

**VILLAGE OF BURR RIDGE
REGULAR MEETING - MAYOR & BOARD OF TRUSTEES
VILLAGE HALL – BOARD ROOM**

AGENDA

Monday, June 13, 2022 - 7:00 P.M.

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA**

All items listed with an asterisk are considered routine by the Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen requests, in which event the item will be removed from the Consent Agenda, discussed, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. * Approval of Regular Board Meeting of May 23, 2022
- B. * Receive and File Plan Commission Meeting of June 6, 2022

6. ORDINANCES

- A. Consideration of an Ordinance Amending Section 25.09 of Chapter 25, Entitled "Liquor Control", of the Burr Ridge Municipal Code

7. RESOLUTIONS

8. CONSIDERATIONS

- A. Consideration of a Plan Commission Recommendation to Approve a Major Change and Amendment to the Cottages of Drew PUD (Ordinance #A-834-16-18) (Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC))
- B. * Approval of Engineering Services Contract with RJN Engineering for the IICP Assessment Study

Public Comment Procedures: Public comments will be accepted in written or statement form prior to or during the meeting. Written public comments shall identify whether the comment is intended to address a specific agenda item or is intended for general public comment under Section 9 – Public Comment. Public comments may also be made during the meeting when discussing specific items on the agenda. Any person seeking to address the Board on topics not on the agenda may do so during Section 9 – Public Comment.

- C. * Receive and File Resignation Letter from Accounting Analyst Preeti Goel
- D. * Approval to Create and Fill the Position of Utility Billing Analyst in the Finance Department
- E. * Approval of Vendor List Dated June 13, 2022, for the Fiscal Year 2021-2022 in the Amount of \$74,628.77 for all Funds, Which Includes No Special Expenditures
- F. * Approval of Vendor List Dated June 13, 2022, for the Fiscal Year 2022-2023 in the Amount of \$255,350.30 for all Funds, plus \$205,236.54 for the Pay Period Ending May 14, 2022 for a Grand Total of \$460,586.84, Which Includes No Special Expenditures

9. PUBLIC COMMENTS

10. REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS

11. ADJOURNMENT – NEXT MEETING MONDAY, JULY 11, 2022 @ 7:00PM

June 13, 2022 Board Meeting – Staff Summary

6A. Modification of Ordinance Amending Section 25.09 (Liquor Control)

Kohler voluntarily gave up its liquor license; as such, the Village should reduce the number of licenses in the applicable license class by one. Additionally, the ordinance includes a provision relating to the overall Liquor Code, wherein if licenses are no longer in use for any reason, the Code is automatically considered to be reduced by the number of licenses which are no longer in use. The purpose of this amendment is to ensure that no user could obtain a liquor license in the time between the disuse of a license and the Board's approval of amendments to the Liquor Code. The Board will continue to approve amendments to the Liquor Code while the legal status of a liquor license will now be clear upon approval of this ordinance on a proactive basis.

It is staff's recommendation: That the Ordinances be approved.

8A. PUD Amendment – Cottages at Drew

Please find attached a letter from the Plan Commission recommending approval of a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. The petitioner also requested approval of final engineering and landscaping plans as well as building elevations in accordance with the 2018 ordinance. After the request was remanded to the Plan Commission from the May 23, 2022, Board meeting, the Plan Commission held a public hearing on June 6, 2022, for the request. No members of the public spoke at the public hearing. The Plan Commission reaffirmed the previous recommendation of approval with the same seven conditions, which are included in the attached letter.

It is staff's recommendation: That the Board direct staff to prepare an ordinance to approve the special use and PUD amendment with conditions for the Cottages of Drew PUD.

8B. Engineering Services Contract

The FY2023 Sewer Fund budget includes \$280,000 to continue completion of the Inflow and Infiltration Control Program (IICP) required by the Metropolitan Water Reclamation District (MWRD), of which the Village is partially under said jurisdiction. The IICP provides a thorough assessment, problem identification, and repair or maintenance plan for the Village that helps to reduce problematic inflow and infiltration of stormwater into our sanitary sewage collection system. The MWRD, charged with reclamation and treatment of wastewater and flood abatement in Cook County, mandated the IICP as part of the Village's adoption of the MWRD's Watershed Management Ordinance in 2014. The Village's sanitary sewage collection system that is subject to IICP requirements includes only the neighborhoods in Cook County. The MWRD requires substantial completion of the Village's IICP by December 31, 2022. The Village started its IICP project in 2019 with a focus on high-priority areas, which are older neighborhoods having clay pipes that are susceptible to cracking and failures. The program was not completed in 2019 as a result of wet weather and early frost.

The COVID-19 pandemic precluded the program's resumption in FY2021, while the Chasemoor lift station emergency rehabilitation project became the Sewer Fund's focus in FY2022. In 2022, the IICP will include outstanding items in the high-priority areas such as smoke testing, as well as the Sanitary Sewer Evaluation Survey (SSES) for remaining Village sewers to include manhole inspections, sewer televising, smoke testing, dyed-water sampling, and lift station inspections. Completing the IICP in 2022 will provide a system-wide plan of sanitary pipe rehabilitation that will result in a reliable sewage collection system. RJN Group was awarded the 2019 contract for the IICP. With weather and pandemic-related cancellations, their contract was not renewed; however, this firm assisted the Village with design and project management on the 2021 Chasemoor sanitary sewage lift station rehabilitation. Therefore, the Water & Wastewater Division solicited RJN Group for a proposal to resume and complete the SSES that meets the MWRD requirements. RJN Group provided a thorough proposal that meets the Village's objectives and complies with the MWRD IICP obligations, at a cost not to exceed \$275,300. This amount is \$4,700 under the FY2023 budget for this mandated project.

It is staff's recommendation: That the contract be approved.

8C-D. Accounting Analyst Preeti Goel Resignation Letter & Utility Billing Analyst

Please find attached a resignation letter from Accounting Analyst Preeti Goel effective June 3, 2022. Staff recommends the creation of a "Utility Billing Analyst" position to replace this "Accounting Analyst" position. The Utility Billing Analyst position is organizationally critical due to its oversight of all Water and Sewer Fund receivables (about \$8 million in annual revenue) while also carrying significant public interaction in handling said bills. The new position will be full-time but have streamlined duties compared to the previous position with a lower comparative salary range. Staff projects that the Village will save approximately \$10,000 in the first fiscal year based upon the comparative costs of the old and new positions.

It is staff's recommendation: That the resignation letter be accepted and the position be created and filled.

8E. Vendor List of June 13, 2022 – FY 2021-2022

Attached is the vendor list dated June 13, 2022, for the fiscal year 2021-2022, in the amount of \$74,628.77, which includes no special expenditures.

It is staff's recommendation: That the FY2021-2022 June 13, 2022, vendor list be approved.

8F. Vendor List of June 13, 2022 – FY 2022-2023

Attached is the vendor list dated June 13, 2022, for the fiscal year 2022-2023, in the amount of \$255,350.30 for all funds, plus \$205,236.54 for payroll for the period ending May 14, 2022, for a grand total of \$460,586.84, which includes no special expenditures.

It is staff's recommendation: That the FY 2022-2023 June 13, 2022, vendor list be approved.

REGULAR MEETING
MAYOR AND BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE

May 23, 2022

CALL TO ORDER The Regular Meeting of the Mayor and Board of Trustees of May 23, 2022, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:00 p.m. by Mayor Gary Grasso.

PLEDGE OF ALLEGIANCE Mayor Gary Grasso lead the Pledge of Allegiance.

