

**VILLAGE OF BURR RIDGE – AGENDA
MAYOR & BOARD OF TRUSTEES
VILLAGE HALL – BOARD ROOM**

Monday, January 9, 2023 - 7:00 P.M.

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA**

All items listed with an asterisk are considered routine by the Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen requests, in which event the item will be removed from the Consent Agenda, discussed, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. * Approval of Regular Board Meeting of December 12, 2022
- B. * Receive and File Water Committee Meeting of December 14, 2022
- C. * Receive and File Plan Commission Meeting of December 19, 2022

6. ORDINANCES

7. RESOLUTIONS

8. CONSIDERATIONS

- A. Consideration of Street Policy Committee Recommendation to Approve the 2023 Road Program
- B. * Approval to Direct Staff to Prepare an Ordinance Approving Special Uses for (1) Automobile and Equipment Service and (2) Outdoor Storage pursuant to Zoning Ordinance Section X.F.2; and a Special Use for (3) a Fence in a Non-Residential District pursuant to Zoning Ordinance Section IV.J (Z-24-2022: 311 Shore Drive – DP Burr Ridge, LLC)
- C. * Approval of Vendor List Dated January 9, 2023, in the Amount of \$480,640.54 for all Funds, plus \$418,958.48 Payroll Periods Ending December 10 & 24, 2022, for a Grand Total of \$899,599.02

Public Comment Procedures: Public comments will be accepted in written or statement form prior to or during the meeting. Written public comments shall identify whether the comment is intended to address a specific agenda item or is intended for public comment under Section 9 – Public Comment. Public comments may also be made during the meeting when discussing specific items on the agenda. Any person seeking to address the Board on topics not on the agenda may do so during Section 9 – Public Comment.

9. PUBLIC COMMENTS

10. REPORTS AND COMMUNICATIONS

11. CLOSED SESSION

- A. Discussion of Minutes of Meetings Lawfully Closed Under this Act for Purposes of Approval by the Body of the Minutes (5 ILCS 120/2(c)(21))
- B. Collective Negotiating Matters Between the Public Body and its Employees or Their Representatives, or Deliberations Concerning Salary Schedules for One or More Classes of Employees (5 ILCS 120/2(c)(2))

12. ADJOURNMENT

NEXT MEETING – JANUARY 23, 2023 - 7:00PM

January 9, 2023 Board Meeting Summary

8A. 2022 Road Program

Public Works Director Dave Preissig will present the 2023 Road Program to the Board on Monday following confirmation of the Street Policy Committee's recommendation.

It is staff's recommendation: That the Board approve the Street Policy Committee recommendation for the 2023 Road Program.

8B. Special Uses – Automobile Service Use

The Plan Commission transmits its recommendation to approve Z-24-2022, a request by DP Burr Ridge, LLC, for three special uses for automobile and equipment service, outdoor storage, and a fence in a non-residential district. The petitioner is seeking to lease the property to Tesla Motors, Inc. to operate a Tesla repair facility and to store vehicles outside of the building within a new, proposed fenced area. After two public hearings on November 21 and December 19, 2022, the Commission voted 6 to 1 to approve the three special use requests with conditions. There were no public comments.

It is the Plan Commission's recommendation: Staff be directed to prepare an Ordinance approving the special use requests.

REGULAR MEETING
MAYOR AND BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE

December 12, 2022

CALL TO ORDER The Regular Meeting of the Mayor and Board of Trustees of December 12, 2022, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:00 p.m. by Mayor Pro-Tem Guy Franzese.

PLEDGE OF ALLEGIANCE Mayor Pro-Tem Franzese asked Trustee Smith to lead the Pledge of Allegiance.

ROLL CALL was taken by the Village Clerk and the results denoted the following present: Trustees Schiappa, Paveza, Snyder, Mital, Smith and Mayor Pro-Tem Franzese. Mayor Gary Grasso gave advance notice that he would not be able to attend the meeting. Also present were Village Administrator Evan Walter, Police Chief John Madden, Deputy Police Chief Marc Loftis, Public Works Director Dave Preissig, Community Development Director Janine Farrell, and Village Attorney Michael Durkin.

PRESENTATIONS AND PUBLIC HEARINGS: PRESENTATION OF SPECIAL EVENT COMMUNITY PARTNERSHIPS

Village Administrator Evan Walter stated that at the end of the year the village typically gives an overview of the partnerships that the village has had during year. Partner representatives gave an overview of their organizations and the partnership with the village, and included: the Ray Graham Hanson Center, the Burr Ridge Park District Foundation, the Illinois Spina Bifida Association, and the Hinsdale Humane Society.

Mayor Pro-Tem Franzese thanked all the organizations for the services that they provide and also thanked the village staff and Trustee Mital for their work to make the partnerships a success.

CONSENT AGENDA – OMNIBUS VOTE

Mayor Pro-Tem Franzese read the Consent Agenda and asked the Board and public if any agenda item needed to be removed from the Consent Agenda. Trustee Smith asked that Agenda item 8C (Approval to Create the Position of Special Projects Manager in the Administration Department) be removed. Krystle Johnson Downs, Burr Ridge resident, requested that Agenda item 6A (Approval of an Ordinance Amending Sign Ordinance Section 55.09 Pertaining to Right-of-Way Signs) be removed.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
December 12, 2022

APPROVAL OF REGULAR BOARD MEETING MINUTES OF NOVEMBER 14, 2022 were approved for publication under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING OF NOVEMBER 21, 2022 were noted as received and filed under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING OF DECEMBER 5, 2022 were noted as received and filed under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE STORMWATER MANAGEMENT COMMITTEE MEETING OF NOVEMBER 22, 2022 were noted as received and filed under the Consent Agenda by Omnibus Vote.

APPROVAL OF AN ORDINANCE AMENDING SECTION IV.K.2.e OF THE ZONING ORDINANCE TO AMEND THE DEFINITION OF “COMMERCIAL VEHICLE” (Z-12-2022: TEXT AMENDMENT – COMMERCIAL VEHICLE) the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

APPROVAL OF A RESOLUTION REGARDING CONSTRUCTION ON STATE HIGHWAYS the Board, under the Consent Agenda by Omnibus Vote, Approved the Resolution.

RECEIVE AND FILE NOTICE OF WITHDRAWAL OF ZONING PETITION (Z-5-2022: 11731 87TH STREET – MCNAUGHTON DEVELOPMENT) the Board, under the Consent Agenda by Omnibus Vote, Received and Filed the Notice.

APPROVAL OF AWARD OF CONTRACT FOR PARKWAY TREE TRIMMING TO WINKLER IN THE AMOUNT OF \$55,000 the Board, under the Consent Agenda by Omnibus Vote, Approved to Approve the Award.

APPROVAL OF APPOINTMENT OF COMMISSIONER RICHARD MORTON TO SERVE AS PLAN COMMISSION VICE CHAIRPERSON FOR A TERM EXPIRING ON DECEMBER 31, 2023 the Board, under the Consent Agenda by Omnibus Vote, Approved the Appointment.

APPROVAL OF VENDOR LIST DATED NOVEMBER 28, 2022 IN THE AMOUNT OF \$464,731.19 FOR ALL FUNDS, PLUS \$212,862.21 FOR THE PAYROLL PERIOD ENDING NOVEMBER 12, 2022, FOR A GRAND TOTAL OF \$677,593.40, WHICH INCLUDES NO SPECIAL EXPENDITURES the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated November 28, 2022, and Payroll for the Period Ending November 12, 2022.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
December 12, 2022

APPROVAL OF VENDOR LIST DATED DECEMBER 12, 2022 IN THE AMOUNT OF \$346,504.18 FOR ALL FUNDS, PLUS \$211,197.69 FOR THE PAYROLL PERIOD ENDING NOVEMBER 26, 2022, FOR A GRAND TOTAL OF \$557,701.87, WHICH INCLUDES NO SPECIAL EXPENDITURES the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated December 12, 2022, and Payroll for the Period Ending November 26, 2022.

After reading the Consent Agenda, Mayor Pro-Tem Franzese asked for a motion to approve.

Motion was made by Trustee Snyder, seconded by Trustee Mital, to approve the Consent Agenda – Omnibus Vote (attached as Exhibit A), and the recommendations indicated for each respective item be hereby approved.

Mayor Pro-Tem Franzese asked for any discussion from the Board and/or public. There were none.

On Roll Call, Vote Was:

AYES: 6 - Trustees Snyder, Smith, Franzese, Schiappa, Paveza, Mital

NAYS : 0 - None

ABSENT: 0 - None

There being six affirmative votes the motion carried.

APPROVAL OF AN ORDINANCE AMENDING SIGN ORDINANCE SECTION 55.09 PERTAINING TO RIGHT-OF-WAY SIGNS (Z-13-2022/S-01-2022: TEXT AMENDMENT SIGN ORDINANCE)

Krystle Johnson Downs, Burr Ridge resident, removed this item from the Consent Agenda, expressing concern with the ordinance related to signs, given the importance of signs and directional signage for community events, garage sales, home sales, etc. for residents, adding that often online directions are incorrect. She requested that the ordinance verbiage be revised to better protect the interests of the residents, community organizations, and businesses of Burr Ridge.

Mayor Pro-Tem Franzese asked for discussion from the Board or public.

Trustee Schiappa stated that the ordinance was not banning all signs, just those on the right of way. Trustee Mital concurred. Village Attorney Michael Durkin stated that sign content cannot be regulated, so exceptions cannot be made. Trustee Smith asked what happens if he put a sign on public property - would the sign be removed. Village Administrator Evan Walter stated the sign would be removed, and to get the sign back, it would cost \$75. He added that signs are destroyed after three weeks.

Trustee Schiappa stated that the Plan Commission reviewed this ordinance due to the overwhelming number of signs that were not taken down. Mr. Walter said that the current sign ordinance permitted

signs on the right of way, however, stickers were required, with contact information and written approval needed from the property owner. This requirement was difficult to comply with and village staff had not seen compliance, making it very time-consuming for staff to pick up all the signs. The Plan Commission was asked to clarify and simplify the ordinance. Mayor Pro-Tem Franzese stated that there were multiple issues including property owner permission, abandoned signs, and signs that exceeded the quantity and/or size. Mr. Walter said that the staff is perpetually working on enforcement of this ordinance, and it has been challenging to explain the ordinance to everyone who puts a sign out.

Trustee Snyder said that the Board spent time discussing this at the last Board meeting after the Plan Commission made their recommendation. Community Development Director Janine Farrell added that there were three public hearings where there was discussion on this ordinance.

Mayor Pro-Tem Franzese said that residents can still put signs on their property, but a majority of the time, signs are left abandoned. He understands that there are some who complied with the ordinance, but that most signs were not cleaned up and that those who did not clean up their signs have made the ordinance changes necessary.

Mayor Pro-Tem Franzese asked if there were any additional comments from the Board or the public. There were none.

On Roll Call, Vote Was:

AYES: 6 - Trustees Snyder, Smith, Franzese, Schiappa, Paveza, Mital

NAYS : 0 - None

ABSENT: 0 - None

There being six affirmative votes the motion carried.

APPROVAL TO CREATE THE POSITION OF SPECIAL PROJECTS MANAGER IN THE ADMINISTRATION DEPARTMENT

This agenda item was removed from the Consent Agenda by Trustee Smith. He had concerns about adding head count to the staff during a budget year. Knowing that the village will have a new budget soon, Trustee Smith was uneasy having this potential expense now, and preferred to have the discussion during the budget planning sessions. He is concerned that there were staffing, and responsibility changes made earlier to accommodate staffing needs and he felt it was more appropriate to discuss at a later date when more information could be provided.

Village Administrator Evan Walter said that the proposed position is in the Administration Department, which is small, and handles proposals, services, events, communications, special events, etc. – primarily handled by a three person staff. The main issue is that there are so many things going on right now for the village, that there are some employees working over 40 hours a week because

they are working to keep up. To continue on a sustainable path, additional support is needed. Mr. Walter said that this position cannot be delayed because the special events scheduling, and planning is taking place now and additional support is needed at this time. He said that there is too much going on and with some of the added communications, that the current pace of services cannot be maintained with the current staff.

Trustee Mital said that she has been working with the staff and they are a good team. She said that she felt that the administration staff were stretched with their time and felt they could use their time more efficiently if they were not as busy. Mr. Walter said that current village services would not be impacted as a result of adding this new employee.

Trustee Smith asked for clarification that the position was not to add new services to handle current services, after an additional position was already added based on Mr. Walter's recommendation. Trustee Smith said did not want residents to feel like there was an "open checkbook". He asked what the cost would be to the village for the new position, and Mr. Walter said that it was about \$80K.

Trustee Snyder stated that Mr. Walter has done a great job so far and felt that if he needed more help that he supported the request. Trustee Schiappa reviewed the current staff -- there are four full-time employees including Mr. Walter, three part-time employees, with two of those sharing a position. The other part-time person handles marketing, with five staff total running the essential services. Mr. Walter concurred. Trustee Schiappa said that if staff are over-worked that he supported an additional position. Trustee Paveza was concerned about the budget, but Mr. Walter stated that this position would not impact the capital budget.

Mayor Pro-Tem Franzese expressed concern that staff were working evenings and weekends, he said that it is a great staff and said that maybe too many staff cuts were made earlier. He supported the new position and said that this would also be discussed at the budget workshops in January.

Mayor Pro-Tem Franzese asked for any discussion from the Board and/or public. There were none.

Motion was made by Trustee Schiappa, seconded by Trustee Snyder to approve the position.

On Roll Call, Vote Was:

AYES: 6 - Trustees Schiappa, Snyder, Mital, Smith, Franzese, Paveza

NAYS : 0 - None

ABSENT: 0 - None

There being six affirmative votes the motion carried.

PUBLIC COMMENT

Mayor Pro-Tem Franzese asked for any public comment.

Krystle Johnson Downs, village resident, brought up the new website, she asked what the current subscription number was for the Oak Leaf newsletter. Village Administrator Evan Walter stated that the subscription is almost 4,000 and are about 4,500 households in Burr Ridge, though some of the subscribers might not all be village residents. He said there was a 70% open rate. Ms. Johnson Downs reiterated that she did not agree with the motion made on the sign ordinance and asked if moving forward could the Oak Leaf newsletter be used to communicate ordinance updates as well as social media, to better educate residents on changes made. Mr. Walter said that the village is working on an update section for all the village committees and that this is a great example of mechanisms that could carry the direction of the Board to residents so that they are aware of the rules, and he is looking into better communication to make the village more informed.

Ms. Johnson Downs said it would be great to make a point to educate, communicate and then enforce, to benefit the community and residents. Mayor Pro-Tem Franzese said that the sign ordinance is posted on the website but there are always some signs that are placed by those not in the village. Ms. Johnson Downs said she was looking to protect residents, not those who place signs who are not in the village. She said that the Oak Leaf newsletter often includes watering restrictions and mailbox restrictions, and that increased communication might also boost the subscription to make it more effective.

REPORTS AND COMMUNICATIONS

Trustee Mital thanked the village staff and police department for their work and help during the year.

Mayor Pro-Tem Franzese said that Springfield recently passed some amendments to the Safe-T Act. Village Administrator Evan Walter and Police Chief John Madden covered some of the amendment changes that were made to the Safe-T Act. Chief Madden said that the amendments are 309 pages, and that while there are some improvements, some concerns remain. He said that one of the biggest changes to the Act related to class B and C misdemeanors. If there are trespassers, an officer can cite the individual, and if they do not leave, they can be taken into custody. He said that they are still going through the 309 pages so that the department is ready and in compliance starting on January 1.

Mayor Pro-Tem Franzese wished residents, businesses and their employees a happy holiday season and best wishes for the coming new year.

ADJOURNMENT

Mayor Pro-Tem Franzese asked for a motion to adjourn the meeting.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
December 12, 2022

Motion was made by Trustee Schiappa, seconded by Trustee Paveza to adjourn.

On Roll Call, Vote Was:

AYES: 6 - Trustees Schiappa, Paveza, Snyder, Mital, Smith, Franzese

NAYS : 0 - None

ABSENT: 0 - None

There being six affirmative votes the motion carried, and the meeting was adjourned at 8:01 p.m.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Susan Schaus
Village Clerk
Burr Ridge, Illinois

APPROVED BY the Mayor and Board of Trustees this _____ day of _____, 2023.

MINUTES
WATER COMMITTEE MEETING
Wednesday, December 14, 2022

CALL TO ORDER

The meeting of the Water Committee was held and called to order at 6:00 p.m. by Trustee Paveza.

ROLL CALL

Present: Trustees Al Paveza, Joe Snyder, and Guy Franzese were present in the Board Room.

Absent: None

Also Present: Village Administrator Evan Walter, Public Works Director David Preissig, Finance Consultant Annmarie Mampe, and Kelly Borman, CMT, were in the Board Room. Tom Beckley, Raftelis, was present via Zoom.

APPROVAL OF MINUTES OF MARCH 10, 2022 MEETING

A **motion** was made by Trustee Snyder to approve the minutes of the March 10, 2022 meeting. The motion was **seconded** by Trustee Franzese and approved by a vote of 3-0.

CONSIDERATION OF FINAL WATER RATE MODEL STUDIES

Ms. Borman made a presentation discussing several changes to the proposed five-year water capital plan, including moving the repainting of the North Water Tower to FY2027.

Mr. Beckley made a presentation regarding staff's final recommendation regarding water and sewer rates for the upcoming five-year capital plan. The Water Fund would have a 90-day fund balance target as well as use only cash financing to pay for future maintenance work. The Village's water rates would increase 7.0% in FY 2024, 5.0% in FY 2025, FY 2026, and FY 2027, and inflationary 3.0% in FY 2028 and beyond. Under this scenario, capital improvements would be fully financed and would provide approximately \$2 million annually in FY 2028 and beyond for future distribution system projects. The rates would additionally include any pass-through costs from Bedford Park.

Trustee Franzese asked for rough calculations of a new water bill under a monthly billing approach since the tiers were proposed to slowly decrease in the five-year plan. Mr. Beckley provided calculations.

Trustee Snyder asked if the proposed rate model included monthly fees. Mr. Beckley said that the model only included fees every other month. Trustee Snyder requested that the monthly fee be kept monthly, adding an additional known revenue source. Trustee Franzese asked what projects could be brought forward if the monthly fee was kept. Mr. Preissig stated that it was a staff recommendation to complete all commercial water meter replacements now instead of in FY2025 as well as cap several wells that were no longer proper for water usage. This recommendation was supported by the Water Committee along with direction to staff to re-examine the budget to determine what projects could be brought forward.

There was also discussion about when monthly billing would commence. It was the Water Committee's direction that monthly billing begin May 1, 2023.

Staff presented a five-year plan for sewer rates which included a standard \$5/month increase annually. This was supported by the Water Committee.

A **motion** was made by Trustee Snyder to recommend that the Board of Trustees approve the five-year rate models for the Water and Sewer Funds. The motion was **seconded** by Trustee Franzese and approved by a vote of 3-0.

CONSIDERATION OF DRAFT FY2024 WATER AND SEWER BUDGETS

Mr. Walter and Mr. Preissig reviewed the five-year capital plans for the Water and Sewer budgets. No discussion occurred on this item.

A **motion** was made by Trustee Snyder to recommend that the Board of Trustees approve the FY2024 Water and Sewer Fund budgets as proposed. The motion was **seconded** by Trustee Franzese and **approved** by a vote of 3-0.

ADJOURNMENT

A **motion** was made by Trustee Snyder to adjourn the meeting. The motion was **seconded** by Trustee Franzese and **approved** by a vote of 3-0. The meeting was adjourned at 6:51 p.m.

Respectively submitted,

A handwritten signature in black ink that reads "EVAN WALTER". The signature is written in a cursive, slightly slanted style.

Evan Walter
Village Administrator

VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS
MINUTES FOR REGULAR MEETING OF DECEMBER 19, 2022

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 7 – Irwin, McCollian, Petrich, Broline, Stratis, Morton, and Trzupek

ABSENT: 1 – Parrella

Community Development Director Janine Farrell was present.

II. APPROVAL OF PRIOR MEETING MINUTES – DECEMBER 5, 2022

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to approve the minutes of the December 5, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Petrich, Broline, Stratis, Morton, and Trzupek

NAYS: 0

MOTION CARRIED by a vote of 7-0.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

**A. Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC); Special Uses and Findings of Fact
[CONTINUED FROM NOVEMBER 21 and DECEMBER 5, 2022]**

Chairman Trzupek introduced the case and asked for a summary. Director Farrell noted there are three separate special use requests for automobile and equipment service, outdoor storage, and a fence in a non-residential district. There have not been any changes to the business plan. Since the last meeting, a security plan was submitted, the Fire District was consulted and provided a letter, a revised landscape plan was submitted with additional landscaping at the entrance, a different fence is proposed, and information about two previous zoning cases was provided. The revised fence is in the same area as before within the side yard and remains 8' in height, but it is

now 50% open with flat pickets. Since the dumpster is now visible through the fence, screening is required. An additional condition was added that vehicle work is limited to the interior only.

Chairman Trzupsek asked if the petitioner was present. Patrick Daly, the petitioner, introduced himself.

Chairman Trzupsek asked for public comment. There was none.

Chairman Trzupsek asked for Commissioner discussion.

Commissioner Morton did not recall demand for an open fence. The petitioner stated that it was the Village's requirement. Commissioner Morton asked if a 7 ft. fence would be permissible. The petitioner stated a 7 ft. fence is acceptable.

Commissioner Stratis supports a 7 ft. or 8 ft. fence and prefers the open top with flat pickets for security purposes in the industrial area.

Commissioner Broline believed there was no advantage to a bar on top of the fence and supports the proposal.

Commissioner Petrich asked why the whole area needs to be fenced. The petitioner replied that they want to restrict customers to the work area where cars and trucks are moving and there is battery storage. Commissioner Petrich asked why an alternate location within an entirely enclosed building wasn't selected. Commissioner Petrich supports an 8 ft. fence and flat picket top but struggled with the outdoor storage.

Commissioner McCollian confirmed with the petitioner that employees will work until midnight and that bay doors are only open for moving cars.

Commissioner Irwin struggled with the height and amount of fence and questioned why the employees need to park in the fenced-in area. Commissioner Irwin confirmed with the petitioner that vehicles and compromised batteries will be stored outside.

Chairman Trzupsek agreed with Commissioner Irwin's concerns about the extent of the fence and the employees parking in the fenced-in area. Chairman Trzupsek preferred the open fence at 7 or 8 ft. and supported employees outside of the fenced area to reduce the amount of area fenced.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to close the public hearing for Z-24-2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Morton, McCollian, Petrich, Broline, Stratis, and Trzupsek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Chairman Trzupek confirmed with Director Farrell that the location of the fence could be conditioned as part of the approval.

Commissioner Stratis confirmed with the petitioner that the location of the fence was due to the placement of the loading dock where deliveries will occur, and cars will be brought in and out of the building. The petitioner explained that the movement of cars occurs during the night shifts and there is a need to secure that area. The batteries that are compromised need to be isolated and stored outdoors which also needs to be protected inside the fence.

Commissioner Petrich requested an additional condition be added so the special use applies only to Tesla and that approval did not include sales.

Commissioner Broline, Chairman Trzupek, and Commissioner Morton discussed a previous zoning case pertaining to truck sales and approvals related to the fence. Director Farrell explained that once the special use expires, the fence would need to be removed or the petitioner would need to apply for a new special use for a fence. The Commissioners noted that should the fence receive approval tonight, the request may come back in the future if Tesla no longer operates at the site.

Commissioner Irwin and the petitioner discussed the ramp and the new opening in the rear of the building to allow for circulation of vehicles.

Commissioner Petrich and Chairman Trzupek noted this is a unique location and set of circumstances which pertain only to this property and request.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Petrich to recommend approval of Z-24-2022, requests for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J., with Findings of Fact, and with the following conditions:

1. The special uses are limited to Tesla Motors, Inc.
2. The development shall substantially comply with the submitted plans, attached as Exhibit A.
3. The fence is permitted to be up to 7' in height, within the side yard, and with the flat picket top as depicted on the plans attached as Exhibit A.
4. Vehicle repair work shall be confined to the interior of the building only.
5. Only the sale of parts is permitted. There shall be no sales of vehicles from the premises.

ROLL CALL VOTE was as follows:

AYES: 6 – Stratis, Petrich, McCollan, Broline, Morton, and Trzupek
NAYS: 1 – Irwin

MOTION CARRIED by a vote of 6-1.

V. CORRESPONDENCE

A. Board Reports

There were no comments on the Board Report.

B. Building Reports

Commissioner Petrich confirmed with Director Farrell that the properties on Drew with detached structures were sheds and garages.

VI. OTHER CONSIDERATIONS

There were no other considerations. Commissioner Broline stated that the Commission is conscientious about not creating precedent. Director Farrell and Chairman Trzupsek stated that special uses should be evaluated on the specific use and individual basis.

VII. PUBLIC COMMENT

There were no other public comments.

VIII. FUTURE MEETINGS

Director Farrell noted that the Shirley Ryan AbilityLab, the cell tower antennae at the Village Center, and the annual zoning review will be on the January 16th agenda. Chairman Trzupsek stated that he will not be able to attend the meeting.

IX. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 7:35 p.m.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Stratis, Petrich, Broline, Stratis, Morton, and Trzupsek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Respectfully Submitted:

Janine Farrell, AICP

Community Development Director



January 9, 2023

Mayor Gary Grasso and Board of Trustees
7660 County Line Road
Burr Ridge, Illinois 60527

Re: Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC); Special Uses and Findings of Fact

Dear Mayor and Board of Trustees:

The Plan Commission transmits its recommendation to approve three special uses by DP Burr Ridge, LLC for automobile and equipment service, outdoor storage, and a fence in a non-residential district.

After due notice as required by law, the Plan Commission held public hearings on November 21 and December 19, 2022. The case was continued without discussion on December 5, 2022 at the request of the petitioner. The petitioner is the contract purchaser of the property and intends to lease the site to Tesla Motors, Inc. Tesla will operate an auto repair facility to service vehicles involved in collisions. The repair work will include work on frames, body panels, and painting as opposed to minor mechanical vehicle servicing. There will be outdoor, overnight storage of customer vehicles waiting for repair or those which have been repaired and are waiting for pick-up, and damaged batteries. This outdoor storage area will be secured within a new fence. The Plan Commission approved a steel fence up to 7 ft. in height, in the side and rear yards (as shown on the plans), and 50% open. Employees working in two shifts from 6:00 a.m. to midnight will also park within the fenced area.

There were no public comments received or made during the public hearings. The Plan Commission determined that the special uses would not negatively impact other properties or businesses in the area. The requests are unique to the property's location and the specific requirements and business plan of Tesla Motors, Inc.

Based on the above considerations and the submitted findings of fact, the Plan Commission voted 6 to 1 to **recommend that the Board of Trustees approve Z-24-2022**, requests by DP Burr Ridge, LLC for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J., with Findings of Fact, and with the following conditions:

1. The special uses are limited to Tesla Motors, Inc.
2. The development shall substantially comply with the submitted plans, attached as Exhibit A.
3. The fence is permitted to be up to 7' in height, within the side yard, and with the flat picket top as depicted on the plans attached as Exhibit A.
4. Vehicle repair work shall be confined to the interior of the building only.
5. Only the sale of parts is permitted. There shall be no sales of vehicles from the premises.

