

**VILLAGE OF BURR RIDGE – AGENDA  
MAYOR & BOARD OF TRUSTEES  
VILLAGE HALL – BOARD ROOM**

**Monday, August 8, 2022 - 7:00 P.M.**

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA**

All items listed with an asterisk are considered routine by the Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen requests, in which event the item will be removed from the Consent Agenda, discussed, opened for public comment, and voted upon during this meeting.

**5. MINUTES**

- A. \* Approval of Regular Board Meeting of July 25, 2022
- B. \* Receive and File Plan Commission Meeting of August 1, 2022

**6. ORDINANCES**

- A. \* Approval of an Ordinance Granting a Special Use for Outdoor Dining at a Permitted Restaurant (Z-19-2022: 595 Village Center Drive – Kastanis/Yolk)

**7. RESOLUTIONS**

- A. \* Adoption of A Resolution Approving the Release of a Storm Sewer Easement Created by the Plat of Subdivision for Devon Woods (One Shenandoah Court)

**8. CONSIDERATIONS**

- A. Consideration of a Plan Commission Recommendation to Approve a Major Change and Amendment to the Cottages of Drew PUD (Ordinance #A-834-16-18) (Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC))
- B. Consideration of a Plan Commission Recommendation to Approve Special Uses, a PUD Amendment, and Variations to Permit a Gas Station in the B-2 Business District (Z-10-2022: 9115 Kingery Highway – Thornton's LLC)

**Public Comment Procedures:** Public comments will be accepted in written or statement form prior to or during the meeting. Written public comments shall identify whether the comment is intended to address a specific agenda item or is intended for general public comment under Section 9 – Public Comment. Public comments may also be made during the meeting when discussing specific items on the agenda. Any person seeking to address the Board on topics not on the agenda may do so during Section 9 – Public Comment.

- C. Consideration of a Plan Commission Recommendation to Deny a Variation for a Detached Accessory Building in the Corner Side Yard of a Residential Property (V-03-2022: 10S675 Glenn Drive – Rohan)
- D. \* Approval of a Proclamation Designating September 2022 as Suicide Prevention Awareness Month in the Village of Burr Ridge
- E. \* Approval of an Adjustment to the Fee Structure for the Village Attorney
- F. \* Approval to Appoint Evan Walter as the Principal Authority and Authorized Signer of the Village's Illinois Funds Accounts
- G. \* Approval of Temporary Sign Placements Requested by the Burr Ridge Park District Foundation for the Pedal the Parks Event on Sunday, September 11, 2022
- H. \* Receive and File Resignation Letter of Community Service Officer Jeff DeZur
- I. \* Approval of Vendor List Dated August 8, 2022 in the Amount of \$376,411.58 for all Funds, plus \$210,672.43 for Payroll for the Period Ending July 23, 2022, for a Grand Total of \$587,084.01 which includes one Special Expenditure of \$56,292.00 to CDS Office Technologies for Computers and Printers for the Police Department

**9. PUBLIC COMMENTS**

**10. REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS**

**11. CLOSED SESSION**

- A. Collective Negotiating Matters Between the Public Body and its Employees or Their Representatives, or Deliberations Concerning Salary Schedules for One or More Classes of Employees (5 ILCS 120/2(c)(2))

**12. RECONVENED MEETING**

- A. Consideration of an Employment Contract Between the Village and Teamsters Local #700 (Patrol Officers)

**13. ADJOURNMENT**

**NEXT MEETING – AUGUST 22, 2022 - 7:00PM**



## **August 8, 2022 Board Meeting Summary**

### **6A. Outdoor Dining (595 Village Center Drive)**

Please find an Ordinance approving a special use request for outdoor dining at an existing restaurant, Yolk. The Board directed staff to prepare the Ordinance at the July 25 meeting.

**Staff's Recommendation:** That the Ordinance be approved.

### **7A. Release of Storm Sewer Easement**

In 2018, the Village agreed to a development proposal with the property owner at 1 Shenandoah Court (Lot 4 – Devon Woods subdivision) related to the preservation of trees within a buffer area as well as the vacation of an unnecessary storm sewer easement which would have interfered with the placement of a potential new home. According to Village records, the storm sewer easement was never recorded in DuPage County. Due to the time passing between 2018 and present, with different signatories being in office, the Village must re-authorize the vacation of the storm sewer easement vacation for recording with the County Clerk.

**Staff's Recommendation:** That the Board adopts the Resolution.

### **8A. Cottages of Drew PUD (7950 Drew Avenue)**

Please find attached a letter from the Plan Commission recommending approval of a special use and PUD amendment for Anthony Perino of Jarper Properties LLC regarding the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. The petitioner also requested approval of final engineering and landscaping plans as well as building elevations in accordance with the 2018 ordinance. After the request was remanded to the Plan Commission from the May 23, 2022, Board meeting, the Plan Commission held a public hearing on June 6, 2022, for the request. No members of the public spoke at the public hearing. The Plan Commission reaffirmed the previous recommendation of approval with the same seven conditions, which are included in the attached letter. After the June 6 meeting, the petitioner submitted an additional email regarding stormwater, attached.

**Plan Commission's Recommendation:** The Board direct staff to prepare an Ordinance approving the special use/PUD amendment.

### **8B. Gas Station (9115 Kingery Highway)**

Please find attached a letter from the Plan Commission recommending approval of requests related to a proposed Thorntons gas station located at 9115 Kingery Highway. The petitioner, Thorntons, is proposing a gas station with convenience store, liquor sales, 24-hour operation, and variations associated with signage and lighting. The Plan Commission held public hearings on an initial non-24-hour petition on May 2 as well as an amended 24-hour petition on June 20 and August 1. There were several public comments made at the hearings objecting to the amended proposal. Neighboring Spectrum Senior Living originally objected to a 24-hour operation but later

withdrew the objection after agreeing to a landscape plan with Thorntons to provide screening. The Commission voted 4 to 3 to recommend approval of the amended petition with several conditions.

While the Thornton's would generally be open for sales on a 24-hour basis if approved (gas, food, etc.), they would most likely be governed by a Class F liquor license regarding their liquor sales, which would limit their permitted liquor sales to packaged goods between 6a-10pm Mon-Thu; 6a-11p Fri-Sat; and 7a-10p on Sun. The only other gas station in the Village (Shell) is governed similarly but their sales are limited to beer and wine only under a Class G license; a Class F license would permit the sale of hard liquor in addition to beer and wine. Shell is the only Class G license holder while Brookhaven is the only Class F license holder at this time. The Board would need to create a liquor license for Thornton's and approve it separately from any zoning approvals.

**Plan Commission's Recommendation:** The Board direct staff to prepare an Ordinance approving the special uses, variations, and conditional signs.

**8C. Detached Accessory Building (10S675 Glenn Drive)**

Please find attached a letter from the Plan Commission recommending denial of two variation requests by Michael Rohan, owner of 10S675 Glenn Drive. The petitioner requests construction of a detached garage in the corner side yard and within the required 30-foot setback, only 10 ft. from the southern (94th Street) property line. The petitioner stated that the purpose of the request is to construct a detached garage on the property in the corner side yard area. Zoning Ordinance regulations permit detached accessory buildings in the rear yard only. The Plan Commission held public hearings on June 20 and July 18, 2022; there were no public comments made at the hearing and one comment was included in the staff report packet.

**Plan Commission's Recommendation:** The Board direct staff to prepare an Ordinance denying the variation.

**8D. Proclamation – Suicide Prevention Awareness Month**

Attached is a Proclamation designating September 2022 as National Suicide Prevention Month in the Village of Burr Ridge. National Suicide Prevention Month is recognized nationally and is intended to raise awareness that suicide prevention is possible, treatment is effective, and people can recover from any mental health issues with which they may need assistance. In July, the Federal Communication Commission created a new 3-digit code, 9-8-8, to connect callers to the nationwide suicide prevention hotline for mental health crises. This proclamation is intended to help increase community awareness toward suicide prevention.

**Staff's Recommendation:** The Board approve the Proclamation.

**8E. Village Attorney Fee Structure**

Storino Ramello Durkin's (SRD; the Village Attorney) current rate is \$200 per hour for general corporate and litigation services and \$180 per hour for prosecutorial services, which was adopted in January 2020. The proposed rates would increase to \$215 and

\$195 per hour, respectively. These rates are comparable to those paid by municipalities in other DuPage County communities who use an outside firm for their legal services.

**Staff's Recommendation:** The Board approve the change in fee structure with SRD.

**8F. Illinois Funds Signatory**

The Village is currently updating the Principal Authority and Authorized Signer on its Illinois Funds Account. This is the account into which the Village's state shared revenue receipts are currently deposited. In order to do so, the Board is required to approve the newly appointed Principal Authority and Authorized Signer.

**Staff's Recommendation:** That the Board approve the Appointment of Village Administrator Walter as the signatory to this account.

**REGULAR MEETING**  
**MAYOR AND BOARD OF TRUSTEES**  
**VILLAGE OF BURR RIDGE**

July 25, 2022

**CALL TO ORDER** The Regular Meeting of the Mayor and Board of Trustees of July 25, 2022, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:00 p.m. by Mayor Gary Grasso.

**PLEDGE OF ALLEGIANCE** Mayor Gary Grasso asked Sergeant John Helms to lead the Pledge of Allegiance.

**ROLL CALL** was taken by the Village Clerk and the results denoted the following present: Trustees Franzese, Paveza, Snyder, Mital, and Smith. Trustee Schiappa gave advance notice that he would be unable attend the meeting. Mayor Grasso was present. Also present were Village Administrator Evan Walter, Police Chief John Madden, Public Works Director Dave Preissig, and Village Attorney Mike Durkin.

**PRESENTATIONS AND PUBLIC HEARINGS: AMENDMENT TO ANNEXATION – FALLING WATER FIRST ADDITION**

Mayor Grasso asked for any public comment on the Annexation. The developer, Jim Lesko, was present to answer any questions. There were no public comments received.

**Motion** was made by Trustee Smith seconded by Trustee Snyder, to close the Public Hearing.

Mayor Gary Grasso asked for any additional discussion from the Board and/or public. There were none.

On Roll Call, Vote Was:

AYES: 5 - Trustees Smith, Snyder, Mital, Smith, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Schiappa

There being five affirmative votes the motion carried.

**CONSENT AGENDA – OMNIBUS VOTE**

Mayor Gary Grasso read the Consent Agenda and asked the Board and public if any agenda item needed to be removed from the Consent Agenda. There was no requests to remove any item.

**APPROVAL OF REGULAR BOARD MEETING MINUTES OF JULY 11, 2022** were approved for publication under the Consent Agenda by Omnibus Vote.

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**RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF JULY 18, 2022** were noted as received and filed under the Consent Agenda by Omnibus Vote.

**APPROVAL OF AN ORDINANCE GRANTING A SPECIAL USE FOR A CHILD CARE CENTER IN THE L-I LIGHT INDUSTRIAL DISTRICT (Z-18-2022:6880 NORTH FRONTAGE ROAD – ALLOR/PREMIER IL BURR RIDGE LLC)** the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

**APPROVAL OF AN ORDINANCE GRANTING A SPECIAL USE FOR A CHILD CARE CENTER IN THE L-I LIGHT INDUSTRIAL DISTRICT AND FOR A FENCE IN A NON-RESIDENTIAL DISTRICT (Z-16-2022:6860 NORTH FRONTAGE ROAD MENENDEZ/ACTION BEHAVIOR CENTER LLC)** the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

**APPROVAL OF AN ORDINANCE AMENDING THE VILLAGE OF BURR RIDGE PERSONNEL MANUAL** the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

**APPROVAL OF AN ORDINANCE AUTHORIZING A THIRD AMENDMENT TO ANNEXATION AGREEMENT AND A SECOND AMENDMENT OF SUBDIVISION IMPROVEMENT COMPLETION AGREEMENT (FALLING WATER FIRST ADDITION)** the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

**APPROVAL OF AN ORDINANCE AUTHORIZING THE SALE BY ONLINE AUCTION OF PERSONAL PROPERTY OWNED BY THE VILLAGE OF BURR RIDGE (PUBLIC WORKS EQUIPMENT)** the Board, under the Consent Agenda by Omnibus Vote, Approved the Ordinance.

**APPROVAL OF A RESOLUTION GRANTING A SECOND EXTENSION FOR COMPLETION OF SUBDIVISION IMPROVEMENTS FOR FALLING WATER FIRST ADDITION SUBDIVISION** the Board, under the Consent Agenda by Omnibus Vote, Approved the Resolution.

**APPROVAL TO DIRECT STAFF TO PREPARE AN ORDINANCE APPROVING A PLAN COMMISSION RECOMMENDATION TO APPROVE A SPECIAL USE OUTDOOR DINING AT AN EXISTING RESTAURANT (Z-19-2022:595 VILLAGE CENTER DRIVE – YOLK)** the Board, under the Consent Agenda by Omnibus Vote, Approved the Direction to Prepare an Ordinance.

**APPROVAL TO AWARD A CONTRACT TO ORBIS SOLUTIONS OF AURORA TO PERFORM TECHNOLOGY UPGRADES AT THE POLICE DEPARTMENT IN THE**

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**AMOUNT OF \$134,388** the Board, under the Consent Agenda by Omnibus Vote, Approved the Contract Award.

**RECEIVE AND FILE LETTER OF RESIGNATION FROM PERMIT TECHNICIAN MICHELLE MAHLAN** the Board, under the Consent Agenda by Omnibus Vote, Approved the Receipt of the Resignation Letter.

**APPROVAL OF VENDOR LIST DATED JULY 25, 2022 IN THE AMOUNT OF \$945,293.64 FOR ALL FUNDS, PLUS \$222,843.42 PAY PERIOD ENDING JULY 9, 2022, FOR A GRAND TOTAL OF \$1,168,137.06, WHICH INCLUDES ONE SPECIAL EXPENDITURE OF \$79,977 TO SKC CONSTRUCTION FOR ASPHALT CRACK SEALING** the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List Dated July 25, 2022, and Payroll for the Period Ending July 9, 2022.

After reading the Consent Agenda, Mayor Gary Grasso asked for a motion to approve.

Motion was made by Trustee Paveza seconded by Trustee Snyder, to approve the Consent Agenda – Omnibus Vote (attached as Exhibit A), and the recommendations indicated for each respective item be hereby approved.

Mayor Gary Grasso asked for any discussion from the Board and/or public. There were none.

On Roll Call, Vote Was:

AYES: 5 - Trustees Paveza, Snyder, Mital, Smith, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Schiappa

There being five affirmative votes the motion carried.

**CONSIDERATION OF AN ORDINANCE AMENDING SECTIONS VIII.A, VIII.B, VIII.C AND XIV.B OF THE ZONING ORDINANCE TO DEFINE “LIVE ENTERTAINMENT” AND TO PERMIT “LIVE ENTERTAINMENT” AS ACCESSORY TO CERTAIN USES IN BUSINESS DISTRICTS (Z-08-2022:TEXT AMENDMENT – LIVE ENTERTAINMENT)**

Village Administrator Evan Walter gave an overview of the Plan Commission recommendation which approves text amendments to the Zoning Ordinance regarding live entertainment. On February 14, 2022, the Board of Trustees directed the Plan Commission to hold a public hearing on potential Zoning Ordinance text amendments to define “live entertainment” and to permit “live entertainment” as accessory (permitted) to certain uses in Business Districts. The Zoning Ordinance currently requires a special use for live entertainment in Business Districts; there are eight restaurants within the Village that currently have approved special uses for live entertainment. The Plan Commission held public hearings on April 18, June 6, and July 18. Four public comments were received throughout the petition. At the July 18, 2022, meeting, the Plan Commission unanimously

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recommended approval of text amendments to create a definition for live entertainment, create certain administrative regulations for live entertainment including limiting the amount of floor space dedicated to the use, and to permit live entertainment as accessory (permitted) to a restaurant or wine boutique use in Business Districts. Plan Commissioner Jim Broline was in attendance to answer any questions.

The Board thanked the Plan Commission for their work on this Ordinance. Trustee Franzese agreed with the definition but had some concerns about special use and accessory use. He also had some concerns about live music and what was considered “outdoors”, as the proposed new restaurant being developed has roll up doors and music will permeate outside through the folding doors/rollup windows when they are open. He said all Village restaurants are adjacent to residences in some manner, and that neighbors may be impacted. Trustee Franzese said he was ok with trying this out, but that the Board may need to revisit if music volume becomes an issue for residents. Village Attorney Mike Durkin mentioned that there are restrictions which address live entertainment being prohibited or from being broadcast, which would cover the rollup windows. The remaining Board members agreed with conditional approval. Trustee Smith asked about weddings or one-time outdoor events. Mr. Walter said that the Village noise ordinance permits users to have a one-time permit every six months for an outside event, until midnight. Mayor Grasso agreed with the Trustees and thanked Plan Commission for their work.

Motion was made by Trustee Snyder, seconded by Trustee Paveza, to approve the Ordinance.

Mayor Gary Grasso asked for any discussion from the Board and/or public. There was none.

On Roll Call, Vote Was:

AYES: 5 - Trustees Snyder, Paveza, Mital, Smith, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Schiappa

There being five affirmative votes the motion carried.

#### **CONSIDERATION OF A RESOLUTION RECOGNIZING 20 YEARS OF SERVICE TO THE VILLAGE – DETECTIVE MICHAEL Cervenka**

Police Chief John Madden Chief recognized Officer Michael Cervenka for reaching a milestone anniversary on June 3, 2022. Special recognition was given to Officer Cervenka for 20 years of service and Mayor Grasso read a Resolution and presented it to Officer Cervenka.

Motion was made by Trustee Franzese, seconded by Trustee Mital, to approve the Resolution. The Board unanimously approved.

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### **CONSIDERATION OF A RESOLUTION RECOGNIZING 20 YEARS OF SERVICE TO THE VILLAGE – SERGEANT JOHN HELMS**

Police Chief John Madden commended Sergeant John Helms on reaching a milestone anniversary on June 24, 2022. Special recognition was given to Sergeant Helms for 20 years of service. Mayor Grasso read a Resolution and presented it to Sergeant Helms.

Motion was made by Trustee Snyder, seconded by Trustee Mital, to approve the Resolution. The Board unanimously approved.

### **PUBLIC COMMENT**

Mayor Gary Grasso asked for any public comment. There was none.

### **REPORTS AND COMMUNICATIONS**

Trustee Mital mentioned that the last “Concert on the Green” will be held again at the Village Center on Thursday, and that more events were being planned after that, including the Car Show and Taste of Burr Ridge.

Trustee Franzese said that there have been six water main breaks over the last six days followed by two more on Sunday. He commended the Public Works Department who responded quickly and commended the Village Staff for their work at all hours for their dedication.

Mayor Grasso said that Johnny Cabs restaurant is now open, and that they have nice live music. He also mentioned the TCF Bank property that is for sale in the Village. He said that he has been working with Village Administrator Evan Walter, and that the property is now owned by Huntington Bank, and they have been trying to sell it. Mayor Grasso said that he has made it clear that the property would be inappropriate for heavy residential or apartment use, as it appears that they continue to market the property for heavy residential use. Mayor Grasso said he has made it clear that heavy residential use is not the direction that the Board supports.

### **ADJOURNMENT**

Mayor Gary Grasso asked for a motion at 7:23 pm to Adjourn the meeting.

Motion was made by Trustee Paveza, seconded by Trustee Mital to Adjourn. The Board unanimously approved.



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PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

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Susan Schaus  
Village Clerk  
Burr Ridge, Illinois

APPROVED BY the President and Board of Trustees this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF AUGUST 1, 2022**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 8 – Petrich, Broline, Morton, Stratis, Parrella, McCollian, Irwin, and Trzupek  
**ABSENT:** 0

Community Development Director Janine Farrell was also present.

**II. APPROVAL OF PRIOR MEETING MINUTES – JULY 18, 2022**

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to approve the minutes of the July 18, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, Morton, Broline, Petrich, Stratis, and Trzupek  
**NAYS:** 0 – None  
**ABSTAIN:** 2 – McCollian and Parrella

**MOTION CARRIED** by a vote of 6-0 with 2 abstentions.

**III. PUBLIC HEARINGS**

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

**A. Z-10-2022: 9115 Kingery Highway (Thorntons LLC) AMENDED PETITION; Special Uses, PUD Amendment, Variations, and Findings of Fact [CONTINUED FROM JUNE 20, 2022]**

Chairman Trzupek asked for a summary of the petition. Director Farrell stated that this case was continued from June 20, 2022. Since that meeting, the petitioner has worked with Spectrum Senior Living regarding additional landscape screening. Spectrum has withdrawn its objection based upon the updated landscape plan which was mutually agreed upon by Spectrum and the petitioner. The Village would ask that a maintenance agreement be established since the

landscaping will be on Spectrum's property, not Thorntons. The door on the east side of the building will become an emergency exit only and the signage will be removed.

Chairman Trzupek confirmed the objection letter submitted by Jeffrey Kraus and the new letter submitted by Erica Howard. Commissioner Stratis stated that Jeffrey Kraus is the owner and CEO of Spectrum.

Chairman Trzupek asked if the petitioner was present and wished to speak. Tad Lagestee, the owner of the property and speaking on behalf of the petitioner, stated that originally Spectrum thought the gas station would be a truck stop which is why they objected. The petitioner has agreed to extend landscaping to McDonald's to block headlights.

Chairman Trzupek asked for public comments.

Joann Krypel, 10S721 Jackson, was concerned about the sale of liquor and people coming crossing Route 83 to purchase liquor 24-hours a day. Ms. Krypel asked about the increase in traffic and how many people will be coming in the middle of the night. Ms. Krypel stated that noise and racing cars have been a concern in the area. Chairman Trzupek and Director Farrell confirmed that through the liquor license, liquor cannot be sold after 10 or 11 p.m. depending on the day. The petitioner stated that gas station staff would refuse to sell the liquor after that time. Ms. Krypel asked about lighting and compared it to the Thorntons in Westmont. The petitioner stated they will comply with the Village's lighting ordinances except where the variation is requested. The petitioner did not have specifics on what was installed in Westmont. Ms. Krypel was concerned about floodlights, the size of the monument sign, and that an asphalt plant had been proposed in the area. Director Farrell reviewed the sign package and associated variation requests.

Mark Wolski, 16W371 94<sup>th</sup> Place, stated that there have been issues with fireworks, car racing, and noise from across Route 83 and is concerned that the Thorntons would attract those issues.

Chairman Trzupek asked for Commissioner discussion.

Commissioner Irwin confirmed that Spectrum withdrew its objection as the closest neighbor, does not believe there is a need for 24-hour gas station operation in this area, and that concerns about vehicle noise are legitimate. Commissioner Irwin was torn since a 24-hour gas station was already there and there were not many objectors present.

Commissioner McCollian agreed with Commissioner Irwin but stated that since there was already a 24-hour gas station there, the issues would not likely increase.

Commissioner Parrella agreed with previous comments and reiterated her question from June, asking if Thorntons would not build if 24-hour operation was not approved. The petitioner confirmed.

Commissioner Petrich complimented the petitioner on the design of the gas station and trying to work out landscaping. Commissioner Petrich spoke with two Spectrum residents who were

outside the facility, and neither were informed of the gas station or the proposed 24-hour operation. The residents were not supportive of the gas station since the Speedway is already 24-hours, that there would be additional dumping and littering on Spectrum's property, and more unauthorized use of the parking lot. Commissioner Petrich indicated that he could not support this petition for 24-hour operation.

Commissioner Broline asked for details on the landscaping plan. The petitioner and Commissioner Morton stated that they are year-round trees. Commissioner Broline researched gas station lighting and spillover and asked about the canopy lights. The petitioner stated that gas station chains have researched lighting, but many Villages are strict about downlighting and businesses will comply.

Commissioner Stratis had no concerns about lighting since older establishments do not retrofit to comply with current standards, and that Spectrum would be concerned about their business and residents. Commissioner Stratis was not enthusiastic about 24-hour operation but did not believe it would have significant traffic impact. Commissioner Stratis stated that his wife owns the McDonald's property and that McDonald's did not object. Commissioner Stratis asked about the rear door. The petitioner and Director Farrell confirmed that the sidewalk to the east will be removed from providing access to the door. Commissioner Stratis was concerned about conditioning a private agreement between Spectrum and Thorntons. Chairman Trzupek agreed.

Commissioner Morton agreed with Commissioner Stratis' comments, that liquor would not be purchased 24-hours, and believed that Thorntons management would not tolerate drag racing and fireworks on their property. Commissioner Morton stated that the building would create a barrier from Route 83 as was stated in a previous meeting and appreciated that Thorntons and Spectrum worked together.

Chairman Trzupek stated that the building and landscaping wouldn't be a huge sound barrier. Chairman Trzupek stated that in 2015 the PUD was approved for commercial use on Route 83 and the senior living facility. In 2018, there was a lot of concern about McDonald's and they requested hours until midnight which was deemed too late and only 11 p.m. was approved. Chairman Trzupek asked the Commission what is different today.

Commissioner Stratis stated that for the past five years, Spectrum worked to find a user for the property and believes that a gas station was not their first choice. Commissioner Stratis stated that you must be realistic and that Thorntons has high housekeeping standards which is why he supports it.

Chairman Trzupek stated that a gas station was not originally planned and is that a reason to change what was hoped for back then.

Commissioner Petrich added that one resident he spoke with suggested that he meet with local Burr Ridge Senior Living management for more information. Commissioner Petrich stated it was apparent that Spectrum corporate office is approving it, and without input from Spectrum local and the residents. Commissioner Irwin noted the corporate office is in Colorado. Chairman Trzupek noted the letter states that they are approving the plan and concerned about their liability

but nothing about the residents. Commissioner Petrich is concerned about the gas station's 24-hour activity offering no respite to the senior residents, in particular the assisted living and memory care on the west end. Chairman Trzupke noted the disconnect in the Thorntons team back in May at the public hearing, that the Commission approved everything with 5 a.m. – 11 p.m., and that the question today is 24-hour operation.

Commissioner Irwin asked why the 24-hour operation. Mr. Lagestee stated that evening sales are critical to the operations and that the projections are low enough to not go through with the project if it is not 24-hours. Mr. Lagestee stated that we are a 24-hour society.

Chairman Trzupke stated that the Commission is a recommending body. Mr. Lagestee stated that the original intent of the two fast food restaurants would generate more traffic than the gas station. Chairman Trzupke noted that the concerns are about a 24-hour convenience store operation and that McDonald's may now ask for 24-hour operation.

Rosemary Wagner, 10S741 Jackson, stated that the Spectrum corporate office supports the proposal, not the residents. The quality of life for the residents should be considered. Ms. Wagner asked if Spectrum will receive money from this development. The petitioner responded no.

Commissioner Morton questioned security for the site and that having 24-hour operation would be more secure. The petitioner stated that employees will be managing the site and would discourage people parking and littering.

Commissioner Stratis stated that senior executives with Spectrum have spoken with him since he owns the McDonalds and is a neighbor, and that they have taken notice of the proposal. Commissioner Stratis stated that the Burr Ridge Spectrum would forward any public notice about the proposal to their corporate office.

There was discussion among Commissioners and Director Farrell about the Spectrum objection being withdrawn, the residents' opinion about the proposal, and the public notice that was provided. Chairman Trzupke noted that the direction at the June meeting was to work with Spectrum. Commissioner Petrich stated that he was the acting Chair at that meeting and asked that clear evidence be provided that the residents did not object. Commissioner Petrich stated that this evidence was not received.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Petrich to close the public hearing for Z-10-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Stratis, Petrich, Irwin, Morton, Broline, McCollian, Parrella, and Trzupke  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Broline to recommend approval of Z-10-2022, amending the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with 24-hour operation exceeding 7:00 a.m. to 10:00 p.m. pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted, with Findings of Fact and subject to five conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, building elevations, photometric plan, sign plans, and the revised landscape plan showing screening on Spectrum's property subject to final review and approval by staff, all attached hereto as Exhibit A.
2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The outdoor sales area shall be restricted to the area shown on the plan.
4. The Thorntons sign on the rear (east) elevation shall be eliminated.
5. A Certificate of Occupancy shall not be granted until the landscaping is installed as shown on Spectrum's property.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 – Stratis, Broline, Parrella, and Morton

**NAYS:** 3 – Irwin, Petrich, and Trzupek

**MOTION CARRIED** by a vote of 4-3.

**B. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16, JUNE 20, and JULY 18, 2022]**

Chairman Trzupek introduced the case and asked for a summary. Director Farrell stated that the text amendment was previously reviewed and the Commission supported the definition that an attached garage could be connected by a roof with open space underneath. The open space would count towards the square footage of the garage per the draft definition.

Chairman Trzupek asked for public comments. There was none. Chairman Trzupek asked for Commissioner discussion.

Commissioners Morton, Stratis, and Broline did not have comments.

Commissioner Petrich requested something more substantial that attaches the garage to the house, he supported the DuPage County definition for a linkage building, and that the draft definition permits what is technically a detached garage in the side yard. Commissioner Petrich stated that adding a detached structure to the side yard uses the whole frontage, can negatively impact the neighbors, and may be more appropriate on larger lots only. Chairman Trzupek noted that the garage was still in the buildable area.

Commissioners Parrella and McCollian had no comments.

Commissioner Irwin reviewed the information with Director Farrell that was detailed in the staff report and the draft definition being proposed.

Director Farrell read the DuPage County definition of linkage building and noted concern about placing size restrictions on the structure since the attached garage size includes the whole portion of the open and enclosed portions.

The Commissioners discussed the DuPage County definition of detached garage and noted that certain examples of homes provided in the packet, specifically 68 Cabernet Court and 15W351 87<sup>th</sup> Street, would be constituted as detached garages under DuPage County's definition. The Commissioners discussed whether the connecting portion of the roof should count towards FAR, be habitable space or adjacent to habitable space, and what spaces count towards FAR, such as loft space in a garage and ceiling height.

The Commissioners discussed breezeways and roofs and whether that meant the garage was attached or detached. The Commissioners recommended that the definition be modified to include language requiring the roofline elevation, pitch, and architectural character match the rest of the home, and addressing both primary and second accessory garages as attached.

The Commissioners discussed that any space above the garage should count towards FAR calculations and that any attached garage area over 1,000 sq. ft. also counts towards FAR. This limits the overall size of the garage, home, and breezeway.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Parrella to continue the public hearing for Z-11-2022 until September 19, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Parrella, Petrich, Broline, Morton, Stratis, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**C. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16, JUNE 6/20, and JULY 18, 2022]**

Chairman Trzupek asked for a summary of the petition. Director Farrell stated that the case was continued from previous meetings. From those meetings, some Commissioners supported eliminating right-of-way signs completely and some wanted to permit only certain types of temporary signs. The draft language was updated to bring the sign closer to the right-of-way, not allowing them to be affixed to utility poles, and limiting signs which are time sensitive and related to an event. Staff discouraged permits for temporary signs.

Chairman Trzupek confirmed the proposed changes to the text amendment from the previous meeting.

Chairman Trzupek asked for public comments.

Alice Krampits, 7515 Drew, appreciated the updates so that it would allow temporary directional signage related to events and confirmed the size of the signage allowed with staff.

Chairman Trzupek asked for Commissioner discussion.

Commissioner Irwin clarified the redline version and the clean copy in the packet and noted inconsistencies.

The Commissioners discussed the homeowner consent provision removed from the draft and the ability to place signs in front of other people's property without their consent.

The Commissioners discussed keeping #3 and #8 from the existing text which requires owner consent and requiring an owner label on the sign.

The Commissioners discussed that a sign could be placed in the right-of-way in front of someone's home without the consent of the owner of the property, ownership of the right-of-way, what constitutes the right-of-way, and constitutional rights for public ways.

The Commissioners confirmed with staff that political signs on private property are within a different section of the Sign Code, but political signs in the right-of-way would fall under the draft provision.

The Commissioners supported time limitations on the signs being placed.

The Commissioners discussed lost dog type signs which are affixed to poles and that they would be prohibited under the draft language. Commissioner Morton did not support this provision and felt it was too heavy handed.

The Commissioners discussed the enforcement proceedings of confiscation and allowing three weeks for someone to collect the signs.



The Commissioners generally agreed that homeowner consent for placing signs in the right-of-way in front of someone's home should be required and directed staff to revise the text to make it more of an event sign.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-13-2022/S-01-2022 until September 19, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, McCollian, Parrella, Petrich, Broline, Morton, Stratis, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**D. Z-12-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM JUNE 6 and JULY 18, 2022]**

Chairman Trzupek asked for a summary of the petition. Director Farrell stated that the case was continued from previous meetings. The Commissioners discussed Roman numeral 'v' regarding vans but there was not consensus on eliminating that provision. The Commissioners generally agreed to eliminate storage boxes and lockers from 'ii' and that draft language is proposed.

Chairman Trzupek asked for public comments.

Mark Thoma, 7515 Drew, learned he was in violation for owning a van without windows behind the first row of seats and no rear seats and that his personal van is considered a commercial vehicle. Mr. Thoma read from other municipalities' definitions of commercial vehicles, stated that the purpose of the Ordinance has lost focus, and should focus on nuisances.

Alice Krampits, 7515 Drew, read from other municipalities', insurance companies', and State of Illinois' definitions of commercial vehicles. Ms. Krampits stated the Ordinance is targeting both the type and usage of vehicles, that the auto industry has seen different trends in vehicles, and that vans with no seats and windows serve different needs for personal reasons. Ms. Krampits stated Burr Ridge is the only municipality from her research which includes vans and the others follow DMV guidelines. Ms. Krampits discussed window tints and previous attempted theft of vehicles at her home.

Chairman Trzupek asked for Commissioner discussion.

Commissioner Irwin supported the language as presented and that other changes may need to be evaluated in the future. Chairman Trzupek and Commissioner Irwin discussed racks and those used for commercial versus recreational purposes.

Commissioner McCollian supported removal of 'ii' completely, enhancing 'iv', and remove 'v' as a subsequent amendment.

Commissioner Parrella agrees with previous comments and had not previously evaluated the van provision but supports removing it.

Commissioner Petrich asked about what caused the 2003 amendment for vans and would like to read that Ordinance. Commissioner Petrich is concerned about randomly occurring vans without windows parking overnight and potential safety issues, and does not support storage boxes above the bed or tailgate and not integrated into the fender.

Commissioner Broline questions if things are being over regulated and agreed with removing 'v' but also sees a safety hazard. Commissioner Broline supported allowing plows.

Commissioner Stratis did not support giving code enforcement leeway with the Ordinance language interpretation and that there is a difference between hauling objects or equipment and passengers regarding vans. Commissioner Stratis supports striking the storage boxes and lockers but does not support the 'u' shaped boxes.

Commissioner Morton once owned a windowless van, supports removing 'v', and states that Illinois licenses them as personal vehicles. Commissioner Morton prefers the below the rail storage boxes and supports plows since they can be for personal use.

Chairman Trzupek discussed defining a commercial vehicle beyond how the State licenses a commercial vehicle, supported luggage racks, plows for personal use, and does not understand why vans are singled out.

Commissioner Irwin asked if a waiver or registration system can be instituted to allow individuals to register certain vehicles as not being for commercial use. Commissioners generally agreed and discussed the ticketing process. Director Farrell stated that there is no vehicle registration currently and that the Police Department and Village Attorney would need to be engaged in creation of this system.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-12-2022 until September 19, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, McCollian, Parrella, Petrich, Broline, Morton, Stratis, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**V. CORRESPONDENCE**

Chairman Trzupek asked about engaging the Village Attorney for 10S675 Glenn Dr. Director Farrell confirmed that occurred and the case is on the August 8<sup>th</sup> Board of Trustees meeting.

**VI. OTHER CONSIDERATIONS**

There were no other considerations.

**VII. PUBLIC COMMENT**

There were no other public comments.

**VIII. FUTURE MEETINGS**

Commissioner Stratis is the scheduled representative for the August 8<sup>th</sup> Board of Trustees meeting.

Director Farrell briefly mentioned the upcoming cases scheduled for August 15, 2022 which included the continuation of Z-17-2022 the Village Center townhome proposal, Z-21-2022 amended outdoor dining at Coopers Hawk, and Z-22-2022 modified parking lot design for Shirley Ryan Ability Lab.

Commissioner Irwin stated that he will be out of town for the August 15<sup>th</sup> meeting.

Commissioner Trzupek offered to be the Plan Commissioner representative for the August 22 Board of Trustees meeting. Commissioner Morton volunteered to be the Plan Commission representative for the September 12 Board of Trustees meeting.

Director Farrell noted the continuation of the text amendments from tonight for the September 19 Plan Commission meeting.

**IX. ADJOURNMENT**

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to adjourn the meeting at 9:43 p.m.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Morton, Parrella, Petrich, Broline, Stratis, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**Respectfully Submitted:**

---

Janine Farrell, AICP  
Community Development Director

## ORDINANCE NO. A-834-xx-2x

AN ORDINANCE GRANTING A SPECIAL USE FOR OUTDOOR DINING AT A  
PERMITTED RESTAURANT(Z-19-2022: 595 Village Center Drive - Kastanis/Yolk

**WHEREAS**, an application for a special use for certain real estate has been filed with the Community Development Director of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

**WHEREAS**, said Plan Commission of this Village held a public hearing on the question of granting said special use on July 18, 2022, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

**WHEREAS**, the Village of Burr Ridge Plan Commission has made its report on the request for special uses, including its findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

**NOW THEREFORE, Be It Ordained** by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 595 Village Center Drive, Burr Ridge, Illinois, is Gianluca Pesce and Taki Kastanis of Yolk (hereinafter "Petitioner"). The Petitioner requests a special use to permit outdoor dining as accessory to a permitted restaurant.
- B. That the proposed outdoor dining expansion of the existing restaurant will not detract from the public health, safety, morals, comfort, or general welfare.
- C. That the special use will not adversely impact any adjacent properties since it is in a shopping center with a variety of commercial tenants with similar uses.
- D. That the site plan of the property is adequate for the proposed use.
- E. That adequate traffic facilities are present on or adjacent to the property.

F. That the use is not contrary to the objectives of the Official Comprehensive Plan.

G. That the special use will otherwise conform to the applicable regulations of the Zoning Ordinance.

**Section 3:** That the special use for outdoor dining accessory to a permitted restaurant use is **hereby granted** for the property commonly known as 595 Village Center Drive and identified by the Permanent Real Estate Index Number (PIN) of: **18-30-300-032.**

**Section 4:** That approval of the special use shall be subject to the submitted plans hereinafter referred to in **Exhibit A**, as well as to the following conditions:

1. The special use for a restaurant with outdoor seating shall be limited to Gianluca Pesce, Taki Kastanis, and their business partners of Yolk Restaurant and shall not be transferable to any other party.
2. The special use shall substantially comply with the submitted site plan.
3. Music and all other amplified sound originating from the restaurant should be kept to a level so as not to be audible from residential units.
4. Tables shall be cleaned promptly following use.
5. Furniture and umbrellas shall be weighted to prevent their movement in the wind.
6. Outdoor food preparation, storage, or display is prohibited.
7. Plated food for sit-down service shall not be served at the outdoor walk-up coffee bar/counter.
8. All grades and cross-slopes shall be in compliance with Americans with Disabilities Act (ADA) requirements.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and

ordered to publish this Ordinance in pamphlet form.

**PASSED** this 8<sup>th</sup> day of August, 2022, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

**AYES:** -

**NAYS:** -

**ABSENT:** -

**APPROVED** by the Mayor of the Village of Burr Ridge this 8<sup>th</sup> day of August, 2022

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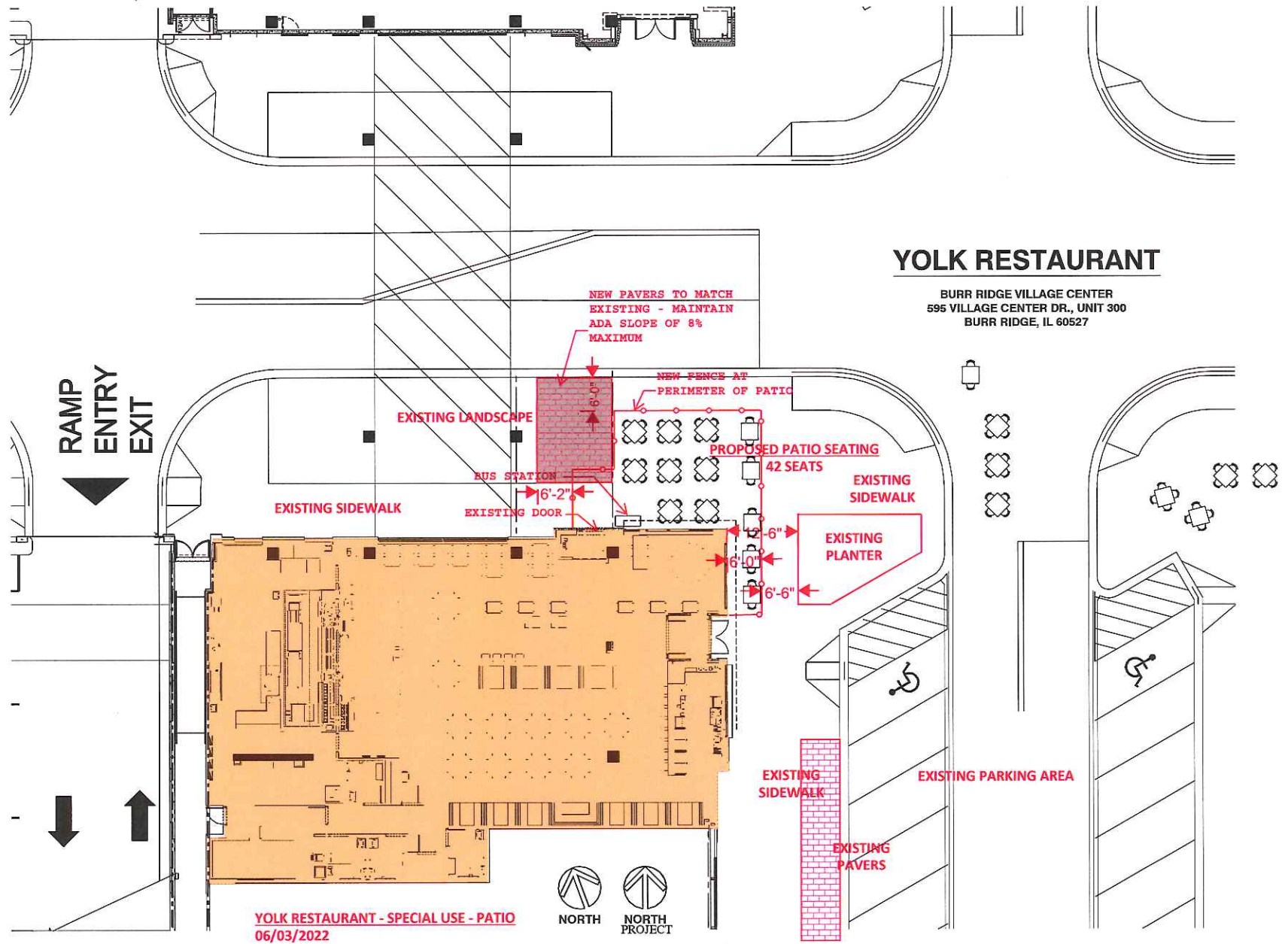
Mayor

ATTEST:

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Village Clerk





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Thickness	1-5/8 inch	Special Features	Rust Resistant
Overall Height	36 inch	Weight	10 pound
Overall Width	70-1/2 inch	Color/Finish	Black
Installed Height	36 inch	Rough Opening Width	72 inch
Top Style	Flat	Shipping Dimensions	72.00 H x 36.00 W x 1.50 D
Shipping Weight	11.0 lbs	Return Policy	Regular Return <a href="#">(view Return Policy)</a>

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**Frame Material** Aluminum  
**Handle Material** Acrylic, Aluminum

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## RESOLUTION NO. R-\_\_\_\_\_-22

**A RESOLUTION APPROVING THE RELEASE OF A STORM SEWER EASEMENT  
CREATED BY THE PLAT OF SUBDIVISION FOR DEVON WOODS  
(One Shenandoah Court)**

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge previously approved a plat of subdivision for the Devon Woods Subdivision within the Village of Burr Ridge, said subdivision plat recorded as document number R89-18114 on February 15, 1989, in DuPage County, Illinois (the “Subdivision Plat”); and

**WHEREAS**, the Subdivision Plat created a 20.00 foot wide storm sewer easement, running north and south, over and upon Lots 2, 3 and 4, and 75 feet east of the western lot lines of said lots on the Subdivision Plat (the “Easement”); and

**WHEREAS**, the northernmost portion of the Easement runs from the northern lot line of Lot 4 directly south to the southern lot line of Lot 4, said Easement 20 feet wide and 75 feet east of the western lot line of Lot 4, as configured and depicted on the Subdivision Plat; and

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge previously adopted Resolution No. R-17-18 on May 14, 2018, which authorized the execution of a “Release of Storm Sewer Easement,” but said Release had not been executed or recorded with the DuPage County Recorder’s Office, due to litigation that had been pending regarding the Easement and other related issues, which litigation has recently been dismissed; and

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge hereby find that this storm sewer over and upon Lot 4 is not necessary, that the Village of Burr Ridge has no current or future plans to install such a sewer in that easement and that an alternative location for such utility service is available; and

**WHEREAS**, the Corporate Authorities of the Village of Burr Ridge find that the approval of the attached “Release of Storm Sewer Easement,” which is marked Exhibit A and made a part hereof, is in the best interests of the Village of Burr Ridge.

**NOW, THEREFORE, BE IT RESOLVED** by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**SECTION 1:** The recitals above are hereby incorporated by reference into this Section 1 and made a part hereof as material provisions of this Resolution.

**SECTION 2:** The Corporate Authorities of the Village of Burr Ridge hereby approve the “Release of Storm Sewer Easement,” which is marked and made a part hereof as Exhibit A, and authorize and direct the President and Clerk of the Village of Burr Ridge to execute said Release and such other documents as are necessary to fulfill the Village’s obligations relative to the execution and recording of the Release with the DuPage County Recorder’s Office.

**SECTION 3:** This Resolution shall take effect from and after its adoption and approval. After its approval, a certified copy of this Resolution and a fully executed copy of the Release shall be recorded with the DuPage County Recorder’s Office.

**PASSED** by the Corporate Authorities of the Village of Burr Ridge, Cook and DuPage Counties, Illinois at a Regular Meeting thereof held on the \_\_\_\_\_ day of \_\_\_\_\_, 2022, and approved by the following roll call vote:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**APPROVED** this \_\_\_\_\_ day of \_\_\_\_\_, 2022, by the President of the Village of Burr Ridge.

\_\_\_\_\_  
Village President

**ATTEST:**

\_\_\_\_\_  
Village Clerk

**EXHIBIT A**

**RELEASE OF STORM SEWER EASEMENT**

***THIS DOCUMENT WAS PREPARED BY:***

Michael K. Durkin  
Storino, Ramello & Durkin  
9501 West Devon Avenue  
Suite 800  
Rosemont, Illinois 60018

*This Space Reserved for County Recorder's Office*

**RELEASE OF STORM SEWER EASEMENT**

**KNOW ALL MEN BY THESE PRESENTS**, that the VILLAGE OF BURR RIDGE, an Illinois municipal corporation, for good and valuable consideration, the receipt of which is hereby acknowledged, does hereby REMISE, RELEASE, CONVEY AND QUIT CLAIM, all the right, title, interest, claim or demand whatsoever, it may have acquired in, through or by that plat of subdivision for the Devon Woods Subdivision within the Village of Burr Ridge, said subdivision plat recorded as document number R89-18114 on February 15, 1989, in the Office of the DuPage County Recorder, DuPage County, Illinois, in and to that twenty (20) foot wide storm sewer easement upon and across the following real property:

LOT 4 IN DEVON WOODS, BEING A SUBDIVISION OF PART OF THE EAST ½  
OF THE NORTHEAST ¼ OF SECTION 1, TOWNSHIP 37 NORTH, RANGE 11,  
EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT  
THEREOF RECORDED FEBRUARY 15, 1989 AS DOCUMENT NO. R89-018114, IN  
DUPAGE COUNTY, ILLINOIS

ADDRESS: One Shenandoah Court, Burr Ridge, Illinois 60521  
PIN: 10-01-210-004

together with all the appurtenances and privileges thereunto belonging or appertaining.

**IN TESTIMONY WHEREOF**, the Village has caused this Release of Storm Sewer Easement to be signed by its Mayor this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

VILLAGE OF BURR RIDGE,  
an Illinois municipal corporation

By: Gary Grasso, Mayor

ATTEST:

\_\_\_\_\_  
Susan Schaus, Village Clerk

STATE OF ILLINOIS            )  
  ) SS  
COUNTY OF DUPAGE         )

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Gary Grasso and Susan Schaus, personally known to me to be the Village President and Village Clerk, respectively, of the Village of Burr Ridge, an Illinois municipal corporation (the "Village"), and also known to me to be the same persons whose names are subscribed to the foregoing instrument as such Village President and Village Clerk, appeared before me this day in person and acknowledged that as such Village President and Village Clerk, they signed and delivered the said instrument pursuant to the authority given by the Village of Burr Ridge Board of Trustees, and as their free and voluntary act, and as the free and voluntary act and deed of the Village, for the uses and purposes therein set forth.

GIVEN UNDER my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public





August 8, 2022

Mayor Gary Grasso and Board of Trustees  
7660 County Line Road  
Burr Ridge, Illinois 60527

**Re: Z-15-2022: 7950 Drew Ave. (Perino/Jarper Properties LLC); Special Use, PUD Amendment, and Findings of Fact**

Dear Mayor and Board of Trustees:

After due notice as required by law, the Plan Commission held a public hearing on May 16, 2022. The petitioner, Anthony Perino of Jarper Properties LLC, stated that the purpose of his request was to amend a previously approved Planned Unit Development (PUD). On September 10, 2018, the petitioner was approved for a PUD and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. The petitioner now wishes to provide the option on six of the eight homes to have a three-car garage instead of a two-car garage. This increase in the floor area of the homes resulted in a reduction of the open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. One of the conditions of the 2018 PUD approval required that "final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees." In addition to the major change and PUD amendment request, the petitioner was requesting approval of the final engineering, landscaping plans, and building elevations. The Plan Commission transmitted its recommendation to approve a special use, PUD amendment, final engineering, landscaping plans, and building elevations, with conditions, to the Board of Trustees.

This recommendation was on the May 23, 2022 Board of Trustees meeting agenda for consideration. During public testimony, a resident stated that a Plan Commissioner discussed communication he had with the petitioner about three-car garages being offered as an option on the proposed homes and that he may have been the impetus behind the PUD amendment. To ensure that Commissioners were not unduly influenced by the statement and that there was no question about improper proceedings, the Board remanded the petition back to the Commission. The Board also requested that additional evergreen landscaping be added to the western property line.

The Plan Commission held a public hearing on June 6, 2022 on the remanded petition. For the June 6 meeting, the petitioner updated the landscaping plan to include additional evergreens along the western property line. There was no public comment made at the meeting. The Plan Commission voted to reaffirm the prior recommendation with a vote of 6 to 0 with one abstention.

The Plan Commission ***recommends that the Board of Trustees approve*** a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering plans, landscaping plans, and building elevations, and Findings of Fact, subject to the following conditions:

1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.

3. The proposed fencing on the retaining walls shall be eliminated.
4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
7. No more than six of the eight homes shall have three-car garages.

Sincerely,

Greg Trzupek, Chairman  
Plan Commission/Zoning Board of Appeals

# Additional information received after the Plan Commission meeting

**From:** [Nicholas Patera](#)  
**To:** [Evan Walter](#); [Janine Farrell](#); [David Preissig](#)  
**Cc:** [Bill Zalewski](#); [Anthony Perino](#); [Robert S. Minetz](#)  
**Subject:** FW: The Cottages  
**Date:** Thursday, July 21, 2022 4:57:07 PM  
**Attachments:** [image001.png](#)  
[FW The Cottages.msg](#)

---

Evan Walter- Village Administrator  
Janine Farrell- Community Development Director  
Dave Preissig- Village Engineer & Public Works Director

July 22, 2022

Cottages of Drew  
Burr Ridge, Il.

Evan , Janine, David,  
I wanted to share information pertinent to Village concerns over our stormwater management solution. I understand Dave Preissig has planned on discussing this matter with you.

The attached letter sent from our engineer Bill Zalewski to David Preissig Village Engineer is attached for reference. We are waiting to hear back from David his opinion and agreement as he had provided in August 2021.

In summary, the Trustees may want to consider that public benefits provided with our final approval are in excess of the minimum requirements.  
Stormwater management provided , including the option for up to 6 of the 8 homes to have a third car garage will provide public benefit that exceeds the County and Village standards.  
This benefit would not be happening if we applied for a conventional "by -right" subdivision.

As you know, the PUD provides for a clustered home arrangement that provides open space preservation under common area management and storm water management as public benefits that exceed the comparative "by-right" development for the same eight home density. The PUD development proposal provides for creative site planning and coordinated stormwater management, civil engineering, tree preservation , architecture and landscape architecture that would be otherwise less attainable with a conventional subdivision.

Per our Engineers letter the stormwater management available is able to provide 43% more stormwater management than just covering our stormwater runoff generation.

A standard stormwater management plan would contain runoff at a rate no greater post-development than runoff levels pre- development.  
We have provided increased capacity addressing amounts greater than just covering equivalent

runoff.

An impressive amount of Stormwater Management has been provided as follows;

- 20% per Village Code
- 25% = per Plan Commission
- 30% = per engineering design parameter
- **43% = Total available volume above based on DuPage County Design criteria**

The Village staff should feel confident to support the stormwater management plan based on this as a strong public benefit.

Please let Bill Zalewski or me know if there are any concerns before the meeting.

We look forward presenting to the Board on Monday August 8, 2022.

Thanks,

Nick

Cc;

Bill Zalewski, Anthony Perino, Robert Minetz



**Nick Patera, PLA**

**Senior Vice President**

847.563.9720 office

847.471.4166 cell

**Teska Associates, Inc.**

**Building Community, Creating Place**

[www.TeskaAssociates.com](http://www.TeskaAssociates.com)

[Facebook](#) | [LinkedIn](#) | [Instagram](#)



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.**

**HEARING DATES:**

May 16, 2022 and June 6, 2022  
(remanded from May 23, 2022  
Village Board meeting)

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development  
Director

**PETITIONER:**

Anthony Perino, Manager of  
Jarper Properties LLC

**PETITIONER STATUS:**

Property Owner

**PROPERTY OWNER:**

Anthony Perino, Manager of  
Jarper Properties LLC

**EXISTING ZONING:**

R-3 Residential PUD

**LAND USE PLAN:**

Recommends Residential Uses

**EXISTING LAND USE:**

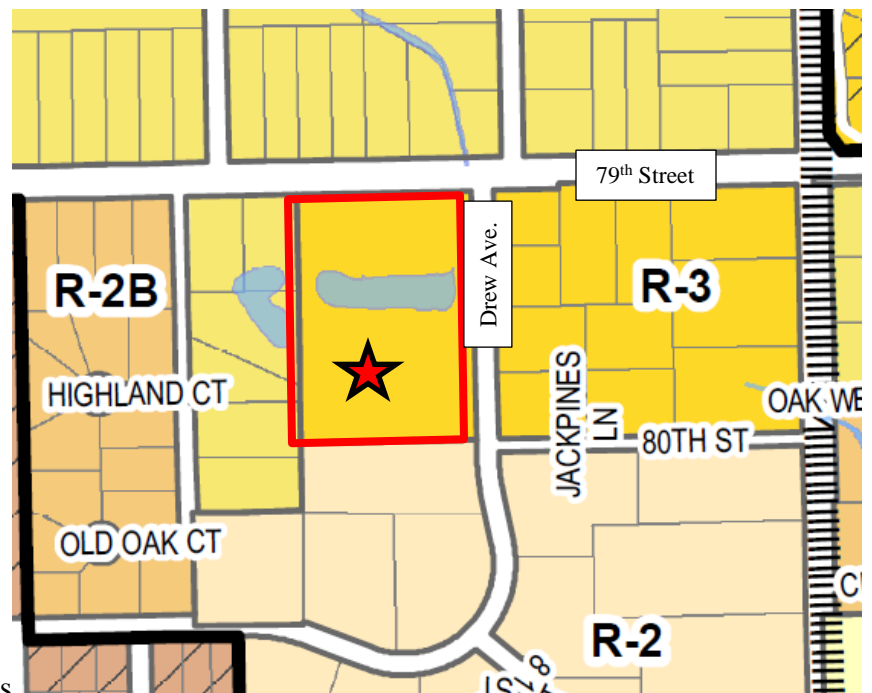
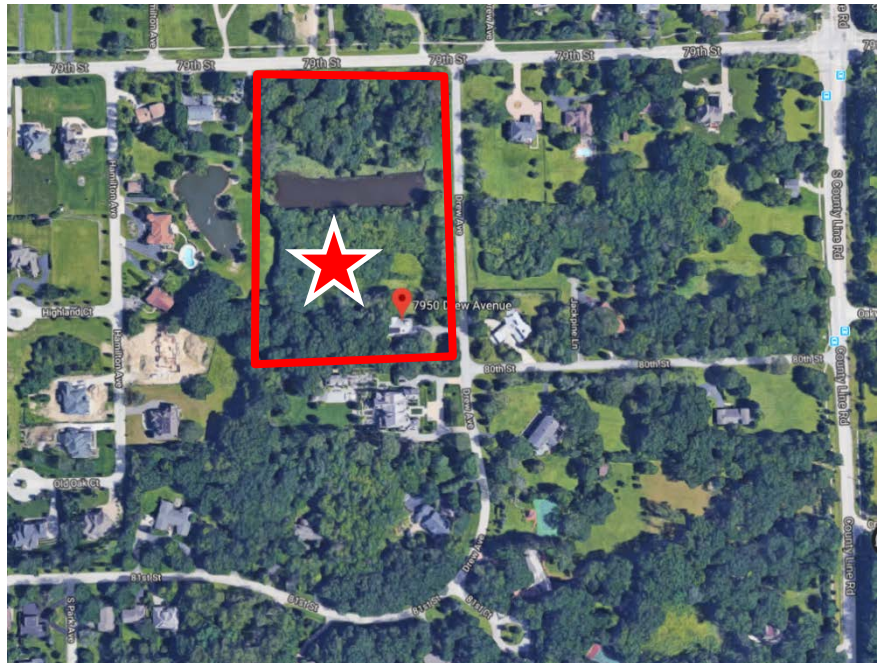
Vacant Single-Family Residential

**SITE AREA:**

8.87 Acres

**SUBDIVISION:**

Korinek's Owners



At the May 16, 2022 Plan Commission meeting, the Commission unanimously approved special use and PUD amendment requests by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering, landscaping plans, and building elevations subject to the following conditions:

1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.
3. The proposed fencing on the retaining walls shall be eliminated.
4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
7. No more than six of the eight homes shall have three-car garages.

This recommendation was on the May 23, 2022 Village Board meeting agenda for consideration. During public testimony, a resident stated that a Plan Commissioner commented about communication he had with the petitioner about three-car garages being offered as an option on the proposed homes and that he may have been the impetus behind the PUD amendment (see page 4 of the May 16, 2022 minutes). To ensure that Commissioners were not unduly influenced by the statement and that there was no question about improper proceedings, the Board remanded the petition back to the Commission. The Board also requested that additional evergreen landscaping be added to the western property line.

Since the May 16<sup>th</sup> Plan Commission meeting, the petitioner confirmed that the open space has been reduced from 88.5% to 84% which is a 4.5% reduction. The petitioner was previously required to provide over 20% stormwater detention volume beyond Ordinance requirements in 2018. According to the petitioner's engineer and the Stormwater Report, slightly under 30% additional stormwater detention volume is now being provided.

The petitioner submitted an abbreviated, revised plan set which includes:

- Updated landscape plan with new evergreen plantings on the western property line
- Relocated trees to minimize impact with the retaining walls
- Label reference to fence rail on the walls being eliminated
- Three car garage options are shown for five homes (#2, 3, 4, 5 & 6). Two car garage option would remain on homes #1 and 8.
- Side yard building separation dimensions noted.

The remainder of the submittal, which includes building elevations and a site plan, are unchanged from May 16, 2022. Digital versions of those plans are available on the Village's website under Plan Commission/Zoning Board of Appeals meeting packet materials.

**Findings of Fact and Recommendation**

The petitioner prepared Findings of Fact which were previously adopted on May 16, 2022 and are attached as Exhibit A.

Since the Commission unanimously approved the request on May 16, 2022, the Commission may wish to take a new vote on the matter or vote to reaffirm the previous recommendation.

**Appendix**

Exhibit A – Petitioner’s Materials and Findings of Fact

- Application and Findings of Fact
- Revised plan set





# EXHIBIT A

## VILLAGE OF BURR RIDGE

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS



#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES LLC

STATUS OF PETITIONER: ANTHONY PERINO, MANAGER

PETITIONER'S ADDRESS: 155 ANN ST., CLARENDON HILLS, IL 60514

ADDRESS OF SUBJECT PROPERTY: 7950 DREW AVE.

PHONE: 630-850-9170

EMAIL: aperino@jarperpropertiesllc.com

PROPERTY OWNER: JARPER PROPERTIES LLC

PROPERTY OWNER'S ADDRESS: 155 ANN STREET  
CLARENDON HILLS, IL 60514 PHONE: 630-850-9170

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

#### DESCRIPTION OF REQUEST:

REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUIRES  
OPENS SPACE REDUCTION OF 10% (MAJOR CHANGE IN P.U.D) AND INCREASE OF 1.13% FOR IMPERVIOUS  
COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (MINOR CHANGE IN P.U.D)

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 8.87/386,377 EXISTING ZONING: R-3, P.U.D.

EXISTING USE/IMPROVEMENTS: VACANT

SUBDIVISION: THE COTTAGES OF DREW 7950 DREW AVE.

PIN(S) # 09-36-201-004

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

ANTHONY PERINO MANAGER

4/19/2022  
Date of Filing





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**


The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

7950 DREW AVENUE

Property Owner or Petitioner:

JARPER PROPERTIES LLC - ANTHONY PERINO, MGR.  
(Print Name)

 MANAGER  
(Signature)





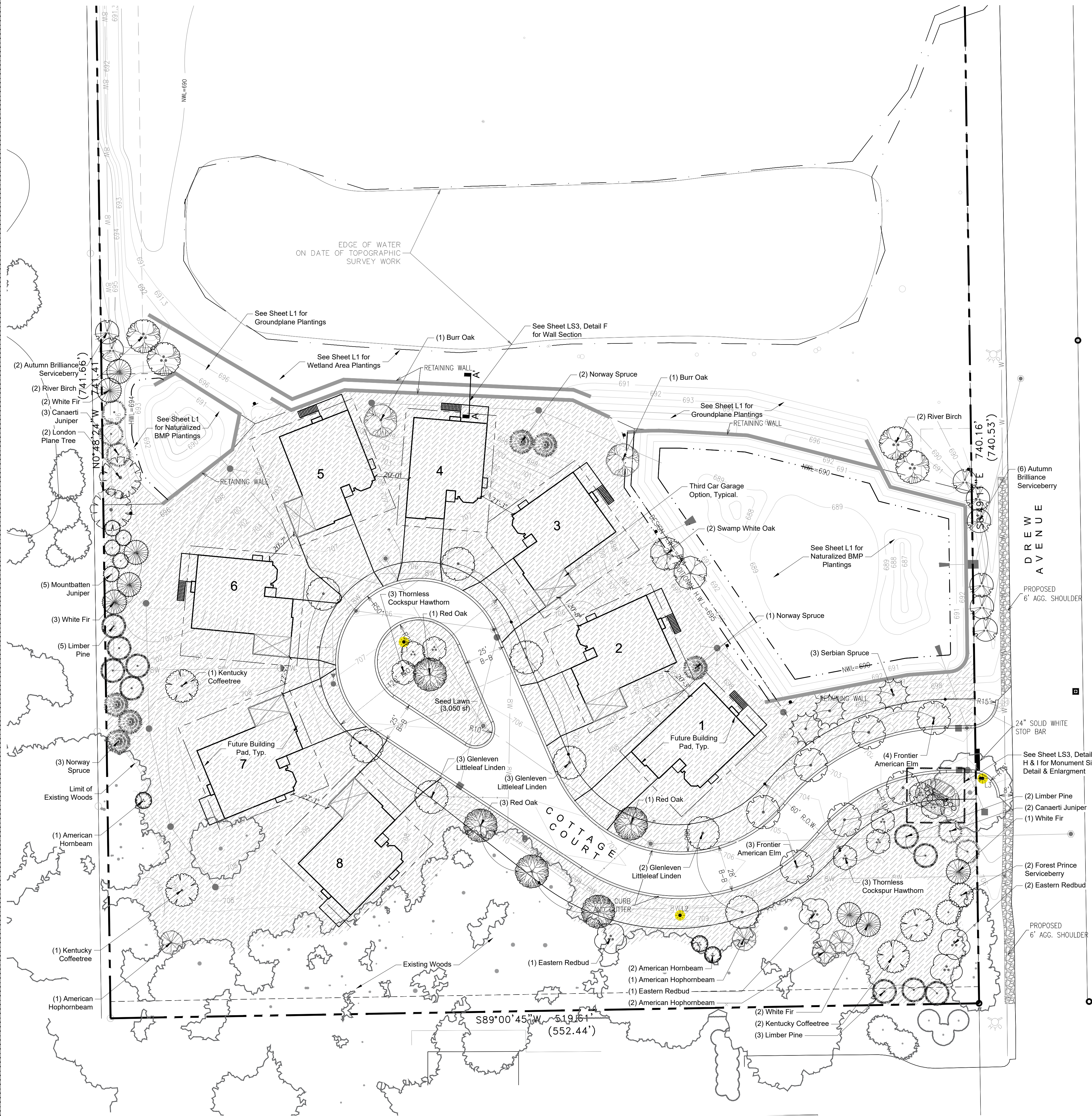
- SITE INFORMATION & NOTES:**
- Total Property Area = 8.87 ac.
  - Homes + Drives = 1.4 ac. (13%)
  - Dedicated Open Space/Common Area Managed by Homeowners Associates = 7.47 ac. (84%)
  - Homes 2, 3, 5, 6, & 7 Show Option for 3 Car Garages
  - Distance Between Houses Range from 20'-0" to 22'-5"
  - Street Trees along Cottage Court Spaces at 40' o.c. per Village Code

















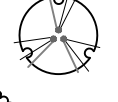





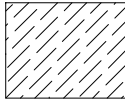
Copyright © 2019 Advantage Consulting Engineers, LLC

LANDSCAPE SITE PLAN		ADVANTAGE CONSULTING ENGINEERS		REMARKS	
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527		THE COTTAGES OF DREW BURR RIDGE, ILLINOIS		NO.	DATE
				1	3/4/19
				2	9/24/19
				3	10/21/19
				4	10/24/21
				5	3/15/22
MAY 27, 2022		JOB: 16-086		6	5/16/22
SHEET: LSO		80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439		REVISED PER VILLAGE & COUNTY	
25 OF 27		847-260-4758		REVISED PER CIVIL	
				REVISED PER ARCH	





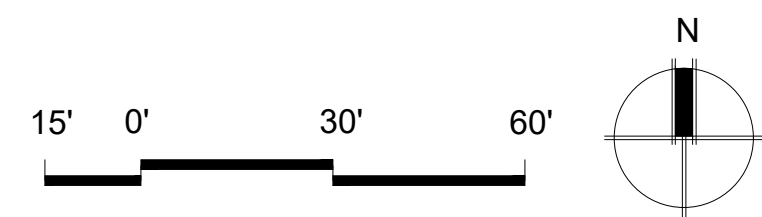
LANDSCAPE COMMON AREA PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Abies concolor / White Fir	6' ht.	B&B	8
	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper	4' - 6' ht.	B&B	5
	Juniperus virginiana 'Canaertii' / Canaerti Juniper	4' - 6' ht.	B&B	8
	Picea abies / Norway Spruce	6'-8' ht.	B&B	6
	Picea omorika / Serbian Spruce	6'-8' ht.	B&B	3
	Pinus flexilis / Limber Pine	6'-8' ht.	B&B	10
CANOPY TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Betula nigra / River Birch	6'-8' ht., multi-stem	B&B	4
	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" cal.	B&B	4
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	2.5" cal.	B&B	2
	Quercus bicolor / Swamp White Oak	2.5" cal.	B&B	2
	Quercus macrocarpa / Burr Oak	2.5" cal.	B&B	2
	Quercus rubra / Red Oak	2.5" cal.	B&B	5
	Tilia cordata 'Glenleven' / Glenleven Littleleaf Linden	2.5" cal.	B&B	8
	Ulmus x 'Frontier' / Frontier American Elm	2.5" cal.	B&B	7
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	4'-6' ht., multi-stem	B&B	8
	Amelanchier x grandiflora 'Forest Prince' / Forest Prince Serviceberry	4'-6' ht.	B&B	2
	Cercis canadensis / Eastern Redbud	4'-6' ht., multi-stem	B&B	4
	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4'-6' ht., multi-stem	B&B	6
UNDERSTORY TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Carpinus caroliniana 'JN Strain' TM / American Hornbeam	4'-6' ht., multi-stem	B&B	3
	Ostrya virginiana / American Hophornbeam	2.5" cal.	B&B	4
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	QTY	
	Seed Lawn / IDOT Class 1B Low Maintenance Lawn Mixture	seed	109 937 sf	
	Fine Leaf Turf-Type Fescue	150 lbs. / acre		
	Perennial Ryegrass	20 lbs. / acre		
	Red Top	10 lbs. / acre		
	Creeping Red Fescue	20 lbs. / acre		
	Total = 200 lbs. / acre			

MONUMENT SIGN PLANT SCHEDULE

ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4'-6' ht., multi-stem	B&B	2
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	36" ht.	B&B/CG	1
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	18" ht.	B&B/CG	5
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Geranium x 'Rozanne' / Rozanne Cranesbill	2.25" pot	18" o.c.	41
	Hosta fortunei 'Francee' / Fortune's Hosta	1 gal.	36" o.c.	5
	Liriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	108
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Aster novi-belgii 'Woods Purple' / Woods Purple Aster	2.25" pot	12" o.c.	55

- NOTES:
- Distance Between Houses Range from 20'-0" to 22'-5"
  - Street Trees along Cottage Court Spaces at 40' o.c. per Village Code







LANDSCAPE COMMON AREA PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
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	Picea omorika / Serbian Spruce	6'-8' ht.	B&B	3
	Pinus flexilis / Limber Pine	6'-8' ht.	B&B	10
CANOPY TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Betula nigra / River Birch	6'-8' ht., multi-stem	B&B	4
	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5' cal.	B&B	4
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	2.5' cal.	B&B	2
	Quercus bicolor / Swamp White Oak	2.5' cal.	B&B	2
	Quercus macrocarpa / Burr Oak	2.5' cal.	B&B	2
	Quercus rubra / Red Oak	2.5' cal.	B&B	5
	Tilia cordata 'Glenleven' / Glenleven Littleleaf Linden	2.5' cal.	B&B	8
	Ulmus x 'Frontier' / Frontier American Elm	2.5' cal.	B&B	7
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	Cercis canadensis / Eastern Redbud	4'-6' ht., multi-stem	B&B	4
	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4'-6' ht., multi-stem	B&B	6
UNDERSTORY TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
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	Ostrya virginiana / American Hophornbeam	2.5' cal.	B&B	4

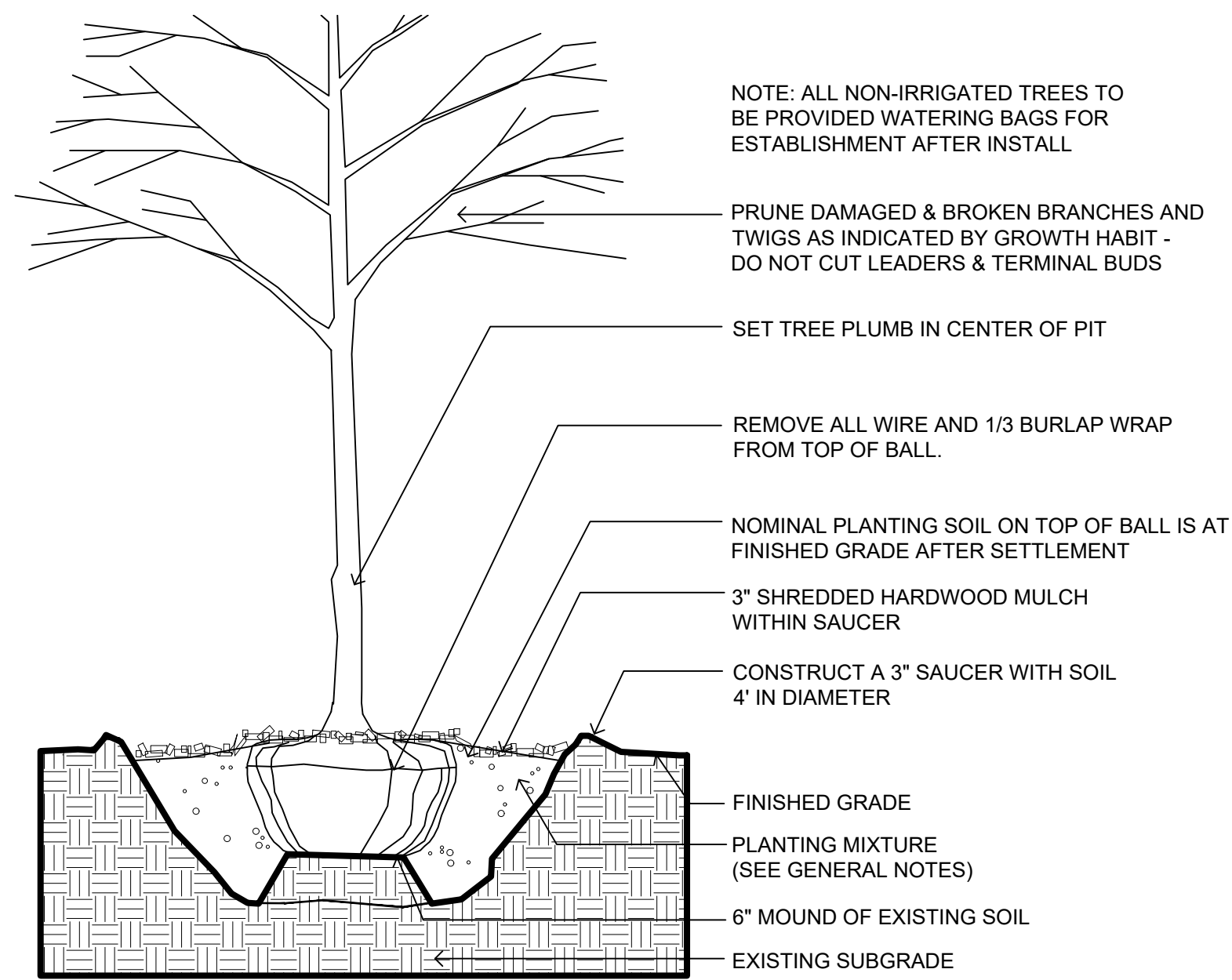
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	QTY
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	Fine Leaf Turf-Type Fescue	150 lbs. / acre	
	Perennial Ryegrass	20 lbs. / acre	
	Red Top	10 lbs. / acre	
	Creeping Red Fescue	20 lbs. / acre	
	Total = 200 lbs. / acre		

MONUMENT SIGN PLANT SCHEDULE

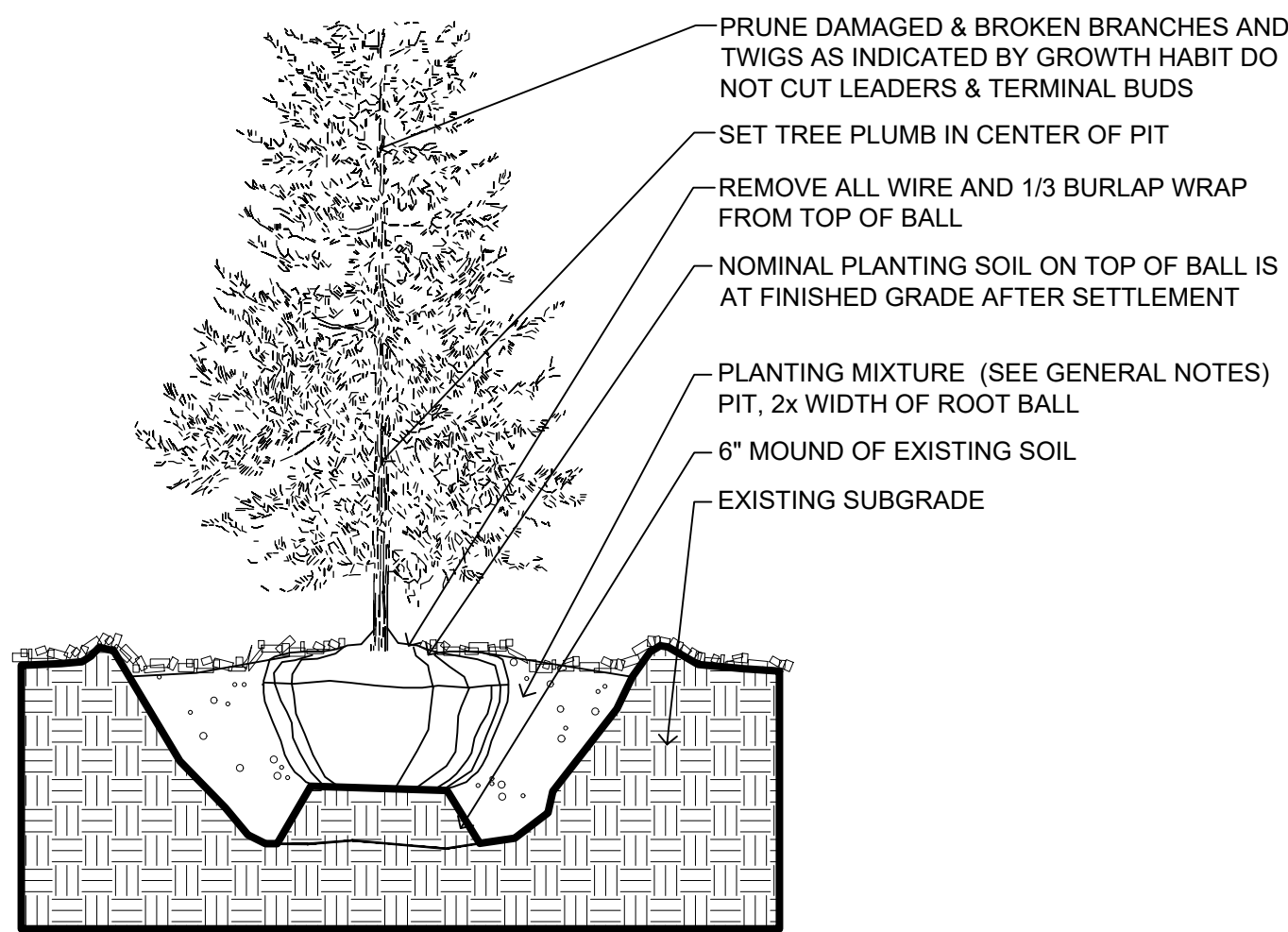
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
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SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	36" ht.	B&B/CG	1
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	18" ht.	B&B/CG	5
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Geranium x 'Rozanne' / Rozanne Cranesbill	2.25" pot	18" o.c.	41
	Hosta fortunei 'Frances' / Fortune's Hosta	1 gal.	36" o.c.	5
	Liriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	108
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
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- NOTES:
- Distance Between Houses Range from 20'-0" to 22'-5"
  - Street Trees along Cottage Court Spaces at 40' o.c. per Village Code

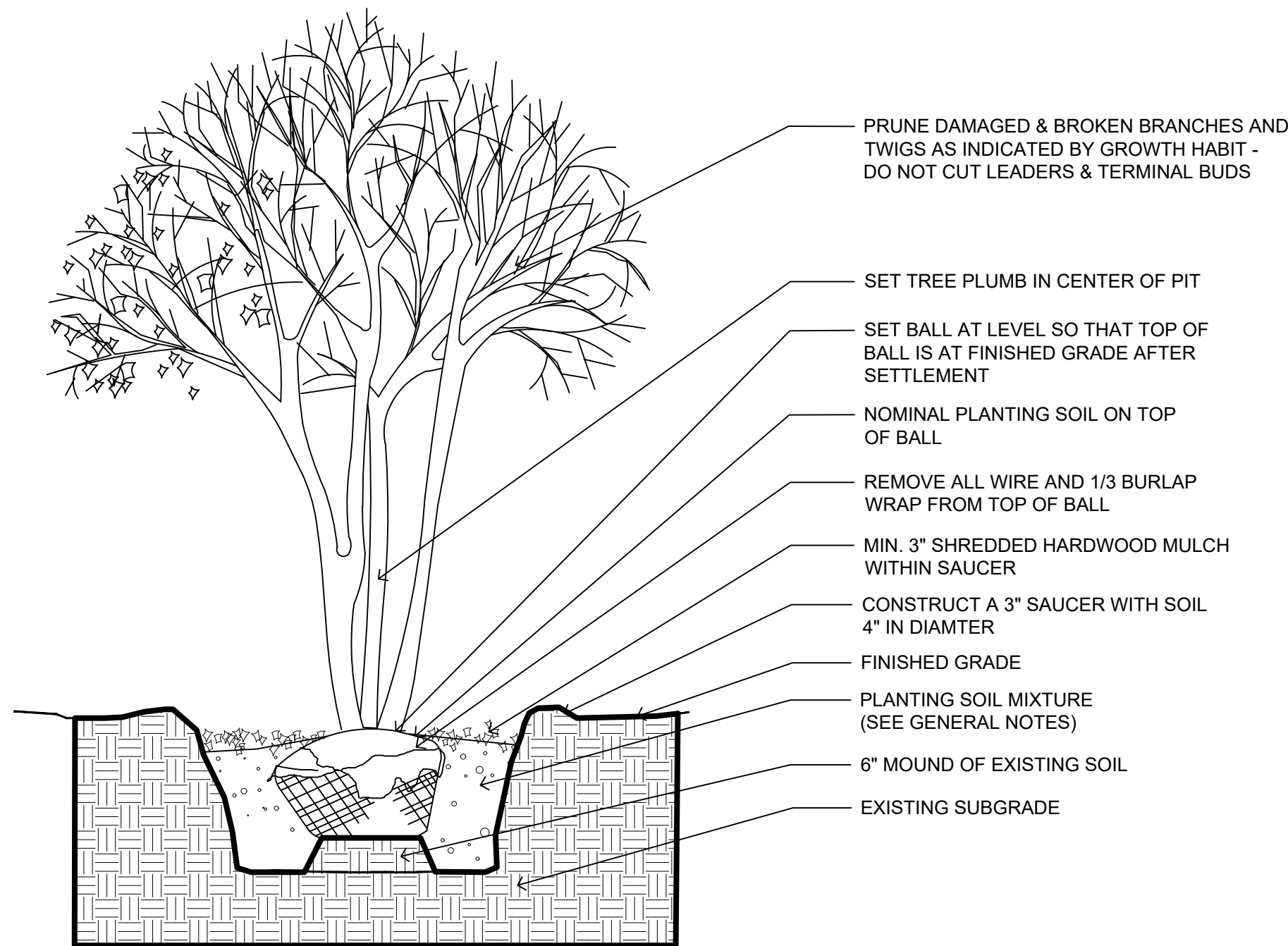




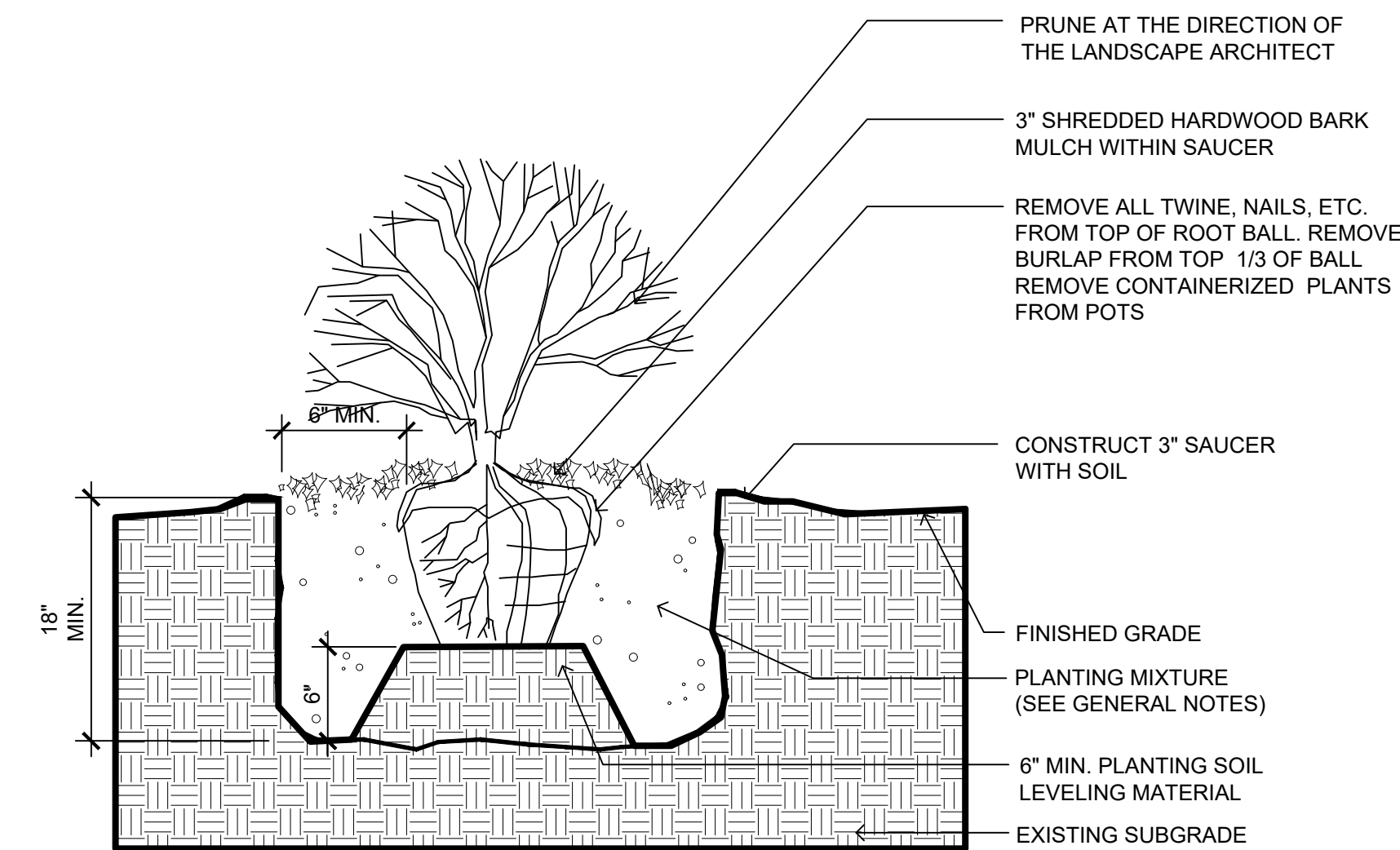
**A** SHADE TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



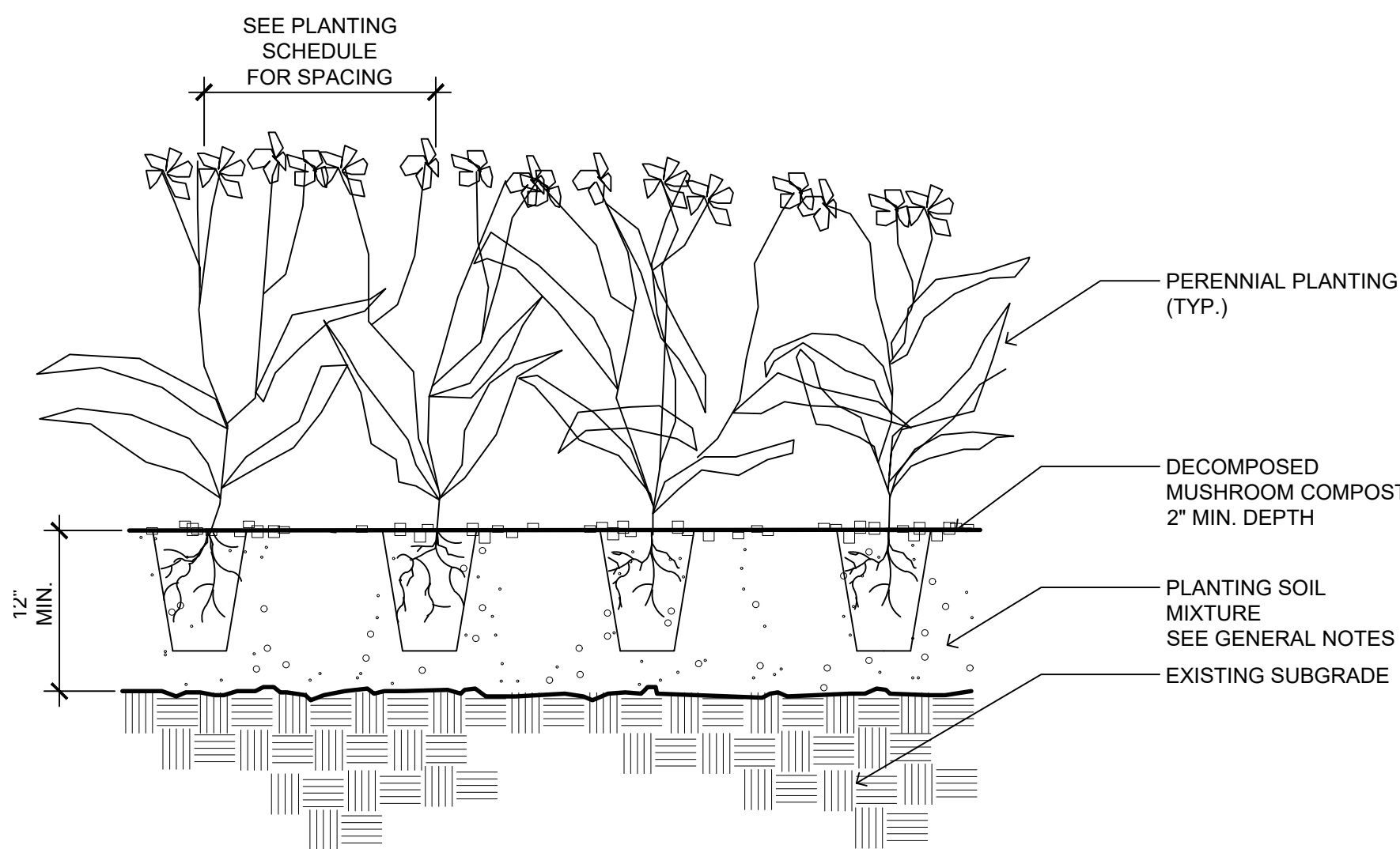
**B** EVERGREEN TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



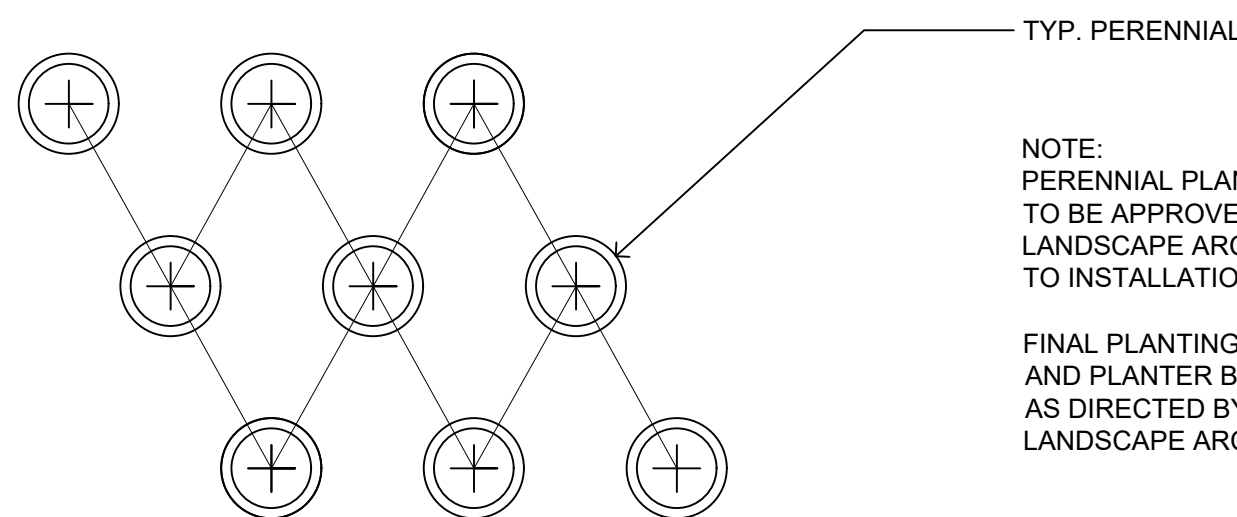
**C** ORNAMENTAL / UNDERSTORY TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



**D** SHRUB PLANTING DETAIL  
SCALE: NOT TO SCALE



**E** PERENNIAL PLANTING DETAIL  
SCALE: NOT TO SCALE



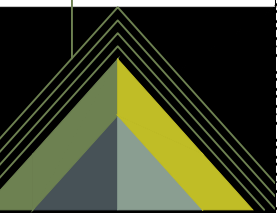
## LANDSCAPE GENERAL NOTES:

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE ACCEPTED.
5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)
7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.
8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.
10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).
12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/Form OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT PRACTICE' TECHNIQUES.
13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUND COVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.
14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.
15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.
16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.
19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

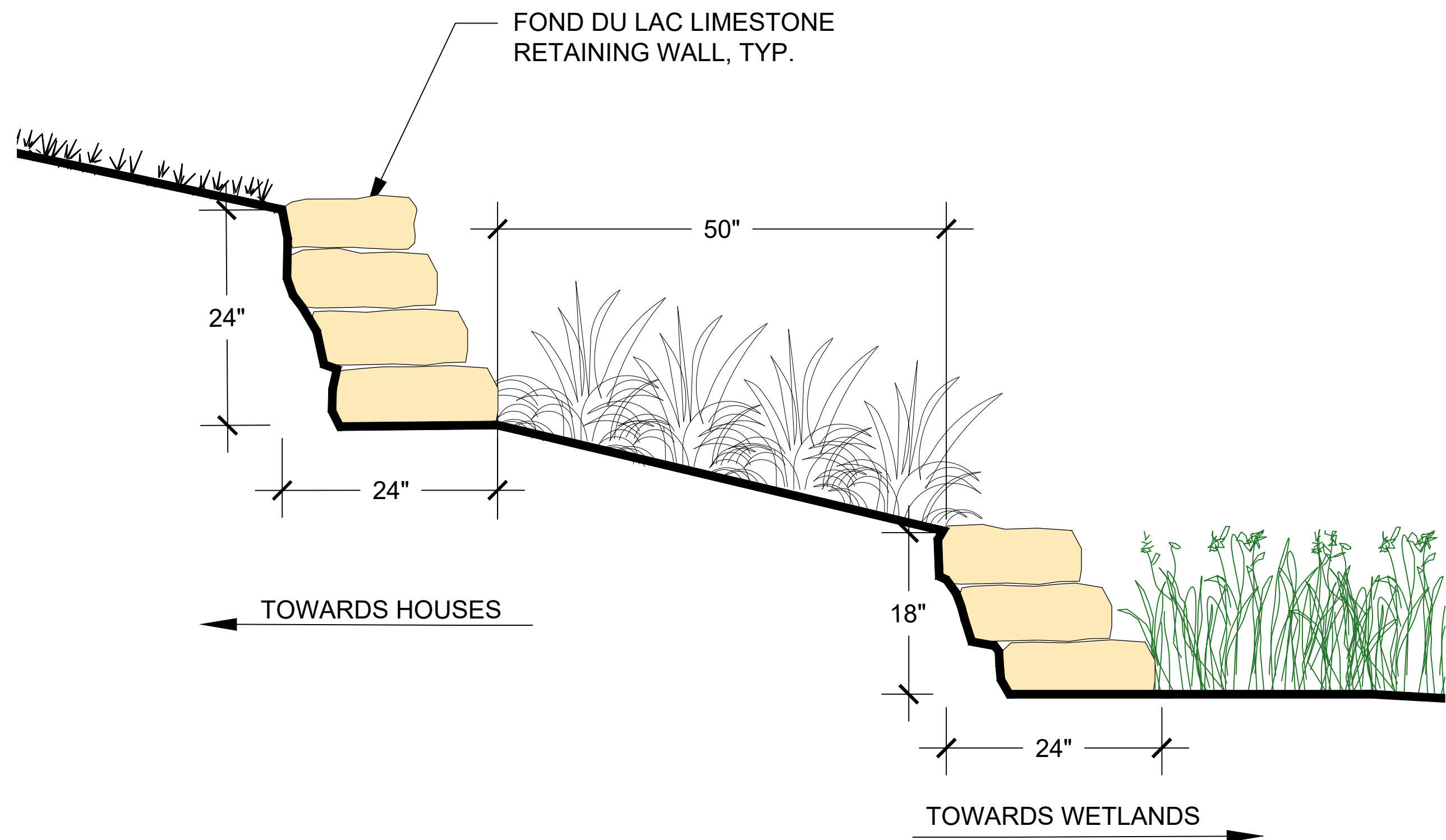
## BID OPTION:

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND SYSTEM.
21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN.

NO.	DATE	REMARKS	
		REVISED PER VILLAGE & COUNTY	REVISED PER OWNER
1	3/1/19		
2	9/24/19		
3	10/21/19		
4	10/04/21		
5	3/15/22		
6	5/06/22		







**F** WALL SECTION A - A'  
1"=1'-0"

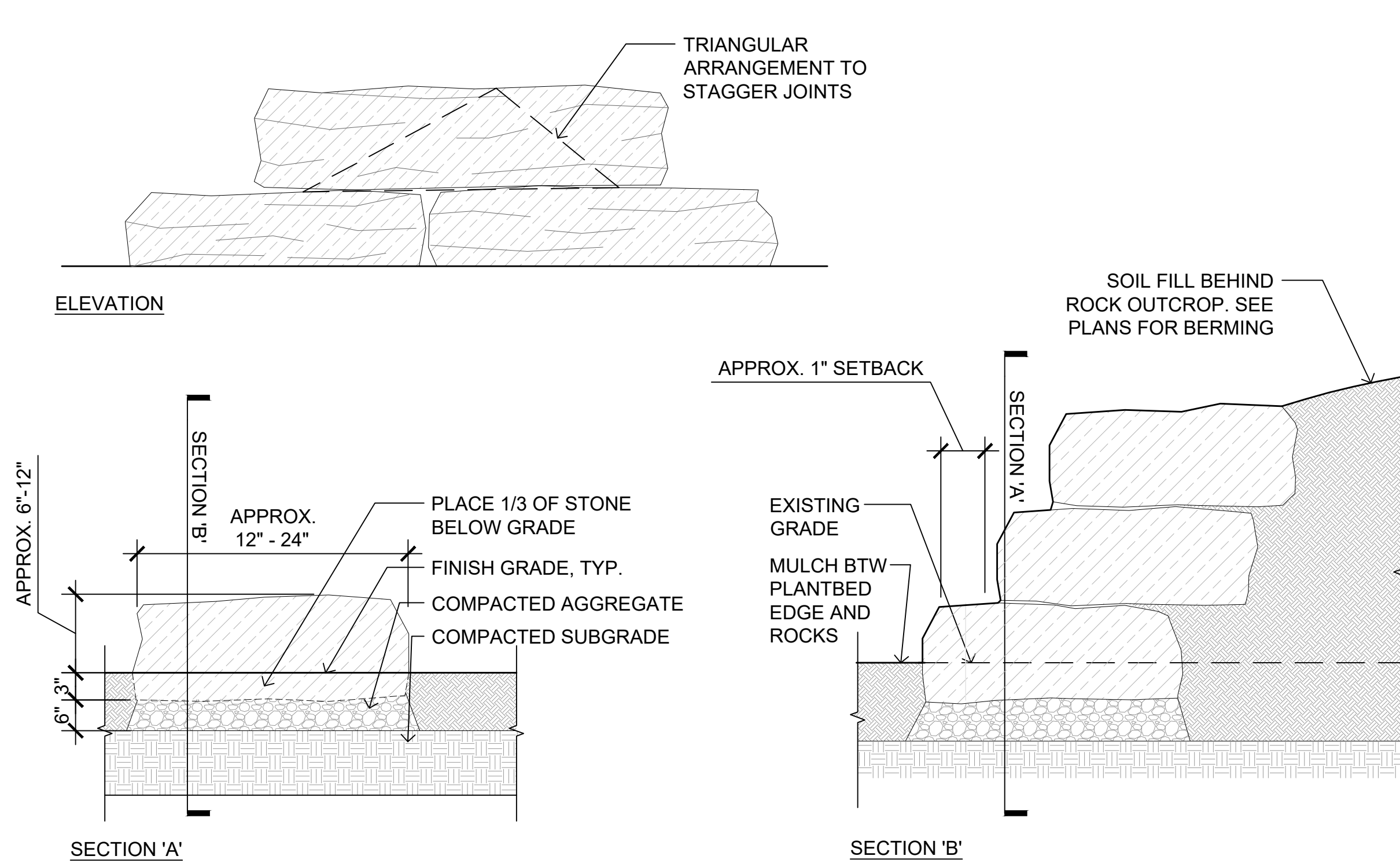


NOTES:

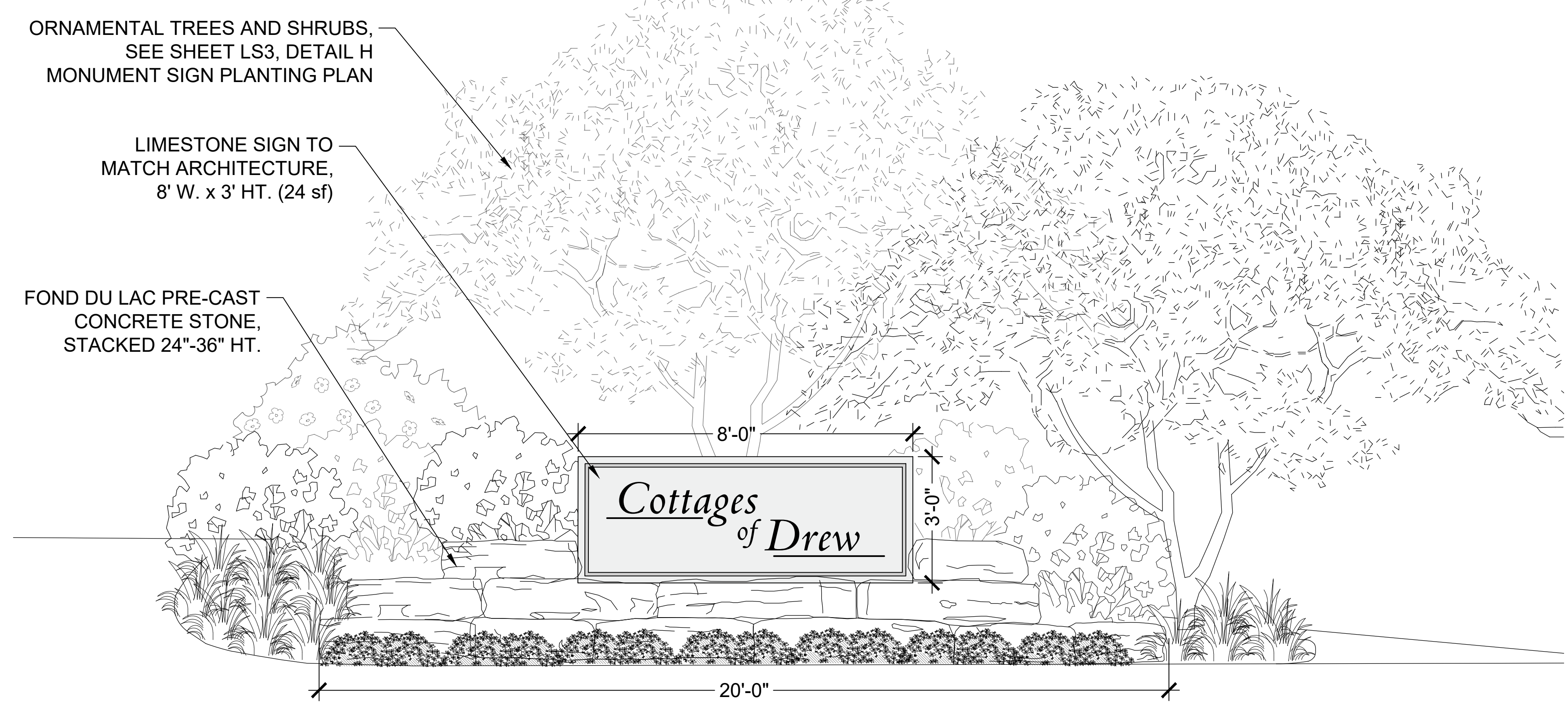
DO NOT PLACE STONES OF THE SAME HEIGHT, SHAPE, OR MASS NEXT TO EACH OTHER.

ARRANGE STONES IN TRIANGULAR, STACKED GROUPINGS, LEVEL FLAT AND SHIMMED TO PREVENT ROCKING.

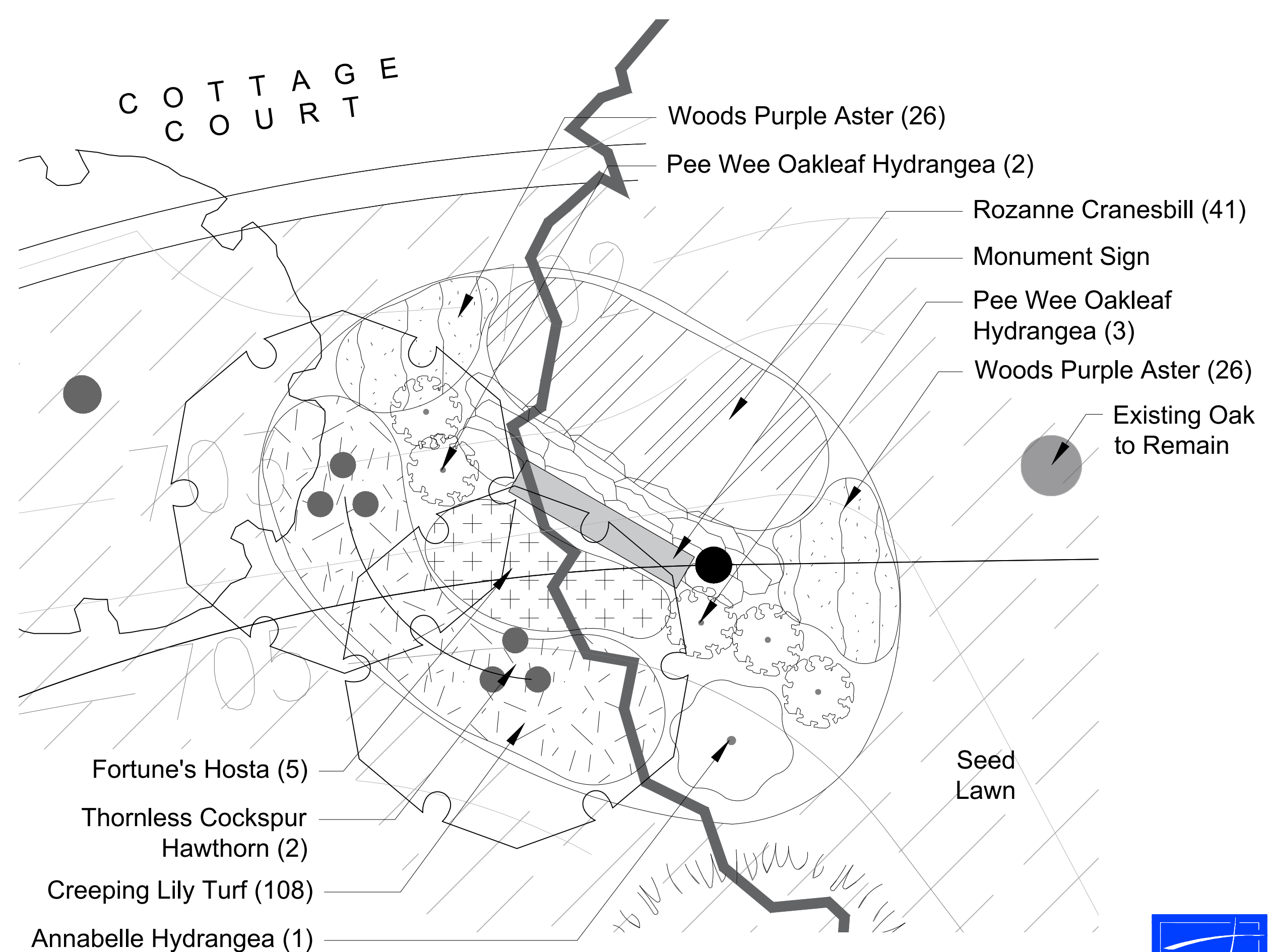
ARRANGE STONES IN ODD NUMBERED GROUPS OF THREE, FIVE OR SEVEN. FINAL PLACEMENT OF STONES TO BE APPROVED BY L.A.