ROLL CALL was taken by the Village Clerk and the results denoted the following present: Trustees Franzese, Schiappa, Paveza, and Mital. Trustee Snyder gave advance notice that he would be participating remotely, pending Board approval. Trustee Smith gave advance notice that he would be out of town and unable to attend. Mayor Grasso was present. Also present were Village Administrator Evan Walter, Deputy Chief Marc Loftus, Public Works Director Dave Preissig, Community Development Director Janine Farrell, Village Attorney Mike Durkin, and Village Executive Assistant Pam Foy.

Mayor Grasso asked for a motion to allow Trustee Snyder to participate remotely as he had given advance notice of this request.

Motion was made by Trustee Mital, seconded by Trustee Schiappa, to approve Trustee Snyder's remote participation.

On Roll Call, Vote Was:

AYES: 4 - Trustees Schiappa, Mital, Franzese, Paveza

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

ABSTAIN: 1 - Trustee Snyder

There being four affirmative votes the motion carried.

PRESENTATIONS AND PUBLIC HEARINGS

There were no presentations or public hearings.

CONSENT AGENDA – OMNIBUS VOTE

Mayor Gary Grasso read the Consent Agenda and asked if any agenda item needed to be removed from the Consent Agenda. There was none.

APPROVAL OF REGULAR BOARD MEETING MINUTES OF MAY 9, 2022 were approved for publication under the Consent Agenda by Omnibus Vote.

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RECEIVE AND FILE ECONOMIC DEVELOPMENT COMMITTEE MINUTES OF MAY 4, 2022 were noted as received and filed under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF MAY 16, 2022 were noted as received and filed under the Consent Agenda by Omnibus Vote.

APPROVAL OF AN ORDINANCE GRANTING AN AMENDMENT TO ORDINANCE #A-834-10-21 TO EXPAND THE SUBJECT USE AND A SPECIAL USE FOR A RESTAURANT OVER 4,000 SQUARE FEET WITH THE SALE OF ALCOHOLIC BEVERAGES (Z-04-2022: 308-312 BURR RIDGE PARKWAY: ROVITO) the Board, under the Consent Agenda by Omnibus Vote, Approved the Adoption of the Ordinance.

APPROVAL OF AN ORDINANCE GRANTING A VARIATION FROM SECTION IV.I.1 OF THE ZONING ORDINANCE TO PERMIT A DETACHED GARAGE IN THE SIDE BUILDABLE AREA (V-02-2022: 8311 FARS COVE – PANICO) the Board, under the Consent Agenda by Omnibus Vote, Approved the Adoption of the Ordinance.

ADOPTION OF RESOLUTION ACCEPTING CERTAIN SUBDIVISION IMPROVEMENTS AND ESTABLISHING A DEADLINE FOR COMPLETION OF OTHER IMPROVEMENTS FOR THE LAKESIDE POINTE PLANNED UNIT DEVELOPMENT (11650 BRIDEWELL DRIVE) the Board, under the Consent Agenda by Omnibus Vote, Approved the Adoption of the Resolution.

APPROVAL OF AWARD OF THE 2022 CRACK SEALING CONTRACT TO SKC CONSTRUCTION OF WEST DUNDEE THROUGH THE MPI JOINT BID IN THE AMOUNT OF \$79,977 the Board, under the Consent Agenda by Omnibus Vote, Approved the Award.

APPROVAL OF PURCHASE OF VEHICLE MODULES FROM FEDERAL SIGNAGE OF UNIVERSAL PARK IN THE AMOUNT OF \$22,240 the Board, under the Consent Agenda by Omnibus Vote, Approved the Purchase.

APPROVAL OF A CONTRACT EXTENSION FOR MANAGED GIS SERVICES WITH CLOUDPOINT GEOSPATIAL OF ROANOKE IN THE ANNUAL AMOUNT OF \$25,800 the Board, under the Consent Agenda by Omnibus Vote, Approved the Contract.

APPROVAL OF MAYOR GRASSO'S NOMINATION TO APPOINT JOHN MCCrackEN AND ANABEL MCFARLIN TO THE STORM WATER MANAGEMENT COMMITTEE TO TERMS EXPIRING FEBRUARY 1, 2025 the Board, under the Consent Agenda by Omnibus Vote, Approved the Nominations.

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APPROVAL TO REMAND A PETITION FOR SPECIAL USES, PUD AMENDMENT, AND VARIATIONS TO THE PLAN COMMISSION (Z-10-2022: 9115 KINGERY HIGHWAY – THORNTONS LLC) the Board, under the Consent Agenda by Omnibus Vote, Approved To Remand the Petition.

APPROVAL OF VENDOR LIST DATED MAY 23, 2022, FOR THE FISCAL YEAR 2021-22 IN THE AMOUNT OF \$255,777.10 FOR ALL FUNDS, PLUS \$198,177.38 FOR THE PAY PERIOD ENDING APRIL 30, 2022, FOR A GRAND TOTAL OF \$453,954.48, WHICH INCLUDES NO SPECIAL EXPENDITURES the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List for the Fiscal Year 2021-22 Dated May 23, 2022 plus Payroll for the Period Ending April 30, 2022.

APPROVAL OF VENDOR LIST DATED MAY 23 2022, FOR THE FISCAL YEAR 2022-23 IN THE AMOUNT OF \$186,414.65 FOR ALL FUNDS, PLUS \$261,255.55, FOR THE PAY PERIOD ENDING MAY 14, 2022 FOR A GRAND TOTAL OF \$447,670.20, WHICH INCLUDES NO SPECIAL EXPENDITURES the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List for the Fiscal Year 2022-23 Dated May 23, 2022, plus Payroll for the Period Ending May 14, 2022.

After reading the Consent Agenda, Mayor Gary Grasso asked for a motion to approve.

Motion was made by Trustee Schiappa, seconded by Trustee Mital, to approve the Consent Agenda – Omnibus Vote (attached as Exhibit A), and the recommendations indicated for each respective item be hereby approved.

Mayor Gary Grasso asked for any discussion from the Board and/or public. There were none.

On Roll Call, Vote Was:

AYES: 5 - Trustees Schiappa, Mital, Franzese, Paveza, Snyder

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

There being five affirmative votes the motion carried.

CONSIDERATION OF AN ORDINANCE AMENDING SECTION VIII.A.11 OF THE ZONING ORDINANCE REGARDING HOURS OF OPERATION FOR RESTAURANTS WITH LIQUOR LICENSES IN THE BUSINESS DISTRICTS (Z-09-2022)

Village Administrator Evan Walter reviewed two ordinances amending the Zoning Ordinance and Section 25 of the Municipal Code (Liquor Control) related to permitted hours of operation at restaurants in Business Districts with liquor licenses. Together, these ordinances create a unified regulatory framework governing permitted restaurant hours of operation. Approval of these

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ordinances will allow such uses the right to operate until midnight on Sunday-Wednesday and 1:00 am on Thursday-Saturday (i.e. Thursday until 1:00 am on Friday, etc.).

Mr. Walter clarified that there are no exceptions to these ordinances. All permitted and special uses previously granted and PUD's approved for retail centers are overridden by these ordinances, meaning that all current and prospective businesses will operate under the same regulations. These ordinances align outdoor dining hours of operation with indoor dining at this time, but the language creating this alignment may be easily amended if hours of operation for outdoor dining are differentiated from indoor dining hours (the Board has already directed that outdoor hours of operation be studied by the Plan Commission) such as in any text amendment petition.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to approve the Consideration.

Mayor Gary Grasso asked for any discussion from the Board and/or public.