Sincerely,

Greg Trzupke, Chairman
Plan Commission/Zoning Board of Appeals



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC); Request for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J.

HEARINGS:

November 21, December 5, and
December 19, 2022

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP
Community Development Director

PETITIONER:

DP Burr Ridge, LLC

PETITIONER STATUS:

Contract Purchaser

PROPERTY OWNER:

Zaccone Building, LLC

EXISTING ZONING:

G-I PUD/General Industrial
Planned Unit Development

LAND USE PLAN:

Recommends light industrial uses

EXISTING LAND USE:

Vacant – formerly a printing
company

SITE AREA:

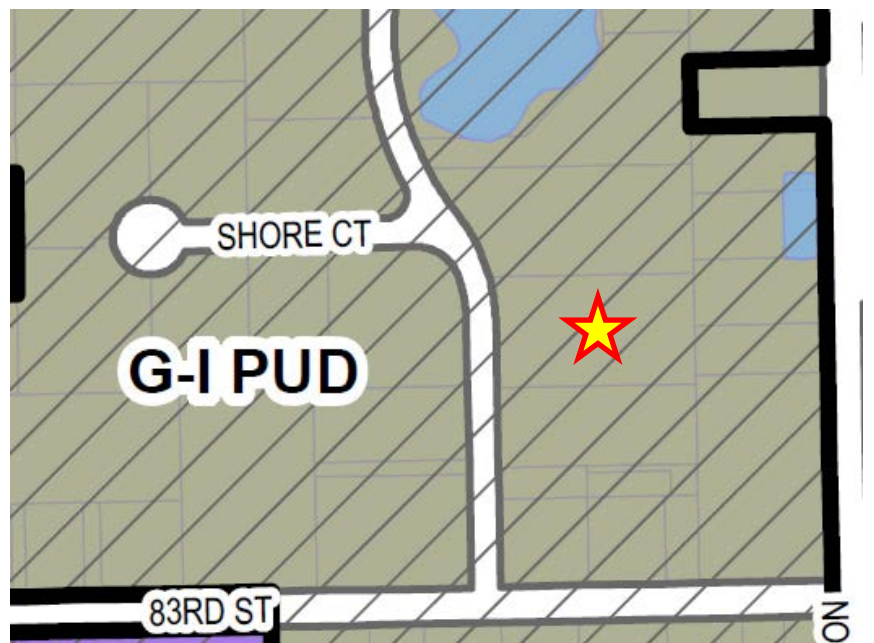
2.59 Acres

SUBDIVISION:

Hinsdale Industrial Park

PARKING:

90 Spaces (includes 2 ADA)



The petitioner, DP Burr Ridge, LLC, is the contract purchaser of the 2.59-acre site containing a parking lot and a 40,652 sq. ft. building. The petitioner would like to operate a Tesla Motors, Inc. auto repair facility at the property. The facility would service those vehicles involved in collisions and involve work on frames, body panels, and painting as opposed to more minor mechanical vehicle servicing. This case was first heard on November 21, 2022. At that public hearing, the Commission requested additional information or changes to the following items. The petitioner's responses to those requests are also detailed below. The case was scheduled for the December 5, 2022 Plan Commission meeting but was continued at the request of the petitioner.

- *Security*: The Commission requested additional information about the security cameras at the site. The petitioner submitted a plan illustrating security cameras and other measures at the facility, included as an attachment.
- *Fire District*: The Commission requested that the petitioner work with Tri-State Fire Protection District to ensure that they are aware of the battery and tire storage which will occur at the site. A letter from the Fire District is included as an attachment. Fire District formal approval will occur during the building permit phase.
- *Landscaping*: The Commission requested additional evergreen landscaping near the entrance. A revised landscape plan was submitted showing an additional 10 junipers (evergreen) and 8 chokeberries (deciduous) around the driveway entrance. This plan is included as an attachment. The green sargent junipers proposed are low and spreading, up to 2 ft. in height. The "elata" black chokeberries proposed can reach up to 8 ft. in height.
- *Fence*: The Commission was concerned about the massiveness of the fence proposed (solid and 8 ft. in height). The Commission requested the petitioner investigate how much parking lot area the fence needed to enclose (employee and outdoor storage parking) and if it could be reduced. The Commission also requested the petitioner investigate if the fence needed to be solid and 8 ft. in height in accordance with Tesla's security requirements. The petitioner is now proposing an open aluminum fence, still 8 ft. in height, and still surrounding the original area proposed (employee and outdoor storage parking). The updated fence specifications are included as an attachment.
- *Indoor work only*: The Commission requested a condition be added to restrict vehicle repair operations to the interior of the building only.
- *79th/Madison and 83rd St. cases*: The Commission requested information on two previous cases which concerned a fence and vehicle outdoor storage. Both of the properties are also zoned G-I.
 - *16W020 79th Street/Lyons Truck Sales*: In 2018, there were four requests by Lyons Truck Sales regarding an existing 8 ft. tall chain link fence with barbed wire on the property. The fence is surrounded on two sides by a 4 ft. tall solid wood fence. The petitioner originally requested a text amendment to permit an electric fence (Z-06-2018), a text amendment to permit a chain link fence (Z-10-2018), a second text amendment to permit a chain link fence (Z-20-2018), and finally a special use to continue the nonconforming use (Z-25-2018). Only the final two requests reached the Board level. The Commission and Board denied Z-20-2018, a text amendment request to permit chain link fences as a special use in non-residential districts. Z-25-2018 was approved by the Commission and Board to permit the illegal, nonconforming fence (8 ft. tall chain link fence with barbed wire) to remain on the property. This special use will expire February 11, 2024 (Ordinance A-834-20-18). Minutes from these meetings have not been included in the packet since the requests were addressing an existing fence.

- *16W260 83rd St./Apex Motors*: In 2017, Apex Motors was granted a temporary special use to sell vehicles (Z-06-2017; Ordinance A-834-12-17). Apex had also requested a special use to permit the outside parking and display of vehicles that were for sale. The request for the outdoor parking and display was denied by both the Commission and Board (Ordinance A-834-11-17). The minutes from the May 15, 2017 Plan Commission meeting are included as an attachment. In 2019, when the temporary special use was set to expire, Apex was found to be violating the conditions of their special use by renting vehicles and performing maintenance on vehicles not owned by them. Apex applied for a permanent special use (Z-15-2019) to sell and rent vehicles, but not perform maintenance. They replaced that request with Z-20-2019 to sell, rent, and perform maintenance. The Commission recommended approval of the request but only for the period of one year. A continuation by staff was requested at the Board meeting and Apex Motors was evicted by their landlord three months later before the Board took action on the case.

The public hours of operation for the proposed Tesla repair facility are proposed to be 8:00 a.m. to 7:00 p.m. Employees would work in two shifts, 6:00 a.m. to 3:00 p.m. and 3:00 p.m. to 12:00 a.m. There would be a maximum of 45 employees present. Employees would park in a proposed fenced area, reserving the front parking spaces near the main entrance for customers.

Approximately 60 to 80 vehicles a week would be serviced with the work occurring inside the building. The petitioner is requesting a special use for outdoor storage of vehicles which are either waiting for repair work (damaged) or vehicles which are completed and waiting for customer pick-up. Vehicles that are actively undergoing work will be stored indoors until completion. The vehicles stored overnight, outside would be within a proposed fenced area.

A fence in a non-residential district requires special use approval. The proposed fence is aluminum, open, and 8 ft. in height. Pursuant to section IV.J, a fence in a non-residential district is held to the same standards as a residential fence in terms of location (behind rear wall of the building), height (maximum 5 ft.), design (50% open), and type (no chain link, solid, barbed wire, or electric; no spike top). If the proposed fence does not comply with these standards, then it must be specifically authorized by conditions of approval for the special use. The proposed fence exceeds the height restriction, is located within the side yard, and has a square picket top. The fence does come in an option with a flush top rail (see attachments). Additionally, the standards for consideration of a special use pertaining to a non-residential fence are limited to the following standards:

- i. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
- ii. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.
- iii. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- iv. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Brief summary of the proposed changes to the site:

- Building
 - Removal of an overhead door at the loading dock on the north side, filled in with EIFS and painted to match the rest of the structure.
 - Interior build-out of offices, a customer lounge, and work/vehicle repair areas.
 - Trees and shrubs in front of the building near the main entrance will be removed to provide for an accessible route. New shrubs and decorative plantings will be installed.
- Fence
 - Ameristar Echelon II fence proposed to be installed; there is currently not a fence on the property.
 - 8' in height
 - Aluminum picket
 - Surrounds a portion of the north parking lot and the entirety of the east parking lot.
- Parking lot
 - Certain portions of the parking lot do not meet current dimensional standards but are existing and nonconforming. There are no changes to the existing nonconforming parking spaces or areas. These are within the fenced area.
 - According to the civil engineering plans, there are two ADA parking spaces and 88 regular parking spaces. Twenty-one spaces (plus two ADA) are located outside of the fenced area. Sixty-seven parking spaces are located inside the fenced area for employees and vehicles being serviced.
 - Six EV charging stations will be added within the fenced area to the rear or eastern side of the property for customer use only of cars being repaired (not publicly available charging stations).
 - The eastern cross-access walkway with the 15W770 Madison St. parking lot will be eliminated (closed off by the fence).
 - A dumpster will be added in a no-parking striped area along the northern property line within the screened/fenced area.

Public Hearing History

S-09-1997 (Ordinance A-499-02-97): Variations from the Sign Ordinance to permit a free-standing, internally illuminated sign with a translucent background and four colors. At the time, only letters were permitted to be translucent and only three colors were permitted.

Public Comment

No public comments were received.

Findings of Fact and Recommendation

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend approval of the special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J, staff recommends the following conditions:

1. The development shall substantially comply with the submitted plans, attached as Exhibit A.
2. The fence is permitted to be up to 8' in height and within the side yard as depicted on the plans attached as Exhibit A.
3. Vehicle repair work shall be confined to the interior of the building only.

Appendix

Exhibit A – Petitioner’s Materials and Public Notifications

- Petition with business plan
- Findings of Fact
- Authorization from owner
- Plat of Survey
- Site plan
- Landscape plan
- Interior layout plans
- Security plans
- Fence specifications
- Tri-State Fire Protection District letter
- Public notifications

Exhibit B - May 15, 2017 Plan Commission meeting minutes



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

SEP 30 2022

VILLAGE OF BURR RIDGE

EXHIBIT A

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): DP Burr Ridge, LLC

STATUS OF PETITIONER: Contract Purchaser

PETITIONER'S ADDRESS: 110 Daly Group, 2803 Butterfield Rd, Suite 300,
Oak Brook, IL 60523

ADDRESS OF SUBJECT PROPERTY: 311 Shore Dr., Burr Ridge, IL

PHONE: 312-795-6126

EMAIL: pdaly@thedalygroup.com

PROPERTY OWNER: Zaccone Building, LLC

PROPERTY OWNER'S ADDRESS: 5617 Barton Lane
Hinsdale, IL 60521

PHONE: _____

PUBLIC HEARING REQUESTED: Special Use Rezoning Text Amendment Variation(s)

DESCRIPTION OF REQUEST:

"Automobile and truck and equipment sales, rental and service."

See attached Narrative Statement.

see attached Responses to Special Use Standards

*and special use for outside
storage, of
and a fence in a non-res. district*

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 2.59 ac EXISTING ZONING: G-I PUD of

EXISTING USE/IMPROVEMENTS: Vacant industrial building

SUBDIVISION: Hinsdale Industrial Park

PIN(S) # 09-35-205-008

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

30 September 2022

Petitioner's Signature

Date of Filing

EXHIBIT A

LEGAL DESCRIPTION

Lot 21 in Plat of Hinsdale Industrial Park, Unit Two, being a subdivision of part of the Northeast $\frac{1}{4}$ of Section 35, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded September 19, 1969 as Document Number R69-42012, in DuPage County, Illinois.

Permanent Index Number: 09-35-205-008

Address: 311 Shore Drive
Burr Ridge, IL 60521



Operational Letter - Tesla Collision Center

Tesla Motors, Inc. is proposing to redesign and use the existing 40,650sf building located at 311 Shore Dr, Burr Ridge, IL as an auto repair service facility as defined in the local zoning code. The property is currently zoned General Industrial, which under a Special Use Permit allows "Automobile and truck and equipment sales, rental and service." The applicant is requesting that Special Use.

The proposed project consists of fully remodeling the existing building into an automotive collision repair center that will address the repair of Tesla vehicles that have been involved in a collision. The operation includes the assessment of damage and if needed, the repair or replacement of the following

- Frame
- Body Panels
- Glass
- Paint
- Mechanical and trim components to ensure the functionality and safety of the vehicle

The anticipated hours of operation will be Monday through Sunday from 8am to 7pm. During this time, approximately 35-45 employees will provide repair services for approximately 60-80 vehicles each week. There will be two shifts. First shift from 6am-3pm and a second at 3pm-12am. Each shift will have the same number of employees. All vehicles will be repaired within the 4 walls of the facility and public view will be limited. Work in progress (WIP) vehicles will be inside the building. Repairs typically take 11-16 days on average.

Prevention protocols consistent with Tesla Environmental Health & Safety operational guidelines will be used to manage hazardous waste streams, noise, and odor generated by operations. For example, various fume and dust extraction devices are used in the collision repair process and contained filtrated air systems are used for paint application process. Noise is mitigated by containing all repair work within the facility with use of air regulators for pneumatic tooling and equipment. Battery handling and storage guidelines for 12 volt and high voltage systems are provided to all employees through Tesla's service information website - <https://service.tesla.com/>. Additionally, first responder handling of battery systems is made publicly available - <https://www.tesla.com/firstresponders>.

Customers who come to the facility will primarily be by appointment only. We estimate 5 to 15 appointment customers per day. Day of customers (walk-ins) are limited, but we estimate 1 per day. Customers will either bring their car in or have a provider tow their car to our facility on the day of their appointment. After dropping off their cars, customers are eligible for a ride share voucher (e.g. Uber) to get to their next destination. When their car is complete, customers are usually dropped off by a 3rd party or walk-in after returning a rental.

The existing parking lot will be partially fenced off for public and private uses. The private use area will be screened from public view. On a typical day, we anticipate parking use to be as follows:

- Customers – 2 max at any given time
- Employees – 35 (screened/private)
- Vehicles Waiting for Repair Work to commence – 20 (screened/private)
- Repair complete vehicles waiting for customer pickup – 15

The remaining parking will be held in reserve to accommodate our staff and customers in the event Tesla elects in the future to include sales at this facility.

Thank you for your time in reviewing our project proposal. We look forward to being a part of the City of Burr Ridge and having our services be available to its community.

Sincerely,

Joanie Velazquez | Expansion Program Manager, Collision

APPLICATION OF DP BURR RIDGE, LLC – TESLA REPAIR FACILITY

SPECIAL USE STANDARDS

The responses below address the special use standards in Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance.

a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

Response: The world is transitioning toward electric vehicles. Tesla is the leading manufacturer of electric vehicles. Electric vehicles present unique repair challenges when they have been involved in collision. For this reason, Tesla is proposing a collision repair center on the subject property to provide repair and replacement services for its vehicles in the Western suburbs.

b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Response: The proposed collision repair center will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare because all repair activities will occur within a fully enclosed building, and the repair center will follow all Tesla Health and Safety operational guidelines, including guidelines for battery handling and storage.

c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

Response: The proposed repair center will not be injurious to the use and enjoyment of nearby property. The 2.59-acre subject property is located within an area of more than 90 acres of land located on the western edge of the village that is zoned General Industrial (G-I). Permitted uses in the G-I District include: "any establishment of which the principal use is manufacturing, fabricating, processing, assembling, disassembling, repairing, cleaning, servicing, testing, warehousing, shipping and storing of material, products and goods." Permitted uses also include: warehouses; pilot plants for experimentation and development of new and existing processes and products; and research laboratories for conducting experiments in scientific fields. The special use proposed by the petitioner ("automobile and truck and equipment sales, rental and service") is similar to the permitted uses in the G-I District in terms of the effect, if any, on the surrounding area. For the same reason, the proposed repair center will not diminish or impair surrounding property values.

d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Response: The proposed Tesla repair center will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the G-I District. This is because all repair activities will be conducted within the existing building under strict guidelines imposed by Tesla. In addition, the surrounding area is already built out with industrial uses. There is no vacant land available for development in the surrounding area.

e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

Response: As mentioned, Tesla will use the existing building on the property, which is served with all required utilities, roads and facilities, including drainage facilities.

f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The subject property is located within a developed industrial area that has access to public streets. The proposed repair center will not generate a large amount of traffic.

g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

Response: One of the objectives of the Comprehensive Plan is that “industrial developments should strengthen and maintain property values and provide a strong tax base for the Village.” Another objective is to “maintain the existing industrial parks in the Village to appropriate standards and enhance them as a continued tax base for the Village.” The proposed repair center will meet these objectives by repurposing a vacant building, which will strengthen property values in the village and enhance the tax base.

h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Response: Tesla will use the existing building, which meets all applicable regulations within the G-I Zoning District.

June 8th, 2022

Village of Burr Ridge
Zoning Board of Appeals and Plan Commission
7660 County Line Road
Burr Ridge, Illinois 60527

Re: Application for Necessary Zoning Approval regarding 311 Shore Drive, Burr Ridge, IL 60527

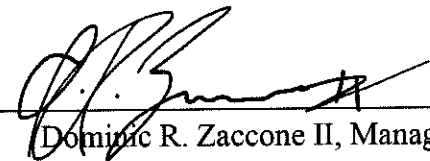
Dear Board Members:

I, Dominic R. Zaccone II, Manager of Zaccone Building, LLC, the owner of the property legally described on Exhibit A attached hereto and made a part hereof, understand that DP Burr Ridge, LLC has been identified as the Applicant for a special use and other ancillary matters.

I authorize DP Burr Ridge, LLC and its agents to file the applications referenced above.

Zaccone Building, LLC

By: _____



Dominic R. Zaccone II, Manager



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

311 Shore Drive, Burr Ridge, IL 60527

Property Owner or Petitioner:

Zaccone Building, LLC
By: Dominic R. Zaccone II, Manager

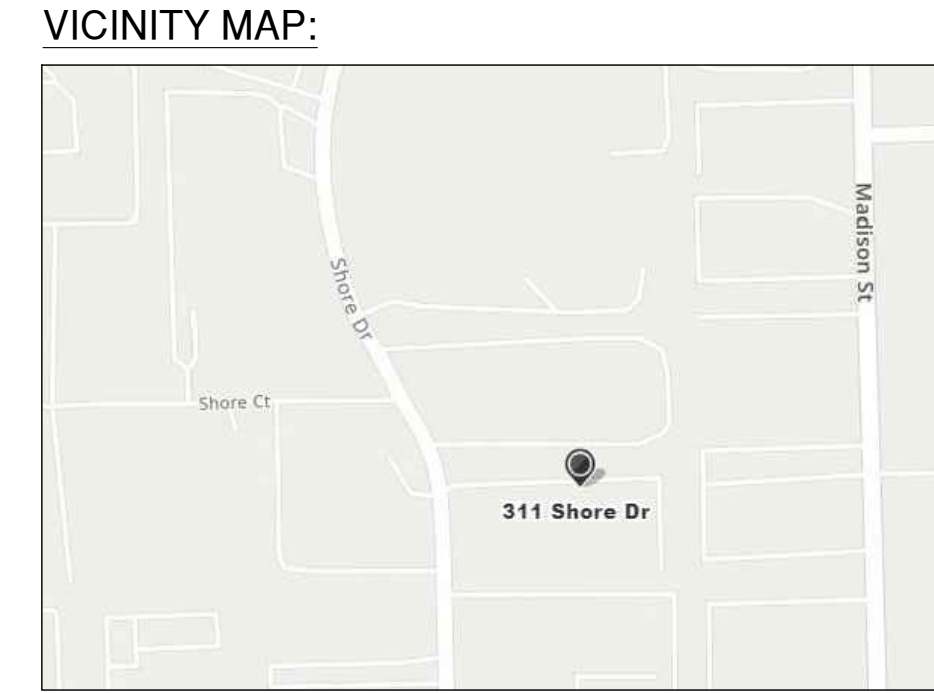
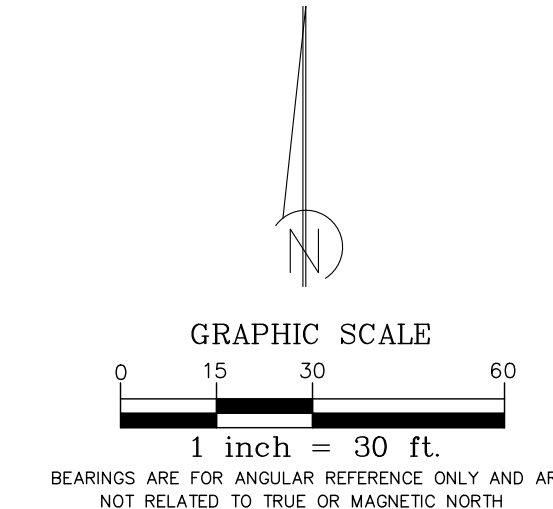
(Print Name)

(Signature)

ALTA/NSPS LAND TITLE SURVEY

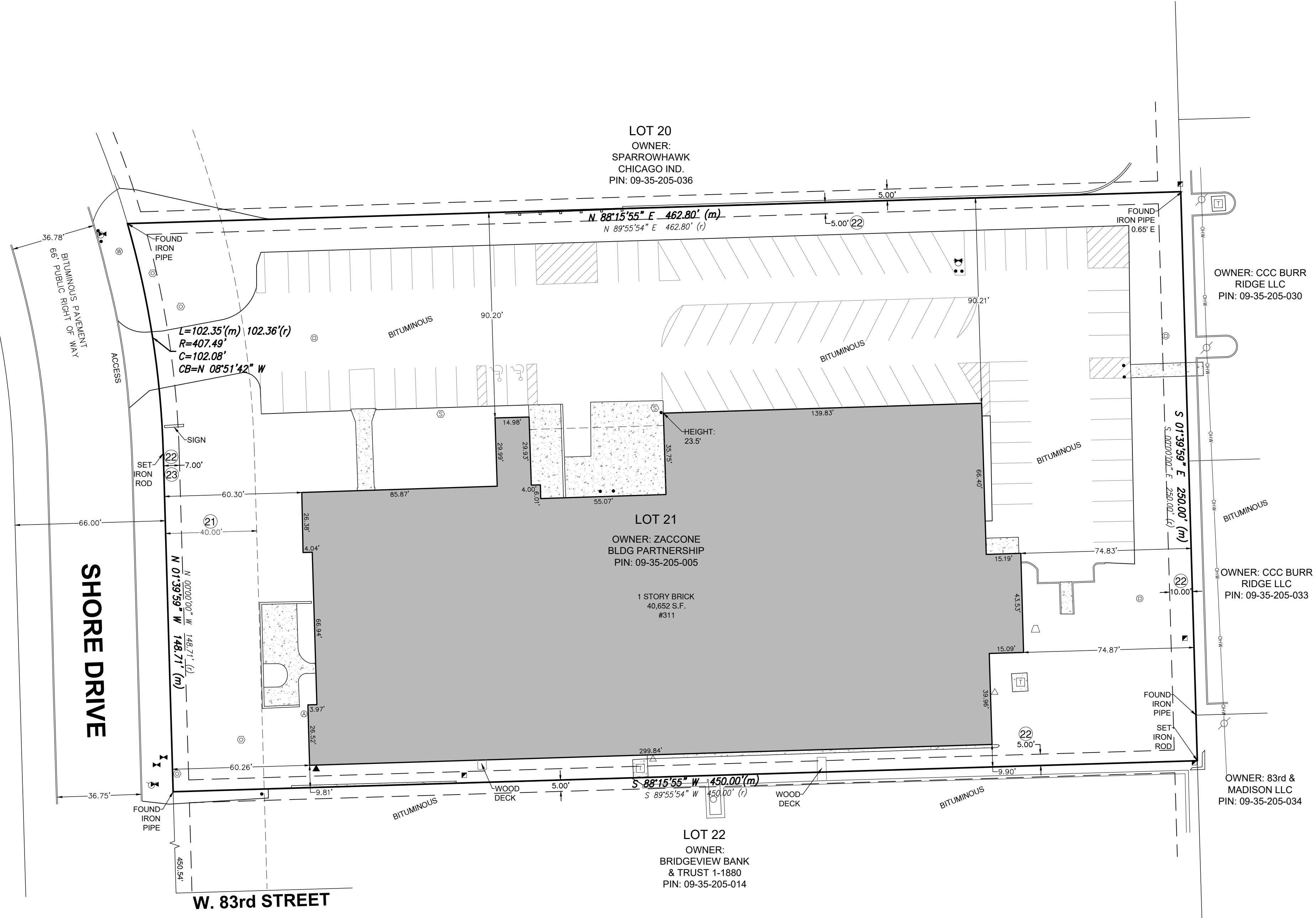
LEGEND & ABBREVIATIONS:

○ UTILITY POLE	⊙ MANHOLE	P.O.C. POINT OF COMMENCEMENT
☆ LIGHT POLE	⊙ SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
□ TRANSFORMER	⊙ STORM STRUCTURE (CLOSED)	° DEGREES
▣ UTILITY PEDESTAL	⊙ STORM STRUCTURE (OPEN)	' FEET/MINUTES
⊕ TRAFFIC SIGNAL	⊕ CURB INLET	" INCHES/SECONDS
⊕ SIGNAL VAULT	⊕ VALVE VAULT	S.F. SQUARE FEET
⊕ GAS VALVE	△ FLARED END SECTION	(REC) RECORD BEARING/DISTANCE
⊕ WATER VALVE	-W- WATER LINE	TF TOP OF FOUNDATION
⊕ ELECTRIC METER	-T- TELEPHONE/CATV LINE	TF FINISHED FLOOR
▲ GAS METER	-G- GAS LINE	TP TOP OF PIPE
▽ FIRE HYDRANT	-E- ELECTRIC LINE	B.S.L. BUILDING SETBACK LINE
⊕ AUTO SPRINKLER	-OHW- OVERHEAD WIRES	P.U.E. PUBLIC UTILITY EASEMENT
⊕ MONITORING WELL	-S/S- STORM SEWER	D.E. DRAINAGE EASEMENT
⊕ SOUND LIGHT	-S/S- SANITARY SEWER	L ARC LENGTH
● BOLLARD	-X- CHAIN LINK FENCE	R RADIUS LENGTH
■ B-SOX	-D- STOCKADE FENCE	C CHORD LENGTH
▲ SIGN	— GUARD RAIL	CB CHORD BEARING
~ FLAG POLE	CONCRETE SURFACE	OMP CORRUGATED METAL PIPE



JLH LAND SURVEYING INC.
 Illinois Professional Design Firm No. 184.007120
 910 Geneva Street, Shorewood, Illinois 60404
 815.729.4000 www.jlhsurvey.com

- ### MISCELLANEOUS NOTES:
- ALL FIELD MEASUREMENTS MATCH RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS.
 - BASIS OF BEARINGS: THE EAST RIGHT OF WAY LINE OF SHORE DRIVE TO BE NORTH 01 DEGREES 39 MINUTES 54 SECONDS WEST.
 - THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM SHORE DRIVE AND HURON DRIVE WHICH ARE DEDICATED PUBLIC RIGHT OF WAYS.
 - IN REGARDS TO TABLE "A" ITEM 2, AT THE TIME OF THIS SURVEY, THE ADDRESS WAS POSTED AS 311 SHORE DRIVE.
 - IN REGARDS TO TABLE "A" ITEM 16, AT THE TIME OF THIS SURVEY, THERE WAS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
 - IN REGARDS TO TABLE "A" ITEM 17, AT THE TIME OF THIS SURVEY, THERE WAS NO RECENT STREET OR SIDEWALK CONSTRUCTION OR PROPOSED RIGHT OF WAY CHANGES PROVIDED.