**G** WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL  
NOT TO SCALE

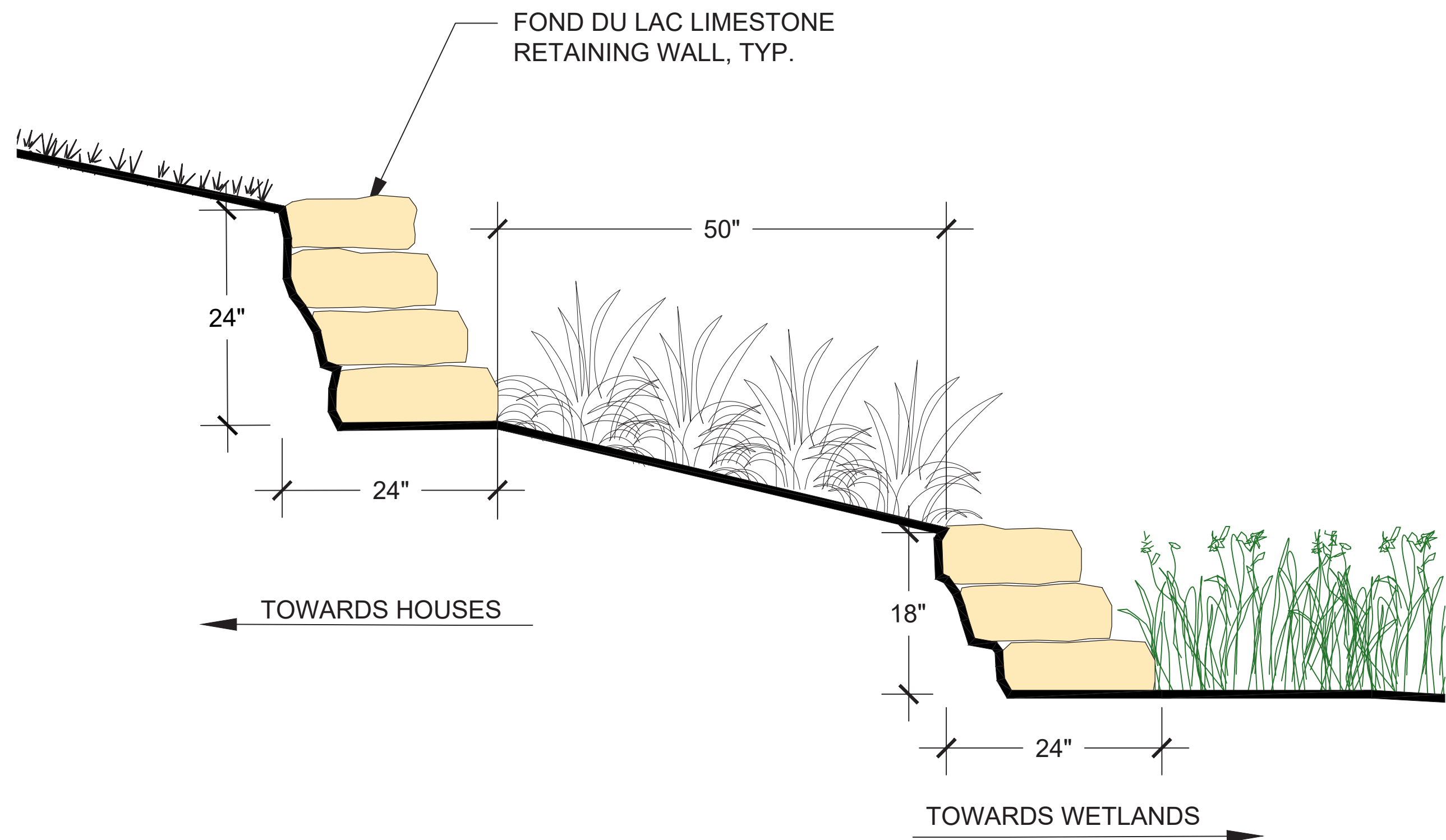


**H** MONUMENT SIGN DETAIL  
1/2" = 1'-0"



**I** MONUMENT SIGN PLANTING PLAN  
1/4" = 1'-0"



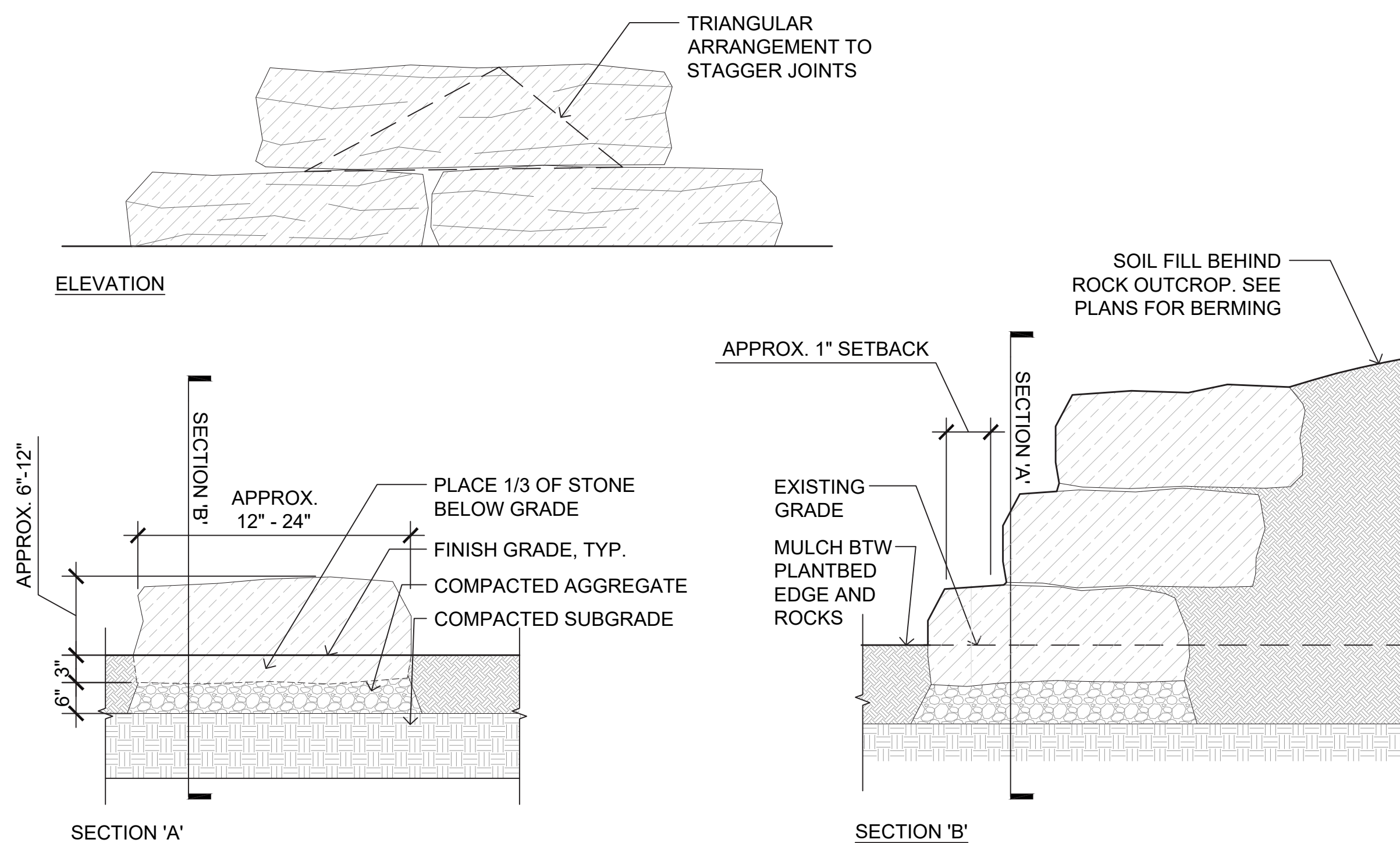


**F** WALL SECTION A - A'  
1"=1'-0"

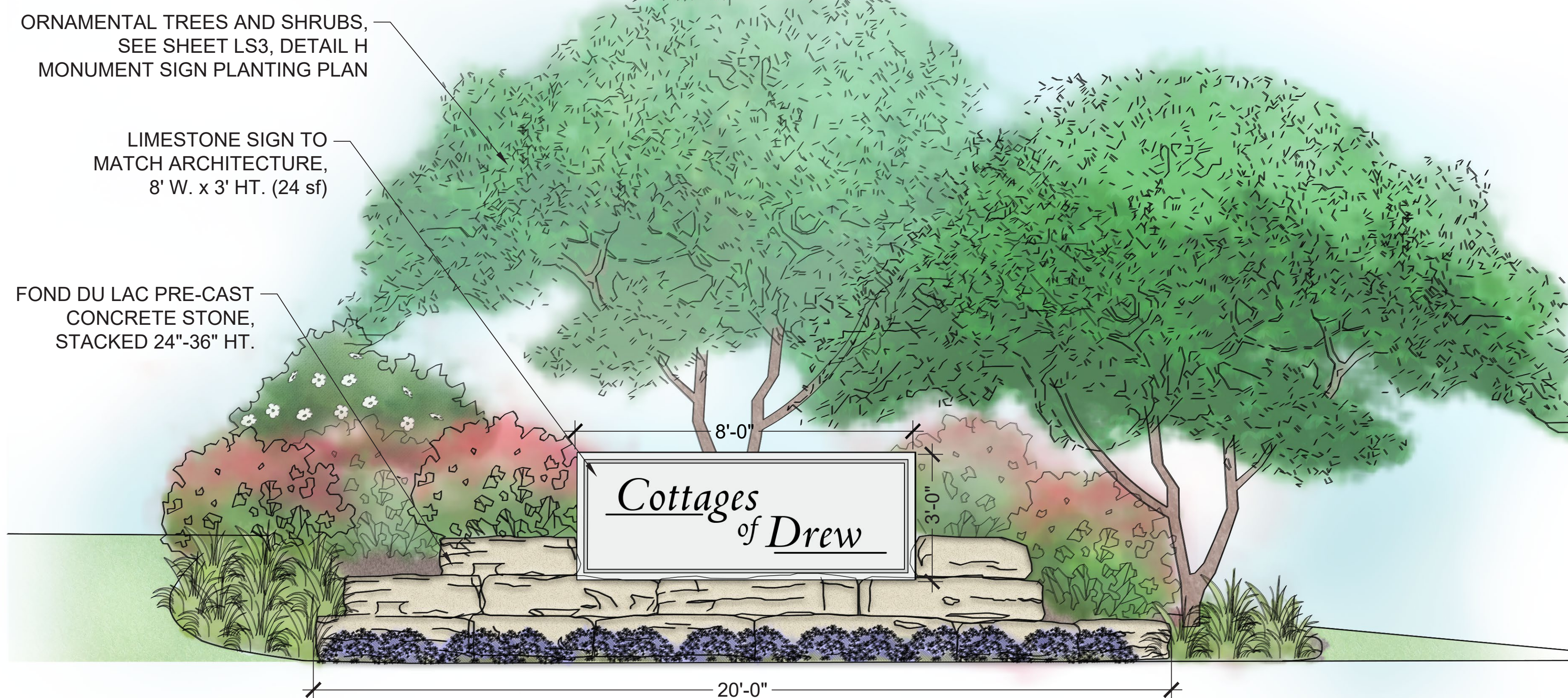
STONE:  
TYPE: FOND DU LAC SNAP EDGE  
OUTCROPPING DOLOMITIC LIMESTONE



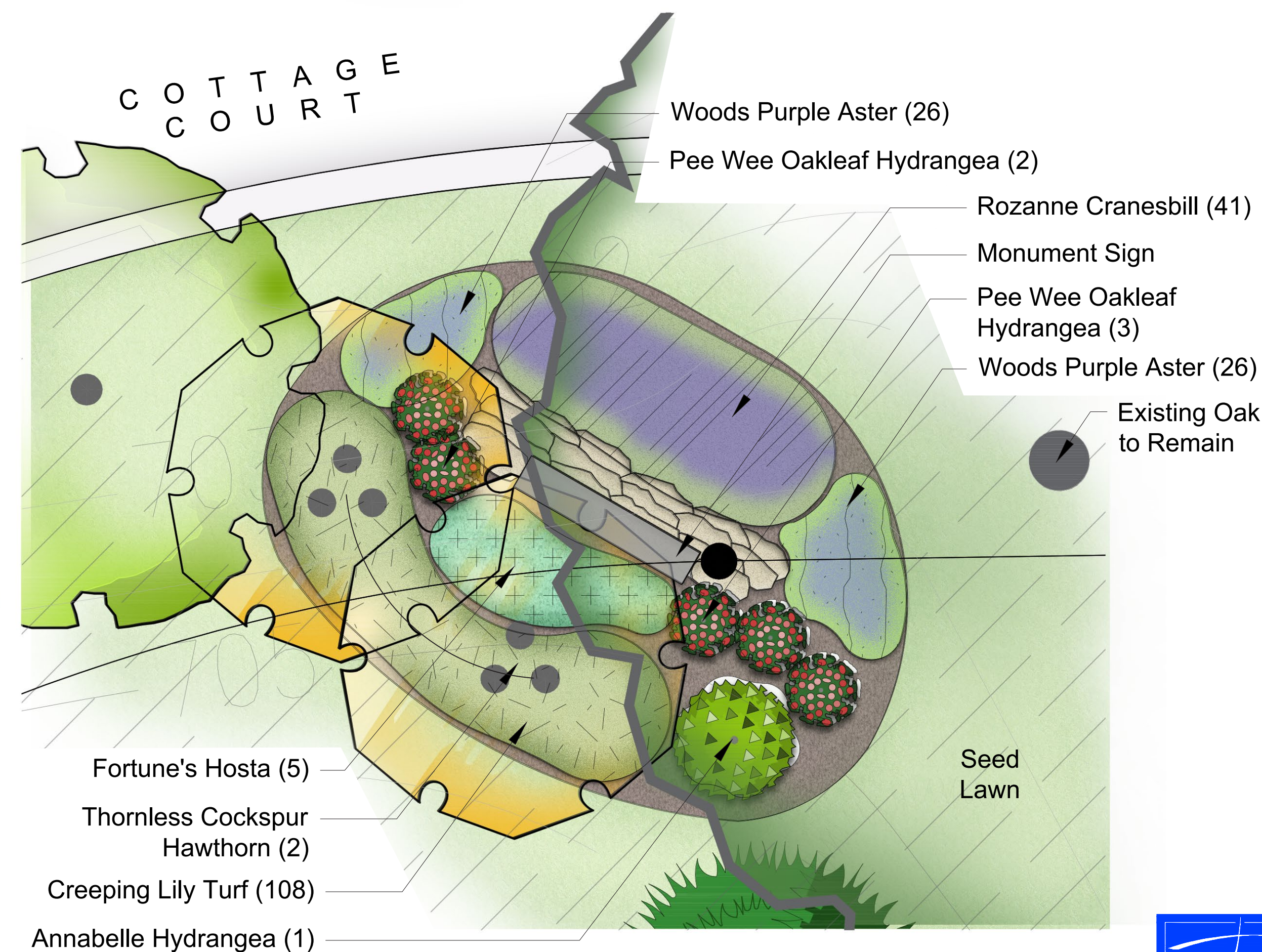
NOTES:  
DO NOT PLACE STONES OF THE SAME HEIGHT, SHAPE, OR MASS NEXT TO EACH OTHER.  
ARRANGE STONES IN TRIANGULAR, STACKED GROUPINGS, LEVEL FLAT AND SHIMMED TO PREVENT ROCKING.  
ARRANGE STONES IN ODD NUMBERED GROUPS OF THREE, FIVE OR SEVEN. FINAL PLACEMENT OF STONES TO BE APPROVED BY L.A.



**G** WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL  
NOT TO SCALE



**H** MONUMENT SIGN DETAIL  
1/2" = 1'-0"



**I** MONUMENT SIGN PLANTING PLAN  
1/4" = 1'-0"





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.**

**HEARING DATE:**

May 16, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development  
Director

**PETITIONER:**

Anthony Perino, Manager of  
Jarper Properties LLC

**PETITIONER STATUS:**

Property Owner

**PROPERTY OWNER:**

Anthony Perino, Manager of  
Jarper Properties LLC

**EXISTING ZONING:**

R-3 Residential PUD

**LAND USE PLAN:**

Recommends Residential Uses

**EXISTING LAND USE:**

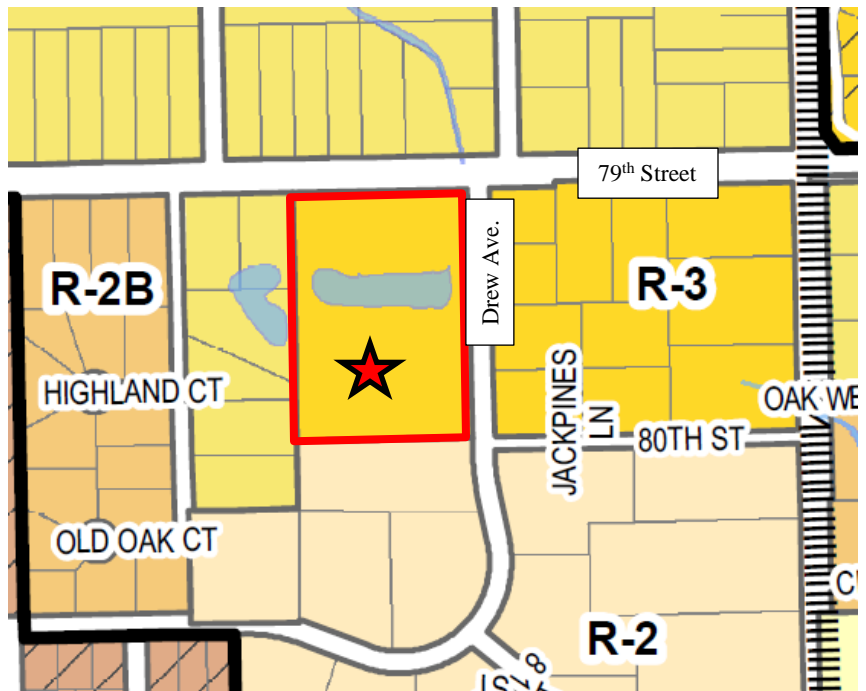
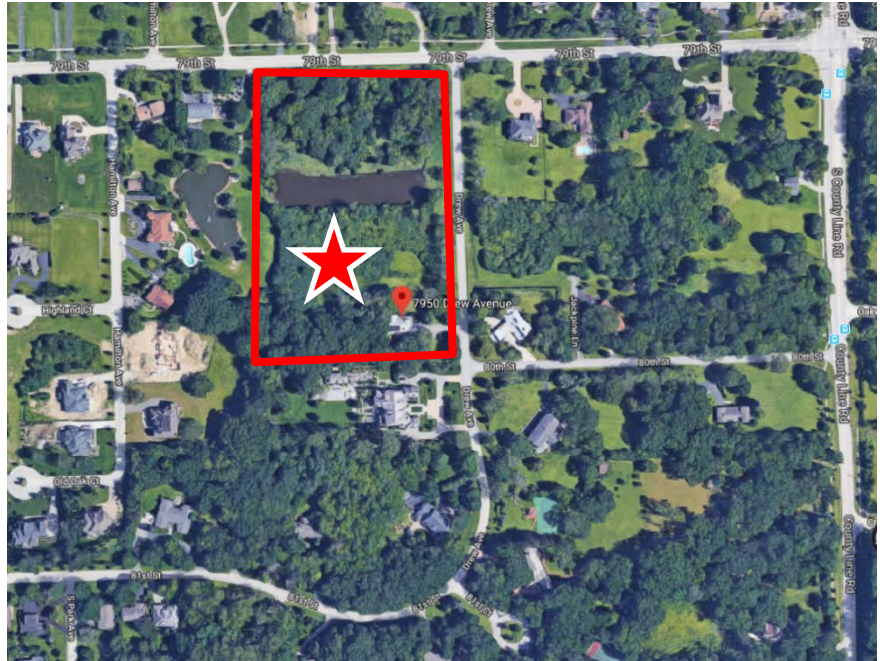
Vacant Single-Family Residential

**SITE AREA:**

8.87 Acres

**SUBDIVISION:**

Korinek's Owners





On September 10, 2018, the petitioner was approved for a Planned Unit Development and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. Three of the approved conditions for the PUD stated:

1. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
2. Additional landscaping be added on the western property line.
3. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

As the petitioner was finalizing engineering, landscaping, and building elevations, the attached garage sizes were evaluated. Originally, a two-car garage was proposed, but the petitioner would now like to offer a three-car option for six of the eight homes. This increase in floorplate of the residences resulted in a reduction of open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. In all other respects, the PUD remains relatively unchanged from the 2018 proposal.

The petitioner is now requesting a major change to the PUD and final approval of the engineering plans, landscaping plans, and building elevations, in accordance with the 2018 approval. These documents are attached as Exhibit A. In follow-up to the 2018 conditions, some additional landscaping has been added to the western property line and the petitioner is proposing four different architectural styles for the development.

### **Findings of Fact and Recommendation**

The petitioner has prepared Findings of Fact for the PUD which may be adopted if the Plan Commission is in agreement with those findings.

### **Appendix**

#### **Exhibit A – Petitioner’s Materials and Findings of Fact**

- Application and Findings of Fact
- 2018 Ordinances #A-834-16-18 and #A-834-17-18
- 2018 Conceptual Site Plan (for reference)
- Comparison of 2018 and 2022 plans
- Final Plat of Subdivision
- Final Site Plans
- Landscaping Plans
- Architectural elevations
- Stormwater Report



# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS



### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES LLC

STATUS OF PETITIONER: ANTHONY PERINO, MANAGER

PETITIONER'S ADDRESS: 155 ANN ST., CLARENDON HILLS, IL 60514

ADDRESS OF SUBJECT PROPERTY: 7950 DREW AVE.

PHONE: 630-850-9170

EMAIL: aperino@jarperpropertiesllc.com

PROPERTY OWNER: JARPER PROPERTIES LLC

PROPERTY OWNER'S ADDRESS: 155 ANN STREET  
CLARENDON HILLS, IL 60514 PHONE: 630-850-9170

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

### DESCRIPTION OF REQUEST:

REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUIRES  
OPEN SPACE REDUCTION OF 10% (MAJOR CHANGE IN P.U.D.) AND INCREASE OF 1.13% FOR IMPERVIOUS  
COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (MINOR CHANGE IN P.U.D.)

### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 8.87/386,377 EXISTING ZONING: R-3, P.U.D.

EXISTING USE/IMPROVEMENTS: VACANT

SUBDIVISION: THE COTTAGES OF DREW 7950 DREW AVE.

PIN(S) # 09-36-201-004

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

ANTHONY PERINO MANAGER

4/19/2022  
Date of Filing



**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**


The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

7950 DREW AVENUE

Property Owner or Petitioner:

JARPER PROPERTIES LLC - ANTHONY PERINO, MGR.  
(Print Name)

  
(Signature) MANAGER



Apr 29, 2022 at 11:40:19 AM



Apr 29, 2022 at 11:45:49 AM  
219 79th St  
Burr Ridge IL 60527  
United States







Findings of Fact  
**Special Use**  
Burr Ridge Zoning Ordinance

Address: \_\_\_\_\_

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

**ORIGINAL ISSUE APRIL 2018, AMENDED APRIL 21, 2022 to allow for 6 of 8 homes to have three car garages, two homes with two car garages**

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.**

Creation of a planned residential cluster development reduces disturbances to the north natural area, wetland and flood plain and provides benefit to the downstream neighbors by controlling storm water runoff that is not presently restricted.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

The benefit of a compact cluster arrangement for the proposed homes as a planned unit residential development produces 61% less square footage (19,800 sq. ft.) of home area compared to the allowable (32,000 sq. ft.) of home area on the same property of a the conventional R-3 zoning district, it is distinct and unique to this property only. The result of petitioning for a special use will allow a less intensive but high value use compared to the conventional R-3 zoning, therefore the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.**

The location of proposed planned unit development homes are specifically placed to emphasize open space and view preservation of 7.7 acres (87%) of the site. The ability to view natural areas and planned and commonly managed landscape open space area will benefit the use and enjoyment to this development and provide attractive benefit to surrounding neighbors and travelers on 79th and Drew Ave. The proposed homes and open space areas will be maintained and managed in a consistent manner as a maintenance free setting providing enhancement and to neighborhood property values. The open space will be deed restricted and provide an open space buffer to separate the proposed internal road from the

neighboring property to the south as a landscape separation and not impose a requirement for corner lot building setback imposition to the neighboring south property. (Amended, April 21, 2022, Amend open space impervious coverage from 88.5% to 84% due to addition of three car garages for 6 of the eight homes;.94% decrease in open space.)

- d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The establishment of a special use as a planned cluster development allows for the preservation of open space natural area, wetlands, floodplain and views is specific to the 7950 Drew property. Given the unique nature of the property configuration and presence of natural areas, topography, wetland and floodplain, this petition will not act as a catalyst for other properties to justify planned unit development.

The proposed planned development will create enhanced property value and not have detrimental impact to the normal and orderly development and demonstrate an improvement to benefit the surrounding property. Management of the homes and landscape common areas will act as a positive catalyst to show property improvement in a unified, well maintained and coordinated manner.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The preliminary engineering of the site as a planned development provides for comprehensive engineering design at one time providing adequate site grading, utility routing and road access that are complementary to the site and surrounding infrastructure.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The proposed Drew Ave. access road is offset 150' north of from 80th St. to provide safe ingress and egress separation and clear sight lines. The type of proposed residential floorplan features ground floor as the primary living area intended to produce low density traffic flow to minimize congestion at a level that is suitable for Drew Ave. design capacity as a residential collector street.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed use respects underlying residential R-3 zoning density by producing a restrained 19,800 sq. ft. (Amended April 21, 2022 to allow 6 of 8 homes with three car garages, add 1,584 sq. ft. = 21383 sq. ft. or 66% less than comparable R-3 conventional development) (61% less) of home building area and is less than the allowable 32,000 sq. ft. allowable under conventional R-3 development. The reduced home size and reduced impervious area abides by the Comprehensive Plan recommendations allowing protection of the natural areas, wetlands and floodplain areas. The proposed plan incorporates as a coordinated theme by using native landscape, rural streetscape character and unified neighborhood identifying elements. The proposed residential cluster site plan allows homes to be compact and arranged in a group to create views, enhance natural topography, wetlands and floodplain and to preserve natural wooded and landscaped areas.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.**

The special use as a planned unit development provides flexibility that allows for a clustered arrangement of homes with reduced building square footage than otherwise attainable by conventional R-3 standards. This provision allows for compact development and results in providing a greater open area of the site to be preserved in a park like open space setting, managed and maintained in perpetuity by covenants and restrictions for the enhancement of the neighborhood.

ORDINANCE NO. A-834-16-18

AN ORDINANCE GRANTING A SPECIAL USE PURSUANT TO THE BURR RIDGE  
ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT CONSISTING OF  
EIGHT SINGLE-FAMILY HOMES AND COMMONLY OWNED OPEN SPACE BETWEEN  
HOMES

(Z-04-2018: 7950 Drew Avenue - Patera)

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**WHEREAS**, an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

**WHEREAS**, said Plan Commission of this Village held a public hearing on the question of granting said special use on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

**WHEREAS**, the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.



NOW THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development (PUD) consisting of eight single-family homes with commonly-owned open space between homes.
- B. That the construction of a PUD provides a public benefit to neighbors in the form of additional stormwater management and site plan optimization that is not required or feasible under standard zoning.
- C. The PUD will not be detrimental to the general welfare.
- D. The site plan will provide additional setback and stormwater management benefits to other properties in the immediate vicinity.
- E. The PUD will not impede normal and orderly development to surrounding properties.
- F. Adequate facilities will be present upon the development of the property.

- G. The traffic measures proposed by the PUD are adequate for the development's purposes.
- H. The PUD abides by the objectives of the Official Comprehensive Plan by retaining green space and building like density as is permitted under standard zoning.
- I. The PUD shall conform to all other applicable regulations in the district and in the Village.

**Section 3:** That special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development consisting of eight single-family homes with commonly-owned open space between homes *is hereby granted* for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of 09-36-201-004.

**Section 4:** That the approval of the Planned Unit Development shall be subject to the following conditions:

- A. This Ordinance is limited to preliminary PUD approval including approval of the preliminary site plan attached hereto as Exhibit A.
- B. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
- C. Additional landscaping be added on the western property line.
- D. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

**PASSED** this 10<sup>th</sup> day of September, 2018 by the Corporate


Authorities of the Village of Burr Ridge on a roll call vote as follows:

**AYES:** 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

**NAYS:** 0 - None

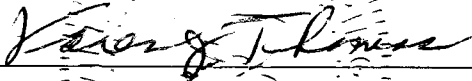
**ABSENT:** 0 - None

**APPROVED** by the President of the Village of Burr Ridge on this 10<sup>th</sup> day of September, 2018.



Village President

ATTEST:



Village Clerk



ORDINANCE NO. A-834-17-18

AN ORDINANCE GRANTING A VARIATION PURSUANT TO THE BURR RIDGE  
ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT ON 8.87 ACRES  
RATHER THAN THE REQUIRED 40 ACRES

(Z-04-2018: 7950 Drew Avenue - Patera)

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WHEREAS, an application for a variation for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said variation on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a variation, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of

Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of a variation indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the variation for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests a variation from Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres.
- B. That the particular physical conditions of the specific property involved present a hardship if the strict letter of the regulations were to be carried out.
- C. The property in question cannot yield a reasonable return if permitted to be used only under conditions allowed by the regulations of the zoning district.
- D. The conditions on which the application for a variation is based are unique to the property.
- E. The purpose of the variation is not based primarily on a desire to increase financial gain.
- F. The granting of the variation will not be injurious to the public welfare.
- G. The granting of the variation will not alter the essential character of the neighborhood or locality.
- H. The proposed variation will not impair natural drainage or

create drainage problems on adjacent properties.

- I. The proposed variation is consistent with the Official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

**Section 3:** That the variation as per Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres ***is hereby granted*** for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of **09-36-201-004**.

**Section 4:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

**PASSED** this 10<sup>th</sup> day of September, 2018 by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

**AYES:** 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

**NAYS:** 0 - None

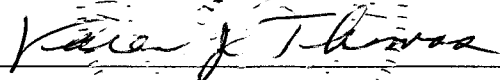
**ABSENT:** 0 - None

**APPROVED** by the President of the Village of Burr Ridge on this 10<sup>th</sup> day of September, 2018.



Village President

ATTEST:



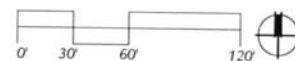
Village Clerk





8 Homes on Commonly Owned Open Space Plan  
 8 Homes with 2,200 s.f. Floorplate and  
 Approximately 3,500 s.f. of Primary Dwelling Area

Total Property Area = 8.87 Ac.  
 Homes + Drives = 1.02 Ac. (11.5%)  
 Dedicated Open Space/Common Area  
 Managed by Homeowner Association  
 = 7.85 Ac. (88.5%)



Conceptual Site Plan  
 7950 Drew Avenue  
 Burr Ridge, IL

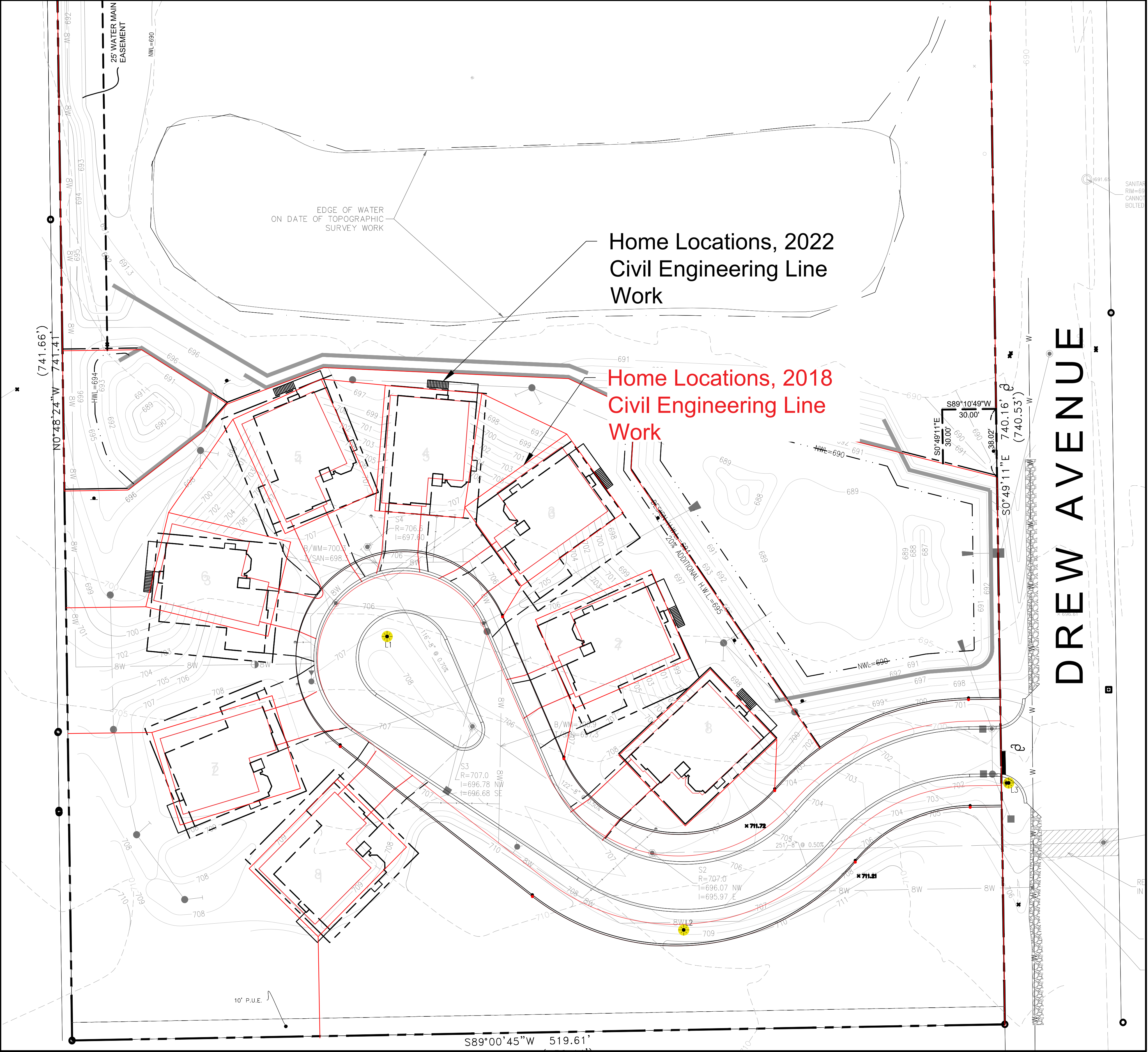
SHEET L-7

JARPER PROPERTIES, LLC  
 16 W. 231 S. Frontage Road #17  
 Burr Ridge, IL 60527

June 22, 2018







- 2018 LOT, HOME AND DRIVEWAY CONFIGURATIONS FOR REFERENCE
- 2022 LOT, HOME AND DRIVEWAY CONFIGURATIONS FOR REFERENCE

2018 SITE COVERAGE CALCULATIONS:

EXHIBIT A - JUNE 22, 2018 - CONCEPTUAL SITE PLAN; APPROVED PER ORDINANCE

Total Property Area = 8.87 Ac.  
Homes, Driveways + Road = 1.02 Ac. (11.5%)  
Dedicated Open Space/Common Area  
Managed by Homeowner Association=7.85 Ac. (88.5%)

2022 SITE COVERAGE CALCULATIONS:

EXHIBIT A - APRIL 21, 2022 - CONCEPTUAL SITE PLAN

Total Property Area = 8.87 Ac.  
Homes, Driveways + Road = 1.4 Ac. (13.0%)  
Dedicated Open Space/Common Area  
Managed by Homeowner Association=7.47 Ac. (84%)

SUMMARY	2018	2022	
OPEN SPACE AREA	88.50%	84%	0.94% DECREASE
IMPERVIOUS AREA	11.50%	13%	1.13% INCREASE

2018 / 2022 SITE COVERAGE COMPARISON EXHIBIT

BURR RIDGE, ILLINOIS

APRIL 21, 2022



627 Grove Street,  
Evanston, Illinois 60201  
Tel 847.869.2015  
Fax 847.869.2059

ADVANTAGE  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
847.260.4758

LANDSCAPE COMMON AREA PLANTING PLAN  
THE COTTAGES OF DREW  
BURR RIDGE, ILLINOIS

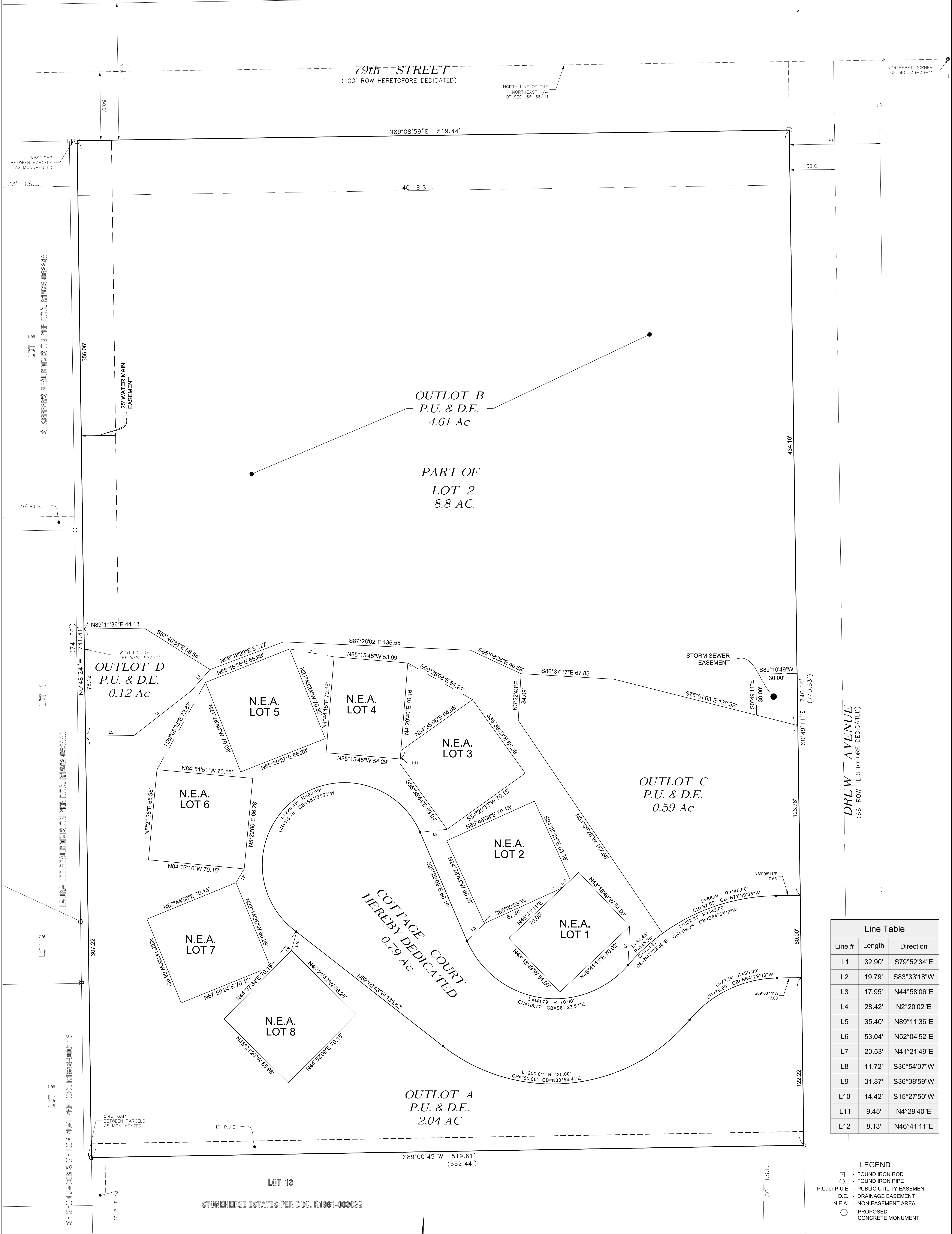
JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

MARCH 15, 2022  
JOB: 16-086  
SHEET:  
LS1  
25 OF 27



FINAL PLAT OF SUBDIVISION  
FOR  
THE COTTAGES OF DREW

BEING A RE-SUBDIVISION OF THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

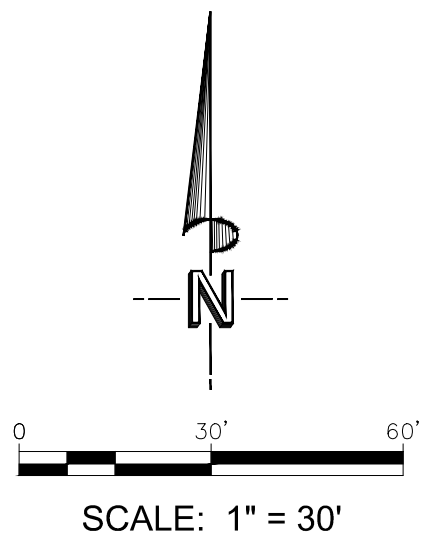


Line Table		
Line #	Length	Direction
L1	32.90'	S79°52'34"E
L2	19.79'	S83°33'18"W
L3	17.95'	N44°58'06"E
L4	28.42'	N2°20'02"E
L5	35.40'	N89°11'36"E
L6	53.04'	N52°04'52"E
L7	20.53'	N41°21'49"E
L8	11.72'	S30°54'07"W
L9	31.87'	S36°08'59"W
L10	14.42'	S15°27'50"W
L11	9.45'	N4°29'40"E
L12	8.13'	N46°41'11"E

- LEGEND
- FOUND IRON ROD
  - FOUND IRON PIPE
  - P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
  - D.E. - DRAINAGE EASEMENT
  - N.E.A. - NON-EASEMENT AREA
  - PROPOSED CONCRETE MONUMENT

NOTE: PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED OVER ALL OF OUTLOT A, EXCEPT IN AREAS NOTED AS N.E.A. (NON-EASEMENT AREA). SEE PROVISIONS FOR DETAILS.

IN ADDITION, A PERPETUAL EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE HOMEOWNERS ASSOCIATION, AND OTHER PARTIES AS DETERMINED NECESSARY OVER THE ENTIRE EASEMENT FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MAINTENANCE AND OPERATION OF THE STORM WATER AREAS, THOSE BEING LOCATED UPON PORTIONS OF OUTLOT A, B, C, & D.



REVISIONS			MGA <sup>2</sup> CIVIL ENGINEERING SURVEYING	
DATE	BY	DESCRIPTION		
3/15/19	RFS	ISSUED FOR REVIEW	<b>M GINGERICH GEREAX &amp; ASSOCIATES</b> Professional Design Firm License # 184.005003 P. 815-478-9680 www.mg2a.com F. 815-478-9685 25620 S. GOUGAR RD   MANHATTAN, IL. 60442	
3/19/19	RFS	PER VILLAGE REVIEW		
3/28/19	RFS	PER VILLAGE REVIEW		
4/2/19	BPH	GENERAL REVISIONS		
4/19/19	BPH	PER VILLAGE REVIEW		
9/05/19	BPH	PER VILLAGE REVIEW		
9/30/19	BPH	GENERAL (REM. 30x30 SS ESMT)		
10/30/19	BPH	PER VILLAGE REVIEW		
12/09/21	BPH	PER BUILDING CHANGES		
ORDERED BY: JARPER PROPERTIES			DATE ISSUED: 01-02-2019	
			DWG. BY: NIB	C.K. B. / RFS
			SUB. NO.: 16-207	PG: 1 of 2

# FINAL PLAT OF SUBDIVISION FOR THE COTTAGES OF DREW

BEING A RE-SUBDIVISION OF THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

## OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS SHOWN ON THIS PLAT OF SUBDIVISION, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED:

THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT, INCLUDING BUT NOT LIMITED TO, THOROUGHFARES, STREETS, ALLEYS, WALKWAYS AND PUBLIC SERVICES; GRANTS THE TELEPHONE, GAS, ELECTRIC AND ANY OTHER PUBLIC OR PRIVATE UTILITY EASEMENTS AS STATED AND SHOWN ON THIS PLAT; AND GRANTS AND DECLARES THE STORM WATER DRAINAGE AND DETENTION RESTRICTIONS AND EASEMENTS AS STATED AND SHOWN ON THIS PLAT.

THE UNDERSIGNED FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS AFFECTING THE LAND DESCRIBED AND SHOWN ON THIS SUBDIVISION PLAT OR, IF ANY OF SAID INSTALLMENTS ARE NOT PAID, THEN SUCH INSTALLMENTS HAVE BEEN DIVIDED IN ACCORDANCE WITH THE SUBDIVISION AND APPROVED BY THE COURT WHICH CONFIRMED THE SPECIAL ASSESSMENT AND THE PROPER COLLECTOR OF ANY SUCH SPECIAL ASSESSMENT HAS SO CERTIFIED SUCH DIVISION ON THE FACE OF THIS SUBDIVISION PLAT.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

OWNER: \_\_\_\_\_

OWNER'S ADDRESS: \_\_\_\_\_

## NOTARY CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT I PERSONALLY KNOW TO ME TO BE THE SAME PERSONS WHOSE NAMES IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_ DAY

OF \_\_\_\_, A.D., 20\_\_.

NOTARY PUBLIC \_\_\_\_\_

## COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, COUNTY CLERK OF COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID CURRENT SPECIAL ASSESSMENTS, NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND SHOWN ON THIS PLAT OF SUBDIVISION AND NO DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_, COUNTY, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

COUNTY CLERK \_\_\_\_\_

## VILLAGE CLERK'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, VILLAGE CLERK OF THE VILLAGE OF BURR RIDGE, ILLINOIS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PRESENTED TO AND BY RESOLUTION OR ORDER DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON \_\_\_\_, 20\_\_, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL

OF THE VILLAGE OF BURR RIDGE, ILLINOIS, THIS \_\_\_\_ DAY OF

\_\_\_\_, 20\_\_.

VILLAGE CLERK \_\_\_\_\_

## PUBLIC WORKS DEPARTMENT CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, SUPERINTENDENT OF THE COUNTY OF DUPAGE DEPARTMENT OF PUBLIC WORKS & OPERATIONS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE REQUIREMENTS OF THE COUNTY OF DUPAGE DEPARTMENT OF PUBLIC WORKS.

DATED AT \_\_\_\_, DUPAGE COUNTY, ILLINOIS

THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

SUPERINTENDENT \_\_\_\_\_

## SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HEREBY CERTIFIES THAT THE SUBJECT PROPERTY IS LOCATED WITH THE FOLLOWING SCHOOL DISTRICT(S):

\_\_\_\_ GOWER #62 \_\_\_\_\_ ELEMENTARY SCHOOL DISTRICT,

\_\_\_\_ HINSDALE TOWNSHIP #86 \_\_\_\_\_ HIGH SCHOOL DISTRICT

\_\_\_\_ COLLEGE OF DuPAGE #502 \_\_\_\_\_ COLLEGE, IN DUPAGE COUNTY, ILLINOIS.

THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

PROPERTY OWNER \_\_\_\_\_

## NOTARY CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY,

IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_ DAY

OF \_\_\_\_, A.D., 20\_\_.

NOTARY PUBLIC \_\_\_\_\_

## CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, VILLAGE TREASURER OF THE VILLAGE OF BURR RIDGE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORTIFIED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVAL BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

DATED AT BURR RIDGE, \_\_\_\_, COUNTY, ILLINOIS THIS \_\_\_\_ DAY

OF \_\_\_\_, 20\_\_.

VILLAGE TREASURER \_\_\_\_\_

## DU PAGE COUNTY DEPARTMENT OF PUBLIC WORKS CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, SUPERINTENDENT FOR THE DU PAGE COUNTY DEPARTMENT OF PUBLIC WORKS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT OF DU PAGE COUNTY.

DATED AT \_\_\_\_, DU PAGE COUNTY, ILLINOIS, THIS

\_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

SUPERINTENDENT \_\_\_\_\_

## VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

I, \_\_\_\_\_, VILLAGE ENGINEER OF THE VILLAGE OF BURR RIDGE, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS IN THIS SUBDIVISION, AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREFOR, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT BURR RIDGE DUPAGE COUNTY, ILLINOIS, THIS \_\_\_\_

DAY OF \_\_\_\_, 20\_\_.

VILLAGE ENGINEER \_\_\_\_\_

## SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF ) SS

WE HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE ILLINOIS PLAT ACT, ILLINOIS REVISED STATUTE, CHAPTER 109, SECTION 1 ET SEQ., AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

DATED AT BURR RIDGE, DUPAGE COUNTY, ILLINOIS, THIS

DAY OF \_\_\_\_, 20\_\_.

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_

PROPERTY OWNER \_\_\_\_\_

LICENSE NO. \_\_\_\_\_

## EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric And communication service is hereby reserved for and granted to:

Commonwealth Edison Company  
And  
Ameritech Illinois a.k.a. Illinois Bell Telephone Company, Grantees,

Their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas, to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantees' facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking", and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of the Grantor/Lot Owner, upon written request.

An easement is hereby reserved for and granted to NORTHERN ILLINOIS GAS COMPANY, its successors and assigns, in all platted areas, streets, alleys, other public ways and places shown on this plat, said easement to be for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances for the purpose of serving all areas shown on this plat as well as other property, whether or not contiguous thereto. No buildings or other structures shall be constructed or erected in any such "easement" areas, streets, alleys, or other public ways or places nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

## PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

(APPLIES TO OUTLOTS A, B, C, & D)

ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF BURR RIDGE AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF BURR RIDGE, INCLUDING, BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, MEDIA ONE CABLE TELEVISION COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS, AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF BURR RIDGE, OVER, UPON, ALONG, UNDER, THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK; THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE TREES, SHRUBS, OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES, NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS, WHERE AN EASEMENT IS USED FOR BOTH SEWER AND/OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF BURR RIDGE.

A PERPETUAL EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION OF ILLINOIS, ITS SUCCESSORS AND ASSIGNS, FOR THE FULL AND FREE RIGHT AND AUTHORITY TO INSTALL, CONSTRUCT, AND OTHERWISE ESTABLISH, RELOCATE, REMOVE, RENEW, REPLACE, OPERATE, INSPECT, REPAIR, AND MAINTAIN WATERMAINS, FIRE HYDRANTS, VALVES, AND WATER SERVICE FACILITIES, SANITARY SEWER PIPES, MANHOLES, AND SEWER CONNECTIONS, STORM SEWER PIPES, MANHOLES, INLETS, STORM WATER DETENTION AND STORM SEWER SERVICE CONNECTIONS, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEMS, AND SUCH OTHER APPURTENANCES AND FACILITIES AS MAY BE NECESSARY OR CONVENIENTLY RELATED TO SAID WATERMAINS, SANITARY SEWER PIPES, STORM SEWER PIPES, STORM WATER DETENTION, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEM, IN, ON, UPON, OVER, THROUGH, ACROSS, AND UNDER ALL OF THAT REAL ESTATE HEREON DESCRIBED AND DESIGNATED AS WITHIN PUBLIC UTILITY AND DRAINAGE EASEMENTS, SAID EASEMENTS BEING DESIGNATED BY THE DASHED LINES AND DESIGNATIONS OF WIDTH.

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

THIS IS TO CERTIFY THAT I, ROBERT F. SLUIS, REGISTERED, ILLINOIS LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

AS SHOWN ON THIS SUBDIVISION THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT A PART OF THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FIRM MAP NUMBER 17043C0909H, EFFECTIVE DATE DECEMBER 16, 2004 AND THAT NO PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY PUBLIC WATERS IN WHICH THE STATE OF ILLINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY INTERESTS.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF BURR RIDGE OR WITHIN 1 1/2 MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I DO FURTHER CERTIFY THAT:

1. THE ACCOMPANIED PLAT IS TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.
2. ALL LOTS CORNERS AND POINTS OF CURVATURE HAVE BEEN STAKED (5/8 INCH BY 24 INCH IRON RODS) OR MONUMENTED ACCORDING TO THE PLAT ACT AS AMENDED.
3. DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.
4. THIS SUBDIVISION CONTAINS 8.84 ACRES.
5. PIN: 09-36-201-004

GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

Robert F. Sluis  
Illinois Professional Land Surveyor #035-003558  
License Expires November 30, 2020



## RESPONSIBILITY OF HOMEOWNERS ASSOCIATION

AS SET FORTH MORE SPECIFICALLY IN THE DECLARATION, THE UNDERSIGNED HEREBY WARRANTS AND COVENANTS THAT IT WILL CREATE THE COTTAGES OF DREW HOMEOWNERS ASSOCIATION (THE "ASSOCIATION") OF WHICH THE UNDERSIGNED AND ALL LOT OWNERS SHALL BE MEMBERS AND WHOSE PURPOSE IS TO PROVIDE A GOVERNING BODY FOR THE LOT OWNERS FOR THE CARE, MANAGEMENT, AND MAINTENANCE OF THE PROPERTY OF THE ASSOCIATION. THE ASSOCIATION, BY THE DECLARATION AND THIS PLAT, IS RESPONSIBLE FOR MAINTENANCE OF THE FOLLOWING: ALL COMMON AREAS INCLUDING DETENTION PONDS AND OUTLOTS (SPECIFY SPECIFIC OUTLOTS AND COMMON AREAS);

OUTLOTS A, B, C, AND D

THAT PORTION OF THE STORM SEWER SYSTEM NOT LOCATED WITHIN THE DEDICATED PUBLIC RIGHTS-OF-WAY; ALL OTHER UTILITIES NOT MAINTAINED BY THE VILLAGE OF BURR RIDGE OR ANY OTHER UTILITY COMPANY; SUBDIVISION ENTRYWAYS INCLUDING FENCES, SIGNS, AND LANDSCAPING; ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY INCLUDING PARKWAYS, CUL DE SAC ISLANDS, MEDIAN ISLANDS, AND SIMILAR LANDSCAPING IN COMMON AND PUBLIC AREAS; (ADD OTHER FEATURES AS DETERMINED APPROPRIATE).

ALL AREAS DESIGNATED AS WETLANDS

THE ASSOCIATION SHALL MAINTAIN THOSE SPECIFIED AREAS AND FEATURES DESCRIBED ABOVE IN A MANNER CONSISTENT WITH THE PLANS APPROVED BY THE VILLAGE AND THE STANDARDS TYPICAL OF PRIVATE PROPERTY MAINTENANCE THROUGHOUT THE COMMUNITY. IN THE EVENT THE ASSOCIATION FAILS TO PROPERLY MAINTAIN THESE AREAS, THE VILLAGE SHALL, UPON SEVENTY-TWO (72) HOURS PRIOR NOTICE TO THE ASSOCIATION OR PROPERTY OWNERS (IN THE EVENT THAT NO INFORMATION RELATIVE TO A CONTACT PERSON FOR THE ASSOCIATION IS PROVIDED TO THE VILLAGE), HAVE THE RIGHT, BUT NOT THE DUTY, TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK TO OR UPON THE SPECIFIED AREAS AND FEATURES. IN THE EVENT OF AN EMERGENCY SITUATION, AS DETERMINED BY THE VILLAGE, THE SEVENTY-TWO (72) HOURS PRIOR NOTICE REQUIREMENT SET FORTH ABOVE SHALL NOT APPLY, AND THE VILLAGE SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO PROCEED WITHOUT NOTICE TO THE PROPERTY OWNER(S) OR HOMEOWNERS' ASSOCIATION.

IN THE EVENT THE VILLAGE SHALL PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK OF THE SPECIFIED AREAS OR FEATURES, THE COST OF SUCH WORK SHALL, UPON RECORDATION OF NOTICE OF LIEN WITH THE RECORDER OF DEEDS OF DUPAGE COUNTY, ILLINOIS, CONSTITUTE A LIEN AGAINST THE ASSETS OF THE HOMEOWNERS ASSOCIATION AND AGAINST EACH AND EVERY LOT WITHIN THE SUBDIVISION. THE COST OF THE WORK INCURRED BY THE VILLAGE SHALL INCLUDE ALL EXPENSES AND COSTS ASSOCIATED WITH THE PERFORMANCE OF SUCH WORK INCLUDING, BUT NOT LIMITED TO, REASONABLE ENGINEERING, CONSULTING AND ATTORNEYS' FEES RELATED TO THE PLANNING AND ACTUAL PERFORMANCE OF THE WORK.

## REVISIONS

DATE	BY	DESCRIPTION
4/19/19	BPH	PER VILLAGE REVIEW
9/05/19	BPH	PER VILLAGE REVIEW
10/30/19	BPH	PER VILLAGE REVIEW
2/25/20	BPH	ADDED H.A. LANGUAGE

**MGA** CIVIL ENGINEERING  
SURVEYING

**M GINGERICH GEREAX & ASSOCIATES**  
Professional Design Firm License # 184.005003  
P. 815-478-9680 www.mg2a.com F. 815-478-9685  
25620 S. GOUGAR RD | MANHATTAN, IL. 60442

ORDERED BY: CLIENT  
DATE ISSUED: 01-02-2019  
DATE: 01-02-2019  
DWG: 16-207  
CHK: B1/NB  
FILE: 2 of 2



# FINAL SITE IMPROVEMENT PLANS

FOR

# THE COTTAGES OF DREW

# BURR RIDGE, ILLINOIS

DUPAGE COUNTY SMC # SM2018-0124

TRACKING # 18-08-1024/T60746

SWPPP PERMIT # ILR10AS66

REFERENCE BENCHMARK: (NAVD 1988 DATUM)  
BENCHMARK: DGN35002  
PID: DK3269  
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:

SITE BENCHMARK #1

FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF  
79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

**CALL J.U.L.I.E. 1-800-892-0123**  
WITH THE FOLLOWING:

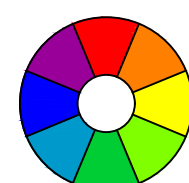
COUNTY DuPAGE

CITY, TOWNSHIP BURR RIDGE, DOWNERS GROVE  
SEC. & SEC. NO. SEC 36, T38N, R11E

48 HOURS BEFORE YOU DIG.  
EXCLUDING SAT., SUN. & HOLIDAYS

JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION. STAKING REQUESTS FIVE (5) DAYS NOTICE BETWEEN SEPTEMBER 15th AND DECEMBER 15th AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

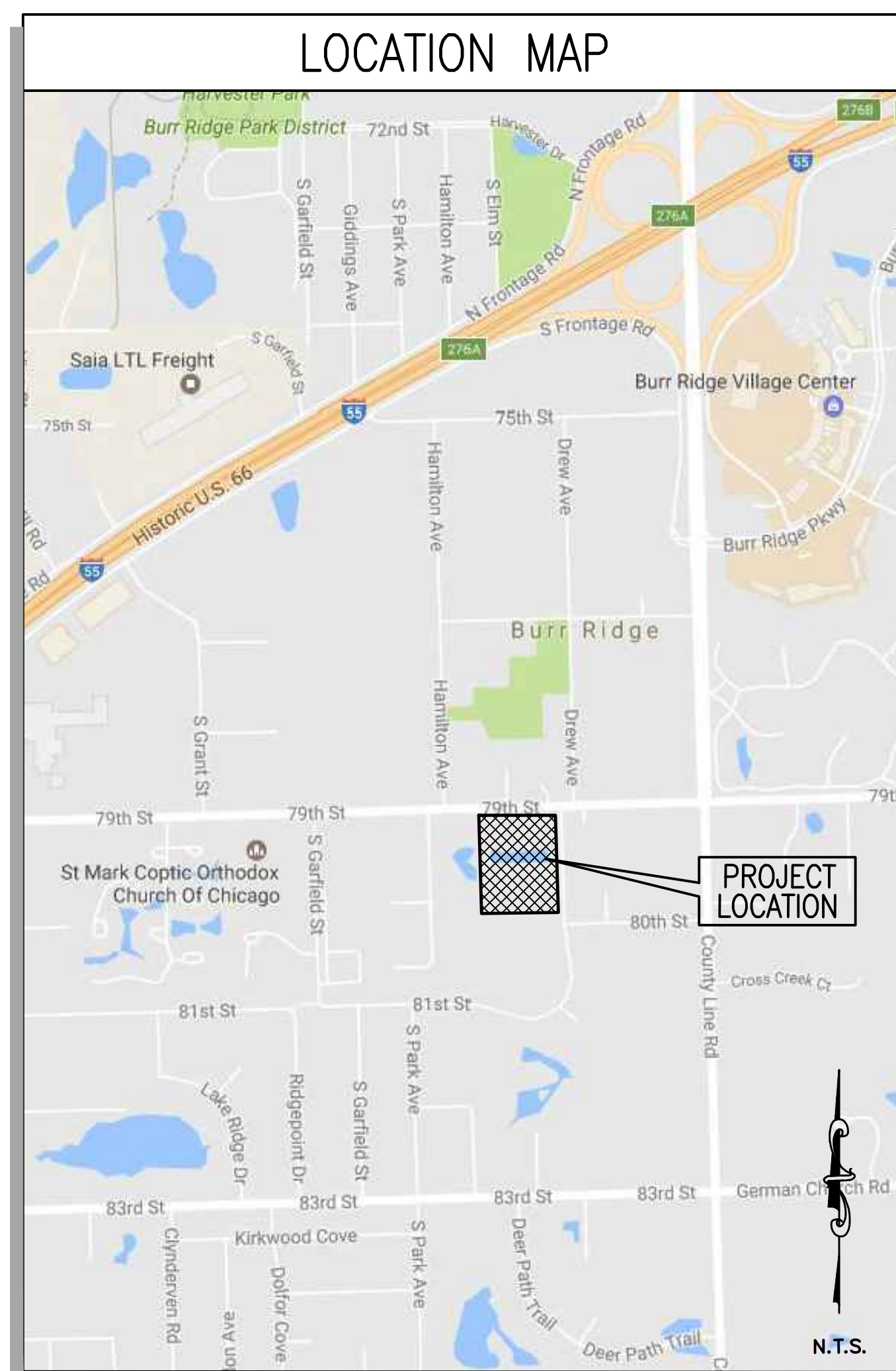


THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR VIEW PDF.

## SEE ABOVE

EXISTING TOTAL SITE AREA: 8.8 ACRES  
PROPOSED DISTURBED AREA: 4.1 ACRES

## LOCATION MAP



## INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	TS1	GENERAL NOTES AND TYPICAL SECTIONS
3-4	EX1-EX2	EXISTING CONDITIONS PLAN
5	DM1	DEMOLITION PLAN
6	L1	GEOMETRIC PLAN
7-8	G1-G2	GRADING PLAN
9-10	U1-U2	UTILITY PLAN
11	PP1	PLAN AND PROFILE
12-13	SE1-SE2	STORM WATER POLLUTION PREVENTION PLAN
14-15	SE3-SE4	SOIL EROSION AND SEDIMENT CONTROL PLAN
16-17	S1-S2	SPECIFICATIONS
18-19	D1-D2	DETAILS
20-22	XS1-XS3	CROSS SECTIONS - FLOOD PLAIN COMPENSATORY AREAS
22A	T1	TREE SURVEY
23	W1	WATER RESOURCE PLAN
24-25	B1-B2	BMP PLANTING PLAN
26	LS1	COMMON AREA PLANTING PLAN
27	LS2	COMMON AREA PLANTING DETAILS AND NOTES
28	LS3	SIGNAGE AND WALL DETAILS

## REVISIONS

[illegible]

ENGINEER	DATE
WILLIAM J. ZALEWSKI, P.E.	
BILLZ@ACENGUS	
ILLINOIS REGISTRATION NO.: 062-046121	
EXPIRATION DATE: 11/30/2021	
PROFESSIONAL DESIGN FIRM NO.: 184-007386	
EXPIRATION DATE: 4/30/2021	
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER.	



GENERAL NOTES

1.

ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
2.

ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
3.

STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
5.

NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO OBTAIN SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
6.

NOTIFICATION OF COMMENCING CONSTRUCTION

A.

THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

B.

FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
7.

ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
8.

ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
9.

THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
10.

ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
11.

ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
12.

REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
13.

ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY OWNER & MUNICIPALITY.
14.

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
15.

BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
16.

UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND & INSURANCE IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.
17.

EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, ADVANTAGE CONSULTING ENGINEERS IS RESPONSIBLE TO RESOLVE THE CONFLICT. ADVANTAGE CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
18.

OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
19.

THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
20.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS.
21.

THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. **BURNING ON THE SITE IS NOT PERMITTED.**
22.

IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR D.O.T. DREW AVENUE AND 79TH STREET SHALL REMAIN OPEN TO TWO WAY TRAFFIC AT ALL TIMES.
23.

NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
24.

ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
25.

AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
26.

TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
27.

LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
28.

ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
29.

ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
30.

ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
31.

CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
32.

TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, BUILDINGS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6.
33.

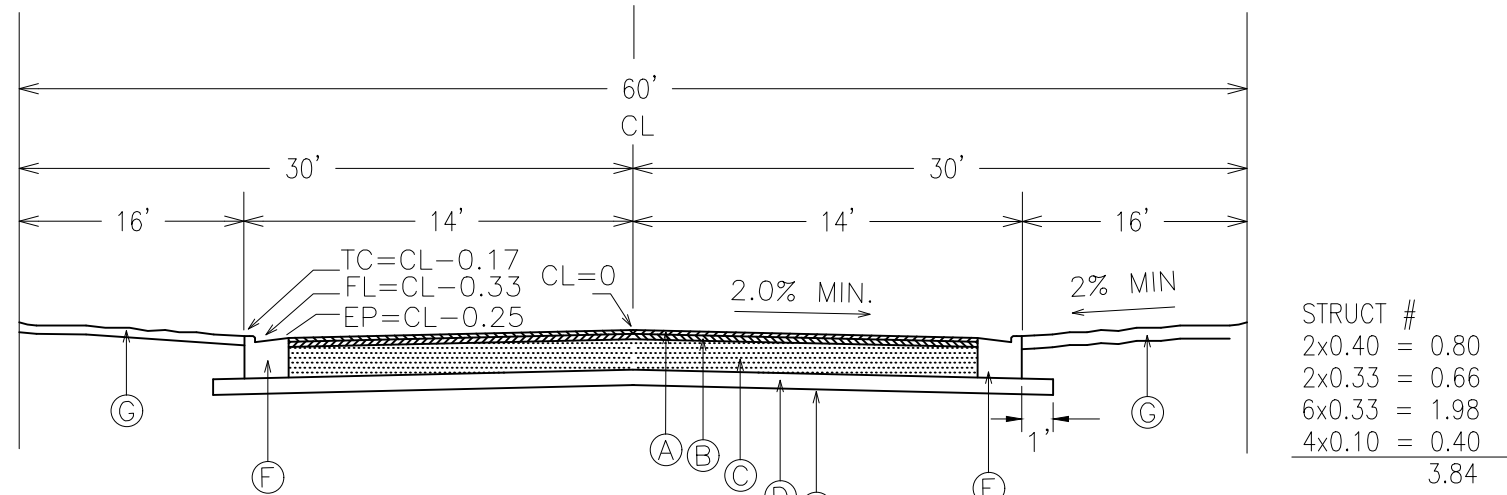
WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE.
34.

HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
35.

AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
36.

EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
37.

THE OWNER SHALL PROVIDE RECORD DRAWINGS PER MUNICIPAL REQUIREMENTS.



TYPICAL PAVEMENT SECTION  
N.T.S.

- A

2" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, N50
- B

2" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, IL19, N50
- C

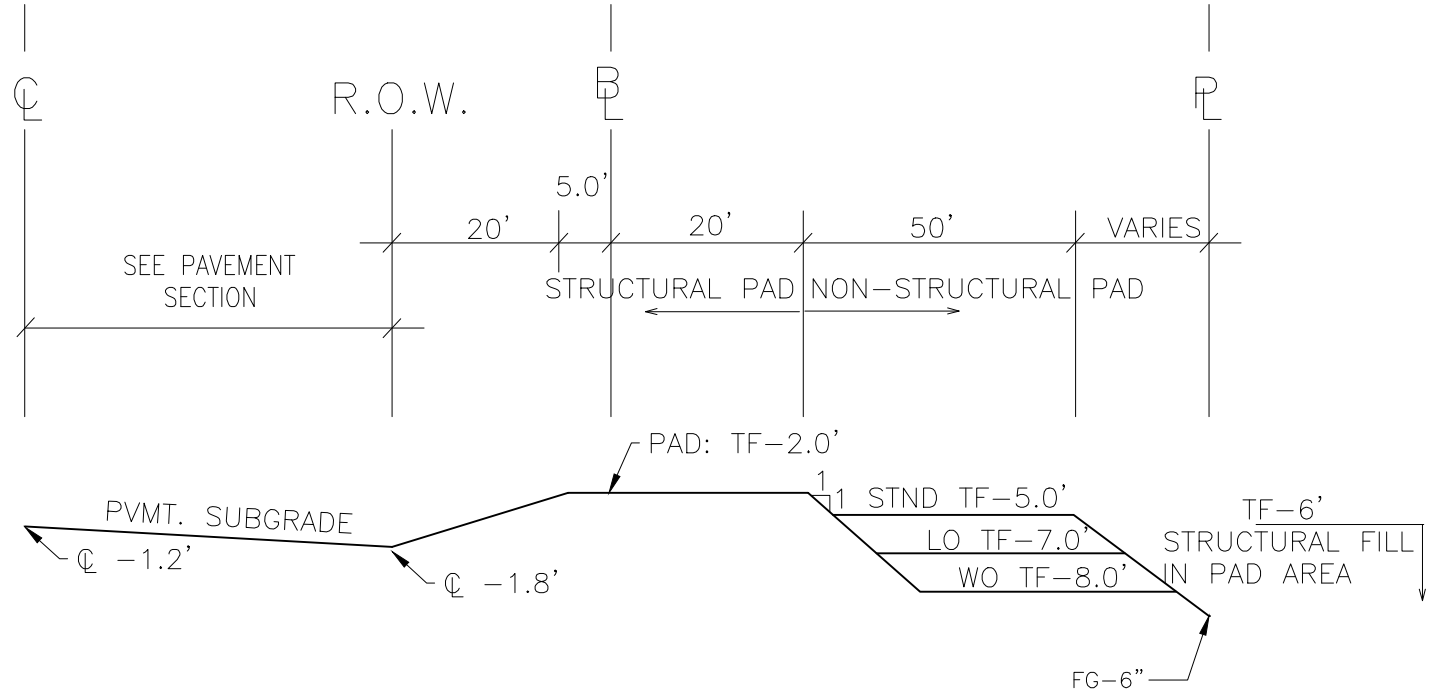
6" BITUMINOUS CONCRETE BASE COURSE, HOT MIX ASPHALT, N50
- D

4" CRUSHED AGGREGATE SUB-BASE, TY. B.
- E

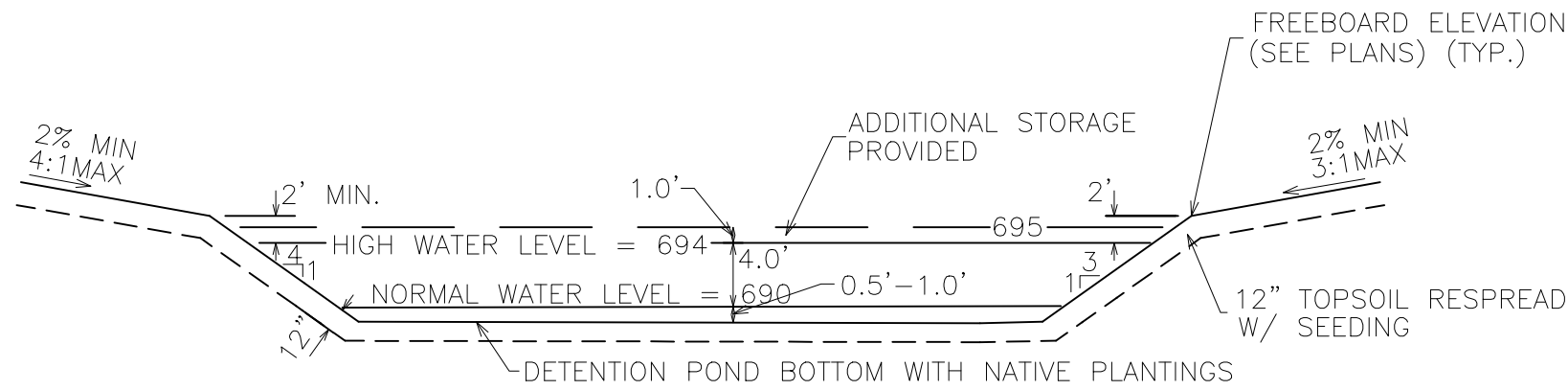
COMPACTED SUBGRADE
- F

COMB. CONC. CURB AND GUTTER, B-6-12
- G

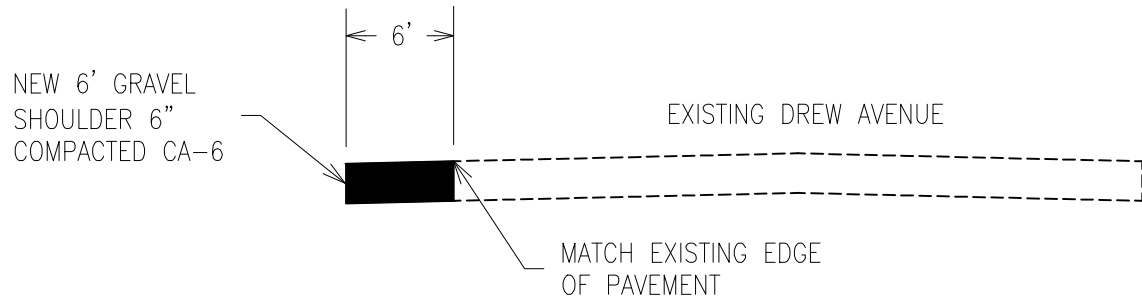
6" TOP SOIL AND SEEDING



TYPICAL HOMESITE MASS GRADE SECTION  
N.T.S.



TYPICAL SECTION DETENTION POND  
N.T.S.



TYPICAL DREW AVE. SECTION  
N.T.S.

CONTACTS

ENGINEER

ADVANTAGE CONSULTING ENGINEERS  
80 MAIN STREET, SUITE 17  
LEMONT, ILLINOIS 60439  
PHONE: (847) 260-4758  
CONTACT: WILLIAM J ZALEWSKI

DEVELOPER

JASPER PROPERTIES, LLC  
16W231 S FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

VILLAGE ENGINEER

DAVID PREISSIG  
VILLAGE OF BURR RIDGE  
DEPARTMENT OF PUBLIC WORKS  
451 COMMERCE STREET  
BURR RIDGE, ILLINOIS 60527  
PHONE: (630) 323-4733 EXT. 6000

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439

WWW.ACEPIUS

GENERAL NOTES AND  
TYPICAL SECTIONS

THE COTTAGES OF DREW  
BURR RIDGE, ILLINOIS

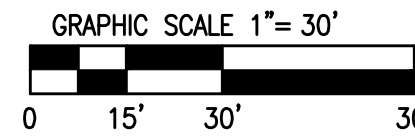
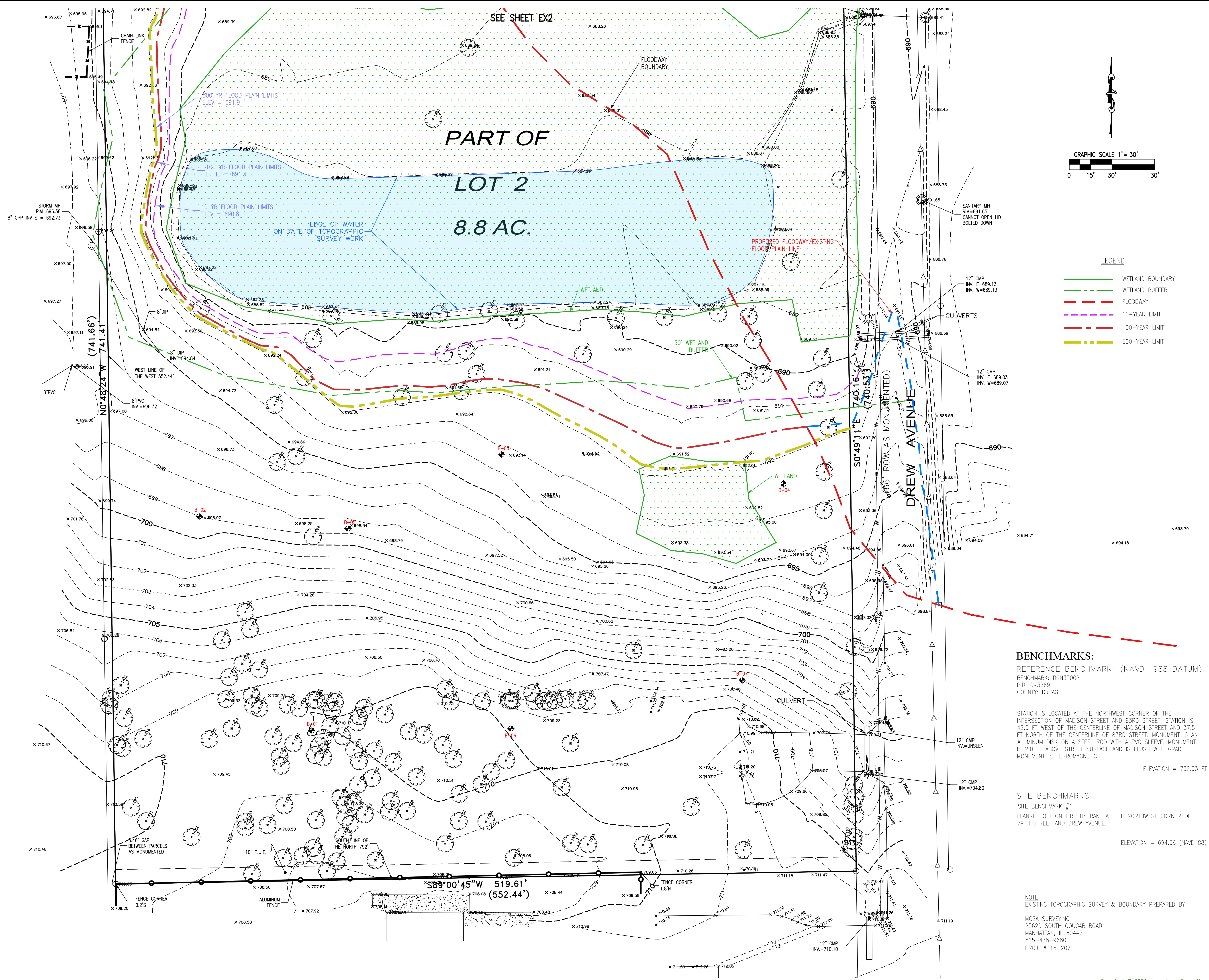
JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

NOVEMBER 5, 2018  
JOB: 16-086

SHEET:  
TS1

2 OF 28





LEGEND

- WETLAND BOUNDARY
- WETLAND BUFFER
- FLOODWAY
- 10-YEAR LIMIT
- 100-YEAR LIMIT
- 500-YEAR LIMIT

BENCHMARKS:

REFERENCE BENCHMARK: (NAVD 1988 DATUM)  
BENCHMARK: DGN35002  
PID: DK3269  
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:

SITE BENCHMARK #1  
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

NOTE  
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:

MC2A SURVEYING  
25620 SOUTH GOUGAR ROAD  
MANHATTAN, IL 60442  
815-478-9680  
PROJ. # 16-207

REMARKS		DATE	
1	REVISED PER VILLAGE & COUNTY	3/18/19	
2	REVISED PER VILLAGE & COUNTY	4/18/19	
3	REVISED PER COUNTY	08/24/19	
4	REVISED PER VILLAGE & COUNTY	10/16/19	

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
630-520-2467  
WWW.ADVANTAGEILL.COM

EXISTING CONDITIONS

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

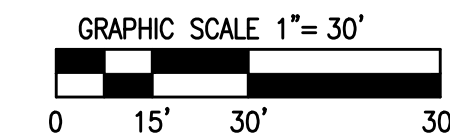
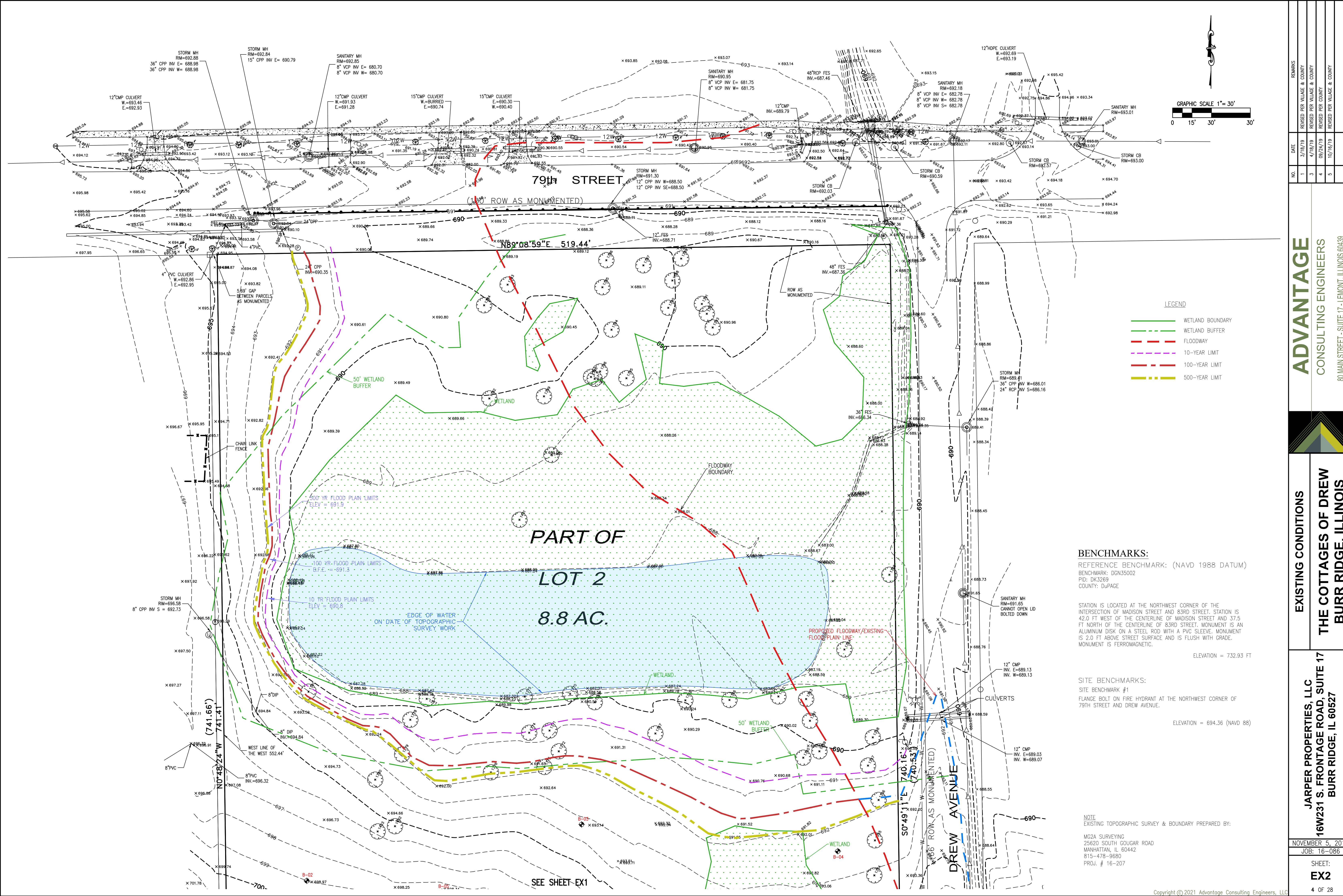
JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
EX1
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- LEGEND
- WETLAND BOUNDARY
  - WETLAND BUFFER
  - FLOODWAY
  - 10-YEAR LIMIT
  - 100-YEAR LIMIT
  - 500-YEAR LIMIT

**BENCHMARKS:**  
REFERENCE BENCHMARK: (NAVD 1988 DATUM)  
BENCHMARK: DGN35002  
PID: DK3269  
COUNTY: DU PAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

**SITE BENCHMARKS:**  
SITE BENCHMARK #1  
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

**NOTE**  
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:  
MG2A SURVEYING  
25620 SOUTH GOUGAR ROAD  
MANHATTAN, IL 60442  
815-478-9680  
PROJ. # 16-207

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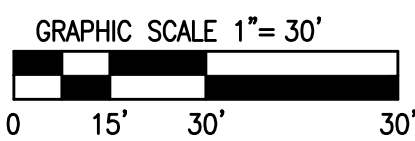
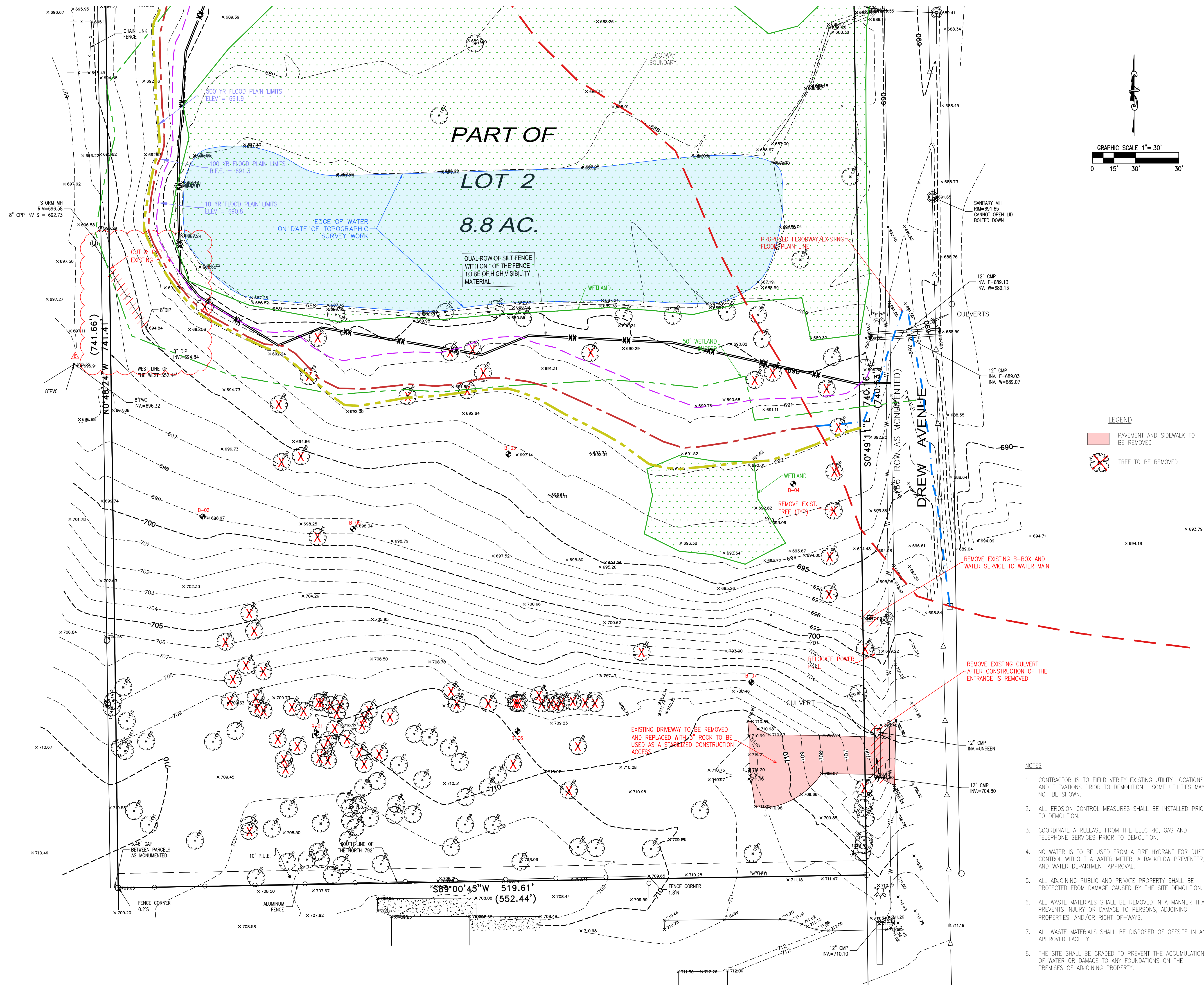
EXISTING CONDITIONS  
THE COTTAGES OF DREW  
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
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NO.	DATE	REVISIONS
1	3/16/19	REVISED PER VILLAGE & COUNTY
2	4/16/19	REVISED PER VILLAGE & COUNTY
3	08/24/19	REVISED PER COUNTY
4	10/16/19	REVISED PER VILLAGE & COUNTY

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**EX2**  
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- LEGEND
- PAVEMENT AND SIDEWALK TO BE REMOVED
  - TREE TO BE REMOVED

- NOTES
- CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
  - COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION.
  - NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
  - ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
  - ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT OF-WAYS.
  - ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
  - THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.

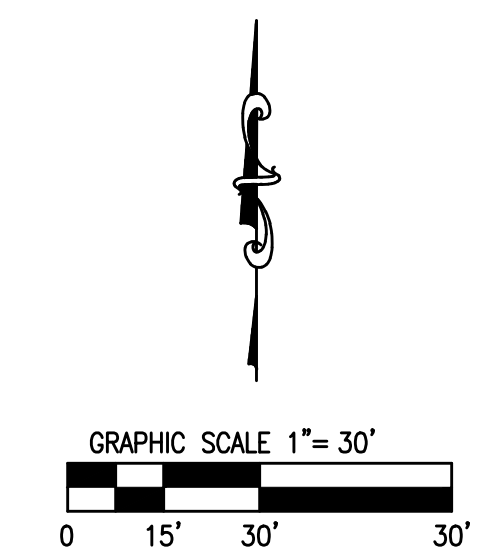
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**DEMOLITION PLAN**  
**THE COTTAGES OF DREW**  
**BURR RIDGE, ILLINOIS**

**JARPER PROPERTIES, LLC**  
**16W231 S. FRONTAGE ROAD, SUITE 17**  
**BURR RIDGE, IL 60527**

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**DM1**  
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- NOTES:
1. ALL STREETS SHALL BE 28' B-B UNLESS NOTED OTHERWISE.
  2. SEE SHEET TS1 FOR TYPICAL PAVEMENT SECTION AND TYPE OF C&G.
  3. ALL CURB RADII AT INTERSECTIONS TO BE 25' UNLESS NOTED OTHERWISE.
  4. ALL STREET DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
  5. ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.

- SIGN LEGEND:
- ① NO MOWING SIGN
  - ② STOP SIGN & STREET NAME SIGN

REMARKS	
NO.	DATE
1	3/18/19
2	4/18/19
3	09/24/19
4	10/16/19
5	08/11/21
REVISED PER VILLAGE & COUNTY	
REVISED PER VILLAGE & COUNTY	
REVISED PER VILLAGE & COUNTY	
REVISED PER VILLAGE & COUNTY	

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GEOMETRIC PLAN

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

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NOVEMBER 5, 2018

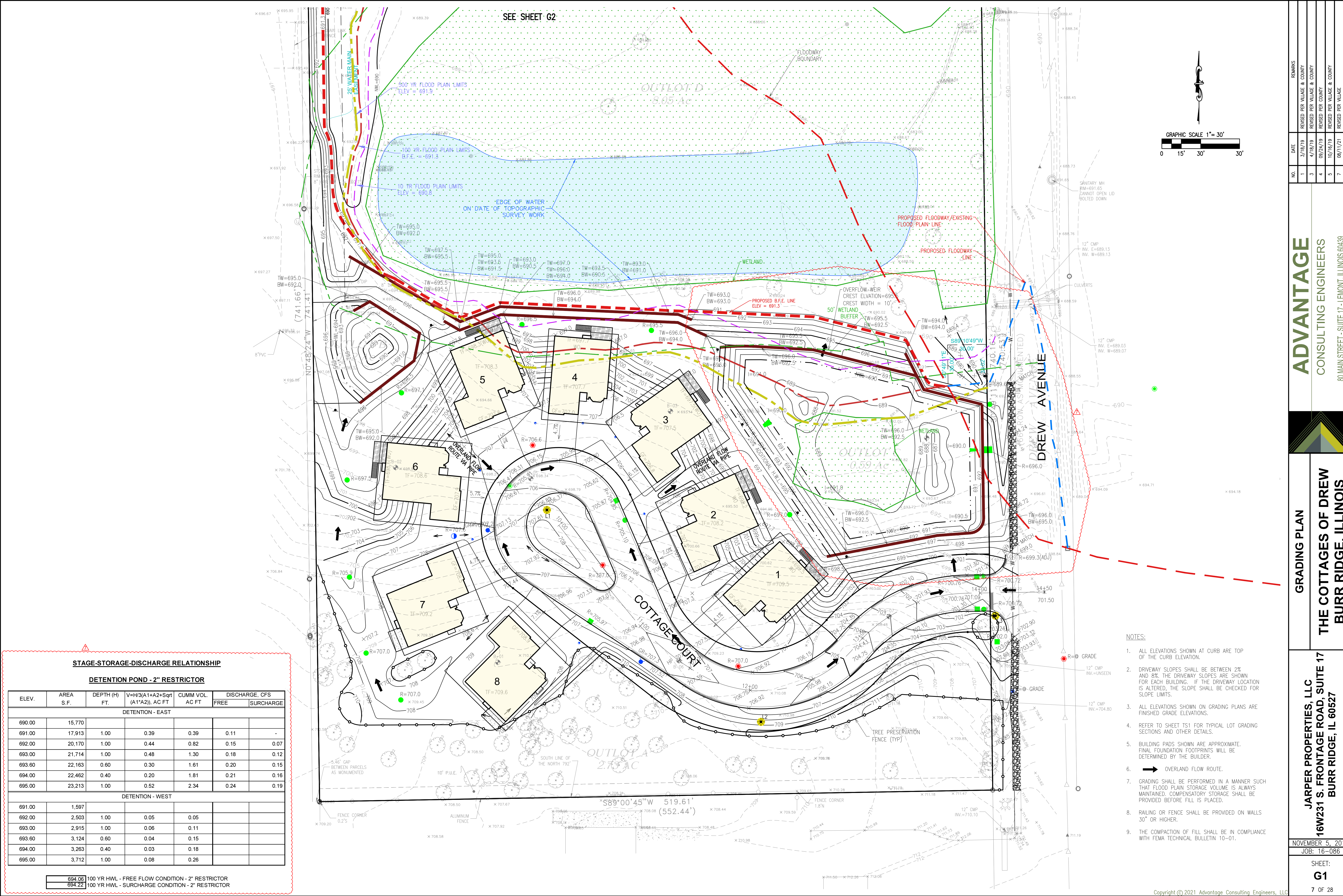
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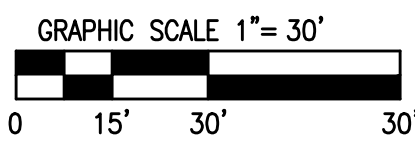
L1

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SEE SHEET 02



- NOTES:
- ALL ELEVATIONS SHOWN AT CURB ARE TOP OF THE CURB ELEVATION.
  - DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 8%. THE DRIVEWAY SLOPES ARE SHOWN FOR EACH BUILDING. IF THE DRIVEWAY LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
  - ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
  - REFER TO SHEET TS1 FOR TYPICAL LOT GRADING SECTIONS AND OTHER DETAILS.
  - BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
  - OVERLAND FLOW ROUTE.
  - GRADING SHALL BE PERFORMED IN A MANNER SUCH THAT FLOOD PLAN STORAGE VOLUME IS ALWAYS MAINTAINED. COMPENSATORY STORAGE SHALL BE PROVIDED BEFORE FILL IS PLACED.
  - RAILING OR FENCE SHALL BE PROVIDED ON WALLS 30" OR HIGHER.
  - THE COMPACTION OF FILL SHALL BE IN COMPLIANCE WITH FEMA TECHNICAL BULLETIN 10-01.

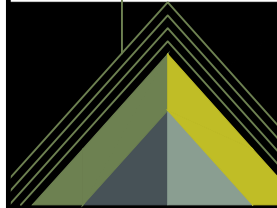
STAGE-STORAGE-DISCHARGE RELATIONSHIP

DETENTION POND - 2" RESTRICTOR

ELEV.	AREA S.F.	DEPTH (H) FT.	V=H/3(A1+A2+Sqrt (A1*A2)), AC FT	CUMM VOL. AC FT	DISCHARGE, CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.06 100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR  
694.22 100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

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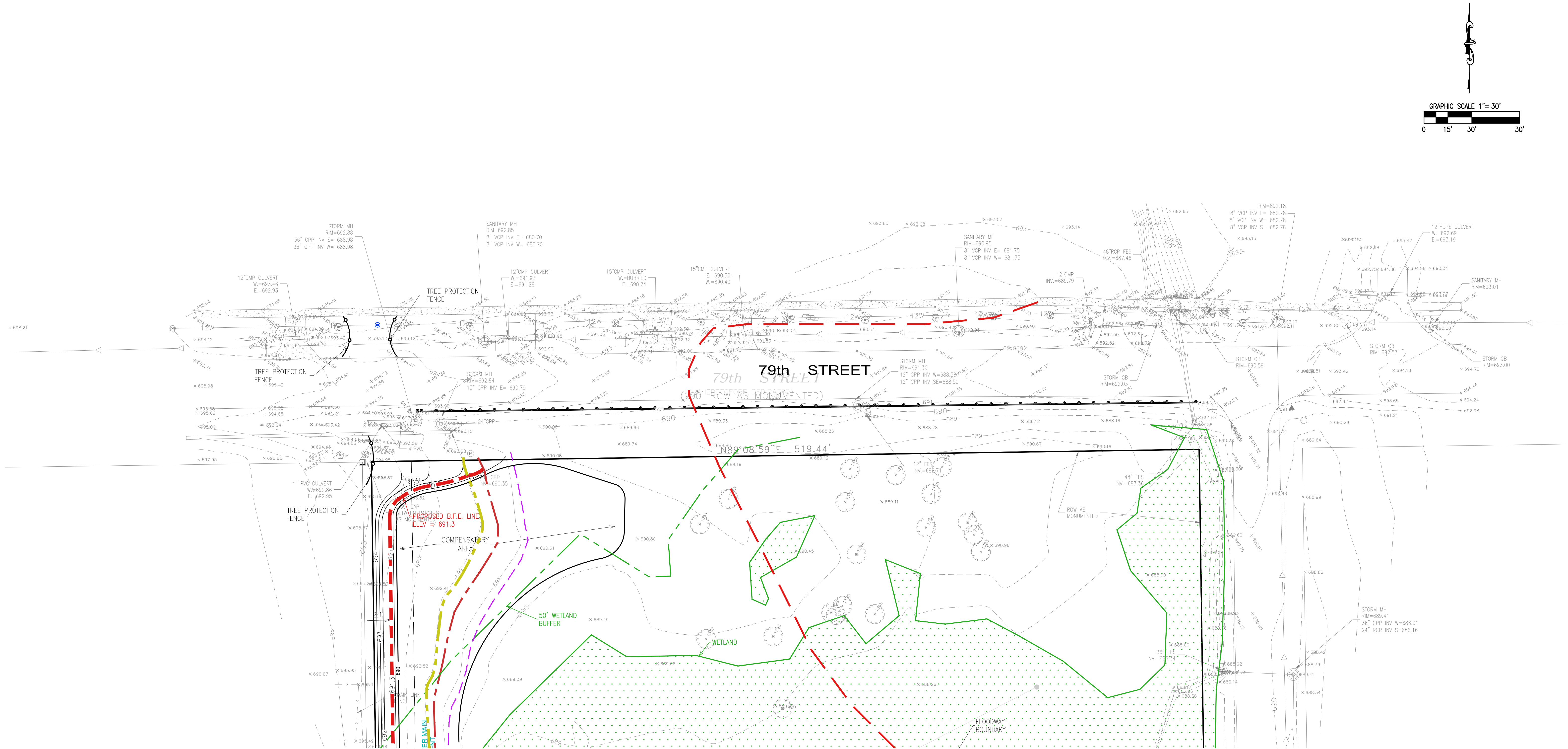
GRADING PLAN  
THE COTTAGES OF DREW  
BURR RIDGE, ILLINOIS

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SEE SHEET G1

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REMARKS		DATE	NO.
REVISED PER VILLAGE & COUNTY		3/18/19	1
REVISED PER VILLAGE & COUNTY		4/18/19	3
REVISED PER COUNTY		09/24/19	4

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GRADING PLAN

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

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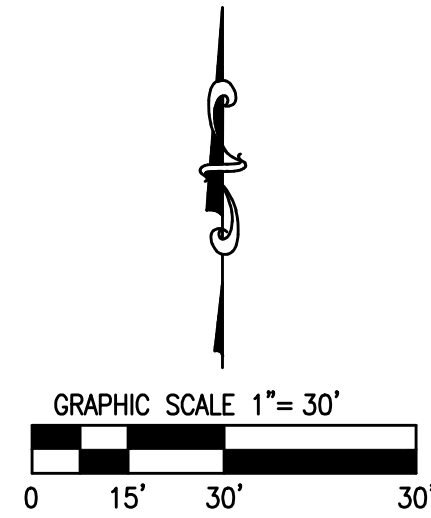
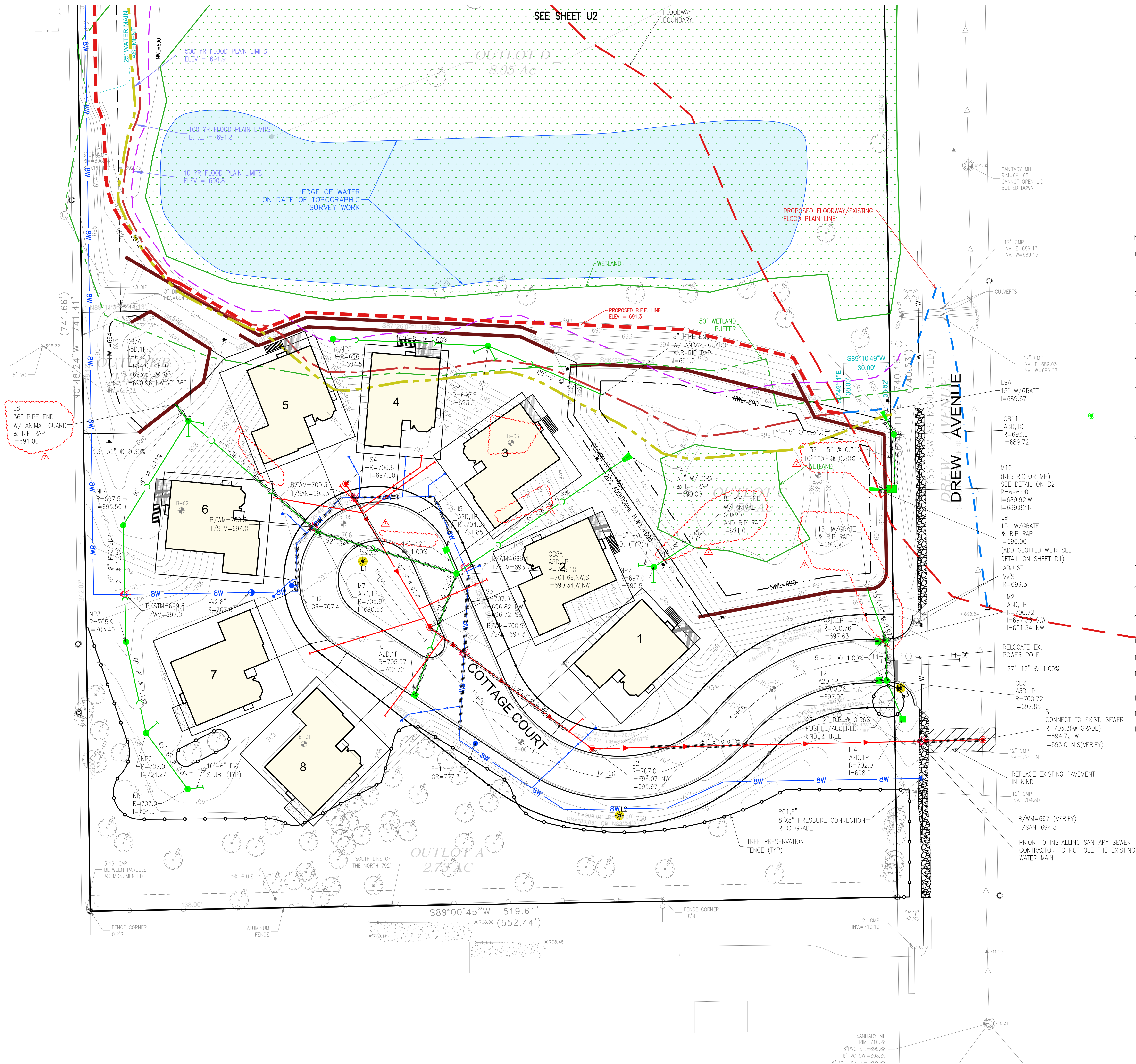
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G2

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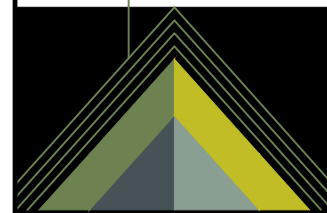




NOTES

- ALL 8" STORM SEWERS TO BE PVC SDR26, ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE. SEE NOTE #2, STORM SEWER NOTES ON SHEET S1.
- ALL SANITARY SEWER & SERVICE SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE. A CLEAN OUT IS REQUIRED ON SERVICE LINE, 10' FROM FOUNDATION.
- ALL WATER MAIN SHALL BE ZINC COATED D.I.P. CLASS 52 WITH V-BIO POLYETHYLENE ENCASEMENT AND NO. 8 SOLID BLUE TRACER WIRE.
- THE UNDERDRAIN AND 8" STORM SEWER SHALL BE PERFORMED PVC SDR 26 UNLESS NOTED OTHERWISE. STORM SEWER CROSSING WATER MAIN SHALL BE WATER MAIN QUALITY PIPE, PVC SDR 21.
- THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:  
1P: NEENAH R-1712, TYPE D OPEN GRADE  
1C: NEENAH R-1712, TYPE B CLOSED LID
- UTILITY STRUCTURE SYMBOL LEGEND:  
M36: MANHOLE, STRUCTURE # 36  
I: INLET  
CB: CATCH BASIN  
M: MANHOLE  
E: FLARED END SECTION WITH RIP RAP  
S: SANITARY MANHOLE  
NP: NYLOPLAST INLET  
FH: FIRE HYDRANT  
V: VALVE VAULT  
PC: PRESSURE CONNECTION  
UD: PERFORATED UNDERDRAIN  
A4D,1P: TYPE A, 4' DIA., TYPE OF FRAME AND GRATE/LID.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE ANY ROAD CLOSURES FOR OPEN CUT UTILITY WORK WITH THE APPROPRIATE AUTHORITIES.
- LONG SERVICES INCLUDE TRENCH BACKFILL CA-6 CRUSHED AGGREGATE.
- TRENCH BACKFILL
- 1-6" PVC SCH 40 CONDUIT FOR GAS
- 3-4" PVC SCH 40 CONDUITS FOR COMED, AMERITECH, CABLE
- ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
- PIPE CROSSING
- SEE SHEET SE1 FOR RIP RAP INFORMATION.

**ADVANTAGE**  
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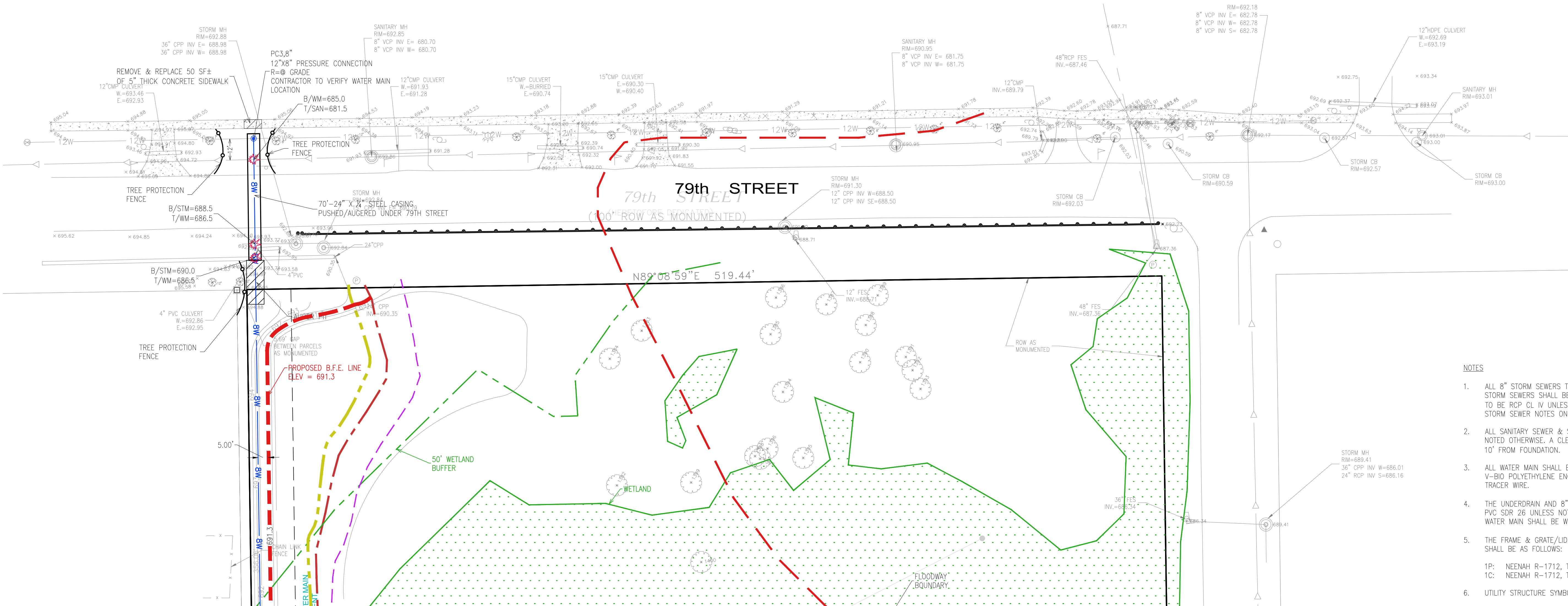
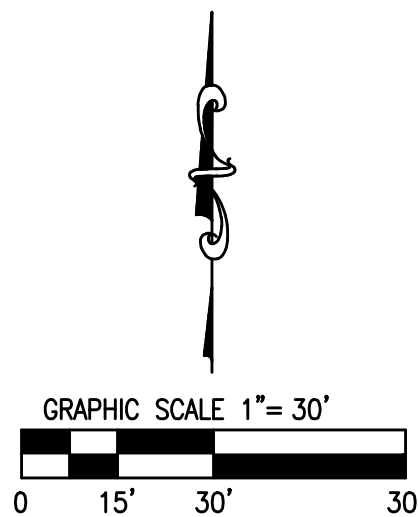
**UTILITY PLAN**  
**THE COTTAGES OF DREW**  
**BURR RIDGE, ILLINOIS**

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SHEET:  
**U1**  
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SEE SHEET U1

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- PIPE CROSSING
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UTILITY PLAN

**THE COTTAGES OF DREW**  
**BURR RIDGE, ILLINOIS**

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SHEET:  
**U2**

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CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMIT	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING		TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SO	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING		OC	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.	X		N/A
	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X		REAPPLY EVERY 1 1/2 MONTHS.
	AGGREGATE COVER		AC	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PO	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
DIVERSIONS	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.		X	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED DRAINAGE	STORM SEWER	X	STW	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
	UNDER DRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SOIL STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DRAINER SEDIMENT BASINS.		X	N/A
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SP	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	DROP INLET PIPE SPILLWAY		DIP	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY	X	W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BW	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		X	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.		X	REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED.
	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT BASINS	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X		CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SILT FENCE		SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
SEDIMENT FILTERS	VEGETATIVE FILTER		VF	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X		REDO ANY FAILING AREAS.
	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X		SCRAPE MUD AND REPLACE STONE AS NEEDED.
MUD AND DUST CONTROL	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X		RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET		EB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.	X	X	REPLACE AS NEEDED.
EROSION CONTROL	TURF REINFORCEMENT MAT		TM	REINFORCES TURF IN CHANNELS AND SHORELINES.	X	X	REPLACE AS NEEDED.
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.	X	X	REPLACE AS NEEDED.
	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.		X	REPLACE AS NEEDED.
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.	X	X	REPLACE AS NEEDED.
SEDIMENT CONTROL	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.		X	REPLACE AS NEEDED.
	INLET PROTECTION	X	IF	USED FOR PROTECTION OF INLETS.		X	REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.	X	X	CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK		DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.	X		CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG	X	FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.	X		REPLACE WHEN HALF DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.		X	REPLACE WHEN FABRIC IS TORN OR HOLES BEGON TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.	X		REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGON TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.		X	CLEAN OUT WHEN HALF-FULL. CLEAN WASHOUT GRAVEL AREA AS NEEDED.
	STREET SWEEPING		SS	USED TO PREVENT SILT BUILD UP IN STREETS.	X		CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.

RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON Ld (FT)	MEDIAN RIP-RAP SIZE C (IN)	WIDTH OF APRON D/S FACE W1 (FT)	WIDTH OF APRON U/S FACE W2 (FT)	DEPTH OF RIP-RAP d (IN)	AREA OF RIP-RAP (SQ.YDS.)	VOLUME OF RIP-RAP (CU.YDS.)
ALL	8/12		10	6	3.00	13.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

OBSERVATION & MAINTENANCE SCHEDULE		
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION - MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION - OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5".
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

DESCRIPTION	MON-1	MON-2	MON-3	MON-4	MON-5	MON-6	MON-7	MON-8	MON-9
EROSION CONTROL									
SITE CLEARING									
MASS GRADING									
UTILITIES									
PAVING									
SITE STABILIZATION									

CONSTRUCTION SCHEDULE-2019-20

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES AND SOIL EROSION AND SEDIMENT CONTROL ORDINANCE FOR THE COUNTY.

### 1. SITE DESCRIPTION.

- THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY FOLLOWING MASS GRADING WHICH IS THE SUBJECT OF THIS PLAN:  
  
THE PROPOSED DEVELOPMENT CONSISTS OF CONSTRUCTION OF THE COTTAGES OF DREW DEVELOPMENT  
THE CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENTS INCLUDE:  
  
A. MASS GRADING  
B. PAVEMENT CONSTRUCTION  
C. INSTALLATION OF UTILITIES INCLUDING STORM SEWERS  
D. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, AS A MINIMUM.  
  
THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE, SUCH AS GRUBBING, EXCAVATION, AND GRADING:  
  
THE SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:  
  
A. INSTALL SILT FILTER FENCE AND STABILIZED CONSTRUCTION ENTRANCE  
B. MASS GRADING  
C. UNDERGROUND UTILITIES INSTALLATION  
D. FINE GRADING IN PAVEMENT AREA  
E. PAVEMENT CONSTRUCTION  
  
THE SOIL EROSION AND SEDIMENTATION CONTROL ITEMS WILL BE INSTALLED FIRST AND AS NEEDED DURING THE ABOVE CONSTRUCTION ACTIVITIES.  
  
THE TOTAL ESTIMATED AREA OF THE SITE IS 8.8 ACRES.  
THE TOTAL ESTIMATED AREA OF THE SITE TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS 4.06 ACRES.  
  
THE ESTIMATED RUNOFF COEFFICIENTS OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORM WATER MANAGEMENT FOR THE COTTAGES ON DREW.  
PREPARED BY ADVANTAGE CONSULTING ENGINEERS WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.  
  
THE ESTIMATED PROPOSED OVERALL SITE RUNOFF COEFFICIENT IS 0.65  
EXISTING DATA DESCRIBING SOILS IS INCLUDED IN SOILS REPORT \_\_\_\_\_ OR NOT AVAILABLE  
  
NAME OF RECEIVING WATER(S) EXISTING AREA TO NORTH  
NAME OF ULTIMATE RECEIVING WATER(S) Z9TH STREET DITCH  
WETLAND ACREAGE 2.68 ACRES.  
  
POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH CONSTRUCTION ACTIVITY MAY INCLUDE:  
  
A. SEDIMENT FROM DISTURBED SOILS  
B. PORTABLE SANITARY STATIONS  
C. FUEL TANKS  
D. STAGING AREAS  
E. WASTE CONTAINERS  
F. CHEMICAL STORAGE AREAS  
G. OIL OR OTHER PETROLEUM PRODUCTS  
H. ADHESIVES  
I. TAR  
J. SOLVENTS  
K. DETERGENTS  
L. FERTILIZERS  
M. RAW MATERIALS (E.G., BAGGED PORTLAND CEMENT)  
N. CONSTRUCTION DEBRIS  
O. LANDSCAPE WASTE  
P. CONCRETE AND CONCRETE TRUCKS  
Q. LITTER
- THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1 ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTORS WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR HAS SIGNED THE REQUIRED CERTIFICATION ON FORMS WHICH ARE INCLUDED AS A PART OF THIS PLAN.  
  
EROSION AND SEDIMENT CONTROLS.  
  
STABILIZATION PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. EXCEPT AS PROVIDED IN 2, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED ON ALL DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 21 OR MORE CALENDAR DAYS.  
  
WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECEDDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE THEREAFTER.  
  
THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:  
  
A. PERMANENT SEEDING  
B. SILT FILTER FENCE  
C. VEGETATIVE FILTER  
D. STABILIZED CONSTRUCTION ENTRANCE  
  
STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.  
  
THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.  
  
THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:  
  
A. BARRIER FILTERS  
B. STORM SEWERS  
C. RIP-RAP FOR OUTLET PROTECTION  
D. INLET PROTECTION  
  
DUST CONTROL- DUST CONTROL SHALL BE PROVIDED PER STANDARD 825 OF ILLINOIS URBAN MANUAL. THE FOLLOWING METHODS FOR THE DUST CONTROL CAN BE USED.  
  
A. IRRIGATION  
B. SPRAY ON ADHESIVE  
C. VEGETATIVE COVER  
D. MULCHING  
  
STORM WATER MANAGEMENT.  
  
PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.  
  
THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.  
  
THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:  
  
A. BARRIER FILTERS  
B. STORM SEWERS  
C. RETENTION/DETENTION PONDS  
D. PERMANENT SEEDING  
E. OUTLET PROTECTION  
  
VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).  
  
STORM WATER MANAGEMENT CONTROL INCLUDES:  
  
A. RIP-RAP FOR OUTLET PROTECTION (SEE RIP RAP TABLE FOR QUANTITY)  
B. INLET PROTECTION  
  
APPROVED STATE OR LOCAL PLANS.

- THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND THE MUNICIPAL SUBDIVISION ORDINANCE. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS OR SITE PERMITS OR STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.
- WASTE MANAGEMENT  
  
SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF SITE BY THE CONTRACTORS. THE CONTRACTORS ARE RESPONSIBLE TO ACQUIRE THE PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE TO THE WASTES BEING DISCARDED. NO OTHER MATERIALS SHOULD BE DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE, IF NECESSARY. CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ON SITE. WASTE DISPOSAL SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.  
  
ON-SITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.  
  
CONCRETE WASTE MANAGEMENT  
  
CONCRETE WASTE OR WASHOUT IS NOT ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. WHEN PRACTICABLE, A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE, AND SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB, IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD. A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.  
  
THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 60% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AND USED AGAIN ON SITE (AS APPROVED BY THE ENGINEER) OR HAULED OFF SITE TO AN APPROPRIATE LANDFILL.  
  
CONCRETE CUTTING  
  
CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE NEAR A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DEPOSITED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.  
  
VEHICLE STORAGE AND MAINTENANCE  
  
WHEN NOT IN USE, CONSTRUCTION VEHICLES SHOULD BE STORED IN A DESIGNATED AREA(S) OUTSIDE OF THE REGULATORY FLOOD-PLAN, AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. CONTROLS SHOULD BE INSTALLED TO MINIMIZE THE POTENTIAL OF RUNOFF FROM THE STORAGE AREA(S) FROM REACHING STORM DRAINS OR WATER COURSES. VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN A DESIGNATED AREA(S) TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ABSORBENT PADS SHOULD BE USED FOR ALL VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSE OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER VEHICLE-RELATED CHEMICALS IN ACCORDANCE WITH UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) AND EPA REGULATIONS AND PER MATERIAL SAFETY DATA SHEET (MSDS) AND/OR MANUFACTURER INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE PRIMARY CONTACT.  
  
MATERIAL STORAGE AND GOOD HOUSEKEEPING  
  
MATERIALS AND/OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ON-SITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ON SITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. HERMID-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE FOR REFERENCING CLEAN-UP PROCEDURES. ANY RELEASE OF CHEMICALS/CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE PRIMARY CONTACT, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.  
  
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT. AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.  
  
ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT. PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. SUBSTANCES SHOULD NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.  
  
MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MANAGEMENT OF PORTABLE SANITARY STATIONS  
  
TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (E.G., GRAVEL-BAG BERM). THE CONTRACTOR SHOULD PREVENT/AVOID UNSANITARY CONDITIONS. SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATIONS.
- SPILL PREVENTION AND CLEAN-UP PROCEDURES  
  
MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL SHOULD BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, STAIN PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- DE-WATERING OPERATIONS  
  
DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQUATE EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY. STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER.
- OFF-SITE VEHICLE TRACKING  
  
THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. STREETS SHOULD BE SWEEP AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE, REMOVE AND REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.
- TOPSOIL STOCKPILE MANAGEMENT  
  
IF TOPSOIL IS TO BE STOCKPILED AT THE SITE, SELECT A LOCATION SO THAT IT WILL NOT ERODE, BLOCK DRAINAGE, OR INTERFERE WITH WORK ON SITE. TOPSOIL STOCKPILES SHALL NOT BE LOCATED IN THE 100-YEAR FLOODPLAIN OR DESIGNATED BUTTER PROTECTING WATERS OF THE STATE. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHOULD BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. PERIMETER CONTROLS, SUCH AS SILT FENCE, SHOULD BE PLACED AROUND THE STOCKPILE IMMEDIATELY. STABILIZATION OF THE STOCKPILE SHOULD BE COMPLETED IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS.
- MAINTENANCE  
  
THE FOLLOWING IS A DESCRIPTION OF PROCEDURES TO WILL BE USED TO MAINTAIN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.  
  
A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONE, REMOVE AND REPLACE TOP LAYER OF STONE OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.  
  
B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.  
  
C. SEDIMENTATION BASINS/TRAPS: SEDIMENTS SHALL BE REMOVED WHEN 40-50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OBTAINED BY SEDIMENT. IN NO CASE SHALL SEDIMENT BE ALLOWED TO BUILD UP TO MORE THAN 1 FOOT BELOW THE CREST ELEVATION. AT THIS STAGE, THE BASIN SHALL BE CLEANED OUT TO RESTORE ITS ORIGINAL VOLUME.  
  
D. SILT FILTER FENCE: ANY DAMAGED SILT FILTER FENCE SHALL BE RESTORED TO MEET THE STANDARDS OR REMOVED AND REPLACED AS NEEDED  
  
E. RIP-RAP OUTLET PROTECTION: INSPECTED SHALL OCCUR AFTER HIGH FLOWS FOR ANY SCOUR BENEATH THE RIP-RAP OR FOR STONE THAT HAVE BEEN DISLODGED. DISTURBED RIP-RAP SHALL BE REPAIRED IMMEDIATELY.  
  
F. DUST CONTROL: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

### 4. INSPECTIONS

- THE OWNER, OR OWNER'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT THE DISTURBED AREAS OF THE SITE UNDER CONSTRUCTION WHICH HAVE NOT BEEN STABILIZED, ALL STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4. SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH APPLICABLE PART OF THE GENERAL PERMIT.
- IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (IN) REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. C OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:  
  
ALL PACKAGES:  
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
DIVISION OF WATER POLLUTION CONTROL  
ATTN: COMPLIANCE ASSURANCE SECTION  
1024 NORTH GRAND AVENUE, EAST  
SPRINGFIELD, IL 62794  
  
ALL LETTERS  
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
DIVISION OF WATER POLLUTION CONTROL  
ATTN: COMPLIANCE ASSURANCE SECTION  
POST OFFICE BOX 19276  
SPRINGFIELD, IL 62794-9276

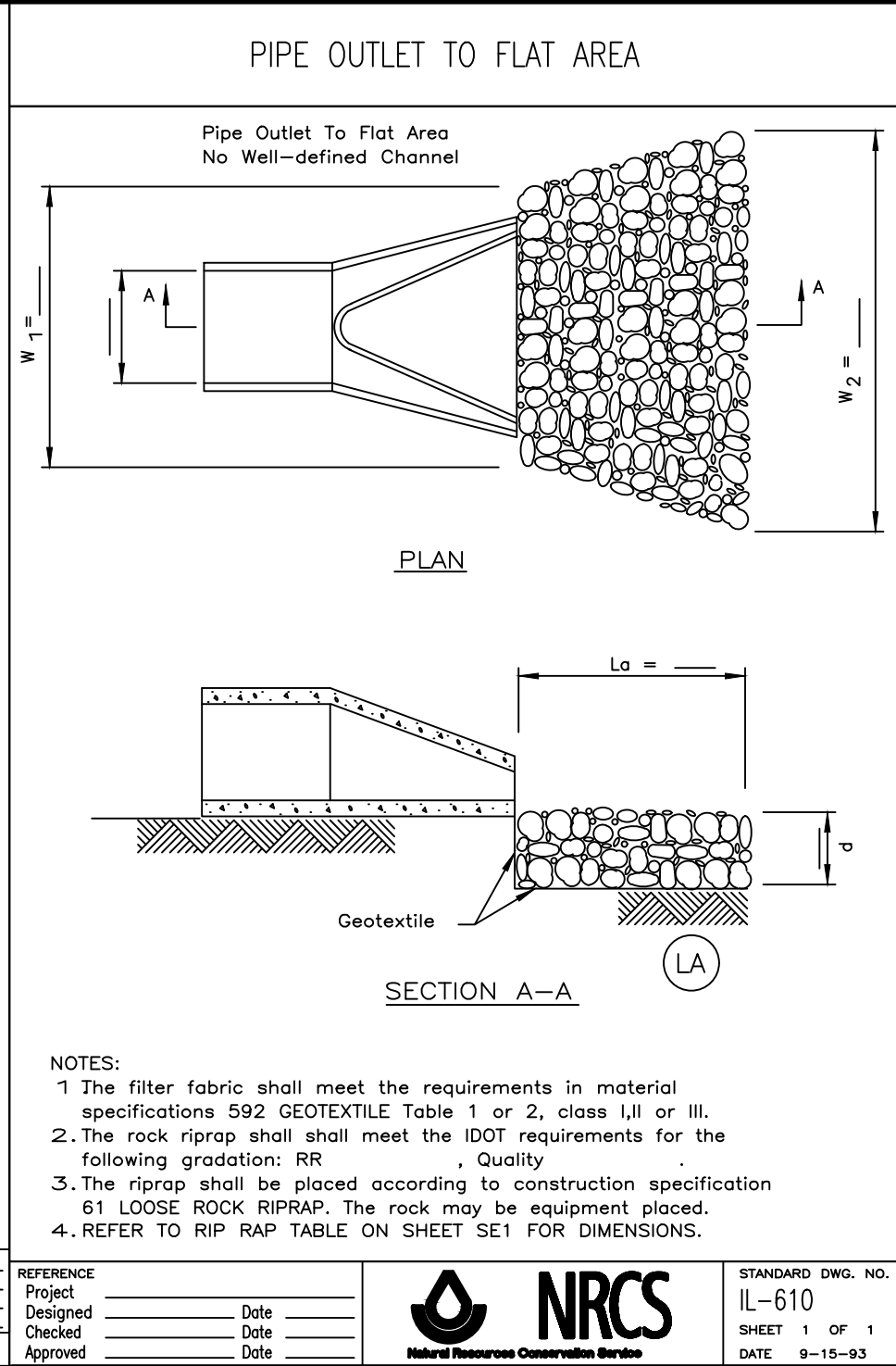
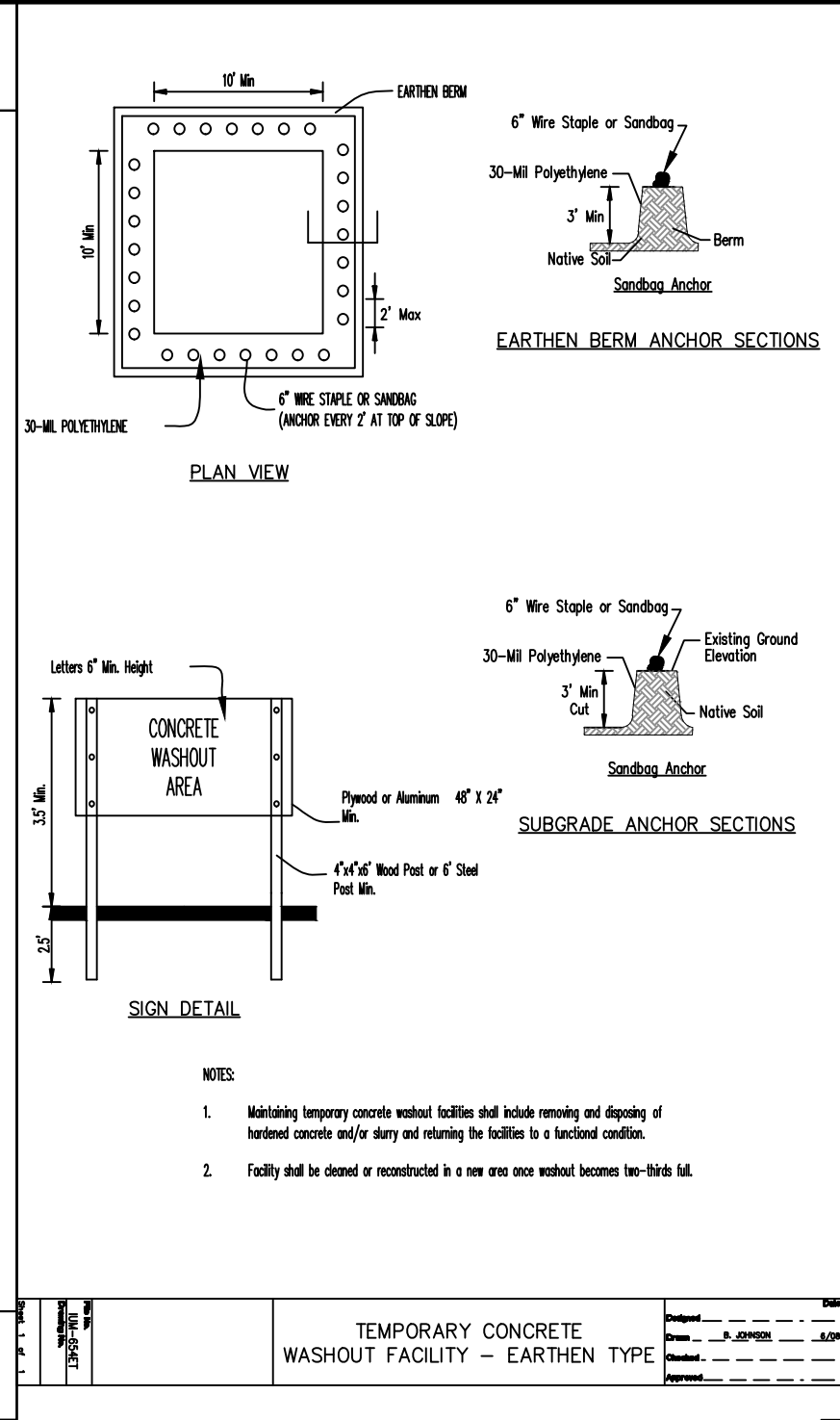
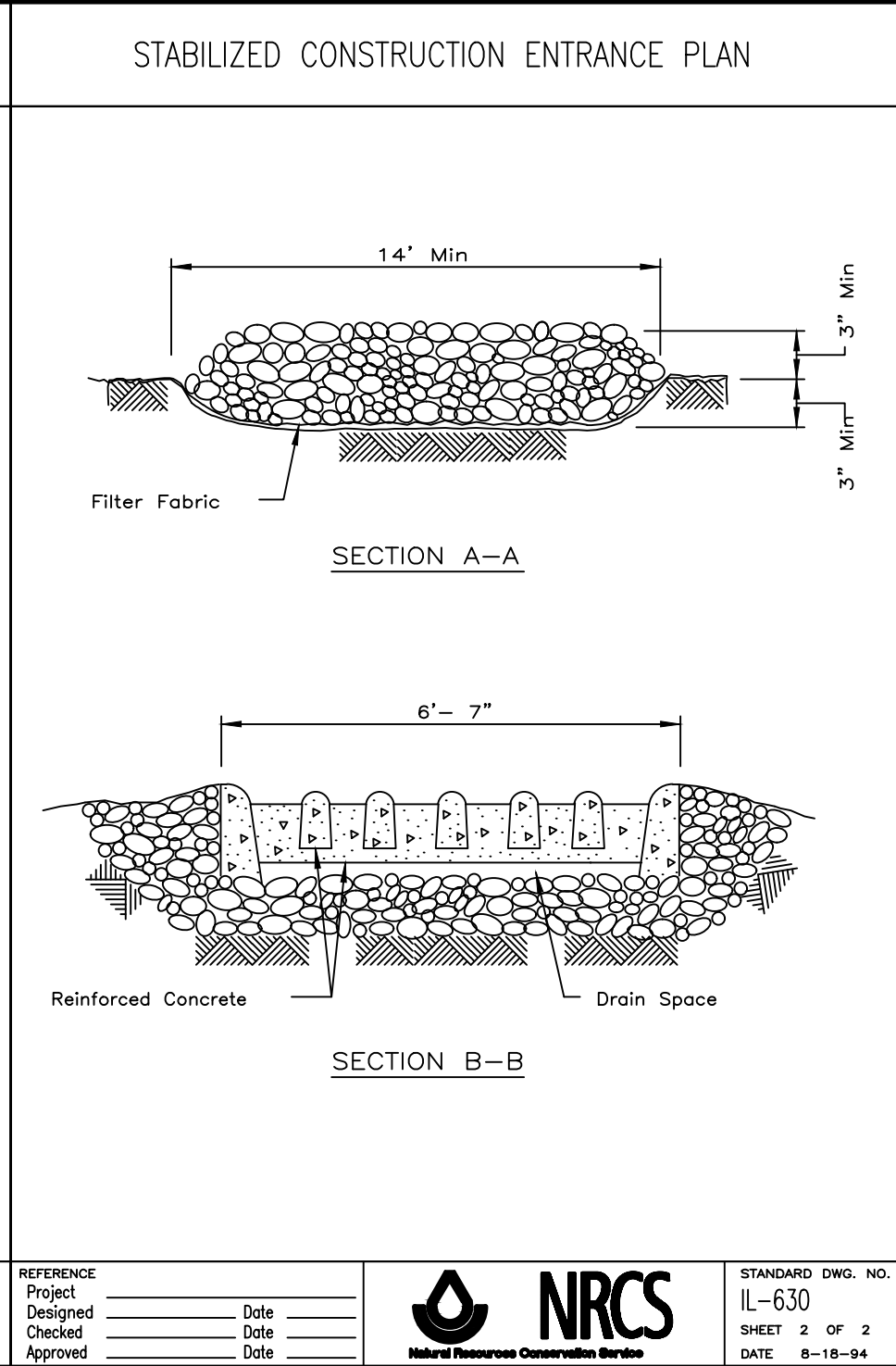
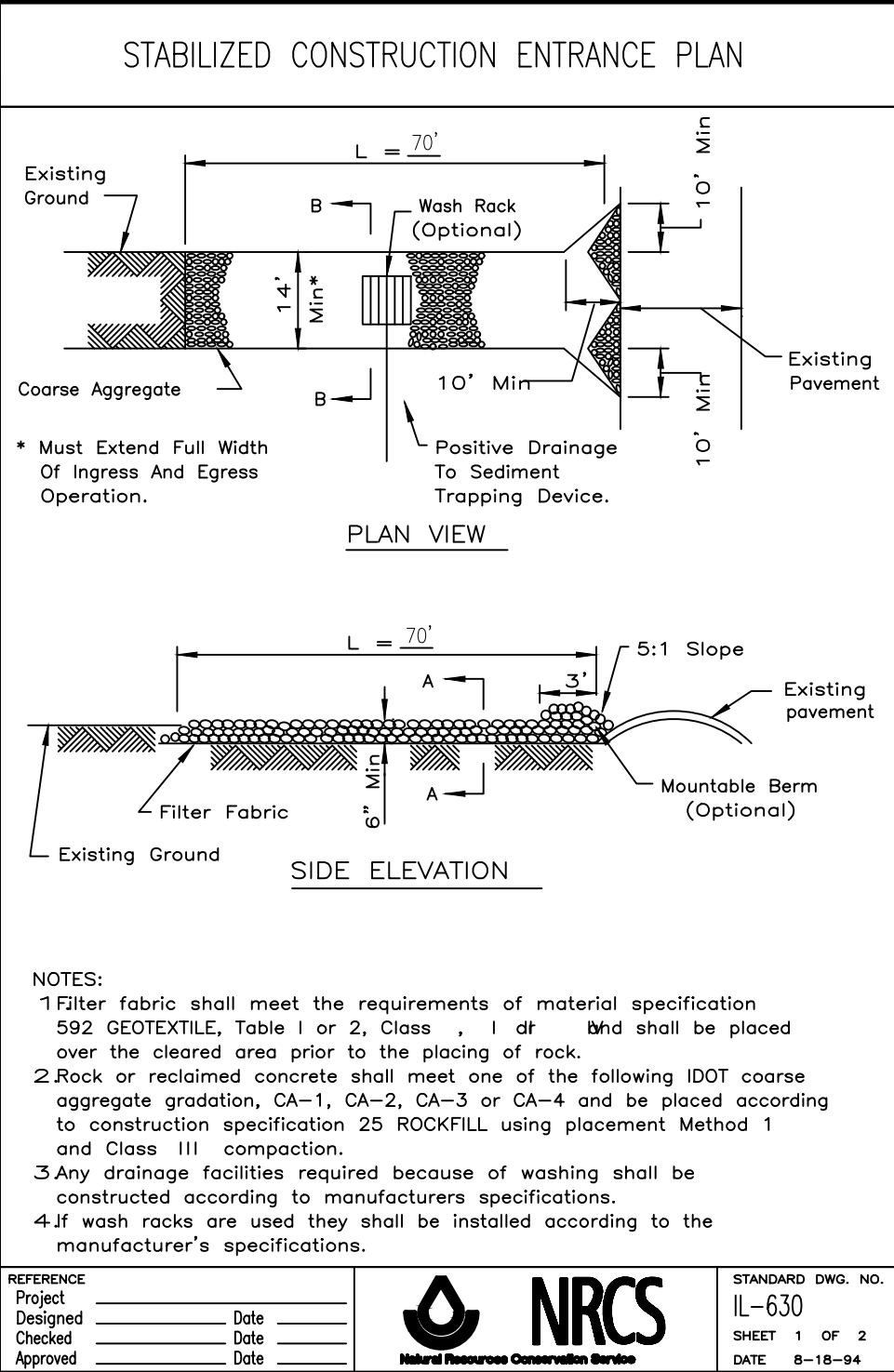
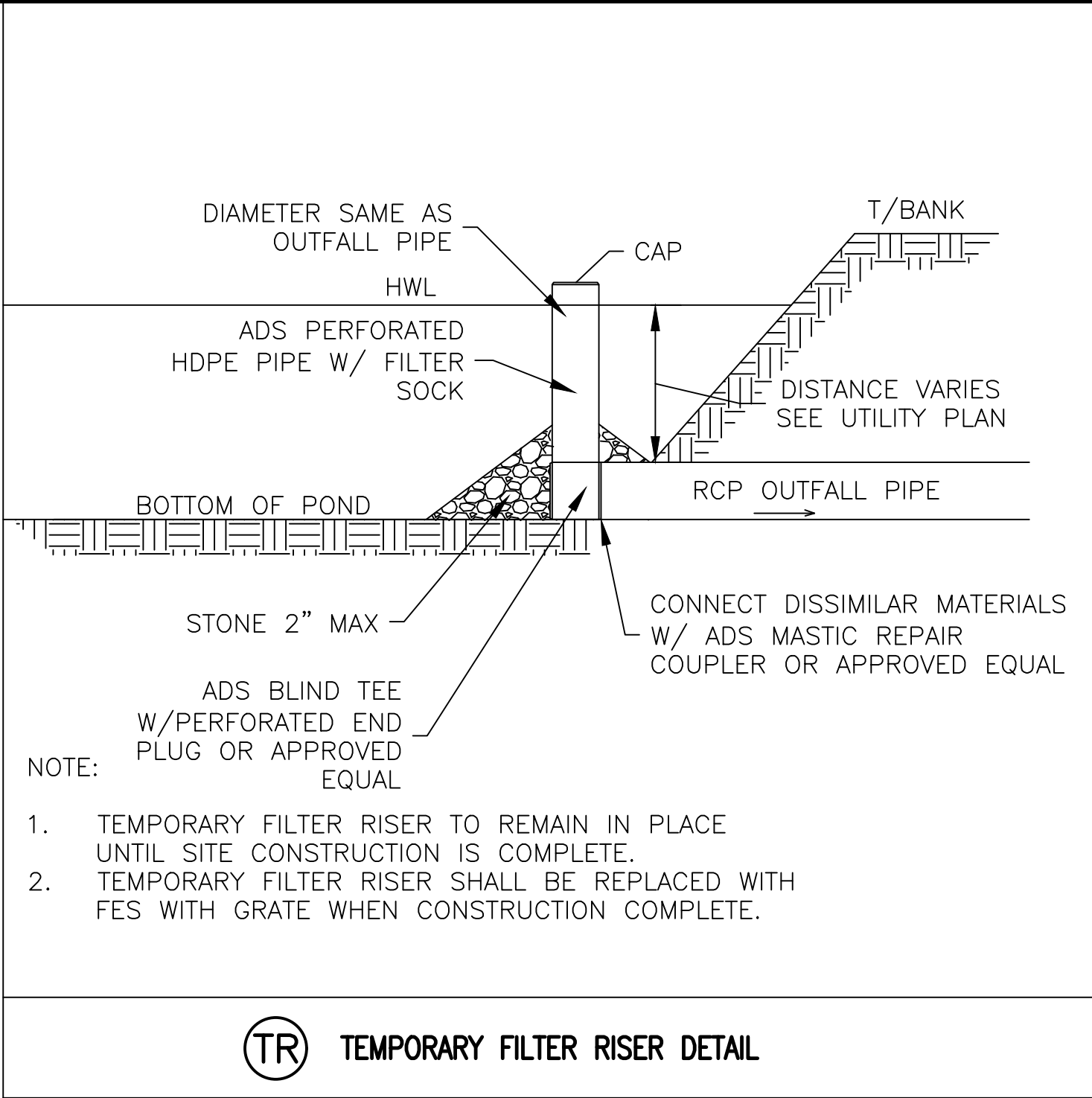
### 5. NON-STORM WATER DISCHARGES

- EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, POSSIBLE SOURCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH THE PROPOSED ACTIVITY, ARE DESCRIBED BELOW:
- FIRE FIGHTING ACTIVITIES
  - FIRE HYDRANT FLUSHINGS
  - WATER USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED
  - WATER USED TO CONTROL DUST
  - POTABLE WATER SOURCES INCLUDING UNCONTAMINATED WATERLINE FLUSHINGS
  - LANDSCAPE IRRIGATION DRAINAGES
  - ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS
  - PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED) AND WHERE DETERGENTS HAVE NOT BEEN USED. UNCONTAMINATED AIR CONDITIONING CONDENSATE
  - SPRINGS
  - IRRIGATION DITCHES
  - UNCONTAMINATED GROUND WATER
  - FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS

### 6. PROHIBITED NON-STORMWATER DISCHARGES

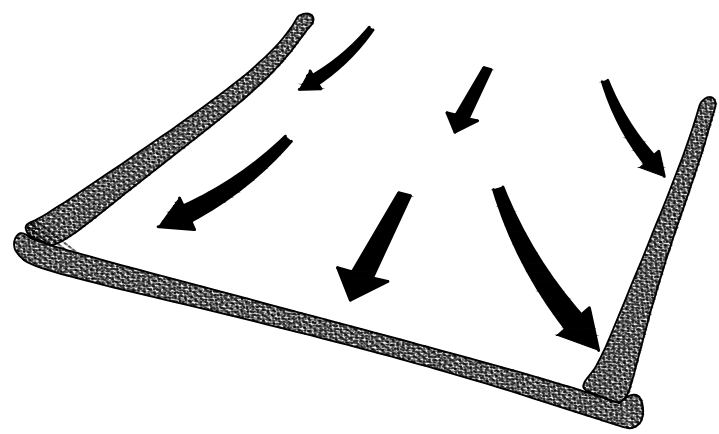
- CONCRETE AND WASTEWATER FROM WASHOUT OF CONCRETE (UNLESS MANAGED BY AN APPROPRIATE CONTROL)
- DRYWALL COM





- THE FOLLOWING KDSWCD STANDARD NOTES SHOULD BE INCORPORATED INTO THE PLANS:
  - UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL LATEST EDITION.
  - THE KANE-DUPAGE SOIL AND WATER CONSERVATION DISTRICT (KDSWCD) MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
  - A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
  - PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY THE KDSWCD.
  - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE KDSWCD.
  - DURING DEWATERING OPERATIONS, WATER WILL BE FILTERED OR PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FILED TILES OR STORM WATER STRUCTURES IS PROHIBITED.
  - IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND ASSURE COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONDITION OF THE JURISDICTIONAL WETLAND SHALL BE A PRIORITY FOR ALL SOIL EROSION AND SEDIMENT CONTROL INSPECTIONS. IF ANY MEASURES ARE FAILING TO PROTECT THE AREA, THEN IMMEDIATE CORRECTONAL MEASURES SHALL BE TAKEN.
- THE EFFECTIVENESS OF ANY PROPOSED "SILT WORM" BEING USED AS A DOWNSTREAM PROTECTION MECHANISM FOR THE JURISDICTIONAL WETLAND WILL BE A PRIORITY FOR EACH WEEKLY AND POST STORM INSPECTION.
- THE ESTABLISHMENT AND STABILIZATION OF THE SITE STORM WATER BASINS SHALL BE A PRIORITY UPON THE COMMENCEMENT OF EARTH WORK.
- THE TOTAL AMOUNT OF EXPOSED SOILS FROM ANY WETLAND PROTECTION MECHANISM WILL BE TAKEN INTO CONSIDERATION AND COMPARED WITH THE GUIDELINES OF THE ILLINOIS URBAN MANUAL.
- IN THE EVENT OF OUTLOT C OVERTOPPING, THE PATHWAY OF CONVEYANCE BEYOND THE OVERTLOW WEIR WILL BE ACCESSED AND GIVEN ADDITIONAL STABILIZATION/VELOCITY DISSIPATION MEASURES.
- SHORT TERM WEATHER PROJECTIONS WILL BE UTILIZED FOR INITIATING STABILIZATION MEASURES.
- IMMEDIATE STABILIZATION MEASURES SHALL BE PUT INTO PLACE FOLLOWING THE INSTALLATION OF THE WATERMAN.
- ALL INLETS SURROUNDING THE SITE WITH POTENTIAL OF BEING IMPACTED FROM CONSTRUCTION SHALL RECEIVE ADEQUATE INLET PROTECTION.

### SILT WORM PERIMETER CONTROL SPECIFICATIONS



#### PERIMETER CONTROL:

PLACE SILT WORM DIRECTLY ON TOP OF GRADE, AND OVERLAP ENDS A MINIMUM OF 6". SITE PREPARATION IS MINIMAL, AND THERE IS NO STAKING OR TRENCHING REQUIREMENT FOR GRADES UNDER 12%. ARRANGE THE SILT WORM PERIMETER CONTROL IN A MANNER THAT IS APPLIED PERPENDICULAR TO SHEET FLOW. ENSURE GROUND CONTACT.

### SILT WORM INSTALLATION SPECIFICATIONS

SILT WORM HEIGHTS INSTALLED		
NOMINAL DIAMETER, D	INSTALLED HEIGHT OF SINGLE SILT WORM	INSTALLED HEIGHT OF STACKED SILT WORM
9"	7.5"	15"
12"	9.5"	19"
18"	14.5"	29"
24"	19"	38"

MINIMUM SPECIFICATION FOR SILT WORM			
PROPERTY	UNITS	RANGE	
PH	PH	5.0-8.5	
MOISTURE CONTENT	% WET WEIGHT BASIS	<20	
PARTICLE SIZE	% PASSING SELECTED MESH SIZE, DRY WEIGHT BASIS	1 1/2"-2"-90% FINES = 10% MAX. PARTICLE SIZE 2"	

SILT WORM CAN BE PLACED IN DITCHES OR AT THE TOP, ON THE FACE, OR AT THE TOE OF A SLOPE AS SEDIMENT TRAPPING DEVICE. SILT WORM CAN ALSO SERVE TO REMOVE SEDIMENT FROM RUNOFF AND RELEASE FILTERED WATER AS SHEET FLOW.

SILT WORM INSTALLATION ON A SLOPE SHALL BE PLACED ALONG OR ON THE GROUND CONTOUR, WHERE POSSIBLE. SILT WORM APPLIED TO THE TOE OF A SLOPE SHOULD BE PLACED 10 FEET AWAY FROM THE TOE IN ORDER TO PROVIDE SPACE FOR SEDIMENT STORAGE. MAXIMUM DRAINAGE AREA SHALL BE 1/2 ACRE PER 100 LF OF SILT WORM.

FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 15 ACRES, AT SITES WHICH OUTFALL TO EXCEPTIONAL WATER OR SEDIMENT-IMPAIRED STREAMS, THE MAXIMUM DRAINAGE AREA SHALL BE LIMITED TO 10 ACRES.

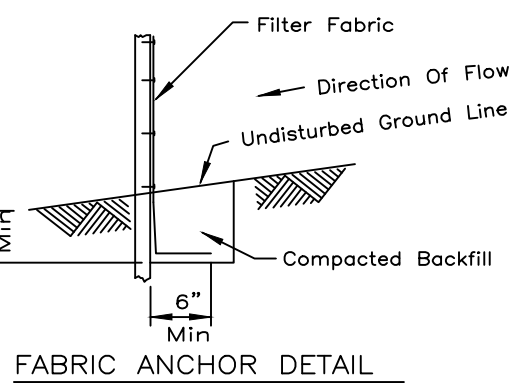
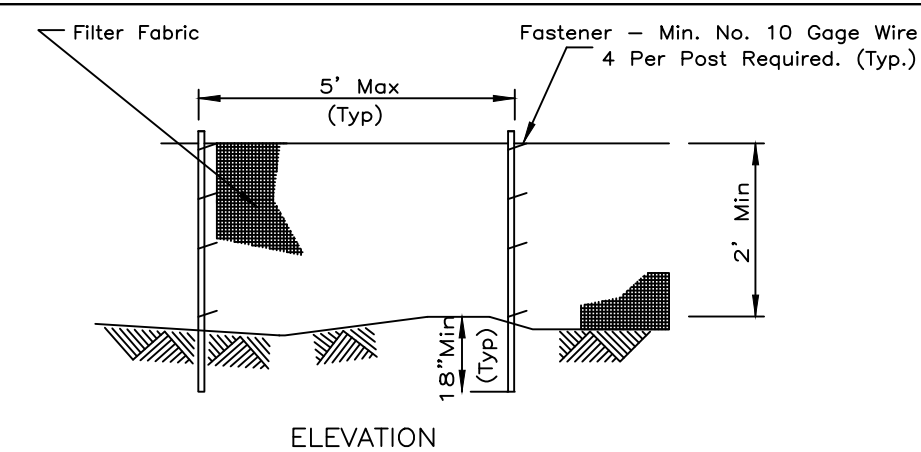
SILT WORM SHALL BE PLACED PERPENDICULAR TO THE FLOW OF WATER. SILT WORM SHALL CONTINUE UP THE SIDE SLOPES TO THE TOP OF BANK OR A MAXIMUM OF 3 FEET ABOVE THE INSTALLED HEIGHT. SILT WORM SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS ARE PERMANENTLY STABILIZED.

SILT WORM IS SUPPLIED AND INSTALLED IN DIAMETERS OF 9", 12", 18" OR 24" DIAMETER TOLERANCES ARE 2". SILT WORM WILL FLATTEN OUT TO AN OVAL WHEN IN PLACE, THUS THE INSTALLED HEIGHT WILL BE LESS THAN NOMINAL DIAMETER.

SILT WORM SHALL BE INSPECTED AFTER EACH RUNOFF EVENT AND SHALL BE REMOVED AND REPLACED IF SIGNS OF UNDERCUTTING OR DOWNSTREAM SPACING RILLS ARE OBSERVED.

SILT WORM SHOULD BE REMOVED FROM SLOPES AFTER STABILIZATION IS COMPLETE. THIS MAY BE ACCOMPLISHED BY CUTTING THE SILT WORM OPEN AND SPREADING THE FILL MATERIAL ON THE SITE. SILT WORM APPLIED IN DITCH SHALL BE COMPLETELY REMOVED.

### SILT FENCE PLAN



#### NOTES:

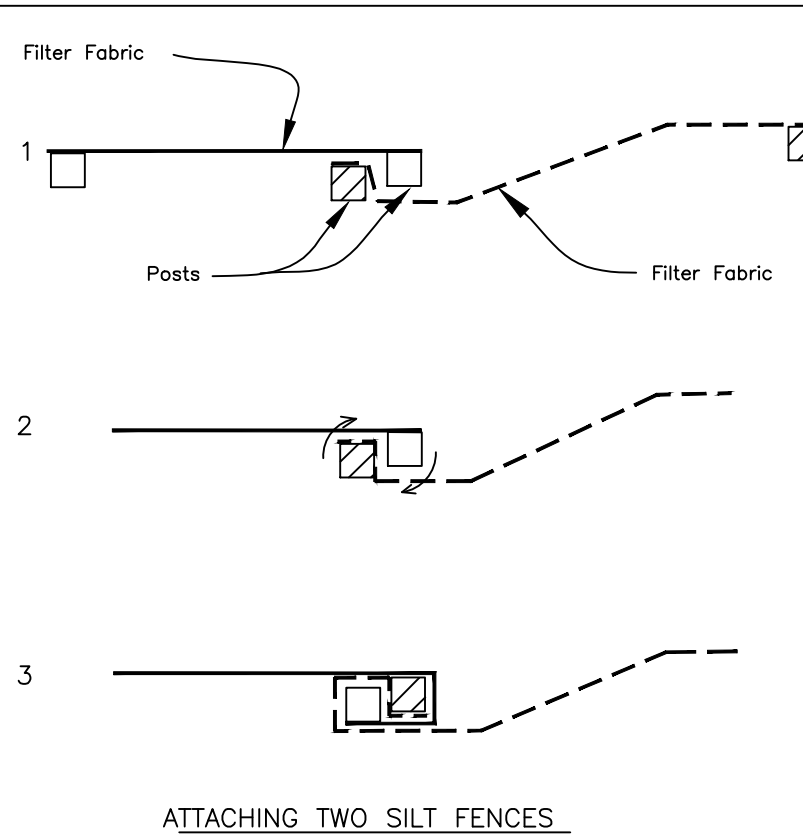
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	Project	Date
Designed	Date	
Checked	Date	
Approved	Date	



STANDARD DWG. NO.	IL-620
SHEET	1 OF 2
DATE	11-20-01

### SILT FENCE



#### NOTES:

- Place the end post of the second fence inside the end post of the first fence.
- Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
- Drive both posts a minimum of 18 inches into the ground and bury the flap.

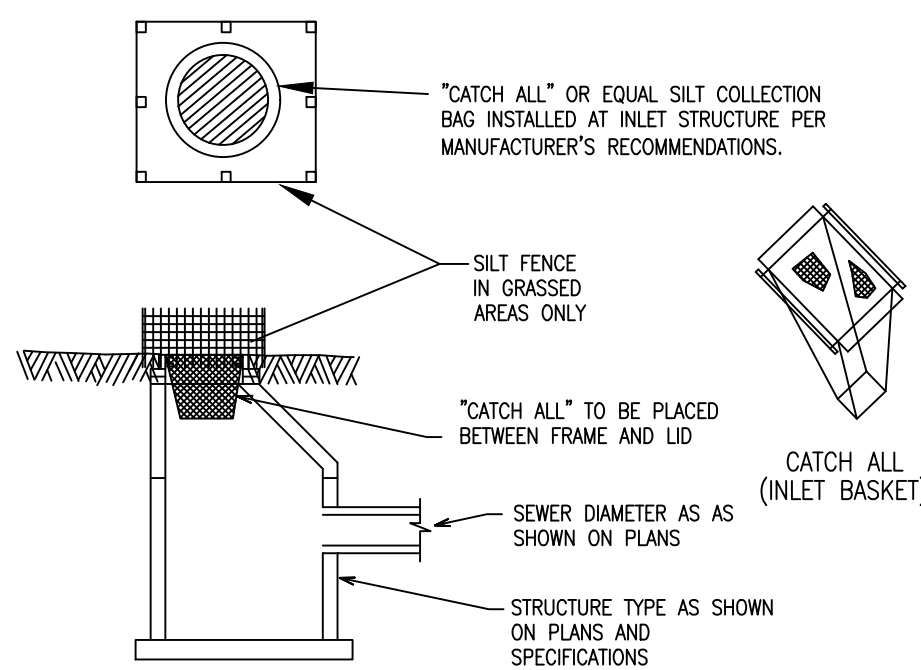
REFERENCE	Project	Date
Designed	Date	
Checked	Date	
Approved	Date	



STANDARD DWG. NO.	IL-620(W)
SHEET	2 OF 2
DATE	1-29-99

### FILTER FABRIC

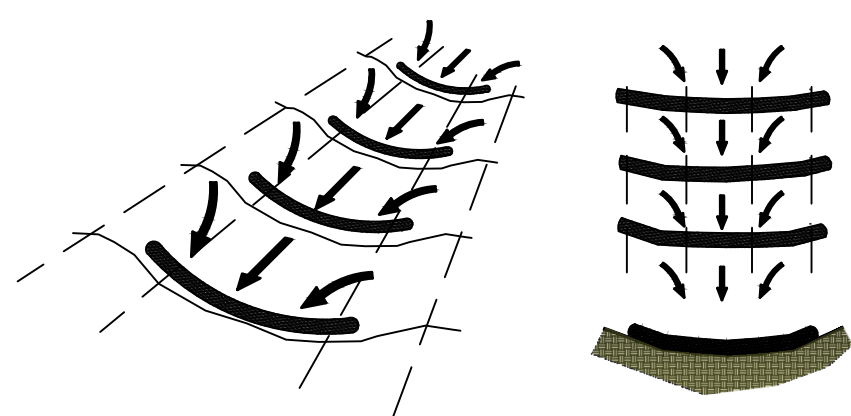
PLAN SYMBOL: FF



### FILTER PROTECTION DETAIL



PLAN SYMBOL: DC

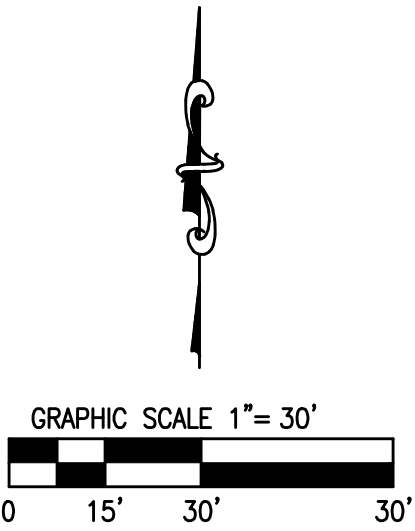
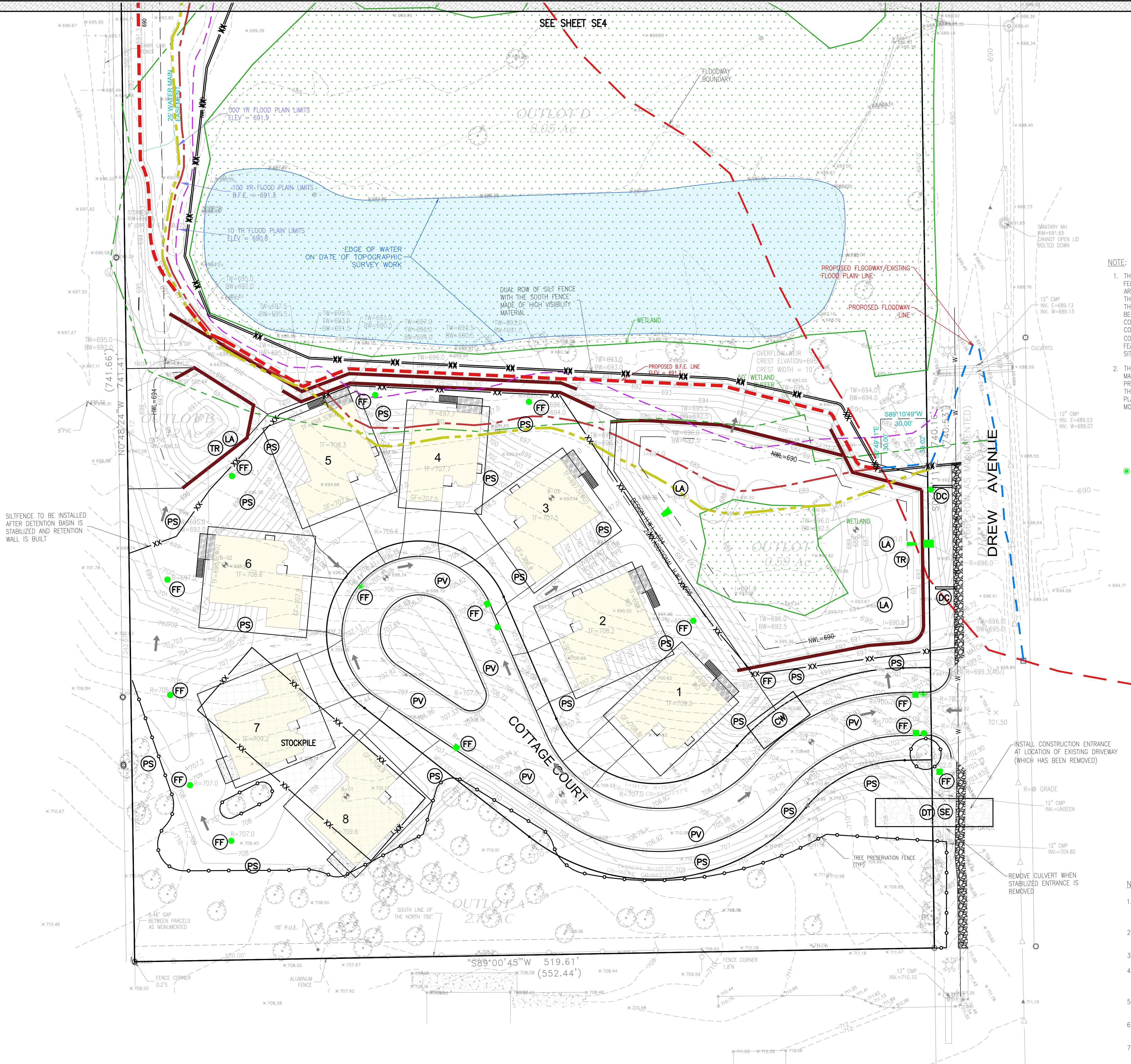


### SILT WORM SPACING FOR DITCH APPLICATION

DITCH SLOPE	MAXIMUM SILT WORM SPACING
2%	80'
3%	80'
4%	50'
5%	30'
6%	20'
GREATER THAN 6%	20'

BASED ON INSTALLED HEIGHT OF 19". SEE TABLE ON EC-STA-6 FOR OTHER HEIGHTS





NOTE:

1. THE IMMEDIATE DOWNSTREAM AREA OF THIS SITE (TO THE NORTH) IS A FEDERALLY-PROTECTED WETLAND AND FLOODPLAIN. FURTHER DOWNSTREAM ARE PRIVATE PROPERTIES OFF-SITE. THE DETAILS AND NOTES OUTLINED IN THESE PLANS ARE MINIMUM MEASURES THAT NEED TO BE FOLLOWED. THE DEVELOPER AND ANY CONTRACTORS WORKING ON THIS SITE SHOULD BECOME FAMILIAR WITH THESE REQUIREMENTS. IF, OVER THE COURSE OF CONSTRUCTION CONDITIONS CHANGE REQUIRING ADDITIONAL EROSION CONTROL MEASURES TO BE IMPLEMENTED THE ENGINEER SHALL BE CONTACTED IMMEDIATELY TO REVISE/UPDATE THE EROSION CONTROL PLAN FEATURES BASED UPON WEATHER CONDITIONS OR THE CONDITION OF THE SITE.

2. THE DEVELOPER AND CONTRACTOR ARE RESPONSIBLE TO CONTROL, MAINTAIN, AND OPERATE THE SITE IN A MANNER WHICH ENSURES THESE PROTECTED AREAS AND DOWNSTREAM PROPERTIES ARE NOT IMPACTED. THEREFORE, ADHERENCE TO THE STORMWATER POLLUTION PREVENTION PLAN, BEST MANAGEMENT EROSION CONTROL PRACTICES, MAINTENANCE, MONITORING, AND INSPECTION BY THE DEVELOPER IS VITAL.

EROSION CONTROL LEGEND

- (TR) TEMPORARY FILTER RISER
- (SE) STABILIZED CONSTRUCTION ENTRANCE (REMOVE EXIST. DRIVEWAY & INSTALL 3" ROCKS PER DETAIL.)
- (DT) DUST CONTROL
- (PV) PAVING
- (PS) PERMANENT SEEDING
- (CW) CONCRETE WASHOUT
- (F) INLET PROTECTION
- (LA) LINED APRON
- (EB) EROSION CONTROL BLANKET
- (DC) DITCH CHECK
- XX SILT FENCE OR SILTWORM
- TREE PRESERVATION FENCE

STOCKPILE/MATERIAL STORAGE NOTES:

1. NO MATERIAL STORAGE OR STOCKPILES SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION INCLUDING EXCAVATION OF THE 3 SEDIMENT BASINS.
2. EARTHWORK CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. EARTHWORK CONTRACTOR RESPONSIBLE FOR DUST CONTROL.
4. EARTHWORK CONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
6. NO MATERIAL STORAGE OR STOCK PILE SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.
7. FLOC LOG MAY BE REQUIRED BY VILLAGE ENGINEER TO PROTECT WETLANDS FROM SEDIMENT TRANSPORT.

REMARKS		DATE	NO.
REVISED PER VILLAGE & COUNTY		3/18/19	1
REVISED PER VILLAGE & COUNTY		4/18/19	3
REVISED PER COUNTY		5/24/19	4
REVISED PER VILLAGE & COUNTY		10/16/19	5

**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
630-520-2467  
WWW.ADVANTAGE.IL



SOIL EROSION AND  
SEDIMENT CONTROL PLAN  
**THE COTTAGES OF DREW**  
**BURR RIDGE, ILLINOIS**

**JARPER PROPERTIES, LLC**  
**16W231 S. FRONTAGE ROAD, SUITE 17**  
**BURR RIDGE, IL 60527**

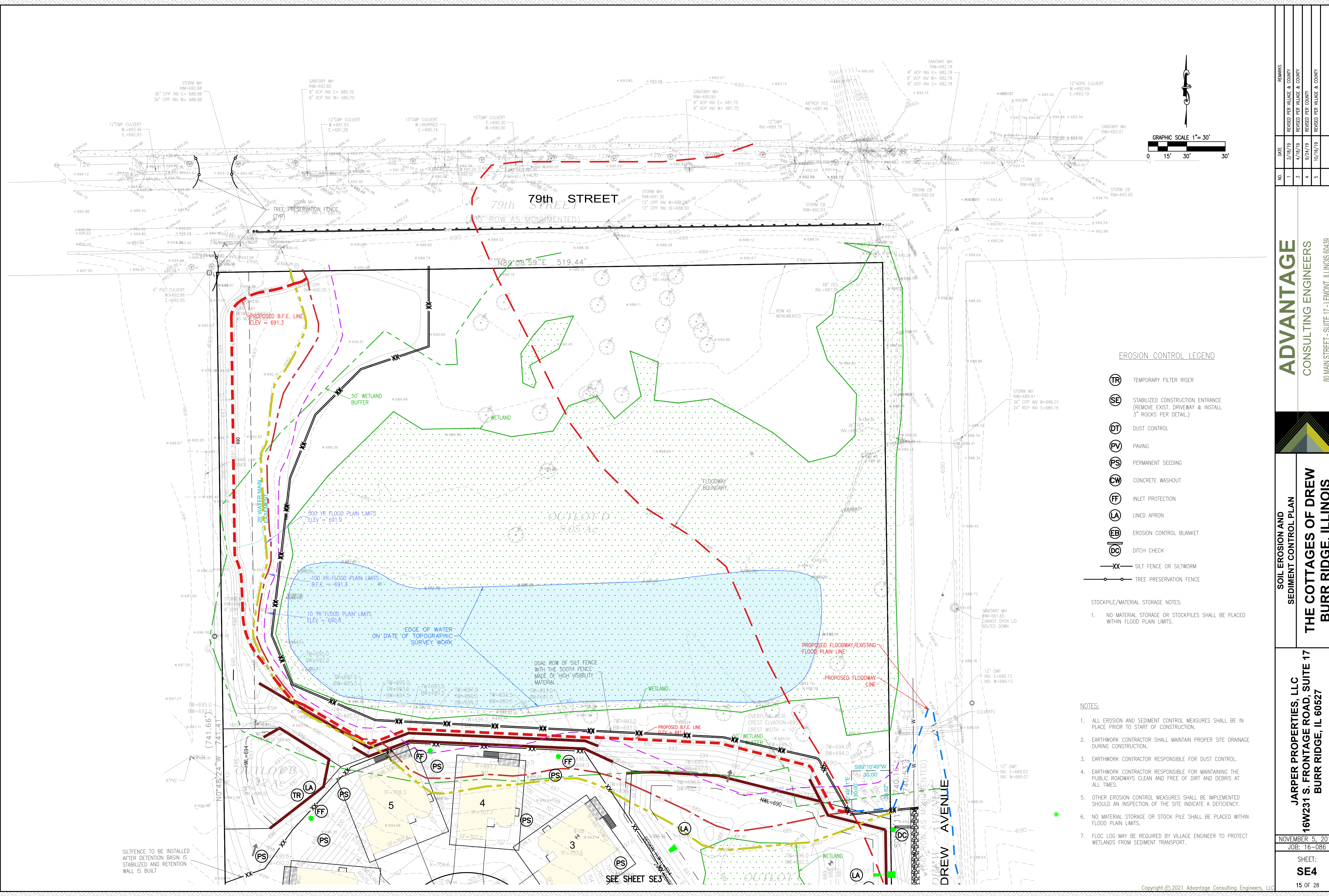
NOVEMBER 5, 2018

JOB: 16-086

SHEET:  
**SE3**

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EROSION CONTROL LEGEND

- TR TEMPORARY FILTER RISER
- SE STABILIZED CONSTRUCTION ENTRANCE (REMOVE EXIST. DRIVEWAY & INSTALL 3" ROCKS PER DETAIL.)
- DT DUST CONTROL
- PV PAVING
- PS PERMANENT SEEDING
- CW CONCRETE WASHOUT
- FF INLET PROTECTION
- LA LINED APRON
- EB EROSION CONTROL BLANKET
- BC DITCH CHECK
- XX SILT FENCE OR SILTWORM
- TREE PRESERVATION FENCE

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NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
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- NO MATERIAL STORAGE OR STOCK PILE SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.
- FLOC LOG MAY BE REQUIRED BY VILLAGE ENGINEER TO PROTECT WETLANDS FROM SEDIMENT TRANSPORT.

**ADVANTAGE**  
CONSULTING ENGINEERS



**THE COTTAGES OF DREW**  
BURR RIDGE, ILLINOIS

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BURR RIDGE, IL 60527

NOVEMBER 5, 2018  
JOB: 16-086

SHEET:  
**SE4**  
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	<div>SANITARY SEWER</div> <div><div><div><div><div><div>1.</div><div>UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE. ALL PIPE SHALL CONFORM TO ASTM D-3034 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3212, THE STANDARD DIMENSION RATIO (SDR) FOR PIPE SHALL BE 26. WHEN SHOWN, PVC SDR 21 SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE CONFORMING TO ASTM D-2241 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3139. THE PVC D1818 SANITARY SEWER SHALL CONFORM TO AWWA C900/C905 WITH RUBBER GASKET JOINTS CONFORMING TO AWWA C900/C905</div></div><div><div>2.</div><div>CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT ALLOWED.</div></div><div><div>3.</div><div>ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY AND/OR AUTHORIZED AGENCY.</div></div><div><div>4.</div><div>ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321, CL. I</div></div><div><div>5.</div><div>COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER.</div></div><div><div>6.</div><div>BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL SANITARY SEWERS. SANITARY SEWERS SHALL HAVE TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF 12" FOR SANITARY SEWER PIPE. THE BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321 CLASS I.</div></div><div><div>7.</div><div>WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION.</div></div><div><div>8.</div><div>NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE.</div></div><div><div>9.</div><div>THE TESTING OF PIPES' STRAIGHTNESS, AND FIELD TESTING SHALL BE IN ACCORDANCE WITH DEVELOPMENT CODE OF THE COUNTY. COUNTY WILL INSPECT AND APPROVE THE INSTALLATION. CONTACT COUNTY P.W. DEPARTMENT AT 630-407-6801 AT LEAST 24 HOURS PRIOR TO INSPECTION.</div></div><div><div>10.</div><div>SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D., PRECAST REINFORCE CONCRETE CONFORMING TO COUNTY STANDARD DETAIL.</div></div><div><div>11.</div><div>ALL SANITARY SEWER MANHOLE LIDS SHALL BE NENMAM R-1772 OR APPROVED EQUAL. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" AND THE MUNICIPALITY OR SANITARY DISTRICT NAME EMBOSSED ON THE LID.</div></div><div><div>12.</div><div>ALL MANHOLE JOINTS SHALL BE SEALED WITH BUTYL ROPE JOINTS, NO MORE THAN EIGHT INCHES (8") OF PRECAST CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. ALL PIPE OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES PER ASTM C-923. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOW.</div></div><div><div>13.</div><div>DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS ONE FOOT (1') OR AT LOCATIONS SHOWN ON THE PLANS. THE ENTIRE EXTERIOR DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL.</div></div><div><div>14.</div><div>INSPECTION OF MANHOLES: ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AND ALL VISIBLE LEAKAGE ELIMINATED BEFORE FINAL INSPECTION AND ACCEPTANCE.</div></div><div><div>15.</div><div>TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE TESTED FOR LOW PRESSURE AIR TEST, AND DEFLECTION TEST PER STANDARD SPECIFICATIONS AND SUBDIVISION REGULATIONS OF THE MUNICIPALITY AND SHALL BE APPROVED BY THE MUNICIPALITY BEFORE ACCEPTANCE. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED FOR LEAKAGE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND ASTM C 1244.</div></div><div><div>16.</div><div>ALL SANITARY SEWERS SHALL BE TESTED AND A COPY OF THE DISK AND A WRITTEN REPORT SHALL BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL. THE REPORT SHALL INCLUDE SUB LOCATIONS AND DESCRIPTION OF ALL DEFECTS, WATER LEVEL, AND LEAKS. IDENTIFY LENGTHS FROM MANHOLE NUMBER SPECIFIED ON THE APPROVED PLANS. ALL COSTS SHALL BE INCIDENTAL TO THE WORK. TESTING SHALL BE WITNESSED AND APPROVED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE.</div></div><div><div>17.</div><div>IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE WORKMANSHIP AS NECESSARY TO PASS THE TEST REQUIREMENTS.</div></div><div><div>18.</div><div>CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING". ASTM STANDARD D-2412. TESTS SHALL ALSO BE CONDUCTED IN ACCORDANCE WITH ASTM D-3212 TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT, AS SPECIFIED IN ASTM D-3212 SPECIFICATIONS.</div></div><div><div>19.</div><div>ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.</div></div><div><div>19.</div><div>THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) AND SUBMIT TO GOVERNING PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND OTHERWISE CORRECT THE DEFICIENCIES. AS BUILT SURVEY MUST BE SUBMITTED TO COUNTY FOR APPROVAL. NO HOMES CAN BE CONNECTED TO SANITARY SEWER UNTIL AS BUILT SURVEY IS APPROVED BY COUNTY.</div></div></div></div></div></div>	<div>1. TOPSOIL EXCAVATION</div> <div><div>EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION BELOW STRUCTURALLY UNSUITABLE MATERIALS OR COMPACTED EARTH FILL MATERIAL, AND CUT AREAS OF THE NON-STRUCTURAL ZONES. TOPSOIL MAY NOT HAVE TO BE REMOVED IF FILL IS TO BE PLACED IN NON-STRUCTURAL FILL AREAS SUCH AS REAR YARDS.</div><div>PLACEMENT OF EXCAVATED MATERIAL FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL ARE TO BE APPROVED BY OWNER PRIOR TO PLACEMENT.</div><div>EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT TO BE STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</div><div>TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING A MINIMUM OF 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</div><div>MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</div></div> <div>2. EARTH EXCAVATION</div> <div><div>EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET +/- OF THE PLAN SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" AS PART OF THE FINE GRADING OPERATION.</div><div>PLACEMENT OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET +/-, THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN PLAN SUBGRADE ELEVATION, IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS. THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL FILL AREAS.</div><div>COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 95% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AND BUILDING PAD AREAS, SIDEWALK, ETC., 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</div><div>THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE TO REMAIN SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.</div><div>THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ALL EXISTING ITEMS WHICH ARE TO BE REMAIN. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.</div></div> <div>3. UNSUITABLE MATERIAL</div> <div><div>UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT OR BUILDING CONSTRUCTION, AND IF IT IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION IT SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</div></div> <div>4. THE GRADING CONTRACTOR SHALL:</div> <div><div>MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.</div><div>SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED FOR ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.</div><div>SCAFFRY AND COMPACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</div><div>PROVIDE WATER AS DIRECTED BY SOILS ENGINEER TO DRY MATERIAL TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.</div><div>BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.</div><div>BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED IN THESE PLANS. ALL CONTRACTORS SHALL COMPLY WITH SWPPP AND NPDES REQUIREMENTS.</div><div>USE LIME STABILIZATION IN THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS ENGINEER.</div></div> <div>5. TESTING AND FINAL ACCEPTANCE</div> <div><div>THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY GRA REPRESENTATIVE AND OWNER.</div><div>ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT, AND PROOF ROLLING SHALL BE PERFORMED UNTIL THE SUBGRADE IS APPROVED BY THE GRA REPRESENTATIVE AND OWNER.</div><div>THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.</div></div> <div>6. DRAIN TILES</div> <div><div>ANY DRAIN TILES ENCOUNTERED SHALL BE MARKED. ANY DRAIN TILES THAT ARE DAMAGED SHALL BE REPAIRED OR ROUTED FOR POSITIVE DRAINAGE TO AVOID ANY POTENTIAL DRAINAGE ISSUE FOR THE UPSTREAM PROPERTY OWNERS.</div></div>	<div>PAVEMENT</div> <div><div>1. FINE GRADING</div><div>A. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE STREETS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB.</div></div> <div>2. CURB AND GUTTER</div> <div><div>A. THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS.</div><div>B. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.</div><div>C. THE STONE UNDER CURB AND GUTTER SHALL BE CONSIDERED INCIDENTAL.</div><div>D. THE CURB DEPRESSIONS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER PLANS AND IDOT STANDARDS.</div></div> <div>3. PAVEMENT</div> <div><div>A. THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.</div></div> <div>4. GENERAL</div> <div><div>THE PAVING CONTRACTOR SHALL:</div><div>A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.</div><div>B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. ANY DAMAGE TO THE BINDER COURSE SHALL BE REPAIRED BY THE CONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.</div><div>C. PROVIDE CONSTRUCTION, EXPANSION, AND CONTRACTION JOINTS FOR CURB AND GUTTER, AND P.C.C. SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS.</div><div>D. REMOVE ALL EXCESS MATERIALS AND DEBRIS AND DISPOSE OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.</div></div> <div>5. TESTING AND FINAL ACCEPTANCE</div> <div><div>A. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE SUBGRADE LOCATIONS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE SUBGRADE SHALL HAVE MINIMUM BR VALUE OF 3.0.</div><div>B. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED, SHALL</div></div>
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PRESSURE CONNECTION TO EXISTING WATER MAIN W/ 12"x12" MECHANICAL JOINT TAPPING SLEEVE

DESCRIPTION: THIS WORK SHALL CONSIST OF ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED TO CONNECT THE PROPOSED WATER MAIN TO THE EXISTING MAIN WITH A PRESSURE CONNECTION AT LOCATIONS INDICATED ON THE PLANS AND AS SHOWN ON THE DETAILS AND IN ACCORDANCE WITH THE ILLINOIS WATER & SEWER SPECIFICATIONS. THIS ITEM OF WORK SHALL INCLUDE TAPPING SLEEVE, TAPPING MACHINE, TAPPING VALVE AND MAKING A PRESSURE TAP TO CONNECT TO AN EXISTING WATER MAIN. TAPPING SLEEVE SHALL BE OF CAST IRON MATERIAL.

MATERIALS, WATER MAIN AND AUXILIARY VALVES SHALL BE A RESILIENT WEDGE GATE VALVE RATED FOR 250 P.S.I.G. COLD WATER WORKING PRESSURE. HAVE A DUCTILE IRON BODY WITH A MODIFIED WEDGE DISC. HAVE MECHANICAL JOINT ENDS, UNLESS OTHERWISE SPECIFIED, AND BE A NON-RISING STEM TYPE VALVE. THE VALVE SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C515, BOTH MECHANICAL JOINT ENDS SHALL COMPLY WITH AWWA STANDARD C111 AND ANSI STANDARD A21.11 SPECIFICATIONS. FLANGED ENDS SHALL COMPLY WITH ANSI/AWWA C110/A21.10. GATE VALVES SHALL BE EPOXY COATED ACCORDING TO AWWA C550. VALVES 14 INCH AND LARGER SHALL HAVE AN ENCLOSED GEAR CASE. DESIGN SHALL BE OF THE BEVEL GEAR TYPE (HORIZONTAL INSTALLATION) OR AS SPECIFIED ON THE PLANS.

THE TAPPING SLEEVE SHALL BE MUELLER CAST IRON MJ #H615, AMERICAN FLOW CONTROL DUCTILE IRON SERIES 2800, TYLER/UNION DUCTILE IRON, U.S. PIPE DUCTILE IRON T-9, OR APPROVED EQUAL. THE NECK AND BODY SHALL BE 3/8" STEEL PLATE PER AWWA C-200 SPECIFICATIONS.

BOLTS AND NUTS SHALL BE GRADE 304L STAINLESS STEEL, ANNEALED.

SHOP DRAWINGS, SHOP DRAWINGS OF ALL ITEMS RELATED TO THE MANUFACTURER AND INSTALLATION OF THE TAPPING VALVE AND SLEEVE SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO DELIVERY TO THE JOB SITE.

GENERAL, TAPPING VALVES SHALL BE PROVIDED WITH A FLANGED END FOR ATTACHMENT TO THE FLANGE OF THE TAPPING SLEEVE AND WITH A MECHANICAL JOINT END THAT IS SUITABLE FOR ATTACHMENT TO A DRILLING MACHINE. THE EXCEPTION OF VALVE ENDS AND OVERSIZED SEAT RINGS TO PERMIT ENTRY OF THE DRILLING MACHINE CUTTERS, THE TAPPING VALVE SHALL BE OF THE RESILIENT WEDGE, GATE VALVE TYPE AS PREVIOUSLY SPECIFIED IN THE SPECIAL PROVISION FOR GATES VALVES.

PRIOR TO MOUNTING THE TAPPING MACHINE, ALL COMPONENTS OF THE TAPPING VALVE, SLEEVE, AND TAPPING MACHINE SHALL BE DISINFECTED. THE ENGINEER SHALL WITNESS CLEANING, PREPARATION, AND DISINFECTION OF THE PORTION OF THE EXISTING WATER MAIN THAT THE FITTING AND VALVE ASSEMBLY WILL BE MOUNTED ON.

THE FOLLOWING IS THE SUGGESTED SEQUENCE OF THE TAPPING PROCESS:

- 1.INSTALL FITTING AND VALVE TO THE EXISTING PIPELINE.
- 2.INSTALL TAPPING MACHINE TO THE OUTLET FLANGE OF THE TAPPING VALVE, MAKING A PRESSURE TIGHT CONNECTION.
- 3.PERFORM HOT TAP THROUGH THE OPEN VALVE, RETAINING THE 'COUPON' CUTOUT REMOVED DURING THE HOT TAP OPERATION.
- 4.INSTALLATION SHALL BE PRESSURE TESTED IN ACCORDANCE WITH SECTION 46-6 OF THE WATER AND SEWER SPECIFICATIONS.
- 5.RETRACT CUTTER ASSEMBLY.
- 6.CLOSE HOT TAPPING VALVE.
- 7.REMOVE HOT TAP MACHINE TO ALLOW FOR CONNECTION TO NEW PIPE.

BASIS OF PAYMENT. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR PRESSURE CONNECTION TO EXISTING WATER MAIN W/ 12"x12" MECHANICAL JOINT TAPPING SLEEVE, WITH TAPPING VALVE, WHICH SHALL BE PAYMENT IN FULL FOR ALL LABOR, EQUIPMENT, MATERIALS, AND ALL OTHER WORK REQUIRED TO COMPLETE THE INSTALLATION OF THE WATER MAIN CONNECTION INCLUDING THE TAPPING VALVE, PIPE, FITTINGS, SOLID SLEEVE / FLEXIBLE COUPLING, INSTALLATION AND PRESSURE CAPS, THRUST BLOCKS, POLYETHYLENE ENCASEMENT, EXCAVATION, TRENCH BACKFILL AND LEGAL DISPOSAL OF ALL EXCESS MATERIAL.

METALLIC ZINC COATED DUCTILE IRON WATER MAIN ENCASED IN V-BIO® ENHANCED POLYETHYLENE PLASTIC

DESCRIPTION: THIS ITEM CONSISTS OF FURNISHING AND INSTALLING METALLIC ZINC COATED DUCTILE IRON PIPE WITH V-BIO® ENHANCED POLYETHYLENE ENCASEMENT WITH TRACER WIRE AND WARNING TAPE. IN OPEN TRENCH, FITTINGS, JOINT MATERIALS, TESTING AND FLUSHING THE NEW MAIN, TAKING AND TRANSPORTING WATER SAMPLES FOR BACTERIOLOGICAL ANALYSIS, AND ALL OTHER WORK AS MAY BE NECESSARY FOR A COMPLETE INSTALLATION.

THIS WORK SHALL BE IN ACCORDANCE WITH APPLICABLE PARAGRAPHS OF SECTIONS 208, 561, AND 1000 OF THE STANDARD SPECIFICATIONS, APPLICABLE SECTIONS OF STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, APPLICABLE SECTIONS OF AWWA STANDARDS, PLAN DETAILS AND AS REVISED OR AMENDED IN THIS SPECIAL PROVISION AS FOLLOWS:

GENERAL DESCRIPTION OF WORK AND PROCEDURES.

A.TRENCH EXCAVATION

DURING ANY ONE WORKING DAY, THE CONTRACTOR SHALL EXCAVATE SUCH TRENCHES THAT WILL HAVE THE WATER MAIN INSTALLED AND BACKFILLED WITHIN THE SAME WORKING DAY. THE TRENCHES SHALL BE EXCAVATED FOR ALL JOINTS AND THE TIE. IT SHALL BE TEMPORARILY BACKFILLED UNTIL CONSTRUCTION RESUMES. IMMEDIATELY FOLLOWING THE BACKFILLING OF TRENCHES, ALL EXCAVATION MATERIAL SHALL BE HAULED OFF THE JOB SITE AND DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE.

B.POLYETHYLENE ENCASEMENT

TO PROTECT DUCTILE IRON PIPE FROM THE CORROSIVE SOIL, ALL WORK SHALL BE WRAPPED WITH V-BIO® ENHANCED POLYETHYLENE ENCASEMENT. POLYETHYLENE ENCASEMENT FOR USE WITH DUCTILE IRON PIPE SHALL MEET ALL THE REQUIREMENTS FOR ANSI/ AWWA C105/A21.5, POLYETHYLENE ENCASEMENT FOR DUCTILE IRON PIPE SYSTEMS.

IN ADDITION, POLYETHYLENE ENCASEMENT FOR USE WITH DUCTILE IRON PIPE SYSTEMS SHALL CONSIST OF THREE LAYERS OF CO-EXTRUDED LINEAR LOW DENSITY POLYETHYLENE (LLD PE), FUSED INTO A SINGLE THICKNESS OF NOT LESS THAN 8 MILS.

THE INSIDE SURFACE OF THE POLYETHYLENE WRAP TO BE IN CONTACT WITH THE PIPE EXTERIOR SHALL BE INFUSED WITH A BLEND OF ANTI-MICROBIAL BIOCIDES TO MITIGATE MICROBIOLOGICALLY INFLUENCED CORROSION AND A VOLATILE CORROSION INHIBITOR TO CONTROL GALVANIC CORROSION. THE POLYETHYLENE ENCASEMENT SHALL BE APPLIED TO THE DUCTILE IRON PIPE AND THE POLYETHYLENE ENCASEMENT USED TO PROTECT IT SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C660 AND ANSI/ AWWA C105/ A21.5 AND ALSO IN ACCORDANCE WITH ALL RECOMMENDATIONS, AND PRACTICES OF THE AWWA MANUAL OF WATER SUPPLY PRACTICES. DUCTILE IRON PIPE AND FITTINGS, SPECIFICALLY, THE WRAP SHALL BE OVERLAPPED ONE FOOT IN EACH DIRECTION AT JOINTS AND SECURED IN PLACE AROUND THE PIPE AND ANY WRAP AT TAP LOCATIONS SHALL BE TAPED TIGHTLY PRIOR TO TAPPING AND INSPECTED FOR ANY NEEDED REPAIRS FOLLOWING THE TAP.

ALL INSTALLATIONS SHALL BE CARRIED OUT BY PERSONNEL TRAINED AND EQUIPPED TO MEET THESE VARIOUS REQUIREMENTS:

- 1.PICK UP THE PIPE WITH A SLING OR PIPE TONGS. SUE A POLYETHYLENE TUBE WHICH IS APPROXIMATELY TWO FEET LONGER THAN THE PIPE OVER THE PLAIN END AND LEAVE IT BUNCHED UP ACCORDION STYLE.
- 2.LOWER THE PIPE INTO THE TRENCH AND MAKE UP THE JOINT WITH THE PRECEDING PIPE. SHALLOW BELT HOLES ARE REQUIRED TO ALLOW OVERLAP OF THE TUBE AT THE JOINTS.
- 3.REMOVE THE SLING OR TONGS FROM THE CENTER OF THE PIPE. RAISE THE BELL A FEW INCHES AND SLIP THE POLYETHYLENE TUBE ALONG THE PIPE BARREL, LEAVING APPROXIMATELY ONE FOOT OF THE TUBE BUNCHED UP AT EACH END OF THE PIPE FOR WRAPPING THE JOINTS.
- 4.OVERLAP EACH JOINT BY FIRST PULLING ONE BUNCHED-UP TUBE OVER THE BELL, FOLDING IT AROUND THE ADJACENT PLAIN END AND SECURING IT IN PLACE WITH TWO OR THREE WRAPS OF THE POLYETHYLENE ADHESIVE TAPE. COMPLETE THE OVERLAP BY REPEATING THE SAME PROCEDURE WITH THE BUNCHED-UP TUBE ON THE ADJACENT PIPE.
- 5.TAKE UP THE SLACK TUBE ALONG THE PIPE BARREL BY FOLDING IT OVER THE TOP OF THE PIPE HOLDING THE FOLD IN PLACE WITH POLYETHYLENE ADHESIVE TAPE.
- 6.REPAIR ANY PIPS, PUNCTURES OR OTHER DAMAGE TO THE POLYETHYLENE WITH TAPE OR BY CUTTING OPEN A SHORT LENGTH OF TUBE, WRAPPING IT AROUND THE PIPE AND SECURING WITH POLYETHYLENE TAPE.

INSTALLATION OF POLYETHYLENE OVER FITTINGS, VALVES, AND PIPING SPECIALTIES:

FIT BENDS, REDUCERS AND OFFSETS WITH POLYETHYLENE TUBE IN THE SAME MANNER DESCRIBED ABOVE FOR PIPE.

WRAP VALVES, TEES, CROSSES AND SPECIALTY ITEMS WITH A FLAT SHEET OBTAINED BY SPLITTING OPEN A LENGTH OF POLYETHYLENE TUBE. PASS THE SHEET UNDER THE VALVE OR FITTING AND BRING IT UP AROUND THE BODY. JOIN THE SEAMS BY BRINGING THE EDGES TOGETHER, FOLDING OVER TWICE AND SECURING IN PLACE WITH POLYETHYLENE TAPE.

C.DUCTILE IRON PIPE AND FITTINGS

COATING

THE EXTERIOR OF DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ARC-SPRAYED ZINC PER ISO 8179. THE MASS OF THE ZINC APPLIED SHALL BE 200 G/M<sup>2</sup> OF PIPE SURFACE AREA. A FINISHING LAYER TOPCOAT SHALL BE APPLIED TO THE ZINC. THE COATING SYSTEM SHALL CONFORM IN EVERY RESPECT TO ISO 8179-1 DUCTILE IRON PIPES - EXTERNAL ZINC-BASED COATING - PART 1: METALLIC ZINC WITH FINISHING LAYER. SECOND EDITION 2004-06-01."

INSTALLATION OF DUCTILE IRON PIPE AND FITTINGS

ALL DUCTILE IRON WATERMAIN PIPE SHALL CONFORM TO THE DIMENSION, WEIGHT, CHARACTER OF MATERIALS, ALLOWABLE VARIATIONS IN DIMENSIONS, MANUFACTURING METHOD OF MANUFACTURING, MARKING AND COATING TO ANSI/AWWA-C151/A21.1. THE THICKNESS OF THE PIPES SHALL HAVE A CLASS 52 STANDARD WALL THICKNESS IN ACCORDANCE WITH ANSI/AWWA-C151/A21.51.

ALL JOINTS SHALL BE SUPER BELL-TITE PUSH-ON JOINTS AND MEET THE REQUIREMENTS OF ANSI/AWWA-C111/A21.11. ALL FITTINGS SHALL BE FULL BOLT DUCTILE IRON MECHANICAL JOINT FITTINGS AND MEET ANSI-C110 AND SHALL HAVE A 250-PSI PRESSURE RATING. FITTINGS NOT INCLUDED IN AWWA C110 SHALL BE APPROVED BY THE ENGINEER. ALL DUCTILE IRON WATERMAIN PIPE SHALL HAVE A CEMENT MORTAR LINING WITH A BITUMINOUS SEAL COAT IN ACCORDANCE WITH ANSI/AWWA C111/A21.11. STANDARD CEMENT LINING SHALL BE NO LESS THAN 1/16-INCH ON ALL PIPE UP TO 12-INCH DIAMETER, AND 3/16-INCH THICK ON ALL PIPE 14-INCH THROUGH 24-INCH DIAMETER. EXTERIOR OF PIPE AND FITTINGS USED IN SUBMERGED OR BURIED APPLICATIONS SHALL BE SHOP COATED WITH A BITUMINOUS COATING NOT LESS THAN 1.0 MIL THICK.

FITTINGS SHALL BE A-304 STAINLESS STEEL ASTM F 593 AND F 594 BOLTS, NUTS, WASHERS, AND TIE RODS. (ADDED BY ORDINANCE A-894-03-08)

THE WATERMAIN SHALL BE LAID ON A WELL COMPACTED FLAT BOTTOM TRENCH, TRUE AND EVEN, SO THAT THE BARREL OF THE PIPE WILL HAVE A BEARING FOR ITS FULL LENGTH, UNLESS OTHERWISE DIRECTED. WATERMAIN PIPE SHALL BE LAID WITH THE BELL ENDS FACING THE DIRECTION OF LAYING, WHEN THE GRADE EXCEEDS 2- FEET OF RISE PER 100- FEET OF TRENCH, THE BELLS SHALL FACE UP- GRADE. BEFORE EXCAVATION OF THE TRENCH, THE BELLS SHALL BE 4-INCHES IN DEPTH AND EXTEND 6-INCHES IN FRONT OF THE FACE OF THE BELL. ANY PART OF THE TRENCH EXCAVATED BELOW GRADE SHALL BE CORRECTED WITH GRANULAR MATERIAL AND THOROUGHLY COMPACTED. THE MINIMUM COVER OF THE PIPE SHALL BE FIVE (5) FEET.

AT ALL TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY A WATER-TIGHT PLUG OR BY OTHER MEANS APPROVED BY THE ENGINEER. IF THERE IS WATER IN THE TRENCH, THE SEAL SHALL REMAIN IN PLACE UNTIL THE TRENCH IS PUMPED COMPLETELY DRY. NO PIPE SHALL BE LAID IN WATER OR WHEN, IN THE OPINION OF THE ENGINEER, TRENCH CONDITIONS ARE NOT SUITABLE.

WHENEVER IT BECOMES NECESSARY TO LAY A MAIN OVER, UNDER OR AROUND A KNOWN OBSTRUCTION, THE CONTRACTOR WILL FURNISH AND INSTALL THE REQUIRED FITTINGS, THE LAYING OF SUCH FITTINGS SHALL BE INCLUDED IN THE UNIT PRICE. BUT FOR THE SIZE OF WATER MAIN, NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY EXPENSES INCURRED BECAUSE OF SUCH OBSTRUCTION.

REMOVAL AND DISPOSAL OF ANY KNOWN ABANDONED UNDERGROUND UTILITIES AS SHOWN ON PLANS WILL BE CONSIDERED INCIDENTAL TO THE INSTALLATION OF THE WATER MAIN. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY EXPENSES INCURRED BECAUSE OF SUCH WORK.

ALL BENDS, CAPS, TEES, PLUGS, VALVES, FITTINGS AND HYDRANTS AT A POINT IN THE PIPELINE WHERE THERE IS A CHANGE IN DIRECTION OR AT A DEAD END SHALL BE THRUST BLOCKED OR RESTRAINED BY THE USE OF MEGA LUGS. THRUST BLOCKING SHALL BE POURED PORTLAND CEMENT CONCRETE A MINIMUM OF 2-INCHES THICK, AND BE POURED AGAINST FIRM MATERIAL DURING. THEY SHALL BE FORMED SO THAT THE PIPE JOINTS ARE KEPT FREE FROM CONCRETE.

FOR WATER MAIN APPROACHING OR EXITING ANY HORIZONTAL OR VERTICAL BEND FITTING, ALL PUSH-ON JOINTS SHALL HAVE FIELD LOK GASKETS. THE PLACEMENT OF FIELD LOK GASKETS SHALL BE:

GASKETS SHALL BE AS SPECIFIED UNDER FIELD LOK GASKETS FOR DI WATER MAIN, OF THE DIAMETER SPECIFIED, OF THESE SPECIAL PROVISIONS.

THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE VILLAGE'S WATER AND SEWER SUPERINTENDENT FOR A REQUEST FOR A WATER SHUT-OFF SO THAT THE CUSTOMERS CAN BE NOTIFIED BY THE VILLAGE WATER DEPARTMENT OF ANY SERVICE INTERRUPTION. THE VILLAGE'S WATER AND SEWER SUPERINTENDENT SHALL DETERMINE THE TIME AND DURATION OF THE SHUT-OFF. THE CONTRACTOR SHALL CONTINUE THE WORK TO COMPLETION, AND RESTORE SERVICE TO THE INTERRUPTED MAIN. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR OVERTIME DUE TO THE HOURS OF SHUT-OFF.

A.TRACER WIRE AND WARNING TAPE

TRACER WIRE AND WARNING TAPE WILL BE REQUIRED TO ASSIST WITH WATER MAIN LOCATING. WARNING TAPE SHALL BE 2" WIDE BLUE PLASTIC WARNING TAPE. TRACER WIRE SHALL BE #8 SOLID GAUGE TRACER WIRE WITH BLUE INSULATION. (ADDED BY ORDINANCE A-894-03-08)

B.BACKFILLING

THE BEDDING, HAUNCHING AND BACKFILLING FOR PIPE INSTALLATION SHALL BE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN SECTION 20 OF THE WATER AND SEWER SPECIFICATIONS EXCEPT AS MODIFIED IN THESE SPECIAL PROVISIONS. BEDDING, HAUNCHING, AND INITIAL BACKFILL WILL NOT BE ELIGIBLE FOR PAYMENT BUT SHALL BE CONSIDERED INCLUDED IN THE COST OF DUCTILE IRON WATER MAIN, OF THE DIAMETER SPECIFIED.

BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL CONSIST OF CA-7 COURSE AGGREGATE. GRADATION, BEDDING SHALL CONSIST OF 6" COMPACTED GRANULAR BEDDING BENEATH THE PIPE. HAUNCHING SHALL CONSIST OF THE BACKFILL FROM THE BOTTOM OF THE PIPE TO THE SPRING LINE (CENTERLINE) OF THE PIPE. INITIAL BACKFILL INCLUDES GRANULAR BACKFILL FROM THE SPRING LINE TO THE TOP OF THE INITIAL BACKFILL AND HAUNCHING SHALL BE PLACED IN 6-INCH MAXIMUM LAYERS WITH THE BACKFILL COMPACTED BY MECHANICAL MEANS.

THE PLACEMENT AND COMPACTION OF GRANULAR BACKFILL MATERIAL (CA-6) WHEN REQUIRED SHALL BE AS SPECIFIED UNDER TRENCH BACKFILL OF THESE SPECIAL PROVISIONS. BEDDING SHALL BE PLACED IN 6-INCH MAXIMUM LAYERS OF THE SPECIFIED MATERIALS AS SHOWN ON THE DRAWINGS AND COMPACTED BY MECHANICAL MEANS.

C.HYDROSTATIC TESTING

PRESSURE TESTING OF DISTRIBUTION WATER MAINS SHALL BE PERFORMED BY CONTRACTOR IN ACCORDANCE WITH AWWA C-600 AND WITNESSED BY THE ENGINEER. NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, THEN A TAP SHOULD BE MADE ON THE WATER MAIN / SERVICE OF 150 PSI FOR A MINIMUM OF 2 HOURS. THE PRESSURE DURING THE TWO-HOUR TEST CANNOT VARY BY MORE THAN ±5 PSI FOR THE DURATION OF THE TEST. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE OR ANY VALVED SECTION THEREOF TO MAINTAIN PRESSURE WITHIN 5 PSI OF THE SPECIFIED TEST PRESSURE AFTER THE WATER MAIN / SERVICE HAS BEEN FILLED WITH WATER AND THE AIR HAS BEEN EXPELLED.

NECESSARY TO BRING THE PRESSURE UP TO 150 PSI FROM A MEASURED CONTAINER SHALL BE THE AMOUNT OF LEAKAGE. A FIRE SERVICE LINE MUST BE TESTED AT 200 PSI AS OUTLINED IN THE NFPA 24: STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES.

NOTE: IF AT ANY TIME AFTER THE TEST BEGINS A DROP OF 5 PSI OR GREATER IS RECORDED, THE TEST IS COMPLETE WITH A FAILING RESULT REGARDLESS OF THE ALLOWABLE MAKE-UP.

G.FLUSHING AND DISINFECTION

ANY OF THE METHODS STATED IN AWWA STANDARD C651-92 ARE ACCEPTED AS A MEANS OF DISINFECTION OF WATER MAINS.

SECTIONS OF PIPE TO BE DISINFECTED SHALL FIRST BE FLUSH TO REMOVE ANY SOLID OR CONTAMINATION MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE. IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, THEN A TAP SHOULD BE PROVIDED LARGE ENOUGH TO DEVELOP A VELOCITY OF AT LEAST 2.5- FEET PER SECOND IN THE MAIN. ONE (1) 2-1/2-INCH HYDRANT OPENING WILL, UNDER NORMAL PRESSURES, PROVIDE THIS VELOCITY IN PIPE SIZES UP TO AND INCLUDING 12- INCHES.

WATER MAINS SHALL BE STERILIZED BY OR UNDER THE DIRECTION OF AN EXPERIENCED PROFESSIONAL CHLORINATION TECHNICIAN RETAINED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER AND THE STATE DEPARTMENT OF HEALTH. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) MG/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) MG/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.

AFTER THE STERILIZATION PROCESS, WATER SAMPLES SHALL BE COLLECTED AT STRATEGIC LOCATIONS THROUGHOUT THE SYSTEM EQUAL TO ONE (1) IN EVERY 1000- FEET OF NEW PIPE WITH NO LESS THAN TWO (2) SAMPLES TOTAL AND SUBMITTED TO AN INDEPENDENT LABORATORY APPROVED BY THE ENGINEER FOR BACTERIOLOGICAL EXAMINATION ON TWO SEPARATE DATES.

FOLLOWING CHLORINATION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE NEWLY LAID PIPE AT ITS EXTREMITY UNTIL THE REPLACEMENT WATER THROUGHOUT ITS LENGTHS SHOWS UPON TEST, CHLORINE RESIDUAL NOT IN EXCESS OF THAT CARRIED IN THE SYSTEM (0.8 TO 1.0 MG/L).

METHOD OF MEASUREMENT AND BASIS OF PAYMENT.

THIS WORK SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR "ZINC COATED DUCTILE IRON WATER MAIN ENCASED IN V-BIO® ENHANCED

POLYETHYLENE PLASTIC, OF THE SIZE INDICATED ON DUE CONTRACT DRAWINGS MEASURED FOR PAYMENT IN ACCORDANCE WITH THE PAY LIMITS SHOWN ON THE PLANS. THIS PRICE SHALL INCLUDE THE COST OF ALL MATERIALS, LABOR AND EQUIPMENT FOR A COMPLETE INSTALLATION INCLUDING THE PRESSURE TESTING AND STERILIZATION. THIS ITEM SHALL ALSO INCLUDE ANY AND ALL ITEMS SUCH AS WATER PUMPS, GAUGES, METERS, CAPS, CORPORATION STOPS, COPPER WHIPS, TEMPORARY BLIND FLANGES (REQUIRED FOR TESTING), LABORATORY TEST COSTS, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THIS WORK AS SPECIFIED. TEES, CROSSES, REDUCERS, BEND, PLUGS, SLEEVES, WEDGES, AND POLYETHYLENE TUBE ARE PART OF THIS ITEM AND WILL NOT BE PAID FOR SEPARATELY. FIELD LOK GASKETS WILL BE PAID FOR SEPARATELY.

DUCTILE IRON PIPE INSTALLED IN STEEL CASING, 12" / PVC PIPE INSTALLED IN STEEL CASING, 12"

DESCRIPTION. THIS WORK SHALL BE IN CONFORMANCE WITH SECTION 20-2.19 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, EXCEPT AS MODIFIED HEREIN. ENCASEMENTS FOR PIPES UNDER HIGHWAYS OR RAILROADS SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE, OR THE OWNER OF THE HIGHWAY OR RAILROAD.

MATERIALS. MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 561.02 OF THESE SPECIAL PROVISIONS.

ALL JOINTS LOCATED INSIDE OF STEEL CASING SHALL BE RESTRAINED WITH FIELD-LOK BY U.S. PIPE, MEGA LUGS BY EBAA IRON, OR APPROVED EQUAL.

THE CARRIER PIPE SHALL BE SUPPORTED FOR ITS ENTIRE LENGTH INSIDE THE CASING PIPE BY MEANS OF CASING SPACERS, SIZED PRECISELY TO PREVENT SHIFTING OR FLOTATION. CASING SPACERS SHALL BE STAINLESS STEEL OF TYPE 304 STAINLESS STEEL. SPACERS SHALL BE MANUFACTURED BY CASCADE MODEL CSS. SPACERS SHALL BE PLACED AT A MAXIMUM DISTANCE OF 10- FEET ON CENTER, WITH A MINIMUM OF THREE (3) SPACERS PER PIPE LENGTH, WITH ONE (1) SPACER WITHIN TWO (2) FEET FROM ANY END.

STEEL CASING PIPE ENDS SHALL BE SEALED WITH RUBBER END SEALS CASCADE MODEL CCEs OR APPROVED EQUAL.

THE CARRIER PIPE SHALL BE ADJUSTED SO THAT THE END EXTENDS PAST THE END OF THE CASING PIPE BY APPROXIMATELY 12 TO 18 INCHES. CARRIER PIPE FOR WATER MAIN SHALL BE HYDROSTATICALLY PRESSURE TESTED PRIOR TO SEALING THE ANNULAR SPACE.

THE ANNULAR SPACE SHALL BE FILLED WITH PEA GRAVEL, LOW-STRENGTH GROUT, OR CELLULAR FOAM CONCRETE AND PROVISIONS SHALL BE MADE SO THAT NO VOIDS ARE LEFT. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE A VILLAGE REPRESENTATIVE WITNESS THE ANNULAR SPACING FILLING OPERATIONS.

BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR DUCTILE IRON OR PVC PIPE INSTALLED IN STEEL CASING, 12", WHICH PRICE SHALL INCLUDE ALL PIPE, FITTINGS, JOINT RESTRAINTS; "FIELD LOK GASKETS"; THRUST BLOCKS; POLYETHYLENE ENCASEMENT; TESTING AND DISINFECTION, (INCLUDING FITTINGS, METERS, PUMPS, GAUGES, LABORATORY FEES); LABOR; EQUIPMENT; EXCAVATION; FILLING THE ANNULAR SPACE, CASING SPACERS, AND END SEALS REQUIRED TO COMPLETE THE WORK AS SPECIFIED HEREIN.

CUT AND INSTALL ENDCAPS

DESCRIPTION. THIS WORK SHALL CONSIST OF THE INSTALLATION OF A CAP ON AN EXISTING WATER MAIN THAT IS TO BE ABANDONED AT LOCATIONS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER. THIS WORK SHALL INCLUDE FULL DEPTH SAWCUTTING OF THE EXISTING PAVEMENT, PAVEMENT REMOVAL, EXCAVATION, DISPOSAL OF ALL UNSUITABLE MATERIAL, CAPPING BOTH ENDS OF THE EXISTING WATER MAIN, AND FURNISHING, PLACING, AND COMPACTING TRENCH BACKFILL IN AN APPROVED MANNER.

MATERIALS. THE CAP(S) AND OR PLUG(S) SHALL BE OF AN APPROVED MATERIAL WITH A MECHANICAL JOINT AND GASKET AND SHALL BE SECURED IN PLACE WITH MEGA LUGS. PREFORMED PORTLAND CEMENT CONCRETE BLOCKS SHALL ALSO BE USED TO FURTHER BRACE THE CAP.

CONSTRUCTION REQUIREMENTS. THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE VILLAGE'S WATER AND SEWER DEPARTMENT FOR A REQUEST FOR A WATER SHUT- OFF SO THAT THE CUSTOMERS CAN BE NOTIFIED BY THE VILLAGE WATER DEPARTMENT OF ANY SERVICE INTERRUPTION. THE VILLAGE'S WATER AND SEWER DEPARTMENT SHALL DETERMINE THE TIME AND DURATION OF THE SHUT-OFF. THE CONTRACTOR SHALL CONTINUE THE WORK TO COMPLETE AND RESTORE SERVICE TO THE INTERRUPTED MAIN. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR OVERTIME DUE TO THE HOURS OF SHUT-OFF.

THE CONTRACTOR SHALL EXCAVATE THE AREA WHERE THE CAP IS TO BE INSERTED AND EXPOSE THE EXISTING CONNECTION. ALL MATERIALS NECESSARY TO CUT AND INSTALL THE CAP SHALL BE INCLUDED IN THE UNIT PRICE. BUT FOR THE JOB SITE PRIOR TO DOING THE WORK. ONCE IT IS DETERMINED THAT ALL NECESSARY EQUIPMENT AND MATERIALS ARE AVAILABLE, THE CONTRACTOR MAY PROCEED WITH SHUTTING DOWN THE MAIN AND PERFORMING THE WORK.

METHOD OF MEASUREMENT, AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR CUT AND INSTALL ENDCAPS, OF ANY DIAMETER, WHICH PRICE SHALL INCLUDE ALL LABOR, EQUIPMENT AND MATERIAL NECESSARY FOR A COMPLETE INSTALLATION AS SPECIFIED HEREIN.

CUT-IN CONNECTIONS

DESCRIPTION. THIS WORK SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO CONNECT THE NEW WATER MAIN TO EXISTING MAIN. THE CONTRACTOR SHALL EXCAVATE THE EXISTING MAIN TO THE DEPTH OF THE NEW MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING CONNECTION FITTINGS AND PIPE (TEE, CROSS, SLEEVES , VALVES, VALVE VAULTS, ETC.), AND ALL BACKFILL NECESSARY TO RESTORE EXCAVATED AREA TO PREVIOUS GRADE.

WORK SHALL BE STAGED IN SUCH A WAY AS TO MAXIMIZE THE NUMBER OF CUT-IN CONNECTIONS THAT CAN BE PERFORMED PER EACH SHUTDOWN OF AN EXISTING WATER MAIN. NO SHUTDOWNS OF WATER MAIN WILL BE ALLOWED ON FRIDAYS OR MONDAYS WITHOUT PRIOR APPROVAL BY THE ENGINEER.

METHOD OF MEASUREMENT. MEASUREMENT FOR THIS ITEM SHALL BE ON AN EACH BASIS PER LOCATION OF CONNECTION. BASIS OF PAYMENT. THIS ITEM SHALL BE PAID FOR PER EACH FOR CUT-IN CONNECTIONS, REGARDLESS OF SIZE, WHICH PRICE SHALL INCLUDE ANY AND ALL MATERIALS AND EQUIPMENT NECESSARY TO CUT AND REMOVE EXISTING FITTINGS AND PIPE, CLEANING AND PREPPING PIPE FOR CONNECTION, AND ALL BACKFILL NECESSARY TO BRING HOLE TO ORIGINAL GRADE.

GATE VALVES, 12"

DESCRIPTION. WATER VALVES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF SECTION 561 OF THE STANDARD SPECIFICATIONS AND WITH THE APPLICABLE PORTIONS OF SECTION 41 OF THE WATER AND SEWER SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.

MATERIALS. WATER VALVES 16" AND SMALLER SHALL BE OF THE RESILIENT WEDGE GATE VALVE TYPE SUITABLE FOR ORDINARY WATER-WORKS SERVICE, INTENDED TO BE INSTALLED IN A NORMAL POSITION ON BURIED PIPE LINES FOR WATER DISTRIBUTION SYSTEMS. VALVES 18" AND LARGER SHALL BE OF THE STEEL WEDGE GATE VALVE TYPE. VALVES SHALL MEET THE STANDARDS OF THE LATEST AWWA C515 AND AWWA C509 AND BE RATED FOR 250 PSI WORKING PRESSURE. VALVES LARGER THAN 16" SHALL BE BUTTERFLY STYLE.

FURTHER DETAILS AND NOTES ON MATERIALS AND INSTALLATION ARE PROVIDED ON THE PLANS. ALL MATERIALS USED IN THE MANUFACTURE OF WATERWORKS GATE VALVES AND BUTTERFLY VALVES SHALL CONFORM TO THE AWWA STANDARDS DESIGNED FOR EACH MATERIAL LISTED.

MANUFACTURER AND MARKING - THE GATE VALVES SHALL BE STANDARD PATTERN AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY. GATE VALVES SHALL BE MUELLER OR APPROVED EQUAL. THE BUTTERFLY VALVES SHALL BE STANDARD PATTERN AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY.

1.TYPE AND MOUNTING - THE VALVE BODIES SHALL BE MOUNTED WITH APPROVED NONCORROSIVE METALS. ALL WEARING SURFACES SHALL BE BRONZE OR OTHER APPROVED NONCORROSIVE MATERIAL AND THERE SHALL BE NO MOVING BEARING OR CONTACT SURFACES OF IRON IN CONTACT WITH IRON. CONTACT SURFACES SHALL BE MACHINED AND FINISHED IN THE BEST WORKMANLIKE MANNER AND ALL WEARING SURFACES SHALL BE EASILY RENEWABLE. ALL TRIM BOLTS SHALL BE 304 SERIES STAINLESS STEEL.

THE RESILIENT-SEATED DISC WEDGE SHALL BE OF THE RESILIENT WEDGE FULLY-SUPPORTED TYPE. SOLID GUIDE LUGS SHALL TRAVEL WITH CHANNELS IN THE BODY OF THE VALVE. THE DISC AND GUIDE LUGS SHALL BE FULLY 100% ENCAPSULATED IN SSR (STYRENE BUTADIENE) RUBBER.

DISC WEDGES THAT ARE NOT 100% FULLY ENCAPSULATED SHALL NOT BE NOT BE ACCEPTABLE. GUIDE CAPS OF AN ACTUAL COPOLYMER OF POLYETHYLENE SHALL BE PROVIDED TO PROTECT THE RUBBER-ENCAPSULATED SOLID GUIDE LUGS FROM ABRASION FOR LONG LIFE AND EASE OF OPERATION.

ALL INTERNAL AND EXTERNAL EXPOSED FERROUS SURFACES OF THE GATE VALVE AND THE BUTTERFLY VALVE SHALL BE COATED WITH A FLUOROCARBONATED, THERMOSETTING POWDER EPOXY COATING CONFORMING TO AWWA C550 AND CERTIFIED TO NSF 61. COATING SHALL BE NON-TOXIC AND SHALL IMPART NO TASTE TO WATER. COATING THICKNESS SHALL BE NOMINAL 10 MILS.

THE STEM SHALL BE OF HIGH TENSILE STRENGTH BRONZE OR OTHER APPROVED NON-CORROSIVE METAL, PROVIDING 70,000 PSI TENSILE STRENGTH WITH 15% ELONGATION AND A YIELD STRENGTH OF 30,000 PSI. ALL NONFERROUS BUSHINGS SHALL BE OF SUBSTANTIAL THICKNESS, TIGHTLY FITTED AND PRESSED INTO MACHINE SEATS. ALL VALVES SHALL OPEN BY TURNING TO THE LEFT (COUNTERCLOCKWISE), UNLESS OTHERWISE SPECIFIED.

BUTTERFLY STYLE VALVES SHALL BE SUPPLIED WITH 2" OPERATING NUT.

2.END CONNECTIONS - END CONNECTIONS OF GATE VALVES SHALL CONSIST OF MECHANICAL JOINTS.

ALL GATE VALVES AND BUTTERFLY VALVES ARE TO BE INSTALLED IN CONCRETE VALVE VAULTS AS DETAILED IN THE PLANS. THE VALVE VAULT SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK CONCRETE. THE VALVE VAULT SHALL BE INSTALLED WITH A MINIMUM OF 18" THICK CONCRETE. THE VALVE VAULT SHALL BE INSTALLED WITH A MINIMUM OF 18" THICK CONCRETE. THE VALVE VAULT SHALL BE INSTALLED WITH A MINIMUM OF 18" THICK CONCRETE.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR GATE VALVES, OF THE SIZE SPECIFIED. THIS PRICE SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE VALVE, INCLUDING THE PRESSURE TESTING AND STERILIZATION. THIS ITEM SHALL ALSO INCLUDE ANY AND ALL ITEMS SUCH AS WATER PUMPS, GAUGES, METERS, TAPS, CORPORATION STOPS, COPPER WHIPS, TEMPORARY BLIND FLANGES (REQUIRED FOR TESTING), LABORATORY TEST COSTS, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THIS WORK AS SPECIFIED. TEES, CROSSES, REDUCERS, BEND, PLUGS, SLEEVES, WEDGES, AND POLYETHYLENE TUBE ARE PART OF THIS ITEM AND WILL NOT BE PAID FOR SEPARATELY.

FIRE HYDRANTS WITH AUXILIARY VALVE AND VALVE BOX

DESCRIPTION. THIS WORK CONSISTS OF FURNISHING AND INSTALLING A FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX AT LOCATIONS SHOWN IN THE PLANS. AS A MINIMUM, THE DESIGN, MATERIALS AND WORKMANSHIP OF ALL FIRE HYDRANTS SHALL CONFORM TO THE APPLICABLE PORTIONS OF AWWA C502 AS WELL AS SECTION 45.5 OF THE WATER AND SEWER SPECIFICATIONS. THE DETAILS AND NOTES FOR MATERIALS AND INSTALLATION ARE PROVIDED ON THE PLANS.

MATERIALS. ALL FIRE HYDRANTS SHALL BE MUELLER CENTURION OR EAST JORDAN, COMPLYING WITH AWWA C-502 AND HAVING BREAKABLE SAFETY FLANGES, AS CURRENTLY INSTALLED IN THE VILLAGE.

FIRE HYDRANTS SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 350 FEET IN A DIRECT LINE IN THE PARKWAY. THE HYDRANTS SHALL HAVE A MINIMUM OF A SEVEN (7") INCH BARREL AND TWO, TWO AND ONE-HALF (2 1/2") INCH HOSE CONNECTIONS. THE HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS.

HYDRANT SHALL BE INSTALLED AT FINISHED GRADE. THE DEPTH OF BURY ON ALL HYDRANTS SHALL BE AS REQUIRED TO AVOID VERTICAL BENDS IN THE HYDRANT LEAD, AND 5.6" MINIMUM WHEN POSSIBLE. ANY VERTICAL ADJUSTMENT NECESSARY TO MEET THIS REQUIREMENT SHALL BE MADE BY THE CONTRACTOR. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS.