Trustee Snyder asked if Jonny Cabs or Capri will maintain their 2:00 am closing time, Mr. Walter confirmed both will be closing at 12:00 midnight -1:00 am going forward. Trustee Franzese asked if this would prevent businesses from petitioning for a 2:00 am closing, Mr. Walter said that option would not be possible at this time. Outdoor dining hours were mentioned and Mayor Grasso said that the intent is to have standard hours for outdoor dining and that all restaurants would have the same rules in the Village, with no exceptions.

Mayor Gary Grasso asked for any discussion from the public. There was none.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to approve the Consideration.

On Roll Call, Vote Was:

AYES: 5 - Trustees Paveza, Schiappa, Mital, Snyder, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

There being five affirmative votes the motion carried.

CONSIDERATION OF AN ORDINANCE AMENDING SECTION 25.09 (CLASSES OF LICENSES-NUMBER OF LICENSES-HOURS) OF CHAPTER 25, ENTITLED "LIQUOR CONTROL," OF THE BURR RIDGE MUNICIPAL CODE

Village Administrator Evan Walter stated that this Consideration would cover the same hours as the previous agenda item pertaining to liquor licenses but related to the Municipal Code.

Mayor Gary Grasso asked for any discussion from the Board and/or public.

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Trustee Franzese asked if the liquor license/code applied to packaged goods, and what time would liquor sales end for a gas station that is open 24 hours. Village Attorney Mike Durkin stated that this amendment did not impact anything other than restaurants. Deputy Chief Marc Loftus stated that packaged goods liquor sales currently end at 12:00 midnight.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to approve the Consideration.

On Roll Call, Vote Was:

AYES: 5 - Trustees Paveza, Schiappa, Mital, Snyder, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

There being five affirmative votes the motion carried.

**CONSIDERATION OF AN ORDINANCE AMENDING CHAPTER 1, ENTITLED
“GENERAL PROVISIONS”, OF THE BURR RIDGE MUNICIPAL CODE WITH REGARD
TO DEBTS OWED TO THE VILLAGE**

Village Administrator Evan Walter said that as the Village developed its adjudication program since inception at the start of 2021, the number of property owners owing monies to the Village has grown in parallel. In certain cases, property owners owing significant sums of money to the Village have attempted to obtain services such as building permits or liquor licenses; however, there is currently no legal mechanism in place to compel property owners to pay their debts owed to the Village prior to obtaining a permit or license. This ordinance would create said mechanism, with property owners being required to settle any debts above \$100 to become permitted to obtain a permit or license through the Village.

Mayor Gary Grasso asked for any discussion from the Board and/or public. There were none.

Motion was made by Trustee Mital, seconded by Trustee Snyder, to approve the Consideration.

On Roll Call, Vote Was:

AYES: 5 - Trustees Mital, Snyder, Franzese, Schiappa, Paveza

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

There being five affirmative votes the motion carried.

**CONSIDERATION OF A PLAN COMMISSION RECOMMENDATION TO APPROVE A
MAJOR CHANGE AND AMENDMENT TO THE COTTAGES AT DREW PUD
(ORDINANCE #A-834-16-18) (Z-15-2022:7950 DREW AVENUE -- PERINO/JARPER
PROPERTIES LLC)**

Community Development Director Janine Farrell gave an overview of the Plan Commission recommendation to approve a special use and PUD amendment requested by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD by approximately 1% and increase the garage area for the proposed homes. The Plan Commission held a public hearing on May 16, 2022 for the request. The Cottages of Drew PUD was previously approved in 2018, but the petitioner is now requesting to construct three-car garages on six of the eight homes instead of two-car garages. This increase in garage floor space was the sole reason for the reduction of the open space on the property, thus requiring a major change to the PUD. The petitioner also requested approval of final engineering and landscaping plans as well as building elevations in accordance with the 2018 ordinance. There were six members of the public who spoke in objection to the request at the public hearing, expressing concerns about drainage in the area and the impact the development may have on that situation. The Plan Commission recommended unanimous approval with seven conditions. Ms. Farrell said that the stormwater detention volume requirement was increased to accommodate more than 20% of the minimal requirement. The Petitioner was present and confirmed that it was 30%.

Mayor Gary Grasso asked for any discussion from the Board and/or public.

Trustee Franzese asked what was driving the need for homes with a three-car garage when most of the recent subdivisions have two car garages. Property developer Anthony Perino of Jarper Properties said that in their discussions, marketing conditions dictated a preference for three car garages. Trustee Franzese also asked if there was living space above the garage and if not, could it be converted to living space as there are windows above the garage in the renderings. The Petitioners stated that there is no living space above the garage. Trustee Franzese said that the homes with three car garages look more like garages with living space attached and not homes with garages attached. The flood plain was also discussed, and it was confirmed that DuPage County and Army Corps signed off on the flood plain storage.

Trustee Paveza said that the property had been in development for five years, with seven items coming back from the Plan Commission requesting compliance. He asked the developers if they were confident that they could proceed from here and not have more concerns related to compliance from the Plan Commission or Village. Trustee Snyder stated that given the longevity and issues related to this project, he was not planning to support it.

Trustee Franzese asked how the Plan Commission responded to some of the questions asked at this meeting. Ms. Farrell said that a few commissioners expressed concern about the garages, but they ultimately voted to approve the request as those houses were not visible from Drew Avenue. She said that potential livable space above the garages was not a concern and that the homes would be restricted to a certain amount of livable space, with the plans specifying a predetermined square footage.

Mayor Grasso asked that the developer be transparent so that potential buyers are aware that they cannot develop the space above the garage into livable space. Ms. Farrell said that could be added as a condition. She added that the Plan Commission had the same sentiment as the Board and also that the development must contain drainage to itself and not impact flooding in the area.

Joanne Palmasano, a Burr Ridge resident, attended Plan Commission meeting and expressed concern about the proximity of the homes to each other in the development and also about the lack of trees and plants that are on the perimeter of the development in the renderings. Mayor Grasso clarified that the trees and plants planned for the site would need to come back to the Board for review down the line. Village Administrator Evan Walter added that the development was also changed from a straight bowling alley format street to a cluster, and the Plan Commission approved the cluster, curved road so that the homes would not immediately be visible from Drew Avenue. Trustee Franzese added that perhaps the surrounding trees could be conifers which would not lose leaves in winter.

Ms. Palmasano also expressed concern that one of the Plan Commissioners had asked about purchasing a home with a three-car garage. The developer confirmed this was the case, but also said that the three-car garage was based on market analysis and discussions with brokers. Ms. Palmasano was also concerned that the homes appeared to be very close to each other, and Mayor Grasso confirmed that the homes were at least 20 feet apart. Trustee Franzese confirmed this was the bare minimum requirement for the Village.

Mayor Grasso said that the Board needed clarity from the Plan Commissioner involvement related to the three-car garage with the Commissioner in question prior to further discussion and recommended that there be a motion to remand to the Plan Commission. Trustee Franzese said he was not happy with the proposed development and could not support at this time as it had too many homes on the land. Trustees Schiappa and Paveza said it was a challenging site and agreed that it was important to get clarity on the Plan Commission vote and possible involvement. Trustee Snyder said he would not support the proposal as submitted and did not want more impact on the land.

Mayor Grasso added that he needed more information on the involvement of Mike Stratis, the Plan Commissioner involved in the discussion, and that Mayor Grasso has a lot of respect for him, but wants due diligence done since this was brought up by a resident.

