituminous Concrete **
								0.8	707.7	5" Crushed Stone **
		1	SS	13	20.9	2.75*	100			FILL - Dark brown to black silty CLAY, little sand and gravel, little organic, very moist (CL)
		2	SS	17	23.9	2.5*		2.5	706.0	Very tough brown and gray silty CLAY, little sand, trace organic, moist (CL/CH)
5		End of Boring at 5.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		** Approximate thicknesses determined by flight auger methods								
		Diedrich Automatic Hammer used for SPT								
10										
15										
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



PROJECT **RIC Outpatient Facility, 7630 S. County Line Road, Burr Ridge, Illinois**



CLIENT **HDR Engineering/Architecture, Inc., Chicago, Illinois**

BORING **10** DATE STARTED **1-23-17** DATE COMPLETED **1-23-17** JOB **L-86,243**

ELEVATIONS  
 GROUND SURFACE **709.0**  
 END OF BORING **704.0**

WATER LEVEL OBSERVATIONS  
 ▽ WHILE DRILLING **Dry**  
 ▽ AT END OF BORING **Dry**  
 ▽ 24 HOURS

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	$\gamma_{DRY}$	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.2	708.8	2" Bituminous Concrete **
								1.2	707.8	12" Crushed Stone **
		1	SS	14	16.8	4.0*				Hard to very tough brown and gray silty CLAY, little sand, trace gravel, moist (CL)
		2	SS	14	15.6	3.0*				
5										End of Boring at 5.0'
10										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										** Approximate thicknesses determined by flight auger methods
										Diedrich Automatic Hammer used for SPT
15										
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.

TSC 86243.GPJ TSC\_ALL.GDT 1/26/17

DRILL RIG NO. **262**

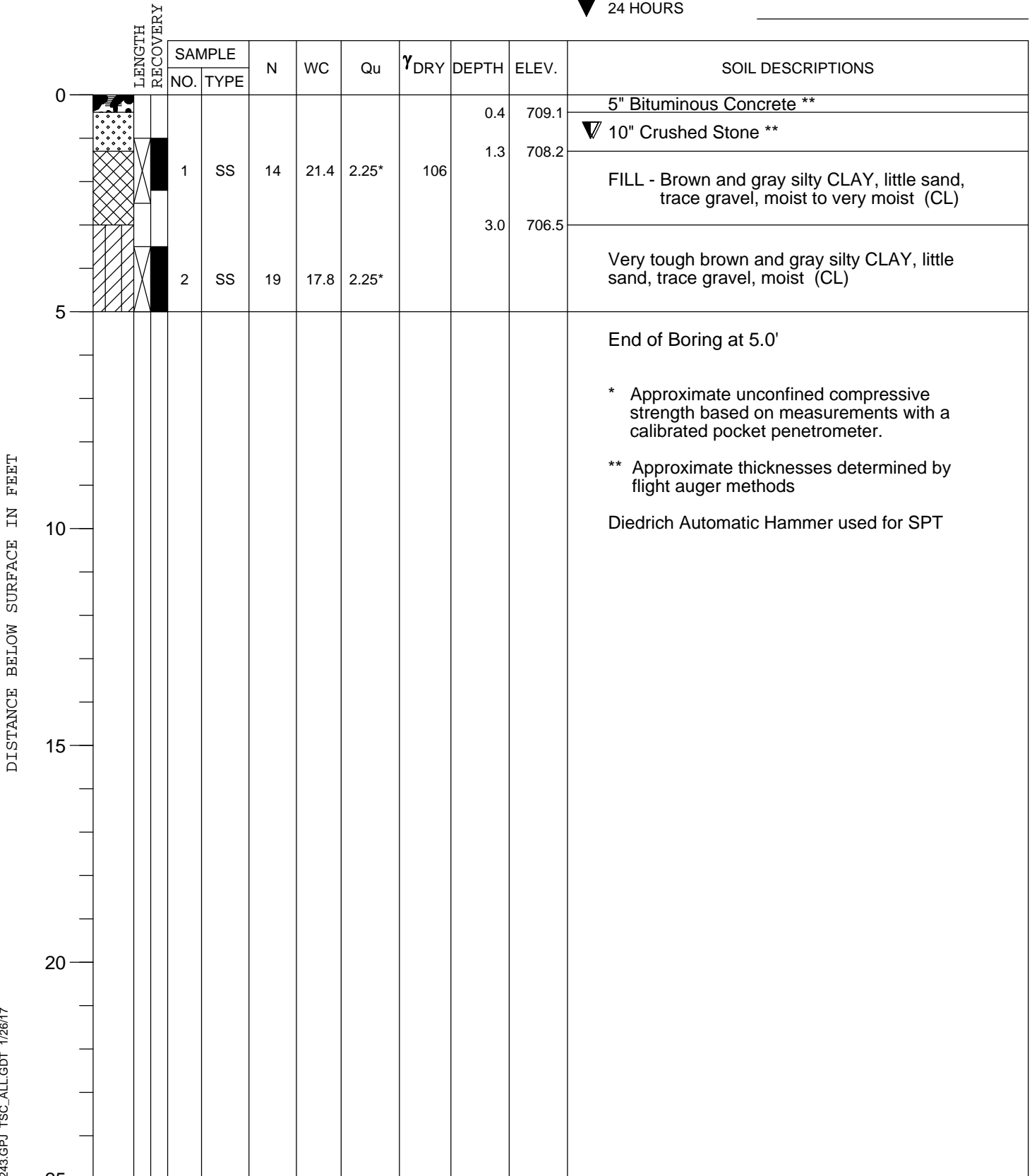


ELEVATIONS

GROUND SURFACE	<b>709.5</b>
END OF BORING	<b>704.5</b>

WATER LEVEL OBSERVATIONS

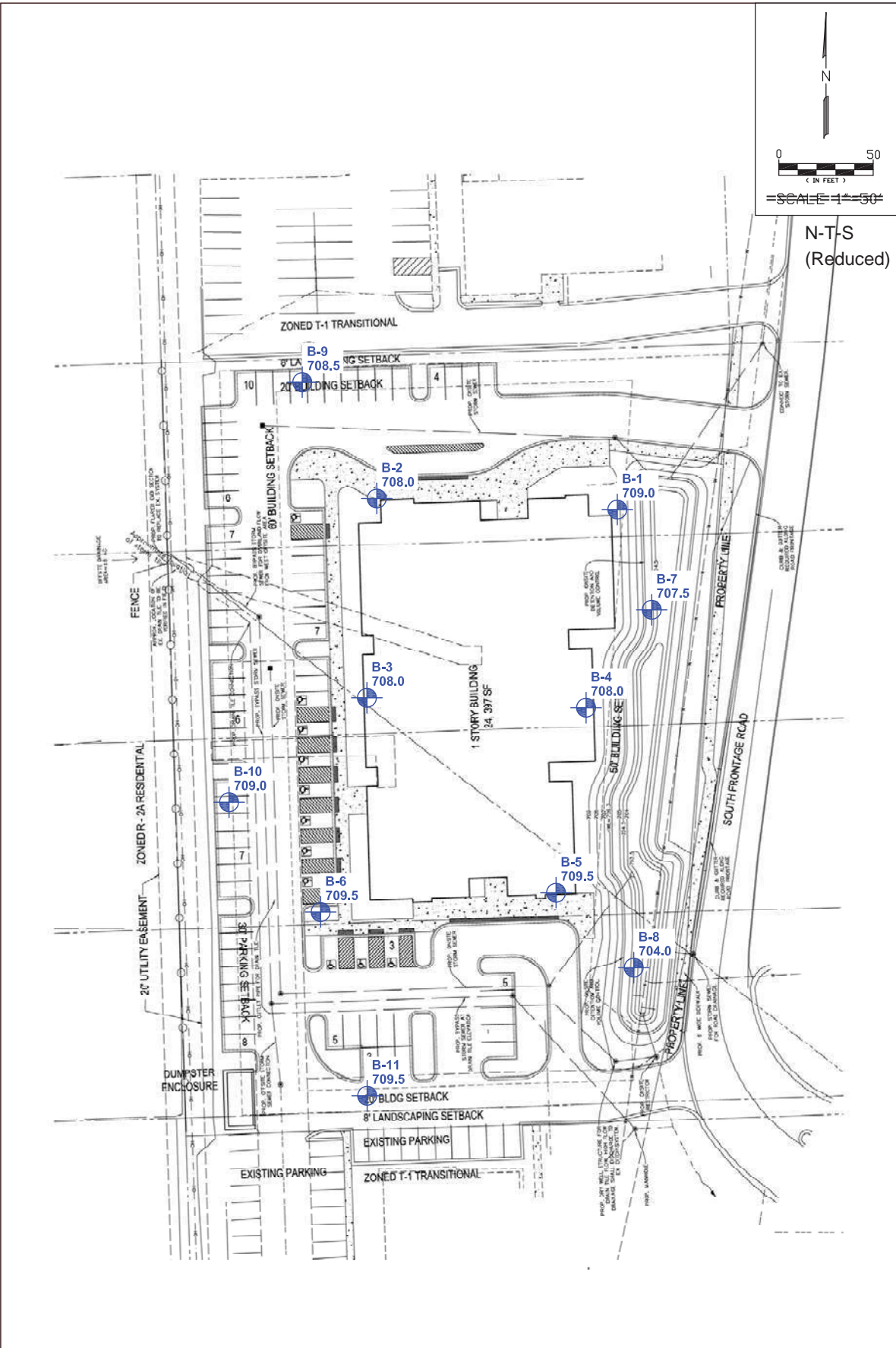
▽ WHILE DRILLING	<b>1.0'</b>
▽ AT END OF BORING	<b>1.0'</b>
▼ 24 HOURS	



DISTANCE BELOW SURFACE IN FEET

TSC 86243.GPJ TSC\_ALL.GDT 1/26/17

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



**NOTE(S):** GROUND SURFACE ELEVATIONS AT THE BORINGS WERE ACQUIRED BY TSC USING A TRIMBLE R8 GNSS RECEIVER, BEING ROUNDED TO THE NEAREST 0.5 FOOT.

**LEGEND**

**SOIL BORING LOCATION**

**BORING LOCATION PLAN**  
**ERIC OUTPATIENT FACILITY**  
 7630 COUNTY LINE ROAD  
 BURR RIDGE, ILLINOIS

**TSC** TESTING SERVICE CORPORATION  
 457 EAST GUNDERSEN DRIVE  
 CAROL STREAM, ILLINOIS 60188

DRAWN BY: ABQ	PAGE NO. 1 OF 1
CHECKED BY: AJB	
JOB NO.: L-86,243	
DATE: 01-25-16	

**TAB 4**



**Manhard**<sup>TM</sup>  
**CONSULTING LTD**

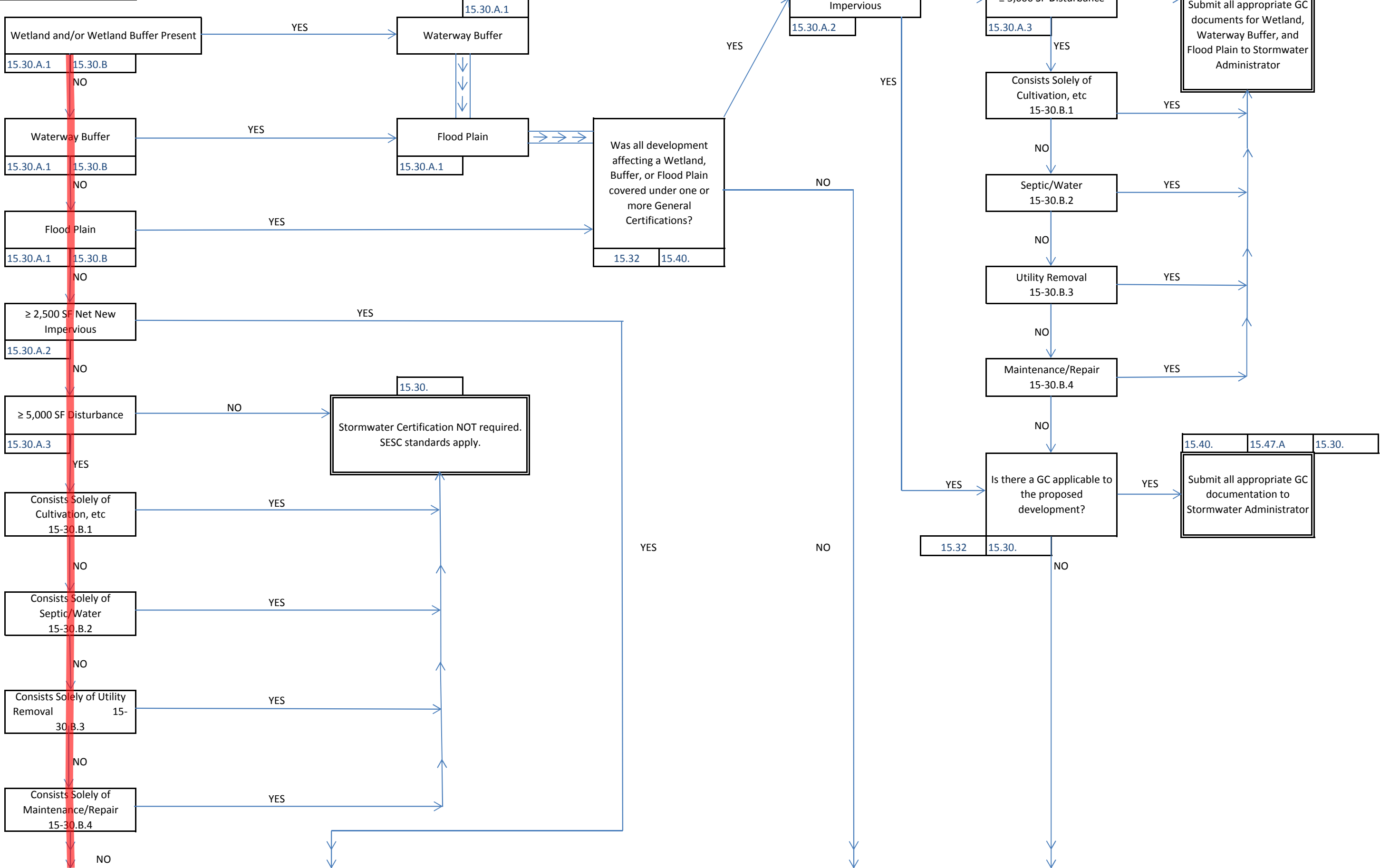
STORMWATER PERMIT SUBMITTAL  
REHABILITATION INSTITUTE OF CHICAGO

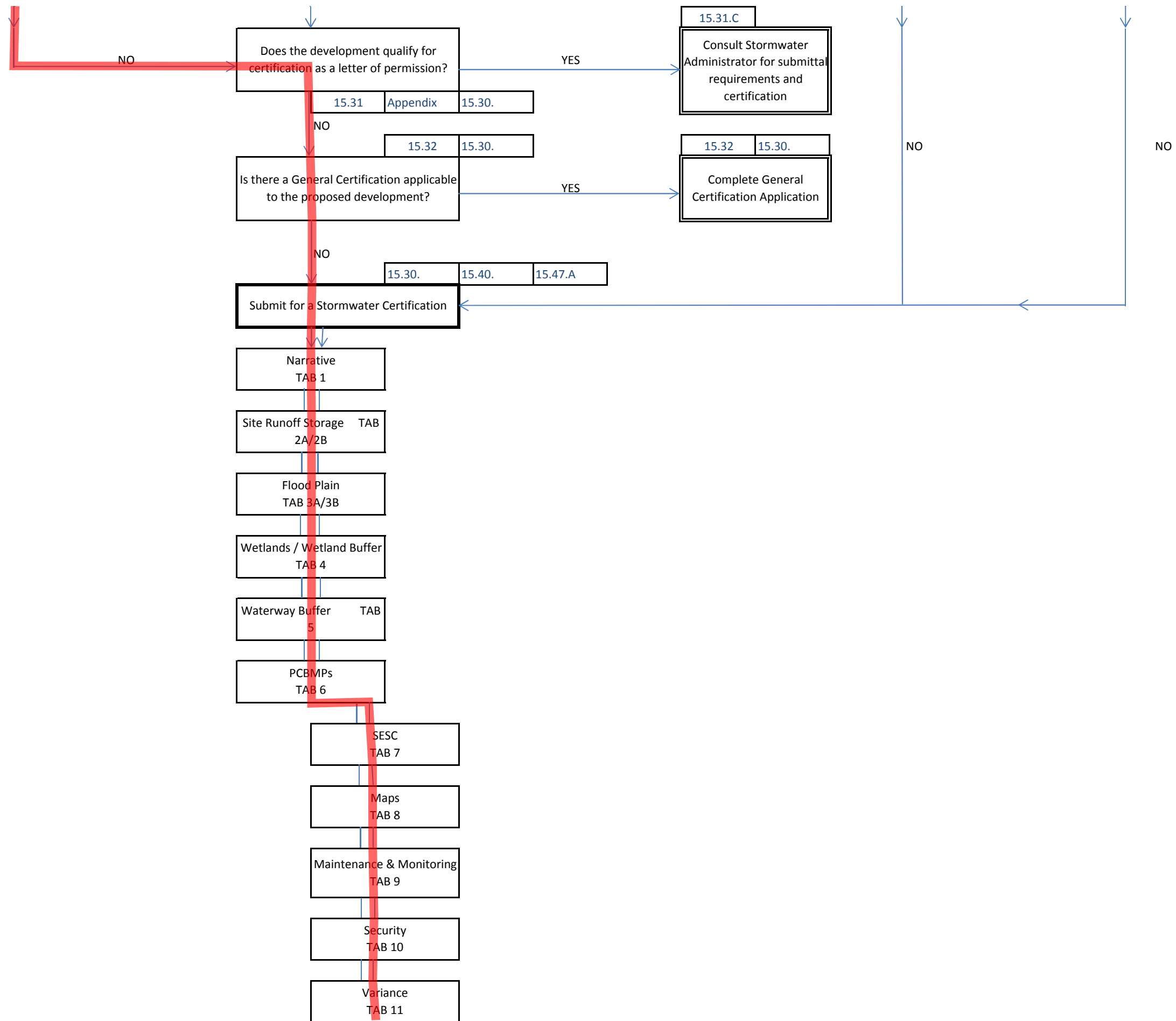
BURR RIDGE, ILLINOIS

PREPARED FOR:  
MEDPROPERTIES GROUP  
40 SKOKIE BOULEVARD, SUITE 410  
NORTHBROOK, ILLINOIS 60062-1696  
(847) 897 – 7310

PREPARED BY:  
MANHARD CONSULTING, LTD.  
700 SPRINGER DRIVE  
LOMBARD, IL 60148  
(630) 691-8500

**JANUARY 2017**  
**REVISED: JANUARY 31, 2017**  
**REVISED: MARCH 20, 2017**





**DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATION APPLICATION**

<b>1. COMMUNITY AND STATUS</b> Non <input type="checkbox"/> Partial <input type="checkbox"/> Complete <input type="checkbox"/>	<b>2. DATE APP. RECEIVED BY COMMUNITY</b> _____	<b>3. STORMWATER APPLICATION/PERMIT NO.</b> <i>(to be assigned by community)</i> _____	<b>4. DEC Tracking No.</b> _____																
<b>5. (Community use only)</b> _____																			
<b>6. NAME, ADDRESS AND TITLE OF APPLICANT</b> Attn: Curtis P. Dettmann, P.E. Manhard Consulting, Ltd 700 Springer Drive Lombard, IL 60148  Email: <u>cdettmann@manhard.com</u> Telephone No. during business hrs: <u>630-925-1045</u>		<b>7. NAME AND ADDRESS OF OWNER</b> Attn: Rick Nelson, Director MedProperlles Group 40 Skokie Boulevard, Suite 410 Northbrook, IL 60062-1696  Email: <u>rnelson@medproperllesgroup.com</u> Telephone No. during business hrs: <u>847-897-7310</u>																	
<b>8 CHECK ALL OF THE FOLLOWING CONDITIONS WHICH APPLY:</b> <table style="width:100%;"> <tr> <td><input type="checkbox"/> Flood Plain</td> <td><input type="checkbox"/> Wetland</td> <td><input checked="" type="checkbox"/> Soil Erosion &amp; Sediment Control</td> </tr> <tr> <td><input checked="" type="checkbox"/> Stormwater Detention</td> <td><input type="checkbox"/> Wetland Buffer</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Best Management Practices</td> <td><input type="checkbox"/> Riparian Buffer</td> <td></td> </tr> </table>				<input type="checkbox"/> Flood Plain	<input type="checkbox"/> Wetland	<input checked="" type="checkbox"/> Soil Erosion & Sediment Control	<input checked="" type="checkbox"/> Stormwater Detention	<input type="checkbox"/> Wetland Buffer		<input checked="" type="checkbox"/> Best Management Practices	<input type="checkbox"/> Riparian Buffer								
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<input checked="" type="checkbox"/> Stormwater Detention	<input type="checkbox"/> Wetland Buffer																		
<input checked="" type="checkbox"/> Best Management Practices	<input type="checkbox"/> Riparian Buffer																		
<b>9. DESCRIPTION OF PROPOSED DEVELOPMENT:</b> Proposed 2.61 acre development with a new rehabilitation center building (±24,900 SF) with parking, stormwater detention, and post construction best management practices.																			
<b>10. LOCATION OF DEVELOPMENT</b> 7600 Fronlage Road  Street Address Burr Ridge  Municipality Flagg Creek  Watershed Planning Area & Tributary		<b>11. LEGAL DESCRIPTION</b> <table style="width:100%; text-align: center;"> <tr> <td></td> <td><u>12</u></td> <td><u>39N</u></td> <td><u>10E</u></td> </tr> <tr> <td></td> <td>1/4 Section</td> <td>Township</td> <td>Range</td> </tr> <tr> <td>PP No.</td> <td><u>0 9 2 5 4</u></td> <td><u>0 2</u></td> <td><u>0 2 6</u></td> </tr> <tr> <td>PP No.</td> <td><u>0 9 2 5 4</u></td> <td><u>0 2</u></td> <td><u>0 1 9</u></td> </tr> </table>			<u>12</u>	<u>39N</u>	<u>10E</u>		1/4 Section	Township	Range	PP No.	<u>0 9 2 5 4</u>	<u>0 2</u>	<u>0 2 6</u>	PP No.	<u>0 9 2 5 4</u>	<u>0 2</u>	<u>0 1 9</u>
	<u>12</u>	<u>39N</u>	<u>10E</u>																
	1/4 Section	Township	Range																
PP No.	<u>0 9 2 5 4</u>	<u>0 2</u>	<u>0 2 6</u>																
PP No.	<u>0 9 2 5 4</u>	<u>0 2</u>	<u>0 1 9</u>																
<b>12. INTENTIONAL MISREPRESENTATION UNDER PENALTY OF PERJURY:</b> I declare that I have examined and/or made this application and rider and it is true and correct to the best of my knowledge and belief. I realize that the information that I have affirmed hereon forms a basis for the issuance of the stormwater management certification(s) herein applied for and approval of plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of any applicable ordinance or to excuse the owner or his successors in title from complying therewith. The Owner and Applicant each understand and agree to construct said improvement in compliance with all provisions of applicable ordinances. <table style="width:100%; margin-top: 10px;"> <tr> <td style="width:50%; text-align: center;">                       Signature of Applicant  <u>Curtis P. Dettmann, P.E.</u>                      Print Applicant Name and Title                 </td> <td style="width:50%; text-align: center;">                       Signature of Owner  <u>Rick Nelson, Director, Development Services</u>                      Print Owner Name and Title                 </td> </tr> <tr> <td style="text-align: center;">Date <u>3/20/17</u></td> <td style="text-align: center;">Date <u>3/17/17</u></td> </tr> </table>				 Signature of Applicant <u>Curtis P. Dettmann, P.E.</u> Print Applicant Name and Title	 Signature of Owner <u>Rick Nelson, Director, Development Services</u> Print Owner Name and Title	Date <u>3/20/17</u>	Date <u>3/17/17</u>												
 Signature of Applicant <u>Curtis P. Dettmann, P.E.</u> Print Applicant Name and Title	 Signature of Owner <u>Rick Nelson, Director, Development Services</u> Print Owner Name and Title																		
Date <u>3/20/17</u>	Date <u>3/17/17</u>																		
<b>13. FOIA:</b> The Applicant acknowledges that all stormwater submittals (including architects' drawings, engineers' technical submissions and other construction-related technical documents containing stormwater management information) submitted with this application may be made available for inspection or copying by the County, notwithstanding 5 ILCS 140/7(1)(k), upon the written request for such materials. Such productions will be restricted to the following parties: i) the Applicant ii) any subsequent owner of the subject property, or iii) any governmental unit having planning or drainage jurisdiction within 1 and 1/2 mile of the subject property. <table style="width:100%; margin-top: 10px;"> <tr> <td style="width:50%; text-align: center;">                       Signature of Applicant  <u>Curtis P. Dettmann, P.E.</u>                      Print Applicant Name and Title                 </td> <td style="width:50%; text-align: center;">                       Signature of Owner  <u>Rick Nelson, Director, Development Services</u>                      Print Owner Name and Title                 </td> </tr> <tr> <td style="text-align: center;">Date <u>3/20/17</u></td> <td style="text-align: center;">Date <u>3/17/17</u></td> </tr> </table>				 Signature of Applicant <u>Curtis P. Dettmann, P.E.</u> Print Applicant Name and Title	 Signature of Owner <u>Rick Nelson, Director, Development Services</u> Print Owner Name and Title	Date <u>3/20/17</u>	Date <u>3/17/17</u>												
 Signature of Applicant <u>Curtis P. Dettmann, P.E.</u> Print Applicant Name and Title	 Signature of Owner <u>Rick Nelson, Director, Development Services</u> Print Owner Name and Title																		
Date <u>3/20/17</u>	Date <u>3/17/17</u>																		
(Office use only)																			
<b>14. STORMWATER REVIEW FEE (separate checks)</b> Community DuPage County Stormwater Management		Amount <u>\$1,215.00</u>	Received By/Title _____																
<b>15. PROBABLE COST</b> Estimate of probable cost of construction of stormwater facilities  Estimate of a natural area, wetland and buffer mitigation area  Estimate of probable cost of implementation and maintenance of soil erosion & sediment control		Amount _____ _____ <u>\$33,431.75</u>	<b>16. SECURITIES</b> Development Security  Natural Area Security  Soil Erosion & Sediment Control Security Total Security	Amount _____ _____ <u>\$5,000.00</u>															
<b>17. FINAL APPROVALS</b> <table style="width:100%;"> <tr> <td style="width:30%;">Community Certification</td> <td style="width:20%;">Date _____</td> <td style="width:30%;">Approved By/Title _____</td> <td style="width:20%;">Seal/Stamp _____</td> </tr> <tr> <td>County Authorization</td> <td>Date _____</td> <td>Approved By/Title _____</td> <td>Seal/Stamp _____</td> </tr> </table> <p>****Certifications expire December 31<sup>st</sup> of the third year from the date of Certification or Authorization, whichever is earlier.</p>				Community Certification	Date _____	Approved By/Title _____	Seal/Stamp _____	County Authorization	Date _____	Approved By/Title _____	Seal/Stamp _____								
Community Certification	Date _____	Approved By/Title _____	Seal/Stamp _____																
County Authorization	Date _____	Approved By/Title _____	Seal/Stamp _____																
<b>18. SPECIAL CONDITIONS</b> _____																			



RIDER TO DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATION

THIS FORM MUST ACCOMPANY EVERY DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATION APPLICATION

STORMWATER APPLICATION/PERMIT No. \_\_\_\_\_ DEC TRACKING No. \_\_\_\_\_

1. CHECK LIST: (Community Sign-off with Initials)

A Professional Engineer under the employment of the Applicant provided a statement within the submittal rendering an opinion that the development meets the minimum criteria for stormwater management in accordance with the Ordinance. (15-36)
General Provisions – Building Protection: flood proofing measures certified by a professional engineer are included in this submittal. (15-28.A)
The Applicant certifies that on site infiltration (PCBMP) area complies with the Ordinance (15-63.B.2).
The developer shall grant (at the time of permitting), to the County or waiver community, a temporary easement authorizing access to the development site to comply with Article VI of the Ordinance.

2. STORMWATER MANAGEMENT AFFIDAVITS and STATEMENTS (Check and Sign all that apply)

LETTER OF PERMISSION:
The undersigned affirm that all calculations are in accordance with standard engineering practice and have been checked for accuracy of calculation and are in compliance with the requirements of the Ordinance (15-31).

Signature of Applicant: Curtis P. Dettmann, P.E. Date: 3/20/17
Signature of Design Professional: Curtis P. Dettmann, P.E. Date: 3/20/17

DESIGN REQUIREMENTS:
I certify that I am aware of the design requirements of the IEPA NPDES ILR10 permit and I certify that the plan meets those requirements. (15-50.A)

Signature of Applicant: Curtis P. Dettmann, P.E. Date: 3/20/17

3. STATEMENT OF OPINION: (15-47.A.5)

I acknowledge the presence of flood plain, I acknowledge the presence of wetlands, I acknowledge the presence of buffers.
I deny the presence of flood plain, I deny the presence of wetlands, I deny the presence of buffers.

Signature(s) of Qualified Professional(s): Curtis P. Dettmann, P.E. Date: 3/20/17
Print Qualified Professional(s) Name(s) and Title(s): Curtis P. Dettmann, P.E.

4. SOIL EROSION and SEDIMENT CONTROL REQUIREMENTS:

Developments with land disturbance greater than one (1) acre: I certify that the site complies with the IEPA NPDES ILR 10 permit. (15-59.W)

Signature of Applicant: Curtis P. Dettmann, P.E. Date: 3/20/17
Print Applicant Name and Title: Curtis P. Dettmann, P.E.

Developments with land disturbance less than one (1) acre that are not part of a larger common plan: I certify that the development meets the soil erosion and sediment control design criteria found in Article VII. (15-50.B)

Signature of Qualified Designer: \_\_\_\_\_ Date: \_\_\_\_\_ Print Qualified Designer Name and Title: \_\_\_\_\_

5. WETLAND BOUNDARY:

I acknowledge the wetland boundary and Ordinary High Water Mark have been verified on \_\_\_\_\_ (15-48.C.2)

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_ Print Applicant Name and Title: \_\_\_\_\_

6. SPECIAL CONDITIONS: (THIS SECTION TO BE COMPLETED AT PERMIT ISSUANCE)(Indicate All That Apply)

I acknowledge that a record drawing signed by either a Professional Engineer or a Professional Land Surveyor depicting the as-constructed size, rim and inverts elevations of pipes, stormwater structures and culverts, and contours and flood storage volumes of all required basins of the major and minor stormwater systems will be submitted for review and approval upon completion of the stormwater facilities. (15-47.B)

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_ Print Owner Name and Title: \_\_\_\_\_

An informational note acknowledging the presence of on-site wetlands, buffers, flood plains, and PCBMPs with drainage area one (1) acre or greater has been recorded against the title to alert all future owners and shall reference the Stormwater Management Certification number. (15-47.C)

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_ Print Owner Name and Title: \_\_\_\_\_

I have read and acknowledge all other general conditions and special conditions if applicable, on the authorization/certification letter dated \_\_\_\_\_

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_ Print Owner Name and Title: \_\_\_\_\_

# DuPage County Countywide Stormwater and Flood Plain Ordinance

## Stormwater Submittal Checklist - 5/22/2002

Date:	Reviewer:	Stormwater Permit No.:
-------	-----------	------------------------

<b>Tab 1</b>	<b>Project Overview (Sec. 15-148)</b>
--------------	---------------------------------------

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
✓				Completed Stormwater Permit Application	
				Copy of a completed Joint Application form with transmittal letters to the appropriate agencies if the development is in a special management area (Tab 3B, 4, 5).	
✓				Narrative description of development, existing conditions, and proposed impacts on stormwater, wetland, riparian and flood plain.	
✓				USGS map showing project location.	
✓				FIRM showing development location	
✓				FEQ map showing development location.	
✓				County wetland map showing development location	
✓				NRCS map (DuPage County Soil Conservation Service Map) showing development location.	
✓				Estimate of Probable Cost to construct stormwater facilities.	

Name of Applicant: Curtis P. Dettmann, P.E.

Name of Reviewer: \_\_\_\_\_

Signature of Applicant: \_\_\_\_\_

Signature of Reviewer: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

## Tab 1 – Project Overview

### Sec. 15-148

#### Narrative Description of Development

##### Project Summary

The proposed project is located at 7600 Frontage Road in Burr Ridge, Illinois. The project site is 2.61 acres and is planned to be a 24,915 SF rehabilitation institute with parking, stormwater detention, and post construction best management practices.

##### Existing Conditions

The existing site is two lots each with a single story building on each lot as well as surface parking for each building. The Frontage Road borders the east side of both lots. The lots to the north and south both have buildings with parking. West of the site is a residential subdivision.

The existing drainage generally drains from northwest to southeast where there is an existing ditch that runs north-south along the Frontage Road, ultimately draining to the south. There is an existing storm sewer corridor that consists of a 12" storm sewer, an 18" storm sewer, and an existing draintile that crosses through the middle of the site draining the subdivision from the west to the existing ditch on the east side of the site.

Tab 2 of this report summarizes the existing drainage areas both offsite and onsite as well as The Existing Drainage Exhibit (Exhibit 2-2 located in Tab 2 of this report) shows the drainage areas tributary to the site.

##### Proposed Impacts on Stormwater

The proposed site is two parcels combined into one approximately 2.61 acre site including the storm sewer corridor. The site is planned for one building that crosses the storm sewer corridor, therefore the storm sewer that drains the subdivision to the west will be removed and new storm sewer will be installed to reroute the offsite drainage around the building.

The net new impervious area for the proposed site is 1,378 SF, a breakdown of existing and proposed impervious areas is included in Tab 2 of this report. Based on the net new impervious area and according to the DuPage Countywide Floodplain and Stormwater Ordinance, Stormwater BMP's and detention are not required. Although, per the Village of Burr Ridge municipal code, Volume Control BMP's shall be provided at 1.25" per the proposed impervious surface of the site. Per discussions with the Village of Burr Ridge, the existing site provides stormwater detention in portions of the parking lot and the Village of Burr Ridge is requiring that the proposed site provide the same storage as previously provided. The proposed development plans to provide the required detention and post construction best management practices in a north south facility located on the east side of the site along the Frontage Road.

Tab 2 of this report summarizes the proposed drainage conditions as well as summarizes the existing site detention and the site post construction best management practices and detention.

## Wetlands

There are no wetlands located on the project site. See the US Fish and Wildlife Wetland Map Exhibit 1-7.

## Floodplain

There is no Floodplain on the project site. The FIRM Map, DuPage County FEQ Map, and DuPage County RFM Map have been included with the exhibits at the end of this Tab for reference.

## Riparian

There is no Riparian environment on the project site. Therefore, there are no impacts or mitigation required.

## Summary

- Stormwater Detention is required to be provided and meet the existing condition detention volume per the Village of Burr Ridge and DuPage County Stormwater Ordinance and has been provided.
- Post Construction Best Management Practices (PCBMP's) are required and provided per the Village of Burr Ridge Stormwater Ordinance for the entire proposed impervious area.
- There is no Floodplain, Wetland or Riparian Environment present on the site.
- Detailed design calculations and analysis are provided within Tab 2 of this document.

## Exhibits

1-1 Location Map

1-2 Aerial Map

1-3 USGS Map

1-4 FIRM

1-5 DuPage County FEQ Map

1-6 DuPage County RFM

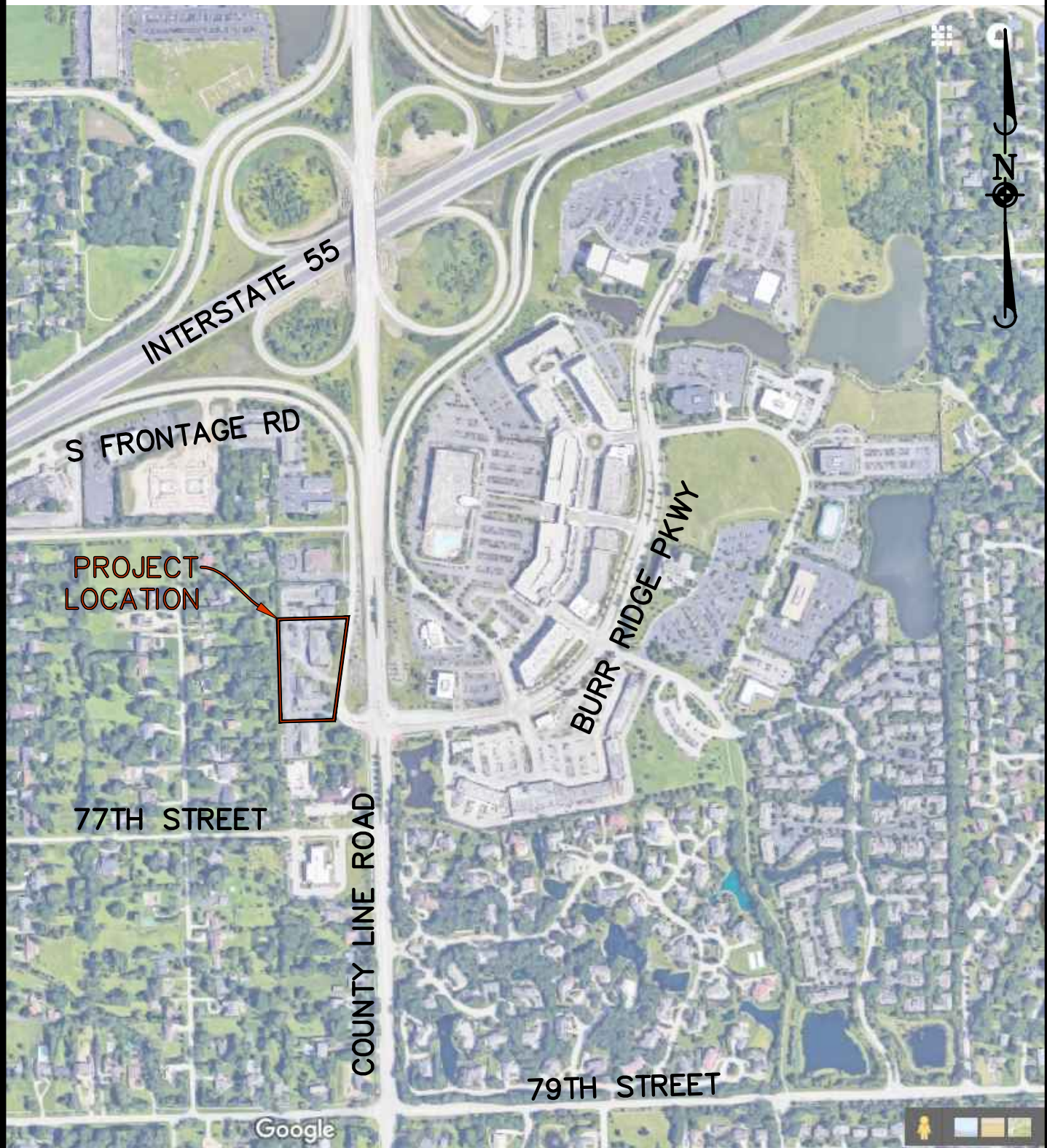
1-7 US Fish and Wildlife Wetland Map

1-8 NRCS Soil Map

1-9 Soil Borings prepared by Testing Services Corporation

1-10 Estimate of Probable Cost to Construct Stormwater Facilities





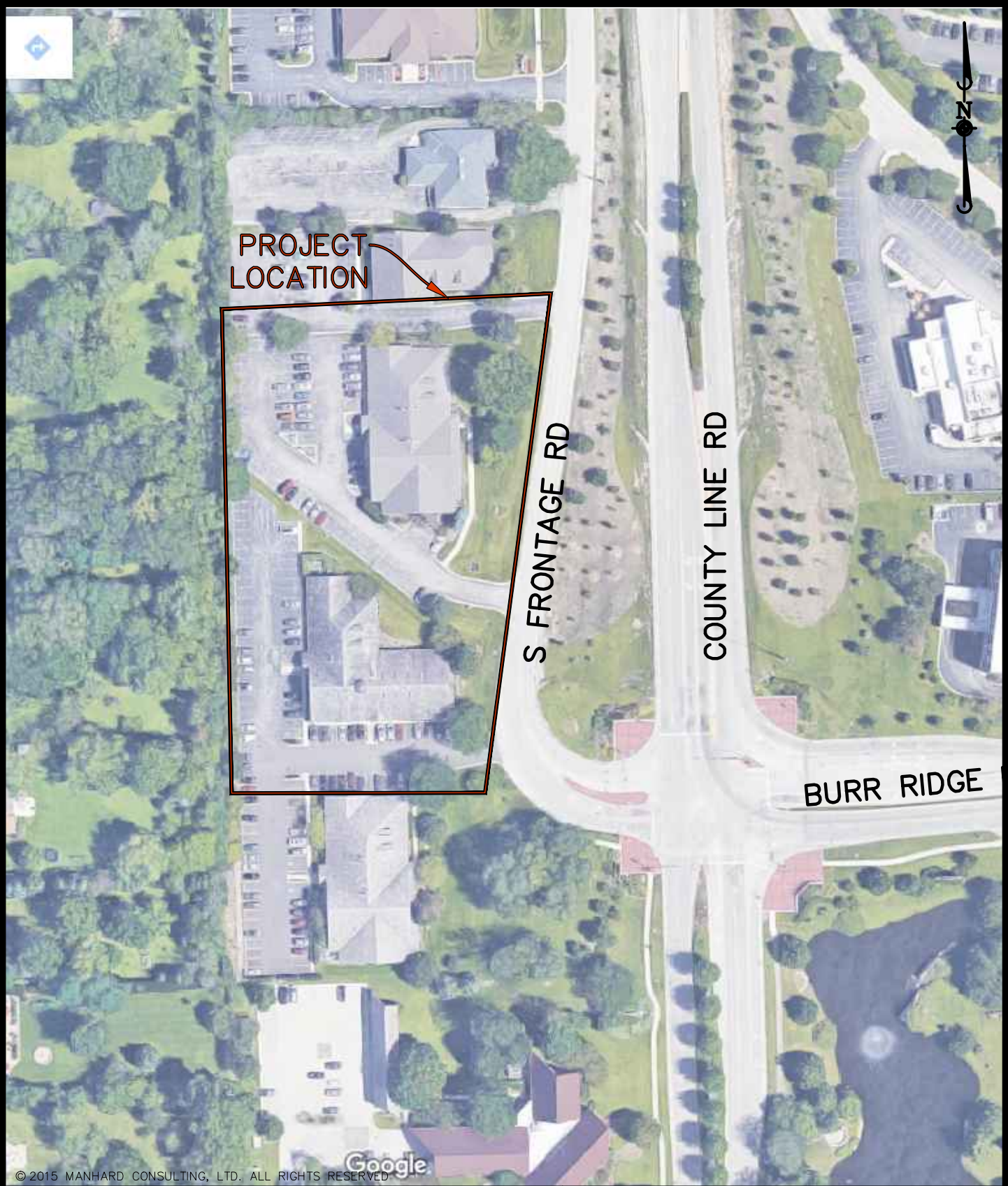
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REHABILITATION INSTITUTE OF CHICAGO	
VILLAGE OF BURR RIDGE, ILLINOIS	
LOCATION MAP	
PROJ. MGR.:	CPD
DRAWN BY:	HCM
DATE:	1/27/17
SCALE:	N.T.S.
SHEET	
<b>EXHIBIT 1-1</b>	
HDR.BUIL01	





PROJECT  
LOCATION

S FRONTAGE RD

COUNTY LINE RD

BURR RIDGE

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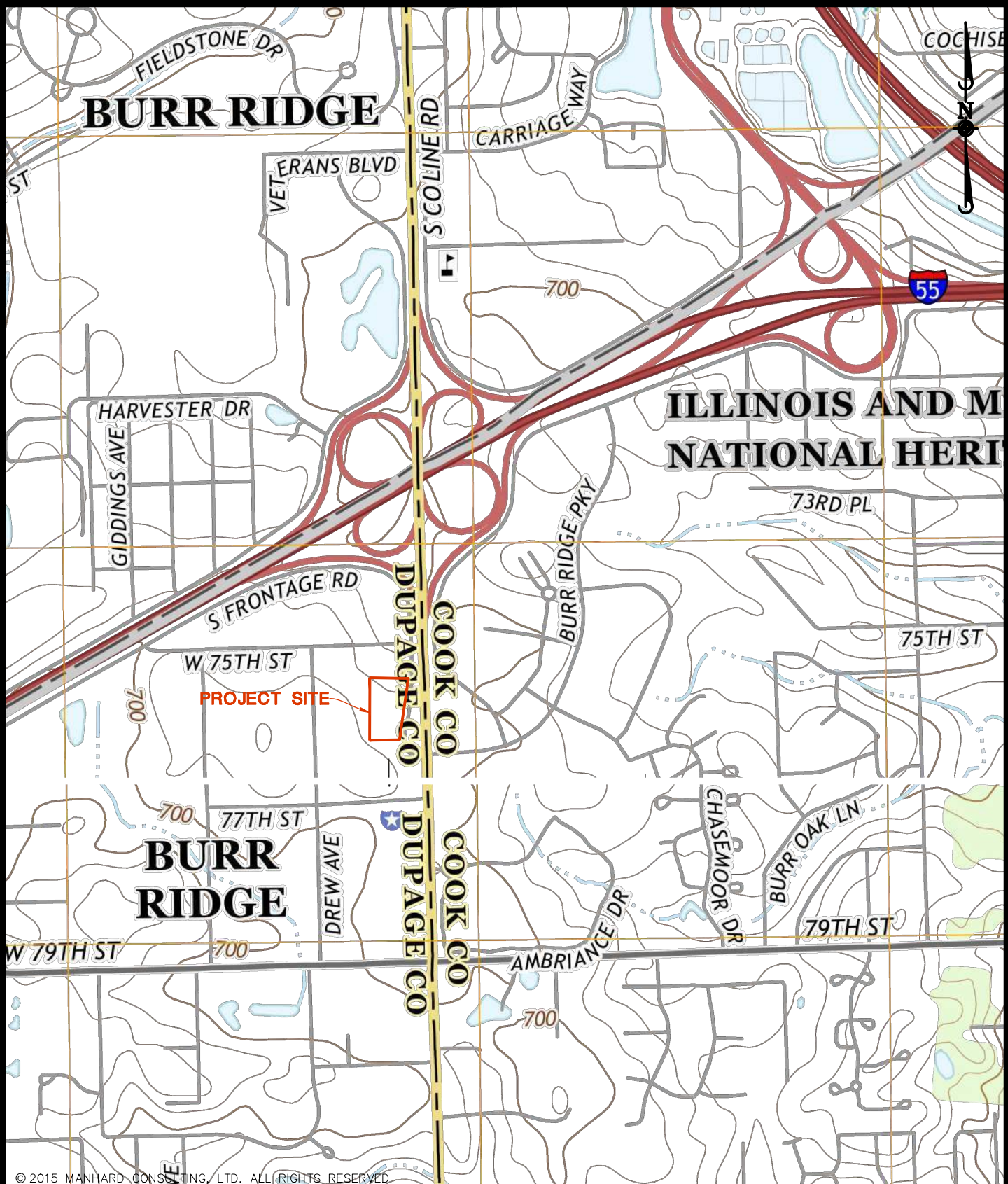
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 AERIAL EXHIBIT

PROJ. MGR.: CPD  
 DRAWN BY: HCM  
 DATE: 1/27/17  
 SCALE: N.T.S.

SHEET  
**EXHIBIT 1-2**  
 HDR.BUIL01





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USGS TOPOGRAPHIC MAP EXHIBIT	
PROJ. MGR.: <u>CPD</u>	SHEET
DRAWN BY: <u>HCM</u>	<b>EXHIBIT 1-3</b>
DATE: <u>1/27/17</u>	HDR.BUIL01
SCALE: <u>N.T.S.</u>	

Dwg Name: P:\Hdrcuil01\Documents\StormWater Reports\Final Stormwater Reports\Tab 1\Exhibits\Stormwater Report Exhibits.dwg Updated By: MEGAN 12:55

NFP

PANEL 0909H

**FIRM**

**FLOOD INSURANCE RATE MAP**

DuPAGE COUNTY,  
ILLINOIS  
AND INCORPORATED AREAS

PANEL 0909 OF 1006

USE MAP INDEX FOR FIRM PANEL LAYOUT

**CONTAINS:**

COMMUNITY	NUMBER	PANEL	SUFFIX
DuPAGE COUNTY	17043	0909	H
DuPAGE COUNTY	17043	0909	H
WILLOWBROOK VILLAGE OF	17022	0909	H

Notes to User: This Map Number shown below should be used when placing map orders, the Community Number shown above should be used on insurance applications for the subject community.



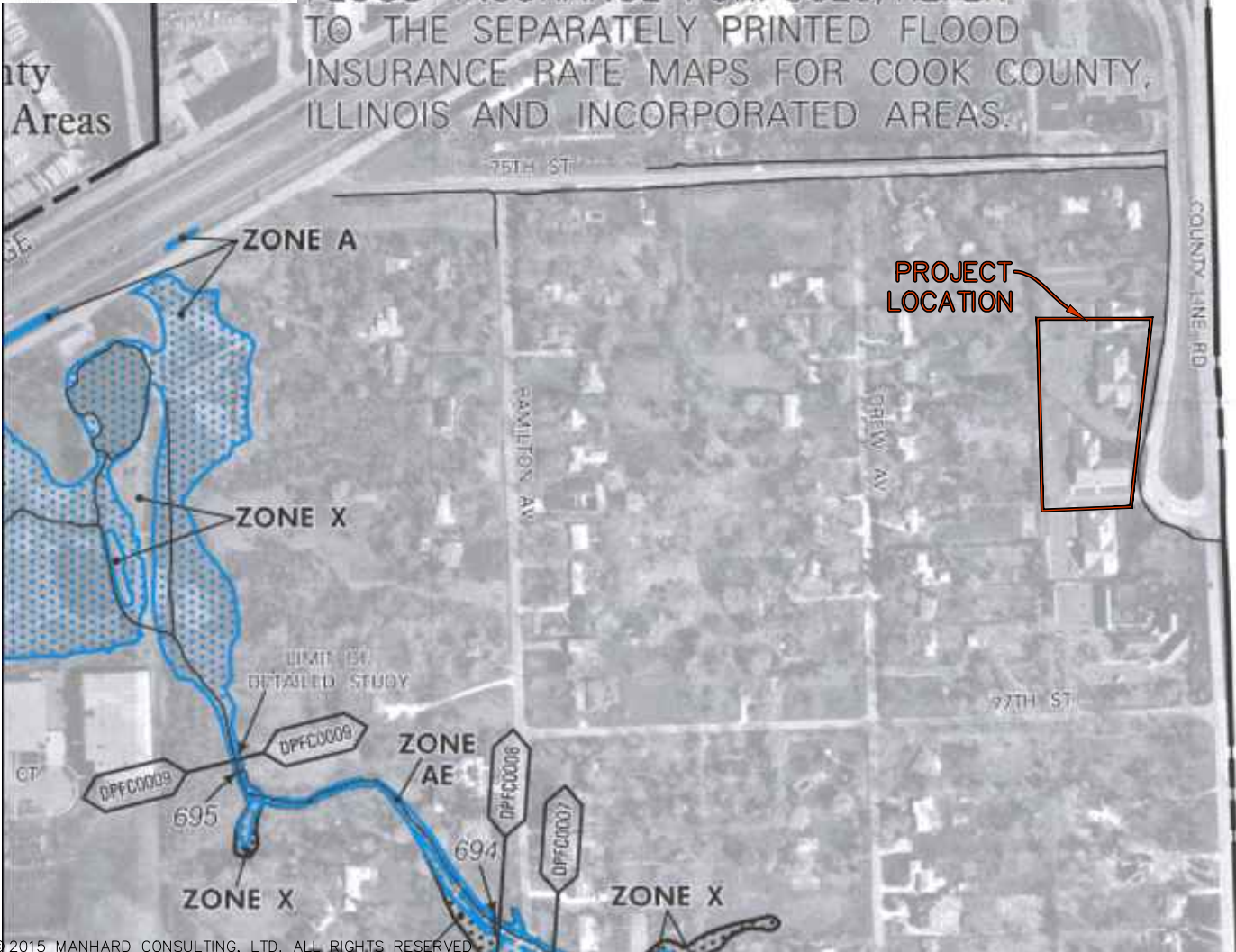
MAP NUMBER  
17043C0909H  
EFFECTIVE DATE  
DECEMBER 16, 2004

Federal Emergency Management Agency

NATIONAL FLOOD INSURANCE PROGRAM



FLOOD HAZARD INFORMATION IS SHOWN WITHIN THE VILLAGE OF BURR RIDGE FOR INFORMATION PURPOSES ONLY. FOR FLOOD INSURANCE PURPOSES, REFER TO THE SEPARATELY PRINTED FLOOD INSURANCE RATE MAPS FOR COOK COUNTY, ILLINOIS AND INCORPORATED AREAS.



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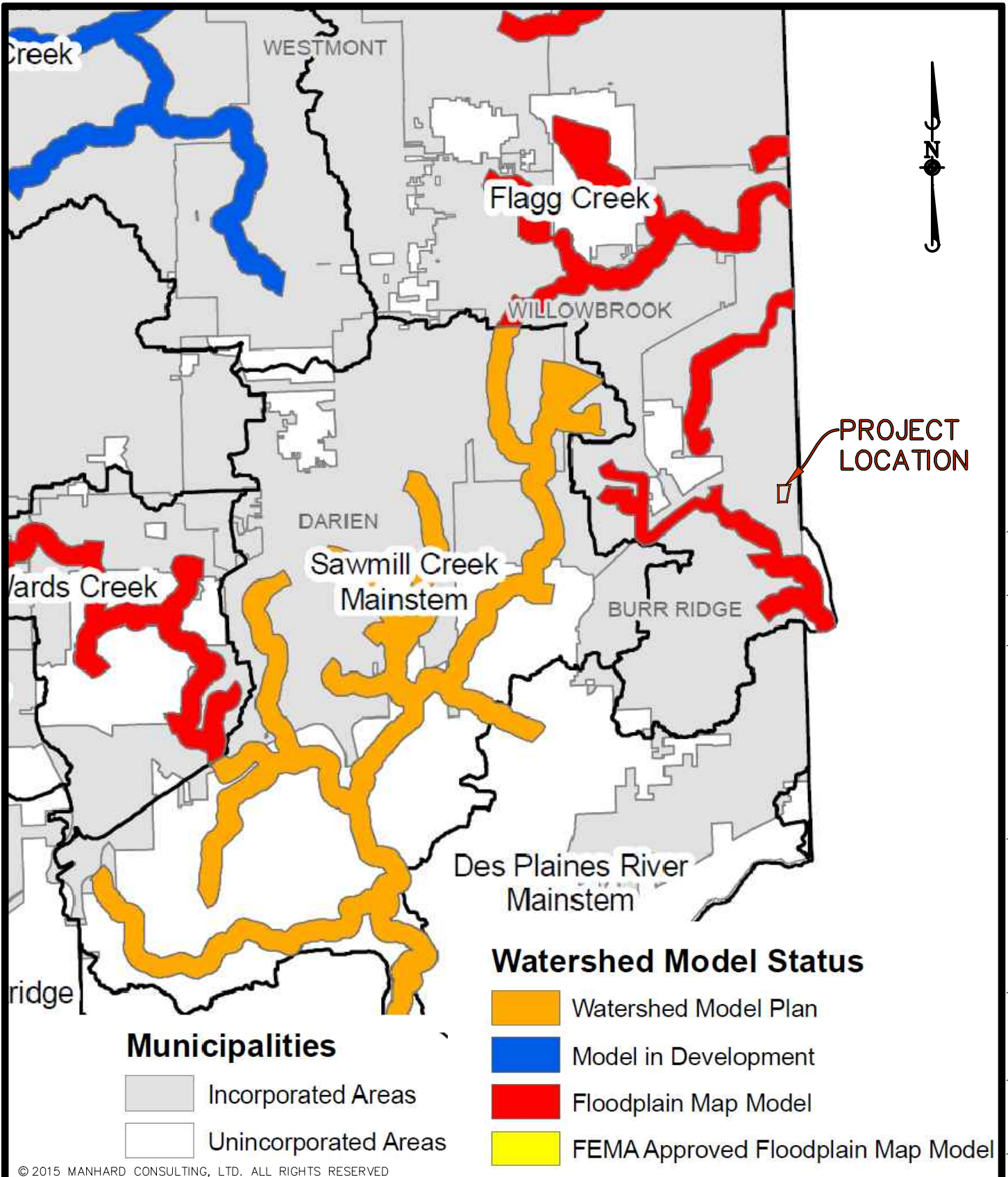


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FEMA FLOOD RATE INSURANCE MAP EXHIBIT	
PROJ. MGR.: <u>CPD</u>	SHEET
DRAWN BY: <u>HCM</u>	<b>EXHIBIT 1-4</b>
DATE: <u>1/27/17</u>	HDR.BUIL01
SCALE: <u>N.T.S.</u>	

Dwg Name: P:\Hdrcuil01\Documents\StormWater Reports\Final Stormwater Reports\Tab 1\Exhibits\Stormwater Report Exhibits.dwg Updated By: hmeyer 17:36





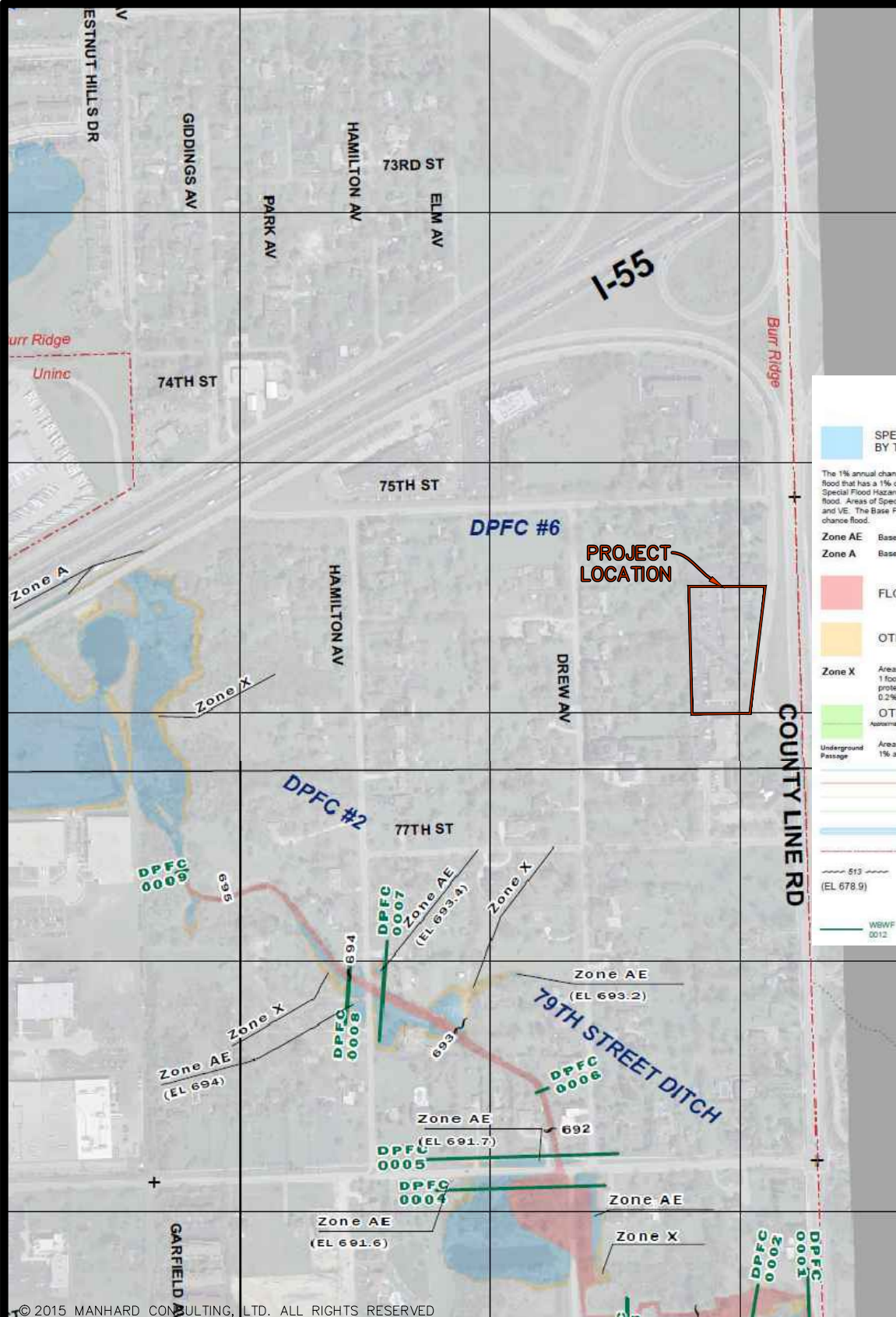
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**Manhard**  
CONSULTING LTD

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VILLAGE OF BURR RIDGE, ILLINOIS	
DUPAGE FEQ STATUS MAP	
PROJ. MGR.: <u>CPD</u>	SHEET
DRAWN BY: <u>HCM</u>	<b>EXHIBIT 1-5</b> HDR.BUIL01
DATE: <u>1/27/17</u>	
SCALE: <u>N.T.S.</u>	

Dwg Name: P:\Hdrcuil01\Documents\StormWater Reports\Final Stormwater Reports\Tab 1\Exhibits\Stormwater Report Exhibits.dwg Updated By: hmeyer 17:36



**DUPAGE REGULATORY FLOOD MAP**

PANEL 0193 A

**RFM**  
REGULATORY FLOOD MAP  
DUPAGE COUNTY, ILLINOIS  
AND INCORPORATED AREAS  
PANEL 0193 of QUADRANGLE  
HICKEDALE  
(SEE MAP INDEX FOR PANEL LAYOUT)

COUNTY	CODE	AREA	TITLE
BURR RIDGE	8	170071	Village
HICKEDALE	15	170105	Village
UNINCORPORATED DUPAGE	0	170197	County
WILLOWBROOK	35	170222	Village

MAP NUMBER: 17043C0193 A  
EFFECTIVE DATE: July 7, 2010  
Federal Emergency Management Agency

**LEGEND**

**SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOOD EVENTS**

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AD, AR, A99, V, and VE. The Base Flood Elevation is the water surface elevation of the 1% annual chance flood.

**Zone AE** Base flood elevations determined. BFE lines shown.  
**Zone A** Base flood elevations undetermined.

**FLOODWAY AREAS** Approximate Structure Centers  
**OTHER FLOOD AREAS**

**Zone X** Areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; areas protected by levees from the 1% annual chance flood; areas of 0.2% annual chance flood.  
**OTHER AREAS** Approximate Structure Centers

**Underground Passage** Areas over underground passages carrying some or all of the 1% annual chance flood.

**1% Annual Chance Floodplain Boundary**  
**Floodway Boundary**  
**0.2% Annual Chance Floodplain Boundary**  
**Other Areas**

**Boundary dividing SFHAs of different Base Flood Elevations, depths, velocities, or zones.**  
**Incorporated**

**Base Flood Elevation line and value; elevation in feet'**  
(EL 678.9)  
**Base Flood Elevation value where uniform within zone; elevation in feet'**  
"Referenced to the National Geodetic Vertical Datum of 1929 (NGVD29)."  
**Cross Section Line and Name**

WSWF 6012

**DUPAGE REGULATORY FLOOD MAP**

PANEL 0281 A

**RFM**  
REGULATORY FLOOD MAP  
DUPAGE COUNTY, ILLINOIS  
AND INCORPORATED AREAS  
PANEL 0281 of QUADRANGLE  
SAG BRIDGE  
(SEE MAP INDEX FOR PANEL LAYOUT)

COUNTY	CODE	AREA	TITLE
BURR RIDGE	8	170071	Village
UNINCORPORATED DUPAGE	0	170197	County
WILLOWBROOK	35	170222	Village

MAP NUMBER: 17043C0281 A  
EFFECTIVE DATE: July 7, 2010  
Federal Emergency Management Agency

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VILLAGE OF BURR RIDGE, ILLINOIS  
DUPAGE RFM EXHIBIT

PROJ. MGR.:	CPD	SHEET	
DRAWN BY:	HCM	<b>EXHIBIT 1-6</b>	
DATE:	1/27/17		HDR.BUIL01
SCALE:	N.T.S.		

Dwg Name: P:\Hdbuil01\Documents\StormWater Reports\Final Stormwater Reports\Tab 1\Exhibits\Stormwater Report Exhibits.dwg Updated By: hmeyer 17:36





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 NATIONAL WETLANDS INVENTORY EXHIBIT

PROJ. MGR.: CPD  
 DRAWN BY: HCM  
 DATE: 1/27/17  
 SCALE: N.T.S.

SHEET  
**EXHIBIT 1-7**  
 HDR.BUIL01





DuPage County, Illinois (IL043)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
530C2	Ozaukee silt loam, 4 to 6 percent slopes, eroded	0.1	2.5%
805B	Orthents, clayey, undulating	2.8	97.5%
<b>Totals for Area of Interest</b>		<b>2.9</b>	<b>100.0%</b>

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VILLAGE OF BURR RIDGE, ILLINOIS	
NRCS SOIL MAP EXHIBIT	
PROJ. MGR.: <u>CPD</u>	SHEET
DRAWN BY: <u>HCM</u>	<b>EXHIBIT 1-8</b>
DATE: <u>1/27/17</u>	HDR.BUIL01
SCALE: <u>N.T.S.</u>	



TESTING SERVICE CORPORATION

*Corporate Office*

360 S. Main Place, Carol Stream, IL 60188-2404  
630.462.2600 • Fax 630.653.2988

*Local Offices:*

457 E. Gundersen Drive, Carol Stream, IL 60188-2492  
630.653.3920 • Fax 630.653.2726

650 N. Peace Road, Suite D, DeKalb, IL 60115-8401  
815.748.2100 • Fax 815.748.2110

1350 TriState Parkway, Unit 122, Gurnee, IL 60031-9135  
847.249.6040 • Fax 844.767.4721

2235 23<sup>RD</sup> Avenue, Rockford, IL 61104-7334  
815.394.2562 • Fax 815.394.2566

203 Earl Road, Suite A, Shorewood, IL 60404-9446  
815.744.1510 • Fax 815.744.1728

# Report of Soils Exploration

## RIC Outpatient Facility

## 7630 S. County Line Road

## Burr Ridge, Illinois

# HDR Engineering/ Architecture, Inc.

*Geotechnical & Environmental Engineering*



*Construction Materials Engineering & Testing*



*Laboratory Testing of Soils, Concrete & Asphalt*



*Geo-Environmental Drilling & Sampling*

# GEOTECHNICAL GROUP





TESTING SERVICE CORPORATION

*Local Office:*

457 E. Gundersen Drive, Carol Stream, IL 60188-2492  
630.653.3920 • Fax 630.653.2726

*Corporate Office:*

360 S. Main Place, Carol Stream, IL 60188-2404  
630.462.2600 • Fax 630.653.2988

Local Office  
January 27, 2017

Mr. Todd Eicken  
HDR Engineering/Architecture, Inc.  
30 West Monroe Street, Suite 700  
Chicago, Illinois 60603

Re: L-86,243  
RIC Outpatient Facility  
7630 S. County Line Road  
Burr Ridge, Illinois

Dear Mr. Eicken:

This report presents results of a soils exploration performed for the proposed Rehabilitation Institute of Chicago (RIC) Outpatient Facility in Burr Ridge, Illinois. These geotechnical engineering services have been provided in accordance with TSC Proposal No. 57,989B dated January 6, 2017 and the attached General Conditions, incorporated herein by reference.

The project site is located at 7630 S. County Line Road, part of a commercial/office development. Two (2) existing buildings (to be demolished) with asphalt parking/driveway and landscaped areas around them are presently located on the property. A drainage ditch is present along the east end of the site next to South Frontage Road. The proposed building site is relatively flat with the ground surface elevations at the boring locations only varying by about 1½ feet.

The proposed RIC Outpatient Facility will be a 1-story building with a footprint of ±24,400 sf. It will be a slab-on-grade structure (i.e. no basements) with top of finished floor (FF) set at Elevation 709.5. The maximum exterior and interior column loads have been estimated by the Structural Engineer at 62 kips (24 kips DL) and 102 kips (42 kips DL), respectively. It is understood that the existing pavement areas are to be reconstructed as part of the proposed site redevelopment.

A Preliminary Storm Layout plan provided by Manhard Consulting (dated 1-04-17) shows a proposed detention basin along the east end of the site, i.e. in the area of the existing drainage ditch. The high water level (HWL) is shown at Elevation 706.3, with the bottom of the proposed basin ranging from Elevations 703.5 - 704.5.

Results of field and laboratory testing and recommendations based upon these data are included in this report. Specifically addressed are structure and floor slab support, site-grading/demolition issues, pavement design and construction, the detention basin, and groundwater management.

### **Field Investigation and Laboratory Testing**

Eleven (11) soil borings were performed for this study. The boring locations were selected and laid out in the field by TSC. Reference is made to this enclosed Boring Location Plan for the drilling layout, ground surface elevations at the borings also being shown. The elevations were acquired by TSC

using a Trimble R8 GNSS Receiver which uses the North American Vertical Datum of 1988 (NAVD88), being rounded to the nearest 0.5 foot.

Borings 1 - 6 in the building area were extended 15 feet below existing grade, with Borings 7 and 8 for the proposed detention basin also to 15 feet and Borings 9 - 11 in pavement areas to 5 feet. They were drilled and samples tested in accordance with currently recommended American Society for Testing and Materials specifications. Soil sampling was performed at 2½-foot intervals in conjunction with the Standard Penetration Test (SPT), for which driving resistance to a 2" split-spoon sampler (N-value in blows per foot) provides an indication of the relative density of granular materials and consistency of cohesive soils. Water level readings were taken during and following completion of drilling operations, with the boreholes then immediately backfilled for safety reasons and those in pavement areas also patched at the surface.

Soil samples were examined in the laboratory to verify field descriptions and to classify them in accordance with the Unified Soil Classification System. Laboratory testing included water content determinations for all cohesive and intermediate (silt or loamy) soil types. An estimate of unconfined compressive strength was obtained for all cohesive soils using a calibrated pocket penetrometer (Qp), with actual measurements of unconfined compressive strength (Qu) performed on representative samples of native clay soils. Dry unit weight tests were also run on specimens of clay fill.

Reference is made to the attached boring logs which indicate subsurface stratigraphy and soil descriptions, results of field and laboratory tests, as well as water level observations. Definitions of descriptive terminology are also included. While strata changes are shown as a definite line on the boring logs, the actual transition between soil layers will probably be more gradual.

### **Discussion of Test Data**

Boring 1 was performed in an existing sidewalk, encountering 4½" P.C. concrete underlain by 5 inches granular base course materials. Borings 2, 6 and 9 - 11 (5 total) were drilled in existing pavement areas, revealing 2 to 5 inches bituminous concrete underlain by 5 to 12 inches granular base. The pavement thicknesses were estimated from the disturbed sides of the augered boreholes and should be considered approximate; pavement cores may be taken if more accurate measurements or descriptions of the pavement (including possible fabric interlayers) are required.

Borings 3 - 5, 7 and 8 were taken in existing landscaped and ditch areas, revealing 8 to 11 inches surficial topsoil respread at the surface or under a layer of mulch (B-4). The topsoil layer in Boring 3 was underlain by a few inches of crushed stone. Fill materials were encountered below the pavement section at Borings 1, 2, 9 and 11 and below the topsoil respread/crushed stone materials in Borings 3 - 5, 7 and 8, extending to depths typically ranging from about 3 to 8 feet below existing grade (only 1½ feet deep at B-8).

The fill materials consisted of silty clay soils with variable amounts of organic matter/topsoil. Samples of the cohesive fill exhibited variable dry unit weights and water contents ranging from 87 to 116 pounds per cubic foot (pcf) and 16 to 33 percent, respectively. The pocket penetrometer readings were also variable and ranged from 0.5 to 3.75 tons per square foot (tsf). These data represent fill materials that were not placed for the most part under controlled conditions, i.e. a non-engineered fill.

An apparent native topsoil layer was found buried beneath the fill materials in Borings 4, 5, 7 and 8, extending to depths ranging from about 3 to 9 feet below existing. Samples of the clayey topsoil materials exhibited relatively high moisture contents typically ranging from 36 to 42 percent.

The uppermost few feet of native soils below fill and buried topsoil materials in Borings 2, 4, 5 and 7 - 9 consisted of silty clay of apparent medium to high plasticity. These CL/CH materials (Unified classification) were typified by moderate unconfined compressive strengths ranging from 1.0 to 2.5 tsf at relatively high water contents of between 24 and 32 percent. Very soft to soft and very moist silty clay soils were found underlying the fill materials in Boring 3, extending to a depth of 10½ feet below existing grade. Samples of the very soft to soft cohesive soils exhibited unconfined compressive strengths/pocket penetrometer readings of 0.25 to 0.5 tsf at water contents of 24 to 36 percent.

Native soils below pavement section, existing fill and buried topsoil materials otherwise consisted predominantly of tough to hard silty clays, with an approximate 2 to 3-foot thick layer of stiff (medium) silty clay found at a depth of 5½ feet in Boring 8. They exhibited unconfined compressive strengths ranging from about 1.0 to 4.5+ tsf at water contents typically between 14 and 21 percent (occasionally both lower and higher).

Borings 6, 9 and 10 were "dry" both during and upon completion of drilling operations. Free water was found trapped within topsoil/granular base materials at depths of 6 to 12 inches below existing grade in Borings 3 and 11. Free water was otherwise found in the borings at depths ranging from 3 to 10 feet below existing grade.

### **Analysis and Recommendations**

#### **1) General Overview / Bearing Table**

As previously discussed, the proposed redevelopment will consist of a new RIC Outpatient Facility. It will be a 1-story slab-on-grade structure. Proposed FF has been set at Elevation 709.5. Judging by the ground surface elevations at the boring locations and an assumed finished pad elevation at FF - 0'-10", grade is within a few inches of final pad subgrade elevation.

Borings 1 - 6 were drilled in the area of the proposed building. The existing fill materials encountered to depths of approximately 5 to 8 feet below existing grade at Borings 1 - 5 exhibited dry unit weights as low as about 90 pcf and water contents as high as 30 to 33 percent. These data represent poorly-compacted/non-engineered fill materials. The existing fill was underlain by a topsoil layer in Borings 4 and 5 that extended to depths of about 6 and 9 feet below existing grade, respectively, and exhibited high moisture contents of up to 39 percent. Soft and very moist native silty clay soils were also found underlying fill materials in Boring 3, extending to a depth of 10½ feet below existing grade. The existing fill, buried topsoil and soft/very moist native clay soils are not considered suitable for foundation support, also providing a deficient base for slab-on-grade construction.

The proposed 1-story building may be supported on footing foundations. However, removal and replacement of the above described unsuitable materials as part of site-grading/building pad construction or the use of ground improvement methods are required so that footing foundations could be utilized for structure support. As previously mentioned, proposed FF for the new structure has been set at Elevation 709.5. Interior and exterior footings are expected to bear at about FF -2'-0" and -





4'-0" (minimum frost depth), respectively. This would place exterior and interior footing grades at approximate Elevations 705.5 and 707.5, respectively.

Summarized in the following table is the depth/elevation at which in-situ native soils are considered capable of supporting a net allowable bearing pressure of 3000 psf were encountered at Borings 1 - 6 in connection with footing foundations and building pad construction. Ground surface elevations and the depth of existing fill (F) are also shown.

Boring No.	Ground Surface Grade	Depth of Existing Fill (Feet)	3000 psf Native Bearing - Building Pad Undercut	
			Depth (Feet)	Elevation
1	709.0	5.0	5.0	704.0
2	708.0	5.5	5.5	702.5
3	708.0	5.5	10.5	697.5
4	708.0	5.5 B	5.5	702.5
5	709.5	9.0 B	9.0	700.5
6	709.5	1.0 P	1.0	708.5

B Apparent native topsoil found buried beneath existing fill materials - depth shown is to bottom of layer.

P Pavement Section.

Alternatives for foundation and floor slab support at the boring locations include removal and replacement of the unsuitable materials as part of site-grading operations (building pad construction) and the use of ground improvement methods. Both alternatives are discussed separately in the following sections of this report. It should be noted that none of the borings were drilled within the existing buildings located on the site, with more favorable soil conditions to possibly be present there.

## 2) Building Pad Construction/Demolition Issues

It is understood that current plans call for the existing structures located on the site to be demolished and removed. The existing buildings encroach on the northeast and southwest portions of the proposed building footprint. Building demolition must be taken into account in foundation and site grading plans. In this regard, existing concrete floor slabs and foundation walls as well as asphalt/concrete pavements should be removed as part of site demolition in proposed building and pavement areas. This will promote subsurface drainage and minimize obstructions in future foundation and utility excavations.

All existing utility lines should also be removed in the area of the proposed building. Shallow utility lines located under proposed pavement areas should ideally be removed. Granular backfill should be placed in the excavations that are left, to be compacted to 95 percent Modified Proctor density.

Deeper pipes may be filled with flowable grout. However, the condition of backfill materials left in-place over these pipes will have to be further evaluated when the site is stripped, i.e. their suitability for pavement support.

Building pad construction will otherwise require that existing fill, buried topsoil and soft clay soils be removed and replaced to the approximate depths shown in the above bearing table for the boring locations. This will require cuts to approximate Elevations 697 to 704 at Borings 1 - 5. With top of finished floor being set at Elevation 709.5, associated new fills are expected to be in the range of about 5 to 11 feet at Borings 1 - 5. At Boring 6 (drilled near the southwest corner of the proposed building), grade after stripping of existing pavements will basically be at final pad subgrade elevation. Suitable bearing soils (tough to very tough native silty clay) were found at this elevation at the boring location.

Undercutting will require that the building pad be enlarged to permit the horizontal distribution of exterior footing loads. In the regard, it is recommended that the base of the undercut extend a minimum of 5 feet outside the outer edge of the structure plus 0.5 feet for every foot of new fill to be placed.

Existing fill can for the most part be reused as part of building pad construction. Exceptions would include surficial clayey topsoil layers. However, most of the existing fill will have to be reduced in moisture content in order to meet the 95 percent compaction criterion, i.e. those materials exceeding about 18 percent in moisture content. The topsoil and root zone materials should be used in non-structural fill areas or disposed of offsite.

Prior to the placement of new fill, exposed subgrade soils should be evaluated to determine whether adequate compaction may be achieved for the first lift. Marginal subgrade stability may mean that clay fill cannot be initially compacted. Marginal bearing soils for fill placement were revealed in Borings 2, 4 and 5, i.e. native silty clay soils exhibiting water contents exceeding 25 percent. Where this condition occurs, it is recommended that coarse aggregate be placed in the bottom of the excavation until a stable base for compaction of clay fill is achieved. This typically consists of a 12 to 24-inch "bridging" lift of coarse aggregate fill such as IDOT gradation CA-1 ("3-inch rock"), usually compacted by track-rolling.

New fill should otherwise consist of approved granular materials or inorganic silty clays of low to medium plasticity. It is recommended that compaction for the building pad be to a minimum of 95 percent of maximum dry density as determined by the Modified Proctor test (ASTM D1557). The fill should be placed in approximate 9 inch loose measure for cohesive soils and up to 12 inches for granular materials, each lift to be compacted to the specified density prior to the placement of additional fill.

Moisture control is important in the compaction of most soil types, and it is recommended that the water content of new fill be within 1 percentage point on the low side and 3 percentage points on the high side of optimum moisture as established by its laboratory compaction curve. As previously discussed, a large portion of existing fill materials will likely have to be reduced in moisture content in order to meet this criterion. If the fill replacement operation is performed when drying of high moisture content clay soils cannot be accomplished by typical discing and aeration procedures, lime modification may be utilized by mixing 3 to 5 percent of lime by-products (by soil weight) with the clay

materials. It should be noted that lime products will not be effective when the soil temperature is below approximately 50 degrees F.

Footings can be constructed on new engineered fill that is placed as part of building pad construction as described above. A net allowable bearing pressure not to exceed 3000 psf may be used in connection with footing design. The floor slab could be designed for a subgrade modulus of 150 pounds per cubic inch (pci) with associated settlement expected to be negligible.

It is recommended that all continuous wall footings be made at least 24 inches wide and isolated foundations at least 3.0 feet square, regardless of calculated dimensions. For frost considerations, all exterior footings should be constructed at least 3.5 feet below outside finished grade and 4.0 feet for foundations located outside of heated building limits. Interior footings may be constructed at higher elevations as long as they are protected against frost heave in the event of winter construction.

Due to the relatively variable depth of fill that is anticipated, it is also recommended that all foundation walls be reinforced. This may consist of a minimum of two #5 rebars placed at the top and bottom of foundation walls. The reinforcing steel should be made continuous using overlaps at splices and corner bends having lengths in accordance with the direction of the Structural Engineer.

The 3000 psf bearing value may be increased by up to 33 percent for intermittent loads such as wind and seismic loading; the 33% increase may also be applied to the toe pressure of eccentrically loaded footings as long as the average bearing pressure does not exceed 3000 psf. The above recommendations should otherwise result in total foundation settlements not exceeding 1.0 inch, for which differential settlement of less than 0.7 inches would be anticipated.

### 3) Ground Improvement Alternative

In lieu of the removal and replacement (building pad construction) alternative described above, ground improvement methods may be utilized to reinforce the existing fill, buried topsoil and soft/very moist native silty clay soils. The recommended ground improvement technique is the use of aggregate piers (stone columns/rammed aggregate piers) to improve the existing fill, buried topsoil and soft/very moist native clay soils at least under proposed footing areas. If not risk for floor slab settlement is desired, aggregate piers should also be utilized to reinforce the existing fill, buried topsoil and soft clay soils under floor slabs-on-grade.

The aggregate piers are constructed by making 24 to 36-inch diameter holes through the fill, buried topsoil and low strength soils and backfilling them with thin lifts of compacted aggregate. Compaction densifies the aggregate and increases the lateral stress in the soil matrix. The system will serve to reduce settlements and increase bearing capacity by replacing the existing fill, buried topsoil and soft/very moist native clay soils with a stiffer composite soil matrix. Conventional columns and wall footings and floor slabs can then be supported on the aggregate pier-reinforced ground.

It is preliminarily estimated that footings bearing on the aggregate pier-reinforced ground should be able to be designed for a net allowable bearing pressure of at least 3000 psf, while limiting settlements to 1" or less. The floor slabs of the proposed building can also be supported on aggregate pier-reinforced ground with this alternative. Specialty contractors with experience in the design and installation of geopiers or stone columns should be consulted in regard to these matters. Aggregate pier ground improvement is a specialty, geotechnical design-build system that is prepared by the

installer, and it is typical for the design soil bearing capacity of the aggregate pier-improved ground and the anticipated settlements of the foundations to be provided by the selected ground improvement firm.

It is recommended that the width of all continuous wall footings be made at least equal to (and ideally larger than) the width of the aggregate pier elements and isolated foundations be made at least 3.0 feet square, regardless of calculated dimensions. For frost considerations, all exterior footings should be constructed at least 3.5 feet below outside finished grade and 4.0 feet for foundations located outside of heated building limits. Interior footings may be constructed at higher elevations as long as they are protected against frost heave in the event of winter construction.

In accordance with the International Building Code (IBC), the Site Class for seismic design is to be based on average soil properties in the top 100 feet. Site Class D is to be used unless site specific soils information is available, which applies in the present case. To determine whether Site Class C can be used, we would recommend determining the in-situ shear wave velocity profile in the upper 100 feet at the site using a surface-wave seismic method such as the Refraction Microtremor (ReMi) method.

#### 4) Ground Supported Slabs

Floor slab construction in this area typically utilizes a granular base for load distribution and as a leveling course and capillary break. Typical base course materials include IDOT gradations CA-6 (well-graded sand and gravel with fines) or CA-7 (1/4" to 3/4" chips). The CA-6 material should be compacted using vibratory equipment to 95 percent Modified Proctor density, the CA-7 until a dense and stable state is achieved. The CA-7 material is considered free-draining, providing a superior capillary break if one is desired.

Use of a vapor barrier beneath the floor slabs is not considered critical. In any event, the specifications and recommendations of the floor covering manufacturer(s) will take precedence and should be strictly followed.

The concrete slabs should be isolated from foundation elements, i.e. jointed around columns and foundation walls, to permit minor differential settlement to occur without causing undue cracking or distress. They should also be provided with adequate reinforcement and jointing to minimize the effects of any slab movement and control minor cracking. In this regard, slab-on-grade construction and jointing should be in accordance with ACI 360-10 (Guide to Design of Slabs-on-Ground).

#### 5) Pavement Design and Construction

It is assumed that existing fill will be left in-place under new pavement areas, with minor settlement that may occur to typically be tolerated. As previously discussed, existing fill materials provide marginal to in some cases deficient subgrade support. This should be further evaluated on the basis of proof-rolling.

Upon stripping any vegetation/topsoil/root zone materials and existing pavements or cutting to final subgrade elevation, the exposed subgrade in pavement areas should be proof-rolled in order to detect the presence of unsuitable/unstable soil types. The proof-roll should be performed using a loaded

dump truck or other approved piece of heavy construction equipment. Proof-rolling should be performed in perpendicular directions to provide complete coverage.

All soft or unstable materials determined by proof-rolling should be reworked and recompacted or, if that does not significantly improve subgrade stability, removed and replaced. Solutions to such instability problems would likely consist of undercutting the unstable soils 1 to 2 feet and replacement with coarse granular material such as IDOT gradations CA-1 or CA-7. A geotextile fabric or geogrid product may be placed at the bottom of the undercuts prior to backfilling with the "bridging" coarse granular material.

New fill should otherwise consist of approved granular materials or inorganic silty clays of low to medium plasticity. It is recommended that compaction be to a minimum of 95 percent of maximum dry density as determined by the Modified Proctor test (ASTM D 1557). Exposed subgrade materials should also be compacted to at least 95 percent Modified Proctor density.

Moisture control is important in the compaction of most soil types, and it is recommended that the water content of new fill be within 1 percentage point on the low side and 3 percentage points on the high side of optimum moisture as established by its laboratory compaction curve. If the soil is compacted too dry, it will have an apparent stability which will be lost if it later becomes saturated. If the soil is too wet, the Contractor will not be able to achieve proper compaction.