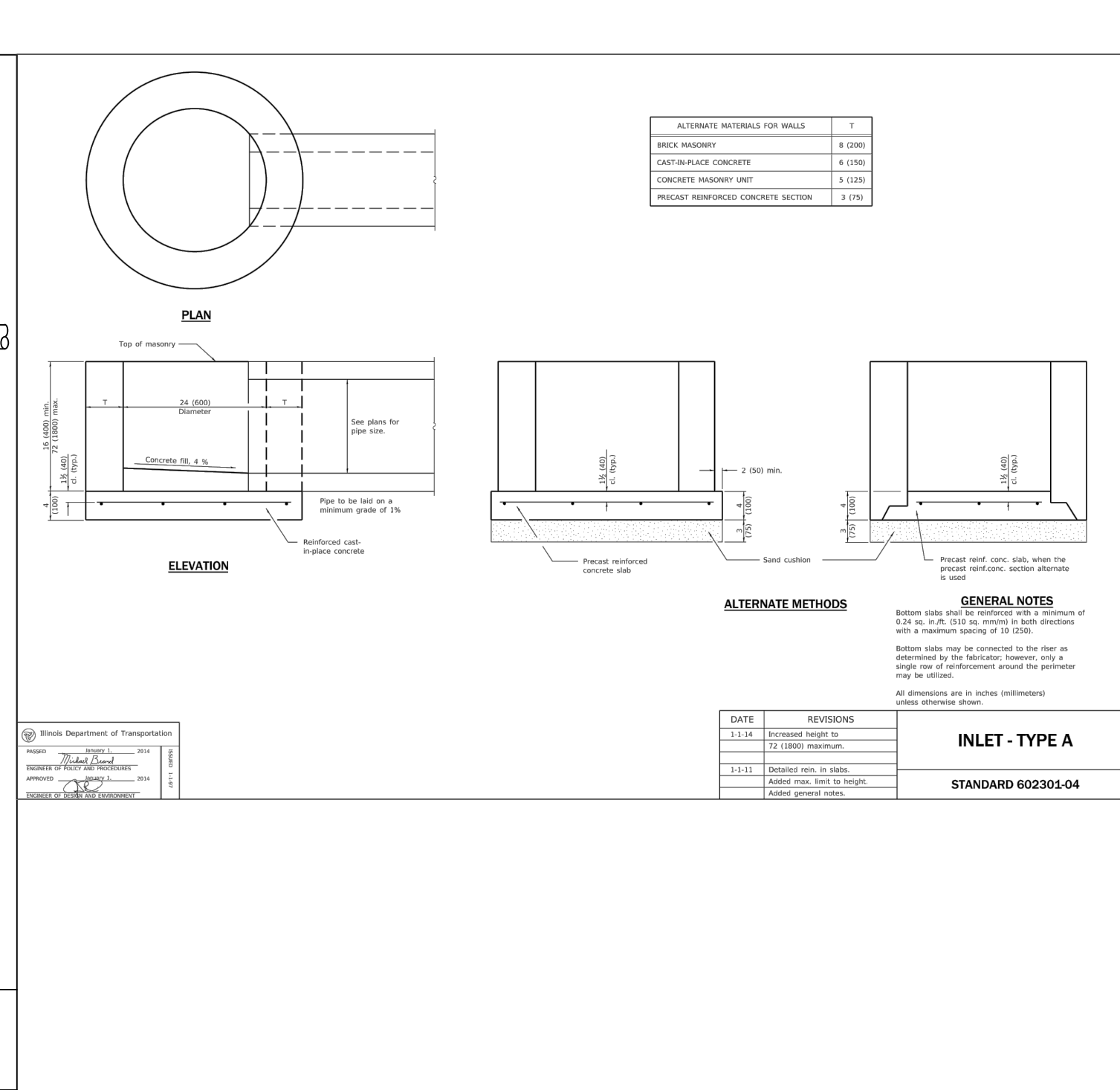
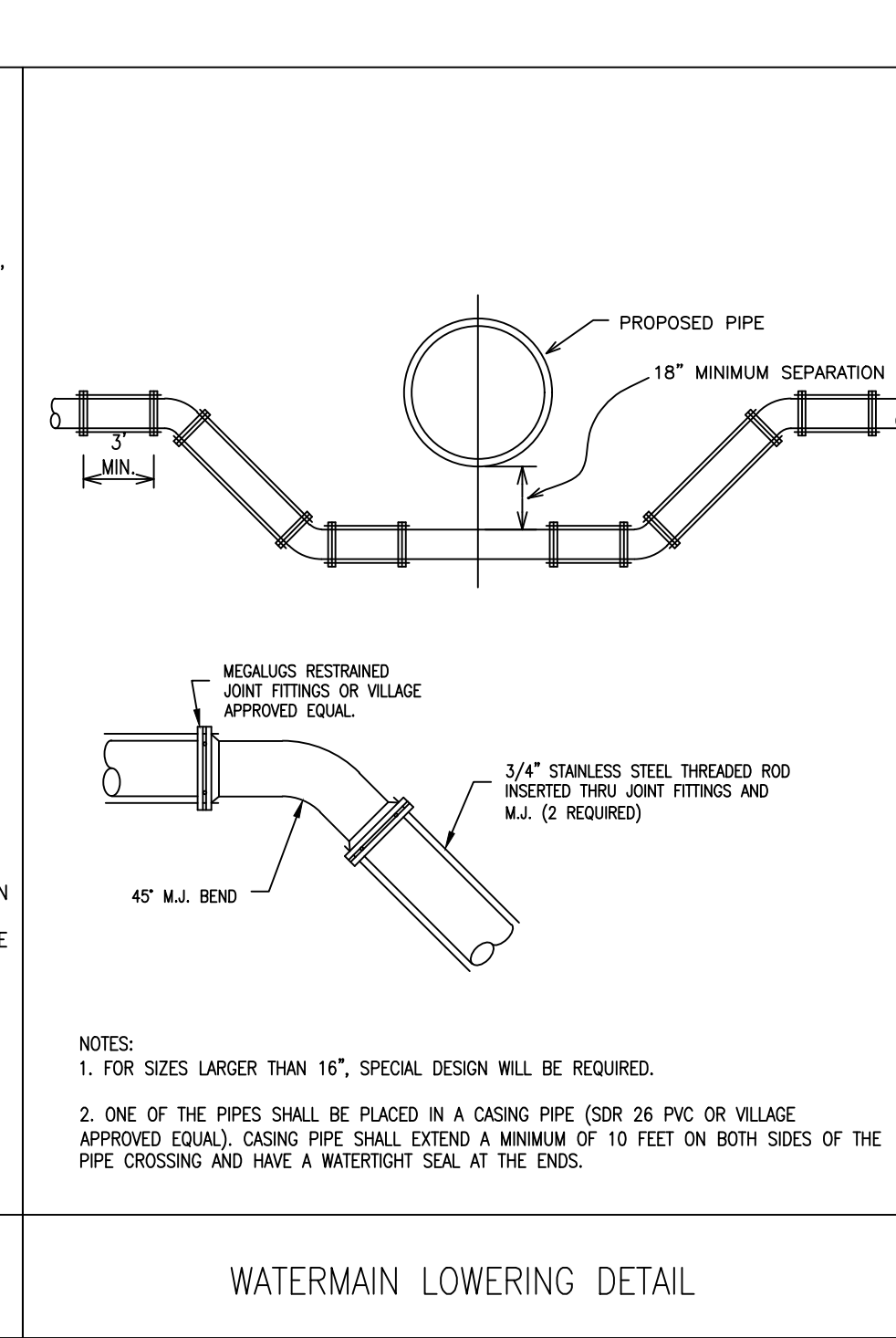
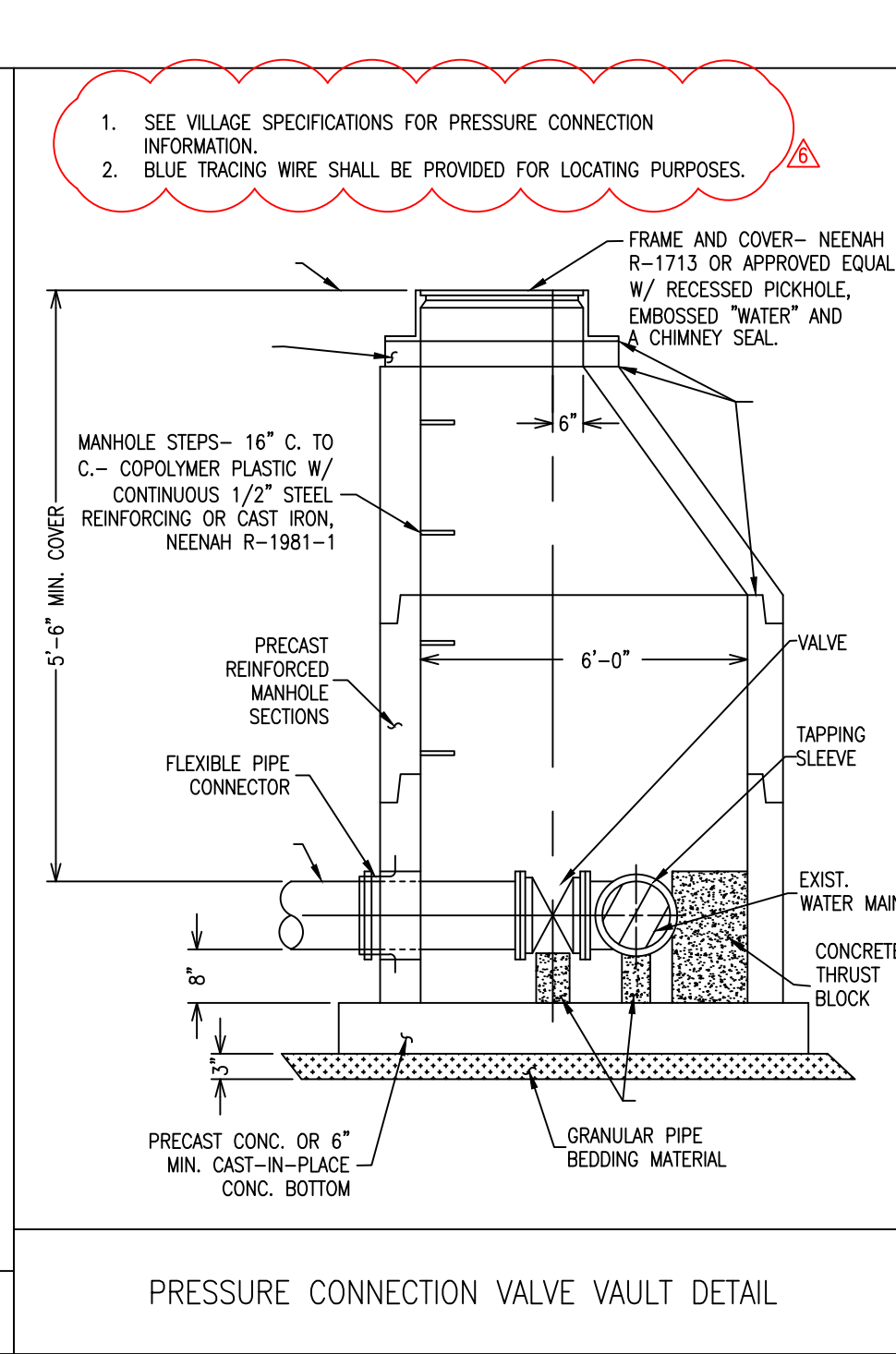
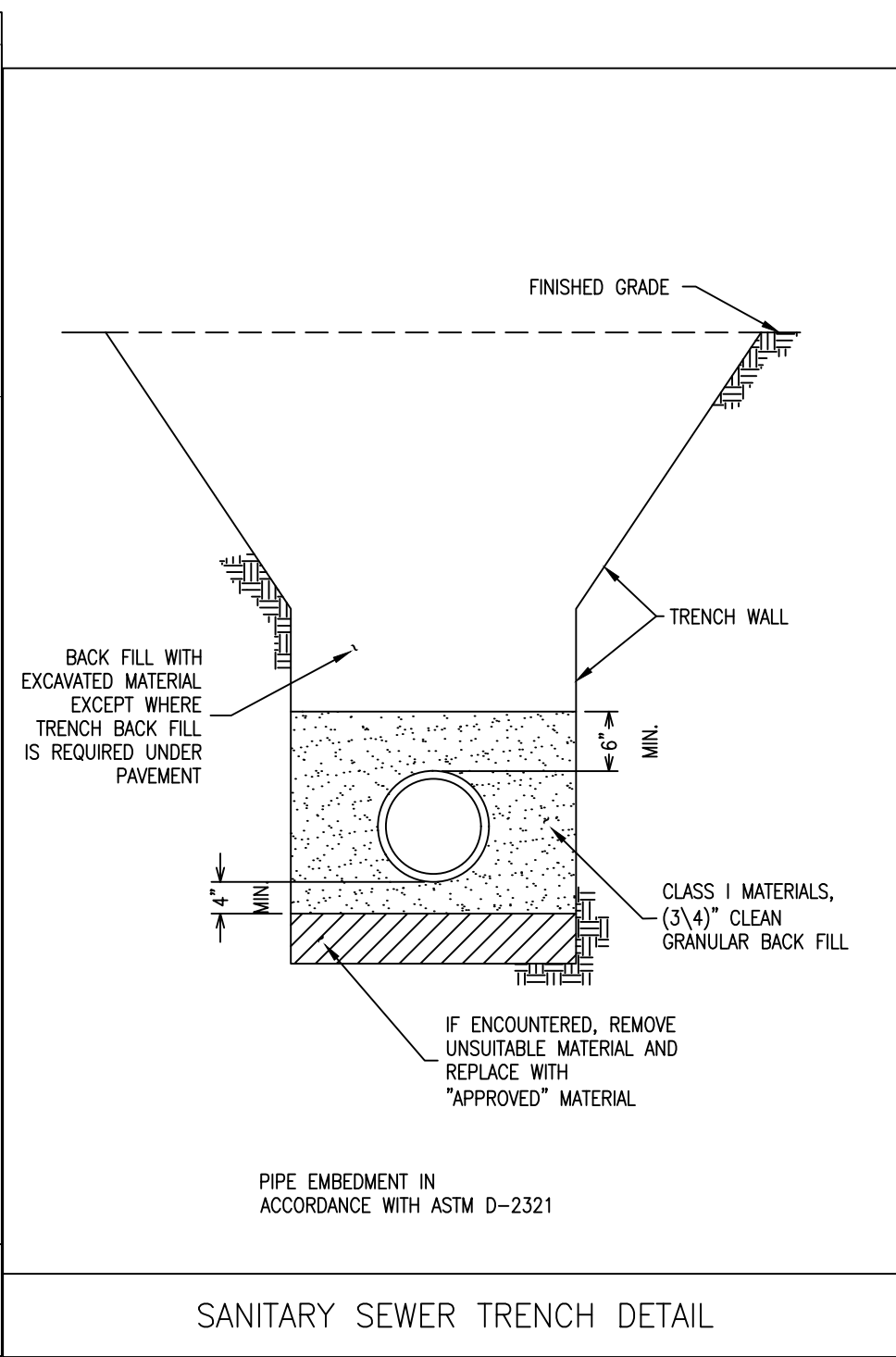
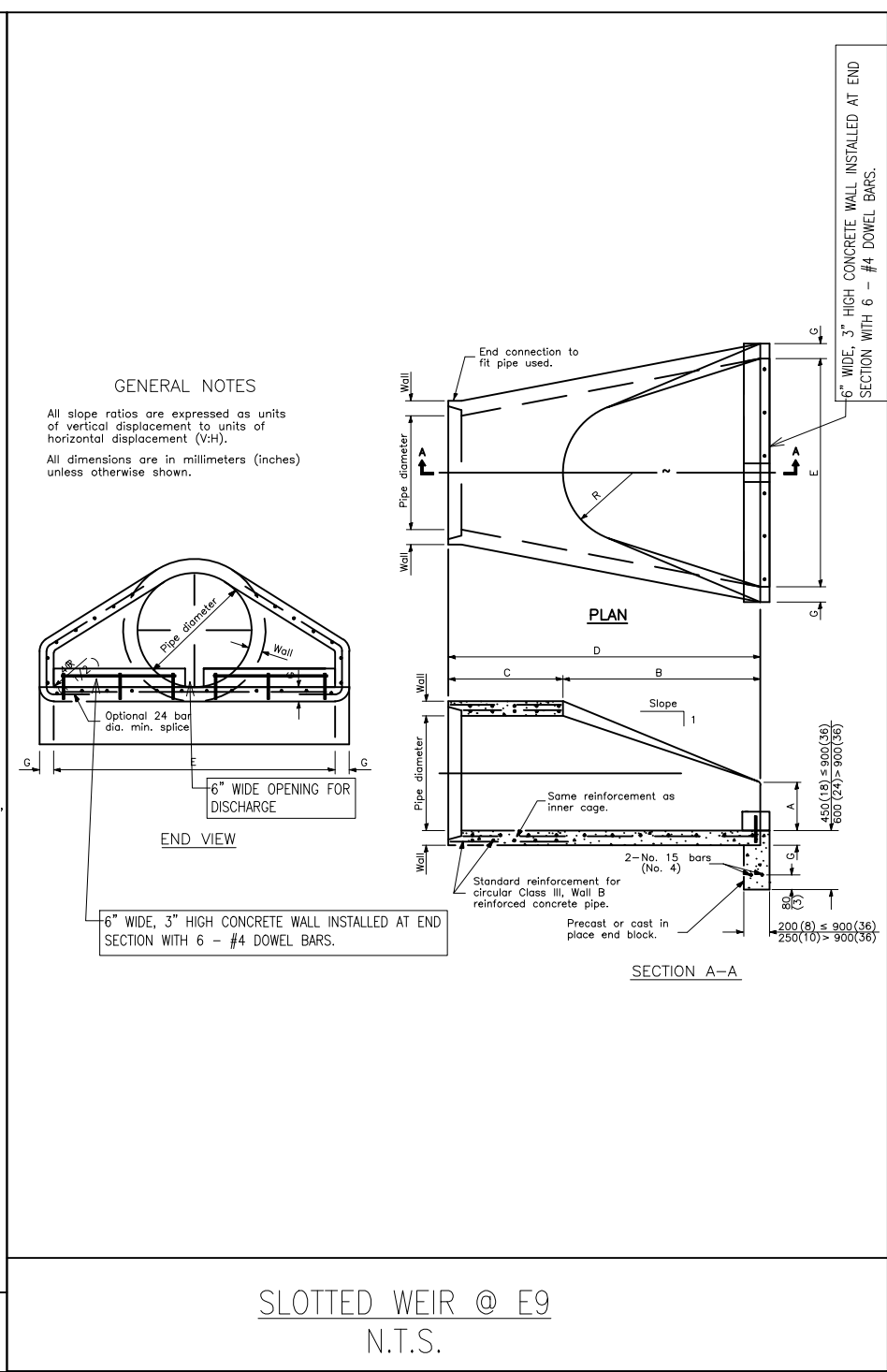
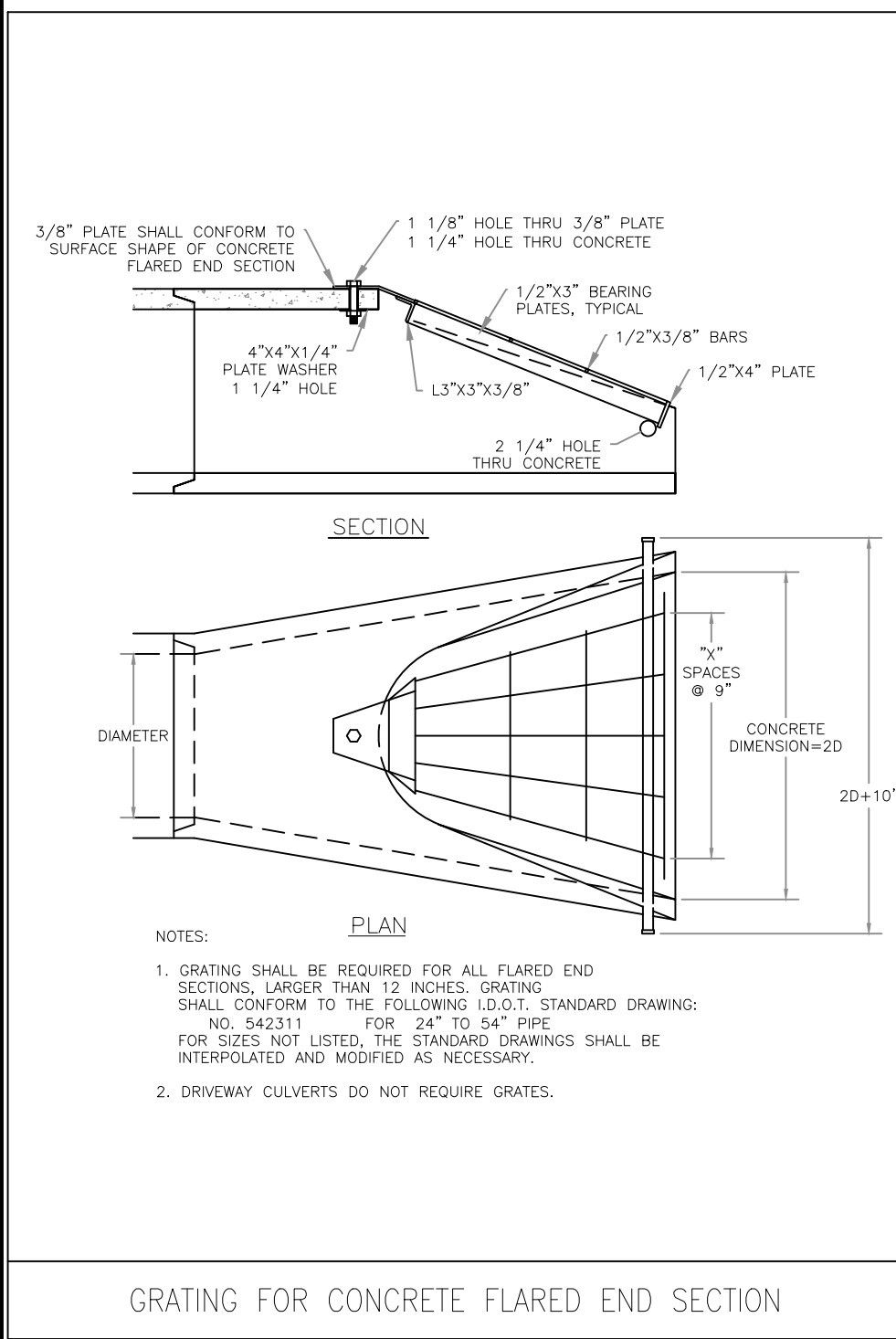
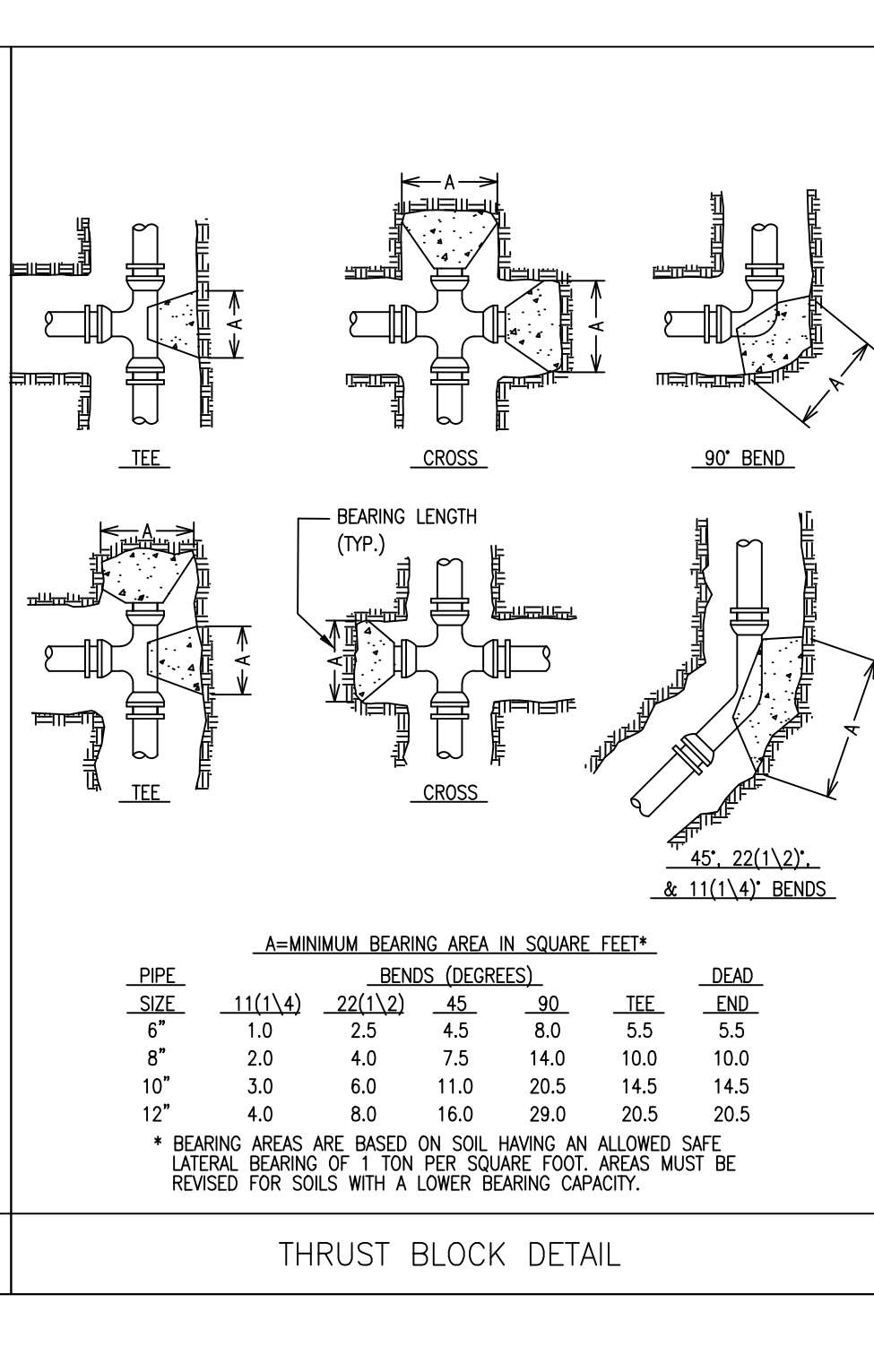
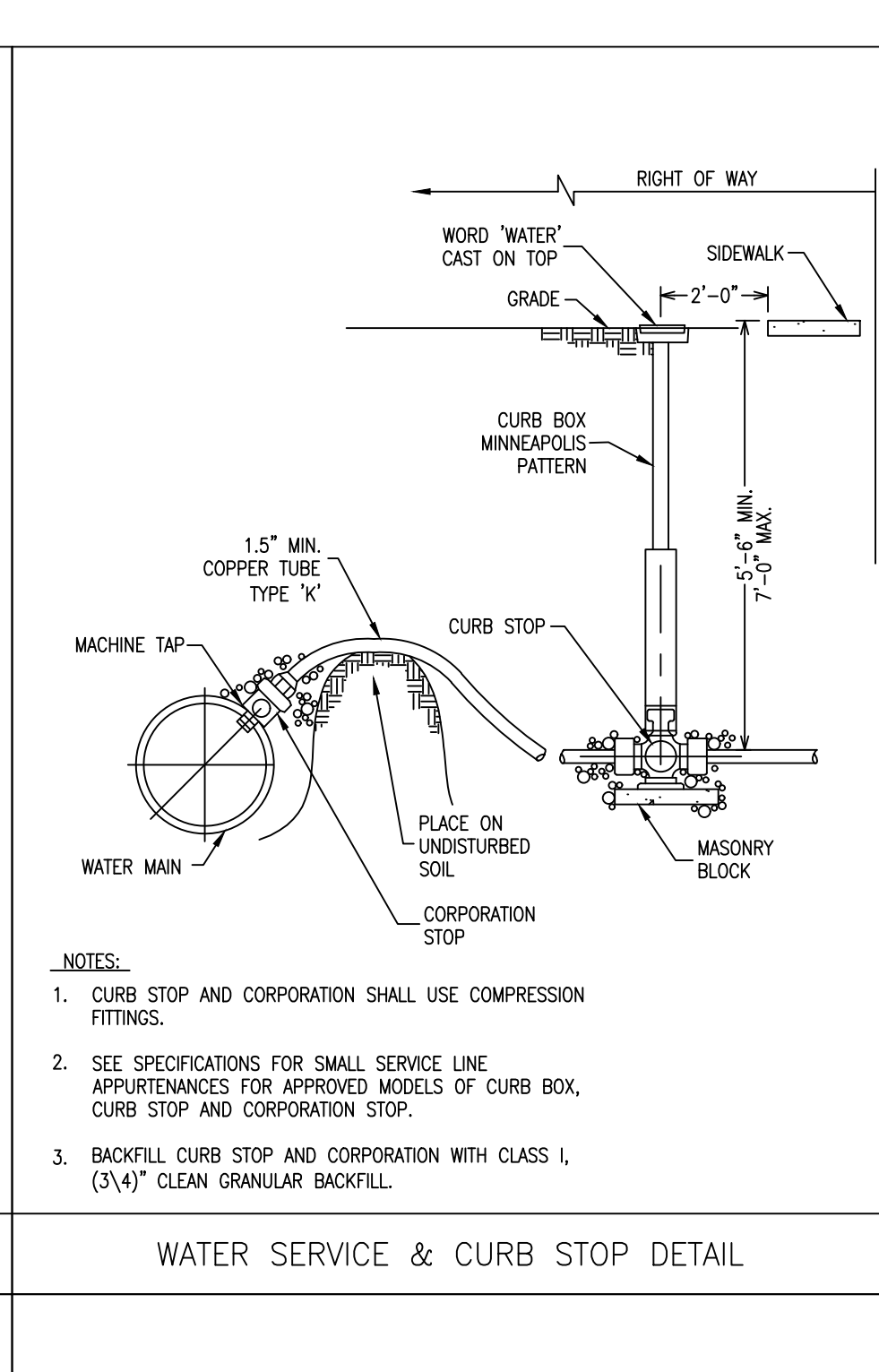
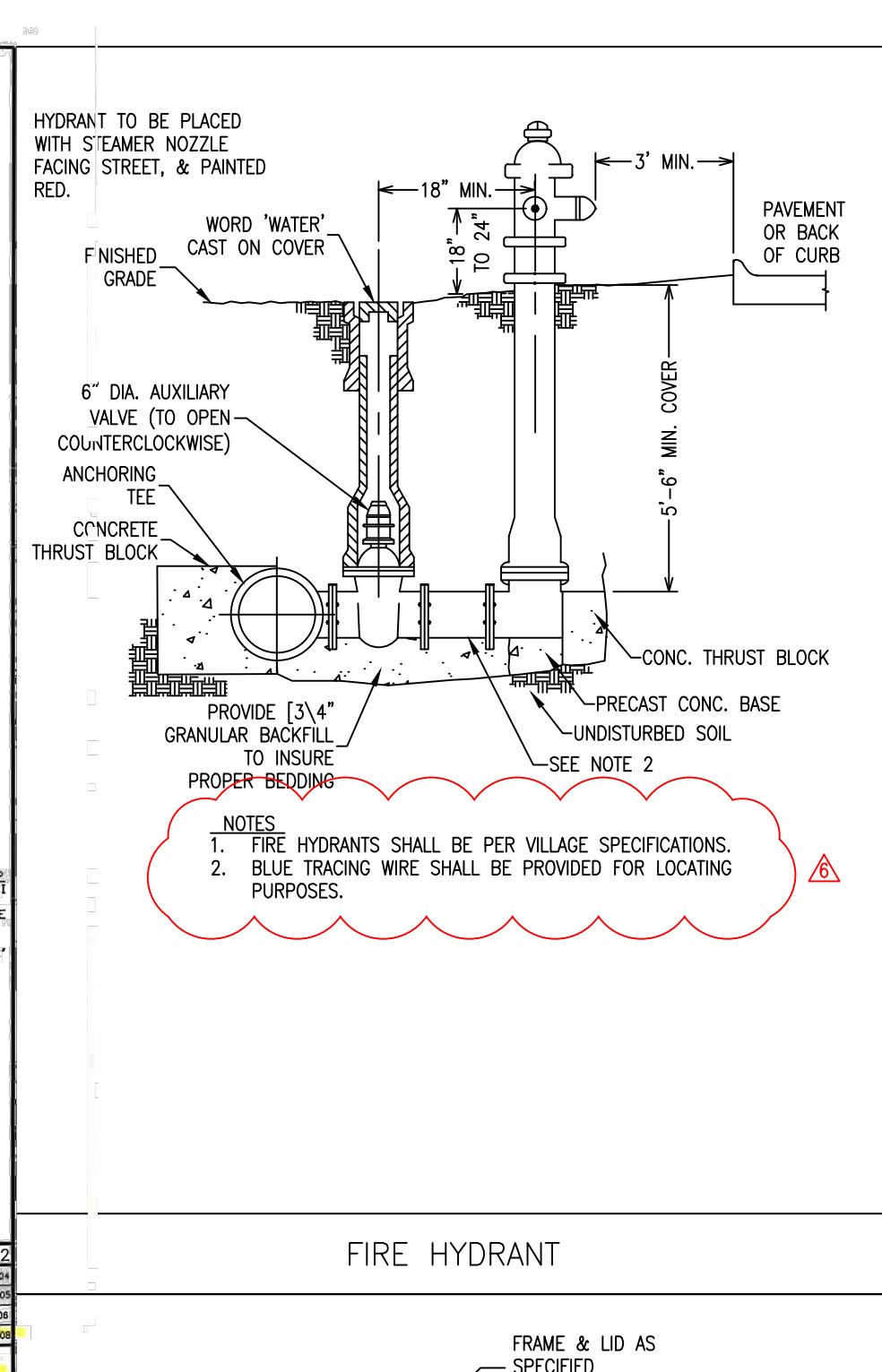
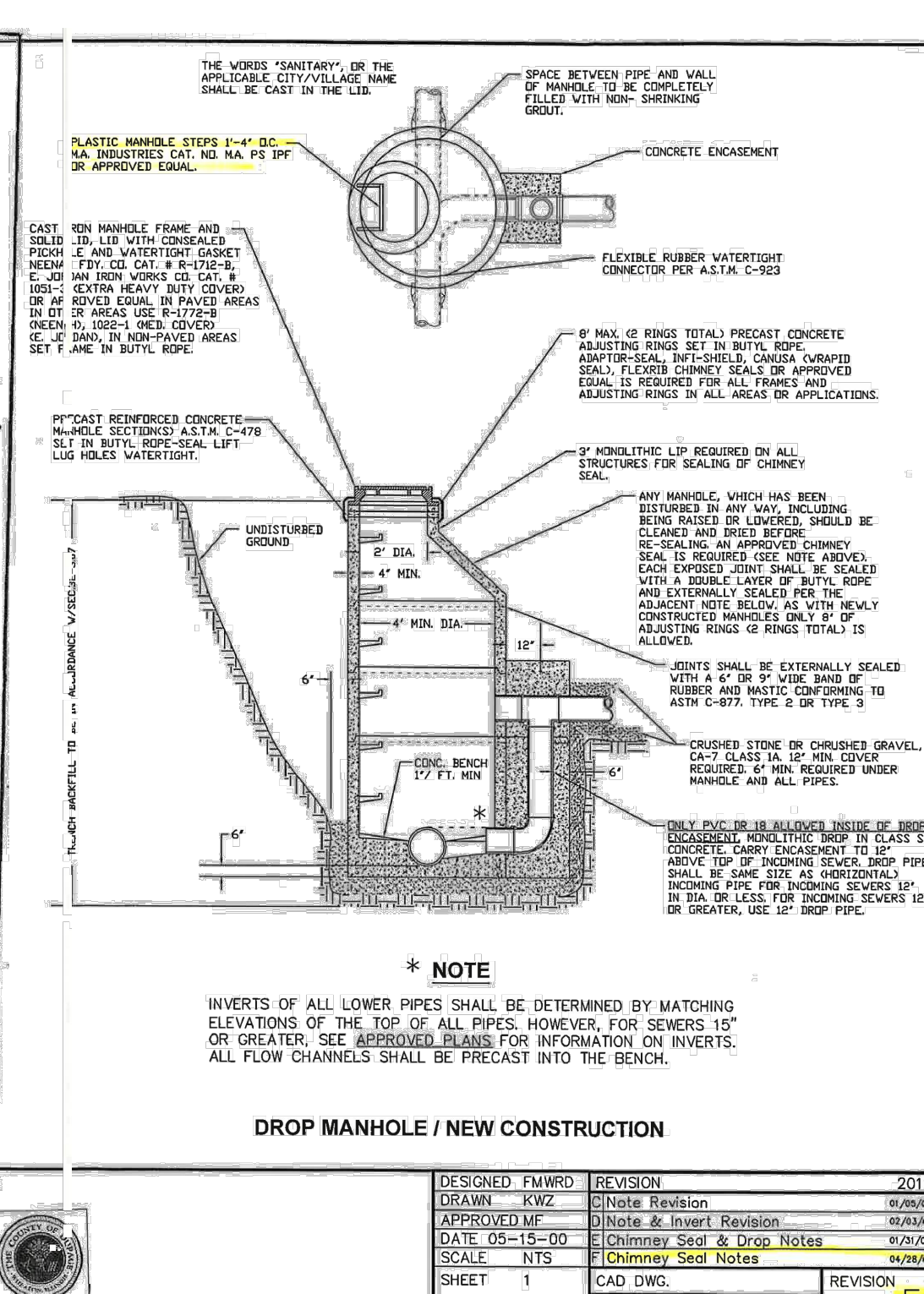
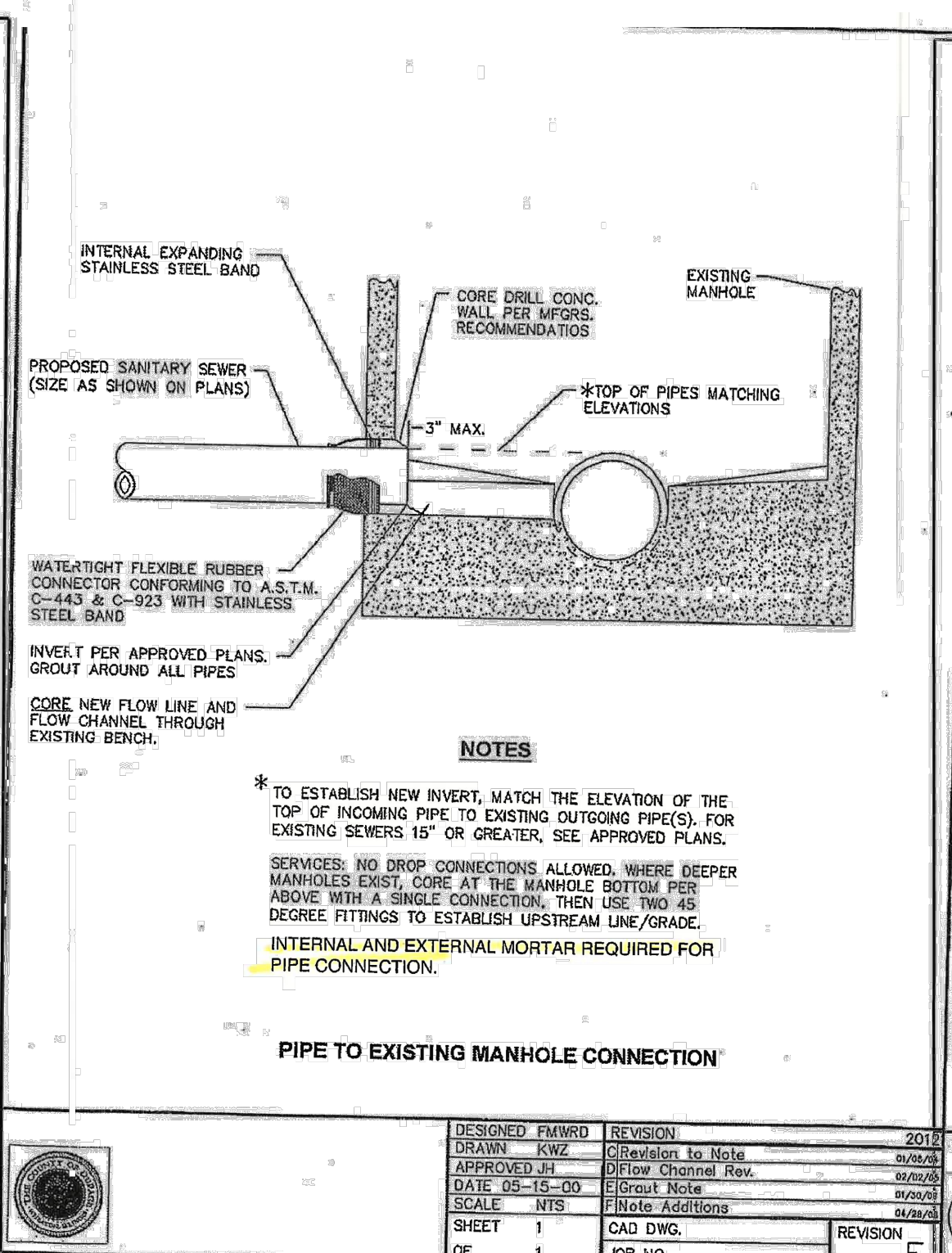
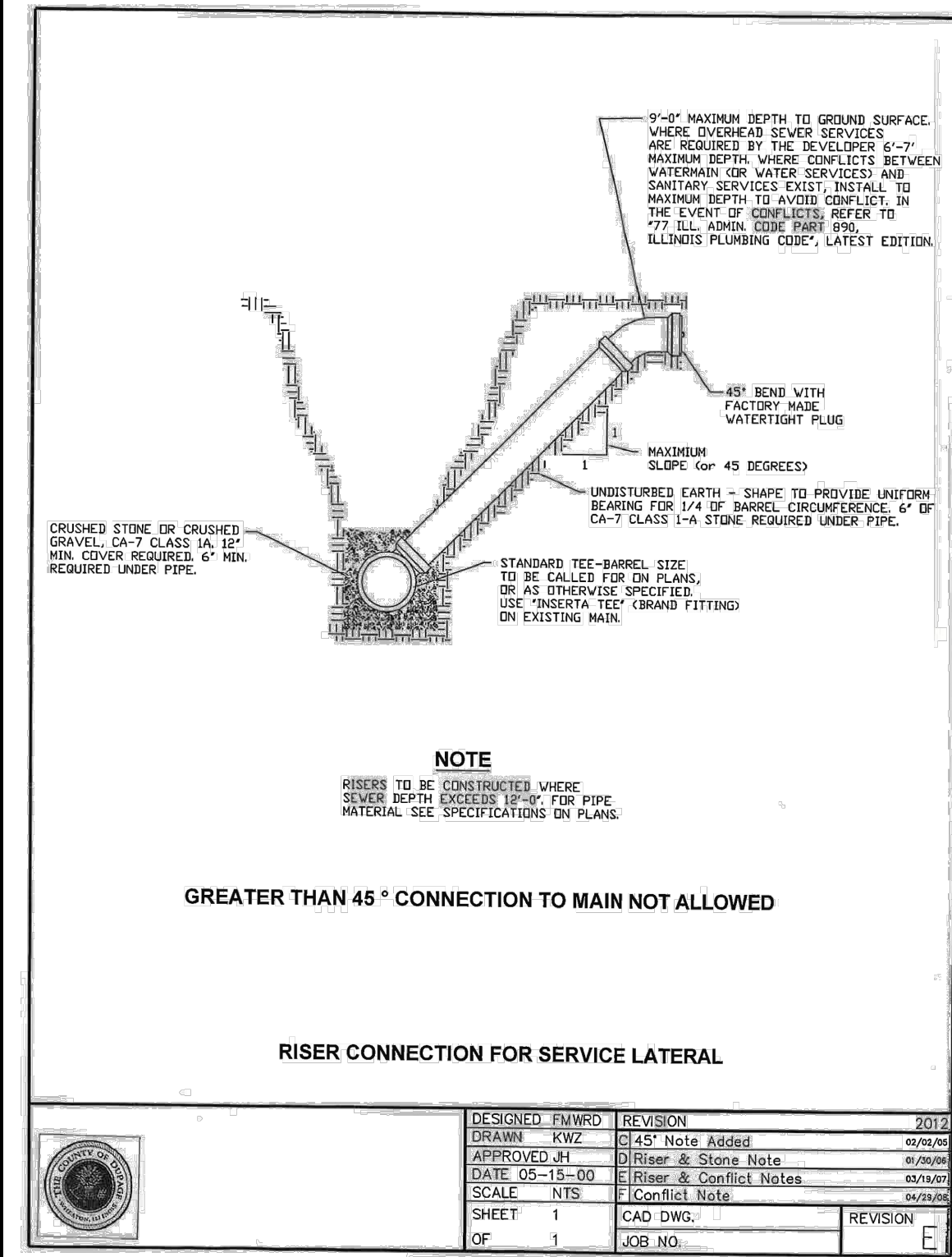
GENERAL. FIRE HYDRANTS SHALL BE PLACED AT THE LOCATIONS AS SHOWN ON THE PLANS OR AS OTHERWISE DIRECTED BY THE ENGINEER. FIRE HYDRANTS SHALL BE INSTALLED AS SHOWN ON THE DETAILS INCLUDED IN THE PLANS. A MINIMUM OF 0.5 CUBIC YARD OF COARSE AGGREGATE SHALL BE PLACED AT AND AROUND THE BASE OF THE HYDRANT TO INSURE PROPER DRAINAGE OF WATER FROM THE HYDRANT. THE HYDRANT SHALL BE SET ON A CONCRETE PAD TO INSURE FIRM BEARING FOR THE HYDRANT BASE. ALL FIRE HYDRANTS WILL BE INSPECTED BY THE ENGINEER PRIOR TO ANY BACKFILLING.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR FIRE HYDRANTS WITH AUXILIARY VALVE AND VALVE BOX, WHICH PRICE SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX. TEE OR LOCKING HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS. THE HYDRANT SHALL BE INSTALLED AT LOCATIONS SHOWN IN THE PLANS.

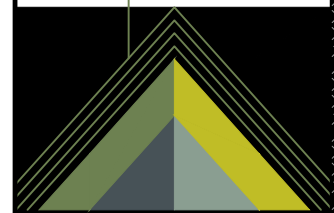
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WATER MAINS SHALL BE STERILIZED BY OR UNDER THE DIRECTION OF AN EXPERIENCED PROFESSIONAL CHLORINATION TECHNICIAN RETAINED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER AND THE STATE DEPARTMENT OF HEALTH. BEFORE BEING PLACED INTO SERVICE,





**ADVANTAGE**  
CONSULTING ENGINEERS



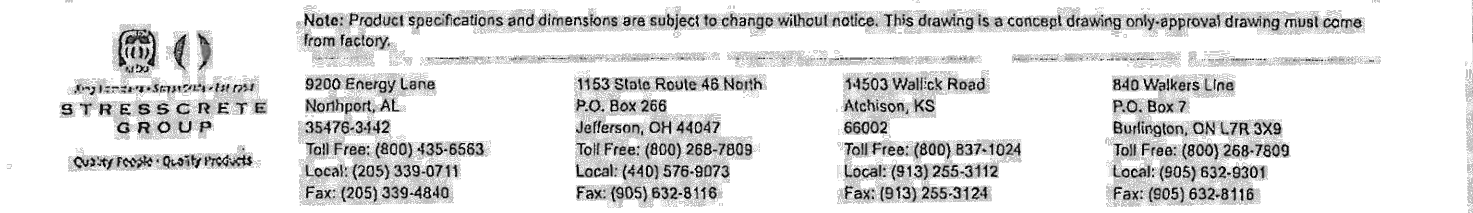
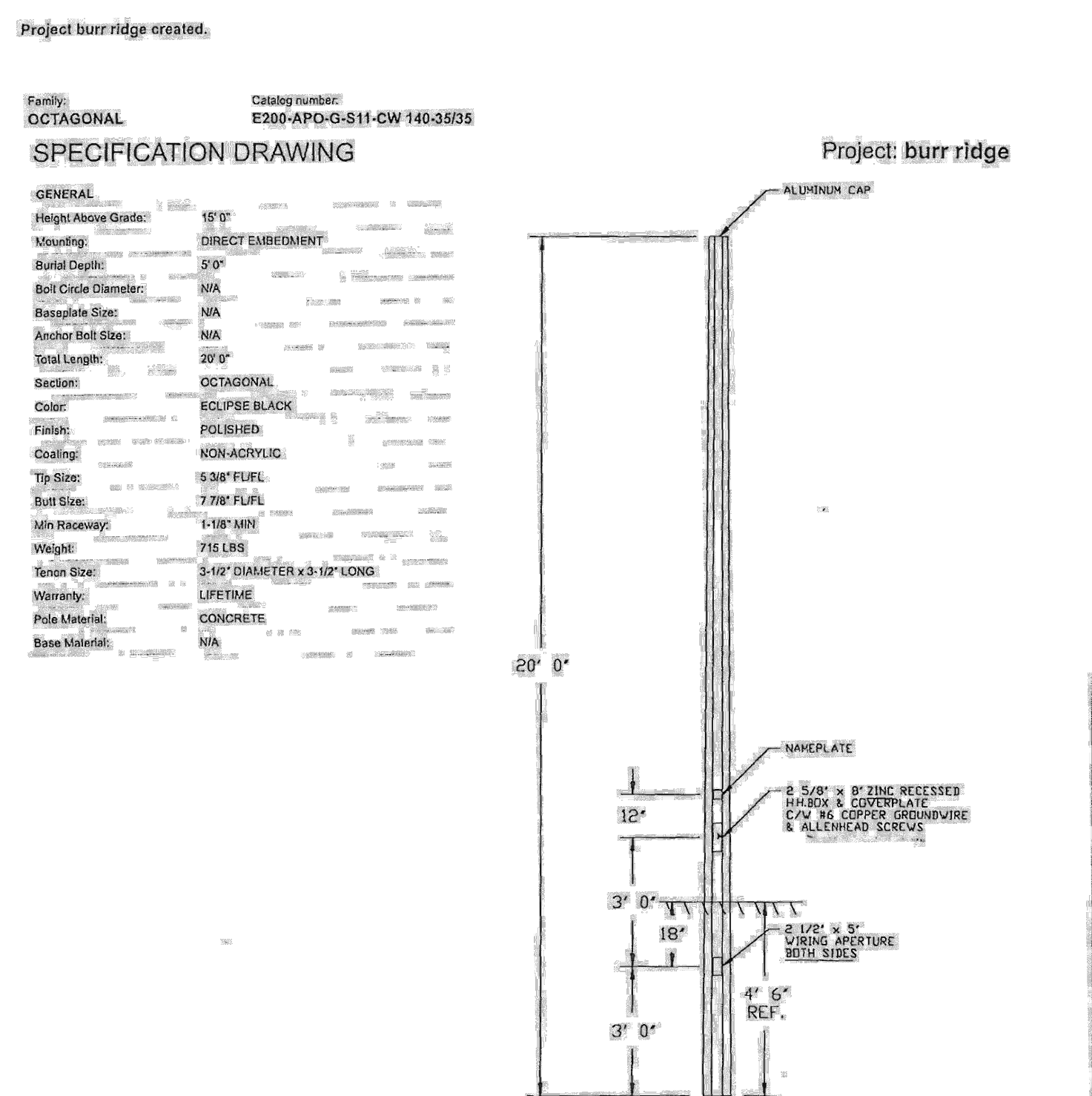
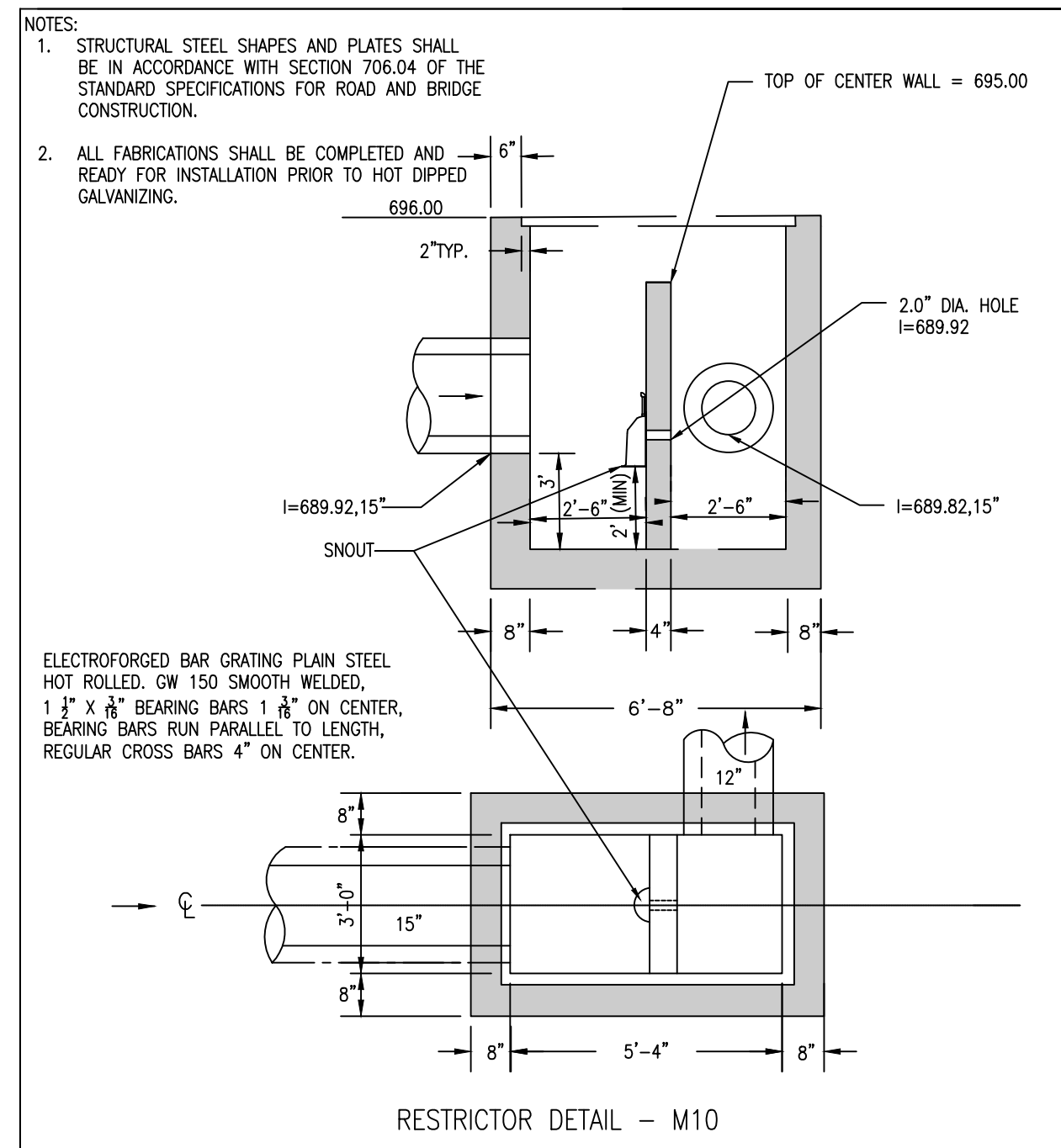
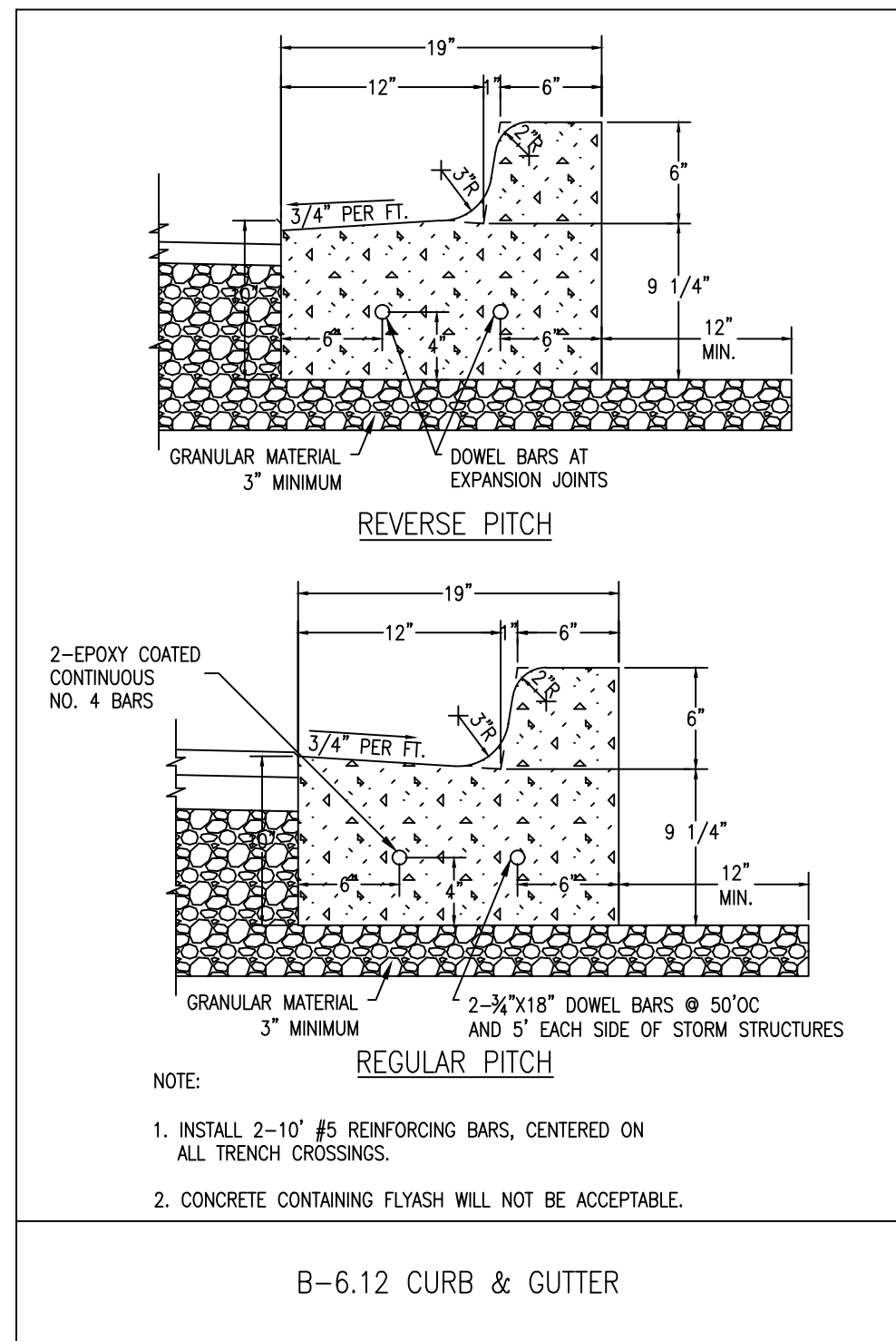
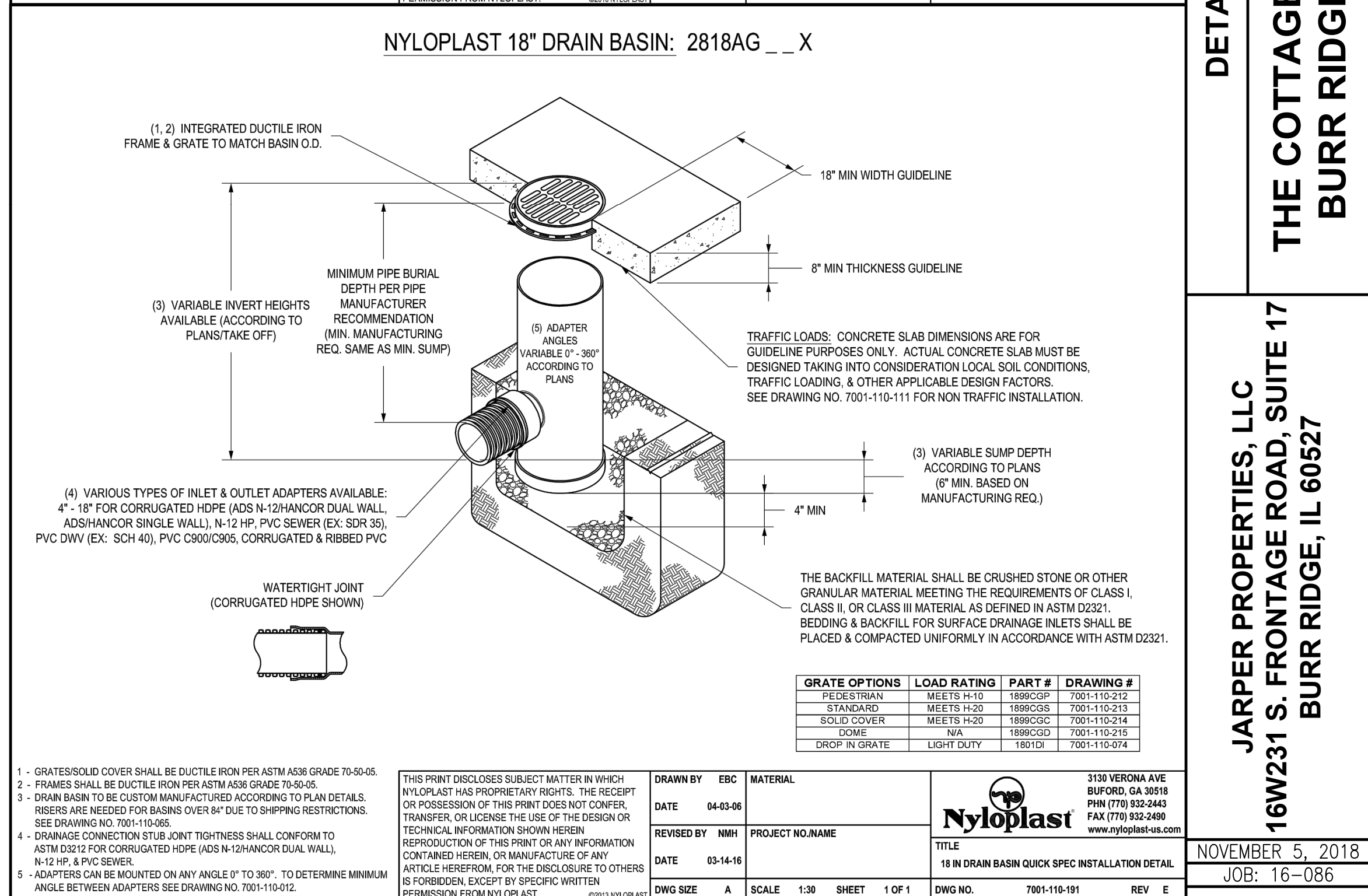
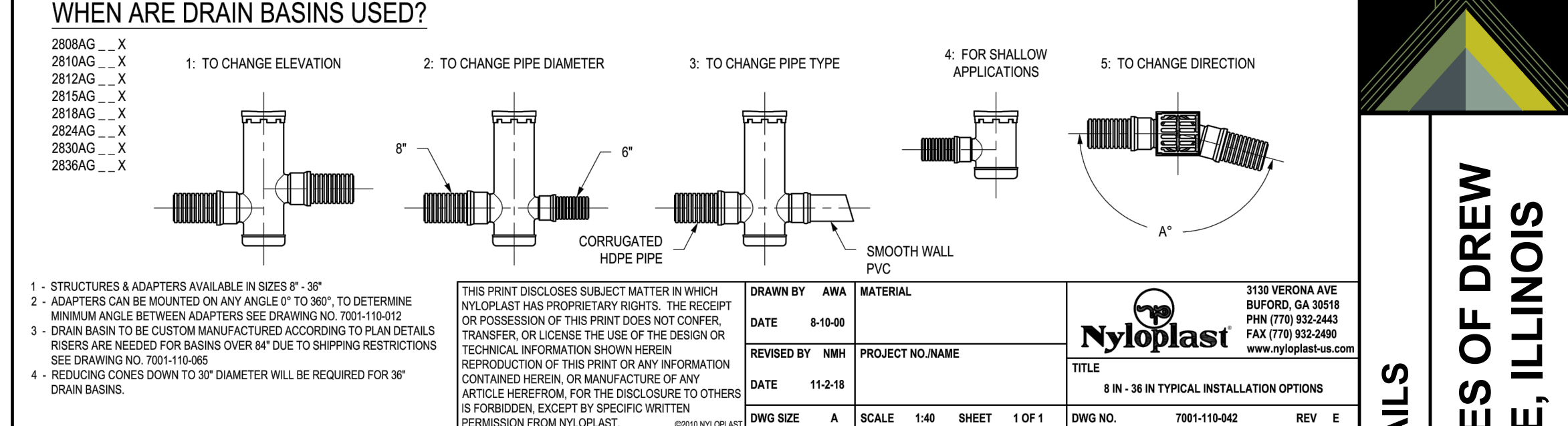
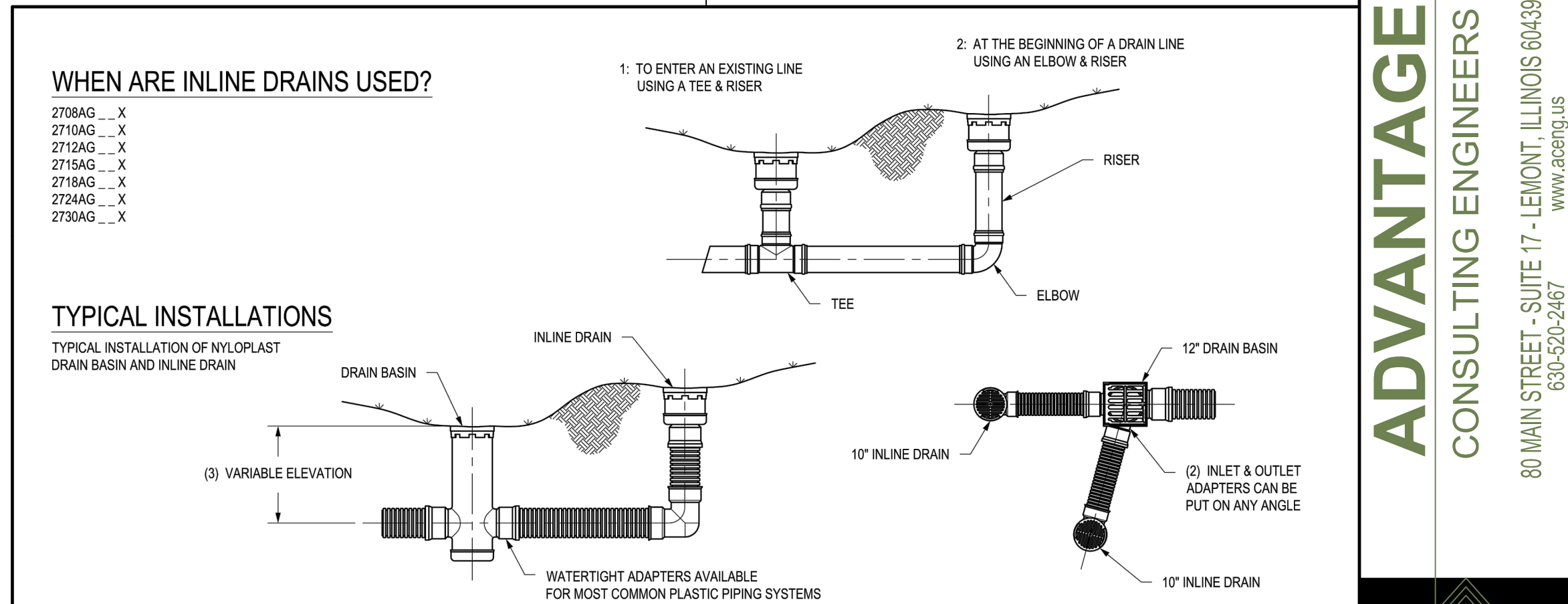
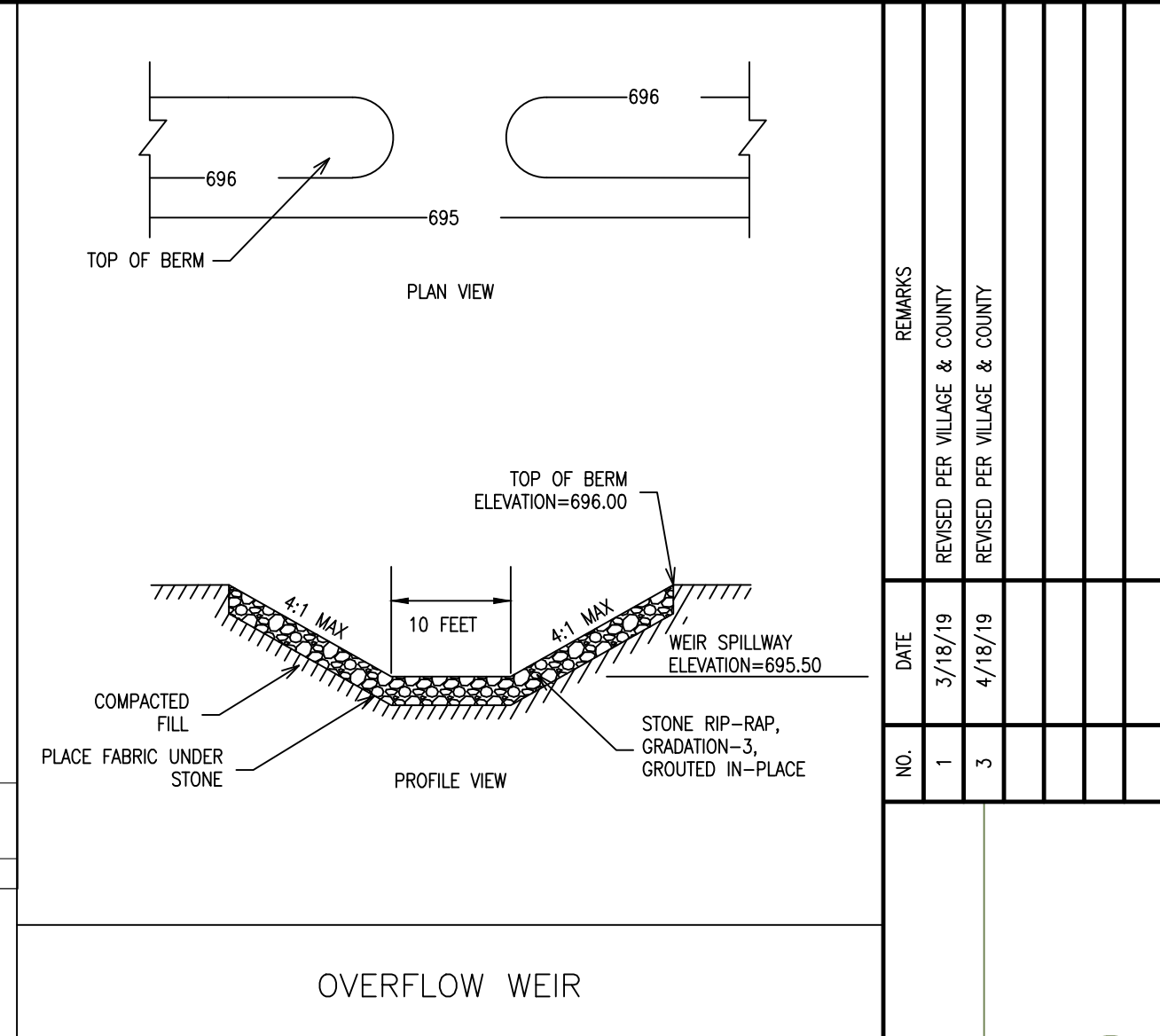
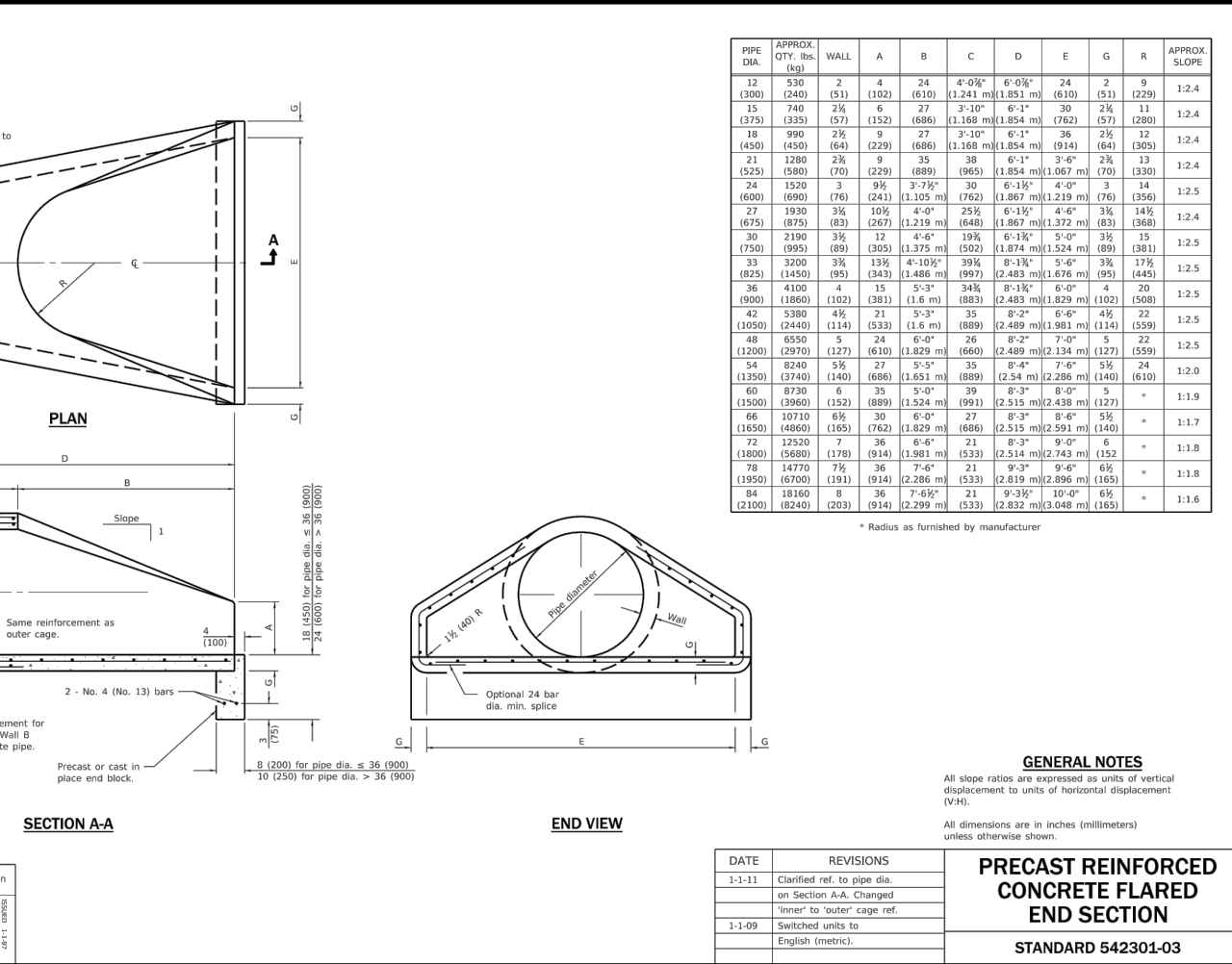
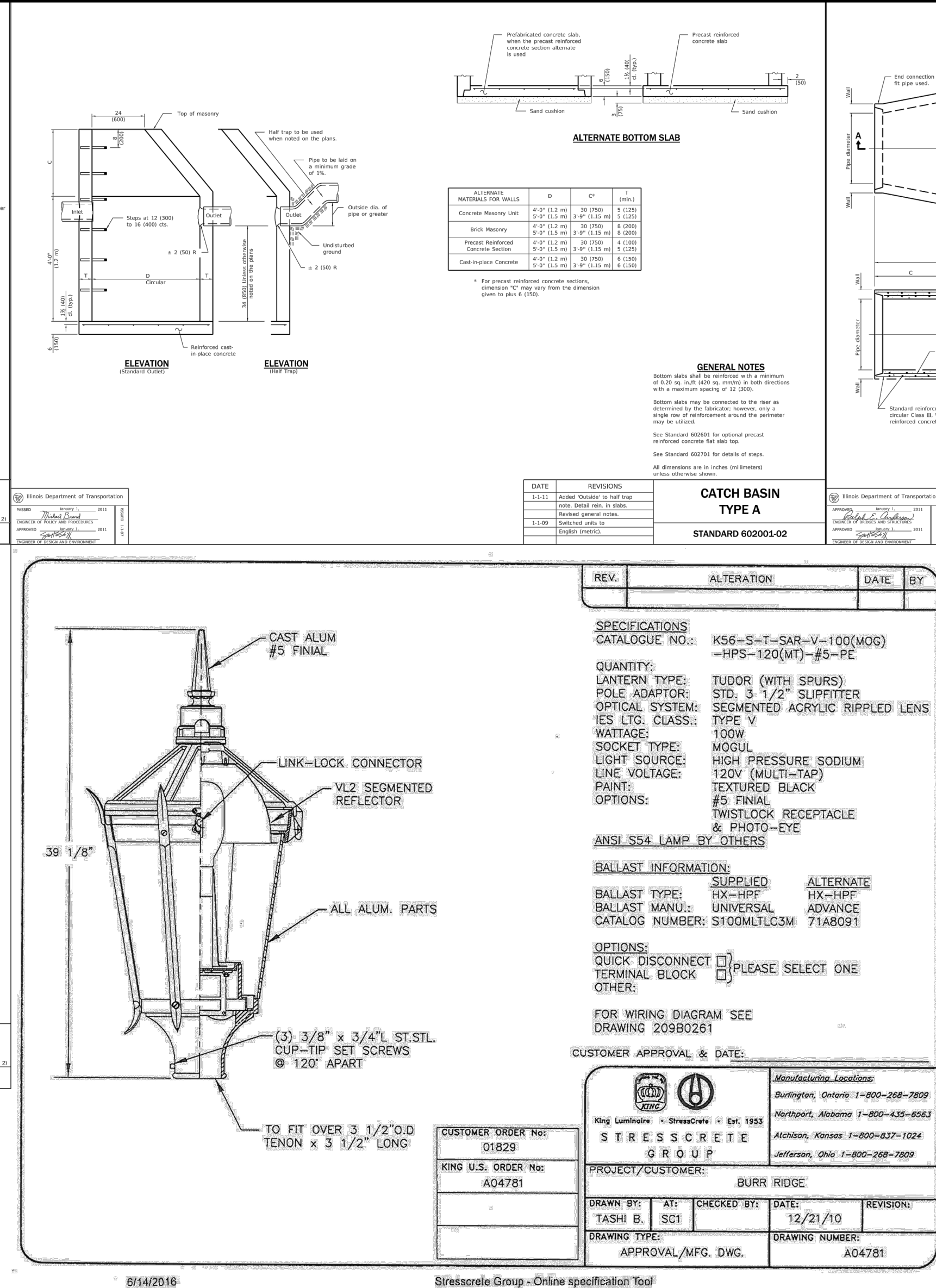
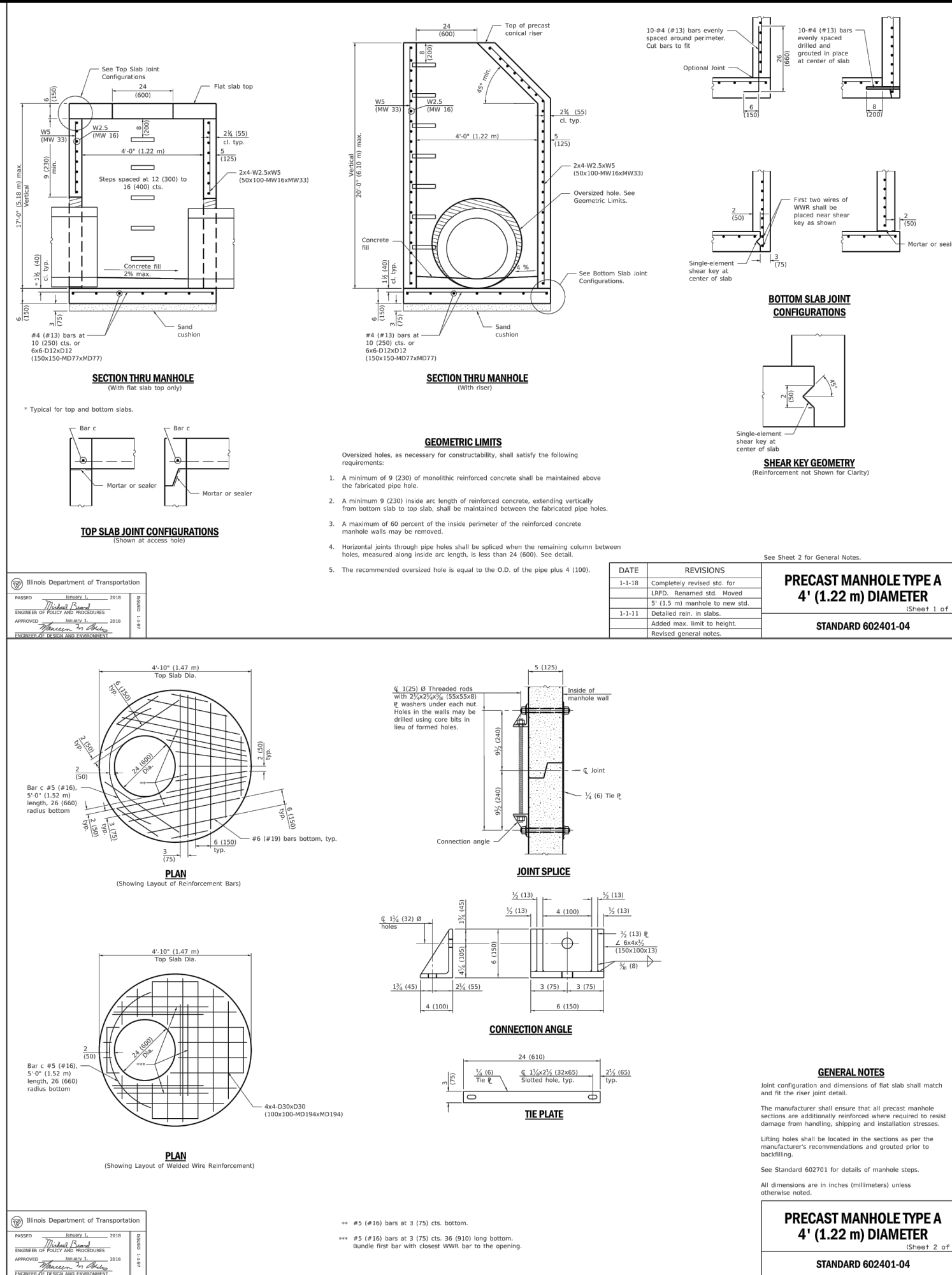
**THE COTTAGES OF DREW**  
BURR RIDGE, ILLINOIS

**JARPER PROPERTIES, LLC**  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

NOVEMBER 5, 2018  
JOB: 16-086

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**D1**  
18 OF 28





**ADVANTAGE**  
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**THE COTTAGES OF DREW**  
BURR RIDGE, ILLINOIS

**JARPER PROPERTIES, LLC**  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

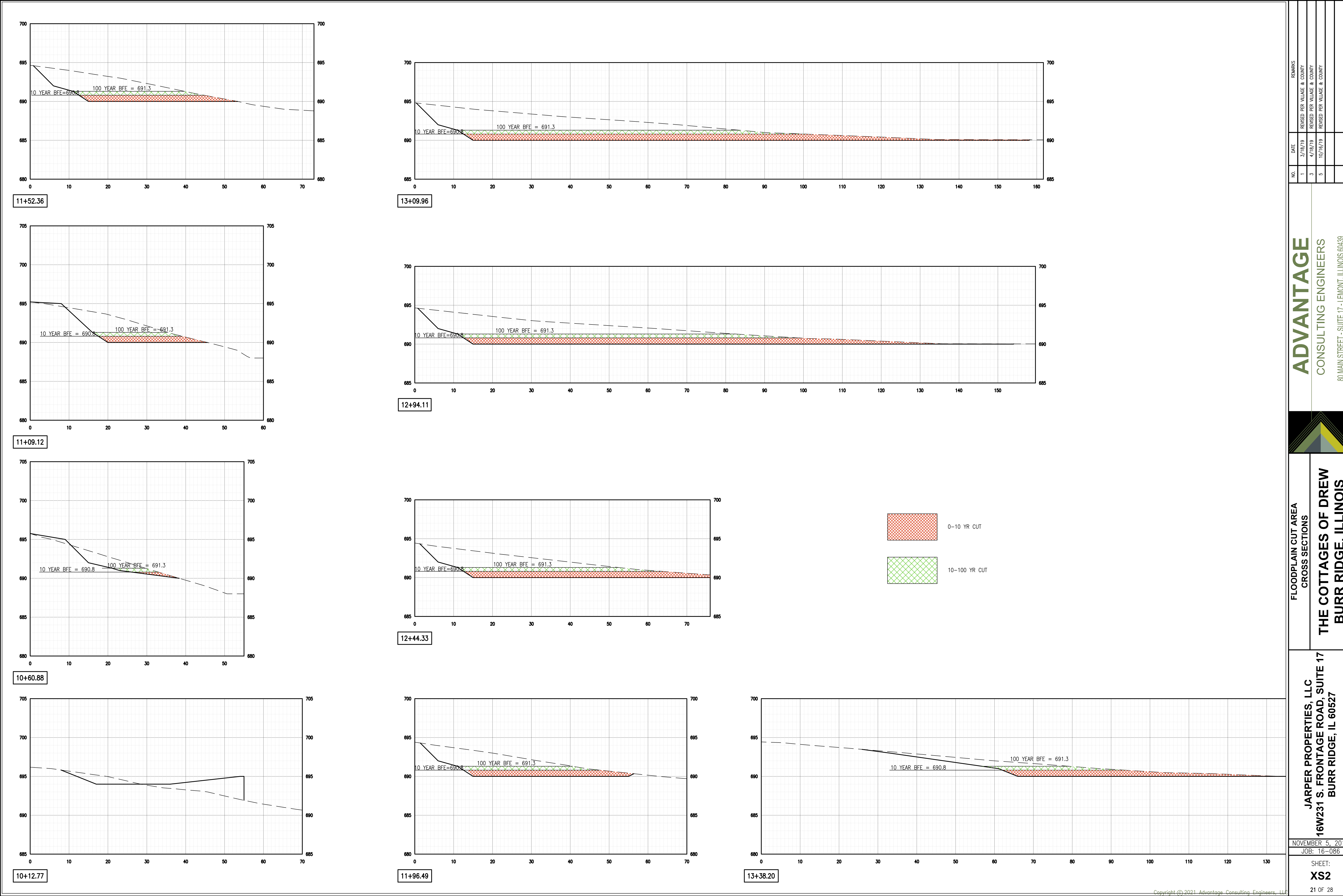
**NOVEMBER 5, 2018**  
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ADVANTAGE  
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FLOODPLAIN CUT AREA  
CROSS SECTIONS

THE COTTAGES OF DREW  
BURR RIDGE, ILLINOIS

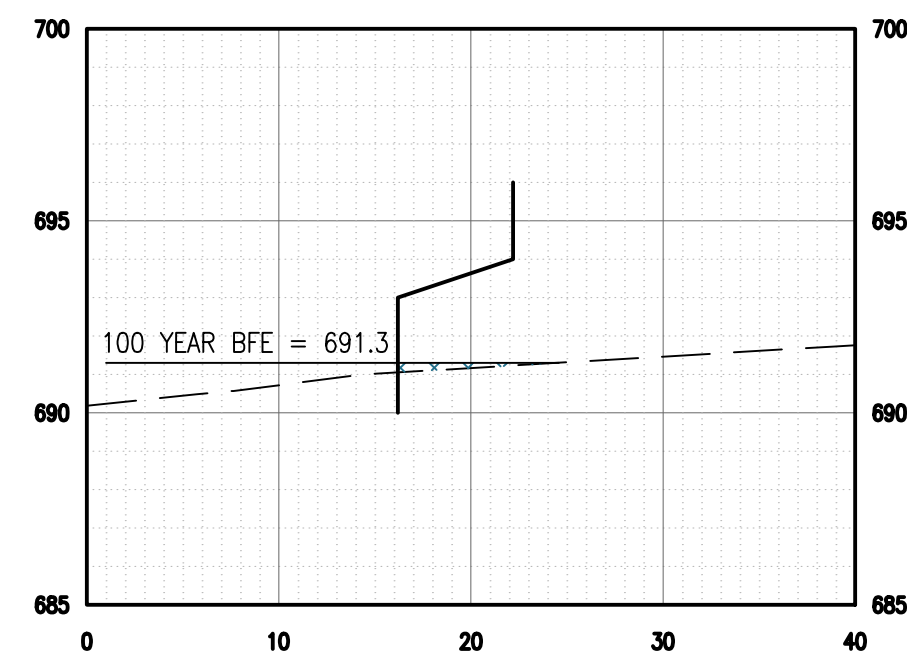
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16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

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JOB: 16-086

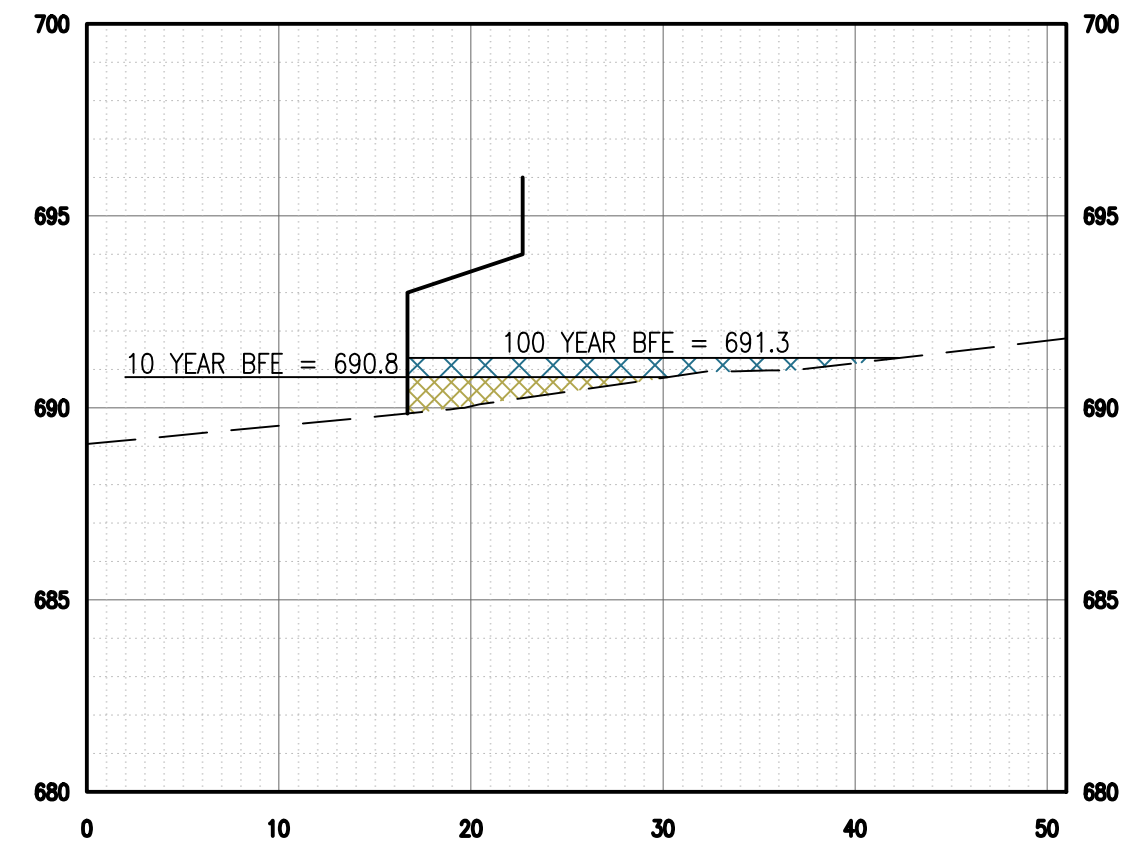
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REMARKS	
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4/18/19	3
10/16/19	5

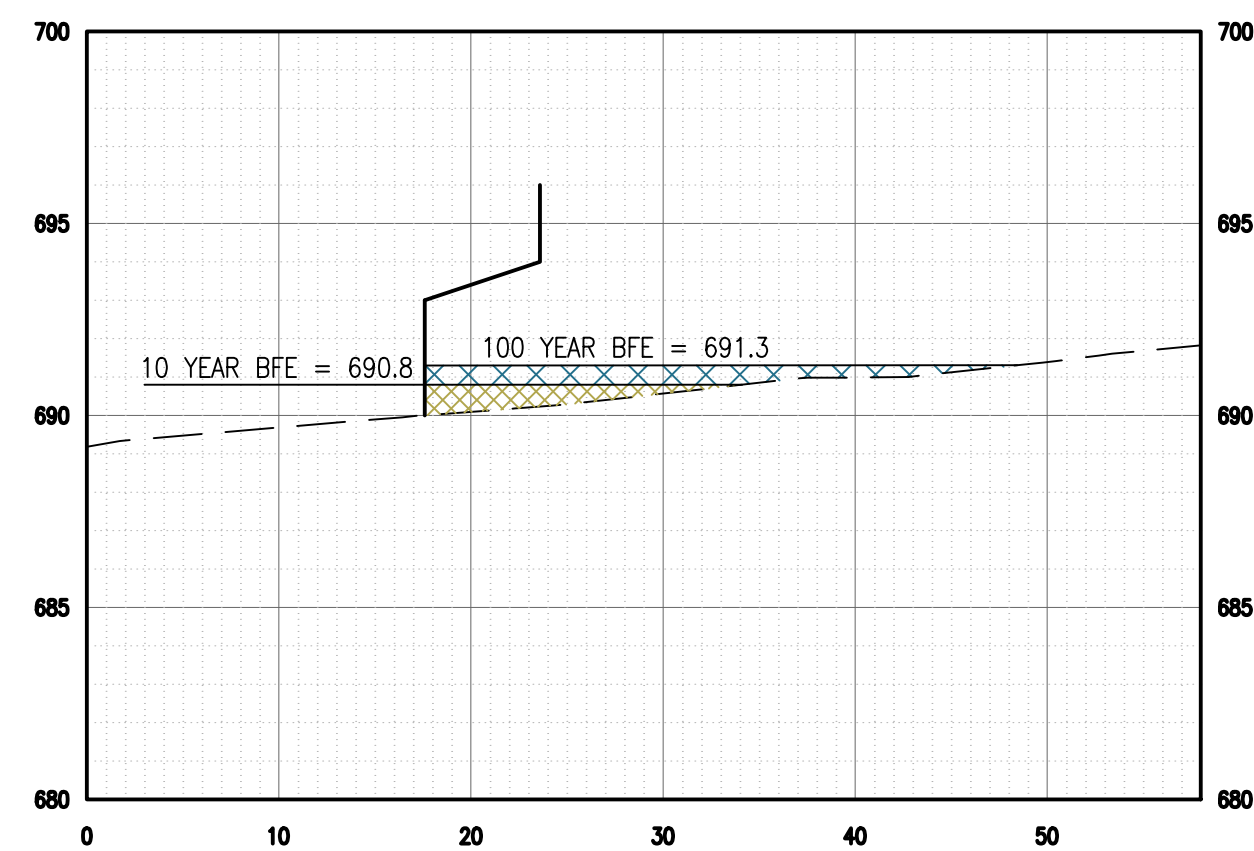




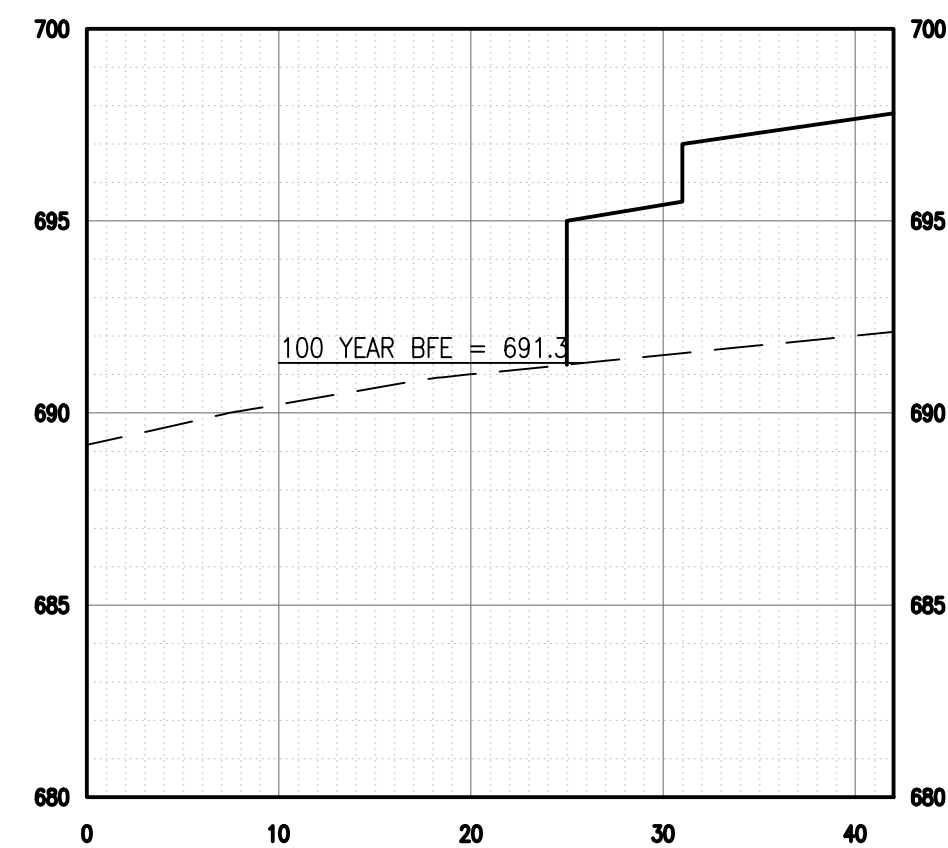
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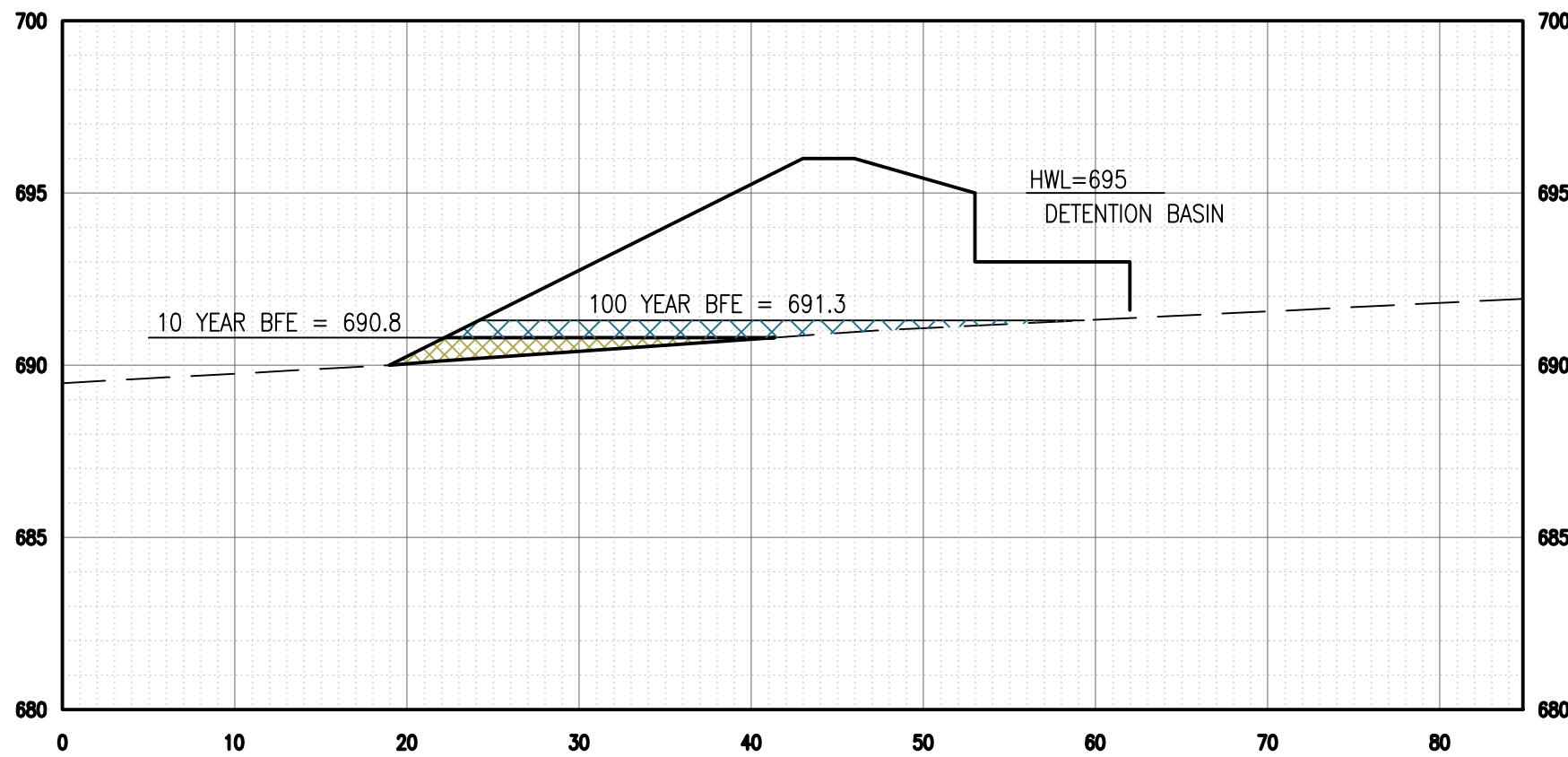
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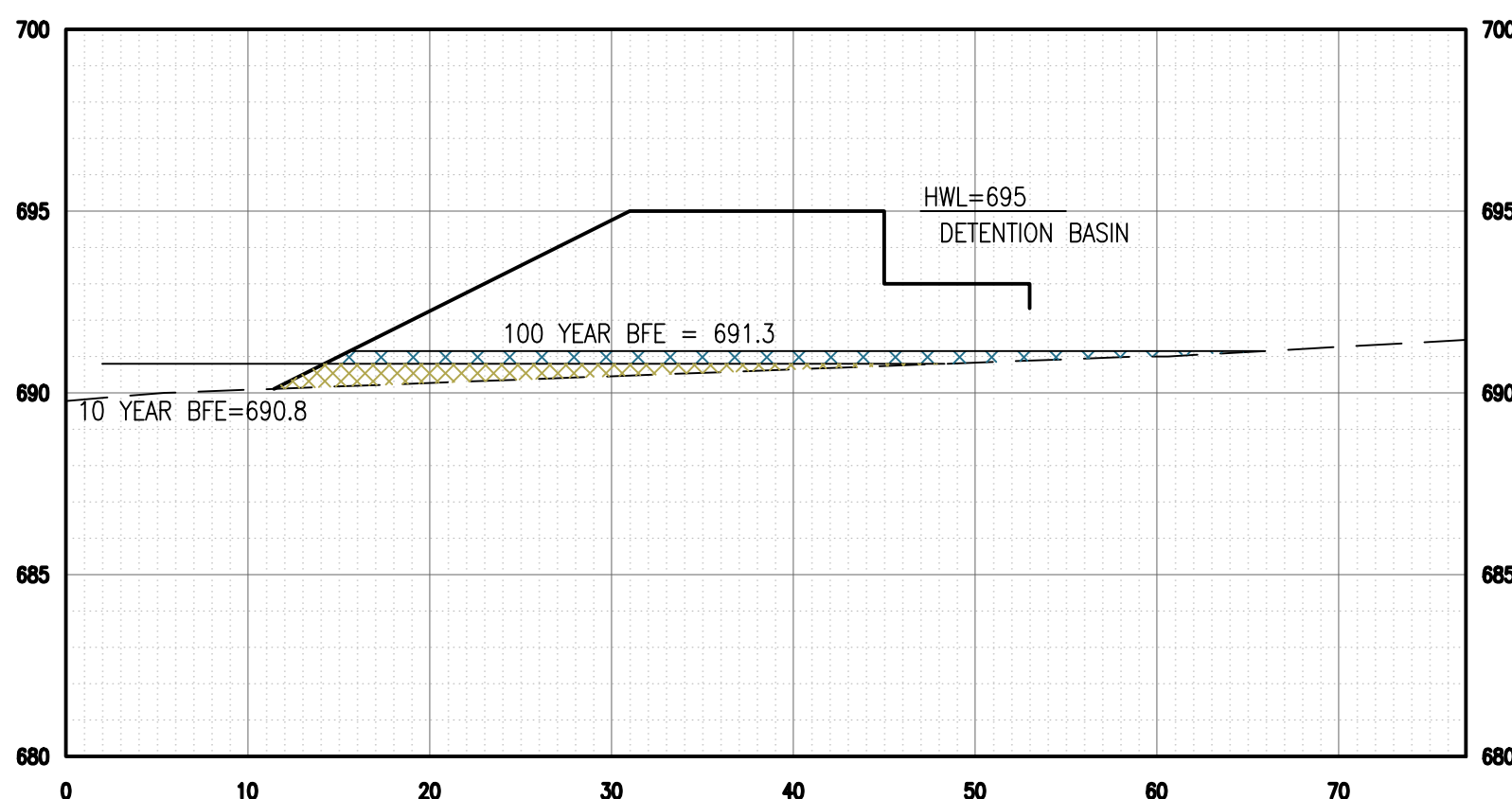
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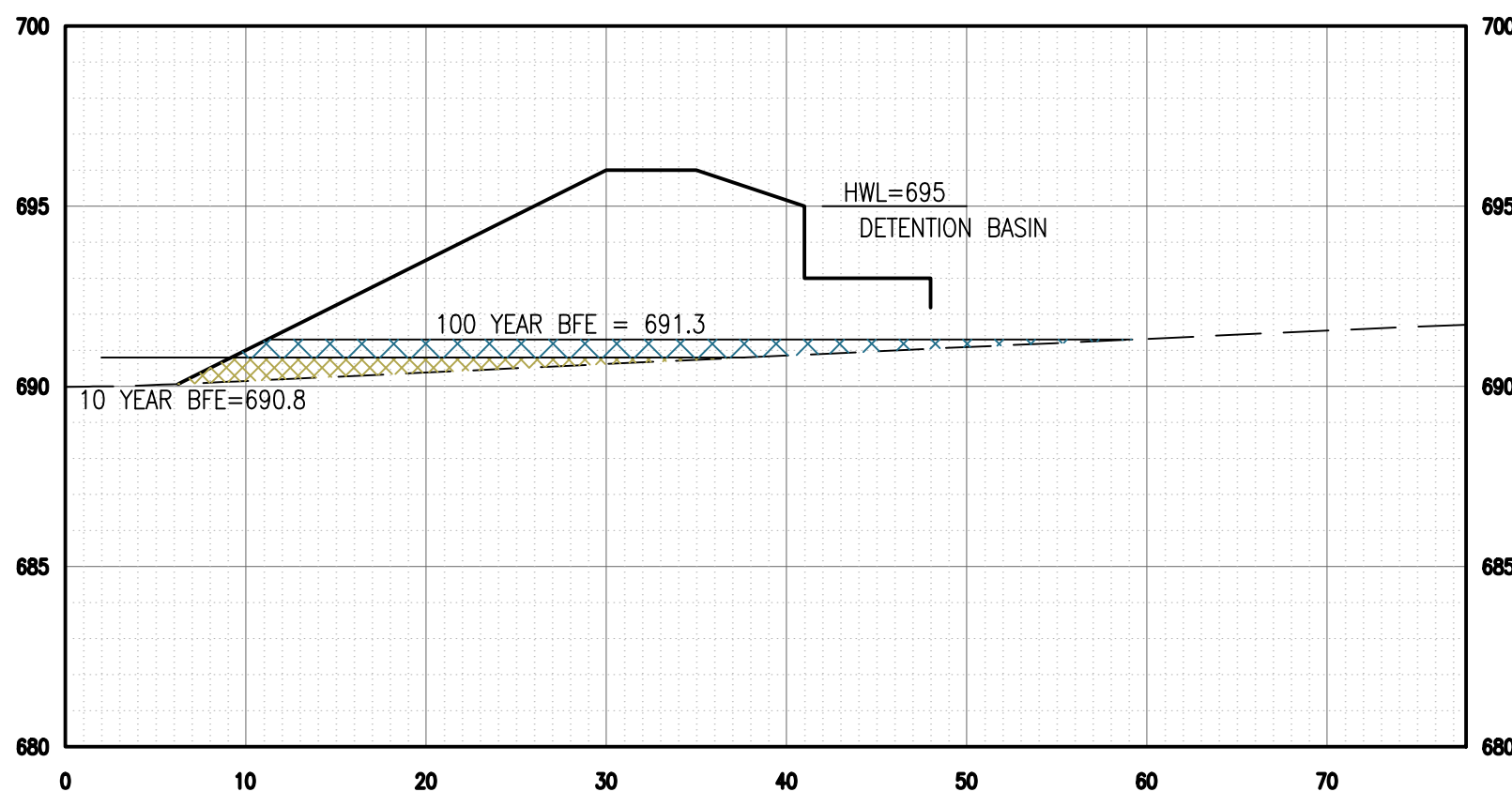
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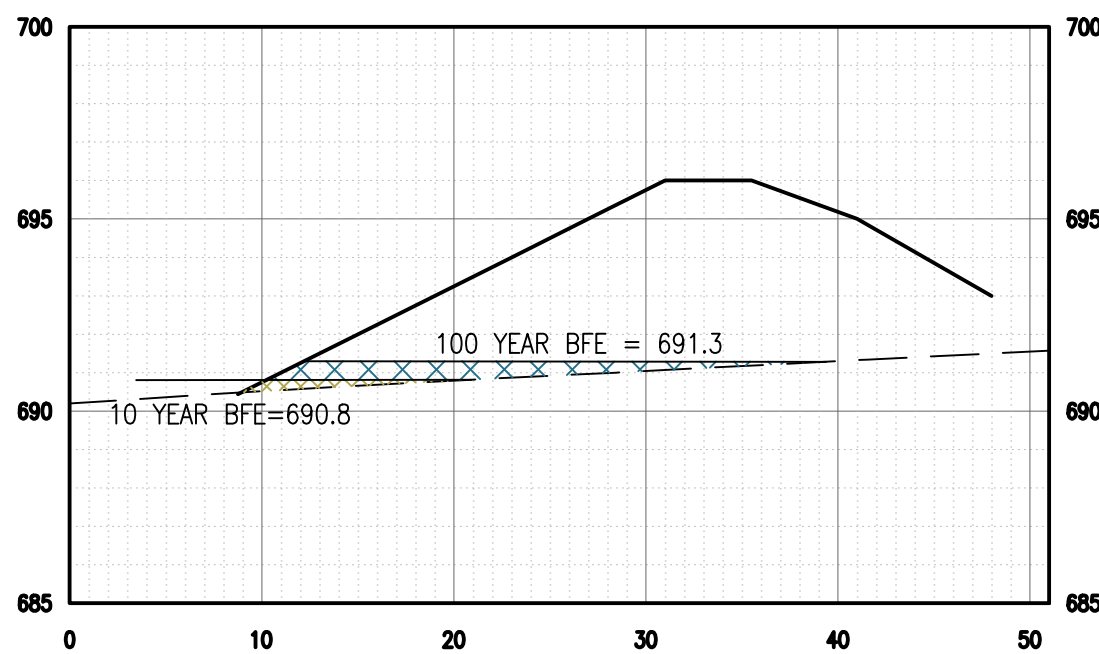
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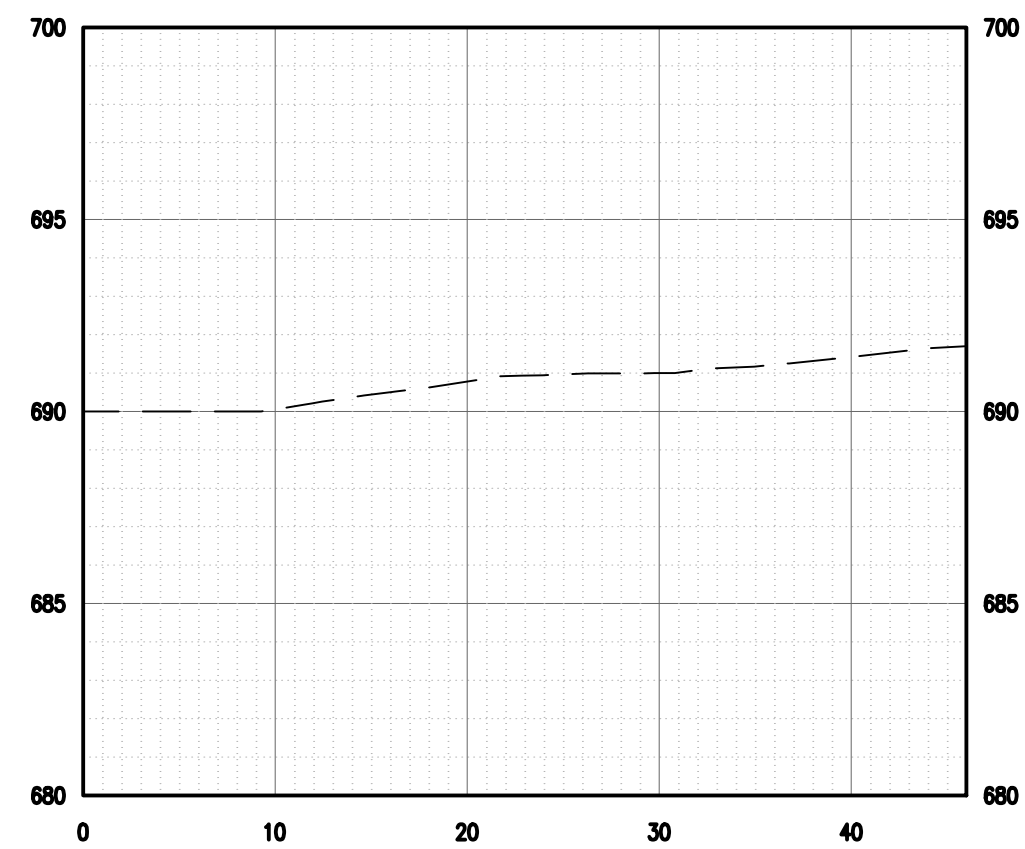
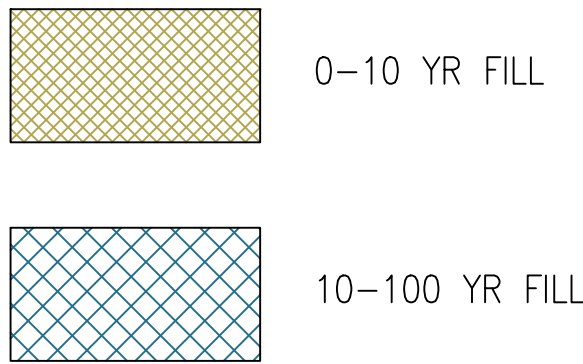
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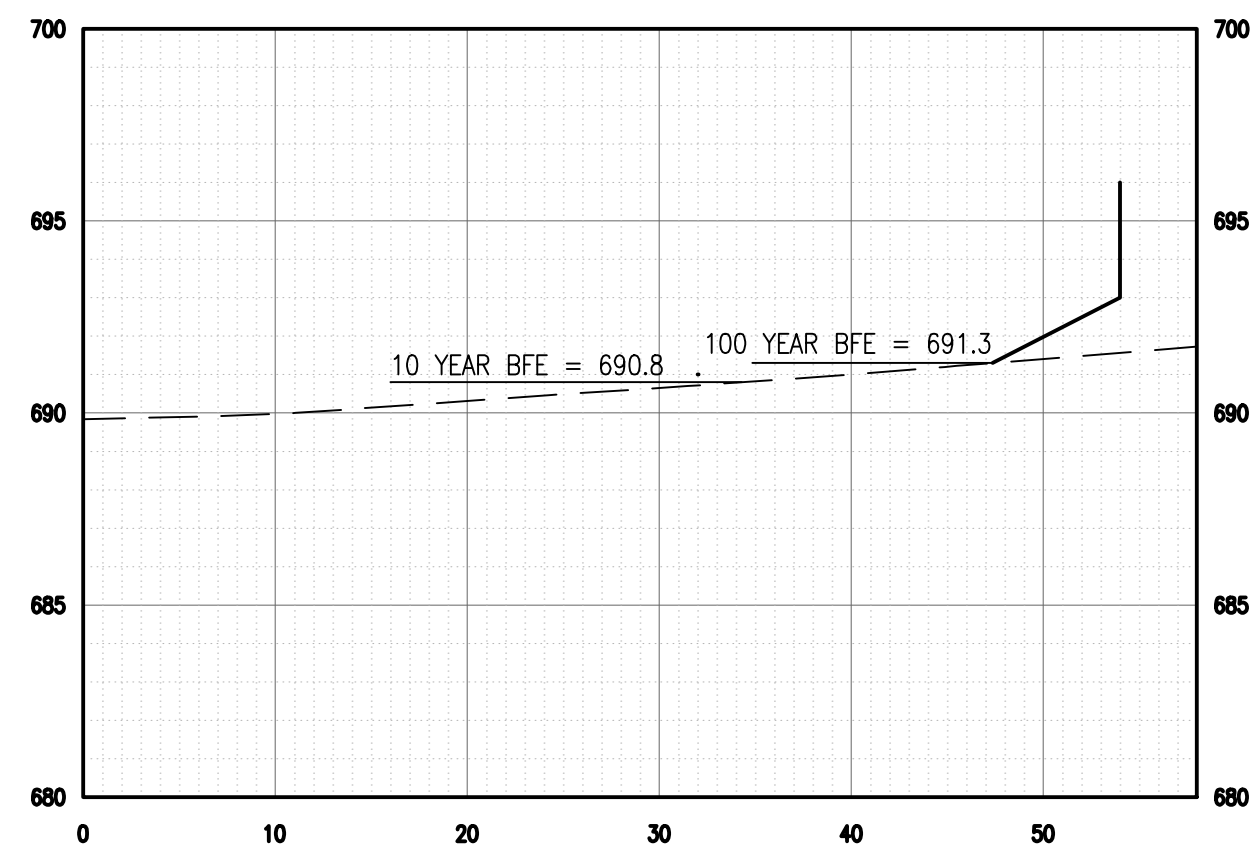
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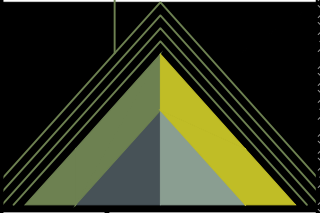
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REMARKS		DATE	
NO.			
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3	REVISED PER VILLAGE & COUNTY	4/18/19	
5	REVISED PER VILLAGE & COUNTY	10/16/19	

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FLOODPLAIN FILL AREA  
CROSS SECTIONS  
**THE COTTAGES OF DREW**  
BURR RIDGE, ILLINOIS