RECORD DESCRIPTION:

LOT 21 IN PLAT OF HINSDALE INDUSTRIAL PARK, UNIT TWO, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 19, 1969 AS DOCUMENT R69-42012, IN DUPAGE COUNTY, ILLINOIS.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. CCH12203286LD, DATED APRIL 29, 2022.

- ### SCHEDULE B:
- BUILDING LINE 40 FEET ALONG THE WESTERLY LINE AS SHOWN ON THE PLAT OF HINSDALE INDUSTRIAL PARK, UNIT 2, AFORESAID. ITEM IS SHOWN.
 - UTILITY EASEMENT AS SHOWN ON THE PLAT AND CONTAINED IN THE CERTIFICATE APPENDED TO THE PLAT OF HINSDALE INDUSTRIAL PARK, UNIT 2, AFORESAID, AS FOLLOWS: ALONG THE SOUTH AND NORTH 5 FEET, THE WESTERLY 7 FEET AND THE EAST 10 FEET OF THE LAND. ITEM IS SHOWN.
 - EASEMENT FOR ROAD ALONG THE WEST LINE AS SHOWN ON THE PLAT OF HINSDALE INDUSTRIAL PARK, UNIT 2, AFORESAID. ITEM IS SHOWN.

EXISTING PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	89
ADA	2
TOTAL	91

SIGNIFICANT OBSERVATIONS:

A NONE WERE OBSERVED.

LAND AREA:

112,928.89 SF± OR 2.59 ACRES±

FLOOD NOTE:

BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.MSC.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE (X) ON FLOOD INSURANCE RATE MAP NUMBER (17043C027J), WHICH BEARS AN EFFECTIVE DATE OF (08/01/2019) AND (IS NOT) IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S CERTIFICATE:

TO: DP BURR RIDGE, LLC; ZACCONE BUILDING, LLC; TDG PROPERTY GROUP, LLC AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, 7b1, 7c, 8, 9, 13, 14, 16 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 25, 2022.

James L. Harpole, PLS
 Illinois Professional Land Surveyor No. 035-04046
 Expires 11-30-2022
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



SURVEY PREPARED FOR:
LAW OFFICES OF ALAN D. PEARLMAN, LLC
 2803 BUTTERFIELD RD., SUITE 300
 OAK BROOK, IL 60523

DATE	REVISIONS	BY
06/08/22	FIRST DRAFT	JAH
06/09/22	REVISE CERTIFICATION	JAH

ALTA/NSPS LAND TITLE SURVEY
311 SHORE DRIVE
BURR RIDGE, ILLINOIS

PROJ. MGR.: JLH
 DRAWN BY: JAH
 CHECK BY: JR
 FIELD DATE: 05/25/2022
 SCALE: 1"=30'
 SHEET
1 OF 1
 22-1091-100

ARC DESIGN
RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

TESLA SERVICE FACILITY, BURR RIDGE, IL

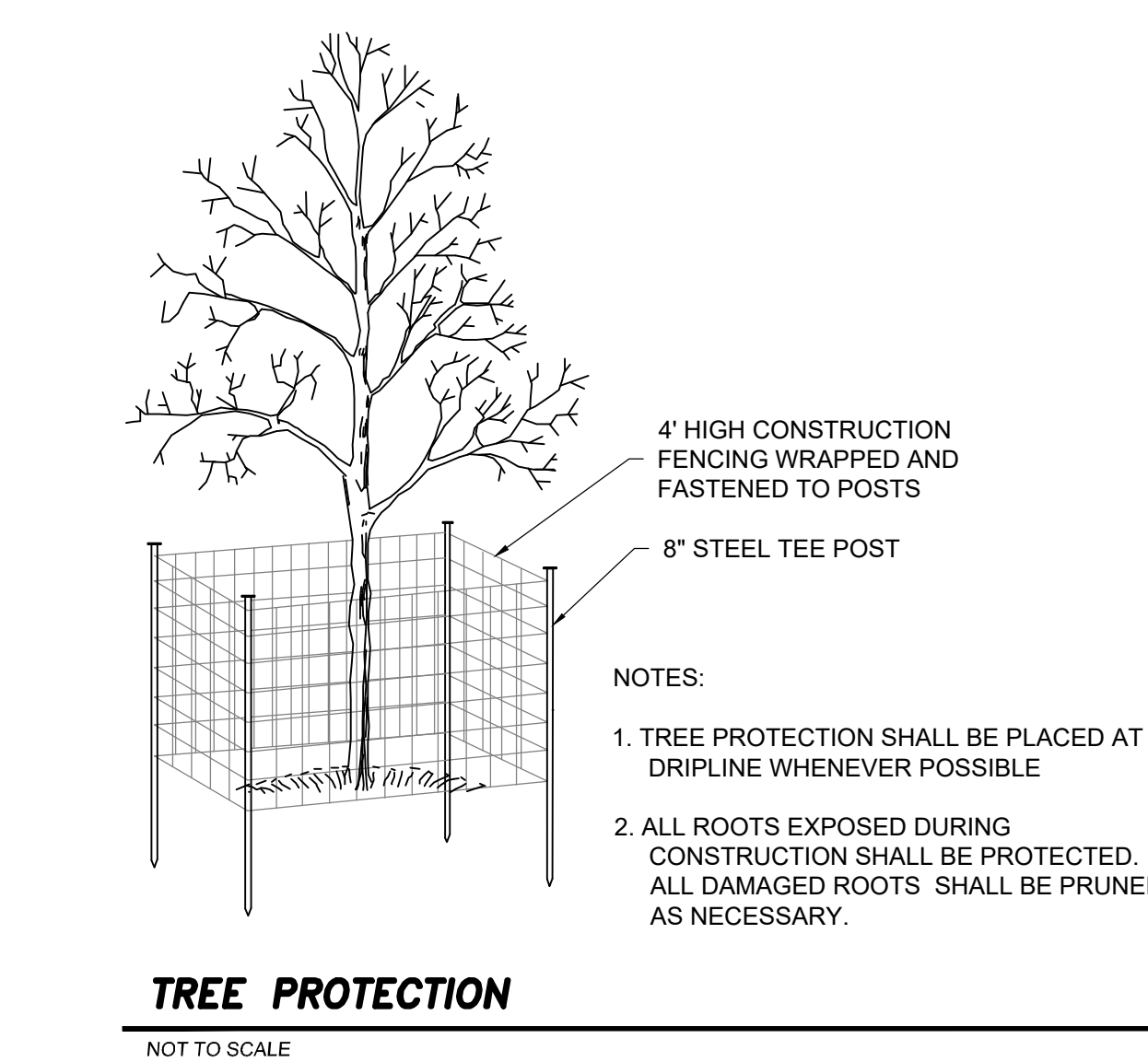
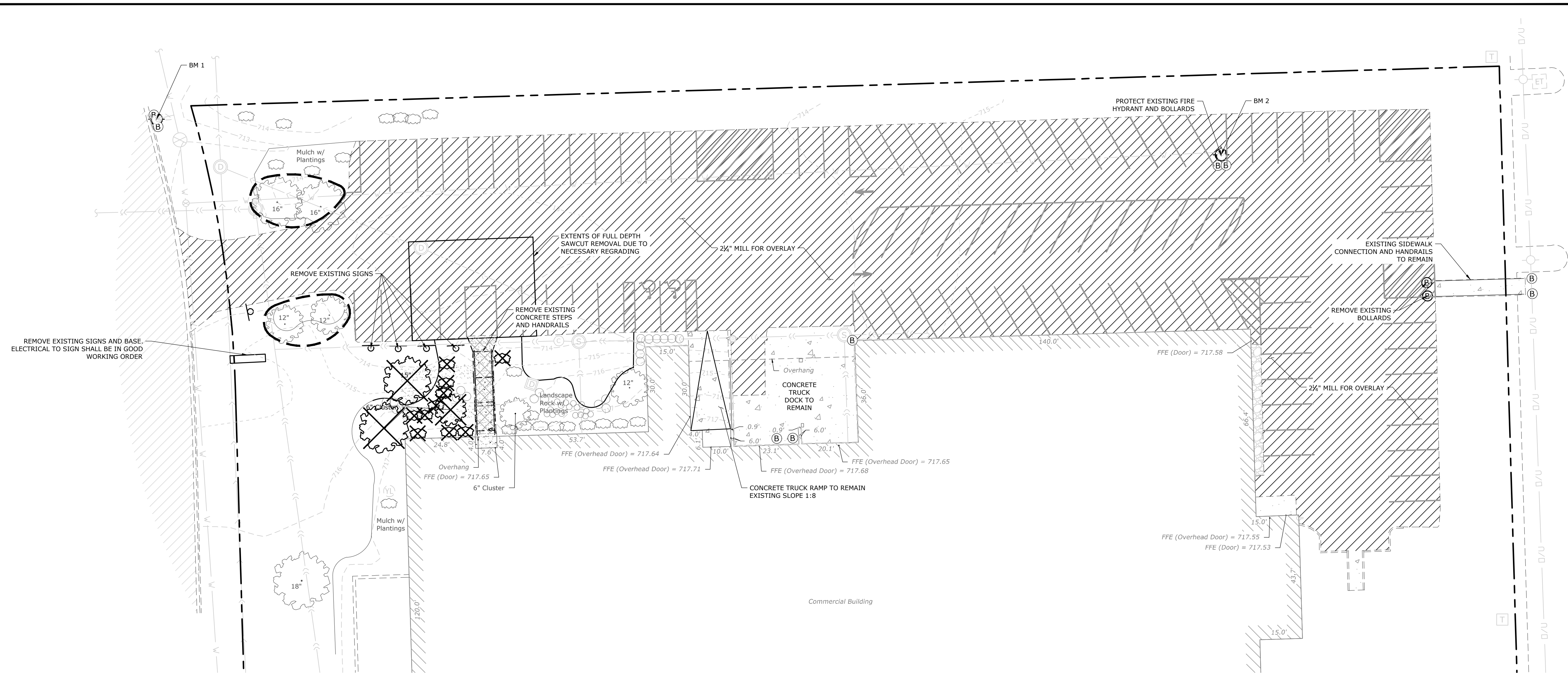
311 SHORE DRIVE
BURR RIDGE, IL 60527
DuPAGE COUNTY

The Daly Group, LLC
2803 Butterfield Road Suit 300
Oak Brook, IL 60523
Client Phone

CONSULTANTS

ISSUED FOR	DATE
1. CLIENT REVIEW	10/21/2022
2. AGENCY REVIEW	10/27/2022
3. AGENCY REVIEW	12/09/2022
4. --	--
5. --	--
6. --	--
7. --	--
8. --	--
9. --	--
10. --	--
11. --	--
12. --	--

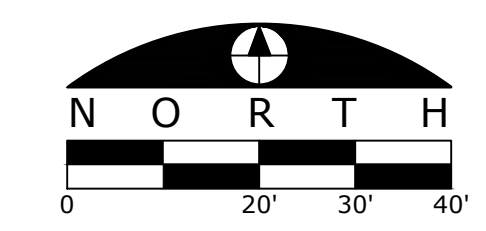
REVISIONS	DATE
1. --	--
2. --	--
3. --	--
4. --	--
5. --	--
6. --	--



DEMOLITION NOTES

1. A PRE-DEMOLITION ASBESTOS SURVEY HAS BEEN COMPLETED FOR THIS PROJECT. REFER TO PSI PROJECT NO. 00202990 (FUHRMANN) FOR INFORMATION REGARDING ASBESTOS ABATEMENT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL ITEMS THAT IMPEDE THE PROPER PLACEMENT OF ANY ITEMS PROPOSED BY THIS PLAN SET.
3. THE REMOVAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO: OBTAINING ALL DEMOLITION PERMITS REQUIRED, REMOVAL OF THE EXISTING TREES, SEALING OF THE EXISTING WATER WELL(S), REMOVAL ANY SEPTIC SYSTEM OR DRY WELLS (IF ANY) AND OTHER ITEMS TO COMPLETE THE REMOVALS.
4. THE CONTRACTOR SHALL REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE ENGINEER WITHIN EIGHT INCHES OF THE PROPOSED BUILDING FOOTPRINT TO THE DEPTH THAT SUCH UNSUITABLE MATERIALS EXIST. VOIDS SHALL BE FILLED IN ACCORDANCE WITH THE "EARTHWORK NOTES" ON THIS PLAN SHEET.
5. TREE REMOVAL SHALL INCLUDE THE COMPLETE REMOVAL OF ALL ROOT STRUCTURES.
6. THE CONTRACTOR SHALL COORDINATE DISCONNECTION, REMOVAL, AND RELOCATION OF THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES THAT ARE LEVIED BY UTILITY COMPANIES IN CONJUNCTION WITH DEMOLITION AND REMOVAL OF EXISTING UTILITIES.
7. DISPOSAL OF ALL MATERIALS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL MATERIALS FROM THE SITE, INCLUDING ALL ASSOCIATED PERMITS AND REGULATORY REQUIREMENTS.
8. THE CONTRACTOR SHALL BE FAMILIAR WITH THE APPROPRIATE SPECIFICATIONS FOR WELL ABANDONMENT, MATERIALS, PROCEDURES, AND ACCESS TO EQUIPMENT REQUIRED TO PROPERLY SEAL WELLS (IF ANY). THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN, COMPLETE, AND FILE THE APPROPRIATE FORMS THROUGH THE DuPAGE COUNTY HEALTH DEPARTMENT AND THE ILLINOIS ENVIRONMENT PROTECTION AGENCY (IEPA).
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO ADJACENT LOTS. INTERRUPTION OF SERVICES TO ADJACENT LOTS SHALL NOT OCCUR WITHOUT PROPER APPROVAL. A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN TO THE PROPERTY OWNERS PRIOR TO THE CONNECTION OF THE NEW SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH THE CONNECTION OF TEMPORARY UTILITY SERVICES, IF REQUIRED, TO FACILITATE CONSTRUCTION STAGING.
10. THE CONTRACTOR SHALL ENSURE THAT ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC., ARE FREE AND CLEAR OF ANY CONSTRUCTION ACTIVITY AND / OR EXCAVATED AND HAULED MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.
11. THE CONTRACTOR SHALL PERFORM A FULL-DEPTH SAW CUT ALONG THE PERIMETER OF PAVEMENT REMOVAL THAT ABUTS EXISTING PAVEMENT THAT IS TO REMAIN.
12. ANY DAMAGE SUSTAINED BY ITEMS THAT ARE TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER.
13. ANY FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECORDED SHOWING SIZE, LOCATION, AND DEPTH BY THE CONTRACTOR, AND EITHER RECONNECTED AND REROUTED OR CONNECTED TO THE STORM SEWER SYSTEM. CONTACT THE OWNER AND ENGINEER IMMEDIATELY FOLLOWING THE DISCOVERY OF ANY FIELD TILE NOT SHOWN ON THESE PLANS.
- 14.

BENCHMARKS	
DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1 NORTHEAST BOLT ON FIRE HYDRANT	714.96
BENCHMARK 2 NORTHWEST BOLT IN "MUELLER" ON FIRE HYDRANT	719.88



LEGEND

- PROPERTY LINE
- - - LOT LINE
- - - EXISTING RIGHT-OF-WAY
- - - EXISTING EASEMENT LINE
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING EDGE OF PAVEMENT TO BE REMOVED
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO BE REMOVED
- ▨ EXISTING SIDEWALK TO BE REMOVED
- ▨ EXISTING STANDARD DUTY ASPHALT PAVEMENT TO BE REMOVED
- ✕ EXISTING SHRUBS TO BE REMOVED
- ✕ EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN PROVIDE PROTECTION AS SHOWN

SHEET TITLE

EXISTING CONDITIONS AND REMOVALS PLAN

DRAWN	TS
CHECKED	LD
PM	RCS

PROJECT NUMBER
SHEET NUMBER

22190

C-01

PROJECT NAME
OWNER'S NAME

TESLA SERVICE FACILITY, BURR RIDGE, IL

311 SHORE DRIVE
BURR RIDGE, IL 60527
DuPAGE COUNTY

The Daly Group, LLC
2803 Butterfield Road Suite 300
Oak Brook, IL 60523
Client Phone

CONSULTANTS

ISSUED FOR

ITEM	DATE
1. CLIENT REVIEW	10/21/2022
2. AGENCY REVIEW	10/27/2022
3. AGENCY REVIEW	12/09/2022
4. --	--
5. --	--
6. --	--
7. --	--
8. --	--
9. --	--
10. --	--
11. --	--
12. --	--

REVISIONS

ITEM	DATE
1. --	--
2. --	--
3. --	--
4. --	--
5. --	--
6. --	--

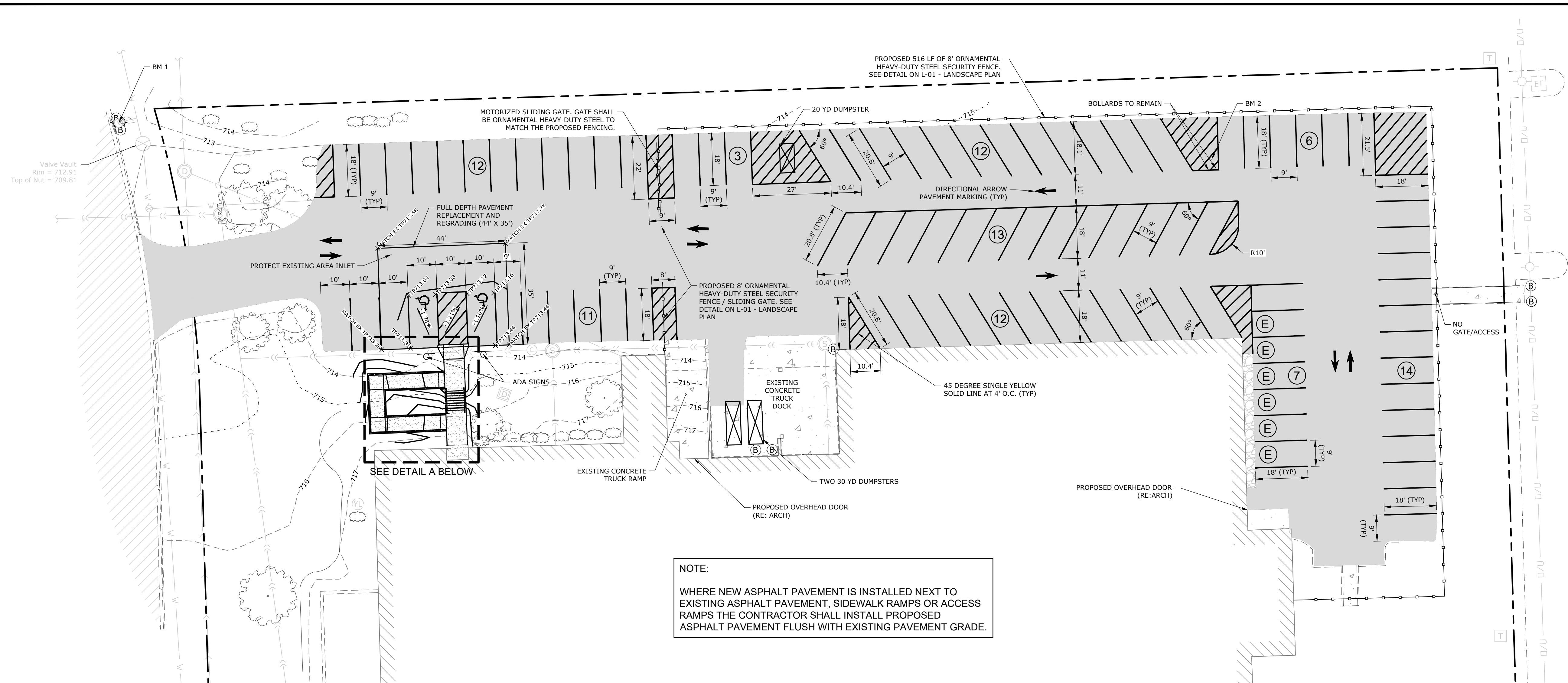
SHEET TITLE

LAYOUT PLAN

DRAWN TS
CHECKED LD
PM RCS

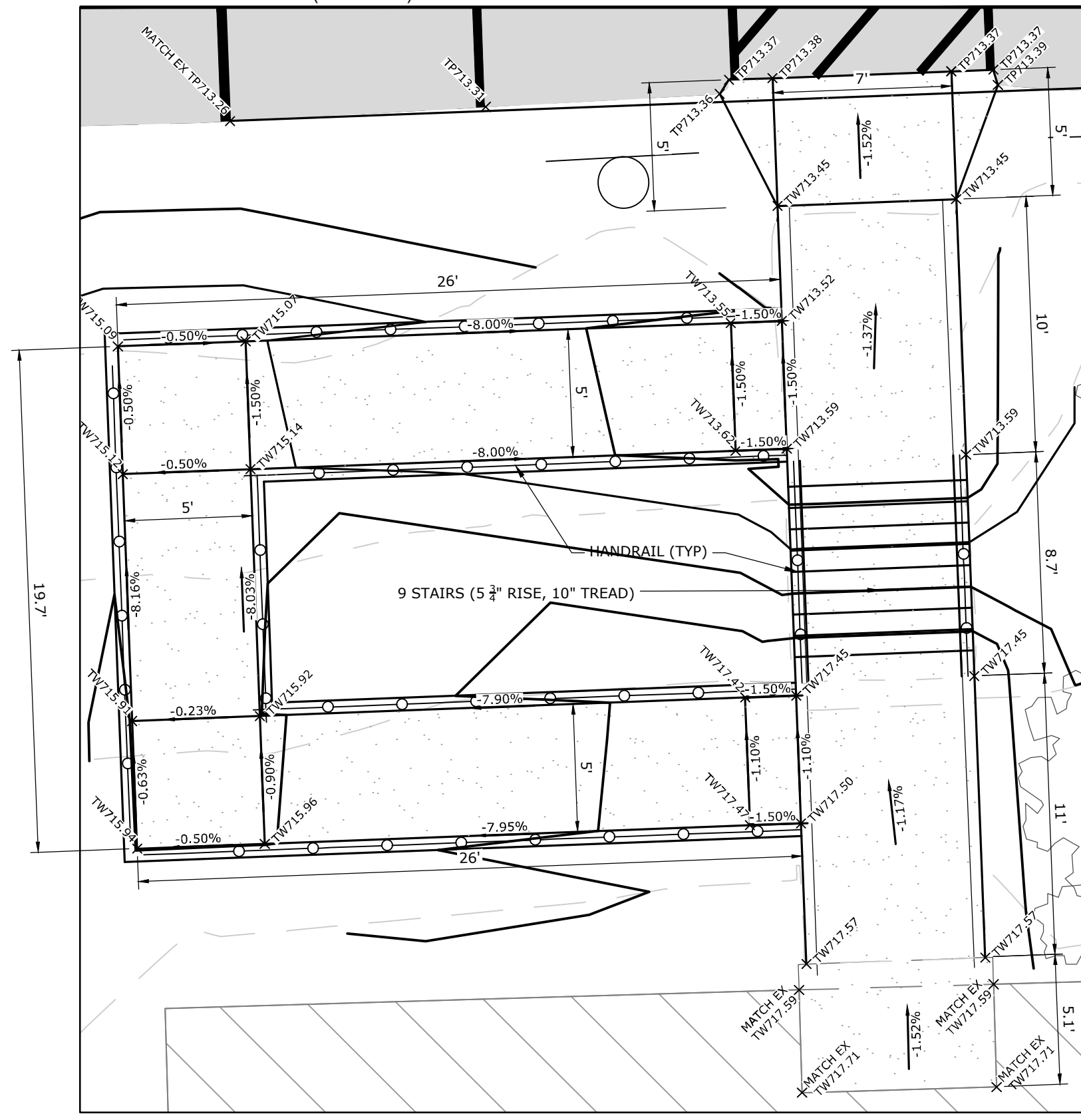
PROJECT NUMBER
SHEET NUMBER

22190
C-02



NOTE:
WHERE NEW ASPHALT PAVEMENT IS INSTALLED NEXT TO EXISTING ASPHALT PAVEMENT, SIDEWALK RAMPS OR ACCESS RAMPS THE CONTRACTOR SHALL INSTALL PROPOSED ASPHALT PAVEMENT FLUSH WITH EXISTING PAVEMENT GRADE.

DETAIL A (SCALE 1:5)



GENERAL PAVING NOTES

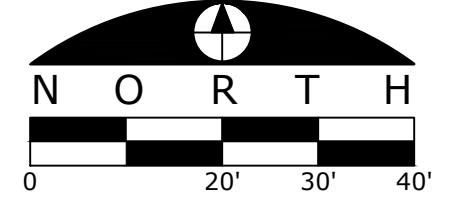
- ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (STANDARD SPECIFICATIONS), LATEST EDITION, INCLUDING ALL UPDATES AND STANDARDS THERETO.
 - STANDARDS AND REQUIREMENTS OF VILLAGE OF BURR RIDGE.
 - ADDITIONAL DETAILS AND REQUIREMENTS PROVIDED IN THE CONTRACT DOCUMENTS, INCLUDING THIS PLAN SET.
- ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
- THE SUBGRADE OF PAVEMENT AREAS SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF STANDARD PROCTOR DENSITY.
- THE SUBGRADE SHALL BE PROOF ROLLED, INSPECTED AND APPROVED BY THE VILLAGE OF BURR RIDGE PRIOR TO PLACING THE BASE MATERIAL. NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO FINISHED SUBGRADE PREPARATION.
- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE ROADWAY SUBGRADE, PROOF ROLLED, PLACING TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES TO FINISHED GRADE IN THE PARKWAYS AREAS ONLY, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
- THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING THE SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
- THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, PROOF ROLLING, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
- THE PROPOSED PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND CONSTRUCTED IN STRICT CONFORMANCE WITH THE PREVIOUSLY REFERENCED IDOT STANDARD SPECIFICATIONS AND VILLAGE OF BURR RIDGE.
- AREAS OF DEFICIENT PAVING, INCLUDING COMPACTION, SMOOTHNESS, THICKNESS, AND ASPHALT MIXTURE, SHALL BE DELINEATED, REMOVED, AND REPLACED IN COMPLIANCE WITH SPECIFICATIONS REQUIREMENTS UNLESS CORRECTED OTHERWISE AS DIRECTED AND APPROVED BY THE OWNER.
- FIELD QUALITY CONTROL TESTS SPECIFIED HEREIN WILL BE CONDUCTED BY THE OWNER'S INDEPENDENT TESTING LABORATORY (ITL) AT NO COST TO THE CONTRACTOR. ANY TESTING AND INSPECTION RESULTING FROM THE REQUIREMENTS OF NECESSARY PERMITS BY VILLAGE OF BURR RIDGE OR THE STATE OF ILLINOIS SHALL BE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PERFORM ADDITIONAL TESTING AS CONSIDERED NECESSARY BY THE CONTRACTOR FOR ASSURANCE OF QUALITY CONTROL. RETESTING REQUIRED AS A RESULT OF FAILED INITIAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - FIELD TESTING, FREQUENCY, AND METHODS MAY VARY AS DETERMINED BY AND BETWEEN THE OWNER, THE ITL AND VILLAGE OF BURR RIDGE.
 - TESTING SHALL BE PERFORMED ON FINISHED SURFACE OF EACH ASPHALT CONCRETE COURSE FOR SMOOTHNESS, USING 10'-0" STRAIGHTEDGE APPLIED PARALLEL WITH, AND AT RIGHT ANGLES TO CENTERLINE OF PAVED AREA. THE FOLLOWING TOLERANCES IN 10 FT SHALL NOT BE EXCEEDED: BASE COURSE SURFACE: 1/4-INCH, WEARING COURSE SURFACE: 1/8-INCH.
 - NO PONDING SHALL OCCUR ON PAVED SURFACES. REFER TO "GENERAL NOTES" IN THIS PLAN SET.