A nominal Illinois Bearing Ratio (IBR) value of 2.5 is typically used for the design of asphalt pavements in this area, reflecting the clay subgrade which is prevalent. Use of this value assumes that any soft or unstable areas will be remediated, i.e. subgrade stabilized until passing a proof-roll.

Base course and subbase materials for anticipated asphalt pavements should otherwise conform to IDOT gradation CA-6 and be compacted to 95 percent Modified Proctor density or 100 percent of the Standard Proctor (ASTM D 698) maximum density value. Bituminous materials should be an approved IDOT Superpave minimum design, with N30 or N50 typical for light-duty parking lots and N50 or N70 for heavy-duty pavements. Standard Specifications for Road and Bridge Construction, Sections 406 and 1032 should also be referenced. They should be compacted to between 93 and 97 percent of their theoretical maximum density, as determined by the supplier.

Portland Cement Concrete (PCC) or heavy duty bituminous concrete is recommended for pavements with heavy truck traffic and high traffic load areas such as garbage truck dumpster loading areas. Standard Specifications for Road and Bridge Construction, Sections 353 and 420, should be followed.

#### 6) Stormwater Management Facility

Borings 7 and 8 were drilled in the area of a proposed stormwater management facility along the east end of the site (existing drainage ditch). The high water level (HWL) is shown at Elevation 706.3 on the plan provided, with the bottom of the proposed basin ranging from Elevations 703.5 - 704.5. Relatively minor cuts/fills are required to construct the proposed basin. Based on the results of the borings, it is recommended that side slopes no steeper than 4H:1V be utilized for the proposed basin.

Water retention should not be a problem due to the cohesive nature of subsurface soils. Although permeability tests were not performed on the existing clay fill, clayey topsoil and native clay soils, we



would estimate their permeability to be in the range of  $10^{-6}$  to  $10^{-8}$  cm/sec, making them practically impervious.

### 7) Groundwater Management

Based on the results of the borings, serious groundwater problems are not anticipated due to the cohesive/impervious nature of existing soils. However, the accumulation of run-off water or seepage at the base of excavations should still be expected to occur during foundation construction and site work. The Contractor should be prepared to implement dewatering/unwatering procedures, as a minimum to include pumping from strategically placed sumps.

### Closure

It is recommended that full-time observation and testing be provided by Testing Service Corporation personnel during foundation construction, so that the soils at foundation levels can be observed and tested. In addition, adequacy of building materials, stripping and undercutting, fill placement and compaction as well as slab-on-grade and pavement construction should be monitored for compliance with the recommended procedures and specifications.

The analyses and recommendations submitted in this report are based upon the data obtained from the eleven (11) soil borings performed at the locations indicated on the Boring Location Plan. This report does not reflect any variations which may occur between these borings or elsewhere on the site, the nature and extent of which may not become evident until during the course of construction. As previously discussed, none of the borings were drilled within the existing buildings located on the site, with more favorable soil conditions to possibly be present there.

It has been a pleasure to assist you with this work. Please call if there are any questions or if we may be of further service.

Respectfully submitted,

TESTING SERVICE CORPORATION



Alfredo J. Bermudez  
Senior Geotechnical Engineer  
Registered Professional Engineer  
Illinois No. 062-046608



Michael V. Machalinski, P.E.  
Vice President

AJB:MVM:ab  
Enc.



## TESTING SERVICE CORPORATION

**1. PARTIES AND SCOPE OF WORK:** If Client is ordering the services on behalf of another, Client represents and warrants that Client is the duly authorized agent of said party for the purpose of ordering and directing said services, and in such case the term "Client" shall also include the principal for whom the services are being performed. Prices quoted and charged by TSC for its services are predicated on the conditions and the allocations of risks and obligations expressed in these General Conditions. Unless otherwise stated in writing, Client assumes sole responsibility for determining whether the quantity and the nature of the services ordered by Client are adequate and sufficient for Client's intended purpose. Unless otherwise expressly assumed in writing, TSC's services are provided exclusively for Client. TSC shall have no duty or obligation other than those duties and obligations expressly set forth in this Agreement. TSC shall have no duty to any third party. Client shall communicate these General Conditions to each and every party to whom the Client transmits any report prepared by TSC. Ordering services from TSC shall constitute acceptance of TSC's proposal and these General Conditions.

**2. SCHEDULING OF SERVICES:** The services set forth in this Agreement will be accomplished in a timely and workmanlike manner. If TSC is required to delay any part of its services to accommodate the requests or requirements of Client, regulatory agencies, or third parties, or due to any cause beyond its reasonable control, Client agrees to pay such additional charges, if any, as may be applicable.

**3. ACCESS TO SITE:** TSC shall take reasonable measures and precautions to minimize damage to the site and any improvements located thereon as a result of its services or the use of its equipment; however, TSC has not included in its fee the cost of restoration of damage which may occur. If Client desires or requires TSC to restore the site to its former condition, TSC will, upon written request, perform such additional work as is necessary to do so and Client agrees to pay to TSC the cost thereof plus TSC's normal markup for overhead and profit.

**4. CLIENT'S DUTY TO NOTIFY ENGINEER:** Client represents and warrants that Client has advised TSC of any known or suspected hazardous materials, utility lines and underground structures at any site at which TSC is to perform services under this Agreement. Unless otherwise agreed in writing, TSC's responsibility with respect to underground utility locations is to contact the Illinois Joint Utility Locating Information for Excavators for the location of public, but not private, utilities.

**5. DISCOVERY OF POLLUTANTS:** TSC's services shall not include investigation for hazardous materials as defined by the Resource Conservation Recovery Act, 42 U.S.C. § 6901, et. seq., as amended ("RCRA") or by any state or Federal statute or regulation. In the event that hazardous materials are discovered and identified by TSC, TSC's sole duty shall be to notify Client.

**6. MONITORING:** If this Agreement includes testing construction materials or observing any aspect of construction of improvements, Client's construction personnel will verify that the pad is properly located and sized to meet Client's projected building loads. Client shall cause all tests and inspections of the site, materials and work to be timely and properly performed in accordance with the plans, specifications, contract documents, and TSC's recommendations. No claims for loss, damage or injury shall be brought against TSC unless all tests and inspections have been so performed and unless TSC's recommendations have been followed.

TSC's services shall not include determining or implementing the means, methods, techniques or procedures of work done by the contractor(s) being monitored or whose work is being tested. TSC's services shall not include the authority to accept or reject work or to in any manner supervise the work of any contractor. TSC's services or failure to

perform same shall not in any way operate or excuse any contractor from the performance of its work in accordance with its contract. "Contractor" as used herein shall include subcontractors, suppliers, architects, engineers and construction managers.

Information obtained from borings, observations and analyses of sample materials shall be reported in formats considered appropriate by TSC unless directed otherwise by Client. Such information is considered evidence, but any inference or conclusion based thereon is, necessarily, an opinion also based on engineering judgment and shall not be construed as a representation of fact. Subsurface conditions may not be uniform throughout an entire site and ground water levels may fluctuate due to climatic and other variations. Construction materials may vary from the samples taken. Unless otherwise agreed in writing, the procedures employed by TSC are not designed to detect intentional concealment or misrepresentation of facts by others.

**7. DOCUMENTS AND SAMPLES:** Client is granted an exclusive license to use findings and reports prepared and issued by TSC and any sub-consultants pursuant to this Agreement for the purpose set forth in TSC's proposal provided that TSC has received payment in full for its services. TSC and, if applicable, its sub-consultant, retain all copyright and ownership interests in the reports, boring logs, maps, field data, field notes, laboratory test data and similar documents, and the ownership and freedom to use all data generated by it for any purpose. Unless otherwise agreed in writing, test specimens or samples will be disposed immediately upon completion of the test. All drilling samples or specimens will be disposed sixty (60) days after submission of TSC's report.

**8. TERMINATION:** TSC's obligation to provide services may be terminated by either party upon (7) seven days prior written notice. In the event of termination of TSC's services, TSC shall be compensated by Client for all services performed up to and including the termination date, including reimbursable expenses. The terms and conditions of these General Conditions shall survive the termination of TSC's obligation to provide services.

**9. PAYMENT:** Client shall be invoiced periodically for services performed. Client agrees to pay each invoice within thirty (30) days of its receipt. Client further agrees to pay interest on all amounts invoiced and not paid or objected to in writing for valid cause within sixty (60) days at the rate of twelve (12%) per annum (or the maximum interest rate permitted by applicable law, whichever is the lesser) until paid and TSC's costs of collection of such accounts, including court costs and reasonable attorney's fees.

**10. WARRANTY:** TSC's professional services will be performed, its findings obtained and its reports prepared in accordance with these General Conditions and with generally accepted principles and practices. In performing its professional services, TSC will use that degree of care and skill ordinarily exercised under similar circumstances by members of its profession. In performing physical work in pursuit of its professional services, TSC will use that degree of care and skill ordinarily used under similar circumstances. This warranty is in lieu of all other warranties or representations, either express or implied. Statements made in TSC reports are opinions based upon engineering judgment and are not to be construed as representations of fact.

Should TSC or any of its employees be found to have been negligent in performing professional services or to have made and breached any express or implied warranty, representation or contract, Client, all parties claiming through Client and all parties claiming to have in any way relied upon TSC's services or work agree that the maximum aggregate amount of damages for which TSC, its officers, employees and agents shall be liable is limited to \$50,000 or the total amount of the fee paid to TSC for its services performed with respect to the project, whichever amount is greater.

# GENERAL CONDITIONS

## Geotechnical and Construction Services

In the event Client is unwilling or unable to limit the damages for which TSC may be liable in accordance with the provisions set forth in the preceding paragraph, upon written request of Client received within five days of Client's acceptance of TSC's proposal together with payment of an additional fee in the amount of 5% of TSC's estimated cost for its services (to be adjusted to 5% of the amount actually billed by TSC for its services on the project at time of completion), the limit on damages shall be increased to \$500,000 or the amount of TSC's fee, whichever is the greater. This charge is not to be construed as being a charge for insurance of any type, but is increased consideration for the exposure to an award of greater damages.

**11. INDEMNITY:** Subject to the provisions set forth herein, TSC and Client hereby agree to indemnify and hold harmless each other and their respective shareholders, directors, officers, partners, employees, agents, subsidiaries and division (and each of their heirs, successors, and assigns) from any and all claims, demands, liabilities, suits, causes of action, judgments, costs and expenses, including reasonable attorneys' fees, arising, or allegedly arising, from personal injury, including death, property damage, including loss of use thereof, due in any manner to the negligence of either of them or their agents or employees or independent contractors. In the event both TSC and Client are found to be negligent or at fault, then any liability shall be apportioned between them pursuant to their pro rata share of negligence or fault. TSC and Client further agree that their liability to any third party shall, to the extent permitted by law, be several and not joint. The liability of TSC under this provision shall not exceed the policy limits of insurance carried by TSC. Neither TSC nor Client shall be bound under this indemnity agreement to liability determined in a proceeding in which it did not participate represented by its own independent counsel. The indemnities provided hereunder shall not terminate upon the termination or expiration of this Agreement, but may be modified to the extent of any waiver of subrogation agreed to by TSC and paid for by Client.

**12. SUBPOENAS:** TSC's employees shall not be retained as expert witnesses except by separate, written agreement. Client agrees to pay TSC pursuant to TSC's then current fee schedule for any TSC employee(s) subpoenaed by any party as an occurrence witness as a result of TSC's services.

**13. OTHER AGREEMENTS:** TSC shall not be bound by any provision or agreement (i) requiring or providing for arbitration of disputes or controversies arising out of this Agreement or its performance, (ii) wherein TSC waives any rights to a mechanics lien or surety bond claim; (iii) that conditions TSC's right to receive payment for its services upon payment to Client by any third party or (iv) that requires TSC to indemnify any party beyond its own negligence. These General Conditions are notice, where required, that TSC shall file a lien whenever necessary to collect past due amounts. This Agreement contains the entire understanding between the parties. Unless expressly accepted by TSC in writing prior to delivery of TSC's services, Client shall not add any conditions or impose conditions which are in conflict with those contained herein, and no such additional or conflicting terms shall be binding upon TSC. The unenforceability or invalidity of any provision or provisions shall not render any other provision or provisions unenforceable or invalid. This Agreement shall be construed and enforced in accordance with the laws of the State of Illinois. In the event of a dispute arising out of or relating to the performance of this Agreement, the breach thereof or TSC's services, the parties agree to try in good faith to settle the dispute by mediation under the Construction Industry Mediation Rules of the American Arbitration Association as a condition precedent to filing any demand for arbitration, or any petition or complaint with any court. Paragraph headings are for convenience only and shall not be construed as limiting the meaning of the provisions contained in these General Conditions.



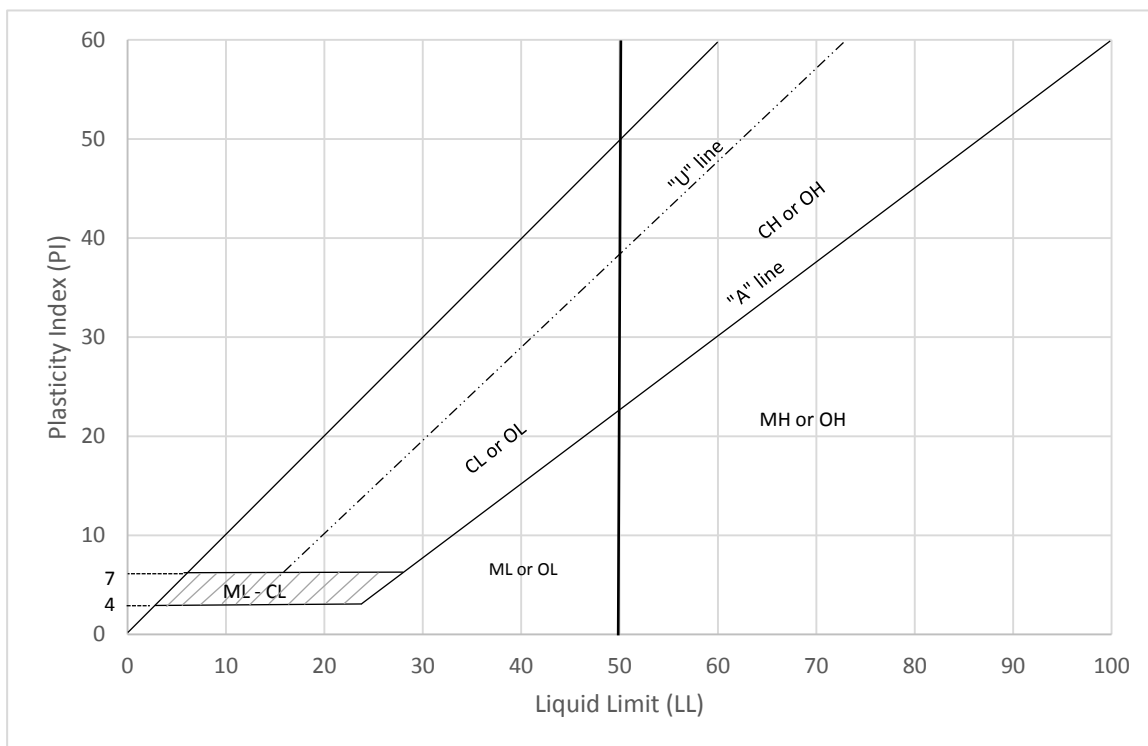
# Testing Service Corporation Unified Classification Chart



CRITERIA FOR ASSIGNING GROUP SYMBOLS AND GROUP NAMES USING LABORATORY TEST <sup>a</sup>				SOIL CLASSIFICATION	
				Group Symbol	GROUP NAME <sup>b</sup>
COARSE - GRAINED SOILS more than 50% retained on No. 200 sieve	GRAVELS  More than 50% of coarse fraction retained on No. 4 sieve	CLEAN GRAVELS less than 5% fines <sup>c</sup>	$C_u \geq 4$ and $1 \leq C_c \leq 3$ <sup>e</sup>	GW	Well-graded gravel <sup>f</sup>
			$C_u < 4$ and/or $1 > C_c > 3$ <sup>e</sup>	GP	Poorly-graded gravel <sup>f</sup>
		GRAVELS WITH FINES more than 12% fines <sup>c</sup>	Fines classify as ML or MH	GM	Silty gravel <sup>f, g, h</sup>
			Fines classify as CL or CH	GC	Clayey gravel <sup>f, g, h</sup>
	SANDS  50% or more of coarse fraction passes No. 4 sieve	CLEAN SANDS less than 5% fines <sup>d</sup>	$C_u \geq 6$ and $1 \leq C_c \leq 3$ <sup>e</sup>	SW	Well-graded sand <sup>i</sup>
			$C_u < 6$ and/or $1 > C_c > 3$ <sup>e</sup>	SP	Poorly-graded sand <sup>i</sup>
		SANDS WITH FINES more than 12% fines <sup>d</sup>	Fines classify as ML or MH	SM	Silty sand <sup>g, h, f</sup>
			Fines classify as CL or CH	SC	Clayey sand <sup>g, h, f</sup>
FINE - GRAINED SOILS 50% or more passed the No. 200 sieve	SILTS & CLAYS  Liquid limit less than 50%	Inorganic	$PI > 7$ or plots on or above "A" line <sup>j</sup>	CL	Lean clay <sup>k, l, m</sup>
			$PI < 4$ or plots below "A" line <sup>j</sup>	ML	Silt <sup>k, l, m</sup>
	SILTS & CLAYS  Liquid limit 50% or more	Inorganic	$\frac{\text{Liquid limit} - \text{oven dried}}{\text{Liquid limit} - \text{not dried}} < 0.75$	OL	Organic clay <sup>k, l, m, n</sup> Organic silt <sup>k, l, m, o</sup>
			$PI$ plots on or above "A" line	CH	Fat clay <sup>k, l, m</sup>
		Organic	$PI$ plots below "A" line	MH	Elastic silt <sup>k, l, m</sup>
			$\frac{\text{Liquid limit} - \text{oven dried}}{\text{Liquid limit} - \text{not dried}} < 0.75$	OH	Organic clay <sup>k, l, m, p</sup> Organic silt <sup>k, l, m, q</sup>
Highly organic soils		Primarily organic matter, dark in color, and organic odor		PT	Peat

- a. Based on the material passing the 3-inch (75-mm) sieve.
- b. If field sample contained cobbles and/or boulders, add "with cobbles and/or boulders" to group name
- c. Gravels with 5 to 12% fines required dual symbols  
GW-GM well graded gravel with silt  
GW-GC well graded gravel with clay  
GP-GM poorly graded gravel with silt  
GP-GC poorly graded gravel with clay
- d. Sands with 5 to 12% fines require dual symbols  
SW-SM well graded sand with silt  
SW-SC well graded sand with clay  
SP-SM poorly graded sand with silt  
SP-SC poorly graded sand with clay
- e.  $C_u = D_{60}/D_{10}$      $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$

- f. If soils contains  $\geq 15\%$  sand, add "with sand" to group name.
- g. If fines classify as CL-ML, use dual symbol GC-GM, SC-SM
- h. If fines are organic, add "with organic fines" to group name
- i. If soils contains  $\geq 15\%$  gravel, add "with gravel" to group name
- j. If Atterberg Limits plot in hatched area, soil is a CL - ML, silty clay
- k. If soils contains 15 to 29% plus No. 200, add "with sand" or "with gravel" whichever is predominant
- l. If soil contains  $\geq 30\%$  plus No. 200, predominantly sand, add "sandy" to group name.
- m. If soils contains  $\geq 30\%$  plus No. 200, predominantly gravel, add "gravelly" to group name
- n.  $PI \geq 4$  and plots on or above "A" line
- o.  $PI \geq 4$  and plots below "A" line
- p.  $PI$  plots on or above "A" line
- q.  $PI$  plots below "A" line





# TESTING SERVICE CORPORATION

## LEGEND FOR BORING LOGS



**FILL**



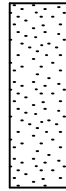
**TOPSOIL**



**PEAT**



**GRAVEL**



**SAND**



**SILT**



**CLAY**



**DOLOMITE**

### SAMPLE TYPE

- SS = Split Spoon
- ST = Thin-Walled Tube
- A = Auger
- MC = Macro-Core (Geo Probe)

### WATER LEVELS:

- ▼ While Drilling
- ▽ End of Boring
- ▼ 24 Hours

### FIELD AND LABORATORY TEST DATA

- N = Standard Penetration Resistance in Blows per Foot
- WC = In-Situ Water Content
- Qu = Unconfined Compressive Strength in Tons per Square Foot
  - \* Pocket Penetrometer Measurement: Maximum Reading = 4.5 tsf
- DRY = Dry Unit Weight in Pounds per Cubic Foot

### SOIL DESCRIPTION

#### MATERIAL

- BOULDER
- COBBLE
- Coarse GRAVEL
- Small GRAVEL
- Coarse SAND
- Medium SAND
- Fine SAND
- SILT and CLAY

#### PARTICLE SIZE RANGE

- Over 12 inches
- 12 inches to 3 inches
- 3 inches to ¾ inch
- ¾ inch to No. 4 Sieve
- No. 4 Sieve to No. 10 Sieve
- No. 10 Sieve to No. 40 Sieve
- No. 40 Sieve to No. 200 Sieve
- Passing No. 200 Sieve

#### COHESIVE SOILS

<u>CONSISTENCY</u>	<u>Qu (tsf)</u>
Very Soft	Less than 0.3
Soft	0.3 to 0.6
Stiff	0.6 to 1.0
Tough	1.0 to 2.0
Very Tough	2.0 to 4.0
Hard	4.0 and over

#### COHESIONLESS SOILS

<u>RELATIVE DENSITY</u>	<u>N (bpf)</u>
Very Loose	0 - 4
Loose	4 - 10
Firm	10 - 30
Dense	30 - 50
Very Dense	50 and over

#### MODIFYING TERM

- Trace
- Little
- Some

#### PERCENT BY WEIGHT

- 1 - 10
- 10 - 20
- 20 - 35



ELEVATIONS

GROUND SURFACE	<b>709.0</b>
END OF BORING	<b>694.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>4.0'</b>
▽ AT END OF BORING	<b>Dry</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.4	708.6	4½" P.C. Concrete **
								0.8	708.2	5" Crushed Stone **
		1	SS	10	18.7	3.75*	110			FILL - Gray trace dark brown silty CLAY, little sand and gravel, moist (CL)
		2	SS	11	30.2	1.25*	92			▽ FILL - Dark brown and gray silty CLAY, little sand, trace gravel, trace organic, very moist (CL)
5		3	SS	15	17.6	3.27 3.0*				Very tough brown trace gray silty CLAY, little sand and gravel, moist (CL)
		4	SS	13	17.9	2.28 2.5*				
10		5	SS	20	14.8	4.5+*		10.5	698.5	Hard brown silty CLAY, little sand and gravel, moist (CL)
		6	SS	24	14.4	3.27 3.75*		13.0	696.0	Very tough gray silty CLAY, little sand and gravel, moist (CL)
15		End of Boring at 15.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		** Approximate thicknesses determined by flight auger methods								
		Diedrich Automatic Hammer used for SPT								
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS	
GROUND SURFACE	<b>708.0</b>
END OF BORING	<b>693.0</b>

WATER LEVEL OBSERVATIONS	
▽ WHILE DRILLING	<b>6.0'</b>
▽ AT END OF BORING	<b>4.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.4	707.6	5" Bituminous Concrete **
								0.9	707.1	6" Crushed Stone **
		1	SS	14	16.7	3.5*	116			FILL - Gray trace black silty CLAY, little sand and gravel, trace organic, moist (CL)
		2	SS	13	29.6	1.75*	92			▽ FILL - Black and dark gray silty CLAY and TOPSOIL, little sand, very moist (CL/OL)
5		3	SS	8	26.3	1.56 1.5*			5.5	702.5 ▼ Tough brown and gray silty CLAY, little sand, moist (CL/CH)
		4	SS	9	17.8	2.42 2.5*			8.0	700.0 Very tough brown silty CLAY, some sand, trace gravel, moist (CL)
10		5	SS	18	17.8	4.5+*			10.5	697.5 Hard brown silty CLAY, little sand, trace gravel, moist (CL)
		6	SS	10	16.1	2.0*			13.0	695.0 Tough to very tough gray silty CLAY, little sand, trace gravel, moist (CL)
15		End of Boring at 15.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		** Approximate thicknesses determined by flight auger methods								
		Diedrich Automatic Hammer used for SPT								
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS

GROUND SURFACE	<b>708.0</b>
END OF BORING	<b>693.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>0.5'</b>
▽ AT END OF BORING	<b>10.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0										▽ FILL - Black clayey TOPSOIL
								0.7	707.3	FILL - Gray Crushed Stone
								1.0	707.0	
		1	SS	8	21.7	2.0*	106			FILL - Gray little black silty CLAY, trace to little sand and gravel, trace organic, very moist to moist (CL)
		2	SS	11	16.6	1.75*	113			
5								5.5	702.5	
		3	SS	5	26.0	0.50 0.25*				Soft to very soft brown little gray silty CLAY, trace sand and gravel, trace organic, very moist (CL)
		A			36.4	0.25*				
		4	SS	4	23.7	0.5*		9.0	699.0	
		B								▽ Soft brown and gray silty CLAY, little sand, trace gravel, very moist (CL)
10								10.5	697.5	
		5	SS	18	18.6	2.48 2.75*				Very tough brown and gray silty CLAY, little sand, trace gravel, moist (CL)
		6	SS	13	13.4	1.0*		13.0	695.0	
15										End of Boring at 15.0'
										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										Diedrich Automatic Hammer used for SPT
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.

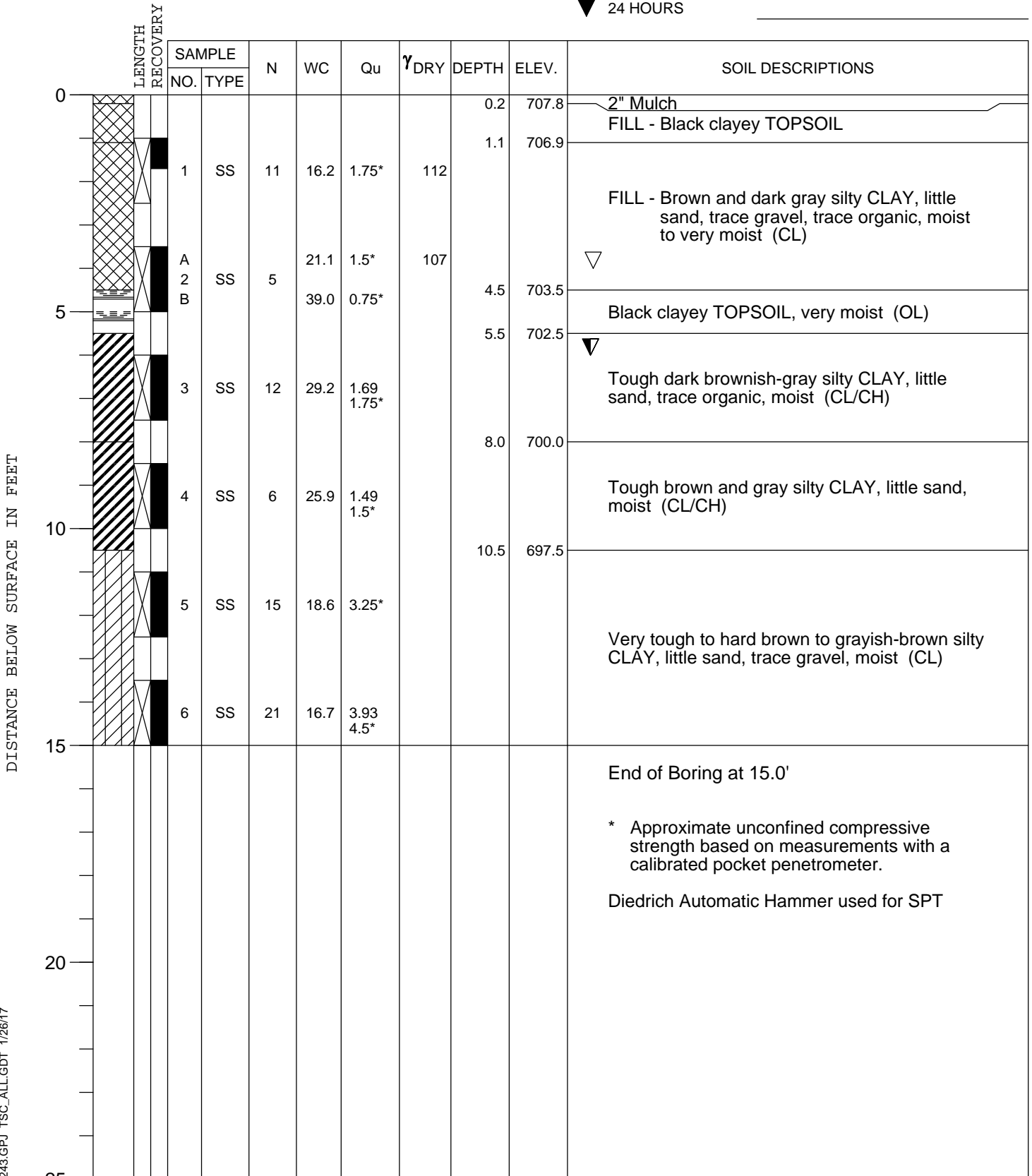


ELEVATIONS

GROUND SURFACE	<b>708.0</b>
END OF BORING	<b>693.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>6.0'</b>
▽ AT END OF BORING	<b>4.0'</b>
▼ 24 HOURS	



Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS

GROUND SURFACE	<b>709.5</b>
END OF BORING	<b>694.5</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>10.0'</b>
▽ AT END OF BORING	<b>10.0'</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.7	708.8	FILL - Black clayey TOPSOIL
		1	SS	5	32.5	1.0*	87			FILL - Dark brown to black silty CLAY, trace sand and gravel, trace organic, very moist (CL)
		2	SS	11	16.0	2.75*	114	3.0	706.5	FILL - Gray trace dark gray silty CLAY, little sand, trace gravel, moist to very moist (CL)
5		3	SS	8	20.6	2.5*	108			
		A	SS	8	36.1	1.0*		8.0	701.5	
		4	SS	8	31.6	1.56		9.0	700.5	Black clayey TOPSOIL, very moist (OL)
10		B	SS	8	31.6	1.5*		10.5	699.0	▽ Tough brown and gray silty CLAY, little sand, moist (CL/CH)
		5	SS	5	21.9	1.5*				Tough brown and gray silty CLAY, little sand, trace gravel, moist (CL)
		6	SS	9	18.8	1.69 1.75*				
15		End of Boring at 15.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		Diedrich Automatic Hammer used for SPT								
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.





ELEVATIONS

GROUND SURFACE	<b>709.5</b>
END OF BORING	<b>694.5</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>Dry</b>
▽ AT END OF BORING	<b>Dry</b>
▼ 24 HOURS	

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	$\gamma_{DRY}$	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.3	709.2	3 1/2" Bituminous Concrete **
								1.0	708.5	8" Crushed Stone **
		1	SS	12	18.5	1.69 2.0*				Tough to very tough brown silty CLAY, trace to little sand and gravel, moist (CL)
		2	SS	10	24.3	1.62 2.0*				
5		3	SS	16	17.8	3.0*		5.5	704.0	
		4	SS	16	16.1	3.54 4.0*				
		5	SS	24	15.7	2.25*				
10		A			16.0	4.5+*				Very tough to hard brown and gray silty CLAY, little sand and gravel, moist (CL)
		6	SS	22						
15		B			14.7	3.25*		14.5	695.0	Very tough gray silty CLAY, little sand and gravel, moist (CL)
										End of Boring at 15.0'
										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										** Approximate thicknesses determined by flight auger methods
										Diedrich Automatic Hammer used for SPT
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.

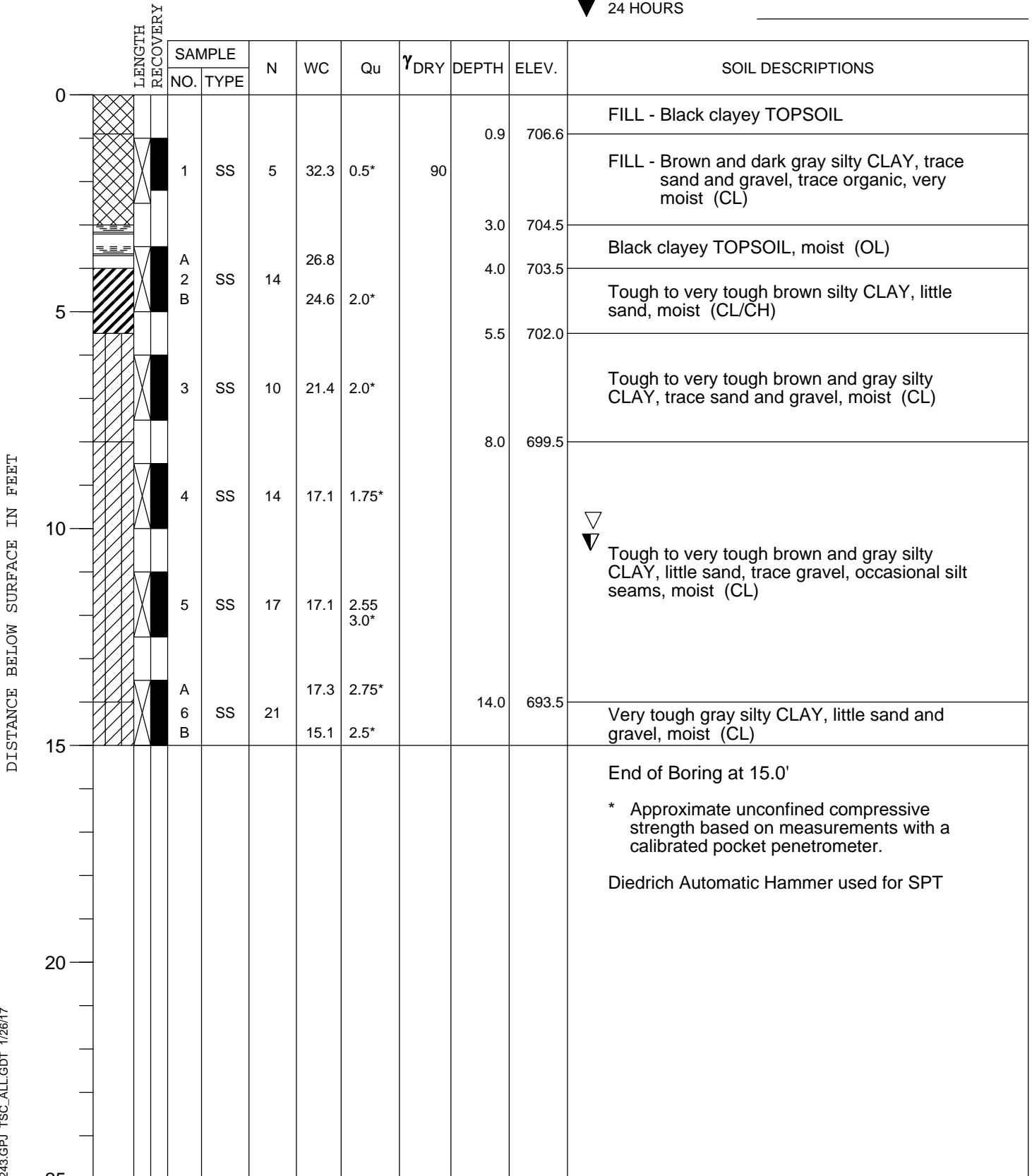


ELEVATIONS

GROUND SURFACE	<b>707.5</b>
END OF BORING	<b>692.5</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>10.5'</b>
▽ AT END OF BORING	<b>10.0'</b>
▼ 24 HOURS	



TSC 86243.GPJ TSC\_ALL.GDT 1/26/17

\* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.  
Diedrich Automatic Hammer used for SPT

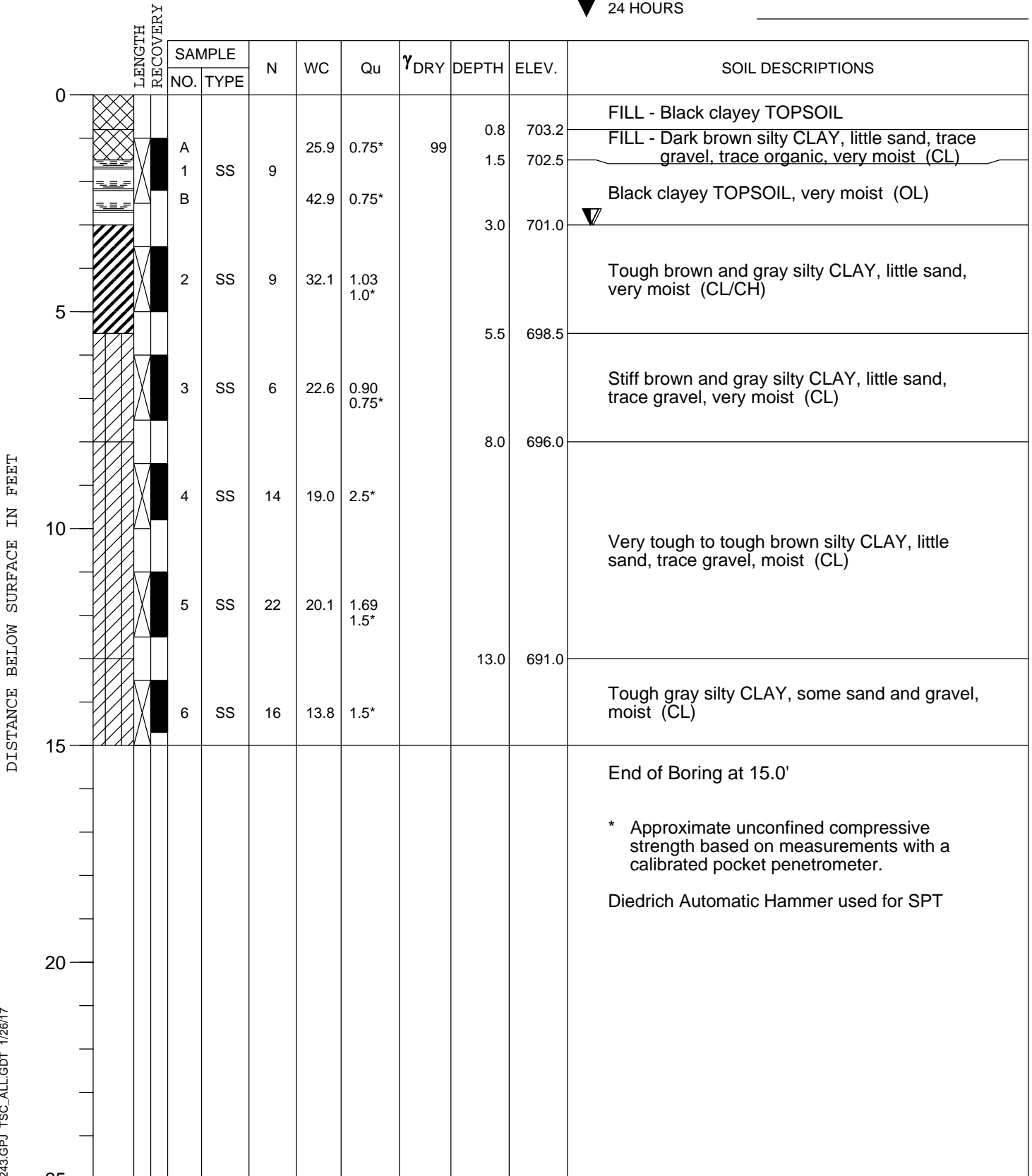


ELEVATIONS

GROUND SURFACE	<b>704.0</b>
END OF BORING	<b>689.0</b>

WATER LEVEL OBSERVATIONS

▽ WHILE DRILLING	<b>3.0'</b>
▽ AT END OF BORING	<b>3.0'</b>
▼ 24 HOURS	



TSC 86243.GPJ TSC\_ALL.GDT 1/26/17



ELEVATIONS  
 GROUND SURFACE **708.5**  
 END OF BORING **703.5**

WATER LEVEL OBSERVATIONS  
 ▽ WHILE DRILLING **Dry**  
 ▽ AT END OF BORING **Dry**  
 ▽ 24 HOURS

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.4	708.1	4½" Bituminous Concrete **
								0.8	707.7	5" Crushed Stone **
		1	SS	13	20.9	2.75*	100			FILL - Dark brown to black silty CLAY, little sand and gravel, little organic, very moist (CL)
		2	SS	17	23.9	2.5*		2.5	706.0	Very tough brown and gray silty CLAY, little sand, trace organic, moist (CL/CH)
5										End of Boring at 5.0'
10										* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.
										** Approximate thicknesses determined by flight auger methods
										Diedrich Automatic Hammer used for SPT
15										
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



ELEVATIONS  
 GROUND SURFACE **709.0**  
 END OF BORING **704.0**

WATER LEVEL OBSERVATIONS  
 ▽ WHILE DRILLING **Dry**  
 ▽ AT END OF BORING **Dry**  
 ▽ 24 HOURS

DISTANCE BELOW SURFACE IN FEET	LENGTH RECOVERY	SAMPLE		N	WC	Qu	γ <sub>DRY</sub>	DEPTH	ELEV.	SOIL DESCRIPTIONS
		NO.	TYPE							
0								0.2	708.8	2" Bituminous Concrete **
								1.2	707.8	12" Crushed Stone **
		1	SS	14	16.8	4.0*				Hard to very tough brown and gray silty CLAY, little sand, trace gravel, moist (CL)
		2	SS	14	15.6	3.0*				
5		End of Boring at 5.0'								
		* Approximate unconfined compressive strength based on measurements with a calibrated pocket penetrometer.								
		** Approximate thicknesses determined by flight auger methods								
		Diedrich Automatic Hammer used for SPT								
10										
15										
20										
25										

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.

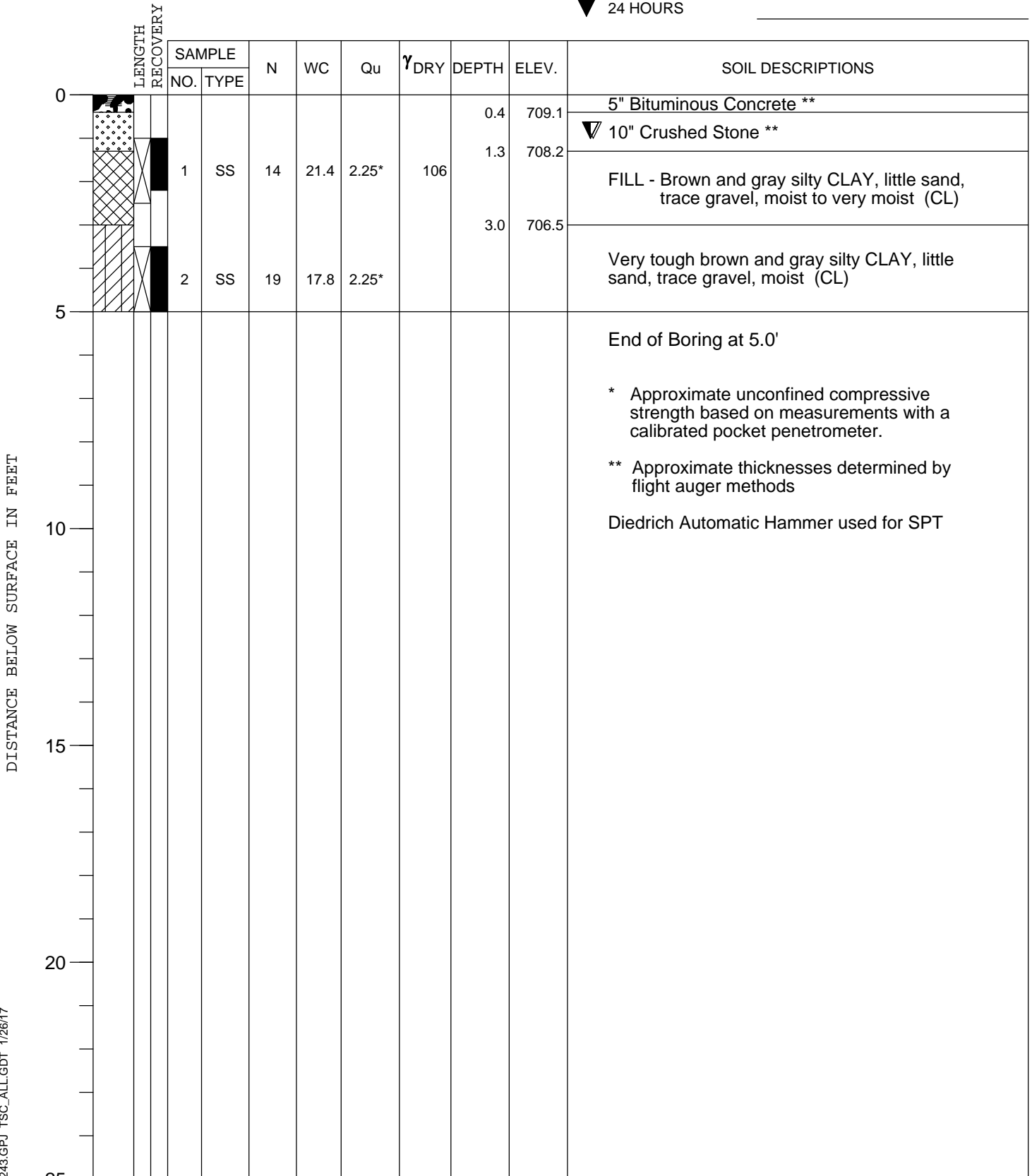


ELEVATIONS

GROUND SURFACE	<b>709.5</b>
END OF BORING	<b>704.5</b>

WATER LEVEL OBSERVATIONS

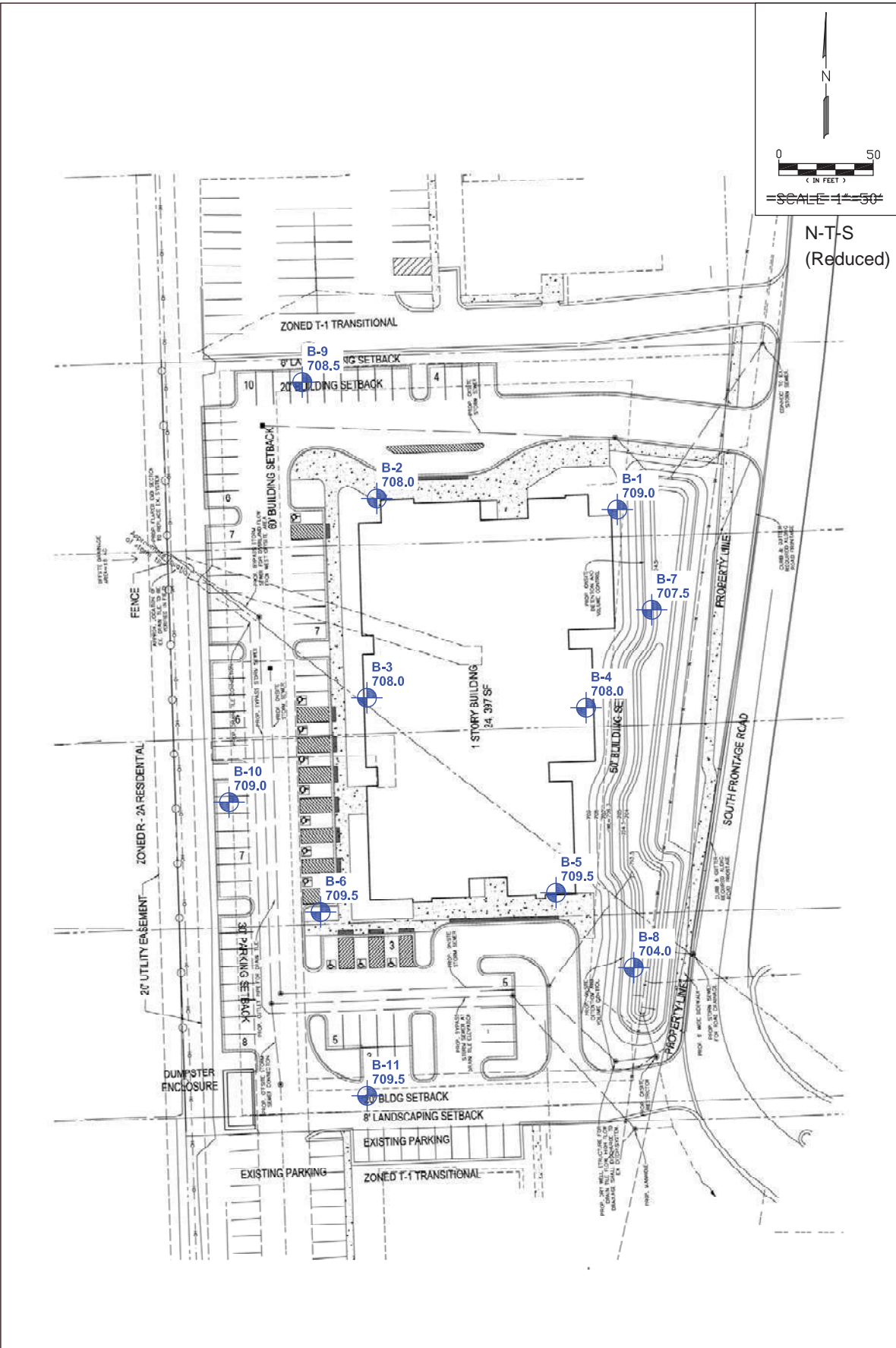
▽ WHILE DRILLING	<b>1.0'</b>
▽ AT END OF BORING	<b>1.0'</b>
▼ 24 HOURS	



DISTANCE BELOW SURFACE IN FEET

TSC 86243.GPJ TSC\_ALL.GDT 1/26/17

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.



**NOTE(S):** GROUND SURFACE ELEVATIONS AT THE BORINGS WERE ACQUIRED BY TSC USING A TRIMBLE R8 GNSS RECEIVER, BEING ROUNDED TO THE NEAREST 0.5 FOOT.

**LEGEND**

**SOIL BORING LOCATION**

**BORING LOCATION PLAN**  
**ERIC OUTPATIENT FACILITY**  
 7630 COUNTY LINE ROAD  
 BURR RIDGE, ILLINOIS

**TSC** TESTING SERVICE CORPORATION  
 457 EAST GUNDERSEN DRIVE  
 CAROL STREAM, ILLINOIS 60188

DRAWN BY: ABQ	PAGE NO. 1 OF 1
CHECKED BY: AJB	
JOB NO.: L-86,243	
DATE: 01-25-16	



Tab 2A

Stormwater Submittal (Sec. 15-149)

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
✓				Site topographic map - see requirements in Tab 6.	
✓				General plan View Drawing of existing and proposed site conditions - see requirements in Tab 6.	
✓				Design details for stormwater facilities - see requirements in Tab 6.	
✓				Schedule for implementation of the site stormwater plan.	
✓				Site runoff calculations - required for subdivisions and non-residential developments:	
✓				Documentation of the procedures/assumptions used to calculate hydrologic and hydraulic conditions for sizing major and minor systems.	
✓				Profile drawings of major and minor stormwater systems.	
				Cross-section data for open channels	
✓				Hydraulic grade line and water surface elevations under design conditions.	
				Hydraulic grade line and water surface elevations under base flood conditions.	
✓				Narrative describing off-site conditions - see requirements in Tab 6.	
✓				Sediment and erosion control plan - see requirements in Tab 6.	
✓				Design details for proposed sediment and erosion control details - see requirements in Tab 6.	
				Copy of written opinion, when applicable, from the Soil and Water Conservation District.	
✓				Best Management Practice Information:	
✓				Narrative description on the type and function of best management practices that are incorporated into the site design.	
✓				BMP Design Criteria [e.g., (1)soil type, vegetation, and land cover conditions (2) contributory drainage area (3) sizing and effectiveness calculations, etc.]	
✓				Scheduled maintenance program for stormwater facilities - see requirements in Tab 7.	

Tab 2B

Stormwater Submittal (Sec. 15-149)

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
✓				Site Storage Runoff Calculations:	
✓				Documentation of the procedures/assumptions used to calculate hydrologic and hydraulic conditions for determining the allowable release rate. This is required if natural storage exists in the pre-development condition.	
✓				Documentation of the procedures/assumptions used to calculate hydrologic and hydraulic conditions for determining the storage volume.	
✓				Elevation-area-storage data.	
✓				Elevation-discharge data.	
✓				Best Management Practice Information: (wetland /dry basins and wet basins preferred over dry basins)	
✓				Narrative description on the type and function of best management practices that are incorporated into the site storage design.	
✓				BMP Design Criteria [e.g., (1)soil type and vegetation (2) sizing and effectiveness calculations, etc.]	
✓				Plan View Drawing of existing and proposed site conditions - place in Tab 6.	
✓				Maintenance requirements - place in Tab 7.	

## Tab 2 – Stormwater Submittal Sec. 15-149

### Stormwater Detention Narrative Description of Development

#### Existing Site Conditions

As mentioned in Tab 1 of this report the existing site runoff drains from northwest to southeast with offsite flow coming toward the site from the west and south. Below is a summary of the existing drainage areas both onsite and offsite. The Existing Conditions Drainage Exhibit (Exhibit 2-1) is included after this narrative.

Existing Areas	Area (Ac)
Onsite	2.61
Offsite 1 (North/West)	8.24
Offsite 2 (South – Restricted)	<u>0.73</u>
Total	10.85

Existing Areas – Downstream of Site	Area (Ac)
Offsite 3 (South – Tributary to Ditch)	0.48

The existing onsite area generally drains from west to east into the existing drainage ditch that runs north-south along the Frontage Road. The existing ditch then drains south to another ditch which continues to the south. When the site was previously developed detention was provided and restricted in a few areas of the parking lot. There are two offsite drainage areas tributary to the project site. Offsite 1 which is generally north and west of the project site consists of residential lots which drain to the west edge of the project site and in the existing condition drain into two storm sewers (12" and 18") and diagonally across the project site and outfall into the existing ditch along Frontage Road. Offsite 2 is located south of the project site and is an area that is detained and the restricted release drains toward the project site.

An Existing Conditions Drainage Exhibit as well as Time of Concentrations and an Existing Hydraflow model have been provided to determine the existing offsite peak flows as they enter the site. Bulletin 70 Northeastern Illinois Rainfall Data was used for modeling. Existing Curve number calculations have also been provided for both onsite and offsite tributary areas. The Existing Conditions Drainage Exhibit summarizes the existing peak flows.

The existing site was also analyzed to determine the existing site detention volume that is located in the existing site parking lots. Exhibit 2-3 the Existing Conditions Detention Exhibits shows each existing detention area and summarizes the volume. The existing site has 0.074 ac-ft of stormwater detention storage.

## Proposed Site Conditions – Storm Water Facilities

The proposed site adds 1,378 SF of new impervious area and a total of 75,035 SF including the Detention NWL, per Burr Ridge Stormwater Ordinance Post Construction BMP's shall be provided for all proposed impervious area rather than the new impervious area. Also per discussion with Burr Ridge Detention shall be provided to meet the existing onsite detention.

The proposed site drainage is planned to drain generally from west to east to the proposed wetland bottom detention basin where the detention basin has been sized to meet the existing onsite detention. Post Construction BMP's will be provided for the entire proposed impervious service and will be provided below the detention basin NWL and will be controlled via a v-notch weir. Included in the Appendix of this report is a summary breakdown of the existing and proposed impervious area for the site as well as the Detention Provided Storage Summary.

As mentioned in the Existing Site Conditions, the proposed detention basin is required to provide at a minimum the existing site detention storage which is 0.074 ac-ft.

A proposed conditions exhibit has been provided showing the proposed drainage area tributary to the stormwater detention and post construction bmp facility as well as the existing offsite drainage areas. The majority of the project site drains directly to the proposed detention basin via overland flow and proposed storm sewers. Offsite Area 1 and the existing daintile will be intercepted by a proposed storm sewer and routed around the site, into a proposed dry well to promote infiltration and tie into the storm sewer system downstream of the proposed detention basin restrictor. The proposed drainage areas and the area they are tributary to are summarized below.

Proposed Areas – Tributary to Pond	Area (Ac)
Onsite	2.61
Proposed Offsite Areas – Routed Around Detention Basin to Ditch to the South	
Offsite 1 (North/West)	8.24
Offsite 2 (South – Restricted)	0.73

## Site Runoff Calculations

### Detention Basin Restrictor Sizing – Allowable Release Rate

As per the DuPage County Floodplain and Stormwater Ordinance, the detention basin restrictor has been sized for 0.10 cfs/ac for the onsite area = 2.61 ac.

Therefore, at 0.10cfs/ac = 0.261 cfs allowable release rate. The proposed conditions orifice sizing spreadsheet is included in the appendix of this report.

## Detention Basin Sizing

Below is the summary of required detention volume:

Existing Site Detention Storage (See Exhibit 2-3) = 0.074 ac-ft

The Detention Basin is planned to have a Detention Storage at NWL = 705.70 and HWL = 706.20. Included in the exhibits is the detention storage provided summary chart.

\*Storage Provided = 0.080 ac-ft

## Detention Basin Modeling

Detention Basin Modeling is not required for the site.

## Storm Sewer

The proposed storm sewer will be used to convey the 10-year flow to the downstream Detention and BMP Facility. The storm sewer will be designed to convey the onsite 10-year flow to the detention and bmp facility. The storm sewer routing offsite drainage area 1 to the ditch to the south of the site has been designed to accept the known existing conditions peak flow as modeled in the hydraflow model. The storm sewer network was designed using StormCAD to analyze the 10-year storm event through the storm sewers as well as the 100 year where applicable due to offsite flows (see Storm Sewer Tributary Area Exhibit). StormCAD utilizes the rational method to compute the peak flow rate and determine the hydraulic grade line throughout the proposed pipe network. Illinois State Water Survey Bulletin 70 Rainfall Depths for Northeastern Sectional was entered into the model to analyze the entire system. Both the storm sewer design calculations and StormCAD profiles are provided as well as the storm sewer tributary area map. The system is designed to properly convey the onsite runoff to the downstream Detention and BMP facility while maintaining the recommended minimum and maximum pipe velocities. A runoff coefficient of 0.95 was used for impervious areas and 0.45 for pervious areas. The time of concentration was assumed as 10 minutes for onsite areas.

All of the calculated runoff volume is conveyed within the crown of the pipes during the 10-year storm event. This calculation is supported by the maximum hydraulic grade line (HGL) elevations illustrated within each of the attached profiles.

## Soil Erosion and Sediment Control

Soil erosion and sediment control measures consist of silt fence along the property line where drainage is leaving the site and inlet protection at storm sewer structures taking surface runoff. In addition, all disturbed areas that will remain pervious will be seeded and blanketed or seeded and mulched when grading has been completed. All soil erosion and sediment control measures are shown the Proposed Improvement Plans for the site.

## Best Management Practices & Maintenance

The project site is best classified as > 1 Acre Multi-Family of Non-Residential Land Use: Roads w/ Detention, the pollutant categories by treatment importance are as follows:

1. Total Suspended Solids
2. Metals/Oils
3. Nutrients

Best management practices will be implemented both during and after construction to ensure that stormwater quality is enhanced before being released. During construction, general soil erosion and sediment control practices such as silt fence, erosion control blankets, and inlet filter baskets will be provided as shown on the engineering plans. The post construction BMP is planned to be Wetland Bottom Detention and will provide all of the required volume for the site based on the impervious area for the site. The site BMP is classified as Wetland Bottom Detention with an Importance Value of 2. The post construction volume control BMP will allow the facility to exfiltrate 1.25 inch runoff volume per impervious acre of new net impervious area. This volume will be provided in the detention facility itself. A baffle wall with a v-notch weir will be provided upstream of the pond outfall and sized to pass the volume in 48 hours. The wetland bottom detention basin will also have amended soils at the bottom of the basin to promote infiltration. The calculations supporting this detention duration are provided in Exhibit 2-8 including calculations showing volume required, volume provided, and draw down time for the BMP facility.

Maintenance procedures and a schedule for implementation of the site stormwater plan and BMP facilities are outlined in Tab 7 of this report.

## Conclusion

The project site design and stormwater calculations and post construction bmp calculations have been completed to meet the DuPage County Stormwater & Floodplain Ordinance and the Village of Burr Ridge Stormwater Runoff Ordinance.

## Exhibits

- 2-1 – Existing Conditions Drainage Exhibit
- 2-2 – Existing Conditions Detention Exhibit
- 2-3 – Proposed Conditions Drainage Exhibit
- 2-4 – Impervious Area Summary
- 2-5 – Detention Storage Provided and Orifice Sizing
- 2-6 – Existing Time of Concentration and Curve Number Calculations
- 2-7 – Existing Conditions Hydraflow Model
- 2-8 – Volume Control BMP Calculations
- 2-9 – Storm Sewer Tributary Area Exhibit
- 2-10 – Runoff Coefficient Calculation
- 2-11 – StormCAD Output

















EXHIBIT 2-4  
REHABILITATION INSTITUTE OF CHICAGO  
REVISED: 1/30/17

**IMPERVIOUS AREA CALCULATION**

	IMPERVIOUS AREA (SF)	TOTAL (SF)	IMPERVIOUS AREA (AC)	TOTAL (AC)
<b>EXISTING IMPERVIOUS AREA TO BE REMOVED (SF)</b>				
PAVEMENT	50,950		1.17	
ROOF AREA	22,925		0.53	
<b>TOTAL EXISTING IMPERVIOUS AREA</b>		<b>73,875</b>		<b>1.70</b>
<b>PROPOSED IMPERVIOUS AREA (SF)</b>				
<b>ONSITE</b>				
ASPHALT PAVEMENT/SIDEWALK/CURB	49,911		1.15	
ROOF AREA	24,697		0.57	
DETENTION NWL	427		0.01	
<b>TOTAL PROPOSED IMPERVIOUS AREA</b>		<b>75,035</b>		<b>1.72</b>

**Net New Impervious Area = 1,160 SF**  
**Proposed impervious Area = 1.72 ac**  
**Existing Site Area = 2.61 ac**  
**Percent Impervious 0.66 %**

**EXHIBIT 2-5  
REHABILITATION INSTITUTE OF CHICAGO**

**DETENTION STORAGE PROVIDED**

	<b>ELEV</b>	<b>AREA (SF)</b>	<b>AVG AREA (SF)</b>	<b>Δ ELEV (FT)</b>	<b>VOLUME (CF)</b>
NWL	705.7	6310			
			6,666	0.3	2,000
	706	7,021			
			7,322	0.2	1,464
HWL	706.2	7,623			
	<b>TOTAL</b>				<b>3,464</b>

<b>TOTAL DETENTION STORAGE PROVIDED =</b>	<b>3,464 CF</b>
	<b>0.080 AC/FT</b>

**PROPOSED CONDITIONS  
ORIFICE/WEIR STRUCTURE RATING ANALYSIS**

**PROJECT NAME:** Rehabilitation Institute of Chicago  
**PROJ. NO.:** HDRBUIL01  
**DESCRIPTION:** Detention Basin 1  
**FILENAME:** Orifice.xlsx  
**DATE:** 27-Jan-16

**OUTLET:** ORIFICE: 4 IN. DIA. @ ELEV 705.7  
 WEIR: 5 FEET WIDE @ ELEV 706.2

ORIFICE FLOW EQUATION:  $Q = C_d A (2gH)^{0.5}$

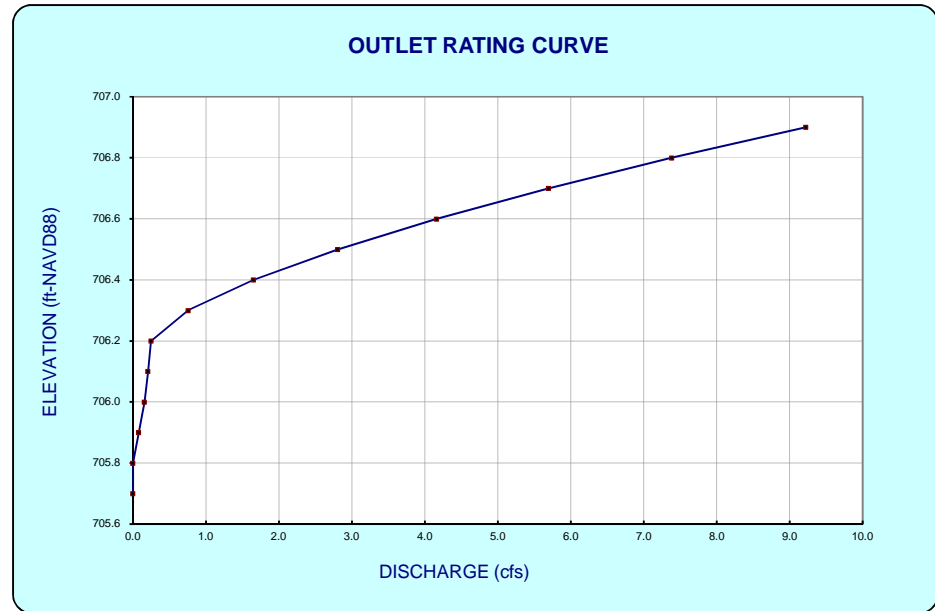
WEIR FLOW EQUATION:  $Q = 3.0L(H)^{1.5}$

**HYDRAULIC DIMENSIONS**

	# 1
ORIFICE AREA (ft <sup>2</sup> )	0.0873
ORIFICE DIAMETER (in)	4.00
ORIFICE DISCHARGE COEFFICIENT	0.61
ORIFICE ELEV. (ft-NAVD88)	705.70
TAILWATER OR CENTROID (ft-NAVD88)	705.867
WEIR LENGTH (ft)	5.00
WEIR COEFFICIENT	3.0
WEIR ELEV. (ft-NAVD88)	706.2

**ELEVATION-DISCHARGE RELATIONSHIP**

Elevation (feet)	Q-Orifice (cfs)	Q-Weir (cfs)	Q-Total (cfs)
705.70	0.00	0.00	0.00
705.80	0.00	0.00	0.00
705.90	0.08	0.00	0.08
706.00	0.16	0.00	0.16
706.10	0.21	0.00	0.21
706.20	0.25	0.00	0.25
706.30	0.28	0.47	0.76
706.40	0.31	1.34	1.65
706.50	0.34	2.46	2.80
706.60	0.37	3.79	4.16
706.7	0.39	5.30	5.69
706.8	0.41	6.97	7.38
706.9	0.43	8.78	9.22





Worksheet 3: Time of Concentration

Project	By	Date:
<b>REHABILITATION INSTITUTE OF CHICAGO</b>	<b>BPH</b>	<b>12/14/2016</b>
Location	Checked	Date:
<b>VILLAGE OF BURR RIDGE, ILLINOIS</b>		

Check one:  Present  Developed

Notes: Space for as many as two segments per flow type can be used for each worksheet. Include a map, schematic, or description of flow segments.

Sub-Area:	<b>Ex.Offsite Area 1</b>
-----------	--------------------------

**SHEET FLOW**

	Segment ID			
1. Surface description (table 3-1).....	<b>AB</b>			
2. Manning's roughness coefficient, <i>n</i> (table 3-1).....	Grass: Dense			
3. Flow length, L (total L, max 100 ft.).....ft	0.24			
4. Two- year 24-hour rainfall, P <sub>2</sub> .....in	100			
5. Land slope, <i>s</i> .....ft/ft	3.04			
6. $T_c = \frac{0.007 \times (nL)^{0.8}}{P_2^{0.5} \times s^{0.4}}$ Compute T <sub>c</sub> .....hr	0.0250			
	0.223	+		
				<b>0.223 hr</b> <b>13 min</b>

**SHALLOW CONCENTRATED FLOW**

	Segment ID			
7. Surface description (paved or unpaved).....	<b>BC</b>			
Use 16.1345 for Unpaved or 20.3282 for Paved.....	Unpaved			
8. Flow length, L.....ft	16.1345			
9. Watercourse slope, <i>s</i> .....ft/ft	492			
10. Average velocity, V (figure 3-1).....ft/s	0.0150			
11. $T_c = \frac{L}{3600 \times V}$ Compute T <sub>c</sub> .....hr	1.98			
	0.069	+		
				<b>0.069 hr</b> <b>4 min</b>

**PIPE FLOW**

	Segment ID			
12. Pipe Diameter, D.....in				
13. Hydraulic Radius, R <sub>h</sub> (A/P <sub>w</sub> = D/4).....ft				
14. Pipe slope (or Energy Slope), <i>s</i> .....ft/ft				
15. Manning's roughness coefficient, <i>n</i> (table 3-1).....				
$V = \frac{1.49 \times R_h^{2/3} \times s^{0.5}}{n}$ Compute V.....ft/s				
16. Pipe Length, L.....ft				
17. $T_c = \frac{L}{3600 \times V}$ Compute T <sub>c</sub> .....hr				
		+		
				<b>0.00 hr</b> <b>0 min</b>

**CHANNEL FLOW**

	Segment ID			
18. Cross sectional flow area, A.....ft <sup>2</sup>				
19. Wetted perimeter, P <sub>w</sub> .....ft				
20. Hydraulic radius, R <sub>h</sub> = A / P <sub>w</sub> .....ft				
21. Channel slope, <i>s</i> .....ft/ft				
22. Manning's roughness coefficient, <i>n</i> (table 3-1).....				
23. $V = \frac{1.49 \times R_h^{2/3} \times s^{0.5}}{n}$ Compute V.....ft/s				
24. Flow length, L.....ft				
25. $T_c = \frac{L}{3600 \times V}$ Compute T <sub>c</sub> .....hr				
				<b>0.00 hr</b> <b>0 min</b>

**Total Time of Concentration**

26. Watershed or subarea T <sub>c</sub> (add T <sub>c</sub> in steps 6, 11, 17 & 25).....	<b>0.292 hr</b> <b>18 min</b>
---	----------------------------------

**Worksheet 2: Runoff curve number**

Project	HDR.BUIL01	By	BPH	Date	12/14/2016
Location	BURR RIDGE, ILLINOIS	Checked		Date	

Check one: Present  **x** Developed  **EXISTING OFFSITE AREA**

**1. Runoff curve number**

Soil name and hydrologic group (appendix A)	Cover Description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/ connected impervious area ratio)	CN			Area		Product of CN x area
		Table 2-2	Figure 2-3	Figure 2-4	acres	X	
					mi <sup>2</sup>		
					%		
B	Open Space	61			6.41	391.0	
B	Impervious Area	98			1.79	175.4	
<b>Totals</b>					8.20	566.4	

$\text{CN (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{566.430}{8.200} = 69.08$	Use CN	<b>69.1</b>
---	--------	-------------

**Worksheet 2: Runoff curve number**

Project	HDR.BUIL01	By	BPH	Date	12/14/2016
Location	BURR RIDGE, ILLINOIS	Checked		Date	

Check one: Present       Developed      **EXISTING ONSITE AREA**

**1. Runoff curve number**

Soil name and hydrologic group  (appendix A)	Cover Description  (cover type, treatment, and hydrologic condition; percent impervious; unconnected/ connected impervious area ratio)	CN			Area		Product of CN x area
		Table 2-2	Figure 2-3	Figure 2-4	acres	X	
					mi <sup>2</sup>		
					%		
B	Open Space	61			0.91		55.5
B	Impervious Area	98			1.70		166.6
<b>Totals</b>					2.61		222.1

$\text{CN (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{222.110}{2.610} = 85.10$	Use CN	<b>85.1</b>
---	--------	-------------

Use 85.1 for Offsite 2

# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

## Hyd. No. 1

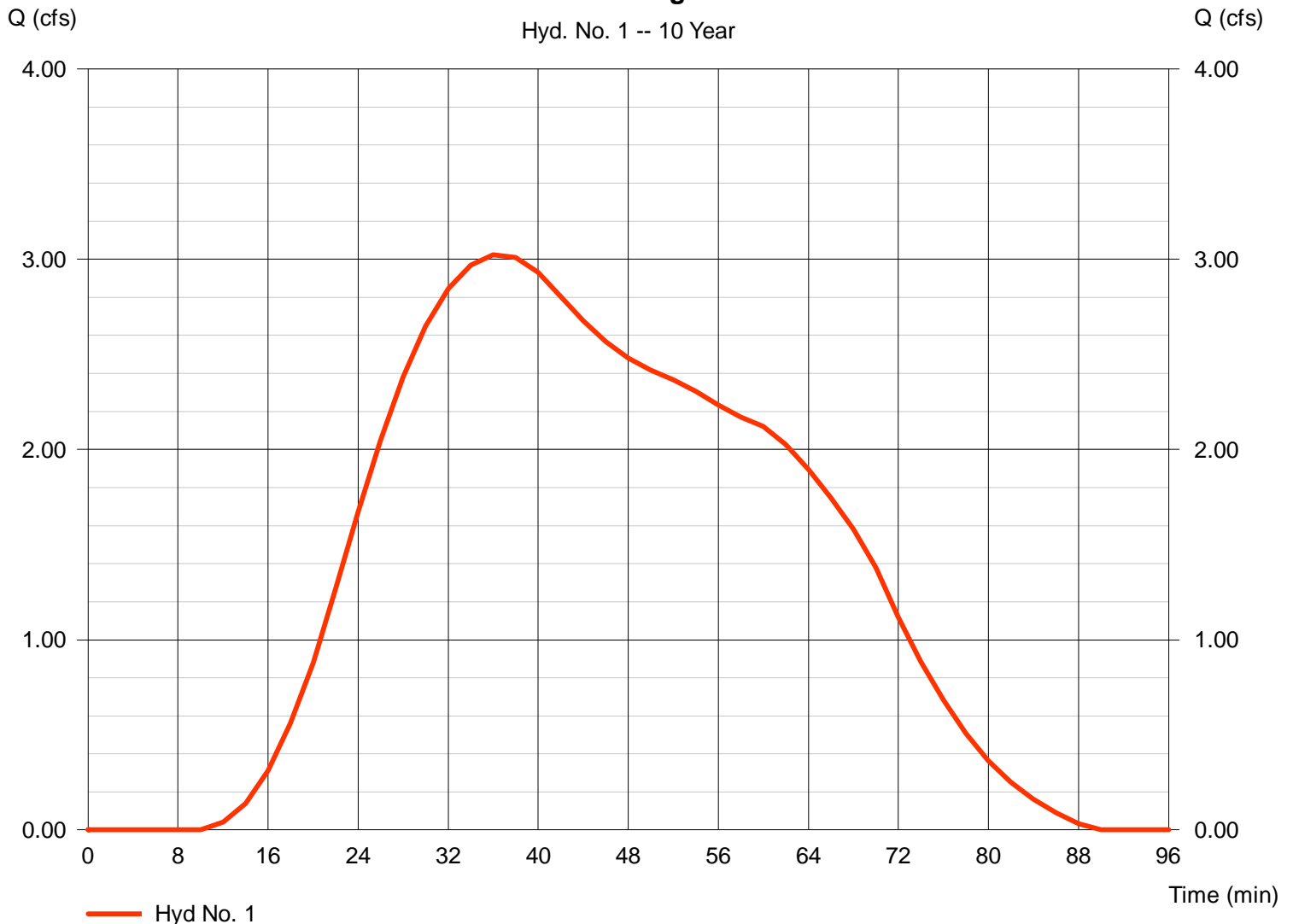
### Offsite Drainage Area

Hydrograph type = SCS Runoff  
Storm frequency = 10 yrs  
Time interval = 2 min  
Drainage area = 8.240 ac  
Basin Slope = 0.0 %  
Tc method = USER  
Total precip. = 2.10 in  
Storm duration = 1.00 hrs

Peak discharge = 3.025 cfs  
Time to peak = 36 min  
Hyd. volume = 7,633 cuft  
Curve number = 69.1  
Hydraulic length = 0 ft  
Time of conc. (Tc) = 18.00 min  
Distribution = Huff-1st  
Shape factor = 484

### Offsite Drainage Area

Hyd. No. 1 -- 10 Year



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

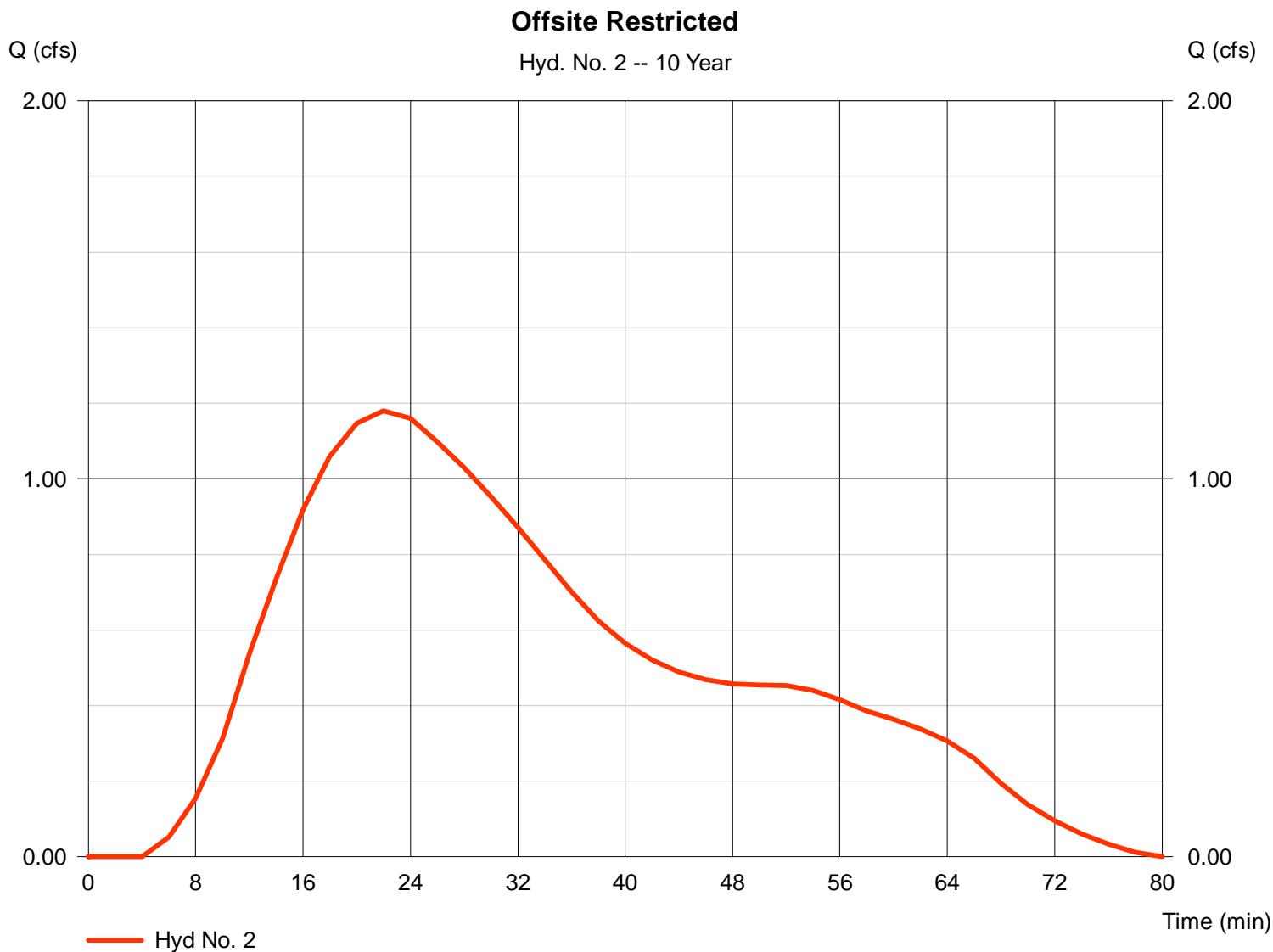
Friday, Jan 27, 2017

## Hyd. No. 2

### Offsite Restricted

Hydrograph type = SCS Runoff  
 Storm frequency = 10 yrs  
 Time interval = 2 min  
 Drainage area = 0.730 ac  
 Basin Slope = 0.0 %  
 Tc method = USER  
 Total precip. = 2.10 in  
 Storm duration = 1.00 hrs

Peak discharge = 1.180 cfs  
 Time to peak = 22 min  
 Hyd. volume = 2,374 cuft  
 Curve number = 85.1  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 10.00 min  
 Distribution = Huff-1st  
 Shape factor = 484



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

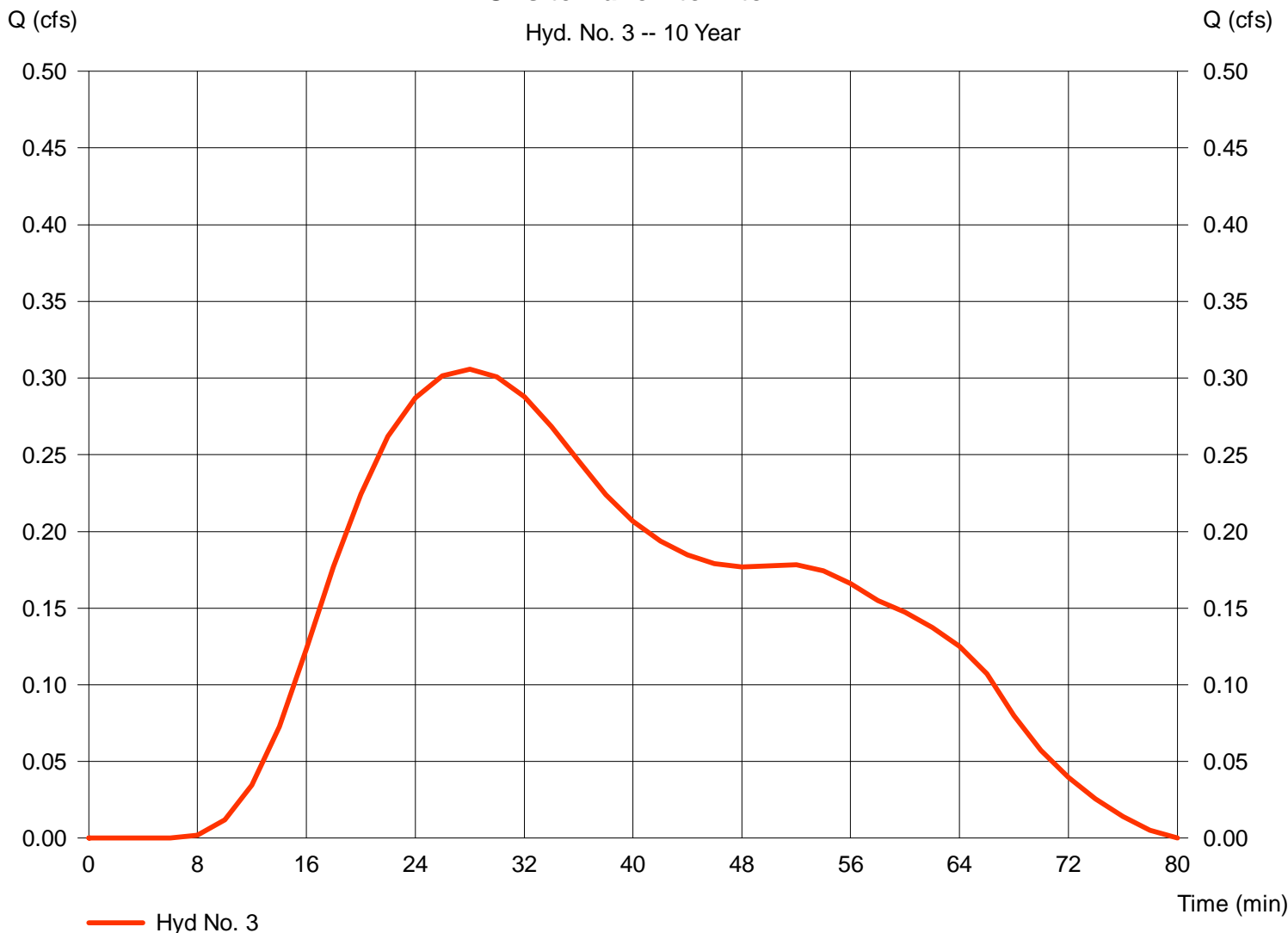
## Hyd. No. 3

### Offsite Runoff to Ditch

Hydrograph type	= SCS Runoff	Peak discharge	= 0.306 cfs
Storm frequency	= 10 yrs	Time to peak	= 28 min
Time interval	= 2 min	Hyd. volume	= 679 cuft
Drainage area	= 0.480 ac	Curve number	= 73.4
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 2.10 in	Distribution	= Huff-1st
Storm duration	= 1.00 hrs	Shape factor	= 484

### Offsite Runoff to Ditch

Hyd. No. 3 -- 10 Year





# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

## Hyd. No. 4

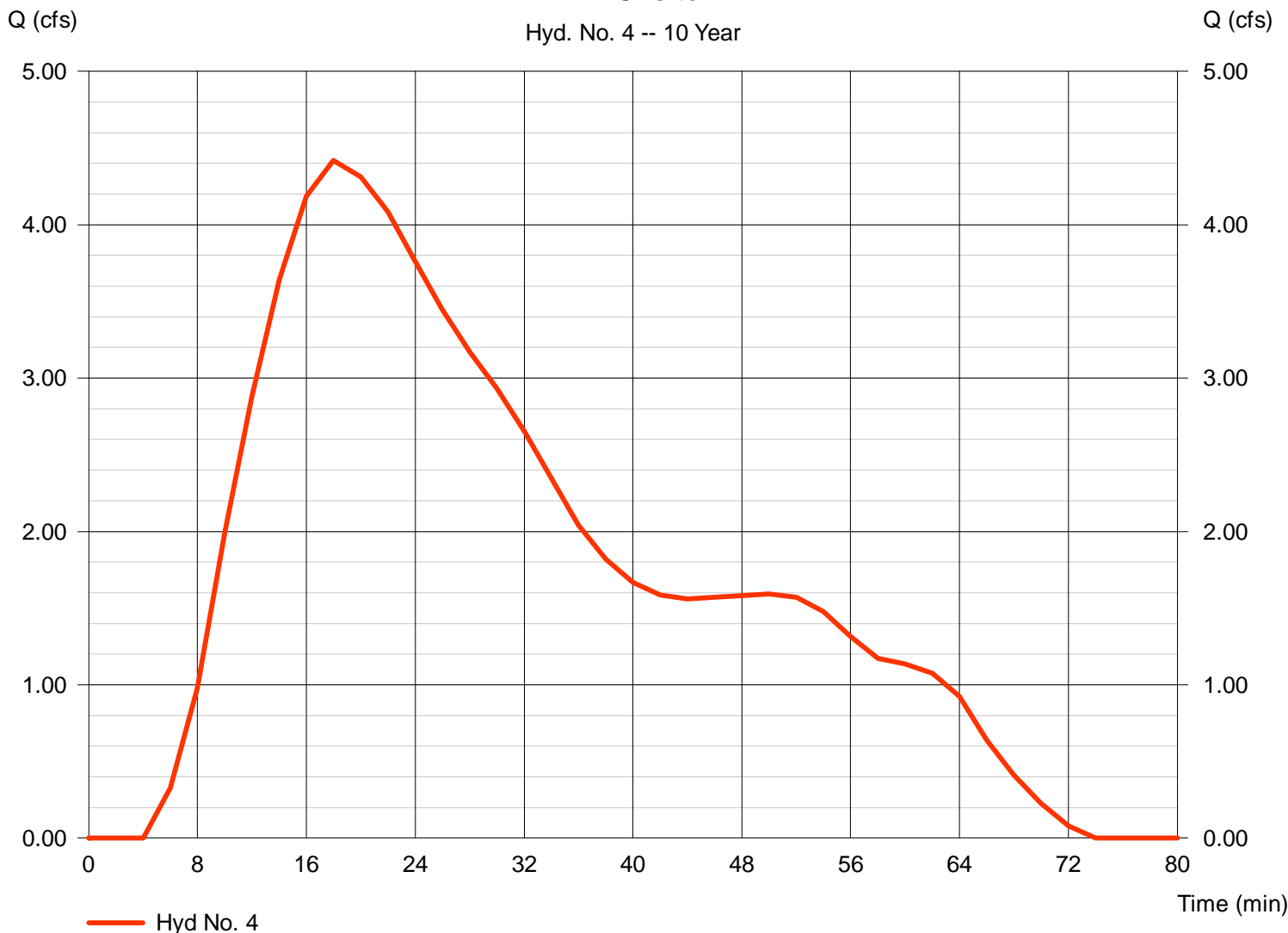
Ex. Onsite

Hydrograph type = SCS Runoff  
 Storm frequency = 10 yrs  
 Time interval = 2 min  
 Drainage area = 2.610 ac  
 Basin Slope = 0.0 %  
 Tc method = USER  
 Total precip. = 2.10 in  
 Storm duration = 1.00 hrs

Peak discharge = 4.419 cfs  
 Time to peak = 18 min  
 Hyd. volume = 8,231 cuft  
 Curve number = 85.1  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 9.00 min  
 Distribution = Huff-1st  
 Shape factor = 484

### Ex. Onsite

Hyd. No. 4 -- 10 Year



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

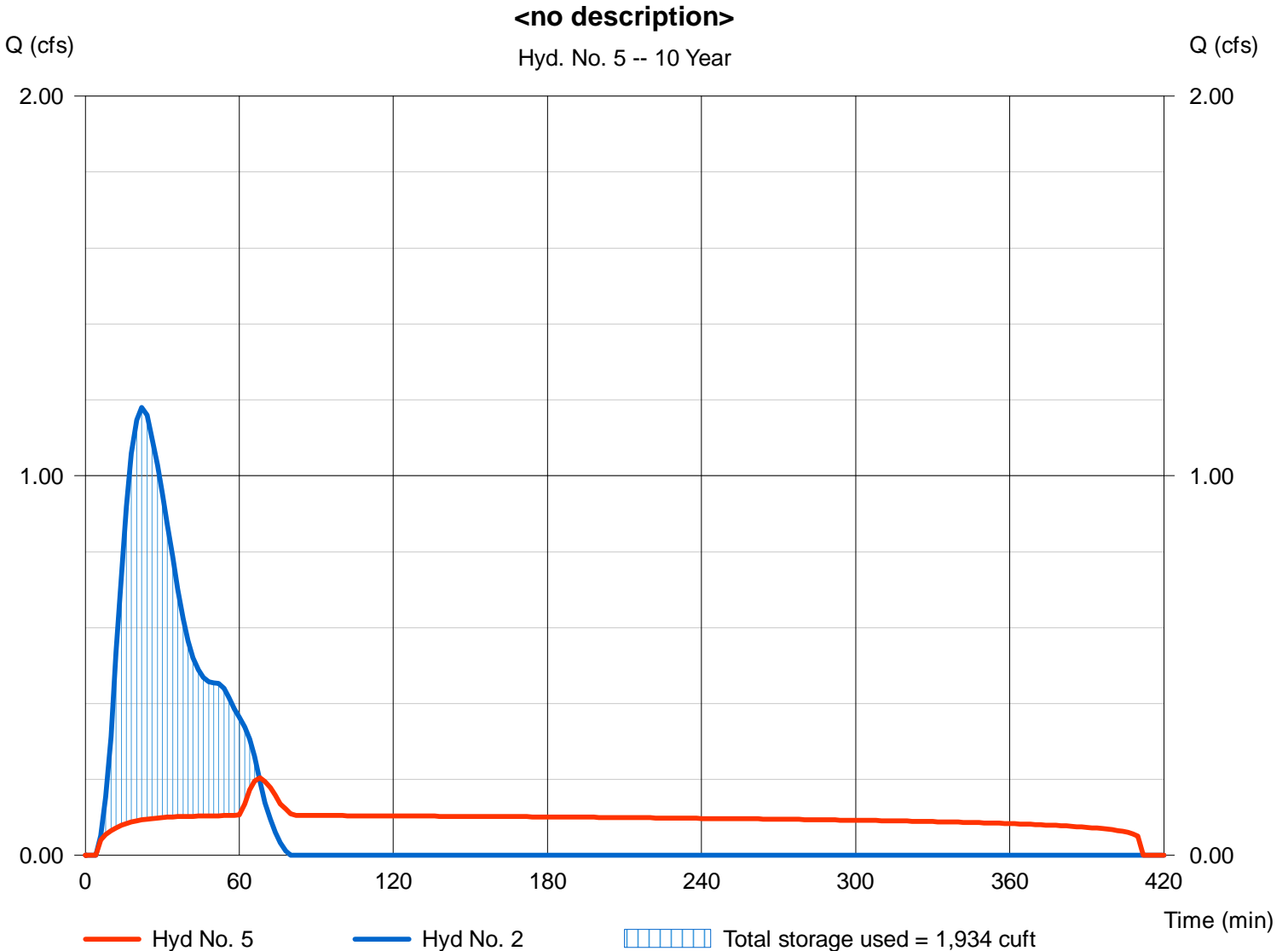
## Hyd. No. 5

<no description>

Hydrograph type = Reservoir  
Storm frequency = 10 yrs  
Time interval = 2 min  
Inflow hyd. No. = 2 - Offsite Restricted  
Reservoir name = <New Pond>

Peak discharge = 0.204 cfs  
Time to peak = 68 min  
Hyd. volume = 2,375 cuft  
Max. Elevation = 710.48 ft  
Max. Storage = 1,934 cuft

Storage Indication method used.