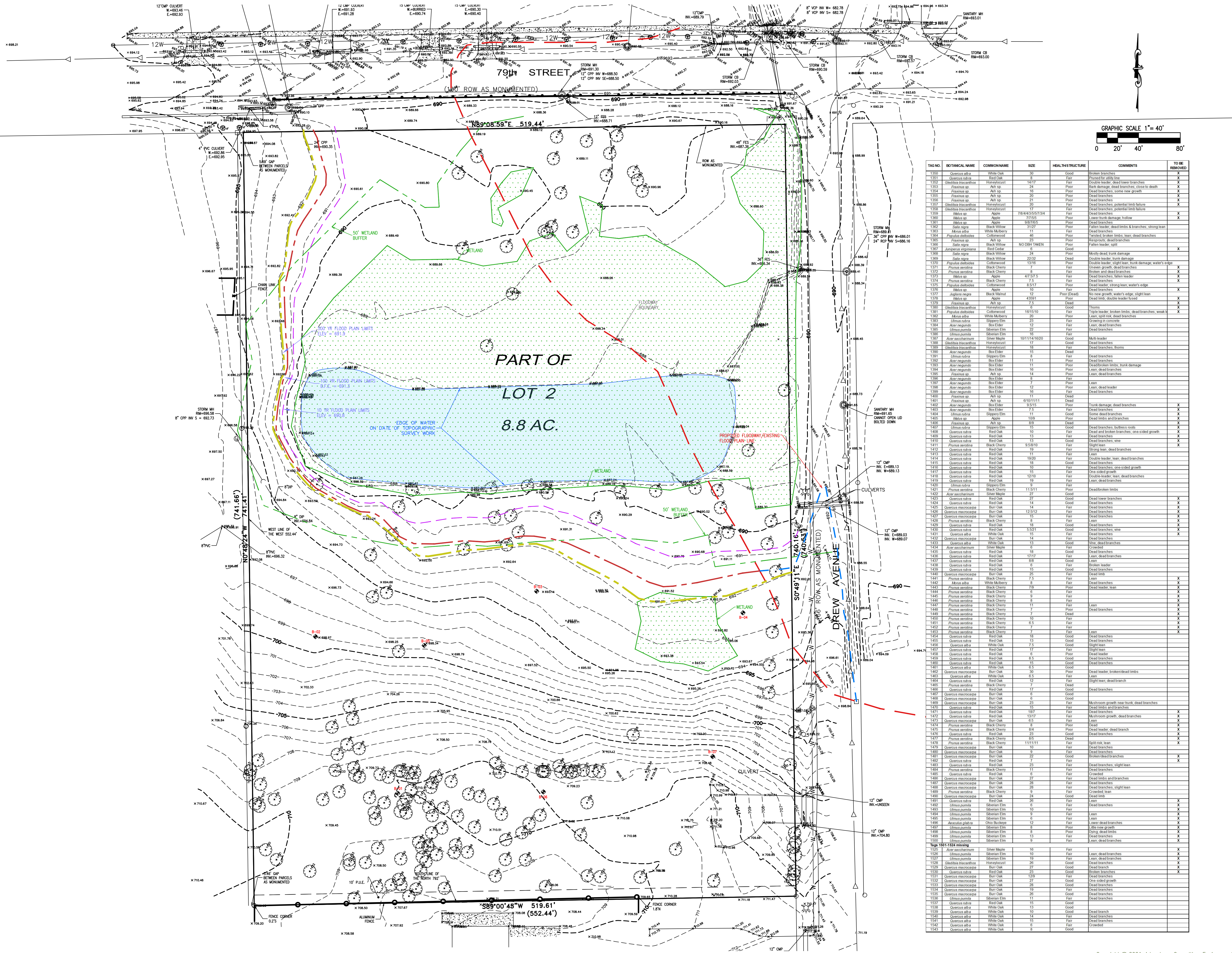
JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

NOVEMBER 5, 2018  
JOB: 16-086

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TAG NO.	BOTANICAL NAME	COMMON NAME	SIZE	HEALTH/STRUCTURE	COMMENTS	TO BE REMOVED
1301	Quercus alba	White Oak	30	Good	broken branches	X
1302	Quercus rubra	Red Oak	8	Fair	Pruned for utility line	X
1303	Gleditsia inaequalis	Honeylocust	14/17	Poor	Double leader, dead lower branches	X
1304	Fraxinus sp.	Ash sp.	24	Poor	Bank damage, dead branches, close to death	X
1305	Fraxinus sp.	Ash sp.	16	Poor	Dead branches, some new growth	X
1306	Fraxinus sp.	Ash sp.	20	Poor	Dead branches	X
1307	Gleditsia inaequalis	Honeylocust	21	Poor	Dead branches	X
1308	Gleditsia inaequalis	Honeylocust	17	Fair	Dead branches, potential limb failure	X
1309	Malus sp.	Apple	7/8/4/3/5/5/3/4	Fair	Dead branches	X
1310	Malus sp.	Apple	7/7/5/5	Poor	Lower trunk damage, hollow	X
1311	Malus sp.	Apple	8/8/7/6/5	Poor	Dead branches	X
1312	Salix nigra	Black Willow	3/2/2	Poor	Fallen leader, dead limbs & branches, strong lean	X
1313	Malus sp.	Apple	11	Fair	Dead branches	X
1314	Prunus serotina	Black Cherry	46	Poor	Twisted broken limbs, lean, dead branches	X
1315	Salix nigra	Black Willow	23	Poor	Resprouts, dead branches	X
1316	Salix nigra	Black Willow	24	Poor	Fallen leader, split	X
1317	Salix nigra	Black Willow	23/23	Good		
1318	Salix nigra	Black Willow	24	Poor	Mostly dead, trunk damage	X
1319	Salix nigra	Black Willow	23/23	Dead	Double leader, trunk damage	X
1320	Populus deltoides	Cottonwood	13/18	Poor	Double leader, slight lean, trunk damage, water's edge	X
1321	Prunus serotina	Black Cherry	8	Fair	Uneven growth, dead branches	X
1322	Prunus serotina	Black Cherry	8	Fair	Shaken and dead branches	X
1323	Malus sp.	Apple	4/7/5/5	Fair	Dead branches, fallen leader	X
1324	Prunus serotina	Black Cherry	7/5	Fair	Dead branches	X
1325	Populus deltoides	Cottonwood	8/5/17	Poor	Dead leader, strong lean, water's edge	X
1326	Malus sp.	Apple	10	Fair	Dead branches	X
1327	Juglans nigra	Black Walnut	12	Poor (Dead)	No new growth, water's edge, slight lean	X
1328	Fraxinus sp.	Ash sp.	4/3/6/1	Fair	Dead limb, double leader found	X
1329	Fraxinus sp.	Ash sp.	7/5	Dead		X
1330	Gleditsia inaequalis	Honeylocust	10/15/10	Good	Thorns	X
1331	Populus deltoides	Cottonwood	16/15/10	Fair	Trunk leader, broken limbs, dead branches, weak	X
1332	Malus sp.	White Malberry	20	Poor	Lean, split risk, dead branches	X
1333	Ulmus rubra	Slippery Elm	25	Fair	Growing in contour	X
1334	Acer negundo	Box Elder	12	Fair	Lean, dead branches	X
1335	Ulmus rubra	Slippery Elm	16	Fair	Dead branches	X
1336	Ulmus rubra	Slippery Elm	16	Fair	Dead branches	X
1337	Acer saccharinum	Silver Maple	10/11/14/16/20	Good	Multi-leader	X
1338	Gleditsia inaequalis	Honeylocust	17	Good	Dead branches	X
1339	Gleditsia inaequalis	Honeylocust	18	Fair	Dead branches, thorns	X
1340	Acer negundo	Box Elder	11	Dead		X
1341	Ulmus rubra	Slippery Elm	8	Fair	Dead branches	X
1342	Acer negundo	Box Elder	11	Poor	Dead/broken limbs, trunk damage	X
1343	Acer negundo	Box Elder	11	Poor	Lean, dead branches	X
1344	Fraxinus sp.	Ash sp.	14	Poor	Lean, dead branches	X
1345	Acer negundo	Box Elder	8	Fair	Lean	X
1346	Acer negundo	Box Elder	7	Poor	Lean	X
1347	Acer negundo	Box Elder	12	Poor	Lean, dead leader	X
1348	Acer negundo	Box Elder	16	Poor	Dead branches	X
1349	Fraxinus sp.	Ash sp.	11	Dead		X
1401	Fraxinus sp.	Ash sp.	8/10/11/11	Poor	Trunk damage, dead branches	X
1402	Acer negundo	Box Elder	9/2/15	Fair	Dead branches	X
1403	Acer negundo	Box Elder	7/5	Fair	Dead branches	X
1404	Ulmus rubra	Slippery Elm	11	Good	Some dead branches	X
1405	Malus sp.	Apple	10/9	Poor	Dead limbs and branches	X
1406	Fraxinus sp.	Ash sp.	16/8	Good		X
1407	Ulmus rubra	Slippery Elm	15	Good	Dead branches, business roots	X
1408	Quercus rubra	Red Oak	10	Fair	Dead and broken branches, one-sided growth	X
1409	Quercus rubra	Red Oak	13	Fair	Dead branches	X
1410	Quercus rubra	Red Oak	13	Good	Dead branches, vine	X
1411	Prunus serotina	Black Cherry	9/5/8/9	Fair	Slight lean	X
1412	Quercus rubra	Red Oak	11	Fair	Strong lean, dead branches	X
1413	Quercus rubra	Red Oak	15	Fair	Double leader, lean, dead branches	X
1414	Quercus rubra	Red Oak	19/20	Fair	Double leader, lean, dead branches	X
1415	Quercus rubra	Red Oak	16	Good	Dead branches	X
1416	Quercus rubra	Red Oak	16	Fair	Dead branches, one-sided growth	X
1417	Quercus rubra	Red Oak	15	Fair	One-sided growth	X
1418	Quercus rubra	Red Oak	15/16	Fair	Double leader, lean, dead branches	X
1419	Quercus rubra	Red Oak	19	Fair	Lean, dead branches	X
1420	Ulmus rubra	Slippery Elm	9	Fair	Dead branches	X
1421	Prunus serotina	Black Cherry	11/5/11	Poor	Dead/broken limbs	X
1422	Acer saccharinum	Silver Maple	17	Good		X
1423	Quercus rubra	Red Oak	27	Good	Dead lower branches	X
1424	Quercus rubra	Red Oak	14	Good	Dead branches	X
1425	Quercus macrocarpa	Burr Oak	14	Fair	Dead branches	X
1426	Quercus macrocarpa	Burr Oak	12/5/12	Fair	Dead branches	X
1427	Quercus macrocarpa	Burr Oak	15	Fair	Dead branches	X
1428	Prunus serotina	Black Cherry	8	Fair	Lean	X
1429	Quercus rubra	Red Oak	18	Good	Dead branches	X
1430	Quercus rubra	Red Oak	5/5/21	Good	Dead branches, vine	X
1431	Quercus alba	White Oak	15	Fair	Dead branches	X
1432	Quercus macrocarpa	Burr Oak	14	Fair	Dead branches	X
1433	Quercus alba	White Oak	13	Good	Vine, dead branches	X
1434	Acer saccharinum	Silver Maple	6	Fair	Dead branches	X
1435	Quercus rubra	Red Oak	18	Good	Lean, dead branches	X
1436	Quercus rubra	Red Oak	11/17	Fair	Lean, dead branches	X
1437	Quercus rubra	Red Oak	8/8	Good	Lean	X
1438	Quercus rubra	Red Oak	6	Fair	Broken leader	X
1439	Quercus rubra	Red Oak	15	Good	Dead branches	X
1440	Quercus macrocarpa	Burr Oak	25	Fair	Dead limb	X
1441	Prunus serotina	Black Cherry	7/5	Fair	Dead branches	X
1442	Malus alba	White Malberry	8	Fair	Dead branches	X
1443	Prunus serotina	Black Cherry	18	Poor	Dead leader, lean	X
1444	Prunus serotina	Black Cherry	8	Fair	Dead branches	X
1445	Prunus serotina	Black Cherry	8	Fair	Dead branches	X
1446	Prunus serotina	Black Cherry	8	Fair	Dead branches	X
1447	Prunus serotina	Black Cherry	11	Fair	Lean	X
1448	Prunus serotina	Black Cherry	7	Poor	Dead branches	X
1449	Prunus serotina	Black Cherry	7	Dead		X
1450	Prunus serotina	Black Cherry	10	Fair	Dead branches	X
1451	Prunus serotina	Black Cherry	8/5	Fair	Dead branches	X
1452	Prunus serotina	Black Cherry	7	Fair	Lean	X
1453	Prunus serotina	Black Cherry	7	Fair	Lean	X
1454	Quercus rubra	Red Oak	18	Good	Dead branches	X
1455	Quercus rubra	Red Oak	13	Good	Dead branches	X
1456	Quercus alba	White Oak	7/5	Good	Slight lean	X
1457	Quercus rubra	Red Oak	6	Poor	Dead leader	X
1458	Quercus rubra	Red Oak	6	Poor	Dead branches	X
1459	Quercus rubra	Red Oak	6/5	Good	Dead branches	X
1460	Quercus rubra	Red Oak	15	Good	Dead branches	X
1461	Quercus alba	White Oak	6/5	Good	Dead branches	X
1462	Quercus macrocarpa	Burr Oak	30	Poor	Dead leader, broken/dead limbs	X
1463	Quercus alba	White Oak	6/5	Fair	Lean	X
1464	Quercus rubra	Red Oak	12	Fair	Slight lean, dead branch	X
1465	Prunus serotina	Black Cherry	7	Dead		X
1466	Quercus rubra	Red Oak	17	Good	Dead branches	X
1467	Quercus macrocarpa	Burr Oak	6	Good	Dead branches	X
1468	Quercus macrocarpa	Burr Oak	6	Good	Dead branches	X
1469	Quercus macrocarpa	Burr Oak	23	Fair	Mushroom growth near trunk, dead branches	X
1470	Quercus rubra	Red Oak	15	Fair	Dead limbs and branches	X
1471	Quercus rubra	Red Oak	8/9	Fair	Dead branches	X
1472	Quercus rubra	Red Oak	13/17	Fair	Mushroom growth, dead branches	X
1473	Quercus macrocarpa	Burr Oak	14/4	Fair	Dead branches	X
1474	Prunus serotina	Black Cherry	8	Poor	Dead	X
1475	Prunus serotina	Black Cherry	8/4	Poor	Dead leader, dead branch	X
1476	Quercus rubra	Red Oak	23	Good	Dead branches	X
1477	Prunus serotina	Black Cherry	8/5	Dead		X
1478	Prunus serotina	Black Cherry	11/11/11	Fair	Splint risk, lean	X
1479	Quercus macrocarpa	Burr Oak	10	Fair	Dead branches	X
1480	Quercus macrocarpa	Burr Oak	9	Fair	Dead branches	X
1481	Quercus macrocarpa	Burr Oak	22	Good	Broken/dead branches	X
1482	Quercus rubra	Red Oak	7	Fair	Dead branches	X
1483	Quercus rubra	Red Oak	23	Fair	Dead branches	X
1484	Prunus serotina	Black Cherry	11	Fair	Dead branches, slight lean	X
1485	Quercus rubra	Red Oak	6	Fair	Dead branches	X
1486	Quercus macrocarpa	Burr Oak	27	Fair	Dead limbs and branches	X
1487	Quercus rubra	Red Oak	26	Fair	Dead branches	X
1488	Quercus macrocarpa	Burr Oak	38	Fair	Dead branches, slight lean	X
1489	Prunus serotina	Black Cherry	9	Fair	Crowded lean	X
1490	Quercus rubra	Red Oak	24	Good	Dead limb	X
1491	Quercus rubra	Red Oak	26	Fair	Lean	X
1492	Ulmus pumila	Siberian Elm	6	Fair	Dead branches	X
1493	Ulmus pumila	Siberian Elm	9	Fair	Lean	X
1494	Ulmus pumila	Siberian Elm	9	Fair	Lean	X
1495	Ulmus pumila	Siberian Elm	6	Fair	Lean	X
1496	Abutilon glabra	Onion Bushyree	12	Fair	Lower dead branches	X
1497	Ulmus pumila	Siberian Elm	8	Poor	One-sided growth	X
1498	Ulmus pumila	Siberian Elm	8	Poor	Dying, dead limbs	X
1499	Ulmus pumila	Siberian Elm	13	Fair	Dead branches	X
1500	Ulmus pumila	Siberian Elm	9	Fair	Lean, dead branches	X
1501	Acer saccharinum	Silver Maple	16	Fair	Lean, dead branches	X
1502	Ulmus pumila	Siberian Elm	19	Fair	Lean, dead branches	X
1503	Gleditsia inaequalis	Honeylocust	26	Good	Dead branches	X
1504	Quercus macrocarpa	Burr Oak	27	Good	Dead branches	X
1505	Quercus rubra	Red Oak	23	Good	Broken branches	X
1506	Quercus macrocarpa	Burr Oak	28	Fair	Dead branches	X
1507	Quercus macrocarpa	Burr Oak	27	Good	One-sided growth	X
1508	Quercus macrocarpa	Burr Oak	19	Good	Dead branches	X
1509	Quercus macrocarpa	Burr Oak	26	Good	Dead branches	X
1510	Ulmus pumila	Siberian Elm	11	Fair	Dead branches	X
1511	Quercus alba	White Oak	13	Good	Dead branches	X
1512	Quercus alba	White Oak	10	Good	Dead branch	X
1513	Quercus alba	White Oak	14	Fair	Dead branches	X
1514	Quercus alba	White Oak	15	Fair	Dead branches	X
1515	Quercus alba	White Oak	8	Fair	Crowded	X

REMARKS  
REVISED PER VILLAGE & COUNTY  
REVISED PER VILLAGE & COUNTY

DATE  
3/18/19  
4/18/19

NO.  
1  
3

ADVANTAGE  
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630-520-2467  
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TREE SURVEY

THE COTTAGES OF DREW  
BURR RIDGE, ILLINOIS

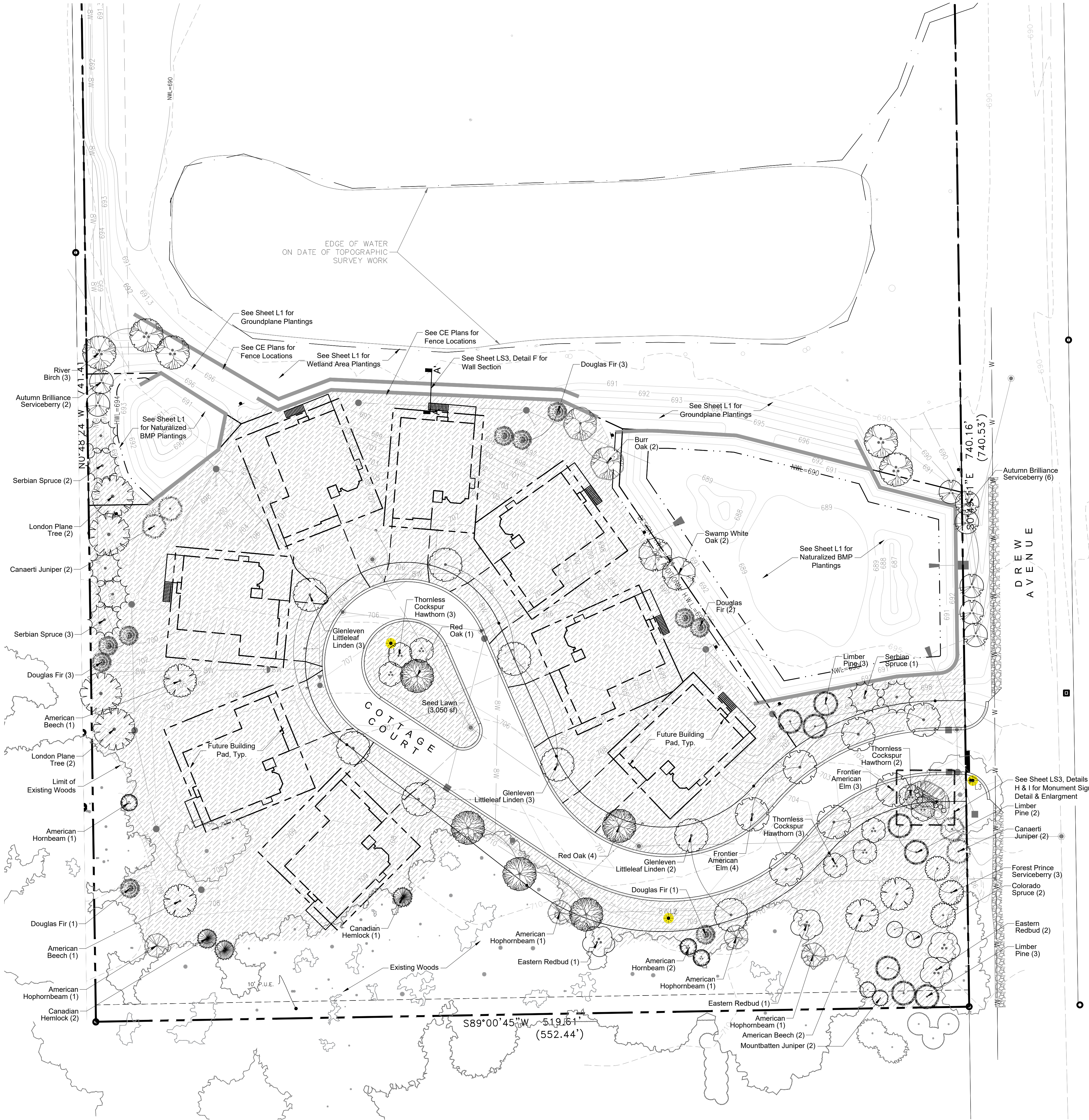
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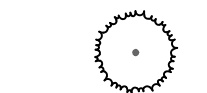



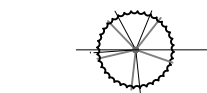

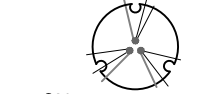







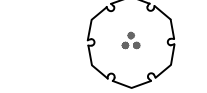


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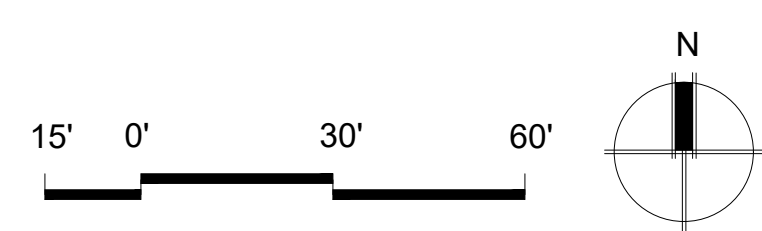
LANDSCAPE COMMON AREA PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Betula nigra / River Birch	B & B	6'-8" ht, multi-stem	5
	Fagus grandifolia / American Beech	B & B	2.5" cal.	4
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	B & B	3" cal.	4
	Quercus bicolor / Swamp White Oak	B & B	2.5" cal.	-4 2
	Quercus macrocarpa / Burr Oak	B & B	2.5" cal.	2
	Quercus rubra / Red Oak	B & B	2.5" cal.	-6 5
	Tilia cordata 'Glenleven' / Glenleven Littleleaf Linden	B & B	2.5" cal.	8
	Ulmus x 'Frontier' / Frontier American Elm	B & B	2.5" cal.	7
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper	B & B	4'-6" ht	-4 2
	Juniperus virginiana 'Canaerti' / Canaerti Juniper	B & B	4'-6" ht	4
	Picea omorika / Serbian Spruce	B & B	6'-8" ht	7
	Picea pungens / Colorado Spruce	B & B	10-12' ht	2
	Pinus flexilis / Limber Pine	B & B	6'-8" ht	8
	Pseudotsuga menziesii / Douglas Fir	B & B	4'-6" ht	-12 10
	Thuja occidentalis 'Nigra' / Nigra Arborviate	B & B	4'-6" ht	4
	Tsuga canadensis / Canadian Hemlock	B & B	4'-6" ht	3
ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	4'-6" ht, multi-stem	-5 8
	Amelanchier x grandiflora 'Forest Prince' / Forest Prince Serviceberry	B & B	4'-6" ht	3
	Cercis canadensis / Eastern Redbud	B & B	4'-6" ht, multi-stem	4
	Crataegus crus-galli inermis TM / Thornless Cocksaur Hawthorn	B & B	4'-6" ht, multi-stem	6
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Carpinus caroliniana 'JN Strain' TM / American Hornbeam	B & B	4'-6" ht, multi-stem	3
	Ostrya virginiana / American Hophornbeam	B & B	2.5" cal.	4
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Seed Lawn / IDOT Class 1B Low Maintenance Lawn Mixture	seed		111,341 sf
	Fine Leaf Turf-Type Fescue	150 lbs. / acre		
	Perennial Ryegrass	20 lbs. / acre		
	Red Top	20 lbs. / acre		
	Creeping Red Fescue	20 lbs. / acre		
	Total = 200 lbs. / acre			

MONUMENT SIGN PLANT SCHEDULE

ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Crataegus crus-galli inermis TM / Thornless Cocksaur Hawthorn	B & B	4'-6" ht, multi-stem	2
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea		36"h	1
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea		24"h	5
GROUND COVERS & PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Geranium x 'Rozanne' / Rozanne Cranesbill	2.25" pot	18" o.c.	88 sf
	Hosta fortunei 'Frances' / Fortune's Hosta	flat	36" o.c.	35 sf
	Liriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	104 sf
	Aster novi-belgii 'Woods Purple' / Woods Purple Aster	2.25" pot	12" o.c.	52 sf

NOTE:  
- Street trees along Cottage Court spaced at 40' o.c. per Village Code.  
- See CE Plans for Fence Locations



  
**teska**  
Landscape Architecture  
627 Grove Street,  
Evanston, Illinois 60201  
Tel 847.869.2015  
Fax 847.869.2059

REVISIONS

NO.	DATE	DESCRIPTION
1	3/4/19	REVISED PER VILLAGE & COUNTY
2	9/24/19	REVISED PER CIVIL
3	10/27/19	REVISED PER CIVIL
4	10/24/21	REVISED PER ARCH
5	3/15/22	REVISED PER ARCH

LANDSCAPE COMMON AREA PLANTING PLAN

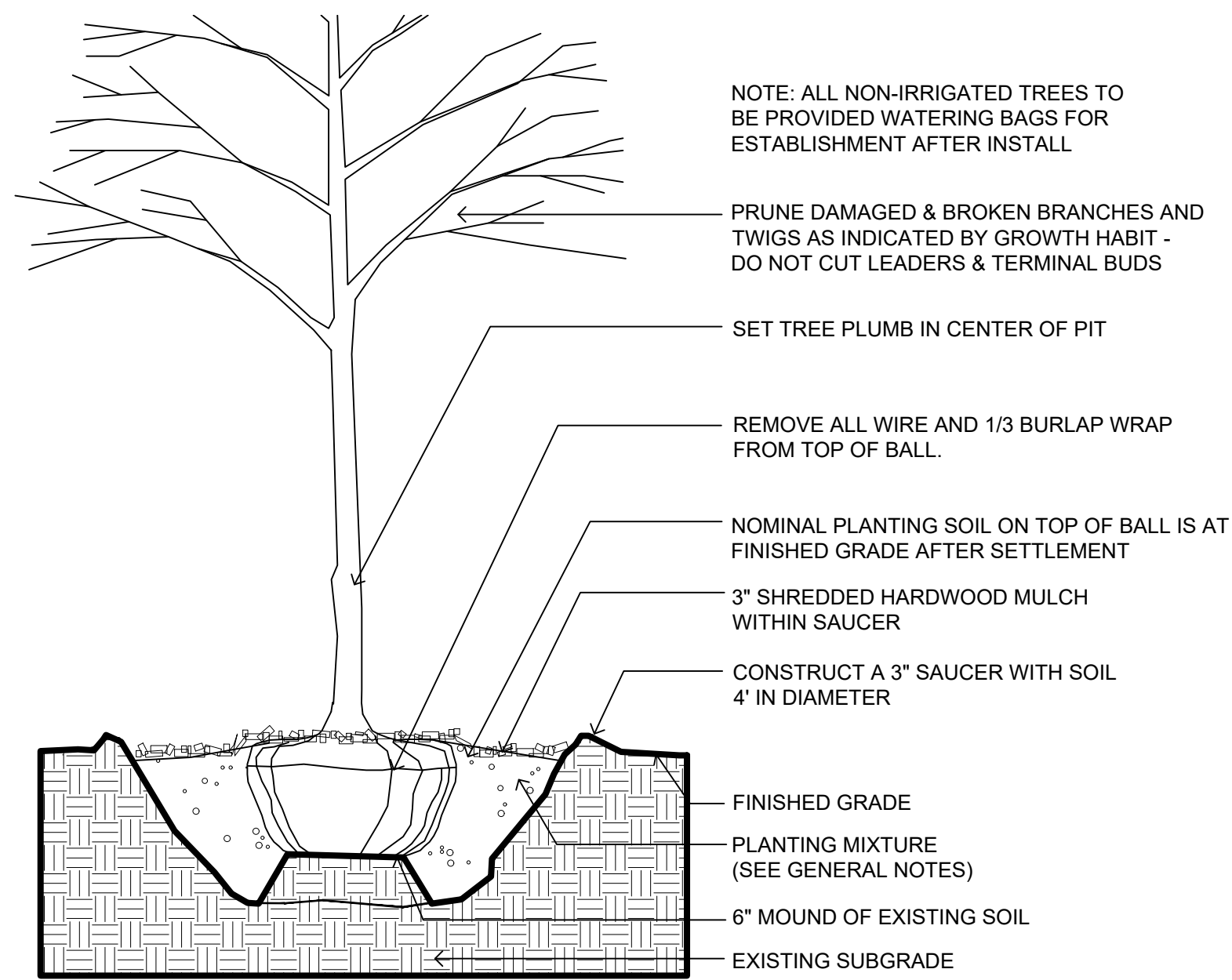


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847.260.4758

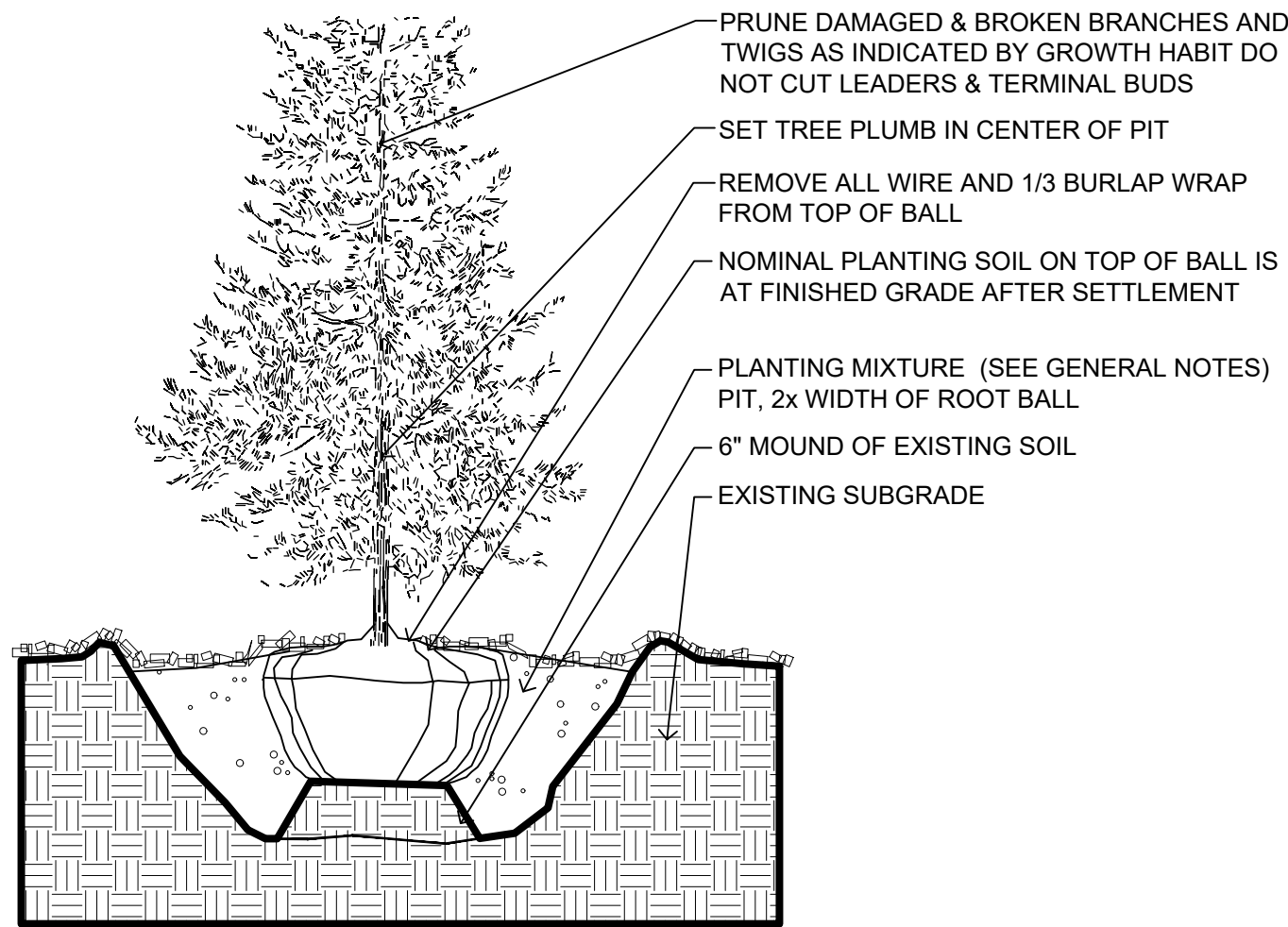
JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

MARCH 15, 2022  
JOB: 16-086  
SHEET:  
**LS1**  
25 OF 27

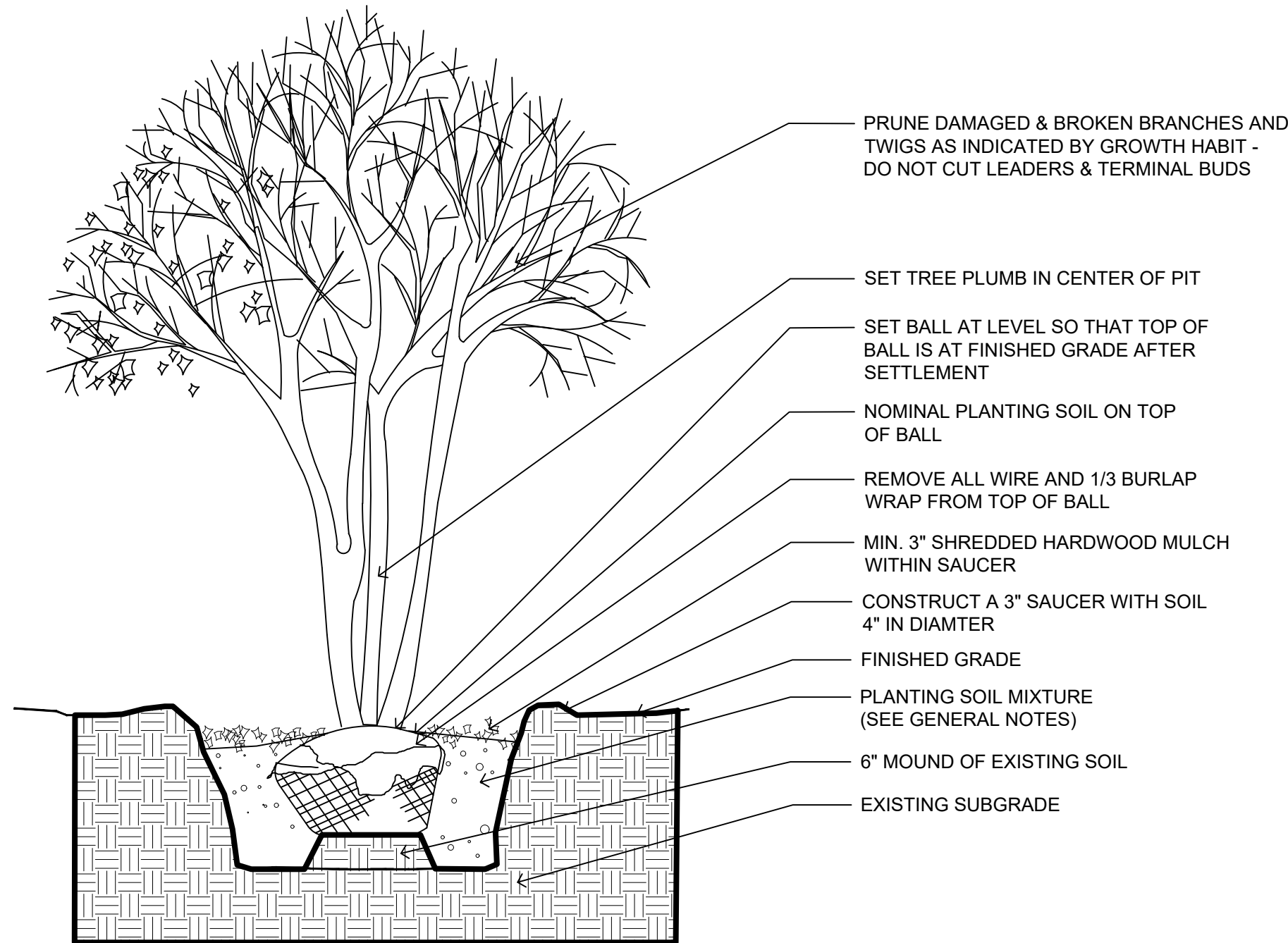




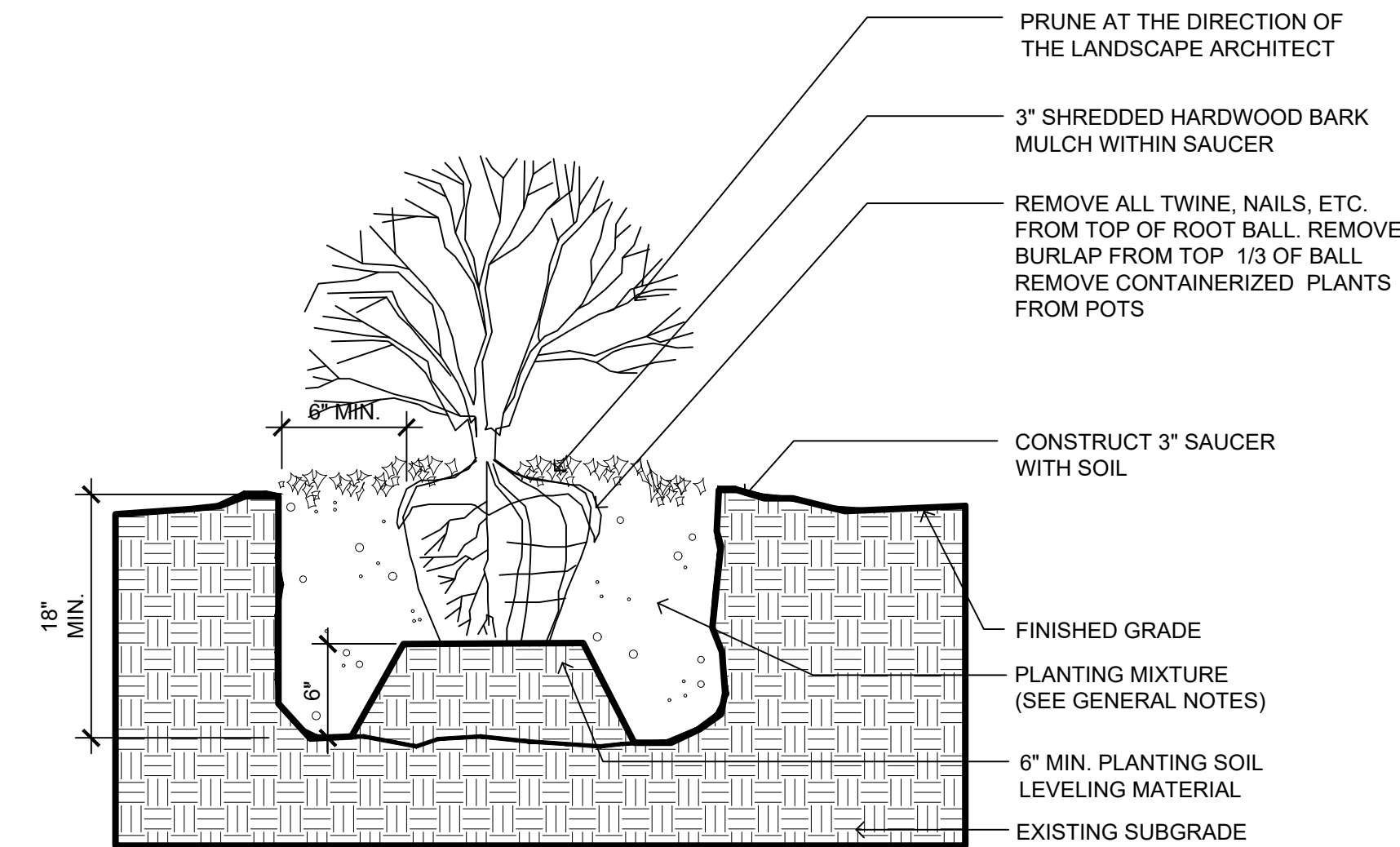
**A** SHADE TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



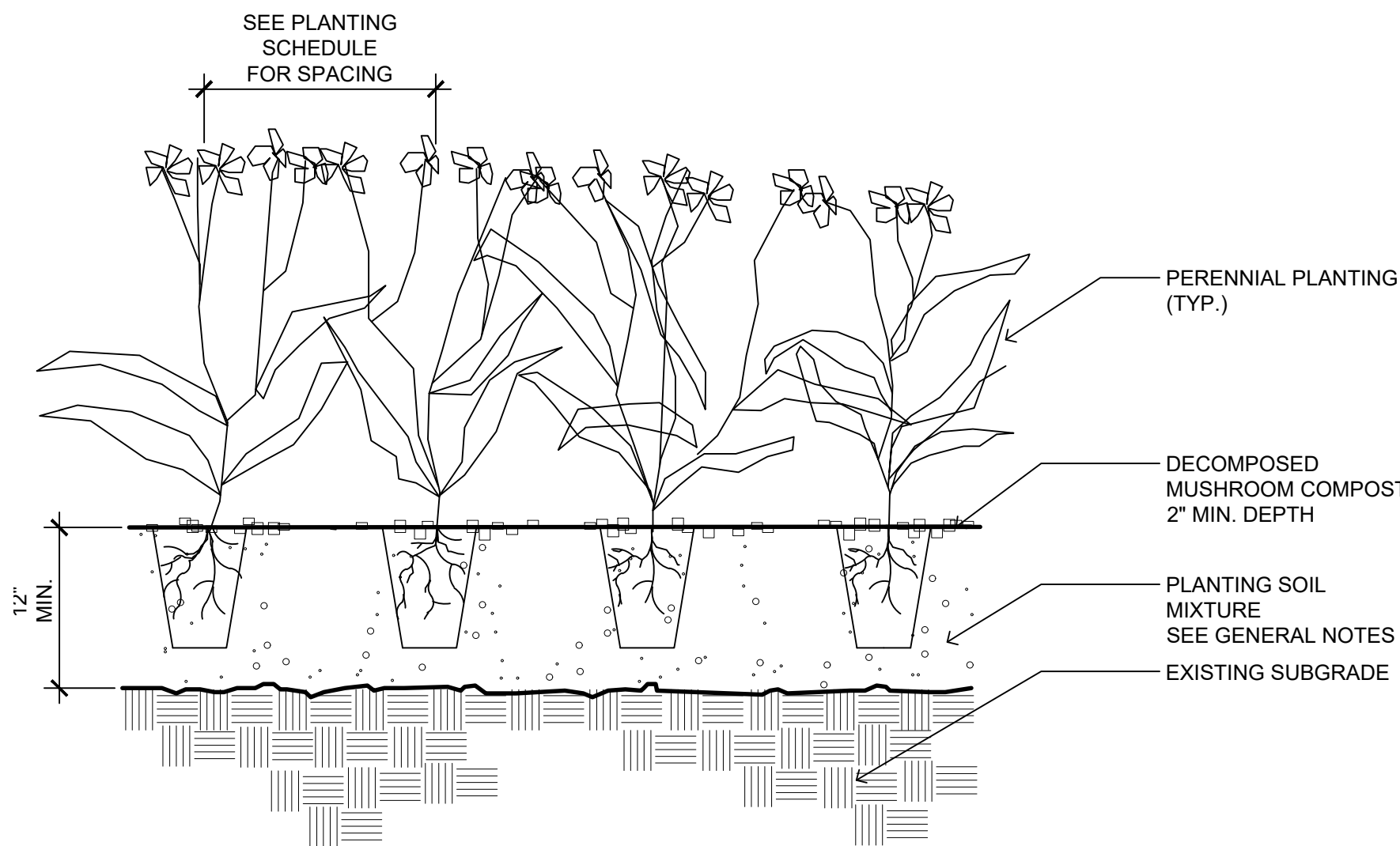
**B** EVERGREEN TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



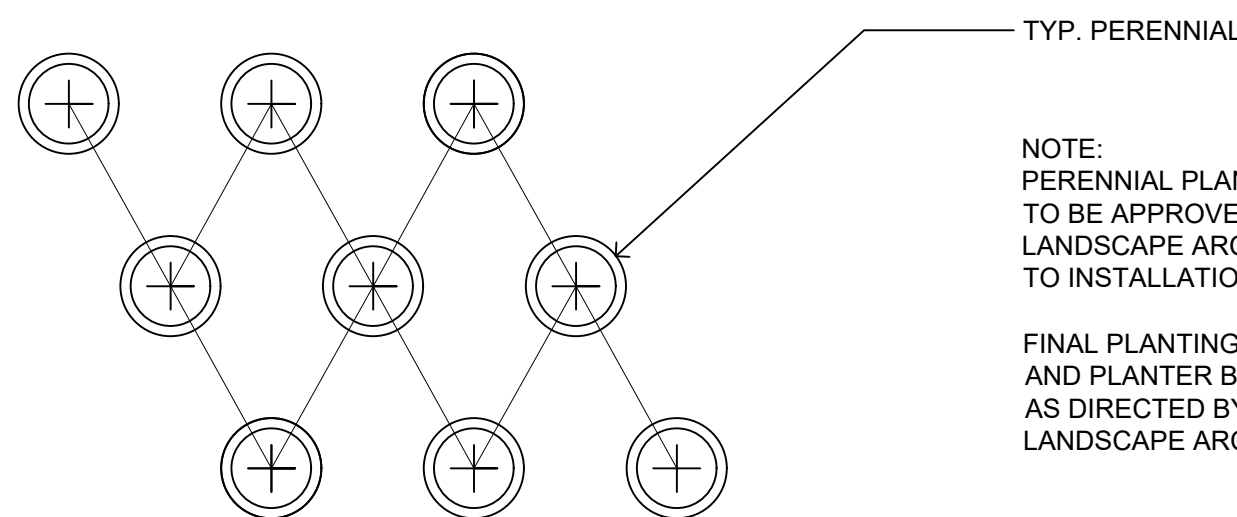
**C** ORNAMENTAL / UNDERSTORY TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



**D** SHRUB PLANTING DETAIL  
SCALE: NOT TO SCALE



**E** PERENNIAL PLANTING DETAIL  
SCALE: NOT TO SCALE



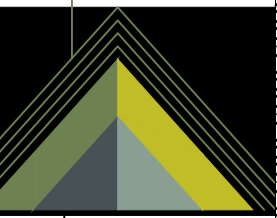
## LANDSCAPE GENERAL NOTES:

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE ACCEPTED.
5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)
7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.
8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.
10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).
12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/Form OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT PRACTICE' TECHNIQUES.
13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUND COVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.
14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.
15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.
16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.
19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

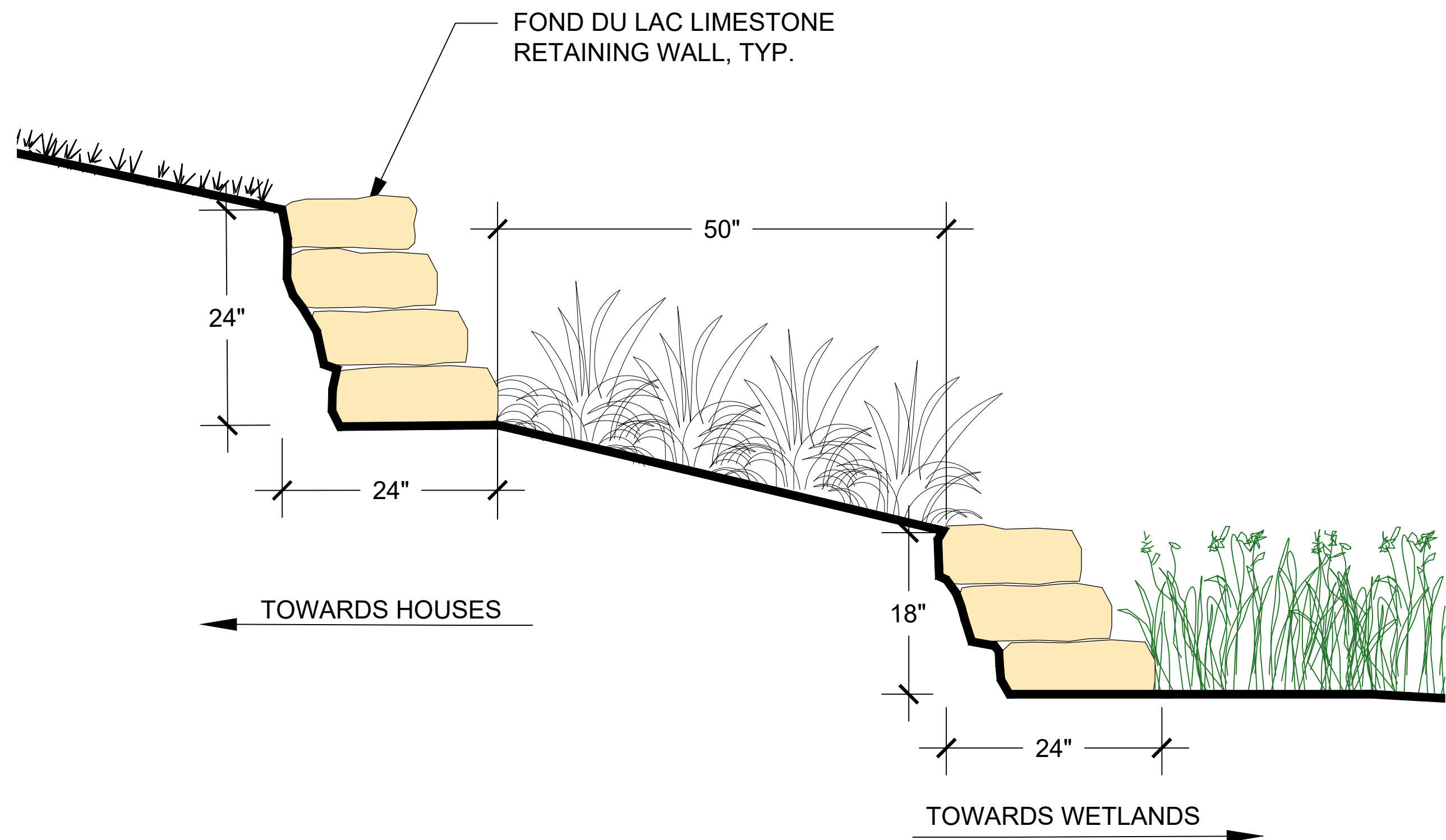
## BID OPTION:

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND SYSTEM.
21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN.

NO.	DATE	REMARKS	
		REVISED PER VILLAGE & COUNTY	REVISED PER OWNER
1	3/1/19		
2	9/24/19		
3	10/21/19		
4	10/04/21		
5	3/15/22		





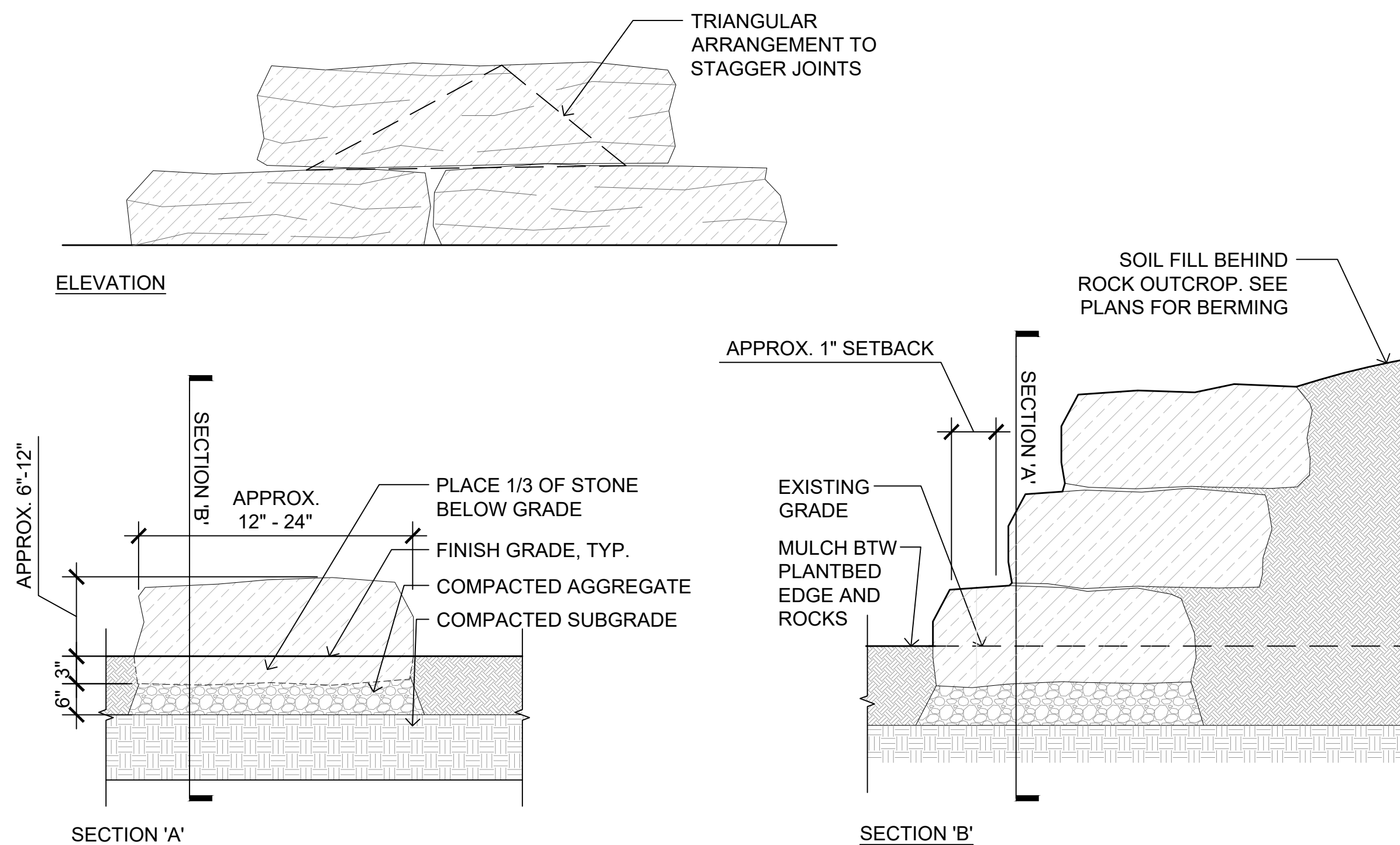


**F** WALL SECTION A - A'  
1"=1'-0"

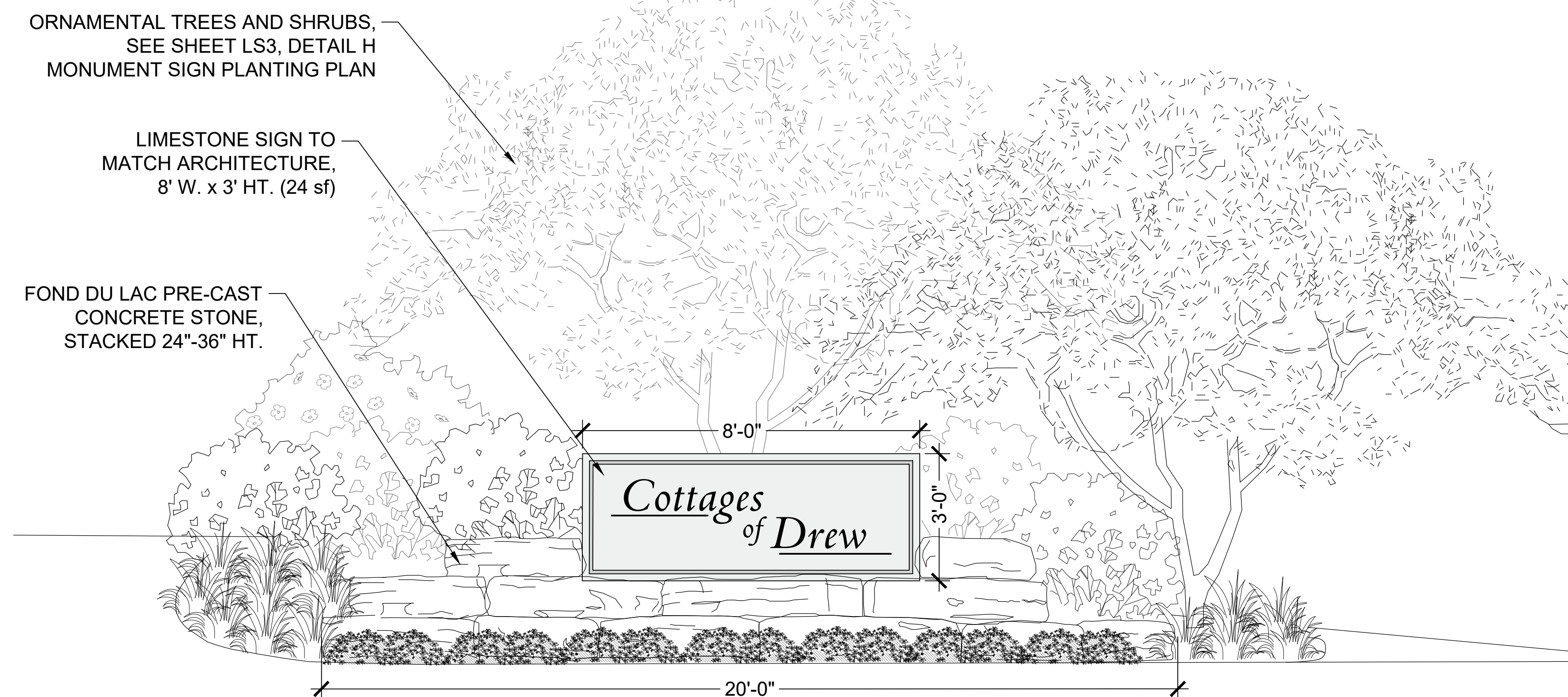
STONE:  
TYPE: FOND DU LAC SNAP EDGE  
OUTCROPPING DOLOMITIC LIMESTONE



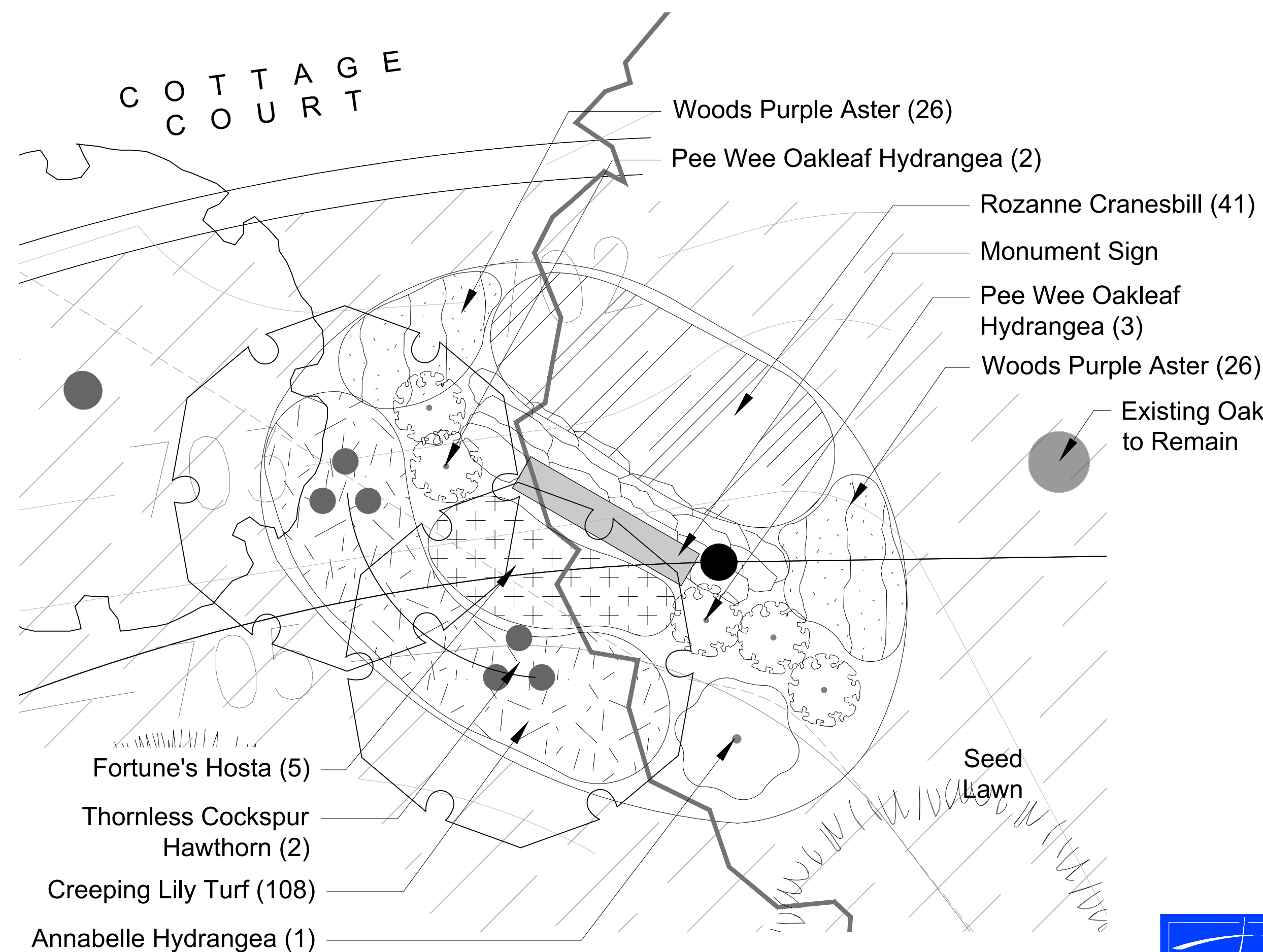
NOTES:  
DO NOT PLACE STONES OF THE SAME HEIGHT, SHAPE, OR MASS NEXT TO EACH OTHER.  
ARRANGE STONES IN TRIANGULAR, STACKED GROUPINGS, LEVEL FLAT AND SHIMMED TO PREVENT ROCKING.  
ARRANGE STONES IN ODD NUMBERED GROUPS OF THREE, FIVE OR SEVEN. FINAL PLACEMENT OF STONES TO BE APPROVED BY L.A.



**G** WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL  
NOT TO SCALE



**H** MONUMENT SIGN DETAIL  
1/2" = 1'-0"

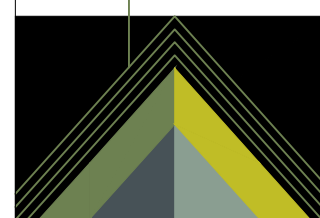


**I** MONUMENT SIGN PLANTING PLAN  
1/4" = 1'-0"



NO.	DATE	REMARKS
1	3/4/19	REVISED PER VILLAGE & COUNTY
2	9/24/19	RE-USED PER ONL
3	10/21/19	RE-USED PER ONL
4	10/24/21	REVISED PER ARCH
5	3/15/22	REVISED PER ARCH

**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
847.260.4758



**THE COTTAGES OF DREW**  
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC  
16W231 S. FRONTAGE ROAD, SUITE 17  
BURR RIDGE, IL 60527

MARCH 15, 2022  
JOB: 16-086  
SHEET:  
**LS3**  
27 OF 27





FRONT ELEVATION B - 2 CAR  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR  
SCALE: 1/4" = 1'-0"

DATE:		REVISIONS:	
1/11/19		PRELIMINARY DESIGN	
3/25/19		ISSUED FOR BID	

COTTAGES AT THE DREW  
PLAN 2 RESIDENCE

LOT 1 -  
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HOMES

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PHONE: 630.323.7600  
FAX: 630.650.9171

434 North Dover Avenue  
La Grange Park, Illinois 60526  
708.352.0446 phone



JOB NO. 00119

DATE: JANUARY 11, 2019





**FRONT ELEVATION A - 2 CAR**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION A - 3 CAR**

SCALE: 1/4" = 1'-0"

DATE:	REVISIONS:	
	PRELIMINARY DESIGN	ISSUED FOR BID
1/11/19		
3/25/19		

**COTTAGES AT THE DREW**  
**PLAN 1 RESIDENCE**

LOT 1 -  
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JOB NO. 00119

DATE: JANUARY 11, 2019





FRONT ELEVATION B - 2 CAR  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 3 - 3 CAR  
SCALE: 1/4" = 1'-0"

DATE:	REVISIONS:	
	DATE	DESCRIPTION
1/11/19		PRELIMINARY DESIGN
3/25/19		ISSUED FOR BID

COTTAGES AT THE DREW  
PLAN 1 RESIDENCE

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708.352.0446 phone



JOB NO. 00119

DATE: JANUARY 11, 2019





FRONT ELEVATION A - 2 CAR  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR  
SCALE: 1/4" = 1'-0"

DATE:		REVISIONS:	
1/11/19		PRELIMINARY DESIGN	
3/25/19		ISSUED FOR BID	

COTTAGES AT THE DREW  
PLAN 2 RESIDENCE  
LOT 1 -  
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La Grange Park, Illinois 60526  
708.352.0446 phone



JOB NO.	00119
DATE:	JANUARY 11, 2019





# ADVANTAGE

CONSULTING ENGINEERS

## Revised Detention Calculations

For

The Cottages at Drew

Burr Ridge, Illinois

By

Jasper Properties, LLC

Date: November 2, 2018

**Last Revised: August 11, 2021**

---

William J Zalewski, P.E.  
Illinois Registered Professional Engineer  
No. 062-046121  
Expires 11/30/2021

80 MAIN STREET • SUITE 17 • LEMONT, ILLINOIS 60439

847-260-4758



## **NARRATIVE**

Jasper Properties, LLC is proposing to build proposed single-family residential subdivision on 4.1 acres area of the 8.8-acre parcel located at southwest corner of 79<sup>th</sup> Street and Drew Avenue in Burr Ridge, Illinois.

## **EXISTING CONDITIONS**

The project area is located at southwest corner of 79<sup>th</sup> Street and Drew Avenue in Burr Ridge in DuPage County. There was an existing single-family residential building on the parcel.

Based on regulatory FEMA maps, FIS and flood profile, there are floodplain, and floodway areas located on the site and are shown on the site improvement plans. The regulatory maps are restrictive maps for this site.

Gary R Weber Associates have performed wetland study for the project area. The wetland limits and buffer limits are shown on plans.

## **PROPOSED CONDITIONS**

The proposed project site area is 8.8 acres and the disturbed area will be 4.1 acres. The proposed improvements will consist of building construction with street, detention basin, PCBMP areas, flood plain compensatory area.

Detention volume has been provided per DuPage County Storm Water Management ordinance with Bulletin 75 rainfall data. The basin is analyzed for free flow condition and surcharge conditions. The controlling condition is surcharge condition. The detention required for surcharge condition is 1.99-acre feet and 2.59-acre feet volume is provided in basins. We have provided 30% more volume than required per Village request.

## **PCBMP**

The project area will be routed through detention basin planted with naturalized plantings. The naturalized detention basin will satisfy the PCBMP requirement of the ordinance.

## **Flood Plain Compensatory Volume**

Since the project area will require fill of flood plain area, flood plain compensatory volume will be excavated at northwest corner of the site.

Flood plain cut and fill volumes are shown under Tab 3.

The proposed cut is at least at 1:1 ratio for 0-10 year and 10-100 Year. The overall cut is more than required cut volume of 1.5:1.



### **Wetland and Buffers**

There are proposed wetland impacts proposed for the project. Wetland buffers also will be impacted. GRWA has addressed the wetland, buffer and riparian impacts and their findings are included in Tabs 4 and 5.

### **GENERAL STATEMENT**

In our opinion, the proposed storm water management meets or exceeds the minimum requirements of the DuPage County Storm Water Management Ordinance.





# ADVANTAGE CONSULTING ENGINEERS, LLC

80 Main Street - Suite 17 - Lemont, Illinois 60439  
847-260-4758

## THE COTTAGES ON DREW

BURR RIDGE, IL, Illinois

Project No. 16-086

November 2, 2018

September 24, 2019

TPP

### STAGE-STORAGE-DISCHARGE RELATIONSHIP

#### DETENTION POND - 2" RESTRICTOR

ELEV.	AREA S.F.	DEPTH (H) FT.	V=H/3(A1+A2+Sqrt (A1*A2)), AC FT	CUMM VOL. AC FT	DISCHARGE, CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.06 100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR

694.22 100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR



\*\*\*\*\*80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY\*\*\*\*\*

JOB TR-20		SUMMARY				
TITLE BURR RIDGE SITE, BURR RIDGE, ILLINOIS						
TITLE DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT						
5	RAINFL 1	0.05				DIM-LESS
8		0.00	0.16	0.33	0.43	0.52 BULL70
8		0.60	0.66	0.71	0.75	0.79 1STQTR
8		0.82	0.84	0.86	0.88	0.90 POINT
8		0.92	0.94	0.96	0.97	0.98 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
5	RAINFL 2	0.05				DIM-LESS
8		0.00	0.03	0.08	0.12	0.16 BULL70
8		0.22	0.29	0.39	0.51	0.62 2NDQTR
8		0.70	0.76	0.81	0.85	0.88 POINT
8		0.91	0.93	0.95	0.97	0.98 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
5	RAINFL 3	0.05				DIM-LESS
8		0.00	0.03	0.06	0.09	0.12 BULL70
8		0.15	0.19	0.23	0.27	0.32 3RDQTR
8		0.38	0.45	0.57	0.70	0.79 POINT
8		0.85	0.89	0.92	0.95	0.97 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
5	RAINFL 4	0.05				DIM-LESS
8		0.00	0.02	0.05	0.08	0.10 BULL70
8		0.13	0.16	0.19	0.22	0.25 4THQTR
8		0.28	0.32	0.35	0.39	0.45 POINT
8		0.51	0.59	0.72	0.84	0.92 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
3	STRUCT 01					
8		690.0	0.00	0.00		
8		691.0	0.11	0.39		
8		692.0	0.15	0.87		
8		693.0	0.18	1.41		
8		694.0	0.21	1.99		
8		695.0	0.24	2.59		
9	ENDTBL					
3	STRUCT 02					
8		690.0	0.00	0.00		
8		691.0	0.01	0.39		
8		692.0	0.07	0.87		
8		693.0	0.12	1.41		



8	694.0	0.16	1.99
8	695.0	0.19	2.59

1

\*\*\*\*\*80-80 LIST OF INPUT DATA (CONTINUED)\*\*\*\*\*

9 ENDTBL  
6 RUNOFF 1 050 7 0.0063 85. 0.25 1 SITE  
6 RESVOR 2 01 7 6 690.0 1 FREE  
6 RUNOFF 1 051 5 0.0063 85. 0.25 1 SITE  
6 RESVOR 2 02 5 6 690.0 1 1 1 SURCH  
ENDATA  
7 INCREM 6 1.0  
7 COMPUT 7 050 02 0.0 8.57 24.0 3 2 24 99YR 24HR  
ENDCMP 1  
ENDJOB 2

0\*\*\*\*\*END OF 80-80 LIST\*\*\*\*\*

EXECUTIVE CONTROL OPERATION INCREM RECORD ID  
+ MAIN TIME INCREMENT = 1.00 HOURS

EXECUTIVE CONTROL OPERATION COMPUT RECORD ID R 24HR  
+ FROM XSECTION 50  
+ TO STRUCTURE 2  
STARTING TIME = .00 RAIN DEPTH = 8.57 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2  
ALTERNATE NO.=24 STORM NO.=99 MAIN TIME INCREMENT = 1.00 HOURS

OPERATION RUNOFF CROSS SECTION 50

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

OPERATION RESVOR STRUCTURE 1

\*\*\* WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .21 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.21	694.06

OPERATION RUNOFF CROSS SECTION 51

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)



TR20 XEQ 08-11-21 08:48  
REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS  
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT

JOB 1 PASS 1  
PAGE 1

OPERATION RESVOR STRUCTURE 2

\*\*\* WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .17 CFS.

PEAK TIME(HRS)		PEAK DISCHARGE(CFS)		PEAK ELEVATION(FEET)						
25.00		.17		694.22						
TIME(HRS)	FIRST HYDROGRAPH POINT =	.00 HOURS				TIME INCREMENT = 1.00 HOURS	DRAINAGE AREA =	.01 SQ.MI.		
.00	DISCHG	.00	.00	.00	.00	.00	.00	.01	.01	
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.55	690.72	
10.00	DISCHG	.01	.02	.03	.05	.07	.10	.12	.13	.14
10.00	ELEV	690.93	691.16	691.39	691.67	692.07	692.57	693.01	693.32	693.56
20.00	DISCHG	.15	.16	.16	.16	.17	.17	.17	.17	.16
20.00	ELEV	693.85	693.95	694.03	694.10	694.18	694.22	694.19	694.17	694.15
30.00	DISCHG	.16	.16	.16	.16	.16	.16	.16	.16	.16
30.00	ELEV	694.10	694.08	694.06	694.04	694.01	693.99	693.97	693.95	693.92
40.00	DISCHG	.16	.15	.15	.15	.15	.15	.15	.15	.15
40.00	ELEV	693.88	693.86	693.84	693.81	693.79	693.77	693.75	693.73	693.71
50.00	DISCHG	.15	.15	.14	.14	.14	.14	.14	.14	.14
50.00	ELEV	693.66	693.64	693.62	693.60	693.58	693.56	693.54	693.52	693.50
60.00	DISCHG	.14	.14	.14	.14	.14	.13	.13	.13	.13
60.00	ELEV	693.46	693.44	693.42	693.40	693.38	693.36	693.35	693.33	693.31
70.00	DISCHG	.13	.13	.13	.13	.13	.13	.13	.13	.12
70.00	ELEV	693.27	693.25	693.23	693.21	693.20	693.18	693.16	693.14	693.12
80.00	DISCHG	.12	.12	.12	.12	.12	.12	.12	.12	.12
80.00	ELEV	693.09	693.07	693.05	693.04	693.02	693.00	692.98	692.97	692.95
90.00	DISCHG	.12	.11	.11	.11	.11	.11	.11	.11	.11
90.00	ELEV	692.91	692.89	692.88	692.86	692.84	692.83	692.81	692.79	692.77
100.00	DISCHG	.11	.11	.11	.10	.10	.10	.10	.10	.10
100.00	ELEV	692.74	692.73	692.71	692.69	692.68	692.66	692.65	692.63	692.61
110.00	DISCHG	.10	.10	.10	.10	.10	.10	.09	.09	.09
110.00	ELEV	692.58	692.57	692.55	692.54	692.52	692.51	692.49	692.48	692.47
120.00	DISCHG	.09	.09	.09	.09	.09	.09	.09	.09	.09
120.00	ELEV	692.44	692.42	692.41	692.40	692.38	692.37	692.36	692.34	692.33
130.00	DISCHG	.09	.08	.08	.08	.08	.08	.08	.08	.08
130.00	ELEV	692.30	692.29	692.28	692.26	692.25	692.24	692.23	692.21	692.20
140.00	DISCHG	.08	.08	.08	.08	.08	.08	.08	.07	.07
140.00	ELEV	692.18	692.17	692.15	692.14	692.13	692.12	692.11	692.09	692.08
150.00	DISCHG	.07	.07	.07	.07	.07	.07	.07	.07	.07
150.00	ELEV	692.06	692.05	692.04	692.03	692.02	692.01	691.99	691.98	691.97



160.00	DISCHG	.07	.07	.07	.06	.06	.06	.06	.06	.06	.06
160.00	ELEV	691.95	691.94	691.92	691.91	691.90	691.89	691.88	691.87	691.86	691.85
170.00	DISCHG	.06	.06	.06	.06	.06	.06	.06	.06	.06	.05
170.00	ELEV	691.84	691.83	691.82	691.81	691.80	691.79	691.78	691.77	691.76	691.75
180.00	DISCHG	.05	.05	.05	.05	.05	.05	.05	.05	.05	.05
180.00	ELEV	691.74	691.73	691.72	691.71	691.70	691.69	691.69	691.68	691.67	691.66
190.00	DISCHG	.05	.05	.05	.05	.05	.05	.05	.05	.05	.04

1

TR20 XEQ 08-11-21 08:48	BURR RIDGE SITE, BURR RIDGE, ILLINOIS	JOB 1	PASS 1
REV PC 09/83(.2)	DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT		PAGE 2

190.00	ELEV	691.65	691.64	691.63	691.63	691.62	691.61	691.60	691.59	691.59	691.58
200.00	DISCHG	.04	.04	.04	.04	.04	.04	.04	.04	.04	.04
200.00	ELEV	691.57	691.56	691.56	691.55	691.54	691.53	691.53	691.52	691.51	691.51
210.00	DISCHG	.04	.04	.04	.04	.04	.04	.04	.04	.04	.04
210.00	ELEV	691.50	691.49	691.48	691.48	691.47	691.46	691.46	691.45	691.45	691.44
220.00	DISCHG	.04	.04	.04	.03	.03	.03	.03	.03	.03	.03
220.00	ELEV	691.43	691.43	691.42	691.41	691.41	691.40	691.40	691.39	691.39	691.38
230.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.03
230.00	ELEV	691.37	691.37	691.36	691.36	691.35	691.35	691.34	691.34	691.33	691.33
240.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.03
240.00	ELEV	691.32	691.32	691.31	691.31	691.30	691.30	691.29	691.29	691.28	691.28
250.00	DISCHG	.03	.03	.03	.03	.03	.03	.02	.02	.02	.02
250.00	ELEV	691.27	691.27	691.26	691.26	691.26	691.25	691.25	691.24	691.24	691.23
260.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
260.00	ELEV	691.23	691.23	691.22	691.22	691.21	691.21	691.21	691.20	691.20	691.19
270.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
270.00	ELEV	691.19	691.19	691.18	691.18	691.18	691.17	691.17	691.17	691.16	691.16
280.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
280.00	ELEV	691.16	691.15	691.15	691.15	691.14	691.14	691.14	691.13	691.13	691.13
290.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
290.00	ELEV	691.12	691.12	691.12	691.12	691.11	691.11	691.11	691.10	691.10	691.10

EXECUTIVE CONTROL OPERATION ENDCMP

+

COMPUTATIONS COMPLETED FOR PASS 1

RECORD ID

EXECUTIVE CONTROL OPERATION ENDJOB

1

RECORD ID

TR20 XEQ 08-11-21 08:48	BURR RIDGE SITE, BURR RIDGE, ILLINOIS
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JOB 1 SUMMARY



SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED  
 (A STAR(\*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH  
 A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION			RUNOFF AMOUNT (IN)	PEAK DISCHARGE				
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)	
ALTERNATE 24 STORM 99														
+														
XSECTION	50	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	1	RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.63	694.06	25.00?	.21?	33.6
XSECTION	51	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	2	RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.43	694.22	25.00?	.17?	26.4
1														

100 hwl/release rate - 2" restrictor

TR20 XEQ 08-11-21 08:48  
 REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS  
 DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT

JOB 1 SUMMARY  
 PAGE 4

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS.....	
		99	
0 STRUCTURE 2	.01		
+			
ALTERNATE 24		.17	
0 STRUCTURE 1	.01		
+			
ALTERNATE 24		.21	
0 XSECTION 50	.01		
+			
ALTERNATE 24		3.54	
0 XSECTION 51	.01		
+			
ALTERNATE 24		3.54	
1END OF 1 JOBS IN THIS RUN			



\*\*\*\*\*80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY\*\*\*\*\*

JOB TR-20		SUMMARY				
TITLE BURR RIDGE SITE, BURR RIDGE, ILLINOIS						
TITLE DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION						
5	RAINFL 1	0.05				DIM-LESS
8		0.00	0.16	0.33	0.43	BULL70
8		0.60	0.66	0.71	0.75	1STQTR
8		0.82	0.84	0.86	0.88	POINT
8		0.92	0.94	0.96	0.97	TBL 37
8		1.00	1.00	1.00	1.00	PG 98
9	ENDTBL					
5	RAINFL 2	0.05				DIM-LESS
8		0.00	0.03	0.08	0.12	BULL70
8		0.22	0.29	0.39	0.51	2NDQTR
8		0.70	0.76	0.81	0.85	POINT
8		0.91	0.93	0.95	0.97	TBL 37
8		1.00	1.00	1.00	1.00	PG 98
9	ENDTBL					
5	RAINFL 3	0.05				DIM-LESS
8		0.00	0.03	0.06	0.09	BULL70
8		0.15	0.19	0.23	0.27	3RDQTR
8		0.38	0.45	0.57	0.70	POINT
8		0.85	0.89	0.92	0.95	TBL 37
8		1.00	1.00	1.00	1.00	PG 98
9	ENDTBL					
5	RAINFL 4	0.05				DIM-LESS
8		0.00	0.02	0.05	0.08	BULL70
8		0.13	0.16	0.19	0.22	4THQTR
8		0.28	0.32	0.35	0.39	POINT
8		0.51	0.59	0.72	0.84	TBL 37
8		1.00	1.00	1.00	1.00	PG 98
9	ENDTBL					
3	STRUCT 01					
8		690.0	0.00	0.00		
8		691.0	0.22	0.39		
8		692.0	0.31	0.87		
8		693.0	0.38	1.41		
8		693.6	0.41	1.76		
9	ENDTBL					
3	STRUCT 02					
8		690.0	0.00	0.00		
8		691.0	0.01	0.39		
8		692.0	0.14	0.87		
8		693.0	0.26	1.41		
8		694.0	0.34	1.99		
9	ENDTBL					
6	RUNOFF 1 050	7 0.0063	85.	0.25	1	SITE



\*\*\*\*\*80-80 LIST OF INPUT DATA (CONTINUED)\*\*\*\*\*

```

6 RESVOR 2    01 7    6 690.0          1          FREE
6 RUNOFF 1 051      5 0.0063      85.      0.25      1          SITE
6 RESVOR 2    02 5    6 690.0          1 1 1      SURCH
  ENDATA
7 INCREM 6          1.0
7 COMPUT 7 050      02 0.0      8.57      24.0      3 2 24 99YR 24HR
  ENDCMP 1
  ENDJOB 2

```

0\*\*\*\*\*END OF 80-80 LIST\*\*\*\*\*

EXECUTIVE CONTROL OPERATION INCREM

RECORD ID

+ MAIN TIME INCREMENT = 1.00 HOURS

EXECUTIVE CONTROL OPERATION COMPUT

RECORD ID R 24HR

+ FROM XSECTION 50  
 + TO STRUCTURE 2  
 STARTING TIME = .00 RAIN DEPTH = 8.57 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2  
 ALTERNATE NO.=24 STORM NO.=99 MAIN TIME INCREMENT = 1.00 HOURS

OPERATION RUNOFF CROSS SECTION 50

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

OPERATION RESVOR STRUCTURE 1

\*\*\* WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .41 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.41	693.65

OPERATION RUNOFF CROSS SECTION 51

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

OPERATION RESVOR STRUCTURE 2

\*\*\* WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .34 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.34	693.97

TIME(HRS) FIRST HYDROGRAPH POINT = .00 HOURS TIME INCREMENT = 1.00 HOURS DRAINAGE AREA = .01 SQ.MI.



.00	DISCHG	.00	.00	.00	.00	.00	.00	.00	.00	.01	.01
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.55	690.72
10.00	DISCHG	.01	.03	.06	.10	.15	.20	.26	.28	.30	.31
10.00	ELEV	690.93	691.15	691.39	691.66	692.05	692.54	692.96	693.25	693.47	693.63
20.00	DISCHG	.32	.32	.33	.33	.34	.34	.33	.33	.33	.32
20.00	ELEV	693.72	693.79	693.85	693.89	693.96	693.97	693.92	693.88	693.83	693.78
30.00	DISCHG	.32	.32	.31	.31	.30	.30	.30	.29	.29	.29
30.00	ELEV	693.74	693.69	693.65	693.60	693.56	693.52	693.47	693.43	693.39	693.35
40.00	DISCHG	.28	.28	.28	.28	.27	.27	.27	.26	.26	.25
40.00	ELEV	693.31	693.27	693.23	693.19	693.15	693.11	693.07	693.03	693.00	692.96
50.00	DISCHG	.25	.25	.24	.24	.23	.23	.22	.22	.22	.21

1

TR20 XEQ 08-11-21 00:00  
REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS  
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

JOB 1 PASS 1  
PAGE 1

50.00	ELEV	692.92	692.88	692.84	692.81	692.77	692.74	692.70	692.67	692.63	692.60
60.00	DISCHG	.21	.20	.20	.20	.19	.19	.19	.18	.18	.18
60.00	ELEV	692.57	692.54	692.51	692.48	692.45	692.42	692.39	692.36	692.33	692.30
70.00	DISCHG	.17	.17	.17	.16	.16	.16	.16	.15	.15	.15
70.00	ELEV	692.28	692.25	692.23	692.20	692.18	692.15	692.13	692.10	692.08	692.06
80.00	DISCHG	.14	.14	.14	.14	.13	.13	.13	.12	.12	.12
80.00	ELEV	692.04	692.01	691.99	691.97	691.94	691.92	691.90	691.88	691.86	691.84
90.00	DISCHG	.12	.11	.11	.11	.11	.10	.10	.10	.10	.09
90.00	ELEV	691.82	691.80	691.78	691.76	691.74	691.72	691.70	691.69	691.67	691.65
100.00	DISCHG	.09	.09	.09	.09	.08	.08	.08	.08	.08	.08
100.00	ELEV	691.64	691.62	691.61	691.59	691.58	691.56	691.55	691.53	691.52	691.51
110.00	DISCHG	.07	.07	.07	.07	.07	.07	.06	.06	.06	.06
110.00	ELEV	691.49	691.48	691.47	691.46	691.44	691.43	691.42	691.41	691.40	691.39
120.00	DISCHG	.06	.06	.06	.06	.05	.05	.05	.05	.05	.05
120.00	ELEV	691.38	691.37	691.36	691.35	691.34	691.33	691.32	691.31	691.30	691.30
130.00	DISCHG	.05	.05	.05	.04	.04	.04	.04	.04	.04	.04
130.00	ELEV	691.29	691.28	691.27	691.26	691.26	691.25	691.24	691.23	691.23	691.22
140.00	DISCHG	.04	.04	.04	.04	.03	.03	.03	.03	.03	.03
140.00	ELEV	691.21	691.21	691.20	691.20	691.19	691.18	691.18	691.17	691.17	691.16
150.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.02
150.00	ELEV	691.16	691.15	691.15	691.14	691.14	691.13	691.13	691.12	691.12	691.11
160.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
160.00	ELEV	691.11	691.11	691.10	691.10	691.09	691.09	691.09	691.08	691.08	691.08
170.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
170.00	ELEV	691.07	691.07	691.07	691.06	691.06	691.06	691.05	691.05	691.05	691.04
180.00	DISCHG	.02	.02	.01	.01	.01	.01	.01	.01	.01	.01
180.00	ELEV	691.04	691.04	691.04	691.03	691.03	691.03	691.03	691.02	691.02	691.02
190.00	DISCHG	.01	.01	.01	.01	.01	.01	.01	.01	.01	.01
190.00	ELEV	691.02	691.02	691.01	691.01	691.01	691.01	691.01	691.00	691.00	691.00
200.00	DISCHG	.01	.01								
200.00	ELEV	691.00	691.00								

EXECUTIVE CONTROL OPERATION ENDCMP

+

COMPUTATIONS COMPLETED FOR PASS 1

RECORD ID



EXECUTIVE CONTROL OPERATION ENDJOB  
1

RECORD ID

TR20 XEQ 08-11-21 00:00 BURR RIDGE SITE, BURR RIDGE, ILLINOIS  
REV PC 09/83(.2) DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

JOB 1 SUMMARY  
PAGE 2

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED  
(A STAR(\*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH  
A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION -----			RUNOFF AMOUNT (IN)	PEAK DISCHARGE -----				
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)	
ALTERNATE	24	STORM	99											
+														
XSECTION	50	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	1	RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.69	693.65	25.00?	.41?	65.5
XSECTION	51	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	2	RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.58	693.97	25.00?	.34?	53.6

1

100 yr hwl/release rate -  
allowable release rate

TR20 XEQ 08-11-21 00:00 BURR RIDGE SITE, BURR RIDGE, ILLINOIS  
REV PC 09/83(.2) DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

JOB 1 SUMMARY  
PAGE 3

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS..... 99
0 STRUCTURE 2	.01	
+		
ALTERNATE 24		.34
0 STRUCTURE 1	.01	
+		
ALTERNATE 24		.41
0 XSECTION 50	.01	
+		
ALTERNATE 24		3.54



0 XSECTION 51 .01  
+  
ALTERNATE 24  
1END OF 1 JOBS IN THIS RUN

3.54





August 8, 2022

Mayor Gary Grasso and Board of Trustees  
7660 County Line Road  
Burr Ridge, Illinois 60527

**Re: Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Special Uses, PUD Amendment, Variations, and Findings of Fact**

Dear Mayor and Board of Trustees:

On May 2, 2022, the Plan Commission held a public hearing to consider ten requests by Thorntons LLC to develop the property located at 9115 Kingery Highway as a gas station with a convenience store (one PUD amendment, three special uses, five variations, and one conditional sign approval). There were three members of the public who spoke at the public hearing, expressing concern about safety and the impact the development may have to the surrounding residential area. After the public hearing, staff received two additional objections to the request via email. After the Plan Commission recommended unanimous approval, the petitioner amended the request to include 24-hour operation. The original special use request was for hours of operation from 5:00 a.m. to 11:00 p.m. On May 23, 2022, the Board of Trustees remanded the request back to the Plan Commission for a new public hearing.

On June 20, 2022, the Plan Commission held a public hearing to consider the original requests with the amended request for 24-hour operation (listed below).

1. Amend the Spectrum PUD Ordinance #A-834-24-15 to permit the proposed gas station development.
2. Special use for an automobile gasoline sale station, with a convenience food store, packaged liquor, and tobacco sales (Section VIII.C of the Zoning Ordinance)
3. Special use for hours of operation exceeding 7:00 a.m. to 10:00 p.m., permitting 24-hour operation (Section VIII.C of the Zoning Ordinance)
4. Special use for an outside sales display accessory to a special use (Sections VIII.A and VIII.C of the Zoning Ordinance)
5. Variations to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft. (Sections 55.06.A.1 and 55.06.A.2 of the Sign Ordinance)
6. Variation to permit more than one wall sign per street frontage for a total of three (Section 55.06.A.2 of the Sign Ordinance)
7. Variation to permit a free-standing gasoline pricing sign (Section 55.06.A.4.a of the Sign Ordinance)
8. Variation to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. (Section 55.06.A.4.b of the Sign Ordinance)
9. Conditional sign approval for a sign with six colors, exceeding the three colors permitted (Section 55.06.B.5 of the Sign Ordinance)
10. Variations to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted (Section XI.C.9.c.2 of the Zoning Ordinance)

For the June 20<sup>th</sup> meeting, neighboring Burr Ridge Senior Living, also called Spectrum, submitted a written objection to the 24-hour operation request as part of that meeting packet. At the June 20, 2022 Plan Commission meeting, there were seven members of the public who either objected or expressed concerns about trucks, noise, lighting, and questioned the need for another 24-hour gas station in this location. The case was continued pending the petitioner working with neighboring Spectrum to provide additional landscape screening along the eastern property line to create a buffer.

At the August 1, 2022 Plan Commission meeting, a letter dated July 27, 2022 by Erica Howard, General Counsel Corporate Real Estate for S-K Burr Ridge Residential LLC, provided a letter of no objection. In this letter, GAIN properties (owner) as the petitioner and Spectrum agreed to a landscape plan. At the August 1, 2022 Plan Commission meeting, there were three members of the public who objected the request, expressing concerns about noise, liquor sales, lighting, and the need for 24-hour operation.



The Plan Commission recommended approval of the requests including 24-hour operation, with conditions and Findings of Fact, by a vote of 4 to 3. The Commissioners who voted against the proposal were primarily concerned about the welfare of Spectrum's residents since the correspondence came from Spectrum's corporate office. The Commissioners were concerned about the effect that 24-hour operation would have on them. The conditions of approval are detailed below.

1. Final plans shall substantially comply with the submitted business plan, site plan, building elevations, photometric plan, sign plans, and the revised landscape plan showing screening on Spectrum's property subject to final review and approval by staff, all attached hereto as Exhibit A.
2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The outdoor sales area shall be restricted to the area shown on the plan.
4. The Thorntons sign on the rear (east) elevation shall be eliminated.
5. A Certificate of Occupancy shall not be granted until the landscaping is installed as shown on Spectrum's property.

Sincerely,

Greg Trzupek, Chairman  
Plan Commission/Zoning Board of Appeals



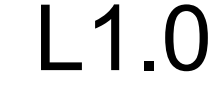
## Information provided by the petitioner to the Plan Commission August 1, 2022

Requested by: Trustee Franzese.

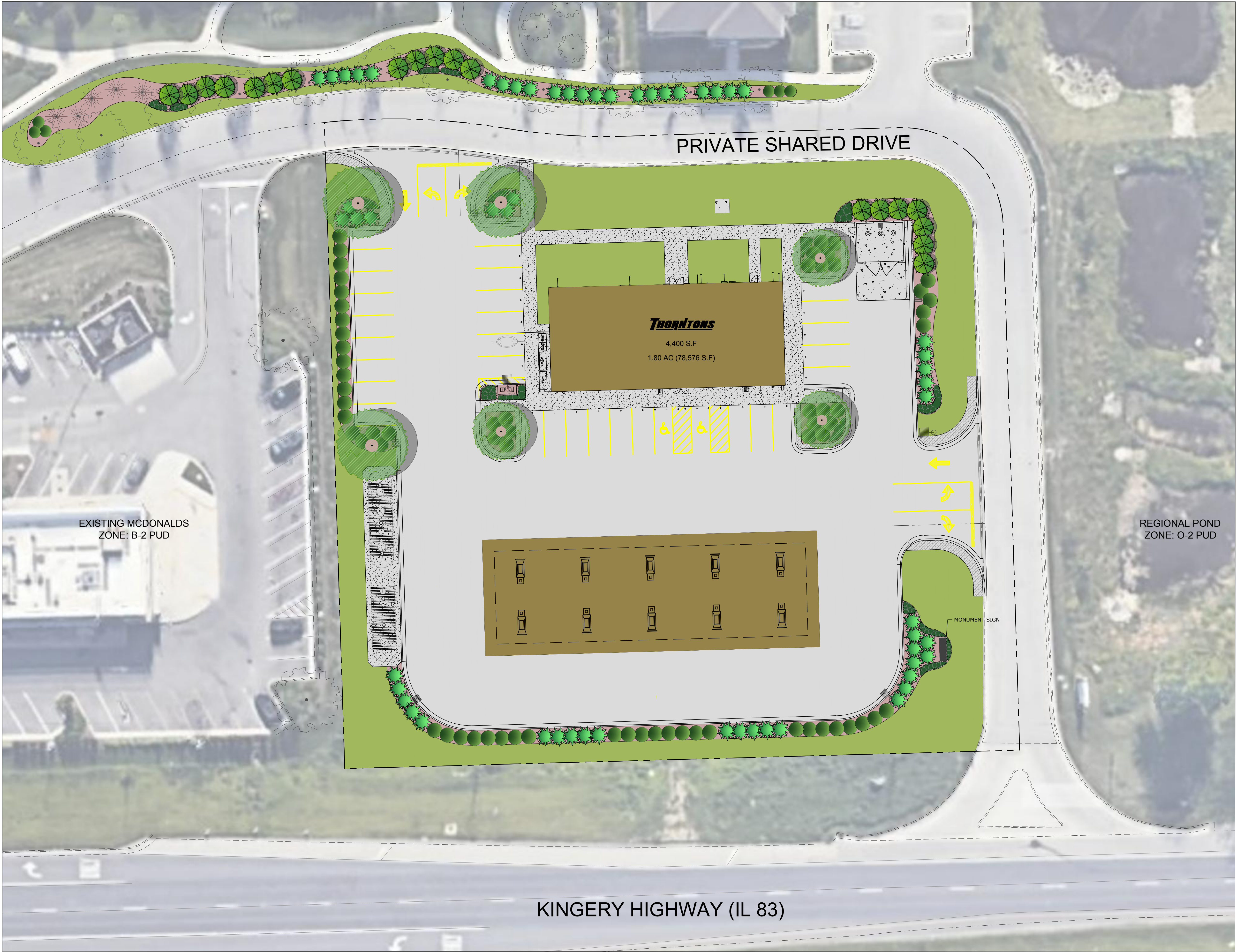
### Burr Ridge Fuel Type Breakdown - (Calendar Year 2021)

	Regular Fuel %	Diesel Fuel %	E-85 Fuel %	
Woodridge	92	5	3	
Villa Park	90	4	6	
Westmont	97	3	0	
DuPage Co.	74	23	3	(Includes 4 stores with diesel offering, out of 16 stores).
Burr Ridge Est.	89	6	5	



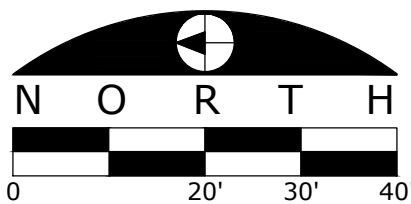






LEGEND

- PROPOSED TREES
- PROPOSED SHRUBS
- PROPOSED PLANTING BEDS WITH PERENNIALS / GRASSES
- LIGHT POLE AND FIXTURE







VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Requests Special Uses, PUD Amendment, Variations, and Findings of Fact** (see page 2 of report for full descriptions of requests)

**HEARINGS:**

May 2, June 20, and August 1, 2022

**TO:**

Plan Commission  
Greg Trzupke, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Ryan Swanson of Arc Design on  
behalf of Thorntons LLC

**PETITIONER STATUS:**

Civil Engineering Consultant

**PROPERTY OWNER:**

Burr Ridge CRE LLC

**EXISTING ZONING:**

B-2 PUD Business District

**LAND USE PLAN:**

Recommends Single-family  
residential

**EXISTING LAND USE:**

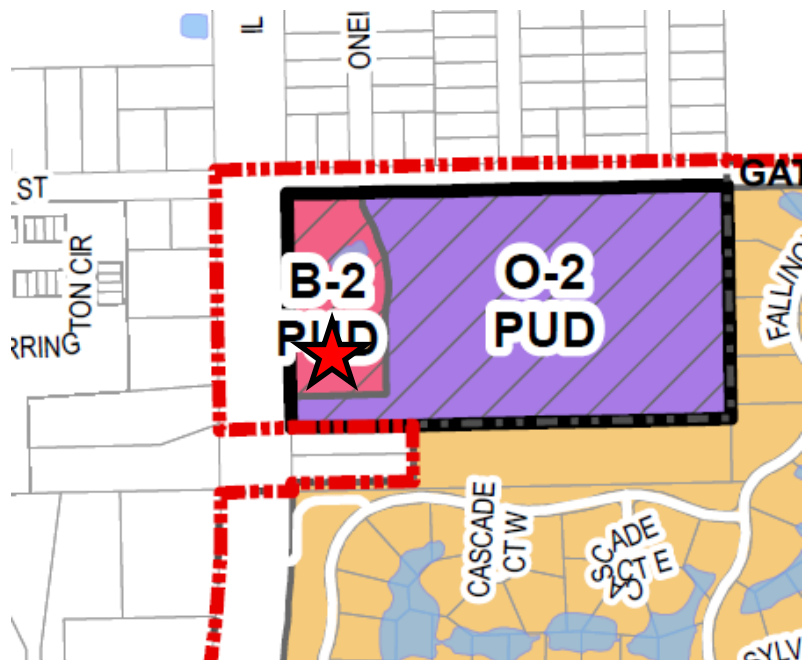
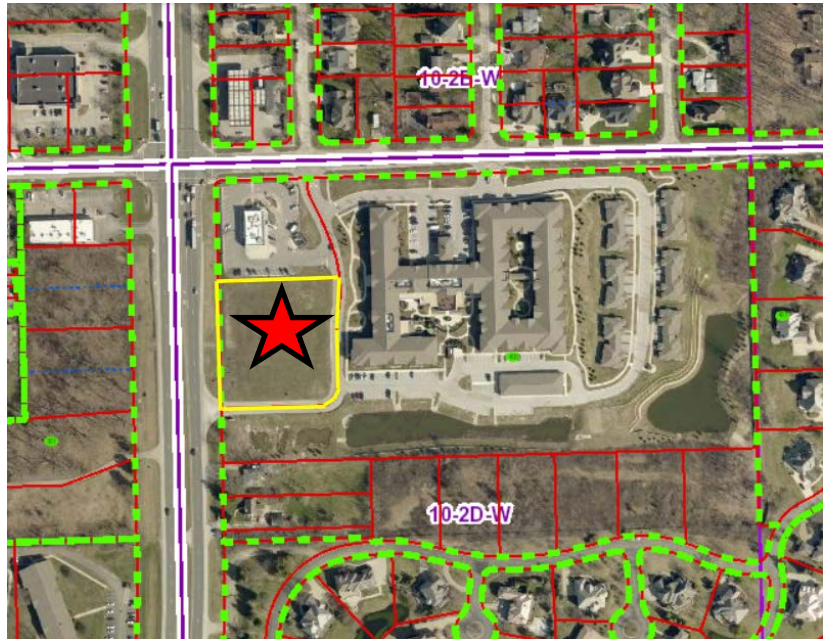
Unimproved/vacant

**SITE AREA:**

± 1.8 Acres

**SUBDIVISION:**

Spectrum Burr Ridge  
Resubdivision





Z-10-2022 Requests as amended May 19, 2022:

1. Amend the Spectrum PUD Ordinance #A-834-24-15 to permit the proposed gas station development.
2. Special use for an automobile gasoline sale station, with a convenience food store, packaged liquor, and tobacco sales (Section VIII.C of the Zoning Ordinance)
3. Special use for hours of operation exceeding 7:00 a.m. to 10:00 p.m., permitting ~~5:00 a.m. to 11:00 p.m.~~ **24-hour operation** (Section VIII.C of the Zoning Ordinance) **AMENDED REQUEST**
4. Special use for an outside sales display accessory to a special use (Sections VIII.A and VIII.C of the Zoning Ordinance)
5. Variations to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft. (Sections 55.06.A.1 and 55.06.A.2 of the Sign Ordinance)
6. Variation to permit more than one wall sign per street frontage for a total of three (Section 55.06.A.2 of the Sign Ordinance)
7. Variation to permit a free-standing gasoline pricing sign (Section 55.06.A.4.a of the Sign Ordinance)
8. Variation to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. (Section 55.06.A.4.b of the Sign Ordinance)
9. Conditional sign approval for a sign with six colors, exceeding the three colors permitted (Section 55.06.B.5 of the Sign Ordinance)
10. Variations to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted (Section XI.C.9.c.2 of the Zoning Ordinance)

The Petitioner is Ryan Swanson of Arc Design Resources, Inc., on behalf of Thorntons LLC. This petition was originally heard at the May 2, 2022 Plan Commission meeting. At the meeting, the Commission unanimously recommended approval with ten conditions. Prior to the Village Board meeting on May 23, 2022 however, the petitioner amended the request. The Village Board remanded the request back to the Plan Commission on May 23, 2022 since the amended request required re-notification and a new public hearing. At the June 20, 2022 Plan Commission meeting, the case was continued pending the petitioner working with neighboring Burr Ridge Senior Living, also called Spectrum. Spectrum had submitted an objection to the 24-hour operation request (included as an attachment). The petitioner was going to work with Spectrum to provide additional landscape screening along the eastern property line to block lights and create a buffer. On July 27, 2022, Erica Howard, General Counsel Corporate Real Estate for S-K Burr Ridge Residential LLC, provided a letter of no objection. In this letter (included as an attachment), GAIN properties (owner) as the petitioner and Spectrum agreed to a landscape plan and related agreements.

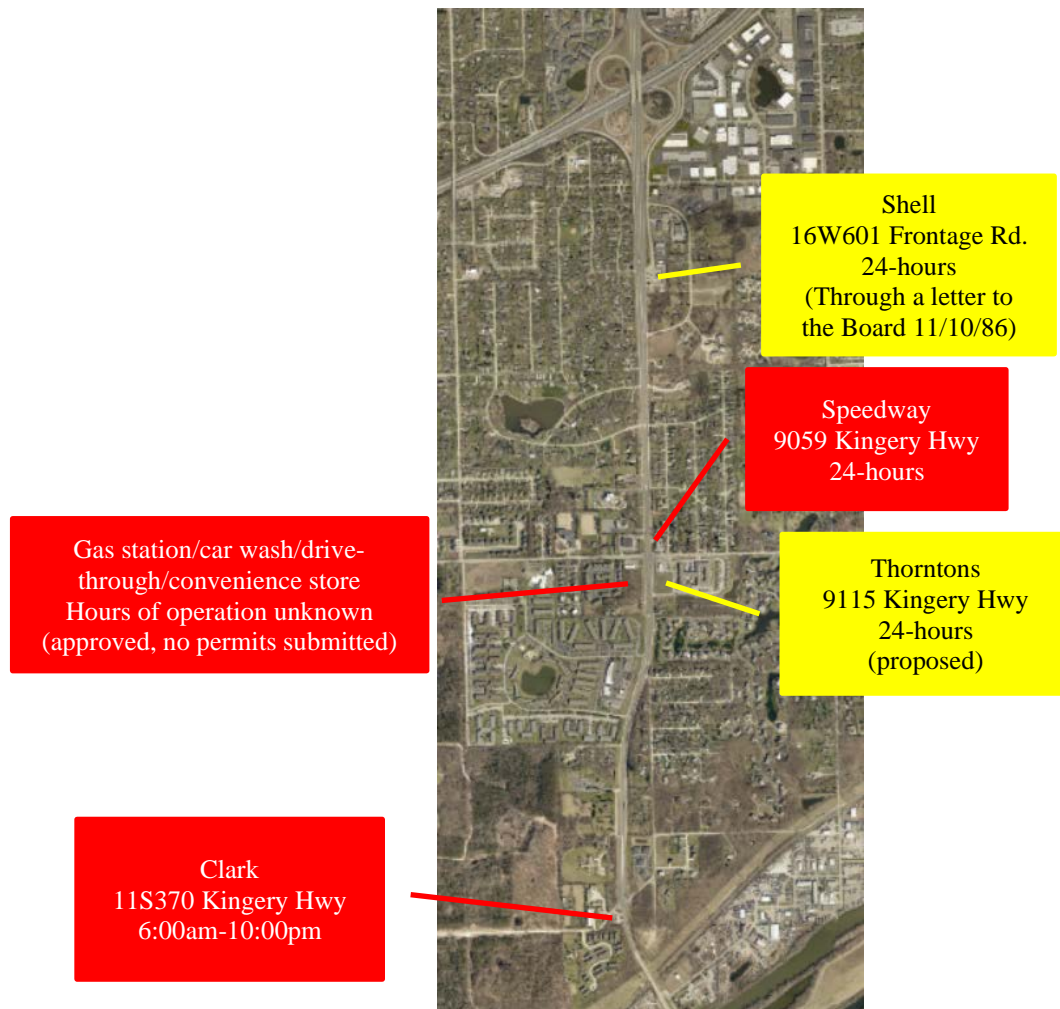
Thorntons is proposing to develop the vacant site with a gas station and convenience store. The 4,400 sq. ft. convenience store will have packaged liquor and tobacco sales. There will not be any drive-through restaurant or establishment as part of the convenience store. Outside of the convenience store is small outdoor display area for items like firewood or propane, commonly found at gas stations. This outdoor display area requires special use approval and is illustrated on the plans provided. Ten fuel pumps (20 fueling stations) are proposed which will service personal vehicles. There will not be any pumps dedicated to or accommodating semi-truck traffic. The



petitioner is requesting 24-hour operation which is beyond the 7:00 a.m. to 10:00 p.m. permitted. Previously, hours of operation from 5:00a.m. to 11:00p.m. were requested and approved. In a letter dated May 19, 2022, the petitioner amended the request for 24-hour operation.

Within a roughly 2.5-mile length of Route 83 running south of the I-55 interchange to the Des Plaines River, there are three gas stations and two more proposed (which includes Thorntons). These two proposed gas stations are located directly across the street from one another but are within different jurisdictions (Village of Burr Ridge and DuPage County). Of the three existing gas stations, only one is within the Village of Burr Ridge. The Shell located at 16W601 Frontage Rd. was approved for 24-hour operation in 1986. That approval was not through a special use request or other type of zoning action, but a letter without a formal Board vote. The owner at the time, Gas City, submitted a letter to the Board requesting the 24-hour operation which had also been requested the previous year. The minutes of that November 10, 1986 meeting state, “after discussion, a consensus of the Board indicated no objection to a 24-hour operation for the sale of all but alcoholic beverages which may be sold only during the hours provided for under their Liquor License.” For reference, Shell has a Class G liquor license which permits sales of beer and wine only 6:00 a.m. to 11:00 p.m. Monday-Saturday and 7:00 a.m. to 10:00 p.m. on Sundays. According to public testimony provided at the May 2, 2022 Plan Commission meeting, the petitioner intends to sell packaged beer, wine, and spirits which will likely fall under the Class F liquor license, subject to review by the Village Attorney and Liquor Commissioner. Those hours are the same as a Class G.





*Gas stations along Route 83, south from I-55 interchange to the Des Plaines River. Red boxes are unincorporated businesses and yellow boxes are businesses within Village of Burr Ridge.*

The petitioner is requesting several variations from the Sign Ordinance and conditional sign approval in order to install one ground sign, two wall signs on the convenience store, and one sign on the fuel canopy. Sign Plans are included in Exhibit A. The petitioner outlined the sign variation requests as part of the narrative also included in Exhibit A. 4. On May 2, 2022, the Plan Commission added a condition that the Thorntons sign on the rear (east) elevation be eliminated. This condition has been included in the Recommendation section below.

The petitioner included a Photometric Plan (Exhibit A) and is requesting a variation from the average foot candle light level amount and the uniformity ratio. The petitioner outlined the variation requests as part of the narrative also included in Exhibit A. The increased lighting is primarily due to the fact that this is a gas station with fueling pumps, requiring increased lighting in the evening. The highest footcandle amount along the southern property line, which is nearest to single-family residential uses, is only 0.1. The highest footcandle amount along the Route 83 property line is 1.0. The highest footcandle amount along the eastern property line, which is nearest to the senior living complex, is 1.5. The highest footcandle amount along the shared property line with McDonald's is 2.7.



The business plan (except for the hours of operation), submittals, plans, and other information as presented on May 2, 2022 remain unchanged and are included as Exhibit A. The minutes of the May 2 and June 20, 2022 meetings have also been provided.

### **Public Hearing History**

**Z-12-2015 (Spectrum PUD):** Special use approval for a PUD. Condition B of the approved Ordinance (A-834-24-15) states that “the future preliminary and final plans for the commercial development on Lot 2 under this planned unit development shall be submitted to the Plan Commission for its review and recommendations, and then to the Board of Trustees for approval, all as required by Section XIII.L of the Burr Ridge Zoning Ordinance.” At the time, Lot 2 included both the subject parcel and the parcel now occupied by McDonald’s.

**Z-10-2022 (Thorntons):** May 2, 2022 Plan Commission review and approval of the proposal, now detailed in this report as amended. The minutes of the May 2, 2022 meeting have also been provided as Exhibit E.

### **Public Comment**

Since the May 2, 2022 meeting, three new objections were received from the public and are included as Exhibit D.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. Should the Plan Commission recommend approval of the amended request, staff has updated the May 2, 2022 recommendation as follows:

Recommend to the Village Board approval of amending the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with **24-hour operation** exceeding 7:00 a.m. to 10:00 p.m. pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted subject to four conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, photometric plan, and sign plans attached hereto as Exhibit A.



2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The outdoor sales area shall be restricted to the area shown on the plan.
4. The Thorntons sign on the rear (east) elevation shall be eliminated.