Motion was made by Trustee Paveza, seconded by Trustee Franzese, to remand this Consideration to the Plan Commission.

On Roll Call, Vote Was:

AYES: 3 - Trustees Paveza, Schiappa, Mital

NAYS : 2 - Trustees Franzese, Snyder

ABSENT: 1 - Trustee Smith

There being three affirmative votes the motion carried.

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Mayor and Board of Trustees, Village of Burr Ridge
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PUBLIC COMMENT

Mayor Gary Grasso asked for any public comment. There was none.

REPORTS AND COMMUNICATIONS

Trustee Mital congratulated Community Engagement Analyst Hannah Weyant and the Village staff for the Armed Forces Day Event on May 21. Grasso agreed and commended Ms. Weyant and the Memorial Veterans Committee, stating that the keynote speaker, Captain Smith gave a great speech. He said that Burr Ridge is about the only village celebrating Armed Forces Day in this way to celebrate our current men and women in the military. He asked that the Veterans Memorial Committee get the resources that it needs to continue making this event a success.

Trustee Mital mentioned that the Village Concerts will start on June 2, featuring the Fortunate Sons, and will run through the summer on Thursdays.

ADJOURNMENT

Mayor Gary Grasso asked for a motion to Adjourn the Board Meeting at 8:24 pm.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to Adjourn. The Board unanimously approved.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Susan Schaus
Village Clerk
Burr Ridge, Illinois

APPROVED BY the President and Board of Trustees this _____ day of _____, 2022.

VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS
MINUTES FOR REGULAR MEETING OF JUNE 6, 2022

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 7 – Irwin, Broline, Stratis, Morton, McCollian, Petrich, and Trzupek

ABSENT: 1 – Parrella

Community Development Director Janine Farrell was also present.

II. APPROVAL OF PRIOR MEETING MINUTES – MAY 16, 2022

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Petrich to approve the minutes of the May 16, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 6 – Morton, Petrich, Stratis, Broline, Trzupek, and McCollian

NAYS: 0

ABSTAIN: 1 – Irwin

MOTION CARRIED by a vote of 6-0 with one abstention.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact [REMANDED BACK FROM MAY 23, 2022 VILLAGE BOARD MEETING]

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. The petition was remanded from the May 23, 2022 Village Board meeting back to the Plan Commission.

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell clarified that a resident commented during the May 23, 2022 Village Board meeting that a statement made by one of the Commissioners on May 16, 2022 may have influenced other Commissioners' voting. The Board remanded the petition back to the Plan Commission to ensure that there was no undue influence.

Since the May 23rd meeting, updated landscape plans have been provided, including new evergreen trees on the western property line, trees have been relocated to minimize impact with the retaining walls, and the fence rail on the retaining wall was eliminated. Currently five homes are shown to have three-car garages, not six as originally submitted. The site plan now shows the open space is 84% instead of 88.5% which is a reduction of 4.5%. In 2018, the petitioner was to provide 20% stormwater retention above the ordinance regulations. It is currently slightly under 30%. The Commission may wish to move forward with the original recommendation or take a new vote on the petition.

Chairman Trzupek confirmed that the Board was concerned about landscaping and undue influence or improper proceedings which is why the petition was remanded. Chairman Trzupek stated that the Commissioner was transparent at the meeting relaying that he had a conversation with the petitioner. Mrs. Farrell clarified that at the Board meeting, only one member of the public spoke and commented on the petition. The individual stated that Commissioner Stratis had a phone conversation with the petitioner about 18 months ago asking why the proposed homes do not have three-car garages. This was reflected in the minutes. The person at the public hearing took this to mean that Commissioner Stratis was interested in purchasing one of the homes and was the reason behind this petition coming forward again with the three-car garages as part of the proposal.

Chairman Trzupek understood the resident's concern but stated that Commissioner Stratis was very transparent. Chairman Trzupek was not clear why the petition was remanded. Mrs. Farrell commented that the Board wanted to ensure upmost transparency to the public and that no one was influenced by any comments made.

Chairman Trzupek asked for public comment. There was none.

Nick Patera, representative for the petitioner, agreed what staff presented but clarified that they are still petitioning to have up to six of the eight homes with three-car garages, not five.

Commissioner Morton generally stands by his comments that were made May 16th and had little to add aside from the comments that were made at the Board meeting about side-load vs. front-load garages. Commissioner Morton did not find guidance or ordinance documents that said there was a requirement for front-load or side-load. He is currently satisfied and his position doesn't change.

Commissioner Irwin did not have comments or questions.

Commissioner Petrich noted that on the drawings there was a minimum distance between 20' to 22'5" with up to six three-car garages between houses. The petitioner confirmed the measurements.

Commissioner Broline stated that Commissioner Stratis was transparent and he took the comments made as if he was a potential client, not an actual customer.

Commissioner McCollan did not have comments or questions.

Commissioner Stratis stated that he made a comment, has since bought another property, and has had no conversations with the petitioner for over 18 months.

Nick Patera confirmed for Chairman Trzupek that nothing has changed for the stormwater calculations.

Commissioner Morton asked for clarification on the stormwater percentage. Bill Zalewski, representative for the petitioner, stated that the stormwater percentage is about 29.5% over the requirement.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Broline to close the public hearing for Z-15-2022.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, Broline, McCollian, Morton, Petrich, and Trzupek
NAYS: 0
ABSTAIN: 1 – Stratis

MOTION CARRIED by a vote of 6-0 with one abstention.

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner McCollian to reaffirm the previous recommendation to approve a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering plans, landscaping plans, and building elevations, and Findings of Fact, subject to the following conditions:

1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.
3. The proposed fencing on the retaining walls shall be eliminated.
4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
7. No more than six of the eight homes shall have three-car garages.

ROLL CALL VOTE was as follows:

AYES: 6 – Broline, McCollian, Morton, Petrich, Trzupek, and Irwin
NAYS: 0
ABSTAIN: 1 – Stratis

MOTION CARRIED by a vote of 6-0 with one abstention.

Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell confirmed that this was first heard on April 18, 2022 at the Plan Commission meeting. The text amendment is to define live entertainment and permit live entertainment as accessory to uses within the business district. The takeaways from the April 18th meeting were as follows. There was no formal consensus to keep live entertainment as a special use, but many Commissioners favored that. Previously, the Village Attorney stated that any text amendment wouldn't apply to existing establishments or those with existing special uses, but he has relooked at this and crafted language so that the text amendment would apply to those establishments within PUDs and for those with existing special uses. The proposed definition of live entertainment is unchanged since April 18th. The Zoning Ordinance definition of a restaurant was added to the packet. A new #12 has been added within Section 8 which addresses the floorplan and applying the amendment to establishments within PUDs and with existing special uses.

Chairman Trzupek confirmed with Mrs. Farrell that most existing establishments only offer live music as entertainment and that this text amendment would apply to establishments like Are We Live.

Chairman Trzupek asked for public comments.

Mark Thoma, 7515 Drew, stated that live entertainment should remain a special use since there are many restaurants that back up to residential areas.

Nick Esposito, representative for Capri and Are We Live, stated that he is happy with the text amendment.

Commissioner Stratis stated that 49% of floor space for live entertainment is too large and questioned if there is a better standard for size. Commissioner Stratis did not support this language applying to other businesses outside of the Business Districts like Edgewood Valley Country Club or the Marriott.

Commissioner McCollan did not support 49% floor space dedicated to live entertainment.

Commissioner Broline preferred keeping live entertainment as a special use.