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

## Hyd. No. 1

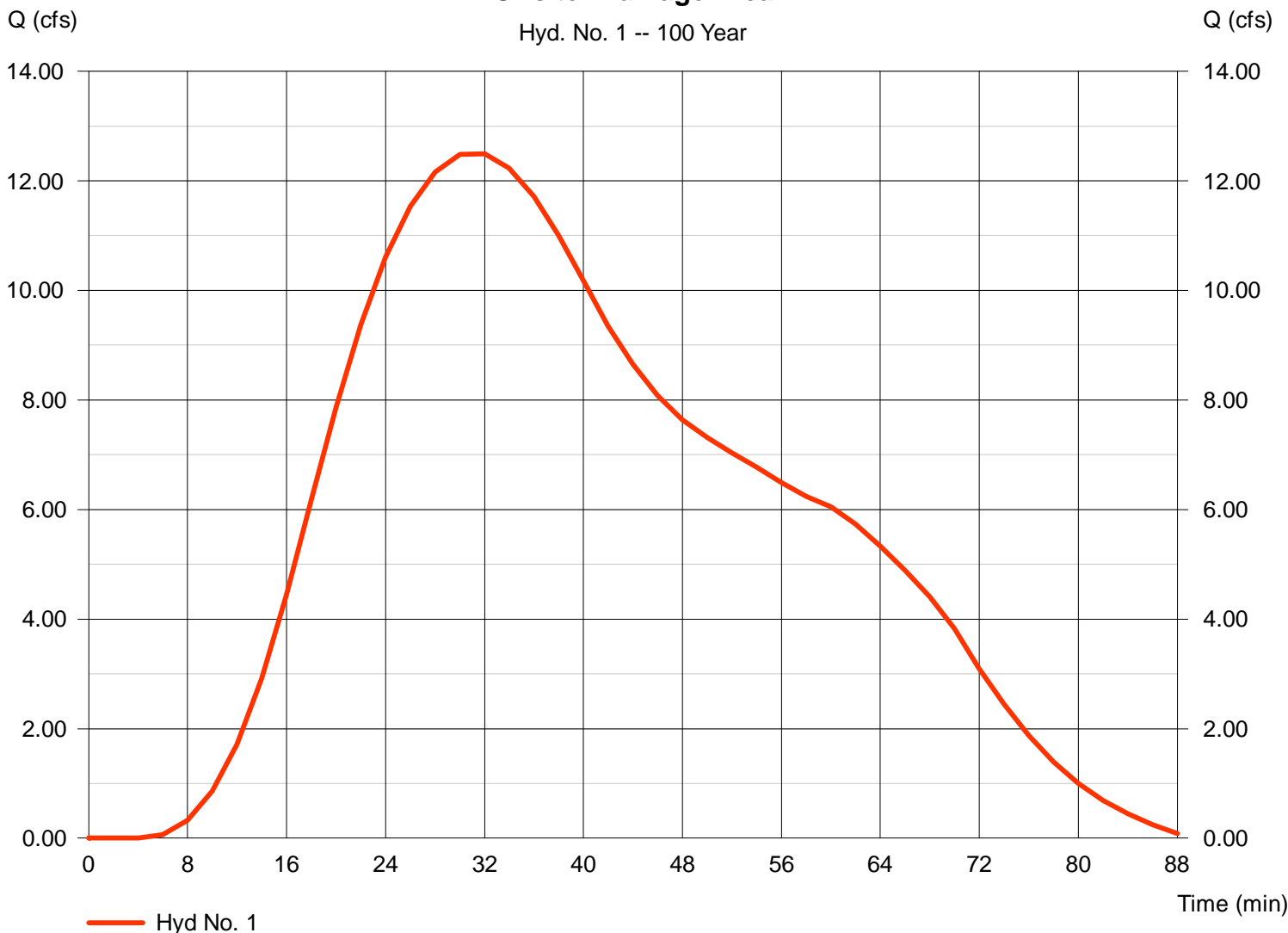
### Offsite Drainage Area

Hydrograph type = SCS Runoff  
 Storm frequency = 100 yrs  
 Time interval = 2 min  
 Drainage area = 8.240 ac  
 Basin Slope = 0.0 %  
 Tc method = USER  
 Total precip. = 3.56 in  
 Storm duration = 1.00 hrs

Peak discharge = 12.50 cfs  
 Time to peak = 32 min  
 Hyd. volume = 29,674 cuft  
 Curve number = 69.1  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 18.00 min  
 Distribution = Huff-1st  
 Shape factor = 484

**Offsite Drainage Area**

Hyd. No. 1 -- 100 Year



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

## Hyd. No. 2

### Offsite Restricted

Hydrograph type = SCS Runoff  
 Storm frequency = 100 yrs  
 Time interval = 2 min  
 Drainage area = 0.730 ac  
 Basin Slope = 0.0 %  
 Tc method = USER  
 Total precip. = 3.56 in  
 Storm duration = 1.00 hrs

Peak discharge = 2.979 cfs  
 Time to peak = 20 min  
 Hyd. volume = 5,676 cuft  
 Curve number = 85.1  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 10.00 min  
 Distribution = Huff-1st  
 Shape factor = 484



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

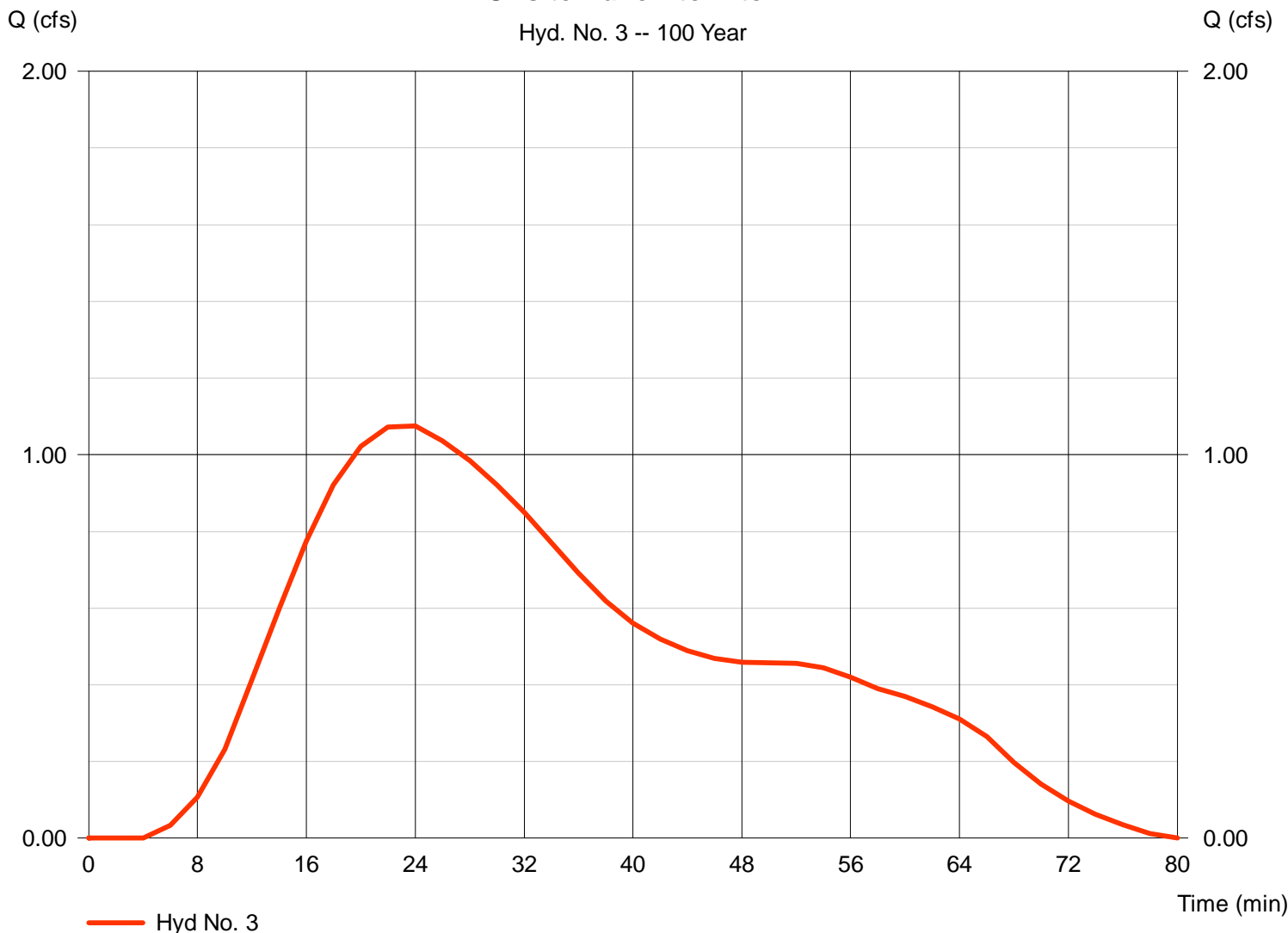
## Hyd. No. 3

### Offsite Runoff to Ditch

Hydrograph type = SCS Runoff  
 Storm frequency = 100 yrs  
 Time interval = 2 min  
 Drainage area = 0.480 ac  
 Basin Slope = 0.0 %  
 Tc method = USER  
 Total precip. = 3.56 in  
 Storm duration = 1.00 hrs

Peak discharge = 1.075 cfs  
 Time to peak = 24 min  
 Hyd. volume = 2,235 cuft  
 Curve number = 73.4  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 10.00 min  
 Distribution = Huff-1st  
 Shape factor = 484

**Offsite Runoff to Ditch**



# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

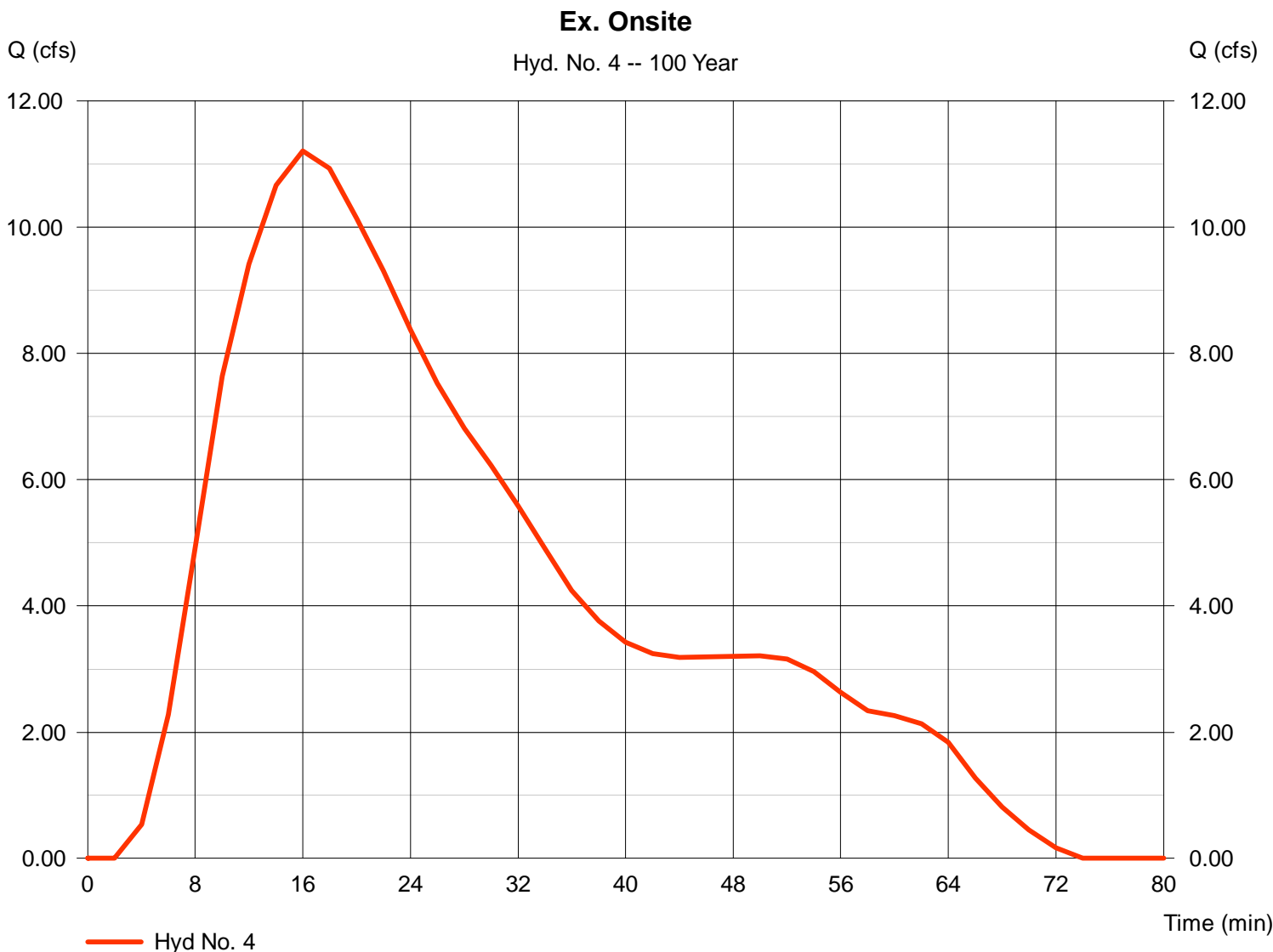
Friday, Jan 27, 2017

## Hyd. No. 4

Ex. Onsite

Hydrograph type = SCS Runoff  
 Storm frequency = 100 yrs  
 Time interval = 2 min  
 Drainage area = 2.610 ac  
 Basin Slope = 0.0 %  
 Tc method = USER  
 Total precip. = 3.56 in  
 Storm duration = 1.00 hrs

Peak discharge = 11.21 cfs  
 Time to peak = 16 min  
 Hyd. volume = 19,677 cuft  
 Curve number = 85.1  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 9.00 min  
 Distribution = Huff-1st  
 Shape factor = 484





# Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Jan 27, 2017

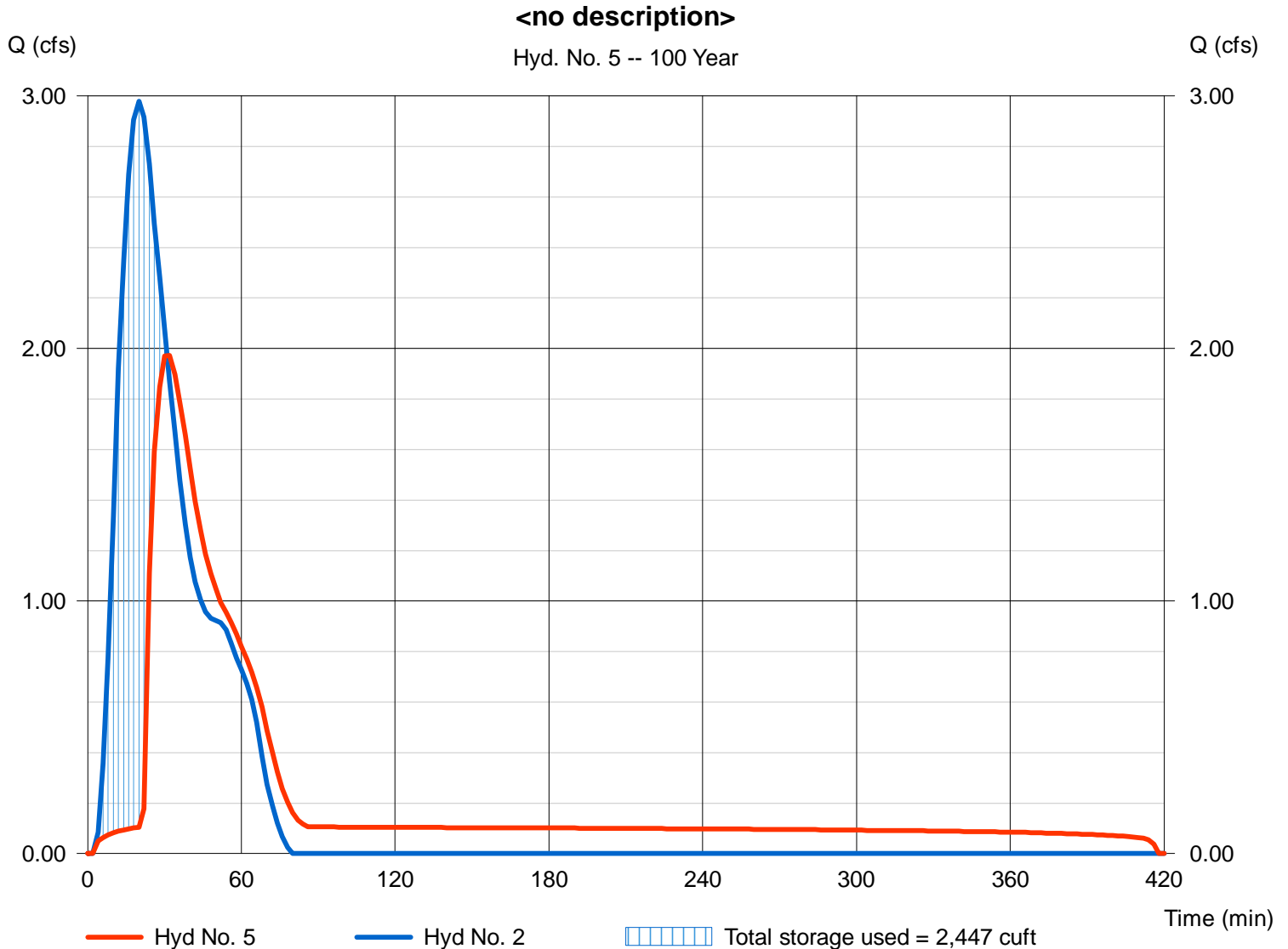
## Hyd. No. 5

<no description>

Hydrograph type = Reservoir  
Storm frequency = 100 yrs  
Time interval = 2 min  
Inflow hyd. No. = 2 - Offsite Restricted  
Reservoir name = <New Pond>

Peak discharge = 1,972 cfs  
Time to peak = 32 min  
Hyd. volume = 5,678 cuft  
Max. Elevation = 710.51 ft  
Max. Storage = 2,447 cuft

Storage Indication method used.







**APPENDIX 2-8  
REHABILITATION INSTITUTE OF CHICAGO  
REVISED: 1/30/17**

**POST CONSTRUCTION BEST MANAGEMENT PRACTICE (PCBMP) CALCULATIONS**

**VOLUME REQUIRED FOR PCBMP**

PROPOSED IMPERVIOUS AREA = 75,035SF

VOLUME REQ'D = IMPERVIOUS AREA X 1.25 IN = (75,035 SF X 1.25 IN)/(12 IN/FT)

VOLUME REQ'D = 7,816 CF                      0.18 AC-FT

**VOLUME PROVIDED IN WETLAND BOTTOM BASIN**

ELEV	AREA (SF)	AVG AREA (SF)	Δ ELEV (FT)	VOLUME (CF)	
703.25	367				BMP NWL
		794	0.25	199	
703.5	1221				
		1,956	0.5	978	
704	2691				
		3,173	0.5	1,587	
704.5	3655				
		4,216	0.5	2,108	
705	4776				
		5,322	0.5	2,661	
705.5	5867				
		6,089	0.2	1,218	
705.7	6310				BMP HWL
<b>TOTAL</b>				<b>8,749</b>	

<b>TOTAL PCBMP STORAGE PROVIDED =</b>	<b>8,749 CF</b>	<b>0.20 AC-FT</b>
---------------------------------------	-----------------	-------------------

(Provided in the bottom portion of the detention basin)

**POST CONSTRUCTION BMP DRAW DOWN TIME**

V-NOTCH WEIR PROVIDED AT OUTFALL PIPE

48 Hours = 172,800 sec, requires a weir to pass

0.190 ac-ft = 8,225 cf/172,800 sec = 0.04 cfs

See attached FlowMaster calculations for weir sizing and plans for weir dimensions





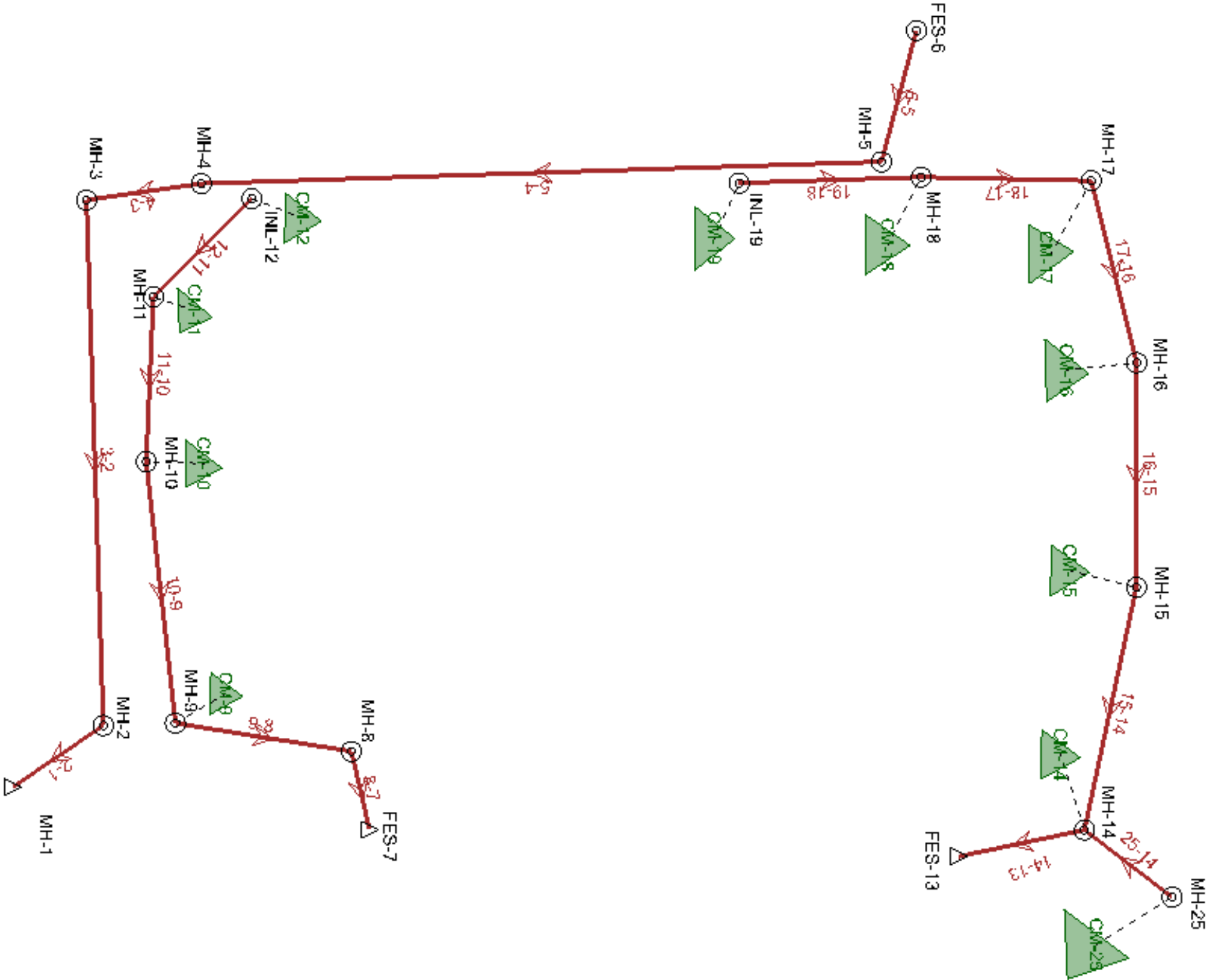
JOB REHABILITATION INSTITUTE OF CH  
 SHEET NO. 1 OF  
 CALCULATED BY HCM DATE  
 CHECKED BY MCE DATE  
 DESCRIPTION RUNOFF COEFFICIENT CALCULATI

**REHABILITATION INSTITUTE OF CHICAGO**  
**BURR RIDGE, ILLINOIS**  
**(Runoff Coefficient Calculations)**  
**C=0.95 (%IMP.) C=0.45 (%PERV.)**

JOB No: HDRBUIL01  
 DATE: 01/23/17

Drainage Area	Area (ac.)	Impervious Area (ac.)	Percent Impervious	Pervious Area (ac.)	Percent Pervious	Runoff Coefficient
9	0.071	0.055	77%	0.016	23%	<b>0.84</b>
10	0.194	0.175	90%	0.019	10%	<b>0.90</b>
11	0.096	0.076	79%	0.020	21%	<b>0.85</b>
12	0.287	0.195	68%	0.092	32%	<b>0.79</b>
14	0.122	0.053	43%	0.069	57%	<b>0.67</b>
15	0.129	0.095	74%	0.034	26%	<b>0.82</b>
16	0.133	0.094	71%	0.039	29%	<b>0.80</b>
17	0.156	0.089	57%	0.067	43%	<b>0.74</b>
18	0.159	0.110	69%	0.049	31%	<b>0.80</b>
19	0.239	0.157	66%	0.082	34%	<b>0.78</b>
<b>Overall:</b>	1.59	1.10	69%	0.49	31%	<b>0.76</b>

### StormCAD Plan View Layout



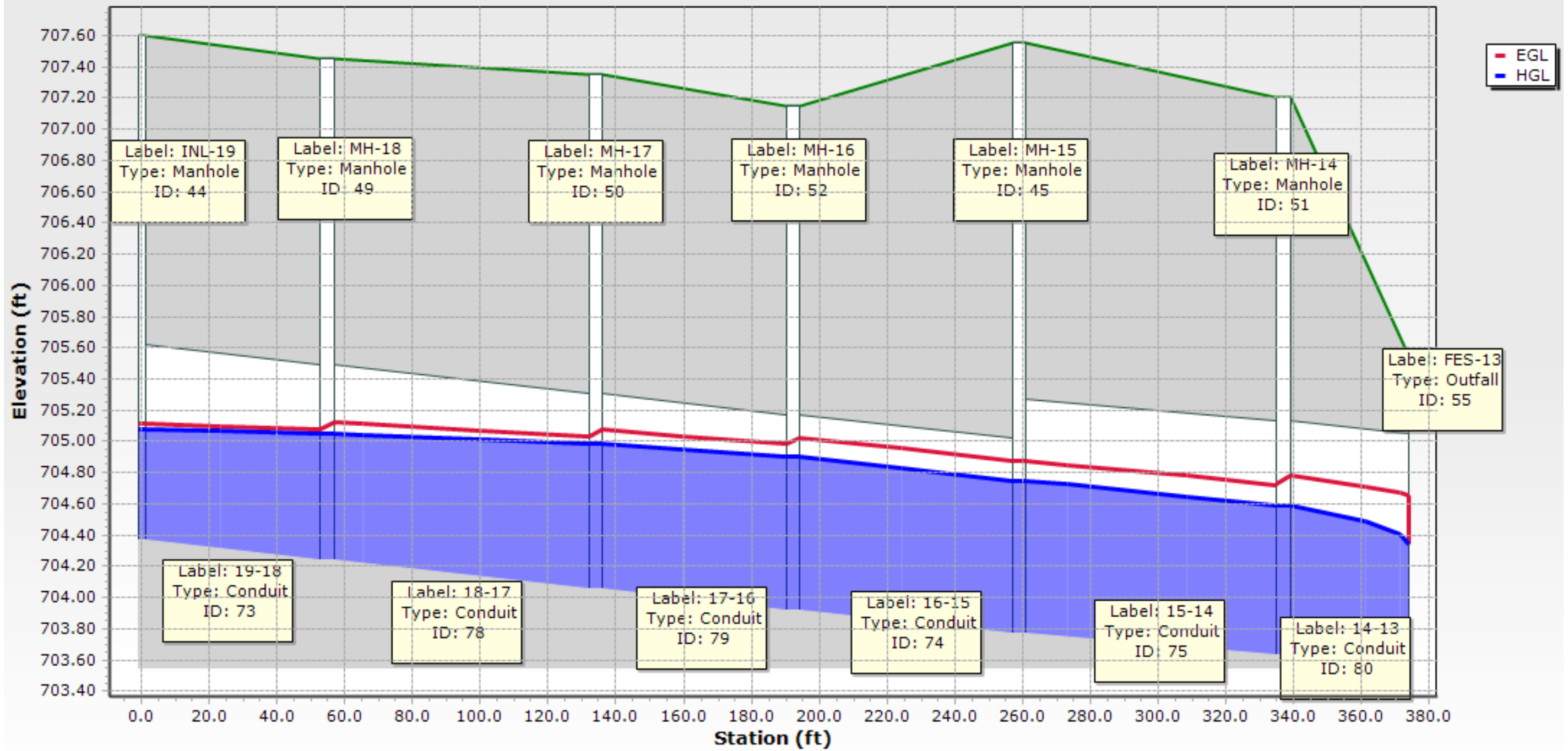


**Conduit FlexTable: Combined Pipe/Node Report**

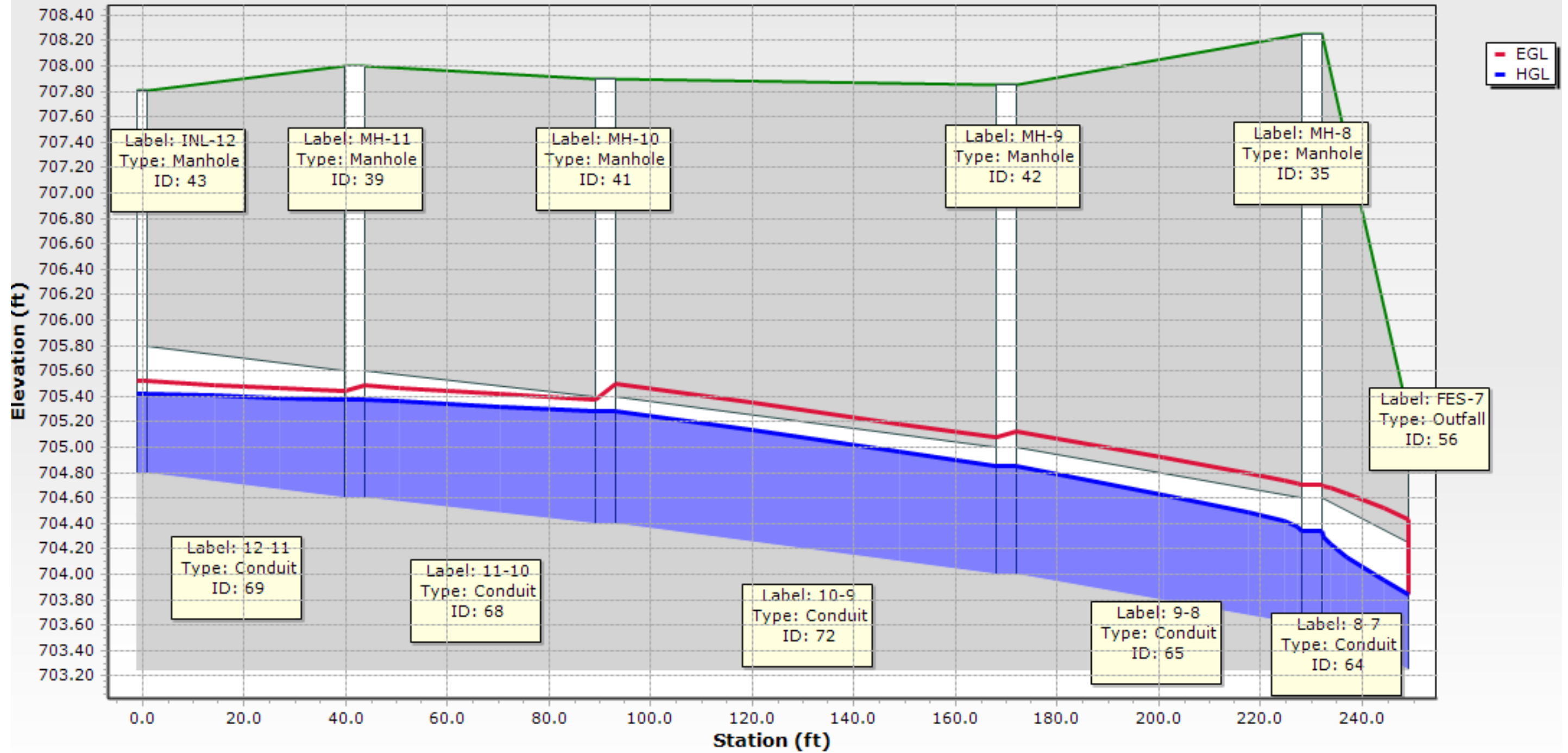
Label	Start Node	Stop Node	Manning's n	Upstream Inlet C	System Flow Time (min)	System Intensity (in/h)	Upstream Inlet Area (acres)	Length (User Defined) (ft)	Diameter (in)	Slope (Calculated) (ft/ft)	Flow (cfs)	Capacity (Design) (cfs)	Velocity (ft/s)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Invert (Start) (ft)	Invert (Stop) (ft)
4-3	MH-4	MH-3	0.013	(N/A)	1.026	6.480	(N/A)	34.8	24.0	0.0017	12.50	9.39	3.98	705.19	705.09	708.20	708.75	703.28	703.22
3-2	MH-3	MH-2	0.013	(N/A)	1.172	6.480	(N/A)	162.0	24.0	0.0017	12.71	9.24	4.05	705.09	704.53	708.75	708.40	703.22	702.95
8-7	MH-8	FES-7	0.013	(N/A)	11.079	5.483	(N/A)	19.0	12.0	0.0184	3.00	4.84	6.48	704.34	703.84	708.25	705.25	703.60	703.25
9-8	MH-9	MH-8	0.013	0.840	10.842	5.522	0.071	60.0	12.0	0.0067	3.02	2.91	4.21	704.85	704.35	707.85	708.25	704.00	703.60
5-4	MH-5	MH-4	0.013	(N/A)	0.171	6.480	(N/A)	204.2	24.0	0.0017	12.50	9.37	3.98	705.80	705.19	707.50	708.20	703.63	703.28
2-1	MH-2	MH-1	0.013	(N/A)	1.839	6.480	(N/A)	52.0	24.0	0.0021	12.71	10.40	4.05	704.53	704.12	708.40	708.00	702.95	702.84
11-10	MH-11	MH-10	0.013	0.850	10.218	5.624	0.096	49.5	12.0	0.0040	1.75	2.27	3.18	705.38	705.28	708.00	707.90	704.60	704.40
12-11	INL-12	MH-11	0.013	0.790	10.000	5.660	0.287	41.7	12.0	0.0048	1.29	2.47	3.19	705.42	705.38	707.80	708.00	704.80	704.60
10-9	MH-10	MH-9	0.013	0.900	10.477	5.582	0.194	78.9	12.0	0.0051	2.72	2.54	3.61	705.28	704.85	707.90	707.85	704.40	704.00
19-18	INL-19	MH-18	0.013	0.780	10.000	5.660	0.239	54.7	15.0	0.0024	1.06	3.15	2.32	705.08	705.05	707.60	707.45	704.37	704.24
16-15	MH-16	MH-15	0.013	0.800	11.246	5.456	0.133	66.7	15.0	0.0022	2.94	3.06	2.84	704.90	704.75	707.15	707.55	703.92	703.77
15-14	MH-15	MH-14	0.013	0.820	11.637	5.392	0.129	78.2	18.0	0.0018	3.48	4.45	2.78	704.75	704.59	707.55	707.20	703.77	703.63
6-5	FES-6	MH-5	0.013	(N/A)	0.000	6.480	(N/A)	40.7	24.0	0.0017	12.50	9.38	3.98	705.92	705.80	706.50	707.50	703.70	703.63
18-17	MH-18	MH-17	0.013	0.800	10.393	5.596	0.159	79.3	15.0	0.0023	1.77	3.08	2.59	705.05	704.98	707.45	707.35	704.24	704.06
17-16	MH-17	MH-16	0.013	0.740	10.903	5.512	0.156	58.3	15.0	0.0024	2.38	3.16	2.83	704.98	704.90	707.35	707.15	704.06	703.92
14-13	MH-14	FES-13	0.013	0.670	12.105	5.315	0.122	37.0	18.0	0.0022	4.25	4.88	3.11	704.59	704.34	707.20	705.55	703.63	703.55
25-14	MH-25	MH-14	0.013	0.550	5.000	6.480	0.128	83.0	15.0	0.0376	0.46	12.52	4.85	707.26	704.59	710.60	707.20	707.00	703.88

NOTE: THE RUN OF PROPOSED SEWER INCLUDING MH-1, MH-2, MH-3, MH-4, MH-5. AND FES-6 IS DESIGNED BASED ON KNOWN PEAK OFFSITE FLOWS FROM THE HYDROGRAPH MODEL.

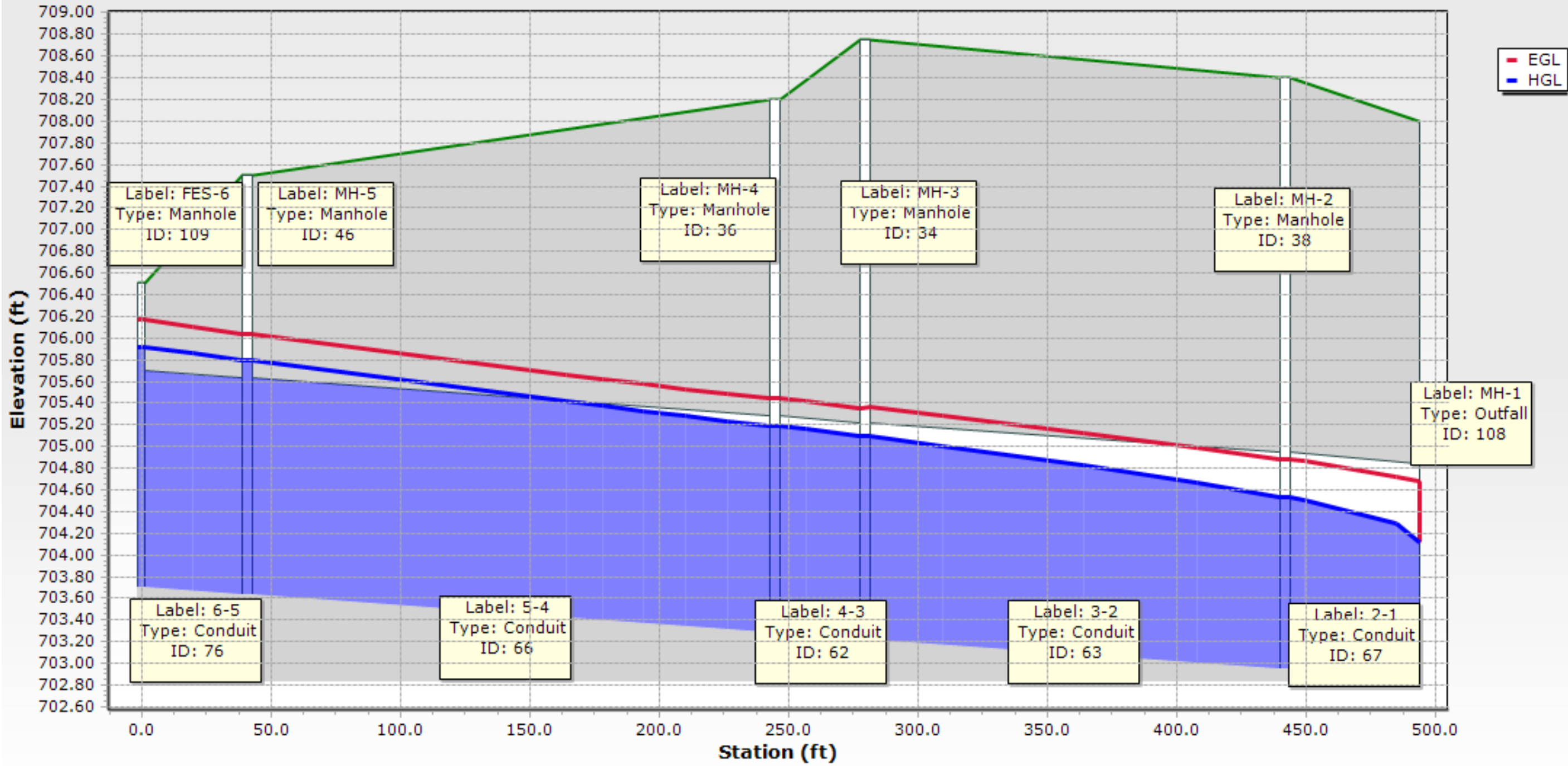
### NORTH - Base - Time: 0.00



### SOUTH - Base - Time: 0.00



### 100YR OFFSITE BYPASS - Base



**Tab 3A**

**Flood Plain Submittal (Sec. 15-150)**

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
N/A				Regulatory flood plain boundary determination:	
				Provide source of flood profile information.	
				Provide all hydrologic and hydraulic study information for site-specific flood plain studies, unnumbered Zone A area elevation determinations, and flood plain map revisions.	
				Flood plain fill and compensatory storage calculations:	
				Flood plain fill and compensatory storage calculations.	
				Tabular summary of fill, compensatory storage, and compensatory storage ratios provided in proposed plan.	
				Substantial Improvement Calculations.	
				Floodproofing Measures:	
				Narrative discussion of flood proofing measures including material specifications, calculations, design details, operation summary, etc.	
				Plan view drawing of flood proofing measures - place in Tab 6.	
↓				Flood Easements when required by the countywide ordinance or local jurisdiction.	

Tab 3B

Flood Plain Submittal - Floodway (Sec. 15-150)

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
N/A ↓				Floodway hydrologic and hydraulic analysis description and assumptions.	
				Plan View drawings showing location of cross-sections and any other modeled features.	
				Floodway hydrologic and hydraulic analyses for the following conditions:	
				Existing watershed conditions (land use and stream system) without development.	
				Future watershed conditions (land use and stream system) without development.	
				Existing watershed conditions (land use and stream system) with development.	
				Future watershed conditions (land use and stream system) with development.	
				Tabular summary of existing and future analyses for existing and proposed conditions.	
				Calculations necessary for model development.	



Tab 3– Flood Plain Submittal  
Sec. 15-150

There is no flood plain located on the project site. See FIRM Map, RFM Map, and FEQ Map provided in Tab 1.

Tab 4

Wetland Submittal (Sec. 15-151)

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
N/A ↓				Narrative overview of wetland(s) type, size, and function(s) currently performed (include photographs).	
				Wetland Delineation Plan View Drawing - place in Tab 6.	
				Completed USCOE data sheets according to USCOE Federal Manual 1987.	
				Narrative overview of wetland impact(s) and proposed mitigation.	
				Narrative description of avoidance and minimization measures taken, and justification for wetland impact(s) for all on-site wetlands.	
				Characterization of on-site wetland(s) as either critical or regulatory with the following support calculations:	
				Stormwater storage volume to tributary basin runoff volume calculations or other acceptable documentation .	
				Floristic study using the mean rated quality (MRQ) or natural area rated index (NARI) assessment.	
				Wildlife quality assessment using the Modified Michigan Department of Natural Resources Method (MDNR) or mean rated wildlife quality (MWRQ) assessment.	
				Wetland Mitigation Report:	
				Narrative description of the wetland mitigation plan and the function(s) the mitigation will replace.	
				Narrative description of the existing and proposed hydroperiod with supporting data and proposed management of hydrology.	
				Proposed vegetative list for each community type with associated acreage.	
				Narrative on the proposed management of hydric soils (i.e. source, classification, depth, etc.)	
				Proposed wildlife habitat measures and management.	
				Wetland Mitigation Plan View Drawing - place in Tab 6.	
				Wetland Mitigation Maintenance and Monitoring Plan - place in Tab 7.	
				If requesting participation in the County Wetland Banking Program provide a narrative in support of the request.	

Tab 4– Wetland Submittal  
Sec. 15-151

There are no wetlands located on the project site

**Tab 5**

**Riparian Environment Submittal (Sec. 15-152)**

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
N/A				Narrative overview of riparian impacts and mitigation.	
↓				Inventory of the makeup of the riparian area and the functions of the riparian environment.	
				Riparian Plan View Drawing - place in Tab 6.	
				Maintenance and Monitoring Plan - place in Tab 7.	

Tab 5– Riparian Environmental Submittal  
Sec. 15-152

There is no riparian environment located on the project site, see Tabs 3 and 4.

**Tab 6**

**Maps (Sec. 15-149, 15-150, 15-151)**

Applicant	Reviewer			Requirement	Reviewer Comments
	Check if required	Check if provided	Status (A/NA/R)		
✓				Site Topographic Map:	
✓				Map scales at 1 inch = 100 feet (or less) and accurate to +/- 0.5 feet.	
✓				Existing and proposed contours on-site and within 100 feet of site.	
				Delineation of pre-development regulatory flood plain/floodway limits.	
				Delineation of post-development regulatory flood plain/floodway limits.	
				Location of all wetlands, lakes, ponds, etc. with normal water elevation noted.	
✓				Location of all buildings on or near the site.	
✓				Identification of lowest floor and lowest point of entry for each building within 100 feet of the development.	
				Identification of floodproofing elevation for each structure (if appropriate).	
✓				Drawings signed and sealed by a L.S. or P.E.	
✓				General Plan View Drawing of existing and proposed site conditions:	
✓				Existing major and minor stormwater systems.	
✓				Proposed major and minor stormwater systems.	



				Existing wetland location.	
				Proposed wetland mitigation.	
✓				Existing roadways, structures, parking lots, driveways, sidewalks and other impervious surfaces.	
✓				Proposed roadways, structures, parking lots, driveways, sidewalks and other impervious surfaces.	
				Map scales at 1 inch = 100 feet (or less) and accurate to +/- 0.5 feet.	
				Nearest base flood elevations.	
✓				DuPage County Survey Control Network benchmark.	
✓				FEMA Control Survey benchmark.	
✓				Professional Engineer seal and signature.	
				Structural Engineer seal and signature if any structure is subject to more than three differential water pressure head.	
✓				Design details for stormwater facilities (i.e. structure and outlet work detail drawings, etc.).	
✓				Vicinity Topographic Map:	
✓				Vicinity topographic map covering entire area upstream of the development site and downstream to a suitable hydraulic boundary condition.	
✓				The County 2' contour map is preferred at a scale readable by the reviewer.	
✓				Watershed boundaries for areas draining through or from the development.	
✓				Soil types, vegetation and land cover affecting runoff upstream of the site for any area draining through the site.	
				Location of development site within the watershed planning area.	
				Plan drawings and details of flood proofing measures.	
✓				Sediment and Erosion Control Plan View Information:	
✓				Narrative description of planned construction activities, hydrologic conditions, soils types, erosion control measures, and planned maintenance.	

✓				Existing contours with drainage patterns and watershed boundaries.	
✓				Existing soil types, vegetation and land cover conditions.	
✓				Proposed contours with location of drainageways and sediment and erosion measures.	
✓				Proposed soil types, vegetation and land cover conditions.	
✓				Limits of clearing and grading.	
✓				Sediment/erosion control installation measures.	
✓				List of maintenance tasks.	
✓				Schedule for placement and maintenance of soil stabilization and sediment trapping facilities.	
✓				Maintenance tasks performance schedule.	
✓				Design details for proposed sediment/erosion control facilities and measures.	
				Wetland Delineation Plan View Drawing:	
				Aerial exhibit showing the wetland delineation, data points, photopoints, and existing flow paths.	
				Location of offsite contiguous wetland.	
				Existing and proposed tributary areas to all wetlands.	
				Wetland Mitigation Plan View Drawing:	
				Wetland delineation and buffer area.	
				Proposed mitigation design showing communities and associated acreages.	
				Existing and proposed boundaries of the area(s) tributary to all on-site wetlands.	
				Identify and locate wetland impact(s) and mitigation area(s).	
				Table of existing wetland and buffer areas (acres), impacts (acres), mitigation (acres) and mitigation ratios.	
				Wetland consultant and date of delineation.	
				Riparian Plan View Drawing:	
				Landscape plan of the flood plain.	

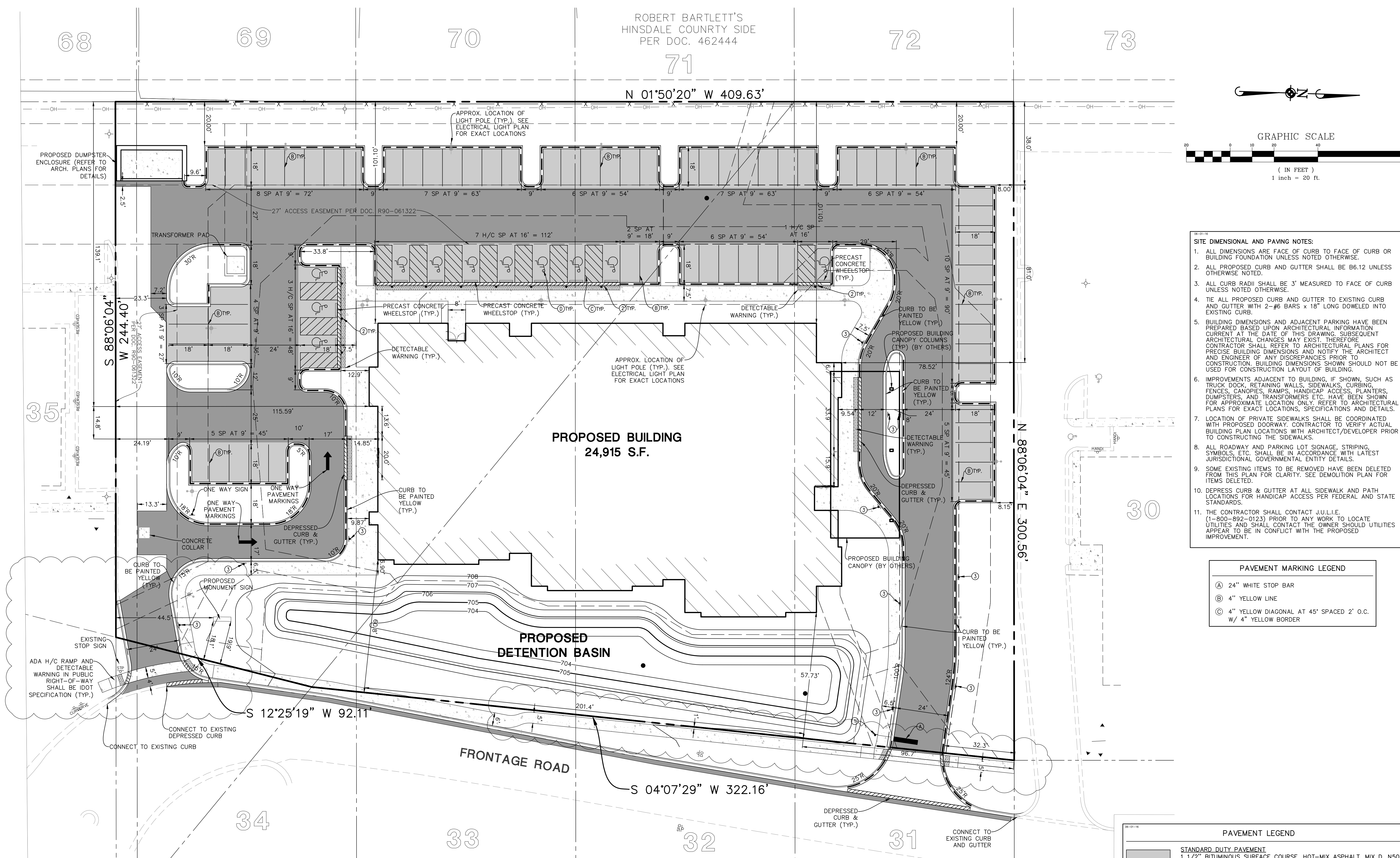
**Tab 6– Maps**  
**Sec. 15-149, 15-150, 15-151**

Please refer to Tab 1 and pages 1-10 of the plan set named, “Proposed Improvement Plans for The Rehabilitation Institute of Chicago” prepared by Manhard Consulting dated May 16, 2017.









- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
  - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - TIE ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-#6 BARS x 18" LONG DOWELED INTO EXISTING CURB.
  - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. BUILDING DIMENSIONS SHOWN SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT OF BUILDING.
  - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
  - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
  - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
  - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
  - DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS PER FEDERAL AND STATE STANDARDS.
  - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.

**PAVEMENT MARKING LEGEND**

(A)	24" WHITE STOP BAR
(B)	4" YELLOW LINE
(C)	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C. W/ 4" YELLOW BORDER

**PAVEMENT LEGEND**

	<b>STANDARD DUTY PAVEMENT</b> 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, NS0 2 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, NS0 7" AGGREGATE BASE COURSE, TYPE B
	<b>HEAVY DUTY PAVEMENT</b> 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, NS0 2 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, NS0 14" AGGREGATE BASE COURSE, TYPE B
	<b>CONCRETE PAVEMENT</b> 5" PORTLAND CEMENT CONCRETE PAVEMENT W/ 6 X 6 W1.4 WWF 4" COMPACTED AGGREGATE BASE, TYPE B

**SITE DATA**

SITE AREA	2.61 ACRES
PARKING PROVIDED	69 SPACES
HANDICAP PROVIDED	11 SPACES

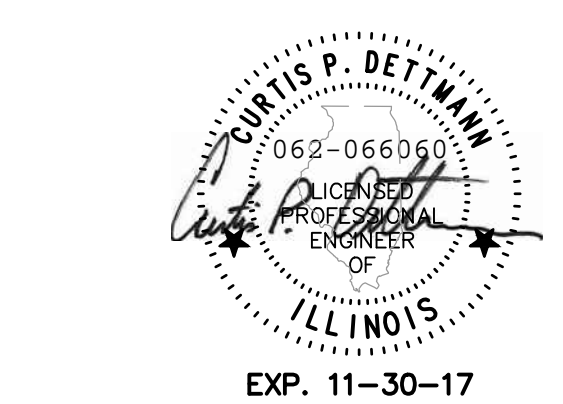
- SIGN LEGEND**
- R1-1 STOP SIGN
  - R7-8 HANDICAP PARKING SIGN
  - R8-31 NO PARKING FIRE LANE SIGN (EXACT LOCATIONS OF SIGNS TO BE COORDINATED WITH FIRE MARSHAL)

CONTROL POINT FOR LAYOUT OF ALL PROPOSED IMPROVEMENTS. BUILDING AND PARKING TO BE PARALLEL AND PERPENDICULAR TO WEST PROPERTY LINE UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF SIDEWALKS, SIDEWALK SCORING, BENCHES, BIKE RACKS, FLAG POLES, ETC. DIMENSIONS OF VESTIBULE, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

MARK	DATE	DESCRIPTION
	3/20/2017	ISSUE FOR BID/PERMIT
	5/2/2017	PERMIT CORRECTIONS
	5/16/2017	PERMIT CORRECTIONS - CIVIL

Project Number: HDR.BUL01  
Original Issue: 3/20/2017



Sheet Name  
**SITE DIMENSIONAL  
AND PAVING PLAN**

Sheet Number  
**C102**

Project Status  
ISSUE FOR BID/PERMIT







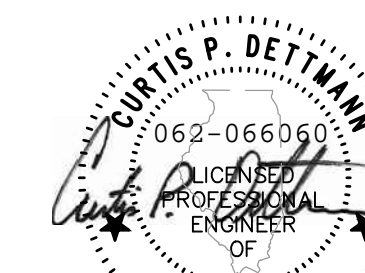




MARK	DATE	DESCRIPTION
	3/20/2017	ISSUE FOR BID/PERMIT
	5/2/2017	PERMIT CORRECTIONS
	5/16/2017	PERMIT CORRECTIONS - CIVIL

Project Number  
Original Issue

HDR.BUILD  
3/20/2017



EXP. 11-30-17

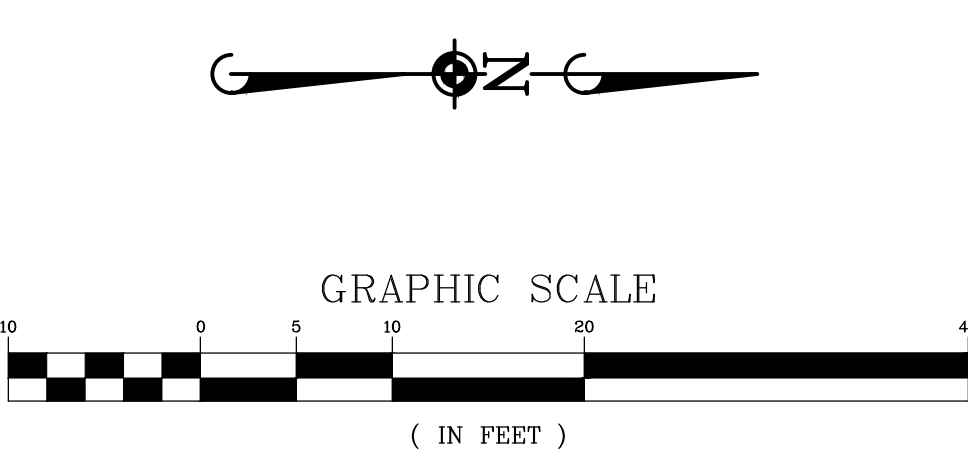
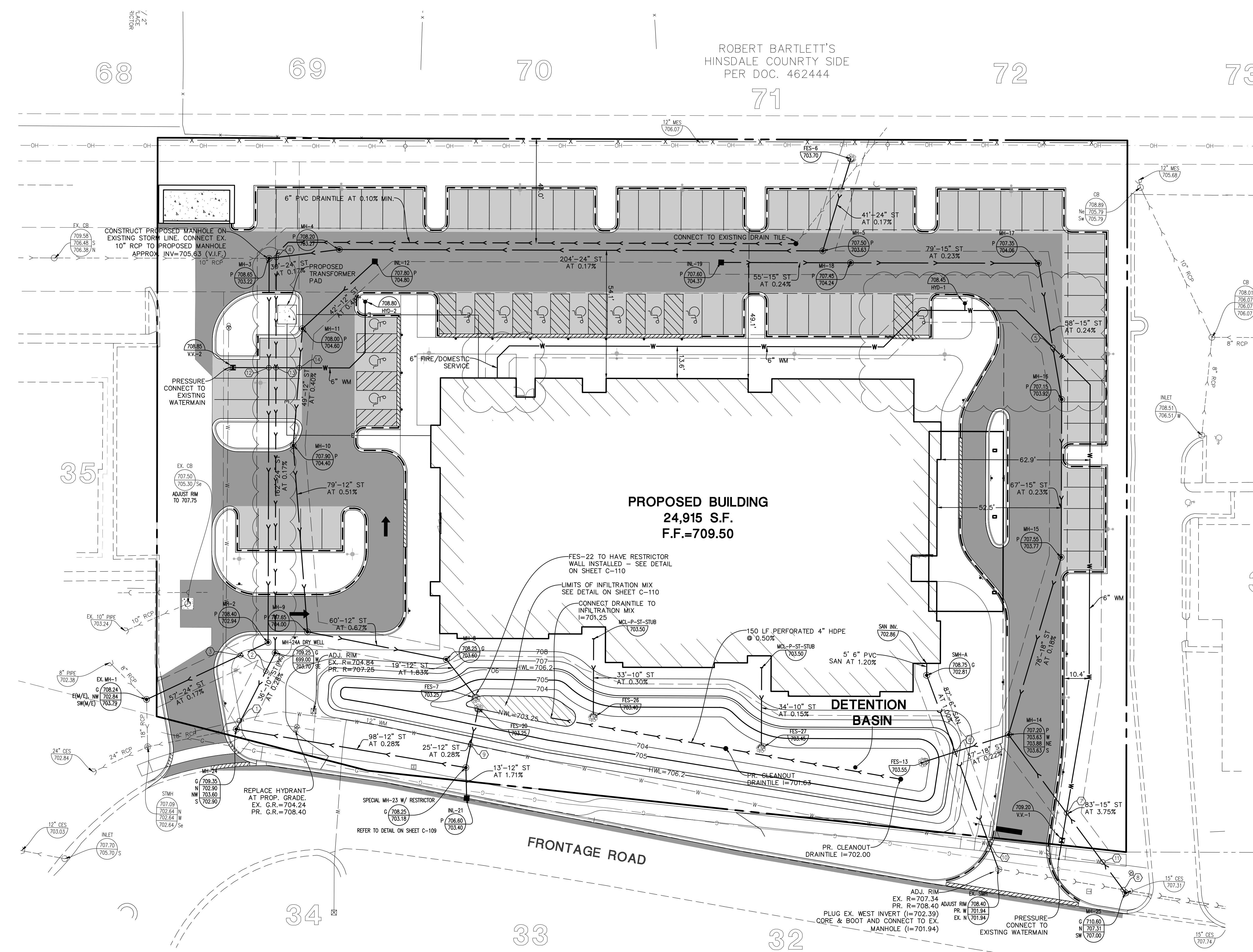
Sheet Name

**UTILITY PLAN**

Sheet Number

**C10**

Project Status  
ISSUE FOR BID/PERMIT



- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PROPOSE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT J.U.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER, WATER MAIN AND DRY UTILITY LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
  - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
  - THE CONTRACTOR SHALL ADJUST RM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
  - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
  - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
  - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
  - ALL WATER MAIN SHALL BE 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS SHOWN OTHERWISE.
  - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
  - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HERE ON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED.
  - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
  - PROVIDE CONCRETE COLLAR FOR ALL MANHOLES & VALVE VAULTS IN PAVEMENT, NOT ADJACENT TO CURB. SEE CONCRETE COLLAR DETAIL ON DETAIL SHEET.
  - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO EXISTING SANITARY MANHOLES.
  - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
  - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
  - ALL D.I. WATERMAIN FITTINGS SHALL BE WRAPPED.
  - THE DEPTH OF THE EXISTING WATERMAIN IS PER AN EXHIBIT PROVIDED BY THE VILLAGE. THE DEPTH OF THE WATERMAIN FOR CROSSING 1, 3, 9, 10, AND 11 IS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. IN THE EVENT THERE WILL BE LESS THAN 18" OF VERTICAL SEPARATION BETWEEN THE BOTTOM OF THE STORM SEWER AND THE TOP OF THE WATERMAIN, THE STORM SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY PIPE FOR A MINIMUM OF 10 FEET ON BOTH SIDES OF THE CONFLICT.
  - NO. 8 SOLID BLUE TRACER WIRE SHALL BE USED FOR PROPOSED WATER MAIN.

**UTILITY CROSSINGS**

ST. OVER WM B/P ST = ±703.6 T/P WM = ±702.0* *SEE NOTE 20	ST. OVER SAN B/P ST = 706.81 T/P SAN = 702.3
ST. OVER WM B/P ST = 703.7 T/P WM = ±699.5* *SEE NOTE 20	ST. OVER WM B/P ST = 703.04 T/P WM = ±698.3 *SEE NOTE 20*
ST. OVER WM B/P ST = 703.0 T/P WM = ±699.5* *SEE NOTE 20	SAN. OVER WM B/P SAN = 701.97 T/P WM = ±701.5 *SEE NOTE 20*
ST. (RCP) OVER ST. (DRAINILE) B/P RCP = 703.0 T/P DRAINILE = 699.7	ST. OVER WM B/P ST = 706.21 T/P WM = ±703.0 *SEE NOTE 20*
ST. OVER WM B/P ST = 703.7 T/P WM = 701.7 *LOWER WM*	ST. OVER WM B/P ST = 702.90 T/P WM = 700.90 *LOWER WM*
ST. OVER SAN B/P ST = 703.3 T/P SAN = 703.0	WM OVER ST. (DRAINILE) B/P ST = 702.5 T/P ST = 703.0
ST. OVER WM B/P ST = 705.24 T/P WM = ±703.24 *LOWER WM*	ST. OVER WM B/P ST = 704.37 T/P WM = ±702.3 *LOWER WM*

NOTE: WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)

NAME	INNER DIAMETER	LID/GRADE TYPE	INVERTS (IN)	INVERTS (OUT)
Ex. MH-1	N/A	N/A	702.84, 703.79	702.84
MH-2	48"	Type 1 Closed	702.94	702.94
MH-3	60"	Type 1 Closed	703.22, 705.63	703.22
MH-4	48"	Type 1 Closed	703.27	703.27
MH-5	48"	Type 1 Closed	703.63	703.63
MH-8	48"	Type 1 Closed	703.60	703.60
MH-9	48"	Type 11	704.00	704.00
MH-10	48"	Type 1	704.40	704.40
MH-11	48"	Type 1	704.60	704.60
INL-12	24"	Type 1	N/A	704.90
MH-14	48"	Type 11	703.63, 703.88	703.63
MH-15	48"	Type 1	703.77	703.77
MH-16	48"	Type 1	703.92	703.92
MH-17	48"	Type 1	704.06	704.06
MH-18	48"	Type 1	704.24	704.24
INL-19	24"	Type 1	N/A	704.37
INL-21	24"	Type 11V	N/A	703.40
Special MH-23 w/ Restrictor	48"	Type 1 Closed	703.18	703.18
MH-24	48"	Type 1 Closed	702.90, 703.60	702.90
MH-24A Dry Well	48"	Type 1 Closed	699.00	703.70
MH-25	48"	Type 8	707.31	707.00



























**Tab 7**

**Maintenance (Sec. 15-149, 15-150, 15-151)**

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
✓				Scheduled maintenance program for stormwater facilities including BMP measures (Tab 2 & 2A):	
✓				Planned maintenance tasks and schedule.	
✓				Identification of persons responsible for maintenance.	
✓				Permanent public access maintenance easements granted or dedicated to, and accepted by, a government entity.	
				Wetland Mitigation Maintenance and Monitoring Plan (Tab 4):	
				Narrative description of the maintenance and monitoring requirements for wetland hydrology, vegetation, soils, and habitat.	
				Schedule for maintenance, monitoring, and reporting.	
				Success criteria for wetland hydrology, vegetation, soils, and habitat on an annual basis.	
				Identification of responsible person(s) for short term and long term maintenance.	
				Identification of dedicated long term funding source(s).	
				Permanent public access maintenance easements granted or dedicated to, and accepted by, a government entity.	

## Tab 7– Maintenance

### Sec. 15-149, 15-150, 15-151

#### Responsibilities

Adequate provisions for maintenance of the stormwater system are an essential aspect of long-term drainage performance. Responsibility for the overall maintenance of the site shall rest with the Owner.

#### Purpose and Objective

Adequate drainage must be maintained to keep water away from the roadway, parking lot and the areas adjacent to detention ponds.

Maintenance Program: Significant maintenance areas provided as an attachment hereto prescribes the program for the surface and subsurface elements. The maintenance is supplemented by repair as required or replacement as the case may be, depending on the wear and tear of the provisions of the drainage elements.

#### Maintenance Considerations

Cleaning and repairing storm sewers, outflow pipes, and manholes is to be particularly guarded in as much as those elements are not visually obvious, as are the surface elements. If these subsurface elements become clogged, then water may flood the pavement surface and may cause extensive erosion damage or water flow blockage. It is therefore stated that the storm sewer, outlet control pipe, and manhole cleaning be made a routine maintenance activity which should be as outlined below, and may also be needed to be carried out on an as-needed basis.

#### Cost Considerations

Maintenance and replacement needs and costs should be part of the economic analysis. Frequent maintenance program work execution will lead to less frequent and less costly long-term maintenance and repair, possibly requiring replacement. The attached maintenance provisions may need to be adjusted based on experience recorded over the initial period of occupancy.

#### Record Keeping

The Owner shall maintain separate and distinct records for all tasks performed in association with this plan. The records shall include the dates of maintenance and the specific work performed.

Specific maintenance areas are identified as follows:

\*Reseeding to be in accordance with the Engineering Plans

ITEM	INSPECTION FREQUENCY	CONCERNS	REPAIR WORK
1. Storm Inlets/ Manholes/Catch Basins	Fall/Spring	Clogging with leaves/ Siltation at Invert	-Remove Leaves and Debris -Remove Silt from manhole
2. Storm Sewers	Fall/Spring	Cracked Pipe at Joints/ Siltation	-Remove Inlet/manhole Lids to -Visually Inspect Pipes
3. Outlet Control Structure	Quarterly	Clogged Restrictor/ Reduced Discharge	-Inspect Restrictor and remove debris clogging restrictor -Monitor discharge during High Water -Remove sediment build-up
4. Detention Pond	Fall/Spring	Erosion/ Sedimentation	-Remove siltation at outfalls -Re-seed yearly if needed -Remove floating debris and hydrocarbons. -Inspect for invasive vegetation
5. Culvert/Swale Outfalls	Yearly	Siltation/Erosion	-Remove Sediment -Provide Additional Rip Rap -Re-seed/Provide Permanent Blanket
6. Overflow Weir Structures	Yearly	Erosion	-Re-Stabilize Overflow -Provide Permanent Blanket

**OWNERS RESPONSIBILITIES:**

1. The items listed above are the stormwater maintenance plan and are the responsibility of the Owner.
2. Seeding, planting, storm sewer repair, etc. will be subcontracted on an as needed basis.

Tab 8 – Security

Sec. 15-149, 15-150, 15-151



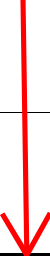
Tab 8

Security (Sec. 15-176)

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
✓				Estimate of Probable Cost to construct stormwater facilities.	
				Development security:	
✓				Schedule for the completion of stormwater facilities.	
				Irrevocable letter of credit for 110% of estimated probable cost to construct the stormwater facilities.	
				Right to draw on the security statement - signed by the holder of the security.	
				Right to enter the development site to complete required work that is not completed according to schedule.	
				Indemnification statement - signed by developer.	
				Sediment and erosion control security:	
				Irrevocable letter of credit for 110% of estimated probable cost to install sediment and erosion control facilities.	
				Right to draw on the security statement - signed by the holder of the security.	
				Right to enter the development site to complete required work that is not installed and maintained according to schedule.	
				Letter of Credit Requirements:	
				Statement that indicates that the lending institution capital resources at least \$10,000.00 or as authorized.	
				Lending institution has an office location within the Chicago Metropolitan Area.	
				Lending institution is insured by the Federal Deposit Insurance Corporation.	
				Allows Administrator to withdraw without consent of developer.	
				Allows Administrator to withdraw within 45 days of expiration date.	

**Tab 9**

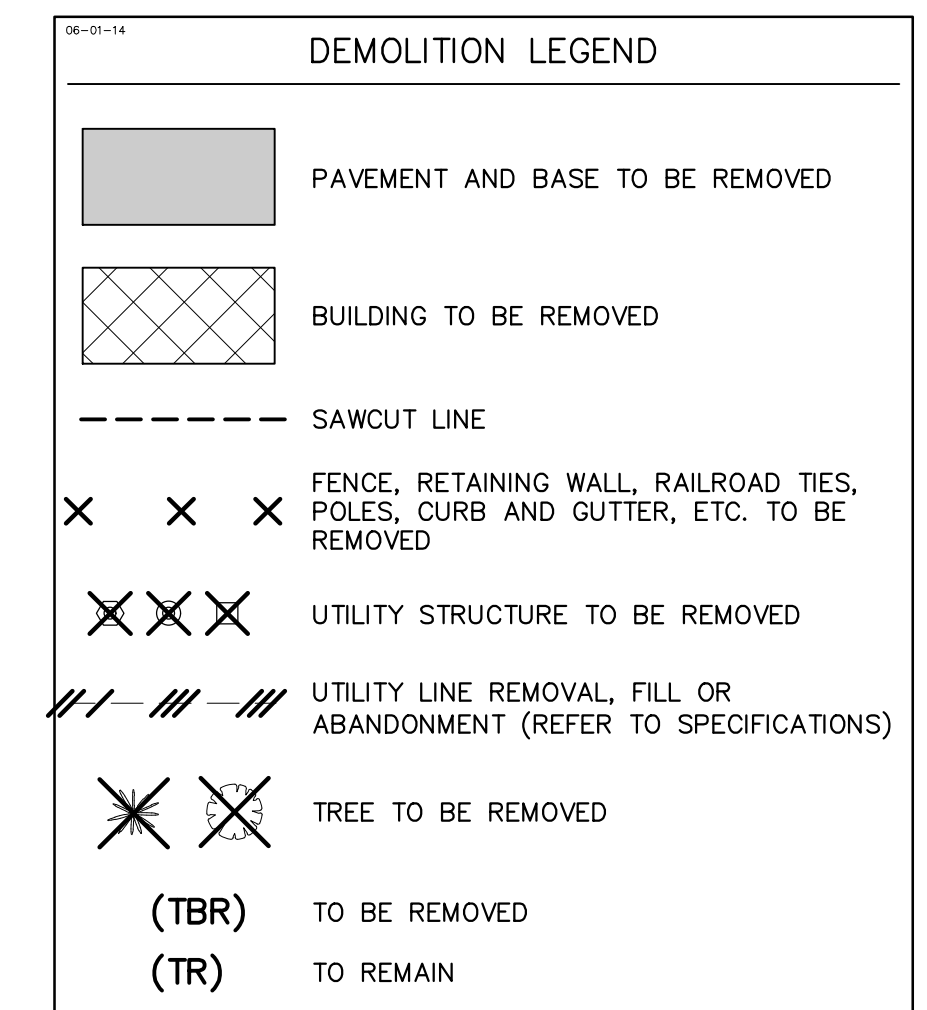
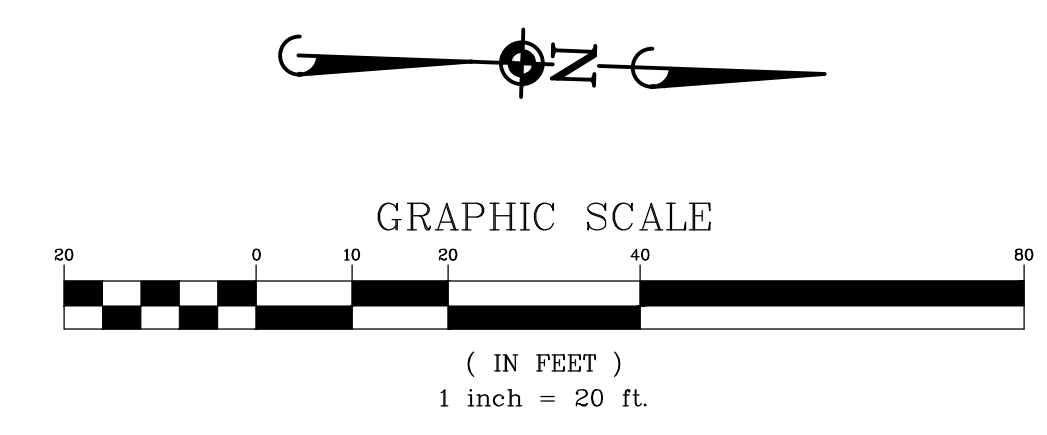
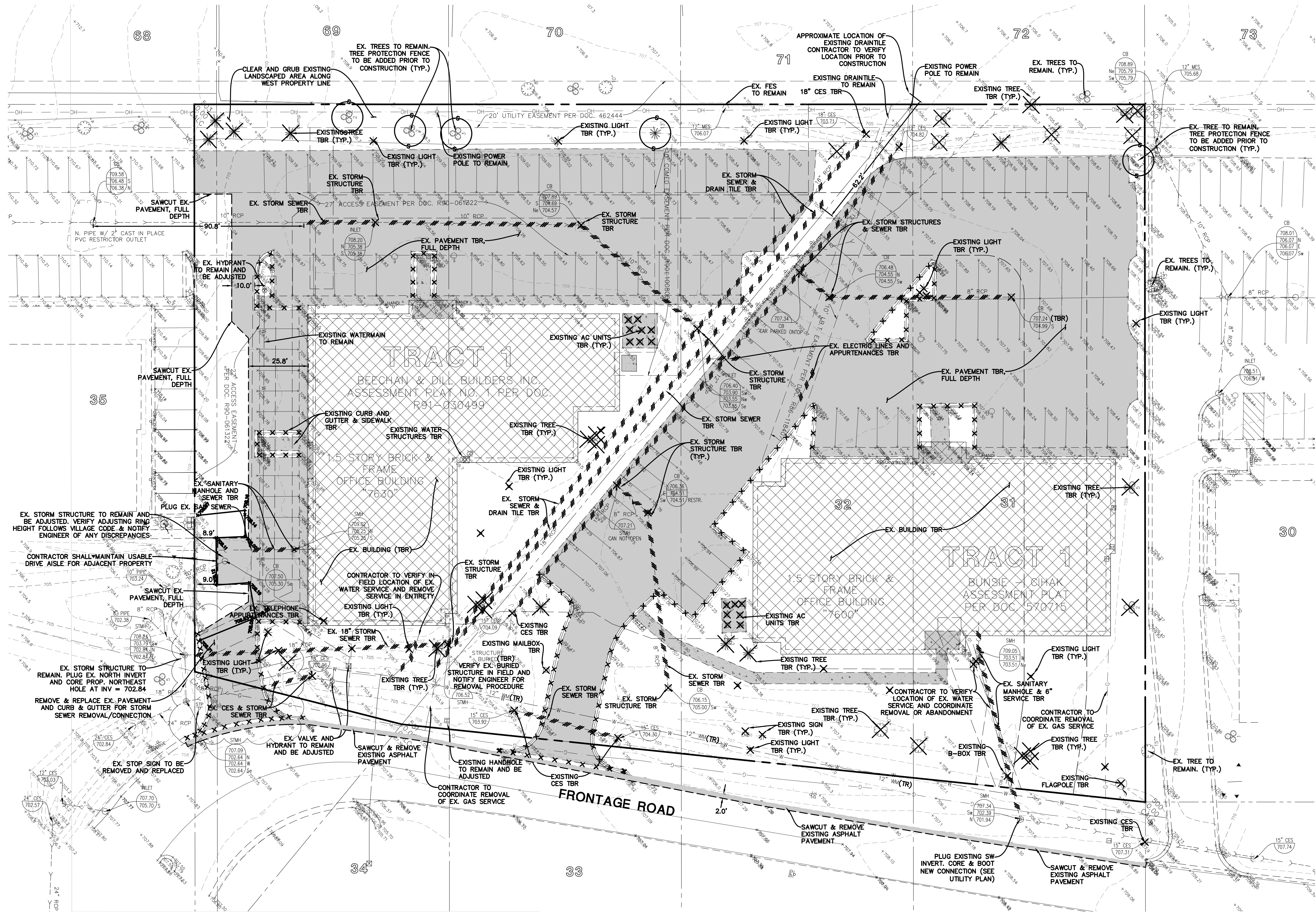
**Variance (Sec. 15-236)**

Applicant	Reviewer			Requirement	Reviewer Comments
Check if provided	Check if required	Check if provided	Status (A/NA/R)		
N/A				Completed Stormwater Permit Application and all required submittals.	
				Completed variance petition including all information identified in Section 15-236.7.a.-l.	
				Statement as to how the variance sought satisfies the standards in Section 15-236.10. Address each condition separately.	

# TAB 5







**EXISTING CONDITIONS NOTES:**

- EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AS OF NOVEMBER 9, 2016. CONTRACTOR SHALL INSPECT SITE PRIOR TO BIDDING WORK TO VERIFY ACTUAL FIELD CONDITIONS AS PORTIONS OF THE DEMOLITION WORK MAY HAVE SINCE BEEN COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK AS PER PLANS TO PREPARE THE SITE FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

REFER TO SHEET C-111 FOR DEMOLITION SPECIFICATIONS.