## **Appendix**

### Exhibit A - Petitioner's Materials

- Application
- Business Plan with hours of operation amended request
- Findings of Fact
- Traffic count information/comparison to previous traffic study
- Plat of Survey
- Site Plan (includes a Landscape Plan)
- Photometric Plan
- Architectural Elevations and Floor Plans
- Sign Plans

### Exhibit B – Excerpt from the Sign Ordinance for signs in the Business District

### Exhibit C – Excerpt from Zoning Ordinance for off-street parking lighting regulations

### Exhibit D – Public Comments

### Exhibit E – Excerpts from May 2 and June 20, 2022 Plan Commission meeting minutes

### Exhibit F – July 27, 2022 letter of no objection from Spectrum





# EXHIBIT A

## VILLAGE OF BURR RIDGE

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED  
MAR 28 2022  
VILLAGE OF BURR RIDGE

#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Ryan Swanson - on behalf of Thorntons LLC

STATUS OF PETITIONER: Civil Engineering Consultant

PETITIONER'S ADDRESS: 5291 Zenith Parkway, Loves Park, IL 61072

ADDRESS OF SUBJECT PROPERTY: 9115 Kingery Hwy, Burr Ridge, IL 60527

PHONE: 815-484-4300 x217

EMAIL: ryans@arcdesign.com

PROPERTY OWNER: BURR RIDGE CRE LLC

PROPERTY OWNER'S ADDRESS: 3010 HIGHLAND PKWY, UNIT 225, DOWNERS GROVE IL 60515 PHONE: \_\_\_\_\_

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

Please note, the GIS system currently lists the address for the property as 9115 Kingery Hwy, Willowbrook, IL 60527.

The subject property will have a revised address of Burr Ridge if the development is approved by the Village. The PIN is 1002400020.

See supplemental narrative outlining requested special use and variations.

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: ± 1.8 acres EXISTING ZONING: B-2 PUD

EXISTING USE/IMPROVEMENTS: vacant/unimproved

SUBDIVISION: Spectrum Burr Ridge Resubdivision

PIN(S) # 10-02-400-020

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Ryan Swanson  
Petitioner's Signature

3/25/22  
Date of Filing



March 15, 2022

From: BURR RIDGE CRE LLC  
3010 Highland Pkwy, Unit 225,  
Downers Grove, IL 60515  
Phone: 630-686-6811  
Email: tad@gaincre.com

To: Village of Burr Ridge, IL  
Community Development  
7660 County Line Road  
Burr Ridge, IL 60527  
(630)654-8181

**Re: Authorization Letter for: 9115 Kingery Hwy, Willowbrook IL 60527 (PIN 1002400020)**

To whom it may concern:

As the record owner of the above stated property, I hereby affirm that I have full legal capacity to authorize **Thorntons LLC (Todd Smutz), Arc Design Resources (Ryan Swanson and Lauren Downing), and their representatives**, to act as the owner's agent through the Community Development / Variance / Special Use / Site Plan / Engineering and Building Plan review process with the Village of Burr Ridge for said property.

Owner Name (printed): Tad Lagestee, Burr Ridge CRE LLC Title: Manager

Signature: Tad Alan Lagestee Date: 3-15-22

County of Henrico  
Commonwealth of Virginia

Subscribed and Sworn to Before Me This 15th Day Of March, 20 22.

Notary Signature [Signature]

Electronic Notary Public

Notarized online using audio-video communication



Dequan Winborne

REGISTRATION NUMBER

7940580

COMMISSION EXPIRES

June 30, 2025





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

**The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.**

Street Address of Subject Property:

9115 Kingery Hwy, Burr Ridge IL 60527

Property Owner or Petitioner:

RYAN C. SWANSON

(Print Name)

R-C Swan

(Signature)



Apr 15, 2022 at 1:26:57 PM  
10S507 Kingery Hwy  
Burr Ridge IL 60527  
United States



Apr 15, 2022 at 1:26:57 PM  
10S507 Kingery Hwy  
Burr Ridge IL 60527  
United States







May 18, 2022

To: Mayor Grasso and Board of Trustees  
Village of Burr Ridge, IL  
7660 County Line Road  
Burr Ridge, IL 60527  
(630)654-8181

**Re: Amendment to Special Use Application for 9115 Kingery Hwy, Burr Ridge, IL**

To Mayor Grasso and Board of Trustees:

As part of our previous petition for special use at 9115 Kingery Hwy we requested that the proposed hours of operation be from 5 A.M. – 11 P.M due to hour limitations currently imposed under the PUD ordinance governing this parcel. Based on further discussion internally on a corporate level, we respectfully request to amend our request to be changed to 24 hours of operation.

The 24-hour operations are necessary to provide brand consistency among other Thorntons stores which are open 24-hours. Additionally, even though it is not in the incorporated Village limits, the nearest fueling station is open 24-hours. Therefore, equivalent hours are necessary to avoid a competitive disadvantage.

We appreciate the Village considering our request to amend our previously submitted petition.

Sincerely,

*Phillip Bolduc*

Phillip A Bolduc  
Real Estate Manager  
630-674-7445  
Phillip.bolduc@mythorntons.com



## **Thorntons of Burr Ridge, IL**

Special Use and Variance Narrative  
9115 Kingery Hwy, Burr Ridge, IL 60527

### **Project Summary and Proposed Use**

Thorntons LLC is the contract purchaser of the approximately 1.8 acre vacant outlot located near the southeast corner of the intersection of IL-83 and 91<sup>st</sup> Street. Thorntons is requesting approval of a Special Use, amendment to the current PUD, and variances.

Per Village Zoning Code - Section VIII Business Districts: a special use is required for the following items proposed for the development:

- outdoor sales
- outdoor displays of merchandise
- convenience food stores
- liquor sales (packaged)
- tobacco sales
- Planned Unit developments
- Proposed hours of 5 A.M. – 11 P.M. (hours are outside 7 AM – 10 PM)

### **Scope of Work**

The proposed includes the construction of a 4,400 SF convenience store, 10 fuel pumps (20 fueling positions) under canopy, 33 parking stalls, refuse enclosure and other related site amenities.

The proposed building features Nichiha stone, brick and architectural panels. The canopy columns are upgraded to feature a wrapped façade of Nichiha stone and brick to match the proposed convenience store. The refuse enclosure is also designed with materials consistent with the convenience store and canopy.

The development will utilize existing utility connections available on or adjacent to the site. Additionally, detention has been provided for the development as part of the Spectrum PUD

### **Business Operations**

The proposed Thorntons development will include a 4,400 square foot convenience store which will serve fresh and pre-packaged food products and a variety of beverages and refreshments to the community. The proposed Thorntons store intends to sell alcohol and tobacco products. This location will employ roughly twelve community members in both part-time and full-time employment. The requested hours of the convenience store and fueling station are 5:00 A.M. to 11:00 P.M.

### **Requests for Variations**

Thorntons LLC is requesting the following variances to the requirements of the Burr Ridge Village Code , Chapter 55, Signs:



**Sec 55.06. Business District Signs A.1. Ground Sign:**

A.1 Requirement: One ground sign shall be permitted for each lot or parcel provided the lot or parcel has at least 100 feet of frontage on a public street, that the height of such sign does not exceed 8 feet, that the sign is located a minimum of 10 feet from all property lines, and that the combined area of all ground signs and wall signs shall not exceed 100 square feet.  
Requested Variation: Variance of 64 sf to the requirement that the combined area of all ground signs and wall signs shall not exceed 100 sf thereby allowing the combined area to be 164 sf.

A.2 Requirement: Wall Sign: One wall sign per street frontage shall be permitted for each lot or parcel provided that the combined area of all wall signs and ground signs shall not exceed 100 square feet. Permitted wall signs shall be mounted no higher than the height of the building wall or twenty feet (20') whichever is lower, and no lower than five feet (5') above average surrounding grade.

Requested Variation: Variance of 2 to the requirement of one wall per street sign frontage thereby allowing a total of three (3) wall signs. The requested wall signs include two (2) on the IL-83 frontage and one (1) along the shared private drive frontage.

A.4.b Requirement (Gasoline Pricing Sign): A maximum of four (4) sign faces, with a total area not to exceed forty (40) square feet, shall be permitted, provided that no single sign face shall exceed twenty (20) square feet in area;

Requested Variation: Variance of 25 square feet to the requirement of 20 square feet for a single sign face and 50 square feet to the requirement of 40 square feet for total gas pricing signs to thereby allow a total square footage of 45 square feet for gasoline pricing sign per face, and 90 square feet for the total of the two faces.

**Sec 55.11. Prohibited Signs**

P. Requirement: The following signs are hereby expressly prohibited for erection, construction, repair, alteration or relocation within the Village, except as otherwise hereinafter specifically provided: Signs with more than three colors

Requested Variation: Variance of 1 color square feet to the requirement of three colors maximum on a sign thereby allowing a total of 4 colors on the proposed ground/gas sign (blue, red, white, green).

Findings of Fact supporting the granting of the above requested variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the Sign Code.
2. The plight of the owner was not created by the owner and is due to unique circumstances
3. The variation if Granted will not alter the essential character of the locality.

**Sec 55.06. A.1: The proposed use of the property as a convenience store with fuel sales requires larger price signage to allow motorists to make timely decisions thereby allowing safe turning movement into the property.**

**Sec 55.06. A.2: The proposed use of the property as a convenience store requires identification of the use. As such, we are requesting one wall sign on the building and canopy along IL-83 in addition to one along the private drive. The private drive was developed as part of a PUD and therefore the hardship that this is a private and not a street frontage occurred prior to the proposed development.**



**Sec 55.06. A.4.b:** The proposed use of the property as a convenience store with fuel sales requires larger price signage to allow motorists to make timely decisions thereby allowing safe turning movement into the property. Legible design for the displaying of gasoline products and prices is appropriate to the type of activity and allows for vehicles reasonable time to decrease speed from the posted 55 MPH limit to safely navigate into the drive servicing the business. Per the United States Sign Council, safe reaction and maneuvering time in a 55 MPH speed zone requires visibility at 647'. The use of 16" pricing numerals allows such visibility at 640' providing a safer approach for vehicular traffic.

**Sec 55.11. P:** The standard for diesel pricing is green which adds an additional color. All signs comply with the exception of the color green due to the diesel product.

Thorntons LLC is requesting the following variances to the requirements of the Burr Ridge Village Zoning Code, Chapter XI Off-Street Parking and Off-Street Loading:

*IX.D.9.c. Lighting:*

*(2) Intensity of illumination of parking areas shall not be less or more than the following standards: Except as otherwise specifically provided elsewhere in this Ordinance, parking lot lights must be no more than 20 feet high and be limited by the following factors: an average lighting level of 1.0 foot candle with a minimum of 0.75 foot candle; a uniformity ratio of not greater than 4-to-1, and lighting distribution shall be provided by cut-off type fixtures. All such parking lot lighting shall be extinguished or reduced in intensity to not more than an average of 0.5 foot candles no later than 30 minutes after the close of business.*

IX.D.9.c (2) Requirement: an average lighting level of 1.0 foot candle

Requested Variation: Variance of 3.39 foot candles to the requirement that the average lighting level is limited to 1.0 foot candle thereby allowing an average of 4.39 foot candles.

IX.D.9.c (2) Requirement: a uniformity ratio of not greater than 4-to-1

Requested Variation: Variance of 3.39 to the requirement that the uniformity ratio is 4:1 thereby allowing a uniformity ratio of 4.39:1.

Findings of Fact supporting the granting of the above requested variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the Sign Code.
2. The plight of the owner was not created by the owner and is due to unique circumstances
3. The variation if Granted will not alter the essential character of the locality.

**IX.D.9.c (2):** The increased average lighting level and uniformity ratio are necessary due to the proposed use as a convenience store with fuel sales requires higher lighting levels than a typical parking lot. This is due the required tasks which include, dispensing flammable liquid, checking oil, cleaning windshields, filling up tires with air, manipulating the dispenser, swiping credit cards, punching in codes, and taking receipts.





Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance

**Address:**

9115 Kingery Hwy, Willowbrook IL 60527

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

The requested Special Use is for the public convenience located along the IL-83 corridor. Thorntons is proposing to build a state-of-the-art convenience store with fuel sales. The c-store is proposed to be 4,400 sf and provide many items including fresh food such as hot sandwiches, freshly crafted sandwiches, wraps and other healthy options, coffee and drinks, donuts, and more. Sales will also include typical convenience items, limited groceries, packaged liquor and tobacco. A equivalent facility is not located in the general area of the proposed development.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The requested Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare as it will be operated consistent with other businesses located along a state highway corridor.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The requested Special Use is designed to be built and operated with the applicable regulations of Burr Ridge and the B-2 PUD district requirements subject only to the variations requested herein. Given the substantial investment in improvements and conformity to local requirements, it is not anticipated to be injurious to the uses and enjoyment of other property in the immediate vicinity no substantially diminish or impair property values within the area.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed special use is located on the remaining outlot in a Business zoned PUD. Therefore the surrounding property is already developed and it will not impede development.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The proposed special use is to be located on an existing outlot. All necessary support facilities have previously been constructed.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Existing ingress and egress from public streets have been developed as part of the larger Planned Unit Development. Two driveways to private drives are proposed at locations to minimize any impact to public streets.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed special use does not conflict with the Official Comprehensive Plan of the Village of Burr Ridge as amended.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The requested Special Use is designed to be built and operated with the applicable regulations of Burr Ridge and the B-2 PUD district requirements subject only to the variations requested herein.



# Traffic Memorandum

To: Village of Burr Ridge, IL

From: Arc Design Resources, Inc.

Date: March 24, 2022

**Re: Thorntons of Burr Ridge**

The proposed development is located at an existing out lot which is part of the Spectrum PUD/subdivision. The original PUD included a Traffic Impact Study which was completed in 2015.

The previously completed TIA considered the outlots would include two 4,500 sf drive-thru restaurants in addition to a 15,000 sf pharmacy. This resulted in the following trip generation (Table 2 from Spectrum Senior Living Development TIS by Sam Schwartz Engineer):

Land Use / Size	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Spectrum Senior Living / 190 Units	20	5	25	10	20	30
Restaurant w/ Drive-Thru / 9,000 sf	210	200	410	155	140	295
Retail/Pharmacy Outlot / 15,000 sf	30	15	45	60	65	125
<b>Total</b>	<b>260</b>	<b>220</b>	<b>480</b>	<b>225</b>	<b>225</b>	<b>450</b>

The 2015 report did not account for internal trip capture or pass-by trips. This resulted in the conservative trip generation shown in Table 1 for the outlots:

Table 1: Trip Generation - 2015

Land Use / Size	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Restaurant w/Drive Thru / 9,000 sf	210	200	410	155	140	295
Retail/Pharmacy Outlot / 15,000 sf	30	15	45	60	65	125
<b>Total</b>	<b>240</b>	<b>215</b>	<b>455</b>	<b>215</b>	<b>205</b>	<b>420</b>

In 2018, the Village approved an amendment to the Spectrum PUD and granted a special use for the 3,662 sf McDonalds located at 9101 Kingery Hwy. Therefore, the McDonalds plus proposed Thorntons results in the generated trips shown in Table 2. Additionally, fuel stations and drive-thru restaurants have a significant number of pass-by trips. For this evaluation, a pass-by trip percentage of 55% was



considered for the Convenience Store/Gas Station and a pass-by trip percentage of 45% was considered for the Restaurant w/Drive-Thru. Additionally, internal trip capture could be considered between the Restaurant, Convenience Store/Gas Station, and Senior Living. However, for this memorandum, internal capture is included in the Trip Generation table.

Table 2: Trip Generation - 2022

Land Use / Size (ITE 11 <sup>th</sup> Edition)	Trips	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Restaurant w/Drive Thru / 3,662 sf (934)	New	84	80	164	63	58	121
	Pass-by (45%)	38	36	74	28	26	54
Convenience Store/Gas Station / 4,400 sf – 20 positions (945)	New	270	271	541	227	228	455
	Pass-by (55%)	149	149	298	124	125	249
<b>Total</b>		<b>167</b>	<b>166</b>	<b>333</b>	<b>138</b>	<b>135</b>	<b>273</b>

As the traffic generated is consistent with the original considerations of the 2015 Traffic Impact Study, a new traffic study is not warranted.

End of Project Memo



# Stormwater Memorandum - Detention

To: Village of Burr Ridge, IL

From: Arc Design Resources, Inc.

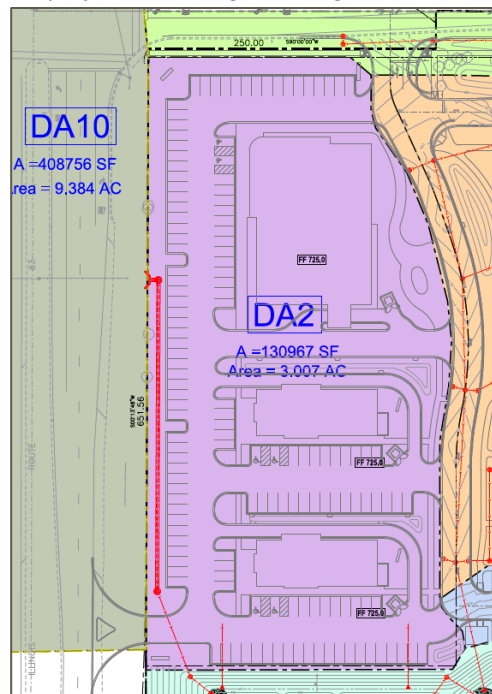
Date: March 24, 2022

**Re: Thorntons of Burr Ridge**

The proposed development is located at an existing out lot which is part of the Spectrum PUD/subdivision. The original PUD included a Stormwater Management and Wetland Study which was completed in 2016.

The previously completed stormwater management report considered the outlot to be part of Drainage Area 2 (DA2). DA2 included 3.007 acres total and included all commercial outlots to the western portion of the shared access drive. Per the Analysis, DA2 is considered to have a Runoff Coefficient of 0.912 and considered a total impervious area of 2.47 acres. Therefore, DA2 was considered to be 82% impervious.

Below is a portion of the proposed drainage map (pg 53 of 264) and proposed catchment areas (pg 54 of 226) by Cross Engineering and Associates:



SPECTRUM Senior Living - Burr Ridge, IL						
Proposed Drainage Area Subcatchment RCN Raw Calculations for EPA SWMM 5.1 Model						
Area (ac)						
Declared						
0.29	3.067457	1.714	0.979	4.707	1.845	
<b>DA1</b>	<b>DA2</b>	<b>DA3</b>	<b>DA4</b>	<b>DA5-off</b>	<b>DA5-on</b>	<b>DA6</b>
0.29	3.067457 (ac)	1.714 (ac)	0.979 (ac)	33255.28	171781.6	1.845 (ac)
				<b>0.763436</b>	<b>3.943564 (ac)</b>	
<b>Total Impervious</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>
720.8454	114854.9	19739.07	6443.191	Pervious	55440.7	21801.57
<b>0.016548 (ac)</b>	Pervious	26841.83	26968.43	1993.387	<b>83912.09</b>	44214.07
	192.3268	<b>Total Impervious</b>	Pervious	4081.351	11847.08	Pervious
	906.1867	46580.9	364.3398	90.9083	1388.981	6446.412
	3747.338	<b>1.06935 (ac)</b>	6651.072	375.6751	1460.438	<b>Total Impervious</b>
	440.2892		<b>Total Impervious</b>	2804.039	1674.963	59569.22
	1801.979		26396.21	4.9446	846	<b>1.367521 (ac)</b>
	<b>Total Impervious</b>		<b>0.605974 (ac)</b>	148.4573	1128	
	107766.8			174.8938	Pervious	
	<b>2.473985 (ac)</b>			25.8697	214.5862	
				6.3381	1901.906	
	110400.3	04/16 Adj		326.0276	<b>326.6421</b>	
	<b>2.534441 (ac)</b>	05/16 Adj		186.8113	448.1885	
				181.3282	1415.954	
	2.534441			<b>Total Impervious</b>	2087.195	
				22855.24	54242.09	
				(ac) <b>0.524684</b>	4395.904	
				<b>Total Impervious</b>	92665.79	
					<b>2.127314 (ac)</b>	



The proposed Thorntons development is located on a 1.8 acre outlot and contains 0.49 acres of pervious area and 1.31 acres of pervious area. Therefore, the Thorntons outlot is 73% impervious. As 73% impervious is less than 83% impervious, the original calculations are conservative and additional stormwater detention volume is not required for the proposed Thorntons development.

Additional stormwater calculations to address stormwater flows through the proposed storm sewers will be provided with the full engineering submittal at a future date.

End of Project Memo



SURVEYOR'S NOTES

This survey was based on a Title Commitment, provided to the surveyor, by Old Republic National Title Insurance, File No. 22146559, with a Commitment Effective Date of 12/27/2021.

TITLE COMMITMENT SCHEDULE B SECTION II DOCUMENTS:

Item 8 - The location of the right of way of Illinois Route 83 as shown on the Plat of Dedication for Public Highway filed December 11, 1931 in Book 21 of Plats, Page 39 as document 320350 is shown hereon this drawing. Note the eastern right of way line of Illinois Route 83 near the southwest corner of the surveyed property does not align with right of monuments found south of the site and there may have been additional grants of right of way in this area. See Detail at Sheet 3.

Item 9 - The location of the right of way contained in grants in favor of Northern Illinois Gas Company recorded February 25, 1958 as document numbers 871679 and 871680 is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 10 - The location of the right of way contained in grants in favor of Standard Oil Company, an Indiana corporation recorded October 21, 1959 as documents 944481 and 944482 to lay, maintain, operate, replace and remove pipeline for transportation of petroleum products, including right of access and ingress and egress thereto is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 11 - The location of the right of way contained in grants in favor of West Shore Pipeline Company, an Delaware corporation recorded October 14, 1960 as documents 983487 and 983495 to lay, maintain, operate, replace and remove pipeline for transportation of petroleum products, including right of access and ingress and egress thereto is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 12 - The surveyed property is included in the lands described in the Annexation Agreement between Burr Ridge Property Holdings, LLC, db/a Property Holdings of Burr Ridge and Village of Burr Ridge, Cook and DuPage Counties, Illinois, recorded January 22, 2016 as document R2016-06895.

Item 13 - The surveyed property is included in the lands described Ordinance No. 1156 entitled Ordinance Annexing Certain Real Estate recorded January 22, 2016 as document R2016-06686.

Item 14 - The surveyed property is included in the lands described in the Spectrum Senior Living Planned Unit Development Subdivision Improvement Completion Agreement by and between SAP Construction Management, LLC, a Colorado limited liability company, SK Burr Ridge Residential, LLC, a Delaware limited liability company and the Village of Burr Ridge recorded December 8, 2016 as document R2016-136474.

Item 15 - The easements shown on the Plat of Easement recorded November 13, 2017 as document R2017-116474 are not on and do not touch the surveyed property and are not shown hereon this drawing.

Item 16 - The portions of the Storm Sewer and Drainage Easement and Roadway Storm Sewer Easement over the Westerly 25 feet of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 17 - The portions of the Watermain Easement over a 10 foot wide strip of land across the Easterly and Southerly portion of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 18 - The portions of the Electric Easement for Monument over, upon and under the Westerly 10 feet of the land as shown on the plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 19 - The portions of the Storm Sewer and Drainage Easement over 10 foot side strip of land over the Easterly and Southerly lot lines and the Easterly and Southerly portions of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 20 - The portions of the Storm Sewer and Drainage Easement over 15 foot side strip of land over the Northerly lot line and Northerly portions of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 21 - The portions of the Sanitary Sewer Easement, Watermain Easement, Stormwater Management and Drainage Easement, Storm Sewer and Drainage Easement, IDOT Storm Sewer Easement, Monument Sign Easement, and Electric Easement for Monument Signs shown on the recorded plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 and within the scope of this survey are shown hereon this drawing.

Item 22 - The portions of the ComEd Easement provisions as disclosed on the recorded plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 and within this scope of this survey are shown hereon this drawing.

Item 23 - Easements specific to the Spectrum Senior Living PUD - Burr Ridge dated October 9, 2018 and recorded October 10, 2018 as document number R2018-095543 made by and between S-K Burr Ridge Residential, LLC, a Delaware limited liability company and S-K Burr Ridge Commercial, LLC, a Colorado limited liability company, (collectively referred to as the "Declarant") and subject to the Terms, provisions and conditions contained therein. Re-recorded October 31, 2018 as document number R2018-102038 and also re-recorded November 2, 2018 as document number R2018-102920 include the Lot 1 Cross Access Easement and the Shared Drive which are shown hereon this drawing. Temporary easements are not shown hereon this drawing.

Item 24 - Grant of Easement made by and between S-K Burr Ridge Residential, LLC Association and Comcast Illinois VI, LLC recorded June 18, 2018 as document R2018-055095, is blanket in nature over lands including the surveyed property and is not shown explicitly hereon this drawing.

2021 ALTA/NSPS LAND TITLE SURVEY TABLE A ITEMS:

- Item 1: Corner Monuments are as noted and shown hereon this survey.
- Item 2: The address of the surveyed property as listed on the DuPage County Tax Parcel GIS Viewer is: 9115 Kingery Hwy, Willowbrook, IL 60521
- Item 3: Flood Zone Data: The surveyed property is located in "Other Areas - Zone X", areas determined to be outside of 0.2% annual chance floodplain. This is based on the graphical location of the surveyed property on the Flood Insurance Rate Map for DuPage County, Illinois and Incorporated Areas, Map Number 1704-3C 02771, revision date 08.01.2019.
- Item 4: The surveyed property contains 78,576 Sq. Ft.; 1.8039 Acres.
- Item 5: Contours shown are at 1' intervals and are from ground survey and aerial Lidar. Elevation datum is NAVD88 based on RTK GPS observations at DuPage County Illinois 2006 Geodetic Monument No. DG501001
- Item 6(a): No current zoning report or letter was provided to the surveyor.
- Item 6(b): No current zoning report or letter was provided to the surveyor.
- Item 7(a): There were no buildings on the surveyed property.
- Item 8: Substantial features observed in the process of conducting the fieldwork are as shown hereon this drawing.
- Item 10: There were no division or party walls designated by the client.
- Item 11(b): Per agreement, no private utility locating service was utilized for this project. The location of utilities existing on or serving the surveyed property as determined by observed evidence, evidence from plans obtained from utility companies, or provided by the client and from markings requested pursuant to an 811 utility locate request are as shown hereon this drawing, noting that lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Also note that storm sewer structures were equipped with clean water features that prevented depth measurements.
- Item 13: The names of adjoining owners according to the current records are as shown hereon this survey.
- Item 14: The surveyed property is located 223 south of the intersection of Illinois Rt. 83 and 91st Street.
- Item 15: During this present fieldwork low altitude aerial photogrammetry (average GSD= 0.63cm/pixel), and debiased aerial LiDAR (GeoCue TrueView 515, precision specifications of this instrument can be found at manufacturer's website) were used for gathering data for the location of certain features (excluding boundaries) where ground measurements were not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary.
- Item 17: There were no proposed changes in street right of way lines made available to the surveyor. There was no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- Item 19: Evidence of Professional Liability Insurance per contract requirements are on file.

LEGAL DESCRIPTION

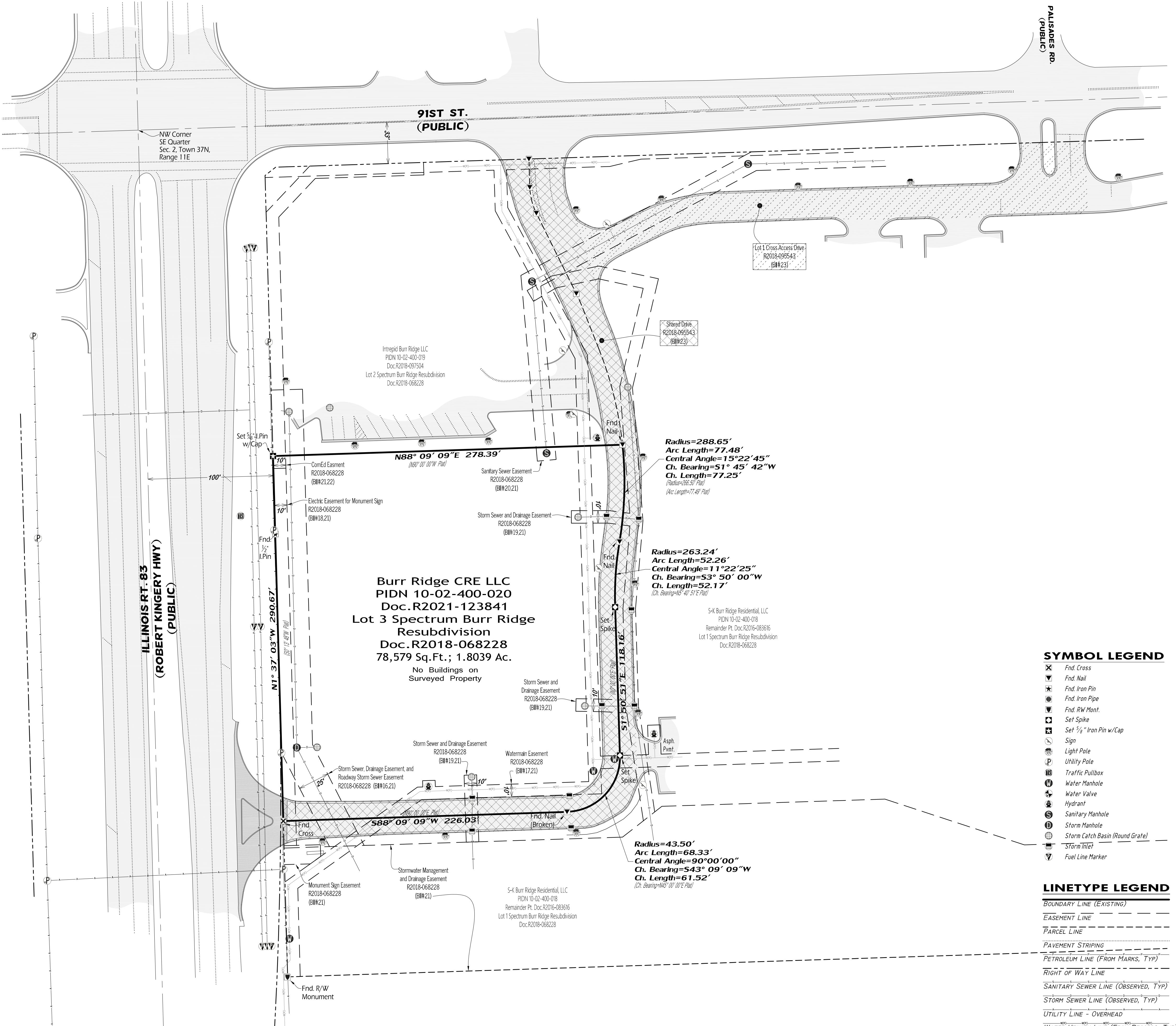
TITLE COMMITMENT SCHEDULE A NO. 5 EXHIBIT A

LOT 3, SPECTRUM BURR RIDGE RESUBDIVISION, BEING A SUBDIVISION IN PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 24, 2018 AS DOCUMENT R2018-068228, IN DUPAGE COUNTY, ILLINOIS.

LEGAL DESCRIPTION

DOCUMENT# R2021-123841

LOT 3, SPECTRUM BURR RIDGE RESUBDIVISION, BEING A SUBDIVISION IN PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 24, 2018 AS DOCUMENT R2018-068228, IN DUPAGE COUNTY, ILLINOIS.



PALISADES RD.  
(PUBLIC)

91ST ST.  
(PUBLIC)

ILLINOIS RT. 83  
(ROBERT KINGERY HWY)  
(PUBLIC)

Burr Ridge CRE LLC  
PIDN 10-02-400-020  
Doc. R2021-123841  
Lot 3 Spectrum Burr Ridge  
Resubdivision  
Doc. R2018-068228  
78,579 Sq. Ft.; 1.8039 Ac.  
No Buildings on  
Surveyed Property

SYMBOL LEGEND

- Find Cross
- Find Nail
- Find Iron Pin
- Find Iron Pipe
- Find Iron Mont.
- Set Spike
- Set 1/8" Iron Pin w/Cap
- Sign
- Light Pole
- Utility Pole
- Traffic Pullbox
- Water Manhole
- Water Valve
- Hydrant
- Sanitary Manhole
- Storm Manhole
- Storm Catch Basin (Round Grate)
- Storm Inlet
- Fuel Line Marker

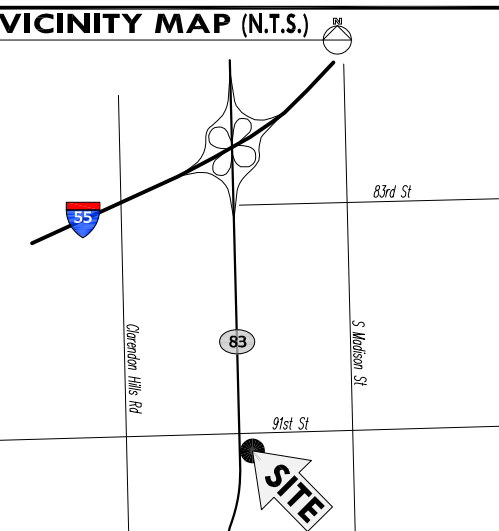
LINETYPE LEGEND

- BOUNDARY LINE (EXISTING)
- EASEMENT LINE
- PARCEL LINE
- PAVEMENT STRIPING
- PETROLEUM LINE (FROM MARKS, TYP)
- RIGHT OF WAY LINE
- SANITARY SEWER LINE (OBSERVED, TYP)
- STORM SEWER LINE (OBSERVED, TYP)
- UTILITY LINE - OVERHEAD
- WATER UTILITY LINE (FROM RECORDS, TYP)



BAUMANN LAND SURVEY, INC.  
P.O. BOX 14834, CINCINNATI, OHIO 45250  
513.860.3999 WWW.BAUMANNLSI.COM

**WARNING**  
The location of all utilities and underground structures shown are approximate and are not necessarily all of the existing utilities and structures. It is the contractor's responsibility to determine the exact location and existence of all utilities and underground structures.



SEAL

ILLINOIS CERTIFICATION

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Thomas P. Baumann, PS  
Illinois Surveyor #3768  
Expires 11/30/2022

ALTA/NSPS CERTIFICATION

To INSURED, LENDER, and Old Republic National Title Insurance: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 10, 11(b), 13, 14, 15, 17, and 19 of Table A, thereof. The fieldwork was completed on 01/17/2022. Date of Plat or Map: DRAFT

Thomas P. Baumann, PS  
Illinois Surveyor #3768  
Expires 11/30/2022

ALTA/NSPS  
LAND TITLE  
~SURVEY~  
PROPOSED THORNTONS SITE

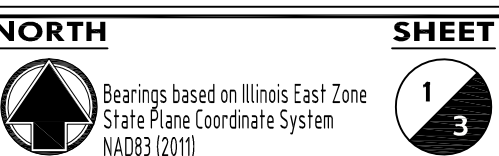
P2115  
BURR RIDGE, IL

IN THE WEST HALF OF THE SOUTHEAST QUARTER OF  
SECTION 2, TOWN 37 NORTH, RANGE 11 EAST  
OF THE THIRD PRINCIPAL MERIDIAN  
DuPAGE COUNTY, ILLINOIS

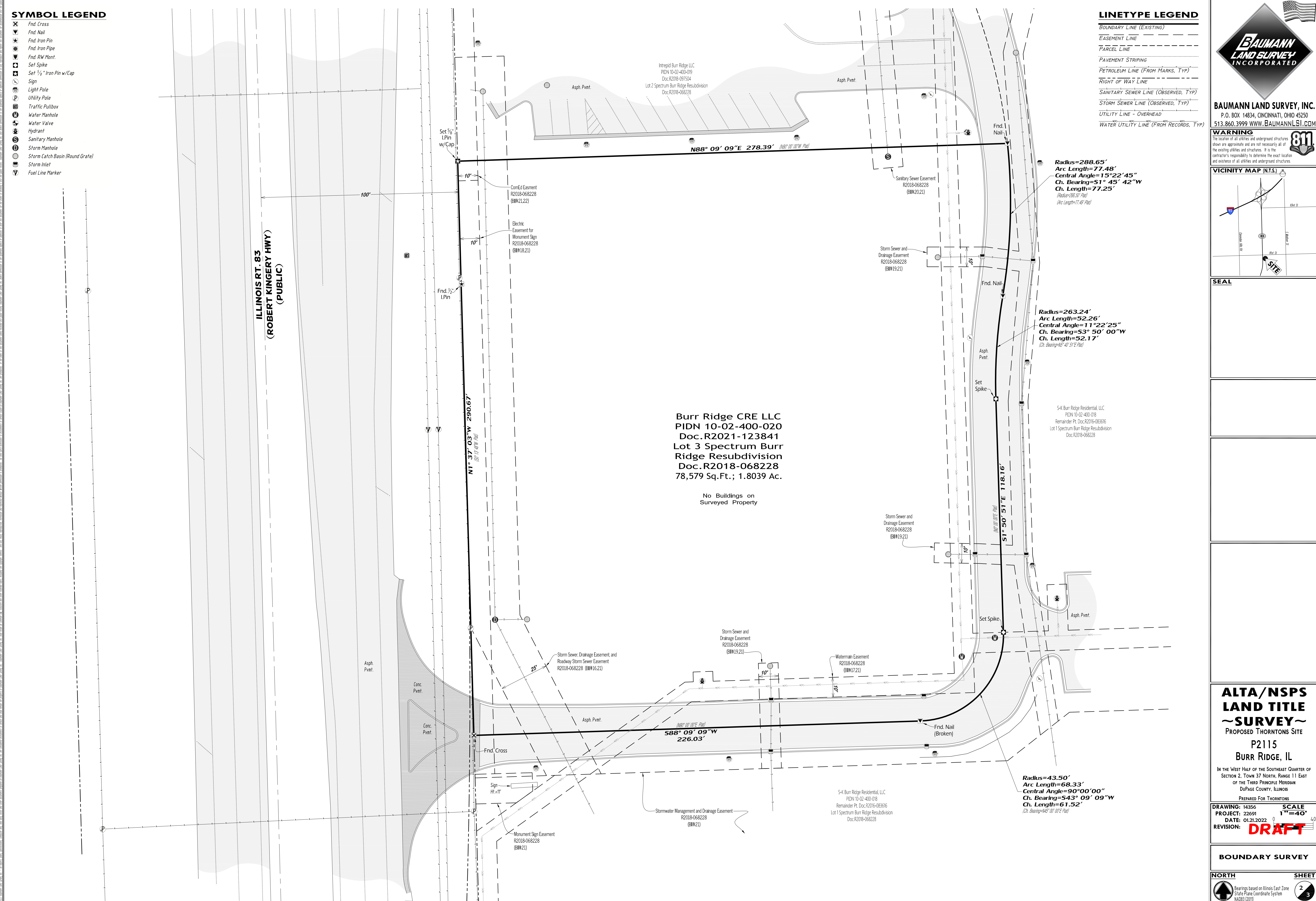
PREPARED FOR THORNTONS

DRAWING: 14356  
PROJECT: 22691  
DATE: 01.21.2022  
REVISION: **DRAFT**

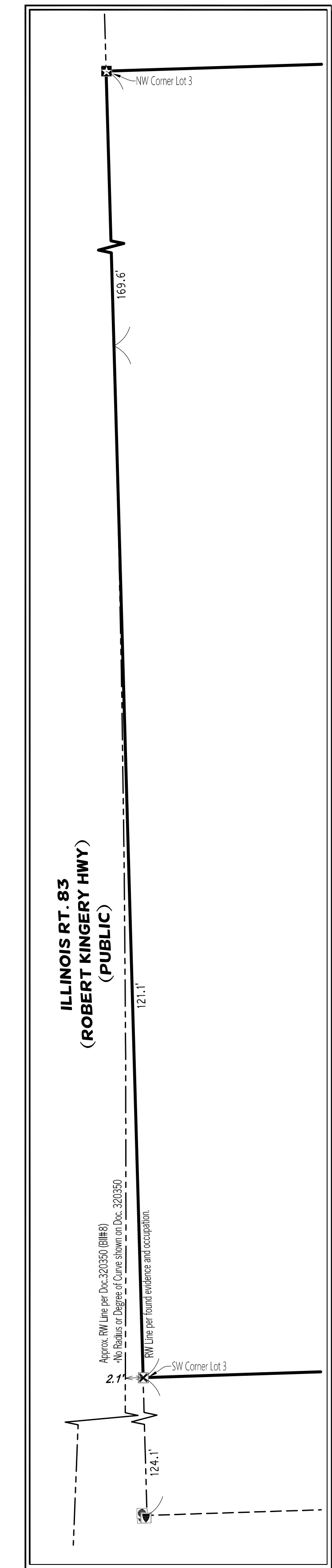
OVERALL SITE  
AND NOTES






























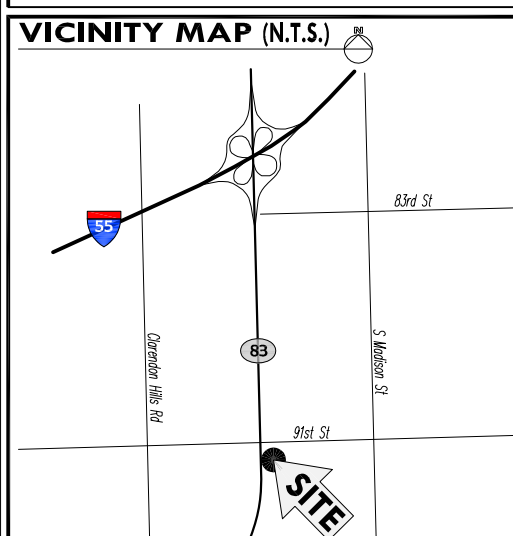
## SYMBOL LEGEND

	Fnd. Cross		Traffic Pullbox
	Fnd. Nail		Water Manhole
	Fnd. Iron Pin		Water Valve
	Fnd. Iron Pipe		Hydrant
	Fnd. RW Mount.		Sanitary Manhole
	Set Spike		Storm Manhole
	Set 1/2" Iron Pin w/ Cap		Storm Catch Basin (Round) Gate
	Sign		Storm Inlet
	Light Pole		Fuel Line Marker
	Utility Pole		



**BAUMANN LAND SURVEY, INC.**  
P.O. BOX 14834, CINCINNATI, OHIO 45250  
513.860.3999 [WWW.BAUMANNLSI.COM](http://WWW.BAUMANNLSI.COM)

**WARNING**  
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SEAL

**ALTA/NSPS  
LAND TITLE  
~SURVEY~  
PROPOSED THORNTONS SITE  
P2115  
BURR RIDGE, IL**

IN THE WEST HALF OF THE SOUTHEAST QUARTER OF  
SECTION 2, TOWN 37 NORTH, RANGE 11 EAST  
OF THE THIRD PRINCIPLE MERIDIAN  
DU PAGE COUNTY, ILLINOIS  
PREPARED FOR THORNTONS

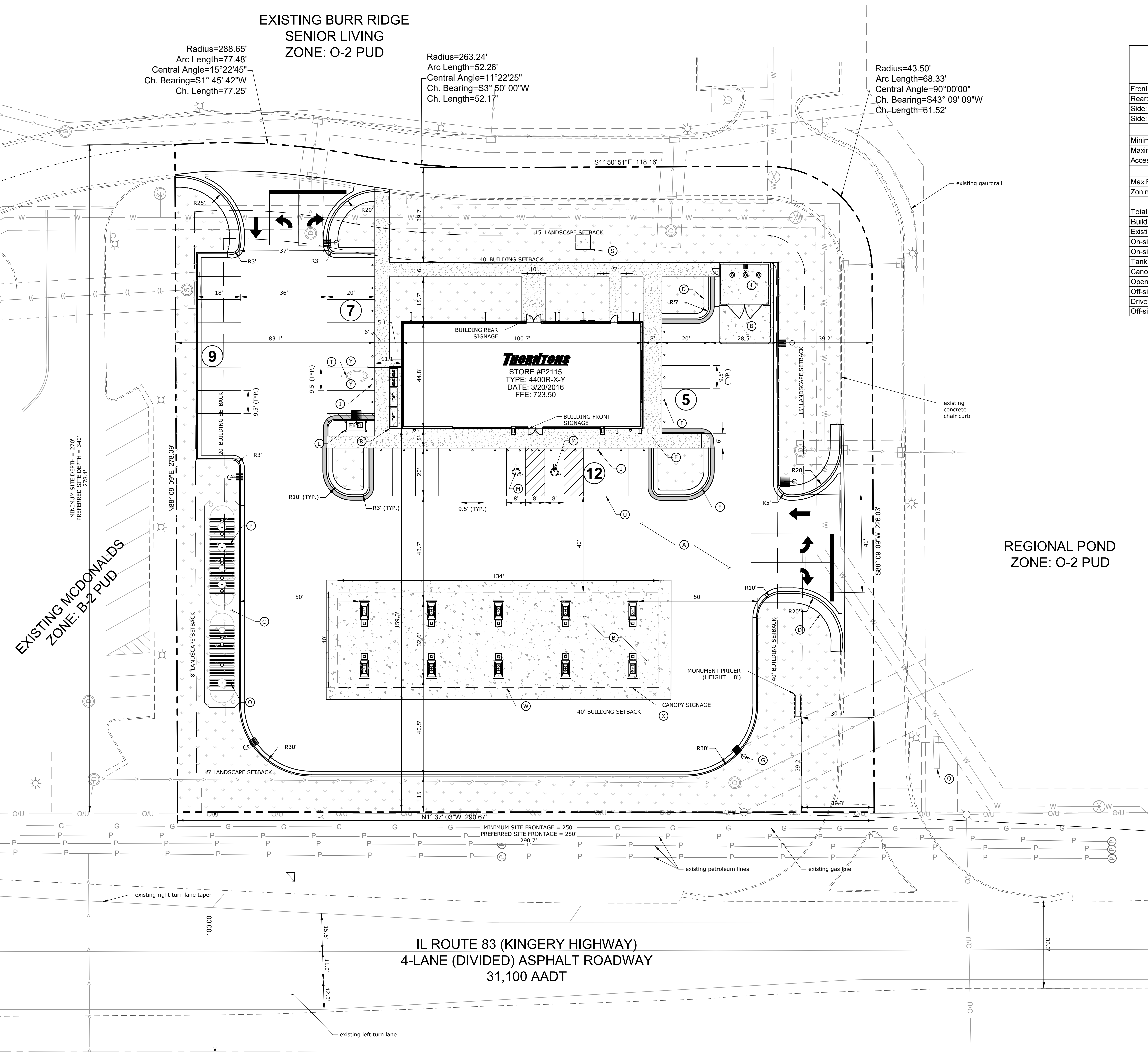
**DRAWING:** 14356 **SCALE**  
**PROJECT:** 22691 **1"=40'**  
**DATE:** 01.21.2022  
**REVISION:** **DRAFT**

**TOPOGRAPHIC  
SURVEY AND  
RIGHT OF WAY DETAIL**

<b>NORTH</b>		<b>SHEET</b>
	Bearings based on Illinois East Zone State Plane Coordinate System NAD83 (2011)	

**DETAIL**  **SCALE**  
RIGHT OF WAY 1"=10'  
ALONG ILLINOIS RT. 83  
AT LOT 3





Site Plan Summary Table		
	Required	Provided
Building Setbacks		
Front: South	40	150+
Rear: North	40	60+
Side: East	40	90+
Side: West	40	90+
Parking		
Minimum	38	53
Maximum	---	---
Accessible / Van Accessible	2 (1)	2 (2)
Land Use Data		
Max Building Height (Ft)	35	---
Zoning Category / Zoning Agency (City, County, etc.)	B-2 PUD - Village of Burr Ridge, DuPage County	
Total Site Area (S.F.)	78,576	
Building Area (S.F.)	4,400	
Existing Building Area (S.F.)	N/A	
On-site Vehicular Circulation (Paved) (S.F.)	38,702	
On-site Sidewalk (S.F.)	3,530	
Tank Pad Area (S.F.)	1,243	
Canopy Area (S.F.)	5360	
Open Space (S.F.)	21,361	
Off-site Sidewalk Area (New and/or Replaced) (S.F.)	0	
Driveway Apron / Turnout Areas (in Public ROW) (S.F.)	---	
Off-site Roadway Improvements (Turn Lane, etc.) (S.F.)	0	

SITE LEGEND

- A STANDARD DUTY PAVEMENT SECTION AND NOTES. SEE SHEET C7.1 - THORNTONS DETAILS.
- B HEAVY DUTY PAVEMENT SECTION AND NOTE. SEE SHEET C7.1 - THORNTONS DETAILS.
- C TANK PAD PAVING SECTION AND CONCRETE NOTES. SEE SHEET C7.1 - THORNTONS DETAILS.
- D HARDSCAPE BUFFER. SEE DETAILS SHEET C7.1 - THORNTONS DETAILS.
- E CONCRETE SIDEWALK. SEE SHEET C7.1 - THORNTONS DETAILS.
- F CONCRETE CURB. SEE SHEET C7.1 - THORNTONS DETAILS.
- G LIGHT POLE. SEE DETAILS ON SHEET C7.2 - THORNTONS DETAILS.CONFIRM LIGHT POLE FIXTURE TYPE AND ORIENTATION WITH PHOTOMETRIC PLAN.
- H NOT USED
- I PIPE BOLLARD. SEE DETAILS.
- J NOT USED
- K NOT USED
- L SERVICE ISLAND
- M ACCESSIBLE PARKING SPACE. DETAIL PER AUTHORITY HAVING JURISDICTION.
- N NOT USED
- O SINGLE COMPARTMENT TANK. REFERENCE FUEL DRAWINGS
- P THREE COMPARTMENT TANK REFERENCE FUEL DRAWINGS
- Q MONUMENT/PYLON/GROUND SIGN. REFERENCE
- R PAVILION AREA
- S PROPOSED TRANSFORMER LOCATION. COORDINATE PAD WITH COMED
- T PROPOSED GREASE TRAP LOCATION. REFERENCE MEP PLANS
- U PAINTED 4" WIDE YELLOW STRIPE.
- V WASTE ENCLOSURE. REF. ARCH. PLANS
- W PROPOSED CANOPY. REF. CANOPY PLANS
- X PROPOSED BUILDING SETBACK LINE.
- Y RESERVED FOR FUTURE EV CHARGING STATIONS.

REVISIONS	
NO.	DESCRIPTION

ARC DESIGN  
RESOURCES INC.

5291 Zenith Parkway  
Loves Park, IL 61111

REGISTRATION NUMBER:  
184001334-0010

DATE: 3-25-2022

THORNTONS BURR RIDGE, IL

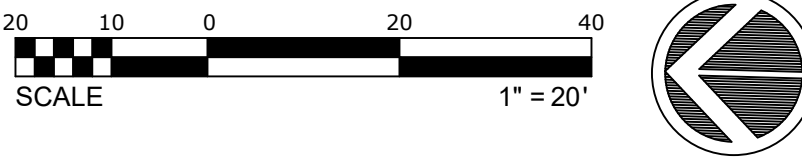
DESIGN: RCS  
DRAFTING: LND  
SCALE: 1/20  
DATE: 3-25-2022

SITE PLAN

Thorntons

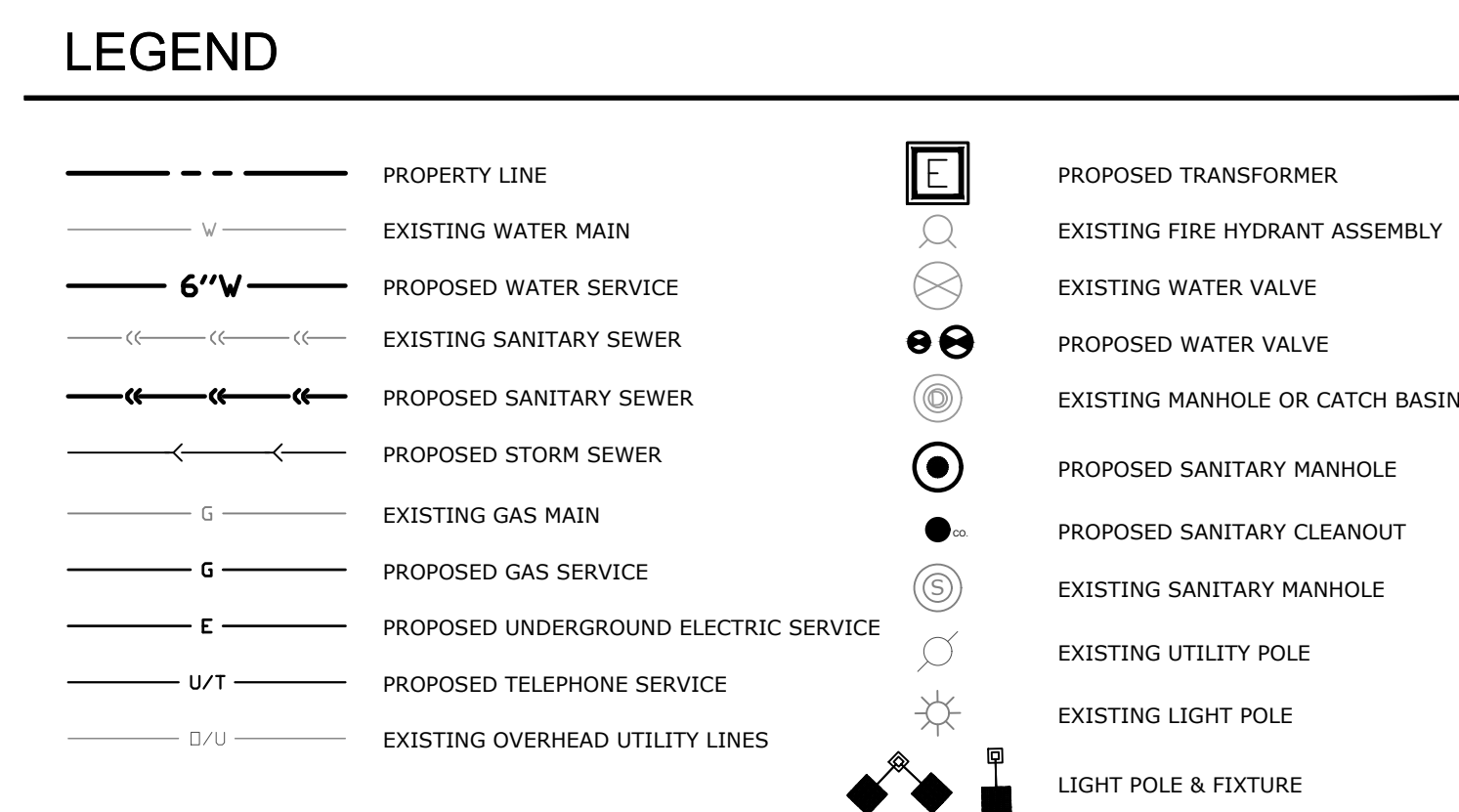
9115 KINGERY HIGHWAY  
BURR RIDGE, IL 60527





C5.0



[illegible]

**ARC DESIGN**  
RESOURCES INC.

5291 Zenith Parkway  
Loves Park, IL 61111

REGISTRATION NUMBER:  
184001334-0010

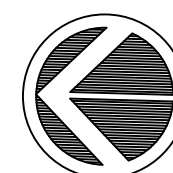
DATE: 3-25-2022

# THORNTONS BURR RIDGE, IL

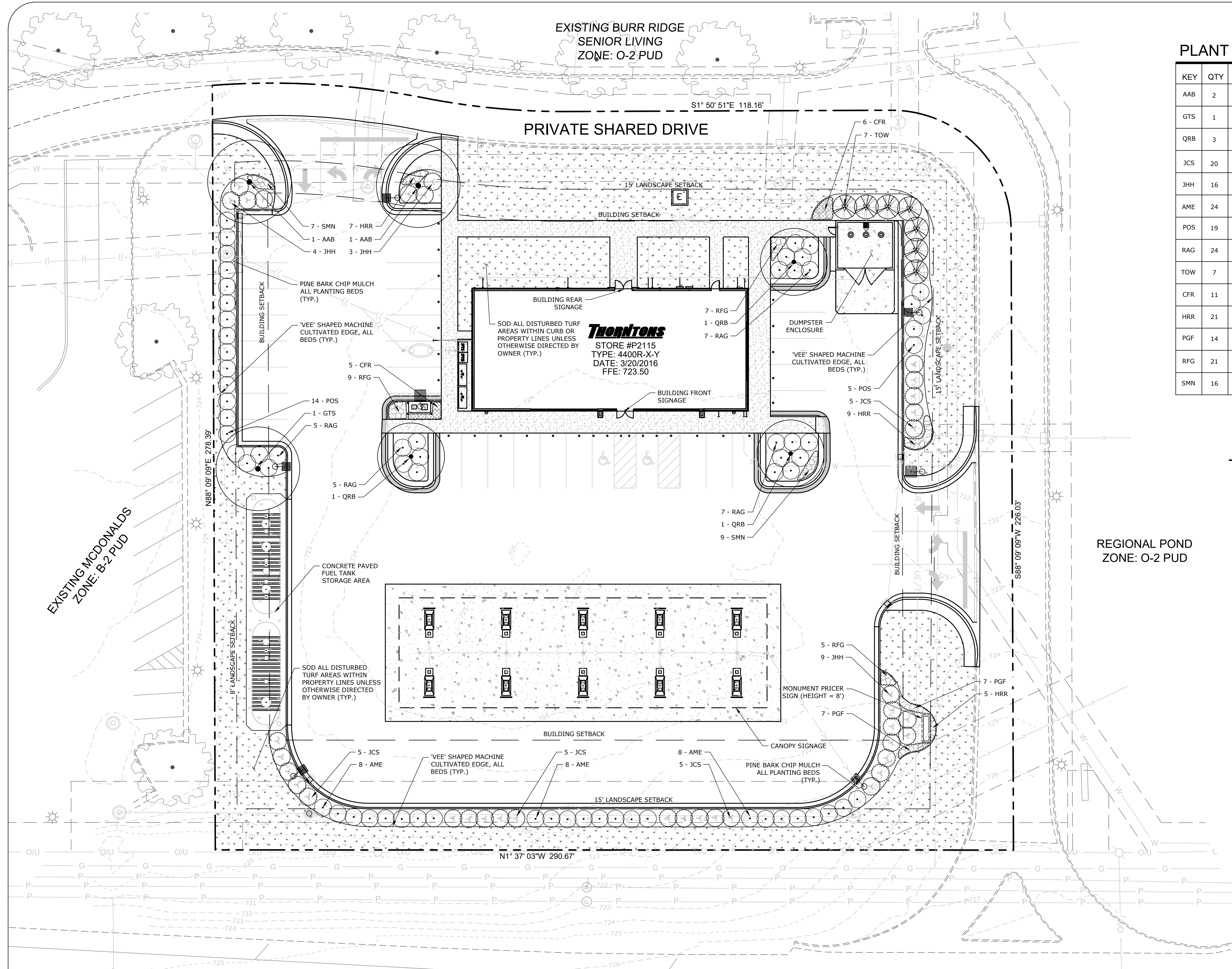
UTILITY PLAN	DESIGN: RCS	DRAFTING: LND
	SCALE: 1:20	DATE: 3-25-2022

**Thorntons**

C6.0



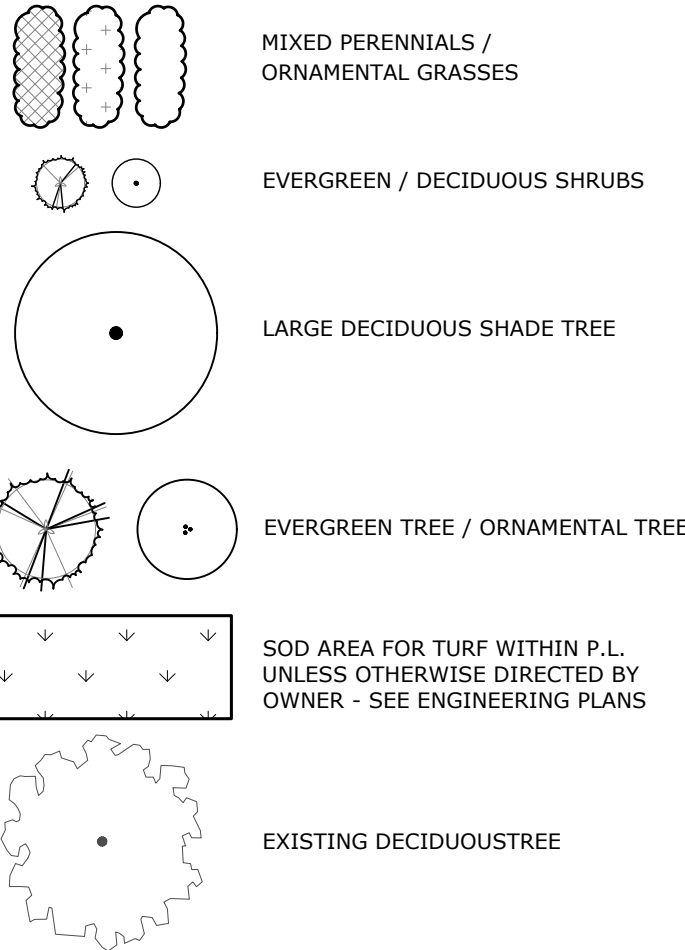




PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AAB	2	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	3"	
GTS	1	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	3"	
QRB	3	Quercus robur x bicolor 'Long' REGAL PRINCE OAK	3"	
JCS	20	Juniperus chinensis 'Sargentii' GREEN SARGENT JUNIPER	5 GAL	EVERGREEN SHRUB
JHH	16	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	5 GAL	EVERGREEN SHRUB
AME	24	Aronia melanocarpa x 'Elate' BLACK CHOKEBERRY	30" / 5 GAL	
POS	19	Physocarpus opulifolia 'Podaras 3' LEMON CANDY PHYSOCARPUS	30" / 5 GAL	
RAG	24	Rhus aromatica x 'Gro-Lo' GRO-LOW SUMAC	18" / 5 GAL	
TOW	7	Thuja occidentalis x 'Woodwardii' WOODWARD ARBORVITAE	5'	UPRIGHT EVERGREEN
CFR	11	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - PERENNIAL
HRR	21	Hemmerocallis x 'Rosy Returns' ROSY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
PGF	14	Phlox x glaberrima 'Forever Pink' FOREVER PINK HYBRID PHLOX	GAL	2'-0" O.C. - PERENNIAL
RFG	21	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SMN	16	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL

LEGEND

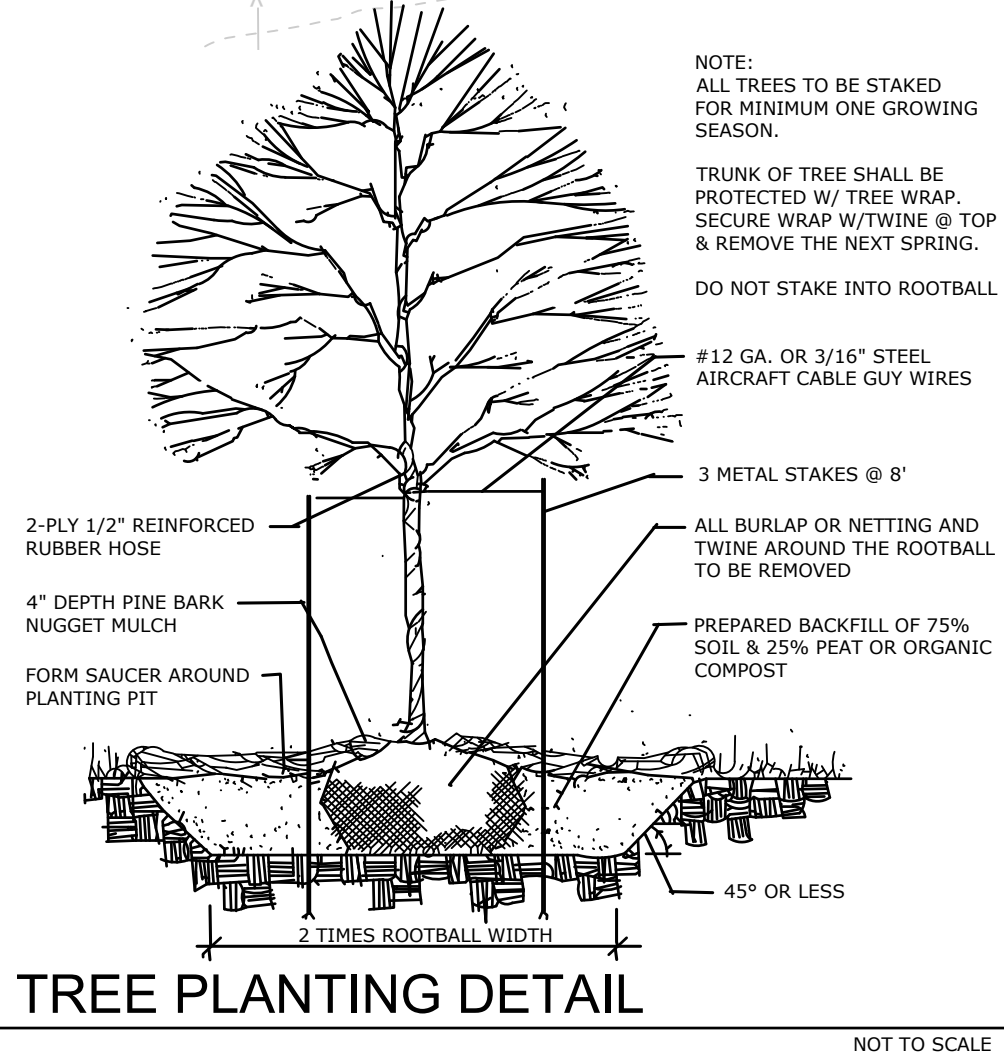


PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- For details pertaining to Utilities, Easements, Grading, Retaining Walls, Layout, Geometry, Wetland/Flood Plain Delineations, etc., or other trades refer to Architectural and Civil Engineering plans and/or owner.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site as per grading/engineering plans and/or correct surface irregularities in preparation for sod. Roto-til, disc, drag, harrow or hand rake sub grade to a depth of 4" in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas are to receive a minimum 3" of approved topsoil and be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation. Sizes and/or spread on plant list represent minimum requirements at the time of installation; mature growth may exceed figures listed.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multiple-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 4" depth pine bark nugget (2") mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outer-most branches at the time of installation. No mulch shall border sidewalks or curbing.
- Planting edge delineation at all planting bed lines and tree saucers shall require a mechanically cultivated edge with minimum 4" depth "v" shape and a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan. No plant beds shall border sidewalks or curbs.
- Contractor to install sod in all areas indicated on plan. Sod to be well established minimal type growth, no peat sod will be allowed. Sod grass blend shall consist of the following suggested bluegrass types: 55% Barrons, 15% Majestic, 15% Adelphi, 15% Glade. Sod pieces are to fit tightly together so that no joints are visible, alternate and stagger courses and tamp or roll firmly. All sodded lawn areas shall be fertilized at first cutting with 15-40-5 analysis fertilizer, at a rate of 6 lbs. per 1,000 s.f.. Acceptance and guarantee note shall apply to all sod areas.
- Acceptance of grading and sod shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs), replacement (sod) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded or replaced repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

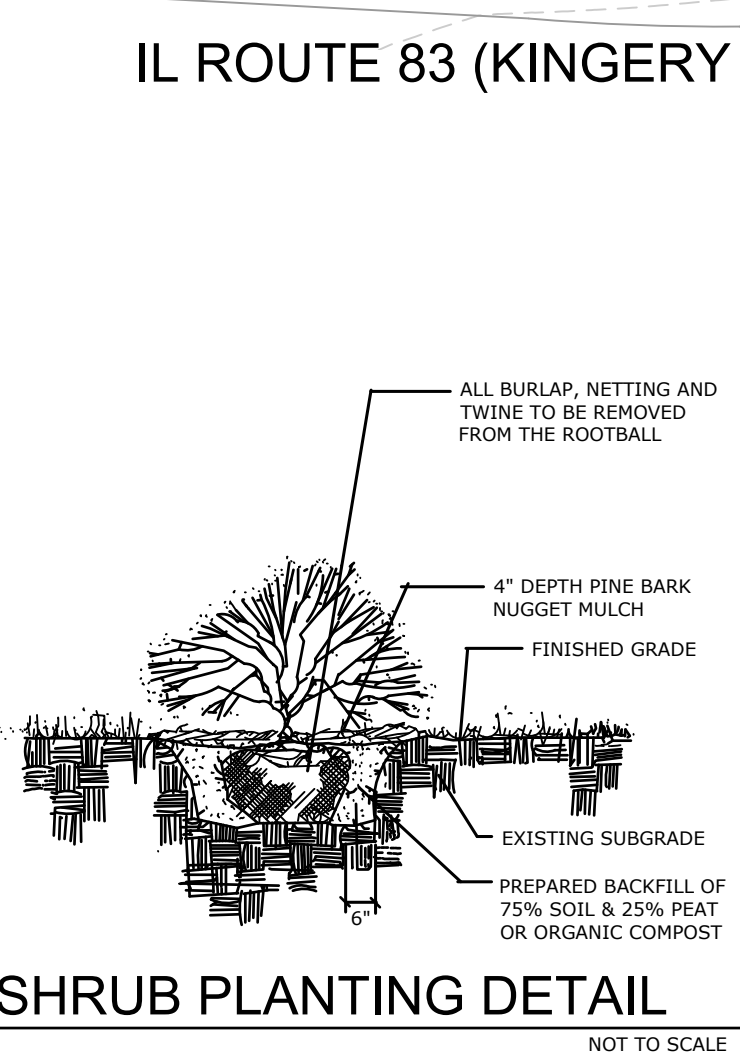
LANDSCAPE ZONING DATA

CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
PERIMETER LANDSCAPE AREA - MINIMUM SETBACKS	NORTH P.L. EAST P.L. WEST P.L. SOUTH P.L.	NORTH - 8' WIDTH (SIDE LOT) EAST - 15' WIDTH (FRONT LOT) WEST - 15' WIDTH (INTERIOR CORNER) SOUTH - 15' WIDTH (INTERIOR CORNER)	NORTH - 8' WIDTH (SIDE LOT) EAST - 15' WIDTH (FRONT LOT) WEST - 15' WIDTH (INTERIOR CORNER) SOUTH - 15' WIDTH (INTERIOR CORNER)
PERIMETER LANDSCAPE AREA - PLANTINGS	FRONT OF THE PRINCIPAL BUILDING	FRONT: PERMANENT SCREENING OF MINIMUM 4' HEIGHT, ADJACENT TO PARKING/PAVEMENT - CONSIST OF EITHER A PLANTED BERM, DENSE EVERGREEN SHRUBS OR TREES OR COMBINATION	FRONT: PERMANENT PLANTED SCREEN MIN. 4' HEIGHT (ADJACENT TO PARKING/PAVEMENT AREAS)
	SIDE / REAR YARDS	SIDE/REAR: PERMANENT SCREENING OF MINIMUM 5' HEIGHT, ADJACENT TO PARKING/PAVEMENT - CONSIST OF EITHER PLANTED BERM, DENSE EVERGREEN SHRUBS OR TREES, OR COMBINATION	SIDE/REAR: PERMANENT PLANTED SCREEN MIN. 4' HEIGHT (ADJACENT TO PARKING/PAVEMENT AREAS)
PARKING LANDSCAPE (15 SPACES OR MORE)	32 PARKING SPACES	ONE (1) ISLAND FOR EACH 15 SPACES AND/OR AT THE END OF EACH PARKING ROW - MIN. 9'X18' W/ RAISED CURBING AND A TREE (3")	ISLAND/PLANTING AREA AT THE END OF EACH PARKING ROW W/ MIN. AREA, RAISED CURBING AND TREE



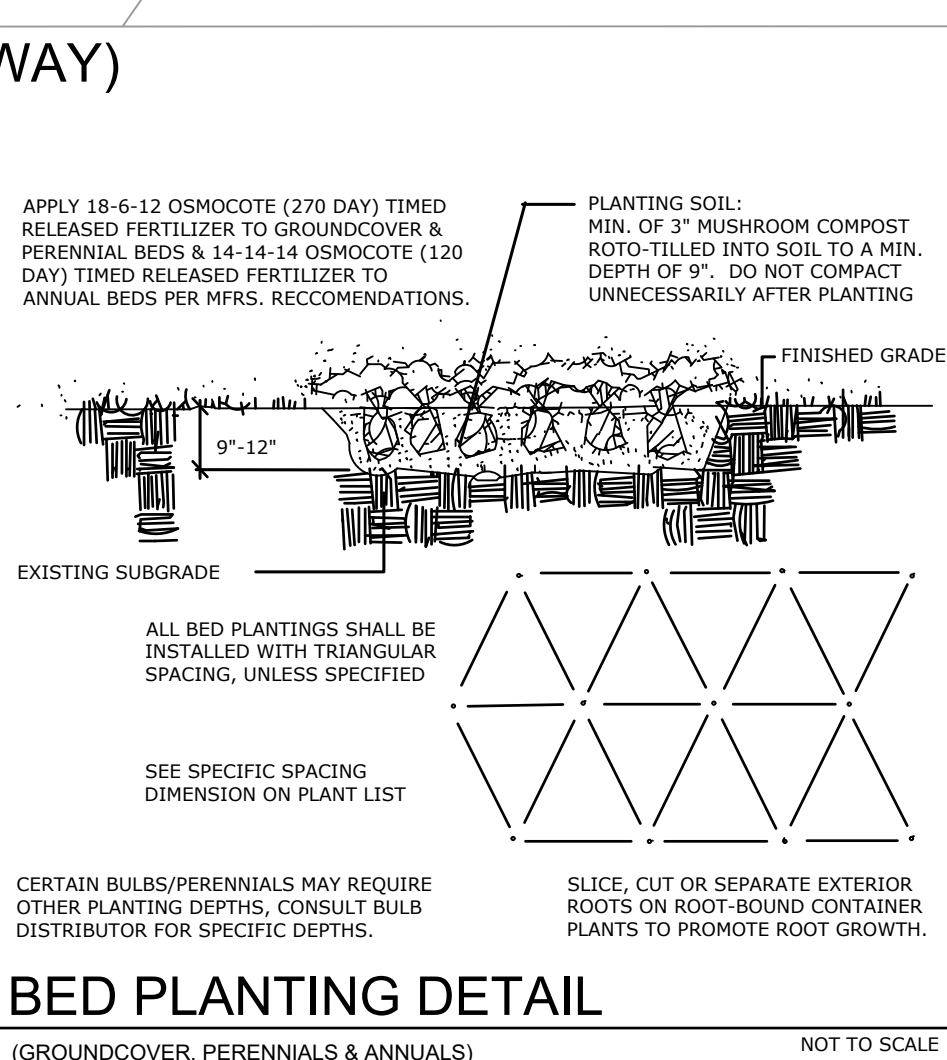
TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE



BED PLANTING DETAIL

(GROUNDCOVER, PERENNIALS & ANNUALS)

NOT TO SCALE

THORNTONS BURR RIDGE, IL

Thorntons

9115 KINGERY HIGHWAY  
BURR RIDGE, IL 60527

REVISIONS		DESIGN: RCS		DRAFTING: LND	
NO.	DATE	SCALE: 1:20	DATE: 3-25-2022	DATE: 3-25-2022	DATE: 3-25-2022

ARC DESIGN  
RESOURCES INC.

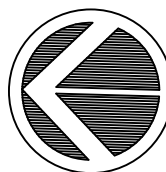
5291 Zenith Parkway  
Loves Park, IL 61111

REGISTRATION NUMBER:  
184001334-0010

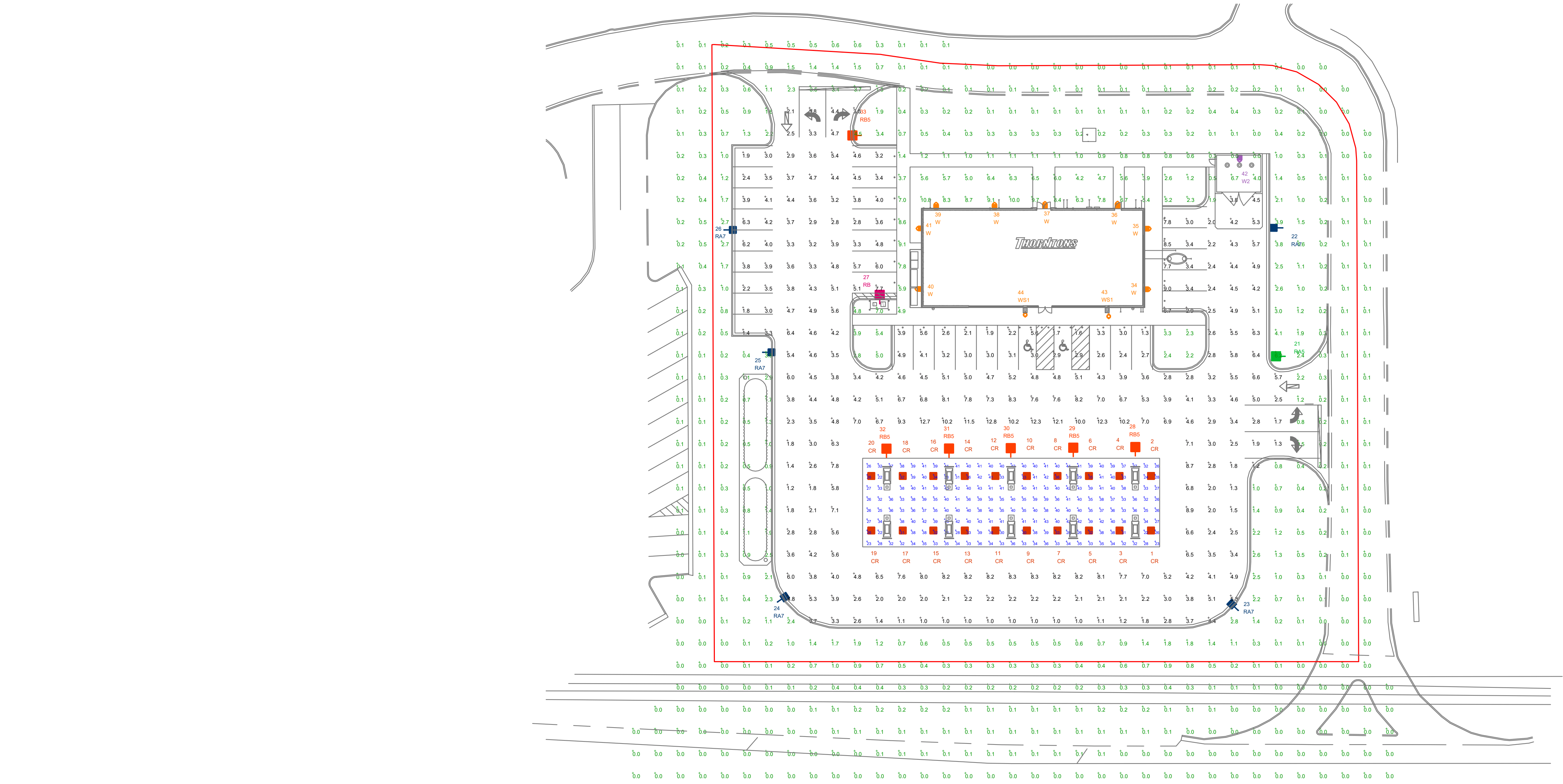
DATE: 3-25-2022

LANDSCAPE PLAN

L1.0







NOTE:  
- POLE MOUNTED FIXTURES ARE MOUNTED ON A 20FT POLE  
ATOP A CONCRETE BASE.

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS  
REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	CR	15
2	CR	15
3	CR	15
4	CR	15
5	CR	15
6	CR	15
7	CR	15
8	CR	15
9	CR	15
10	CR	15
11	CR	15
12	CR	15
13	CR	15
14	CR	15
15	CR	15
16	CR	15
17	CR	15
18	CR	15
19	CR	15
20	CR	15
21	RA5	20
22	RA7	20
23	RA7	20
24	RA7	20
25	RA7	20
26	RA7	20
27	RB	20
28	RB	20
29	RB	20
30	RB	20
31	RB	20
32	RB	20
33	RB	20
34	W	10
35	W	10
36	W	10
37	W	10
38	W	10
39	W	10
40	W	10
41	W	10
42	W2	6
43	WS1	10
44	WS1	10

## IL ROUTE 83 (KINGERY HIGHWAY)

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	35.79	43	22	1.63	1.95
PAVED AREA	4.39	12.8	1.0	4.39	12.80
UNDEFIND AREA	0.81	10.8	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	DESCRIPTION
	20	CR	SINGLE	13251	1.000	B3-U0-G1	134	2680	CAN-304-SL-RS-06-E-UL-WH-700-57K
	1	RA5	SINGLE	12699	1.000	B2-U0-G2	104	104	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-3M-UL-XX-Q9 + OSQOBLSMF
	5	RA7	Single	9274	1.000	B1-U0-G2	73	365	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-3M-UL-XX-Q3 + OSQOBLSMF
	1	RB	SINGLE	16098	1.000	B3-U0-G3	104	104	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-4M-UL-XX-Q9
	6	RB5	SINGLE	12349	1.000	B2-U0-G2	104	624	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-4M-UL-XX-Q9 + OSQ-ELSMF
	8	W	SINGLE	5893	1.000	B2-U0-G2	68	544	SEC-EDG-3M-WM-04-E-UL-XX-525-57K
	1	W2	SINGLE	2490	1.000	B1-U0-G1	19	19	XSPW-B-WM-3ME-2L-57K-UL-XX
	2	WS1	SINGLE	1980	1.000	N.A.	27.7	55.4	CL-P6642-31-30K + CL-P8798-31

### DISCLAIMER

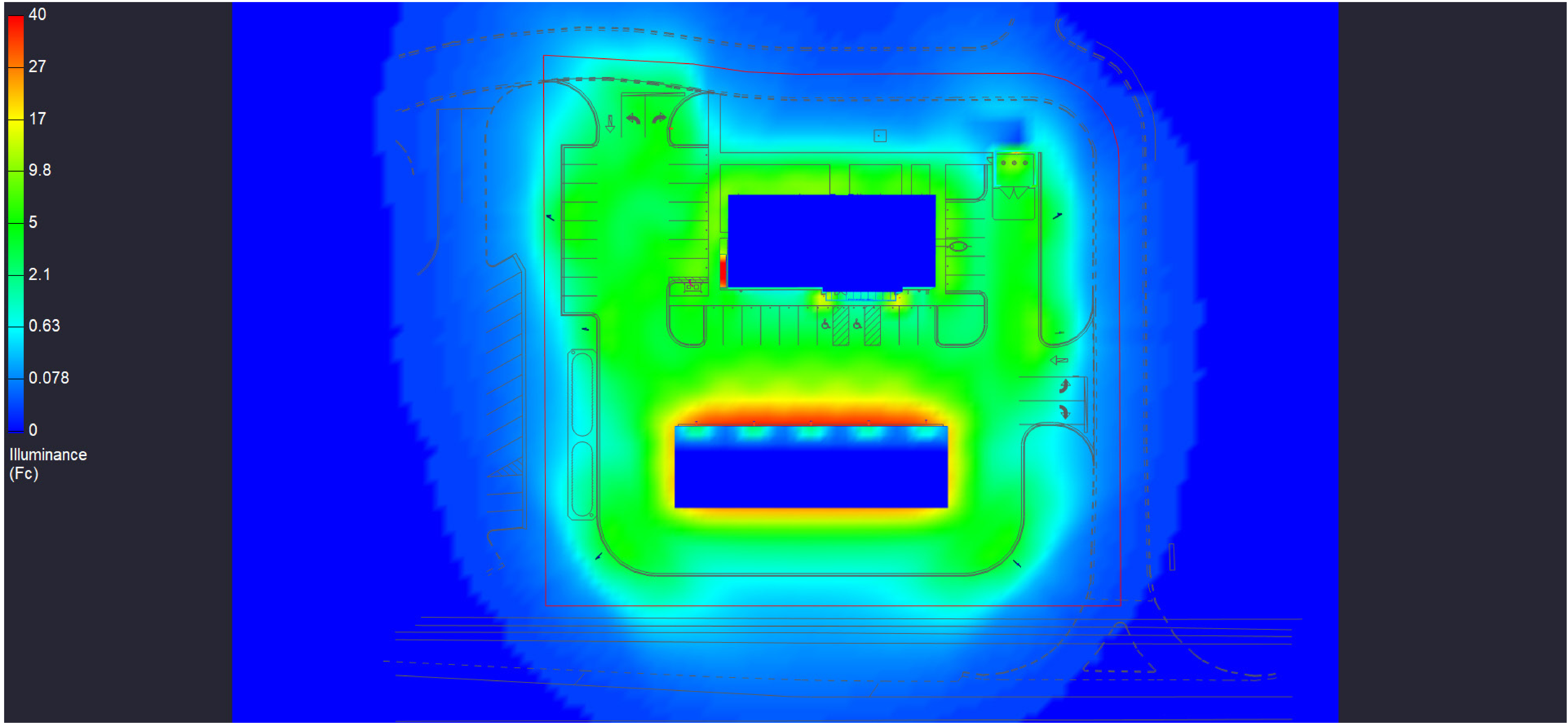
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REV.	BY	DATE	DESCRIPTION
R1	TAS	3/25/22	LOWERED POLE HEIGHTS
-	-	-	-
-	-	-	-
-	-	-	-

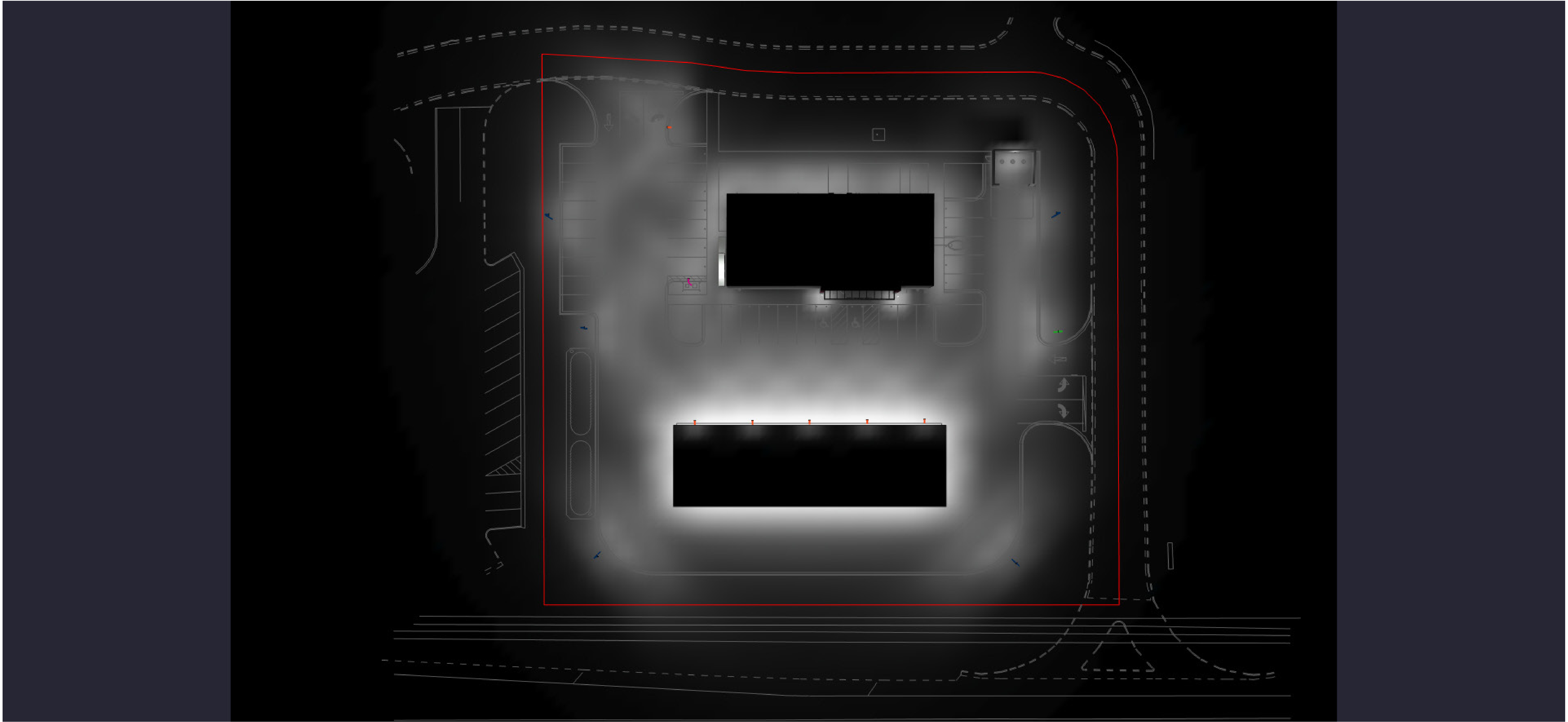




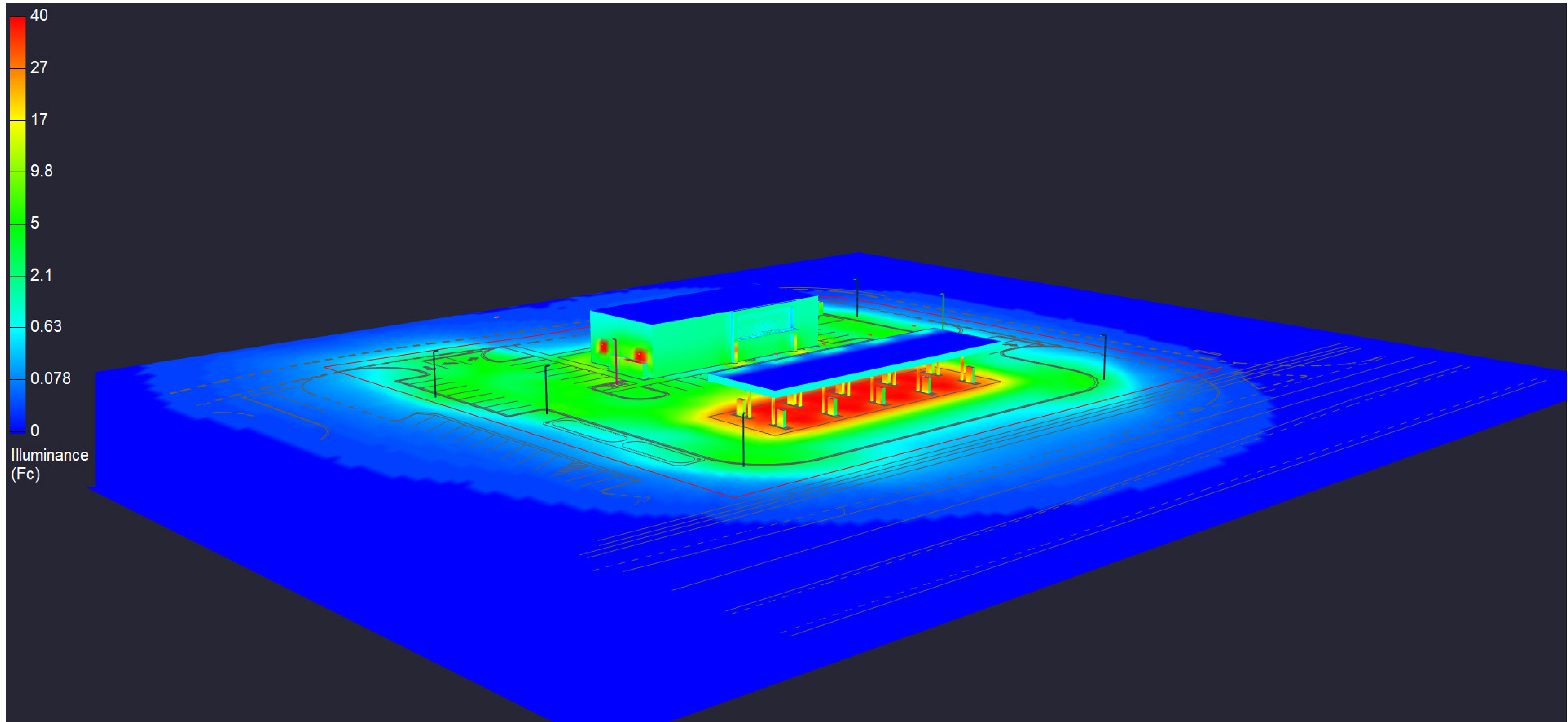




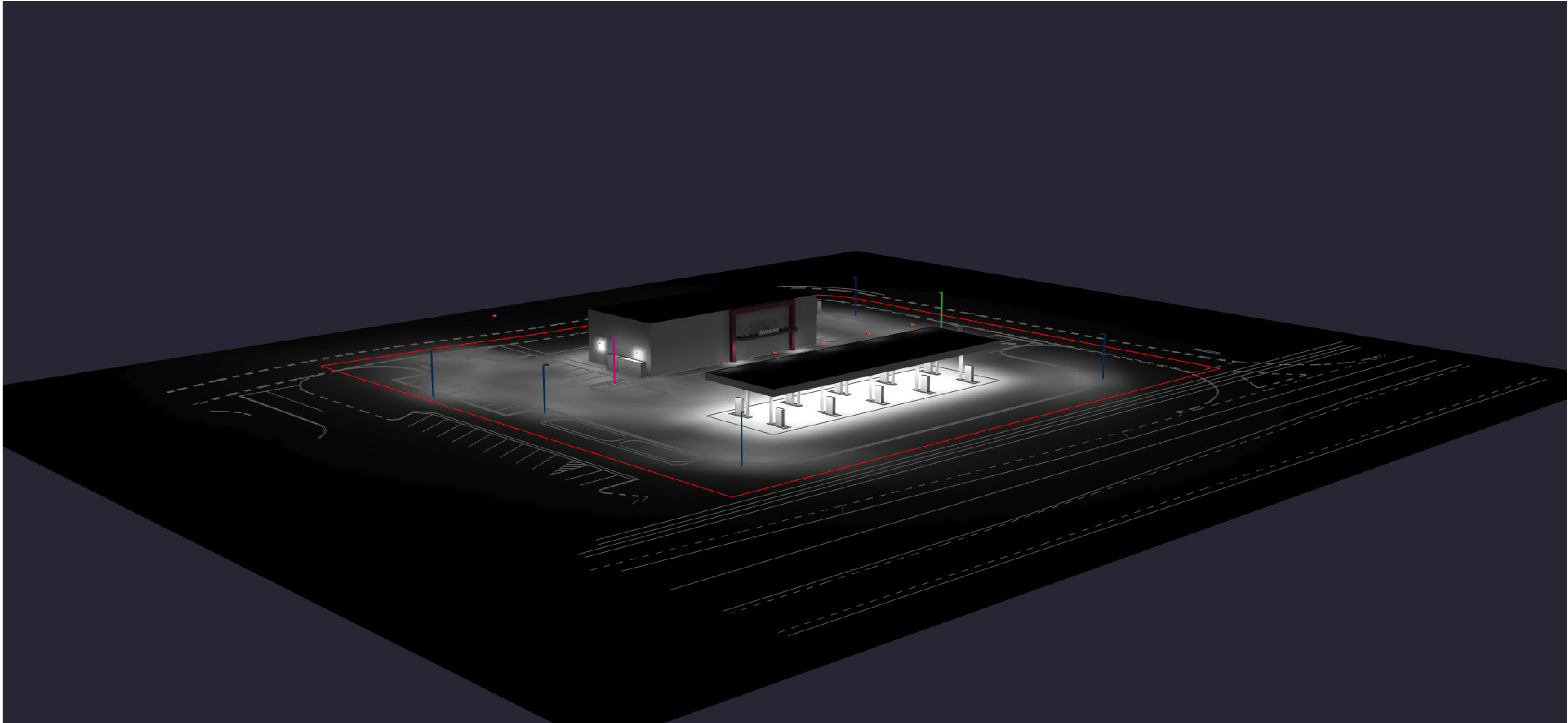










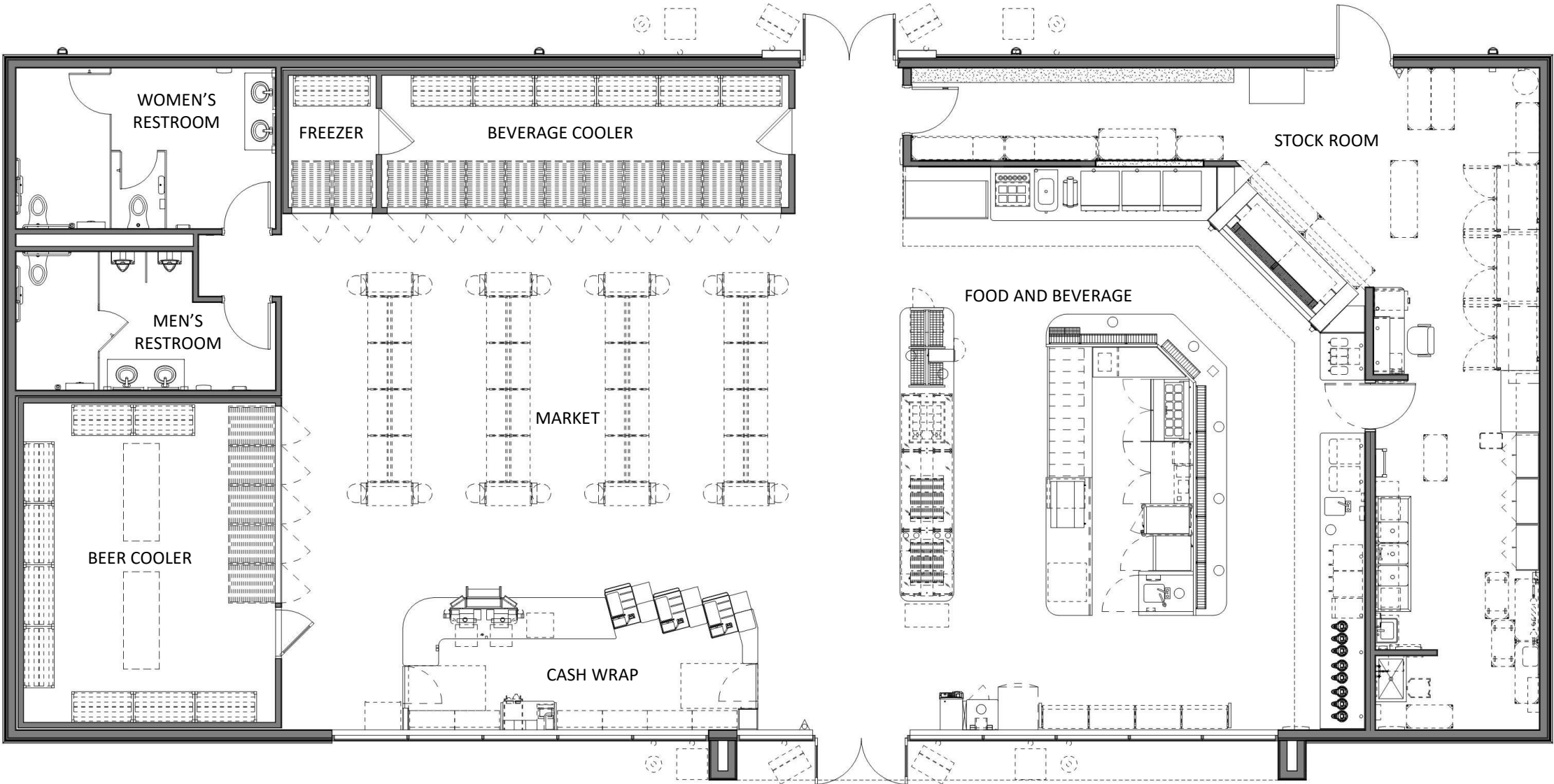




# ***BURR RIDGE, ILLINOIS***

4400 Square Foot  
Convenience Store  
Prototype









FRONT ELEVATION





REAR ELEVATION





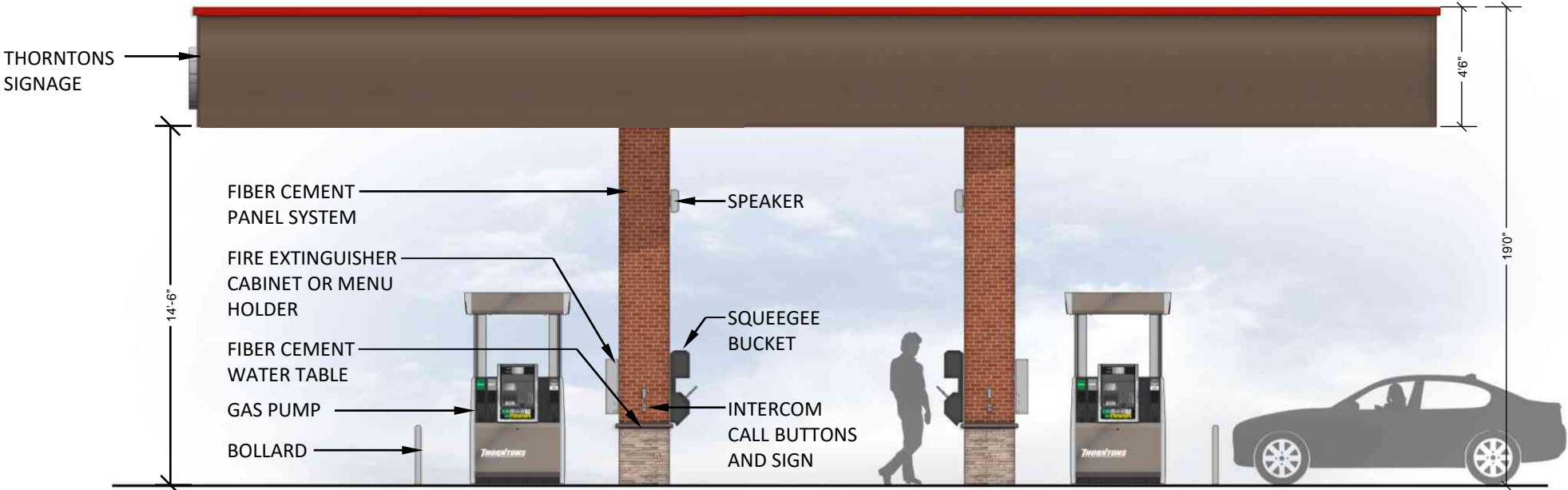
SIDE ELEVATION



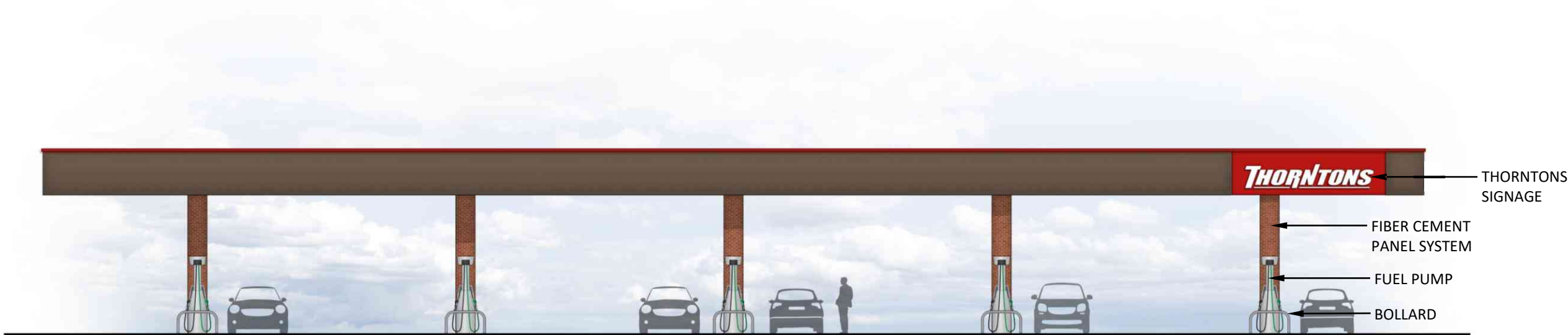


SIDE ELEVATION



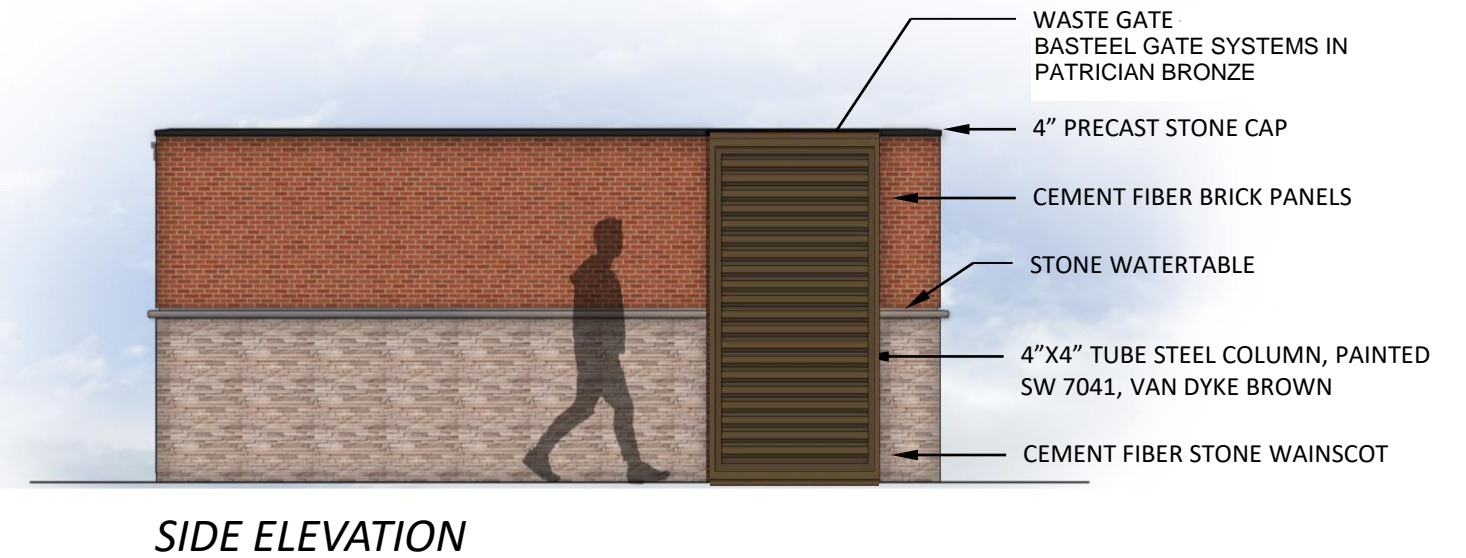
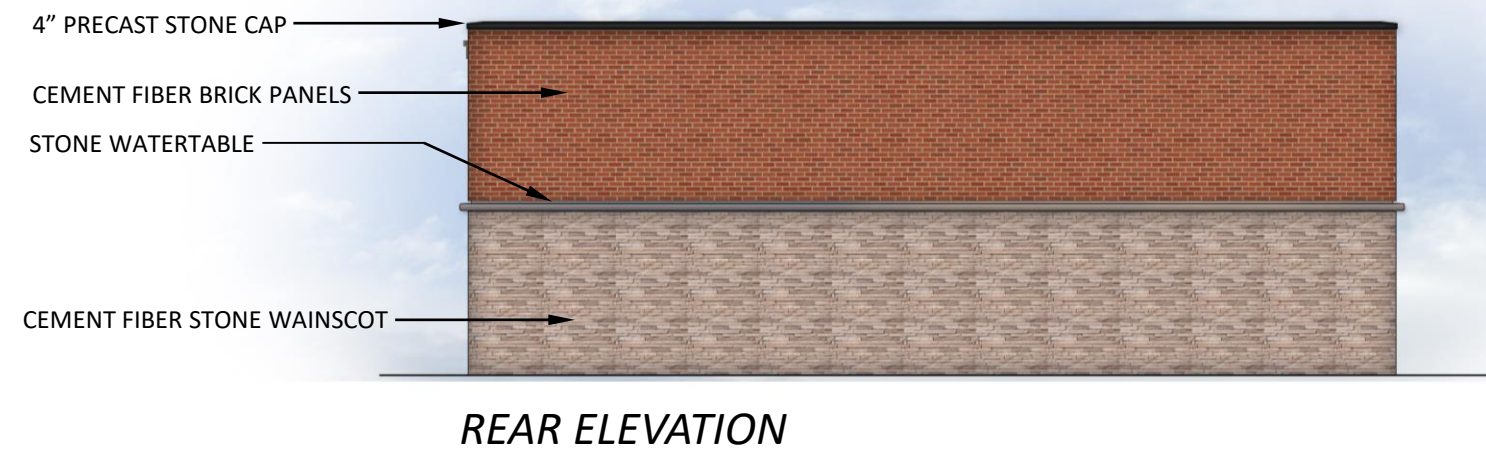
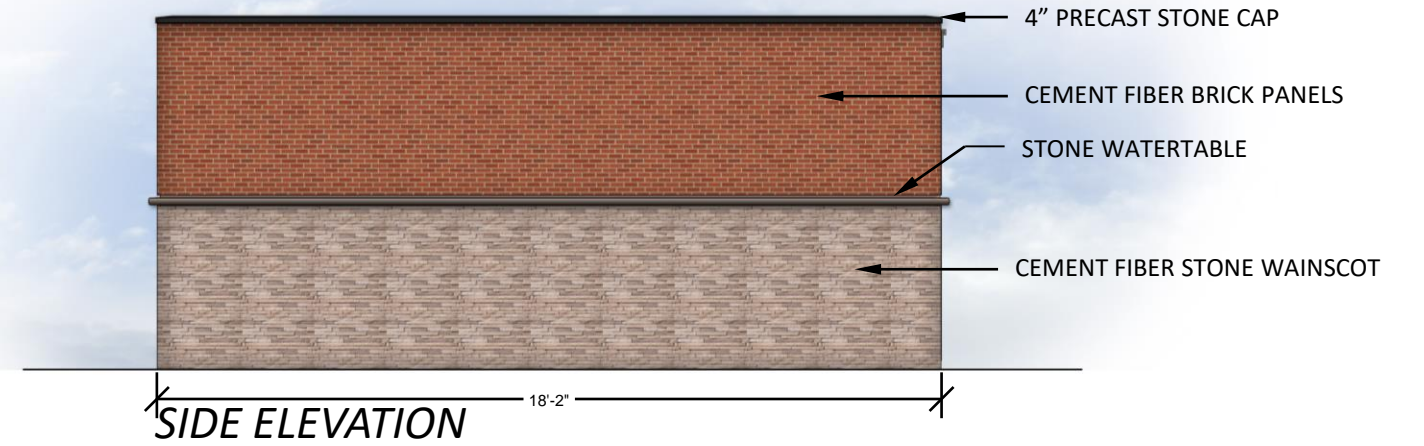
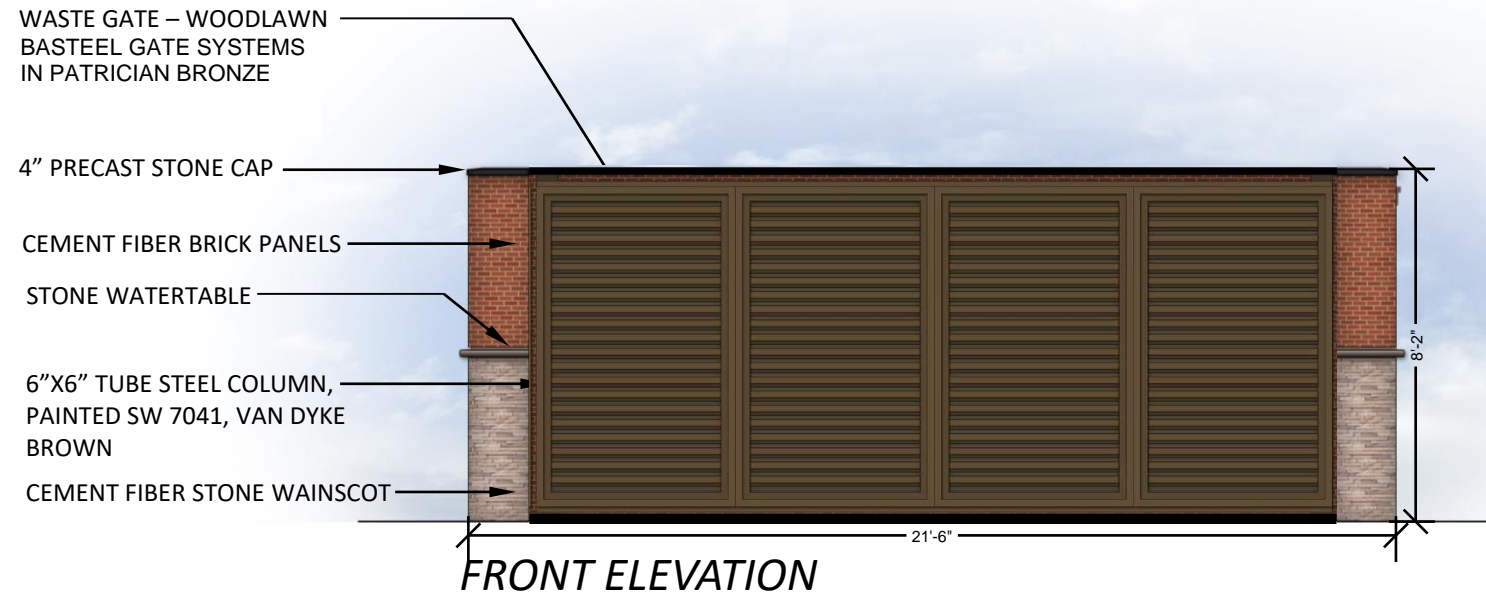


SIDE ELEVATION



FRONT ELEVATION







# Stratus™

stratusunlimited.com

888.503.1569

## LOCATION NUMBER:

P2115

## SITE ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

### SIGN CODE:

Sign Code info: No code information at this time.  
Building Signage: N/A

Freestanding Signs: N/A

Directional Signs: N/A  
Gas Canopy Signs: N/A

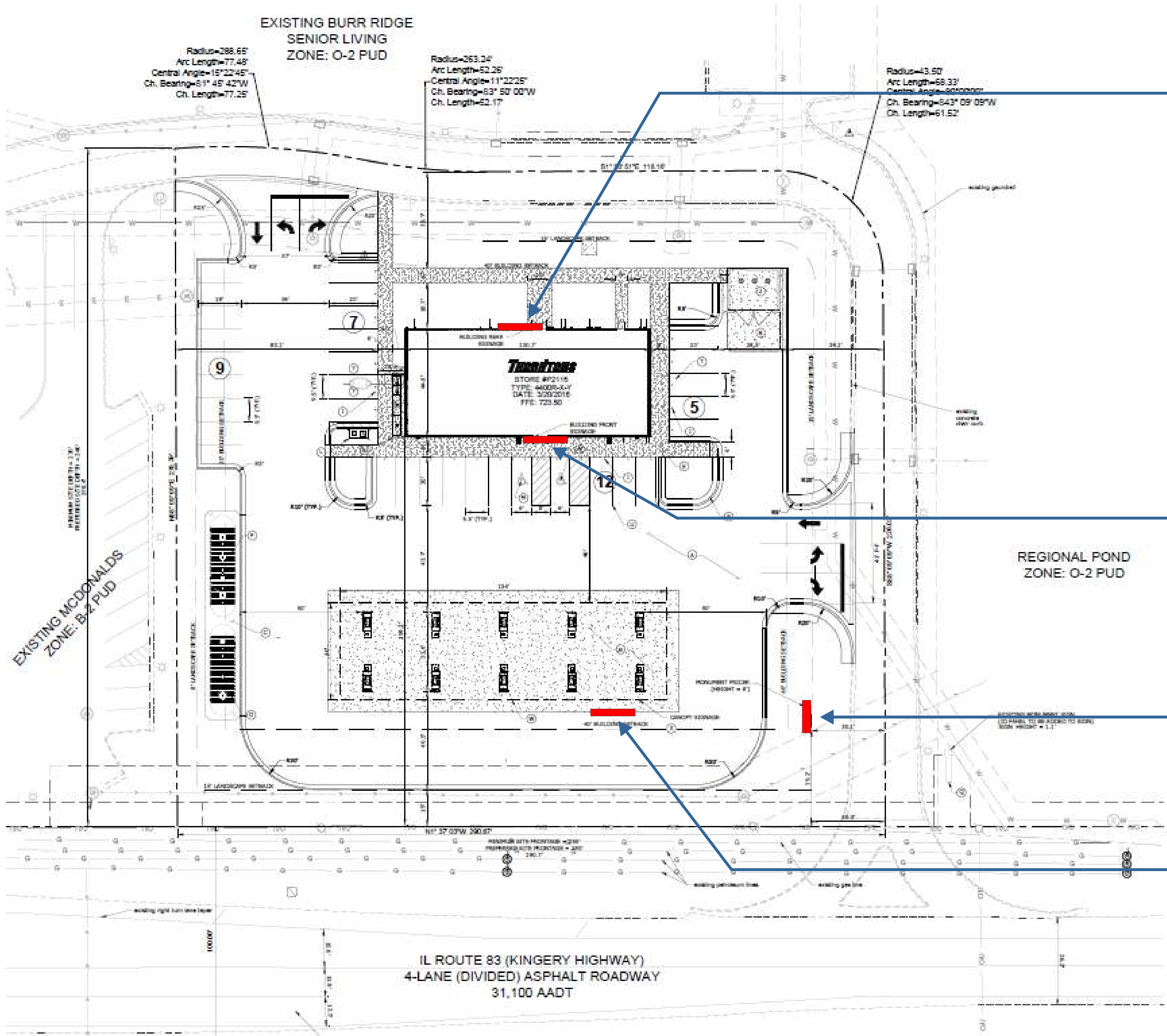
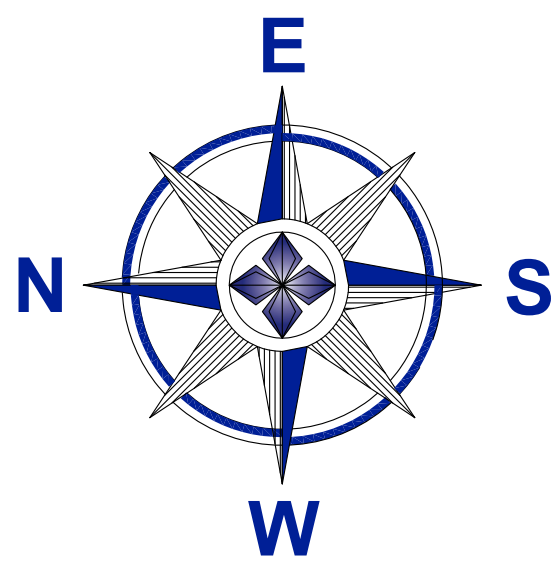
Summary:  
Qty (1) 31" letterset @ 46.1 SF- Front of building  
Qty (1) 20" letterset @ 17' SF- Rear of building  
Qty (1) 31" lettersets @ 46.1' SF each – Canopy  
Qty (1) Monument Signs @ 49.8 SF

Additional Notes:  
None

# *THORNTONS*

Infinite possibilities, ideal solutions.