PAVEMENT MARKING NOTES

- MATERIAL DESCRIPTION: A FAST DRYING, HIGH HIDING MARKING PAINT FOR CONCRETE, BRICK, AND BITUMINOUS SURFACE, SUITABLE FOR PAINTING CENTERLINES AND EDGELINES OF HIGHWAYS, CROSSWALKS AND STOP ZONES, PARKING LOTS, TRAFFIC AISLES, ETC. DO NOT APPLY TO IN TEMPERATURES BELOW 50 °F.
- TWO COATS OF PAINT SHALL BE APPLIED.

BENCHMARKS

DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1 NORTHEAST BOLT ON FIRE HYDRANT	714.96
BENCHMARK 2 NORTHWEST BOLT IN "MUELLER" ON FIRE HYDRANT	719.88



LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED 8' CHAIN LINK FENCE WITH BLACK VINYL PRIVACY SLATS
- PROPOSED HANDRAILS
- PROPOSED GRADE BREAK LINE
- PROPOSED ROAD STRIPING
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED ELECTRIC CAR CHARGING STATIONS
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 2 1/4\"/>

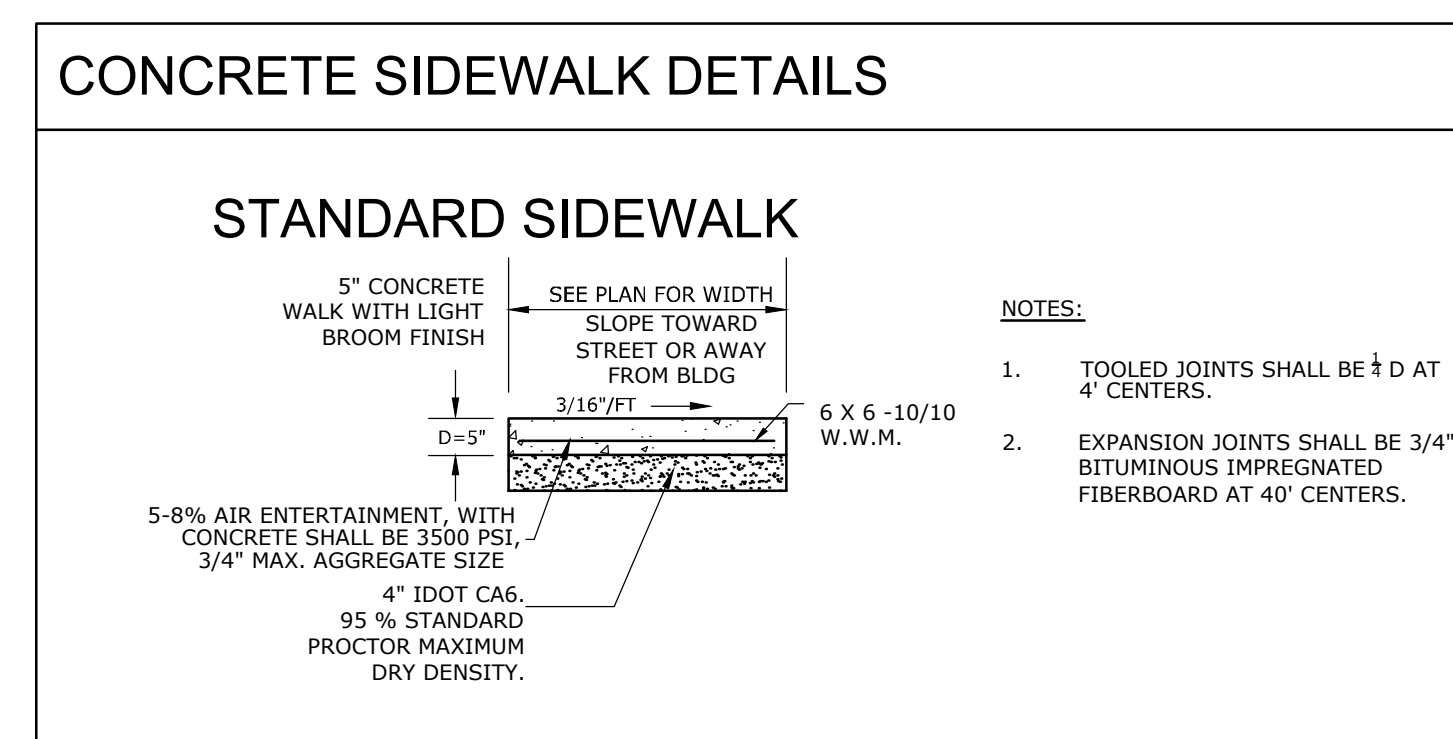
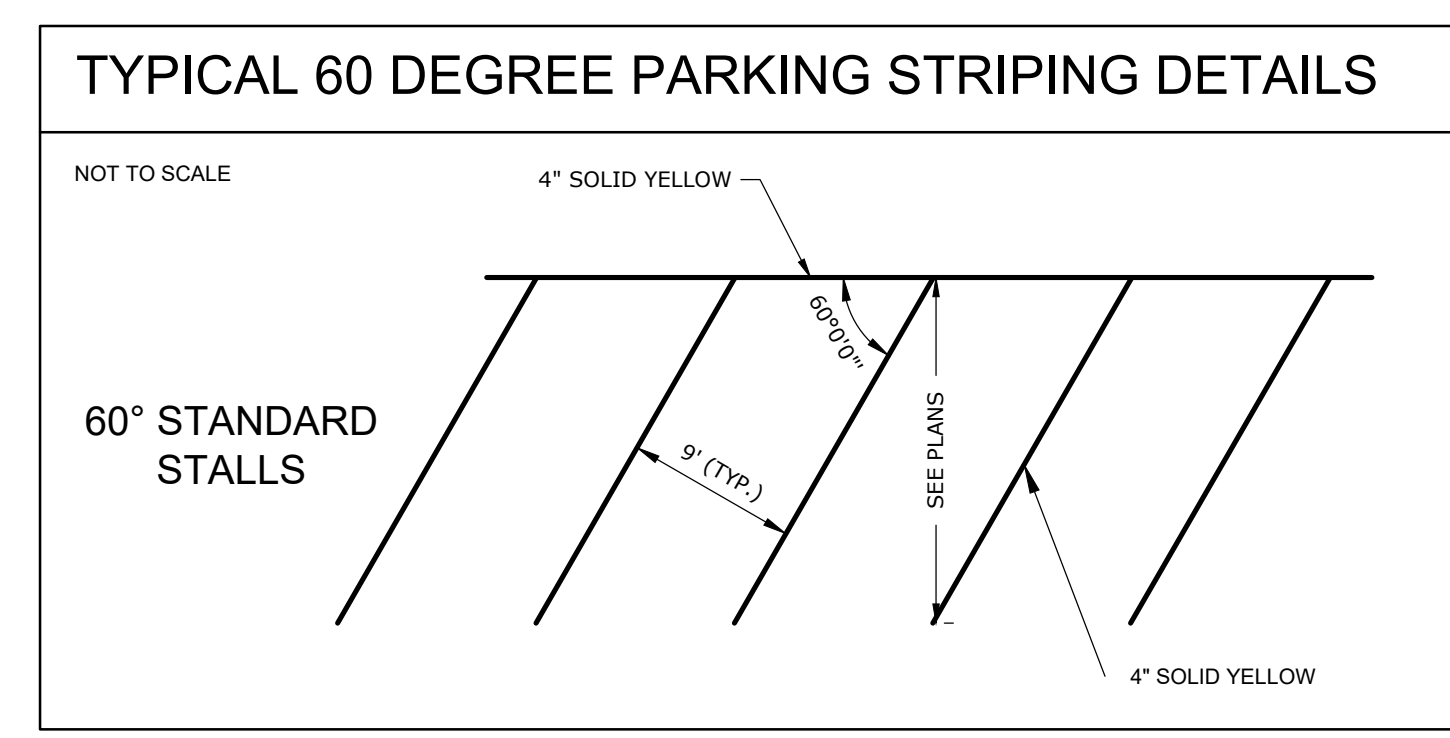
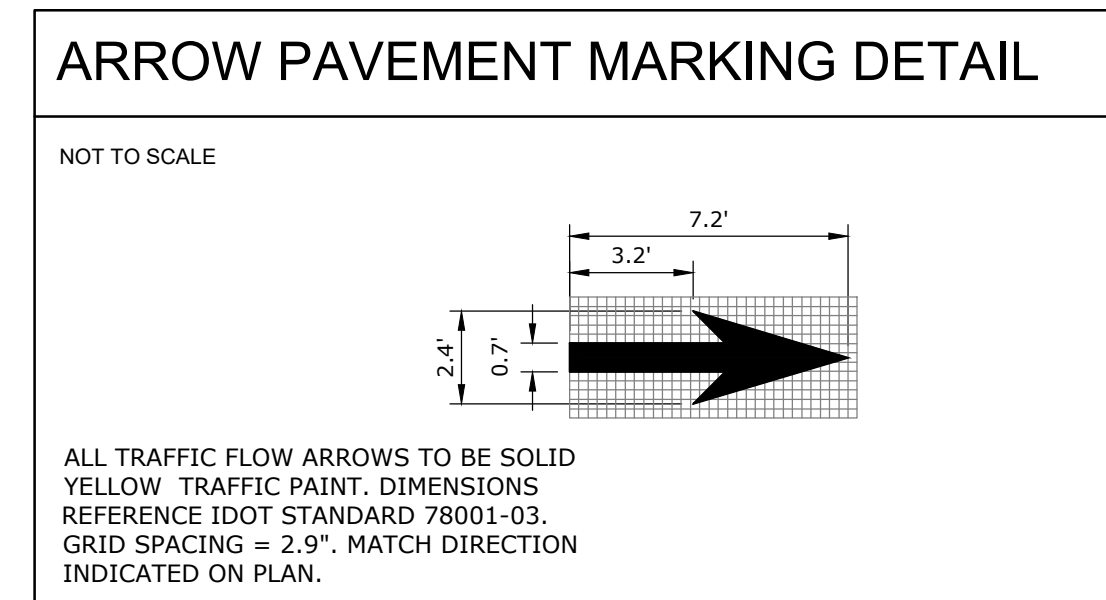
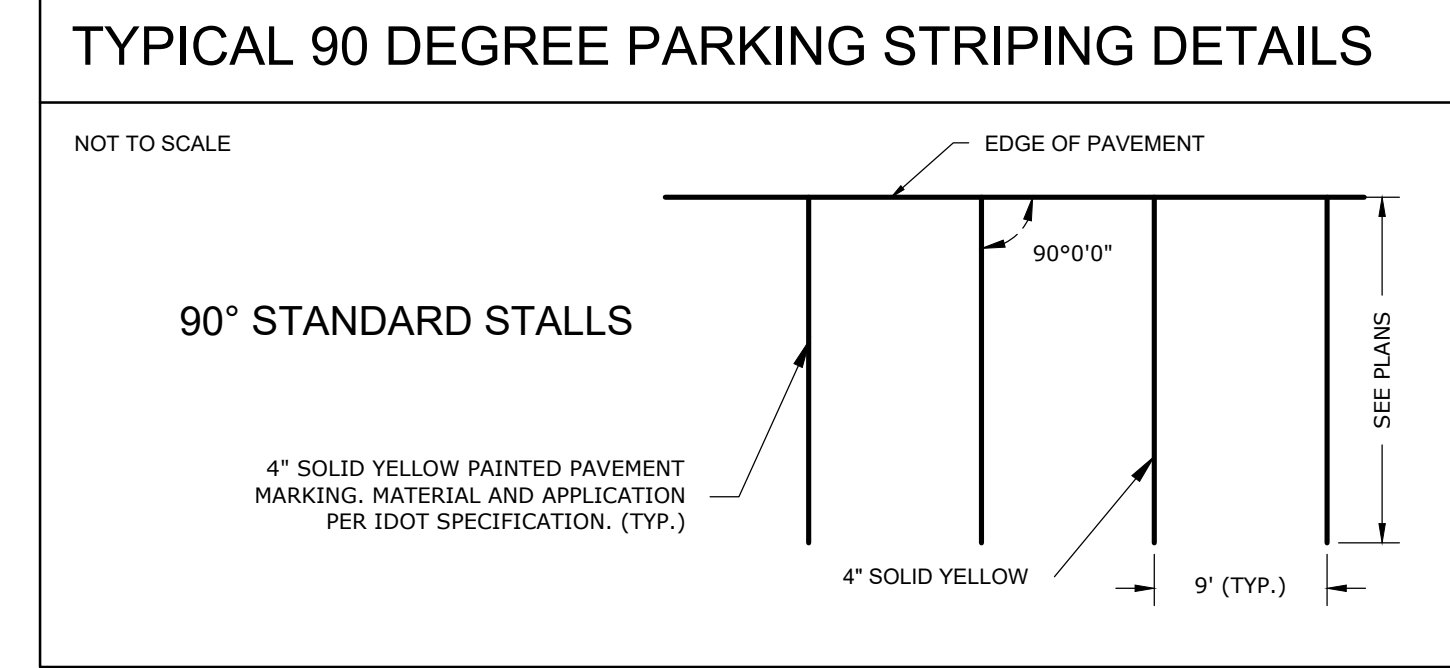
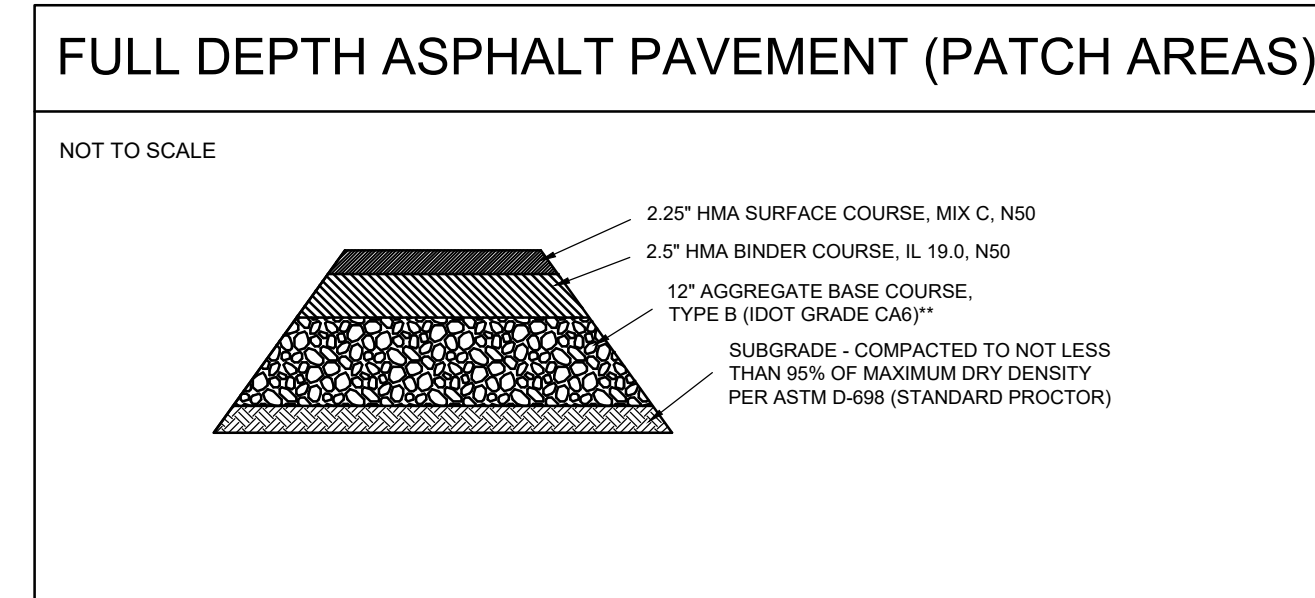
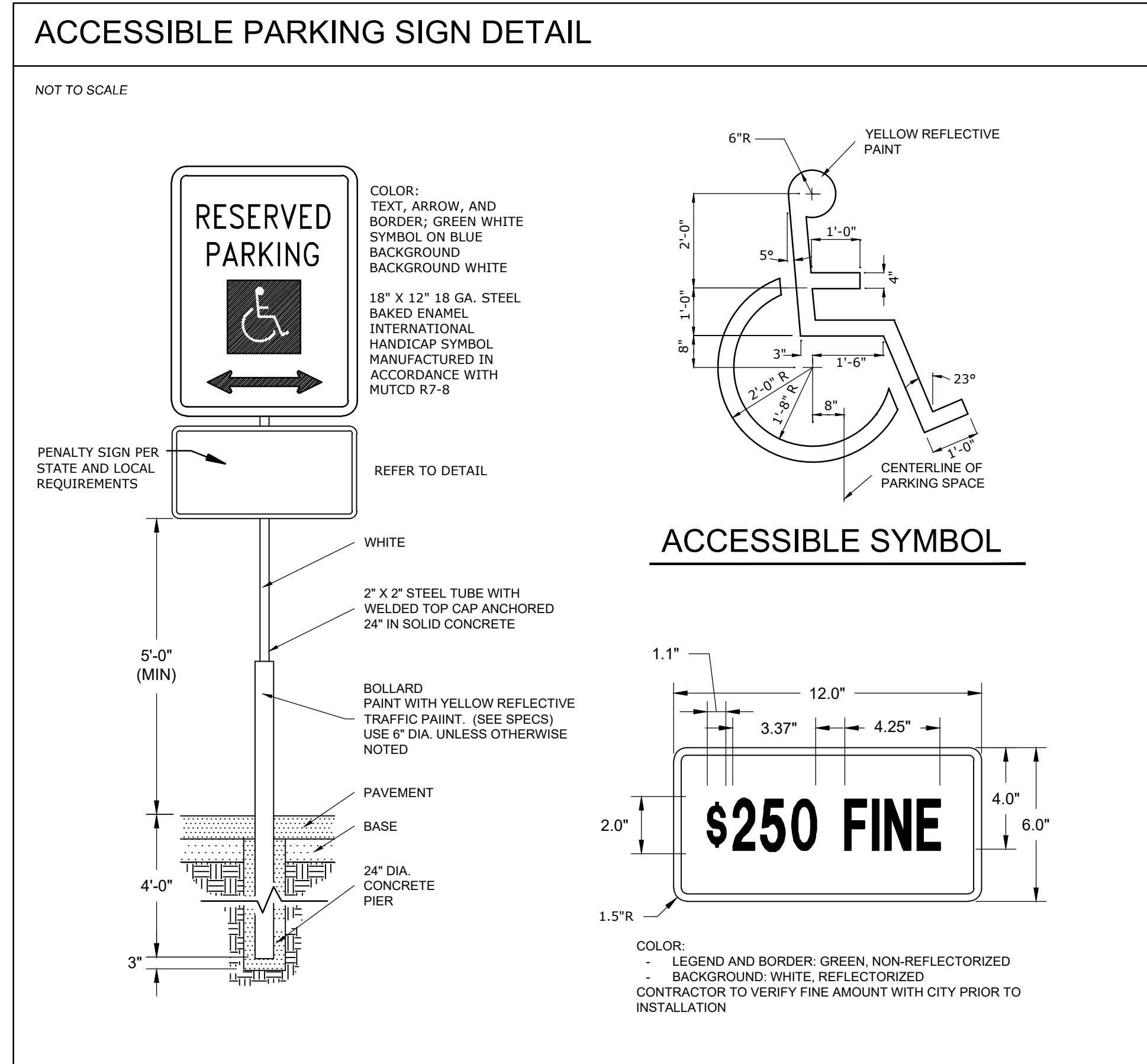
1.6%
X TYPED 0.00
X TYPED 0.00
X TYPED 0.00

DIRECTION OF SHEET FLOW

TOP OF WALK ELEVATION

TOP OF PAVEMENT ELEVATION

FINISHED GRADE ELEVATION



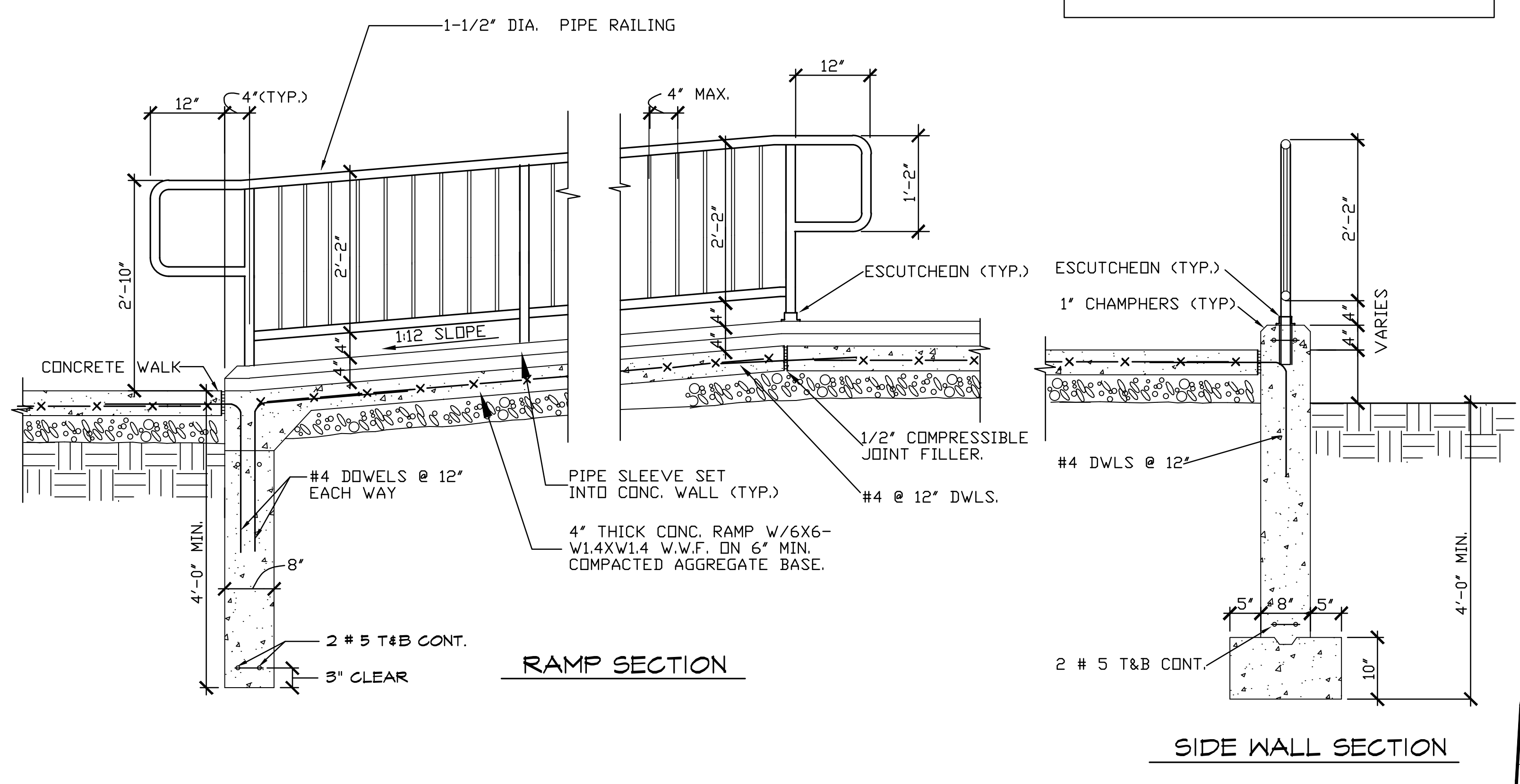
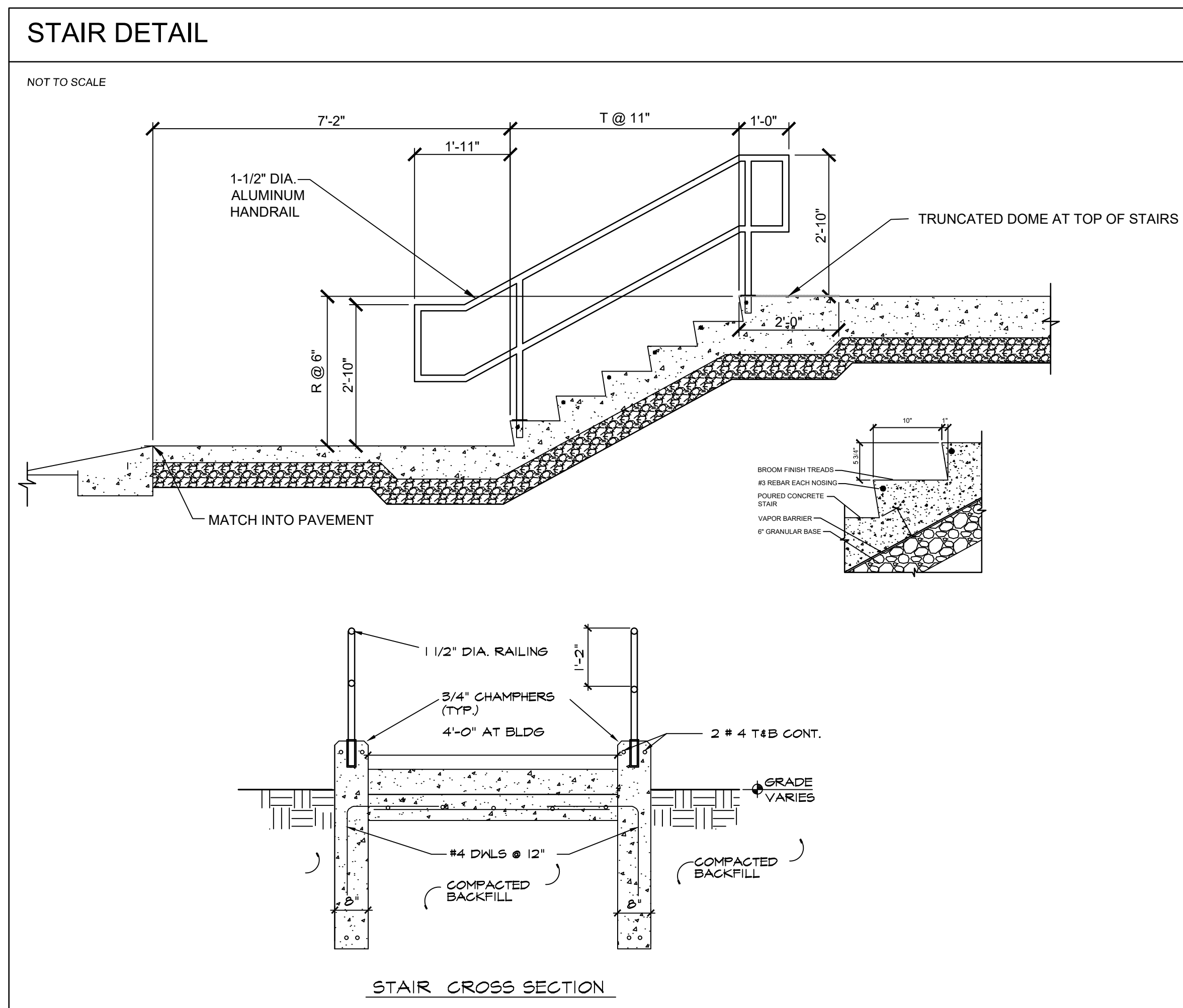
RAMP REQUIREMENTS

MINIMUM WIDTH: 48"

MAXIMUM SLOPE: 1"/FT. = 12:1

MAX. RISE WITHOUT RAILINGS: 6" AT 1"/FT.