Commissioner Petrich stated that live entertainment should be a special use consistent with Clarendon Hills, Hinsdale, and Western Springs. Commissioner Petrich confirmed with Mrs. Farrell that the live entertainment amendment does not include dancing which is separate within the Zoning Ordinance and that karaoke would be included. Commissioner Petrich wanted clarification that the pre-packaged food is related only to the wine boutique and that 49% is too high.

Commissioner Irwin supports the comments from the Commissioners and did not like the first sentence of the proposed definition since that opens to other uses. Commissioner Irwin favors a special use for live entertainment.

Commissioner Morton supports keeping live entertainment as a special use. Commissioner Morton confirmed with staff the special event provision within the Noise Ordinance.

Chairman Trzupek would support making live entertainment a permitted accessory use or keep as a special use. Chairman Trzupek agreed on modifying the definition and that 49% floor space is too large since only a couple hundred square feet is needed to accommodate a stage.

Commissioner Stratis would support live entertainment as an accessory use and defining how much space should be dedicated to the live entertainment space.

Nick Esposito stated that he has a lot of performers in his family. Mr. Esposito stated that the definition could include words like theatrical or within the realm of performing arts.

Chairman Trzupek confirmed that the definition needs to be amended and the amount of floor space dedicated to the use.

There was discussion amongst the Commissioners about live entertainment floor space and that it should exclude room for dancing.

Mark Thoma stated this should be a special use because it is so difficult to determine how much space is needed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to continue the public hearing for Z-08-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Morton, Petrich, Broline, Stratis, McCollian, and Trzupek
NAYS: 0

MOTION CARRIED by a vote of 7-0.

Z-12-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that this is related to commercial vehicles within residential districts. Commercial vehicles are prohibited from being parked overnight and outside. Only two commercial vehicles may be stored inside a fully enclosed building or structure for a single family detached home. Only one commercial vehicle can be stored indoors for duplexes, multifamily, or townhomes. Mrs. Farrell stated that within those existing regulations, there are five criteria which define a commercial vehicle. One criterion

which poses a challenge is, “any vehicle with attached axillary equipment including, but not limited to, plows, equipment, rafts, storage boxes or lockers.” A storage box or locker doesn’t necessarily have to be used for commercial purposes, sometimes storage boxes are used for personal storage. There are options for the Commission to pursue including striking that provision completely, removing portions of the provision which seem to be problematic such as the racks, storage boxes or lockers, or requiring one other qualifier from that section. For example, if you have a storage box and a business logo then you are defined as a commercial vehicle.

Chairman Trzupek asked for public comment.

Alice Krampits, 7515 Drew, asked what the purpose of the amendment was and if there was a particular problem going on in the town. Mrs. Farrell stated there was a code enforcement complaint about a pickup truck vehicle which had a storage box for personal use. Ms. Krampits stated that the rules sound like they belong in a subdivision that has a homeowner’s association and that they are extremely restricting. Ms. Krampits asked about Uber and if that would be a commercial vehicle since they have stickers in the windows. Mrs. Farrell stated that would be considered a commercial vehicle if there was a business logo. Ms. Krampits does not think that utility boxes on the back of pick-up trucks is a big deal. Ms. Krampits stated that the regulation for vans without windows or seats is too restrictive.

Commissioner Morton also objects to vans without windows being prohibited and that he does not have an issue with pick-up trucks. He stated there are some challenges distinguishing commercial from private use and if there was a way to check registration or insurance.

Commissioner Irwin agreed to remove the storage lockers and boxes but not racks. Commissioner Irwin supported the idea to check registration.

Commissioner Petrich prefers keeping the regulation as is. Commissioner Petrich would support storage boxes or lockers that are below the sides of the truck or under the cover.

Commissioner Broline questioned if there was a way to allow plows seasonally.

Commissioner McCollan supports removing storage boxes and lockers from the definition.

Commissioner Stratis supports removing storage boxes and lockers from the definition but did not support amending the provision regarding vans.

Chairman Trzupek confirmed that RVs are classified under a different provision of the Zoning Ordinance. Chairman Trzupek supported eliminating the storage boxes and lockers.

Commissioner Morton stated that the State of Illinois recognizes vans as passenger vehicles and that the restriction is an overreach.

By a show of hands, there were only three Commissioners who were in favor of eliminating the provision about vans.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Irwin to continue the public hearing for Z-12-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Morton, Irwin, Stratis, Broline, Petrich, Trzupek, and McCollan

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

V. CORRESPONDENCE

There were no comments on the May 23, 2022 Board Report or April 2022 Building Report.

VI. OTHER CONSIDERATIONS

A. PC -02-2022: 10S381 Madison St. (Musa); Extraterritorial Review of Rezoning and Plat of Subdivision [FROM APRIL 4, 2022 MEETING BUT PETITION WAS REVISED]

Review of a DuPage County rezoning request from R-1 Single Family to R-2 Single Family with variations for lot size on Lot 2 and Lot 3 from 40,000 sq. ft. to 36,000 sq. ft. and a proposed three-lot subdivision.

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that the proposed three-lot subdivision and rezoning was on the April 4th meeting but since that time, the request was amended. The petition is now proposing R-2 instead of R-3 and variations for two lots since they do not meet the minimum 40,000 sq. ft. minimum requirement. Mrs. Farrell read a statement from Jessica Infelise, Zoning Administration Coordinator with DuPage County Building & Zoning Department, “the petitioner stated that most of the unincorporated adjacent residential properties are R-1 single-family and that transitioning from R-1 to R-2 would make more sense than R-3 for the neighborhood and the presentation.” Mrs. Farrell noted that was the reason for the change in the rezoning request, but that the three-lot subdivision itself is unchanged.

Chairman Trzupek understands that the area is more consistent from R-1 to R-2 but it is the same size lots which are really R-3. Chairman Trzupek did not support variations on the R-2 zoning and preferred to see proper R-3.

Commissioner Stratis agreed and questioned what the petitioner gained by rezoning to R-2.

Commissioners McCollan, Broline, Petrich, Irwin, and Morton did not have any comments.

Sherie DeDore, 10S420 Glenn Dr., lives across from the parcel. Ms. DeDore did not support R-3 since the lots could be made smaller. Ms. DeDore supports R-2 with variations since they cannot come back and re-subdivide the parcels smaller.

Chairman Trzupek clarified with Mrs. Farrell that Lots 2 and 3 would not meet R-3 standards if they were further divided, but Lot 1 might be able to be divided to create two R-3 lots.

Chairman Trzupek prefers the R-2 with variations after the public comments which were made. The Commissioners generally agreed to submit updated comments to DuPage County to that effect.

VII. PUBLIC COMMENT

Mark Thoma recommended an eyesore ordinance about commercial vehicles that are unsightly or contain construction materials.

VIII. FUTURE MEETINGS

Mrs. Farrell briefly listed the June 20 Plan Commission scheduled cases.

A. V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact

Request for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback.

B. Z-10-2022: 9115 Kingery Highway (Thorntons LLC) AMENDED PETITION; Special Uses, PUD Amendment, Variations, and Findings of Fact [REMANDED FROM MAY 23, 2022 VILLAGE BOARD MEETING]

Amended request for the automobile gasoline sale station to include 24-hour operation.

C. Z-16-2022: 6860 North Frontage Rd. (Action Behavior Centers); Special Uses and Findings of Fact

Requests special uses for a child care center and for a fence in a non-residential district.

D. Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Special Use, Variation, Planned Unit Development, and Findings of Fact

Requests to rezone the property, variations, and a PUD.

E. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text

Amendment and Findings of Fact [CONTINUED FROM MAY 16, 2022]

Due to case load for this agenda, staff requested that this be continued until July 18.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-11-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Morton, Stratis, Broline, Petrich, and Trzuppek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

F. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16, 2022]

Due to case load for this agenda, staff requested that this be continued until July 18.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-11-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Morton, Stratis, Broline, Petrich, and Trzuppek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Chairman Trzuppek noted that he will be out of town on June 20th. Commissioner Petrich confirmed that he will be in attendance and acting as Chair.

Commissioner Broline asked about public notice for the commercial vehicles text amendment. Mrs. Farrell stated that text amendment notifications are published in the newspaper and the agendas published online.

Chairman Trzuppek asked about recordings of Plan Commission meetings being available online. Mrs. Farrell stated that this is being reviewed including cost estimates solicited on the potential to film the meetings.

IX. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 8:16 pm.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Stratis, Morton, Petrich, Broline, McCollian, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Respectfully Submitted:

Janine Farrell, AICP
Community Development Director

ORDINANCE NO. _____-22

**AN ORDINANCE AMENDING SECTION 25.09
OF CHAPTER 25, ENTITLED “LIQUOR CONTROL,”
OF THE BURR RIDGE MUNICIPAL CODE**

WHEREAS, the corporate authorities of the Village of Burr Ridge (the “Village”) are expressly authorized, pursuant to Section 4-1 of the Liquor Control Act of 1934 (235 ILCS 5/1-1) to determine the number, kind and classification of licenses for the retail sale of alcoholic liquor within the Village.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. Section 25.09, entitled “Classes of Licenses – Number of Licenses – Hours,” of the Burr Ridge Municipal Code is hereby amended by amending the last paragraph thereof, as follows:

The number of Class “A” licenses issued within the Village shall be limited to one (1); the number of Class “B” licenses issued within the Village shall be limited to ~~five~~four (54); the number of Class “C” licenses issued within the Village shall be limited to one (1); the number of Class “D” licenses issued within the Village shall not be limited; the number of Class “E” licenses issued within the Village shall not be limited; the number of Class “F” licenses issued within the Village shall be limited to one (1); the number of Class “G” licenses issued within the Village shall be limited to one (1); the number of Class “H” licenses issued within the Village shall be limited to ten (10); the number of Class “I” licenses issued within the Village shall not be limited; the number of Class “J” licenses issued within the Village shall be limited to zero (0); the number of Class “K” licenses issued within the Village shall be limited to one (1); the number of Class “L” licenses issued within the Village shall be limited to one (1); the number of Class “M” licenses issued within the Village shall be limited to one (1); the number of Class “N” licenses issued within the Village shall not be limited; the number of Class “O” licenses issued within the Village shall be limited to one (1); the number of Class “P” licenses issued within the Village shall be limited to one (1); the number of Class “P-1” licenses issued within the Village shall be limited to one (1); the number of Class “Q” licenses issued within the Village shall be limited to zero (0); the number of Class “R” licenses issued within the Village shall be limited to one (1); the number of Class “S” licenses issued within the Village shall be limited to zero (0); the number of Class “T” licenses issued within the Village shall be limited to one (1). The number of Class “U” licenses issued within the Village shall be limited to one (1). If any license of any class is not renewed or if any license of any class is surrendered, canceled, revoked, or otherwise terminated, the total number of liquor licenses of that class authorized to be issued by the Village herein shall be automatically reduced, accordingly.

Section 2. This Ordinance shall be in full force and effect upon its adoption and approval as provided by law.

ADOPTED this 13th day of June, 2022.

AYES:

NAYS:

ABSENT:

APPROVED this 13th day of June, 2022.

Mayor

ATTEST:

Village Clerk



June 13, 2022

Mayor Gary Grasso and Board of Trustees
7660 County Line Road
Burr Ridge, Illinois 60527

Re: Z-15-2022: 7950 Drew Ave. (Perino/Jarper Properties LLC); Special Use, PUD Amendment, and Findings of Fact

Dear Mayor and Board of Trustees:

After due notice as required by law, the Plan Commission held a public hearing on May 16, 2022. The petitioner, Anthony Perino of Jarper Properties LLC, stated that the purpose of his request was to amend a previously approved Planned Unit Development (PUD). On September 10, 2018, the petitioner was approved for a PUD and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. The petitioner now wishes to provide the option on six of the eight homes to have a three-car garage instead of a two-car garage. This increase in the floor area of the homes resulted in a reduction of the open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. One of the conditions of the 2018 PUD approval required that "final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees." In addition to the major change and PUD amendment request, the petitioner was requesting approval of the final engineering, landscaping plans, and building elevations. The Plan Commission transmitted its recommendation to approve a special use, PUD amendment, final engineering, landscaping plans, and building elevations, with conditions, to the Board of Trustees.

This recommendation was on the May 23, 2022 Board of Trustees meeting agenda for consideration. During public testimony, a resident stated that a Plan Commissioner discussed communication he had with the petitioner about three-car garages being offered as an option on the proposed homes and that he may have been the impetus behind the PUD amendment. To ensure that Commissioners were not unduly influenced by the statement and that there was no question about improper proceedings, the Board remanded the petition back to the Commission. The Board also requested that additional evergreen landscaping be added to the western property line.

The Plan Commission held a public hearing on June 6, 2022 on the remanded petition. For the June 6 meeting, the petitioner updated the landscaping plan to include additional evergreens along the western property line. There was no public comment made at the meeting. The Plan Commission voted to reaffirm the prior recommendation with a vote of 6 to 0 with one abstention.

The Plan Commission ***recommends that the Board of Trustees approve*** a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering plans, landscaping plans, and building elevations, and Findings of Fact, subject to the following conditions:

1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.

3. The proposed fencing on the retaining walls shall be eliminated.
4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
7. No more than six of the eight homes shall have three-car garages.

Sincerely,

Greg Trzupek, Chairman
Plan Commission/Zoning Board of Appeals



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

HEARING DATES:

May 16, 2022 and June 6, 2022
(remanded from May 23, 2022
Village Board meeting)

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP
Community Development
Director

PETITIONER:

Anthony Perino, Manager of
Jarper Properties LLC

PETITIONER STATUS:

Property Owner

PROPERTY OWNER:

Anthony Perino, Manager of
Jarper Properties LLC

EXISTING ZONING:

R-3 Residential PUD

LAND USE PLAN:

Recommends Residential Uses

EXISTING LAND USE:

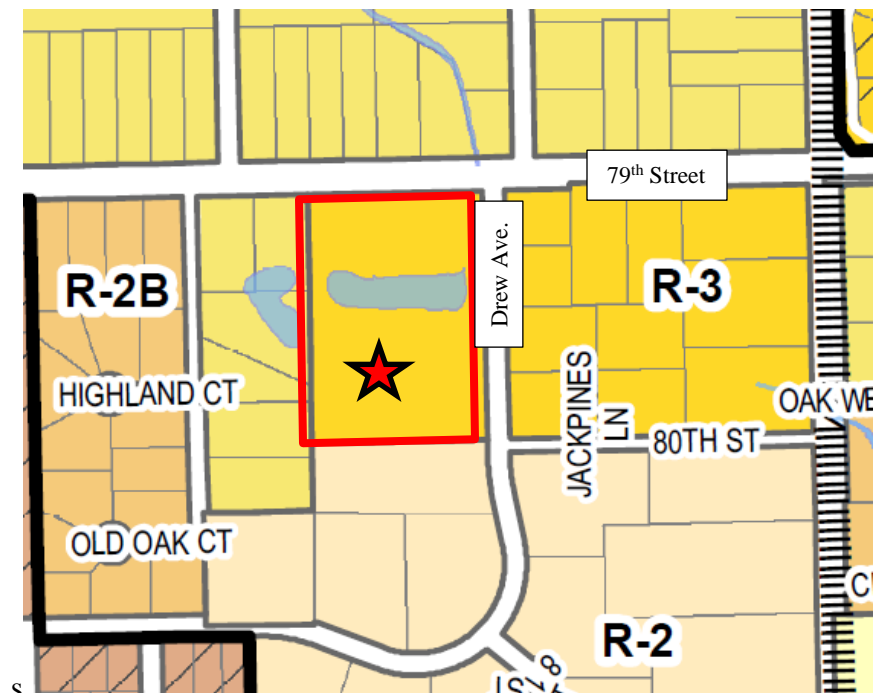
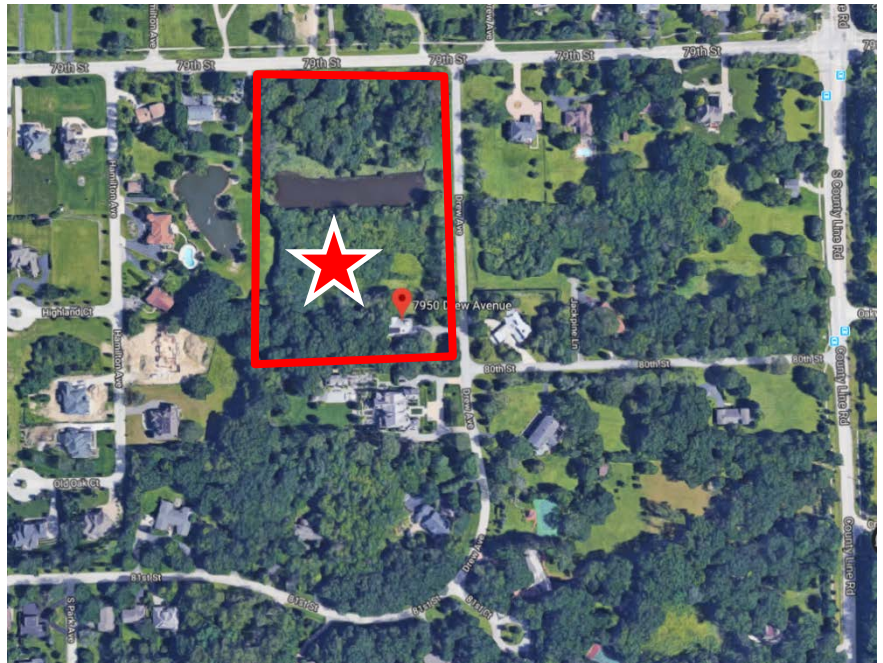
Vacant Single-Family Residential

SITE AREA:

8.87 Acres

SUBDIVISION:

Korinek's Owners



At the May 16, 2022 Plan Commission meeting, the Commission unanimously approved special use and PUD amendment requests by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering, landscaping plans, and building elevations subject to the following conditions:

1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.
3. The proposed fencing on the retaining walls shall be eliminated.
4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
7. No more than six of the eight homes shall have three-car garages.

This recommendation was on the May 23, 2022 Village Board meeting agenda for consideration. During public testimony, a resident stated that a Plan Commissioner commented about communication he had with the petitioner about three-car garages being offered as an option on the proposed homes and that he may have been the impetus behind the PUD amendment (see page 4 of the May 16, 2022 minutes). To ensure that Commissioners were not unduly influenced by the statement and that there was no question about improper proceedings, the Board remanded the petition back to the Commission. The Board also requested that additional evergreen landscaping be added to the western property line.

Since the May 16th Plan Commission meeting, the petitioner confirmed that the open space has been reduced from 88.5% to 84% which is a 4.5% reduction. The petitioner was previously required to provide over 20% stormwater detention volume beyond Ordinance requirements in 2018. According to the petitioner's engineer and the Stormwater Report, slightly under 30% additional stormwater detention volume is now being provided.

The petitioner submitted an abbreviated, revised plan set which includes:

- Updated landscape plan with new evergreen plantings on the western property line
- Relocated trees to minimize impact with the retaining walls
- Label reference to fence rail on the walls being eliminated
- Three car garage options are shown for five homes (#2, 3, 4, 5 & 6). Two car garage option would remain on homes #1 and 8.
- Side yard building separation dimensions noted.

The remainder of the submittal, which includes building elevations and a site plan, are unchanged from May 16, 2022. Digital versions of those plans are available on the Village's website under Plan Commission/Zoning Board of Appeals meeting packet materials.

Findings of Fact and Recommendation

The petitioner prepared Findings of Fact which were previously adopted on May 16, 2022 and are attached as Exhibit A.

Since the Commission unanimously approved the request on May 16, 2022, the Commission may wish to take a new vote on the matter or vote to reaffirm the previous recommendation.

Appendix

Exhibit A – Petitioner’s Materials and Findings of Fact

- Application and Findings of Fact
- Revised plan set



EXHIBIT A

VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

APR 19 2022

VILLAGE OF BURR RIDGE

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES LLC

STATUS OF PETITIONER: ANTHONY PERINO, MANAGER

PETITIONER'S ADDRESS: 155 ANN ST., CLARENDON HILLS, IL 60514

ADDRESS OF SUBJECT PROPERTY: 7950 DREW AVE.

PHONE: 630-850-9170

EMAIL: aperino@jarperpropertiesllc.com

PROPERTY OWNER: JARPER PROPERTIES LLC

PROPERTY OWNER'S ADDRESS: 155 ANN STREET
CLARENDON HILLS, IL 60514 PHONE: 630-850-9170

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUIRES
OPEN SPACE REDUCTION OF 10% (MAJOR CHANGE IN P.U.D) AND INCREASE OF 1.13% FOR IMPERVIOUS
COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (MINOR CHANGE IN P.U.D)

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 8.87/386,377 EXISTING ZONING: R-3, P.U.D.

EXISTING USE/IMPROVEMENTS: VACANT

SUBDIVISION: THE COTTAGES OF DREW 7950 DREW AVE.

PIN(S) # 09-36-201-004

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

ANTHONY PERINO MANAGER

4/19/2022
Date of Filing



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign


The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

7950 DREW AVENUE

Property Owner or Petitioner:

JARPER PROPERTIES LLC - ANTHONY PERINO, MGR.
(Print Name)


(Signature) MANAGER



- SITE INFORMATION & NOTES:**
- Total Property Area = 8.87 ac.
 - Homes + Drives = 1.4 ac. (13%)
 - Dedicated Open Space/Common Area Managed by Homeowners Associates = 7.47 ac. (84%)
 - Homes 2, 3, 5, 6, & 7 Show Option for 3 Car Garages
 - Distance Between Houses Range from 20'-0" to 22'-5"
 - Street Trees along Cottage Court Spaces at 40' o.c. per Village Code

20'0'40'80'