**BUILDING**  
*20" THORNTONS*  
17 SQ FT

**BUILDING**  
*31" THORNTONS*  
46.1 SQ FT

**D/F MONUMENT**  
49.8 SQ FT

**CANOPY**  
*31" THORNTONS*  
41.3 quare feet

**Stratus**<sup>TM</sup>

stratusunlimited.com  
8959 Tyler Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT:  
*THORNTONS*

ADDRESS:  
9115 Kingery Hwy  
Burr Ridge, IL 60527

PAGE NO.:  
**2**

ORDER NUMBER:  
1172331

SITE NUMBER:  
P2115

ELECTRONIC FILE NAME:  
G:\ACCOUNTS\T\THORNTON'S\2022\IL\P2115\_Burr Ridge

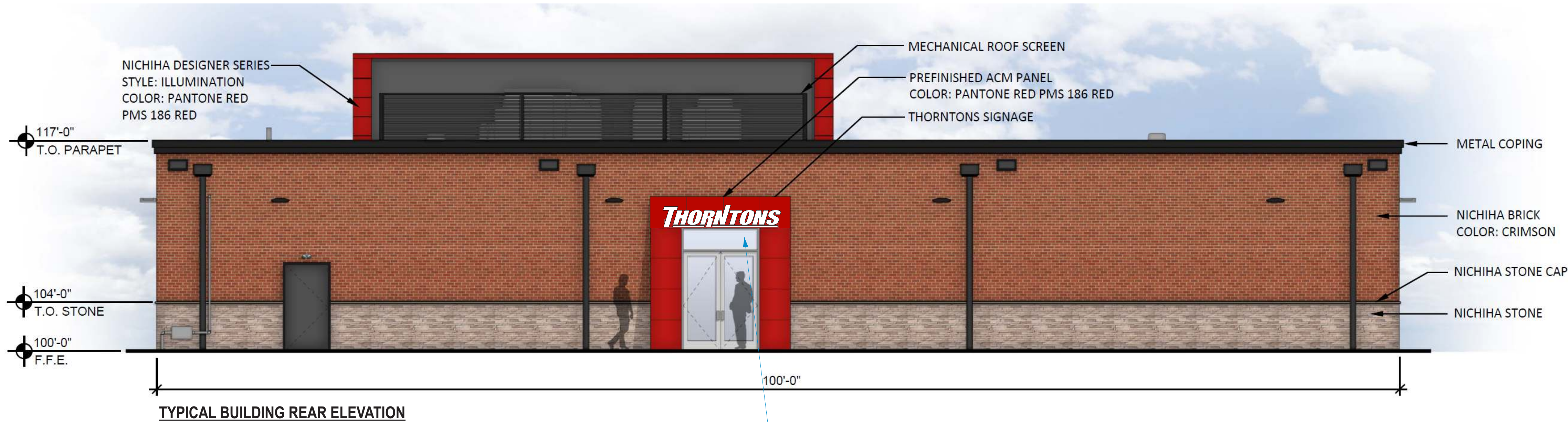
PROJECT NUMBER:  
83164

PROJECT MANAGER:  
KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA	UPDATED SITE PLAN				



TYPICAL ELEVATIONS SHOWN FOR VIEWING PURPOSES:  
ACTUAL ELEVATIONS TO BE PROVIDED



20" Channel letterset on Backer

Stratus™

stratusunlimited.com

8959 Tyler Boulevard  
Mentor, Ohio 44060

888.503.1569

CLIENT:

THORNTONS

ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

PAGE NO.:

3

ORDER NUMBER:

1172331

SITE NUMBER:

P2115

ELECTRONIC FILE NAME:

G:\ACCOUNTS\T\THORNTON'S\2022\IL\P2115\_Burr Ridge

PROJECT NUMBER:

83164

PROJECT MANAGER:

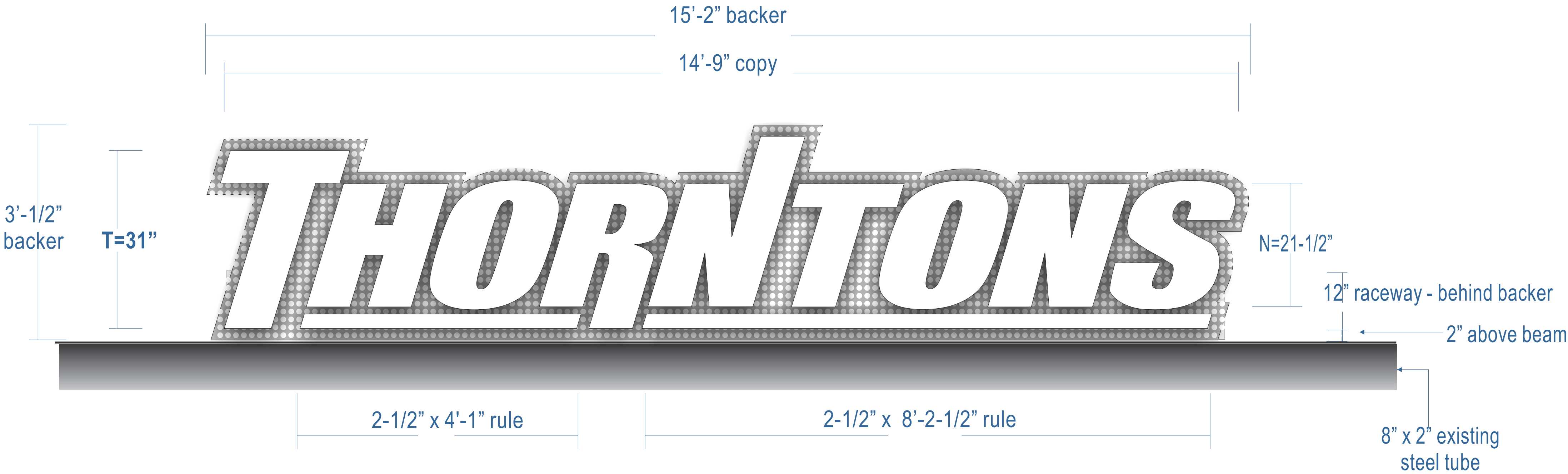
KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA					



ELECTRICAL NOTE:

ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code



- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY**
- BACKER:** .080 perforated alum. screen backer; Holes to be .50" diameter and are 11/16" on centers to allow for 48% visibility; Backer painted Metallic Silver front & back; Backer to be mounted behind letters & will help to conceal raceway
- INSTALL:** Custom 12" high x 6" deep alum. raceway to house all electrical - Painted Black - all sides; Raceway mounted to 1/4" steel plate shelf provided at top edge of steel tube using stainless steel fasteners as required; 1" alum. flat bar to be used for back bracing as necessary - painted Black to match raceway
- QUANTITY:** (1) One channel letterset required for storefront elevation
- CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC;
- MANUFACTURER NOTES:** SIGNAGE MUST BE 3 WIRE

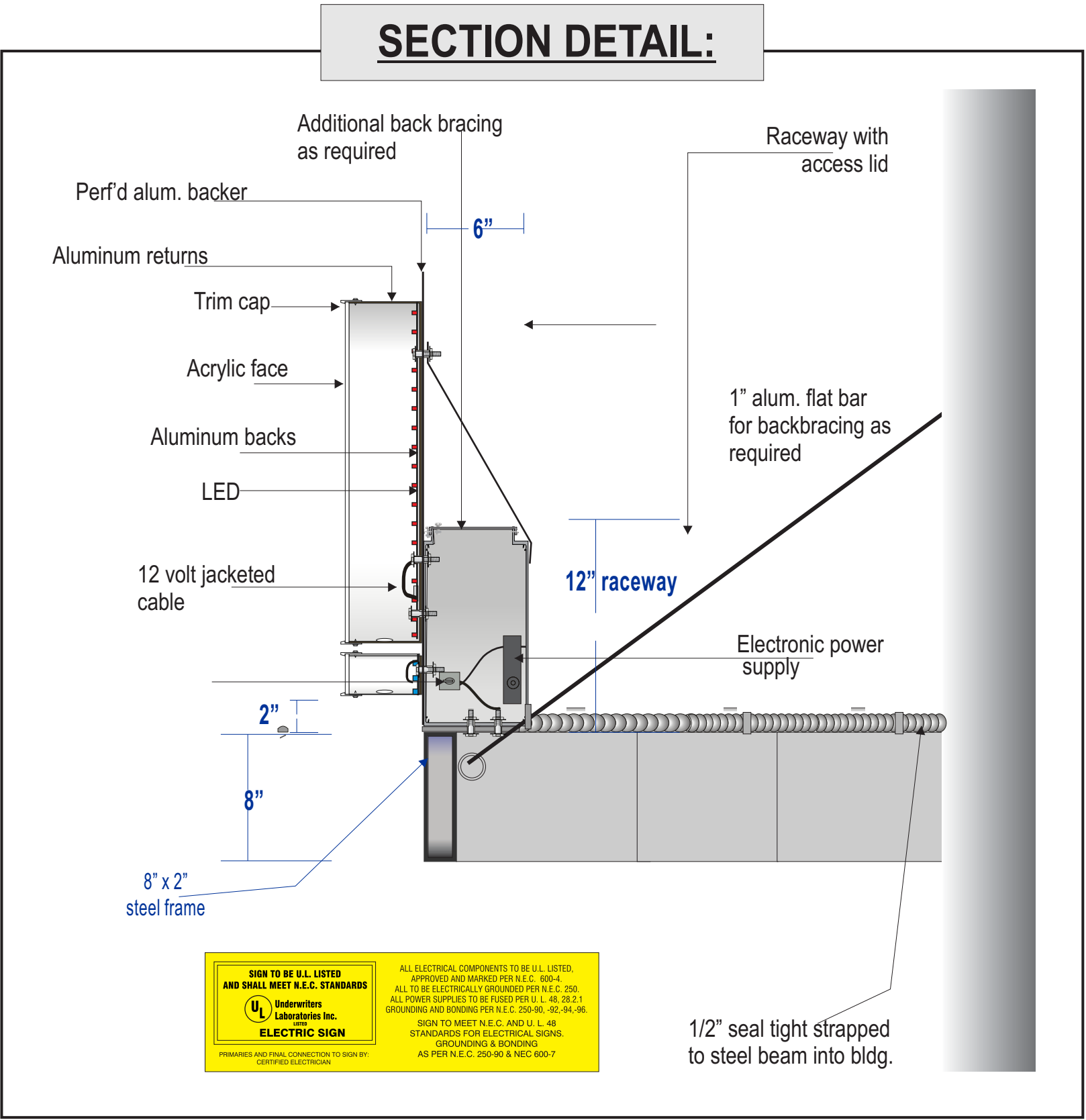
**COLOR PALETTE**

White #7328 White Acrylic

Raceway Black

Metallic Silver MP 33172 Silver Surfer

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



Stratus™

stratusunlimited.com

8959 Tyler Boulevard  
Mentor, Ohio 44060

888.503.1569

CLIENT:

THORNTONS

ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

PAGE NO.:

4

ORDER NUMBER:

1172331

SITE NUMBER:

P2115

ELECTRONIC FILE NAME:

G:\ACCOUNTS\T\THORNTON'S\2022\IL\P2115\_Burr Ridge

PROJECT NUMBER:

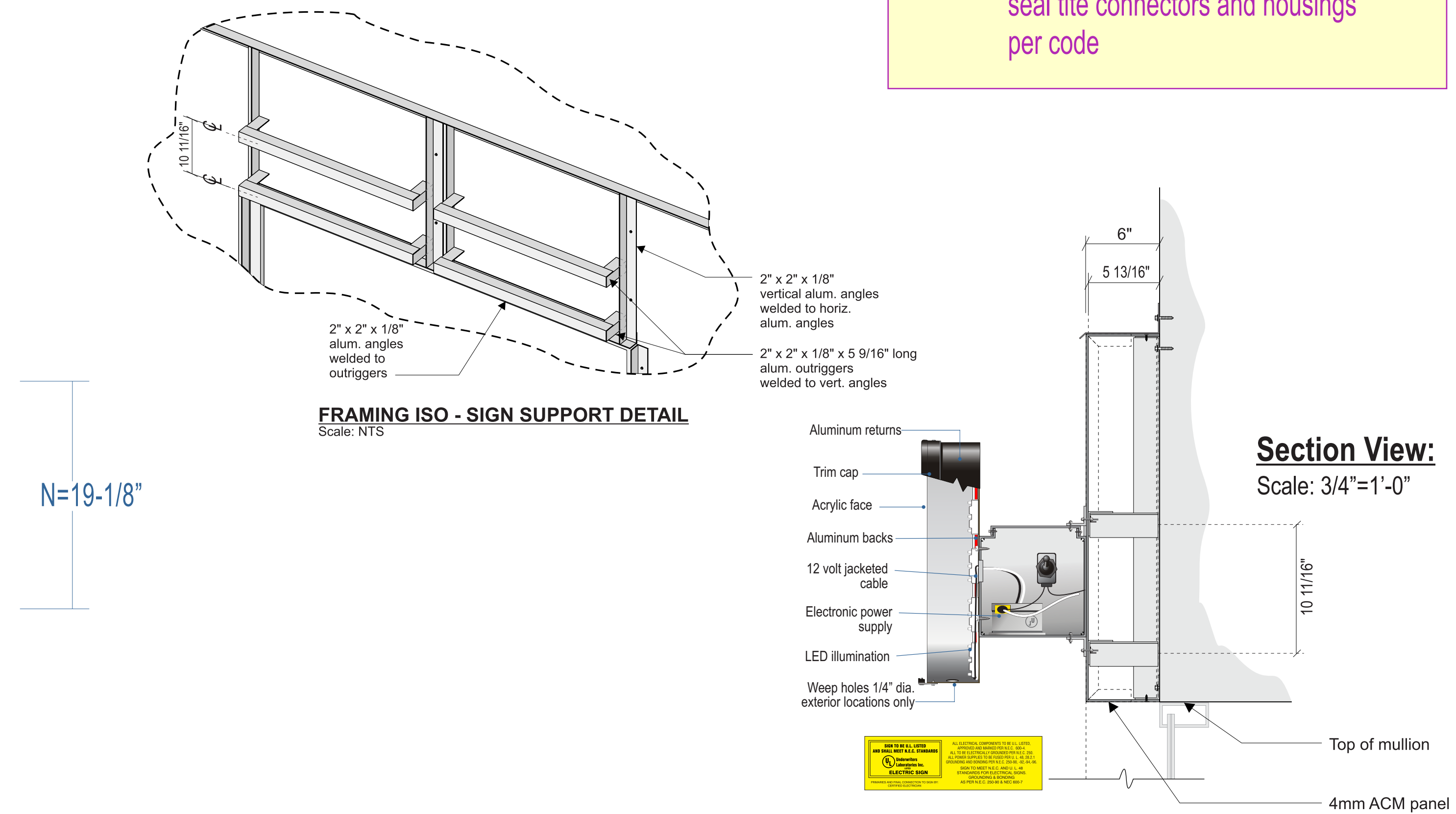
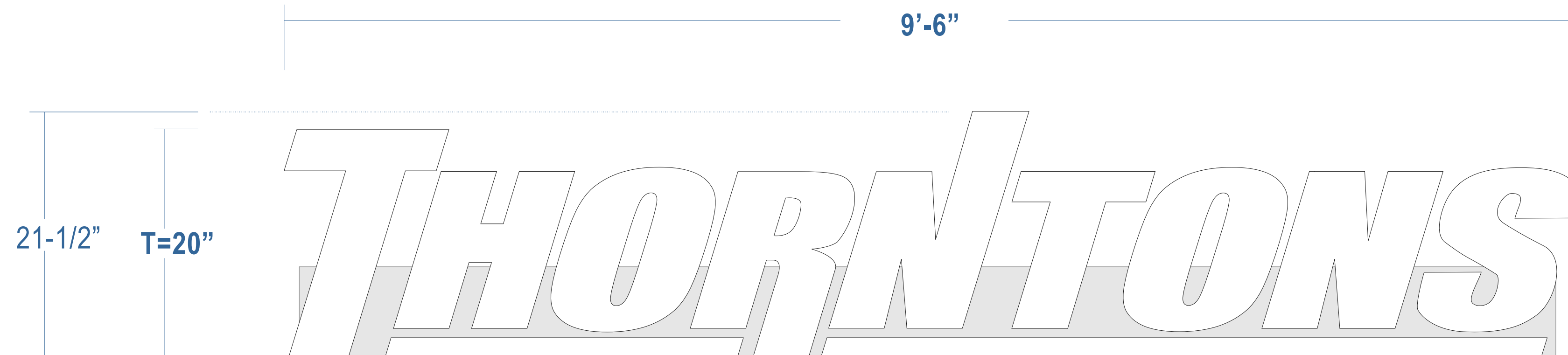
83164

PROJECT MANAGER:

KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA					





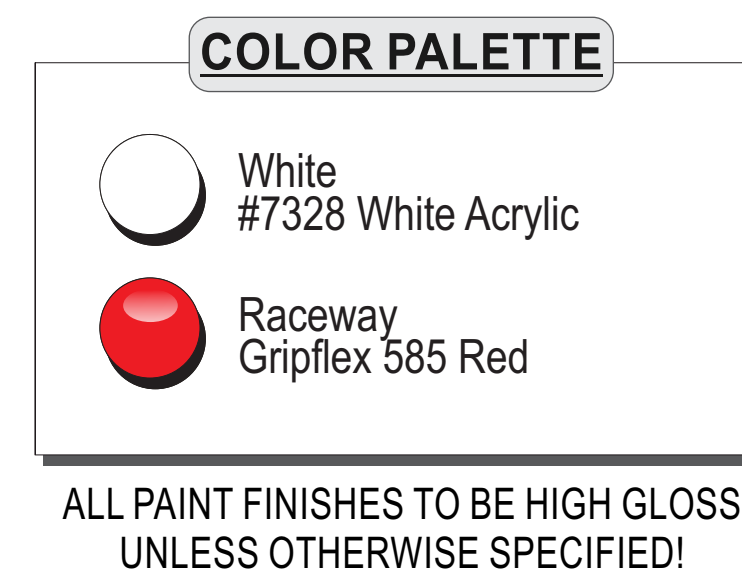
<b>FACES:</b>	3/16" #7328 White acrylic
<b>TRIMCAP:</b>	1" White jewelite
<b>LETTER BACKS:</b>	.063 alum. - prefinish White all sides
<b>RETURNS:</b>	5" deep .040 alum. returns painted GG White
<b>ILLUM. :</b>	White GE LED's as required by manufacturer; <b>Whips to be a minimum of 6'-0" in length;</b> <b>POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY</b>

**INSTALL:** Standard 8" high x 8" deep alum. raceway to house all electrical -  
Painted to Grip Flex 585 Flame Red match wall surface  
Raceway to be thru bolted into 2" alum. framework -  
framework provided by others

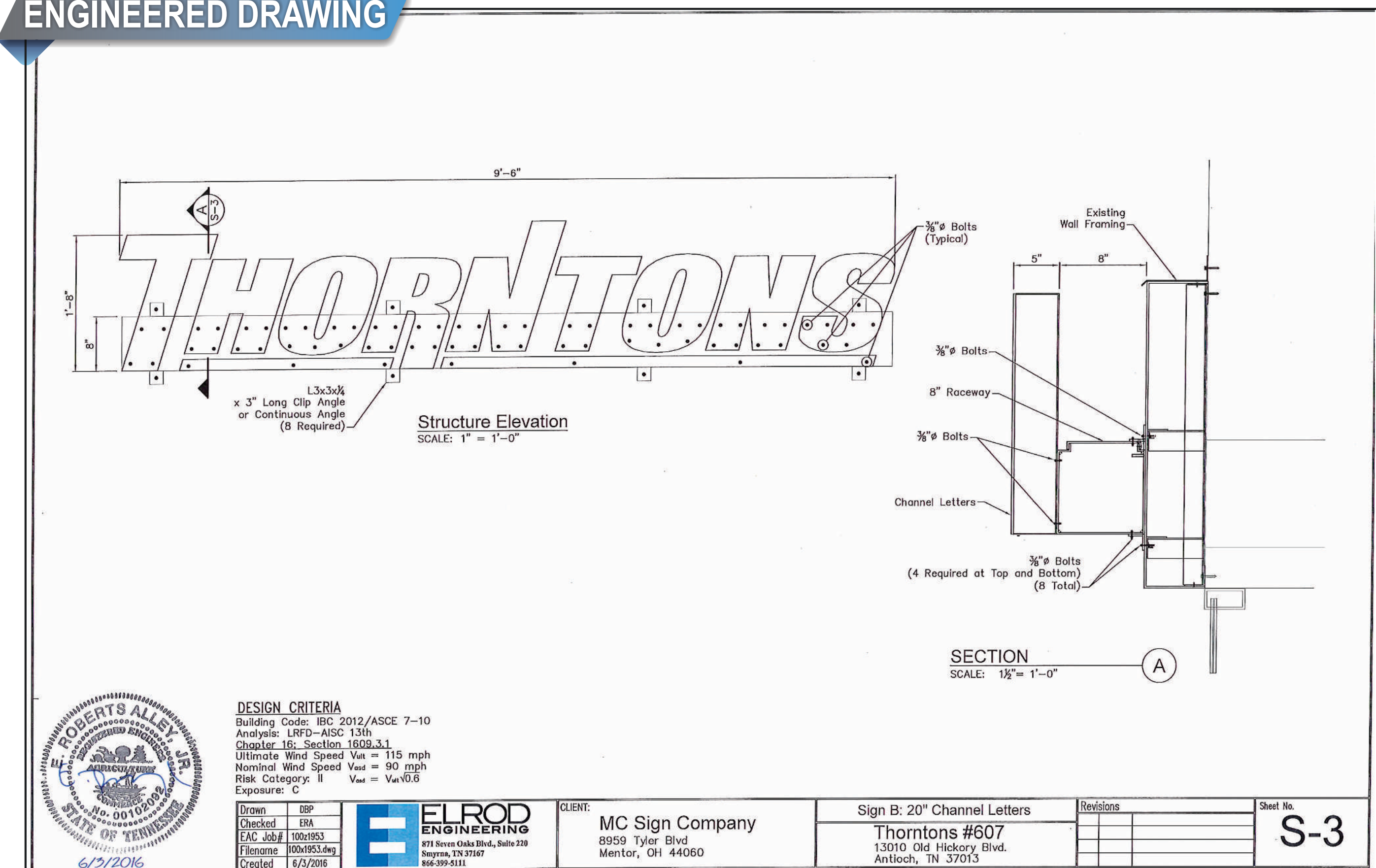
**QUANTITY:** (1) One Channel letterset required for rear elevation

**CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC

**MANUFACTURER SIGNAGE MUST BE 3 WIRE**  
**NOTES:**



## ENGINEERED DRAWING



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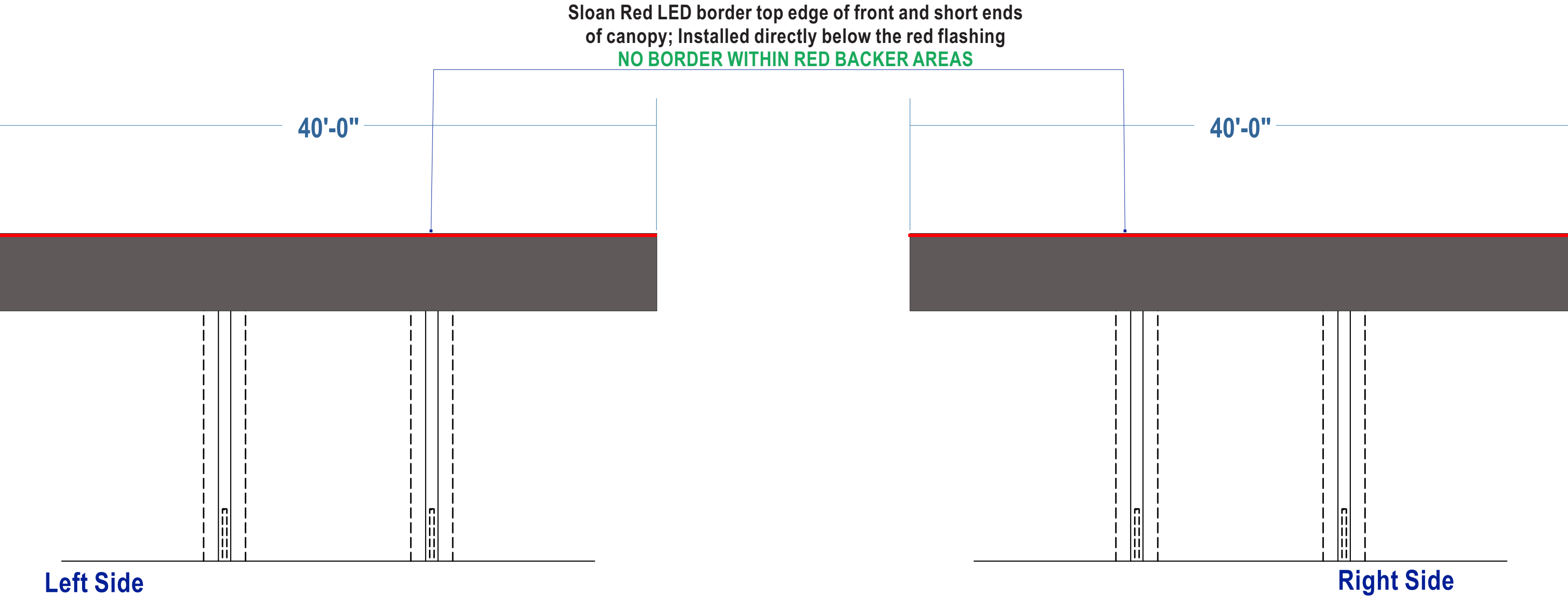
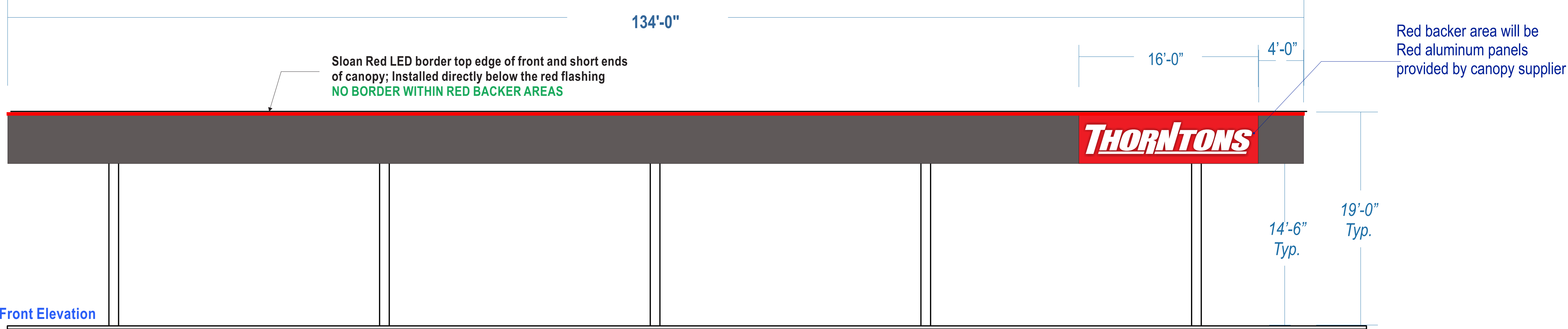
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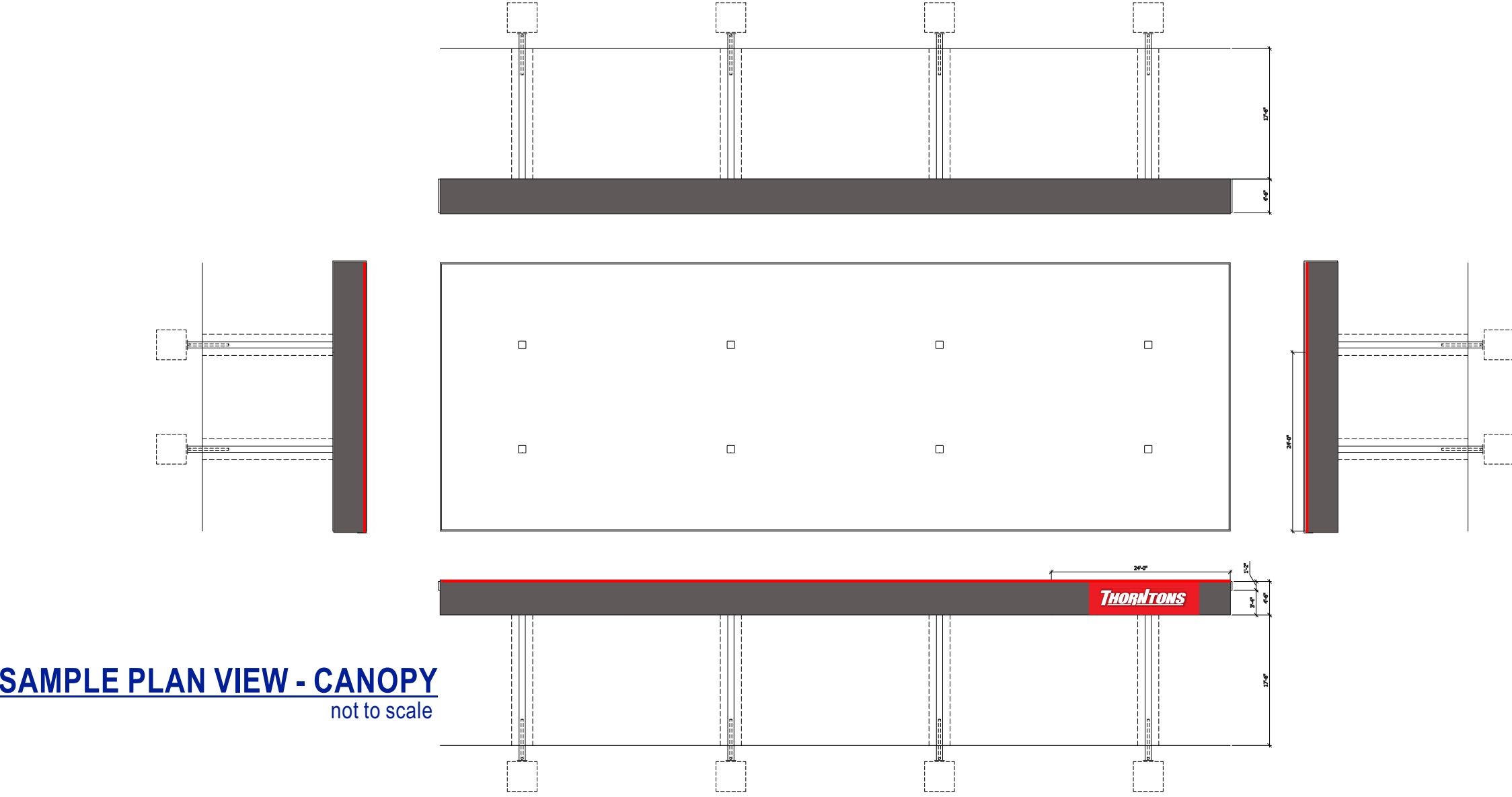




COLOR PALETTE

 Pantone 8600 C  
Gray

ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!

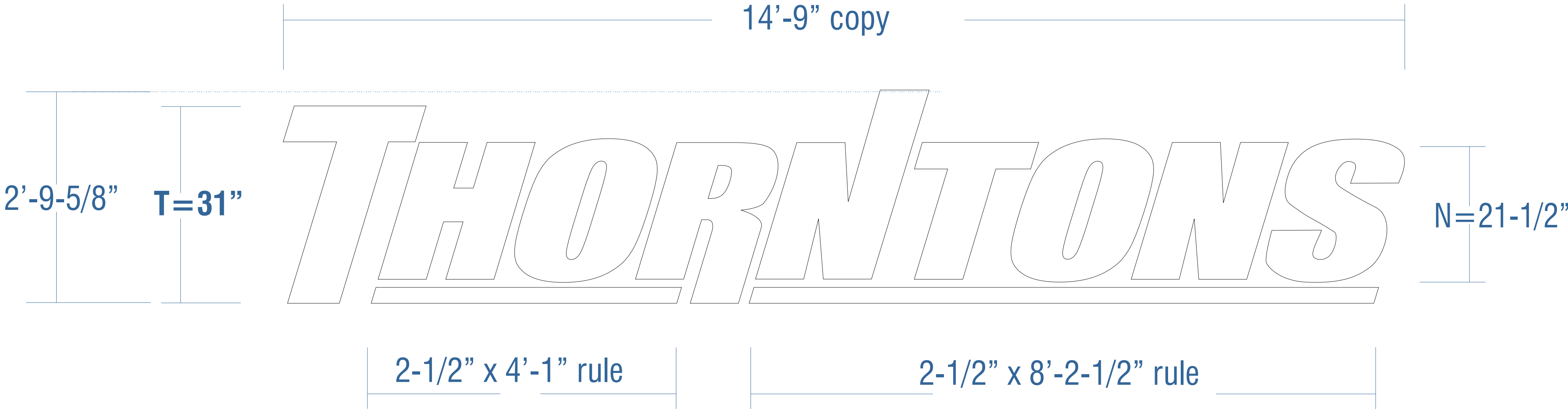


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REV 1	376863	04/06/22 CA					



ELECTRICAL NOTE:

ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code



- FACES:

3/16" #7328 White acrylic
- TRIMCAP:

1" White jewelite
- LETTER BACKS:

.063 alum. - prefinish White all sides
- RETURNS:

5" deep .040 alum. returns painted GG White
- ILLUM. :

White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES HOUSED BEHIND CANOPY FASCIA**
- INSTALL:

Thru bolted flush to canopy fascia using all thread into blocking as required  
12" standard length of threaded rod will be supplied unless otherwise noted  
1/4" -3/8" threaded rod into blocking or Stratus approved equivalent
- QUANTITY:

(1) One required
- CONSTRUCTION NOTES:

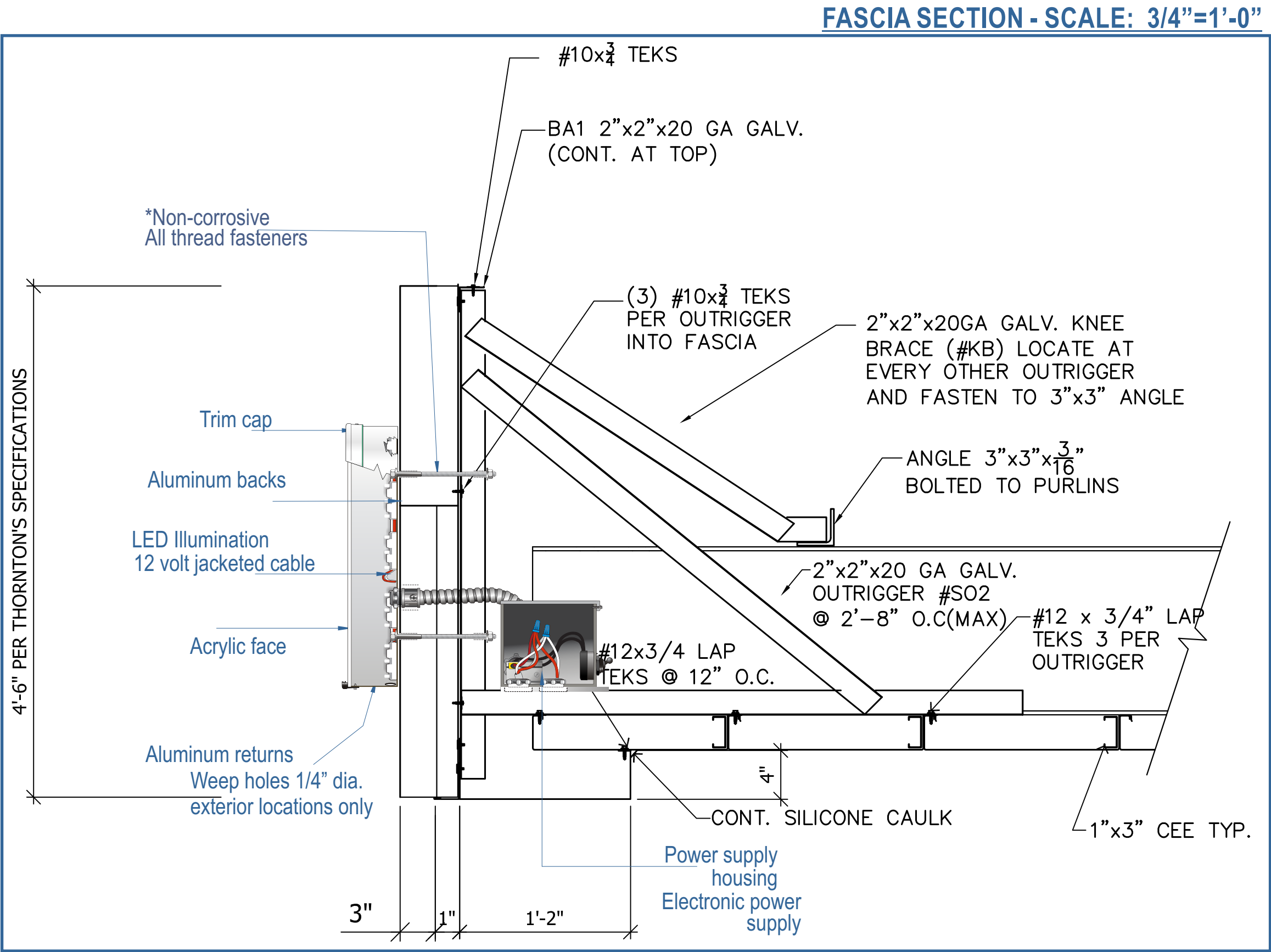
ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC
- MANUFACTURER NOTES:

SIGNAGE MUST BE 3 WIRE  
ELECTRIC FEEDS NEED TO BE IN CENTER OF LETTERS

COLOR PALETTE

White  
#7328 White Acrylic

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



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D/F ILLUM. MONUMENT

Scale: 3/4"=1'-0"

49.8 Square Feet

CABINET NOTE:  
CABINET MUST INCLUDE LOCKING EXTERNAL DISCONNECT SWITCH  
IN ILLINOIS & FLORIDA DUE TO CODE REQUIREMENTS

CABINET: 30" deep Fab'd alum. construction with 2" retainers- All painted Black; Cabinet to sleeve overtop internal support pole & saddle weld into place as required  
Sign cabinet provided to Thorntons by Sunshine Electronic Displays

HEADER FACE: (2) Two gloss panned polycarbonate faces with reverse sprayed graphics to match colors shown; *Provided by Stratus*

ILLUM.: Internal White Sunshine LED lightstrips;  
Power supplies to be housed within cabinet

PRICING UNIT: Sunshine double pricer unit - 30" deep  
Character height = 16"; Red & Green LED digit colors;  
Commodity panels are flat white polycarbonate panels w/ reverse weeded copy to match colors shown

BASE & COLUMNS: Fab'd aluminum framework for sign base w/ 3/4" treated plywood overlay  
*Stratus to furnish the alum. fab'd frame and plywood wrap the frame*  
Nichiha Desert Stone veneer installed over framework  
Stone thickness is approx. 3/4" provided and installed by others;  
*Stone veneer provided & installed by others*

CAPS: (2) Two 3" Synthetic limestone cap for top of base  
*Provided and installed by others following cabinet install;*  
*All Electrical to be done by others* - to be connected and tested  
Installer to connect primary if accessible at time of install

SUPPORT: Cabinet to sleeve overtop internal support;  
Direct burial installation as required by city requirements & engineering specs  
*ADDITIONAL FOOTER DETAILS AND POLE SIZE TO FOLLOW*

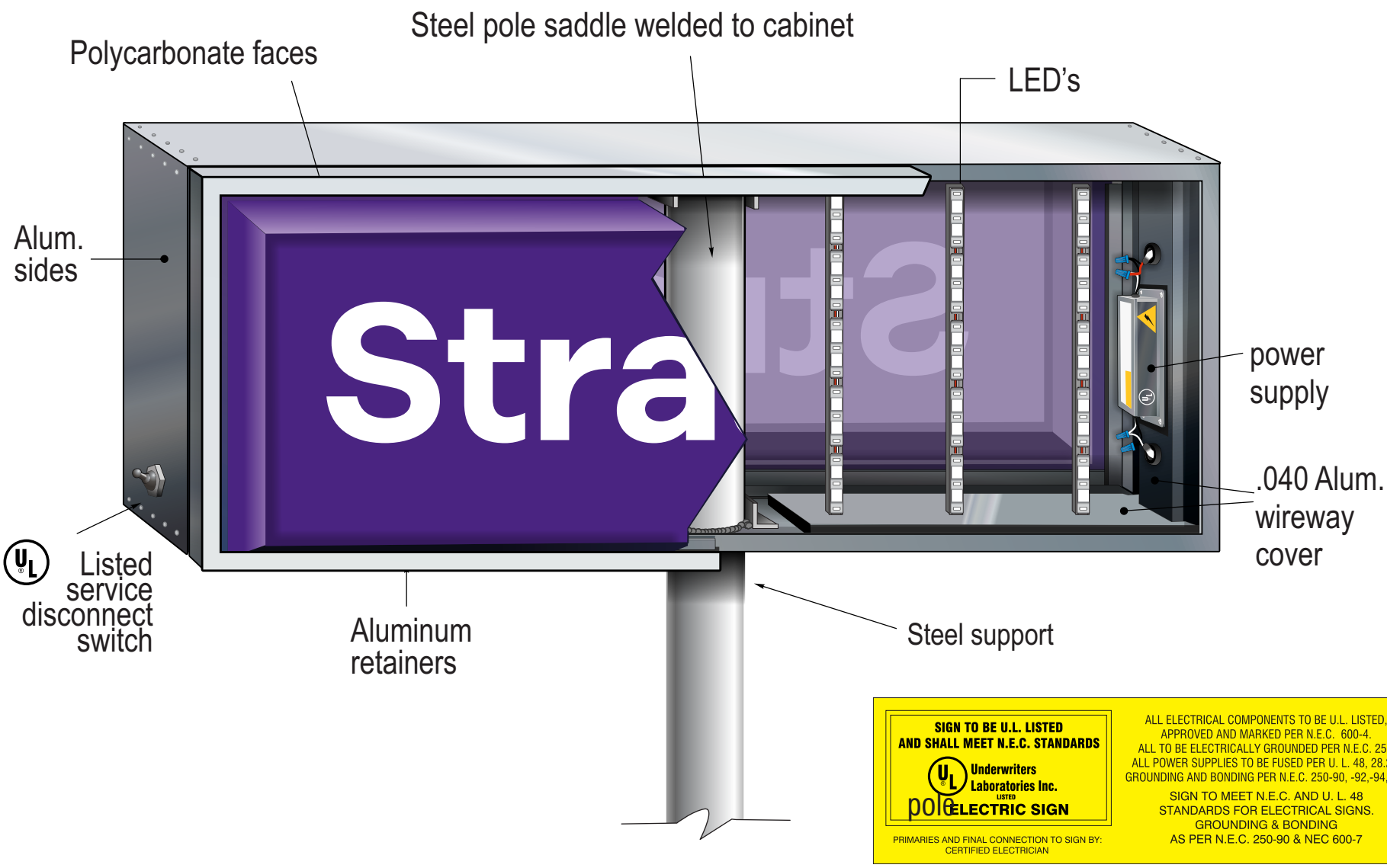
JOB NOTES: GC responsible to layout the sign location based on setback information provided by *Stratus* in advance of Sign Spot. Thornton's determines final placement. Sign Spot schedule TBD. Installer to be on site and set up a minimum of (30) thirty minutes prior to scheduled spot. Spot with 4' x 8' plywood piece.

Installer to pour the footer and set the pole immediately following sign spot, within reason.

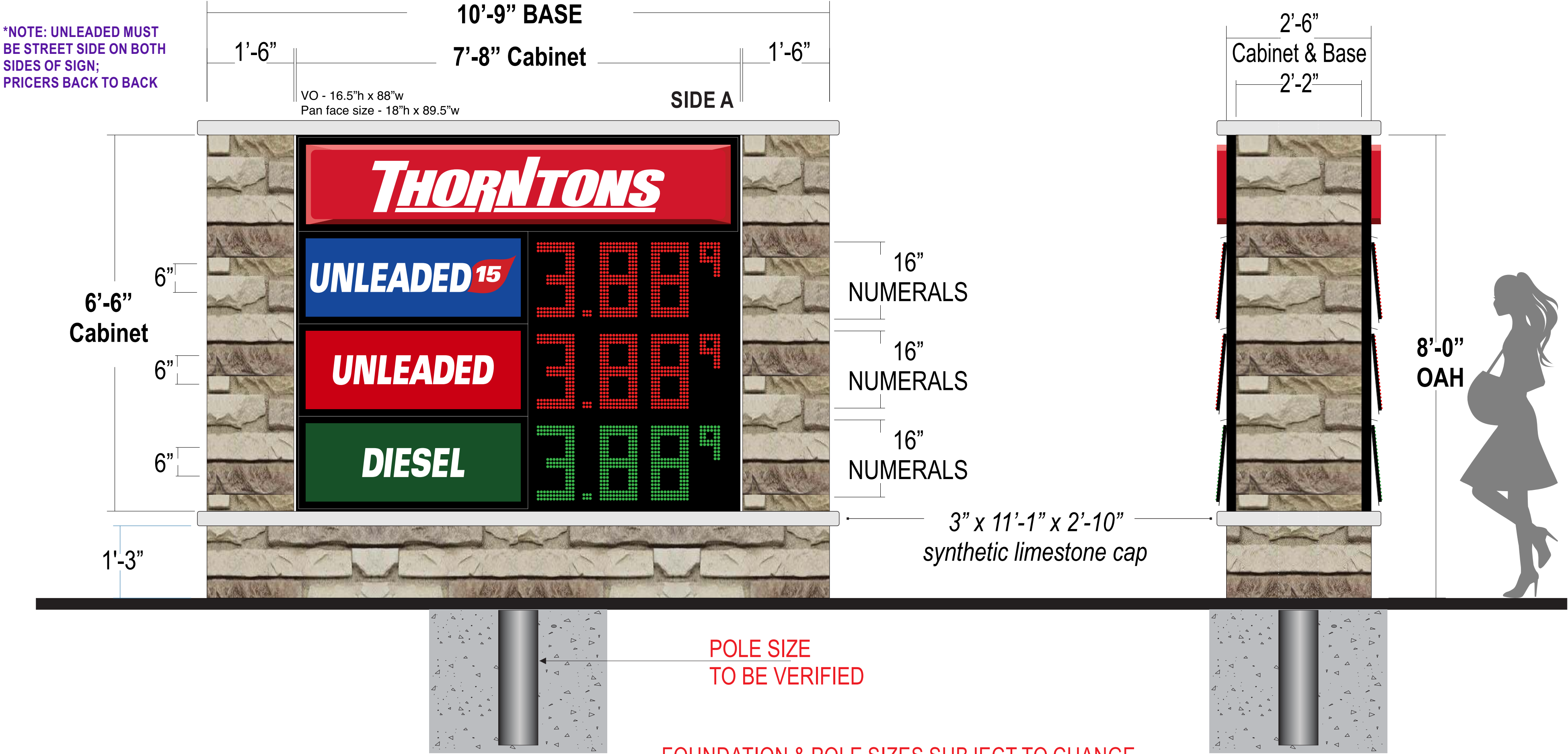
GC and EC responsible to stub conduit and provide electrical to pricer \ Ensure next to the pole and tall enough to go into the sign following the setting of the footer and pole

Frame and plywood overlay to be installed by installer within a few days of pole setting

D/F LED ILLUM CABINET | PAN POLY FACES | SLEEVED



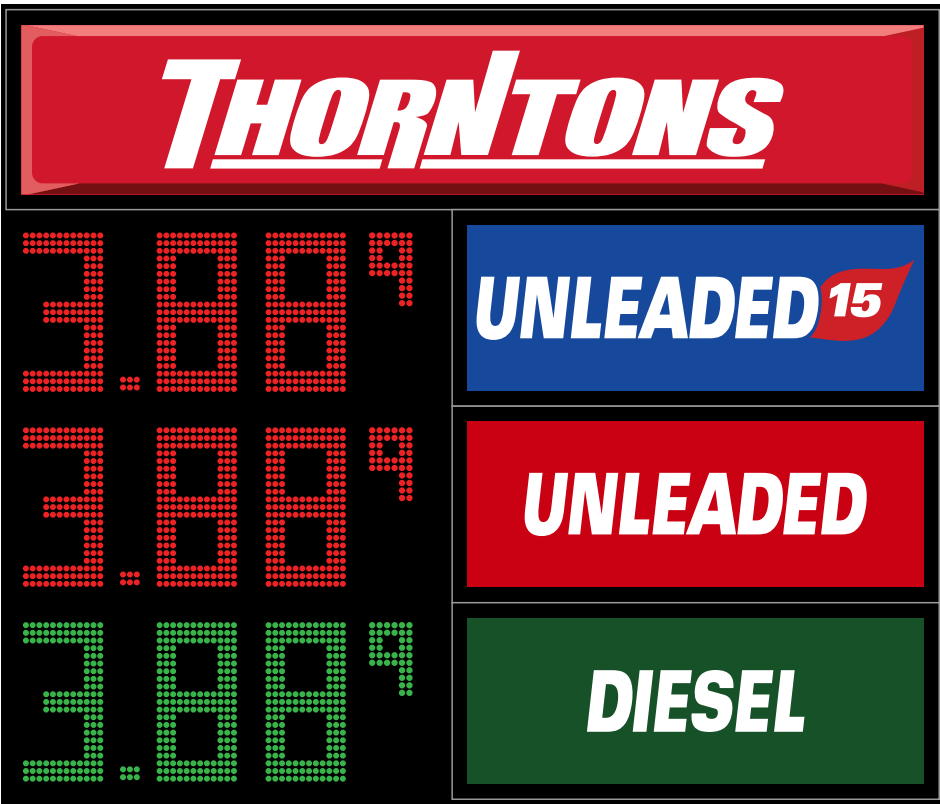
ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDING PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U.L. 48.25.1.1. GROUNDING AND BONDING PER N.E.C. 250.90. 42-94-96. SIGN TO MEET N.E.C. AND U.L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250.90 & NEC 600.7



POLE SIZE  
TO BE VERIFIED

FOUNDATION & POLE SIZES SUBJECT TO CHANGE  
ACCORDING TO ENGINEERING SPECS & CITY REQUIREMENTS!!

SIDE B



COLOR PALETTE

- Black
  - UNLEADED 15: 3M 3630-97 Bristol Blue
  - UNL 15 & UNL: 3M 3630-33 Red
  - DIESEL: 3M 3630-76 Holly Green
  - Gripflex 585 Flame Red
- ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

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# EXHIBIT B

2. Exempt Signs as per Section 55.10, herein.

B. **Conditional Signs:** The following signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. Unless specifically stated otherwise, a sign permit is required prior to erection of a Conditional Sign in a Transitional District.

1. Subdivision Entryway Sign(s): A maximum of one sign per entryway may be allowed provided each sign shall not exceed 50 square feet in area and four feet in height. The text of all subdivision entryway signs shall include the words "Burr Ridge" as for example, "Oak Subdivision of Burr Ridge". The lettering for "Burr Ridge" may be in smaller font but must be legible. (amended by A-923-08-02)
2. Ground Sign(s): One sign may be allowed for each multi-family residential or non-residential lot or parcel provided it does not exceed 16 square feet in area, is located 10 feet from all lot lines and does not exceed 8 feet in height.
3. Wall Sign(s): One sign may be allowed for each multi-family residential or non-residential lot or parcel provided it does not exceed 16 square feet in area

## Sec. 55.06.

### Business District Signs

This section shall apply to all districts designated by the Zoning Ordinance as a Business District. Business Districts include the B-1 and B-2 Districts.

A. **Permitted Signs:** The following signs are permitted in all business districts. Unless specifically stated otherwise, permitted signs require issuance of a sign permit prior to construction.

1. Ground Sign: One ground sign shall be permitted for each lot or parcel provided the lot or parcel has at least 100 feet of frontage on a public street, that the height of such sign does not exceed 8 feet, that the sign is located a minimum of 10 feet from all property lines, and that the combined area of all ground signs and wall signs shall not exceed 100 square feet.
2. Wall Sign: One wall sign per street frontage shall be permitted for each lot or parcel provided that the combined area of all wall signs and ground signs shall not exceed 100 square feet. Permitted wall signs shall be mounted no higher than the height of the building wall or twenty feet (20') whichever is lower, and no lower than five feet (5') above average surrounding grade.
3. Where the building frontage is on more than one street, the area of the signs facing each street shall be computed on the basis of the building frontage for the street they face, as provided above, but in no case shall the total sign area exceed the maximum provided above.
4. Gasoline pricing signs shall be permitted for gasoline sales stations subject to the following regulations:
  - a. Gasoline pricing signs shall not be independently free-standing, but must be permanently attached below a pre-existing free-standing sign, to a gasoline pump island canopy support or, to a building;
  - b. A maximum of four (4) sign faces, with a total area not to exceed forty (40) square feet, shall be permitted, provided that no single sign face shall exceed twenty (20) square feet in area;



- c. Such signs shall in no case exceed a height, to the top of the sign, of eight feet (8') above ground level.
- 5. Window signs shall be permitted subject to the standards listed below. Window signs do not require a sign permit.
  - a. The sum total of all window signs shall not exceed 40 percent of the total area of the windows in which they are located.
  - b. Window signs shall not have any moving parts.
  - c. A series of windows that are separated by frames and supporting material of less than six inches in width shall be considered as a single window for the purpose of computation.
  - d. Window signs may include the use of neon lighting. Neon window signs shall not exceed 16 square feet or 30 percent of the area of a window whichever is less and shall be counted toward the total area permitted for window signs. Calculation of the area of neon window signs, for purposes of compliance with the maximum 40 percent area as permitted herein, shall be based on the perimeter dimensions of said neon lighting.
- 6. Temporary Signs as per Section 55.09, herein.
- 7. Exempt Signs as per Section 55.10, herein.
- B. **Conditional Signs:** The following signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. Unless specifically stated otherwise, conditional signs require issuance of a sign permit prior to construction.
  - 1. Shopping Center Wall Signs: One sign per tenant space within a shopping center may be allowed subject to the following:
    - a. A comprehensive package of standards for wall signs shall be provided that includes consistent materials, colors, lighting, and placement for all wall signs within a shopping center. Upon approval of the comprehensive sign package, all subsequent signs that comply with the approved standards shall be considered permitted signs.
    - b. Each wall sign shall not exceed one square foot for each lineal foot of the storefront or tenant space width with a minimum area allowed of 25 square feet and a maximum area allowed of 50 square feet with the exception that allowable sign area for one to three designated anchor tenants may be increased by transferring sign area to the anchor tenant(s) from other tenants.
  - 2. Shopping Center Ground Sign: One shopping center ground sign may be allowed subject to the following:
    - a. Shopping center ground signs shall be consistent in design, materials, and colors with the wall signs.



- b. Shopping center ground signs shall be a maximum area of 100 square feet in area (to be calculated independent of the size of wall signs).
  - c. Shopping center ground signs shall not exceed a maximum height of 8 feet except as allowed by paragraph e below.
  - d. Shopping center ground signs shall be setback a minimum of 10 feet from all property lines except as required by paragraph e below;
  - e. The height of shopping center ground signs may be increased up to 12 feet provided that the sign is setback an additional 3 feet for each 1 foot increase in height. For example, a 9 foot high sign would require a 13 foot setback from all property lines, a 10 foot high sign would require a 16 foot setback.
- 3. Light Pole Banners: Banners affixed to light poles and announcing a federal, state or local holiday, a business anniversary, or a similar event but not advertising any specific products or services offered, may be allowed for a limited time not to exceed 90 days in any one calendar year. Light pole banners do not require issuance of a sign permit.
  - 4. Subdivision Entryway Sign(s): A maximum of one sign per entryway may be allowed provided each sign shall not exceed 50 square feet in area and four feet in height. The text of all subdivision entryway signs shall include the words "Burr Ridge" as for example, "Oak Subdivision of Burr Ridge". The lettering for "Burr Ridge" may be in smaller font but must be legible. A subdivision entryway sign shall not be allowed in conjunction with a shopping center sign. (A-923-08-02)
  - 1. Signs with more than Three Colors: Signs otherwise prohibited by Section 55.11.Q herein may be allowed.
  - 6. Wall Signs mounted more than 20 feet above grade: Wall signs that do not exceed the height of the building wall but mounted more than 20 feet above the surrounding grade and meeting all other standards herein, may be allowed. (Amended by Ordinance A-923-01-06)

**Sec. 55.07.**

**Manufacturing District Signs (Amended by Ordinance A-923-02-19)**

This section shall apply to all districts designated by the Zoning Ordinance as Manufacturing Districts. Manufacturing Districts include the RA, LI, and GI Districts.

- A. **Permitted Signs:** Unless specifically stated otherwise, a sign permit is required for all Permitted Signs in Manufacturing Districts. The following signs shall be permitted in all Manufacturing Districts:
  - 1. For buildings of less than 100,000 square feet, each tenant is permitted one wall sign, up to three wall signs, subject to the following conditions:
    - a. The gross square footage of each wall sign shall not exceed the linear street frontage of the subject property divided by three. The permitted gross surface area of each wall sign shall be a minimum of 50 square feet but shall not exceed 75 square feet.





**8. In Yards**

- a. Off-street parking spaces, open to the sky, may be located in required interior side yards and rear yards subject to compliance with the landscaping and setback requirements contained in Section XI.C.11, herein.
- b. In Business Districts, parking in the front and corner side yards shall be allowed in accordance with the specific parking regulations set forth in the Business District regulations.
- c. In no event shall parking be permitted in the Manufacturing, Office, and Transitional Districts anywhere in front of the building, whether in the front yard, the interior side yard, side yard adjoining the street or any buildable area in front of the building, nor anywhere in the side yard adjoining a street.

**9. Design and Maintenance**

**a. Open and Enclosed Parking Spaces**

- (1) Accessory off-street parking spaces located on the same lot as occupied by the use served may be open to the sky or enclosed in a building or structure.
- (2) Accessory off-street parking spaces that may be permitted in a location other than on the same lot occupied by the use shall be open to the sky except when an off-site storage garage or parking building or structure is approved for such required parking.
- (3) Required open parking spaces in residential areas must be located in special parking bays or in parking areas serving two (2) or more dwelling units. Spaces provided merely in the street right-of-way shall not be counted in determining the number of parking spaces being provided.

**b. Surfacing**

- (1) All open off-street parking areas and driveways for all uses except single-family residences shall be improved with an all-weather hard surface pavement including, at a minimum, a two inch (2") bituminous concrete surface course, with a twelve inch (12") minimum thickness aggregate base course, and six inch (6") high perimeter concrete curbing (Type B or Type B6:12) installed in accordance with Illinois Department of Transportation specifications.
- (2) All parking and driving areas for attached and detached single-family residences shall be improved with an all-weather hard surface (perimeter curbing shall not be required). (Amended by Ordinance A-834-9-01)

**c. Lighting**

- (1) Illumination of an off-street parking area shall be arranged so as not to reflect direct rays of light or glare into adjacent residential districts and streets.
- (2) Intensity of illumination of parking areas shall not be less or more than the following standards: Except as otherwise specifically provided elsewhere in this Ordinance, parking lot lights must be no more than 20 feet high and be limited by the following factors: an





average lighting level of 1.0 foot candle with a minimum of 0.75 foot candle; a uniformity ratio of not greater than 4-to-1, and lighting distribution shall be provided by cut-off type fixtures. All such parking lot lighting shall be extinguished or reduced in intensity to not more than an average of 0.5 foot candles no later than 30 minutes after the close of business.

- (3) **Amortization:** Lighting for accessory off-street parking areas regulated by this Section XI.C.9.c in existence on the effective date of this Ordinance and which is not in compliance with this Section XI.C.9.c, shall be regarded as non-conforming parking lot lighting. Such non-conforming parking lot lighting may be continued for a period of one (1) year from the effective date of this Ordinance if properly repaired and maintained as provided herein and as provided by other ordinances of the Village of Burr Ridge.

At the end of this one (1) year period, all such non-conforming parking lot lighting shall thereafter comply with the requirements of Section XI.C.9.c.

**d. Repair and Service**

No motor vehicle repair work of any kind shall be permitted in off-street parking areas. No gasoline or motor oil shall be sold in conjunction with any accessory parking facilities.

**10. Location**

After the effective date of this Ordinance, required accessory off-street parking spaces shall be located on the same lot as the principal building or use served, except upon approval of a special use as per Section XIII.K, herein, authorizing all or a part of the required off-street parking spaces to be located on a lot that does not contain the building or use served.

Unless such permitted off-site parking spaces are shared with and located on the same property as another use, they shall be located in a district where parking lots or storage garages are allowable principal uses. However, off-site parking areas shall comply with the regulations of Section XI.C.2 of this Ordinance for required accessory parking spaces not located on the same lot as the building or use served.

**11. Landscaping**

All portions of a lot not parked or built upon or used for an accessory use shall be maintained in landscaping. In addition to and exclusive of driveways and aisles, open areas shall be provided within and around the perimeter of parking and loading areas to accommodate trees, shrubs and other landscape materials. The dimensions of required landscape areas shall be measured from the back of curb of the parking area. Required landscape areas shall be provided as required herein.

**a. Perimeter Landscape Areas**

- (1) **Residential Uses** - A landscape area at least 8 feet wide shall be provided along each side of the parking area of a lot used for multiple-family residences.
- (2) **Non-residential uses:** Parking lot setbacks and landscape areas shall be provided along each side of a parking area in compliance with the following:



# EXHIBIT D

**From:** [M.E](#)  
**To:** [Janine Farrell](#)  
**Subject:** New Gas Station  
**Date:** Thursday, May 5, 2022 2:16:49 PM

---

I say No to the new Gas Station At 91st and Rt. 83 there is a gas station just across the street. Why do you need another one right there?? also they will be selling liquor and smoking paraphernalia. that will bring in more riff raff into the area. I say No.. other neighbors That I talked to feel the same way..  
Thank you and enjoy your day..



**From:** [Pam Vicks](#)  
**To:** [Janine Farrell](#)  
**Subject:** Property on RT 83  
**Date:** Tuesday, May 3, 2022 12:28:10 AM

---

As a property owner in Oak Hills, I strongly urge you and others on the board, to reject the attentive plans for a Thorton gas station in this area. There are all ready three gas stations from Archer Ave. and I55, which, I believe, is an area of approximately five miles.

Thank you.

Pam Vicks  
16w330 94th Place  
Burr Ridge,Il.



**From:** [Jeffrey Kraus](#)  
**To:** [Janine Farrell](#)  
**Cc:** [Ray Perry](#); [Erica Howard](#); [mike@intrepidproperties.com](mailto:mike@intrepidproperties.com); [Mike Longfellow](#)  
**Subject:** Proposed Gas Station Burr Ridge  
**Date:** Friday, June 17, 2022 11:45:27 AM

---

Janine,

The proposed gas station south of the McDonalds on along Highway 83 is adjacent to the existing Burr Ridge senior housing property.

Not only is it adjacent to the Senior housing property it shares a circulation drive.

Our objection is to the 24 hour/7 days a week operational proposal.

The McDonald's is open until 11pm.

The Walgreens across the highway is open until 10pm. The Speedway in the County not the city across the street from the McDonald's was built before the residential and does not share a circulation drive with residential. I am not aware of any

Commercial property that backs up to residential and shares a circulation drive that is allowed to be open 24/7.

Vehicles would be driving by the residential property all hours of the night.

As owner, operator and manager of the adjacent residential property located in The city of Burr Ridge we feel is in not appropriate to have an adjacent business opened 24/7.

We would support an operation that

Closed at 11pm like the McDonald's. If you have any questions regarding this email or need any other information.

I appreciate your assistance in this matter.

Sincerely,

Jeffrey D Kraus

Manager

Spectrum Retirement Communities, LLC

Sent from my iPhone

Jeffrey Kraus

Managing Director

SPECTRUM RETIREMENT COMMUNITIES, LLC

4600 S Syracuse St, 11th Floor

Denver, CO 80237

ph: 303.360.8812

[jkraus@spectrumretirement.com](mailto:jkraus@spectrumretirement.com)

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# EXHIBIT E

## **VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS** **MINUTES FOR REGULAR MEETING OF MAY 2, 2022**

### **I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 8 – Petrich, Broline, Stratis, Morton, Irwin, Parrella, McCollian, and Trzupek  
**ABSENT:** 0

Trustee Guy Franzese and Community Development Director Janine Farrell were also present.

### **II. APPROVAL OF PRIOR MEETING MINUTES – APRIL 18, 2022**

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Stratis to approve the minutes of the April 18, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Morton, Stratis, Petrich, Broline, and Trzupek  
**NAYS:** 0 – None  
**ABSTAIN:** 3 – Irwin, Parrella, and McCollian

**MOTION CARRIED** by a vote of 5-0 with 3 abstentions.

### **III. PUBLIC HEARINGS**

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

#### **Z-04-2022: 308-312 Burr Ridge Parkway (Rovito); Special Use Amendment, Special Use, and Findings of Fact [CONTINUED FROM MARCH 21, 2022]**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-04-2022 is a request to expand a restaurant use, Are We Live. The petition was continued from the March 21, 2022 meeting. At that time, there was not an individual present able to answer questions regarding the petition and the Commission requested outdoor dining and parking plans. Since March 21, no new information has been received except two new email objections, and no changes have been made to the request.



A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to recommend to the Village Board approval of an amendment to Ordinance #A-834-10-21 to expand the subject use and a special use for a restaurant over 4,000 square feet with indoor and outdoor dining, and with the sale of alcoholic beverages pursuant to section XIII.K of the Zoning Ordinance and the County Line Square Planned Unit Development (Ordinance #A-834-19-21) with the following conditions:

1. The special use shall be limited to Filipino Rovito and shall be null and void should Filipino Rovito no longer have ownership interest in the restaurant consisting of approximately 4,400 square feet commonly known as 308-312 Burr Ridge Parkway.
2. Activity in the indoor restaurant area shall cease and all patrons shall vacate the premises no later than midnight on any given day.
3. Activity in the outdoor dining area shall cease and all patrons shall vacate the premises no later than 11pm on any given day.
4. The outdoor dining area shall comply with the Burr Ridge Municipal Code and County Line Square PUD regulations in respect to ingress, egress, and ADA compliance, as well as liquor control and noise ordinance regulations. The outdoor dining plan and any remaining details shall be approved by staff and the Plan Commission Chairman through the building permit process and prior to building permit issuance.
5. Prior to building permit issuance, the petitioner shall submit a parking management plan, subject to staff and Plan Commission Chairman approval, that includes at a minimum:
  - a. A commitment to provide valet parking off-site, behind the building, or at the west end of the shopping center.
  - b. The reservation of four (4) parking spaces for valet parking that does not interfere with any drive aisles or fire lanes.
  - c. A commitment that employees be required to park offsite or behind the shopping center.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Stratis, Irwin, Petrich, Broline, Morton, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Special Uses, PUD Amendment, Variations, and Findings of Fact**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-10-2022 is for ten requests related to a gas station development on a vacant parcel south of McDonald's. Mrs. Farrell stated that the petitioner is Ryan Swanson of Arc Design Resources, Inc., on behalf of Thorntons LLC. Thorntons is proposing to develop the vacant site with a gas station and convenience store, amending the Spectrum PUD. The 4,400 sq. ft. convenience store will have packaged liquor and tobacco sales, and extended hours of operation, 5:00 a.m. to 11:00 p.m., which

is beyond the 7:00 a.m. to 10:00 p.m. permitted. The neighboring property to the north, McDonald's, was approved for extended hours 5:00 a.m. to 11:00 p.m. Mrs. Farrell illustrated the requests on the site plan. Mrs. Farrell displayed the sign proposal and explained the four variation requests. All of the ground and walls combined exceed 100 sq. ft. of area, measuring 155 sq. ft. There are three wall signs total, two on the convenience store itself and one on the fuel canopy. The internal drive on the property is private and does not count as a road frontage. A gasoline pricing sign is required to be affixed to an existing sign, but the proposed sign is itself a free-standing sign. This sign also exceeds the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. The gasoline pricing sign contains six colors, exceeding the three colors permitted. Mrs. Farrell displayed the photometric plan and showed the footcandle amount at the property lines. The average foot candle light level is 4.39 exceeding the 1.0 permitted and the uniformity ratio is 4.39 to 1 exceeding the 4 to 1 permitted.

Chairman Trzupek confirmed that the average foot candle light level permitted is 1.0.

Ryan Swanson of Arc Design Resources introduced himself as the project manager and Todd Smutz as the representative of Thorntons. Thorntons currently has 212 stores with 10 new stores proposed and 3,000 employees. Thorntons was acquired by British Petroleum last year but permitted to keep the Thorntons banner. Mr. Smutz discussed the core values of Thorntons and the company's charitable initiatives. Mr. Smutz stated that while the pandemic shut down many businesses, Thorntons was permitted to be open and had policies which allowed them to adapt to the changing environment. Mr. Smutz stated that the proposed store will be a typical convenience store with 10 fuel stations and air service station.

Chairman Trzupek asked if the sign on the rear façade was illuminated and believed it was not necessary for identification purposes. Chairman Trzupek believed the light may negatively impact the residential use neighboring the property. Chairman Trzupek also asked about the wall packs on the rear. The petitioner displayed photometry on the screen to illustrate the real light levels. There are higher light levels under the fuel canopy due to the fueling, credit card use, and checking under the hood of automobiles.

Chairman Trzupek stated for clarification on the traffic study. Mr. Smutz confirmed that the original traffic study was modeled for uses which had a greater traffic impact than the proposed gas station, including a drive-through restaurants and a retail pharmacy.

Chairman Trzupek asked for public comment.

Richard Panico, 8311 Fars Cove, stated that this site has access to major thoroughfares which could be a target for car jackings. Mr. Panico did not see a business core value regarding safety. Mr. Panico asked if this proposal has been shown to the Police Department and what measures the petitioner will take for safety. Mr. Smutz stated that adequate lighting and security cameras are a necessity for safety. The security cameras are monitored remotely. A uniformed security guard would not be at the site since the area is safe.

Chairman Trzupek asked Mrs. Farrell to confirm if the Police Department had reviewed the request. Mrs. Farrell stated that Chief Madden was informed of the proposal and did not express concerns about extra police force being required for the operation.



Sandra Allen, a Burr Ridge resident for 44 years, expressed concern about the subdivision to the south and if this development would be a disruption.

Alice Krampits, 7515 Drew, asked if Spectrum had comments about the proposal and why there were no entrances or exits to Route 83. Mrs. Farrell stated that the entire development was planned to limit direct access to Route 83 from a safety and congestion standpoint. Route 83 is under IDOT jurisdiction and authorizes access points.

Commissioner Morton was concerned about the light levels and asked about the accuracy of the photometry illustration to real life. Mr. Smutz stated that the photometry is an accurate representation of how the real light levels will appear. Commissioner Morton asked for clarification on the number of colors for the signage. Kate Berliner with Thorntons clarified the number of colors for the gas pricing sign. There are two different reds, green, blue, black, and white. Commissioner Morton confirmed the LED digits are included in the colors. Commissioner Morton reviewed the gas pricing signage in the Village and had concerns about the size and number of colors for the proposed sign in relation to others that are existing. Commissioner Morton asked about the salt tolerance of the landscaping proposed. Mr. Swanson stated that the species are salt tolerant. Commissioner Morton asked if this is a full-service station. Ms. Berliner stated it was not, but there are help buttons on the pumps which can be pressed from inside the vehicle to request assistance. Commissioner Morton asked for the petitioner to expound on the Findings of Fact which stated that "an equivalent facility is not located in the general area of the proposed development." Mr. Swanson stated that it was related to the amount of fuel stations, the circulation, and the modern store. Commissioner Morton asked about electronic vehicle (EV) charging. Ms. Berliner stated that Thorntons has an infrastructure plan for EV in the future.

Commissioner Irwin asked Ms. Berliner to explain further. Ms. Berliner stated that the infrastructure, the electricity, will be installed but she cannot state if the charging stations themselves will be installed at the time of development. Ms. Berliner stated that Thorntons is working with a vendor to have stations installed at multiple locations. Commissioner Irwin stated that the EV charging could contribute to the Findings for the necessity of the use. Commissioner Irwin asked about the remote monitoring. Mr. Smutz confirmed that the office is located in Louisville but the individuals monitoring the site cannot sound internal alarms. The remote office can notify local law enforcement. Commissioner Irwin asked about the red colors and if they are the same. Ms. Berliner stated they are the same tone, but two different vendors and therefore counted as two colors.

Commissioner Parrella asked if the reds will look the same. Ms. Berliner confirmed they will.

Commissioner Petrich asked about the original PUD and what was envisioned. Mrs. Farrell read Condition B of the PUD which required "the future preliminary and final plans for the commercial development on Lot 2 under this planned unit development shall be submitted to the Plan Commission for its review and recommendations, and then to the Board of Trustees for approval." Commissioner Petrich asked about McDonald's signage. Mrs. Farrell confirmed that McDonald's was approved for variations related to the number of signs. Commissioner Petrich asked about the design of the proposed convenience store in relation to McDonald's. Ms. Berliner stated that the

design was intended to complement the McDonald's with the stone. Ms. Berliner confirmed there are storefront windows. Commissioner Petrich confirmed with staff that the plans had been reviewed by the Village Engineer. Commissioner Petrich questioned how often the Route 83 entrance is used and expressed concerns about the safety of this entrance and exit. Mr. Smutz stated that the access is existing and was approved by IDOT. Commissioner Petrich confirmed the location of the underground fuel tanks. Commissioner Petrich was concerned about the amount of the variations required for signage. Commissioner Petrich confirmed with the petitioner that there was no dine-in, only carry-out.

Commissioner Broline confirmed the existing one-way exit to Route 83. Commissioner Broline asked about the size of the sign proposed and if it was similar to Speedway's. Ms. Berliner stated that the speed on the road and the 640 ft. slow down distance sets the standard for pricing digit size which dictates the overall size of the sign. Commissioner Broline asked about the foot candle amount on the east side adjacent to Spectrum. Mrs. Farrell confirmed it was 1.5 foot candles to the property line which borders the access drive.

Commissioner McCollian asked about security cameras and the need for extra security if it is deemed necessary. Ms. Berliner stated that if it is necessary, the stores can be changed over quickly. Commissioner McCollian expressed concern about the volume of traffic on 91<sup>st</sup> Street. Chairman Trzupsek stated that traffic was a big issue for the McDonald's proposal and is unsure about how it is working today. Commissioner McCollian asked where the EV chargers would be located under the canopy. Ms. Berliner stated that it would be on the south side of the canopy. Mr. Smutz stated it is two dedicated triple charge stations.

Commissioner Stratis disclosed that he and his wife own McDonald's to the north. Commissioner Stratis clarified that Route 83 is a Strategic Arterial Roadway which is under IDOT jurisdiction and Spectrum was only able to receive the one access to Route 83. Commissioner Stratis asked about the fuel tanks. Mr. Smutz confirmed that they are fiberglass, double wall tanks with monitoring and two emergency shut-off buttons. Commissioner Stratis asked about the security and if there is the ability to lock the doors with a panic button. Ms. Berliner stated that there is not that option currently. Commissioner Stratis asked about ownership. Mr. Smutz confirmed that Thorntons will rent and have a 50-year lease. Commissioner Stratis asked about liquor sales. Phillip Bolove with Thorntons stated it will have beer, wine, and hard spirits. Commissioner Stratis asked how much of the interior is dedicated to liquor sales. Ms. Berliner stated that the hard liquor will fit in an 8 ft. cabinet. Commissioner Stratis asked if the lights will be dimmed when closed. Mr. Smutz stated that only four stores are not 24-hour operation so they intend to keep them on for security reasons even when closed. Commissioner Stratis confirmed with the petitioner that the light bulbs will not be exposed in the canopy. Commissioner Stratis confirmed with the petitioner that background or existing lighting is factored into the photometric plan. Commissioner Stratis noted that there was an intent to have matching lighting throughout the development but Spectrum and McDonald's do not match. The petitioner's proposed lighting will not match McDonald's. Commissioner Stratis complemented the high cleanliness standard for Thorntons and requested that outdoor sales be limited to the spot designated on the plan and not anywhere else on the site. Commissioner Stratis spoke with Evan Walter, Village Administrator, about the traffic on 91<sup>st</sup> Street shortly after McDonald's opened. Mr. Walter stated that traffic has not been a significant issue. Commissioner Stratis asked if Thorntons was going to request to be on the multi-tenant sign.



Ms. Berliner stated that they would like to, but they were not sure if that would count towards their signage calculations. There was discussion about the sign being off-site in a common area in the PUD and potentially calculated separately.

Chairman Trzupek stated that the sign package is reasonable given the use. Chairman Trzupek asked about the red illuminated band on the fuel canopy. Mrs. Farrell confirmed that it was not included in the signage calculation. Ms. Berliner confirmed that the signage calculations were for the logos only, not the red backgrounds.

Commissioner Parrella asked about the alarm system and who is notified. Ms. Berliner stated that it notifies local police and fire and the corporate office.

Commissioner Morton asked about the proposed fuel tanker truck circulation. Mr. Smutz stated that the trucks would enter the site and head east since the fueling is on the driver side. Mr. Smutz confirmed an auto-turn plan was generated to ensure access.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to close the public hearing for Z-10-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Morton, Stratis, Broline, Petrich, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to recommend to the Village Board approval of amending the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with hours of operation exceeding 7:00 a.m. to 10:00 p.m. pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted subject to four conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, photometric plan, and sign plans attached hereto as Exhibit A.

2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The hours of operation shall be limited to 5:00 a.m. to 11:00 p.m.
4. The outdoor sales area shall be restricted to the area shown on the plan.
5. The Thorntons sign on the rear (east) elevation shall be eliminated.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Petrich, Morton, Stratis, Broline, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

Mr. Bolove asked if the hours were restricted to 5:00 a.m. to 11:00 p.m. Chairman Trzupek confirmed. Mr. Bolove stated that he was unaware of this restriction and that the business requires 24-hour operation. Mr. Bolove asked if there was a way to amend that. Chairman Trzupek stated that there was not, that 5:00 a.m. to 11:00 p.m. was what was requested through the petition and noticed. Mr. Bolove stated that he will petition the Village Board to change the hours.

Commissioner Stratis believed that this would need to be re-noticed and questioned if Spectrum and Tad Lagestee was aware of the 24-hour request. Tad Lagestee stood in the audience and confirmed that Spectrum has reviewed and approved the proposal.

**V-02-2022: 8311 Fars Cove (Panico); Variation and Findings of Fact**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-10-2022 is a request by Richard Panico, as petitioner, for a variation to permit a detached accessory building, specifically a garage, within the side buildable area pursuant to Zoning Ordinance section IV.I.1. The property is zoned R-2B. Current Zoning Ordinance regulations permit accessory structures within the rear yard only. The petitioner currently has an attached garage and detached garage on the property and wishes to build a second detached garage in the side buildable area. In 2004, the petitioner provided plans to the Village when the home was initially proposed which showed the residence with a side yard garage attached by a masonry wall. When these plans were then submitted for permit, they were rejected. The petitioner received a letter of apology from the Village acknowledging that incorrect information was provided when the original plans were shown. In 2005, the petitioner abandoned the side yard garage and continued with the residence and detached garage in the rear. In 2021, the petitioner pursued a text amendment to allow detached garages in the side buildable area which was denied by the Plan Commission and later withdrawn. The petitioner is now seeking to build this secondary garage in the side buildable area.

Chairman Trzupek clarified with the petitioner that the original drawing showed the proposed structure connected to the residence with a masonry wall. Richard Panico confirmed that the wall was to keep with the architecture of the residence and these plans were preliminary approved. Mr. Panico stated these were the plans which were then later denied. Mr. Panico then eliminated the proposed garage and moved forward with the residence and detached garage in the rear yard. Mr.



**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF JUNE 20, 2022**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Vice-Chair Petrich, in the absence of Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 5 – Parrella, Petrich, Broline, Morton, and McCollian

**ABSENT:** 3 – Irwin, Stratis, and Trzupek

Trustee Guy Franzese and Community Development Director Janine Farrell were also present.

**II. APPROVAL OF PRIOR MEETING MINUTES – JUNE 6, 2022**

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner McCollian to approve the minutes of the June 6, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Morton, McCollian, Parrella, Broline, and Petrich

**NAYS:** 0

**MOTION CARRIED** by a vote of 5-0.

**III. PUBLIC HEARINGS**

Vice-Chair Petrich conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

Director Farrell notified the petitioners that only five Commissioners were present. For an approval, four affirmative votes are required. For the variation request, one of the Commissioners is not a member of the Zoning Board of Appeals and does not vote, so four out of four votes are needed. After the presentation, if any of the petitioners would like to postpone their request, table, or continue, please make that request to Vice-Chair Petrich.

**A. V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact**

Vice-Chair Petrich asked for a summary of the petition. Director Farrell stated that there are two variation requests which include locating the detached garage in the corner side yard and have it only 5' from the 94<sup>th</sup> St. property line. The detached garage is proposed to sit on the southern

**AYES:** 5 – Broline, McCollian, Morton, Parrella, and Petrich  
**NAYS:** 0

**MOTION CARRIED** by a vote of 5-0.

The petitioner requested that the case be continued until July 18, 2022.

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Broline to continue V-03-2022 to July 18, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – McCollian, Broline, Morton, Parrella, and Petrich  
**NAYS:** 0

**MOTION CARRIED** by a vote of 5-0.

**B. Z-10-2022: 9115 Kingery Highway (Thorntons LLC) AMENDED PETITION; Special Uses, PUD Amendment, Variations, and Findings of Fact [REMANDED BACK FROM MAY 23, 2022 VILLAGE BOARD MEEETING]**

Vice-Chair Petrich introduced the case and asked for a summary. Director Farrell stated that Thorntons is seeking 24-hour operation. Director Farrell stated this case was voted upon on at the May 2<sup>nd</sup> Plan Commission meeting, but the previously requested hours of operation were 5am-11pm. Director Farrell provided information on the two existing gas stations and two proposed gas stations along Route 83 which have 24-hour operation. For the Shell which is within Burr Ridge, it was approved in 1986. The process was different and there was no official request for special use of 24-hour operation at that time. A Speedway at the northeast corner of 91<sup>st</sup> and Route 83 is 24 hours and located in unincorporated DuPage County. Directly across Route 83, a gas station, car wash, drive-through, and convenience store was recently approved through DuPage County. There were no conditions placed on hours of operation for that site. It could potentially be open 24 hours. The Clark on Bluff Road and Route 83 is open 6:00am-10:00pm and located in unincorporated DuPage County.

Director Farrell received an objection letter from Spectrum Senior Living from Jeffrey Kraus, the Managing Director. This letter was received after the packets were distributed. Mr. Kraus wrote “The proposed gas station south of the McDonalds on along Highway 83 is adjacent to the existing Burr Ridge senior housing property. Not only is it adjacent to the Senior housing property it shares a circulation drive. Our objection is to the 24 hour/7 days a week operational proposal. The McDonald’s is open until 11pm. The Walgreens across the highway is open until 10pm. The Speedway in the County not the city across the street from the McDonald’s was built before the residential and does not share a circulation drive with residential. I am not aware of any Commercial property that backs up to residential and shares a circulation drive that is allowed to be open 24/7. Vehicles would be driving by the residential property all hours of the night. As owner, operator and manager of the adjacent residential property located in the city of Burr Ridge we feel is in not appropriate to have an adjacent business opened 24/7. We would support an



operation that Closed at 11pm like the McDonald's. If you have any questions regarding this email or need any other information. I appreciate your assistance in this matter. Sincerely, Jeffrey D Kraus Manager Spectrum Retirement Communities, LLC."

Vice-Chair Petrich asked if the petitioner was present and wished to add anything. The petitioner, Phillip Bolduc, didn't have anything to add but would answer questions.

Kishori Dattani, 9400 Fallingwater Dr. West, asked if semis and trucks will be parking there. Ms. Dattani stated that trucks after midnight would be a concern. The petitioner replied that there is no truck access or parking on this property, only for delivery vehicles. It is not a semi fueling facility, although they do offer diesel. The petitioner stated that gas tanks are typically refueled during the day.

Vice-Chair Petrich asked if there was parking along the circulation drive. Tad Lagestee, Downers Grove, Illinois, said the drive wasn't intended to have parking along it. The petitioner stated that no parking signs can be posted.

Darren Goshi, Fallingwater Subdivision, stated the Speedway on Route 83 is open 24 hours, and asked why another one is needed.

Mark Walski, 16W371 94<sup>th</sup> Place, stated there is no need for another 24-hour gas station selling alcohol and cigarettes. Mr. Walski believes it will bring in the bad element to that area. It is busy there at night and cars can be heard racing up Route 83.

Alice Krampis, 7515 Drew, asked if there is a compromise to extending the hours. The petitioner stated it's consistent with the other store chains and it's standard within the industry. The petitioner stated the Thorntons in Westmont is open 24 hours.

Bill Voit, 166 Foxborough, asked the petitioner if it's not 24 hours will he still build it. The petitioner stated he doesn't know.

There were no other public comments.

Commissioner Morton stated the idea of 24-hour operation at that location poses some serious challenges with residential to the east and to the south. Commissioner Morton asked if additional landscaping or sound walls or ways to mitigate headlights flashing was considered. The petitioner stated that they would consider building a living wall but did not support a fence.

Commissioner Parrella had the same concern about Spectrum. Commissioner Parrella requested a revised plan with a fence or additional landscaping to mitigate head light concerns.

The petitioner stated they have 215 stores and 213 are open 24 hours. Many services count on them, police, fire, and nurses, and that it is a 24-hour society. If the Village requests a fence or a living wall, he is happy to comply.

Mr. Kitani, Fallingwater Dr. W, expressed concerns about headlights.

Commissioner McCollian asked the petitioner about different closing times during the week as opposed to weekends. The petitioner stated that was not an option.

Commissioner Broline asked about traffic impacts at various hours of operation. The petitioner stated a lower percentage of traffic between 2am – 5am but doesn't know what those numbers are.

Tad Lagestee stated the site was originally planned for two restaurants with drive-throughs. The actual traffic will be far less than what is permitted and what was envisioned.

Commissioner Broline discussed the proximity of the McDonald's and the Thorntons to Spectrum.

The petitioner stated that putting signage on the building facing Spectrum was to encourage pedestrian traffic.

Tad Lagestee stated the proposed building will block noise. Thorntons has a person in the building at all times which is safer.

Commissioner McCollian asked if the site can accommodate semis. The petitioner stated the tanker trucks are semis but the facility is not designed for semis. Commissioner McCollian stated that the only other point of egress is near the McDonald's egress so there are already cars shining lights.

Vice-Chair Petrich can see why residents would have a problem with 24-hour operation and doesn't know if there is a need for 24 hours. Also, McDonald's might come back and ask for 24-hour operation.

Mark Thoma, 7515 Drew, stated the south entrance has a left turn lane and asked if there a median. Director Farrell confirmed a right in/right out only with no median to cross Route 83. Mr. Thoma commented on the noise such as motorcycles, loud stereos, and pumps with television screens.

There was no further public comment.

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Broline to close the public hearing.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – McCollian, Broline, Morton, Parrella, and Petrich  
**NAYS:** 0

**MOTION CARRIED** by a vote of 5-0.



# EXHIBIT F



## S-K Burr Ridge Residential, LLC

July 27, 2022

Burr Ridge CRE, LLC  
c/o GAIN Companies  
3010 Highland Parkway, Suite 225  
Downers Grove, IL 60515  
Attn: Tad Lagestee, CEO

Re: Proposed Thorntons Development at 9115 S. Kingery Highway, Burr Ridge,  
Illinois 60527 (the "Site")

Dear Tad:

Please accept this letter as acknowledgement that S-K Burr Ridge Residential, LLC ("SRC") hereby approves (i) the operation of a 24/7 Thorntons on the Site and (ii) the landscaping plans submitted by GAIN to SRC (attached hereto), subject to the following conditions:





- SRC shall incur no costs, expenses, or liabilities in connection with any of the foregoing;
- All construction/landscaping shall be completed in a workmanlike manor, free of liens and unnecessary debris;
- SRC's review and approval of all warranties associated with the landscaping work;
- Within ten (10) business days hereof, GAIN shall provide to SRC, at GAIN's sole cost and expense, an access agreement on terms that are acceptable to SRC. This agreement may, at SRC's election and at no cost to SRC, be recorded in the land records of DuPage County, Illinois; and
- SRC (and any affiliates thereof which are provided to GAIN) are added as "additional insureds" on GAIN's commercial general liability and property insurance policies covering the Site during construction/implementation of the landscaping plans.

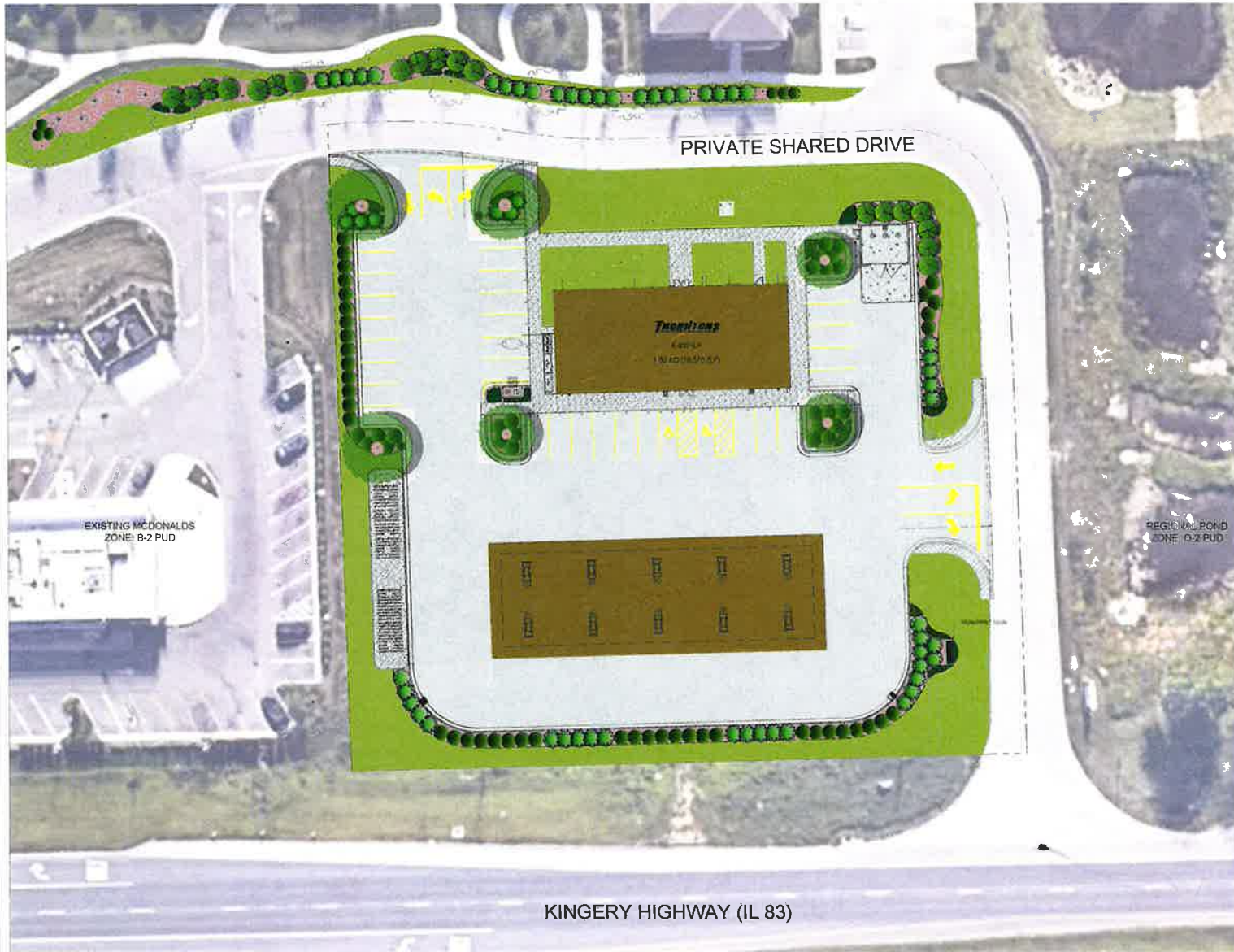
Please feel free to reach out with any questions you have regarding the above.

Sincerely,

Erica D. Howard  
General Counsel Corporate Real Estate

LEGEND

-  PROPOSED TREES
-  PROPOSED SHRUBS
-  PROPOSED PLANTING BEDS WITH PERENNIALS / GRASSES
-  LIGHT POLE AND FIXTURE







August 8, 2022

Mayor Gary Grasso and Board of Trustees  
7660 County Line Road  
Burr Ridge, Illinois 60527

**Re: V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact**

Dear Mayor and Board of Trustees:

The Plan Commission transmits its recommendation to deny variation requests by Michael Rohan, as petitioner, to permit a detached garage within the corner side yard area and within the corner side yard setback, from 30 ft. to 10 ft., pursuant to Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7.

After due notice as required by law, the Plan Commission held public hearings on June 20 and July 18, 2022. The petitioner stated that the purpose of the request is to construct a detached garage on the property in the corner side yard area. Zoning Ordinance regulations permit detached accessory buildings in the rear yard only. The petitioner requests to construct the garage in the corner side yard and within the required 30 ft. setback, only 10 ft. from the southern (94<sup>th</sup> Street) property line. There is an existing attached garage on the property. The petitioner stated that the garage cannot be located in the rear yard due to the location of a new deck attached to the home and the slope of the property in that area. The petitioner also stated that the location of the garage permits greater accessibility for his wife who uses a wheelchair to the home's back door.

The Plan Commission determined that the variation requests were not due to a hardship posed by a condition of the land since the slope could be addressed during construction and was not so great as to prevent a garage from being built in the rear yard. The Commission's full responses and findings of fact for the variation requests are included as an attachment following this letter.

There was no public comment made at the public hearings, but one comment was received via email and included in the report packet.

The Plan Commission unanimously voted to **recommend that the Board of Trustees deny** variation requests to permit a detached garage within the corner side yard area and within the corner side yard setback, from 30 ft. to 10 ft., pursuant to Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7.

Sincerely,

Greg Trzupek, Chairman  
Plan Commission/Zoning Board of Appeals



Findings of Fact - Zoning Variation  
Burr Ridge Zoning Ordinance

Address:

10S675 Glenn Dr.

As per Section XIII.H.3 of the Village of Burr Ridge Zoning Ordinance, for a variation to be approved, the petitioner must confirm all of the following findings by providing facts supporting such findings.

- a. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out

While there is a topographic grade change of 5 feet within the rear portion of the property, the buildable area to the rear of the home where the garage could be located is a 4 ft. change at most. The Village's Development Engineer stated that this minor grade change can be addressed through site development (see attached memo) and a garage can be built in this area. Addressing the grade change is an inconvenience, not a hardship.

- b. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located.

A detached garage can be built on the property as long as it meets Zoning Ordinance setback requirements. The property can yield a reasonable return with a garage meeting setback requirements.

- c. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.

Permitting a detached garage within the corner side yard and within the required setback would be generally applicable to other R-3 properties which are corner lots. The petitioner states this is for accessibility reasons to access a rear door and not impact an existing deck. These conditions would be applicable to other R-3 properties which do not want to impact other structures with the location of a detached garage.

- d. The purpose of the variation is not based primarily upon a desire to increase financial gain.

The purpose of the variations are to construct a detached garage for personal reasons, not to increase financial gain.

- e. The alleged difficulty or hardship is caused by this Ordinance and has not been created by any persons presently having an interest in the property.

The property owner contends that the alleged difficulty or hardship is caused by relocating items from an attached garage to a detached garage in order to accommodate an accessible van. The owner contends that the detached garage would negatively impact an existing deck on the property if located within the rear area and be on a sloped site. These alleged difficulties or hardships are not caused by the Ordinance but persons presently having interest in the property.

- f. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

The granting of the variations may be detrimental to other property or improvements in the neighborhood, specifically those south of 94th Street, since the garage will not meet the minimum 30 ft. setback requirement.



- g. The granting of the variation will not alter the essential character of the neighborhood or locality.

The granting of the variations may alter the character of the neighborhood since there are no corner lots with detached garages in the corner side yards and within the required setback.

- h. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

The variations will not impair air or light supply, increase congestion or fire danger, create drainage issues, or endanger the public.

- i. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

The Comprehensive Plan calls for residential within this vicinity and the detached garage is for residential use.



## MEMORANDUM

**TO:** Community Development Director Janine Farrell  
**FROM:** Development Engineer James Miedema  
**DATE:** August 3, 2022  
**RE:** 10S675 Glenn Dr. Detached Garage

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While the property does slope roughly 6 ft. from the home to the rear property line, there is sufficient distance to accommodate a detached garage with proper grading. Development would require an increased slope in the back of the property to accommodate the grade change. A grading plan by a Registered Land Surveyor would be required as part of the permit. This would increase costs, but is not uncommon and would not be cost prohibitive for this work.

James D. Miedema, P.E.  
Development Engineer





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact; Request for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback, from 30 ft. to 10 ft., pursuant to Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7.**

**HEARING:**

June 20 and July 18, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Michael Rohan

**PETITIONER STATUS:**

Property Owner

**PROPERTY OWNER:**

Michael Rohan

**EXISTING ZONING:**

R-3 Single-Family Residential

**LAND USE PLAN:**

Recommends single-family  
residential

**EXISTING LAND USE:**

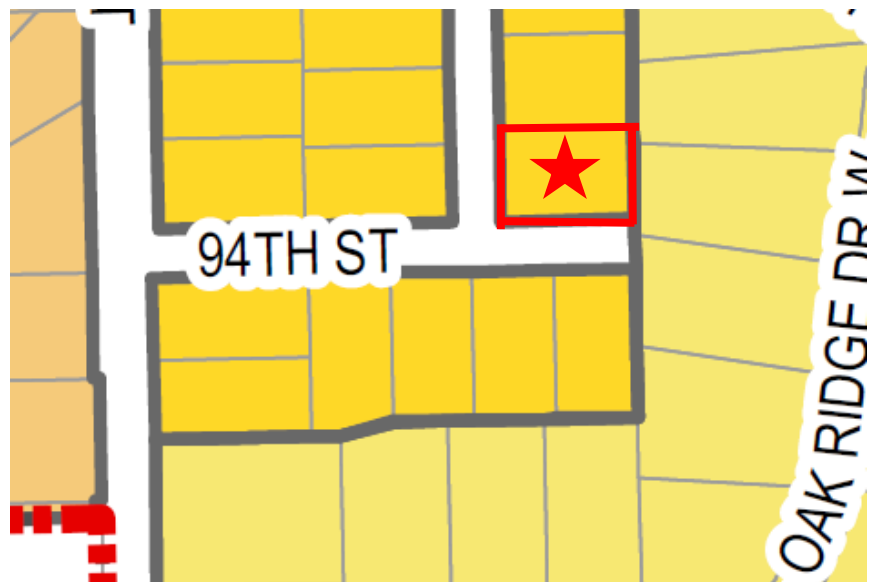
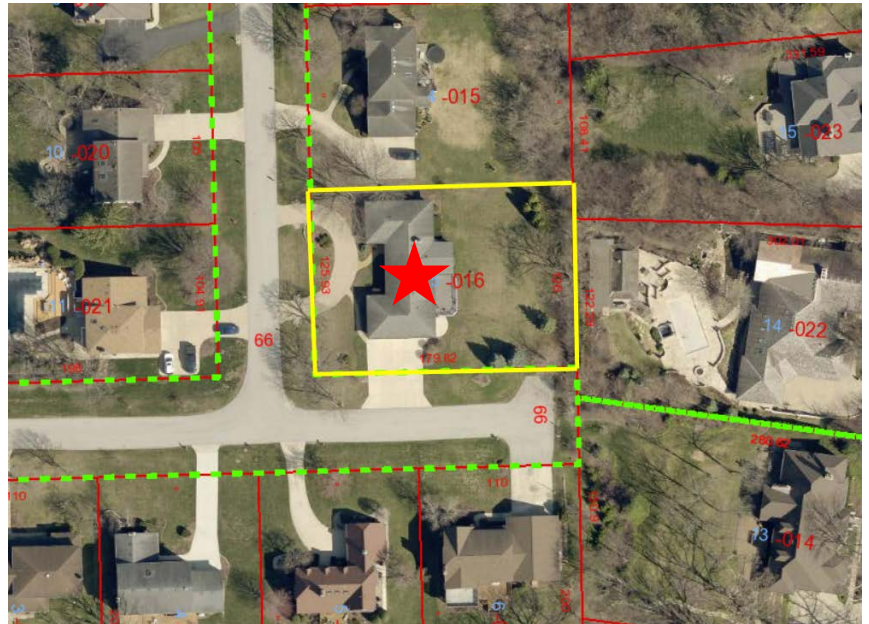
Single-family residence

**SITE AREA:**

± 22,680 sq. ft.

**SUBDIVISION:**

Space Valley Annex



This petition was first heard on June 20, 2022. At the meeting, there were only four members of the Commission (Zoning Board of Appeals) present to vote on the matter. For approval, four affirmative votes were required, and the petitioner requested to continue the case until July 18, 2022. There were no objectors present at the meeting and the public hearing for this petition was closed. The minutes from June 20, 2022 are included in this July 18, 2022 agenda packet.

The petitioner is Michael Rohan, owner of the subject property. The petitioner is requesting variations from Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7 in order to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback. The property currently contains a single-family residence with an attached garage. The petitioner would like to construct a 25 ft. x 26 ft. detached garage (650 sq. ft.). This proposed garage meets the R-3 zoning district requirements in all respects except for its location. Since this is a corner lot with frontage along Glenn Dr. and 94<sup>th</sup> Street, a minimum 30 ft. setback is required along both roads (west and south). A minimum 10 ft. setback is required along the interior side yard (north) and rear yard (east). These regulations are codified in the Zoning Ordinance sections as detailed below.

#### **Section IV.H.4 – Setback and Location of Accessory Buildings and Structures**

Accessory buildings and structures shall be setback a minimum of 10 feet from a rear lot line and shall comply with the minimum interior side and corner side yard setback of the zoning district in which the accessory building or structure is located except as may otherwise be specifically permitted in Section IV.I of this Ordinance.

#### **Section VI.F.7.a – R-3 Zoning District Yard Requirements**

	<b><u>Front Yard</u></b>	<b><u>Interior Side Yard</u></b>	<b><u>Corner Side Yard</u></b>	<b><u>Rear Yard</u></b>
(1) Single-family detached dwellings	30 feet	10 feet	30 feet	50 feet

#### **Section IV.I.1 – Detached Accessory Buildings in Residential Districts**

Detached buildings accessory to permitted residential uses are permitted in the rear buildable area and may also be located in a required rear yard but not closer than 10 feet to the rear lot line. Detached buildings accessory to residential uses are also subject to the regulations in Section IV.H above.

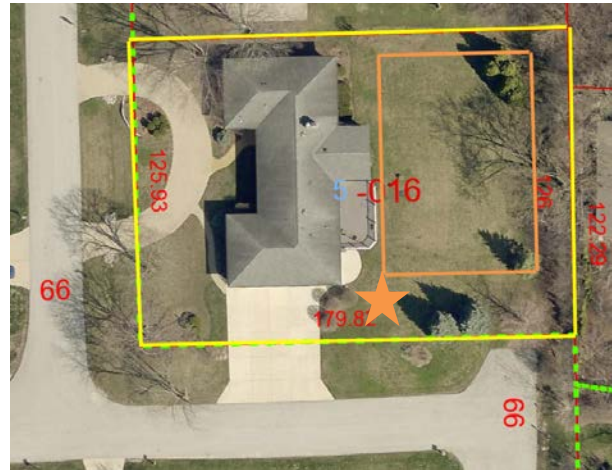
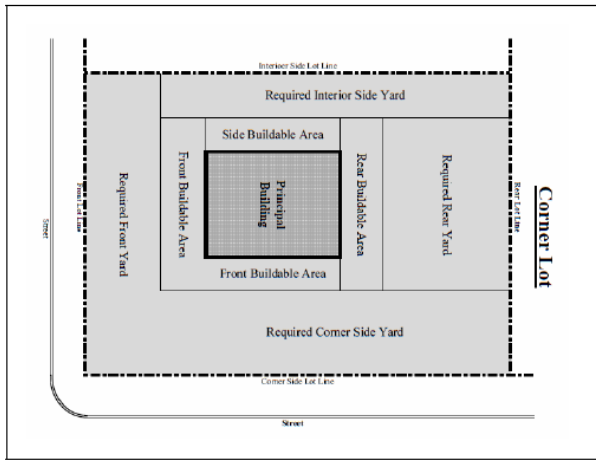
#### **Section IV.H.7 - Distance from a Corner Side Lot Line**

No detached or attached accessory building hereafter erected or altered shall project nearer to a lot line adjoining a street than the distance equivalent to the shortest distance between such lot line and the nearest wall of the principal building. *(For reference, the residence was constructed in 1973 according to the Assessor and is only about 24 ft. from the southern property line).*

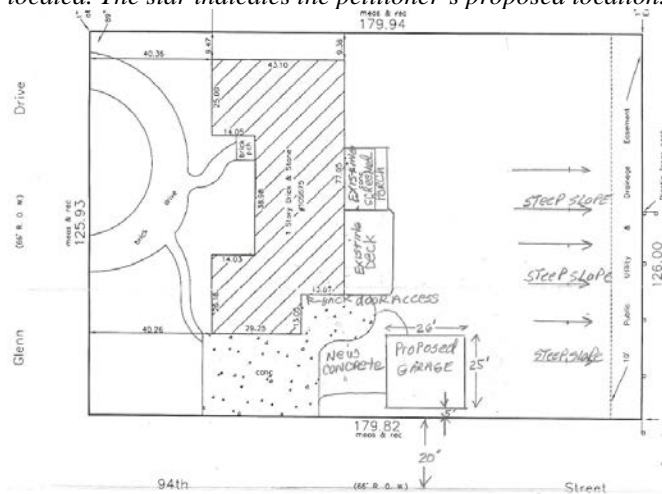
The petitioner is proposing to construct a detached garage within the corner side yard area instead of the rear yard, which is not permitted. The petitioner is also not meeting the minimum required corner side yard setback of 30 ft., only proposing a 10 ft. setback from the southern property line. The original request was a 5 ft. setback, but after the June 20, 2022 meeting, the petitioner amended the request. Since this is greater than the original request (meaning not less than 5 ft.), new notification is not required. In the petitioner's Findings of Fact, he states that the garage cannot be located in the



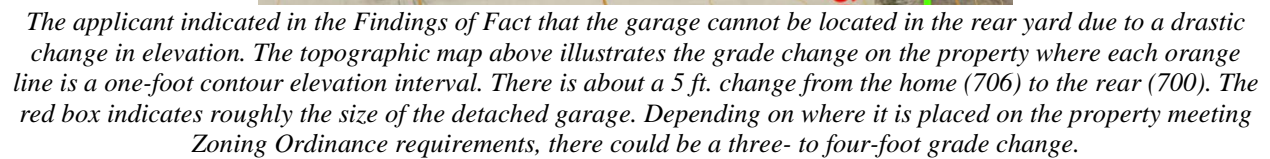
rear yard due to a drastic change in elevation. A topographic map has been provided on the following page. If the garage was located within a rear yard area and meeting the minimum 30 ft. setback from 94<sup>th</sup> Street, there would be about a three to four foot grade change.