MINIMUM LANDING LENGTH: 5'-0"



ARC DESIGN
 RESOURCES INC.

5281 ZENITH PARKWAY
 LOVES PARK, IL 61111
 VOICE: (815) 484-4300
 FAX: (815) 484-4303

www.arcdesign.com
 Illinois Design Firm License No. 184-001334

PROJECT NAME
 OWNER'S NAME

TESLA SERVICE FACILITY, BURR RIDGE, IL

311 SHORE DRIVE
 BURR RIDGE, IL 60527
 DuPAGE COUNTY

The Daly Group, LLC
 2803 Butterfield Road Suite 300
 Oak Brook, IL 60523
 Client Phone

CONSULTANTS

ISSUED FOR

NO.	DESCRIPTION	DATE
1.	CLIENT REVIEW	10/21/2022
2.	AGENCY REVIEW	10/27/2022
3.	AGENCY REVIEW	12/09/2022
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		

REVISIONS

ITEM	DATE
1.	
2.	
3.	
4.	
5.	
6.	

SHEET TITLE

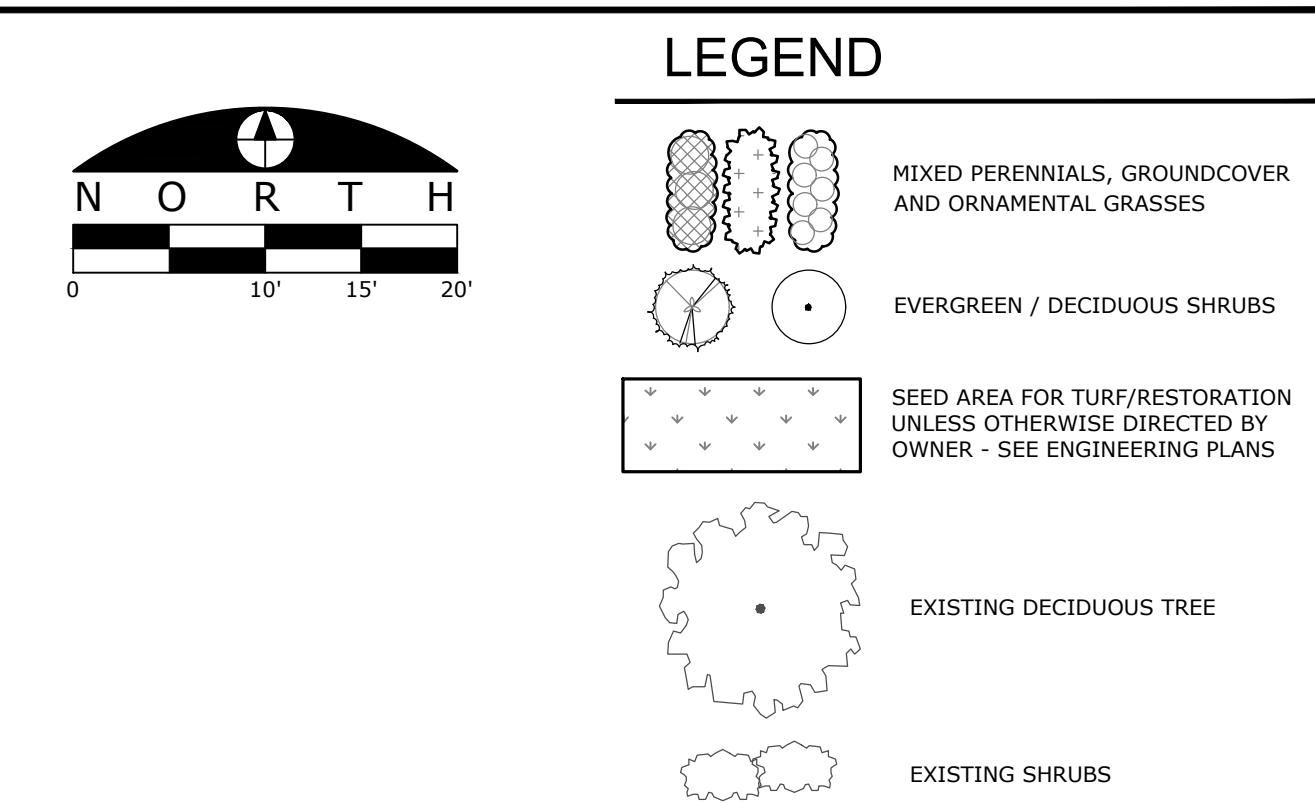
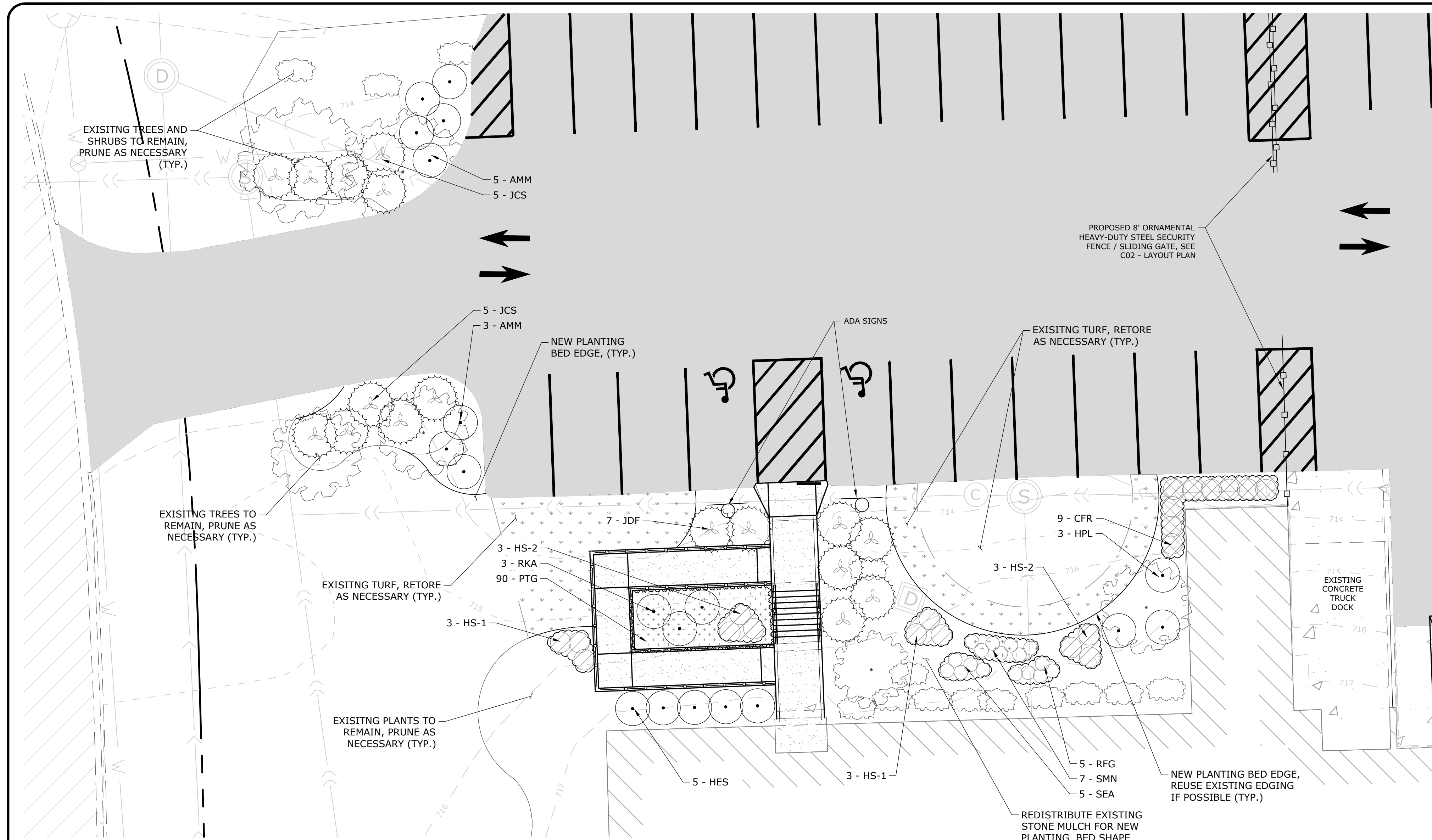
DETAILS

DRAWN	TS
CHECKED	LD
PM	RCS

PROJECT NUMBER
 SHEET NUMBER

22190

C-03



PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AMM	8	Aronia melanocarpa 'Elate' BLACK CHOKEBERRY	5 GAL	
JCS	10	Juniperus chinensis 'Sargentii' GREEN SARGENT JUNIPER	5 GAL	
JDF	7	Juniperus chinensis 'Daubs Frosted' DAUBS FROSTED GOLD TIP JUNIPER	5 GAL	
HES	5	Hydrangea macrophylla 'Endless Summer' ENDLESS SUMMER HYDRANGEA	5 GAL	HYBRID - REBLOOMING
HPL	3	Hydrangea paniculata 'Little Quick Fire' LITTLE QUICK FIRE HYDRANGEA	5 GAL	HYBRID - REBLOOMING
RKA	3	Rhododendron x 'Karen' KAREN AZALEA	5 GAL	HYBRID - REBLOOMING
CFR	9	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
HS-1	6	Hosta x 'Frances Williams' FRANCES WILLIAMS VARIEGATED HOSTA	GAL	3'-0" O.C. - PERENNIAL
HS-2	6	Hosta x 'Halcyon' HALCYON BLUE HOSTA	GAL	3'-0" O.C. - PERENNIAL
RFG	5	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEA	5	Sedum x 'Autumn Joy' AUTUMN JOY SEDUM	GAL	2'-0" O.C. - PERENNIAL
SMN	7	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL
PTG	90	Pachysandra terminalis 'Green Carpet' JAPANESE PACHYSANDRA SPURGE	GAL	9" O.C. - GROUNDCOVER

ARC DESIGN
RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

TESLA SERVICE FACILITY, BURR RIDGE, IL

311 SHORE DRIVE
BURR RIDGE, IL 60527
DuPAGE COUNTY

The Daly Group, LLC
2803 Butterfield Road Suite 300
Oak Brook, IL 60523
Client Phone

CONSULTANTS

ISSUED FOR

NO.	DESCRIPTION	DATE
1.	CLIENT REVIEW	10/21/2022
2.	AGENCY REVIEW	10/27/2022
3.	AGENCY REVIEW	12/09/2022
4.	---	---
5.	---	---
6.	---	---
7.	---	---
8.	---	---
9.	---	---
10.	---	---
11.	---	---
12.	---	---

REVISIONS

ITEM	DATE
1.	---
2.	---
3.	---
4.	---
5.	---
6.	---

SHEET TITLE

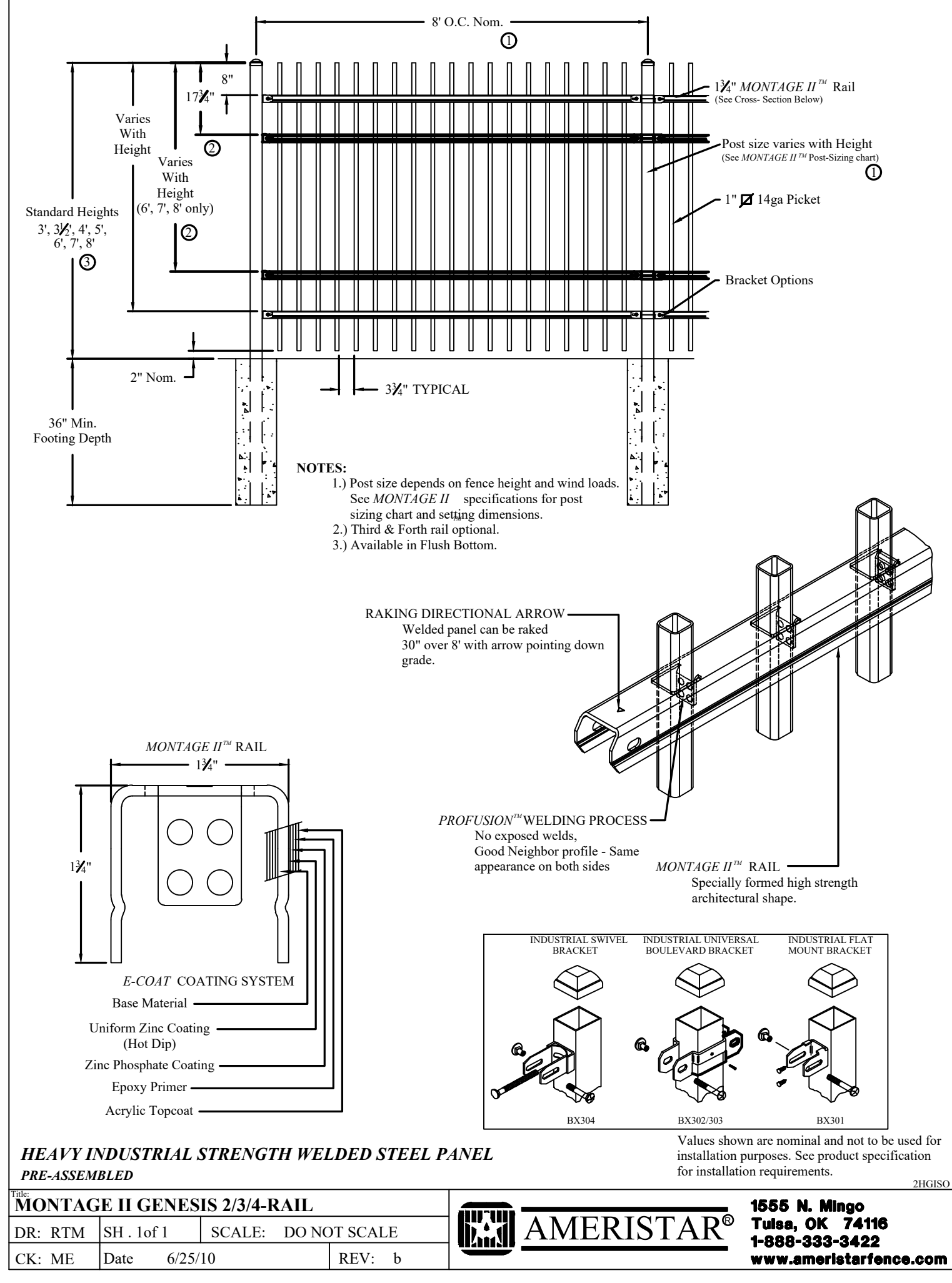
LANDSCAPE PLAN

DRAWN	TS
CHECKED	LD
PM	RCS

PROJECT NUMBER
SHEET NUMBER

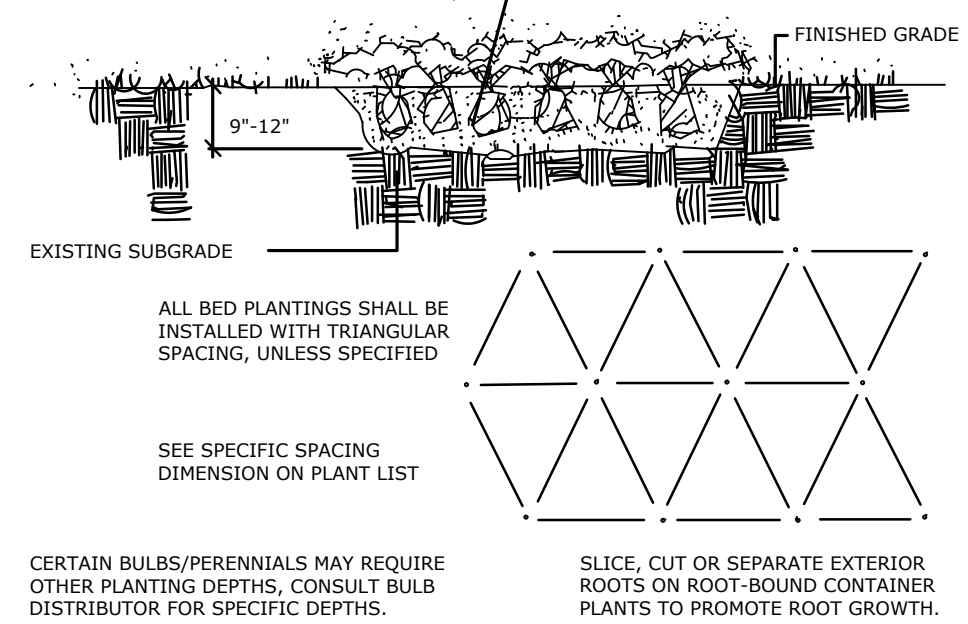
22190

L-01

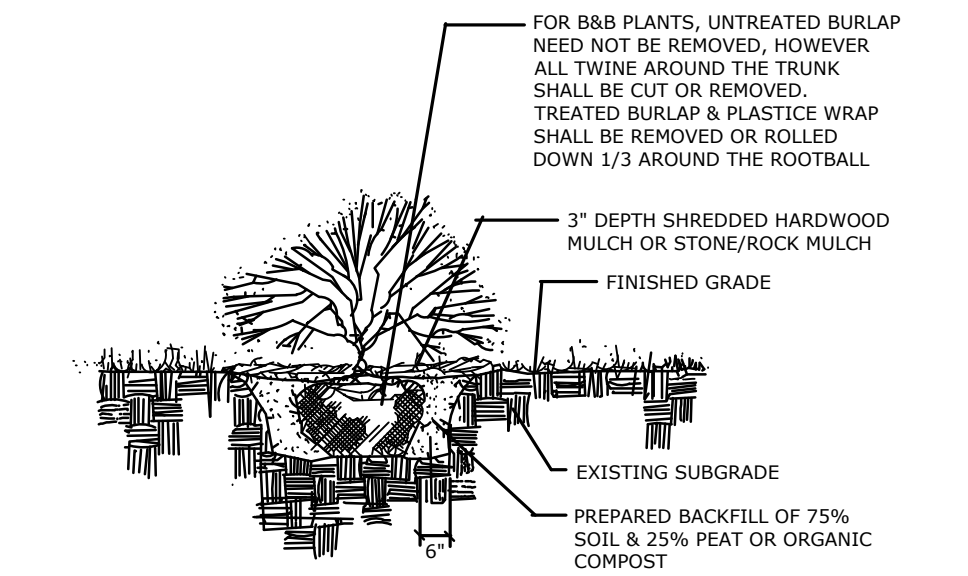


APPLY 18-6-12 OSMOCOTE (270 DAY) TIMED RELEASED FERTILIZER TO GROUNDCOVER & PERENNIAL BEDS & 14-14-14 OSMOCOTE (120 DAY) TIMED RELEASED FERTILIZER TO ANNUAL BEDS PER MFRS. RECOMMENDATIONS.

PLANTING SOIL: MIN. OF 3" MUSHROOM COMPOST ROTO-TILLED INTO SOIL TO A MIN. DEPTH OF 9". DON NOT COMPACT UNNECESSARILY AFTER PLANTING.



BED PLANTING DETAIL
(GROUNDCOVER, PERENNIALS & ANNUALS) NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

PLANTING NOTES

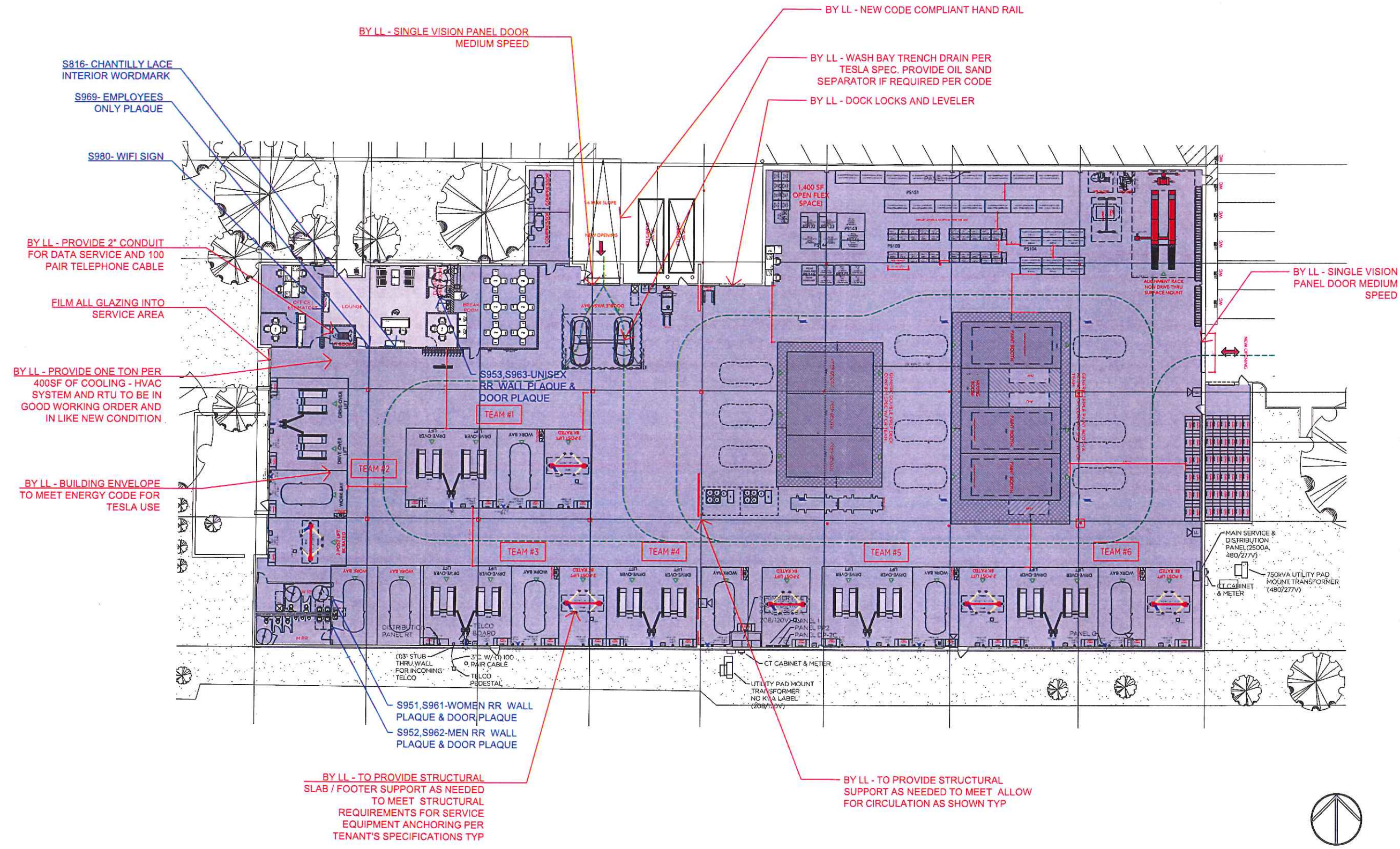
- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling 311.L.I.E. at 311. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for soil/seed. Roto-til, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner's representative.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- All plant material, especially trees, must be sourced within a one-hundred-fifty (150) mile radius of the subject property construction site.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with a minimum 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees and multi-stemmed ornamental trees shall be mulched to outer-most branches at the time of installation. Submit copies of all documents to owner and landscape architect.
- Where necessary per drawing, contractor to reinstall existing stone/rock mulch in a like-manner with the necessary weed barrier in planting beds that have been re-shaped.
- Unless noted, planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Where necessary, contractor to reinstall existing plastic or steel edging for containment of stone/rock mulch in existing planting bed areas, or install new edging of similar style if the existing edging is in poor condition or damaged.
- Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial rye and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scalds hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per Method 1, Section 251, of the Standard Specifications for Road and Bridge Construction.
- All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all seeded areas.
- Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

CONCEPT FLOOR PLAN
TRT ID 20157

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)

- SPECIAL CONDITIONS:**
- ZONING BY LL
 - UTILITY UPGRADES BY LL



WORKBAY COUNT

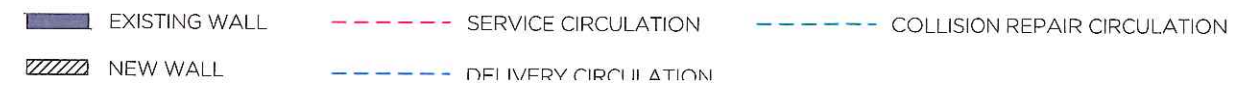
2-POST LIFTS	6
FUTURE 2-POST LIFTS	0
SCISSOR LIFTS	12
OPEN BAYS (SERVICE)	8
SUBTOTAL	26
PDI BAYS (SALES)	0
TOTAL	26

AREA BREAKDOWN (SF):

GROSS TOTAL:	40,475	SF	-	%
FIRST FLOOR:	40475	SF	-	%
SECOND FLOOR:	NA	SF	-	%
NET TOTAL:	39,298	SF	100	%
SERVICE SHOP:	33081	SF	84	%
PARTS AND STORAGE:	3,998	SF	10	%
LOUNGE:	970	SF	2	%
BOH:	1,249	SF	3	%
SHOWROOM:	NA	SF	#	%
DELIVERY:	NA	SF	#	%
UNBUILT/OTHER:	NA	SF	#	%

SCALE: 1/32" = 1'-0"

TESLA September 12, 2022

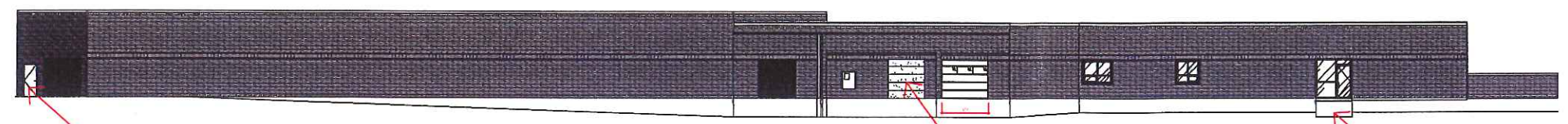


*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COS

NA | 311 SHORE DR BURR RIDGE, IL | US

CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

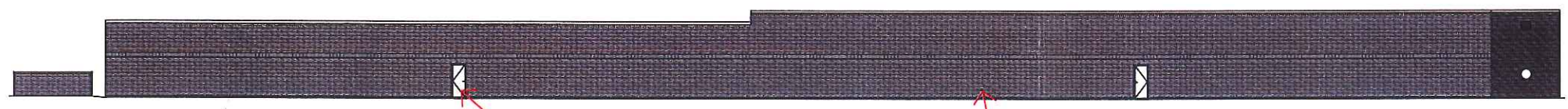
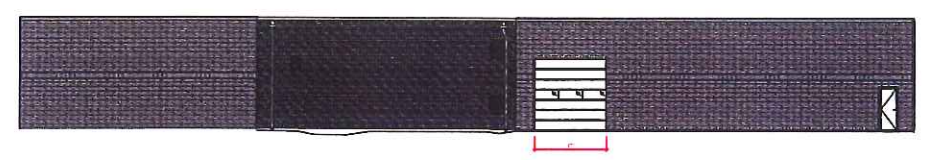
ELEVATION
TRT ID 20157