MARK	DATE	DESCRIPTION
1	09/09/17	ISSUE FOR BID PERMIT
2	09/09/17	ISSUE FOR PERMIT CORRECTIONS
3	09/09/17	ISSUE FOR CONSTRUCTION

Project Number: HDR-BURR-17-00000001  
Original Issue: 09/09/17



Sheet Name: **EXISTING CONDITIONS AND DEMOLITION PLAN**

Sheet Number: **C101**

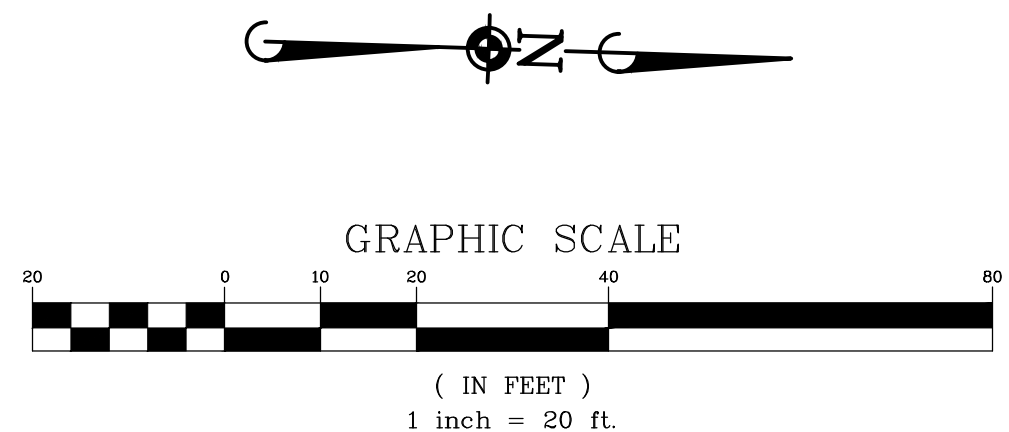
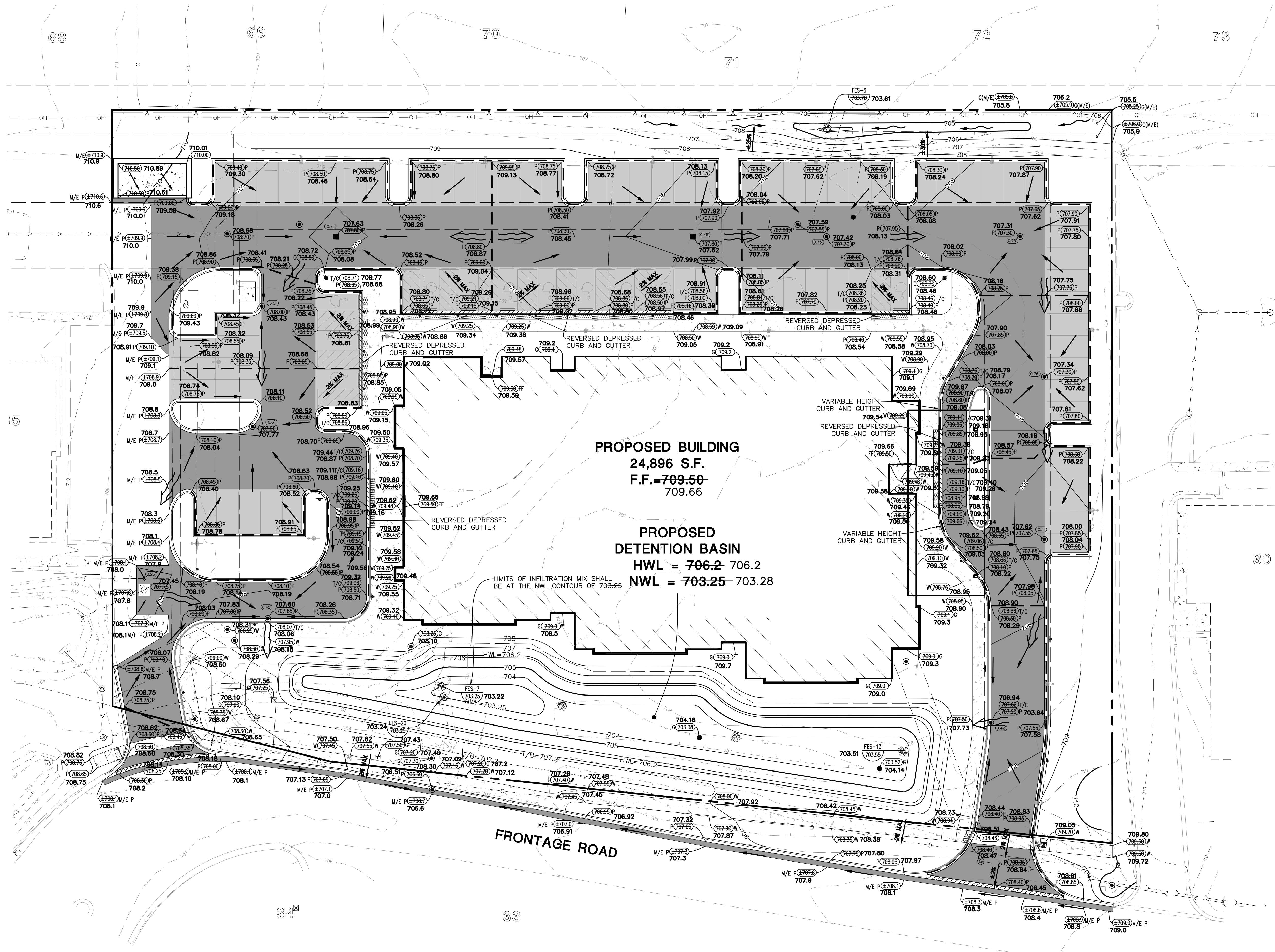
Project Status: **ISSUE FOR CONSTRUCTION**

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018









- GRADING NOTES:**
- PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
  - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
  - MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
  - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
  - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING ON 11-9-16. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
  - TRANSITIONS FROM DEPRESSED CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 2%:1V UNLESS OTHERWISE NOTED.

**GRADING PLAN LEGEND**

	PROPOSED 1 FOOT CONTOURS
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED GRADE AT FOUNDATION
	PROPOSED PAVEMENT ELEVATION
	PROPOSED TOP OF CURB
	PROPOSED TOP OF WALK
	PROPOSED TOP OF WALL
	MEET EXISTING
	PROPOSED GROUND GRADE OR GROUND AT BASE OF RETAINING WALL
	PROPOSED DITCH OR SWALE
	PROPOSED DIRECTION OF FLOW
	OVERFLOW RELIEF SWALE
	PROPOSED RIDGE LINE
	PROPOSED DEPTH OF PONDING
	RETAINING WALL
	PROPOSED SWALE LOW POINT
	PROPOSED SWALE SUMMIT

MARK	DATE	DESCRIPTION
1	3/29/2017	ISSUE FOR BID PERMIT
2	6/28/2017	ISSUE FOR PERMIT CORRECTIONS
3	6/30/2017	ISSUE FOR CONSTRUCTION

Project Number: HDR-BH401  
Original Issue: 3/29/2017

Project Name: SHIRLEY RYAN BILITY LAB  
EXP. 11-30-17

Sheet Number: C103

Project Status: ISSUE FOR CONSTRUCTION

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018







MARK	DATE	DESCRIPTION
1	09/20/17	ISSUE FOR BID PERMIT
2	09/20/17	ISSUE FOR PERMIT CORRECTIONS
3	09/20/17	ISSUE FOR CONSTRUCTION
4	09/20/17	REVISED OFFSET & RESTRICTOR
5	10/10/17	REVISED DRAIN TILE
6	10/10/17	REVISED PER COOK COUNTY DOT COMMENTS

Project Number  
Original Issue

HR081811  
09/20/17

Sheet Name

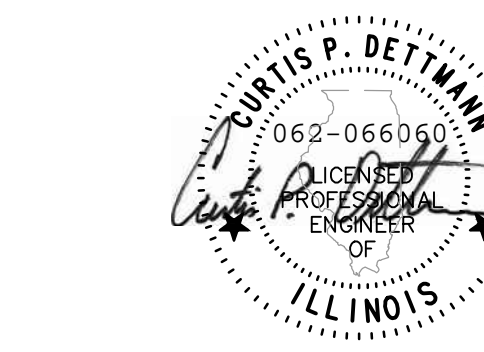
**UTILITY PLAN**

Sheet Number

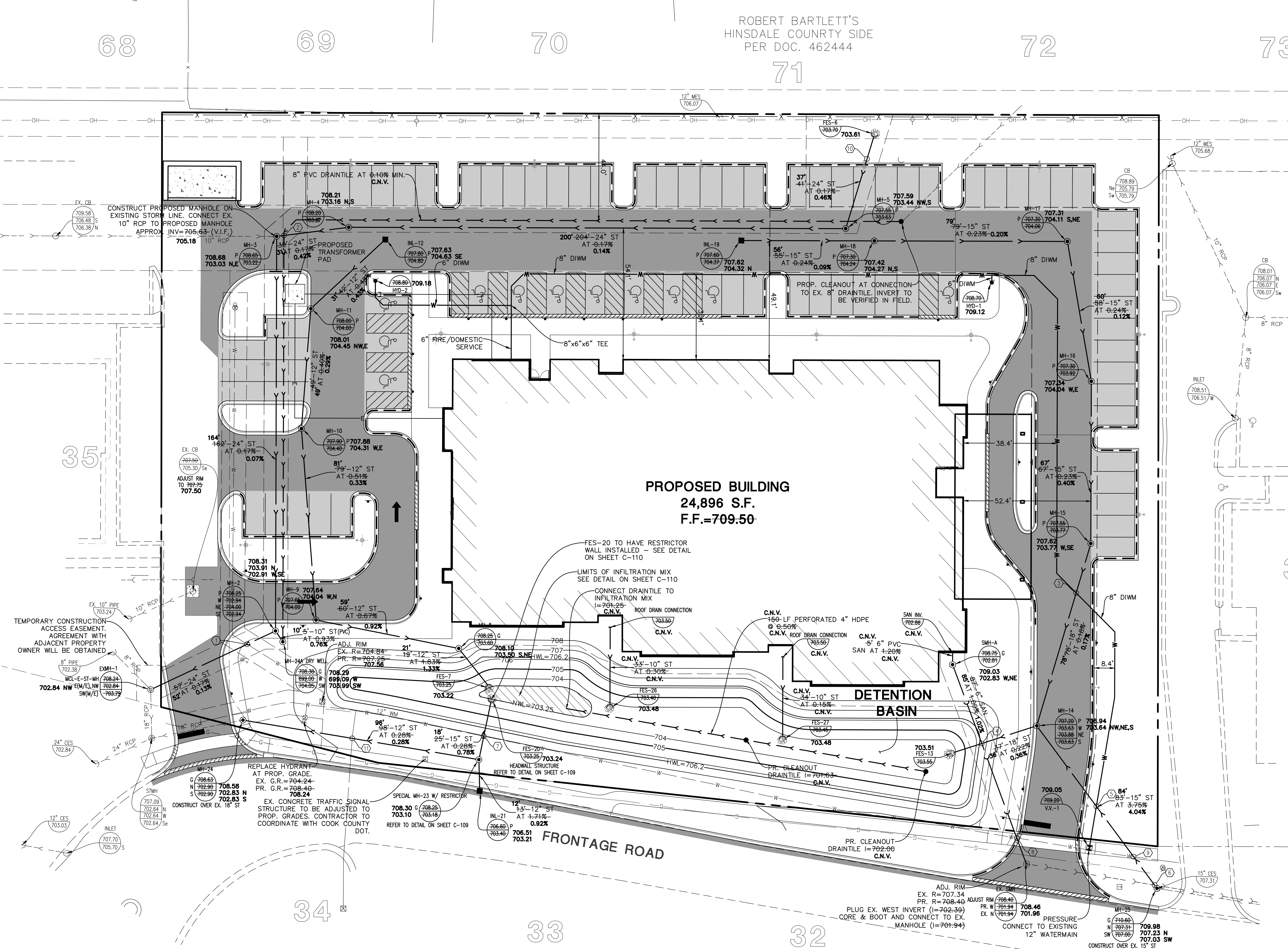
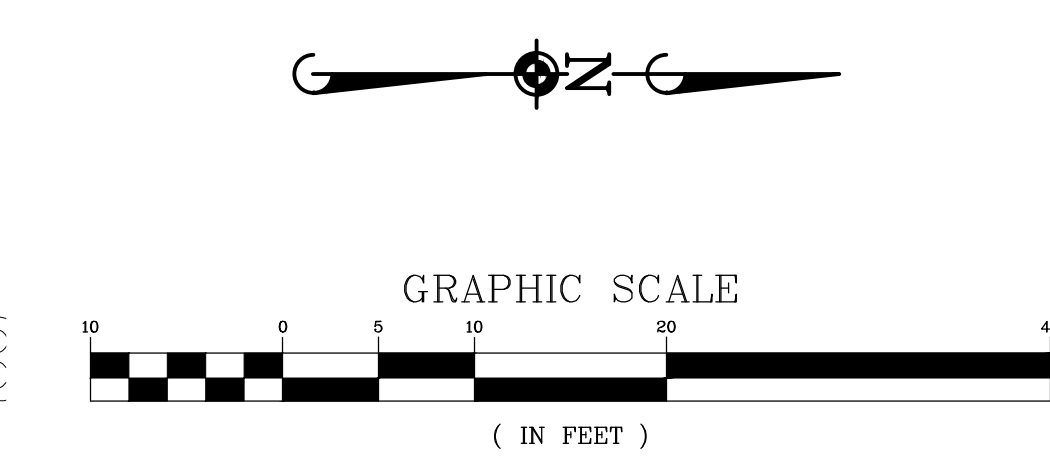
**C10**

Project Status

ISSUE FOR CONSTRUCTION



RECORD DRAWINGS COMPLETED ON APRIL 24, 2018



- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE, CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER, WATER MAIN AND DRY UTILITY LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
  - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
  - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
  - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
  - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
  - ALL WATER MAIN SHALL BE 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
  - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
  - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HERE ON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED.
  - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
  - PROVIDE CONCRETE COLLAR FOR ALL MANHOLES & VALVE VAULTS IN PAVEMENT, NOT ADJACENT TO CURB. SEE CONCRETE COLLAR DETAIL ON DETAIL SHEET.
  - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO EXISTING SANITARY MANHOLES.
  - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJACENT EXISTING SANITARY MANHOLES.
  - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
  - ALL D.I. WATERMAIN FITTINGS SHALL BE WRAPPED.
  - THE DEPTH OF THE EXISTING WATERMAIN IS PER AN EXHIBIT PROVIDED BY THE VILLAGE. THE DEPTH OF THE WATERMAIN FOR CROSSING 1, 7, 8, 9, AND 14 IS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL POHOLE TO VERIFY EX. WM DEPTHS. IN THE EVENT THERE WILL BE LESS THAN 18" OF VERTICAL SEPARATION BETWEEN THE BOTTOM OF THE STORM/SANITARY SEWER AND THE TOP OF THE WATERMAIN, THE STORM/SANITARY SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY PIPE FOR A MINIMUM OF 10 FEET ON BOTH SIDES OF THE CONFLICT AND PRECAUTIONARY MEASURES SHALL BE TAKEN TO PREVENT SETTLING OF PIPES CROSSING OVER WATERMAIN.
  - NO. 8 SOLID BLUE TRACER WIRE SHALL BE USED FOR PROPOSED WATER MAIN.

- UTILITY CROSSINGS**
- |  |  |
|--|--|
| ST. OVER WM<br>B/P ST = 703.0-<br>T/P WM = 699.5-<br>*SEE NOTE 18*             | ST. OVER WM<br>B/P ST = 703.04-<br>T/P WM = 698.3-<br>*SEE NOTE 18*        |
| ST. (RCP) OVER ST. (DRAIN TILE)<br>B/P RCP = 703.0-<br>T/P DRAIN TILE = 699.7- | SAN. OVER WM<br>B/P SAN = 701.97-<br>T/P WM = 691.5-<br>*SEE NOTE 18*      |
| ST. OVER WM<br>B/P ST = 703.5-<br>T/P WM = 703.5-<br>*LOWER WM*                | ST. OVER WM<br>B/P ST = 702.21-<br>T/P WM = 703.0-<br>*SEE NOTE 18*        |
| ST. OVER SAN<br>B/P ST = 703.3-<br>T/P SAN = 703.0-<br>*CRITICAL CROSSING*     | ST. OVER ST. (DRAIN TILE)<br>B/P ST = 703.40<br>T/P ST (DRAIN TILE) = ±700 |
| ST. OVER WM<br>B/P ST = 706.24-<br>T/P WM = 703.24-<br>*LOWER WM*              | ST. OVER WM<br>B/P ST = 702.60-<br>T/P WM = 699.50-<br>*LOWER WM*          |
| ST. OVER SAN<br>B/P ST = 706.81-<br>T/P SAN = 702.3-                           |  |
- NOTE: WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)

STRUCTURE	INNER DIAMETER	LID/GRATE TYPE	INVERTS (IN)	INVERTS (OUT)
Ex. MH-1	N/A	N/A	702.84, 703.79	702.84
MH-2	48"	Type 1 Closed	702.94	702.94, 704.00
MH-3	60"	Type 1 Closed	703.22, 705.63	703.22
MH-4	48"	Type 1 Closed	703.27	703.27
MH-5	48"	Type 1 Closed	703.63	703.63
MH-8	48"	Type 1 Closed	703.60	703.60
MH-9	48"	Type 11	704.00	704.00
MH-10	48"	Type 11	704.40	704.40
MH-11	48"	Type 11	704.60	704.60
INL-12	24"	Type 1	N/A	704.80
MH-14	48"	Type 11	703.63, 703.88	703.63
MH-15	48"	Type 1	703.77	703.77
MH-16	48"	Type 1	703.92	703.92
MH-17	48"	Type 1	704.06	704.06
MH-18	48"	Type 1	704.24	704.24
INL-19	24"	Type 1	N/A	704.37
INL-21	24"	Type 11	N/A	703.40
Special MH-23 w/ Restrictor	48"	Type 1 Closed	703.18	703.18
MH-24	48"	Type 1 Closed	702.90, 703.60	702.90
MH-24A Dry Well	48"	Type 1 Closed	699.00	704.05
MH-25	48"	Type 8	707.31	707.60

- COOK COUNTY DOT NOTES:**
- THE PAY ITEM "MAINTENANCE OF EXISTING TRAFFIC SIGNAL INSTALLATION 1 EA" HAS BEEN ADDED TO THIS PERMIT. THE SPECIAL PROVISION FOR THE PAY ITEM MAINTENANCE OF EXISTING TRAFFIC SIGNAL INSTALLATION WILL ALSO BE INCLUDED IN THIS PERMIT.
  - THE PAY ITEM "REBUILD EXISTING HANDHOLE 1 EA" HAS BEEN ADDED TO THIS PERMIT. THE SPECIAL PROVISION FOR THE PAY ITEM REBUILD EXISTING HANDHOLE WILL ALSO BE INCLUDED IN THIS PERMIT.
  - CARE IS TO BE TAKEN AS NOT TO DAMAGE ANY OF THE EXISTING TRAFFIC SIGNAL CONDUITS, FIBER CABLES AND EQUIPMENT. IF ANY OF THE TRAFFIC SIGNAL CONDUITS, CABLES AND/OR EQUIPMENT IS DAMAGED, THE CONTRACTOR SHALL REPAIR AN/OR REPLACE THE CONDUITS, CABLES AND/OR EQUIPMENT AT NO COST TO THE COUNTY.
  - THE COUNTY IS NOT PART OF J.U.L.I.E. FOR LOCATION OF TRAFFIC SIGNAL EQUIPMENT. CONTACT THE MECHANICAL, ELECTRICAL, ARCHITECTURAL AND LANDSCAPING DIVISION AT 312-603-1730.
  - FOR THE LOCATION OF UNDERGROUND COUNTY MAINTAINED FACILITIES, SEE COUNTY SPECIAL PROVISION "TRAFFIC SIGNAL WORK GENERAL".
  - RESTORATIONS SHALL BE DONE WITH 4" TOPSOIL, FERTILIZER, AND SOD FOR ALL DISTURBED AREAS.

ROBERT BARTLETT'S  
HINSDALE COUNTRY SIDE  
PER DOC. 462444

PROPOSED BUILDING  
24,896 S.F.  
F.F.=709.50

DETENTION  
BASIN

FRONTAGE ROAD

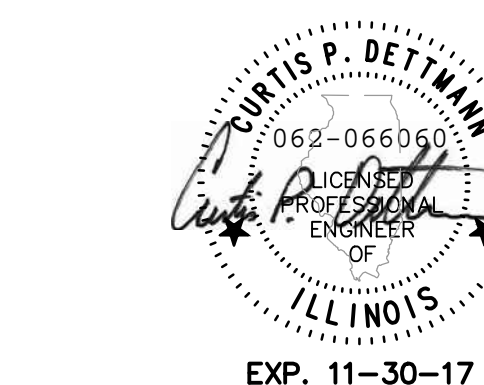






MARK	DATE	DESCRIPTION
1	02/09/17	ISSUE FOR BID PERMIT
2	02/09/17	ISSUE FOR PERMIT CORRECTIONS
3	02/09/17	ISSUE FOR CONSTRUCTION

Project Number: HDR-BURR-17-00000001  
Original Issue: 02/09/17

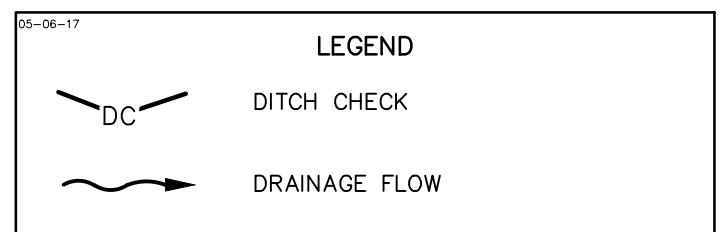
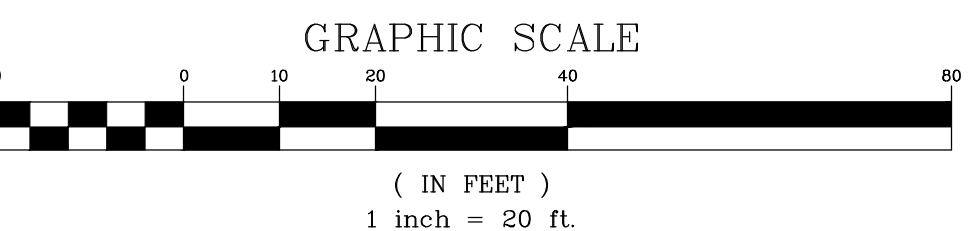
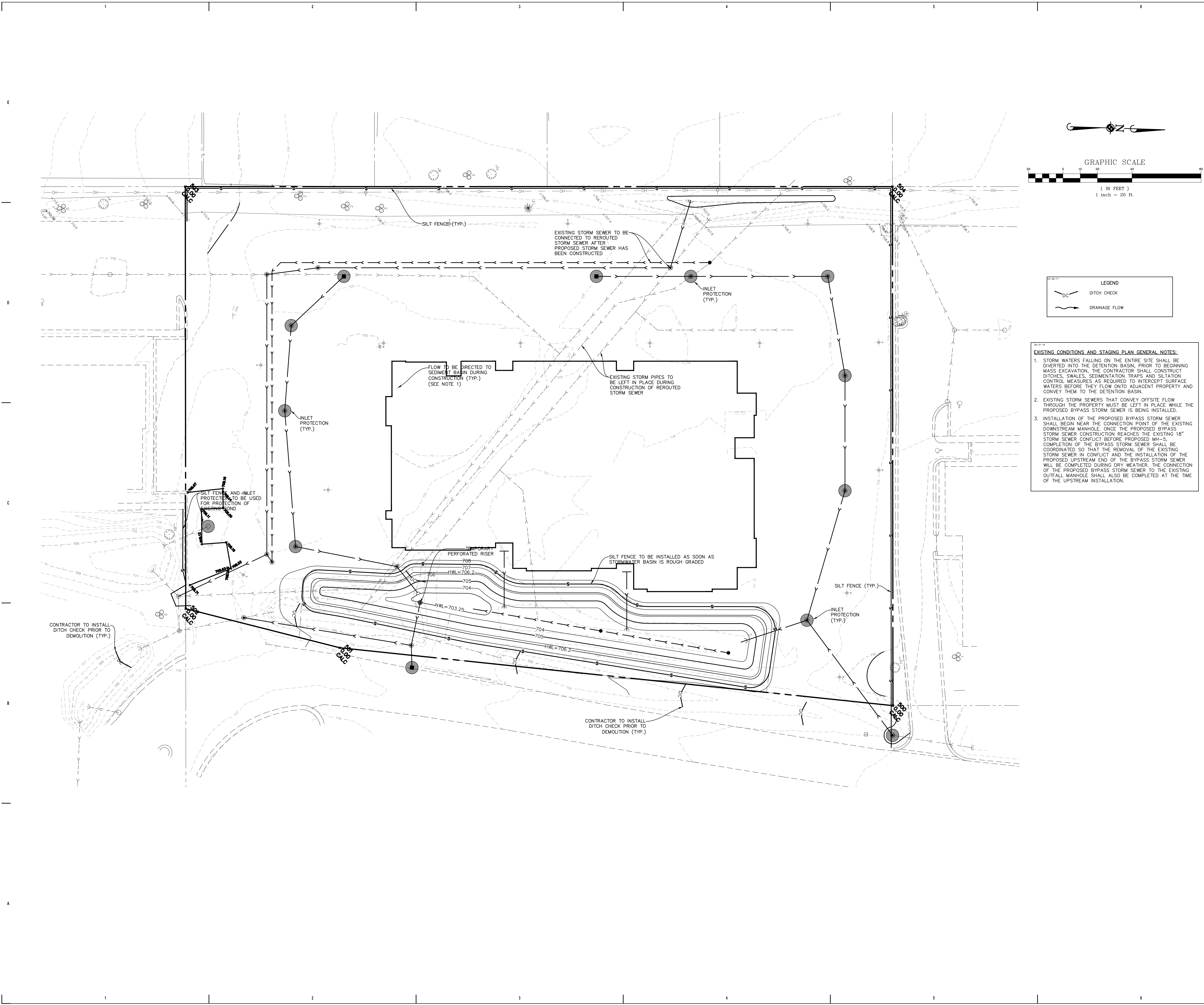


Sheet Name  
**EXISTING  
CONDITIONS AND  
STAGING PLAN**

Sheet Number  
**C10**

Project Status  
ISSUE FOR CONSTRUCTION

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018



**EXISTING CONDITIONS AND STAGING PLAN GENERAL NOTES:**

- STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASIN, PRIOR TO BEGINNING MASS EXCAVATION. THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENTATION TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASIN.
- EXISTING STORM SEWERS THAT CONVEY OFFSITE FLOW THROUGH THE PROPERTY MUST BE LEFT IN PLACE WHILE THE PROPOSED BYPASS STORM SEWER IS BEING INSTALLED.
- INSTALLATION OF THE PROPOSED BYPASS STORM SEWER SHALL BEGIN NEAR THE CONNECTION POINT OF THE EXISTING DOWNSTREAM MANHOLE. ONCE THE PROPOSED BYPASS STORM SEWER CONSTRUCTION REACHES THE EXISTING 18" STORM SEWER CONFLICT BEFORE PROPOSED MH-5, COMPLETION OF THE BYPASS STORM SEWER SHALL BE COORDINATED SO THAT THE REMOVAL OF THE EXISTING STORM SEWER IN CONFLICT AND THE INSTALLATION OF THE PROPOSED UPSTREAM END OF THE BYPASS STORM SEWER WILL BE COMPLETED DURING DRY WEATHER. THE CONNECTION OF THE PROPOSED BYPASS STORM SEWER TO THE EXISTING OUTFALL MANHOLE SHALL ALSO BE COMPLETED AT THE TIME OF THE UPSTREAM INSTALLATION.

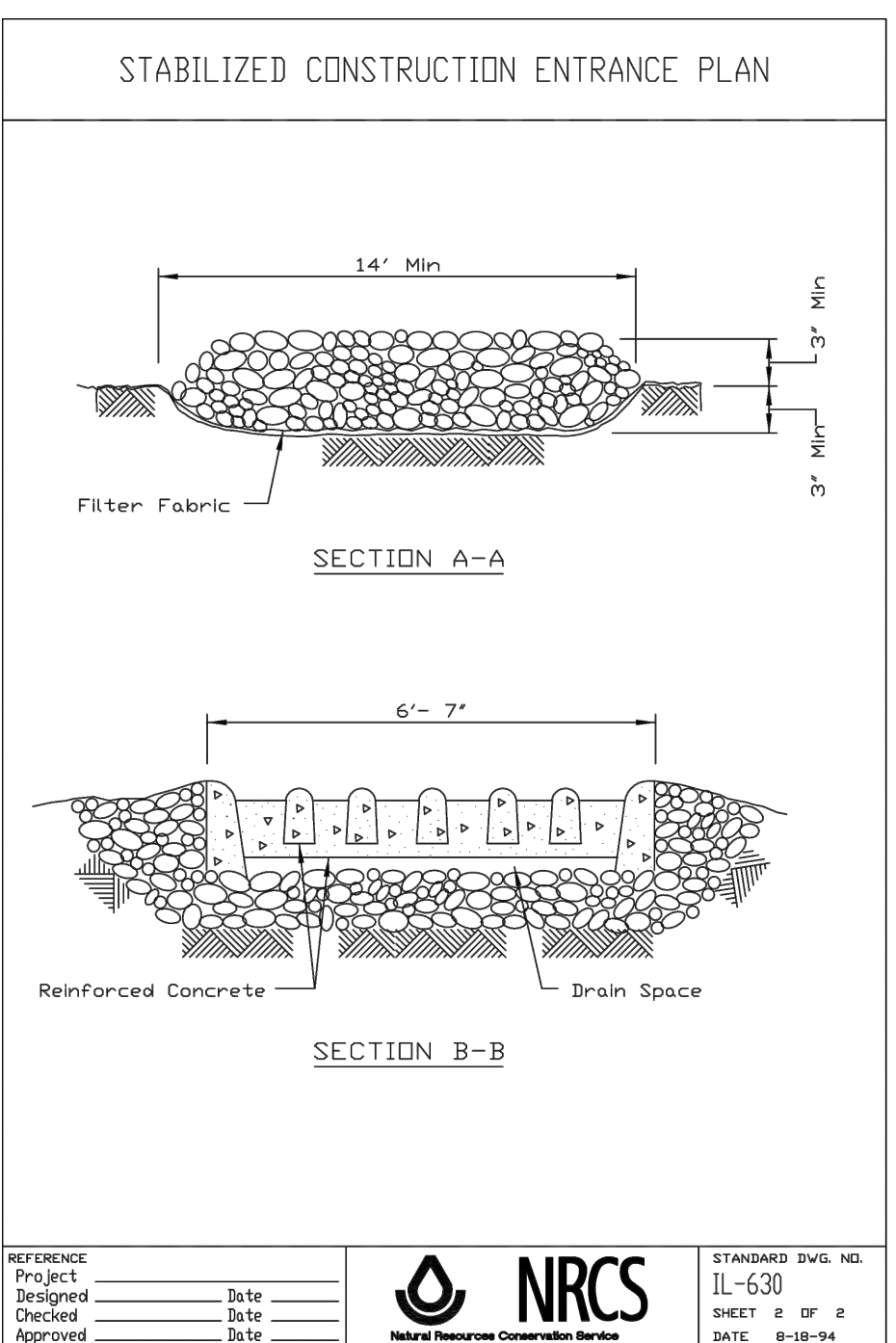
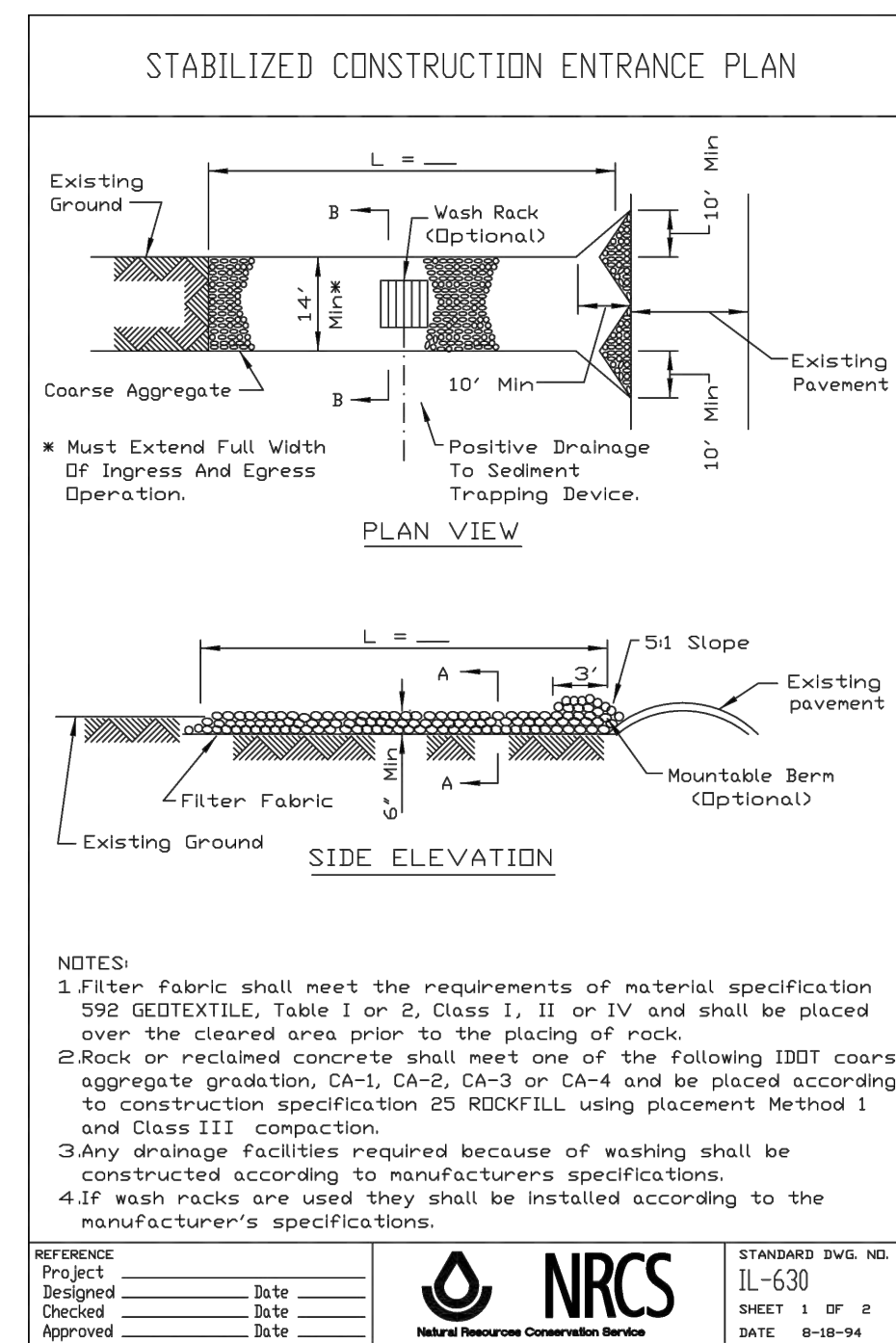
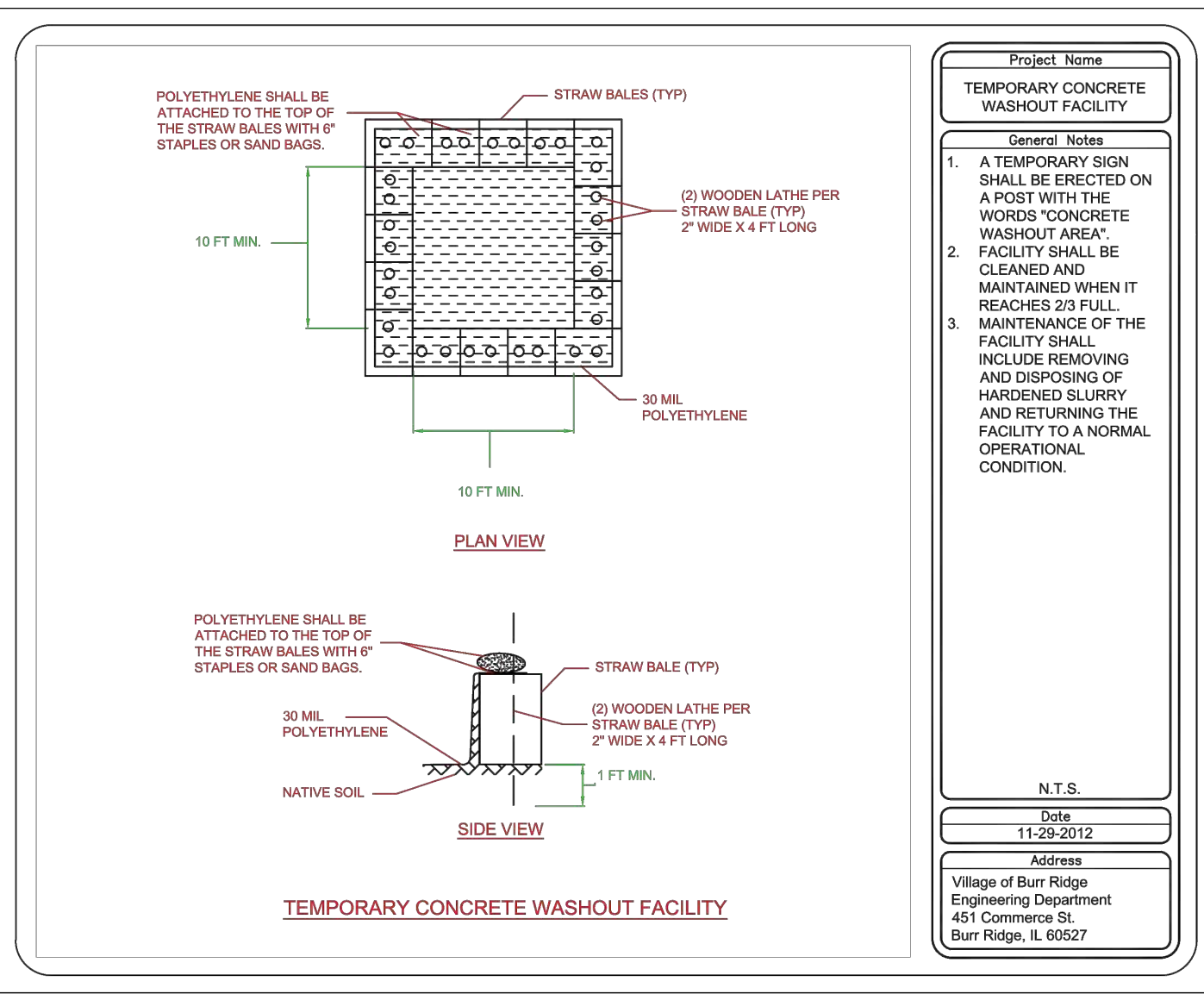
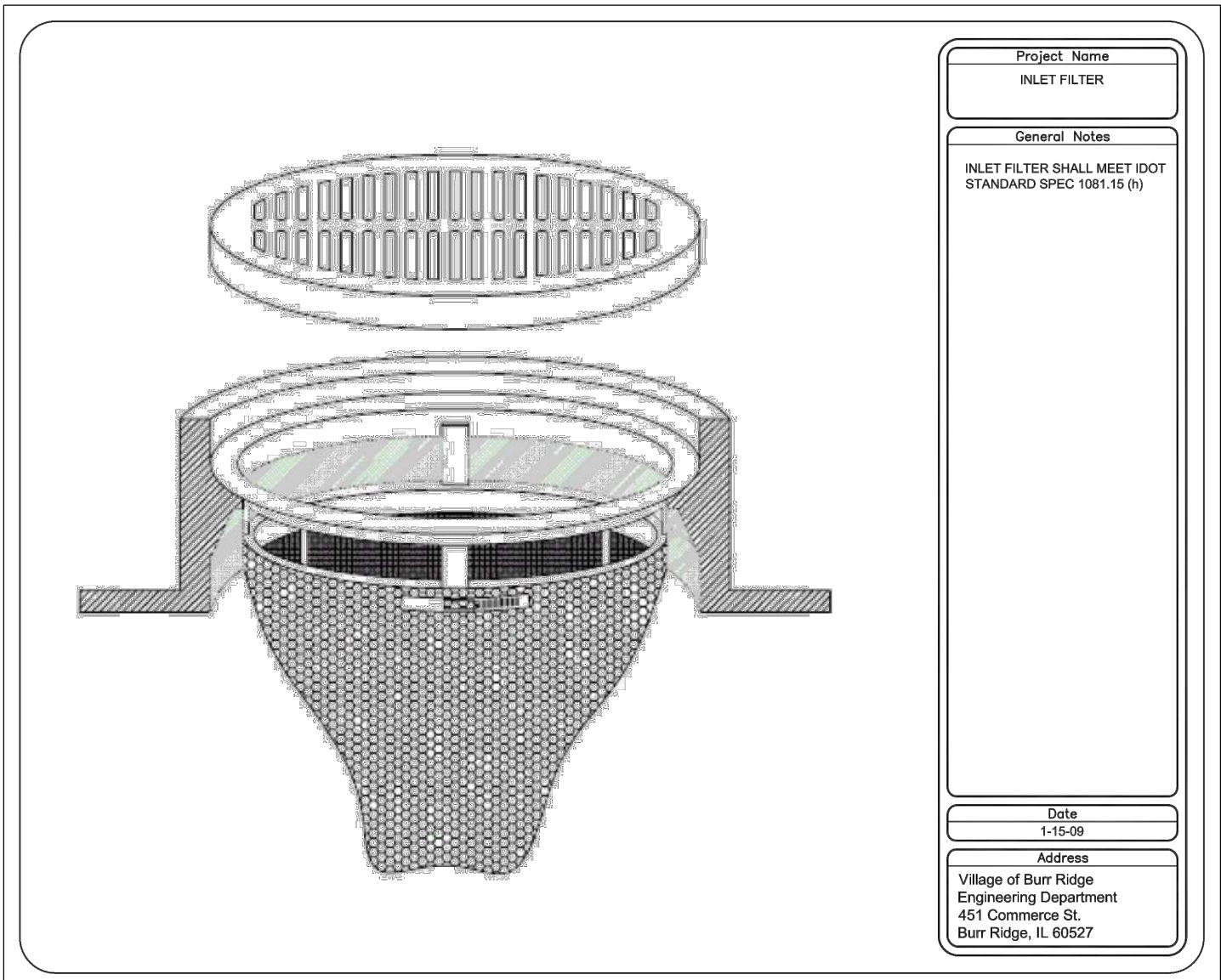


**VILLAGE OF BURR RIDGE  
PROCEDURES FOR BUILDING PERMIT  
Site Preparation and Maintenance**

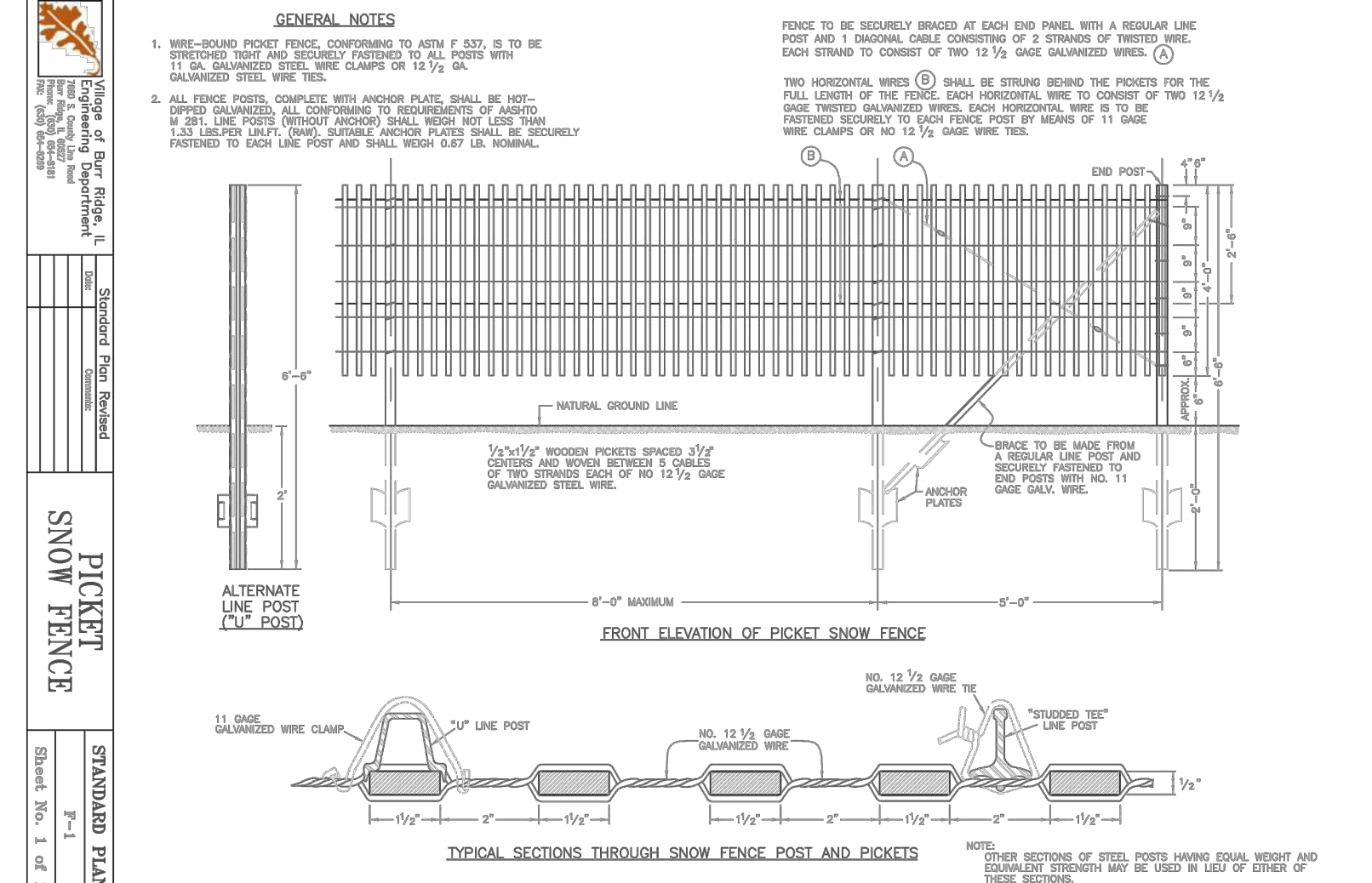
Engineering plans for new, single-family residences or additions to a single-family residence must show compliance with the site preparation and maintenance requirements listed below. A Village Inspector and approval of the site preparation facilities is required prior to commencement of any exterior construction. The contractor is responsible for properly maintaining the site throughout the duration of the project. Random site inspections will be conducted by the Village.

- Gravel Construction Entryway** - For lots without a hard surfaced driveway, a gravel construction access must be maintained until a hard surfaced driveway is completed. The contractor is responsible for keeping street and sidewalks free of mud and gravel at all times. Generally construction entryways are to be located over the future location of the driveway.
- Silt Fence** - A trench erosion control fence must be constructed and properly maintained until seed, sod, or other suitable ground cover is established.
- Construction Fence**
  - Construction fencing is required prior to the start of construction for all new single-family residences and additions and any other construction involving substantial grading or foundation work as determined by the Village Engineer.
  - Construction fencing is to be properly maintained for the duration of exterior work on the property. Damaged or leaning fencing must be repaired immediately.
  - Construction fencing shall enclose the entire work area except for the gravel drive.
  - All construction work and staging must be contained within the fenced area.
  - Construction fencing shall be of the materials and specifications that are shown herein.
- Code of Conduct and Permit Sign** - to be installed with the face of the sign being clearly visible to the public, at the site entrance just outside the construction fencing.
- Dumpster** - to be located within the fenced area, and kept covered at all times.
- Portable Sanitation Facility** - to be located on private property within the fenced area.
- Inclusion of the following notes:**
  - All streets must be kept clear of mud, stone, or other debris at all times. Streets shall be "room-clear" at the end of each work day. No material can be stored at any time on Village roadways or parkways.
  - Any damage to public property or the public right-of-way, including but not limited to the street, curb, sidewalks, parkways, parkway trees, and utilities, should be immediately reported to the Village and must be restored to the satisfaction of the Village Engineer prior to release of the cash bond.

**Repeat violations of the site preparation requirements will result in the issuance of a Stop Work Order without further notice from the Village.**  
A Stop Work Order may be issued for failure to comply with any of the above site maintenance requirements. Work may not resume until the violations are resolved to the satisfaction of the Building Officer or Village Engineer and the \$200 stop work order fee is paid.



- CONSTRUCTION SEQUENCE:**
- INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
  - PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
  - STRIP EXISTING TOPSOIL FROM PROPOSED STORMWATER MANAGEMENT AREAS AND STOCKPILE IN APPROPRIATE LOCATION. PROVIDE SILT FENCE AROUND THE BASE OF THE STOCKPILES.
  - CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES TO SUB-GRADE AND INSTALL OUTLET PIPES.
  - COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING AND SODDING OF STORMWATER MANAGEMENT FACILITIES.
  - CUT AND FILL SITE TO PLAN SUB-GRADE.
  - CONSTRUCT UNDERGROUND IMPROVEMENTS, I.E. SANITARY SEWER WATERMAIN AND STORM SEWER, ETC.
  - CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
  - COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
  - REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
  - \*\* INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED.



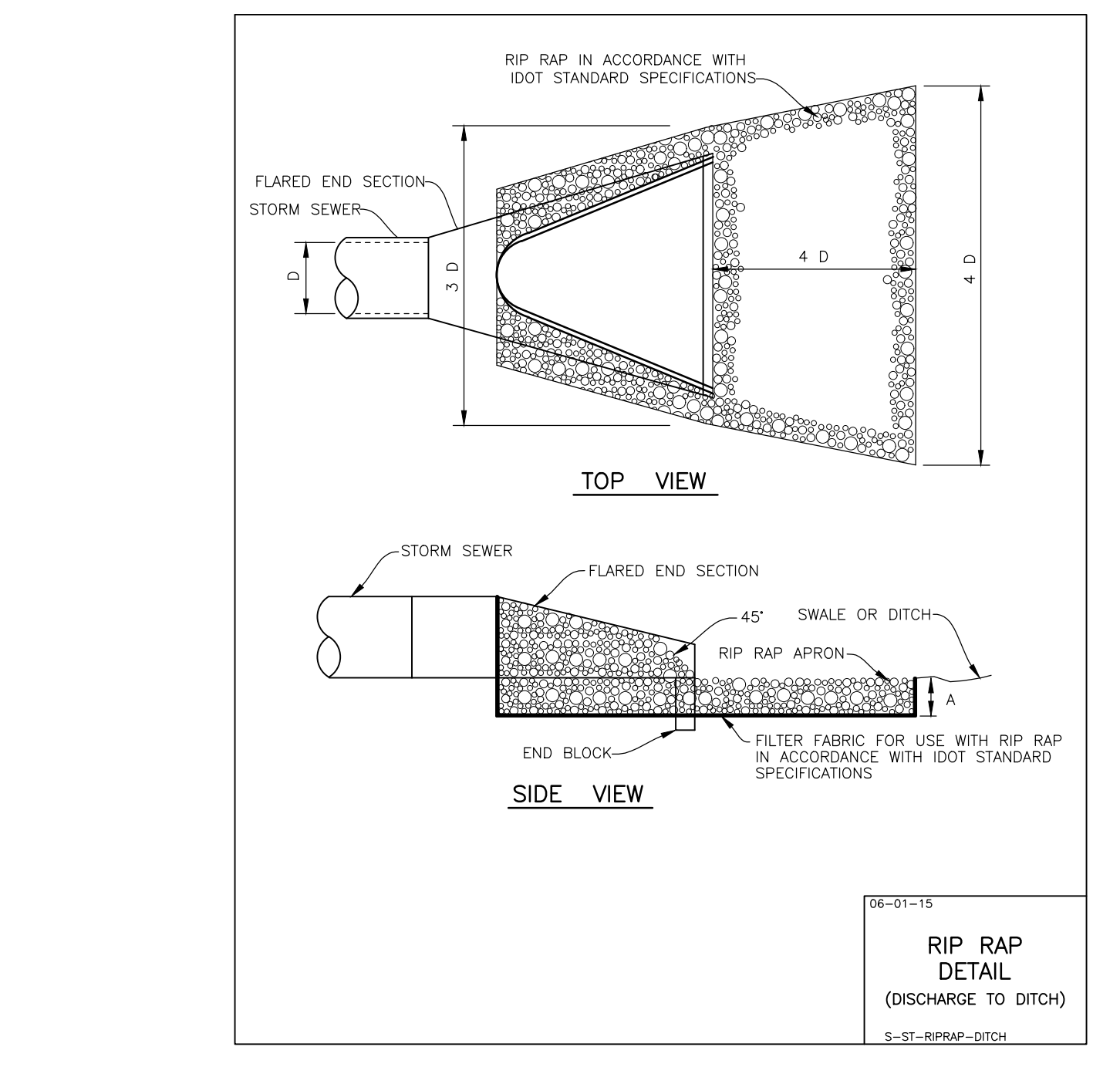
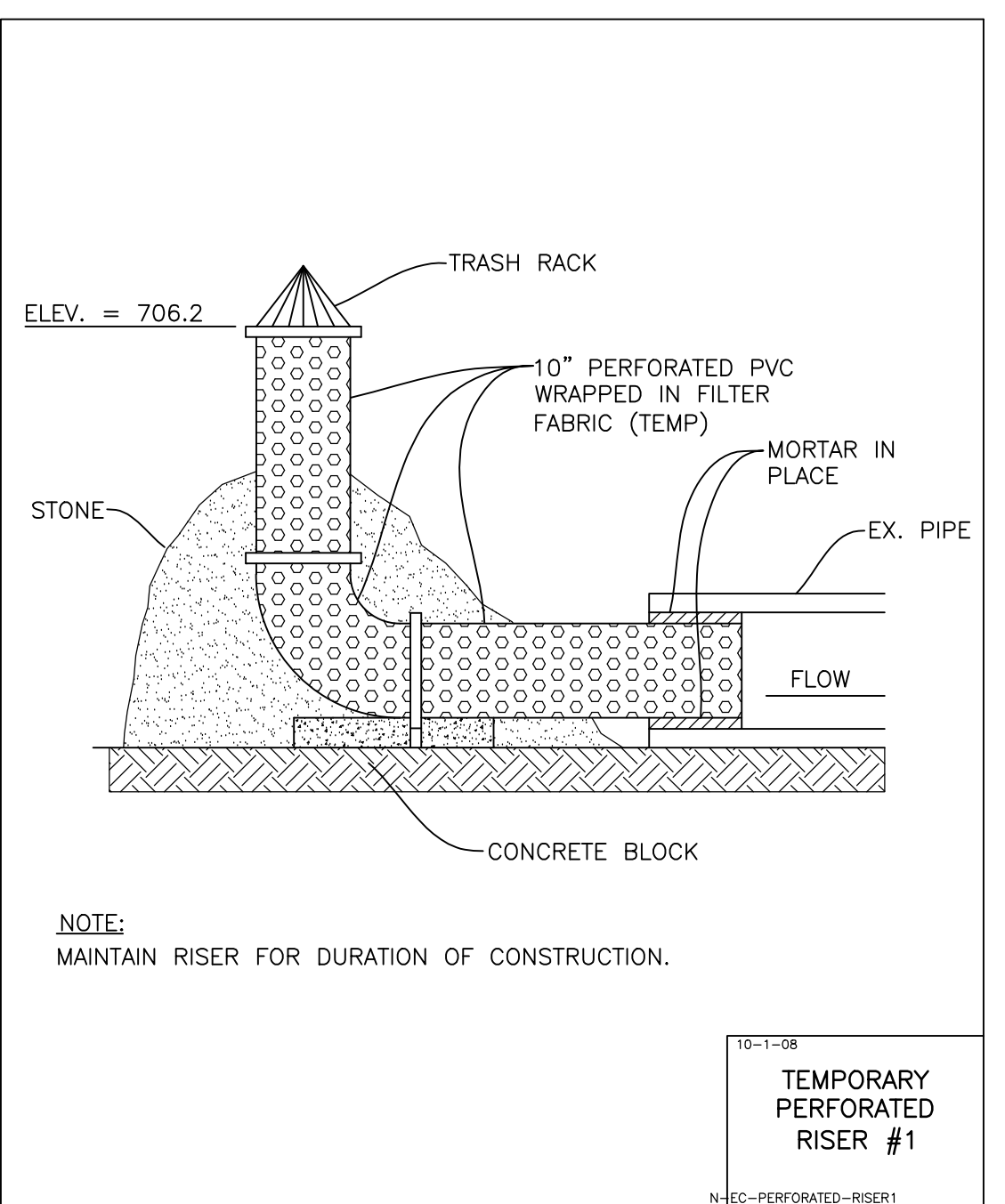
**SOIL PROTECTION CHART**

STABILIZATION CHART	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDINGS	A	A	A	A	A	A	A	A	A	A	A	A
DORMANT SEEDINGS	B	B	B	B	B	B	B	B	B	B	B	B
TEMPORARY SEEDINGS	C	C	C	C	C	C	C	C	C	C	C	C
SODDING	D	D	D	D	D	D	D	D	D	D	D	D
MULCHING	E	E	E	E	E	E	E	E	E	E	E	E

**LEGEND:**  
 A - KENTUCKY BLUEGRASS, 50 LBS./AC. MIXED WITH PERENNIAL HYDRANGEA  
 B - KENTUCKY BLUEGRASS, 50 LBS./AC.  
 C - SPRING OATS, 2 TONS PER ACRE  
 D - STRAW MULCH, 2 TONS PER ACRE  
 E - WHEAT OR CEREAL RYE AND SEPTEMBER KENTUCKY BLUEGRASS  
 F - IRRIGATION NEEDED DURING JUNE AND SEPTEMBER  
 \*\* IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SODDING

NOTE: THIS CHART IS A GUIDE TO ASSESS THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

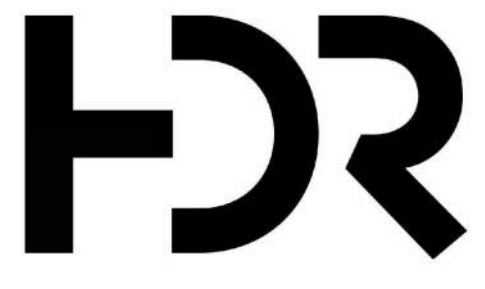
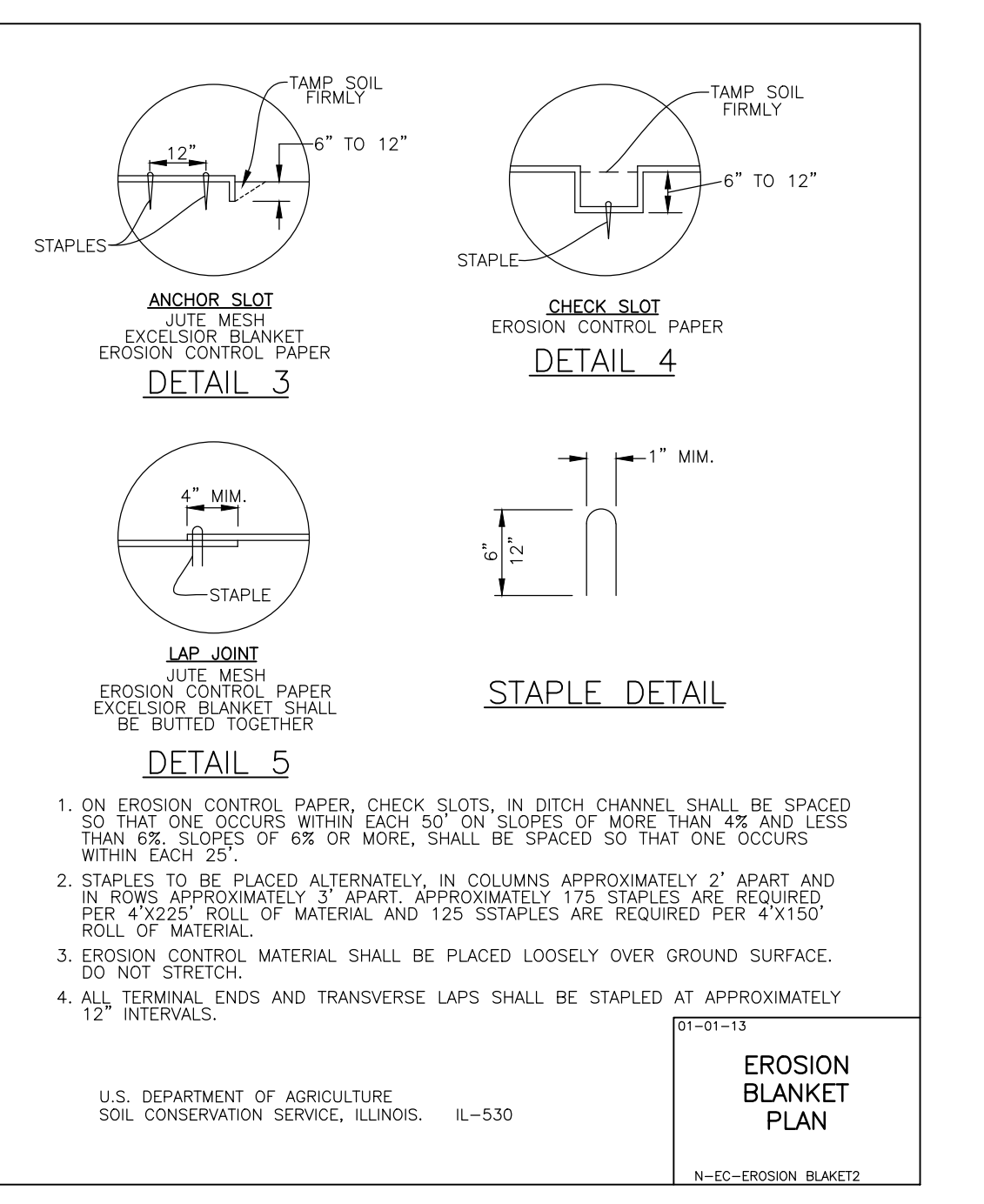
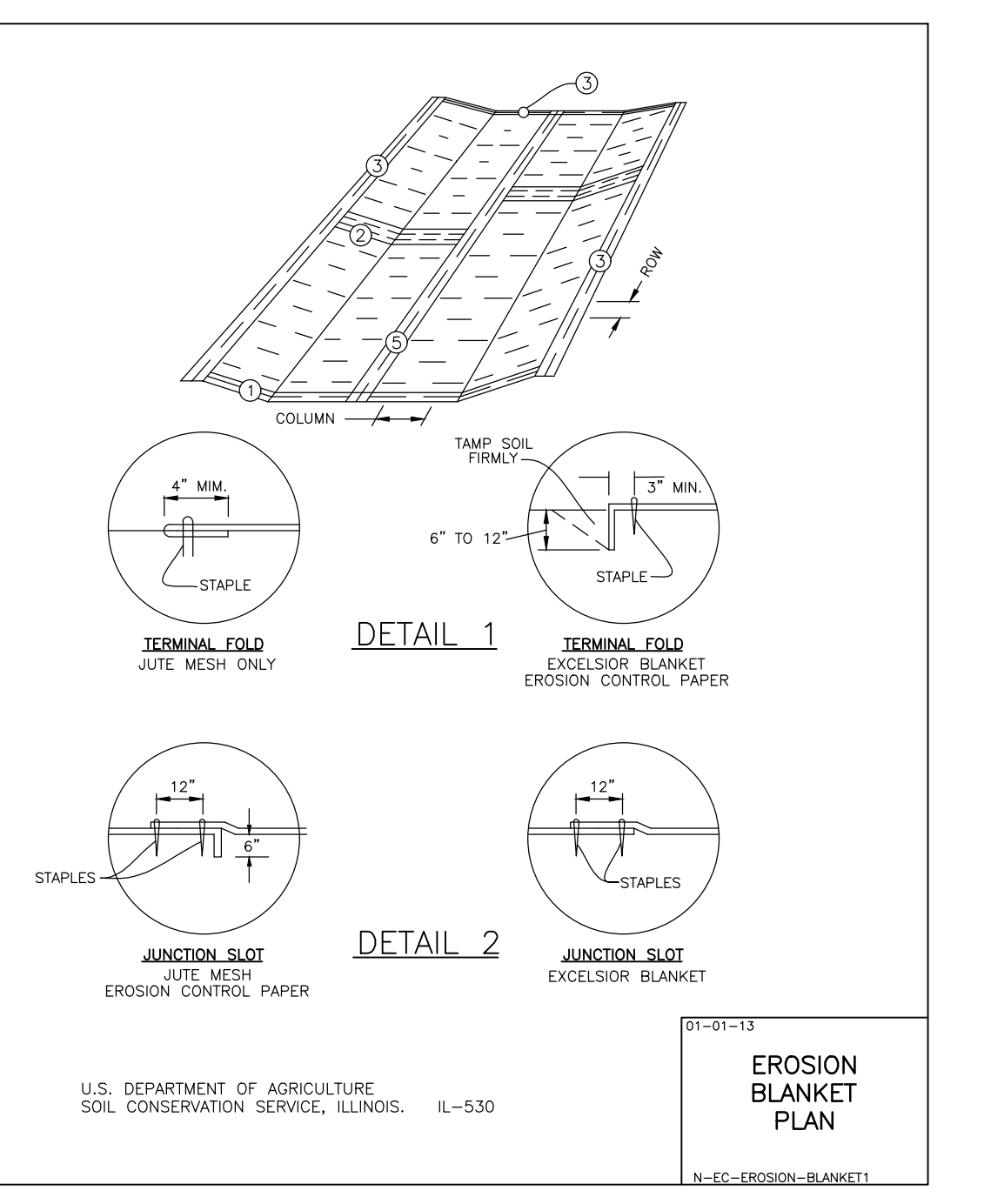
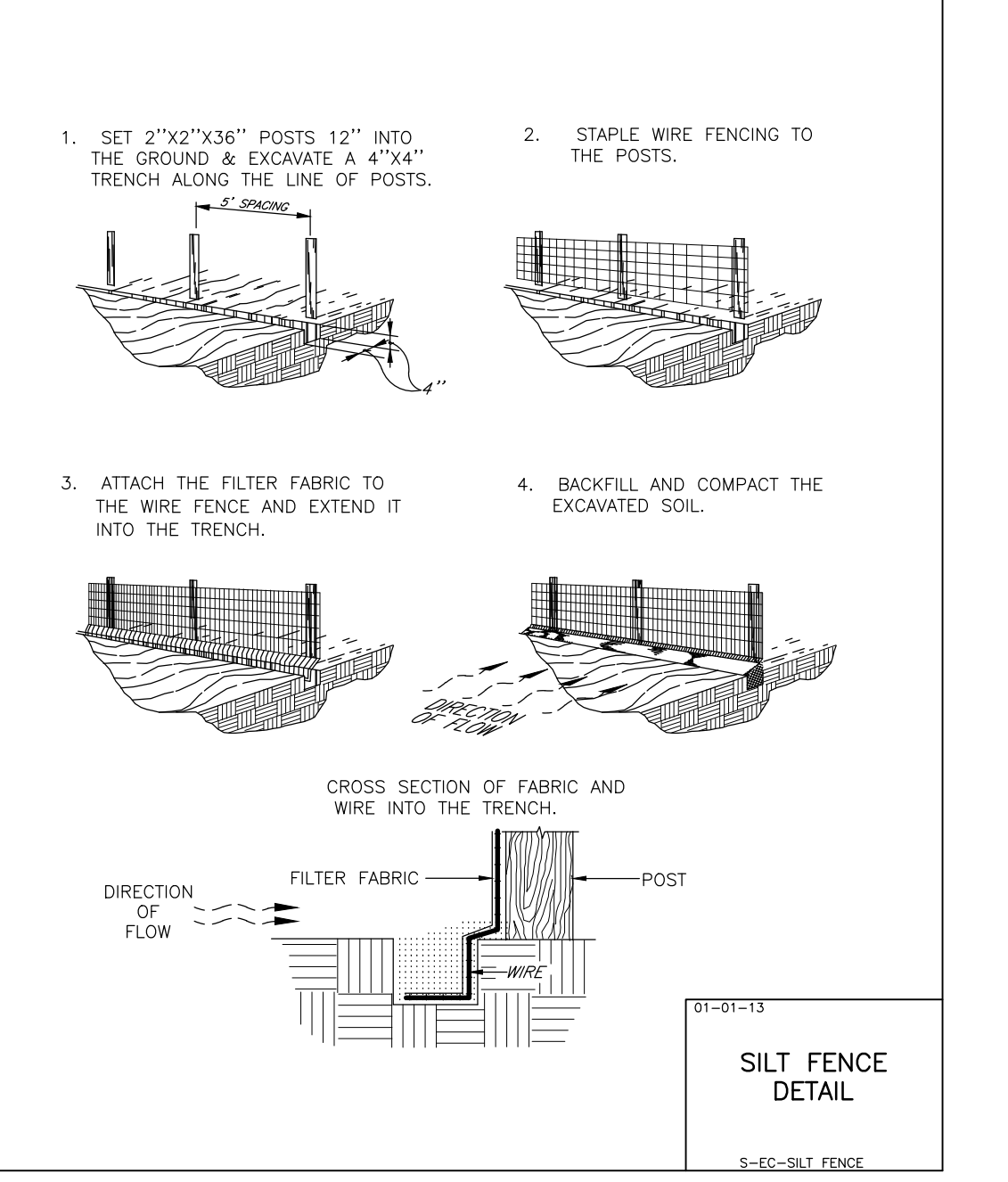
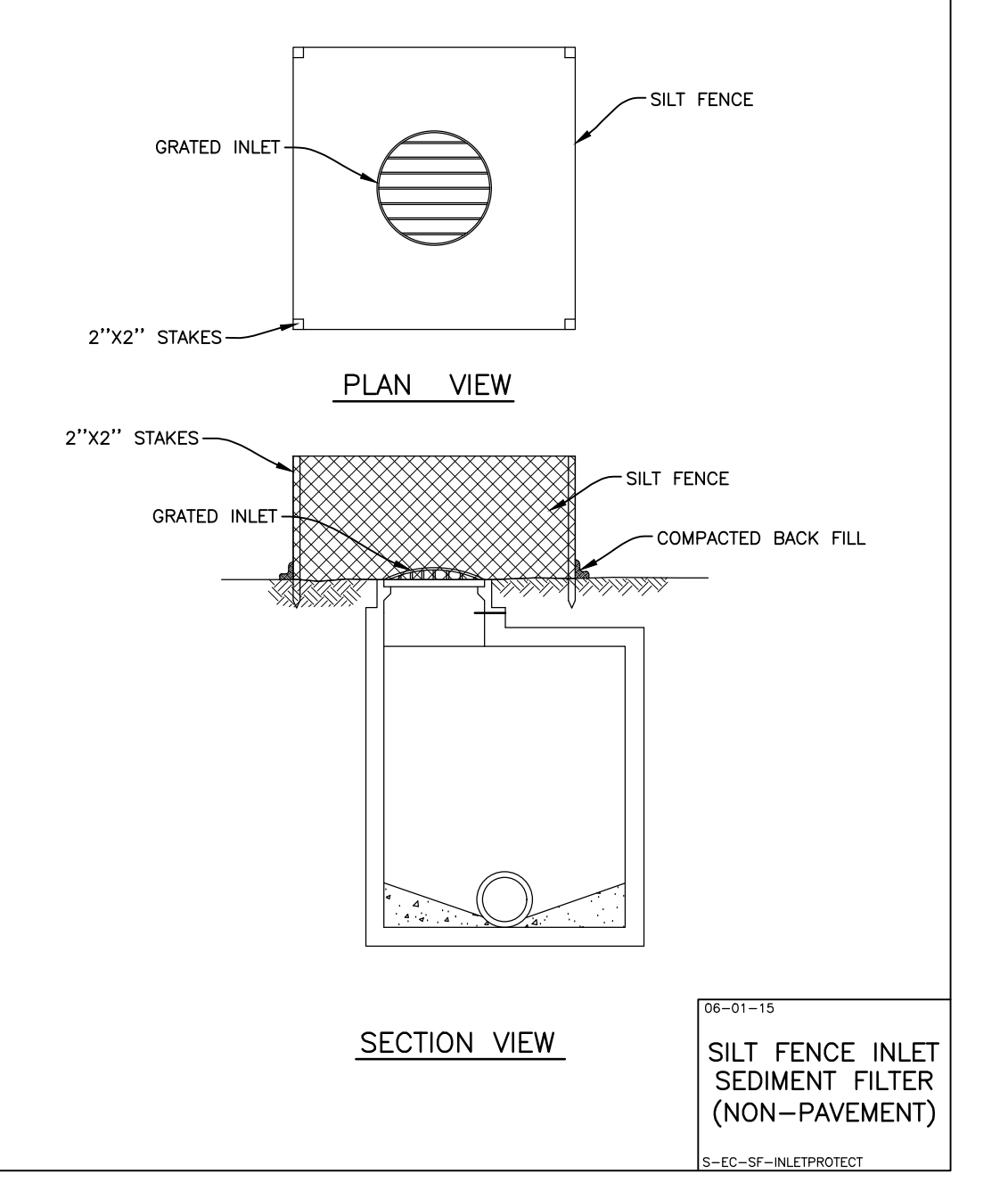
SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE DETAILS, THE VILLAGE DETAILS SHALL TAKE PRECEDENCE.



**RIP-RAP**

PIPE DIAMETER (IN.)	QUALITY DESIGNATION	GRADATION NUMBER	MINIMUM THICKNESS (IN.)	MINIMUM LENGTH (FT.)	MINIMUM WEIGHT RANGE (LB.)	WEIGHT AVERAGE (LB.)	SIZE AVERAGE (IN.)	MINIMUM THICKNESS (IN.)
12"	B	3	8"	4'	1-50	10	4.5"	N/A
15"	B	3	8"	5	1-50	10	4.5"	N/A
18"	B	4	16"	6'	1-150	40	7"	6"
21"	B	4	16"	7'	1-150	40	7"	6"
24"	B	4	16"	8'	1-150	40	7"	6"
27"	B	4	16"	9'	1-150	40	7"	6"
30"	B	4	16"	10'	1-150	40	7"	6"
36"	B	5	22"	12'	3-400	90	10"	8"
42"	B	5	22"	14'	3-400	90	10"	8"
48"	B	6	26"	16'	6-600	170	12"	10"
54"	B	6	26"	18'	6-600	170	12"	10"
60"	B	6	26"	20'	6-600	170	12"	10"
72"	B	6	26"	24'	6-600	170	12"	10"

**NOTE:**  
 1. FOR PIPE LARGER THAN 72" A SPECIAL DESIGN OF RIP-RAP OR APRON IS REQUIRED.  
 2. REFER TO I.D.O.T. SPECIFICATIONS AND STANDARDS FOR BEDDING GRADATION.