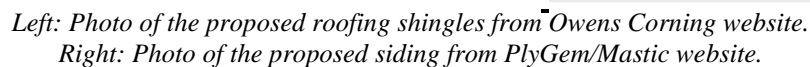
Left: Diagram illustrating buildable areas from the Zoning Ordinance for a corner lot.  
Right: Aerial image of the site with an orange box illustrating roughly the area where the detached garage can be located. The star indicates the petitioner's proposed location.



The petitioner's proposal for the detached garage, also included as an attachment.



- A white, 7' tall and 16' wide garage door
- One white, vinyl slider window
- Gray architectural roofing shingles with white soffits and fascia
- Gray vinyl siding (for reference, the residence is light gray rusticated brick)



One public comment was received via email and is included as an attachment.



**Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend approval for the requested variations to construct a detached garage within the corner side yard, staff recommends that said recommendation be subject to the following condition:

1. The garage shall substantially comply with the plans submitted by the petitioner and included as Exhibit A.

**Appendix**

Exhibit A - Petitioner's Materials and Public Notifications

- Application
- Findings of Fact
- Proposed Site Plan
- Garage specifications

Exhibit B – Public Comments

# EXHIBIT A



## VILLAGE OF BURR RIDGE

RECEIVED

MAY 20 2022

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

VILLAGE OF BURR RIDGE

#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Michael Rohan

STATUS OF PETITIONER: Home owner

PETITIONER'S ADDRESS: 105675 GLENN DRIVE

ADDRESS OF SUBJECT PROPERTY: 105675 GLENN DRIVE

PHONE: 708 310-8121

EMAIL: MIKEGROHAN@hotmail.com

PROPERTY OWNER: Michael Rohan

PROPERTY OWNER'S ADDRESS: 105675 GLENN DR. PHONE: 708 310-8121

PUBLIC HEARING REQUESTED: ☐ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

Request a zoning variance to allow a 2 car garage to be built in our side yard instead of behind our house.

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 22,680 ft<sup>2</sup> EXISTING ZONING: R-3/Residential

EXISTING USE/IMPROVEMENTS: Single family residence

SUBDIVISION: Space Valley Annex

PIN(S) # 10-01-362-0100-0000 Q4

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Michael Rohan

Petitioner's Signature

5/20/22

Date of Filing





Findings of Fact - Zoning Variation  
Burr Ridge Zoning Ordinance

Address:

105675 GLENN Drive

As per Section XIII.H.3 of the Village of Burr Ridge Zoning Ordinance, for a variation to be approved, the petitioner must confirm all of the following findings by providing facts supporting such findings.

- a. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out

*To build the GARAGE Behind the house would be close to impossible due to a drastic change in elevation.*

- b. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located.

*IF we build the garage behind the house near the back lot line, the cost may double due to the ELEVATION change*

- c. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.

*OUR Property is on a dead end street so there are no adjacent neighbors. No side lines will be obscured. No additional driveway entrance from the street will be required.*

- d. The purpose of the variation is not based primarily upon a desire to increase financial gain.

*This is not for financial gain. We are requesting this to provide a closer location to our back door for easier access for my wife who is in a wheelchair.*

- e. The alleged difficulty or hardship is caused by this Ordinance and has not been created by any persons presently having an interest in the property.

*Not a chance. This change will allow us to have easier access for our wheelchair.*

- f. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

*NO. There will be no increase in traffic. No sidewalks will be impacted. I have no next door neighbor to the east of me.*

- g. The granting of the variation will not alter the essential character of the neighborhood or locality.

OUR PLAN will be to MAKE the garage LOOK LIKE OUR HOUSE. ~~@@@~~

- h. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

There will NOT be any impact to any above issues.

- i. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

yes.



Glenn

(66' R. O. W.)

Drive

meas & rec  
125.93

1" pipe (found)  
at corner

89°-48'-15" meas

brick

drive

40.36

40' Building Line

40.26

26.18

14.03

14.05

25.00

9.47

43.10

brick  
pch

38.98

1 Story Brick & Stone  
#105675

77.05

9.36

EXISTING  
DECK

EXISTING  
conc  
SCREENED  
PORCH

NEW  
concrete

13.05

13.67

6'

24'

PROPOSED  
GARAGE

24'

10'

179.82

meas & rec

20'

10'

meas & rec  
179.94

94th

(66' R. O. W.)

Street

STEEP SLOPE

STEEP SLOPE

STEEP SLOPE

Public

Utility

&

Drainage

Easement

126.00  
meas & rec

1" pipe (found) 0.45  
East & on line

Plastic fence  
0.68 East

Plastic fence post  
0.60 East





Name: Mike Grohan  
 Address: 105675 Glenn Dr.  
 City: Burr Ridge State: IL Zip Code: 60527  
 Primary Ph.#: 708-310-8121 Secondary Ph. #: \_\_\_\_\_  
 E-mail: mikegrohan@hotmail.com

DEMOLITION	CONCRETE	CARPENTRY
Size: <u>x</u>	Floor: <u>24' x 24'</u>	Garage Size: <u>24' x 24'</u>
<input type="checkbox"/> Brick <input checked="" type="checkbox"/> Frame <input type="checkbox"/> Stucco	Apron: <u>24' x 3'</u>	<input checked="" type="checkbox"/> Hip <input type="checkbox"/> Gable <input type="checkbox"/> Rev Gable
Garage Must Be Empty	Ratio: <u>5" Thick</u> Walks: <u>3'x6'</u>	Roof Pitch 4/12
Tractor Out Yes / No	Driveway: <u>10084</u> Parkway:	2" x 4" x 16" O.C. Studs
Additional Debris:	Reinforcement: <input type="checkbox"/> Rebar <input checked="" type="checkbox"/> Wire Mesh <input checked="" type="checkbox"/> Fiber Mesh	2" x 8" x 16" O.C. Rafters
<u>Concrete as new</u>		With Birdsmouth Cut Design
Concrete up to 4" thick	Raised Curb 4 Sides	Interlocking Top Plates
Slab:	Anchor Bolts Around Perimeter	Triple 2"x4" Corners
Walks:	Bag Mix all <u>5"</u> Thick Floor	Wall Height 8 ft
Driveway:	Haul Dirt: <u>(Yes) / No</u>	Sheathing: <u>1/2" + Housewrap</u>
Sawcuts: <u>as new</u>	Scored Concrete: <u>(Yes) / No</u>	Crossties 2"x6"x48" O.C.
Double Walls: Yes / <u>(No)</u>	Wheel in Concrete: <u>(Yes) / (No)</u>	Header 2-2"x12" / <u>(LVL)</u>
Tree/Bushes Removal: <u>(Yes) / No</u>	Retaining Wall: <u>(Yes) / No</u>	Treated Bottom Plate + Sill Sealer
DOORS	ROOFING	SIDING
Entry Door: Pre-Hung Insulated 36" Fiber Glass 6 Panel Door With Matching Entry & Dead Bolt Locks & Aluminum Threshold	Sheathing: <u>1/2"</u>	Vinyl: <input checked="" type="checkbox"/> D4 <input type="checkbox"/> DL4.5 <input type="checkbox"/> _____
	Shingles: Architectural Type	Manufacturer: <u>masite</u>
	Manufacturer: <u>Owens Corning</u>	Style: <u>Solar Defense</u>
	Style: <u>Oak Ridge</u>	Color: <u>Natural slate</u>
Overhead Door: Raised Steel Panel Door Finished With Heavy Baked On Paint With Rust Inhibitors & Torsion Spring Setup	Felt: <u>yes</u> Vents: <u>2</u>	<b>ELECTRIC</b>
	Eaves: <u>12"-4 sides</u>	
	Soffit - Fascia Color <u>white</u>	
	Gutters P/s Jambes + casings	
Size: <u>16' x 7'</u>	<b>WINDOWS</b>	Switches: <u>2</u> <u>(Recessed)</u>
Color: <u>white</u>	Qty: <u>1</u> Vinyl	Exterior Outlets: <u>1</u> <u>(pipes)</u>
<u>Long panel</u>	Color: <input type="checkbox"/> White <input checked="" type="checkbox"/> <u>4' x 2'</u>	Exterior Lights: <u>3</u>
<u>1</u> Chamberlain 1/2 H.P. Lift Master Door Opener with WiFi + keypad with 2 Remote Controls <u>(Yes) / No</u>	Style: <input checked="" type="checkbox"/> Slider <input type="checkbox"/> Single Hung	Exterior Light by Owner: <u>(Yes) / No</u>
<b>CLEANUP INCLUDED</b>		

NOTES: (Diamond Drive Concrete Includer sealer) (1x4 casings)

(Tax & Permit Included)

\$52,300.00

- 1500.00

\$50,800.00

(any Requirements from city will be added costs)

OFFER EXPIRES:

5/27/22

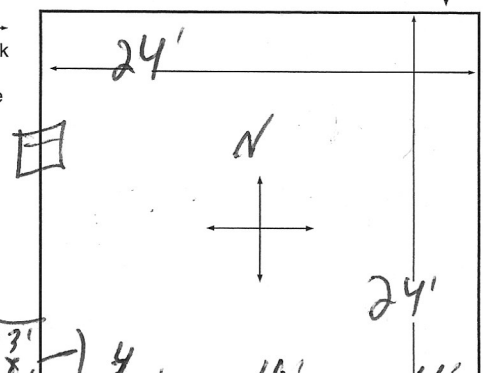
Total Price: \$

Stanley Representative:

Marty Barakat

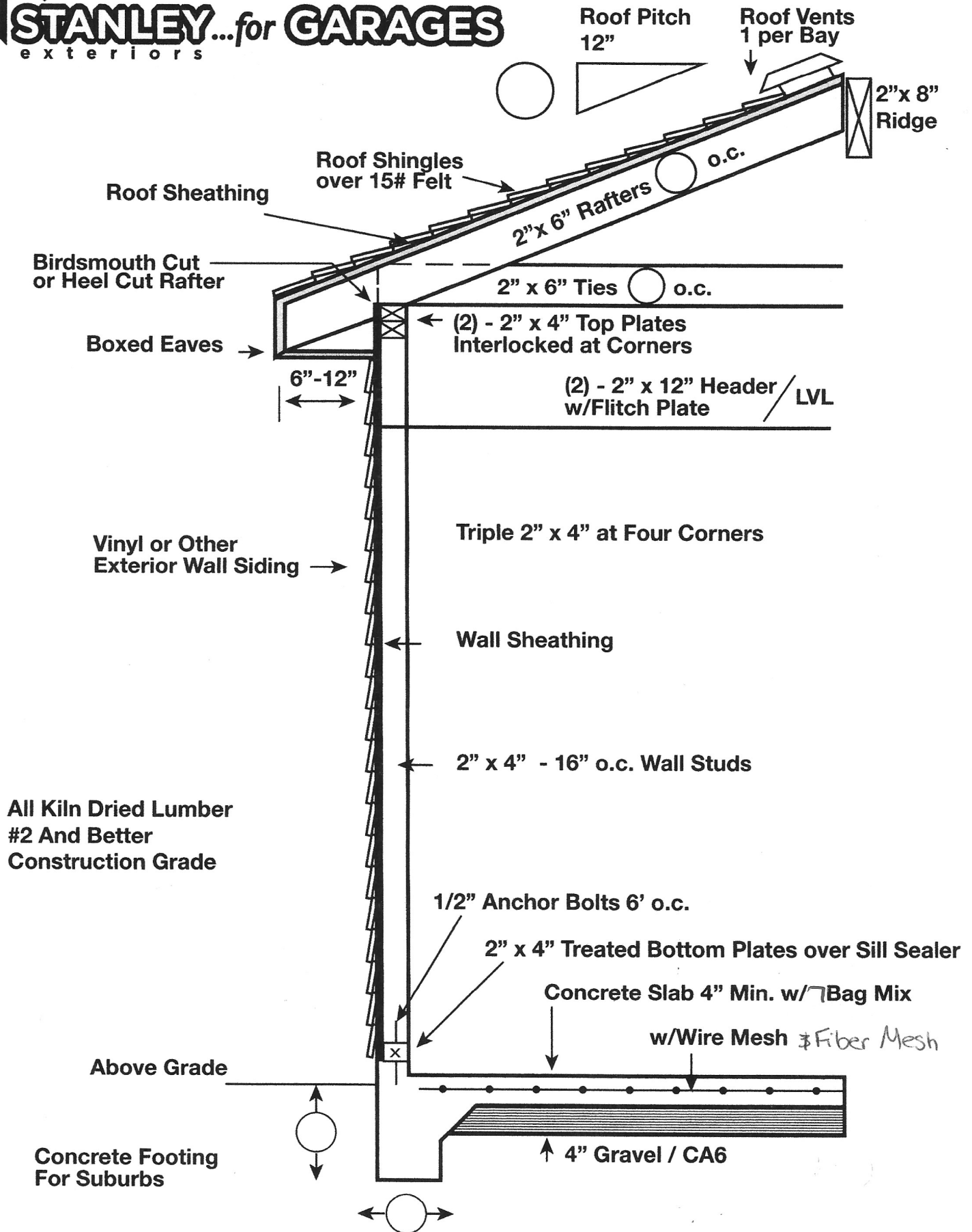
setback from lot line

setback from lot line



# STANLEY...for GARAGES

exteriors







**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

105675 GLENN Drive

Property Owner or Petitioner:

Michael Rohan

(Print Name)

Michael Rohan

(Signature)

Jun 3, 2022 at 3:04:46 PM  
700-728 94th St  
Burr Ridge IL 60527  
United States



Jun 3, 2022 at 3:05:40 PM  
10S676 Glenn Dr  
Burr Ridge IL 60527  
United States







### **LEGAL NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at **7:00 p.m. on Monday, June 20, 2022**, at Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois, 60527.

### **PURPOSE OF HEARING**

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Michael Rohan for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback, from 30 ft. to 5 ft., pursuant to Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7. The petition number and address of this petition is **V-03-2022: 10S675 Glenn Dr.** and the Permanent Real Estate Index Number is **10-01-302-016-0000**.

Public comment may be provided by individuals who physically attend the meeting at 7700 County Line Road, Burr Ridge, Illinois, 60527. All written public comment wishing to appear in the Plan Commission report shall be provided no later than Tuesday, June 14, 2022. All public comment may be emailed to Community Development Director Janine Farrell ([jfarrell@burr-ridge.gov](mailto:jfarrell@burr-ridge.gov)) or mailed to Ms. Farrell's attention at the address above. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

**BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.**

**Greg Trzupek, Chairman**

**MEMBERS: GREG TRUZPEK, MIKE STRATIS, JIM BROLINE, BARRY IRWIN, JOSEPH PETRICH, ENZA PARRELLA, RICHARD MORTON, AND DEANNA MCCOLLIAN.**

# Public Notification Mailing Labels

Tax_Owner	Tax_Adrss	Tax_City	Tax_State	Tax_Zip	PIN_14
Grela, Jacek & Marzena	10S570 Glenn Dr	Burr Ridge	IL	60527	PIN 10013010140000
Litwin, Louis	10S650 Glenn Dr	Burr Ridge	IL	60527	PIN 10013010190000
Donthamsetti & Bathala	1001 Sean Cir	Darien	IL	60561	PIN 10024110060000
Hutcheson, Patricia R	10S667 Glenn Dr	Burr Ridge	IL	60527	PIN 10013020150000
Chicago Title 8002362754	6 Arcadia Ct	Burr Ridge	IL	60527	PIN 10024110030000
Feltz, Kenneth M & Rita I	15W700 94Th St	Burr Ridge	IL	60527	PIN 10013040130000
Mac Tavish, Benjamin F	103 Oak Ridge Dr	Burr Ridge	IL	60521	PIN 10013040150000
Porn, Louis M & C Carls	108 Oak Ridge Dr	Burr Ridge	IL	60521	PIN 10013060040000
Chitturi, Ratnam	2 Marissa Ct	Burr Ridge	IL	60527	PIN 10121000050000
Lively, Elizabeth & S	10S563 Glenn Dr	Burr Ridge	IL	60521	PIN 10013020100000
Iorfida, Samuel & Diane	122 Oak Ridge Rd	Burr Ridge	IL	60521	PIN 10013060070000
Arito Jr, Anthony & Janet	751 Provencal Dr	Burr Ridge	IL	60521	PIN 10013040190000
Haigh, Patricia	106 Oak Ridge Dr W	Burr Ridge	IL	60521	PIN 10013060030000
Wanta, Leonard	126 Circle Ridge Dr	Burr Ridge	IL	60527	PIN 10013020540000
Ascencios, M & X Hu	10S647 Glenn Rd	Burr Ridge	IL	60527	PIN 10013020140000
Wenc, Charlene C	10S550 Glenn Dr	Burr Ridge	IL	60527	PIN 10013010130000
Lilwani, Bharat	6455 N Kolmar Ave	Lincolnwood	IL	60712	PIN 10013020570000
Garbonkus, Vacys & Laima	760 W 94Th St	Burr Ridge	IL	60521	PIN 10013040100000
Baley, Thomas & Wendy	3 Keri Ln	Burr Ridge	IL	60527	PIN 10013020750000
Cushing, Robert & Sara	10S607 Glenn Dr	Burr Ridge	IL	60527	PIN 10013020120000
Matlashevskia, Olena	9395 S Madison St	Burr Ridge	IL	60527	PIN 10013010270000
O Leary, William & Carol	10S750 Madison St	Burr Ridge	IL	60527	PIN 10024060250000
Guirguis, Mina	10S581 Madison St	Hinsdale	IL	60527	PIN 10013010070000
Fritz, Edward A	10S734 Madison St	Burr Ridge	IL	60527	PIN 10024060210000
Florek, Joseph P	10S638 Glenn Dr	Burr Ridge	IL	60527	PIN 10013010180000
Keivan, Robert & Laura	701 Provencal Dr	Burr Ridge	IL	60527	PIN 10013040170000
Flanagan, Richard M	135 Oak Ridge Dr	Burr Ridge	IL	60527	PIN 10121000100000
Ressa, Todd A & Denise A	9 Arcadia Ct	Burr Ridge	IL	60521	PIN 10024110050000
Tharian, A & K Parackal	128 Circle Ridge Dr	Burr Ridge	IL	60527	PIN 10013020550000
Falling Water Owners Assn	1300 W Higgins Rd	Park Ridge	IL	60068	PIN 10024070080000
Hanif, Tabassum & Farhan	9305 S Madison St	Burr Ridge	IL	60527	PIN 10013010220000
Layland Jr, H K Tr	100 Shore Dr	Burr Ridge	IL	60521	PIN 10121000090000
Khanna, N & R Kapoor	725 Provencal Dr	Burr Ridge	IL	60527	PIN 10013040180000
Brumley, Guy & Deborah	10S675 Glenn Dr	Burr Ridge	IL	60521	PIN 10013020160000
Witter, Clare E	10S575 Glenn Dr	Burr Ridge	IL	60521	PIN 10013020110000
Kessel, Michael & Cynthia	10S676 Glenn Dr	Burr Ridge	IL	60527	PIN 10013010210000
Collins, Jeffrey	9359 S Madison	Burr Ridge	IL	60527	PIN 10013010250000
Fallingwaters Homeowners	9105 Fallingwaters	Burr Ridge	IL	60521	PIN 10024110110000
Seeely, Mikell & Mary	10S571 Madison St	Burr Ridge	IL	60521	PIN 10013010060000
Martini, Seif & Sawsan	9377 S Madison	Burr Ridge	IL	60527	PIN 10013010260000
Lowery, Michael & Colleen	10S622 Glenn Dr	Burr Ridge	IL	60521	PIN 10013010170000
Jackson, Vincent & Linda	100 Oak Ridge Dr.	Burr Ridge	IL	60521	PIN 10013060010000
Koldenhoven, Paul & Kim	10S580 Glenn Dr	Burr Ridge	IL	60521	PIN 10013010150000
Plamoottil, Issac & P	122 Circle Ridge Dr	Burr Ridge	IL	60527	PIN 10013020520000
Lee, Ham Nyung & Yoon Gum	130 Circle Ridge Dr	Burr Ridge	IL	60527	PIN 10013020560000
Vinkler, Jerome A	10S627 Glenn Dr	Burr Ridge	IL	60527	PIN 10013020130000



**Public Notification Mailing Labels**

Maly, Paul T	780 W 94Th St	Burr Ridge	IL	60527 PIN 10013040090000
Rayan, Mamdouh E	310 S Michigan	Chicago	IL	60604 PIN 10121000130000
Hanig, Stephen & Tamara	113 Oak Ridge Dr	Burr Ridge	IL	60527 PIN 10013020290000
Toulios, Thomas	7550 Woodland Ct	Burr Ridge	IL	60521 PIN 10013020230000
Barton, Richard & J Hopson	101 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013040160000
Afzal, Muhammad	124 Circle Ridge Dr	Burr Ridge	IL	60527 PIN 10013020530000
Rothrock, Barbara K	10S604 Glenn Dr	Burr Ridge	IL	60527 PIN 10013010160000
Mouradi, Adel	8 Arcadia Ct	Burr Ridge	IL	60521 PIN 10024110040000
Unglaub, Robert & Nancy	105 Oak Ridge Dr W	Burr Ridge	IL	60527 PIN 10013040140000
Steuens, James	801 Provencal Dr	Burr Ridge	IL	60521 PIN 10013040200000
Dremonas, James & Penelope	128 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013060090000
Vivo, Salvatore	9341 S Madison	Burr Ridge	IL	60527 PIN 10013010240000
Khosla, Sandeep & P	9289 Falingwater Dr	Burr Ridge	IL	60527 PIN 10024100120000
Marzec, Raymond & Helen	720 W 94Th St	Burr Ridge	IL	60521 PIN 10013040120000
Oedzes, John	116 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013060060000
Medaglia, Guy A	124 Oak Ridge Dr E	Burr Ridge	IL	60527 PIN 10013060080000
Halaka, Folim & Hana	9425 S Madison St	Burr Ridge	IL	60521 PIN 10013040210000
Brown, Dean & Katherine	111 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013020280000
La Grange National Bank	14 S La Grange Rd	La Grange	IL	60525 PIN 10013060120000
Hanson, David H & June	4 Keri Ln	Burr Ridge	IL	60527 PIN 10013020250000
Davis, Russell & Alice	10S766 Madison St	Burr Ridge	IL	60527 PIN 10024060180000
Ctltc Lg4408	10 S Lasalle St	Chicago	IL	60603 PIN 10013040080000
Manczko, T & G Pirc	9340 Madison St	Burr Ridge	IL	60527 PIN 10024100160000
Porn, Louis M & C Carls	108 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013060050000
Hai, Niloufer	2 Keri Ln	Burr Ridge	IL	60527 PIN 10013020240000
Christensen, Niels H & S	10S543 Glenn Dr	Burr Ridge	IL	60521 PIN 10013020090000
Tarnowski, Michael & V	10S664 Glenn Dr	Burr Ridge	IL	60527 PIN 10013010200000
Gallaher, Lee D	740 94Th St	Burr Ridge	IL	60521 PIN 10013040110000
Trust 1-6306	9323 S Madison St	Burr Ridge	IL	60527 PIN 10013010230000
Signorino, Paul	1 Keri Ln	Burr Ridge	IL	60521 PIN 10013020760000
Wakim, Pierre & Karla	107 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013020220000
Goldberg, Richard S	102 Oak Ridge Dr	Burr Ridge	IL	60527 PIN 10013060020000
Pirc, G & T Manczko	9430 S Madison St	Burr Ridge	IL	60527 PIN 10024100170000
Dunmyer, John & Jane	130 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10013060100000
Chiu, Eugene	133 Oak Ridge Dr E	Burr Ridge	IL	60521 PIN 10121000110000
Aguilar Jr, Salvador J	131 Oak Ridge Dr	Burr Ridge	IL	60521 PIN 10121000120000

# EXHIBIT B

**From:** [Cynthia Kessel](#)  
**To:** [Janine Farrell](#)  
**Cc:** [REDACTED]  
**Subject:** Petition V-03-2022: 10s675 Glenn Drive  
**Date:** Thursday, June 2, 2022 10:16:00 AM

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Dear Plan Commission,

We are residents of 10s676 Glenn Drive, directly across Glenn Drive to the West of Michael Rohan's property. We would like to express our support of Mr. Rohan's request for variance.

We regret that we cannot attend the meeting in person. If you have any questions or we can further support Mr. Rohan in any way, please do not hesitate to email or contact us at the phone numbers below.

Thank you for all that you do to keep Burr Ridge a beautiful and safe community for all.

Sincerely,

Michael and Cynthia Kessel  
10s676 Glenn Drive  
Burr Ridge, IL 60527





**PROCLAMATION**  
**National Suicide Prevention Month**

**8D**

**WHEREAS**, the month of September is recognized as National Suicide Prevention Awareness Month and World Suicide Prevention Day is observed each year on September 10<sup>th</sup>; and

**WHEREAS**, these observances are united in raising awareness that prevention is possible; treatment is effective, and people do recover; and

**WHEREAS**, suicidal thoughts can affect anyone regardless of age, race, gender, gender identity, sexual orientation, disability, income level, religion, marital status, or background; and

**WHEREAS**, suicide has risen to the ninth leading cause of death in the United States and the second leading cause of death for young people between the ages of 10 and 34, and veterans have an adjusted suicide rate that is 52.3% greater than the non-veteran US adult population; and

**WHEREAS**, millions of Americans consider suicide, make a suicide plan, or attempt suicide each year – especially young Americans for whom suicide is the second leading cause of death; the number is even higher among LGBTQ+ and Native American youth; and

**WHEREAS**, suicide and suicide attempts directly impact the health and well-being of family, friends, loved ones, co-workers, neighbors, and community members; and

**WHEREAS**, education about the warning signs of suicide, the value of preventative measures, and the best methods to support those in need is essential to our community; and

**WHEREAS**, the 988 Suicide and Crisis Lifeline is a national network of local crisis centers that provides free and confidential emotional support to people in suicidal crisis or emotional distress 24 hours a day, 7 days a week in the United States; and

**WHEREAS**, the Village of Burr Ridge encourages all community members to remember the 988 Suicide and Crisis Lifeline number, which is **9-8-8**, in the event that they or someone they care about is experiencing a crisis.

**NOW, THEREFORE, BE IT RESOLVED**, that the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, recognize September 2022 as National Suicide Prevention Month in the Village of Burr Ridge.

**ADOPTED** by the Board of Trustees and **APPROVED** by the Mayor of the Village of Burr Ridge this 8<sup>th</sup> day of August 2022.

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Gary Grasso  
Mayor

ATTEST:

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Sue Schaus  
Village Clerk

**Board of Directors**

David Baran	Lourdes Lonergan
Laurie Chang	Tom Lonergan
Barbara Dohrman	Mari Pena
Mary Harrell	Michal Ploskonka
	Kim Wenkus

15W400 Harvester Dr. Burr Ridge, IL 60527 Phone: 630-920-1969 Fax: 630-920-1973  
[www.burrridgeparkfoundation.org](http://www.burrridgeparkfoundation.org)

July 26, 2022

Village of Burr Ridge  
 Board of Trustees  
 7660 S. County Line Road  
 Burr Ridge, IL 60527

**RE: Pedal the Parks Request for Sign Placement**

The Burr Ridge Community Park Foundation will hold its 10<sup>th</sup> Annual Pedal the Parks fundraiser to benefit the Burr Ridge Park District on Sunday, September 11, 2022 at 9AM. Our 10 mile tour route through the Village and parks will remain the same for participants of all ages.

We would like to request the placement of signage on certain intersections in the Village from Wednesday, August 10 until Sunday, September 11. The same signage will also be printed in a smaller size similar to a political sign to be placed within Burr Ridge Park District park boundaries and in the front yards of foundation members/staff homes. These addresses are available if necessary. Permission is being received from any property owners where the signs will be located. I am also wondering if this can be a blanket request so we do not have to ask each year.

The locations are:

Fifth Third Bank– 83<sup>rd</sup> and Madison SW Corner  
 Burr Ridge Pkwy. & County Line Rd. SW Corner  
 Madison & Frontage SE Corner  
 79<sup>th</sup> & Madison NE Corner  
 83<sup>rd</sup> & County Line Road  
 Plainfield & County Line Rd. SW Corner  
 91<sup>st</sup> & Madison NE Corner (Property is vacant)  
 County Line Rd & Veterans Pkwy.

Thank You,

Jamie Janusz  
 Supt. Of Finance, Burr Ridge Park District  
 Staff Liaison, Burr Ridge Community Park Foundation

*Bridging the gap between community spirit and park district needs*



# 8H

Chief Madden:

Regarding our conversation on 07/21/22, please accept this as my formal letter of resignation. My last day of employment with Burr Ridge will be 08/09/22. As we discussed that day, I will be absent from work 08/01/22-08/05/22 to take care of an urgent family matter out of state. I will be using my remaining vacation, personal and sick time for that week; whatever time is not covered I am requesting unpaid time off.

I am grateful for the opportunity you have given me with the Burr Ridge Police Department and I wish you, the staff and the officers of Burr Ridge good luck and safety.

Sincerely

Jeff DeZur

## ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 7/25/2022

PAYMENT DATE: 7/26/2022

FISCAL 22-23

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 149,124.92	\$ 149,124.92
23	Hotel/Motel Tax Fund	8,120.08	8,120.08
31	Capital Improvements Fund	189,126.23	189,126.23
51	Water Fund	29,890.87	29,890.87
52	Sewer Fund	149.48	149.48
	TOTAL ALL FUNDS	<u>\$ 376,411.58</u>	<u>\$ 376,411.58</u>

## PAYROLL

PAY PERIOD ENDING July 23rd, 2022

	TOTAL PAYROLL
Administration	16,250.01
Finance	1,725.00
Police	121,374.28
Public Works	31,701.17
Water	29,290.01
Sewer	10,331.96
TOTAL	<u>\$ 210,672.43</u>
GRAND TOTAL	<u><u>\$ 587,084.01</u></u>



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DB: Burr Ridge

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE  
EXP CHECK RUN DATES 08/08/2022 - 08/08/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 0000 Assets, Liabilities, Fund Bal					
10-0000-23-2300	Refund Business License Overpaym	Edward Jones	07/19/22	07/19/22	50.00
10-0000-23-2300	Refund Business License Overpaym	Gianluca Pesce	07/19/22	07/19/22	50.00
10-0000-23-2300	Refund Business License Overpaym	Laura Lacey	07/19/22	07/19/22	100.00
10-0000-23-2300	Refund Business License Overpaym	Plus Group	07/19/22	07/19/22	50.00
Total For Dept 0000 Assets, Liabilities, Fund Ba.					250.00
Dept 1010 Boards & Commissions					
10-1010-40-4040	Chicago Tribune 4 weeks	Chicago Tribune	07/06/22	07/06/22	27.72
10-1010-40-4040	FY22 Caucus Dues	Metropolitan Mayors Caucus	07/15/22	2022-83	503.64
10-1010-40-4040	Suburban Life 1 year subscriptio	Suburban Life Media	07/28/22	2116 2023	78.00
10-1010-40-4042	Lunch Meeting	Gary Grasso	07/26/22	07/26/22	45.64
10-1010-40-4042	Parking Reimbursement for Mayor	Gary Grasso	07/26/22	07/26/22	25.00
10-1010-50-5010	Labor Legal Services June 2022	Clark Baird Smith LLP	06/30/22	15624	2,537.50
10-1010-50-5010	Adjudication Legal Services Jun2	Denise K. Filan	07/19/22	34304	562.50
10-1010-80-8010	DMMC Raffle Basket	Amazon.com Credit	07/07/22	113-46682354273024	28.68
10-1010-80-8010	DMMC Raffle Basket	Dollar Tree	07/13/22	011768/026869	20.00
10-1010-80-8010	Employee Recognition (10-Year Pe	Falco's Pizza & Pasta	06/30/22	079291	217.95
10-1010-80-8010	BS&A Training - CRA (PD, PW, Adm	Falco's Pizza & Pasta	07/07/22	70670701	118.11
10-1010-80-8010	DMMC Raffle Basket	Hobby Lobby	07/15/22	093455	27.94
10-1010-80-8010	Employee Concert Event	Jimmy Johns	07/07/22	07/07/22	28.67
10-1010-80-8010	Employee Concert Event	Jimmy Johns	07/07/22	098844	367.00
10-1010-80-8010	Employee Concert Event	Jimmy Johns	07/07/22	088512	123.99
10-1010-80-8010	Employee Lunch	Panda Express	06/28/22	407703	14.14
10-1010-80-8010	Breakfast meeting	Patti's Sunrise Cafe	06/24/22	077467	45.76
10-1010-80-8010	Breakfast meeting	Patti's Sunrise Cafe	07/06/22	022439	40.00
10-1010-80-8025	Annual NTN Mermbership - Frontli	National Testing Network,	07/19/22	10696	500.00
Total For Dept 1010 Boards & Commissions					5,312.24
Dept 2010 Administration					
10-2010-40-4040	Crain's Subscription	Crains Chicago Business	07/11/22	D4089325	15.00
10-2010-40-4040	State Statue Books	Thomson Reuters-West Publi	07/04/22	846689275	216.00
10-2010-40-4042	DMMC Meeting	Country House	07/18/22	850554	44.81
10-2010-40-4042	2022 ICMA Conference	Illinois City/County Mgmt	06/24/22	06/24/22	625.00
10-2010-40-4042	Supervisory Training Classes	IPELRA	06/21/22	06/21/22	199.00
10-2010-40-4042	Annual Golf Outing	Willowbrook/Burr Ridge	07/13/22	1020	95.00
10-2010-50-5030	Cell Phones Admin	AT&T Mobility	06/25/22	287310366548X0703202	84.14
10-2010-60-6010	Employee Clothing	Lands End	07/08/22	SIN10372536	299.20
Total For Dept 2010 Administration					1,578.15
Dept 4010 Finance					
10-4010-40-4040	Renewal Fee	IGFOA	06/30/22	06/30/22	190.00
10-4010-50-5020	Consulting WE 07/17 & 07/24	GovTemps USA, LLC	07/28/22	4008981	7,700.00
10-4010-50-5060	FY2022 Audit	Lauterbach & Amen, LLP	07/18/22	68121	14,400.00
Total For Dept 4010 Finance					22,290.00
Dept 4020 Central Services					
10-4020-50-5030	Telephone Land Line	Peerless Network, Inc.	06/15/22	532981	1,297.80
10-4020-50-5050	Copier Maintenance VH	Image Systems & Business S	07/20/22	362928	500.28
10-4020-50-5085	Quarterly Lease of Postage Machi	Pitney Bowes Global Fin. S	05/27/22	3105510332 (2)	408.99
10-4020-60-6000	Office Supplies	Amazon.com Credit	06/25/22	113-44822716134618	105.79
10-4020-60-6000	Kleenex Tissues Boxes	Amazon.com Credit	07/07/22	113-18070692481841	33.70
10-4020-60-6000	Office Supplies	Runco Office Supply	07/25/22	874532-0	170.82
10-4020-60-6010	Kitchen Operating Supplies	Amazon.com Credit	06/22/22	113-46639675943468	32.99

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 4020 Central Services					
10-4020-60-6010	(2) Night Lights	Amazon.com Credit	06/26/22	113-70307818339404	42.53
10-4020-60-6010	Work Room Supplies	At Home	07/03/22	016372	59.90
10-4020-70-7000	Front Office Furniture Desks, Wa	Kentwood Office Furniture	05/02/22	318072-0	7,054.85
10-4020-70-7000	Shipping & Installation	Kentwood Office Furniture	05/02/22	318072-0	1,200.00
Total For Dept 4020 Central Services					10,907.65
Dept 4040 Information Technology					
10-4040-40-4040	Domain Subscription	Microsoft Corporation	06/23/22	06/23/22	9.50
10-4040-50-5020	Board Meeting Recordings Jul22	Garron, Fernando	07/27/22	07/27/22	400.00
10-4040-50-5020	IT Support Services	Orbis Solutions	07/21/22	5573329	725.00
10-4040-50-5020	IT Support Services	Orbis Solutions	07/21/22	5573335	400.00
10-4040-50-5020	IT Support Services	Orbis Solutions	07/15/22	5573307	1,000.00
10-4040-50-5020	IT Support Services	Orbis Solutions	07/28/22	5573352	900.00
10-4040-50-5020	IT Support Services	Orbis Solutions	07/28/22	5573357	25.00
10-4040-50-5061	GIS Consulting & Subscription Au	Cloudpoint Geospatial	07/31/22	3210	2,150.00
10-4040-50-5061	Emergency Backup	Comcast	06/16/22	8771201140537196 Jun	165.57
10-4040-50-5061	Pump Center	Comcast	06/21/22	8771201140533898 Jun	199.85
10-4040-50-5061	Contact Management Jun22	MAILCHIMP	06/25/22	13421757	28.90
10-4040-50-5061	Guardian Tracking Hosted Applica	Target Solutions Learning,	05/31/22	54101	1,683.15
10-4040-50-5061	Annual Basic MNT Renewal VBE ENT	Virtual Computing Systems,	05/12/22	051201_1	966.00
10-4040-50-5061	Renewall Basic SNS vSphere 6 1Y	Virtual Computing Systems,	05/12/22	051201_1	1,164.00
10-4040-50-5061	Video Conferencing Jul22	Zoom Video Communications	07/01/22	155477610	14.99
10-4040-60-6010	Printer Toner Cartridges	Next Day Toner Supplies,	10/28/22	5240968	187.00
10-4040-60-6010	Printer Toner Cartridges	Next Day Toner Supplies,	10/19/22	5240302	372.00
Total For Dept 4040 Information Technology					10,390.96
Dept 5010 Police					
10-5010-40-4040	LERMI Membership 2022 Husarik	Law Enforcement Records M	07/25/22	07/25/22	40.00
10-5010-40-4042	Supervisory Training Classes	IPELRA	06/21/22	06/21/22	199.00
10-5010-50-5020	Annual Continuation Fee	CALEA	06/01/22	38444	4,745.00
10-5010-50-5020	Annual Municipal Contribution	DuPage County Children's C	07/15/22	BR023	3,000.00
10-5010-50-5025	Postage PD	Stamps.com	06/23/22	9495381-40105037 Jun	7.20
10-5010-50-5030	Cell Phones	Verizon Wireless	06/13/22	9909384607	397.64
10-5010-50-5040	Business Cards	Grasso Graphics, Inc.	07/19/22	32002	438.20
10-5010-50-5050	Copier Equipment	Proven Business Systems	07/11/22	931378	817.06
10-5010-50-5050	Copier Maintenance	Proven Business Systems	07/19/22	934093	874.51
10-5010-50-5051	Squad 1703 Maintenance	B & E Auto Repair Service	07/22/22	142370	225.20
10-5010-50-5051	Squad 2002 Maintenance	B & E Auto Repair Service	07/26/22	142386	33.00
10-5010-60-6010	Glove Box Organizers/Std Staples	Amazon.com Credit	06/27/22	111-1342759-9691430	143.76
10-5010-60-6010	Letter Trays/Media Discs	Amazon.com Credit	07/15/22	112-52456426102633	57.81
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	07/01/22	14550 Jul22	83.80
10-5010-60-6020	Blinds and Cordlocks as quoted	Lovitt Blind & Drapery Cle	07/11/22	Y2022-1234	2,299.68
10-5010-60-6020	Fleet Exxon Mobil PD	Wex Bank	07/23/22	82589597	304.07
10-5010-60-6020	Shell Gas Purchases PD	Wex Bank	07/23/22	82595445	9.51
10-5010-70-7000	Computers,Mounts, Printers for F	CDS Office Technologies	07/29/22	1471078	56,292.00
Total For Dept 5010 Police					69,967.44
Dept 6010 Public Works					
10-6010-40-4032	Uniform Rentals/Cleaning/Fuel Ch	Breens Inc.	07/26/22	12684	103.48
10-6010-40-4032	Uniform Rentals/Cleaning	Breens Inc.	06/28/22	12103	103.48
10-6010-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/05/22	12240	103.48
10-6010-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/19/22	12534	103.48
10-6010-40-4040	APWA Membership Dues	American Public Works Assr	07/19/22	928959	740.00



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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-40-4040	Application Fee	DuPage County	07/06/22	20002006	102.25
10-6010-40-4042	Crane & Hoist Safety Training	Hygieneering, Inc.	07/21/22	07221677	1,550.00
10-6010-40-4042	Supervisory Training Classes	IPELRA	06/21/22	06/21/22	199.00
10-6010-40-4042	Beverages & Dessert for lunch me	Jewel Osco	06/30/22	00007052	94.17
10-6010-40-4042	Lunch meeting	Jimmy Johns	07/08/22	110529791162474	79.05
10-6010-40-4042	Employee Recognition (10-Yr Pete	Kirsten's Danish Bakery	06/30/22	090834	55.70
10-6010-50-5030	Cell Phones PW	AT&T Mobility	06/25/22	287310366548X0703202	487.55
10-6010-50-5035	Fallingwater First Addition	Chicago Sun-Times, Inc.	07/05/22	0001146055	397.00
10-6010-50-5035	Public Hearing Notice	Chicago Tribune	06/30/22	056250637000	86.88
10-6010-50-5050	Propane Tank Gauge level indicat	Amazon.com Credit	06/24/22	113-75068684544241	51.93
10-6010-50-5052	Upgrade System at the Barn	Alarm Detection Systems, I	05/16/22	SI-572488	782.23
10-6010-50-5052	Maintenance Alarm System PD Serv	Alarm Detection Systems, I	07/20/22	SI-576157	315.00
10-6010-50-5052	PD HVAC; Temperature Sensor Inst	Dynamic Heating & Piping C	07/13/22	204408	618.80
10-6010-50-5052	Power Wash AC Coils at All Bldgs	Dynamic Heating & Piping C	06/30/22	204390	2,065.00
10-6010-50-5052	Pest control; 4 Buildings (FY202	Grizz Pest Management, Inc	07/18/22	31795	250.00
10-6010-50-5052	VH Sewer Pipe Repair, Clean, Tel	Patrick Murphy Plumbing &	07/15/22	29446	1,248.00
10-6010-50-5057	VH Paver Walkway: Lift, Reset, &	Premier Landscape Contract	07/27/22	128000	4,165.00
10-6010-50-5058	Mat Rentals - VH and PW	Breens Inc.	07/19/22	12535 (2))	26.50
10-6010-50-5058	Mat Rentals - VH and PW	Breens Inc.	07/26/22	12685	26.50
10-6010-50-5058	Janitorial Services Holding Cell	Service Master	07/24/22	217013	195.00
10-6010-50-5058	Janitorial Services Holding Cell	Service Master	05/19/22	216054	195.00
10-6010-50-5058	Emergency Holding Cell Clean	Service Master	07/12/22	216939	250.00
10-6010-50-5076	Plan Review Permit 22-208	B&F Construction Code Ser	07/28/22	59675	450.00
10-6010-50-5076	Plan Review Permit 22-199	B&F Construction Code Ser	07/19/22	59580	300.00
10-6010-50-5076	Plan Review Permit 22-171	B&F Construction Code Ser	07/20/22	59595	521.62
10-6010-50-5076	Plan Review Permit 22-238	B&F Construction Code Ser	07/20/22	59607	2,238.75
10-6010-50-5076	Plan Reviews May22	B&F Construction Code Ser	07/13/22	16105	7,010.26
10-6010-50-5080	Public Works	NICOR Gas	07/12/22	22944400005 Jul22	183.78
10-6010-50-5080	Police Department	NICOR Gas	07/18/22	66468914693 Jul22	309.95
10-6010-50-5080	Rustic Acres	NICOR Gas	07/18/22	81110732419 Jul22	49.26
10-6010-50-5080	VH Garage	NICOR Gas	07/18/22	57961400009 Jul22	49.26
10-6010-50-5080	Village Hall	NICOR Gas	07/19/22	47025700007 Jul22	168.92
10-6010-50-5085	Shop Towel Rentals	Breens Inc.	07/26/22	12684	4.50
10-6010-50-5085	Shop Towel Rentals	Breens Inc.	06/28/22	12103	4.50
10-6010-50-5085	Shop Towel Rentals	Breens Inc.	07/05/22	12240	4.50
10-6010-50-5085	Shop Towel Rentals	Breens Inc.	07/19/22	12534	4.50
10-6010-50-5095	Reimburse for 2 culvert pipes	Richard Rediehs	07/25/22	07/25/22	1,400.00
10-6010-60-6010	Inverted Flares	Amazon.com Credit	07/07/22	113-07128322973005	44.98
10-6010-60-6010	Lamps & Supplies; Streetlights a	Industrial Electric Supply	07/18/22	S100014590.001	27.87
10-6010-60-6020	Super Power HD Butyl Degreaser	Al Warren Oil Com., Inc.	07/29/22	W1491515	492.35
10-6010-60-6041	Panda Truck Wash Heavy Duty 55 g	High PSI LTD.	07/25/22	76396	589.00
10-6010-60-6042	DO NOT PASS Hi-Intensity Panel	RoadSafe Traffic Systems,	07/21/22	154753	63.00
10-6010-60-6043	3 Cu Yd Topsoil; Pkwy Restor. St	Tameling Industries	07/14/22	0169069	117.00
Total For Dept 6010 Public Works					28,428.48
Total For Fund 10 General Fund					149,124.92

Fund 23 Hotel/Motel Tax Fund

Dept 7030 Special Revenue Hotel/Motel

23-7030-80-8010	Marketing, Communication, Design	Kaleidoscope Management G	07/31/22	1945	4,000.00
23-7030-80-8012	5K - 4x4 Sandwich Boards	Bannerville USA Inc.	05/04/22	32101	720.00
23-7030-80-8012	5K - Directional & Caution Runne	Bannerville USA Inc.	05/04/22	32101	1,712.00
23-7030-80-8012	Tent Signs/Schedule/FirstAid	Bannerville USA Inc.	05/04/22	32101	495.00

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## INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE

EXP CHECK RUN DATES 08/08/2022 - 08/08/2022

BOTH JOURNALIZED AND UNJOURNALIZED

BOTH OPEN AND PAID

Page: 4/6

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-80-8012	Sponsorship Banner - July 28 Con	Bannerville USA Inc.	07/25/22	32647	370.00
23-7030-80-8012	Concert Signage - Sandwich Board	Bannerville USA Inc.	07/29/22	32684	190.00
23-7030-80-8012	Concert on the Green	Brookhaven Marketplace	06/30/22	582715	22.05
23-7030-80-8012	Concert on the Green	Brookhaven Marketplace	07/07/22	580496	18.72
23-7030-80-8012	Concert on the Green	Brookhaven Marketplace	07/07/22	585408	22.01
23-7030-80-8012	Concert on the Green	Brookhaven Marketplace	07/14/22	588492	4.39
23-7030-80-8012	Concerts - Employees Dinner	Buffalo Wild Wings	06/23/22	06/23/22	66.14
23-7030-80-8012	Concert Employees Dinner	Hampton Social Restaurant	07/14/22	001786	57.84
23-7030-80-8012	Business Lunch	Yolk	07/07/22	7897	63.03
23-7030-80-8050	Interstate Business Sign on I55	Illinois Dept of Transport	07/21/22	142334	200.00
23-7030-80-8055	Business Lunch	Hampton Social Restaurant	07/14/22	044610	178.90
Total For Dept 7030 Special Revenue Hotel/Motel					8,120.08
Total For Fund 23 Hotel/Motel Tax Fund					8,120.08
Fund 31 Capital Improvements Fund					
Dept 8010 Capital Improvement					
31-8010-70-7057	Street Resurfacing and Pavement	Schroeder Asphalt Services	06/23/22	2022-172	189,126.23
Total For Dept 8010 Capital Improvement					189,126.23
Total For Fund 31 Capital Improvements Fund					189,126.23
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/26/22	12684	62.00
51-6030-40-4032	Uniform Rentals/Cleaning	Breens Inc.	06/28/22	12103	62.00
51-6030-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/05/22	12240	62.00
51-6030-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/19/22	12534	62.00
51-6030-50-5020	Guard Dog Program Management Fee	Pace Analytical Services,	07/26/22	19520564	250.00
51-6030-50-5030	Pump Center Alarm	AT&T	06/22/22	630325420906 Jun22 (	735.84
51-6030-50-5030	Cell Phones Water	AT&T Mobility	06/25/22	287310366548X0703202	351.15
51-6030-50-5030	Telephone Land Line	Peerless Network, Inc.	06/15/22	532981	107.62
51-6030-50-5030	Water Modems	Verizon Wireless	06/13/22	9909384607	181.92
51-6030-50-5067	Water Main Break; 8901 Royal Dr.	Vian Construction Co., Inc	01/13/22	001012-130022-A	5,671.50
51-6030-50-5067	Emerg. Main Break; 148 Post Rd,	Vian Construction Co., Inc	11/13/21	00110130021-A	6,399.50
51-6030-50-5070	Water Model, RRA Rpt, Water Rate	Crawford, Murphy & Tilly,	07/12/22	0222324	2,351.25
51-6030-50-5070	Water Tower Rehab. Design Engine	Crawford, Murphy & Tilly,	07/13/22	0222347	330.00
51-6030-50-5080	Well #4	COMED	07/18/22	0029127044 Jul12	1,111.68
51-6030-50-5080	Bedford Park Sump Pump	COMED	07/08/22	9179647001 Jul12	48.67
51-6030-50-5080	Pump Center	COMED	07/08/22	4763058040 Jul12	6,739.90
51-6030-50-5080	Pump Center	NICOR Gas	07/12/22	47915700000 Jul12	61.27
51-6030-60-6040	Clamps for Main Break Repairs	Core & Main LP	07/28/22	R289015	4,787.91
51-6030-60-6040	Clamps for Main Break Repairs	Core & Main LP	07/28/22	R289049	514.66
Total For Dept 6030 Water Operations					29,890.87
Total For Fund 51 Water Fund					29,890.87
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/26/22	12684	26.80
52-6040-40-4032	Uniform Rentals/Cleaning	Breens Inc.	06/28/22	12103	26.80
52-6040-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/05/22	12240	26.80
52-6040-40-4032	Uniform Rentals/Cleaning	Breens Inc.	07/19/22	12534	26.80



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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE  
EXP CHECK RUN DATES 08/08/2022 - 08/08/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
<hr/>					
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-50-5030	Telephone Land Line	Peerless Network, Inc.	06/15/22	532981	11.96
52-6040-50-5030	Telephone	Verizon Wireless	06/13/22	9909384607	30.32
					<hr/>
Total For Dept 6040 Sewer Operations					149.48
					<hr/>
Total For Fund 52 Sewer Fund					149.48
					<hr/>

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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE  
EXP CHECK RUN DATES 08/08/2022 - 08/08/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
<hr/>					
Fund Totals:					
Fund 10 General Fund					149,124.92
Fund 23 Hotel/Motel Tax Fund					8,120.08
Fund 31 Capital Improvements Fund					189,126.23
Fund 51 Water Fund					29,890.87
Fund 52 Sewer Fund					149.48
Total For All Funds:					<hr/> 376,411.58



## **TENTATIVE SETTLEMENT AGREEMENT**

July 12, 2022; [updated 7/28/22](#)

**AGREEMENT BETWEEN**  
**THE VILLAGE OF BURR RIDGE, ILLINOIS**  
**AND**  
**TEAMSTERS LOCAL 700**  
**May 1, ~~2019~~ [2022](#) through April 30, ~~2022~~ [2025](#)**

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## **PREAMBLE**

THIS AGREEMENT, entered into by the Village of Burr Ridge, Illinois (hereinafter referred to as the "Village" or the "Employer") and the TEAMSTERS LOCAL 700 (hereinafter referred to as the "Union") is in recognition of the Union's status as the representative of certain of the Village's full-time sworn peace officers and has as its intent to set forth the parties' entire agreement with respect to the rates of pay, hours of employment, fringe benefits, and other conditions of employment that will be in effect during the term of this Agreement for employees covered by this Agreement; to prevent interruptions of work and interference with the operations of the Village; to encourage and improve efficiency and productivity; to maintain the highest standards of personal integrity and conduct at all times; and to provide procedures for the prompt and peaceful adjustment of grievances as provided herein.

THEREFORE, in consideration of the mutual promises and agreements contained in this Agreement, the Village and the Union do mutually promise and agree as follows:



## ARTICLE I

### **RECOGNITION**

Section 1.1. Recognition. Pursuant to an election and certification by the Illinois Labor Relations Board in Case No. S-RC-[05-109](#), and the certification issued thereon to Teamsters Local 700 (hereinafter referred to as the “Union”), by the Illinois Labor Relations Board, the Village recognizes the Union as the sole and exclusive collective bargaining representative for all full-time sworn patrol officers below the rank of corporal employed by the Village (hereinafter referred to as “officers” or “employees”), but excluding all supervisory, managerial and confidential employees as defined by the Illinois Public Labor Relations Act (“Act”), including all sworn peace officers in the rank of corporal or above, any employees excluded from the definition of “peace officer” as defined in Section 3(k) of the Illinois Public Labor Relations Act, and all other employees of the Village.

Section 1.2. Fair Representation. The Union recognizes its responsibility as bargaining agent and agrees fairly to represent all employees in the bargaining unit, whether or not they are members of the Union.

Section 1.3. Union Stewards. For the purposes of this Agreement, the term “Union Stewards” shall refer to the Union’s locally elected representatives. The Union shall immediately inform the Police Chief in writing of the names of such stewards upon their election, as well as immediately inform the Police Chief in writing of any subsequent changes thereto.

Section 1.4. Gender. Unless the context clearly indicates otherwise wherever the male gender or female gender is used in this Agreement, it shall be construed to include both males and females equally.

## ARTICLE II

### **MANAGEMENT- RIGHTS**

Section 2.1. Management Rights. Except as expressly limited by the express provisions of this Agreement, the Village retains all traditional rights to manage and direct the affairs of the Village in all of its various aspects and to manage and direct its employees, including but not limited to the right to make and implement decisions with respect to the following matters without having to negotiate over such decisions or the effects of such decisions: to establish, plan, direct, control and determine the budget and all the operations, services, and missions of the Village; to supervise and direct the working forces; to establish the qualifications for employment and to employ employees; to schedule and assign work, to assign overtime; to transfer and reassign employees; to establish work and productivity standards and, from time to time, to change those standards; to contract out for goods and services; to determine the methods, means, organization and number of personnel by which departmental services shall be provided or purchased; to make, alter and enforce reasonable rules, regulations, orders, policies and procedures; to evaluate employees; to establish performance standards for employees; to change or eliminate existing methods, equipment or facilities and to introduce new equipment or facilities or introduce ones; to determine training needs and assign employees to training; to determine work hours (shift hours); to determine internal investigation procedures; to determine whether work and/or services are to be provided by employees covered by this Agreement (including which employees) or by other employees or persons not covered by this Agreement; to discipline, suspend and/or discharge non-probationary employees for just cause in accordance with the applicable provisions of the Illinois Municipal Code (probationary employees without cause); and to relieve or lay off employees.

The Village shall also have the right to take any and all actions as may be necessary to carry out the mission of the Village and the Police Department in the event of civil emergency as may be declared by the Village President, the Village Administrator, Police Chief or their authorized designees, which may include, but are not limited to, riots, civil disorders, tornado conditions, floods or other catastrophes or other emergencies. In the event of such emergency action, the provisions of this Agreement, other than the compensation provisions, may be suspended, provided that all the provisions of this Agreement shall be immediately reinstated once the local disaster or emergency condition ceases to exist.



## ARTICLE III

### UNION RIGHTS

Section 3.1. Dues Deductions. Upon receipt of proper written authorization from an employee, the Village shall deduct each month's Union dues in the amount certified by the Treasurer of the Union from the pay of all officers covered by this Agreement who, in writing, authorize such deductions. Such money shall be submitted to Teamsters Local 700 within fifteen (15) days after the deductions have been made.

Section 3.2. Revocation of Dues. An employee desiring to revoke the dues check off may do so by written notice to the Village and the Union at any time upon thirty (30) days' notice.

Teamsters Local 700 agrees to assume full responsibility to insure full compliance with the requirements laid down by the United States Supreme Court in Chicago Teachers Union v. Hudson, 106 U.S. 1066 (1986), with respect to the constitutional rights of fair share fee payers. Accordingly, Teamsters Local 700 agrees to do the following:

1. Give timely notice to fair share fee payers of the amount of the fee and an explanation of the basis for the fee, including the major categories of expenses, as well as verification of same by an independent auditor.
2. Advise fair share fee payers of an expeditious and impartial decision-making process whereby fair share fee payers can object to the amount of the fair share fee.
3. Place the amount reasonably in dispute into an escrow account pending resolution of any objections raised by fair share fee payers to the amount of the fair share fee.

It is specifically agreed that any dispute concerning the amount of the fair share fee and/or the responsibilities of Teamsters Local 700 with respect to fair share fee payers as set forth above shall not be subject to the grievance and arbitration procedure set forth in this Agreement.

Non-members who object to this fair share fee based upon bona fide religious tenets or teachings shall pay an amount equal to such fair share fee to a non-religious charitable organization mutually agreed upon by the employee and the Union. If the affected non-member and the Union are unable to reach agreement on the organization, the organization shall be selected by the affected non-member from an approved list of charitable organizations established by the Illinois Labor Relations Board and the payment shall be made to said organization.

Section 3.3. Indemnity. The Union hereby indemnifies and agrees to save the Village harmless against any and all claims, demands, suits or other forms of liability that may arise out of, or by reason of, any action taken or not taken by the Village for the purpose of complying with the provisions of this Article, and shall reimburse the Village for all legal costs that shall arise out of, or by reason of, action taken or not taken by the Village in compliance with the provisions of this Article.

Section 3.4. Labor-Management Committee. At the request of either party, the designated Union Steward and the Police Chief or their designees shall meet at least twice a year to discuss matters of mutual concern that do not involve negotiations. The designated Union Steward may invite other bargaining unit members (not to exceed two) to attend such meetings. The Police Chief may invite other Village representatives (not to exceed two) to attend such

meetings, unless otherwise agreed to in a specific instance. The party requesting the meeting shall submit a written agenda of the items it wishes to discuss at least seven (7) days prior to the date of the meeting. Such meetings shall be limited to:

1. Discussion on the implementation and general administration of this Agreement;
2. A sharing of general information of interest to the parties; and
3. Safety issues.

It is expressly understood and agreed that such meetings shall be exclusive of the grievance procedure. Specific grievances being processed under the grievance procedure shall not be considered at "labor-management meetings." Nor shall such meetings be used for purpose of seeking to negotiate changes to the terms of this Agreement.

Attendance at labor-management meetings shall be voluntary on the employee's part. Attendance at such meetings shall not interfere with required duty time. Attendance during duty time will be permitted only upon the prior approval of the Chief of Police or designee.

Section 3.5. Bulletin Board. The Village will make available bulletin board space on one (1) of the visible and accessible bulletin boards in the Squad room for the posting of official Union notices and information of a non-political and non-inflammatory nature. The Union will limit the posting of Union notices to said bulletin board.



## ARTICLE IV

### **FIRE AND POLICE COMMISSION**

Section 4.1. Fire and Police Commission. The parties recognize that the Village of Burr Ridge Fire and Police Commission has certain statutory authority over employees covered by this Agreement, including but not limited to the right to make, alter, and enforce rules and regulations and impose disciplinary sanctions. Nothing in this Agreement is intended in any way to replace or diminish any such authority, except as expressly provide in Section 6.11 (Suspension and Termination).

## ARTICLE V

### HOURS OF WORK AND OVERTIME

Section 5.1. Application of Article. This Article is intended only as a basis of calculating overtime payments, and nothing in this Agreement shall be construed as a guarantee of hours of work per day, week, tour of duty, work period or year.

Section 5.2. Normal Workday. ~~The normal workday shall consist of eight hours, including a 30 minute paid meal period, scheduled by the employee's immediate supervisor sometime between the third and fifth hour of the shift. This meal period shall be considered out of service time during which the employee will be subject only to emergency calls. Employees will be allowed to take two (2) breaks of fifteen (15) minutes duration each, with one break during the first four six (46) hours of a tour of duty, and one break during the second four six (46) hours of a tour of duty. Employees on break shall remain available for any and all calls for service and respond accordingly.~~ The normal workday shall consist of twelve (12) hours, including a 45-minute paid meal period, generally scheduled by the Village to occur sometime between the third and eighth hour of the shift. This meal period shall be considered out of service time during which the employee will be subject only to emergency calls. Employees will be allowed to take two (2) breaks of fifteen (15) minutes duration each, with one break during the first six (6) four (4) hours of a tour of duty, one break during the second six (6) four (4) hours of a tour of duty. Employees on break shall remain available for any and all calls for service and respond accordingly.

Unless the parties mutually agree otherwise, the shifts, workdays and hours to which employees are assigned shall be based upon the departmental schedule currently in effect,~~the departmental rotating shift schedule that was in effect immediately prior to the effective date of this 2017-2019 collective bargaining agreement.~~

While it is recognized that it may be necessary to change an employee's shift for such reasons as the need to rebalance shifts due to retirements or for other operational reasons, once an employee's shift schedule has been assigned, an employee's assigned shift will not be changed solely to avoid the payment of overtime. Notwithstanding any other provision of this Agreement, officers assigned to investigations or administration may be assigned to an eight- or ten-hour regular workday, as determined by the Police Chief or the Chiefs designee, in which case the affected sergeant shall be paid overtime for hours worked in excess of their regular workday and shall be ineligible for a Kelly day.

Section 5.3. Normal Work Cycle. The normal work cycle under Section 7K of the Federal Fair Labor Standards Act shall be 28 days.

Section 5.4. Shift Exchanges. An employee shall be permitted to exchange shifts with another employee, subject to the approval of the Chief of Police or designee, and subject to the following provisions:

1. The change does not result in additional overtime compensation being paid to any of the employees involved in the shift exchange.
2. The vacation picks of employees changing shifts will be limited to the days previously picked by the other employee and/or on days on the new shift where there is an open slot.



Section 5.5. Overtime Pay. ~~An employee shall be paid 1-1/2 times the regular straight-time hourly rate of pay for all hours worked, in increments of no less than one-half of an hour, as long as the employee works fifteen (15) minutes or more in each half-hour increment, in excess of 8-12 hours in an employee's normal workday. No overtime shall be worked or paid without the prior authorization of the employee's immediate supervisor. For the purposes of this Section, an employee's normal workday shall be deemed to be the 24-hour period commencing with the start of the employee's shift. Employees will also receive overtime pay in compliance with the FLSA in terms of hours worked in excess of a forty (40) hour work week. An employee shall be paid 1-1/2 times the regular straight-time hourly rate of pay for all hours worked, in increments of no less than one-half of an hour, as long as the employee works fifteen (15) minutes or more in each half-hour increment, in excess of twelve (12) hours in an employee's normal workday. An employee shall be paid 1-1/2 times the regular straight-time hourly rate of pay for all hours worked, in increments of no less than one-half of an hour, as long as the employee works fifteen (15) minutes or more in each half-hour increment, in excess of eight (8) hours when the affected employee works their (8) eight-hour Kelly day. No overtime shall be worked or paid without the prior authorization of the employee's immediate supervisor. For the purposes of this Section, an employee's normal workday shall be deemed to be the 24-hour period commencing with the start of the employee's shift.~~

Section 5.6. Compensatory Time. During a fiscal year beginning May 1, an employee shall have the option of accruing up to a maximum of forty-eight (48) hours of compensatory time in lieu of overtime pay. Use of accumulated compensatory time shall be at times mutually agreed upon by the employee and the Police Chief or his designee.

If accrued compensatory time is not used by the end of the fiscal year, it will be paid off at the employee's straight time hourly rate of pay as of the last day of the fiscal year, except an officer may carryover up to twenty-four (24) hours of compensatory time from one fiscal year to the next. Any unused compensatory time that an employee has at time of separation from Village employment (including retirement) shall be paid off at the employee's straight time hourly rate of pay as of the employee's last day of employment.

Section 5.7. Court Time. Effective upon execution of this Agreement, employees who are required to make court appearances on behalf of the Village during off-duty hours that they are not scheduled to work will receive a minimum guarantee of ~~two (2)~~ three (3) hours pay at time and one half for each such appearance, except that the minimum shall be three (3) hours at time and one half for misdemeanor and/or felony court appearances in Wheaton, Illinois. Employees who are required to make a virtual court appearance on behalf of the Village during off-duty hours that they are not scheduled to work will receive a minimum guarantee of two (2) hours pay at time and one-half for each such appearance. In the event of a virtual court appearance, and the affected officer is not on-duty, such appearance may take place at the officer's convenience. The officer will be required to dress appropriately for that appearance.

If an employee is required to call in to inquire about the status of a court call where the employee may be asked to appear, the employee shall receive a minimum guarantee of two hours straight time pay if the employee's appearance is not required.

The foregoing minimum guarantees shall not apply if court time continuously precedes or follows an employee's working hours, either regularly scheduled or overtime, in which case the employee will be paid only for actual hours worked.

Section 5.8. Overtime Assignments. The Chief of Police or the Chiefs designee(s) shall have the right to require overtime work and employees may not refuse overtime assignments. The

opportunity to work posted overtime will be distributed as equitably as practicable among employees per the current practice of first come, first served basis. In addition, notwithstanding the above, the Village retains the right to assign specific individuals to perform specific overtime assignments due to their qualifications or to complete work in progress. If an employee establishes that he/she has not received an overtime opportunity he/she should have, such employee may have first preference for the next overtime assignment.

No officer shall be required to work overtime for a ~~corporal~~ or sergeant unless all ~~corporals~~ and sergeants are unavailable to work.

Section 5.9. Meetings and Departmental Training.

- (a) Meetings. Any employees required to be at an all-employee departmental meeting during off duty hours shall be compensated for actual time of attendance at said meeting with a minimum of two (2) hours pay at the applicable rate of pay.
- (b) Departmental Training. From time to time the Village may require and schedule in-service and state-mandated training. Absent mutual agreement or where there is a need for remedial training, when it is necessary to change or modify an employee's schedule to accommodate either in-service or state-mandated training, an officer will be provided with at least thirty (30) days advance notice. Unless there is mutual agreement, the Village will not cancel previously approved time off requests.

Section 5.10. Call Back Pay. A call-back is defined as an official assignment of work that does not continuously precede or follow an officer's scheduled working hours and involves the officer returning to work after the officer has worked a shift. A call-back shall be compensated at one and one-half (1 1/2) times an employee's regular straight-time hourly rate of pay for all hours worked on call-back, with a guarantee of not less than two (2) hours work or two (2) hours pay, whichever is applicable.

Section 5.11. No Pyramiding. Compensation shall not be paid more than once or compensatory time taken for the same hours under any provisions of this Article or Agreement.



## ARTICLE VI

### **GRIEVANCE PROCEDURE**

**Section 6.1. Definition.** A “grievance” is defined as a dispute or difference of opinion concerning the interpretation or application of the express provisions of this Agreement raised by an employee (or by the Union pursuant to Section 6.7 of this Agreement) against the Village involving an alleged violation or misapplication of an express provision of this Agreement.

**Section 6.2. Procedure.** The parties acknowledge that it is usually most desirable for an employee and his immediate supervisor to resolve problems through free and informal communications. If, however, the informal process does not resolve the matter, the grievance will be processed as follows:

- Step 1: Any employee who has a grievance shall submit the grievance in writing to the employee’s shift commander. The grievance shall contain a full statement of all relevant facts, the provision or provisions of this Agreement which are alleged to have been violated, and the relief requested. To be timely, the grievance must be presented no later than ten (10) calendar days after the first act or event that is the basis of the grievance or ten (10) calendar days after the employee, through the use of reasonable diligence, should have had knowledge of the first act or event that is the basis of the grievance. The shift commander shall respond to the grievance in writing within ten (10) calendar days.
- Step 2: If the grievance is not satisfactorily settled in Step 1, it may be appealed in writing to the Chief, or the Chiefs designee, within seven (7) calendar days after a decision was rendered by the immediate supervisor in Step 1. Within ten (10) calendar days after presentation of the written grievance to the Chief, the Chief, or the Chiefs designee, shall provide a written response.
- Step 3: If the grievance is not settled in Step 2, the written grievance shall be presented by the Union Steward and/or other Union representative to the Village Administrator, or the Village Administrator’s designee, not later than ten (10) calendar days after the Chief of Police, or the Chiefs designee, replies to the grievance. The Village Administrator or the Village Administrator’s designee shall make such investigation of the facts and circumstances as he/she, deems necessary, and may meet with the employee and/or the Union Steward and/or other Union representative. The Village Administrator or the Village Administrator’s designee will give a written answer to the grievance within ten (10) calendar days after the date of the meeting to the Union and the employee, or, if there is no meeting, within fourteen (14) calendar days after the date the grievance was received by the Village Administrator, or the Village Administrator’s designee.

**Section 6.3. Arbitration.** A grievance not settled in Step 3 may be appealed by the Union to arbitration by serving on the Village, not later than twenty-one (21) calendar days after the date of the reply of the Village Administrator or the Village Administrator’s designee, a written request to arbitrate. If the parties fail to agree within fifteen (15) days after receipt of the written request to arbitrate upon an arbitrator to hear the grievance, they shall request the Federal Mediation and Conciliation Service (“FMCS”) to submit a panel of seven (7) proposed arbitrators. The parties agree to request the FMCS to limit the panel to members of the National Academy of Arbitrators who reside in Illinois, Wisconsin, or Indiana. Each party may strike one (1) panel in its entirety

and request that a new panel be submitted. The parties shall select the arbitrator by alternately striking a name until one (1) name remains, who shall be the arbitrator. The party requesting arbitration shall strike the first name.

Section 6.4. Arbitrator's Authority. The arbitrator shall consider and decide only the questions of fact raised by the grievance, as originally submitted at Step 1, and confirmed in writing at Step 2, as to whether there has been a violation, misinterpretation or misapplication of the express provisions of this Agreement. The arbitrator shall have no power or authority to render a decision (1) contrary to the express provisions of this Agreement or (2) restricting, limiting or interfering in any manner with the powers, duties or responsibilities granted to or imposed on the Village or the Village Fire and Police Commission under this Agreement, applicable law or public policy. The arbitrator shall not have the power to amend, delete, add to or change in any way any of the terms of this Agreement or to impair, minimize or reduce any of the rights reserved to management under the terms of Article II or other terms of this Agreement, either directly or indirectly, nor shall the arbitrator have the power to substitute the arbitrator's discretion for that of management. In addition, the arbitrator shall have no authority to impose upon any party any obligation not provided for explicitly in this Agreement, or to issue any decision or propose any remedy which is retroactive beyond the period specified in Step 1 of this grievance procedure. Any decision or award of the arbitrator rendered within the limitations of this Section 6.4 shall be binding upon the Union, the employee and the Village.

Section 6.5. Time Limits. If a decision is not rendered by the Village within the time limits provided for in this grievance procedure, the aggrieved employee, or the Union, may elect to treat the grievance as denied at that step and immediately appeal the grievance to the next step as provided above. If at any step the aggrieved employee or the Union does not submit the grievance or appeal the Village's decision in the manner and time limits provided for in the grievance procedure, the grievance shall be considered settled on the basis of the last decision of the Village without any further appeal or reconsideration. The time limits at any level of the grievance procedure may be extended by mutual written agreement between the Union and the Village. In addition, the Union and the Village may mutually agree to skip a step or steps of the grievance procedure, in writing, in a specific instance.

Section 6.6. Decision and Fee. The decision of the arbitrator, within the limits prescribed in this Article VI, shall be binding on all parties to the grievance, including the Village, the Union and the aggrieved employee. The fee and expenses of the arbitrator shall be borne equally by the Village and the Union; provided, however, that each party shall be responsible for compensating its own representatives and witnesses.

Section 6.7. Union Grievance. If the Union believes that the Village has violated a specific provision of this Agreement that concerns a specific Union right (e.g., dues check off, bulletin board, etc.), the Union may file a grievance on its own behalf in accordance with the provisions set forth in this Article.

Section 6.8. Rights. No settlement or agreement shall be binding on the Union unless the Union has had the opportunity to be present and agree to such settlement. It is acknowledged that the Union has the right to exercise its discretion to refuse to process an employee grievance that the Union believes is not meritorious.

Section 6.9. Aggrieved Employee. An employee who files a grievance must have a direct interest in the grievance in that the outcome of the grievance directly affects the employee's



own wages, hours or work conditions as set out and determined by the provisions of this Agreement. Each grievance shall be considered a separate matter and shall be handled separately and distinctly. Separate grievances shall not be arbitrated together, except by mutual written agreement of the Village and the Union.

Section 6.10. Miscellaneous. No member of the bargaining unit serving as an Officer-In-Charge (OIC) shall have any authority to respond on behalf of the Village to a grievance being processed in accordance with the grievance procedure set forth in this Article. Moreover, no action, statement, agreement, settlement, or representation made by any member of the bargaining unit shall impose any obligation or duty or be considered to be authorized by or binding upon the Village unless and until the Village has agreed thereto in writing.

Section 6.11. Suspension or Termination.

The parties agree that the Chief of Police (or the Chiefs designee shall have the right to suspend a non-probationary officer for up to thirty (30) days or dismiss the non-probationary officer for just cause, without filing charges with the Village Board of Fire and Police Commissioners. The decision of the Police Chief or the Chiefs designee with respect to the suspension or dismissal action shall be deemed final, subject only to the review of said decision through the grievance and arbitration procedure, provided a grievance is filed in writing within ten (10) calendar days after such discipline is imposed. The sole recourse for appealing any such decision by the Chief of Police shall be for the employee to file a grievance as described herein.

If the employee elects to file a grievance as to his or her suspension or dismissal, the grievance shall be processed in accordance with Article VI of this Agreement, except that it shall be filed at Step 3 of the procedure. If the grievance proceeds to arbitration and the arbitrator determines that the disciplinary action was not supported by just cause the arbitrator shall have the authority to rescind or to modify the disciplinary action and order back pay, or a portion thereof. No relief shall be available from the Board of Fire and Police Commissioners with respect to any matter which is subject to the grievance and arbitration procedure set forth in Article 6 of the Agreement. Any appeal of an arbitrator's award shall be in accordance with the provisions of the Uniform Arbitration Act as provided by Section 8 of the IPLRA.

Pursuant to section 15 of the IPLRA and 65 ILCS 10-2.1-17, the foregoing provision with respect to the appeal and review of suspension or discharge decisions shall be in lieu of, and shall expressly supersede and preempt, any provisions that might otherwise be contained in the Rules and Regulations of the Village Board of Fire and Police Commissioners.

Discipline of probationary officers, as well as any verbal warnings, written reprimands, written warnings or other discipline not involving an unpaid suspension or dismissal shall not be subject to the grievance and arbitration procedure.

## **ARTICLE VII**

### **NO STRIKE CLAUSE**

Section 7.1. No Strike. Neither the Union nor any of its officers or agents or any employee will instigate, promote, sponsor, engage in, or condone any strike, sympathy strike, secondary boycott, slow-down, speed-up, concerted stoppage of work, concerted refusal to perform overtime or other work, concerted, abnormal or unapproved enforcement procedures or policies, work-to-the-rule situation, mass resignations, mass absenteeism, picketing or any other interruption or disruption of the operations of the Village, regardless of the reason for doing so. Each employee who holds the position of officer or steward of the Union occupies a position of special trust and responsibility in maintaining and bringing about compliance with the provisions of this Article. In addition, in the event of a violation of this Section of this Article, the Union agrees to inform its members of their obligation under this Agreement and to direct them to return to work.

Section 7.2. No Lockout. The Village will not lock out any employees during the term of this Agreement as a result of a labor dispute with the Union.

Section 7.3. Judicial Restraint. Nothing contained herein shall preclude the Village or the Union from obtaining judicial restraint and damages in the event the other party violates this Article.

Section 7.4. Discipline of Strikers. Any employee who violates the provisions of Section 7.1 of this Article shall be subject to disciplinary action. Any disciplinary action taken by the Village against any officer who participates in any action prohibited by Section 7.1 shall not be considered as a violation of this Agreement and shall not be subject to the provisions of the grievance and arbitration procedure set forth in this Agreement, except the issue of whether a covered member in fact participated in a prohibited action shall be to the grievance and arbitration process, except as denoted in this Agreement. Nothing in this Section is intended to interfere with the statutory jurisdiction and authority of the Burr Ridge Board of Fire and Police Commissioners.



## ARTICLE VIII

### HOLIDAYS

Section 8.1. Holidays. The following ~~six-eight~~ (68) listed holidays are the recognized holidays for purposes of this Article. Employees may be scheduled to work on the holidays.

New Year's Day  
Martin Luther King Day  
Memorial Day  
July 4th  
Labor Day  
Veteran's Day  
Thanksgiving Day  
Christmas

If an employee is not scheduled to work on any of the forgoing ~~six-eight~~ (68) holidays, the employee shall receive ~~8~~ eight (8), ten (10), or twelve (12) hours pay at the employee's regular straight time hourly rate of pay depending on the corresponding shift to which the employee is normally assigned to work. If the employee works any of said holidays, the employee will be paid ~~two-one~~ hours of holiday pay for each hour worked on said holidays, in addition to ~~his-their~~ regular pay for the holiday in question. Employees shall receive hourly pay of holidays on which they were scheduled to work.

Employees will also receive ~~four-six~~ (46) hours of compensatory time for Christmas Eve and ~~four-six~~ (46) hours of compensatory time for New Year's Eve, said compensatory time to be used between December 23 and the following April 30, and scheduled and approved in advance by the Chief or the Chief's designee.

Section 8.2. Personal Days-Time. In addition, in lieu of additional holidays, each January 1 employees shall receive ~~five (5) personal days~~ 40 hours Personal Time to be scheduled at times approved by the Chief or the Chief's designee. New employees after ninety (90) days of employment shall receive personal days in accordance with the following schedule:

<u>Date Employed</u>	<u>Number of Personal Days</u>
Between January 1 and April 30	<del>Five (5)</del> <u>40 hours</u>
Between May 1 and August 31	<del>Three (3)</del> <u>24 hours</u>
Between September 1 and November 30	<del>Two (2)</del> <u>16 hours</u>
Between December 1 and December 31	None

A personal day must be scheduled and approved in advance by the Chief or the Chief's designee. The Chief or his designee will make a good faith effort to respond to timely requests for personal leave within five (5) calendar days of receipt. Personal days do not accumulate and any personal days not used during the calendar year or prior to the date of termination shall be forfeited.

## ARTICLE IX

### VACATIONS

Section 9.1. Eligibility and Allowances. All employees shall be eligible to receive ~~one~~ two (12) weeks 80 hours of paid vacation after ~~completion of six one (61) months of continuous service~~ successful completion of field training in a bargaining unit position. Thereafter, employees will be eligible to receive paid vacation as of the start of ~~the each~~ calendar year as well as increases in paid vacation following the employee's ~~first designated anniversary of~~ continuous service anniversaries in a bargaining unit position based on the following schedule:

Length of Continuous Service

Amount of Vacation

~~After 1 year~~

~~Two (2) weeks 80 hours~~

After 5 years

~~Three (3) weeks~~ 120 hours

After 10 years

~~Four (4) weeks~~ 160 hours

After 17 years

~~Five (5) weeks~~ 200 hours

Up to a maximum of forty (40) hours of accrued vacation may be carried over by an employee from one calendar year to the next.

Section 9.2. Vacation Pay. The rate of vacation pay shall be the employee's regular straight-time rate of pay in effect on the payday immediately preceding the employee's vacation. Employees will be paid their vacation pay as part of their regular paycheck for the period in which that vacation is taken.

Section 9.3. Vacation Scheduling. All vacation schedules shall be arranged in advance and approved by the Chief of Police or designee. On each shift, up to two (2) ~~weeks of~~ vacation requests will be granted by departmental seniority if ~~it is~~ requested prior to March 1. After March 1, vacations will be granted on a "first come, first served" basis. Requests for vacation time off in excess of ~~two (2) weeks 14 consecutive calendar days~~ must receive the prior approval of the Village Administrator. For the purposes of this section, a vacation request is defined as up to five (5) consecutive work shifts.

Notwithstanding the foregoing, it is expressly understood that the final right to designate vacation periods and the maximum number of employee(s) who may be on vacation at any time is exclusively reserved by the Chief of Police in order to insure the orderly performance of the services provided by the Village.

Section 9.4. Vacation Pay Upon Termination. Upon separation from employment, employees will be paid for unused vacation days provided at least ~~two (2) weeks' fourteen (14) calendar days'~~ notice is provided to the Village.

Section 9.5. Accumulation. Vacation credit shall not be accumulated during any layoff period or during any unpaid leave of absence.

Section 9.6. Village Emergency. In the case of an emergency, the Village Administrator or Police Chief may cancel and reschedule any or all approved vacation leaves in advance of their being taken, and/or recall any employee from vacation in progress.



## ARTICLE X

### **SENIORITY, LAYOFFS AND RECALLS**

**Section 10.1. Seniority.** Unless stated otherwise in this Agreement, seniority for the purpose of this Agreement shall be defined as a police officer's length of continuous full-time service in rank with the Village since the officer's last date of hire as a police officer in rank. Seniority shall not include periods of unpaid leave time in excess of thirty (30) days.

**Section 10.2. Probationary Period.** The probationary period shall be eighteen (18) months in duration from the first day of employment or date of graduation from the Police Academy, whichever is later. The probationary period may be extended by the Village in its sole discretion for a period not to exceed an additional six (6) months. Time absent from duty in excess of thirty (30) calendar days annually shall not apply towards satisfaction of the probationary period. During the probationary period, an officer is subject to discipline, including discharge, without cause and with no recourse to the grievance procedure or any other forum. Otherwise, probationary employees shall be covered by the provisions of this Agreement.

**Section 10.3. Layoffs.** Where there is an impending layoff of employees covered by this Agreement; the Village shall give both the Union and the affected employees at least thirty (30) days' notice of the effective date of the layoff. The Union will be provided with the names of the employees to be laid off. Probationary employees, temporary and part-time employees shall be laid off first, then non-probationary employees shall be laid off in accordance with their seniority as defined in Section 1 of this Article.

No new employees will be hired to perform those duties normally performed by an officer while any bargaining unit employee is on layoff status with recall rights.

**Section 10.4. Recall.** Employees who are laid off shall be placed on a recall list for a period of two (2) years or the employee's length of service, whichever is less. If there is a recall, employees who are still on the recall list shall be recalled, in the inverse order of their layoff. Employees who are eligible for recall shall be given fourteen (14) calendar days' notice of recall and notice of recall shall be by certified or registered mail with a copy to the Union, provided that the employee must notify the Chief of Police or the Chief's designee of the employee's intention to return to work within seven (7) calendar days after receiving notice of recall. The Village shall be deemed to have fulfilled its obligations by mailing the recall notice by certified or registered mail, to the mailing address last provided by the employee, it being the obligation and responsibility of the employee to provide the Chief of Police or the Chief's designee with the latest mailing address. If an employee fails to respond in a timely manner to a recall notice, the employee's name shall be removed from the recall list.

**Section 10.5. Effects of Layoff.** During the period of time that non-probationary employees have recall rights as specified above, the following provisions shall be applicable to any non-probationary employees who are laid off by the Village:

1. An employee shall be paid for any earned but unused vacation days, and any compensatory time which was earned in lieu of overtime pay.
2. An employee shall have the right to maintain insurance coverage by paying in advance the full applicable monthly premium for single and, if desired, family coverage.

3. If an employee is recalled, the amount of accumulated sick leave days that the employee had as of the effective date of the layoff shall be restored.
4. Upon recall, the employee's seniority shall be adjusted by the length of the layoff.

Section 10.6. Posting of Seniority List. The Village agrees to post annually a list covering the names of officers who are covered by this Agreement, in order of seniority from last date of hire in a position covered by this Agreement. The Village shall not be responsible for any errors in the seniority list unless such errors are brought to the attention of the Village in writing within fourteen (14) calendar days after the Union's receipt of the list.

Section 10.7. Termination of Seniority. Seniority and the employment relationship shall be terminated for all purposes, if the employee:

- (a) quits;
- (b) is discharged;
- (c) voluntarily retires (or is retired should the Village adopt and implement a legal mandatory retirement age);
- (d) fails to report to work at the conclusion of an unauthorized leave or vacation, unless there are proven extenuating circumstances beyond the employee's control which prevent timely notification and return;
- (e) is laid off and fails to notify the Police Chief or his designee of his intention to return to work within three (3) calendar days after receiving notice of recall or seven (7) calendar days from the date of the mailing of the notice, whichever is less, or fails to return to work within fourteen (14) calendar days after his/her notification of intent to return to work or such further date that the Village sets for the employee's return to work;
- (f) is laid off for a period in excess of two (2) years, or the employee's length of service, whichever is less;
- (g) does not perform work for the Village for a period in excess of one (1) year, provided, however, this provision shall not be applicable to absences due to military service, established work related injury compensable under workers' compensation, disability pension, or a layoff where the employee has recall rights; or
- (h) is absent for two (2) consecutive working days without authorization unless there are proven extenuating circumstances beyond the employee's control that prevent notification.

Nothing in this Section is intended to interfere with the statutory jurisdiction and authority of the Burr Ridge Board of Fire and Police Commissioners.



## ARTICLE XI

### SICK LEAVE

Section 11.1. Sick Leave. ~~Effective January 1, 2003, during the first year of employment an employee will start earning sick leave at the start of the third full month of employment and will be eligible to earn a total of ten (10) sick leave days during the first year of employment. Commencing with the first month of the second year of employment and each year thereafter, at the start of each of first ten months of the year in question an employee will earn one sick leave day per month, i.e., a total of ten (10) sick leave days per year. Bargaining unit employees shall earn sick leave at the rate of 3.077 hours per pay period, in accordance with the applicable provision of the Village Personnel Manual.~~

~~Example: An employee whose first day of employment is February 13, 2003, will start earning sick leave as of May 1, 2003 and will earn a total of ten sick leave days during his/her first year of employment. Commencing March 1, 2004, and on March 1 of each succeeding year, such employee will earn one sick leave day for each of the ten consecutive months from March through December. No sick leave days will be earned on either January 1 or February 1.~~

Section 11.2. Use of Sick Leave Days-Time. Sick leave ~~days~~ may only be used if the employee is sick. In addition, the employees covered by this agreement may use "personal sick leave benefits" provided by the employer for absences due to an illness, injury or medical appointment of the employee's child, spouse, sibling, parent, mother-in-law, father-in-law, grandchild, grandparent, or stepparent. In the event an employee is unable to work due to the use of sick leave, the employee must inform the Police Chief or designee prior to the start of the scheduled work day. Failure to inform the Police Chief or designee supervisor each day of absence, or agreed intervals in the case of an extended illness, will result in loss of pay. An employee leaving the employ of the Village for any reason shall not be entitled to any compensation for any accumulated but unused sick leave days.

In a case of very serious or prolonged illness or for family leave, an employee who uses all accumulated sick leave shall use all accumulated vacation and/or other paid time off for sick leave purposes before being removed from full-pay status. The time on leave for a prolonged personal illness may not exceed six months, unless an exception is made by the Village Administrator. Upon exhaustion of the above benefits, the employee may apply for eligible disability benefits.

The Village retains the right to take corrective steps to deal with abuse of sick leave or if an employee has prolonged and/or frequent and regular absences which hinder the carrying out of their responsibilities. Such corrective steps may include medical consultations, informal or formal disciplinary action, including dismissal.

## ARTICLE XII

### **ADDITIONAL LEAVES OF ABSENCE**

**Section 12.1. Discretionary Leaves.** The Village may grant, in its sole discretion, a leave of absence under this Article to any bargaining unit employee. The Village shall set the terms and conditions of the leave, including whether or not the leave is to be with or without pay and/or with or without benefits. All requests for such leave must be submitted in writing by the employee via his/her department head to the Village Administrator. Such leave will be granted only when it is not detrimental to the best interests of the Village.

**Section 12.2. Application for Leave.** Any request for a leave of absence shall be submitted in writing by the employee to the Police Chief or the Chief's designee as far in advance as practicable. The request shall state the reason for the leave of absence and the approximate length of time off the employee desires. Authorization for a leave of absence shall, if granted, be furnished to the employee by the Police Chief or the Chief's designee and shall be in writing.

**Section 12.3. Jury Duty.** An employee who is required to report for jury duty shall be excused from work without loss of pay for the period of time which the employee is required to be away from work and during which the employee would have otherwise been scheduled to work.

An employee shall notify the Police Chief or the Chief's designee if the employee is required to report for jury duty. In order to be compensated for performing jury duty, an employee must sign over to the Village any check received for performance of such jury duty, excluding any reimbursement for travel expenses.

**Section 12.4. Funeral Leave.** In the event of a death of a member of the immediate family of an employee or his/her spouse, the employee will be granted up to ~~three (3) days~~twenty-four (24) hours off with pay to attend the funeral. For the purposes of this Section, immediate family shall be defined as the husband/wife, son/daughter, step son/step daughter, mother/father, mother-in-law/father-in-law, sister/brother, grandmother/grandfather of the employee and/or the employee's spouse. The Village retains the right to require proof of the funeral and the employee's attendance at the funeral.

**Section 12.5. Benefits While On Unpaid Leave.** Upon the employee's return, the Village will place the employee in the employee's previous job if the job is vacant; if the job is not vacant, the employee will be placed in the first available opening in the employee's classification according to the employee's seniority. If, upon expiration of the leave of absence, there is no work available for the employee or if the employee would have been laid off according to the employee's seniority except for the employee's leave, the employee shall go directly on layoff. During the approved leave of absence or layoff under this Agreement, the employee shall be entitled to continuation or conversion coverage under applicable group medical (pursuant to COBRA) and life insurance plans to the extent provided in such plans, provided the employee makes arrangements for the change and arrangements to pay the entire insurance premiums involved, and any additional surcharges as allowed by law, including the amount of premium previously paid by the Village.

**Section 12.6. Non-Employment Elsewhere.** A leave of absence will not be granted to enable an employee to try for or accept employment elsewhere or for self-employment. Employees who engage in employment elsewhere during such leave may be subject to immediate discipline, including without limitation discharge.



Section 12.7. Military Leave. Military leaves will be granted in accordance with applicable laws.

Section 12.8. Family Medical Leave Act. The Village agrees to abide by the provisions of the Family and Medical Leave Act of 1993, as amended from time to time. The parties agree that the Village may adopt policies to implement the Family and Medical Leave Act of 1993 as provided in the Act and the applicable rules and regulations issued thereunder. The parties further agree that the enforcement of this Section shall be as provided in said Act and shall not be subject to the grievance and arbitration procedure set forth in this Agreement.

## ARTICLE XIII

### WAGES AND ECONOMIC BENEFITS

Section 13.1. Wages. Effective upon execution of this Agreement, employees shall be paid in accordance with their placement on the salary schedule attached as Appendix B for ~~the 2019-20, 2020-2021 and 2021-2022 fiscal years.~~ fiscal years 2023, 2024 and, 2025, and 2026.

The May 1, ~~2019~~2022, wage increase shall be retroactive to May 1, ~~2019~~2022. The step increases shall be retroactive to May 1, ~~2019~~2022. Retroactive compensation shall be for all paid hours for employees who are presently employed as of the date the contract is ratified by both parties or who have retired or who have been promoted out of the bargaining unit since May 1, ~~2019~~2022.

Newly hired experienced officers may, at the Village's sole discretion, be placed above the starting pay rate on Appendix B. Such advanced placement shall not affect the probationary period or contractual seniority for new hire.

During the term of this Agreement, employees not at the top of the salary schedule shall be eligible to advance to the next step on the anniversary date of their employment as sworn police officers, provided further, it has been determined through the performance appraisal process that they have met departmental standards during the preceding year.

Section 13.2. Officer-In-Charge Pay. If an employee is assigned to serve as an Officer-In-Charge ("OIC") for a minimum of four (4) hours, the employee shall be paid ~~two~~one hours of pay at the employee's regular straight-time hourly rate of pay. ~~In addition, each employee assigned to serve as an OIC shall also receive a \$250 stipend for each three months of consecutive service (pro rata if assigned for less than a full three months) in good standing regardless of the number of hours worked as an OIC per three month period.. Three months shall be defined as 91 consecutive calendar days.~~

~~Section 13.2.~~Section 13.3. Detective Pay. If an employee is assigned to serve as a Detective, the employee shall be paid a stipend equal to ½ percent of their gross base annual salary for each three months of consecutive service (pro rate if assigned for less than a full three months) in good standing. Three months shall be defined as 91 consecutive calendar days.

~~Section 13.3.~~Section 13.4. Educational—Tuition Assistance Program. Employees covered by this Agreement shall be eligible to participate in any Educational—Tuition Assistance Program that the Village may have in effect from time to time on the same terms and conditions that are applicable to Village employees generally, ~~except commencing with the fiscal year beginning May 1, 2019,~~ the Village will reimburse an officer up to a maximum of \$4,000 under the Educational Assistance Program.

~~Section 13.4.~~Section 13.5. Mileage Reimbursement. When available, employees shall use Village vehicles for Village business. If, however, a Village vehicle is not available and an employee has received approval from the Police Chief or designee to use his/her personal vehicle, said employee shall receive mileage reimbursement at the rate per mile allowed by the Internal Revenue Service.

~~Section 13.5.~~Section 13.6. Deferred Compensation Plan. Employees covered by this Agreement shall be eligible to participate in any deferred compensation plan that the Village may



have in effect from time to time on the same terms and conditions that are applicable to Village employees generally.

~~Section 13.6.~~Section 13.7. Employee Anniversary Recognition Program. Employees shall receive a ~~savings bond~~cash bonus in the face amount of ~~\$1,000~~\$500.00 upon the anniversary of ~~each fifth their fifth, tenth, fifteenth, twentieth, and twenty-fifth (fifth, tenth, fifteenth, etc.)~~ year of continuous full-time employment as a Village employee. The Village shall make the bonus in the amount so that the employee receives not less than \$500.00 after applicable taxes are paid.

~~Section 13.7.~~Section 13.8. Retiree Bonus. An employee who retires pursuant to the provisions of the Village of Burr Ridge Police Pension Plan at age ~~51~~50 or older with at least twenty (20) years of service as a Burr Ridge police officer shall receive a retirement bonus of \$5,000.

~~Section 13.8.~~Section 13.9. Field Training Officer Pay. Effective upon execution of this Agreement, any officer assigned to function as a Field Training Officer for a given regular work shift shall receive ~~one (1)~~two (2) hours of additional pay, at straight time.

~~Section 13.9.~~Section 13.10. NIPAS Stand-By. Covered members who are placed on Stand-By status for NIPAS will receive two (2) hours~~one (1) hour~~ of straight time pay for each Stand-By placement.

## ARTICLE XIV

### **UNIFORMS AND EQUIPMENT**

Section 14.1. Uniforms and Equipment. Upon being hired by the Village, employees shall receive their initial issue uniforms and equipment. -The Village will replace at its expense the spring and winter coat, safety helmet, and leather gear upon turning in the item that needs to be replaced. Each uniformed employee shall have an annual uniform allowance of \$700 per fiscal year to replace through purchase order approved uniform and equipment items using either of two (2) vendors specified by the Village. -Such annual uniform allowance shall be pro rata if employed for less than a year. -Purchase Orders must be received by employees on or before July 1st of each year of this Agreement.

Each employee assigned as a non-uniformed detective shall be issued a check in the amount of \$800 per fiscal year as a clothing allowance to purchase non-uniform items of clothing for use in their plainclothes assignment. -Such annual uniform allowance shall be pro rata if employed for less than a year.

The Village will, upon request, provide bullet-resistant vests, which shall be up to Level IIIA as existing vests are replaced pursuant to the existing replacement schedule, to employees at Village expense and such vests must be worn by employees while on uniformed duty. -Such vests will normally be replaced five (5) years after date of issuance to the employee, or earlier if necessary due to physical damage to the vest or per the manufacturer's specified replacement schedule.



## ARTICLE XV

### INSURANCE

Section 15.1. Coverage. The Village agrees to continue to provide medical, dental, and life insurance coverage for employees through the Intergovernmental Personnel Benefit Cooperative (~~IPB~~~~GIPBC~~). Notwithstanding the foregoing, the Village retains the right to change insurance provider(s), carrier(s), third party administrators, or to self-insure for the provision of health, dental, and/or life insurance benefits, and the Village further reserves its right to institute, maintain and change cost containment, benefit, and other provisions of the of such plan(s), provided that such changes are made in the plan(s) for other Village employees. For employee coverage, the Village will pay 90% of the cost of employee coverage and the employee shall pay the remaining 10% of the cost. For dependent coverage, the Village will pay 75% of the specified premium cost and the employee, if he/she elects to have dependent coverage, shall pay the remaining 25% of the cost.

Section 15.2. Village Insurance Benefit Reciprocity. In recognition of the desirability of maintaining a uniform policy Village-wide with respect to insurance benefits and notwithstanding the foregoing provisions contained in this Article, the parties agree that if the Village makes any changes, modifications or improvements with respect to any of the Village's health, life, or dental insurance programs or any medical insurance opt-out programs (when and if established) that are applicable to all other full-time Village employees, then such changes, modifications, or improvements (including the cost sharing arrangements between the Village and the employee) shall likewise be applicable to the employees covered by this Agreement on the same terms and on the same date that they are applicable to all other full-time Village employees.

Section 15.3. Terms of Insurance Policies to Govern. The extent of coverage under the insurance plan documents referred to in this Agreement shall be governed by the terms and conditions set forth in those policies. Any questions or disputes concerning such insurance documents, or benefits under them, shall be resolved in accordance with the terms and conditions set forth in the policies and shall not be subject to the grievance and arbitration procedures set forth in this Agreement. The failure of any insurance carrier(s) or organization(s) to provide any benefit for which it has contracted or is obligated shall result in no liability to the Village, nor shall such failure be considered a breach by the Village of any obligation under this Agreement. However, nothing in this Agreement shall be construed to relieve any insurance carrier(s) or organization(s) from any liability it may have to the Village, Village employee or beneficiary of any Village employee.

Section 15.4. Flex Plan. The Village will offer employees, under the same terms and conditions that are offered from time to time to other Village employees, the opportunity to participate in the Village's Section 125 Flex Plan. The Village will continue to offer this program only so long as the program continues to be authorized by the Internal Revenue Service.

## **ARTICLE XVI**

### **OUTSIDE EMPLOYMENT**

Section 16.1. Outside Employment. The Chief of Police may restrict off-duty employment in the best interests of Department operations. Employees may be allowed to engage in off-duty employment up to a maximum of twenty (20) hours per week, subject to the prior written approval of the Chief of Police and such provisions as may be set forth by general order or applicable Village policies.

Section 16.2. Extra Duty Details. When the Departments posts an extra duty detail, it will be filled on a “first come, first served” basis. Any employees who accepts an extra duty assignment and who later rejects or declines it shall be responsible for finding a replacement and failure to do so shall result in the employee being ineligible for extra duty details for six (6) months. Any employee who works an extra duty detail shall be paid at the hourly rate specified in the posting for the detail in question.



## ARTICLE XVII

### **STATUTORY RIGHTS**

Section 17.1. Bill of Rights. The Village agrees to abide by the lawful requirements of the “Uniform Police Officer’s Disciplinary Act,” 50 ILCS 725/1 - 725/7 as amended.

Section 17.2. Personnel Files. The Village agrees to abide by the lawful requirements of the “Personnel Records Review Act,” 820 ILCS 40/1 – 40/13 as amended.

Section 17.3. Non-Discrimination. The Village and the Union agree not to discriminate against any employee covered by this Agreement in a manner which would violate federal or state laws on the basis of race, sex, creed, religion, color, marital status, age, national origin, disability and union activities or non-union activities.

Section 17.4. Access to Grievance Procedure. The parties agree that an alleged violation of any of the above Sections of this Article (i.e., Sections 17.1, 17.2, and 17.3) may not be taken to the arbitration step of the grievance procedure absent the specific written agreement of both the Village and the union.

Section 17.5. Union Representation. An employee shall be entitled to request the presence of a Union representative at any meeting, conference, interview or interrogation under circumstances where the actions of the affected employee are being investigated and the affected employee has objective reasons to believe that he/she may be subject to a suspension without pay or termination. For purposes of this Section, a “Union representative” shall mean one of the elected officers of the bargaining unit who have been previously identified in writing to the Police Chief. One Labor Council representative may also be present for any formal interrogation. A Labor Council representative may attend an informal investigatory interview, provided the presence or unavailability of such representative does not unreasonably delay such interview.

Except as specifically provided above, this procedure shall not apply to meetings and conferences held between supervisors and employees concerning an employee’s evaluation, nor shall it apply to any situations involving the employee’s performance of his duties, including fact gathering conferences between supervisors and employees, where there is no discussion of possible termination or suspension.

## ARTICLE XVIII

### MISCELLANEOUS PROVISIONS

Section 18.1. Ratification and Amendment. This Agreement shall become effective when ratified by the Village Board and the Union members and signed by authorized representatives thereof, and may be amended or modified during its term only with the mutual written consent of both parties.

Section 18.2. Americans with Disabilities Act. Notwithstanding any other provisions of this Agreement, it is agreed that the Village has the right to take any actions needed to be in compliance with the requirements of the Americans with Disabilities Act.

Section 18.3. Employee Assistance Plan. Employees covered by this Agreement shall be eligible to participate in any Employee Assistance Plan that the Village may have in effect from time to time on the same terms and conditions that are applicable to Village employees.

Section 18.4. Impasse Resolution. Upon the expiration of this Agreement the remedies for the resolution of any bargaining impasse shall be in accordance with the alternative impasse resolution procedure attached as Appendix A and incorporated herein by reference.

Section 18.5. Application of Agreement to MEG Unit and Other Special Assignment Employees. Notwithstanding anything to the contrary in this Agreement, employees who may be assigned to the Metropolitan Enforcement Group ("MEG") or to any other governmental or inter-governmental agency having an independent law enforcement authority or basis of jurisdiction, and employees assigned to perform law enforcement functions under the partial direction of another governmental entity shall be subject for the duration of such assignment to the practices, policies, procedures and directives which are generally applicable to officers assigned to that agency or which are applied pursuant to the authority of the other governmental entity, even though such practices, policies, procedures and directives may be inconsistent or in conflict with the provisions of this Agreement. The application of such practices, policies, procedures and directives shall not be subject to the grievance and arbitration procedures of the Agreement. Without in any way limiting the generality of the foregoing, the practice, policies, procedures and directives of MEG applicable to hours of work and overtime shall be deemed to supersede inconsistent or contrary provisions of Article V (Hours of Work and Overtime) of this Agreement.

Section 18.6. Drug and Alcohol Testing. Employees covered by this Agreement shall be covered by the Village's drug and alcohol testing policy that is applicable to other Village employees in safety sensitive positions and subject to DOT regulations on the same terms and conditions that are applicable to such other Village employees in safety sensitive positions. In addition, an officer shall submit to drug and alcohol testing if he or she is involved in a shooting that causes injury or death to any person in accordance with the provisions of Public Act 100-0389.

Section 18.7. Fitness for Duty. If the Village reasonably believes that a bargaining unit employee is not fit for duty (or fit to return to duty following a leave of absence), the Village may require, after giving the effected employee written notice, at its expense, that the employee have a medical examination and/or psychological examination by a qualified and licensed physician and/or psychologist selected by the Village. The employee may, under such circumstances, present a certification of fitness from his/her own physician and/or psychologist to the physician and/or Board certified psychologist selected by the Village for his/her consideration in making the determination of the employee's fitness for duty. The foregoing requirement shall be in addition



to any requirement that an employee provide at his/her own expense a statement from his/her doctor upon returning from sick leave or disability leave. If it is determined that an employee is not fit for duty, the employee may be placed on sick leave (or unpaid medical leave if the employee does not have any unused sick leave days), or take other appropriate action.

Section 18.8. Physical Fitness Program. The Village may establish a reasonable mandatory physical fitness program which, if established, will include individualized goals. No employee will be disciplined for failure to meet any goals that may be established, as long as the employee makes a good faith effort to meet any such goals. Before any new program is implemented, the Village shall review and discuss the program at a meeting of the Labor-Management Committee.

Section 18.9. Training. Employees attending training sessions away from the Police Department shall be allowed to utilize a police department vehicle, when available, for travel to and from the training site. If a department vehicle is not available, employees shall be paid the prevailing IRS mileage allowance for the use of their personal vehicle.

Section 18.10. Restricted Duty. The Village may require an employee who is on sick leave or Worker's Compensation leave (as opposed to disability pension) to return to work in an available restricted duty assignment that the employee is qualified to perform, provided the Village's physician has determined that the employee is physically able to perform the restricted duty assignment in question without significant risk that such return to work will aggravate any pre-existing injury and that there is a reasonable expectation that the employee will be able to assume full duties and responsibilities within three months.

An employee who is on sick leave or Worker's Compensation leave (as opposed to disability pension) has the right to request that he be placed in an available restricted duty assignment that the employee is qualified to perform and such a request shall be reasonably granted, provided that the Village's physician has reasonably determined that the employee is physically able to perform the restricted duty assignment in question without significant risk that such return to work will aggravate any pre-existing injury and that there is a reasonable expectation that the employee will be able to assume full duties and responsibilities within three months. Nothing herein shall preclude an employee from presenting an opinion from their treating physician to the Village regarding their ability to perform such a restricted duty assignment, provided that the Village retains the right to send the employee to the Village's physician, as described herein.

If an employee returns or is required to return to work in a restricted duty assignment and the employee is unable to assume full duties and responsibilities within three months thereafter, the Village retains the right to place the employee on sick leave, on paid or unpaid disability leave, whichever may be applicable, or take other appropriate action.

Nothing herein shall be construed to require the Village to create restricted duty assignments for an employee. Employees will only be assigned to restricted duty assignments when the Village at its sole discretion determines that the need exists and only as long as such need exists.

Section 18.11. No Solicitation. Neither Teamsters Local 700, nor any Officer covered by this Agreement will solicit person or person on behalf of the Teamsters Local 700 for contributions on behalf of the Burr Ridge Police Department or the Village of Burr Ridge. Nor shall any bargaining unit members covered by this Agreement on behalf of Teamsters Local 700 use the

Village name, shield or insignia, communications, system, supplies and materials for solicitation of any type or kind.

Section 18.12. Notification of Blackout Events. The Village shall have the right to restrict time off requests for events requiring a Village police presence that occur within the Village. The list of blackout events for the calendar year shall be provided to Union no later than January 30<sup>th</sup> or as soon thereafter as the Village determines that there is a need to add a blackout event; provided, however, in any given calendar year the Village will not schedule more than five (5) blackout events.



## **ARTICLE XIX**

### **SAVINGS CLAUSE**

Section 19.1. Savings Clause. In the event any Article, Section or portion of this Agreement shall be held invalid and unenforceable by any board, agency or court of competent jurisdiction, such decision shall apply only to the specific Article, Section or portion thereof specifically specified in the board, court or agency decision; and, upon issuance of such a decision, the Village and the Union agree to notify one another and to begin immediately negotiations on a substitute for the invalidated Article, Section or portion thereof.

## **ARTICLE XX**

### **ENTIRE AGREEMENT**

Section 20.1. Entire Agreement. This Agreement constitutes the complete and entire Agreement between the parties and concludes the collective bargaining between the parties for its term. This Agreement supersedes and cancels all prior practices and agreements, whether written or oral, which conflict with the express terms of this Agreement. If a past practice is not addressed in this Agreement, it may be changed by the Village as provided in the management rights clause (Article II). The parties acknowledge that during the negotiations that resulted in this Agreement, each had the unlimited right and opportunity to make demands and proposals with respect to any subject or matter not removed by law from the area of collective bargaining, and that the understandings and agreements arrived at by the parties after the exercise of that right and opportunity are set forth in this Agreement. Accordingly, the Village and the Union, for the duration of this Agreement, each voluntarily and unqualifiedly waives the right, and each agrees that the other shall not be obligated to bargain collectively with respect to any subject or matter referred to or covered in this Agreement. The Union also specifically waives any right it may have to impact or effects bargaining for the life of this Agreement.



## ARTICLE XXI

### TERMINATION

Section 21.1. Termination in ~~2022~~20256. This Agreement shall be effective at the time of its execution, and shall remain in full force and effect until midnight April 30, ~~2022~~20256. It shall be automatically renewed from year to year thereafter unless either party shall notify the other in writing at least ninety (90) days prior to the anniversary date that it desires to modify this Agreement. In the event that such notice is given, negotiations shall begin no later than sixty (60) days prior to the anniversary date. In the event that either party desires to terminate this Agreement, written notice must be given to the other party no later than ten (10) days prior to the desired termination date, which shall not be before the anniversary date.

Notwithstanding any provision of this Article or Agreement to the contrary, this Agreement shall remain in full force and effect after the expiration date and until a new agreement is reached unless either party gives at least ten (10) days written notice to the other party of its desire to terminate this Agreement, provided such termination date shall not be before the anniversary date set forth in the preceding paragraph.

An officer who is eligible for a step increase after the expiration of date of this collective bargaining agreement and prior to the effective date of the successor collective bargaining agreement shall receive the step increase as of the officer's anniversary date.

Executed this \_\_\_\_ day of \_\_\_\_\_, ~~2019~~2022, after ratification by the Union's membership and receipt of official approval by the President and the Village Board.

TEAMSTERS LOCAL 700

THE VILLAGE OF BURR RIDGE,  
ILLINOIS

\_\_\_\_\_

—

\_\_\_\_\_

~~Mayor~~President, Village of Burr Ridge

\_\_\_\_\_

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test:

\_\_\_\_\_  
eputy Village Clerk

## **APPENDIX A**

### **ALTERNATIVE IMPASSE RESOLUTION PROCEDURE**

The resolution of any bargaining impasse for a successor agreement shall be in accordance with the provisions of the Illinois Public Labor Relations Act and the rules and regulations of the Illinois Labor Relations Board except as modified by the following:

1. The parties agree that the arbitration proceedings shall be heard by a single, neutral arbitrator. Each party waives the right to a three (3) member panel of arbitrators as provided in the Act.
2. In the absence of agreement on a neutral arbitrator, the parties agree to use the arbitrator selection procedure specified in Section 6.3 of the Collective Bargaining Agreement.
3. Within seven (7) calendar days of the service of a demand that the arbitrator selection process commences, the representatives of the parties shall meet and develop a written list of those issues that remain in dispute. The representatives shall prepare a Stipulation of Issues in Dispute for each party to then execute and for submission at the beginning of the arbitration hearing. The parties agree that only those issues listed in the Stipulation shall be submitted to the arbitrator for decision and award.
4. Not less than seven (7) calendar days prior to the date when the first day the arbitration hearings are scheduled to commence, the representatives of the parties shall simultaneously exchange in person their respective written final offers as to each issue in dispute as shown on the Stipulation of Issues in Dispute. The foregoing shall not preclude the parties from mutually agreeing to modify their final offers or to resolve any or all the issues identified as being in dispute through further collective bargaining.



## APPENDIX B

### SALARY SCHEDULE

Step	Current		FY23 - 6.0%		FY24 - 3.0%		FY25 - 3.0%	
1	\$33.75	\$ 70,194	\$ 35.77	\$ 74,406	\$ 36.85	\$ 76,638	\$ 37.95	\$ 78,937
2	\$35.65	\$ 74,142	\$ 37.78	\$ 78,591	\$ 38.92	\$ 80,948	\$ 40.08	\$ 83,377
3	\$37.54	\$ 78,091	\$ 39.80	\$ 82,776	\$ 40.99	\$ 85,260	\$ 42.22	\$ 87,818
4	\$39.44	\$ 82,039	\$ 41.81	\$ 86,961	\$ 43.06	\$ 89,570	\$ 44.35	\$ 92,257
5	\$41.34	\$ 85,986	\$ 43.82	\$ 91,145	\$ 45.13	\$ 93,880	\$ 46.49	\$ 96,696
6	\$43.24	\$ 89,935	\$ 45.83	\$ 95,331	\$ 47.21	\$ 98,191	\$ 48.62	\$ 101,137
7	\$45.14	\$ 93,884	\$ 47.84	\$ 99,517	\$ 49.28	\$ 102,503	\$ 50.76	\$ 105,578
8	\$47.03	\$ 97,832	\$ 49.86	\$ 103,702	\$ 51.35	\$ 106,813	\$ 52.89	\$ 110,017
9	\$48.93	\$ 101,779	\$ 51.87	\$ 107,886	\$ 53.42	\$ 111,122	\$ 55.03	\$ 114,456