PAINT ALL EXTERIOR DOORS AND FRAMES TYP

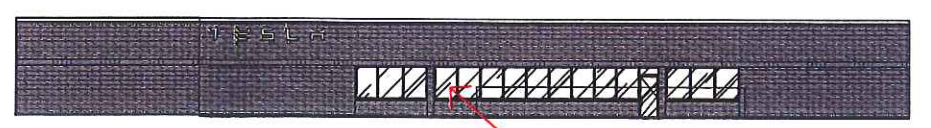
REMOVE OH DOOR AND INFILL - EIFS PAINTED TO MATCH ADJACENT

BY LL - ACCESSIBLE PATH OF TRAVEL FROM ADA STALLS TO FRONT ENTRY



PAINT ALL EXTERIOR DOORS AND FRAMES TYP

BY LL - EXISTING BRICK TO BE DELIVERED IN GOOD CONDITION TYP



FILM GLAZING INTO SERVICE AREA TYP

SCALE: 1/32" = 1'-0"

ESLA September 12, 2022

NA | 311 SHORE DR BURR RIDGE, IL | US

*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COS

SCOPE OF WORK
TRT ID 20157

BUILDING SHELL (N) (E) FINISH:	NOTES:
PAINING: X -	PAINT EXTERIOR DOORS AND FRAMES

SHOWROOM (N) (E) FINISH:	NOTES:
FLOORING: - - TILE	-
CEILING: - - OPEN CEILING	-
LIGHTING: - - SUSPENDED	-
PAINING: - -	-

LOUNGE (N) (E) FINISH:	NOTES:
FLOORING: X - CARPET	-
CEILING: X - ACT	-
LIGHTING: X - 2 X 2 DROP IN	-
PAINING: X -	-

SERVICE (N) (E) FINISH:	NOTES:
FLOORING: X - SEALED CONCRETE	-
CEILING: X - OPEN CEILING	-
LIGHTING: X - SUSPENDED	-
PAINING: X -	WALLS AND CEILINGS

CUSTOMER RR (N) (E) FINISH:	NOTES:
FLOORING: X - TILE	-
CEILING: X - GYP	-
LIGHTING: X - DOWNLIGHT	-
PAINING: X -	-

EMPLOYEE RR (N) (E) FINISH:	NOTES:
FLOORING: X - VCT	-
CEILING: X - ACT	-
LIGHTING: X - 2 X 2 DROP IN	-
PAINING: X -	-

OFFICE (N) (E) FINISH:	NOTES:
FLOORING: X - CARPET	-
CEILING: X - ACT	-
LIGHTING: X - 2 X 2 DROP IN	-
PAINING: X -	-

BRANDING	QTY	NOTES
WORD MARK - NON ILLUM	1 -	
WORD MARK - ILLUM:	1 -	
T-FLAG:	- -	
MONUMENT SIGN:	1 -	
BLADE SIGN	- -	
SERVICE SIGN:	- -	
WAY FINDING PACKAGE	- -	

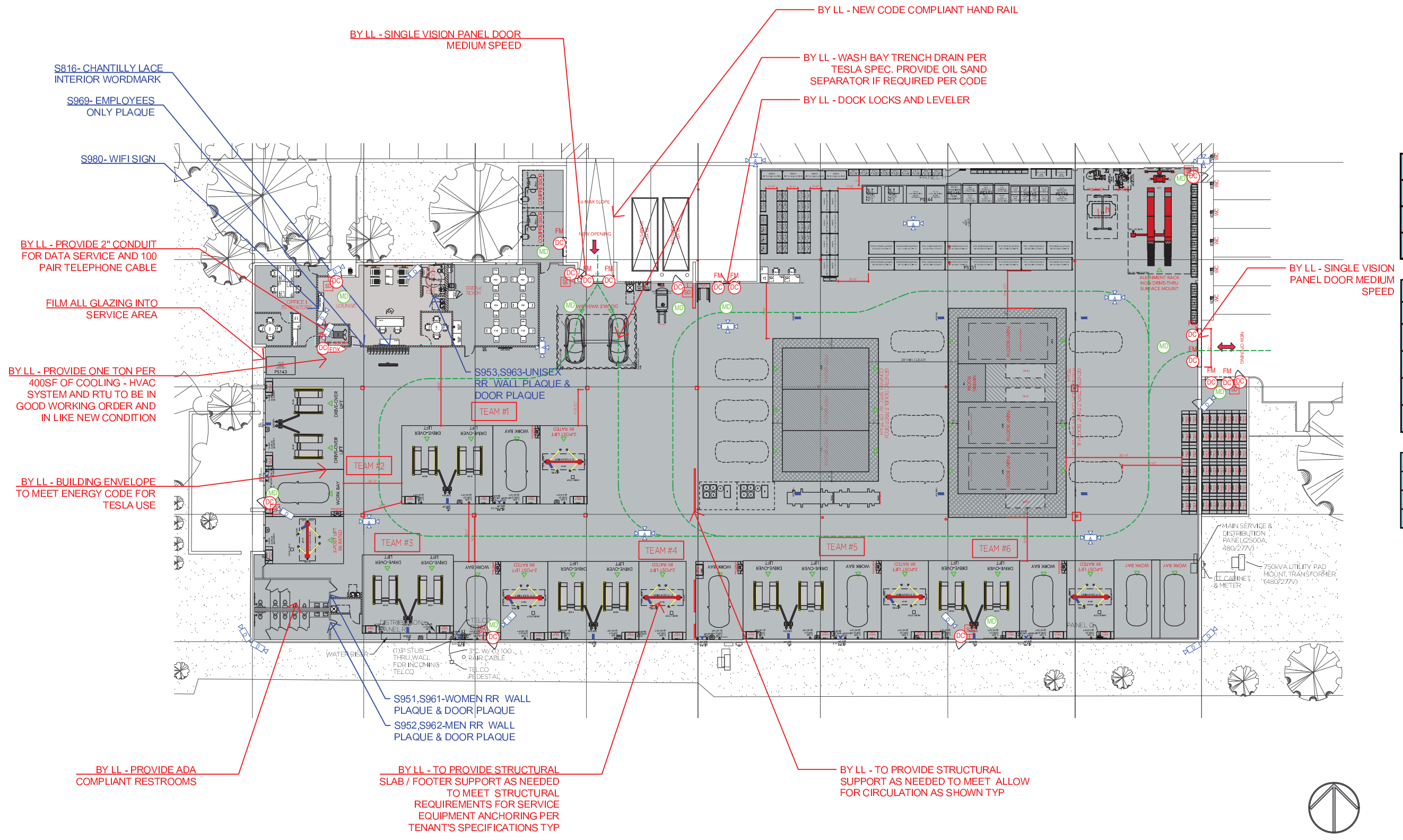
SITE WORK	NOTES
DIRECTIONAL ARROWS:	- -
RAMPS/STAIRS:	X BY LL
FENCING:	X BY LL
LANDSCAPING:	X BY LL
PARKING LOT STRIPING:	X BY LL
DRAINAGE:	X BY LL
TRASH ENCLOSURE:	X BY LL - IF REQUIRED

BUILDING UPGRADES	(LL)	(T)	REPAIR	REPLACE WITH NEW	ADD NEW	NOTES
PANEL UPGRADES:	X	-	X	-	-	IF REQUIRED
RTU:	X	-	-	X	-	REFER TO BRINCO REPORT
UNIT HEATERS:	-	-	-	-	-	
HVAC:	X	-	-	X	-	
NEW TRENCH:	X	-	-	-	X	
OILSAND, WATER SEP.	X	-	-	-	X	IF REQUIRED
NEW ROLL-UP DOORS	X	-	-	-	X	SIZE: 12X12 QTY: 1 SIZE: 10X8 QTY: 1
ELEVATOR	-	-	-	-	-	

CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

CONCEPT FLOOR PLAN
TRT ID 20157

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)



VSS			
Description	Quantity	Unit	
CAMERA - A_MULTI-SENSOR	9	Count	
CAMERA - D_DOME	12	Count	

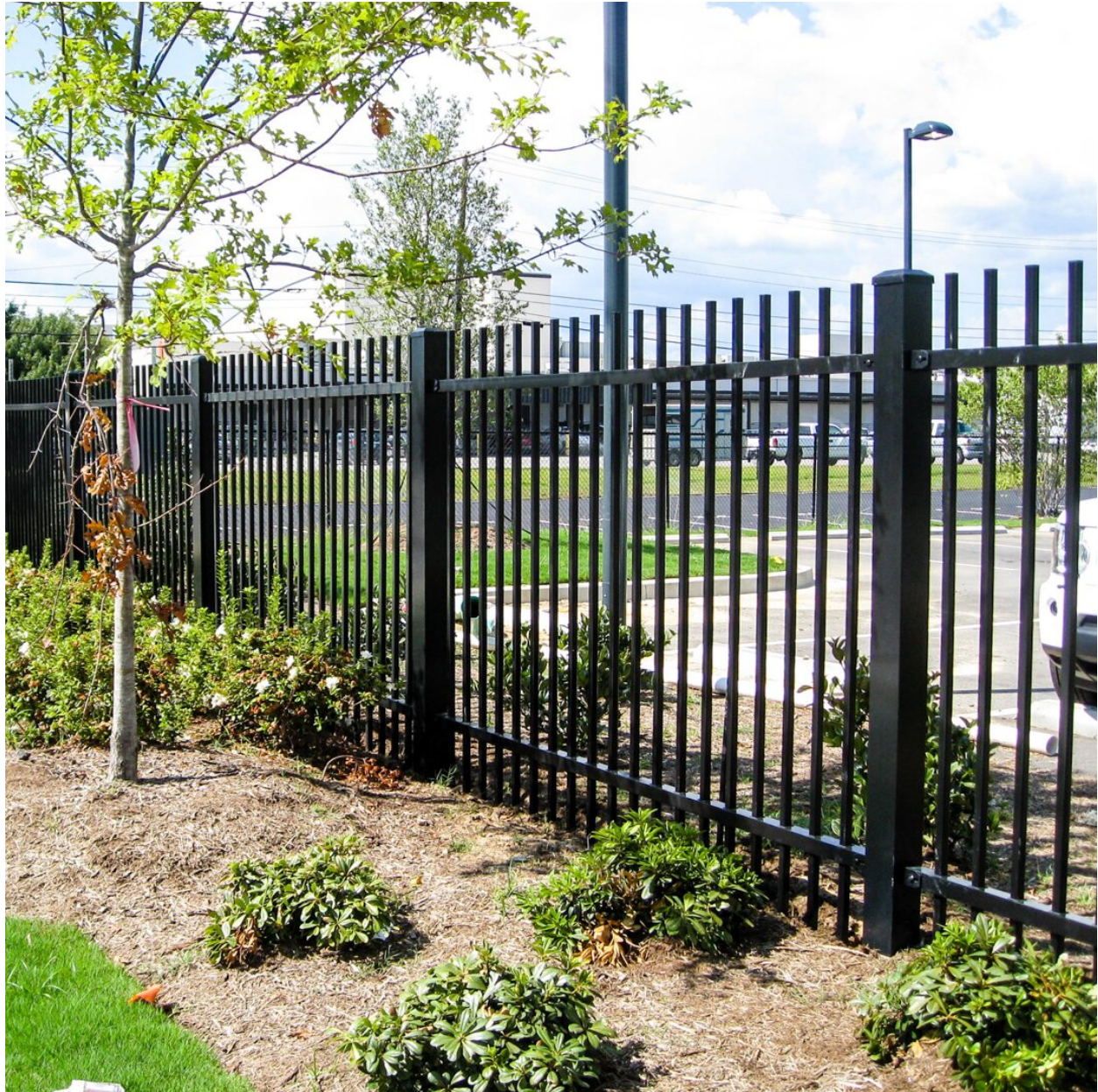
IDS			
Description	Quantity	Unit	
DOOR CONTACT - CONCEALED	8	Count	
DOOR CONTACT - FLOOR MOUNT OHD	9	Count	
MOTION DETECTOR - CEILING	11	Count	
SOUNDER	8	Count	

ACS			
Description	Quantity	Unit	
DOOR CONTACT - DOUBLE POLE - DOUBLE THROW	1	Count	
ELEC LOCK - ELEC EXIT REX	1	Count	

SCALE: 1/32" = 1'-0"

Ameristar Perimeter Security Fence - Echelon II

<https://www.ameristarperimeter.com/us/en/content-fragments/products/ornamental-fence-gates/echelon/echelon-ii/assets/Echelon2-Slide-6.png/jcr:content/renditions/cq5dam.M.1200.0.jpeg>



Echelon II®



INDUSTRIAL ORNAMENTAL ALUMINUM FENCE

INSTITUTIONS | MUNICIPAL | PARKS & RECREATION | SCHOOLS



FENCE PRODUCTS

AMERISTARFENCE.COM | 800-321-8724

Experience a safer and more open world

AMERISTAR®

ASSA ABLOY

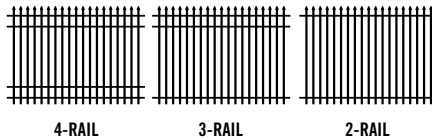
WHY IS ECHELON II® THE MOST DOMINANT INDUSTRIAL ALUMINUM ORNAMENTAL FENCE IN THE MARKET?

UNRIVALED STRENGTH. UNMATCHED DURABILITY. UNPARALLELED AESTHETIC.



CLASSIC™

Echelon II Classic style boasts traditional extended pickets with an arrow-shaped spear. These pointed pickets act as a visual warning to potential intruders.

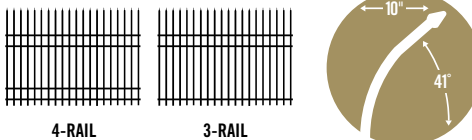


- 4-rail panels in 8', 9' & 10' heights
- 3-rail panels in 4', 5', 6' & 7' heights
- 2-rail panels in 4', 5' & 6' heights



INVINCIBLE™

Echelon II Invincible features outwardly curved pickets that serve as a warning to potential intruders. This fence style is the only industrial aluminum fence available that provides increased security with its unique "anti-climb" curved pickets.



- 4-rail panels in 8', 9' & 10' heights
- 3-rail panels in 7' height

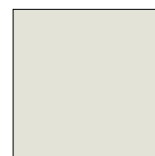
COLORS



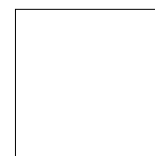
BLACK



BRONZE



DESERT SAND



WHITE

This revolutionary fence system is comprised of aluminum posts, panels, & mounting brackets that are easily installed along any terrain. Echelon II's superior strength and durability is a result of combining top quality design components with a maintenance-free, architectural grade finish.

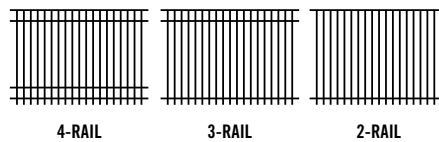
PICKETS	RAILS	POST OPTIONS		
1" x 1" x .062" / .125" wall*	1.75" x 1.75" x .070"	2.5" x 2.5" x .080"	3" x 3" x .120"	4" x 4" x .250"

* Invincible only



MAJESTIC™

Echelon II Majestic has a contemporary feel that incorporates a flush top rail that produces a stately and streamlined appearance. This fence style highlights the landscape by blending with the surrounding architectural design.

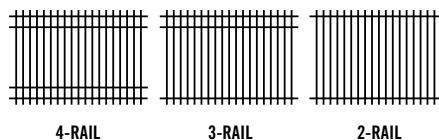


- 4-rail panels in 8', 9' & 10' heights
- 3-rail panels in 4', 5', 6' & 7' heights
- 2-rail panels in 4', 5' & 6' heights



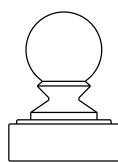
GENESIS™

Echelon II Genesis has sleek lines of unaltered square pickets that are reminiscent of solid vertical bar wrought iron. The extended flat-topped tips can also be accented with decorative finials to enhance the fence design.



- 4-rail panels in 8', 9' & 10' heights
- 3-rail panels in 4', 5', 6' & 7' heights
- 2-rail panels in 4', 5' & 6' heights

ADORNMENTS



BALL CAP



RING



TRIAD



QUAD FLAIR

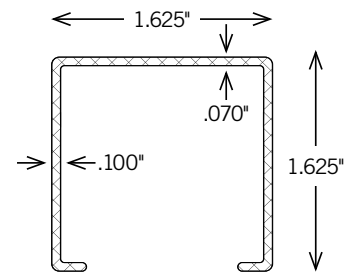
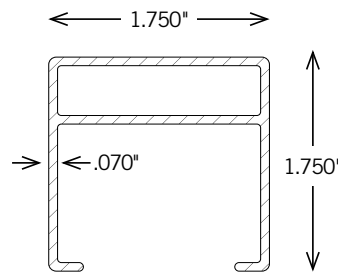


STRUCTURAL PARAMETERS

FORERUNNER™ (ALUMINUM) ECHELON II®

U-CHANNEL (ALUMINUM) COMPETITORS

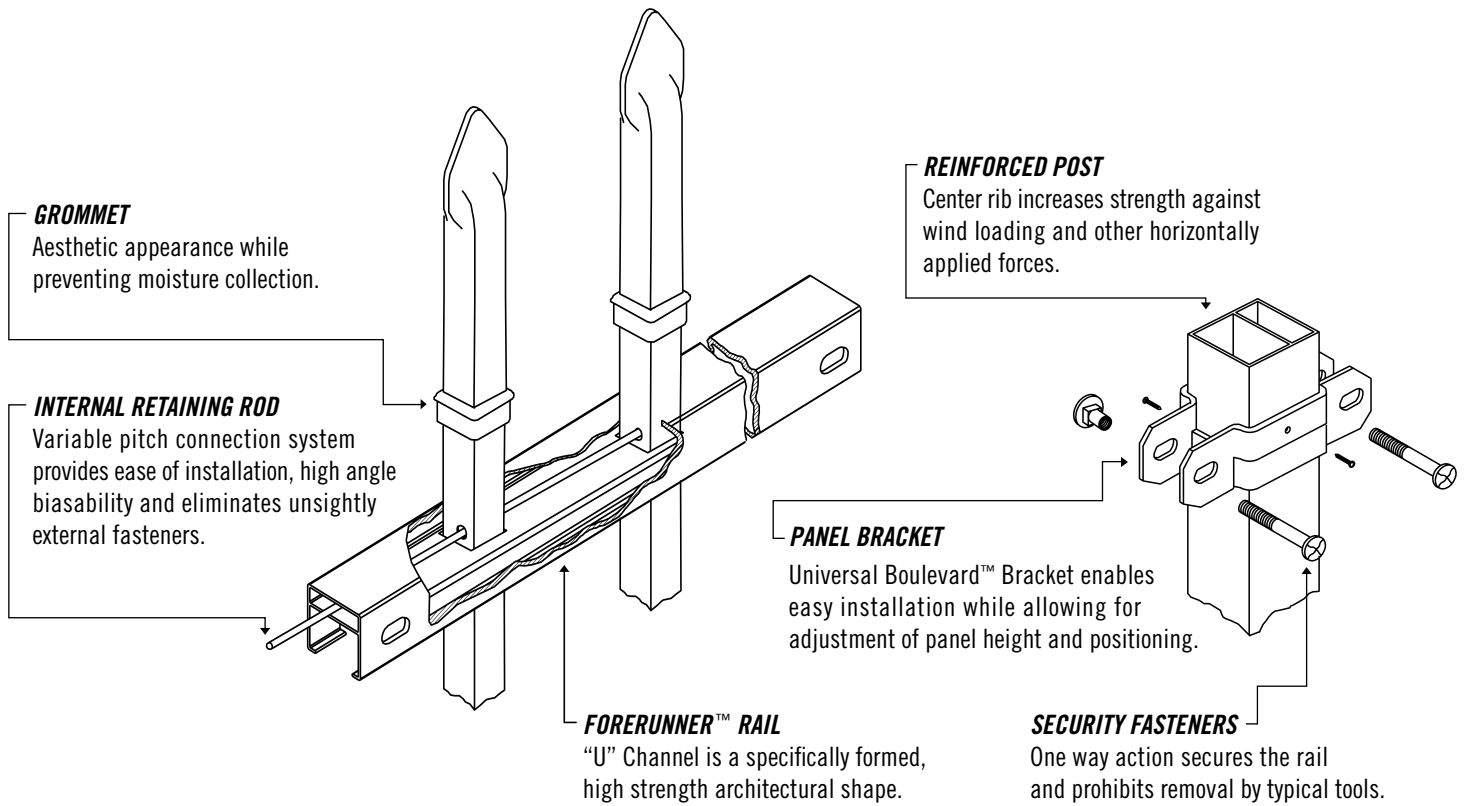
Profile of the architectural shape of the rail.
Vertical design loads are per rail.
(For capacity of fence panel, multiply by number of rails.)



T_{EFF} = EFFECTIVE WALL THICKNESS (IN)	.070	.100 / .070
S_V = SECTION MODULUS (IN) VERTICAL	.125	.135
S_H = SECTION MODULUS (IN) HORIZONTAL	.260	.260

VERTICAL LOAD DATA PV_f = Ultimate Vertical	6' SPAN	243#	262#
	8' SPAN	182#	182#
HORIZONTAL LOAD DATA PH_f = Ultimate Horizontal	6' SPAN	505#	499#
	8' SPAN	379#	373#
VERTICAL LOAD DATA PV_d = Vertical Design load at .66° F	6' SPAN	145#	145#
	8' SPAN	109#	109#
HORIZONTAL LOAD DATA PH_d = Horizontal Design load at .66° F	6' SPAN	303#	299#
	8' SPAN	227#	224#

NO RIVETS. NO SCREWS. NO WELDS.



➤ INCREASED SECURITY

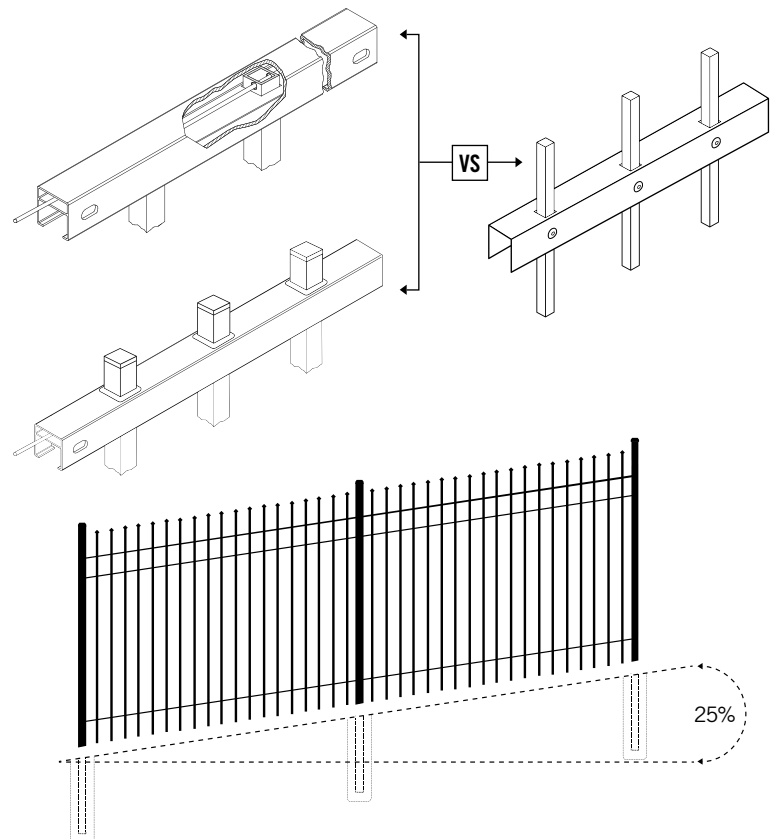
The ForeRunner Rail with internal retaining rod prevents the attachment from being compromised. Fasteners are not exposed.

➤ AESTHETIC DETAILS

“Good Neighbor Design” rod follows ForeRunner Centerline providing a clean and uninterrupted look void of visible screws or rivets.

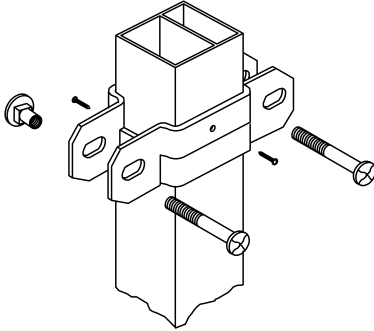
➤ HIGH FUNCTIONALITY

Biasability at a minimum of 25% that requires no additional assembly.



POST STRENGTH & SECURITY

There are many advantages to choosing Echelon II® reinforced posts over standard punched posts made by typical aluminum fence manufacturers.



ECHELON II® POST

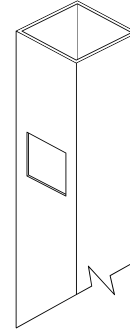
- Echelon II posts provide unparalleled strength due to a reinforced web profile design
- Echelon II requires a single post (*non-punched*) for all line, end, & corner posts (*one post*)
- Echelon II's wrap-around brackets are secured to the rail with a tamper proof fastener, ensuring the greatest level of security

➤ SUPERIOR FINISH

Ameristar's production facilities use a state-of-the-art polyester powder coating system that provides a durable and scratch resistant finish while emitting no hazardous volatile organic compounds. The fence components can endure over 1,000 hours of salt spray testing — proving our claim of long-lasting durability. Our industrial aluminum guarantees a maintenance-free and environmentally friendly fence.

➤ LIMITED LIFETIME WARRANTY

The Echelon family of aluminum fencing products are manufactured from superior quality materials by skilled craftsmen with the highest standards of workmanship in the industry. A six stage pre-treatment followed by an electrostatic spray of a “no-mar” TGIC polyester powder coat finish on all extruded framework provides protection against adverse environmental conditions. By using these proven techniques, Ameristar® is confident in offering Echelon with a limited lifetime warranty.



STANDARD PUNCHED POST

- Punched posts are weakened by removal of material from side-wall, yielding a vulnerable design
- Punched post designs require different posts for all line, end, & corner posts (*multiple posts*)
- Punched post systems require the rail be inserted into the post and secured using a single screw, providing no level of security





SLIDE GATE



SWING GATE

GATE SYSTEMS

Echelon II® gate options vary from swing gates for pedestrian or vehicle entry to sliding entry gates for high functioning points of entry. Each of these gate systems are individually constructed with the highest level of craftsmanship to provide project specific performance.



Why choose Ameristar?

KNOWLEDGE AND EXPERIENCE

For over 30 years we've delivered aesthetically pleasing, high-quality and innovative fencing products with superior design strength and easy installation.

PROVEN CAPABILITIES

Our integrated in-house processes, extensive raw materials and finished goods inventory translate into quality, on-time delivery.