HR ARCHITECTURE  
 10 WINDSOR STREET SUITE 700  
 CHICAGO, IL 60603  
 312-479-8911



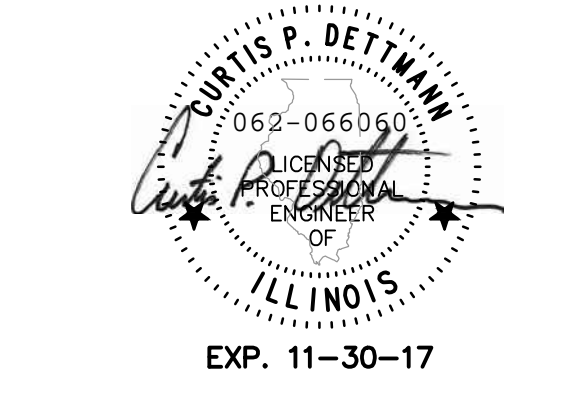
SHIRLEY RYAN  
 BILITY LAB

OUTPATIENT AND  
 DAY REHAB CENTER -  
 CORE & SHELL

7630 COUNTY LINE ROAD  
 BURR RIDGE, IL 60527

MARK	DATE	DESCRIPTION
1	02/09/17	ISSUE FOR BID PERMIT
2	02/24/17	ISSUE FOR PERMIT CORRECTIONS
3	03/03/17	ISSUE FOR CONSTRUCTION

Project Number: HR-BURR-17  
 Original Issue: 02/09/17



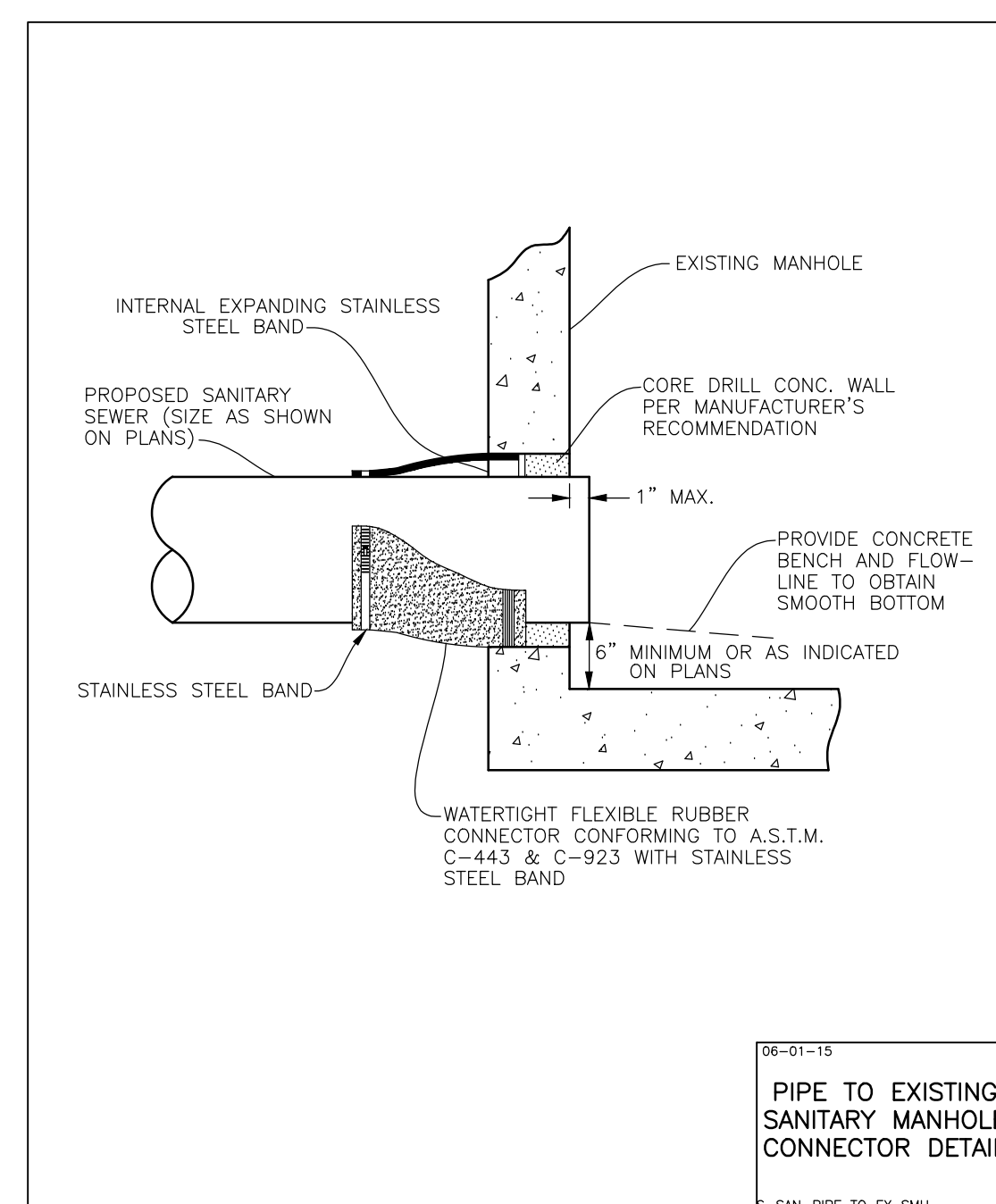
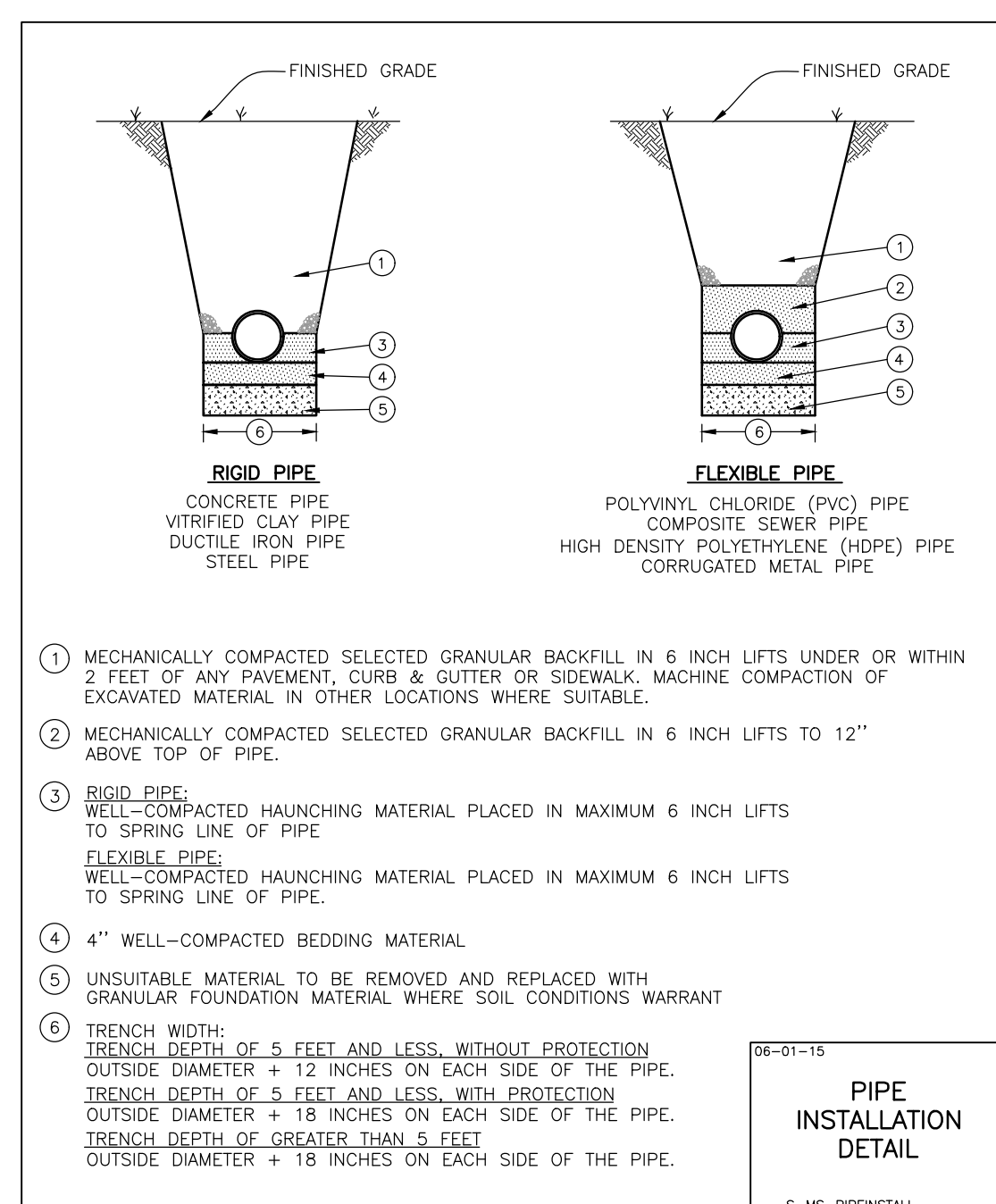
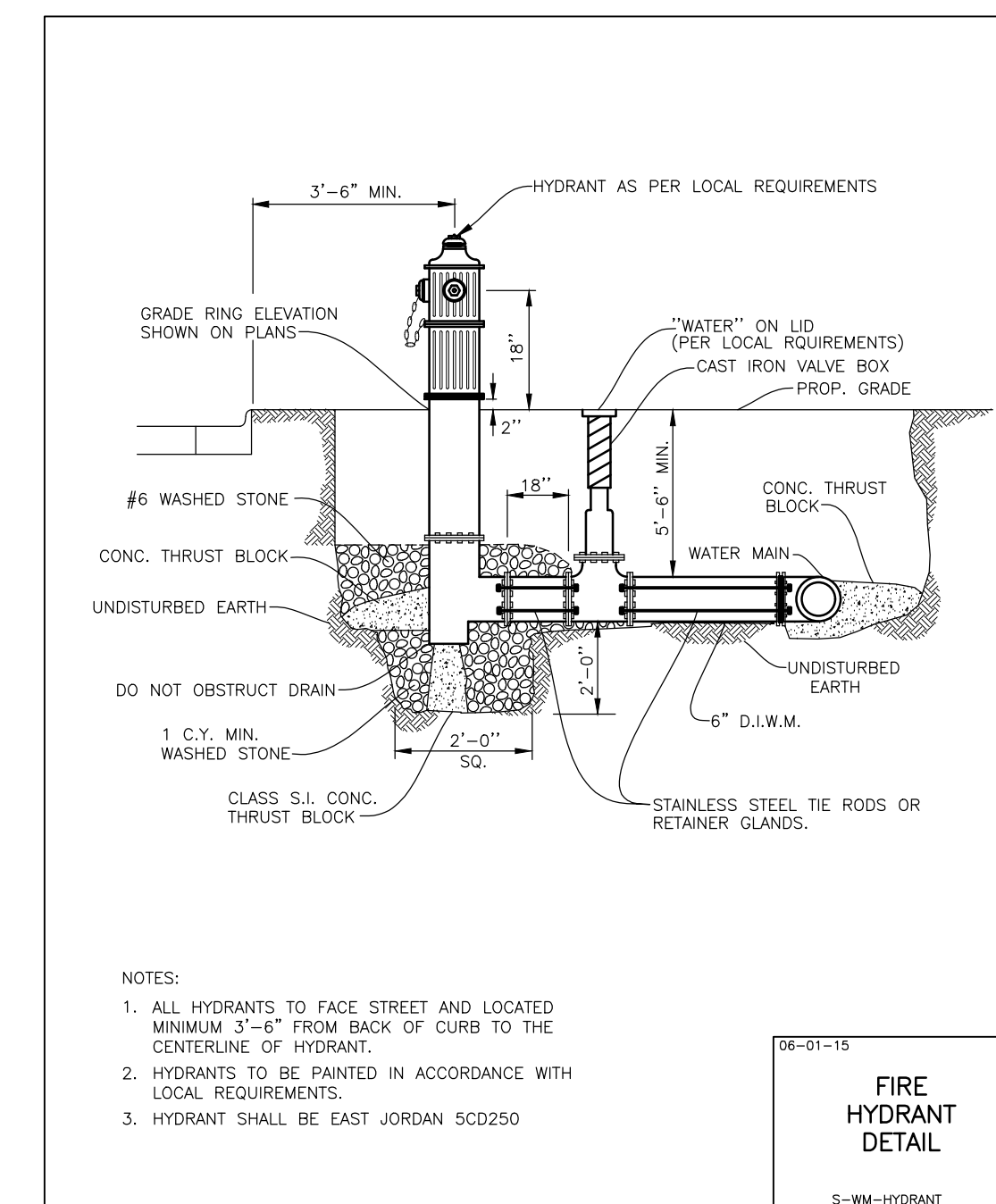
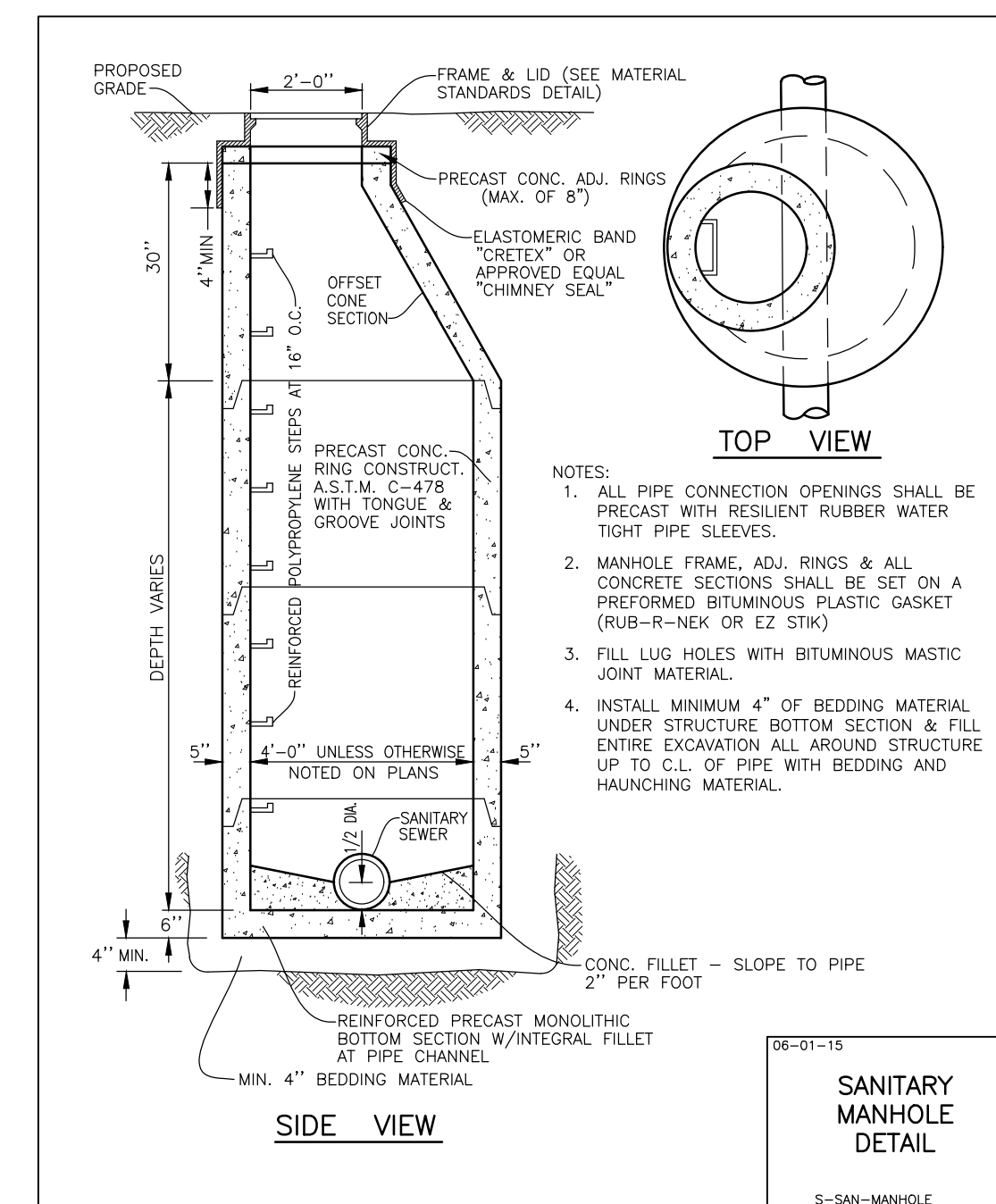
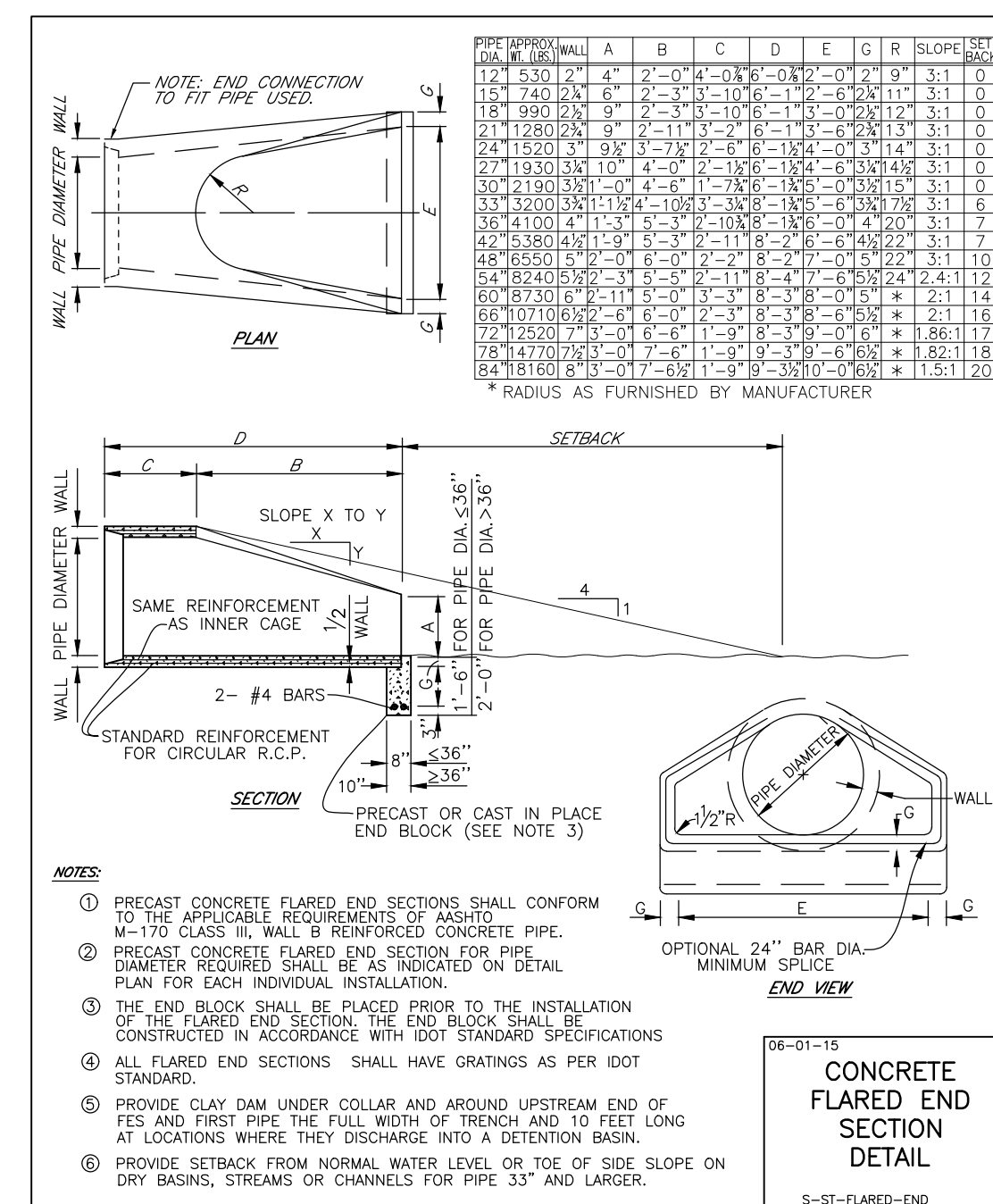
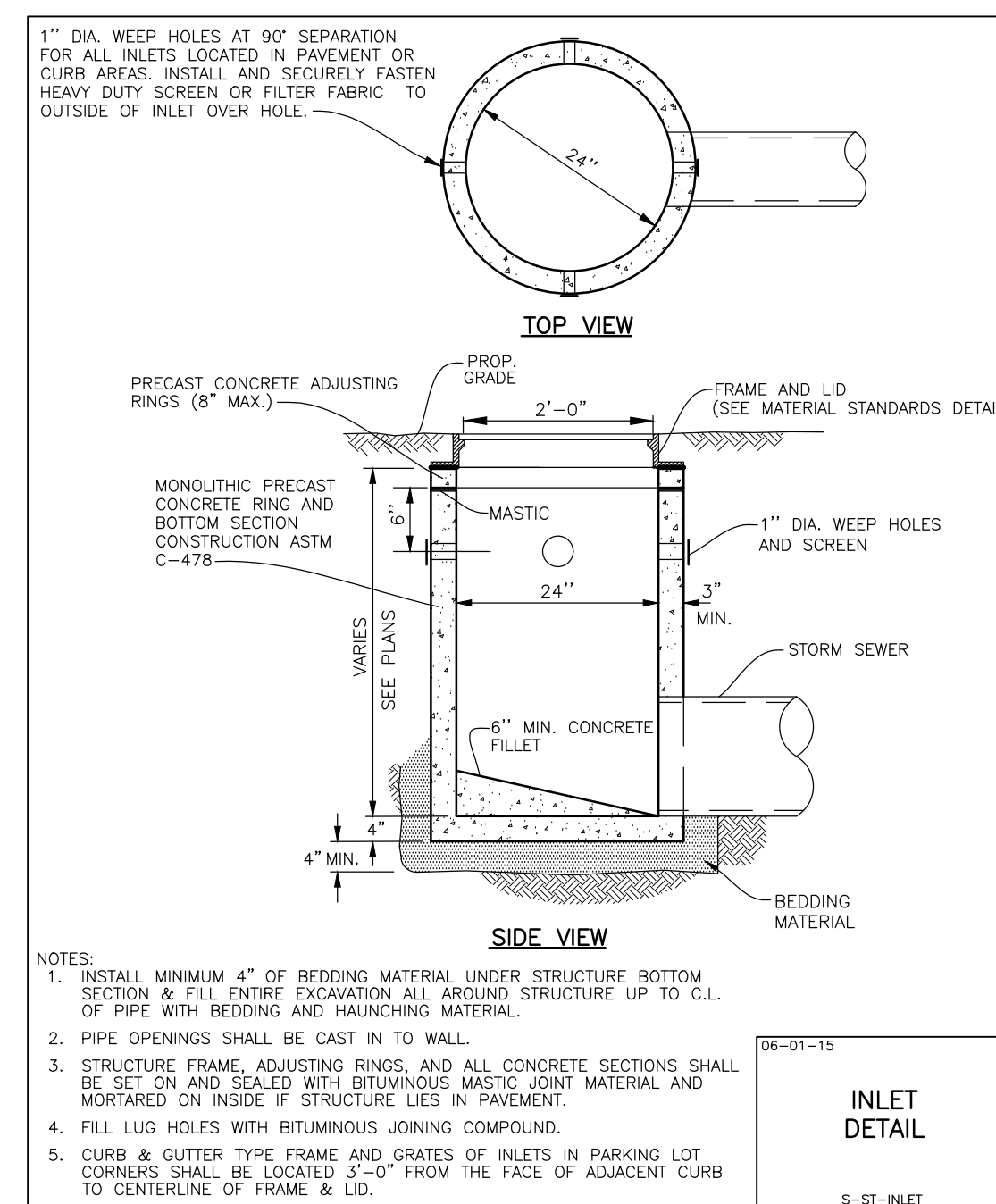
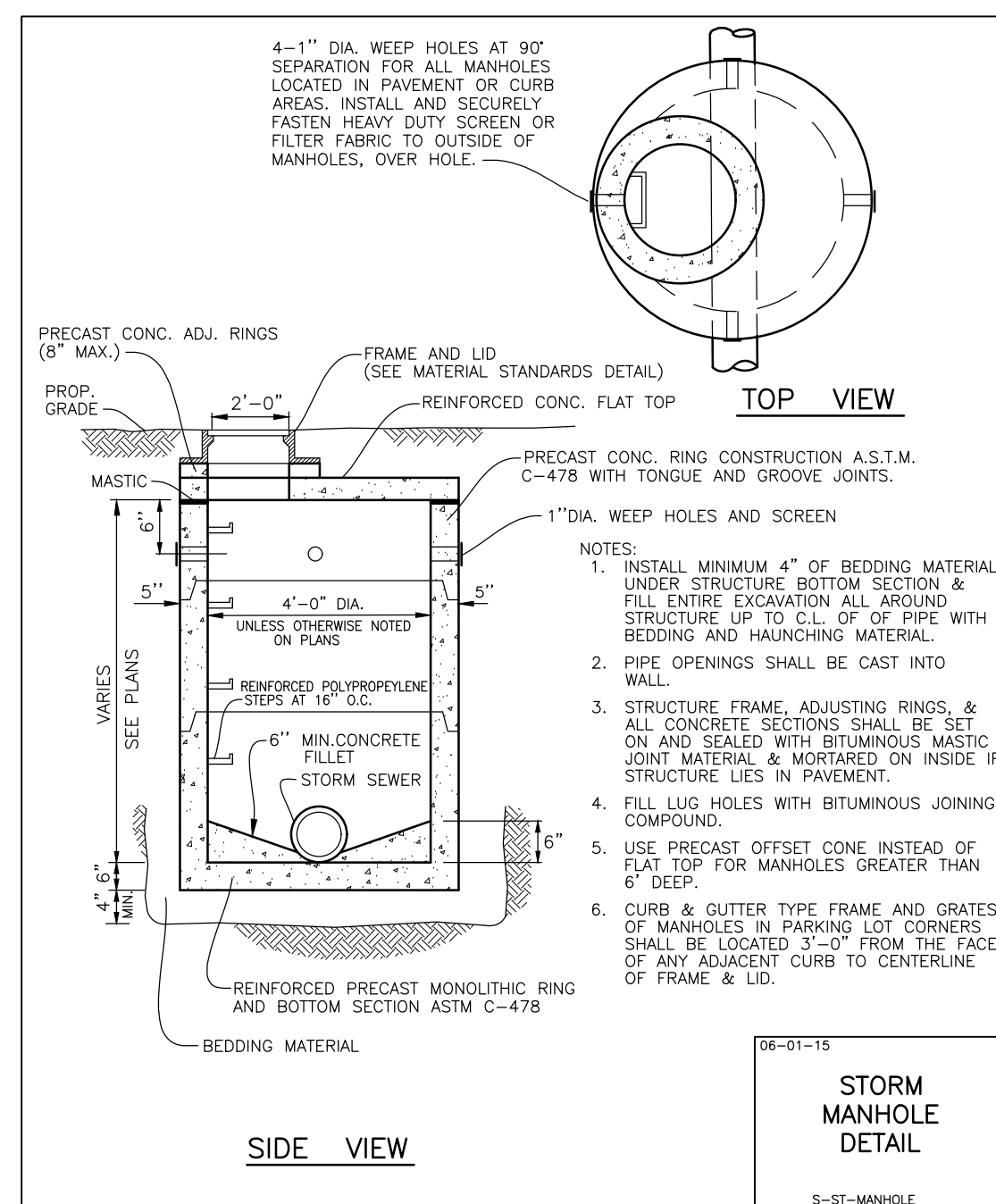
Sheet Name: SOIL EROSION AND SEDIMENT CONTROL DETAILS

Sheet Number: C10

Project Status: ISSUE FOR CONSTRUCTION

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018



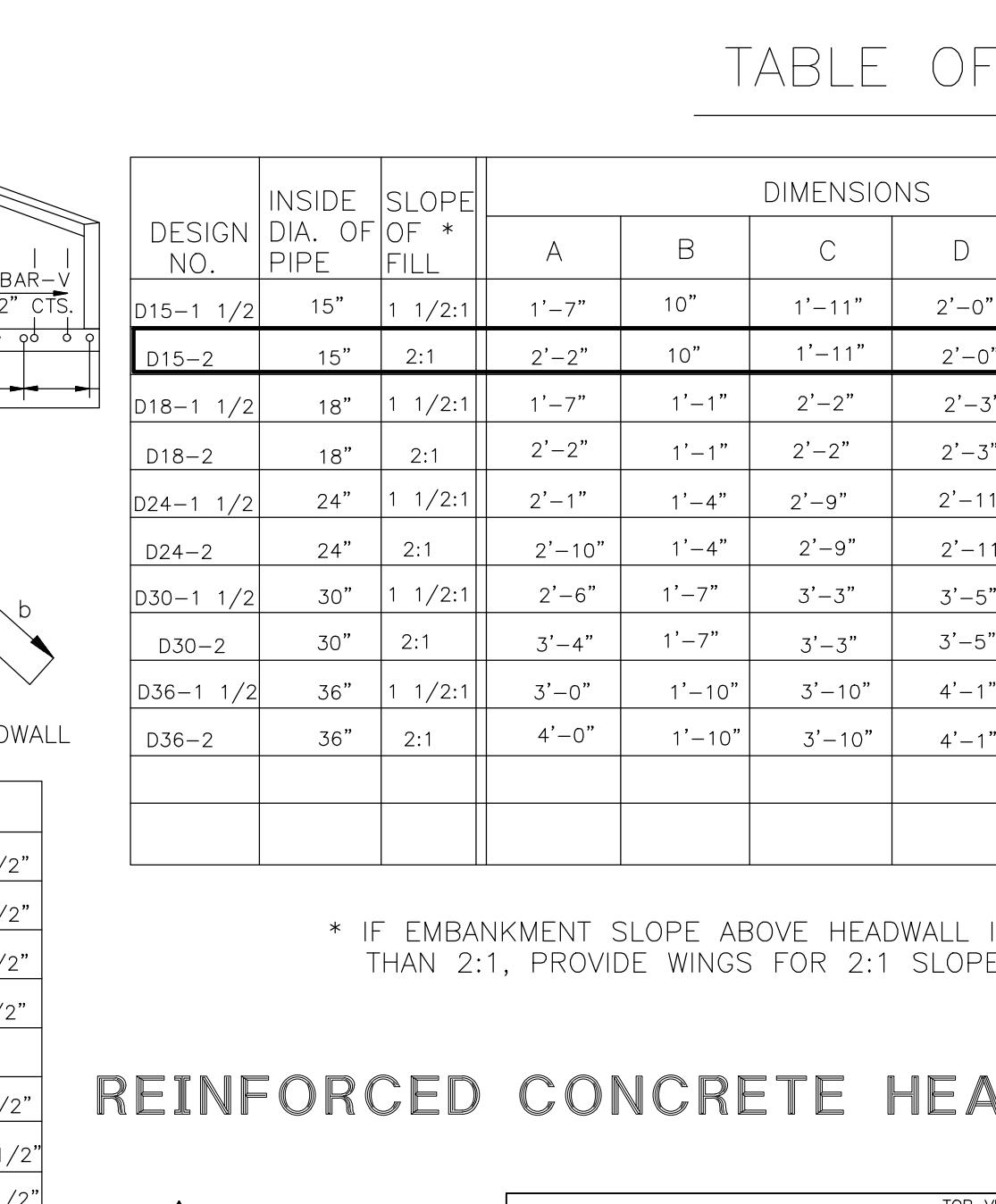
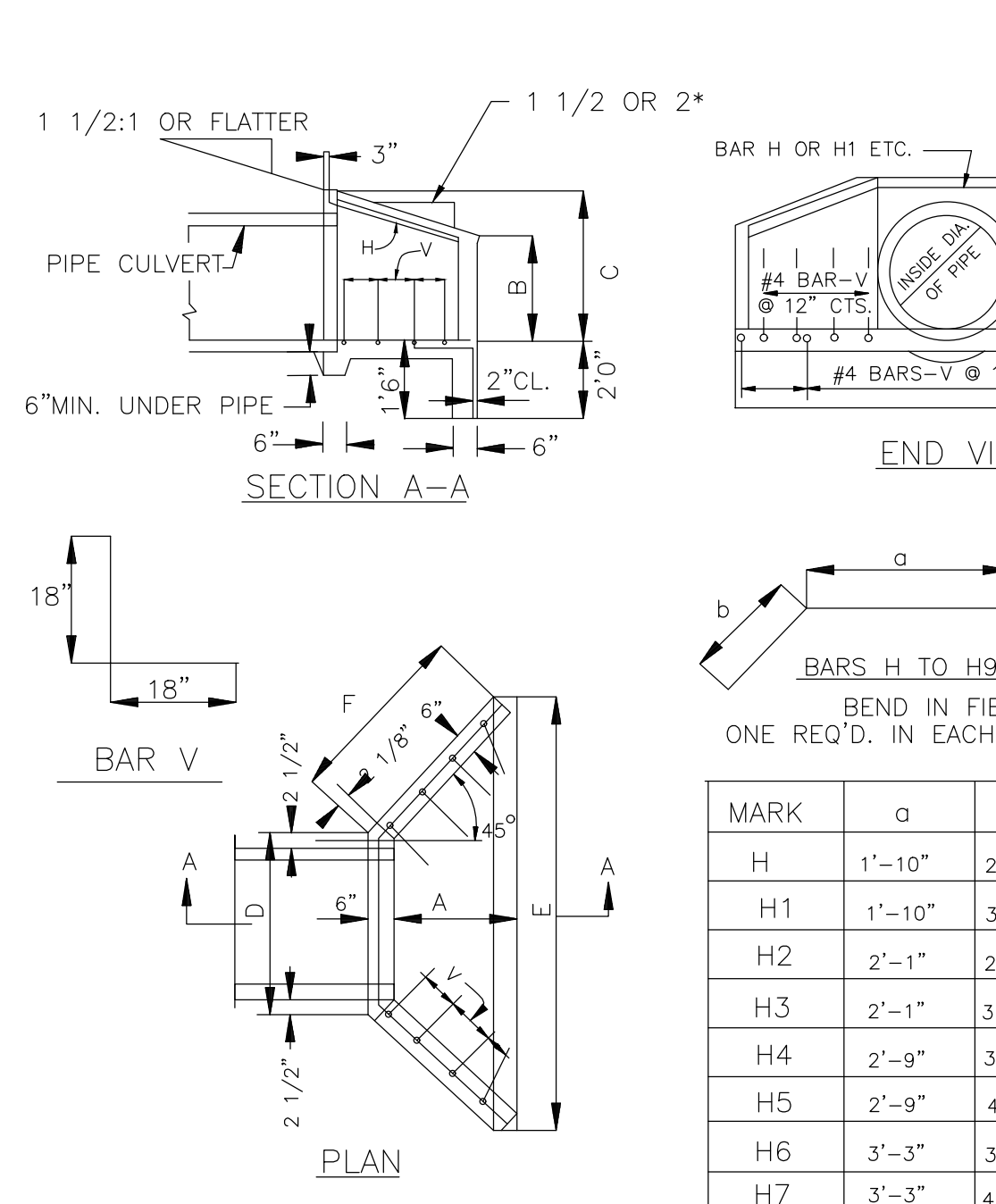
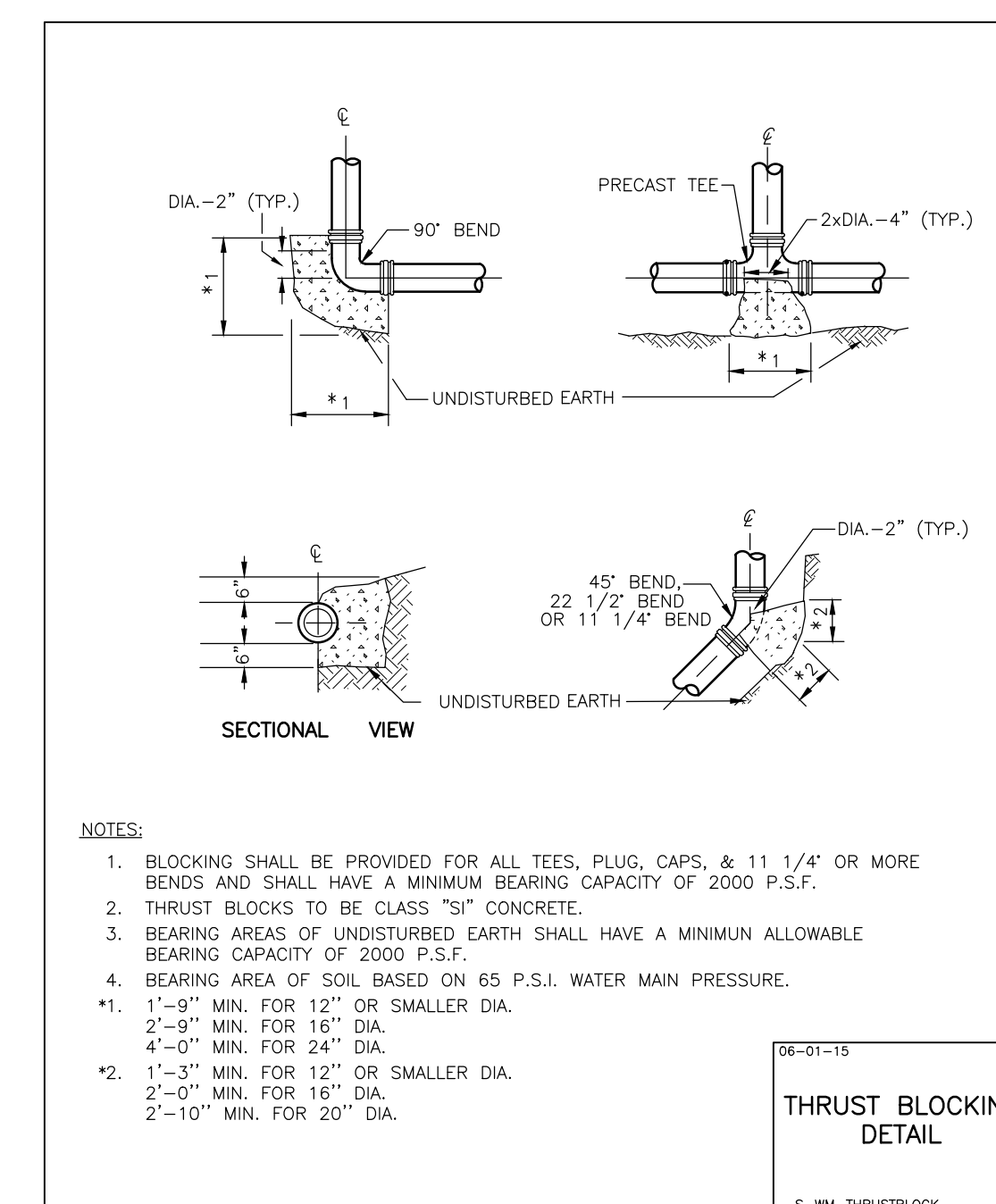
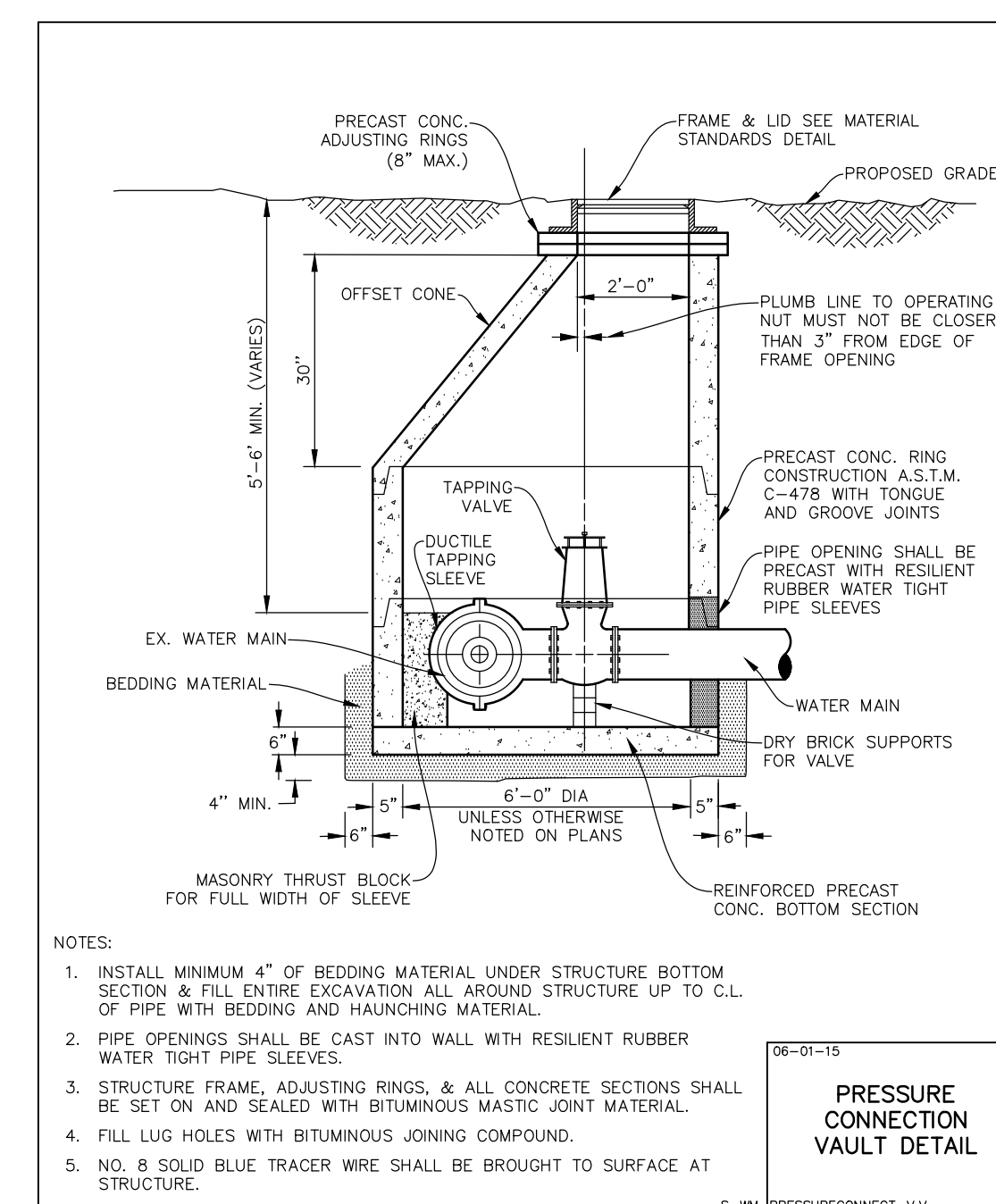


**MATERIAL STANDARDS**

ITEM	BRAND	PRODUCT
PIPE HYDRANTS (TRAFFIC MODEL)	EAST JORDAN WATERLOO PACER	58R250 WB-67
GATE VALVES (SPECIFY SIZE NON-BOSING STEM 2" NUT, M.J., OPEN LEFT)	MUELLER (SIZE) AMERICAN FLOW CONTROL	A-2360-20L SERIES 2500
VALVE BOXES 3 PIECE	EAST JORDAN TYLER/JUNION	SCREW ADJUSTING EXTENSION TYPE
CURB STOPS (SPECIFY SIZE)	MUELLER FORD	300 BALL VALVE BALL VALVE
CORPORATION VALVE (SPECIFY SIZE)	MUELLER FORD	H-15000 FB600 (AWM/CC THREAD)
MANHOLES/CATCHBASINS/INLETS IN OPEN AREAS AND PAVEMENT (SELF-SEALING LID WITH PROPER UTILITY MARKINGS)	NENAH CLOSED LID	R-1772
	OPEN LID *1 SWALES AND DITCHES	R-2502 C R-4340 B
MANHOLES/CATCH BASINS/INLETS IN COMBINATION CURB & GUTTER (BE 1/2 CURB)	NENAH ROLL/MOUNTABLE CURB BE 1/2 CURB	R-3021-D2A R-3281-AL
B-BOX (AT LEAST 1 1/4" TOP SECTION)	FORD MUELLER	EA2 CURB BOX

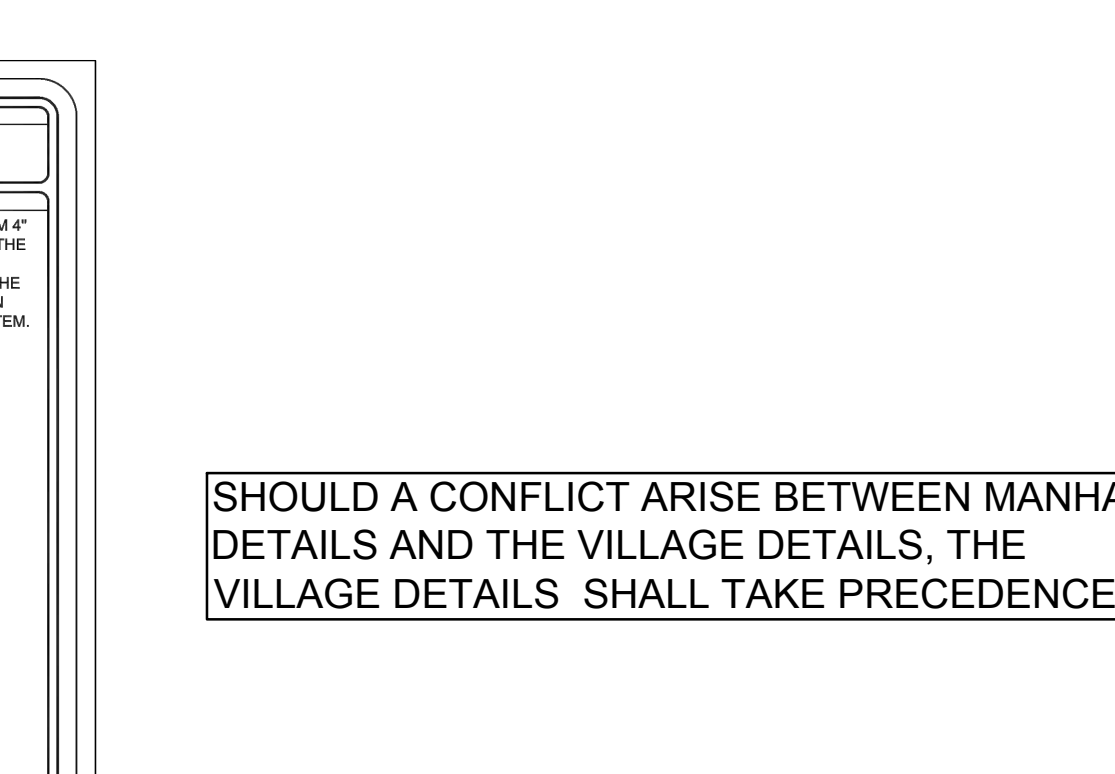
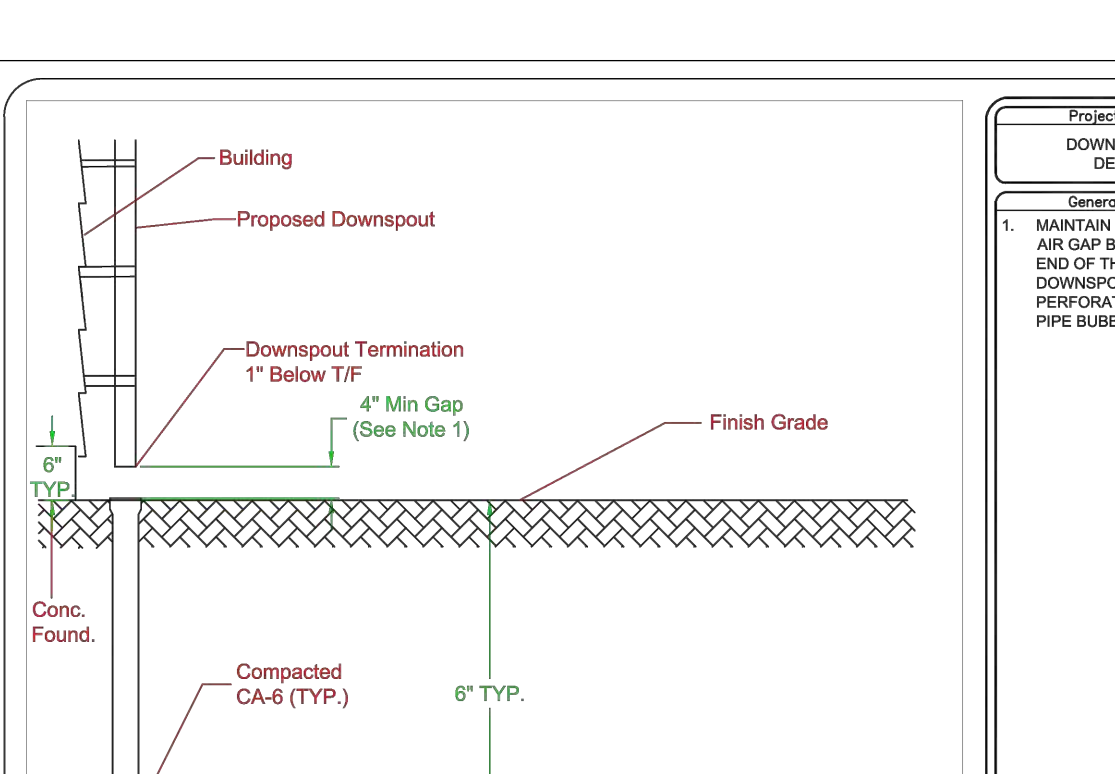
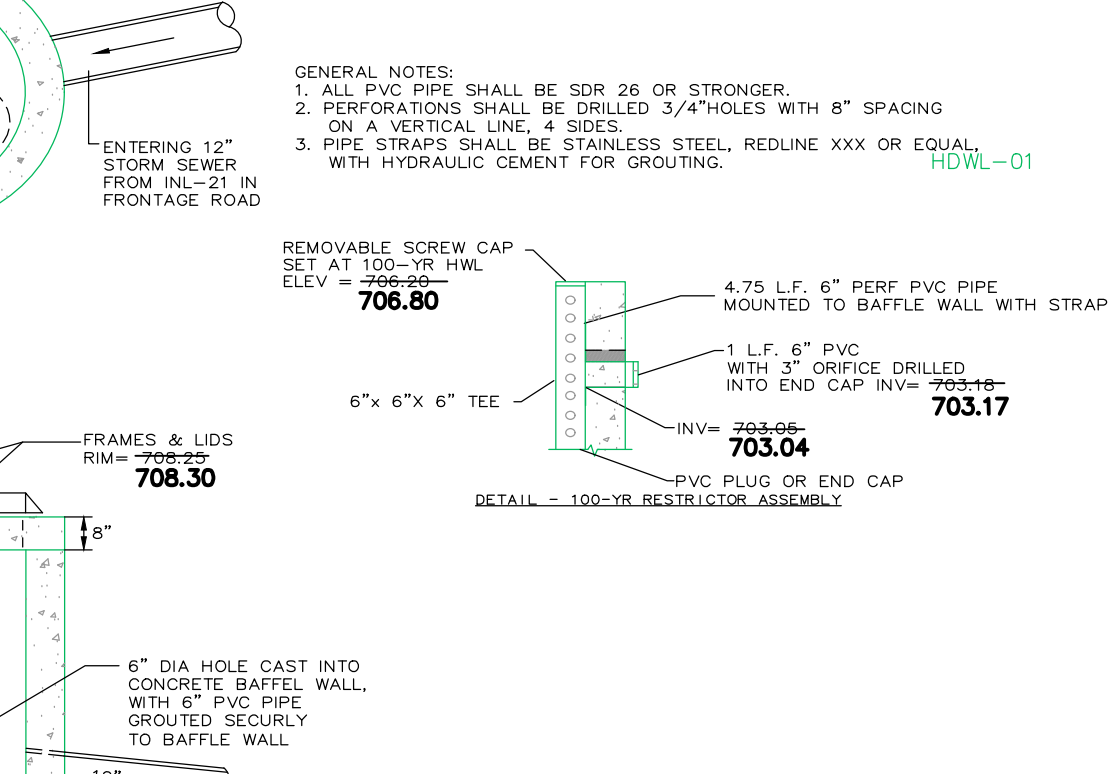
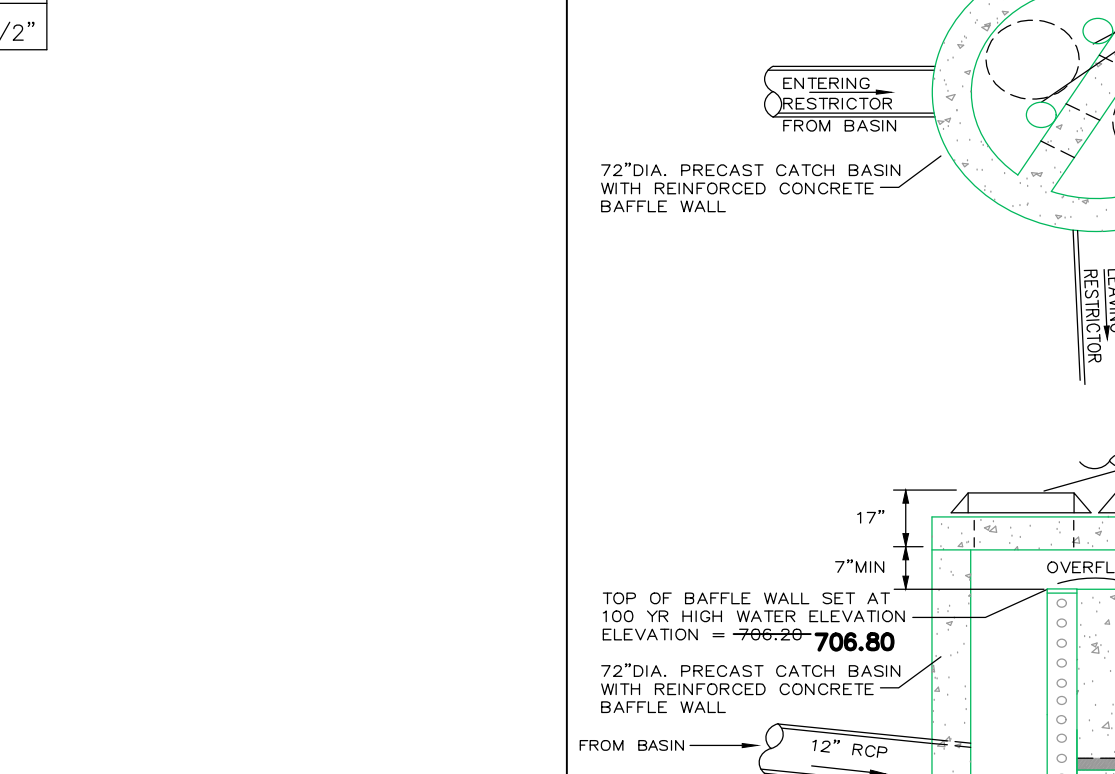
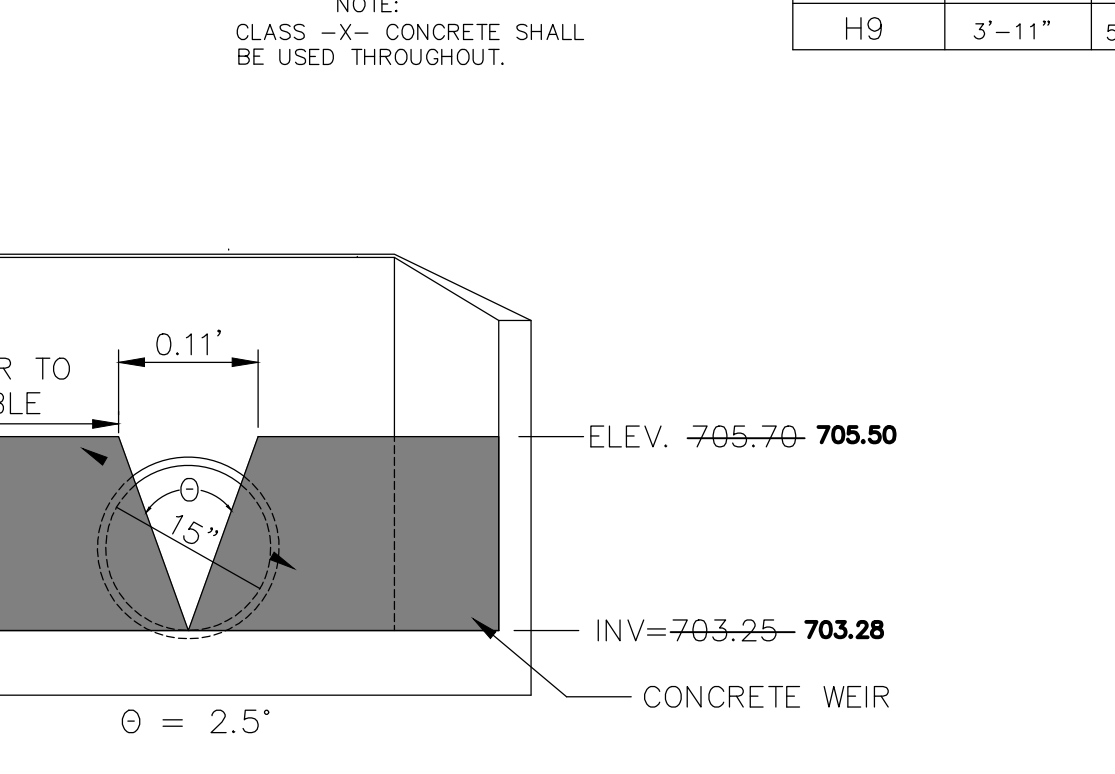
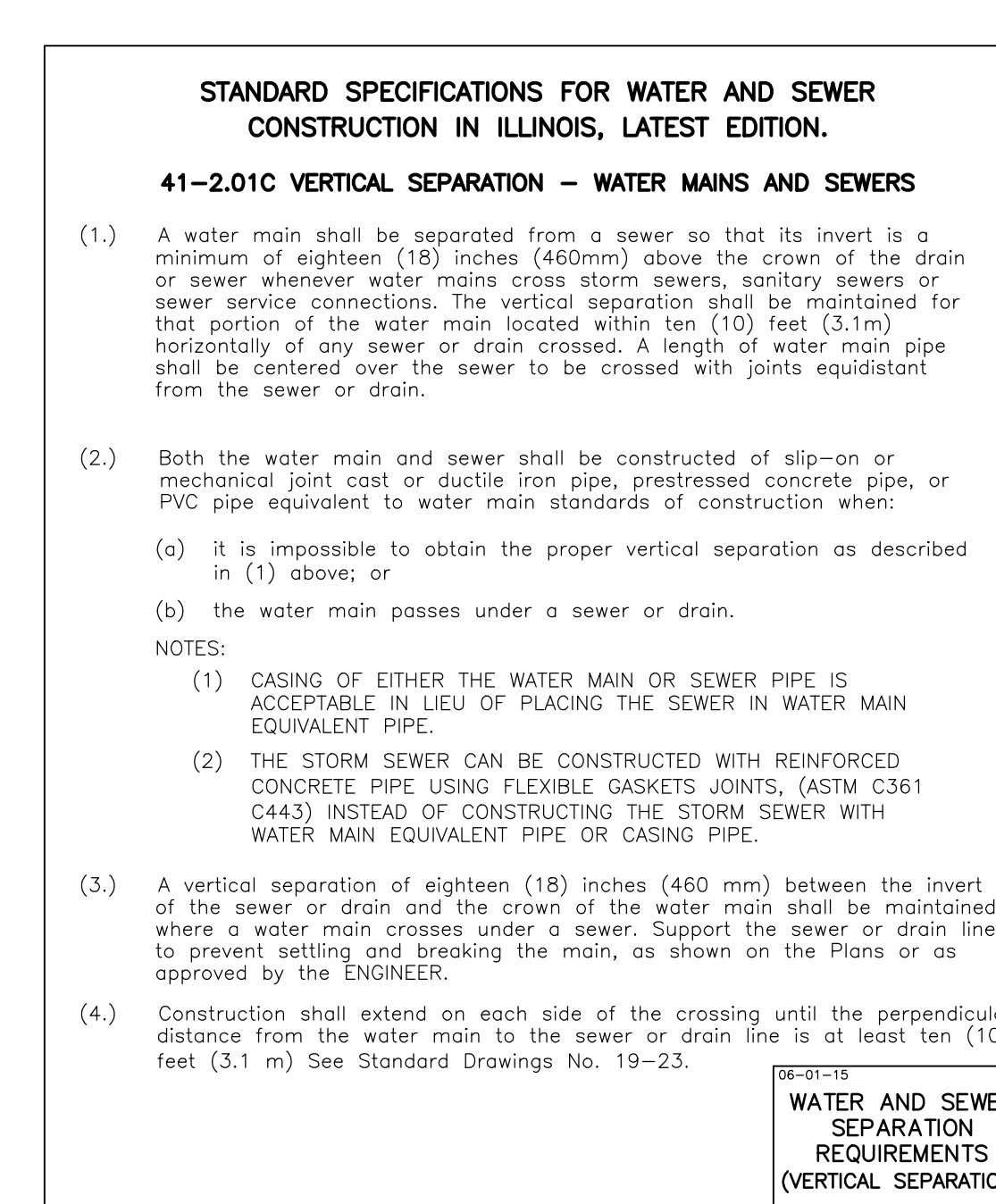
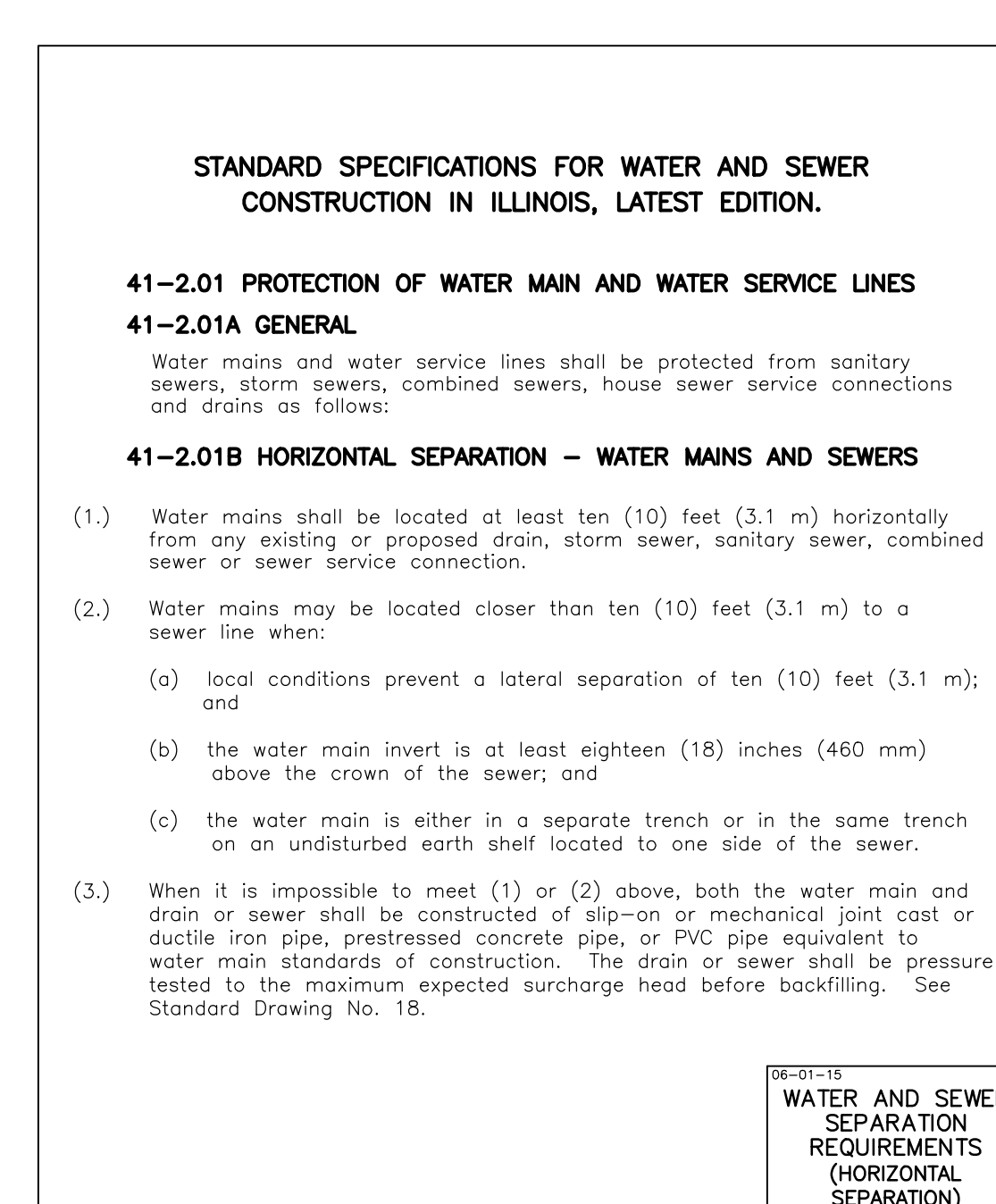
\*1 WHEREVER STORMWATER COULD POSSIBLY ENTER STORM STRUCTURE

06-01-15  
S-16-MATERIAL STD



**REINFORCEMENT BARS**

MARK	H	LENGTH	V.BARS NO.	TOTAL WT. 2-HDWLS
H1	1'-10"	2'-5 1/2"	16	40
H2	2'-1"	2'-5 1/2"	22	60
H3	2'-1"	3'-2 1/2"	22	60
H4	2'-9"	3'-3"	28	70
H5	2'-9"	4'-1 1/2"	28	70
H6	3'-3"	3'-10 1/2"	34	80
H7	3'-3"	4'-10 1/2"	30	80
H8	3'-11"	4'-8"	40	100
H9	3'-11"	5'-9 1/2"	40	100



NOTE: SEE THE REINFORCED CONCRETE HEADWALLS FOR PIPE CULVERTS DETAIL FOR HEADWALL SPECIFICATIONS

**FES-20 W/ RESTRICTOR WALL**

NOTE: CONTRACTOR TO COORDINATE BOTH THE LOCATION AND ANGLE OF 8" CONCRETE BAFFLE WALL. THE INTERNAL WALL SHALL NOT ENDOURCH INLET AND OUTLET STORM SEWER PIPES.

**SPECIAL STORM STRUCTURE MH No. 23**

NOTE: CONTRACTOR TO COORDINATE BOTH THE LOCATION AND ANGLE OF 8" CONCRETE BAFFLE WALL. THE INTERNAL WALL SHALL NOT ENDOURCH INLET AND OUTLET STORM SEWER PIPES.

**WATER AND SEWER SEPARATION REQUIREMENTS (HORIZONTAL SEPARATION)**

NOTE: CONTRACTOR TO COORDINATE BOTH THE LOCATION AND ANGLE OF 8" CONCRETE BAFFLE WALL. THE INTERNAL WALL SHALL NOT ENDOURCH INLET AND OUTLET STORM SEWER PIPES.

**WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)**

NOTE: CONTRACTOR TO COORDINATE BOTH THE LOCATION AND ANGLE OF 8" CONCRETE BAFFLE WALL. THE INTERNAL WALL SHALL NOT ENDOURCH INLET AND OUTLET STORM SEWER PIPES.

**SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE DETAILS, THE VILLAGE DETAILS SHALL TAKE PRECEDENCE.**

**HR ARCHITECTURE**  
31 WINDSOR STREET SUITE 710  
CHICAGO, IL 60603  
312-479-8911

**Manhard CONSULTING LTD**  
INCORPORATED  
1301 WEST 22ND STREET Suite 210  
Oak Brook, IL 60523  
630-472-0918 Fax: 630-472-1006

**State Mechanical Services**

**Shirley Ryan Abilitylab**

**SHIRLEY RYAN BILITY LAB**

**OUTPATIENT AND DAY REHAB CENTER - CORE & SHELL**

7630 COUNTY LINE ROAD  
BURR RIDGE, IL 60527

**MARK DATE DESCRIPTION**

1	06-01-15	ISSUE FOR PERMIT
2	06-01-15	ISSUE FOR PERMIT CORRECTIONS
3	06-01-15	ISSUE FOR CONSTRUCTION
4	06-01-15	REVISIONS FOR PERMIT CORRECTIONS

Project Number: HRB-11-30-17  
Original Issue: 06-01-15

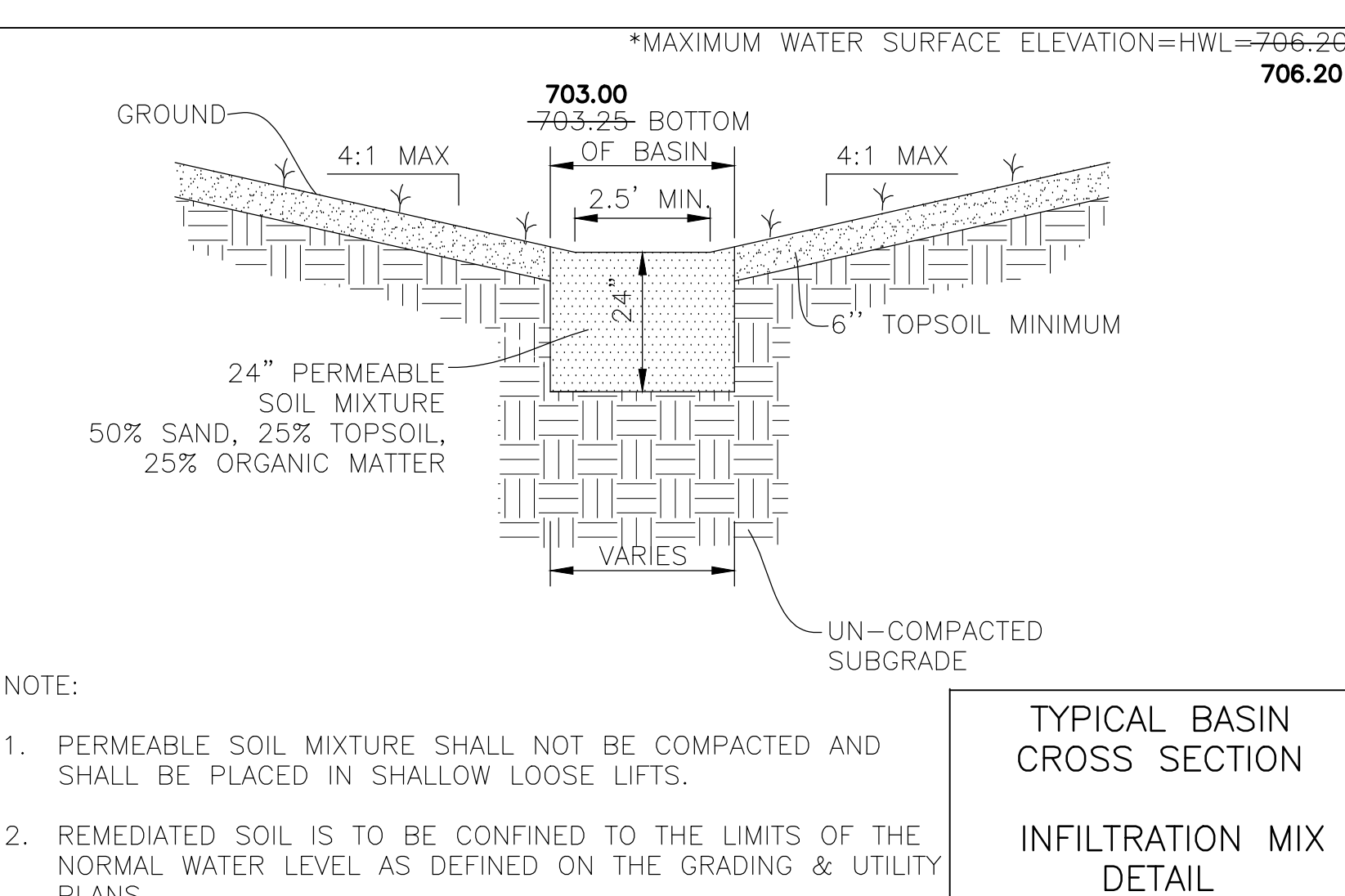
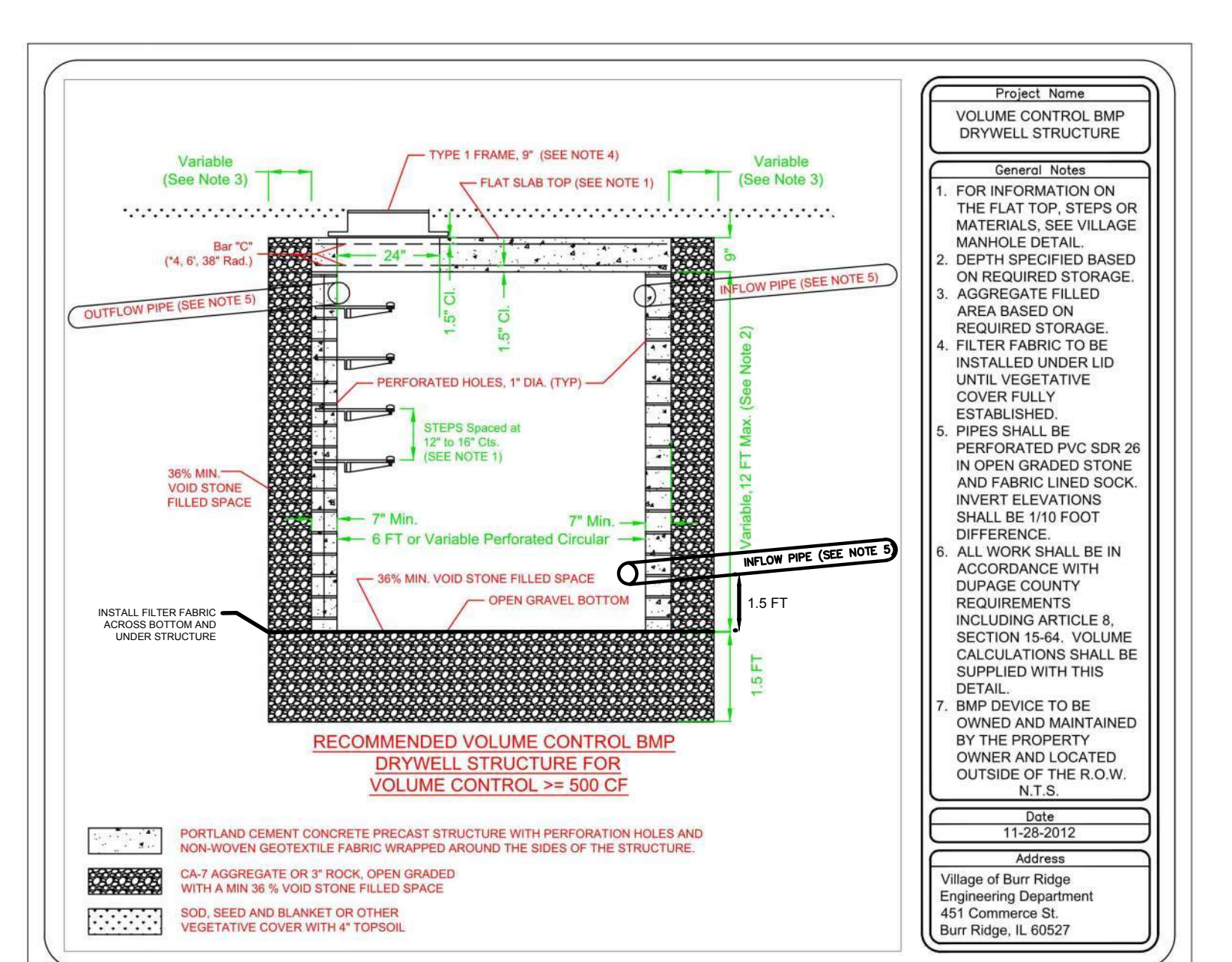
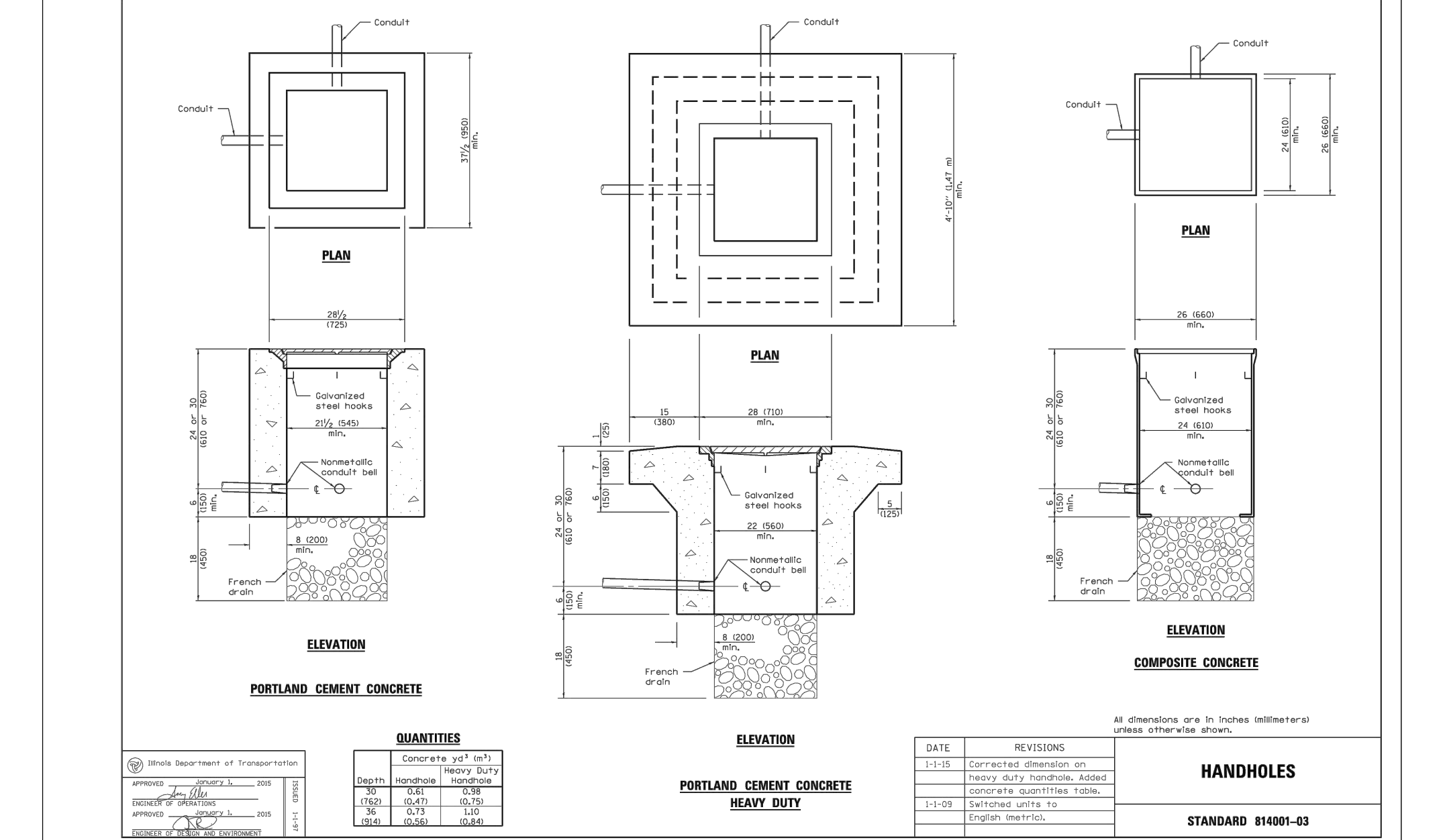
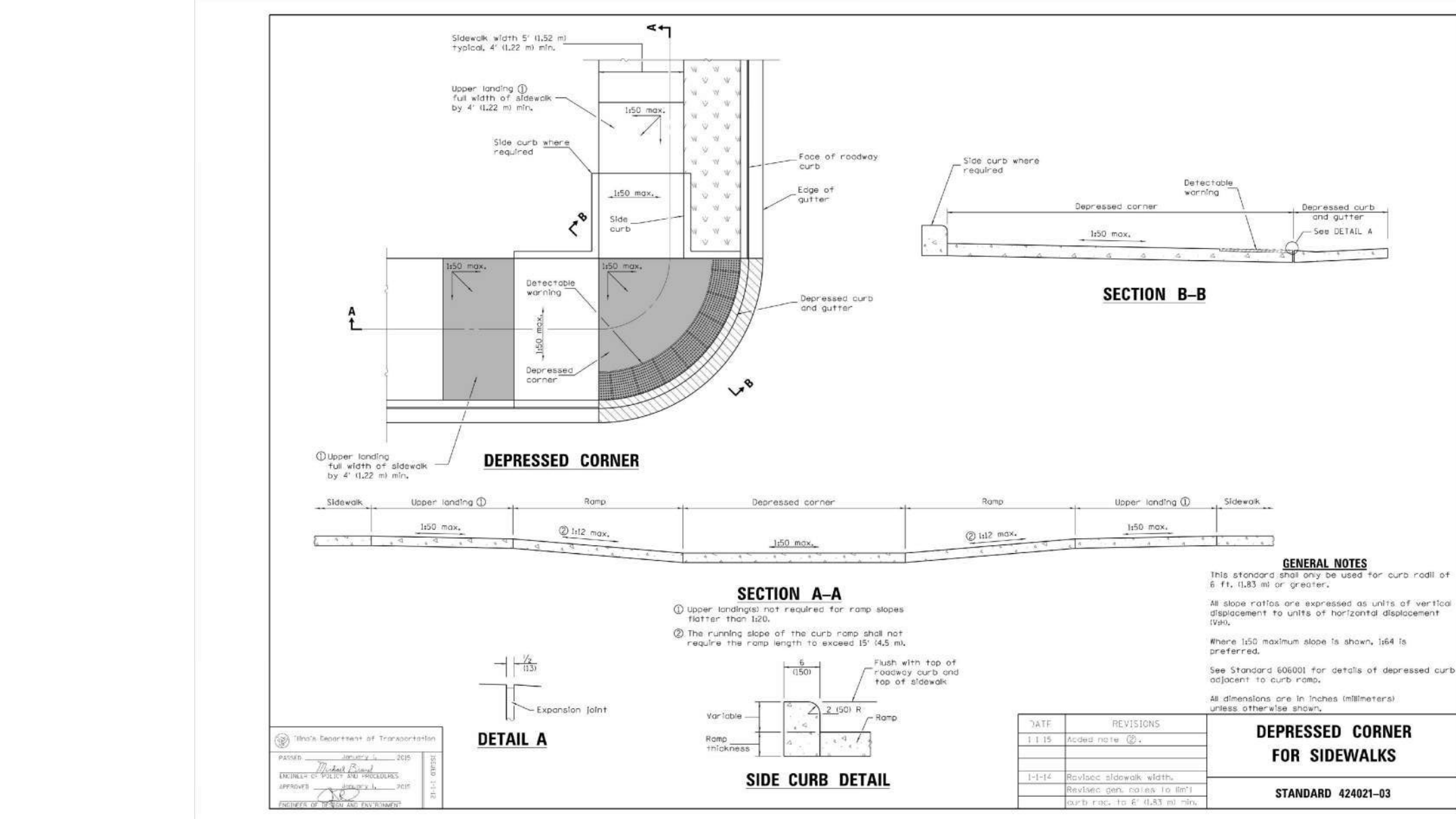
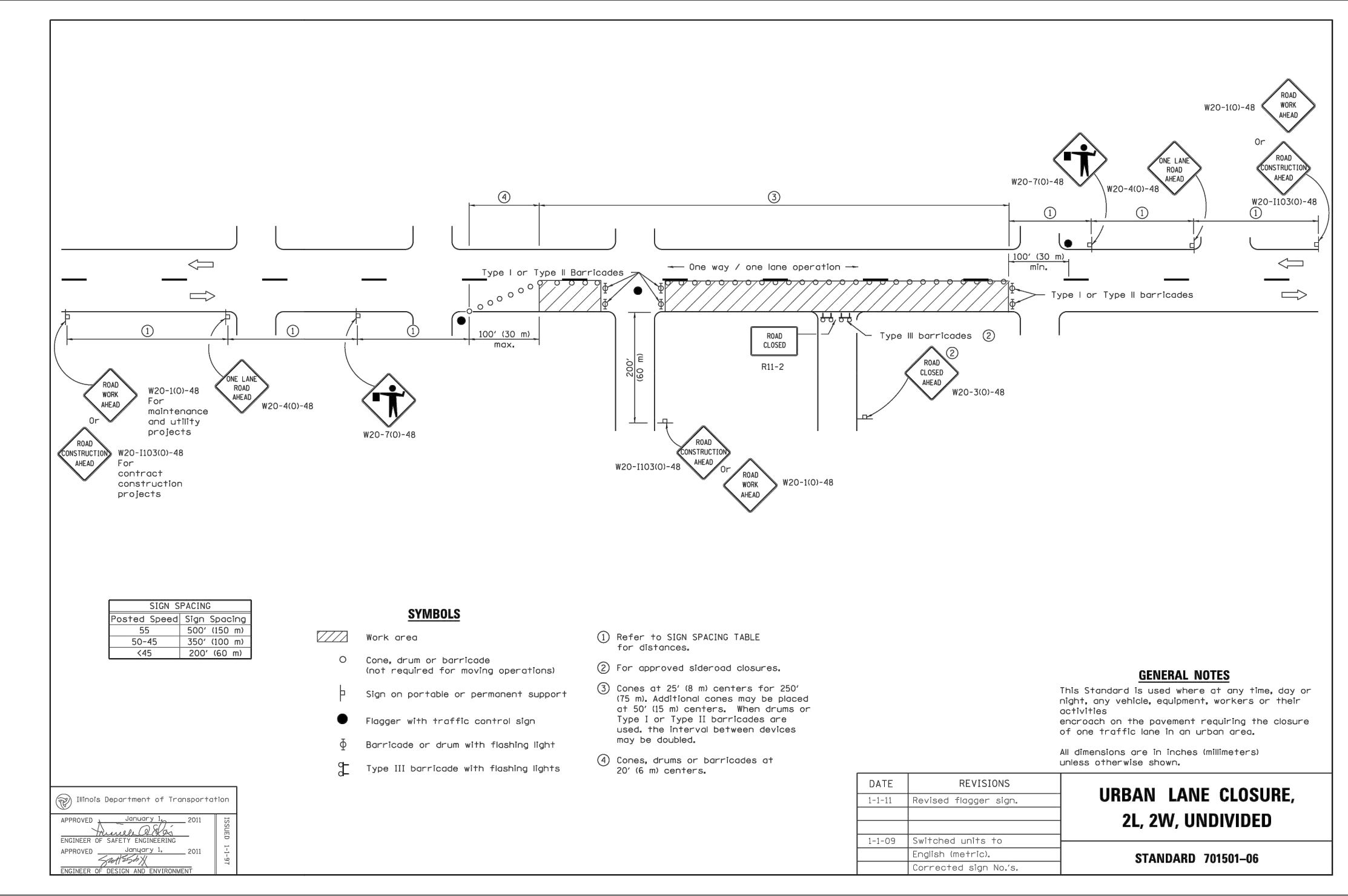
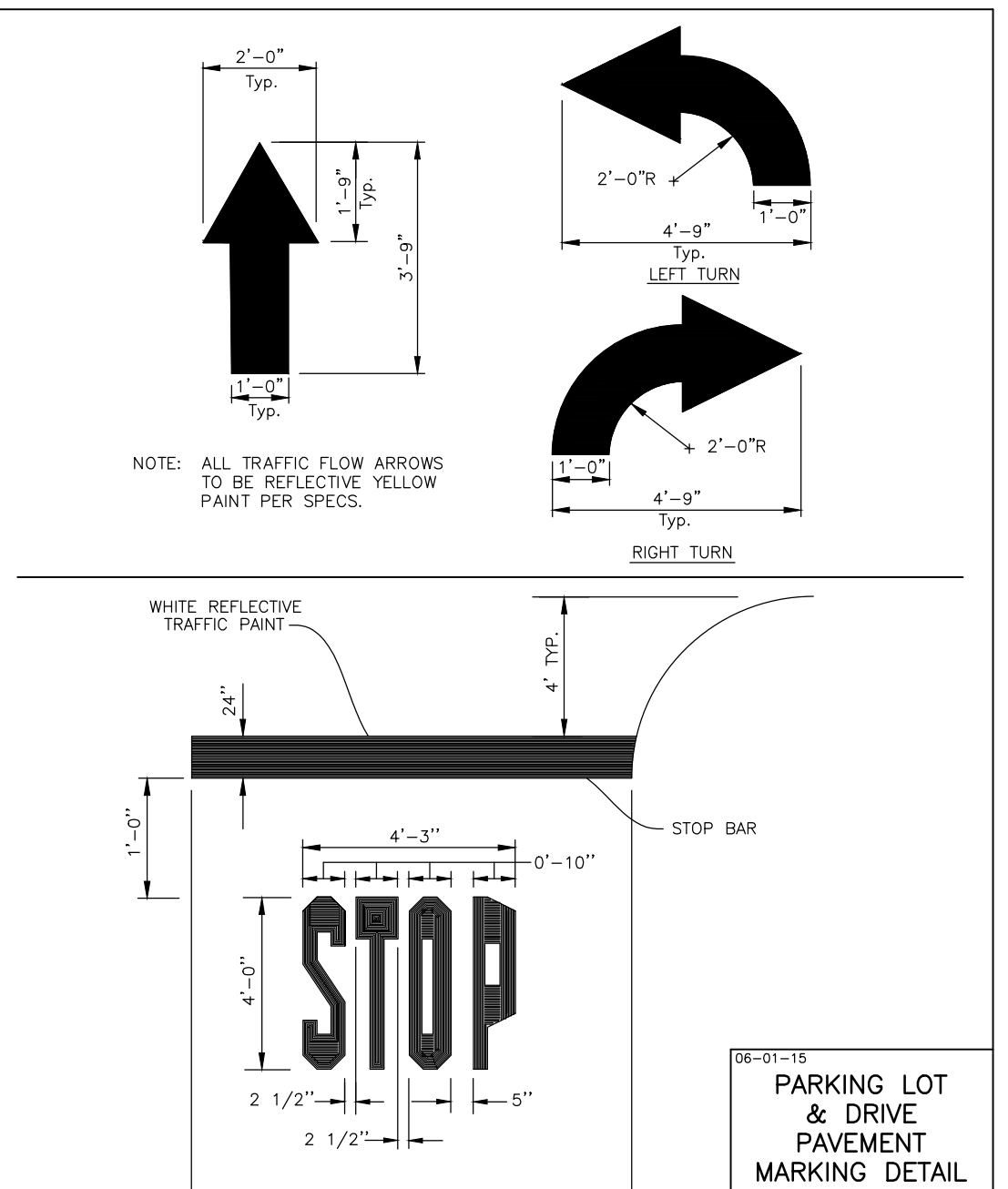
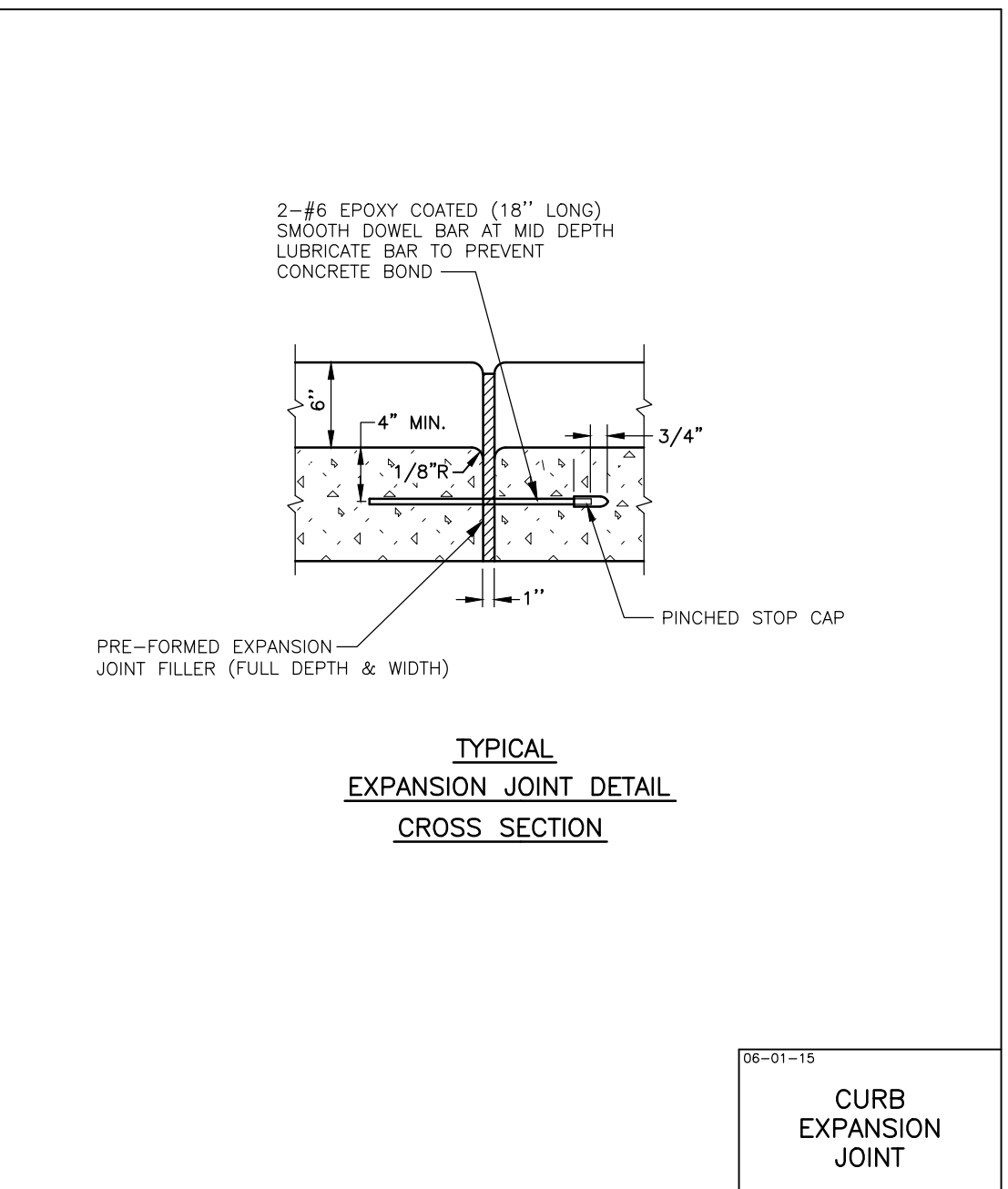
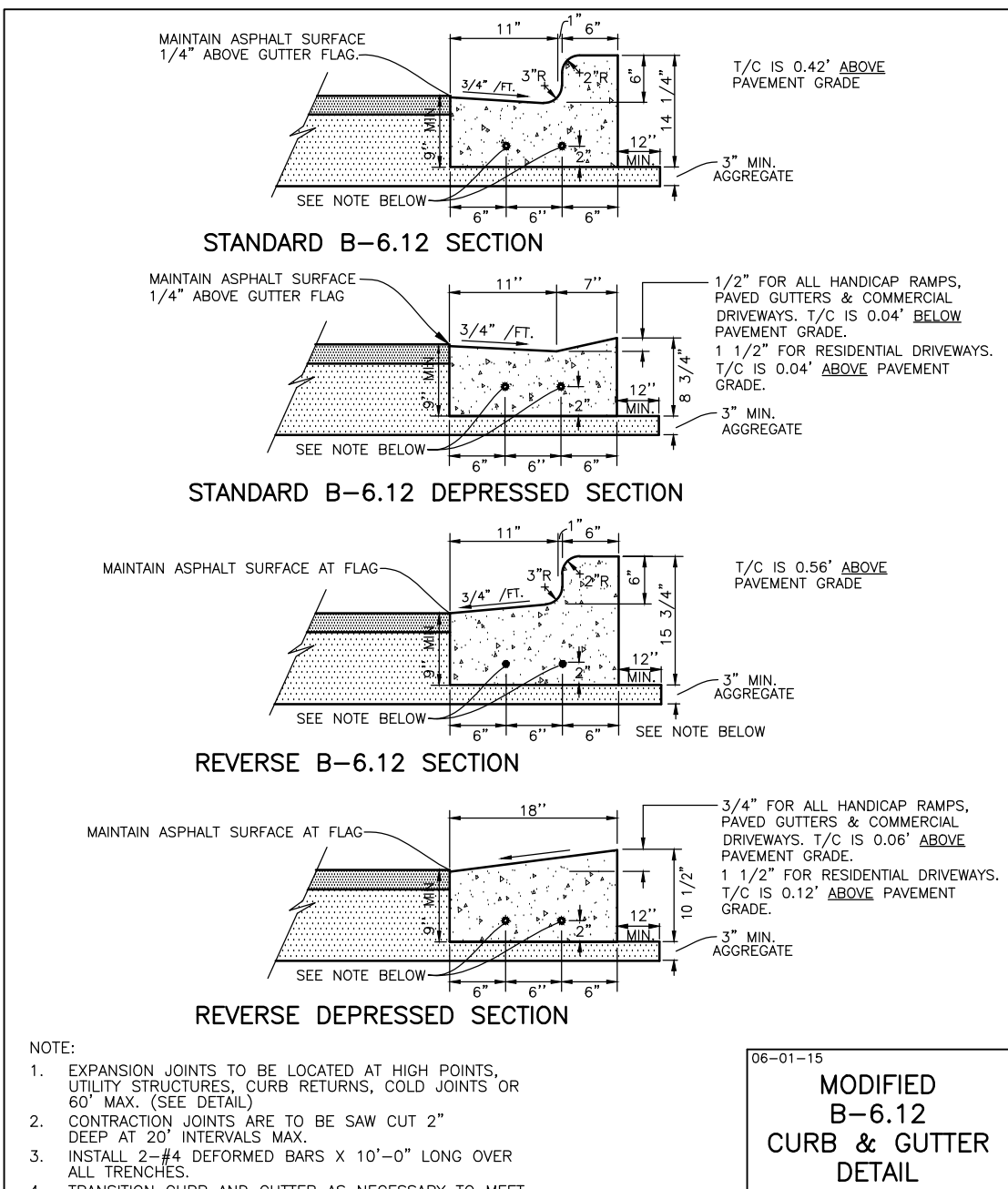
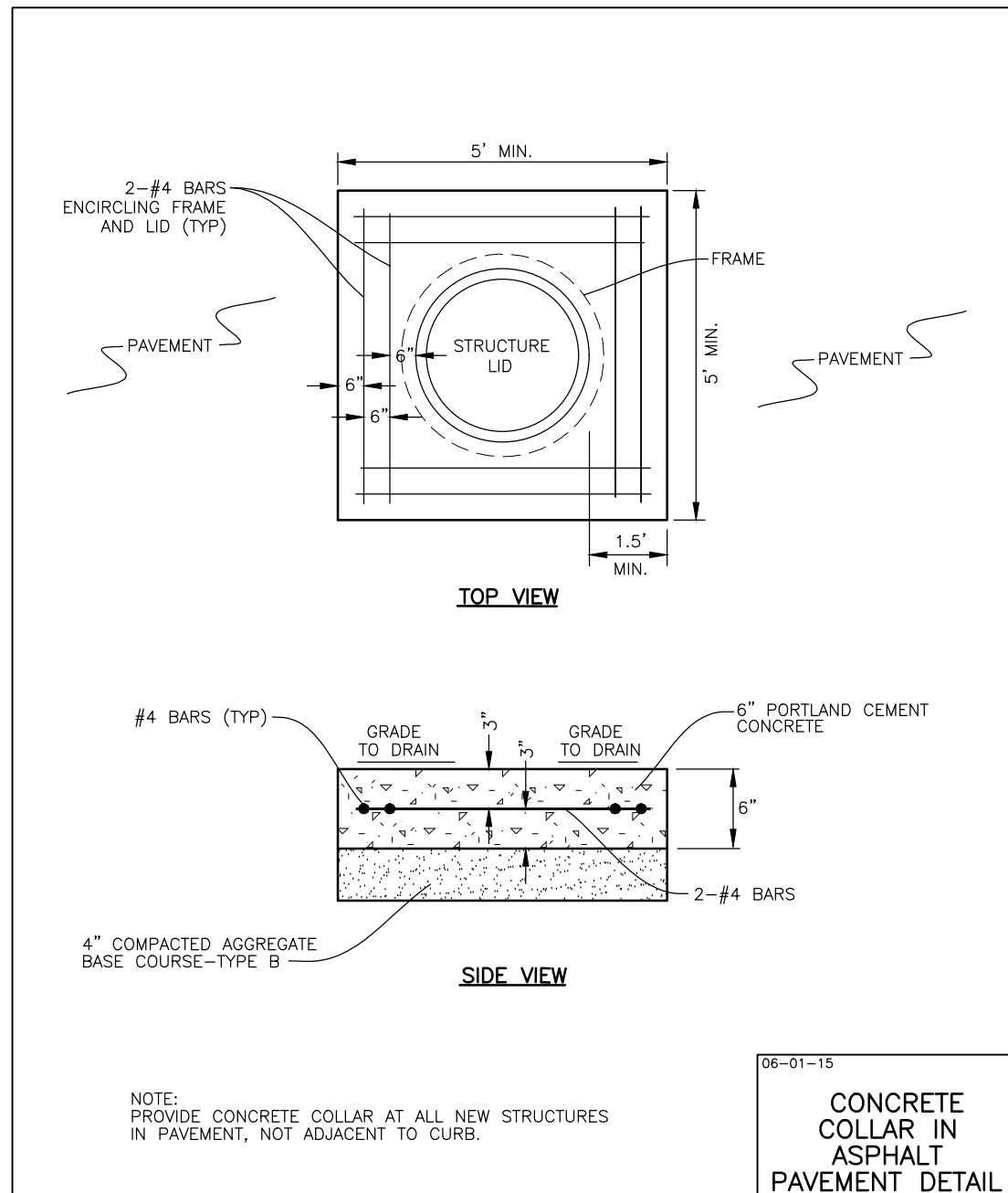
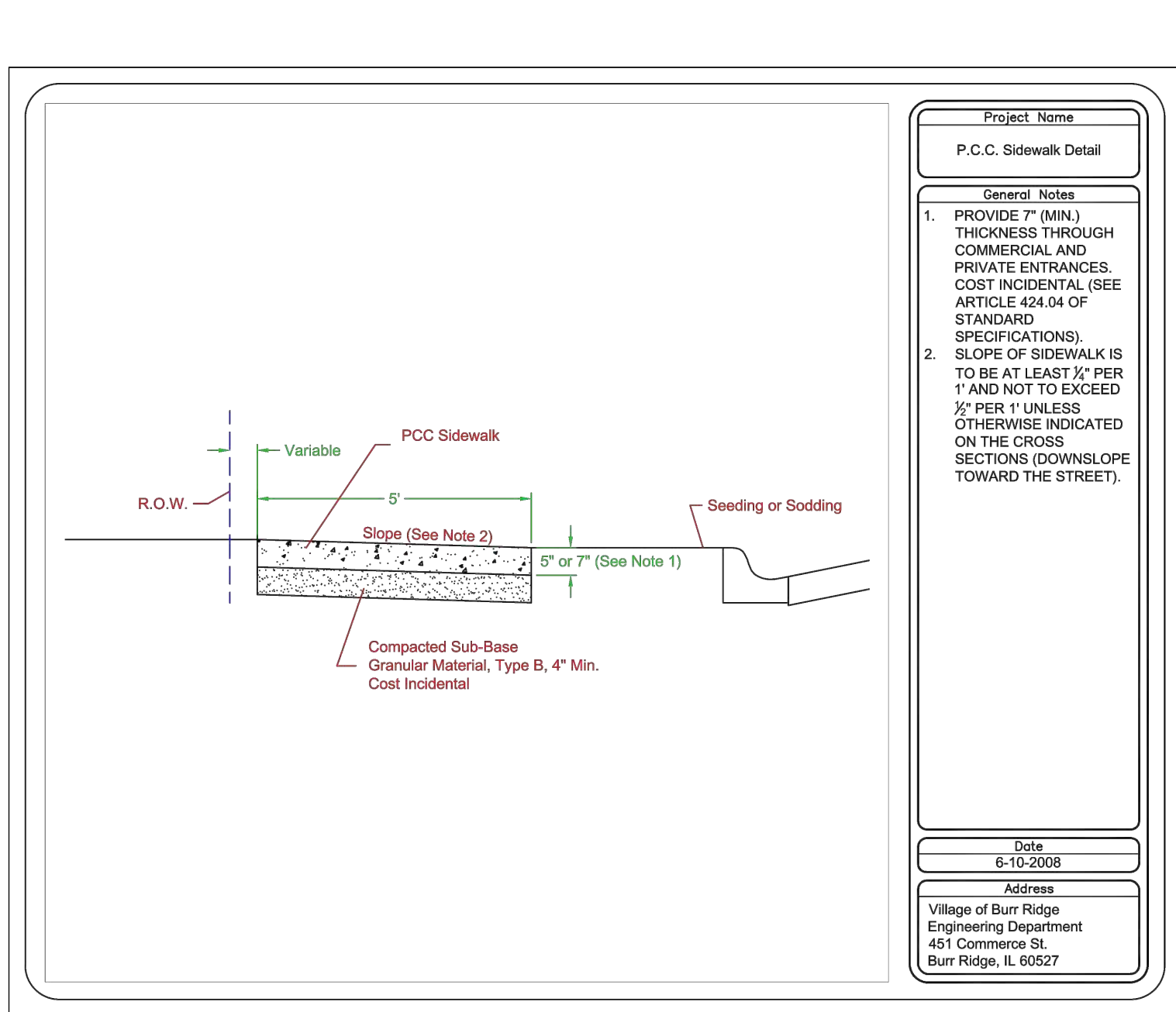
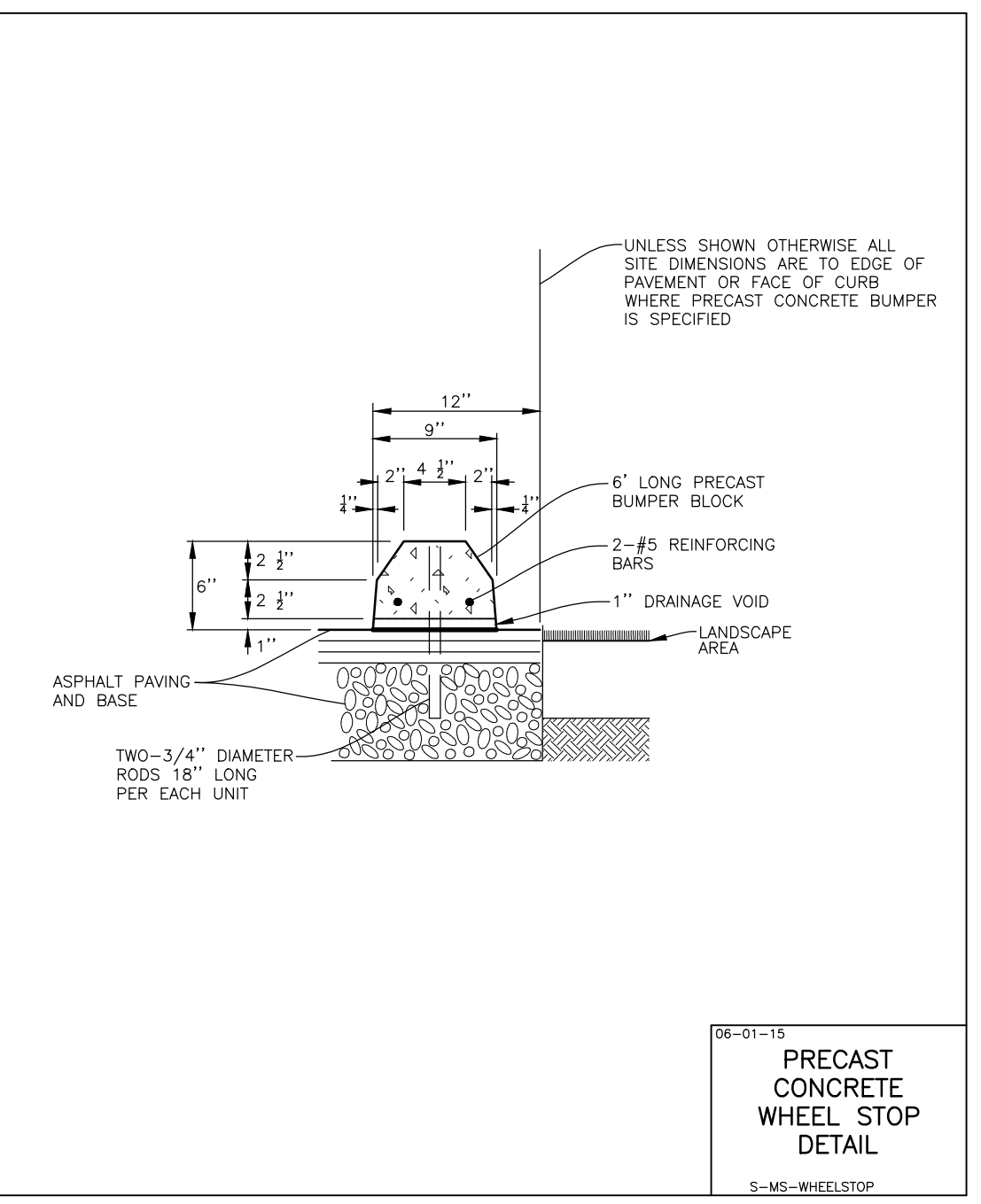
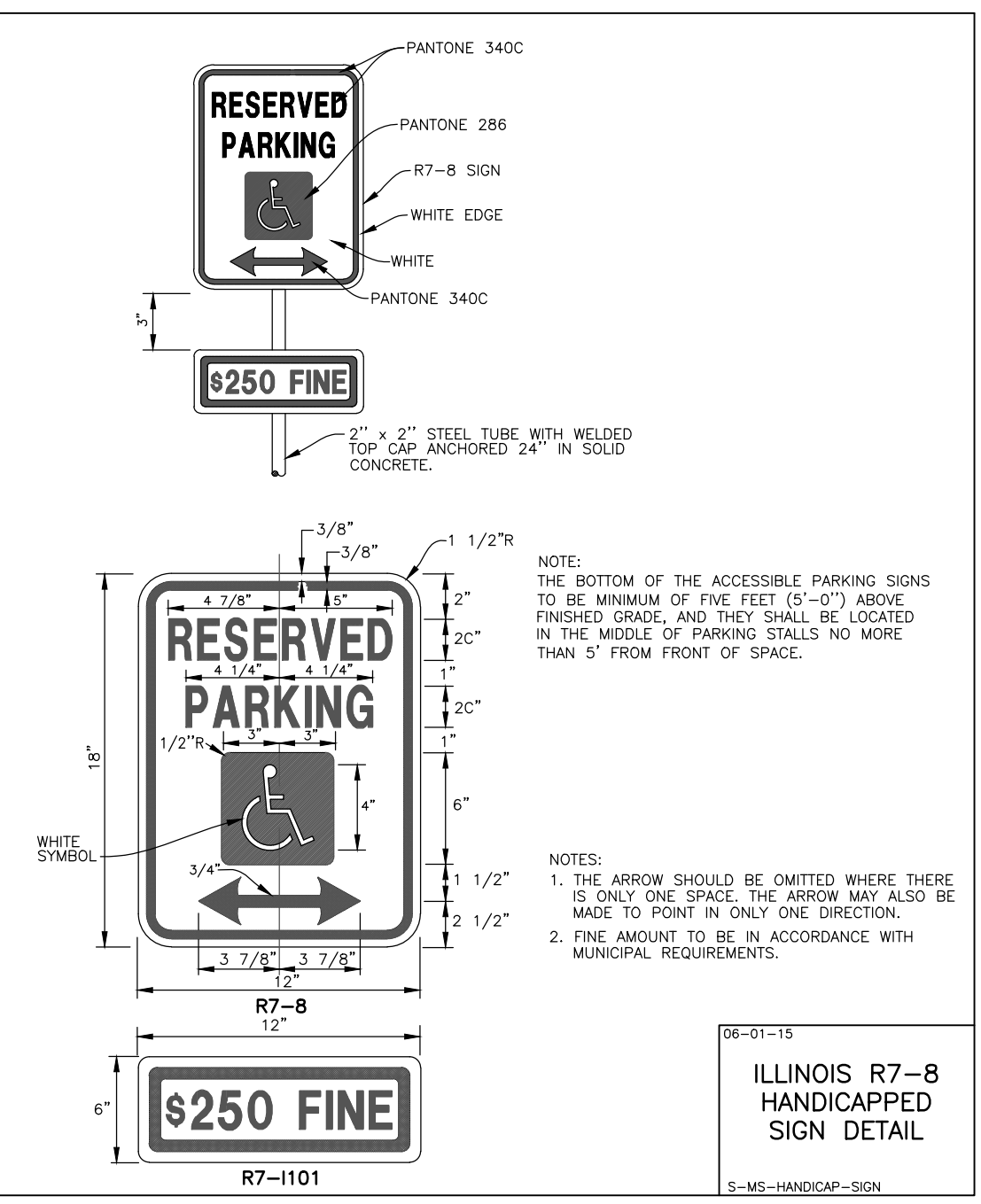
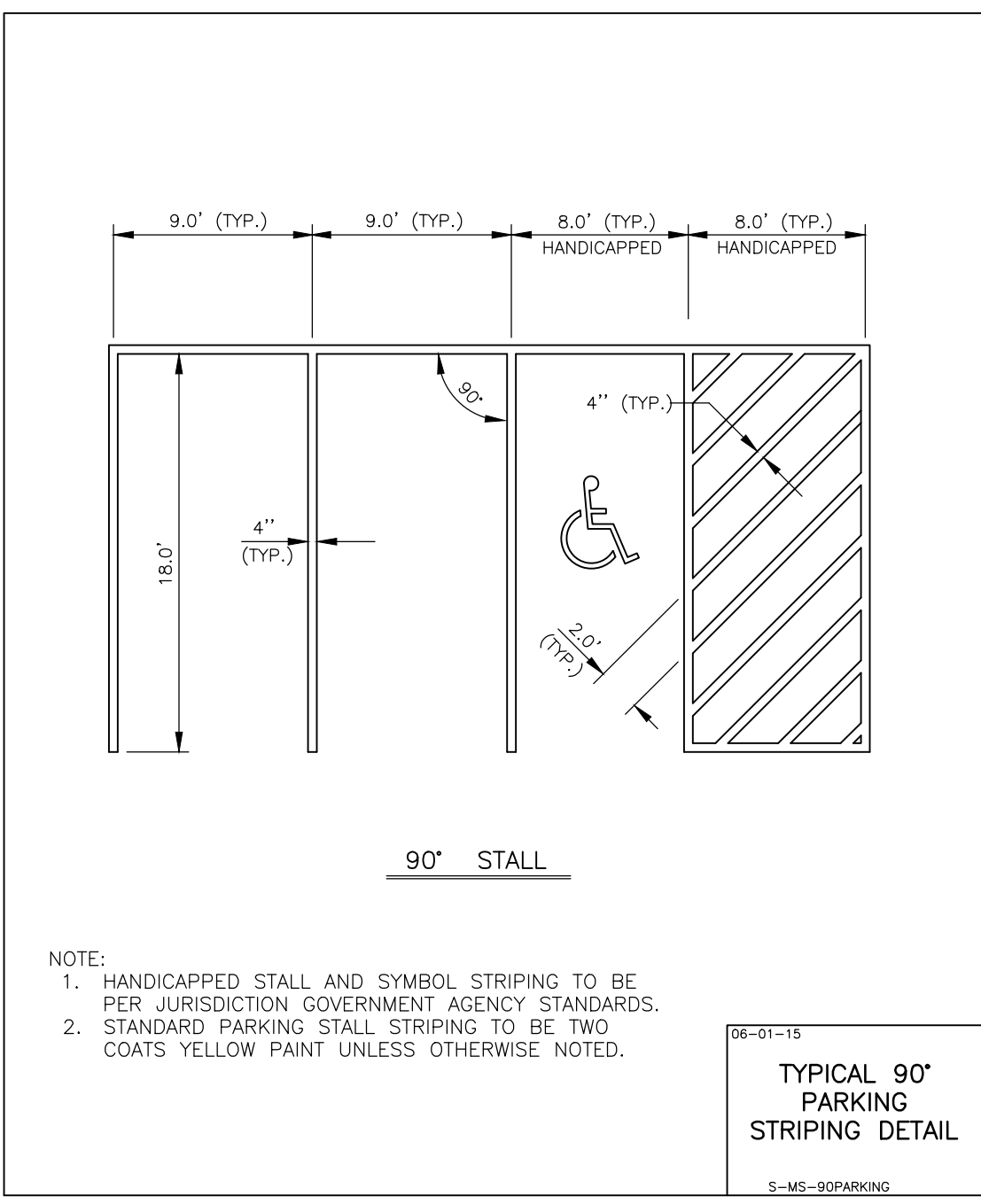
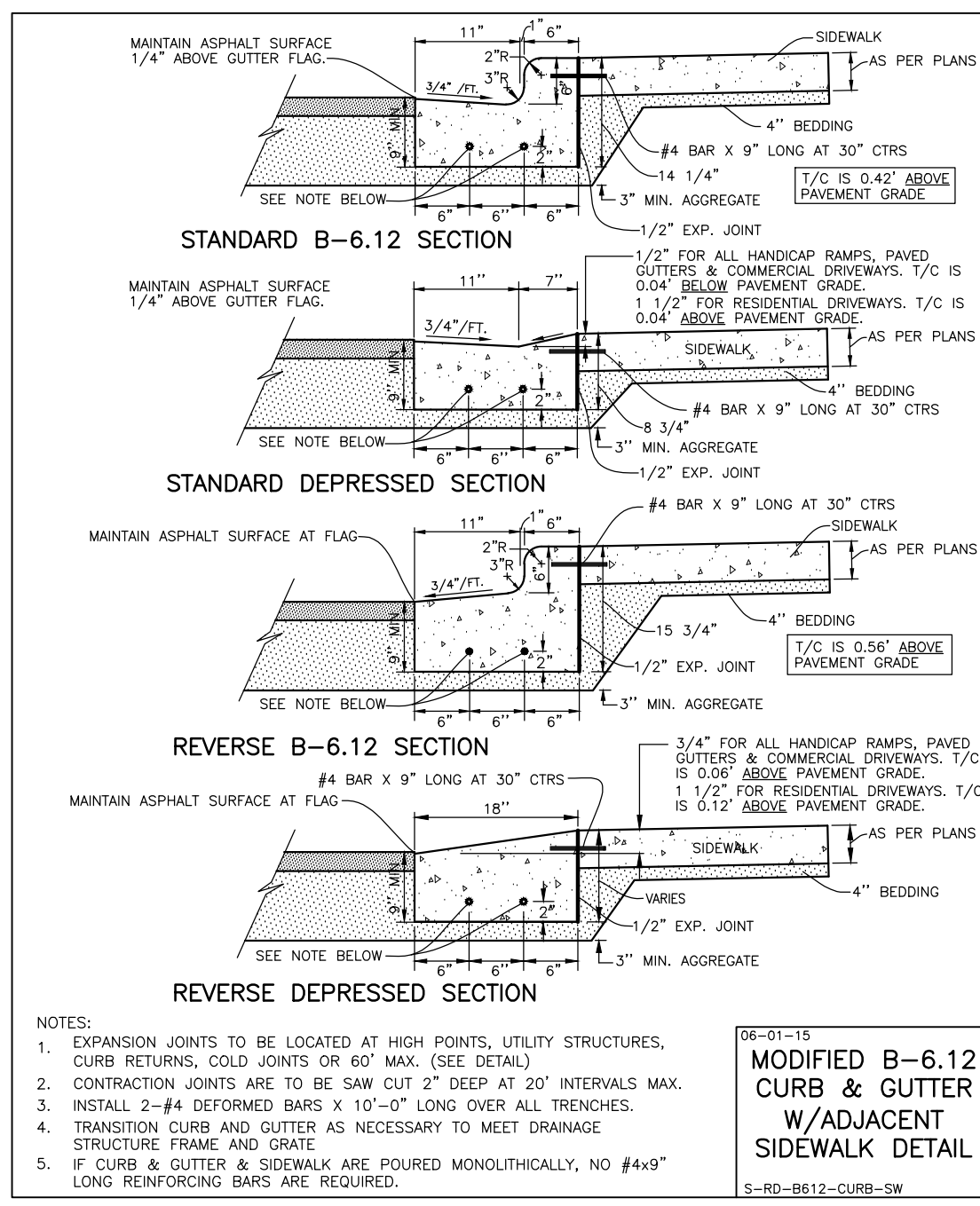
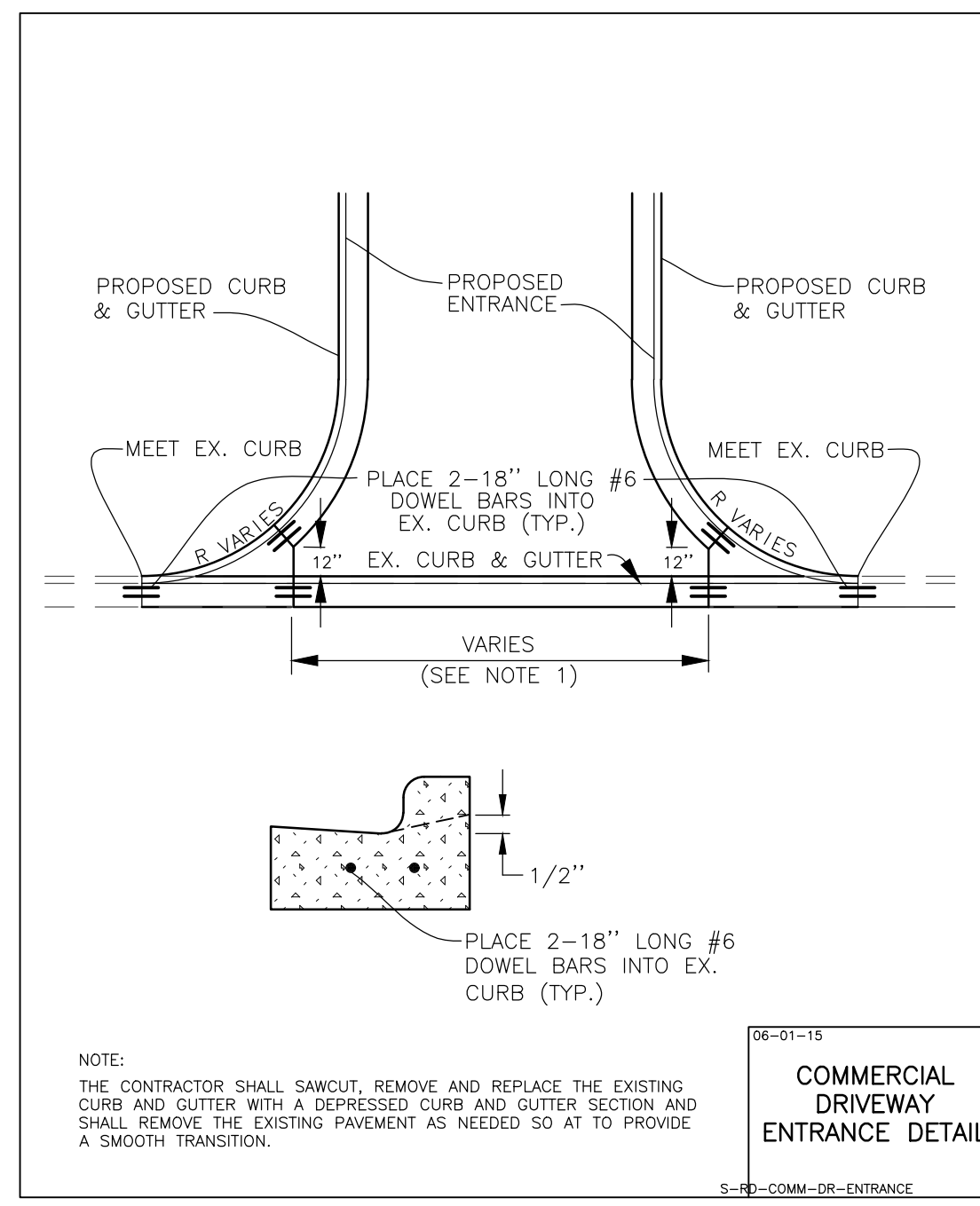
Sheet Name: CONSTRUCTION DETAILS  
Sheet Number: C109