INDUSTRY LEADERSHIP

We continually raise the bar in manufacturing customer-focused solutions. Our high standards produce premium products that go beyond merely meeting minimum industry standards.



AMERISTARFENCE.COM | 888-333-3422

Experience a safer and more open world

#9725-2002

AMERISTAR®
ASSA ABLOY

FOUNDED IN 1946



TRI-STATE

FIRE PROTECTION DISTRICT

236 SUNRISE AVENUE • WILLOWBROOK, ILLINOIS 60527 • (630) 323-6445

December 12, 2022

Ms. Janine Farrell, AICP
Community Development Director
Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527

Re: Proposed Tesla Repair Facility
311 Shore Drive

Dear Ms. Farrell:

Tesla has proposed construction of a repair and maintenance facility at 311 Shore Drive in the Village of Burr Ridge. The operations at the facility will include the handling and replacement of batteries for electric cars.

The Fire District has no objection to, or comment on the proposed use or zoning of the project.

After discussions with Tesla, the district is satisfied that Tesla has an appropriate plan for the repair of electric vehicles and for the safe remediation and storage of compromised batteries.

Tesla is aware that as part of the review process, architectural plans, fire sprinkler plans and fire alarm plans must be submitted to the fire district for code compliance and approval and that the fire district will complete a Life Safety Inspection before occupancy is recommended.

Best Regards,

A handwritten signature in black ink, appearing to read "Lawrence P. Link".

Lawrence P. Link
Director of Fire Prevention



LEGAL NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at **7:00 p.m. on Monday, November 21, 2022**, at Village Hall, 7660 County Line Road, Burr Ridge, Illinois, 60527.

PURPOSE OF HEARING

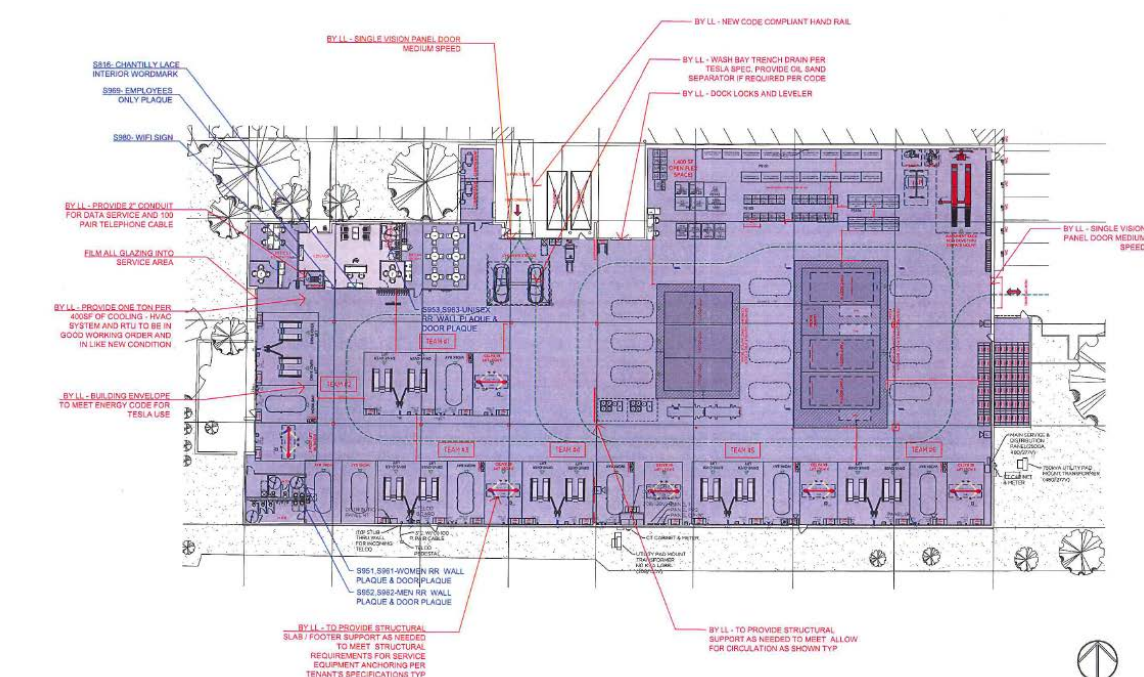
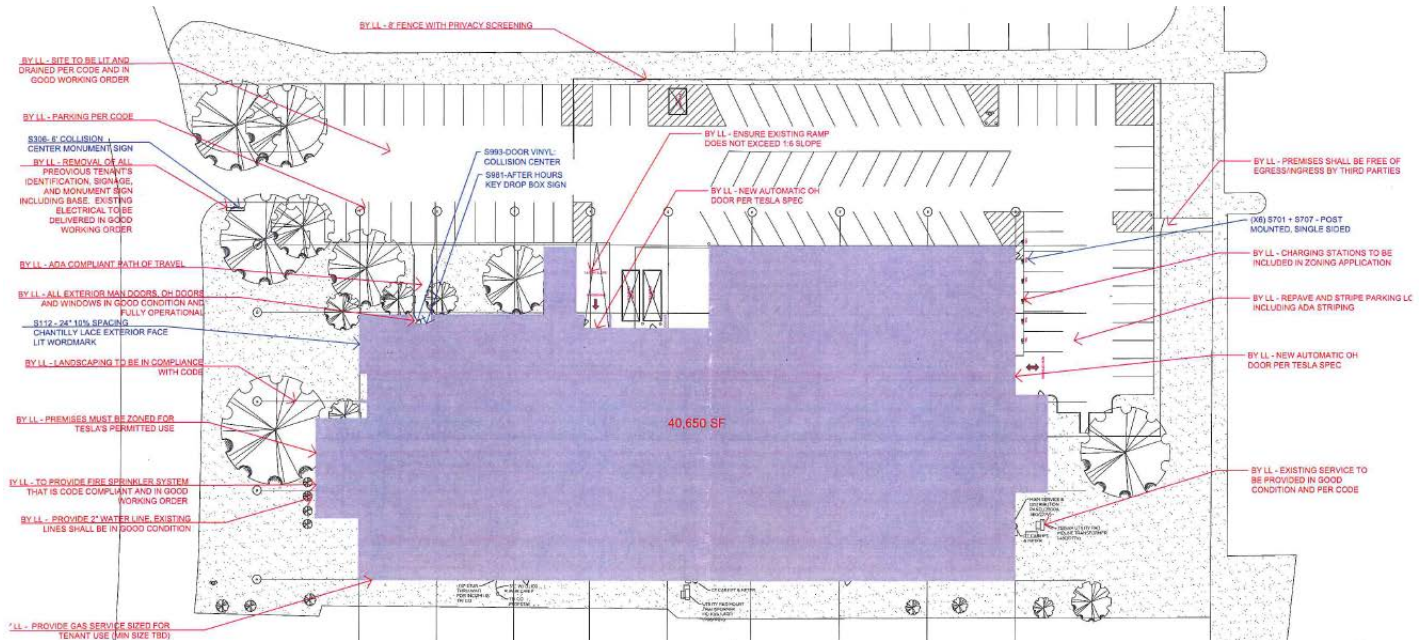
The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider requests by DP Burr Ridge, LLC for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for a (3) fence in a non-residential district pursuant to Zoning Ordinance section IV.J. The petitioner intends to operate a Tesla Motors, Inc. auto repair center at the site. The petition number and address of this petition is **Z-24-2022: 311 Shore Dr.** and the Permanent Real Estate Index Number is **09-35-205-008-0000**.

Public comment may be provided by individuals who physically attend the meeting at 7660 County Line Road, Burr Ridge, Illinois, 60527. All written public comment wishing to appear in the Plan Commission report shall be provided no later than Tuesday, November 15, 2022. All public comment may be emailed to Community Development Director Janine Farrell (jfarrell@burr-ridge.gov) or mailed to Ms. Farrell's attention at the address above. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

Greg Trzupsek, Chairman

MEMBERS: GREG TRUZPEK, MIKE STRATIS, JIM BROLINE, BARRY IRWIN, JOSEPH PETRICH, ENZA PARRELLA, RICHARD MORTON, AND DEANNA MCCOLLIAN.



SPECIAL CONDITIONS:
 - ZONING BY LL
 - UTILITY UPGRADES BY LL

WORKBAY COUNT

2-POST LIFTS	6
FUTURE 2-POST LIFTS	0
SCISSOR LIFTS	12
OPEN BAYS (SERVICE)	8
SUBTOTAL	26
FBI BAYS (SALES)	0
TOTAL	26

AREA BREAKDOWN (SF):

GROSS TOTAL:	40,475	SF	-	%
FIRST FLOOR:	40,475	SF	-	%
SECOND FLOOR:	NA	SF	-	%
NET TOTAL:	39,298	SF	100	%
SERVICE SHOP:	33081	SF	84	%
PARTS AND STORAGE:	3,998	SF	10	%
LOUNGE:	970	SF	2	%
BDH:	1,249	SF	3	%
SHOWROOM:	NA	SF	#	%
DELIVERY:	NA	SF	#	%
UNBUILT/OTHER:	NA	SF	#	%



8040 MADISON LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

8080 MADISON LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

83RD BURR RIDGE PARTNERS
16W030 83RD ST
BURR RIDGE, IL 60527

ALMERO PROPERTIES LLC
16W115 83RD ST
BURR RIDGE, IL 60527

BRONSON & BRATTON
240 SHORE DR
BURR RIDGE, IL 60521

BRONSON & BRATTON INC
220 SHORE DR
BURR RIDGE, IL 60521

CCC BURR RIDGE LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

CHICAGO TITLE 134106
8704 JOHNSTON RD
BURR RIDGE, IL 60527

CMI GROUP LLC
1 RIDGE FARM RD
BURR RIDGE, IL 60527

COMMUNITY SUPPORT SERVICE
9021 OGDEN AVE
BROOKFIELD, IL 60513

COOK FINANCIAL LLC
5600 N RIVER RD APT. 150
ROSEMONT, IL 60018

CTLTC B7900554824
10 S LASALLE ST APT. 2750
CHICAGO, IL 60603

CTLTC BV11880
10 S LASALLE ST APT. 2750
CHICAGO, IL 60603

DAVALOS, ALVARO
9S241 MADISON ST
BURR RIDGE, IL 60527

DONNAN REAL ESTATE I LLC
224 SHORE CT
BURR RIDGE, IL 60527

EMANUELE, MARY ANN
9S201 MADISON ST
BURR RIDGE, IL 60527

FGHREALCO
7700 BRUSH HILL RD APT. 117
BURR RIDGE, IL 60527

G2K LLC
109 SHORE DR
BURR RIDGE, IL 60527

GINGER, BETSY A
15 DEER PATH TR
BURR RIDGE, IL 60527

GROZICH, PHYLLIS M
16W184 89TH ST
BURR RIDGE, IL 60527

HUGHES INVESTMENT PROPERT
16W153 83RD ST
BURR RIDGE, IL 60527

KARLYN BLDG JOINT VENTURE
9450 W BRYN MAWR APT. 550
ROSEMONT, IL 60018

L C & F ENTERPRISES INC
20 WILLOW BAY DR
S BARRINGTON, IL 60010

LA SALLE NATL 113122
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

LM BURR RIDGE HOLDINGS
20 DANADA SQ W APT. 274
WHEATON, IL 60189

MADISON STREET PART LLC
14497 JOHN HUMPHREY APT. 200
ORLAND PARK, IL 60462

MB FINANCIAL BANK
2727 LBJ FREEWAY APT. 806
DALLAS, TX 75234

MC NAUGHTON BUILDERS INC
347 W 83RD ST
BURR RIDGE, IL 60527

MEADEN, THOMAS
16W210 83RD ST
BURR RIDGE, IL 60527

MITCHUM, CATHY A
15W739 82ND ST
BURR RIDGE, IL 60527

MOLFESE, RONALD & SHELLEY
8301 S MADISON ST
BURR RIDGE, IL 60527

MORGAN, VENESSA & DAMIAN
15W752 83RD ST
BURR RIDGE, IL 60527

MRS TRUST
PO BOX 683
MT PROSPECT, IL 60056

ONDRA, KAREL & LETICIA C
15W740 82ND ST
BURR RIDGE, IL 60527

PAYOVICH, MS
PO BOX 3786
OAK BROOK, IL 60522

RITCHEY, RICHARD & L
15W770 82ND ST
BURR RIDGE, IL 60521

ROHNER, RANDALL W & A
15W736 83RD ST
BURR RIDGE, IL 60521

RYLANDER, CHRISTINA M
9S227 MADISON AVE
BURR RIDGE, IL 60527

SPARROWHAWK CHICAGO IND
700 COMMERCE DR APT. 450
OAK BROOK, IL 60523

THEZAN, MARCELLA
15W737 81ST ST
BURR RIDGE, IL 60527

UHLIR, VACLAV & JANA
9S271 MADISON ST
HINSDALE, IL 60521

VIP MORGAN LLC
477 W WRIGHTWOOD AVE
ELMHURST, IL 60126

VK 221 SHORE LLC
9500 BRYN MAWR AVE APT. 340
ROSEMONT, IL 60018

VOZNAK, FRANK
9S255 MADISON ST
BURR RIDGE, IL 60527

WESTINGHOUSE ELECTRIC CO
1000 WESTINGHOUSE DR
CRANBERRY TWP, PA 16066

WOOD CREEK II VENTURE LLC
9450 BRYN MAWR AVE APT. 550
ROSEMONT, IL 60018

YUAN, HE & NING LI
9S177 MADISON ST
BURR RIDGE, IL 60527

ZACCONE BUILDING LLC
535 SANCTARY DR APT. C-107
LONGBOAT KEY, FL 34228

EXHIBIT B

PLAN COMMISSION/ZONING BOARD OF APPEALS
VILLAGE OF BURR RIDGE
MINUTES FOR REGULAR MEETING OF
MAY 15, 2017

I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupsek.

ROLL CALL was noted as follows:

PRESENT: 5 – Stratis, Praxmarer, Scott, Broline, and Trzupsek

ABSENT: 2 – Grunsten and Hoch

Also present was Community Development Director Doug Pollock.

II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Praxmarer and **SECONDED** by Commissioner Broline to approve the minutes of the April 3, 2017 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 3 – Praxmarer, Broline, and Trzupsek

NAYS: 0 – None

ABSTAIN: 2 – Scott and Stratis

MOTION CARRIED by a vote of 3-0.

III. PUBLIC HEARINGS

Chairman Trzupsek confirmed all those wishing to speak during the public hearing on the agenda for tonight's meeting.

Z-06-2017: 16W260 83rd Street (Odeh); Special Use and Findings of Fact.

As directed by Chairman Trzupsek, Mr. Pollock described this request as follows: The petitioner requests two special use approvals; one for automobile sales and the second for outside storage/display of automobiles for sale. The property is within a GI General Industrial District and is surrounded by other industrial properties.

Chairman Trzupsek asked the petitioner to make their presentation.

Mr. Awad Odeh summarized his business plan. He said they want to open an upscale used cars sales business that caters to local clientele. He said there would be no balloons, streamers or signs on the cars.

Chairman Trzupsek asked for public comments and questions.

Mr. Mike Siedelecki said he owns the building at 16W401 83rd Street. He said his objection is that this use is a major deviation from standard zoning and is not consistent or compatible with other uses in the area.

Ms. Kathleen Siedlecki, said she objects to the precedent of allowing outdoor display which will not enhance the area. She said the property has been successfully leased in the past and may continue to be leased without a special use.

Mr. Al Petkos, 5 Regent Court, asked if the other car dealers were allowed to have outside display. Mr. Pollock said that Burr Ridge Car Care is allowed to have one car on display but that all other car dealers were not allowed to have outside display or storage. He said the appearance of a used car lot and the traffic should not be allowed on 83rd Street.

Mr. Mark Thoma, 7515 Drew Avenue, said that Global Luxury Imports is pushing the envelope and had a dozen cars outside over the weekend. He said that is not consistent with Burr Ridge and should not be allowed.

Mr. Vijay Singh said his property is next door and that the goal of the Village should be to keep this area corporate and professional. He said this use would give the area a different look and that traffic is also a concern.

Ms. Mary Belich, 7 Regent Court, said that this use is not consistent with other uses in Burr Ridge.

Chairman Trzupsek asked for comments and questions from the Plan Commission.

Commissioner Stratis asked if the petitioner was going to update the building. Mr. Odeh said they were going to make improvements to the inside and outside of the building. He said the goal is to have the cars on the inside but due to limited space, he will need to have some outside.

In response to Commissioner Stratis, Mr. Odeh said there would be no recreational vehicles for sale, that they do not attract drive by customers, and that they did not plan to have a minimum value for cars sold.

Commissioner Broline said that Global Luxury Imports was not allowed to have outside storage of cars and was required to sell cars of a minimum value to ensure that it was a luxury dealership. He asked about test driving cars and whether there would be service and repair of cars.

Mr. Odeh said there would be no servicing of cars at this location and that test drives will primarily be on 83rd Street and on Kingery Highway. He said he would agree to set a minimum limit on the value of cars sold and would anticipate that all cars sold would be for at least \$15,000.

Commissioner Praxmarer asked if there were planning on changing the windows and asked how many cars would be kept inside the building. Mr. Odeh said the windows would not be changed and that he expects as many as 30 cars to be kept inside.

Commissioner Scott said he is opposed to outside storage of cars and he wants a minimum value to be set.

Chairman Trzupsek said it is difficult to control the concept of luxury as an expensive pickup truck may seem like luxury to some but not to others. He said his big concern is the outside storage.

Commissioner Scott added that allowing outside storage for this business would open the door for all of the other dealerships in the Village.

Commissioner Praxmarer asked if the outside storage could be kept behind the building.

Mr. Odeh asked if it would be okay if he built a screen wall so the cars would not be visible from the street.

Commissioner Stratis said the location or screening of the outside storage would not make a difference to him and that he is opposed to any outside storage.

There being no further discussion, Chairman Trzupsek asked for a motion to close the hearing.

At 8:18 p.m. a **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Scott to close the hearing for Z-06-2017.

ROLL CALL VOTE was as follows:

AYES: 5 – Stratis, Scott, Praxmarer, Broline, and Trzupsek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

Commissioner Stratis said that part of the reason for approving Global Luxury Imports was that they were going to make significant improvements to the building. He suggested that site and building improvements be made part of this consideration.

Commissioner Scott suggested conditions regarding the hours of operation, no service, inside storage only, and minimum monetary values similar to Global Luxury Imports. Commissioner Stratis suggested staff review and approval of the final plans to ensure compliance with minimum standards for landscaping and resurfacing the parking lot.

A **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Stratis to adopt the petitioner's findings of fact and recommend that the Board approve a special use for indoor automobile sales as requested by Z-06-2017 subject to the following conditions:

- A. There shall be no servicing of vehicles except as was permitted for Global Luxury Imports at 101 Tower Drive.
- B. There shall be limited hours of operation similar to the hours permitted for Global Luxury Imports at 101 Tower Drive.
- C. Automobiles sold at this location shall comply with the same minimum and average values as was required for Global Luxury Imports at 101 Tower Drive.
- D. Final building, site and landscaping plans shall be subject to staff review and approval.

ROLL CALL VOTE was as follows:

AYES: 5 – Scott, Stratis, Praxmarer, Broline, and Trzupsek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

A **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Stratis to recommend that the Board deny a special use for outdoor automobile storage/display as requested by Z-06-2017.

ROLL CALL VOTE was as follows:

AYES: 5 – Scott, Stratis, Praxmarer, Broline, and Trzupsek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

Z-05-2017; Zoning Ordinance Text Amendment; Permeable Pavers and Rear Lot Coverage.

As requested by Chairman Trzupsek, Mr. Pollock summarized the hearing as follows: At its April 3, 2017 meeting, the Plan Commission opened a public hearing regarding a text amendment that would allow an increase in rear lot coverage if permeable pavement was used. Subsequent to the April 3 hearing, staff presented this issue to the Board of Trustees' Stormwater Committee. The Stormwater Committee recommended that there be no change in the Village codes that would allow an increase in lot coverage if permeable pavers are used.

Mr. Pollock said that the Stormwater Committee had the same concerns as the Plan Commission. Specifically, that the installation, maintenance and reliability of permeable pavements could not be assured and that the Village would have to devote considerable resources to inspect and monitor permeable pavement systems.

Commissioner Scott noted that his church is doing a project using permeable pavers in Oak Brook and that he can see some merit for stormwater. In response, Mr. Pollock said that permeable pavers are still permitted and encouraged but that the Stormwater Committee believes it would be too difficult to inspect and monitor on residential properties. Mr. Pollock added that he is also concerned about the long term maintenance on a residential property and the significant burden that would place on the homeowner and future homeowners to continuously maintain the system.

At 8:55 p.m. a **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Praxmarer to close the hearing for Z-04-2017.

ROLL CALL VOTE was as follows:

AYES: 5 – Stratis, Praxmarer, Scott, Broline, and Trzupsek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Praxmarer to recommend that the Board of Trustees take no further action on this matter.

ROLL CALL VOTE was as follows:

AYES: 5 – Broline, Praxmarer, Stratis, Scott, and Trzupsek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

IV. CORRESPONDENCE

There was no discussion regarding the correspondence.

V. OTHER CONSIDERATIONS

There were no other considerations.

VI. FUTURE SCHEDULED MEETINGS

Mr. Pollock said the filing deadline for the June 5, 2017 has passed and there are no hearings scheduled.

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Scott to cancel the June 5, 2017 meeting.

ROLL CALL VOTE was as follows:

AYES: 5 – Broline, Scott, Stratis, Praxmarer, and Trzupek

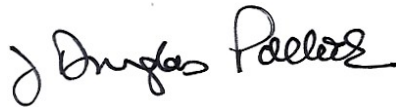
NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

VII. ADJOURNMENT

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Praxmarer to **ADJOURN** the meeting at 9:00 p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 9:00 p.m.

**Respectfully
Submitted:**



J. Douglas Pollock, AICP

VILLAGE OF BURR RIDGE

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 1/9/2023

PAYMENT DATE: 1/10/2023

FISCAL 22-23

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 134,280.98	\$ 134,280.98
23	Hotel/Motel Tax Fund	7,136.41	7,136.41
31	Capital Improvement Fund	7,742.82	7,742.82
34	Storm Water Management Fund	4,821.00	4,821.00
51	Water Fund	301,287.88	301,287.88
52	Sewer Fund	25,371.45	25,371.45
	TOTAL ALL FUNDS	<u>\$ 480,640.54</u>	<u>\$ 480,640.54</u>

PAYROLL

PAY PERIOD ENDING December 10 & 24, 2022

	TOTAL PAYROLL
Board	\$ 2,652.44
Administration	32,089.54
Finance	3,553.49
Police	242,527.23
Public Works	66,401.95
Water	51,297.17
Sewer	20,436.66
TOTAL	<u>\$ 418,958.48</u>
GRAND TOTAL	<u><u>\$ 899,599.02</u></u>

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 01/09/2023 - 01/09/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 0000 Assets, Liabilities, Fund Bal					
10-0000-22-2203	Repair/Replace fountain at Vet.	Colant Landscaping, Inc.	10/04/22	15765	3,000.00
Total For Dept 0000 Assets, Liabilities, Fund Ba.					3,000.00
Dept 1010 Boards & Commissions					
10-1010-40-4040	Chicago Tribune 4 weeks	Chicago Tribune	11/23/22	11/23/22	27.72
10-1010-40-4042	Meeting with Trustee Franzese	Patti's Sunrise Cafe	12/06/22	074926	54.25
10-1010-40-4042	Meeting with Mayor Grasso	Patti's Sunrise Cafe	12/15/22	016086	38.36
10-1010-50-5010	Adjudication Legal Services Nov2	Denise K. Filan	12/16/22	3555	900.00
10-1010-50-5010	Sterigenics	Storino, Ramello, & Durkir	12/19/22	12/19/22	161.25
10-1010-50-5010	FOIA Matters	Storino, Ramello, & Durkir	12/19/22	12/19/22	1,952.20
10-1010-50-5010	Madison Annexation	Storino, Ramello, & Durkir	12/19/22	12/19/22	586.95
10-1010-50-5010	Investigation of Complaint	Storino, Ramello, & Durkir	12/19/22	12/19/22	1,422.50
10-1010-50-5010	Legal Services General	Storino, Ramello, & Durkir	12/19/22	12/19/22	3,852.80
10-1010-50-5015	Prosecution Services	Storino, Ramello, & Durkir	12/19/22	12/19/22	1,582.50
10-1010-80-8010	Holiday Party	Amazon.com Credit	11/30/22	113-59220504282631	121.69
10-1010-80-8010	Holiday Party	Amazon.com Credit	11/28/22	113-59869045383404	117.56
10-1010-80-8010	Holiday Party	Boston Market	12/14/22	12/14/22	958.39
10-1010-80-8010	2023 BR Little League Grand Slam	BR-Willowbrook Little League	01/03/23	0000002	800.00
10-1010-80-8010	Holiday Party	Brookhaven Marketplace	12/13/22	649964	(75.00)
10-1010-80-8010	Holiday Party	Brookhaven Marketplace	12/12/22	605738	225.00
10-1010-80-8010	Holiday Party	Brookhaven Marketplace	12/14/22	650266	16.50
10-1010-80-8010	Holiday Party	Dollar Tree	12/14/22	12/14/22	18.75
10-1010-80-8010	Holiday Party	Falco's Pizza & Pasta	12/14/22	1612	113.62
10-1010-80-8010	Holiday Party	Jewel Food Stores	12/12/22	00073442	1,500.00
10-1010-80-8010	Holiday Party	Jewel Food Stores	12/12/22	00059730	1,350.00
10-1010-80-8010	Holiday Party	Pinstripes Bistro Bowling	12/12/22	102725	50.00
10-1010-80-8010	Holiday Party	Starbucks Coffee Company	12/13/22	688285	375.00
10-1010-80-8010	Holiday Party	Target Store - Willowbrook	12/14/22	026875	86.99
10-1010-80-8010	Holiday Party	Target Store - Willowbrook	12/12/22	051235	975.00
10-1010-80-8010	Holiday Party	Target Store - Willowbrook	12/12/22	056749	225.00
10-1010-80-8010	Holiday Party	Walmart	12/12/22	037558	94.04
10-1010-80-8025	Polygraph Testing Services	Kevin W. Shaughnessy	12/18/22	12-0001	690.00
Total For Dept 1010 Boards & Commissions					18,221.07
Dept 2010 Administration					
10-2010-40-4040	Crain's Business Subscription	Crains Chicago Business	12/26/22	D4633336 Dec22	15.00
10-2010-40-4042	ILCMA 2023 Winter Conference	ILCMA	11/29/22	687887	225.00
10-2010-40-4042	Employee Lunch	Jimmy Johns	12/08/22	12/08/22	119.20
10-2010-40-4042	Illinois Financial Forecast Semi	Northern Illinois University	12/02/22	01/20/22	168.00
10-2010-40-4042	EDC Planning Breakfast	Patti's Sunrise Cafe	12/02/22	016413	65.00
10-2010-40-4042	Meeting with NIU	Patti's Sunrise Cafe	11/29/22	092536	90.57
10-2010-40-4042	Admin Travel Expense	Taco Bell	12/09/22	319448	10.21
10-2010-40-4042	Luncheon Meeting Weyant	Willowbrook/Burr Ridge	12/02/22	1244	50.00
10-2010-60-6000	Office Supplies	Runco Office Supply	12/07/22	889389-0	45.98
Total For Dept 2010 Administration					788.96
Dept 4010 Finance					
10-4010-40-4040	Annual Financial Report Fee	IGFOA	11/30/22	243	250.00
10-4010-50-5020	Consulting WE 12/04 & 12/11	GovTemps USA, LLC	12/15/22	4095836	6,307.00
10-4010-50-5035	Annual Treasurer's Report	Chicago Tribune	11/10/22	064150960000	504.00
10-4010-50-5040	Year End Tax Forms	Staples	12/08/22	9845540420	162.44
Total For Dept 4010 Finance					7,223.44