Project Status: ISSUE FOR CONSTRUCTION

EXP. 11-30-17

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018





SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE DETAILS, THE VILLAGE DETAILS SHALL TAKE PRECEDENCE.



HDR ARCHITECTURE  
11 W WOODS STREET SUITE 700  
CHICAGO, IL 60603  
312-478-6901



GAUGE  
CONSULTING ENGINEERS  
INCORPORATED  
1301 WEST 22ND STREET SUITE 210  
OAK BROOK, IL 60523  
630-472-0918 Fax: 630-472-1006



Shirley Ryan  
Abilitylab

SHIRLEY RYAN  
ABILITY LAB

OUTPATIENT AND  
DAY REHAB CENTER -  
CORE & SHELL

7630 COUNTY LINE ROAD  
BURR RIDGE, IL 60527

MARK	DATE	DESCRIPTION
1	02/28/2017	ISSUE FOR BID PERMIT
2	02/28/2017	ISSUE FOR PERMIT CORRECTIONS
3	02/28/2017	ISSUE FOR CONTRACT
4	10/18/2017	REVISION FOR COOK COUNTY DEF COMMENTS

Project Number  
Original Issue



Sheet Name  
CONSTRUCTION  
DETAILS

Sheet Number  
C110

Project Status  
ISSUE FOR CONSTRUCTION

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018





HDR ARCHITECTURE  
10 WINDSOR STREET SUITE 700  
CHICAGO, IL 60603  
312-491-6601



CONSULTING ENGINEERS  
1301 WEST 22ND STREET Suite 210  
Oak Brook, IL 60523  
630-472-0916 Fax: 630-472-1006



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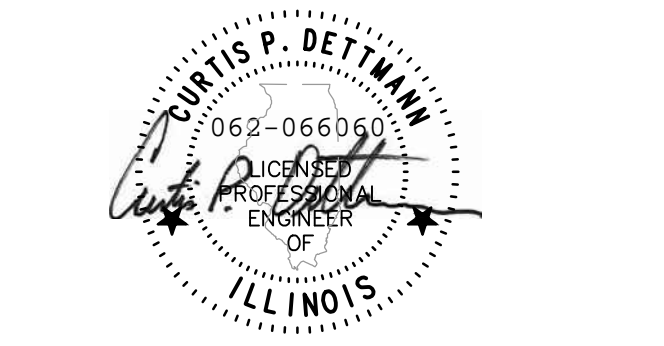
SHIRLEY RYAN  
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OUTPATIENT AND  
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7630 COUNTY LINE ROAD  
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MARK	DATE	DESCRIPTION
1	09/26/17	ISSUE FOR PERMIT
2	09/26/17	ISSUE FOR PERMIT CORRECTIONS
3	09/26/17	ISSUE FOR CONSTRUCTION

Project Number: 16080017  
Original Issue: 09/26/17



EXP. 11-30-17

Sheet Name

CONSTRUCTION  
SPECIFICATIONS

Sheet Number

C111

Project Status

ISSUE FOR CONSTRUCTION

RECORD DRAWINGS COMPLETED ON APRIL 24, 2018

Stone rip rap consisting of pieces of "A" quality stone 4" to 8" in diameter shall be furnished and installed in accordance with IDOT Specifications and shall be placed where shown on the plans, to a minimum thickness of 12" and a width as indicated on the plans. Broken concrete or concrete blocks will not be acceptable.

**FOUNDATION BEDDING AND ANCHORING**  
Foundation, Bedding and Haunching shall be wet coarse aggregate or moist fine aggregate in accordance with the above standards and placed as shown on the detail.

**UNDERDRAIN**  
Pipe underdrains shall be corrugated flexible plastic pipe conforming to ASHRAE Designation M252 perforated corrugated polyethylene pipe (PE) with a smooth interior of the diameter indicated on the Plans and wrapped in a soil fabric fabric supplied and installed by the CONTRACTOR. Perforations may be circular or slotbed, but shall provide a minimum of 1/4 inch of inlet area. CONTRACTOR shall submit fabric and pipe catalogue Specifications for approval by the CLIENT. CONTRACTOR shall bed and backfill the underdrain in one of the following IDOT gradations of aggregate (CA-8, CA-11, CA-14 or CA-15).

**EXISTING DRAINAGE**  
(1) All existing field drainage line or storm sewers encountered or damaged during construction shall be restored to their original condition, properly regraded and/or connected to the storm sewer system.  
(2) Existing drains shall be connected to sump pumps or discharged directly into storm sewers. Existing drains or drainage file shall not be connected to the sanitary sewer.

**CONNECTIONS TO EXISTING STORM SEWER**  
Connections of storm sewer services to storm sewer mains should be made with manufactured tees when available. Availability of manufactured tees will be a function of the storm sewer material and pipe diameter as to the service sewer and main. Manufactured tees are not necessarily available; connections should be made in accordance with manufacturer's recommendations for all storm sewer other than concrete pipe. For concrete pipe connections without manufactured tees the storm sewer main shall be machine cut and the service sewer connected using non-drinking grade for the void between pipes. The service sewer shall be cut flush with the inside wall of the sewer main and not extend into the inside flow area of the main or otherwise impede flow.

**ROADWAY IMPROVEMENT**  
**TANDARD**  
Work shall be completed in accordance with the applicable sections of the Standard Specifications for Road and Bridge Construction, Department of Transportation, State of Illinois, latest edition except as modified below.  
Work shall be defined as detailed in the contract documents between the CLIENT and the CONTRACTOR. Supplementing the Standard Specifications shall be the following IDOT gradations of aggregate (CA-8, CA-11, CA-14 or CA-15).

**GRADE PREPARATION**  
The CONTRACTOR shall be responsible for all subgrade compaction and preparation to the lines and grades shown on the plans.

**AGGREGATE BASE COURSE**  
Aggregate Base Course Type B shall be limited to CA-8 or CA-10 gradation. Aggregate base courses shall be proof rolled as outlined below.

**PROOF ROLL**  
The CONTRACTOR shall proof roll the subgrade with either a 2-axis truck loaded to 27,000 lbs. Or a 3-axis truck loaded to 45,000 lbs. or as specified by the JURISDICTIONAL GOVERNING ENTITY. The CLIENT and JURISDICTIONAL GOVERNING ENTITY shall observe and approve the proof rolling of the subgrade. Proof rolling shall be performed in accordance with the following:  
Intended as a maximum deflection standard and that proof rolling of a majority of the area will have less deflection than specified above. In any case of deficiency, the subgrade and/or base course shall be repaired and retested before proceeding with the pavement construction.

Pavement subgrade material shall not be removed, placed or disturbed after proof roll testing has been completed prior to the pavement construction. Additional testing will be required if the pavement subgrade is disturbed and/or material is removed from or placed on the pavement subgrade after proof rolling approval.

Trucks or heavy equipment shall not travel on any pavement subgrade after final testing prior to pavement construction.

**CONCRETE PAVEMENT**  
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**SEWER AND APPURTENANCE**

Sanitary sewer pipe including building services, shall conform to the following:  
(1) Polyvinyl Chloride (PVC) Sewer Pipe: ASTM D2033A (4-inch thru 15-inch) or ASTM F678 (18-inch thru 48-inch) minimum SDR 26 with flexible elastomeric seal gasket gasketed joints conforming to ASTM D3212 and 4477.  
(2) Ductile Iron Sewer Pipe: shall conform with ANSII/AWWA C151/A21.51 Class 50, cement lined with push on type joints conforming to ANSII/AWWA C11/A21.11.

Sanitary sewers shall include bedding and backfilling.  
**MANHOLE**  
Manholes shall be constructed in conformance with Section IIIA Manholes, etc. above. The concrete base and bottom section shall be constructed of precast reinforced concrete monolithically cast sections including benches, pipe connection and invert flow lines. Manhole frame and lids shall be Neenah R-1772 or approved e. Lids, with lids marked "SANITARY", with recessed push holes. Manhole joints between adjustment rings and frames and between manhole sections shall be set on preformed plastic gasket consisting of a homogeneous blend of nitrile hydrocarbon resins and plasticizing compounds reinforced with inert mineral filler to provide a water tight seal. All pipe connection openings shall be precast with resilient rubber watertight pipe sleeves. A 10' elastomeric band (ohmyra gseal) shall be installed extending from the manhole top to the manhole frame as shown on detail. Manholes shall include steps, frame & grate, bedding, and trench backfill.

**FOUNDATION, BEDDING AND ANCHORING**  
Foundation, Bedding and Haunching shall be wet coarse aggregate or moist fine aggregate in accordance with the above standards and placed as shown on the detail.

**TESTING**  
The CONTRACTOR shall be responsible for all subgrade compaction and preparation to the lines and grades shown on the plans.

**VIDEO**  
The CONTRACTOR shall be responsible for all subgrade compaction and preparation to the lines and grades shown on the plans.

**BOREHOLE DATA**  
Copies of results of soil boring and reports, if such borings were taken by the CLIENT in the vicinity of the proposed construction site, should be made available by the CLIENT to the CONTRACTOR. These borings are presented for whatever purpose the CONTRACTOR chooses to make of them. The CONTRACTOR agrees to representation or warranty regarding the number, location, spacing or depth of borings taken, nor of the accuracy or reliability of the information given in the results thereof.

Further, the CONTRACTOR does not assume responsibility for the possibility that during construction, the soil and groundwater condition may be different than anticipated. Neither does the CONTRACTOR assume responsibility for variations of soil and groundwater at location between borings. The CONTRACTOR is required to make its own borings, explorations and observations to determine soil and groundwater conditions.

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pedestrian and vehicular traffic to and from the site. CONTRACTOR shall coordinate these all construction activity within proximity of the building and utility interferences with the facility manager to minimize disturbance and nonconformance to utility operations.

CONTRACTOR may limit low-cut and pavement removal to only those areas where it is required as shown on these construction plans, however if any damage is incurred on any of the surrounding pavement, etc., the CONTRACTOR shall be responsible for its removal and repair.

**CONTRACTOR RESPONSIBILITIES**  
The CONTRACTOR shall be responsible for the decommission of utility services to the existing buildings prior to demolition of the buildings.

Any material containing asbestos found within existing structures shall be removed from the site and disposed of off-site by the CONTRACTOR in accordance with County, State and Federal regulations.

CONTRACTOR shall develop and implement a daily program of dust control and shall submit and obtain JURISDICTIONAL GOVERNING ENTITY approval of dust control procedures prior to demolition of any structures. Modification of dust control procedures shall be performed by the CONTRACTOR to the satisfaction of the JURISDICTIONAL GOVERNING ENTITY as is warranted.

The CONTRACTOR shall coordinate and provide stormwater conveyance until new facilities are constructed, tested and placed into operation. The location of all existing utilities shown on this plan have been determined from the best information available and are given for the convenience of the CONTRACTOR and are not to be interpreted as the exact location, or as the only obstacles that may occur on the site. The ENGINEER assumes no responsibility for that accuracy. Prior to the start of any demolition activity, the CONTRACTOR shall notify the utility companies for location of existing utilities and shall verify existing conditions and proceed with caution against any anticipated features.

**HEAVY WORK**  
**TANDARD**  
This work shall be completed in conformance with the applicable sections of the Standard Specifications for Road and Bridge Construction, Department of Transportation, State of Illinois, latest edition except as modified below.

**BOREHOLE DATA**  
Copies of results of soil boring and reports, if such borings were taken by the CLIENT in the vicinity of the proposed construction site, should be made available by the CLIENT to the CONTRACTOR. These borings are presented for whatever purpose the CONTRACTOR chooses to make of them. The CONTRACTOR agrees to representation or warranty regarding the number, location, spacing or depth of borings taken, nor of the accuracy or reliability of the information given in the results thereof.

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pedestrian and vehicular traffic to and from the site. CONTRACTOR shall coordinate these all construction activity within proximity of the building and utility interferences with the facility manager to minimize disturbance and nonconformance to utility operations.

CONTRACTOR may limit low-cut and pavement removal to only those areas where it is required as shown on these construction plans, however if any damage is incurred on any of the surrounding pavement, etc., the CONTRACTOR shall be responsible for its removal and repair.

**CONTRACTOR RESPONSIBILITIES**  
The CONTRACTOR shall be responsible for the decommission of utility services to the existing buildings prior to demolition of the buildings.





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

**The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.**

Street Address of Subject Property:

7600 County Line Road, Burr Ridge, IL 60527

Property Owner or Petitioner:

MedProperties, LLC

(Print Name)

A handwritten signature in black ink, appearing to be 'J. Smith', written over a horizontal line.

(Signature)

Jul 28, 2022 at 12:01:34 PM  
7600 S County Line Rd  
Burr Ridge IL 60527  
United States



 **NOTICE**  
There will be a public hearing to consider zoning changes or approvals for this property.  
For further information, please call or visit:  
Burr Ridge Village Hall  
7660 County Line Road  
(630) 654-8181  
Petition Number: **Z-22-2022**  
Further details are available at:  
[www.burr-ridge.gov](http://www.burr-ridge.gov)





## **LEGAL NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at **7:00 p.m. on Monday, August 15, 2022**, at Village Hall, 7660 County Line Road, Burr Ridge, Illinois, 60527.

### **PURPOSE OF HEARING**

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by MedProperties LLC for a request to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District and a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard. The petitioner is requesting to reconfigure the existing parking lot and add additional spaces. The petition number and address of this petition is **Z-22-2022: 7600-7630 County Line Rd.** and the Permanent Real Estate Index Numbers are **09-25-402-019-0000 and 09-25-402-026-0000.**

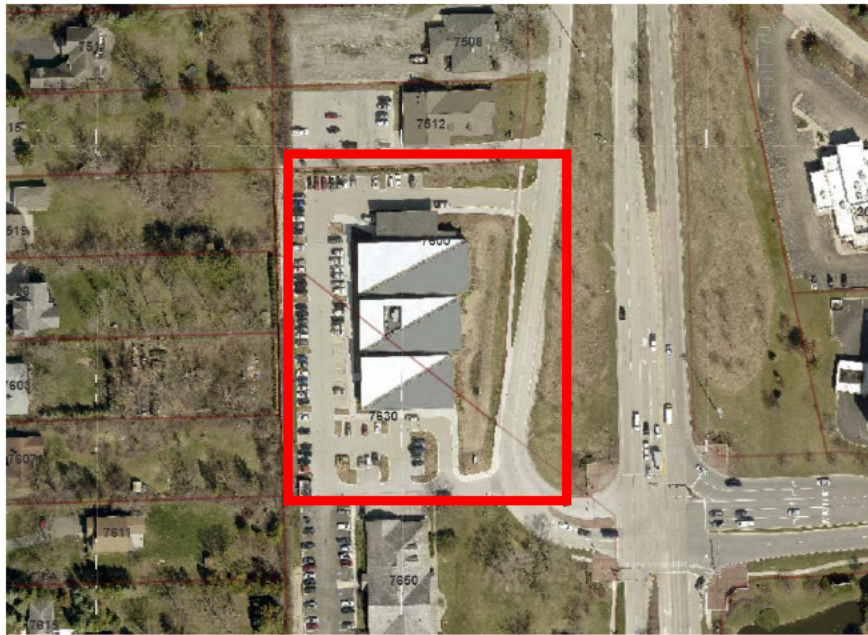
Public comment may be provided by individuals who physically attend the meeting at 7660 County Line Road, Burr Ridge, Illinois, 60527. All written public comment wishing to appear in the Plan Commission report shall be provided no later than Tuesday, August 9, 2022. All public comment may be emailed to Community Development Director Janine Farrell ([jfarrell@burr-ridge.gov](mailto:jfarrell@burr-ridge.gov)) or mailed to Ms. Farrell's attention at the address above. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

**BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.**

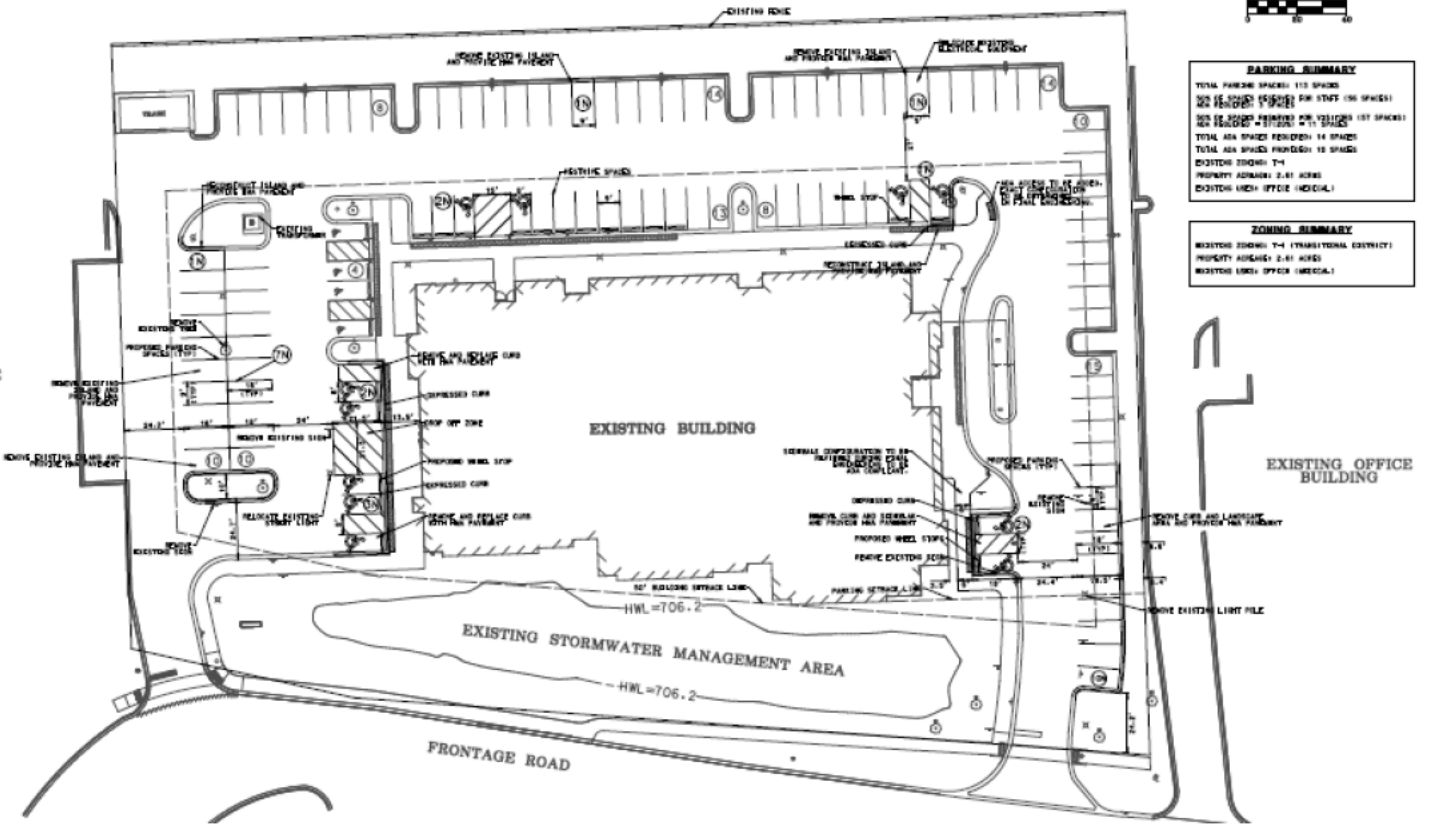
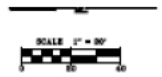
**Greg Trzupsek, Chairman**

**MEMBERS: GREG TRUZPEK, MIKE STRATIS, JIM BROLINE, BARRY IRWIN, JOSEPH PETRICH, ENZA PARRELLA, RICHARD MORTON, AND DEANNA MCCOLLIAN.**





EXISTING RESIDENTIAL



101 BRP LLC  
20 DANADA SQ W #274  
WHEATON, IL 60189

ALLEN, RUSSELL  
7519 DREW AVE  
BURR RIDGE, IL 60527

AMBRIANCE TRUST  
1 AMBRIANCE DR  
BURR RIDGE, IL 60527

Ambriance! HOA Rosa M. Ordetx  
1 Ambriance! Drive  
BURR RIDGE, IL 60527

ANDREW J MOORMANN  
50 BURR RIDGE PKWY  
BURR RIDGE, IL 60527

ANNE E MICALETTI TRUST  
203 AMBRIANCE DR  
BURR RIDGE, IL 60527

ATHIHALLI NAGARAJ  
102 AMBRIANCE DR  
BURR RIDGE, IL 60527

BRE/ESA P PORTFOLIO LLC  
PO BOX 49550  
CHARLOTTE, NC 28277

BREYMEYER, WILLIAM  
7701 DREW AVE  
BURR RIDGE, IL 60527

BREYMEYER, WILLIAM G  
7711 DREW AVE  
BURR RIDGE, IL 60527

BRVC OWNER LLC  
PO BOX 1243  
NORTHBROOK, IL 60065

CERVANTES, LAURA  
7619 DREW AVE  
BURR RIDGE, IL 60527

CHANG, DALE & JESSICA BONG  
7608 DREW AVE  
BURR RIDGE, IL 60527

CHRISTIAN BROTHER MIDWEST  
7650 S COUNTY LINE RD  
BURR RIDGE, IL 60527

EDWARD T PRODEHL  
104 AMBRIANCE CT  
BURR RIDGE, IL 60527

GIADLA HOLDINGS LLC  
7702 CASS AVE APT. 220  
DARIEN, IL 60561

GUEVARA, JUAN & ANGIE  
122 75TH ST  
BURR RIDGE, IL 60527

HOSPITALITY PROP TRUST  
255 WASHINGTON ST  
NEWTON, MA 02458

INTER CONTL BURR RIDGE  
108 BURR RIDGE RD  
ESSEX, IL 60935

IWANETZ, LARISSA  
7516 DREW AVE  
BURR RIDGE, IL 60527

KOLNIAK, CHRISTINA A  
7600 DREW AVE  
BURR RIDGE, IL 60527

KONDA REALTY LLC  
10 ORCHARD APT. 200  
LAKE FOREST, CA 92630

KORFIST, CHRISTIAN  
7611 DREW AVE  
BURR RIDGE, IL 60527

KRAMPITS, ALICE  
7515 S DREW AVE  
BURR RIDGE, IL 60527

KUKUC, FRANK & MARGARET  
7603 S DREW AVE  
BURR RIDGE, IL 60527

KUKUC, STANLEY & IRENE  
7615 S DREW AVE  
BURR RIDGE, IL 60527

LABUS, MARIAN E  
7612 DREW AVE  
BURR RIDGE, IL 60527

LIFE TIME FITNESS 130  
2902 CORPORATE PLACE  
CHANHASSEN, MN 55317

LUTZ, MARK C  
7624 DREW AVE  
BURR RIDGE, IL 60527

M S J Properties  
4601 W 49Th St  
Chicago, IL 60632

MC CASH, BENJAMIN & L  
119 75TH ST  
BURR RIDGE, IL 60527

MOINNUDDIN, ABID & S  
7623 S DREW  
BURR RIDGE, IL 60527

MONA GHOBRIAL & SONIA  
450 VILLAGE CENTER DR3  
BURR RIDGE, IL 60527

MPG RIC BURR RIDGE LLC  
71 S WACKER DRIVE APT. 3725  
CHICAGO, IL 60606

MPS LORIA DVLPM T LLC  
7500 S COUNTY LINE RD  
BURR RIDGE, IL 60527

MW REAL ESTATE INVESTMENT  
PO BOX 56607  
ATLANTA, GA 30343

NABEEL JABRI  
204 AMBRIANCE DRIVE  
BURR RIDGE, IL 60527

NOVAK, GEORGE T  
7508 DREW AVE  
BURR RIDGE, IL 60527

ONE EQUITY PLACE LLC  
7420 S COUNTY LINE RD  
BURR RIDGE, IL 60527

OPUS NORTH MGMT CORP  
701 VILLAGE CENTER DR  
BURR RIDGE, IL 60527

PABIJANSKI, HENRYK  
7626 DREW AVE  
BURR RIDGE, IL 60527

PATEL, RUCHIK & JIGNA  
7616 DREW AVE  
BURR RIDGE, IL 60527

PAULIUS, ANDRIUS  
1815 W IOWA ST  
CHICAGO, IL 60622

RATCHEV, IVAN & INA  
7511 DREW AVE  
BURR RIDGE, IL 60527

REEGS PROPERTIES  
PO BOX 639  
HINSDALE, IL 60522

REINESTO, MARK & CYNTHIA  
7604 DREW AVE  
BURR RIDGE, IL 60527

RIVERA, RUDOLPH & L TR  
7607 DREW AVE  
BURR RIDGE, IL 60527

SCHAUER, CYNTHIA  
120 W 75TH ST  
BURR RIDGE, IL 60527

SPIRIT MASTER FUNDING  
2727 N HARWOOD ST#300  
DALLAS, TX 75201

STERN, PAUL & SHARON  
7512 DREW AVE  
BURR RIDGE, IL 60527

STRZEMECKI, T & I BOBKA  
7520 DREW AVE  
BURR RIDGE, IL 60527

SUNIL SURI  
103 AMBRIANCE DRIVE  
BURR RIDGE, IL 60527

VALLANDIGHAM, CORINNE  
9041 RIDGE CT  
WILLOW SPRINGS, IL 60480

WARD, BRIDGET & MICHAEL  
7620 DREW AVE  
BURR RIDGE, IL 60527

ZELEZNIKAR, JOHN V  
121 W 75TH ST  
BURR RIDGE, IL 60527



**LEGEND OF SYMBOLS & ABBREVIATIONS**

○ UTILITY POLE	⊙ MANHOLE	P.O.C. POINT OF COMMENCEMENT
⊕ LIGHT POLE	⊙ SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
⊕ TRANSFORMER	⊙ STORM STRUCTURE (CLOSED)	° DEGREES
⊕ UTILITY PEDESTAL	⊙ STORM STRUCTURE (OPEN)	' FEET/MINUTES
⊕ TRAFFIC SIGNAL	⊕ CURB INLET	" INCHES/SECONDS
⊕ SIGNAL BOX	⊕ VALVE VAULT	S.F. SQUARE FEET
⊕ GAS VALVE	⊕ FLARED END SECTION	(R) RECORD BEARING/DISTANCE
⊕ WATER VALVE	— — WATER LINE	IF TOP OF FOUNDATION
⊕ ELECTRIC METER	— — TELEPHONE/CATV LINE	FF FINISHED FLOOR
▲ GAS METER	— — GAS LINE	TP TOP OF PIPE
⊕ FIRE HYDRANT	— — ELECTRIC LINE	B.S.L. BUILDING SETBACK LINE
⊕ AUTO SPRINKLER	—OHV— OVERHEAD WIRES	P.U.E. PUBLIC UTILITY EASEMENT
⊕ MONITORING WELL	—STM— STORM SEWER	D.E. DRAINAGE EASEMENT
⊕ GROUND LIGHT	—SAN— SANITARY SEWER	L ARC LENGTH
● BOLLARD	—X— CHAIN LINK FENCE	R RADIUS LENGTH
● 8/BOX	—□— STOCKADE FENCE	C CHORD LENGTH
— SIGN	—+— GUARD RAIL	CB CHORD BEARING
— FLAG POLE	CONCRETE SURFACE	CMP CORRUGATED METAL PIPE

**ZONING INFORMATION**

THE SURVEYOR WAS PROVIDED WITH THE ZONING INFORMATION. NV5 ZONING REPORT #7202102972:001 DATED 10/14/2021. REVISED 11/15/2021.

THE SUBJECT PROPERTY IS ZONED "T-1"

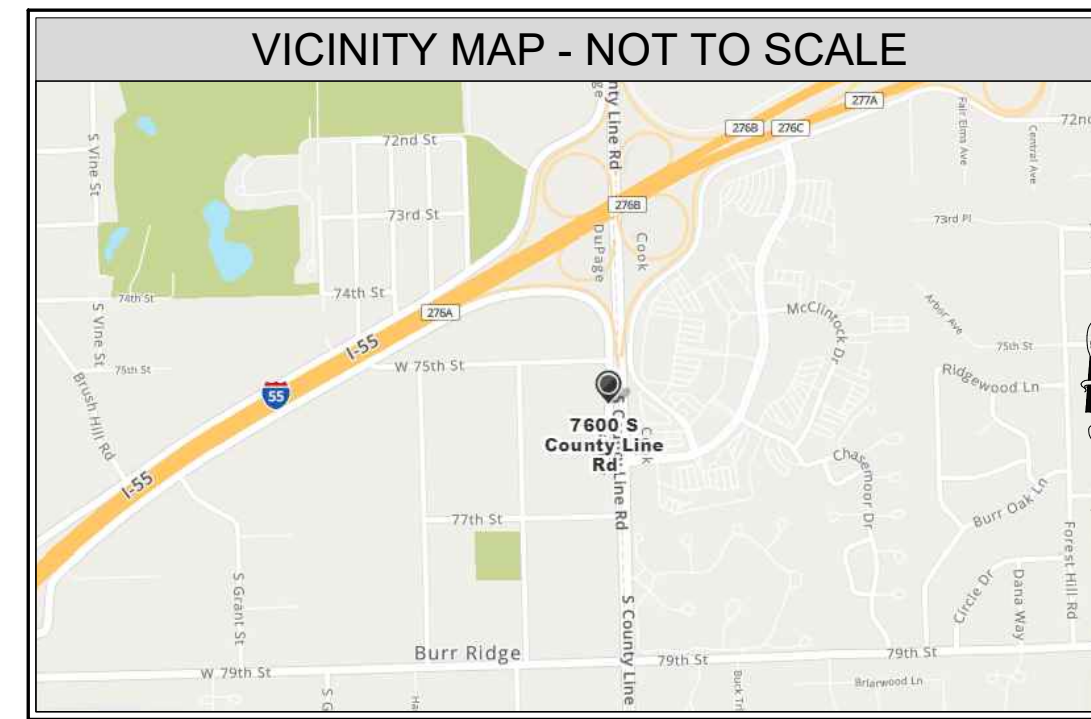
FRONT SETBACK: 50'  
 SIDE SETBACK: 20'  
 REAR SETBACK: 60'  
 MAXIMUM BUILDING HEIGHT: 30' OR 2 STORIES OF RENTABLE SPACE, WHICHEVER IS LOWER  
 MINIMUM LOT AREA: 40,000 SF  
 MINIMUM LOT WIDTH: 125'  
 MINIMUM LOT DEPTH: NONE NOTED  
 MAXIMUM LOT COVERAGE: NONE NOTED  
 MAXIMUM FLOOR AREA RATIO: 0.24  
 MINIMUM PARKING: 18 SPACES

EXISTING PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	72
ADA	11
TOTAL	83

**SIGNIFICANT OBSERVATIONS**

THERE ARE NONE

**VICINITY MAP - NOT TO SCALE**



AREA: 113,854.53 SF± OR 2.61 ACRES±

**ITEMS CORRESPONDING TO SCHEDULE B-II**

- ⑥ RESTRICTIONS CONTAINED IN THE CERTIFICATE APPENDED TO THE PLAT OF ROBERT BARTLETT'S HINSDALE COUNTRYSIDE, RECORDED MAY 17, 1944 AS DOCUMENT NO. 462444, RELATING TO THE USE OF SEPTIC TANKS UPON THE LOTS. NOTE: SAID INSTRUMENT CONTAINS NO PROVISION FOR A FORFEITURE OF OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION. (AFFECTS PARCELS 1 AND 2). ITEM IS BLANKET IN NATURE AND NOT SHOWN.
- ⑥ PUBLIC UTILITY EASEMENT OVER THE REAR 20 FEET OF THE LAND, AS SHOWN ON THE PLAT OF ROBERT BARTLETT'S HINSDALE COUNTRYSIDE, RECORDED MAY 17, 1944 AS DOCUMENT NO. 462444. (AFFECTS PARCELS 1 AND 2). ITEM IS SHOWN.
- ⑥ RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO DEDICATION OF RIGHT OF WAY FOR COUNTY LINE ROAD RECORDED JULY 14, 1959 AS DOCUMENT NO. 931427, MADE BY FRANK VYDRA, JR. A BACHELOR TO STATE OF ILLINOIS DEPARTMENT OF PUBLIC WORKS AND BUILDINGS, DIVISION OF HIGHWAY, RELATING TO DEDICATING A PUBLIC HIGHWAY OVER THAT PART OF TRACT 2 IN BUNSLIE CIHAK'S ASSESSMENT PLAT IN THE SOUTH EAST 1/4 OF SECTION 25, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS, LYING EAST OF A STRAIGHT LINE WHICH INTERSECTS THE NORTH LINE OF TRACT 2 AT A POINT 180 FEET, NORTHWEST OF THE NORTHEAST CORNER OF TRACT 2 AND WHICH EXTENDS TO A POINT IN THE SOUTH LINE OF TRACT 2 WHICH IS 210 FEET WEST OF THE SOUTHEAST CORNER OF TRACT 2. (AFFECTS PARCEL 2). ITEM IS SHOWN.
- ⑩ DECLARATION OF EASEMENT RECORDED MAY 21, 1990 AS DOCUMENT NO. R90-061322 GRANTING A PERPETUAL, RECIPROCAL, NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF ACCESS TO AND FROM THE LAND AND OTHER PROPERTY, AND THE TERMS AND PROVISIONS RELATING THERETO, OVER, ALONG, ACROSS AND IN THE FOLLOWING THREE AREAS:  
 EASEMENT A: THE EAST 27 FEET OF THE WEST 65 FEET OF THAT PART OF LOT 35 (EXCEPT THE NORTH 10 FEET THEREOF) AND LOT 36, AFORESAID  
 EASEMENT B: THE EAST 27 FEET OF THE WEST 65 FEET OF THE SOUTH 249.88 FEET OF LOTS 32, 33, 34 AND THE NORTH 10 FEET OF LOT 35, AFORESAID  
 EASEMENT C: THAT PART OF LOT 34 AND THE NORTH 10.00 FEET OF LOT 35, AFORESAID, BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 10.00 FEET OF LOT 35 AND THE WEST LINE OF LOT 35; THENCE SOUTH 89 DEGREES, 57 MINUTES, 07 SECONDS EAST ALONG THE SOUTH LINE OF THE NORTH 10.00 FEET OF LOT 35, 65.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES, 57 MINUTES, 07 SECONDS EAST ALONG THE LAST DESCRIBED LINE, 179.41 FEET TO THE WESTERLY LINE OF AN EASEMENT FOR HIGHWAY PURPOSES AS PER DOCUMENT 931427; THENCE NORTH 14 DEGREES, 17 MINUTES, 51 SECONDS EAST ALONG THE LAST DESCRIBED LINE 38.00 FEET; THENCE SOUTH 60 DEGREES, 37 MINUTES, 16 SECONDS WEST, 17.97 FEET TO A LINE 28.00 FEET NORTH OF THE SOUTH LINE OF THE NORTH 10.00 FEET OF LOT 35; THENCE NORTH 89 DEGREES, 57 MINUTES, 07 SECONDS WEST ALONG THE LAST DESCRIBED LINE 173.13 FEET TO A LINE 65.00 FEET EAST OF THE WEST LINE OF LOT 34; THENCE SOUTH 0 DEGREES, 00 MINUTES, 00 SECONDS EAST ALONG THE LAST DESCRIBED LINE 28.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. RIGHTS OF ADJOINING OWNERS TO THE CONCURRENT USE OF SAID EASEMENTS. (AFFECTS PARCEL 3 AND OTHER PROPERTY). ITEM IS SHOWN.
- ⑩ ACCESS EASEMENT AGREEMENT RECORDED FEBRUARY 12, 2018 AS DOCUMENT NO. R2018-012979 MADE BY AND BETWEEN MEDPROPERTIES LLC AND CHRISTIAN BROTHERS OF THE MIDWEST INC. AND THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN. (FOR FURTHER PARTICULARS, SEE DOCUMENT). DOCUMENT IS ILLEGIBLE, ITEM IS SHOWN GRAPHICALLY.
- ⑩ PLAT OF EASEMENT GRANT FOR THE PURPOSE OF GRANTING STORMWATER MANAGEMENT, DRAINAGE, SIDEWALK, COMMONWEALTH EDISON, AND PUBLIC UTILITY EASEMENTS RECORDED DECEMBER 16, 2021 AS DOCUMENT NO. R2021-179566, AND ALL THE TERMS AND PROVISIONS RELATING THERETO. ITEM IS SHOWN.

**MISCELLANEOUS NOTES**

- MN1 SURVEY PREPARED BY: JLH LAND SURVEYING INC. 910 GENEVA STREET SHOREWOOD, IL 60404 815.729.4000 INFO@JLHSURVEY.COM
- MN2 ALL FIELD MEASUREMENTS MATCH RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS.
- MN3 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
- MN4 ALL STREETS SHOWN ARE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED.
- MN5 ASSUMED BEARING: THE WEST RIGHT OF WAY LINE OF S. FRONTAGE ROAD TO BE SOUTH 04 DEGREES 07 MINUTES 18 SECONDS WEST.
- MN6 AT THE TIME OF THIS SURVEY THERE IS NO RECORD OR OBSERVED EVIDENCE OF A CEMETERY OR BURIAL GROUND.
- MN7 AT THE TIME OF THIS SURVEY, THE ADDRESS WAS POSTED AS 7600 S COUNTY LINE ROAD.
- MN8 THE SUBJECT PROPERTY HAS ACCESS TO AND FROM SOUTH FRONTAGE ROAD WHICH IS GOVERNED BY THE VILLAGE OF BURR RIDGE.
- MN9 IN REGARDS TO TABLE "A" ITEM 10, AT THE TIME OF THIS SURVEY, THERE WERE NO PARTY WALLS DESIGNATED BY THE CLIENT TO REFERENCE HEREON.
- MN10 IN REGARDS TO TABLE "A" ITEM 11(a), EVIDENCE OF UNDERGROUND UTILITIES SHOWN PER SECTION 5.E.IV. AND DEPICTED USING CLIENT PROVIDED PLANS.
- MN11 IN REGARDS TO TABLE "A" ITEM 16, AT THE TIME OF THIS SURVEY, THERE WAS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- MN12 IN REGARDS TO TABLE "A" ITEM 17, AT THE TIME OF THIS SURVEY, THERE WAS NO RECENT STREET OR SIDEWALK CONSTRUCTION OR PROPOSED RIGHT OF WAY CHANGES PROVIDED.
- MN13 IN REGARDS TO TABLE "A" ITEM 18, THERE ARE OFFSITE EASEMENTS OR SERVIDITUDES AFFECTING THE SUBJECT PROPERTY REFLECTED IN THE TITLE COMMITMENT OR THAT THE SURVEYOR HAS BEEN MADE AWARE OF.

**FLOOD NOTE:**  
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 17043C0193J, WHICH BEARS AN EFFECTIVE DATE OF 08/01/2019 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, BY CONTACT DATED 10/09/2021 TO THE NATIONAL FLOOD INSURANCE PROGRAM <http://www.fema.gov>. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**RECORD DESCRIPTION**

PARCEL 1:

TRACT 1 (EXCEPT THAT PART DEDICATED FOR HIGHWAY PURPOSES) IN BUNSLIE-CIHAK ASSESSMENT PLAT OF LOTS 31 TO 36 INCLUSIVE IN ROBERT BARTLETT'S HINSDALE COUNTRYSIDE, A SUBDIVISION OF THE SOUTHEAST QUARTER AND THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER LYING SOUTH OF THE SOUTH LINE OF JOLIET ROAD, AS ESTABLISHED BY INSTRUMENT RECORDED NOVEMBER 19, 1940 AS DOCUMENT 417333 OF SECTION 25, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BUNSLIE-CIHAK ASSESSMENT PLAT RECORDED JUNE 28, 1949 AS DOCUMENT 570715, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF LOTS 32, 33, 34 AND THE NORTH 10.00 FEET OF LOT 35, LYING SOUTH OF A LINE DRAWN FROM THE NORTHWEST CORNER OF SAID LOT 32 TO A POINT ON THE EAST LINE OF LOT 35, 65.00 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, (EXCEPT THAT PART DEDICATED FOR HIGHWAY PURPOSES) IN ROBERT BARTLETT'S HINSDALE COUNTRYSIDE, BEING A SUBDIVISION OF THE SOUTHEAST QUARTER AND THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER LYING SOUTH OF JOLIET ROAD, IN SECTION 25, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 17, 1944 AS DOCUMENT NO. 462444, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:

NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 2 AS SET FORTH AND DEFINED IN THE DECLARATION OF EASEMENTS RECORDED AS DOCUMENT NO. R90-61322 FOR THE PURPOSE OF INGRESS AND EGRESS, OVER THE FOLLOWING DESCRIBED LAND:

THE EAST 27.00 FEET OF THE WEST 65.00 FEET OF THAT PART OF LOT 35 (EXCEPT THE NORTH 10.00 FEET THEREOF) AND LOT 36, IN ROBERT BARTLETT'S HINSDALE COUNTRY SIDE, BEING A SUBDIVISION OF THE SOUTHEAST 1/4 AND THAT PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 LYING SOUTH OF JOLIET ROAD, IN SECTION 25, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 17, 1944 AS DOCUMENT NUMBER 462444, IN DUPAGE COUNTY, ILLINOIS.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1091095-MKE, DATED DECEMBER 07, 2021.

**PROJECT REVISION RECORD**

DATE	DESCRIPTION	DATE	DESCRIPTION
10/10/2021	FIRST DRAFT	10/28/2021	CLIENT COMMENTS
10/13/2021	PARCEL 3 IMPROVEMENTS	11/08/2021	CLIENT PROVIDED PLANS
10/15/2021	ZONING REPORT	01/06/2022	CLIENT COMMENTS
FIELD WORK: SM & JD	DRAFTED: JLH	CHECKED BY: JLH	FB & PG: N/A

**LEGAL**

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

**ALTA/NSPS LAND TITLE SURVEY**

for  
**COUNTY LINE-HALSTED**  
 NV5 PROJECT NO. 202105916-001  
 7600 COUNTY LINE ROAD, BURR RIDGE, IL

BASED UPON TITLE COMMITMENT NO. NCS-1091095-MKE  
 OF FIRST AMERICAN TITLE INSURANCE COMPANY  
 BEARING AN EFFECTIVE DATE OF DECEMBER 07, 2021

**SURVEYOR'S CERTIFICATION**

To: PHYSICIANS REALTY, L.P. AND DOC - 7600 - 7630 SOUTH COUNTY LINE ROAD MOB, LLC, A WISCONSIN LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY; AND BOCK & CLARK CORPORATION, AN NV5 COMPANY.

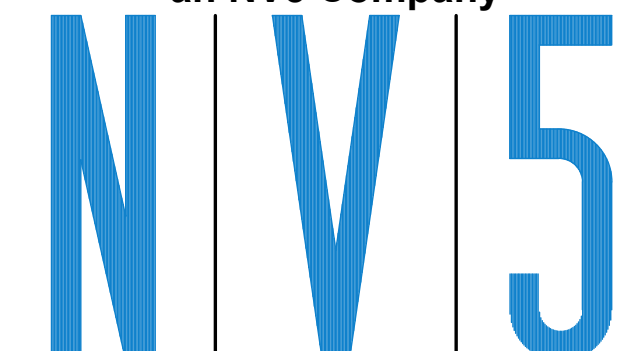
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 06, 2021.

JAMES L. HARPOLE, PLS  
 REGISTRATION NO. 035-4046  
 IN THE STATE OF ILLINOIS, EXPIRES 11-30-2022  
 ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184.007120  
 NETWORK PROJECT NO. 202105916-001 CMP



SHEET 1 OF 2

**Bock & Clark Corporation**  
 an NV5 Company



**Transaction Services 1-800-SURVEYS (787-8397)**  
 3550 W. Market Street, Suite 200, Akron, Ohio 44333

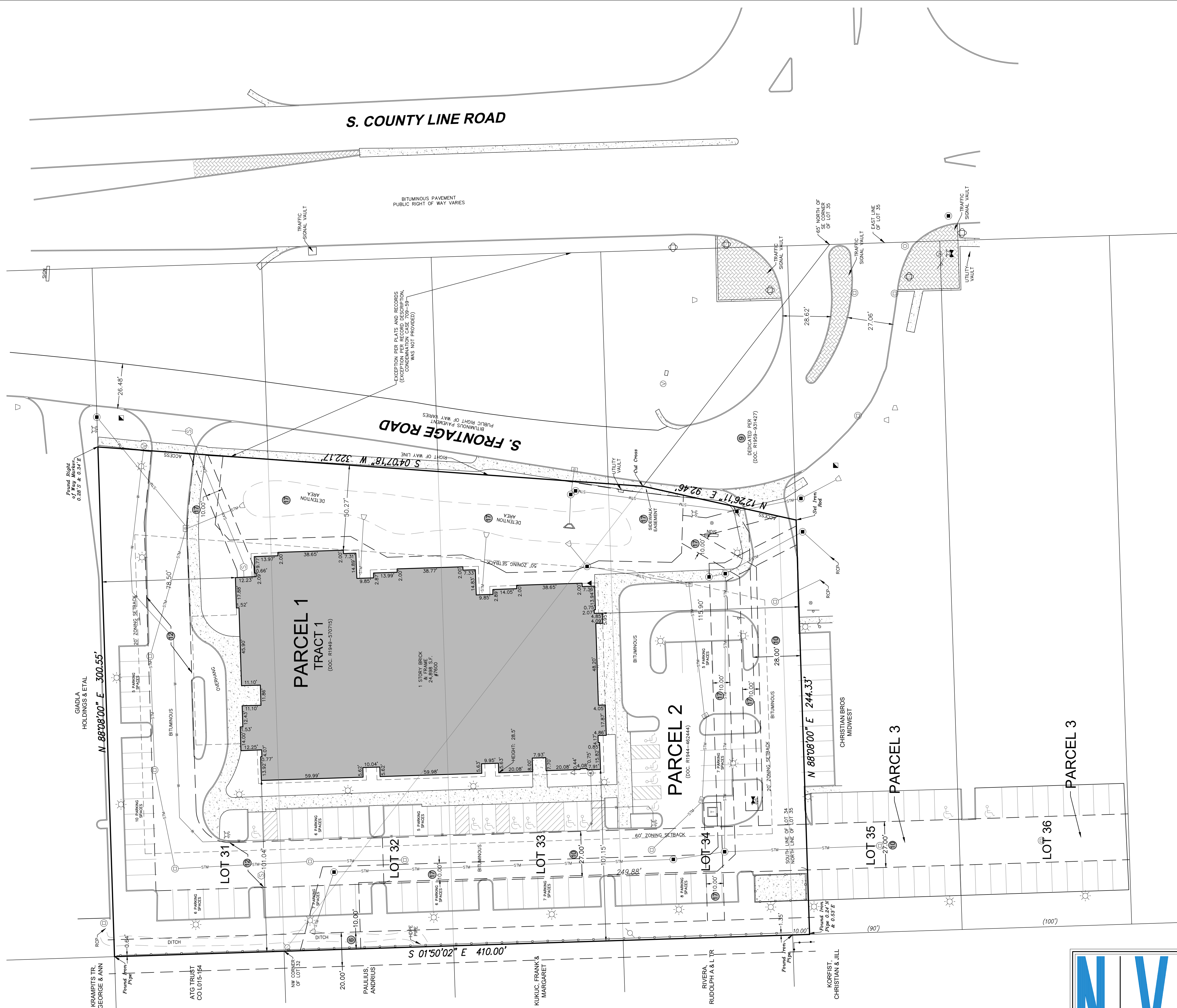
[www.BockandClark.com](http://www.BockandClark.com) [maywehelpyou@bockandclark.com](mailto:maywehelpyou@bockandclark.com) [www.NV5.com](http://www.NV5.com)

**SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT**



**LEGEND OF SYMBOLS & ABBREVIATIONS**

- |   |                  |   |                          |        |                            |
|---|------------------|---|--------------------------|--------|----------------------------|
| ○ | UTILITY POLE     | ○ | MANHOLE                  | ○      | POLE POINT OF COMMENCEMENT |
| ○ | TRANSFORMER      | ○ | SANITARY MANHOLE         | ○      | POLE POINT OF BEGINNING    |
| ○ | UTILITY FEDESTAL | ○ | STORM STRUCTURE (CLOSED) | °      | DEGREES                    |
| ○ | TRAFFIC SIGNAL   | ○ | STORM STRUCTURE (OPEN)   | '      | FEET/MINUTES               |
| ○ | SIGNAL BOX       | ○ | CURB INLET               | "      | INCHES/SECONDS             |
| ○ | GAS VALVE        | ○ | VALVE VAULT              | (R)    | RECORD BEARING/DISTANCE    |
| ○ | WATER VALVE      | ○ | FLARED END SECTION       | (T)    | TOP OF FOUNDATION          |
| ○ | ELECTRIC METER   | ○ | WATER LINE               | (F)    | FINISHED FLOOR             |
| ○ | GAS METER        | ○ | TELEPHONE/CATV LINE      | (FF)   | TOP OF PIPE                |
| ○ | FIRE HYDRANT     | ○ | GAS LINE                 | B.S.L. | BUILDING SETBACK LINE      |
| ○ | AUTO SPRINKLER   | ○ | ELECTRIC LINE            | P.U.E. | PUBLIC UTILITY EASEMENT    |
| ○ | MONITORING WELL  | ○ | CHIMNEY/OVERHEAD WIRES   | D.E.   | DRAINAGE EASEMENT          |
| ○ | GROUND LIGHT     | ○ | STIM--STORM SEWER        | L      | ARC LENGTH                 |
| ○ | BOLLARD          | ○ | SAN--SANITARY SEWER      | R      | RADIUS LENGTH              |
| ○ | B/BOX            | ○ | X--CHAIN LINK FENCE      | C      | CHORD LENGTH               |
| ○ | SON              | ○ | D--STOCKADE FENCE        | CB     | CHORD BEARING              |
| ○ | FLAG POLE        | ○ | GUARD RAIL               | CMF    | CORRUGATED METAL PIPE      |
| ○ |                  | ○ | CONCRETE SURFACE         |        |                            |



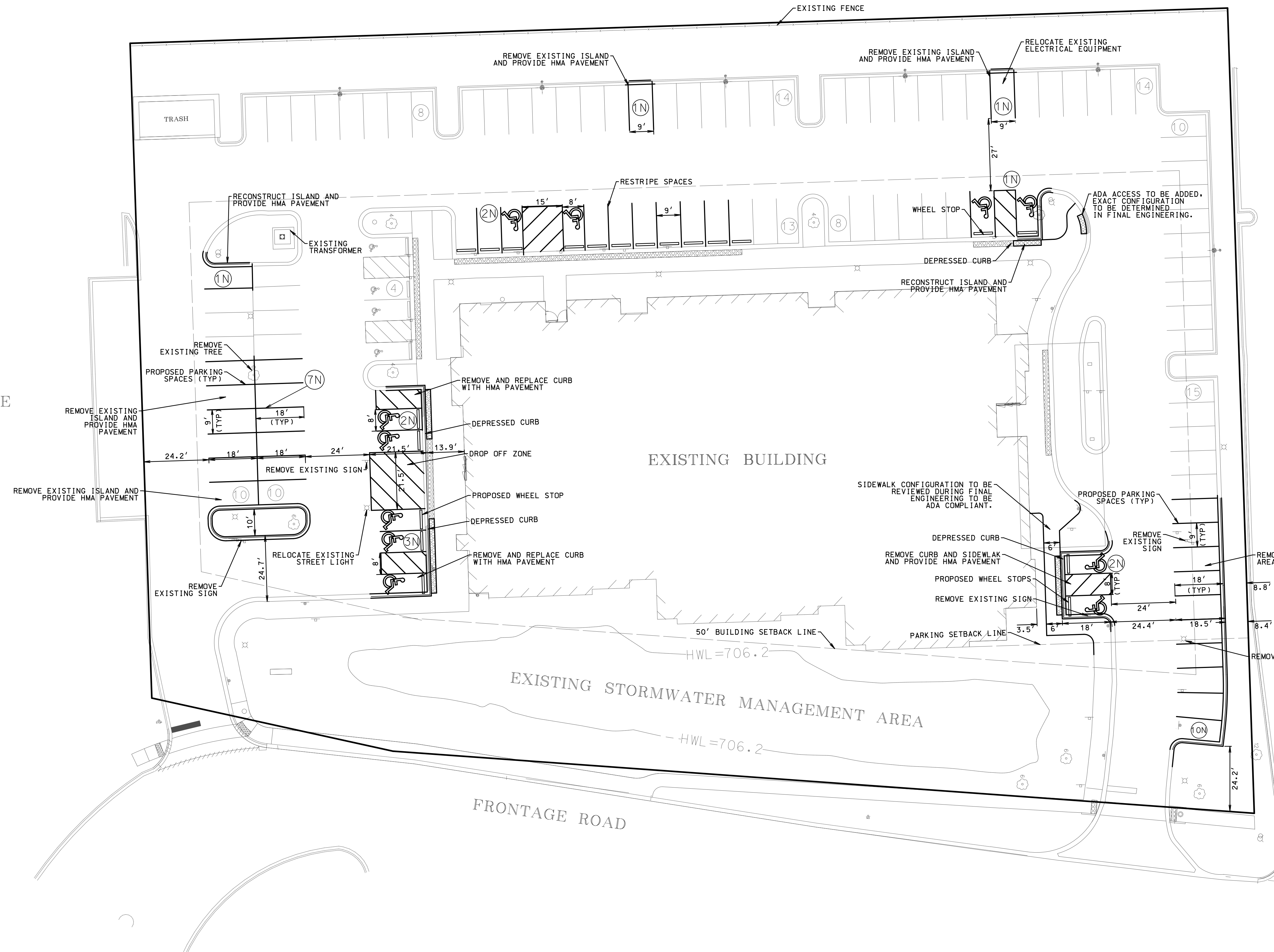
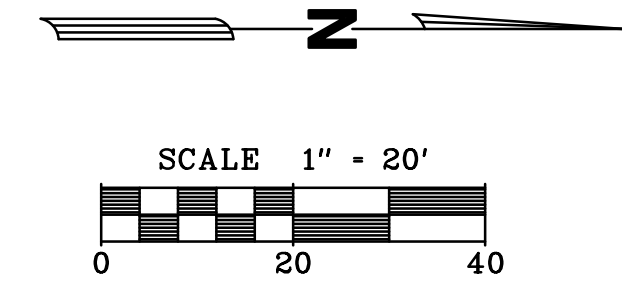
SCALE: 1" = 30'

**NV5** ALTA/NSPS LAND TITLE SURVEY  
 PREPARED FOR  
**COUNTY LINE-HALSTED**  
 DATE OF FIELD SURVEY: OCTOBER 06, 2021  
 NETWORK PROJECT NUMBER: 202105916-001 CMP  
**1-(800)-SURVEYS (787-8397)**  
 TRANSACTION SERVICES  
 www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT



EXISTING RESIDENTIAL



**PARKING SUMMARY**

TOTAL PARKING SPACES: 113 SPACES  
 50% OF SPACES RESERVED FOR STAFF (56 SPACES)  
 ADA REQUIRED: 3 SPACES  
 50% OF SPACES RESERVED FOR VISITORS (57 SPACES)  
 ADA REQUIRED = 57(20%) = 11 SPACES  
 TOTAL ADA SPACES REQUIRED: 14 SPACES  
 TOTAL ADA SPACES PROVIDED: 15 SPACES  
 EXISTING ZONING: T-1  
 PROPERTY ACREAGE: 2.61 ACRES  
 EXISTING USES: OFFICE (MEDICAL)

**ZONING SUMMARY**

EXISTING ZONING: T-1 (TRANSITIONAL DISTRICT)  
 PROPERTY ACREAGE: 2.61 ACRES  
 EXISTING USES: OFFICE (MEDICAL)

EXISTING OFFICE BUILDING

EXISTING BUILDING

EXISTING OFFICE BUILDING

EXISTING STORMWATER MANAGEMENT AREA

FRONTAGE ROAD

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT:  
**MPG RIL BURR RIDGE, LLC**  
 71 SOUTH WACKER DRIVE, SUITE 3725  
 CHICAGO, IL 60606  
 PHONE: 847-897-7315

DATE	DESCRIPTION OF REVISION	BY

DESIGNED	JT
DRAWN	JT
APPROVED	TKB
DATE	07/12/2022
SCALE	1" = 20'

**PROPOSED SITE PLAN  
 SHIRLEY RYAN ABILITY LAB  
 BURR RIDGE, ILLINOIS**

SHEET  
**1** OF **1**

PROJECT NUMBER: 4328  
 © MACKIE CONSULTANTS, LLC, 2022  
 ILLINOIS FIRM LICENSE 184-002694

7/12/2022 10:55:54 AM H:\14286\Engineering\Photos\220621 - Concept\Plan.mxd







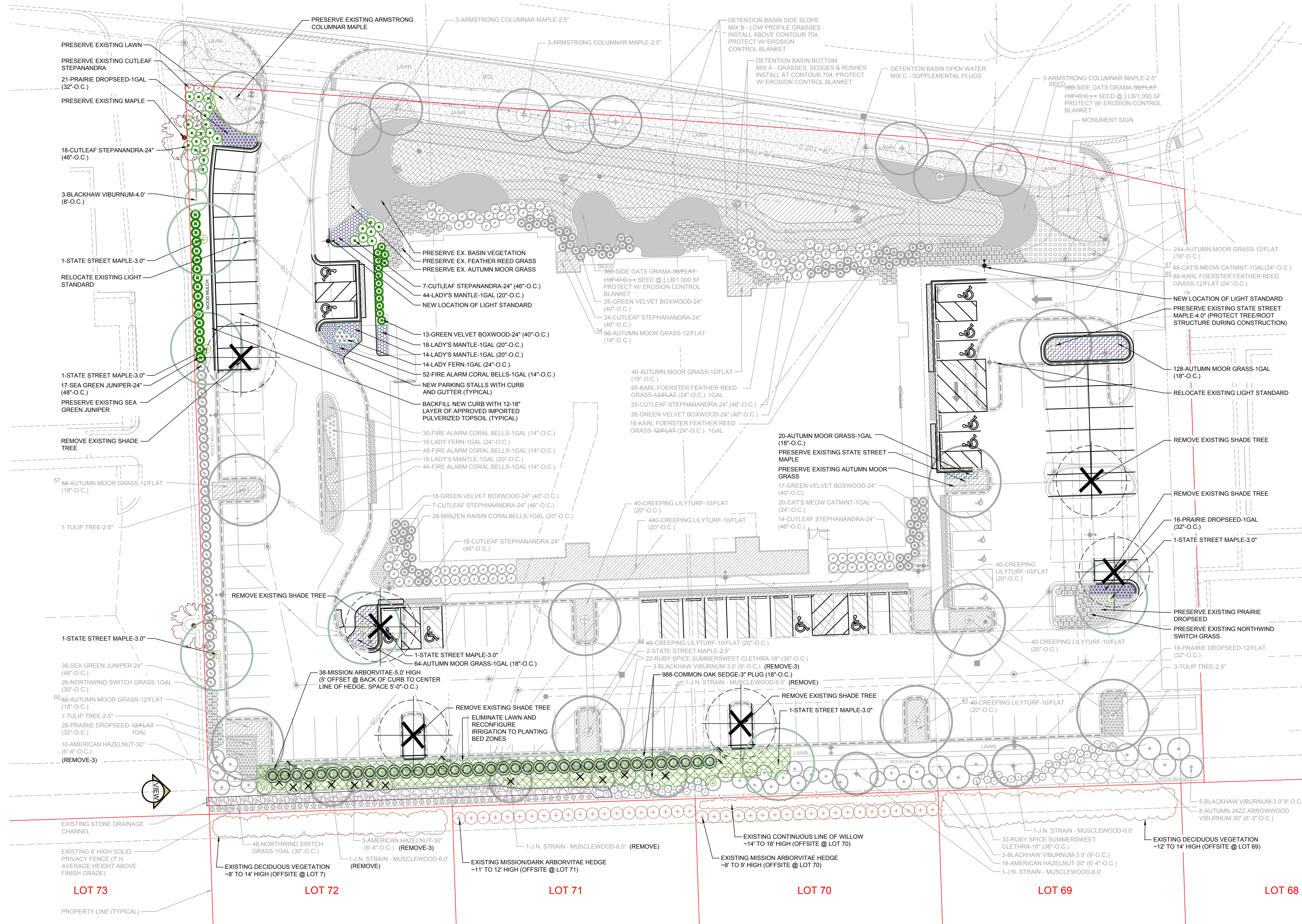
# Proposed Evergreen Screen - Location

VIEW AT NORTHWEST CORNER LOOKING SOUTH ALONG CHANNEL  
HEDGE LOCATED NEAR UPPER SLOPE TO ABATE VEHICLE HEADLIGHTS



# Proposed Evergreen Screen - Plants

5' HIGH MISSION ARBORVITAE SPACED 5'-0" ON CENTER  
REPRESENTATIVE PHOTO OF NURSERY PLANTS TO BE INSTALLED  
(SOURCE MARIANI PLANTS)