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 01/09/2023 - 01/09/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 4020 Central Services					
10-4020-50-5030	Telephone Land Line	Peerless Network, Inc.	11/15/22	574260	1,274.61
10-4020-60-6000	Office Supplies	Runco Office Supply	12/07/22	889389-0	88.35
Total For Dept 4020 Central Services					1,362.96
Dept 4040 Information Technology					
10-4040-40-4040	A 3-year AutoCAD license subscri	DLT Solutions	12/22/22	SI590868	9,007.29
10-4040-50-5020	Board Meeting Recordings Dec22	Garron, Fernando	12/19/22	12/19/22	325.00
10-4040-50-5020	IT Support Services	Orbis Solutions	12/08/22	5573992	950.00
10-4040-50-5020	IT Support Services	Orbis Solutions	12/15/22	5574018	1,975.00
10-4040-50-5020	IT Support Services	Orbis Solutions	12/22/22	5574046	1,125.00
10-4040-50-5020	IT Support Services	Orbis Solutions	12/22/22	5574049	545.00
10-4040-50-5050	License for Pump Center Connecti	TeamViewer GmbH	11/30/22	r01883237	1,022.74
10-4040-50-5061	Emergency Back up	Comcast	11/16/22	8771201140537196 Nov	164.90
10-4040-50-5061	Pump Center	Comcast	11/21/22	8771201140533898 11/	199.85
10-4040-50-5061	APBnet Annual Support	Critical Reach, Inc.	12/06/22	2428	415.00
10-4040-50-5061	Video Conferencing	Zoom Video Communications	12/01/22	178062594	14.99
10-4040-60-6040	Starcom Network Charge	Motorola Solutions - STARC	12/01/22	6999020221101	510.00
10-4040-70-7000	Breaker for License Plate Reader	Meade Electric Company, Ir	12/16/22	703053	990.03
Total For Dept 4040 Information Technology					17,244.80
Dept 5010 Police					
10-5010-40-4032	Uniform Allowance - Firnsin	JG Uniforms, Inc.	12/28/22	108487	356.00
10-5010-40-4032	Uniform Allowance - Jarolimek	JG Uniforms, Inc.	12/15/22	107964	185.00
10-5010-40-4032	Uniform Allowance - McKnabb	JG Uniforms, Inc.	12/12/22	107818	149.95
10-5010-40-4032	#2268 Bates, Boot GX8 Gortex 8"	Ray O'Herron	12/16/22	2239662	153.00
10-5010-40-4032	112012-729 S/S V2 Pro-Performanc	Ray O'Herron	12/16/22	2239662	99.00
10-5010-40-4032	11TQ00 High Speed Gear Tournique	Ray O'Herron	12/16/22	2239662	42.00
10-5010-40-4032	Bianchi 7307 OC/Mace Spray Holde	Ray O'Herron	12/16/22	2239662	22.99
10-5010-40-4032	NS430 Gloves, Neoprene Duty Glov	Ray O'Herron	12/16/22	2239662	17.99
10-5010-40-4032	114041-729 First Tactical Cargo	Ray O'Herron	12/15/22	2239381	175.50
10-5010-40-4032	125XCR Blauer Lined Watch Cap, N	Ray O'Herron	12/15/22	2239628	42.79
10-5010-40-4032	79230 Strong Hidden Badge Wallet	Ray O'Herron	12/15/22	2239628	27.58
10-5010-40-4032	4440T Corporal Bars - Nickel	Ray O'Herron	12/15/22	2239628	15.98
10-5010-40-4032	SGK100 Gloves, Kevlar Search Glo	Ray O'Herron	12/15/22	2239628	28.99
10-5010-40-4032	150009 First Tactical Patrol Glo	Ray O'Herron	12/15/22	2239628	39.99
10-5010-40-4032	2268 Bates, Boot GX-8 Gortex 8"	Ray O'Herron	12/15/22	2239628	160.00
10-5010-40-4032	5SWNV 5-Star Cap, Navy	Ray O'Herron	12/15/22	2239628	49.50
10-5010-40-4032	125-NB Cap-Watch Fleece Lined Na	Ray O'Herron	12/15/22	2239628	17.00
10-5010-40-4032	114041-729 Trouser Cargo Pro-Dut	Ray O'Herron	12/12/22	2238803	234.00
10-5010-40-4032	B 17 NV Badge , State Seal	SymbolArts, LLC	10/17/22	0444041	100.00
10-5010-40-4032	Shipping	SymbolArts, LLC	10/17/22	0444041	10.00
10-5010-40-4040	Annual Dues - Madden, Loftus, Hu	DuPage County Chiefs of Pc	12/12/22	12/12/222	825.00
10-5010-40-4040	FBINAA National Dues	FBI National Academy Assoc	12/14/22	180552	125.00
10-5010-40-4040	FBINAA National Dues	FBI National Academy Assoc	12/14/22	179818	125.00
10-5010-40-4040	2023 Registration Dues	Illinois LEAP	12/13/22	0000450	50.00
10-5010-40-4040	Dues & Subscriptions	International Association	11/09/22	015315	190.00
10-5010-40-4040	Membership Loftus	International Association	11/09/22	015307	190.00
10-5010-40-4040	Membership Dues	International Association	11/09/22	0152427	240.00
10-5010-40-4042	DEA Task Force Meeting	Egg Harbor Cafe	12/12/22	048512	40.97
10-5010-40-4042	Luncheon Meeting Loftus	Willowbrook/Burr Ridge	12/02/22	1244	50.00
10-5010-50-5020	Notary Bond Pavelchik	Illinois Notary Discount F	11/23/22	11/23/22	61.00
10-5010-50-5030	Cell Phones	Verizon Wireless	12/13/22	9921146040	407.84
10-5010-50-5040	4 lots of Business Cards	Grasso Graphics, Inc.	12/20/22	32244	381.32

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 01/09/2023 - 01/09/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 5010 Police					
10-5010-50-5040	Christmas Cards	Simply to Impress	12/09/22	119335542	131.01
10-5010-50-5051	Squad 1817 Maintenance	B & E Auto Repair Service	12/27/22	144176	58.57
10-5010-50-5051	Squad 2203 Maintenance	B & E Auto Repair Service	12/27/22	144178	62.95
10-5010-50-5051	Squad 2203 Maintenance	B & E Auto Repair Service	12/14/22	144081	33.00
10-5010-50-5051	Squad 2111 Maintenance	Burr Ridge Car Care, Inc.	12/20/22	60460	90.89
10-5010-50-5051	Squad 2104 Maintenance	Burr Ridge Car Care, Inc.	12/16/22	60455	117.93
10-5010-50-5051	Car Washes Nov22	Fuller's Car Wash	11/30/22	8996	187.99
10-5010-50-5051	Police Stripe Package Squad 2206	Leonard M. Bulat	12/20/22	22-270	1,495.00
10-5010-50-5051	Unit 1304 Maintenance	Public Safety Direct, Inc	12/20/22	100797	155.00
10-5010-50-5095	Towing Service	B & E Auto Repair Service	12/28/22	10318	120.00
10-5010-60-6000	Office Supplies	Amazon.com Credit	12/13/22	113-25270801317806	15.94
10-5010-60-6010	Investigative Supplies	Amazon.com Credit	11/29/22	114-11473221781054	26.87
10-5010-60-6010	Investigative Supplies	Amazon.com Credit	12/13/22	113-25270801317806	77.10
10-5010-60-6010	Phone Mounts & Chargers	Amazon.com Credit	12/05/22	114-42682044741868	99.64
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	12/01/22	3794579890A	83.80
10-5010-60-6020	Gasoline PD	Wex Bank	12/23/22	85938765	135.58
Total For Dept 5010 Police					7,504.66
Dept 6010 Public Works					
10-6010-40-4032	Flannel Lined Utility Pants	Amazon.com Credit	12/05/22	113-21773829372216	24.60
10-6010-40-4032	Tough Max 5 Pocket Pants	Amazon.com Credit	12/02/22	113-50460606045057	24.77
10-6010-40-4032	(5) Men's Fleece Snowpants	Amazon.com Credit	12/02/22	113-44436490137036	179.95
10-6010-40-4032	Trucker Caps, Watch Caps, Cargo	Amazon.com Credit	12/07/22	113-44436490137036 2	392.86
10-6010-40-4032	(7) Double Front Work Dungarees	Amazon.com Credit	12/01/22	113-08046981351461	143.47
10-6010-40-4032	Tough Max Carpenter Pants & Bean	Amazon.com Credit	12/05/22	113-77330309987448	63.94
10-6010-40-4032	Beanie	Amazon.com Credit	12/02/22	113-91527912905853	4.92
10-6010-40-4032	Protective Eyewear	Amazon.com Credit	12/05/22	113-24358548573006	8.19
10-6010-40-4032	Winter Work Gloves	Amazon.com Credit	12/05/22	113-16302787922580	7.66
10-6010-40-4032	Skecher's Men's Cankton U	Amazon.com Credit	12/05/22	113-08599149778668	20.49
10-6010-40-4032	(5) Carhartt Rugged Flex Pants	Amazon.com Credit	12/13/22	113-29252423431463	98.40
10-6010-40-4032	Water Resistant Cargo Pants	Amazon.com Credit	12/05/22	113-25202905085858	54.10
10-6010-40-4032	Water Resistant Cargo Pants	Amazon.com Credit	12/05/22	113-97915359830601	36.06
10-6010-40-4032	Men's Water Resistant Trousers	Arborwear, LLC	12/02/22	1115579	36.90
10-6010-40-4032	Uniform Allowance Breakey	Duluth Trading Co.	12/17/22	084168	252.96
10-6010-40-4032	Uniform Embroidery for 13 items	Specialty Stitches	12/08/22	14693	505.00
10-6010-40-4032	Mesa Steel Toe Boots	Work'N Gear	12/13/22	86835	49.20
10-6010-40-4032	PW Uniforms	Work'N Gear	12/13/22	86834	209.06
10-6010-40-4040	AICP/APA/IL Chapter Membership	AICP	11/21/22	3333779	724.00
10-6010-40-4042	Luncheon Meeting Beltran	Willowbrook/Burr Ridge	12/02/22	1244	50.00
10-6010-50-5020	Elevator Re-inspections	Elevator Inspection Service	12/27/22	112924	416.00
10-6010-50-5035	Legal Notice	Chicago Tribune	11/10/22	064150960000	93.74
10-6010-50-5050	Power Shine Super Concentrate Ki	High PSI LTD.	11/16/22	77617	573.00
10-6010-50-5050	75 ft R2 Hose Black	High PSI LTD.	12/05/22	77783	237.89
10-6010-50-5050	Trailer Tires Mounted w/ New Val	Pomp's Tire Service, Inc.	12/08/22	2120003503	318.44
10-6010-50-5051	Squad 2112 Maintenance	Burr Ridge Car Care, Inc.	12/14/22	60434	112.78
10-6010-50-5051	Unit 82; Repl Tractor Brake Valv	JX Truck Center - Bolingbr	12/14/22	2242686S	561.39
10-6010-50-5052	Barn Qrtly Services	Alarm Detection Systems, I	112/11/22	600807-1069	9.12
10-6010-50-5052	Barn Qrtly Services	Alarm Detection Systems, I	112/11/22	50347-1101	356.22
10-6010-50-5052	PW Qrtly Services	Alarm Detection Systems, I	112/11/22	107215-1087	469.14
10-6010-50-5052	VH Semi Annual Services	Alarm Detection Systems, I	112/11/22	107658-1046	765.84
10-6010-50-5052	PD HVAC Emerg. Rem & Repl 2 Comp	Dynamic Heating & Piping C	09/15/22	204460	19,830.00
10-6010-50-5052	VH Finance Training Rm: Door Har	Goldy Locks, Inc.	12/09/22	25640758	1,460.00

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 01/09/2023 - 01/09/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-50-5054	RAL HIDFA 45S E26 8C CT BYP/3SP	Industrial Electric Supply	12/08/22	S100018548.001	132.20
10-6010-50-5054	250 W MH Lamp	Rag's Electric, Inc.	12/08/22	23554	151.25
10-6010-50-5054	100W HPS Med Base	Rag's Electric, Inc.	12/08/22	23554	28.50
10-6010-50-5054	20 Amp Duplex Receptacle	Rag's Electric, Inc.	12/08/22	23554	3.18
10-6010-50-5054	Fuse Kit	Rag's Electric, Inc.	12/08/22	23554	32.40
10-6010-50-5054	20A 250V Fuse	Rag's Electric, Inc.	12/08/22	23554	21.08
10-6010-50-5054	Labor JMN S.T	Rag's Electric, Inc.	12/08/22	23554	1,536.00
10-6010-50-5054	Bucket Truck	Rag's Electric, Inc.	12/08/22	23554	320.00
10-6010-50-5054	Service Truck	Rag's Electric, Inc.	12/08/22	23554	120.00
10-6010-50-5055	Maintenance Traffic Signals	COMED	12/05/22	3699071070 Dec22	37.62
10-6010-50-5055	Traffic Signal Monthly Maintenanc	Meade Electric Company, Ir	12/27/22	703084	340.07
10-6010-50-5058	Cleaning Service Dec22 VH, PW,	Best Quality Cleaning, Inc	12/20/22	44041	2,500.00
10-6010-50-5058	Mat Rentals - VH and PW	Breens Inc.	12/20/22	15741	38.50
10-6010-50-5058	Mat Rentals - PD	Breens Inc.	12/27/22	15883	38.50
10-6010-50-5058	Mat Rentals - PD	Breens Inc.	12/13/22	15608	38.50
10-6010-50-5076	Plan Review Permit 22-381	B&F Construction Code Serv	12/14/22	60645	300.00
10-6010-50-5076	Plan Review Permit 22-377	B&F Construction Code Serv	12/14/22	60634	895.50
10-6010-50-5076	Plan Review Permit 22-352	B&F Construction Code Serv	12/08/22	60606	450.00
10-6010-50-5080	Windsor Aerator	COMED	12/05/22	9342034001 Dec22	18.89
10-6010-50-5080	Lakewood Aerator	COMED	12/05/22	9258507004 Dec22	18.89
10-6010-50-5080	Public Works	NICOR Gas	12/09/22	22944400005 Dec22	1,645.60
10-6010-50-5085	Electrical Services	COMED	12/10/22	12/10/22	221.06
10-6010-50-5095	PW Facility Needs Analysis - Pha	Legat Architects, Inc.	11/30/22	57742	1,518.75
10-6010-60-6010	Hand Soap Refills for Dispensers	City Wide of Illinois	12/09/22	52034002616	362.10
10-6010-60-6010	Operating Supplies	Menards - Hodgkins	11/30/22	10144	256.76
10-6010-60-6040	Parker Global Core TC Hose 3000	Bristol Hose & Fittings, I	12/19/22	3503752	214.56
10-6010-60-6040	Hose Female Swivel (16)	Bristol Hose & Fittings, I	12/19/22	3503697	273.69
10-6010-60-6040	4 Snow Tires for Skid Steer (Uni	Pomp's Tire Service, Inc.	12/09/22	2110002577	1,475.00
10-6010-60-6041	Automotive Fuse	Amazon.com Credit	11/17/22	113-36910307923452	4.99
10-6010-60-6041	LED Light Bar, Fuse Holder, Fuse	Amazon.com Credit	11/22/22	113-45962262013046	116.06
10-6010-60-6060	102.58 Tons; CMS Contract Bulk R	Cargill Inc-Salt Division	12/22/22	2907815396	7,317.04
10-6010-60-6060	100.82 Tons; CMS Contract Bulk R	Cargill Inc-Salt Division	12/22/22	2907815397	7,191.49
10-6010-60-6060	State Contract Bulk Rock Salt	Cargill Inc-Salt Division	12/27/22	2907823613	7,190.07
10-6010-70-7000	PW Air Compressor Replacement	Fluid Aire Dynamics Inc.	12/09/22	67788	8,167.75
10-6010-70-7000	Floor Scrubber and Accessories	Wolter, Inc.	12/12/22	612202389	7,869.00
Total For Dept 6010 Public Works					78,935.09
Total For Fund 10 General Fund					134,280.98
Fund 23 Hotel/Motel Tax Fund					
Dept 0300 Revenues					
23-0300-34-3090	2022 Car Show Revenue Split WCC	Windy City Corvettes, Inc.	12/14/22	12/14/22	630.00
Total For Dept 0300 Revenues					630.00
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5075	Gateway Projects	Amazon.com Credit	12/14/22	113-65469197002649	88.85
23-7030-50-5075	Median Lighting	COMED	12/05/22	1319028022 Dec22	118.66
23-7030-50-5075	Entryway Sign	COMED	12/06/22	2257153023 Dec22	38.12
23-7030-50-5075	Gateway Sign	COMED	12/02/22	1153168007 Dec22	18.89
23-7030-50-5075	Windsor Prescribed Burn	McGinty Bros. Inc.	12/09/22	241919	2,700.00
23-7030-80-8010	Oak Leaf Newsletter Distribution	MAILCHIMP	11/25/22	14488261	28.90
23-7030-80-8010	Subscription Pro	Tiny URL, LLC	12/02/22	179137	12.99
23-7030-80-8012	Taste/Car Show Photography	Eric Michael Clarke	12/01/22	428	700.00

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 01/09/2023 - 01/09/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-80-8012	Taste - Sound Engineering	UAP Enterprises LLC	10/01/22	1600	1,000.00
23-7030-80-8050	Green Holiday Pole Banners	Bannerville USA Inc.	12/07/22	33461	900.00
23-7030-80-8050	Blue Holiday Pole Banners	Bannerville USA Inc.	12/07/22	33461	900.00
Total For Dept 7030 Special Revenue Hotel/Motel					6,506.41
Total For Fund 23 Hotel/Motel Tax Fund					7,136.41
Fund 31 Capital Improvements Fund					
Dept 8020 Sidewalks/Pathway					
31-8020-70-7052	Data Collection	Primera Engineers, Ltd.	12/19/22	0055612	2,853.13
31-8020-70-7052	Reimbursable Expenses	Primera Engineers, Ltd.	12/19/22	0055612	49.69
31-8020-70-7052	Design alternative & recommendat	Primera Engineers, Ltd.	12/21/22	0055615	4,840.00
Total For Dept 8020 Sidewalks/Pathway					7,742.82
Total For Fund 31 Capital Improvements Fund					7,742.82
Fund 34 Storm Water Management Fund					
Dept 8040 Storm Water Management					
34-8040-50-5068	County Permitting & Fed Grant As Hampton, Lenzini & Renwic		12/08/22	000020222550	4,821.00
Total For Dept 8040 Storm Water Management					4,821.00
Total For Fund 34 Storm Water Management Fund					4,821.00
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	Uniform Allowance Mezatis	Alex Mezatis	12/13/22	12/13/22	95.52
51-6030-40-4032	Flannel Lined Utility Pants	Amazon.com Credit	12/05/22	113-21773829372216	27.00
51-6030-40-4032	Tough Max 5 Pocket Pants	Amazon.com Credit	12/02/22	113-50460606045057	27.19
51-6030-40-4032	(7) Double Front Work Dungarees	Amazon.com Credit	12/01/22	113-08046981351461	157.47
51-6030-40-4032	Tough Max Carpenter Pants & Bean	Amazon.com Credit	12/05/22	113-77330309987448	70.18
51-6030-40-4032	Beanie	Amazon.com Credit	12/02/22	113-91527912905853	5.40
51-6030-40-4032	Protective Eyewear	Amazon.com Credit	12/05/22	113-24358548573006	9.00
51-6030-40-4032	Winter Work Gloves	Amazon.com Credit	12/05/22	113-16302787922580	8.41
51-6030-40-4032	Skecher's Men's Cankton U	Amazon.com Credit	12/05/22	113-08599149778668	22.49
51-6030-40-4032	(5) Carhartt Rugged Flex Pants	Amazon.com Credit	12/13/22	113-29252423431463	108.00
51-6030-40-4032	Water Resistant Cargo Pants	Amazon.com Credit	12/05/22	113-25202905085858	59.37
51-6030-40-4032	Water Resistant Cargo Pants	Amazon.com Credit	12/05/22	113-97915359830601	39.58
51-6030-40-4032	Men's Water Resistant Trousers	Arborwear, LLC	12/02/22	1115579	40.50
51-6030-40-4032	Uniform Embroidery for 8 items	Specialty Stitches	12/08/22	14692	288.00
51-6030-40-4032	Mesa Steel Toe Boots	Work'N Gear	12/13/22	86835	54.00
51-6030-40-4032	PW Uniforms	Work'N Gear	12/13/22	86834	229.45
51-6030-50-5020	(11) Coliform Samples	Envirotest Perry Laborator	12/12/22	22-136304	132.00
51-6030-50-5020	Disinfectant/Disinfection ByProd	Pace Analytical Services,	12/27/22	19541042	434.40
51-6030-50-5030	Telephone Land Line	Peerless Network, Inc.	11/15/22	574260	138.75
51-6030-50-5030	Water Modems	Verizon Wireless	12/13/22	9921146040	184.68
51-6030-50-5051	Water Pump Qrtly Services	Alarm Detection Systems,	12/11/22	600807-1069	173.55
51-6030-50-5067	Semitruck Water Main Break Spoil	Tameling Grading	12/16/22	0532	8,250.00
51-6030-50-5070	Water Model, RRA Rpt, Water Rate	Crawford, Murphy & Tilly,	12/06/22	0225265	453.75
51-6030-50-5070	Design Engineering	Thomas Engineering Group I	12/07/22	22-405	21,089.31
51-6030-50-5080	Pump Center	COMED	12/07/22	4763058040 Dec22	3,446.81
51-6030-50-5080	Well #5	COMED	12/05/22	4497129114 Dec22	23.20
51-6030-50-5080	Well #1	COMED	12/08/22	0793668005 Dec22	289.00
51-6030-50-5080	2 M Tank	COMED	12/05/22	9256332027 Dec22	128.94

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 01/09/2023 - 01/09/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-50-5080	Bedford Park Sump Pump	COMED	12/07/22	9179647001 Dec22	104.21
51-6030-50-5080	Pump Center	NICOR Gas	12/09/22	47915700000 Dec22	345.14
51-6030-60-6010	Hydrant Meter for Contractor (Re	HD Supply Facilities Maint	12/16/22	207959	1,449.95
51-6030-60-6010	Ez Jet Mulch, Hydroseeding Parkw	SiteOne Landscape Supply ,	11/18/22	125228933-001	142.55
51-6030-60-6040	MXU Radio Transceiver	Core & Main LP	12/22/22	S107290	910.00
51-6030-60-6040	External Touch Pad for MXU Trans	Core & Main LP	12/22/22	S107290	56.00
51-6030-60-6040	Brass Flange for 3" Water Meter	Core & Main LP	12/22/22	S107290	2,250.00
51-6030-60-6040	Brass Flange for 4" Water Meter	Core & Main LP	12/22/22	S107290	1,040.00
51-6030-60-6040	3" Sensus Water Meter	Core & Main LP	12/22/22	S107290	8,390.00
51-6030-60-6040	4" Sensus Water Meter	Core & Main LP	12/22/22	S107290	6,060.00
51-6030-60-6040	Return Coupling Epoxy	Core & Main LP	12/12/22	S074206	(769.44)
51-6030-60-6040	Water Main Repair Parts	Core & Main LP	12/08/22	053515	392.42
51-6030-60-6070	Water Purchases Nov22	Village of Bedford Park	12/06/22	0020060000 Nov22	244,931.10
Total For Dept 6030 Water Operations					301,287.88
Total For Fund 51 Water Fund					301,287.88
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Flannel Lined Utility Pants	Amazon.com Credit	12/05/22	113-21773829372216	8.39
52-6040-40-4032	Tough Max 5 Pocket Pants	Amazon.com Credit	12/02/22	113-50460606045057	8.46
52-6040-40-4032	(7) Double Front Work Dungarees	Amazon.com Credit	12/01/22	113-08046981351461	48.99
52-6040-40-4032	Tough Max Carpenter Pants & Bean	Amazon.com Credit	12/05/22	113-77330309987448	21.83
52-6040-40-4032	Beanie	Amazon.com Credit	12/02/22	113-91527912905853	1.68
52-6040-40-4032	Protective Eyewear	Amazon.com Credit	12/05/22	113-24358548573006	2.80
52-6040-40-4032	Winter Work Gloves	Amazon.com Credit	12/05/22	113-16302787922580	2.62
52-6040-40-4032	Skecher's Men's Cankton U	Amazon.com Credit	12/05/22	113-08599149778668	7.00
52-6040-40-4032	(5) Carhartt Rugged Flex Pants	Amazon.com Credit	12/13/22	113-29252423431463	33.60
52-6040-40-4032	Water Resistant Cargo Pants	Amazon.com Credit	12/05/22	113-25202905085858	18.47
52-6040-40-4032	Water Resistant Cargo Pants	Amazon.com Credit	12/05/22	113-97915359830601	12.32
52-6040-40-4032	Men's Water Resistant Trousers	Arborwear, LLC	12/02/22	1115579	12.60
52-6040-40-4032	Mesa Steel Toe Boots	Work'N Gear	12/13/22	86835	16.80
52-6040-40-4032	PW Uniforms	Work'N Gear	12/13/22	86834	71.39
52-6040-50-5020	Surface MH Inspections	RJN Group, Inc.	12/08/22	386906	22,000.00
52-6040-50-5020	Remote MH Inspections	RJN Group, Inc.	12/08/22	386906	360.00
52-6040-50-5020	Sewer Televising & Review	RJN Group, Inc.	12/08/22	386906	1,290.00
52-6040-50-5020	Project Management	RJN Group, Inc.	12/08/22	386906	1,105.00
52-6040-50-5030	Telephone Land Line	Peerless Network, Inc.	11/15/22	574260	15.41
52-6040-50-5030	Sewer Modems	Verizon Wireless	12/13/22	9921146040	30.78
52-6040-50-5080	Chasemoor Lift Station	COMED	12/08/22	0356595009 Dec22	137.57
52-6040-50-5080	Arrowhead Lift Station	COMED	12/06/22	7076690006 Dec22	120.56
52-6040-50-5080	Highland Field Lift Station	COMED	12/06/22	0099002061 Dec22	45.18
Total For Dept 6040 Sewer Operations					25,371.45
Total For Fund 52 Sewer Fund					25,371.45

01/04/2023 01:31 PM
User: asullivan
DB: Burr Ridge

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 01/09/2023 - 01/09/2023
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
-----------	-------------------	--------	--------------	---------	--------

Fund Totals:

Fund 10 General Fund	134,280.98
Fund 23 Hotel/Motel Tax Fund	7,136.41
Fund 31 Capital Improvements Fund	7,742.82
Fund 34 Storm Water Management Fund	4,821.00
Fund 51 Water Fund	301,287.88
Fund 52 Sewer Fund	25,371.45
Total For All Funds:	480,640.54