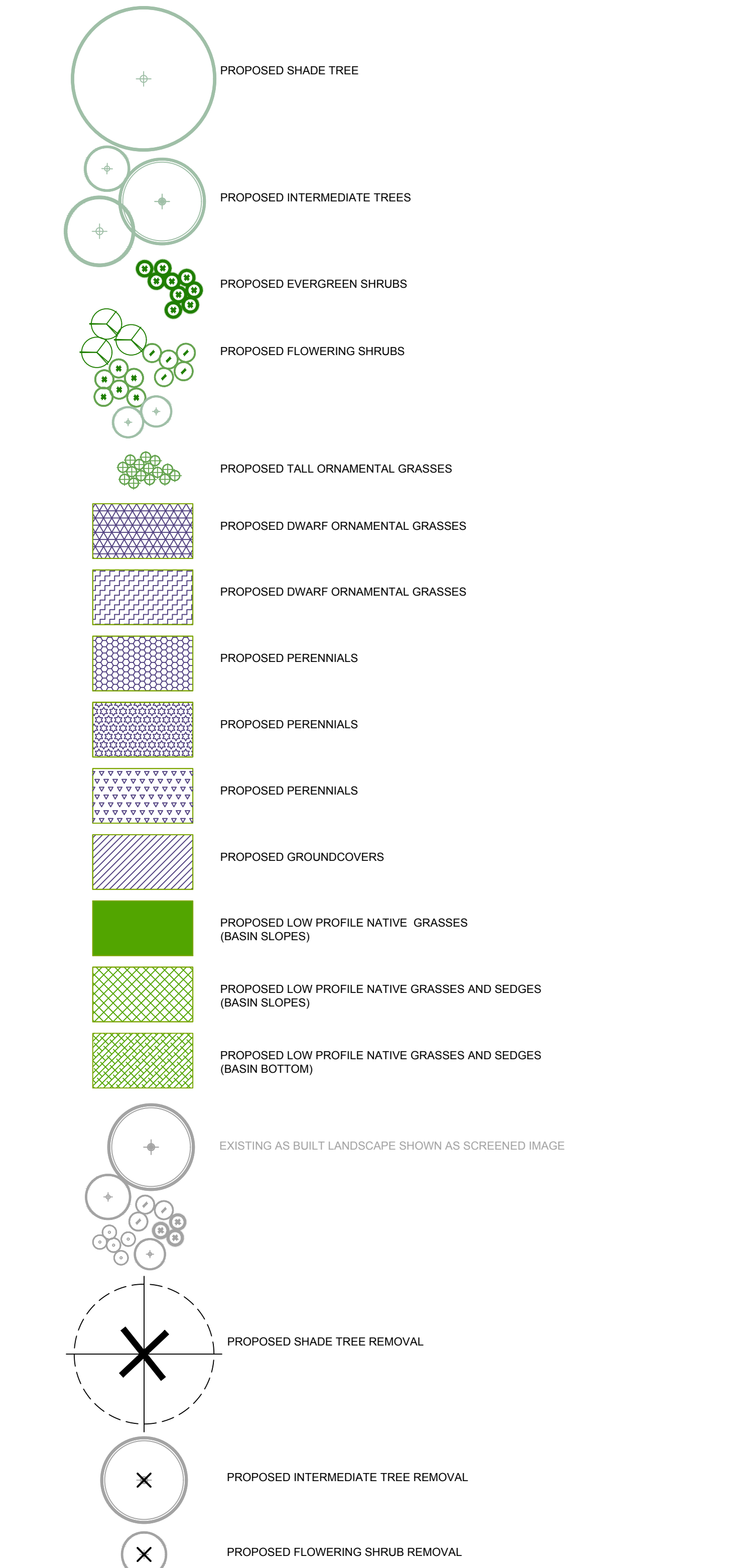
## Plant Material Schedule

Shade, Intermediate, and Evergreen Trees					
Botanical Name	Common Name	Size	Qty	Mature Size	Remarks
Acer m. 'Morton'	State Street Maple	3.0" C	6	40-50" x 30-35"	Matching Specimens
Thuja s. 'Masson'	Mission Arborvitae	6.0" H	38	10-15" x 8-10"	Matching Specimens
Source Trees at Mariani Plants					
Flowering and Evergreen Shrubs					
Botanical Name	Common Name	Size	Qty	Mature Size	Remarks
Buxus 'Green Velvet'	Green Velvet Boxwood	24" H x 24" S	13	4" x 4" w	Matching Specimens
Juniperus s. 'Sea Green'	Sea Green Chinese Juniper	24" S	17	4-6" x 5-9"	Matching Specimens
Staphandra indica 'Crispa'	Crispa Cutleaf Staphandra	24" H	25	1.5-3" x 3-5"	Matching Specimens
Viburnum prunifolium	Blackhaw Viburnum	4.0" H	3	12-15" x 8-12"	Matching Specimens
Source Shrubs at Mariani Plants and Fire Nursery					
Perennials, Groundcover, Vines, and Ornamental Grasses					
Botanical Name	Common Name	Size	Qty	Mature Size	Spacing
Achillea millefolium	Lady's Mantle	1 Gal	75	2-18" x 18-24"	20" - O.C.
Athyrium filix-femina	Lady Fern	1 Gal	14	24-36" x 18-24"	24" - O.C.
Carex pennsylvanica	Common Oak Sedge	3" Plug	988	8-12" x 18-24"	18" - O.C.
Heucher 'Fire Alarm'	Fire Alarm Coral Bells	1 Gal	52	8-12" x 14"	14" - O.C.
Sedella autumnalis	Autumn Moor Grass	1 Gal	212	18-24" x 12-15"	18" - O.C.
Sporobolus heterobolus	Prairie Dropseed	1 Gal	37	24-36" x 24-36"	32" - O.C.
Source Perennials at Midwest Groundcovers, Mariani Plants, Elite, Montale, Hoffle and Intrinsic Perennials					

## Material Schedule

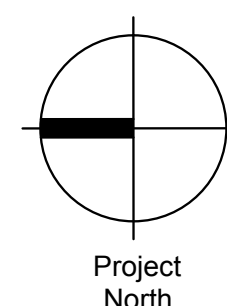
Landscape Materials and Miscellaneous Work Scope			
Description	Size/Units	Qty	Remarks
Demo - Removal of Landscape in Conflict with New Improvements		as req.	
Planting Shredded Hardwood Mulch - dark, double processed (3" layer for trees and shrubs; and shrubs; 2" layer for perennials, ornamental grasses and groundcover)	CY	as req.	
Planting Bed Preparation / Soil Amendment Mix: "One Step Soil Conditioner" Prepared by Midwest Trading - Southern Pine Bark Fines, Organic Compost, Leaf Mulch, Hardwood Fines, Iron Sulfate, Blue Chip, Gypsum, with mycorrhizae (incorporates 3" layer for planting bed preparation; utilize for planting operations - poor soil & excavated clay is not suitable for backfill & shall be disposed off-site)	CY	as req.	3" layer for all new planting beds,
Imported Topsoil Allowance - Imported Topsoil w/ less than 20% clay content suitable for plantings (utilize for finish grading, back fill of vegetation removals and exposed curbs, planting bed preparation and backfill for planting operations)	CY	as req.	
Supply 20 Gal. Tree Gator Bags for Shade Trees	units	0	
One Fertilizer Application - Apply to soils at all planting beds and turf areas:			
1) Gypsum: 50# / 1,000 SF			
2) SOP: Sulfate of potash: 4# / 1,000 SF			
3) MAP: Mono-ammonium phosphate: 4# / 1,000 SF			
4) UMaxx: 3# / 1,000 SF			

## Legend



## Landscape Plan

Scale: 1"=20'



No.	Date	Issue Description
5	1/04/2023	Village Submittal
4	12/06/2022	West Evergreen Screen
3	11/17/2022	West Evergreen Screen
2	8/12/2022	Light Standard Relocation
1	7/12/2022	Village Submittal

Client  
**MedProperties Group**  
72 South Wacker Drive, Suite 3725  
Chicago, IL 60606

Project Name  
**Shirley Ryan Abilitylab**

**Shirley Ryan Ability Lab**  
Outpatient and Day Rehab Center - Parking Expansion

7600 County Line Road, Burr Ridge, IL 60527

Sheet Title  
**Landscape Plan**



**View - 1 Looking West to Lot 69**

**6' HIGH EFFECTIVE SOLID SCREEN**  
 TOP OF FENCE ELEVATION 6" ABOVE PARKING PAVEMENT (ACHIEVED WITH ~6" GAP BETWEEN FINISH GRADE AND BOTTOM OF FENCE)



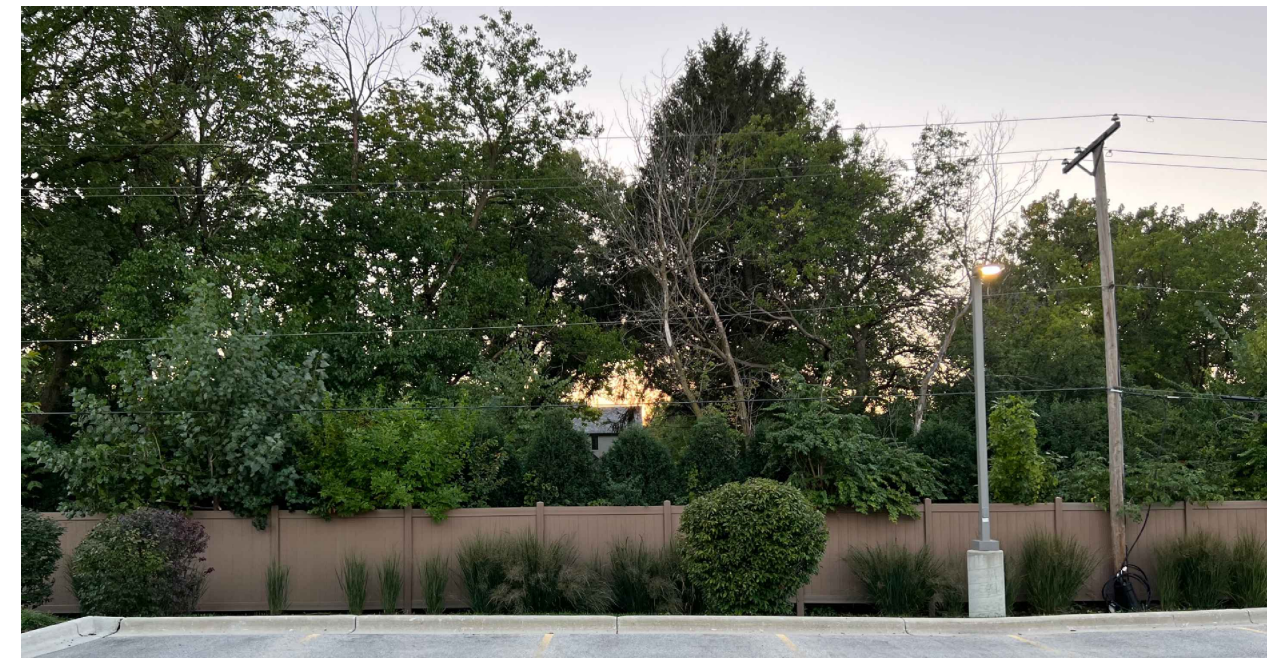
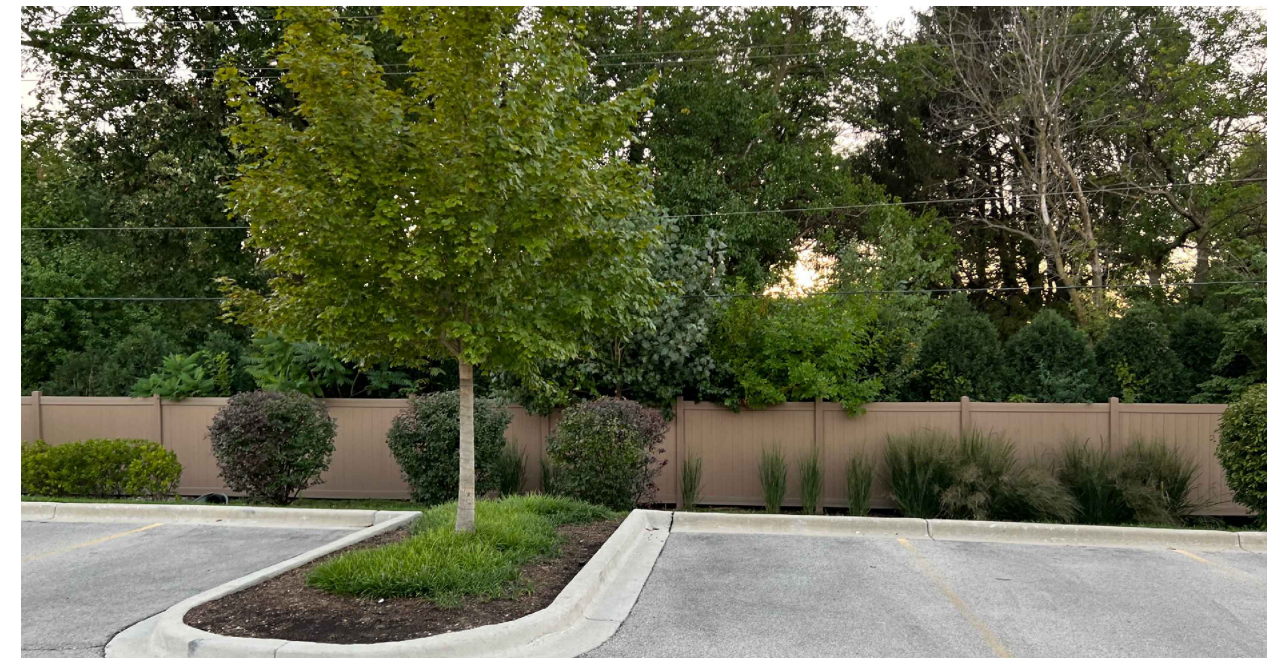
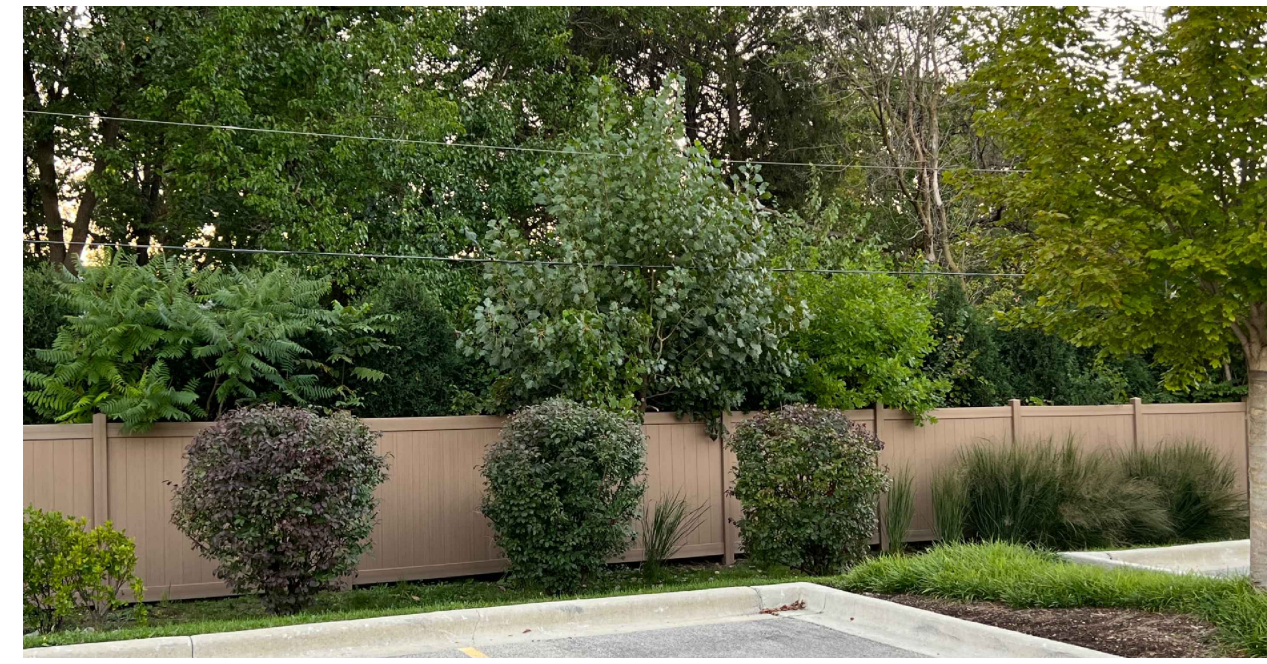
**View - 2 Looking West to Lot 70**

**5'-3" TO 6' HIGH EFFECTIVE SOLID SCREEN**  
 TOP OF FENCE ELEVATION 5'-3" TO 6" ABOVE PARKING PAVEMENT (ACHIEVED WITH ~12" GAP BETWEEN FINISH GRADE AND BOTTOM OF FENCE)



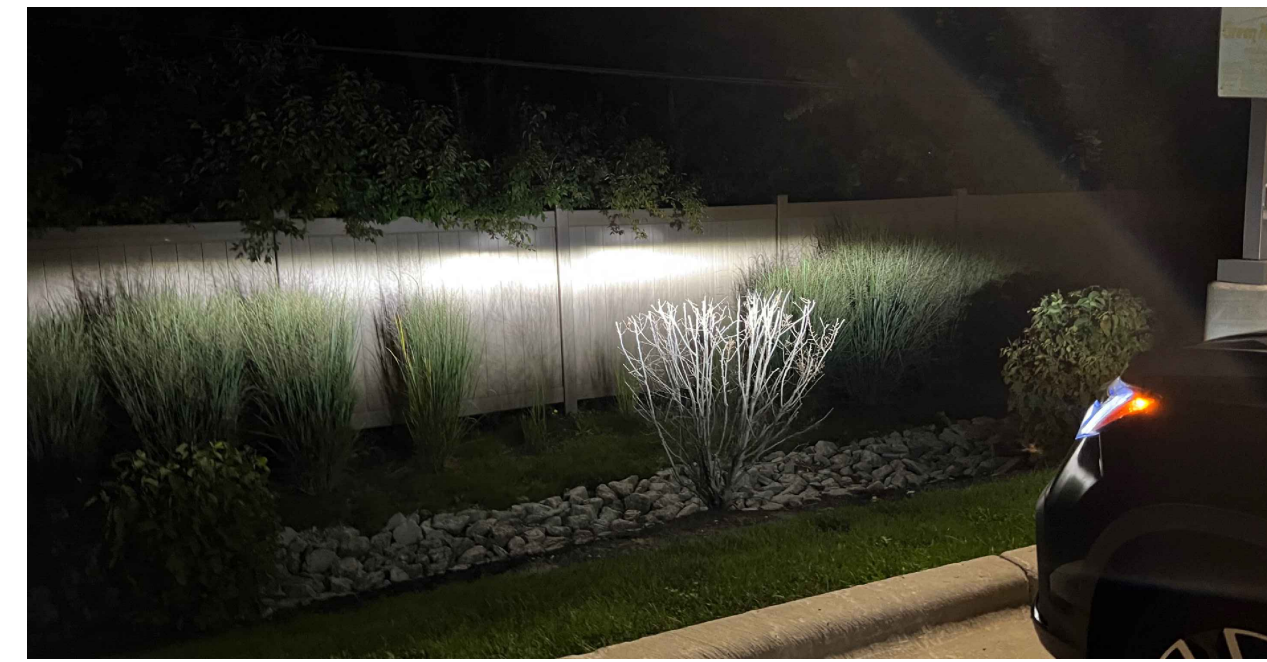
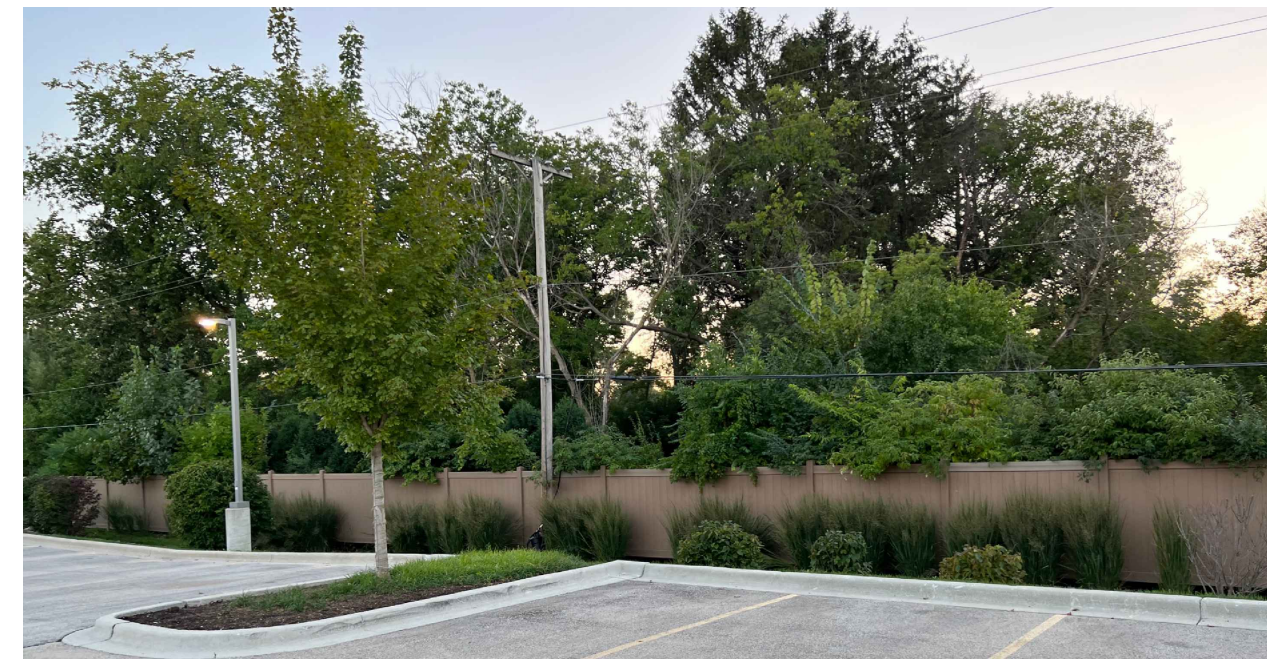
**View - 3 Looking West to Lot 71**

**4' TO 5' HIGH EFFECTIVE SOLID SCREEN**  
 TOP OF FENCE ELEVATION 4' TO 5" ABOVE PARKING PAVEMENT (ACHIEVED WITH ~6" TO 12" GAP BETWEEN FINISH GRADE AND BOTTOM OF FENCE)

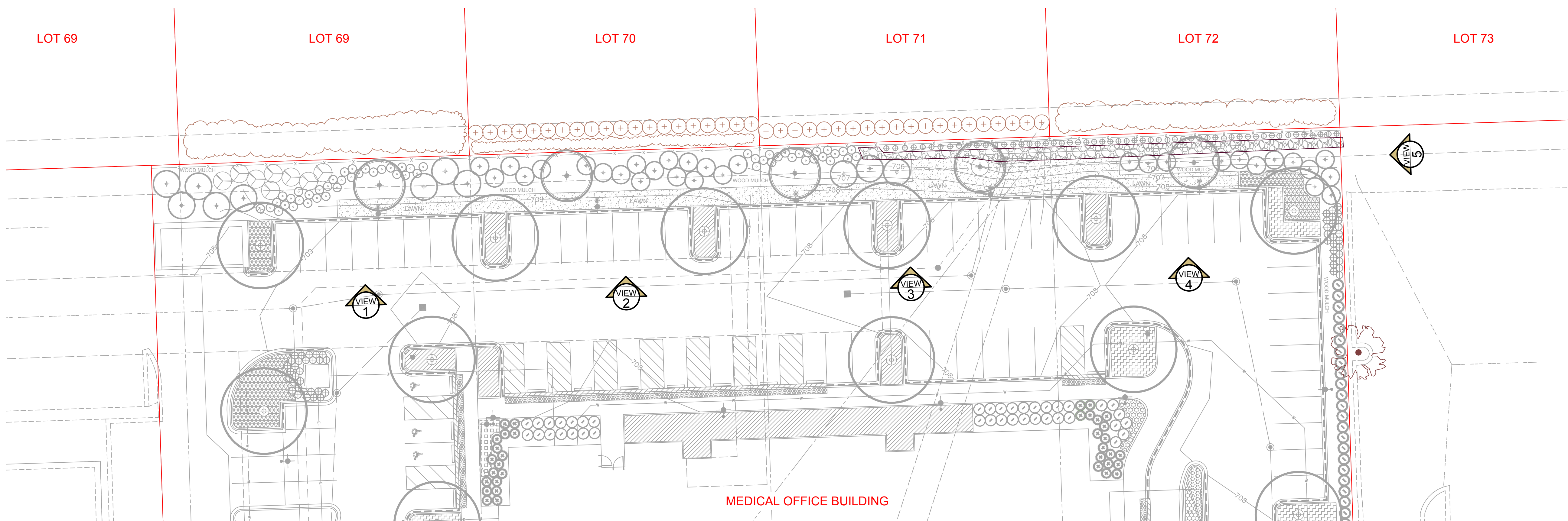


**View - 4 Looking West to Lot 72**

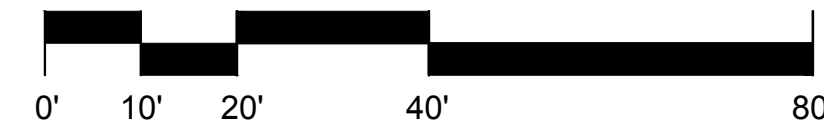
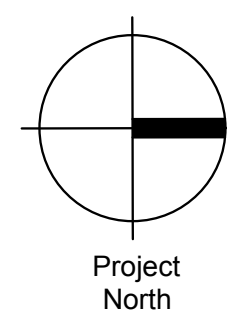
**4' TO 4'-6" HIGH EFFECTIVE SOLID SCREEN**  
 TOP OF FENCE ELEVATION 4' TO 4'-6" ABOVE PARKING PAVEMENT (ACHIEVED WITH ~6" TO 12" GAP BETWEEN FINISH GRADE AND BOTTOM OF FENCE)



**View - 5 Looking South Along Channel**



**View Location Plan**  
 Scale: 1"=20'



No.	Date	Issue Description
3	1/04/2023	Village Submittal
2	12/13/2022	Issue for Client Review
1	12/06/2022	Issue for Client Review

Client  
**MedProperties Group**  
 72 South Wacker Drive, Suite 3725  
 Chicago, IL 60606

Project Name  
**Shirley Ryan**  
**Abilitylab**

Shirley Ryan  
 Ability Lab

Outpatient and Day  
 Rehab Center -  
 Parking Expansion

7600 County Line Road, Burr Ridge, IL 60527

Sheet Title  
**Images of West**  
**Perimeter Landscape**

Checked By  
 MRT  
 Project No.  
 1724A

**L-3**



# EXHIBIT B

## ORDINANCE NO. A-834-02-17

### AN ORDINANCE GRANTING SPECIAL USE APPROVALS PURSUANT TO THE BURR RIDGE ZONING ORDINANCE FOR FINAL PLAN APPROVAL AND TO PERMIT A MEDICAL OFFICE IN THE T-1 TRANSITIONAL DISTRICT

Z-12-2016: 7600-7630 County Line Road (Med Properties Group)

**WHEREAS**, an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

**WHEREAS**, said Plan Commission of this Village held a public hearing on the question of granting said special use on October 17, 2016, November 21, 2016, and December 5, 2016 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

**WHEREAS**, the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of

Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

**NOW THEREFORE, Be It Ordained** by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 7600-7630 County Line Road, Burr Ridge, Illinois, is Med Properties Group (hereinafter "Petitioner"). The Petitioner requests special use approval as per Section VII.B.8-10 for site, landscaping and building elevation plan approval and special use approval as per Section VII.C.2.i for the use of the property for a medical office.
- B. That the proposed building and site improvements are consistent in design and character with the requirements of the transitional district;
- C. That the use of the building for medical offices is consistent with other uses in this T-1 District and will not adversely impact adjacent residential uses.

**Section 3:** That special use approval as per Section VII.B.8-10 for site, landscaping and building elevation plan approval and special use approval as per Section VII.C.2.i for the use of the property for a medical office *is hereby granted* for the property commonly known as 7600-7630 County Line Road and identified by the Permanent Real Estate Index Numbers (PIN) of: 09-25-402-019 and 09-25-402-026.

**Section 4:** That approval of this special use is subject to compliance with the following conditions:

- A. Development shall comply with the submitted site plan, landscaping plan and building elevations attached hereto as **Exhibit A** except as specifically modified herein.
- B. The fence on the rear lot line shall be either a solid wood fence or a maintenance-free fence such as vinyl. If it is wood, a fence easement shall be dedicated that requires maintenance of the fence by the property owner but gives the Village the right but not the duty to perform maintenance on the fence if the owner fails to do so and to lien the property for any costs incurred. The final design of the fence shall be subject to staff review and approval.
- C. A sidewalk connection shall be provided between the building and the proposed public sidewalk.
- D. The design and location of the proposed public sidewalk shall be subject to staff review and approval and may include a railing between the sidewalk and detention pond if determined appropriate by staff.
- E. The materials, colors and final architectural details shall be subject to the review and approval of the Plan Commission. It is understood that the general architectural design shall be consistent with the approved plans referenced herein and that the final review shall not require legal notices for a formal public hearing. Such review and approval by the Plan Commission shall not be unduly conditioned or delayed.



F. Final engineering plans shall be presented to the Plan Commission for public review prior to issuance of a building permit with the intent that stormwater facilities will be oversized to the extent reasonably possible. Final engineering plan review shall not require legal notices for a formal public hearing.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

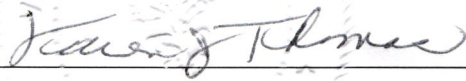
**PASSED** this 9<sup>th</sup> day of January, 2017, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

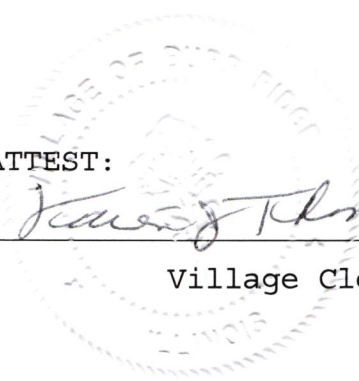
<b>AYES:</b>	<b>5</b>	<b>-</b>	<b>Trustees Grasso, Schiappa, Franzese, Paveza, and Murphy</b>
<b>NAYS:</b>	<b>0</b>	<b>-</b>	<b>None</b>
<b>ABSENT:</b>	<b>1</b>	<b>-</b>	<b>Trustee Bolos</b>

**APPROVED** by the President of the Village of Burr Ridge on this 9<sup>th</sup> day of January, 2017.

  
\_\_\_\_\_  
Village President

**ATTEST:**

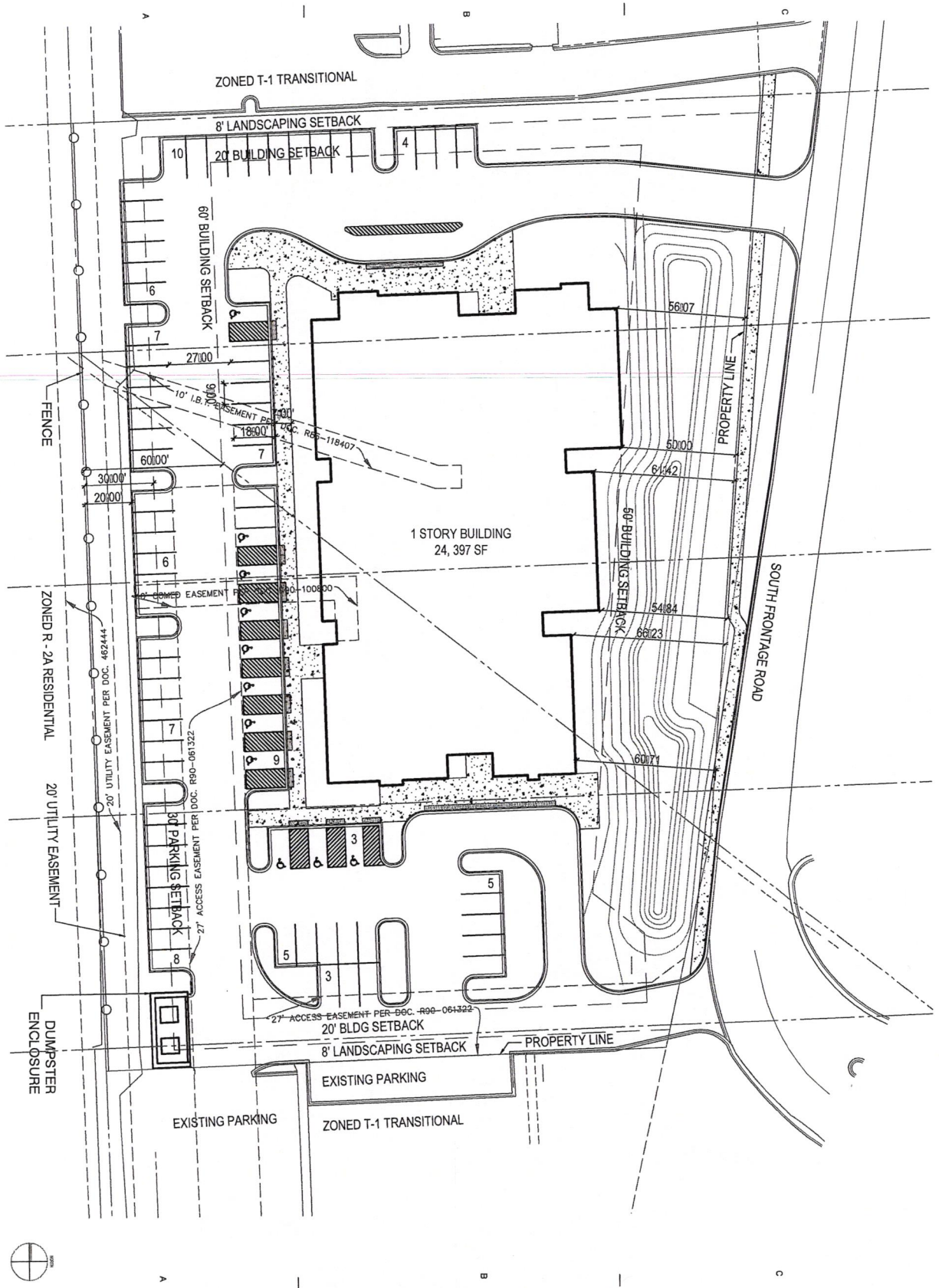
  
\_\_\_\_\_  
Village Clerk





HDR ARCHITECTURE  
 SUITE 200, 6000  
 BURR RIDGE, ILLINOIS  
 312-479-9410

REHABILITATION  
 INSTITUTE OF CHICAGO  
 OUTPATIENT AND DAY  
 REHAB CENTER  
 7630 COUNTY LINE ROAD  
 BURR RIDGE, IL 60527



Scale 1"=40'  
 Sheet Number LL-101  
 Project Status

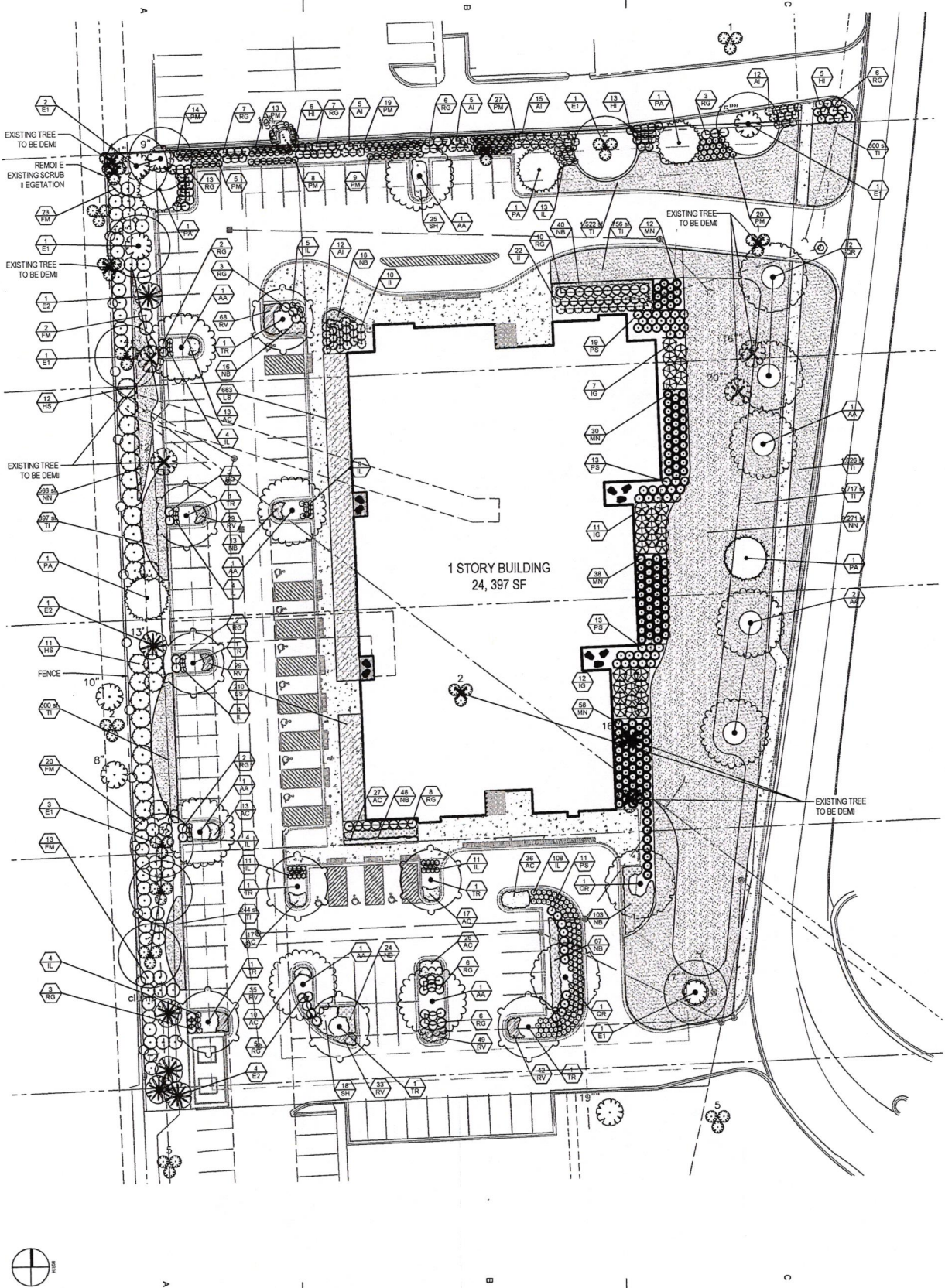
**SITE PLAN**

Sheet Name  
 NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION
A-1	09/28/18	ZONING SUBMITTAL
A-2	11/28/18	ZONING SUBMITTAL

Project Number 10089783  
 Original Issue 09/28/18





HDR ARCHITECTURE  
 30 W MONROE STREET  
 CHICAGO, IL 60603  
 312-770-5410

REHABILITATION  
 INSTITUTE OF CHICAGO  
 OUTPATIENT AND DAY  
 REHAB CENTER  
 7630 COUNTY LINE ROAD  
 BURR RIDGE, IL 60527

MARK	DATE	DESCRIPTION
52	09/29/16	ZONING SUBMITTAL
53	09/29/16	ZONING SUBMITTAL
54	10/07/16	CONTRACT SIGNATURE

Project Number: 15000033  
 Original Issue: 09/29/16

**PRELIMINARY**  
 Not for Construction

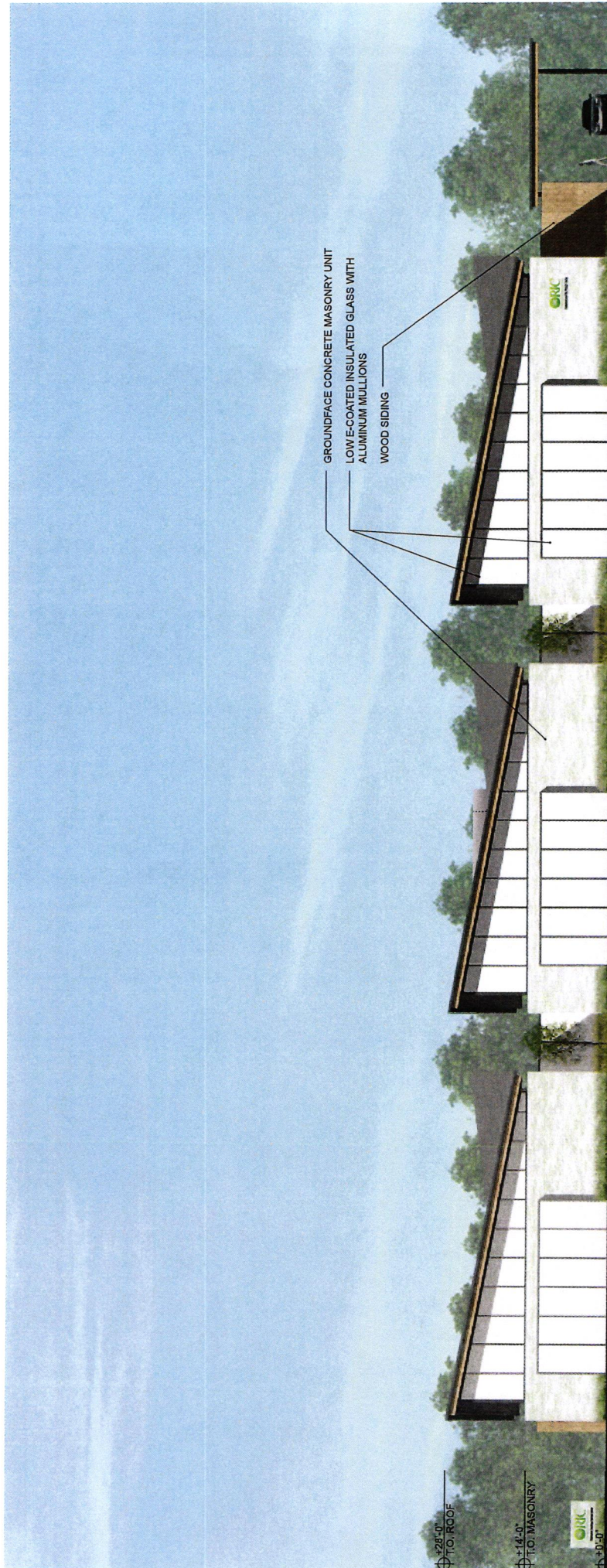
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**LANDSCAPE PLAN**

Scale:  
 1" = 40'

Sheet Number:  
**LP-101**

Project Status:

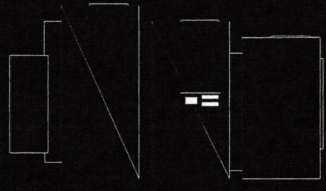




GROUNDFACE CONCRETE MASONRY UNIT  
 LOW E-COATED INSULATED GLASS WITH  
 ALUMINUM MULLIONS  
 WOOD SIDING

TO ROOF +28'-0"  
 TO MASONRY +14'-0"  
 GROUND +0'-0"

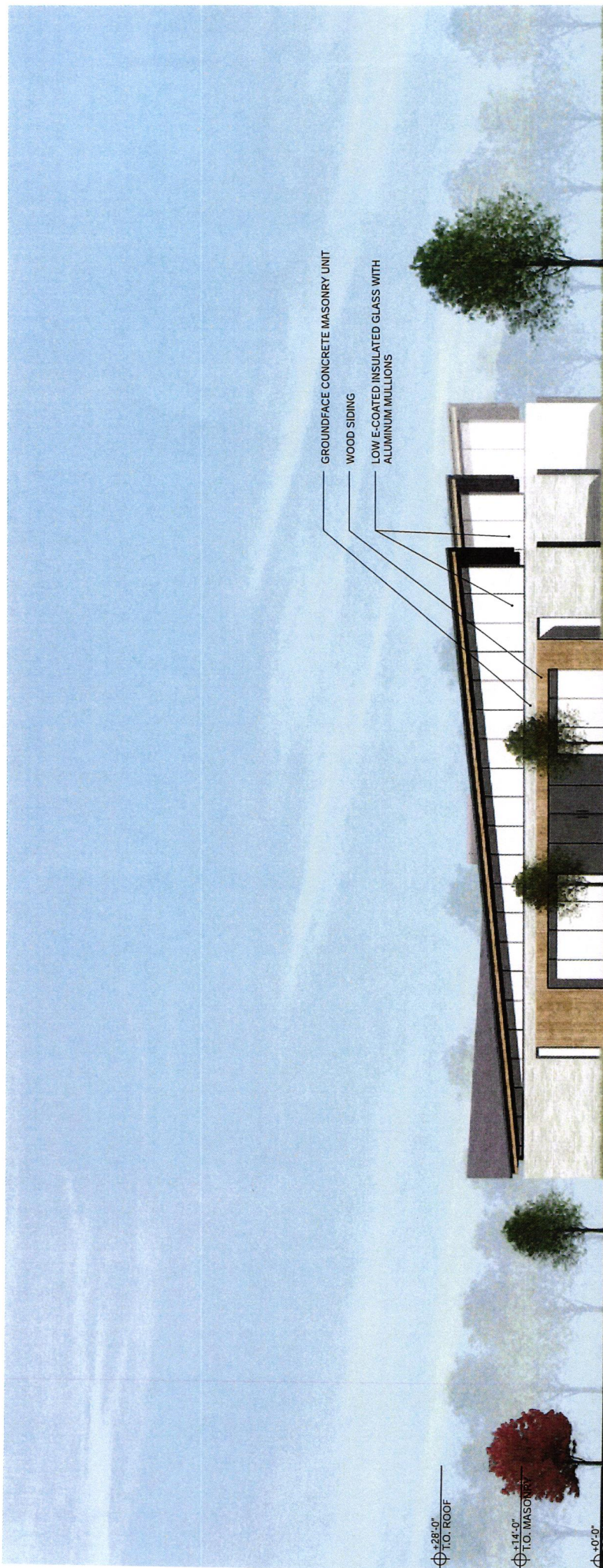
0 6 12 18 24



EAST ELEVATION - ALTERNATE  
 REHABILITATION INSTITUTE OF CHICAGO OUTPATIENT AND DAY REHAB CENTER  
 28 NOVEMBER 2016

ORC  
 30 WEST MCNROE  
 SUITE 700  
 CHICAGO, IL 60603





GROUNDFACE CONCRETE MASONRY UNIT  
 WOOD SIDING  
 LOW E-COATED INSULATED GLASS WITH ALUMINUM MULLIONS

±28'-0"  
T.O. ROOF

±14'-0"  
T.O. MASONRY

±0'-0"  
GROUND

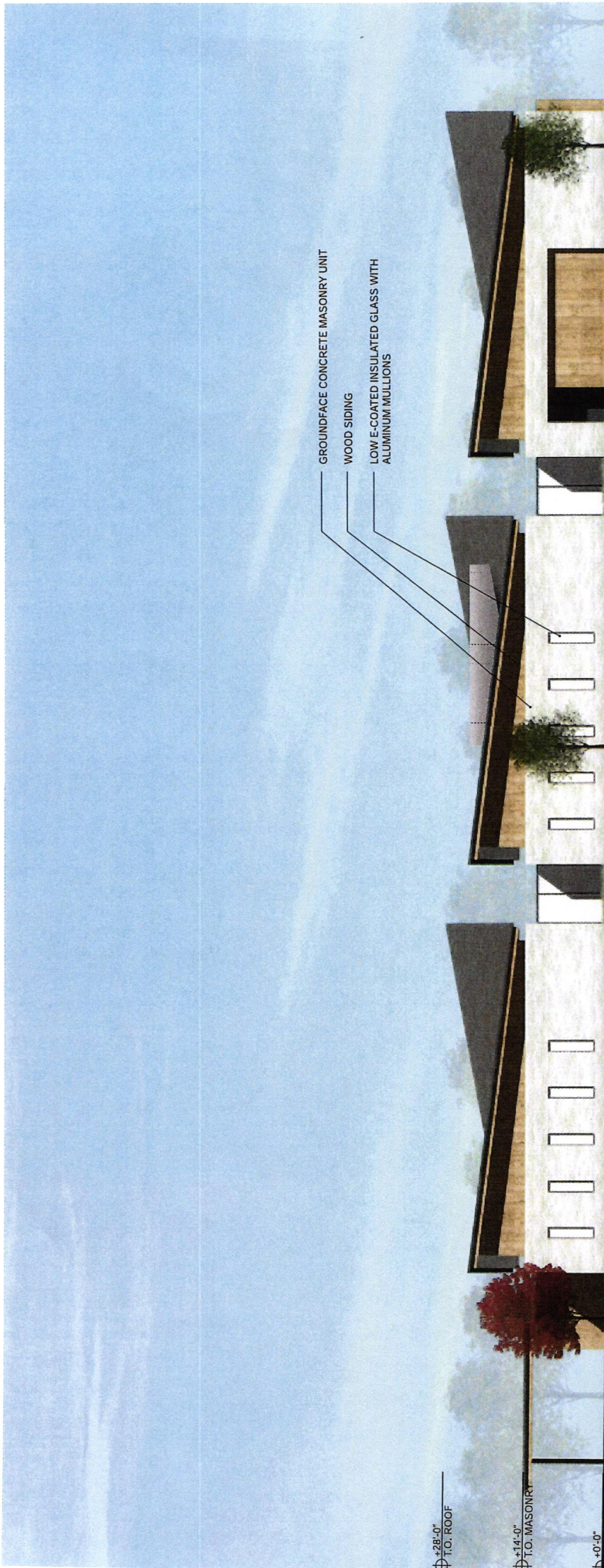
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SOUTH ELEVATION - ALTERNATE  
 REHABILITATION INSTITUTE OF CHICAGO OUTPATIENT AND GAY REHAB CENTER  
 23 NOVEMBER 2016

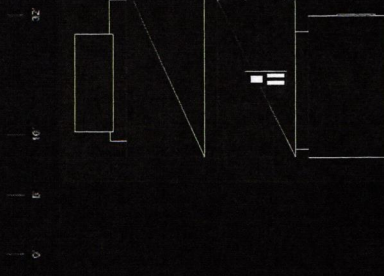
HR  
 30 WEST MONROE  
 SUITE 700  
 CHICAGO, IL 60603





GROUNDFACE CONCRETE MASONRY UNIT  
 WOOD SIDING  
 LOW E-COATED INSULATED GLASS WITH ALUMINUM MULLIONS

+28'-0"  
T.O. ROOF  
 +14'-0"  
T.O. MASONRY  
 +0'-0"  
GROUND

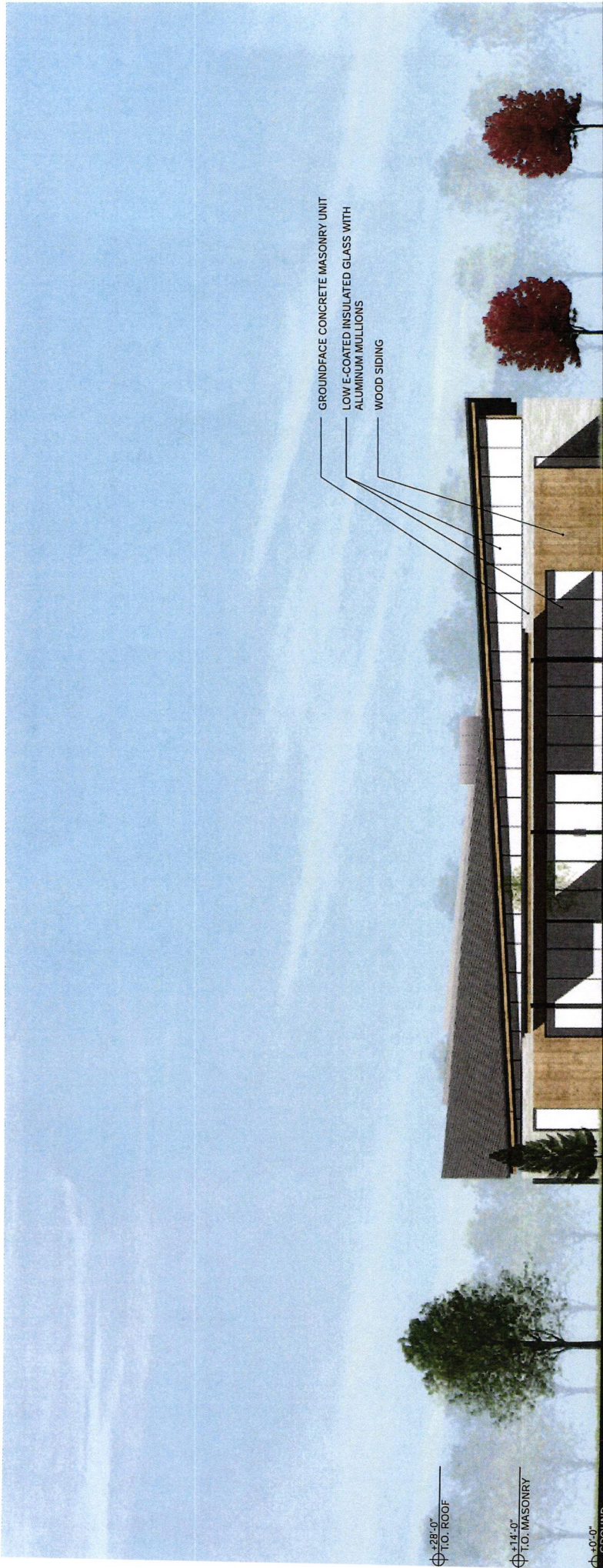


WEST ELEVATION - ALTERNATE  
 REHABILITATION INSTITUTE OF CHICAGO OUTPATIENT AND DAY REHAB CENTER  
 29 NOVEMBER 2016

30 WEST MONROE  
 SUITE 700  
 CHICAGO, IL 60603







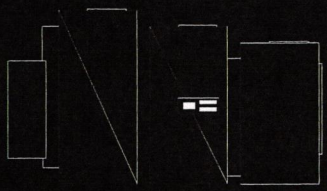
GROUNDFACE CONCRETE MASONRY UNIT  
 LOW E-COATED INSULATED GLASS WITH ALUMINUM MULLIONS  
 WOOD SIDING

±28'-0" TO ROOF

±14'-0" TO MASONRY

±0'-0" GROUND

0 10 20 30



**NORTH ELEVATION - ALTERNATE**  
 REHABILITATION INSTITUTE OF CHICAGO OUTPATIENT AND DAY REHAB CENTER  
 30 WEST MADISON SUITES  
 CHICAGO, IL 60605  
 11 NOVEMBER 2016





# EXHIBIT C

**PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**VILLAGE OF BURR RIDGE**  
**MINUTES FOR REGULAR MEETING OF**  
**OCTOBER 17, 2016**

## I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 6 – Stratis, Grunsten, Broline, Praxmarer, Scott and Trzupek

**ABSENT:** 2 – Hoch and Grela

Also present was Community Development Director Doug Pollock and Trustee Guy Franzese.

## II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Praxmarer and **SECONDED** by Commissioner Grunsten to approve the minutes of the September 19, 2016 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Praxmarer, Grunsten, Stratis, Broline, and Trzupek

**NAYS:** 0 – None

**ABSTAIN:** 1 – Scott

**MOTION CARRIED** by a vote of 5-0.

## III. PUBLIC HEARINGS

Chairman Trzupek confirmed all those wishing to speak during the public hearing on the agenda for tonight's meeting.

### **Z-11-2016: 440 Village Center Drive (Portillo/Szczodry); Text Amendment, Special Use and Findings of Fact**

As directed by Chairman Trzupek, Mr. Pollock described this request as follows: The petitioner is seeking zoning approval to open a new business in the Burr Ridge Village Center. The business is a recreational use that would provide golf simulation facilities and would serve alcoholic and non-alcoholic beverages along with pre-packaged snacks. This use is not listed as a permitted or special use in the B-2 District nor in the Village Center Planned Unit Development (PUD). Thus, a text amendment is being requested to add this use to the list of special uses in the B-2 District and in the Village Center PUD. Concurrently, the petitioner is requesting special use approval for this specific business at 440 Village Center Drive.

**Z-12-2016: 7600 and 7630 County Line Road (Med Properties Group); Special Use, Variations, and Findings of Fact**

As directed by Chairman Trzupsek, Mr. Pollock described this request as follows: The petitioner seeks approval to raze the two buildings and construct a single office building. The petition includes the following approvals relative to the Burr Ridge Zoning Ordinance: special use approval for site, landscaping and building elevation plan review; special use approval for the use of the property for a medical office; a variation to permit the construction of a parking lot and dumpster enclosure 19.76 feet from the rear lot line rather than the required 30 feet or in lieu thereof, a variation to permit a reduction of the front yard building setback; a variation to permit the parking lot and shared access drive without the required 8 foot setback from the south side lot line; and a variation to permit a parking lot drive aisle to encroach into the front yard.

Chairman Trzupsek asked the petitioner to make their presentation.

Mr. Ed Case introduced himself as the Executive Vice President of Rehabilitation Institute of Chicago (RIC). He said that RIC wants to lease the new building for their unique rehab clinic. He said RIC was started to service military veterans. He said they have grown to serve the general public and are rated as the number one rehabilitation hospital in the country. He said that they service patients from over 70 countries and 48 states. He said the program for this building is currently operated in Willowbrook, but they have outgrown their facility. He said last year they treated 100 patients in the Burr Ridge zip code and 150 in adjacent zip codes. He submitted a brochure that describes RIC's history with the military. Mr. Case introduced Mr. Tom Lee, the architect for the project.

Mr. Lee went through a PowerPoint presentation describing the site plan, landscaping plan and architecture for the building.

Mr. Lance Theis introduced himself as another Architect for the petitioner. He continued the PowerPoint presentation relative to the site design. Mr. Theis also described the traffic study and circulation of traffic. He noted the easements on the property which he said are the primary reason for the variations.

Mr. Lee concluded the petitioner's presentation with a description of the building exterior.

Chairman Trzupsek referenced a document submitted by the petitioner showing the number of cars and vans during the entire daytime operation.

Chairman Trzupsek asked for public comments and questions.

Mr. Tom Koukal, 122 75<sup>th</sup> Street, said his concern is with sidewalks. He said there should be a sidewalk in front of this property as there are lots of people who walk on the street in this area.

In response to a question from Chairman Trzupsek, Mr. Pollock said that the Pathway Commission would like to see a sidewalk in front of the property but that the Village codes do not require a sidewalk for this development. Mr. Pollock said that a sidewalk could be a condition of the special use if the Plan Commission believes there is a connection between the special use and the need for a sidewalk.

Mr. Theis said there is not enough space between the front lot line and the street and the sidewalk would have to be on private property. Commissioner Stratis asked if that would impact compliance with the green space requirements. Mr. Theis said it would reduce green space below the



minimum. Mr. Pollock said that he believes there may be a way to provide the sidewalk within an easement while accommodating compliance with the required amount of green space.

Ms. Carol Novak, 7508 Drew Avenue, said she likes the architecture but that there is nothing similar in the area. She also expressed concern regarding the access to the site and that the southern driveway would be difficult to maneuver due to the left turn lane on Frontage Road.

Chairman Trzupsek asked if the north entrance was exit only and if the south entrance was ingress and egress. Mr. Theis said that the south entrance was ingress and egress and that the total number of parking spaces is reduced by 43 spaces and that the traffic study indicates that access and traffic would actually be improved.

Commissioner Stratis responded that he is struggling with the circulation and wondered about combining the north access with the access to the property to the north.

Mr. Bud Coglianesi, 8680 Heather Drive, stated that he owns the funeral home north of the property. He asked about the floor area which was reported to be about 25,000 square feet for the proposed building and 27,000 square feet for the two existing buildings combined. He said that the mass of the building does not look residential. He said that it was important to enhance the landscaping as a buffer to the residential.

Mr. Andy Paulius, 7523 Drew Avenue, said that the existing landscaping is not very dense and asked about adding a fence or wall along the rear lot line.

Brother Joseph of the Christian Brothers at 7650 County Line Road, asked if the width of the access easement was staying the same. Mr. Theis said it was remaining unchanged.

Ms. Mary Labus, 7612 Drew Avenue, asked why they wanted to build at this location when there is vacant land available elsewhere. Mr. Theis said that this land meets the needs of the petitioner. Ms. Labus said there was too much traffic and too many variations.

Mr. Mark Thoma, 7515 Drew Avenue, said that the proposed building does not fit the T-1 Transitional District. He said it does not look residential and the building is too large as evidenced by the number of variations being requested. He said that the 30 foot rear yard setback should be provided for the parking lot. He said that garbage collects in this rear yard and that the 30 foot setback would allow more space for snow removal. He added that the dumpster location should be closer to the building. Mr. Thoma added that the petitioner has not addressed drainage and he referenced a drainage pipe that runs between the existing building and under the proposed building. He suggested that the hearing be continued until more information about engineering is available.

Ms. Margaret Kukuc, 7603 Drew Avenue, said that the utility company removed some of the landscaping between the properties and that a fence or wall is needed to block headlights.

Ms. Alice Krampits, 7515 Drew Avenue, asked if the petitioner were leasing or buying the property. Mr. Case said that RIC would be leasing from the property owner, Med Properties Group. Ms. Krampits asked about the dumpster and whether there would be any food or medical waste; she asked about closing times and hours of operation; and she asked about the construction schedule and cost. Mr. Case said that there would be food provided for the day patients and that the last patient leaves at 6 p.m. Mr. Matt Campbell of Med Properties Group said they are not open on weekends and that they hope to be under construction in the spring, and the total cost is north of 10 million dollars. Ms. Krampits asked about the floor area ratio. Mr. Pollock said they

are within code which permits 0.24 FAR. In response to Ms. Krampits, Mr. Case said that he anticipates that this building will meet their needs for at least 10 years and that he believes the business will serve the needs of the residents of Burr Ridge.

Ms. Krampits summarized her concerns as follows: the architecture does not fit the area, she is concerned that the building will not be easily re-used when the medical office leaves, that access is backwards, she questioned the need for another rehab facility, that the reduction of the 30 foot rear yard setback is a problem, the location of the dumpster is a problem, that more trees are needed in front of the property, that the building is too large for the property and there is no hardship for the variations, and that the drainage is a problem.

Ms. Sandra Szydal, 7819 Drew Avenue, expressed concerns about drainage and agreed that the access was a problem.

Chairman Trzupke asked if there were any other questions or comments from the public. There being none, he asked for comments and questions from the Plan Commission.

Commissioner Stratis asked about the roof being a metal seam material and asked if the building would be LEED certified. Mr. Campbell said it is a metal seam roof and that they will be trying for a silver LEED rating.

Commissioner Stratis said he likes the design of the building. He asked about the easement and if it is intended for shared parking. Mr. Theis said it was for shared parking. Commissioner Stratis suggested that the easement be extended to the north entryway so that cars from the south property can egress through that driveway.

Commissioner Stratis said he agrees with the concern about the lack of parking if the building were converted to offices. He said the big issue is the rear parking lot setback but that he would be okay with the reduced setback if a fence is provided. He said he would object to moving the building closer to the front lot line to increase the rear yard setback. Commissioner Stratis said that he would like to see a sidewalk along the frontage road.

Commissioner Grunsten said she agrees that a fence is needed along the west lot line to provide a screen between this property and the residences to the west. She also asked about a sidewalk and whether it could be built with or without a variation. Mr. Pollock responded that he believes there would be a way to grant easements or variations to accommodate the sidewalk due to it being a significant public benefit.

Commissioner Broline said that he believes drainage is the biggest issue. He added that he too would like to see a fence along the west side of the parking lot. He said that the most important aspect of a project like this is to protect the residents.

Commissioner Praxmarer said she sympathizes with the neighbors and their concern with headlights from the parking lot. She said that she does not think the building is a transitional appearance.

Commissioner Scott asked about parking lot lights. Mr. Theis said they have not designed site lighting but would comply with the Village requirements. In response to Commissioner Scott, Mr. Lee said that the peak of the roof on the front of the building is 28 feet and 24 feet on the back of the building.

Commissioner Scott said that at first he did not like the appearance of the building but that it is growing on him. He said he is fine with the 20 foot rear lot setback but that he prefers evergreen plantings over a fence. He asked about locations of the sidewalks in this area. In response, Mr. Pollock said that there is a sidewalk one property to the south and 2 properties to the north and that a sidewalk in this location is a high priority in the Village's pathway and sidewalk plan.

Chairman Trzupsek asked about the rooftop equipment and screening and confirmed that the building would have a standing seam metal roof. He said that he likes the building but is not sure if it's residential in character. He said that the standing seam metal roof is not residential in character. He said he wants to be sure that the roof top equipment will fit into the screening area. Chairman Trzupsek said that the building is appropriate for the transitional district and that he would not want it to be too residential in appearance. He referenced the Village Hall and Police Station as buildings that are transitional but not residential. He said he would be okay with the appearance if it did not have a metal roof.

Chairman Trzupsek added that the drainage and circulation easements should be addressed in more detail that he would like to see the 30 foot parking lot setback but may be okay with a 20 foot setback due to the easement but only if they have a really good separation from the neighbors. He said he would not support moving the building closer to the front lot line. He said that the proposed use is distinct from other rehab clinics so he is not concerned with the need. Chairman Trzupsek said that he would like to see the dumpster moved further away from the residences. In regards to traffic, he noted that he is struggling with the traffic pattern and is concerned about having two curb cuts so close together on the north side. He said he would like to see a sidewalk. He concluded that he generally supports the project, that the two variations along the south side are givens due to the existing shared access, he could go either way with the rear yard setback variation, and that in regards to the building he wants to see a different roof and wants to see what they do with the rooftop screening enclosure.

Chairman Trzupsek said that he did talk with Commissioner Grela today who expressed concerns about the appearance of the building and was against the rear yard or front yard setback variations.

Chairman Trzupsek summarized the hearing. He said that it appears the Commission is generally supportive of the project but with concerns that need to be addressed.

Commissioner Stratis asked about alternatives to the metal roof. Chairman Trzupsek said that they do make low pitch shingles. He said that they could raise the pitch of the roof as it is not very tall right now. He said that would accommodate a shingled roof.

Commissioner Stratis said that he would like to see the petitioner take a step back and work on responses to the questions raised, particularly the questions about drainage and engineering. He also asked about a dedicated left turn on frontage road at the north driveway. Mr. Pollock responded that if this hearing is continued, he recommends having the Village's traffic consultant review the traffic study prepared by the petitioner.

Chairman Trzupsek summarized the issues as follows: review of traffic study by the Village's traffic consultant, the parking lot setback on the west side, the building including the rooftop screening and roof materials, the dumpster location, stormwater management, a public sidewalk on frontage road, extension of the access easement to the north entryway, and making the north driveway a shared driveway with the neighbor to the north.



There being no further discussion, Chairman Trzupek asked for a motion to continue the hearing.

At 10:11 p.m. a **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Grunsten to continue the hearing for Z-12-2016 to November 21, 2016.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Stratis, Grunsten, Praxmarer, Scott, Broline, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

### **Z-13-2016: Zoning Ordinance Text Amendment – Front Yard Walls and Monuments**

As directed by Chairman Trzupek, Mr. Pollock described this request as follows: Village staff has three pending code enforcement cases involving the construction of masonry piers and decorative driveway walls in front yards. In all three cases, the property owners indicated their desire to seek zoning relief to allow the structures to remain. In response, the Plan Commission and Village Board agreed to staff's recommendation to conduct a public hearing to consider Zoning Ordinance text amendments relative to these structures.

Mr. Pollock referenced photographs provided to the Plan Commission showing monument piers and driveway walls on properties on Drew Avenue and on Lee Court. He said the monument piers on Drew Avenue would be permitted if the lots were 70,000 square feet but the lots are only 40,000 square feet. He said that one amendment to consider is to permit these structures on smaller lots. Mr. Pollock said that the driveway walls for the property on Lee Court would be permitted if the walls did not encroach into the front yard setback.

Chairman Trzupek asked for public comments and questions.

Dr. Iwanetz, 7516 Drew Avenue, said he owns the property in the photograph. He said the piers are located appropriately and are made from brick matching the home. He said the home is set back so far from the street that the piers provide lighting and a place for an address sign. He asked that the Commission consider reducing the minimum lot size for piers to 40,000 square feet.

Mr. Richard Patel, 7616 Drew Avenue, said he was the owner of the newer home on Drew with monument piers. He agreed with Dr. Iwanetz and asked that the Commission consider amending the Zoning Ordinance to reduce the minimum lot size for piers to 40,000 square feet.

Ms. Alice Krampits, 7515 Drew Avenue, said that two of her neighbors have been cited for piers and wondered why they are being cited now. She said that she has talked to other neighbors and they all agreed that the piers should be allowed to remain. She said that the homes in her subdivision are estates and should be allowed to have the monument piers.

Mr. Mark Thoma, 7515 Drew Avenue, asked about the purpose of the code.

Chairman Trzupek asked for comments and questions from the Plan Commission.

Commissioner Scott asked why 70,000 square feet. He said he is not having an issue with changing it to 40,000 square feet.

Commissioner Praxmarer said that she agrees.

**PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**VILLAGE OF BURR RIDGE**  
**MINUTES FOR REGULAR MEETING OF**  
**DECEMBER 5, 2016**

**I. ROLL CALL**

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Vice Chairperson Praxmarer.

**ROLL CALL** was noted as follows:

**PRESENT:** 5 – Stratis, Hoch, Grunsten, Broline, and Praxmarer

**ABSENT:** 2 – Grunsten and Trzupek

Also present was Community Development Director Doug Pollock, and Trustee Guy Franzese.

In the absence of Chairman Trzupek, Vice Chairperson Praxmarer was present to chair the meeting.

**II. APPROVAL OF PRIOR MEETING MINUTES**

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Broline to approve the minutes of the November 21, 2016 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 – Hoch, Broline, Stratis, and Praxmarer

**NAYS:** 0 – None

**ABSTAIN:** 1 – Grunsten

**MOTION CARRIED** by a vote of 4-0.

**III. PUBLIC HEARINGS**

Vice Chairperson Praxmarer confirmed all those wishing to speak during the public hearing on the agenda for tonight's meeting.

**Z-12-2016: 7600 and 7630 County Line Road (Med Properties Group); Special Use, Variations, and Findings of Fact**

As directed by Vice Chairperson Praxmarer, Mr. Pollock described this request as follows: The public hearing for this request was continued from the October 17 and November 21, 2016 meetings so that the petitioner could make revisions to the plans and provide additional information. The petitioner has provided revised plans which were included in the agenda packet. Mr. Pollock listed the special uses and variations being requested.

Vice Chairperson Praxmarer asked the petitioner to make their presentation.

Mr. Lance Theis, architect for the petitioner, described the changes to the site plan as follows: the north drive was made into a two way drive; a plan was provided showing how the parking lot could

be changed to provide enough parking for a general office use; a sidewalk was added along the frontage road; and the north drive was shifted south to provide greater separation from the adjacent driveway. In reference to the variations being requested, he said the setback from the south lot line was not changed because the variation is necessary to maintain the shared parking and shared access; the 20 foot setback was maintained from the rear lot line due to the need to maintain the cross access driveway with the property to the south and that a fence was provided for screening; and the variation for the front yard parking encroachment was modified so that only a very small part of the drive encroached beyond the established building line.

Commissioner Hoch asked if there would be a connection between the building and the sidewalk for employees. Mr. Thies said they would be willing to provide this connection provided it was feasible.

Mr. Thies introduced Mr. Curtis Dettman of Manhard Consulting. Mr. Dettman is the project engineer.

Mr. Dettman described the engineering plans and how the drainage that currently runs in pipes through the middle of the property will be diverted around the new building and into a detention pond along County Line Road and into the drainage ditch that flows eastward. Mr. Thies added that the detention pond is a dry pond.

Mr. Tom Lee of HDR Architects, described the building's architecture. He explained the location and screening for the rooftop equipment which is to be in one location in the middle section of the building.

Vice Chairperson Praxmarer asked for public comments and questions.

Mrs. Judy Coglianese, 8680 Heather Drive, wanted to know what address the building would use. She also asked about the building architecture and said that when the funeral home was built, they were required to make it look like a house. Mrs. Coglianese added that she is concerned that the clinic may be impacted by the number of cars going to the funeral home.

Mr. Pollock responded that the address had not been assigned but that they would likely use either 7600 or 7630 County Line Road.

Mr. Mark Thoma, 7515 Drew Avenue, said that the information provided by the petitioner was not provided in a timely manner and that the notice of the meeting in the e-briefs was for December 8 instead of December 5.

Mr. Thoma expressed his concerns with drainage and in particular a storm pipe that conveys water from his property and other properties to the frontage road. He suggested that there should be secondary means for the stormwater to flow overland if the pipe fails. He said he would like a written commitment that he and his engineer be involved in the decision making relative to the final engineering plans. Mr. Thoma also said he would like to have a gate on the fence so that he and his neighbors can access the storm drain to clear leaves and branches.

Mr. Pollock reminded the Plan Commission that engineering is not a part of the Plan Commission review. Mr. Thoma said he disagreed.

Commissioner Stratis said that engineering has never been part of the Plan Commission review and that the Commission must rely on the Village Engineer. He said he understands the concerns of the residents and would like the developer's engineer to respond to those concerns.



Ms. Anne Conidi, 8107 Park Avenue, said that the larger building will create stormwater runoff greater than what currently exists. She also referenced the findings of fact that state that a variation cannot adversely impact adjacent properties.

Ms. Alice Krampits, 7515 Drew Avenue, said that she is concerned with drainage. She asked if adding parking for general office use would require another variation. Mr. Thies said that it would not need a variation unless it was for green space coverage.

Ms. Krampits asked about the location of the fence and suggested that the fence be maintenance free. She said that she would prefer the 30 foot parking lot setback be maintained; that the building architectural does not fit in the T1 District in that it is not residential in appearance. She also asked about the metal roof, the dumpster location, parking lot lighting and the potential for buses idling on the property.

Mr. Thies responded that the fence would be located one foot off the property line; that the 20 foot setback is proposed to maintain continuity with the adjacent parking lot to the south; that they are still proposing a metal roof; that the dumpster will not contain a significant amount of medical or food waste; that the parking lot lighting would comply with Village code; and that there would not be buses idling on the property for any extended period of time.

Mr. Russell Allen, 7519 Drew Avenue, said that there is already flooding on his property and if one pipe fails, his property would be underwater.

Dr. Bohdan A. Iwanetz, 7516 Drew Avenue, described drainage in the area and said the area does not drain as well as it did five years ago.

Ms. Rita Michaels, 7520 Drew Avenue, said she has lived here for 20 years and that the Village needs to look into drainage for this area.

There being no further public comments, Vice Chairperson Praxmarer asked for questions and comments from the Plan Commission.

Commissioner Stratis said he was pleased with the answer to the potential conversion to an office use; was satisfied with the traffic study; that he would prefer to a maintenance free fence such as a vinyl fence. He said that he thought the residents were okay with the 20 foot parking lot setback if there was a fence that would prevent headlights and that he agrees with the arguments presented by the petitioner regarding the continuity with the adjacent property. He said he likes the architecture and that the building is consistent with contemporary homes in the Village.

Commissioner Stratis expressed concerns about the proximity of the sidewalk to the detention pond. He suggested a rail or barrier that would provide safety for pedestrians.

In response to Commissioner Stratis, Mr. Dettman provided further explanation of the detention and drainage in the area.

Commissioner Stratis asked about Chairman Trzupke's comments. Mr. Pollock said that Chairman Trzupke called him and said that he was generally satisfied with the petitioner's responses but asked about the material for the screening of the rooftop equipment and the separation of the sidewalk from the street and from the detention pond.

Mr. Lee said that the rooftop screen would match the building roof. Mr. Dettman said that there is 5 to 10 feet of relatively flat land adjacent to the sidewalk and it would not be a hazard if someone came off the sidewalk.

Commissioner Hoch said that the sidewalk is needed because people currently walk in the street. She confirmed that the building has a similar setback as adjacent building and that the dumpster is located in the same location. She said she would not want to see a gate on the fence. Commissioner Hoch suggested a sidewalk connection between the building and the public sidewalk. She said a darker tone metal roof would be helpful so it does not stand out as much. She said that the building is attractive and appropriate for the site.

Commissioner Grunsten said that she liked the design of the building. She said there are some more modern homes being built in Burr Ridge.

Commissioner Broline said that he had questioned how the existing pipe was going to be changed and the petitioner has addressed that question. He asked if the petitioner looked at a different roof material than metal. Mr. Lee said that they tried to balance the height of the roof with the materials. He said the metal roof allows them to keep the lower pitch of the roof for appearance and maintenance reasons.

Commissioner Broline also asked about the dumpster location. Mr. Thies said they share the dumpster with the neighbor and did not want to put in in a location that would be difficult for the neighbor.

Commissioner Broline said that the two architects on the Commission had expressed favorable review of the building and he does not question that opinion.

Vice Chairperson Praxmarer said she does not think the architecture of the building is transitional. She asked if there is a way to try to ease some of the worries of the neighbors relative to stormwater.

Mr. Thies said that Mr. Dettman has been working with the Village Engineer and they are confident that the stormwater design will work and will have greater capacity for detention than currently exists.

Mr. Pollock clarified that because engineering is not part of the Plan Commission review does not mean that the residents' concerns cannot be addressed. He said he will have the Village Engineer contact the residents to discuss the issues that were raised.

There being no further discussion, Vice Chairperson Praxmarer asked for a motion to close the hearing.

At 8:55 p.m. a **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Grunsten to close the hearing for Z-12-2016.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Broline, Grunsten, Hoch, Stratis, and Praxmarer

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Hoch to adopt the findings of fact submitted by the petitioner and recommend that the Board of Trustees approve Z-12-,2016 including special use approval as per Section VII.B.8-10 for site, landscaping and building elevation plan review; special use approval as per Section VII.C.2.i for the use of the

property for a medical office; a variation from Section XI.C.11.a(2)(a) to permit the construction of a parking lot and dumpster enclosure 20 feet from the rear lot line rather than the required 30 feet; a variation from Section XI.C.11.a(2)(c) to permit the parking lot and shared access drive without the required 8 foot setback from the south side lot line; and a variation from Section XI.C.8 to permit a parking lot drive aisle to encroach into the front yard; subject to the following conditions:

- A. Development shall comply with the submitted site plan, landscaping plan and building elevations except as specifically modified herein.
- B. The fence on the rear lot line shall be a maintenance free fence such as vinyl.
- C. A sidewalk connection shall be provided between the building and the proposed public sidewalk.
- D. The design and location of the proposed public sidewalk shall be subject to staff review and approval and may include a railing between the sidewalk and detention pond if determined appropriate by staff.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Stratis, Hoch, Grunsten, Broline, and Praxmarer

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

**V-07-2016: 15W241 81<sup>st</sup> Street (Paulan); Variation and Findings of Fact**

As directed by Vice Chairperson Praxmarer, Mr. Pollock described this request as follows: The petitioner recently built an addition and a detached accessory building on the property at 15W241 81st Street. The petitioner now seeks to enlarge the driveway and to add a patio. The Zoning Ordinance limits horizontal coverage of a rear yard to 30%. With the patio and enlarged driveway, the total horizontal coverage of the rear yard would be approximately 45%.

Mr. Pollock added that the petitioner provided updated numbers on the area of the rear yard and the coverage. Those numbers were provide in writing to the Plan Commission at the meeting. He also said that staff was mistaken in the staff report that the petitioner is using porous pavers. The driveway pavers are impervious.

Vice Chairperson Praxmarer asked the petitioner to make their presentation.

Mr. Ken Paulan introduced himself as a forty year resident of the Village and the owner of the property at 15W241 81<sup>st</sup> Street. Mr. Paulan said the property is unusual in its shape and the location of the house so far in the back of the property. He described drainage and showed photos of existing conditions on the property.

Vice Chairperson Praxmarer asked for public comments and questions.

Ms. Anne Conidi, 8107 Park Avenue, said that the pond on the front of the property was lined with cement and stone. She said her property is flooding for the first time this year. She complained about the noise from the construction on the property which bothers her tinnitus. She said that there was no hardship that would justify the variation. She said the owner made a choice to use most of the 30% permitted coverage for the large barn. She said the construction has been going on for four years and there have been numerous violations for construction hours and cutting of stone without a wet saw.



**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF AUGUST 15, 2022**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 6 – McCollian, Petrich, Broline, Stratis, Morton, and Trzupek

**ABSENT:** 2 Irwin and Parrella

Community Development Director Janine Farrell was also present.

**II. APPROVAL OF PRIOR MEETING MINUTES – AUGUST 1, 2022**

Commissioner Broline requested that on page 9, his comment be clarified that he supported allowing plows during snow season.

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Stratis to approve the amended minutes of the August 1, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 Petrich, Stratis, McCollian, Broline, Morton, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

**III. PUBLIC HEARINGS**

Chairman Trzupek noted that the first case on the agenda, Z-17-2022, was withdrawn by the petitioner.

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

**A. Z-21-2022: 510 Village Center Dr. (Garcia/Coopers Hawk Winery & Restaurant);  
Special Use, PUD Amendment, and Findings of Fact**

Chairman Trzupek asked for a summary of the petition. Director Farrell stated that Coopers Hawk is seeking to amend their current special use in order to have a new roof extend over the patio.

2. The special use shall substantially comply with the submitted site plan and illustrations. Staff shall confirm the architectural details of the roof structure.
3. Music and all other amplified sound originating from the restaurant should be kept to a level so as not to be audible from residential units.
4. Tables shall be cleaned promptly following use.
5. Furniture and umbrellas (if present) shall be weighted to prevent their movement in the wind. There shall be no text or logos on the umbrellas (if present).
6. Outdoor food preparation, storage, or display is prohibited.
7. All umbrellas, furniture, and other appurtenances shall be sorted off-site during the winter season when the patio is not being used for outdoor dining.
8. The special use shall comply with the previously approved landscaping plan from the 2012 approval, Ordinance #A-834-04-12.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Petrich, McCollian, Stratis, Broline, Morton, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

**B. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact**

Chairman Trzupek introduced the case and asked for a summary. Director Farrell stated that the petitioner is MedProperties LLC with Shirley Ryan Ability Lab as tenant. The petitioner is looking to amend their existing approvals in order to reconfigure the parking lot and is requesting a variation to permit parking in the front yard. Parking in the front yard is only allowed in the Business districts. A summary of the changes includes elimination of landscape islands on the west and reconfiguring parking spaces, parking spaces added to the north and within the front yard, some ADA spaces eliminated but added in other areas, the drop-off outpatient area to the south reconfigured so there is more parking with a smaller loading area and parking islands removed as well. There are 83 spaces existing and 113 spaces proposed. The landscape plan is unchanged except for removal and planting of trees from the landscape islands and additional landscaping added near the front yard spaces. The following documents were received after the packets were distributed: an updated landscape plan showing relocation of parking lot lights, two objection letters, and a memo from Village Engineer David Preissig regarding stormwater.

Chairman Trzupek asked if the petitioners were present and wished to speak. Caitlyn Culbertson, Elrod Friedman LLP, provided an overview of the request. Ms. Culbertson stated that there are no changes to the use or the building itself. Shirley Ryan Ability Lab is a premier rehabilitation facility providing expert care. The proposed additional parking will alleviate parking congestion. The van transportation program was eliminated due to the pandemic and now patients are being transported individually which results in an increased need for parking. There is no change to hours of operation or intensity of use. The property is unique with two entrances, south for outpatient and north for day rehab. The shape and size of the parcel limit the parking. Trees being

removed will be replaced one to one and landscaping added on perimeter lot lines. Trudy Buehler, Mackie Consultants, further explained the changes proposed. The drop off area was reduced due to the van program elimination. An ADA ramp is added to the northwest to alleviate the congestion for dropping individuals in wheelchairs. A preliminary review of stormwater shows that modifications of outlet structures will raise the detention water level and can accommodate the increase in impervious. It will be verified through final engineering. Chairman Trzupek confirmed that water retained in the pond will increase. Ms. Buehler stated that they will need to confirm the extra water retained will not impact drainage downstream since there is extra water to release.

Chairman Trzupek asked for public comments.

Andy Paulius, 7523 Drew, asked if the van program was permanently eliminated. Ms. Culbertson confirmed. Mr. Paulius believes the van program will come back since COVID restrictions have lessened. Ms. Culbertson stated that there is no plan to bring it back. Mr. Paulius said that the site is not suitable for a medical facility. Mr. Paulius stated that the fence is in a ditch and does not block anything and garbage pick-up on weekends is early in the morning and disruptive. Mr. Paulius stated that it is hard to take Shirley Ryan Ability Lab by their word and recommended they move where there is more space.

Mark Thoma, 7515 Drew, stated that if the level of the detention pond is raised, the water will back up to the neighboring properties due to an old drain tile. Mr. Thoma discussed the path of drainage for the tile and that there are issues with water flowing through the tile currently. Mr. Thoma did not support the added parking due to more traffic, more headlights coming through the fence, and more noise. Mr. Thoma stated that parking in the front yard is out of character for the community. Mr. Thoma stated there was an increase in drainage on his property but is concerned that this will be step backwards.

Chairman Trzupek noted that there were positive effects of drainage but that it cannot go backwards.

Alice Krampits, 7515 Drew, would like to see the van program brought back, was concerned about the safety of cars turning in off Frontage Rd. at the north entrance with the parking in the front yard, and did not support parking in the front yard. Ms. Krampits confirmed with Chairman Trzupek that the dumpster location is not moving. Ms. Krampits would like to see the removed trees replanted, alternative plans like leasing parking spaces, and more green space. Ms. Krampits questioned how much more growth will occur for the Shirley Ryan Ability Lab and where people will park during construction.

Carol Novak, 7508 Drew, confirmed the variation for the five spaces in the front yard with Chairman Trzupek and believes it will change the aesthetics of the area.

There were no additional public comments. Chairman Trzupek asked for Commissioner discussion.



Commissioner Morton asked if the number of patients being seen would increase with the changes proposed. Ms. Culbertson responded it will not and meets the existing needs of the use. Commissioner Morton was concerned about the headlights and questioned the hours of operation. Jack Sullivan, a representative for MedProperties, stated that the clinic is open 6:30 a.m. to 6:30 p.m. for employees. Commissioner Morton would like to see a condition about raising the fence to address the issue of headlights sweeping across people's homes on Drew Ave. Commissioner Morton asked about other light sources escaping the property. Ms. Culbertson stated that they will comply with Ordinance requirements and are sensitive to light concerns. Mr. Paulius stated that it is the building's interior lights which are of concern. Chairman Trzuppek stated that the interior lights should be addressed. Mike Trippiedi, Trippiedi Design, confirmed the parking lot lights along the western property line are shielded. Ms. Culbertson confirmed that they will look at the interior light issue. Commissioner Morton regretted the elimination of the van program.

Commissioner Stratis agreed comments made by Commissioner Morton and Mr. Thoma. Commissioner Stratis did not support five parking spaces in the front yard since Ordinance requirements would be met without them but supported the spaces if that meant alleviating parking congestion. Commissioner Stratis confirmed with Director Farrell that the updated landscape plan complied with green space regulations. Director Farrell also confirmed fence regulations. There was discussion about the neighboring Montessori school and the fence height which was approved for that development. Commissioner Stratis was pleased with the development but stated that it must comply with photometric requirements and that the potential to tint windows should be explored. Commissioner Stratis reaffirmed that the stormwater would be reviewed by multiple jurisdictions in order to be approved.

Commissioner Broline would like to see detail on addressing the issues brought up and was concerned about the precedent set approving the five spaces in the front yard.

Commissioner Petrich confirmed with Director Farrell that the Business District is the only district which allows for parking in the front yard. Commissioner Petrich supports the request since that area is not adjacent to residential. Commissioner Petrich observed traffic at the site and noted a heavy pick-up/drop-off at the north end. Mr. Sullivan confirmed that there are a.m. and p.m. blocks of time when there is more traffic. Commissioner Petrich asked how the van program functioned. Mr. Sullivan was unsure on the logistics of the van program. Commissioner Petrich asked for clarification of where the parking lot lights were to be relocated. Mr. Trippiedi said one is next to the ADA spaces near the entrance and one will be moved east towards the detention.

Commissioner McCollian did not have an issue with the requests, but wanted to ensure that residents' issues were addressed.

Chairman Trzuppek disclosed that he has worked with Mackie Consultants on other projects, but not on the Shirley Ryan Ability Lab. Chairman Trzuppek is not thrilled with parking in the front yard, had concerns about the safety of the north entrance, but supported the overall plan and parking. Chairman Trzuppek wanted the petitioners to confirm that there is no impact to drainage, how to mitigate the headlight issue with the fence, addressing overall lighting issues, and the garbage pick-up times. Chairman Trzuppek polled the Commissioner on whether to table the

request and if there was support for the requests. The Commissioners generally agreed that the plan is acceptable but would like to see the petitioner work on the issues mentioned.

Commissioner Petrich also requested information on why the van program was eliminated.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-22-2022 until September 19, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Morton, McCollian, Petrich, Stratis, Broline, and Trzupsek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 6-0.

#### **V. CORRESPONDENCE**

Commissioner Stratis was the Board meeting representative on August 8 and stated that the Trustees did not like the design of the homes for the Cottages of Drew development and felt that they were homogeneous.

#### **VI. OTHER CONSIDERATIONS**

There were no other considerations.

#### **VII. PUBLIC COMMENT**

There was no other public comment.

#### **VIII. FUTURE MEETINGS**

Chairman Trzupsek confirmed that the August 22 Board meeting and September 5 Plan Commission meetings have been cancelled.

Director Farrell confirmed that the September 12 Board meeting would have Ordinances for Cottages of Drew, Thorntons, and the Rohan variation on the agenda.

#### **IX. ADJOURNMENT**

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Stratis

**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF SEPTEMBER 19, 2022**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 6 – Irwin, McCollian, Petrich, Broline, Morton, and Trzupek

**ABSENT:** 1– Stratis

Commissioner Parella arrived at 7:03 p.m.

Community Development Director Janine Farrell was also present.

**II. APPROVAL OF PRIOR MEETING MINUTES – AUGUST 15, 2022**

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Petrich to approve the minutes of the August 15, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – McCollian, Petrich, Broline, Morton, and Trzupek

**NAYS:** 0 – None

**ABSTAIN:** 1– Irwin

**MOTION CARRIED** by a vote of 5-0 with one abstention.

**III. PUBLIC HEARINGS**

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

**A. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact**

Chairman Trzupek introduced the case and asked for a summary of the petition. Director Farrell stated that this case was continued from the August meeting and is a request to amend Ordinance #A-834-02-17 for a special use for final plat approval. The petitioner is requesting



to reconfigure the existing parking lot and add additional spaces. The proposal and site plan have not changed since the August meeting. Director Farrell displayed the plan on the screen and noted the proposed changes. At the August meeting, lighting, fence, the van program, trash pick-up, and stormwater were brought up and discussed. The petitioner provided an updated addendum providing responses to these items. Regarding the lighting, the petitioner has worked with the cleaning crew to change the route inside the building. The cleaning crew had been turning on all the lights in the building and working from one end of the building ending at the west end. They will now be starting at the west end and turning the lights off as they go. For the trash, SRA has worked with the company to ensure that pick up does not occur earlier than 7:00 am on Wednesdays and Thursdays for trash and recycling. It was brought up that the fence may be inadequate for blocking the headlights on the property. After consultation with the Village attorney, the fence must be altered through a separate request. The petitioner provided information about the cost to replace the fence. Regarding the stormwater concerns, the petitioner provided a revised stormwater plan which shows no impact to neighbors. The Village Engineer provided a memo with his review, distributed to the Commissioners.

Chairman Trzupsek asked how the agreements about trash pick-up and the cleaning crew would be memorialized. Director Farrell stated that a condition can be added requiring the petitioner to abide by the addendum provided.

Chairman Trzupsek asked if the petitioner was present and if they had anything to add.

Caitlyn Culbertson responded that they wish to be good neighbors and contact information will be provided to residents if there are any problems that persist or come up in the future.

Chairman asked if there were any public comments.

Mark Thoma, 7515 Drew, stated that the fence must be higher due to the facility's size and that it's too busy for a residential area. Mr. Thoma discussed the drain tile and dry well that are connected and stated that the high water limit will flow backwards on neighboring properties and flood yards. Mr. Thoma stated that the 12 acres which flows into the one 18" pipe will be restricted. Mr. Thoma stated that drainage has improved on his property but he is concerned that it will go backwards if the project is approved.

Chairman Trzupsek believed the 18" pipe could not be changed originally because of limitations downstream. Mr. Thoma said that he doesn't recall the exact conversation.

Trudy Buehler, Mackey Consultants, stated that the drain tile comes down to the dry well and is a separate system from the onsite stormwater which flows to the detention basin. Ms. Buehler discussed infiltration and the need for soil samples to check hydrology and how the basin and dry well are connected. Ms. Buehler stated that there will be no modification to the outlet control structure so there will be no change in the volume of water coming out, only the duration.

Chairman Trzupsek and Ms. Buehler discussed the dry well, detention basin, and the need to understand how it works and how the water flow will impact the system.

Caitlyn Culbertson stated that they do not want go backward or to negatively impact the neighbors.

Andy Paulius, 7523 Drew, asked about the cost of the fence and whether the petitioner wants to fix the lighting and fence.

Chairman Trzupsek and Mr. Paulius discussed the separate approval that the fence would require.

Mike Trippiedi, landscape designer, spoke about the 400 linear feet of fence and its installation on the embankment of the swale. The fence cannot be retro fitted. It must be rebuilt to accommodate wind shear and load with the height addition. He said the fence would not fit on the upslope of the swale and would ultimately end up at the same elevation as it is currently.

Chairman Trzupsek and Mr. Trippiedi discussed the location and retrofitting the fence.

Commissioner Irwin requested a report with the quote for the fence.

Jack Sullivan, MedProperties, stated that the price was for two different heights of fence, 8' and 10', and that it is not feasible to add on to existing fence.

Chairman Trzupsek requested information on how much light goes over and how much fence is needed.

Mr. Sullivan discussed cleaning crew parking and vehicle lights. The cleaning crew is now asked to park on the north and south side of the building which will mitigate the light coming over the fence.

Ms. Culbertson provided photos of landscaping along the fence to help block lights. Ms. Culbertson stated that they followed all of the requirements when installation was done.

Mr. Sullivan noted the cleaning crew's route inside the building will change, starting on the west side, and turning off lights as they go.

Mr. Paulius stated that there are no trees that block light and showed a picture of the property lit up at night.

There was a discussion about the light source, landscaping, and it was noted that parking lot lights should be shielded.

Russ Allen, 7519 Drew, stated that he has light coming directly into his windows at night and has concerns about stormwater.

Alice Krampits, 7515 Drew, asked if only a portion of a higher fence be done.

Chairman Trzupke asked for Commissioner discussion.

Commissioner Morton stated that lights should be shielded and was concerned that the sock lining can clog draining of stormwater. Commissioner Morton asked how residents can voice concerns.

Ms. Culbertson stated that the front desk staff was advised that upper management should be alerted when a complaint comes in. SRA wants to make sure that there is a streamlined process for resident concerns.

Commissioner Morton requested that the hydrology between the dry well and detention be investigated and understood so there are assurances that drainage will not be negatively impacted.

Commissioner Broline confirmed with Ms. Buehler that soil boring test would be done to determine the connection between the dry well and basin. Commissioner Broline asked if a partial fence can be looked at.

Commissioner Petrich asked the petitioner to again confirm that the light pole near the northeast corner of the property is not being removed, since this removal is still indicated on the proposed site plan. The petitioner again confirmed no light poles are being completely eliminated, just relocated. Commissioner Petrich requested that all the drawings be updated to reflect the relocation and not removal. Commissioner Petrich asked about the use of the overflow parking at the Village Hall being increased from 10 to 30, and who will use this overflow parking. The petitioner indicated that staff currently uses this, and it will be used for overflow when construction occurs. Commissioner Petrich suggested that possibly caregivers and family who wait in a parking space during the outpatient visit use this overflow lot to open up on-site parking spaces for other unoccupied vehicles.

Commissioner Parrella requested exploratory tests for the drainage and is concerned about the aesthetics of the partial fence. Commissioner Parrella confirmed with the petitioner that mesh roller shades are on the windows.

Commissioner McCollian requested the petitioner review the dry well and the lighting.

Commissioner Irwin initially believed that this use was appropriate for the Transitional District and the approval was conditioned upon the neighboring property owners being satisfied. Commissioner Irwin requested that the issues mentioned be addressed and does not support the expanded parking into the front yard.

Chairman Trzupke understands the need for the additional parking at the front. Chairman Trzupke requested that the petitioner review how the dry well functions and that the Village Engineer reviews the information. Chairman Trzupke stated that fixing the interior lights should be easy to address but the fence and headlights along the property line are an issue. Chairman Trzupke requested that the petitioner come back with a solution and verify the exact height of the fence that is needed and where to block the lights.



to the Village and its engineering consultant during a pre-application permit meeting on November 9, 2022.

Director Preissig advised that tree removal necessary for the project may possibly commence this winter to avoid potential disruption of Northern Long-Eared Bat habitat. A slide of information with new guidance from the State, and how the bat will be classified as an endangered species, requires that advancing the tree removal should be conducted this winter with a County-approved plan. Committee Member Malhotra requested a schedule for the tree removal.

Member Malhotra asked for a Project Management Plan, Gantt Chart, and cost estimation, or any such information that is available at this time. He stated concern for the cost and delivery timeline of the Elm Street Culvert Replacement Project.

## **CONSIDERATION OF STORMWATER MANAGEMENT REPORT PREPARED FOR THE SHIRLEY RYAN ABILITY LAB PARKING LOT IMPROVEMENTS**

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Director Preissig informed the Committee that Burr Ridge Plan Commission meetings were held this past August and September, at which meetings the petitioner presented a case requiring a variation to reconfigure the parking lot at the Shirley Ryan Ability Lab (7600-7630 County Line Road). The proposed project includes elimination of landscape islands on the west and reconfiguring parking spaces, expanding the parking lot along the north lot line and within the front yard to add parking spaces, relocating ADA spaces to other areas, and reconfiguring a drop-off outpatient area on the south for more parking and a smaller loading area. There are 83 existing spaces, and the project would result in a total of 113 spaces, along with a net increase of 4,073 square feet to the site's impervious area.

Trudy Buehler, of Mackie Consultants, LLP, as the civil engineering consultant for the petitioner, gave a presentation to the Stormwater Management Committee regarding this project and how the existing stormwater storage facility will be modified to accommodate the runoff from the additional impervious area of the parking lot reconfiguration. Ms. Buehler highlighted the existing stormwater conveyance systems – one for the offsite flows from the west and north that outfalls to the existing ditch, and a separate onsite collection system that outfalls to the pond. She showed the pond high-water level increasing by approximately four inches (4") for the additional stormwater detention required. Ms. Buehler provided cross-sections and soil boring logs that confirmed the composition of the clay soil, which is largely impermeable and keeps water from seeping between the SRAL detention area into the existing dry well. Director Preissig informed the Committee how the existing stormwater storage facility serves both functions of stormwater detention and water quality improvement.

Member Krampits acknowledged that her home is immediately adjacent and borders this property to its west, from which all runoff goes into the ditch on the SRAL property. She expressed concern that the parking lot project includes a lot of additional impervious area and questioned if the existing stormwater facility was actually large enough. She stated that the 2017 new construction of SRAL improved runoff from her property, but now she is concerned that the new high-water line of the pond will be at the same elevation as the lowest area of her rear yard. The consultant responded with the diagram presented earlier that identified the separation of offsite and onsite

stormwater systems, and how the increase needed to the pond's high-water elevation will not affect the pipe conveyance of stormwater from the ditch near her property.

Member Malhotra asked if the petitioners proposal meets the Village staff review. Director Preissig advised that the plan is still preliminary in this stage of review by the Plan Commission and that it has not been formally submitted for a Village permit review. However, based on the information provided to-date that has been reviewed by the Village, Director Preissig stated that the stormwater management plan and report are correct in the engineering methods, formulas, and volume calculations that would be necessary to meet the Village's stormwater ordinances if submitted for a Village permit review.

Trustee Paveza asked for the amount of time it would take to drain the pond, to which the consultant stated that it would take 24 to 48 hours to fully drain the pond.

Member McCracken inquired about the change to residency time for the stormwater in the pond. The consultant responded that the weir adds a few hours to this water quality function. Member McCracken asked if there were other considerations given to lowering the CN (direct runoff factor). The consultant responded that these additional methods to reduce runoff were not considered since mitigation for the added impervious area could be effectively and economically accommodated by modifying the existing stormwater storage facility.

Chairperson Trustee Franzese asked for the increased square footage of the pond water surface when the high water level is increased. The consultant responded that the surface changes by 500 square feet. Trustee Franzese said he was thankful for the many rehabilitation services and lives changed by the staff at SRAL in Burr Ridge.

Mr. Thoma provided plans and information from the 2017 new construction project of the site. He identified an error in the consultant's statements for the amount of offsite area that is actually tributary to this site. Ms. Buehler concurred that her presentation misstated this tributary area, but that the report shows this area correctly and matches the figure in the plan sheet provided by Mr. Thoma. Mr. Thoma noted that the new high-water level of the SRAL detention basin is proposed at 706.5' but the lowest level of his adjacent yard is 705.5' feet. Mr. Thoma continued with details for how the 2017 new construction and its reconnection of the farmers' tile had corrected a long-forgotten Village misstep, which has since resulted to help his property drain in about a day after major storms. He expressed concern for Ms. Buehler's statement that the soils are impermeable because water flows quite well as proven by the current drainage since this farmers' tile was repaired. He expressed further concern that the proposed project not set the course backwards on those improvements already made to the neighboring properties' rear yard drainage.

A **MOTION** to recommend approval of the stormwater facility modifications as part of the proposed improvements to the Shirley Ryan Ability Lab was made by Member Montelbano. The motion was **SECONDED** by Member McCracken and **APPROVED** by a voice vote of 7-0.

# EXHIBIT F

Village of Burr Ridge Zoning Department  
7660 County Line Road  
Burr Ridge, IL 60527

Re; Z-22-2022 Med Properties Variation

Village of Burr Ridge Zoning Department,

I own the home directly behind the Shirly Ryan Ability Lab, 7519 Drew Ave. and am opposed to the parking lot expansion.

My number one reason is, despite the fence along the west property line, during the winter months headlights from the cars shine directly over the fence into the first floor of my home. When the fence was constructed it was put on the west side of the drainage ditch which is about 3 feet below the parking lot level making the effectiveness of the fence to block headlights useless.

Secondly, I am not a fan of changing the agreed upon design of green space just because a developer has overbuilt on a piece of property.

Lastly, because we are in a flood prone area we are always concerned when more blacktop and concrete is added creating more water runoff.

Thank you for your consideration.



Russ Allen  
7519 Drew Ave.  
Burr Ridge, IL 60527



**From:** [Andrius Paulius](#)  
**To:** [Janine Farrell](#)  
**Subject:** Re: Comments against changing zoning at Ability Lab  
**Date:** Monday, October 10, 2022 9:12:16 PM

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If you could forward on additional note as this is still ongoing I would appreciate it.

To the board just want to follow up as the petitioner said they had already implemented changes where they would cycle lighting in some fashion but I have been seeing it be even more disruptive than ever lately with all lights on and on later, even as of right now tons of activity in the lot and lights glaring on all windows straight into our kids bedroom and all their partial shading not being used. I am trying very hard to give them the benefit of the doubt but I am shocked at how little they care and just come to the meeting with updates that are not even actually happening. Hopefully they can come up with a better solution that is binding before they can actually do any expansion with physical changes since they cannot be taken at their word.

thanks,  
Andrius

On Mon, Aug 15, 2022 at 12:48 PM Janine Farrell <[jfarrell@burr-ridge.gov](mailto:jfarrell@burr-ridge.gov)> wrote:

Hello Andy,

I've received your email and it will be handed out to the Commission this evening. Please note that the packet was distributed last week, so it will not be included until after the meeting.

Thank you,

Janine Farrell, AICP

Community Development Director

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**From:** Andrius Paulius <[andrius.paulius@gmail.com](mailto:andrius.paulius@gmail.com)>  
**Sent:** Monday, August 15, 2022 11:11 AM  
**To:** Janine Farrell <[jfarrell@burr-ridge.gov](mailto:jfarrell@burr-ridge.gov)>  
**Subject:** Comments against changing zoning at Ability Lab

From:

Paullus Family

7523 Drew Ave, directly behind property



We are strongly against any more changes to zoning at the property.

When initially approved a few years back we were told this would be a good fit to the transitional zone and not be an expansive healthcare facility. We were told there would not be any extra traffic, disruption to our property, and would blend in perfectly. We were against the changes because the fear was that the facility would keep growing beyond what the property could handle but were assured this would not be the case and the property owners agreed to put up a fence to block the light traffic in the parking lot which already expanded deeper than was previously allowed.

After approval the following happened:

1) the fence was built into a ditch not at street height. All parked cars can be seen directly from our home unlike what was promised, with headlights blaring into our home. We called to explain the fence was not properly installed and the property owners completely ignored the requests now that they had approval. This is still an issue and now more spots are being proposed to be added. Subsequent fences added at adjacent properties were built higher but ability lab ownership ignored homeowners and did nothing. We planted arbovitae to try and help with this but it still does not block and cost our family 15k of our own money. Many of the trees are now dying to constant exhaust, and there is garbage constantly along the property line. It's funny that once approval comes through all bets are off and it's mostly hollow talk. I expect this to happen again if they are approved.

2) Traffic steadily increased since initial approval, where now every spot is full at all hours of day and there is a backflow of people waiting to park and circling on the residential streets where there are no sidewalks and many children reside. As expected they are booking more appointments and expanding into a massive facility that was never meant to be in this location which was the neighborhood's concern in the first place. Now they are asking for 30 pct more spots saying there is 0 impact which makes no sense and defies logic. There has been since added a montesorri that is adding more traffic and this would just compound on that.

3) The facility has lights on after hours blaring into homes, not to mention the headlights due to the lower fence explained in point 1. We called about lowering or turning off lights and

were ignored by property once again.

4) Garbage pickup was occurring at 6:30-7:00 am with a dumpster slamming on weekends. Called to ask if they could move to normal business hours and were ignored once again.

5) Large traffic backup with county line which will just get worse with a 30 pct expansion. I also expect the reasoning of buses blocked by covid restrictions to go away once their expansion is approved so there will be even more traffic. As these types restrictions are being removed completely but still being used as reasoning in the proposal to expand which again makes no sense.

We are against any more zoning changes to the property. In summary special zoning changes were made prior and we were told they would not expand further. The fence and building went against everything they said and do not care at all about the neighboring homeowners concerns. I hope the board does not allow any more zone changes at this property unless they can negotiate in good faith with the community and repair/increase the size of the fence and then agree to discontinue their van program otherwise the status quo should be kept. Ownership knows that there is NO room for expansion and should consider building another facility that can better accommodate their needs elsewhere.

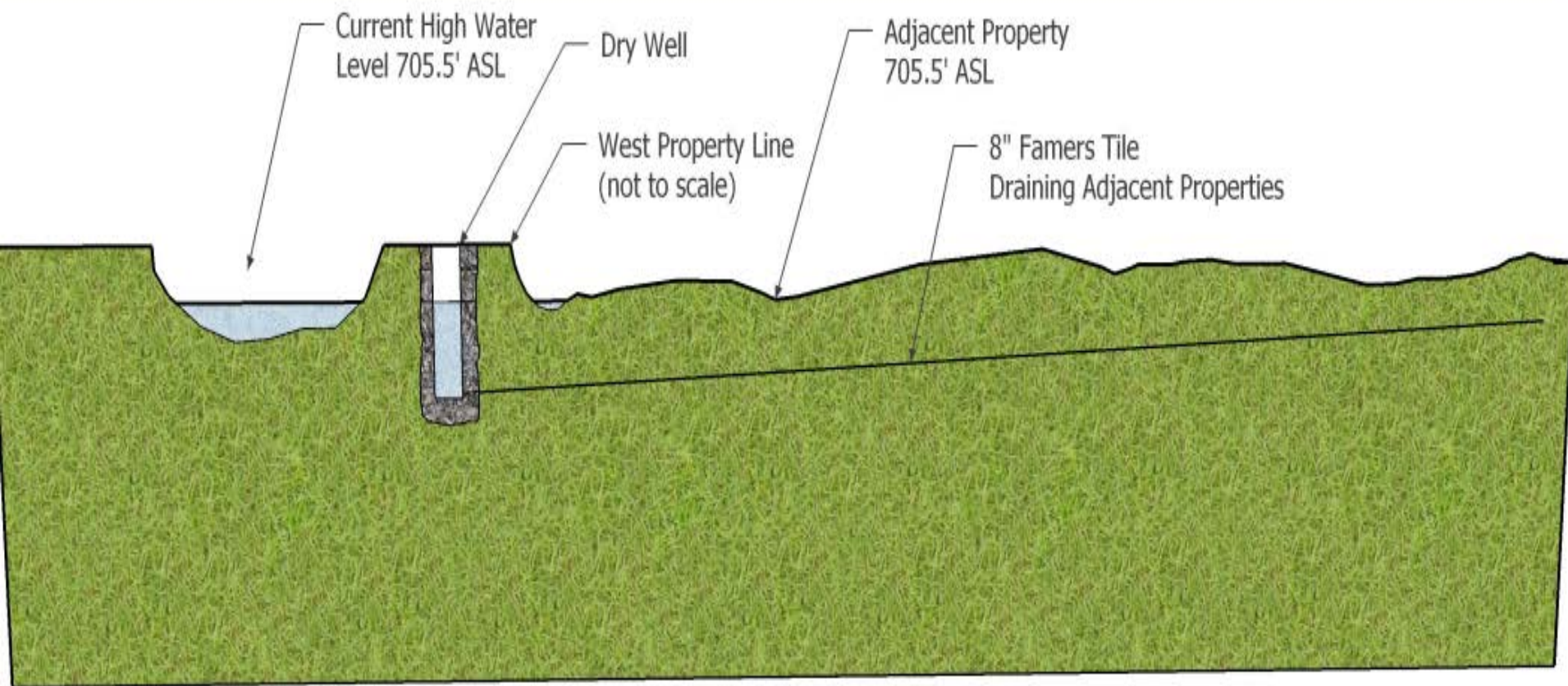
We are out of town but hope you can consider our concerns and other neighbors by rejecting this expansion.

Thanks,

Paulius Family







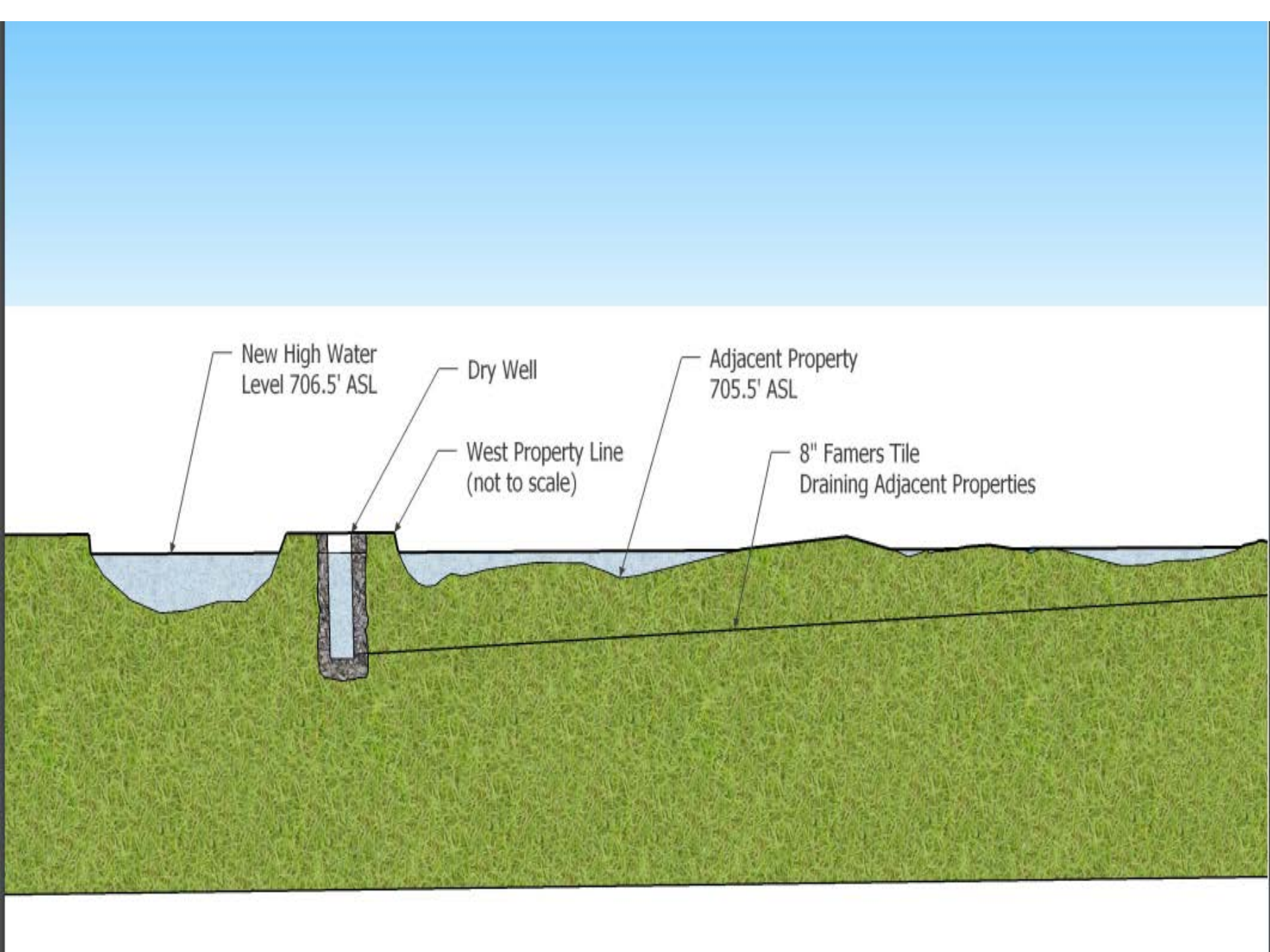
Current High Water Level 705.5' ASL

Dry Well

Adjacent Property 705.5' ASL

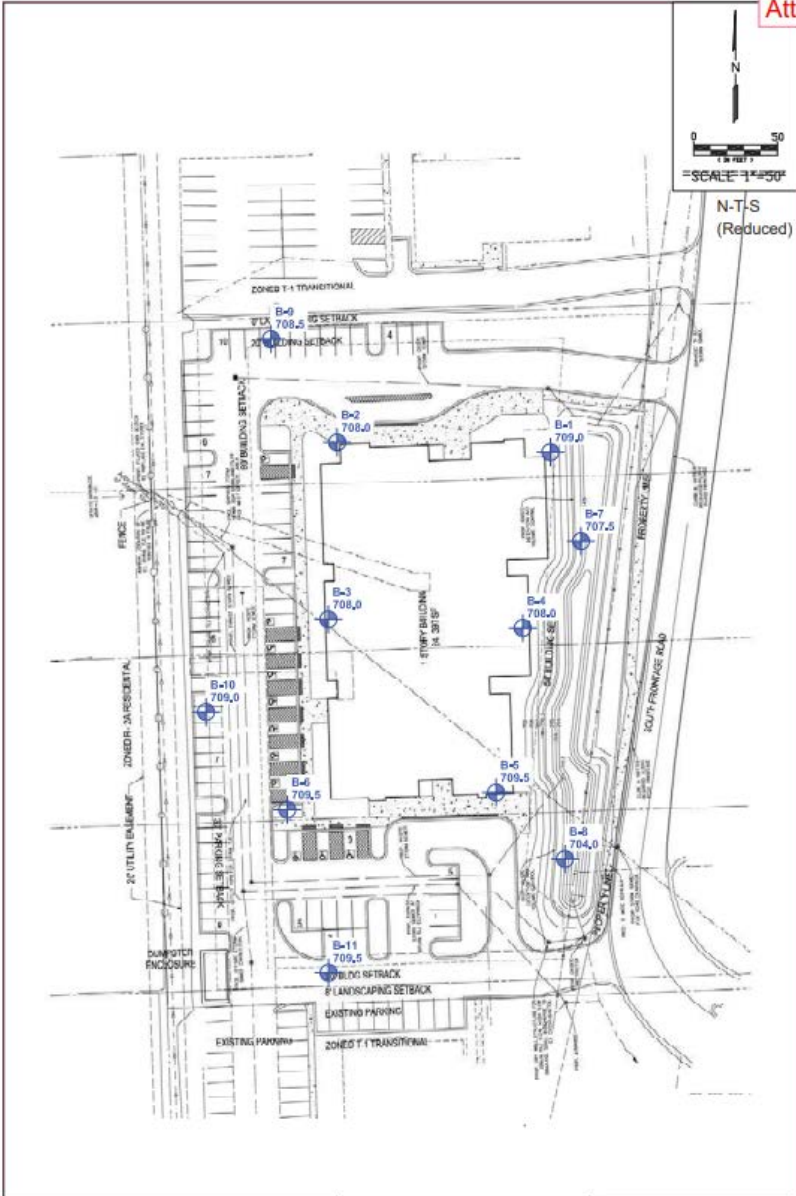
West Property Line (not to scale)

8" Farmers Tile Draining Adjacent Properties









**NOTES:** GROUND SURFACE ELEVATIONS AT THE BORINGS WERE ACQUIRED BY TSC USING A TRIMBLE RB GNSS RECEIVER. BEING ROUNDED TO THE NEAREST 0.5 FOOT.

**LEGEND**  
 SOIL BORING LOCATION

**BORING LOCATION PLAN**  
 RIC OUTPATIENT FACILITY  
 7630 COUNTY LINE ROAD  
 BURR RIDGE, ILLINOIS



TESTING SERVICE CORPORATION  
 457 EAST GUNDERSEN DRIVE  
 CAROL STREAM, ILLINOIS 60138

DRAWN BY: ABQ	PAGE NO.
CHECKED BY: AJB	1 OF 1
JOB NO.: L-86,243	
DATE: 01-25-16	



HDR Engineering/Architecture, Inc.  
RIC Outpatient Facility, Burr Ridge, IL  
L-86.243 - January 27, 2017



using a Trimble R8 GNSS Receiver which uses the North American Vertical Datum of 1988 (NAVD88), being rounded to the nearest 0.5 foot.

Borings 1 - 6 in the building area were extended 15 feet below existing grade, with Borings 7 and 8 for the proposed detention basin also to 15 feet and Borings 9 - 11 in pavement areas to 5 feet. They were drilled and samples tested in accordance with currently recommended American Society for Testing and Materials specifications. Soil sampling was performed at 2½-foot intervals in conjunction with the Standard Penetration Test (SPT), for which driving resistance to a 2" split-spoon sampler (N-value in blows per foot) provides an indication of the relative density of granular materials and consistency of cohesive soils. Water level readings were taken during and following completion of drilling operations, with the boreholes then immediately backfilled for safety reasons and those in pavement areas also patched at the surface.

Soil samples were examined in the laboratory to verify field descriptions and to classify them in accordance with the Unified Soil Classification System. Laboratory testing included water content determinations for all cohesive and intermediate (silt or loamy) soil types. An estimate of unconfined compressive strength was obtained for all cohesive soils using a calibrated pocket penetrometer (Qp), with actual measurements of unconfined compressive strength (Qu) performed on representative samples of native clay soils. Dry unit weight tests were also run on specimens of clay fill.

Reference is made to the attached boring logs which indicate subsurface stratigraphy and soil descriptions, results of field and laboratory tests, as well as water level observations. Definitions of descriptive terminology are also included. While strata changes are shown as a definite line on the boring logs, the actual transition between soil layers will probably be more gradual.

#### **Discussion of Test Data**

Boring 1 was performed in an existing sidewalk, encountering 4½" P.C. concrete underlain by 5 inches granular base course materials. Borings 2, 6 and 9 - 11 (5 total) were drilled in existing pavement areas, revealing 2 to 5 inches bituminous concrete underlain by 5 to 12 inches granular base. The pavement thicknesses were estimated from the disturbed sides of the augered boreholes and should be considered approximate; pavement cores may be taken if more accurate measurements or descriptions of the pavement (including possible fabric interlayers) are required.

Borings 3 - 5, 7 and 8 were taken in existing landscaped and ditch areas, revealing 8 to 11 inches surficial topsoil respread at the surface or under a layer of mulch (B-4). The topsoil layer in Boring 3 was underlain by a few inches of crushed stone. Fill materials were encountered below the pavement section at Borings 1, 2, 9 and 11 and below the topsoil respread/crushed stone materials in Borings 3 - 5, 7 and 8, extending to depths typically ranging from about 3 to 8 feet below existing grade (only 1½ feet deep at B-8).

The fill materials consisted of silty clay soils with variable amounts of organic matter/topsoil. Samples of the cohesive fill exhibited variable dry unit weights and water contents ranging from 87 to 116 pounds per cubic foot (pcf) and 16 to 33 percent, respectively. The pocket penetrometer readings were also variable and ranged from 0.5 to 3.75 tons per square foot (tsf). These data represent fill materials that were not placed for the most part under controlled conditions, i.e. a non-engineered fill.





An apparent native topsoil layer was found buried beneath the fill materials in Borings 4, 5, 7 and 8, extending to depths ranging from about 3 to 9 feet below existing. Samples of the clayey topsoil materials exhibited relatively high moisture contents typically ranging from 36 to 42 percent.

The uppermost few feet of native soils below fill and buried topsoil materials in Borings 2, 4, 5 and 7 - 9 consisted of silty clay of apparent medium to high plasticity. These CL/CH materials (Unified classification) were typified by moderate unconfined compressive strengths ranging from 1.0 to 2.5 tsf at relatively high water contents of between 24 and 32 percent. Very soft to soft and very moist silty clay soils were found underlying the fill materials in Boring 3, extending to a depth of 10½ feet below existing grade. Samples of the very soft to soft cohesive soils exhibited unconfined compressive strengths/pocket penetrometer readings of 0.25 to 0.5 tsf at water contents of 24 to 36 percent.

Native soils below pavement section, existing fill and buried topsoil materials otherwise consisted predominantly of tough to hard silty clays, with an approximate 2 to 3-foot thick layer of stiff (medium) silty clay found at a depth of 5½ feet in Boring 8. They exhibited unconfined compressive strengths ranging from about 1.0 to 4.5+ tsf at water contents typically between 14 and 21 percent (occasionally both lower and higher).

Borings 6, 9 and 10 were "dry" both during and upon completion of drilling operations. Free water was found trapped within topsoil/granular base materials at depths of 6 to 12 inches below existing grade in Borings 3 and 11. Free water was otherwise found in the borings at depths ranging from 3 to 10 feet below existing grade.

#### **Analysis and Recommendations**

##### **1) General Overview / Bearing Table**

As previously discussed, the proposed redevelopment will consist of a new RIC Outpatient Facility. It will be a 1-story slab-on-grade structure. Proposed FF has been set at Elevation 709.5. Judging by the ground surface elevations at the boring locations and an assumed finished pad elevation at FF - 0'-10", grade is within a few inches of final pad subgrade elevation.

Borings 1 - 6 were drilled in the area of the proposed building. The existing fill materials encountered to depths of approximately 5 to 8 feet below existing grade at Borings 1 - 5 exhibited dry unit weights as low as about 90 pcf and water contents as high as 30 to 33 percent. These data represent poorly-compacted/non-engineered fill materials. The existing fill was underlain by a topsoil layer in Borings 4 and 5 that extended to depths of about 6 and 9 feet below existing grade, respectively, and exhibited high moisture contents of up to 39 percent. Soft and very moist native silty clay soils were also found underlying fill materials in Boring 3, extending to a depth of 10½ feet below existing grade. The existing fill, buried topsoil and soft/very moist native clay soils are not considered suitable for foundation support, also providing a deficient base for slab-on-grade construction.

The proposed 1-story building may be supported on footing foundations. However, removal and replacement of the above described unsuitable materials as part of site-grading/building pad construction or the use of ground improvement methods are required so that footing foundations could be utilized for structure support. As previously mentioned, proposed FF for the new structure has been set at Elevation 709.5. Interior and exterior footings are expected to bear at about FF -2'-0" and -

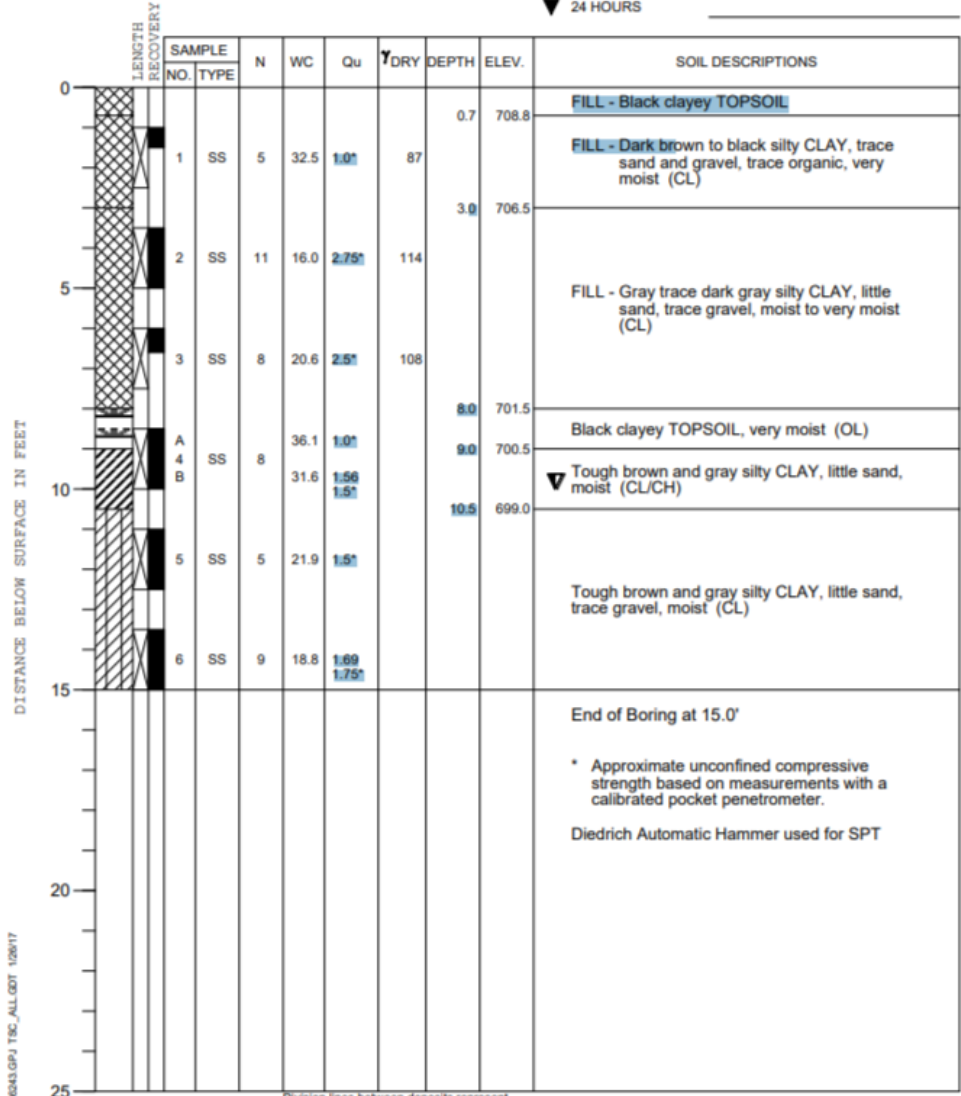


PROJECT **RIC Outpatient Facility, 7630 S. County Line Road, Burr Ridge, Illinois**

CLIENT **HDR Engineering/Architecture, Inc., Chicago, Illinois**

BORING **5** DATE STARTED **1-23-17** DATE COMPLETED **1-23-17** JOB **L-86,243**

ELEVATIONS		WATER LEVEL OBSERVATIONS	
GROUND SURFACE	<b>709.5</b>	▽ WHILE DRILLING	<b>10.0'</b>
END OF BORING	<b>694.5</b>	▽ AT END OF BORING	<b>10.0'</b>
		▽ 24 HOURS	



TSC 6046.GPJ TSC\_ALL.ODT 10/17

DRILL RIG NO. **262**

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.

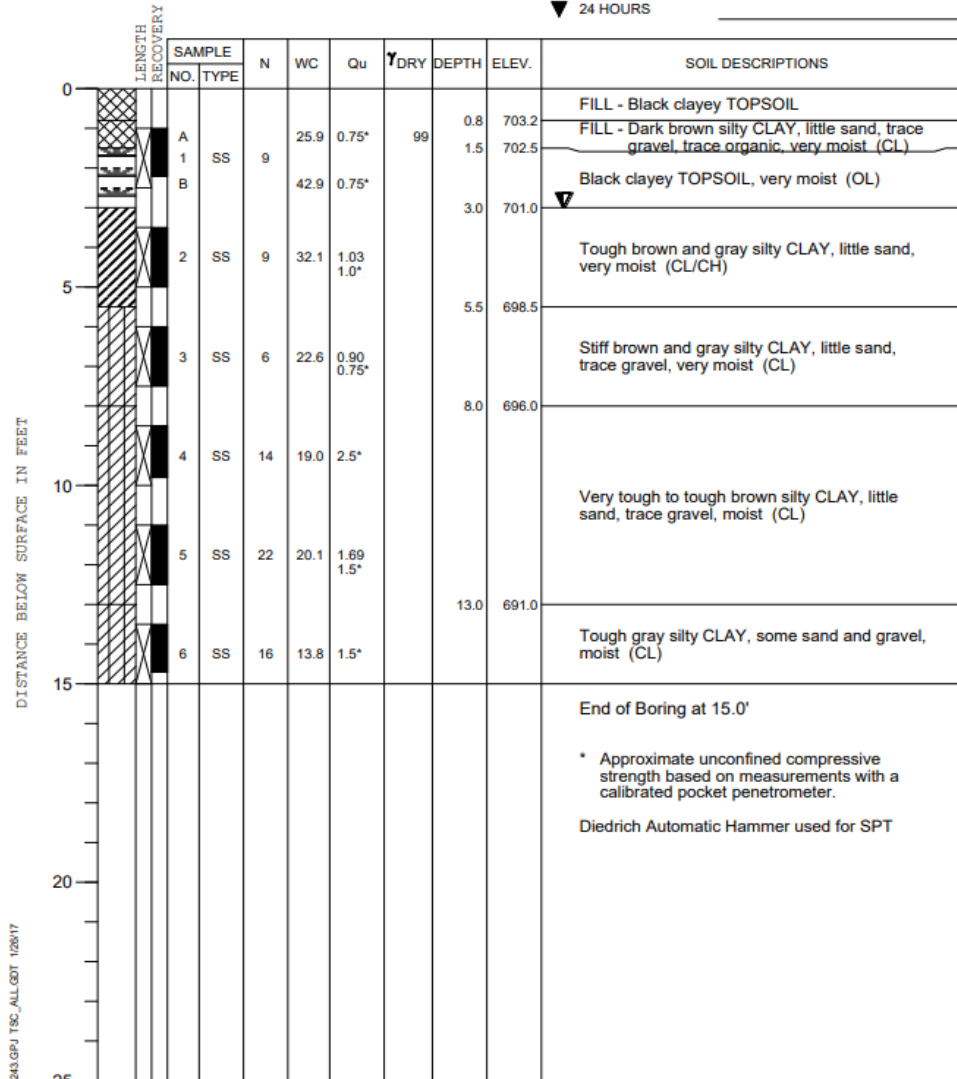
PROJECT **RIC Outpatient Facility, 7630 S. County Line Road, Burr Ridge, Illinois**

CLIENT **HDR Engineering/Architecture, Inc., Chicago, Illinois**

BORING **8** DATE STARTED **1-23-17** DATE COMPLETED **1-23-17** JOB **L-86,243**

ELEVATIONS  
 GROUND SURFACE **704.0**  
 END OF BORING **689.0**

WATER LEVEL OBSERVATIONS  
 WHILE DRILLING **3.0'**  
 AT END OF BORING **3.0'**  
 24 HOURS

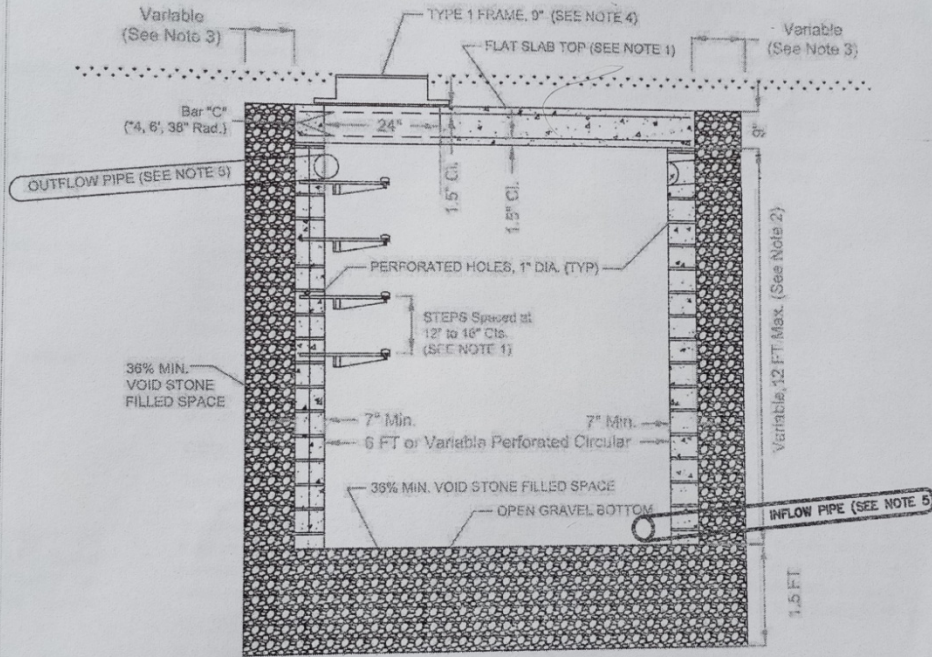


TSC 86243.GPJ TSC\_ALL.GDT 1/26/17




DRILL RIG NO. **262**

Division lines between deposits represent approximate boundaries between soil types; in-situ, the transition may be gradual.





**RECOMMENDED VOLUME CONTROL BMP  
DRYWELL STRUCTURE FOR  
VOLUME CONTROL  $\geq$  500 CF**

-  PORTLAND CEMENT CONCRETE PRECAST STRUCTURE WITH PERFORATION HOLES AND NON-WOVEN GEOTEXTILE FABRIC WRAPPED AROUND THE SIDES OF THE STRUCTURE.
-  CA-7 AGGREGATE OR 3" ROCK, OPEN GRADED WITH A MIN 38% VOID STONE FILLED SPACE
-  SOD, SEED AND BLANKET OR OTHER VEGETATIVE COVER WITH 4" TOPSOIL

Project Name

VOLUME CONTROL BMP  
DRYWELL STRUCTURE

General Notes

1. FOR INFORMATION ON THE FLAT TOP, STEPS OR MATERIALS, SEE VILLAGE MANHOLE DETAIL.
2. DEPTH SPECIFIED BASED ON REQUIRED STORAGE.
3. AGGREGATE FILLED AREA BASED ON REQUIRED STORAGE.
4. FILTER FABRIC TO BE INSTALLED UNDER LID UNTIL VEGETATIVE COVER FULLY ESTABLISHED.
5. PIPES SHALL BE PERFORATED PVC SDR 26 IN OPEN GRADED STONE AND FABRIC LINED SOCK. INVERT ELEVATIONS SHALL BE 1/10 FOOT DIFFERENCE.
6. ALL WORK SHALL BE IN ACCORDANCE WITH DUPAGE COUNTY REQUIREMENTS INCLUDING ARTICLE 8, SECTION 15-64. VOLUME CALCULATIONS SHALL BE SUPPLIED WITH THIS DETAIL.
7. BMP DEVICE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND LOCATED OUTSIDE OF THE R.O.W. N.T.S.

Date

11-28-2012

Address

Village of Burr Ridge  
Engineering Department  
451 Commerce St.  
Burr Ridge, IL 60527

CATIONS









NO  
PARKING  
FIRE  
LANE  
←

DO  
NOT  
PASS

Kelli's Lab







# Bid Proposal for SENSUS OMNI METERS

<b>CUSTOMER</b>	<p><b>VILLAGE OF BURR RIDGE</b>          PUBLIC WORKS DEPARTMENT          451 COMMERCE STREET          BURR RIDGE, IL 60521</p>	<p><b>Job</b>          SENSUS OMNI METERS          Bid Date: 01/17/2023          Bid #: 2716906</p>
	<p><b>Sales Representative</b>          Joseph Szerszen          (M) 630-461-5399          (T) 630-665-1800          (F) 630-665-1887          Joe.Szerszen@coreandmain.com</p>	<p><b>Core &amp; Main</b>          3415 Ohio Avenue          St. Charles, IL 60174          (T) 630-665-1800</p>
<b>CONTACT</b>		
<b>NOTES</b>		



Bid Proposal for SENSUS OMNI METERS

VILLAGE OF BURR RIDGE  
 Bid Date: 01/17/2023  
 Core & Main 2716906

**Core & Main**  
 3415 Ohio Avenue  
 St. Charles, IL 60174  
 Phone: 630-665-1800  
 Fax: 630-665-1887

Seq#	Qty	Description	Units	Price	Ext Price	
		<b>DUE TO CURRENT SUPPLY CHAIN DISRUPTIONS, MATERIALS ARE SUBJECT TO PRICING AT TIME OF SHIPMENT. MATERIAL AVAILABILITY AND TIMELINESS OF SHIPMENTS CANNOT BE GUARANTEED. THIS TERM SUPERSEDES ALL OTHER CONTRACTUAL PROVISIONS.</b>				
10	36	OMNI+ 1-1/2 C2 1000G 13LL 5WHL SM 20' TRPL 3W & 20' PULSE CABLE REG ID MATCHES METER BODY ID	EA	1,209.00	43,524.00	
20	39	OMNI+ 2 C2 1000G 15-1/4LL 5WHL SM 20' TRPL 3W & 20' PULSE CABLE REG ID MATCHES METER BODY ID	EA	1,490.00	58,110.00	
30	13	OMNI+ 3 C2 1000G 17LL 5WHL SM 20' TRPL 3W & 20' PULSE CABLE C3X3XXBG1G0XXSD	EA	1,900.00	24,700.00	
50	88	510M S/POINT M2 TC SP HR & LD 5396353751201MI	EA	157.00	13,816.00	
60	88	ILL 39A TOUCHPAD BLACK 5390720600811	EA	28.00	2,464.00	
80	36	1-1/2 BRASS OVAL MTR FLG SET W/GASKET NUT & BOLT - NO LEAD COMPLIANT	EA	85.00	3,060.00	
90	39	2 BRASS OVAL METER FLG SET W/ GASKET NUT & BOLT - NO LEAD COMPLIANT	EA	110.00	4,290.00	
100	26	3 BRASS COMPANION FLG NL USA NO LEAD	EA	225.00	5,850.00	
110	26	3 FF RR ACC KIT W/ZINC N&B	EA	N/C	N/C	
160		<b>18-28 WEEKS LEAD TIME</b>				
170		<b>IF NOT MORE</b>				
190						
200						
210		<b>THANK YOU FOR THE OPPORTUNITY</b>				
220		<b>TO QUOTE YOUR PROJECT.</b>				
230						
240		<b>SINCERELY,</b>				
250						
260		<b>YOUR NAME HERE</b>				
				<b>Sub Total</b>	<b>155,814.00</b>	
				<b>Tax</b>	<b>0.00</b>	
				<b>Total</b>	<b>155,814.00</b>	

UNLESS OTHERWISE SPECIFIED HEREIN, PRICES QUOTED ARE VALID IF ACCEPTED BY CUSTOMER AND PRODUCTS ARE RELEASED BY CUSTOMER FOR MANUFACTURE WITHIN THIRTY (30) CALENDAR DAYS FROM THE DATE OF THIS QUOTATION. CORE & MAIN LP RESERVES THE RIGHT TO INCREASE PRICES TO ADDRESS FACTORS, INCLUDING BUT NOT LIMITED TO, GOVERNMENT REGULATIONS, TARIFFS, TRANSPORTATION, FUEL AND RAW MATERIAL COSTS. DELIVERY WILL COMMENCE BASED UPON MANUFACTURER LEAD TIMES. ANY MATERIAL DELIVERIES DELAYED BEYOND MANUFACTURER LEAD TIMES MAY BE SUBJECT TO PRICE INCREASES AND/OR APPLICABLE STORAGE FEES. THIS BID PROPOSAL IS CONTINGENT UPON BUYER'S ACCEPTANCE OF SELLER'S TERMS AND CONDITIONS OF SALE, AS MODIFIED FROM TIME TO TIME, WHICH CAN BE FOUND AT: <https://coreandmain.com/TandC/>



Calumet City Plumbing Co., Inc.

P.O. Box 150
Calumet City, Illinois 60409
PH: (708) 868-0074
FX: (708) 868-0102

TO: Burr Ridge, Village of
7660 County Line Road
Burr Ridge, IL 60527

Table with 2 columns: PHONE, DATE, JOB NAME / LOCATION, Proposal ID.

We hereby submit specifications and estimates for:

2022 / 2023 Village of Burr Ridge Water Meter and Transmitter Infrastructure Replacement & Upgrade Project:

Calumet City Plumbing (CCP) is pleased to present our proposal for the scheduling, installation, and data management of the 2023 Commercial Water Meter Infrastructure Upgrade for The Village of Burr Ridge.

All Water Meters will be replaced based on the service data provided by the Village. Commercial Water Meters Ranging in size from 1-1/2" to 3" to be removed and replaced (Like for Like lay lengths).

See attached spread sheet for unit quantities and pricing.

Our Water Meter Installation Program and procedure will provide the Village of Burr Ridge with quality installation performed by experienced licensed plumbers.

Included in the Proposal:

- 1) CCP will provide labor and material to remove and replace the existing water meters as directed.
2) See Labor rates, equipment charges and material markup proposal for any additional work that is required.
3) Three (3) attempts will be made to solicit an appointment.
4) All New and old water meters and transmitters are to be staged and stored by The Village of Burr Ridge.
5) Meter ticket with all old and new serial numbers and reads will be presented to the owner to sign as verification of final read.

We Propose hereby to furnish material and labor - complete in accordance with the above specifications, for the sum of: (\$ )

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices.

Authorized Signature \_\_\_\_\_

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.

# Proposal

## Calumet City Plumbing Co., Inc.

P.O. Box 150  
Calumet City, Illinois 60409  
PH: (708) 868-0074  
FX: (708) 868-0102

TO:  
Burr Ridge, Village of  
7660 County Line Road  
Burr Ridge, IL 60527

PHONE 630-654-8181 HALL	DATE January 18, 2023
JOB NAME / LOCATION Commercial Water Meter Replacement 2023 Update -Various Locations D30081 Burr Ridge, IL 60527	
Proposal 165238	

We hereby submit specifications and estimates for:

retained for evidence of the exchange.

- 5) Back up Photos. CCP will take pictures of the following:
  - a. The old meter serial number
  - b. Old Meter read
  - c. Service Line Material type
  - d. General meter area
  - e. New meter serial number & transmitter number
  - f. New meter read
  - g. A copy of the CCP handwritten meter ticket with homeowner signature.

Appointment Scheduling:

After the initial letter is sent announcing the project, water customers will have the option to call and make an appointment. If no appointment is made, CCP will physically visit and perform a survey at each location to either install or schedule to install the meter.

Installation times:

Installation hours will be Monday through Friday from 8:00 am to 4:00 pm.

Note: For water critical accounts, work can be scheduled for another time, however, there will be an additional charge based on the attached labor rates.

Payment terms to be determined based on the contract.

Price does not include the following items:

- Any city, county, or state fees, permits or additional bonding.
- Any restoration such as, but not limited to grass/shrubbery, asphalt or concrete work of any kind or maintenance of excavated area.
- Any additional repairs, piping or corrections not listed above or those which could be exposed through the course of construction.

Attached:

Installation Pricing Schedule with associated Bond and Insurance Cost

**We Propose** hereby to furnish material and labor - complete in accordance with the above specifications, for the sum of: (\$ \_\_\_\_\_).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon delays beyond our control. Purchaser agrees to pay all costs of collection, including attorney's fees. This proposal may be withdrawn by us if not accepted by the above due date .

Authorized Signature \_\_\_\_\_

Note: This proposal may be withdrawn by us if not accepted within 30 days.

**Acceptance of Proposal -** The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

## Burr Ridge Meter Replacement Project 2022/2023

Line No.	size	Item Description	QTY	Unit	Unit Price	Ext. Cost
1	1-1/2"	Remove and Replace Omni Plus Meters and MXU's	36	LS	\$ 500.00	\$ 18,000.00
2	2"	Remove and Replace Omni Plus Meters and MXU's	39	EA.	\$ 510.00	\$ 19,890.00
3	3"	Remove and Replace Omni Plus Meters and MXU's	13	EA.	\$ 1,040.00	\$ 13,520.00
4			0	EA.	\$ -	\$ -
5		<b>Potential Additional cost associated with meter replacements.</b>	0	EA.	\$ -	\$ -
6	N/A	Freeze Line to install new Valve ( up to 2" pipe size)	1	EA.	\$ 255.00	\$ -
7	1-1/2"	Provide - Remove and replace service valve	1	EA.	\$ 273.00	\$ -
8	2"	Provide - Remove and replace service valve	1	EA.	\$ 297.00	\$ -
9	3"	Provide - Remove and replace service valve	1	EA.	\$ 966.00	\$ -
10	N/A	Miscellaneous cost for Unforeseen Issues	1	EA.	\$ 10,000.00	\$ -
11	1-1/2"	Re-pipe Meter Spread (Labor & material) Flanged Provided by Village. **	36	EA.	\$ 181.00	\$ 6,516.00
12	2"	Re-pipe Meter Spread (Labor & material) Flanged Provided by Village. **	39	EA.	\$ 192.00	\$ 7,488.00
13				EA.		\$ -
14		Hourly Rate for repairs Regular time	0	EA.	\$ 135.00	\$ -
15		Hourly Rate for repairs overtime	0	EA.	\$ 170.00	\$ -
16		Service Truck charge for repairs (one time charge per locations)	0	EA.	\$ 35.00	\$ -
17		Material mark up for repairs - CCP Cost Plus 10%	0	EA.	\$ -	\$ -
18			0	EA.	\$ -	\$ -
19		Insurance & Data management	1	EA.	\$ 5,500.00	\$ 5,500.00
20			1	EA.	\$ -	\$ -
21			0	EA.	\$ -	\$ -
22			0	EA.	\$ -	\$ -
23			0	EA.	\$ -	\$ -
24			0	EA.	\$ -	\$ -
					<b>Total Bid</b>	<b>\$ 70,914.00</b>

\* CCP to make 3 attempts ( letter, Post Card, Door Knock)  
 After (3), account is turned back over to the Village for assistance.  
 Old meters to be stored at Water Department in crates supplied by owner  
 Burr Ridge to provide account information  
 CCP to electronically store all data and back up photos.  
 Meter Data Transfer Weekly for all new installations  
 Install times (Monday - Friday) 8:00 am to 4:00 PM.  
 Note: For water critical accounts - Appointments will be set up on a case by case basis.

\*\* Meter Re-pipe based on existing meter lay length being longer than the new meter lay length



January 6, 2023

Dear Village of Burr Ridge,

I am writing to inform you that I am resigning from my position as Administrative Intern with the Public Works Department. My last day of work will be Thursday, January 19, 2023.

I have greatly enjoyed my time at the Village of Burr Ridge and have learned a lot during my time here. I am grateful for the opportunities and experiences that I have had while working for Burr Ridge and the Public Works Department.

I have accepted a Management Analyst position with the Village of Downers Grove Public Works Department that I believe will allow me to continue to grow both personally and professionally. While I am excited about this new opportunity, I will greatly miss the Village of Burr Ridge.

I am committed to ensuring a smooth transition and will do everything I can to help during this process. Thank you for the support and guidance that you have provided me during my internship. I am walking away knowing that the Village of Burr Ridge is in fact a very special place, thanks to the hardworking public servants it employs.

Sincerely,

Gabriel Lopez

VILLAGE OF BURR RIDGE

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 1/23/2023

PAYMENT DATE: 1/24/2023

FISCAL 22-23

FUND	FUND NAME	Pre-Paid	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 3,500.00	\$ 230,506.29	\$ 234,006.29
23	Hotel/Motel Tax Fund		8,391.93	8,391.93
31	Capital Improvement Fund		45,640.74	45,640.74
34	Storm Water Management Fund		13,409.00	13,409.00
51	Water Fund		222,723.75	222,723.75
52	Sewer Fund		7,821.41	7,821.41
TOTAL ALL FUNDS		\$ 3,500.00	\$ 528,493.12	\$ 531,993.12

PAYROLL

PAY PERIOD ENDING January 7, 2023

	TOTAL PAYROLL
Administration	\$ 15,492.44
Finance	1,776.74
Police	132,409.10
Public Works	31,193.38
Water	25,433.12
Sewer	10,313.31
TOTAL	\$ 216,618.09
GRAND TOTAL	\$ 748,611.21

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE  
 POST DATES 01/23/2023 - 01/23/2023  
 BOTH JOURNALIZED AND UNJOURNALIZED  
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 1010 Boards & Commissions					
10-1010-40-4042	DuPage County Meeting	Municipal Clerks of DuPage	01/16/23	01/16/23	35.00
10-1010-50-5010	Labor Legal Services	Clark Baird Smith LLP	09/30/22	15979	475.00
10-1010-50-5010	Labor Legal Services	Clark Baird Smith LLP	10/31/22	16079	262.50
10-1010-50-5010	Labor Legal Services	Clark Baird Smith LLP	11/20/22	16192	552.50
10-1010-50-5010	Labor Legal Services	Clark Baird Smith LLP	11/20/22	16192	322.50
10-1010-80-8010	English Gardens/Veterans Wreath	Vince's Flowers & Landscap	12/31/22	12550-1	550.80
10-1010-80-8025	Background Timothy Anderson	Gold Shield Detective Ager	01/06/23	2047	898.12
10-1010-80-8025	Background Investigations for Ap	Gold Shield Detective Ager	01/06/23	2048	300.00
Total For Dept 1010 Boards & Commissions					3,396.42
Dept 2010 Administration					
10-2010-40-4042	Business Meeting Nov22	DuPage Mayors & Managers C	12/09/22	11564A	40.00
10-2010-50-5030	BR Non Public Safety Cell Phones	AT&T Mobility	12/25/22	287310366548 1032023	89.36
10-2010-50-5030	BR Public Safety Cell Phones	AT&T Mobility	12/25/22	287309346353 1032023	120.52
10-2010-50-5030	Long Distance Phone	First Communications, LLC	01/06/23	124851452	449.78
Total For Dept 2010 Administration					699.66
Dept 4010 Finance					
10-4010-50-5020	Consulting WE 01/01 & 01/08	GovTemps USA, LLC	01/12/23	4111422	2,320.50
10-4010-50-5020	Consulting WE 12/18 & 12/25	GovTemps USA, LLC	12/29/22	4103831	4,399.85
Total For Dept 4010 Finance					6,720.35
Dept 4020 Central Services					
10-4020-50-5081	2023 Annual Contribution	I.R.M.A.	01/11/23	202309	44,514.00
10-4020-60-6010	Kitchen Coffee Supplies PW	Refreshing Great Lakes	12/28/22	REBI012452	155.50
10-4020-60-6010	Kitchen Coffee Supplies PD	Refreshing Great Lakes	12/22/22	REBI012391	155.30
10-4020-70-7000	Office Furniture	Kentwood Office Furniture	01/13/23	318647-0	291.60
Total For Dept 4020 Central Services					45,116.40
Dept 4040 Information Technology					
10-4040-50-5020	IT Support Services	Orbis Solutions	01/02/23	5574115	1,540.00
10-4040-50-5020	IT Support Services	Orbis Solutions	01/02/23	5574107	475.00
10-4040-50-5020	IT Support Services	Orbis Solutions	12/29/22	5574064	1,000.00
10-4040-50-5020	IT Support Services	Orbis Solutions	01/12/23	5574143	2,100.00
10-4040-50-5061	GIS Consulting & Subscription	Cloudpoint Geospatial	12/31/22	3345	2,150.00
10-4040-50-5061	Software Maintenance 01.13.23 -	eLineup LLC	12/12/22	1203	600.00
10-4040-50-5061	Annual Adjudication Monthly Fee	Municipal Systems, LLC	09/30/22	MS 2022-09-09	1,450.00
10-4040-50-5061	Annual Adjudication Monthly Fee	Municipal Systems, LLC	12/31/22	MS 2022-12-09	1,450.00
10-4040-60-6010	Printer Toner Cartridges	Next Day Toner Supplies, I	10/09/23	5256228	399.00
10-4040-60-6010	Printer Toner Cartridges	Next Day Toner Supplies, I	10/04/23	5255710	224.85
10-4040-60-6040	Starcom Network Charge	Motorola Solutions - STARC	01/01/23	7071120221201	510.00
Total For Dept 4040 Information Technology					11,898.85
Dept 5010 Police					
10-5010-40-4032	FY 22-23 - McKnabb Replacement J	JG Uniforms, Inc.	12/29/22	108567	281.00
10-5010-40-4032	FY 22-23 - Valentino Replacement	JG Uniforms, Inc.	12/29/22	108568	163.00
10-5010-40-4032	FY 22-23 Uniform Allowance	JG Uniforms, Inc.	12/29/22	108570	242.20
10-5010-40-4032	FY 22-23 Uniform Allowance	JG Uniforms, Inc.	12/29/22	108571	352.00
10-5010-40-4032	FY 22-23 - Weeks Replacement Jac	JG Uniforms, Inc.	01/05/23	108835	281.00
10-5010-40-4032	FY 22-23 - Helms Replacement Jac	JG Uniforms, Inc.	01/04/23	108762	297.00
10-5010-40-4032	Return Uniform - Temes	JG Uniforms, Inc.	01/10/23	109041	(82.70)
10-5010-40-4032	37400-86 Flying Cross Trouser	Ray O'Herron	01/10/23	2244580	158.00
10-5010-40-4040	NABI Membership Cervenka	NABI Treasurer	01/12/23	22-2263	75.00



GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 5010 Police					
10-5010-40-4040	NABI Membership Wisch	NABI Treasurer	01/10/23	22-2262	75.00
10-5010-50-5020	Comprehensive Searches	LexisNexis Risk Solutions	12/31/22	1267894-20221231	219.25
10-5010-50-5020	2022 Peer Jury Hearing Costs	Village of Downers Grove	12/30/22	5388	187.13
10-5010-50-5030	BR Public Safety Cell Phones	AT&T Mobility	12/25/22	287309346353 1032023	864.34
10-5010-50-5030	Long Distance Phone	First Communications, LLC	01/06/23	124851452	116.70
10-5010-50-5040	Business Cards CSO	Minuteman Press of Lyons	01/06/23	44256	66.98
10-5010-50-5045	Facility Lease/Operating Costs F	DU-COMM	01/01/23	18351	3,841.28
10-5010-50-5045	Quarterly Shares Feb-Apr23	DU-COMM	01/01/23	18394	81,551.50
10-5010-50-5050	Monitoring Siren System	J & D Ingenuities, LLC	01/04/23	2353	421.68
10-5010-50-5095	Stray Contract Services Jan23	Hinsdale Humane Society	01/05/23	BR1-2023	200.00
10-5010-50-5095	Random Testing	Premier Occupational Health	01/03/23	124714	45.00
Total For Dept 5010 Police					89,355.36
Dept 6010 Public Works					
10-6010-40-4032	Uniform Allowance Wolfram	Blain Supply, Inc.	12/30/22	9357	13.89
10-6010-40-4032	Uniform Allowance Breakey	Blain Supply, Inc.	12/30/22	9361	486.82
10-6010-40-4032	Uniform Allowance Hovorka	Blain Supply, Inc.	12/30/22	9365	345.33
10-6010-40-4032	Boot Allowance Just, Wolfram	Red Wing Business Advantaç	01/10/23	20230110030022	374.99
10-6010-50-5030	BR Non Public Safety Cell Phones	AT&T Mobility	12/25/22	287310366548 1032023	488.19
10-6010-50-5050	Unit 94; 1-Tire replacement	VIP Tire Corporation	11/01/22	2011024	185.21
10-6010-50-5051	Car Wash PW	Fuller's Car Wash	11/30/22	8993	9.00
10-6010-50-5051	Tires, Balancing, Disposal fees	Pomp's Tire Service, Inc.	01/10/23	2120004376	530.53
10-6010-50-5052	HVAC Systems Maint. Contract (Bi	Dynamic Heating & Piping C	12/01/22	SM21006-4	3,462.02
10-6010-50-5055	Maintenance Traffic Signals	COMED	01/06/23	3699071070 Jan23	44.30
10-6010-50-5055	Traffic Signal Monthly Maintenanc	Meade Electric Company, Ir	12/31/22	702792	187.25
10-6010-50-5057	Parkway Rep.; 16w030 83rd St REI	Beary Landscape Management	12/19/22	243954	550.00
10-6010-50-5058	Hand Soap & Soap Refill	Best Quality Cleaning, Inc	12/31/22	44380	279.60
10-6010-50-5058	Mat Rentals - PD	Breens Inc.	01/10/23	16156	38.50
10-6010-50-5058	Mat Rentals - VH and PW	Breens Inc.	01/03/23	16021	38.50
10-6010-50-5058	Janitorial Services - Holding Ce	Service Master	12/30/22	219445	195.00
10-6010-50-5065	Village Street Lights	Constellation NewEnergy, I	12/28/22	64073188801 Dec22	2,069.64
10-6010-50-5076	Inspections Oct22	B&F Construction Code Serv	12/29/22	16972	2,160.00
10-6010-50-5076	Plan Reviews Oct22	B&F Construction Code Serv	12/29/22	16972	50.00
10-6010-50-5076	Inspections Nov22	B&F Construction Code Serv	12/29/22	16973	1,150.00
10-6010-50-5076	Building Review Dec22	Don Morris Architects P.C.	12/31/22	12/31/22	1,930.00
10-6010-50-5076	Inspections Dec22	Don Morris Architects P.C.	12/31/22	12/31/22	2,490.00
10-6010-50-5080	Lakewood Aerator	COMED	01/06/23	9258507004 Jan23	19.35
10-6010-50-5080	Windsor Aerator	COMED	01/06/23	9342034001 Jan23	19.35
10-6010-50-5080	PW Sewer	Flagg Creek Water Reclamat	12/28/22	008917-000 Dec22	38.25
10-6010-50-5080	Police Station	NICOR Gas	12/15/22	66468914693 Dec22	964.95
10-6010-50-5080	Rustic Acres	NICOR Gas	12/15/22	81110732419 Dec22	228.63
10-6010-50-5080	VH Garage	NICOR Gas	12/15/22	57961400009 Dec22	49.66
10-6010-50-5080	Village Hall	NICOR Gas	12/20/22	47025700007 Dec22	1,538.00
10-6010-50-5095	PW Facility Needs Analysis - Pha	Legat Architects, Inc.	12/31/22	57922	3,543.75
10-6010-50-5095	New Employee Testing	Premier Occupational Health	01/03/23	124714	150.00
10-6010-50-5095	Mailbox Reimbursement	Steve Sliwiniski	01/05/23	01/05/23	75.00
10-6010-50-5095	Mailbox Reimbursement	Victor Papari	01/10/23	01/10/23	75.00
10-6010-60-6010	Pomeberry Hand Soap	City Wide of Illinois	12/28/22	52034002708	724.08
10-6010-60-6010	Batteries	Grainger, Inc.	01/06/23	9564944412	135.38
10-6010-60-6010	Quick Act Tubing & Cutters	Home Depot Credit Services	12/28/22	45572	125.91
10-6010-60-6010	Tube Squares, Cable Ties & Paint	Home Depot Credit Services	12/28/22	45572	113.82
10-6010-60-6010	50" Curved Snowbrush	Menards - Hodgkins	12/08/22	10674	71.82

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Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-60-6010	Shield Dust/Bolt w/Lock	Rush Truck Centers, Chicago	12/27/22	3030676721	142.34
10-6010-60-6020	Diesel Exhaust Fluid	Al Warren Oil Com., Inc.	12/29/22	W1529740	250.03
10-6010-60-6020	Power Service Diesel Fuel	Al Warren Oil Com., Inc.	01/13/23	W1532875	212.06
10-6010-60-6020	Gasoline PW	SuperFleet MasterCard	12/26/22	FB346 Dec22	716.57
10-6010-60-6040	Air Filter, Clutch, Spark Plugs,	Alexander Equipment Compar	12/29/22	194444	221.05
10-6010-60-6040	Hydraulic Tubes	McCann Industries, Inc.	01/10/23	047183	356.60
10-6010-60-6041	Hydraulic Fluid	Atlas Bobcat Inc.	12/19/22	BY8545	87.79
10-6010-60-6041	Lube Filters	FleetPride, Inc.	01/09/23	104824106	38.30
10-6010-60-6042	Supplies-Streets	Industrial Electric Supply	01/11/23	S100018975.001	183.86
10-6010-60-6042	32W CLF Lamp	Industrial Electric Supply	12/09/22	S100018578.001	228.81
10-6010-60-6042	Rapid Med FL SKT	Industrial Electric Supply	12/29/22	S100019003.001	15.94
10-6010-60-6042	Rapid Start Electronic Ballast	Industrial Electric Supply	12/29/22	S100018982.001	15.63
10-6010-60-6042	High Performance Cold Patch	K-Five Hodgkins, LLC	12/21/22	45446	160.00
10-6010-60-6042	AHS HORN CONTROL MODULE	RCL Products LP	01/10/23	P101953	3,960.17
10-6010-60-6042	AHS VIB MODULE	RCL Products LP	01/10/23	P101953	4,523.97
10-6010-60-6042	Freight	RCL Products LP	01/10/23	P101953	19.58
10-6010-60-6060	State Contract Bulk Rock Salt	Cargill Inc-Salt Division	01/03/23	2907843100	3,598.60
10-6010-60-6060	State Contract Bulk Rock Salt	Cargill Inc-Salt Division	12/30/22	2907836800	7,354.12
10-6010-60-6060	BEET HEET Super Severe Full Truc	K-Tech Specialty Coatings,	12/31/22	202212-K0154	6,984.11
10-6010-70-7000	Floor Scrubber and Accessories	Wolter, Inc.	12/29/22	612202418	22,798.00
Total For Dept 6010 Public Works					76,819.25
Total For Fund 10 General Fund					234,006.29
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5075	Gateway Sign	COMED	01/05/23	1153168007 Jan23	33.16
23-7030-50-5075	Median Lighting	COMED	01/06/23	1319028022 Jan23	160.77
23-7030-80-8010	Marketing, Communication, Design	Kaleidoscope Management Gr	12/31/22	2027	4,000.00
23-7030-80-8012	License Fee 2023	American Society of Compos	12/20/22	12/20/22	420.00
23-7030-80-8012	15 x 4.25 Banner Stage Wall	Evanston Graphic Imaging	10/06/22	47737	375.00
23-7030-80-8012	Banners Stage 15'x2'	Evanston Graphic Imaging	10/06/22	47737	164.00
23-7030-80-8012	Beverage Banners 9'x3'	Evanston Graphic Imaging	10/06/22	47737	150.00
23-7030-80-8012	Menu Template (2 per) 24x36	Evanston Graphic Imaging	10/06/22	47737	600.00
23-7030-80-8012	Music Schedule- 24 x36	Evanston Graphic Imaging	10/06/22	47737	60.00
23-7030-80-8012	Ticket Sign-12"x36"	Evanston Graphic Imaging	10/06/22	47737	64.00
23-7030-80-8012	Beverage signs- 24x36	Evanston Graphic Imaging	10/06/22	47737	60.00
23-7030-80-8012	Ticket Banners 9'x3'	Evanston Graphic Imaging	10/06/22	47737	900.00
23-7030-80-8012	Directional Signs 24x18	Evanston Graphic Imaging	10/06/22	47737	540.00
23-7030-80-8012	Directional Signs 24x18	Evanston Graphic Imaging	10/06/22	47737	216.00
23-7030-80-8012	48 x 48 Coro Signs	Evanston Graphic Imaging	10/10/22	47870	96.00
23-7030-80-8012	Music Performance License	SESAC Rights Management,	12/31/22	1039581 2023	553.00
Total For Dept 7030 Special Revenue Hotel/Motel					8,391.93
Total For Fund 23 Hotel/Motel Tax Fund					8,391.93
Fund 31 Capital Improvements Fund					
Dept 8010 Capital Improvement					
31-8010-70-7010	Prof. Engr. Serv.; Wolf Rd Ped X	Patrick Engineering Inc.	01/05/23	22277.031-1	20,365.50
Total For Dept 8010 Capital Improvement					20,365.50
Dept 8030 Equipment Replacement					
31-8030-50-5071	Lease Maintenance	Enterprise FM Trust	01/01/23	FBN4651289	140.27

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Fund 31 Capital Improvements Fund					
Dept 8030 Equipment Replacement					
31-8030-50-5071	Lease Maintenance	Enterprise FM Trust	01/01/23	FBN4645048	110.43
31-8030-70-7000	Equipment	Enterprise FM Trust	01/01/23	FBN4645048	7,074.23
31-8030-80-8065	Lease Principal	Enterprise FM Trust	01/01/23	FBN4651289	6,421.08
31-8030-80-8065	Lease Principal	Enterprise FM Trust	01/01/23	FBN4645048	8,363.60
31-8030-80-8075	Lease Interest	Enterprise FM Trust	01/01/23	FBN4651289	1,661.13
31-8030-80-8075	Lease Interest	Enterprise FM Trust	01/01/23	FBN4645048	1,504.50
Total For Dept 8030 Equipment Replacement					25,275.24
Total For Fund 31 Capital Improvements Fund					45,640.74
Fund 34 Storm Water Management Fund					
Dept 8040 Storm Water Management					
34-8040-50-5068	Professional Engineering Service Hampton, Lenzini & Renwick		01/05/23	000020230011	13,409.00
Total For Dept 8040 Storm Water Management					13,409.00
Total For Fund 34 Storm Water Management Fund					13,409.00
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	Thermal Touch Nitrile & Cap	Blain Supply, Inc.	12/28/22	9082	20.23
51-6030-40-4032	Duck Insulated Bibs	Blain Supply, Inc.	12/28/22	9081	256.23
51-6030-40-4032	Uniform Allowance Wolfram	Blain Supply, Inc.	12/30/22	9357	11.11
51-6030-40-4032	Uniform Allowance Sablich	Blain Supply, Inc.	12/30/22	9364	337.09
51-6030-40-4032	Uniform Allowance Guth	Blain Supply, Inc.	01/04/23	7882	59.99
51-6030-40-4032	Boot Allowance Dewall, Mezatis	Red Wing Business Advantage	01/10/23	20230110030022	513.96
51-6030-40-4032	Uniform Allowance Guth	Work'N Gear, LLC	01/05/23	HA168664	198.74
51-6030-50-5020	Consulting WE 01/01 & 01/08	GovTemps USA, LLC	01/12/23	4111422	1,071.00
51-6030-50-5020	Consulting WE 12/18 & 12/25	GovTemps USA, LLC	12/29/22	4103831	2,030.70
51-6030-50-5030	BR Non Public Safety Cell Phones	AT&T Mobility	12/25/22	287310366548 1032023	351.61
51-6030-50-5051	Unit 61; 4-Tire replacement	VIP Tire Corporation	11/01/22	2011024	1,328.74
51-6030-50-5070	Construction Engineering	Thomas Engineering Group I	01/05/23	23-009	29,637.82
51-6030-50-5071	Lease Maintenance	Enterprise FM Trust	01/01/23	FBN4651289	123.88
51-6030-50-5080	Well #4	COMED	12/15/22	0029127044 Dec22	816.92
51-6030-50-5080	2M Tank	COMED	01/06/23	9256332027 Jan23	130.76
51-6030-50-5080	Well #5	COMED	01/06/23	4497129114 Jan23	23.36
51-6030-50-5081	2023 Annual Contribution	I.R.M.A.	01/11/23	202309	19,077.00
51-6030-50-5095	Utility Bill Rendering Jan23	Third Millennium Assoc. Ir	01/13/23	28600	1,097.17
51-6030-60-6010	Marking Paint	Grainger, Inc.	01/05/23	9563587550	150.84
51-6030-60-6010	Deep Socket 7/8'	HD Supply Facilities Maint	01/04/23	221923	95.60
51-6030-60-6010	Operating Supplies	Menards - Hodgkins	12/13/22	10951	50.51
51-6030-60-6070	Water Purchases Dec22	Village of Bedford Park	01/05/23	0020060000 Dec22	162,269.10
51-6030-80-8065	Lease Principal	Enterprise FM Trust	01/01/23	FBN4651289	2,536.82
51-6030-80-8075	Lease Interest	Enterprise FM Trust	01/01/23	FBN4651289	534.57
Total For Dept 6030 Water Operations					222,723.75
Total For Fund 51 Water Fund					222,723.75
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Thermal Touch Nitrile & Cap	Blain Supply, Inc.	12/28/22	9082	6.75
52-6040-40-4032	Duck Insulated Bibs	Blain Supply, Inc.	12/28/22	9081	38.75
52-6040-40-4032	Uniform Allowance Dewall	Blain Supply, Inc.	12/28/22	9170	79.99
52-6040-40-4032	Uniform Allowance Wolfram	Blain Supply, Inc.	12/30/22	9357	2.77



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Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Uniform Allowance Guth	Blain Supply, Inc.	01/04/23	7882	20.00
52-6040-40-4032	Uniform Allowance Dewall	Blain Supply, Inc.	12/28/22	9169	139.99
52-6040-40-4032	Uniform Allowance Guth	Work'N Gear, LLC	01/05/23	HA168664	66.24
52-6040-50-5020	Consulting WE 01/01 & 01/08	GovTemps USA, LLC	01/12/23	4111422	178.50
52-6040-50-5020	Consulting WE 12/18 & 12/25	GovTemps USA, LLC	12/29/22	4103831	338.45
52-6040-50-5020	MWRD Professional Eng Serv per N	RJN Group, Inc.	01/04/23	380305	352.50
52-6040-50-5020	Sewer Televising & Review	RJN Group, Inc.	01/04/23	386907	5,395.00
52-6040-50-5020	Project Management	RJN Group, Inc.	01/04/23	386907	960.00
52-6040-50-5080	Chasemoor Lift Station	COMED	01/06/23	0356595009 Jan23	242.47
Total For Dept 6040 Sewer Operations					7,821.41
Total For Fund 52 Sewer Fund					7,821.41

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
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Fund Totals:

Fund 10 General Fund	234,006.29
Fund 23 Hotel/Motel Tax Fund	8,391.93
Fund 31 Capital Improvements Fund	45,640.74
Fund 34 Storm Water Management Fund	13,409.00
Fund 51 Water Fund	222,723.75
Fund 52 Sewer Fund	7,821.41
<b>Total For All Funds:</b>	<b>531,993.12</b>