N

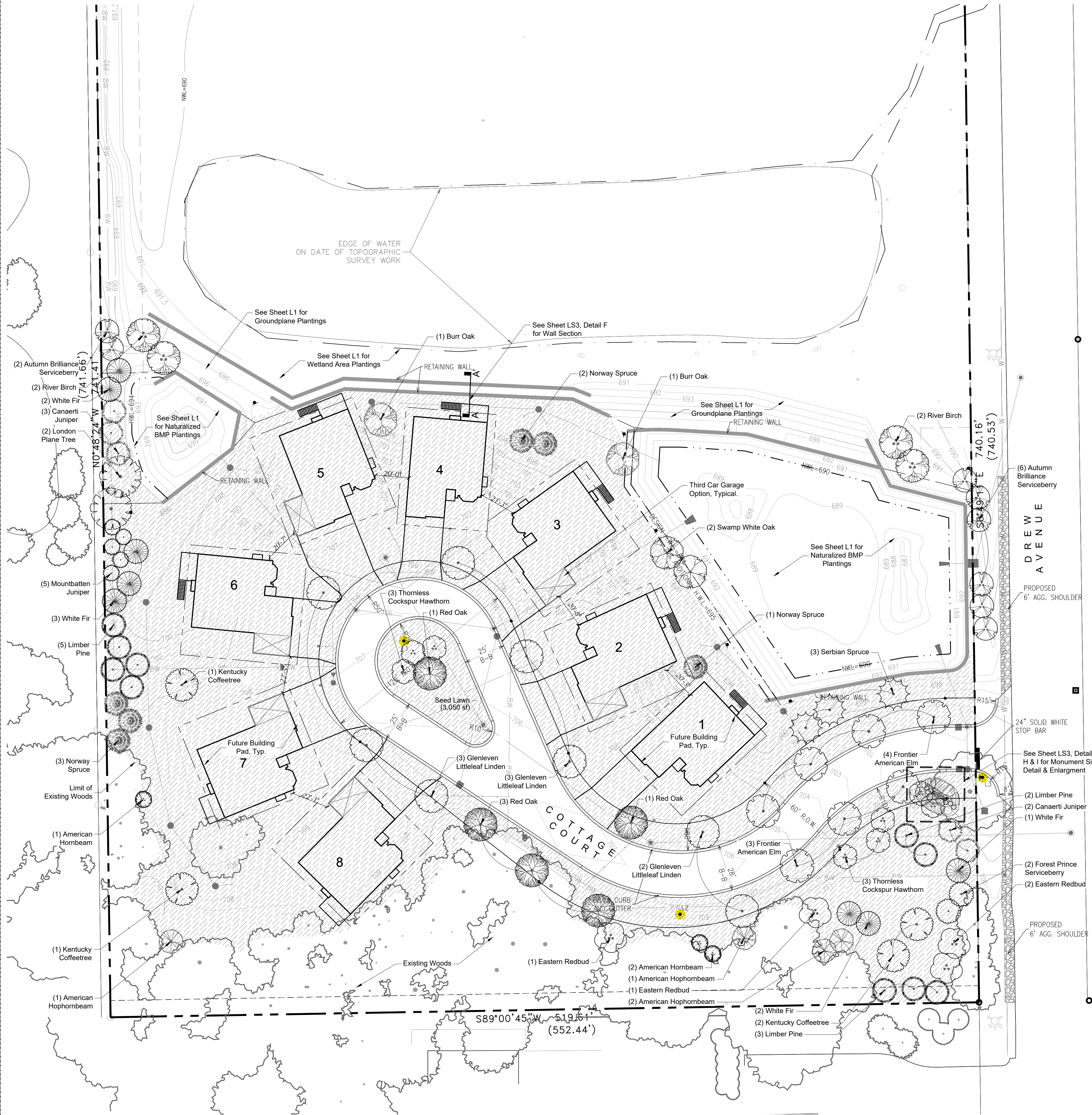
teska

Landscape Architecture















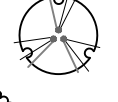





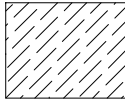
827 Grove Street,
Evanston, Illinois 60201
Tel 847.869.2015
Fax 847.869.2059

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LANDSCAPE SITE PLAN		ADVANTAGE		REMARKS	
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527		THE COTTAGES OF DREW BURR RIDGE, ILLINOIS		NO.	DATE
				1	3/4/19
				2	9/24/19
				3	10/21/19
				4	10/24/21
				5	3/15/22
MAY 27, 2022		JOB: 16-086		6	5/16/22
SHEET: LSO		80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 847-260-4758		REVISED PER VILLAGE & COUNTY	
25 OF 27				REVISED PER CIVL	
				REVISED PER ARCH	
				REVISED PER ARCH	



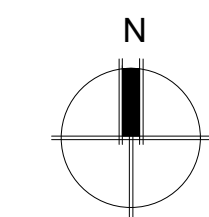
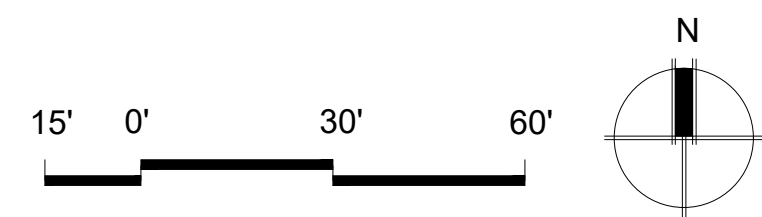
LANDSCAPE COMMON AREA PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Abies concolor / White Fir	6' ht.	B&B	8
	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper	4' - 6' ht.	B&B	5
	Juniperus virginiana 'Canaertii' / Canaerti Juniper	4' - 6' ht.	B&B	8
	Picea abies / Norway Spruce	6'-8' ht.	B&B	6
	Picea omorika / Serbian Spruce	6'-8' ht.	B&B	3
	Pinus flexilis / Limber Pine	6'-8' ht.	B&B	10
CANOPY TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Betula nigra / River Birch	6'-8' ht., multi-stem	B&B	4
	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" cal.	B&B	4
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	2.5" cal.	B&B	2
	Quercus bicolor / Swamp White Oak	2.5" cal.	B&B	2
	Quercus macrocarpa / Burr Oak	2.5" cal.	B&B	2
	Quercus rubra / Red Oak	2.5" cal.	B&B	5
	Tilia cordata 'Glenleven' / Glenleven Littleleaf Linden	2.5" cal.	B&B	8
	Ulmus x 'Frontier' / Frontier American Elm	2.5" cal.	B&B	7
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	4'-6' ht., multi-stem	B&B	8
	Amelanchier x grandiflora 'Forest Prince' / Forest Prince Serviceberry	4'-6' ht.	B&B	2
	Cercis canadensis / Eastern Redbud	4'-6' ht., multi-stem	B&B	4
	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4'-6' ht., multi-stem	B&B	6
UNDERSTORY TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Carpinus caroliniana 'JN Strain' TM / American Hornbeam	4'-6' ht., multi-stem	B&B	3
	Ostrya virginiana / American Hophornbeam	2.5" cal.	B&B	4
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	QTY	
	Seed Lawn / IDOT Class 1B Low Maintenance Lawn Mixture	seed	109 937 sf	
	Fine Leaf Turf-Type Fescue	150 lbs. / acre		
	Perennial Ryegrass	20 lbs. / acre		
	Red Top	10 lbs. / acre		
	Creeping Red Fescue	20 lbs. / acre		
	Total = 200 lbs. / acre			

MONUMENT SIGN PLANT SCHEDULE















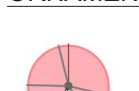





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SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	36" ht.	B&B/CG	1
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	18" ht.	B&B/CG	5
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Geranium x 'Rozanne' / Rozanne Cranesbill	2.25" pot	18" o.c.	41
	Hosta fortunei 'Frances' / Fortune's Hosta	1 gal.	36" o.c.	5
	Liriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	108
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Aster novi-belgii 'Woods Purple' / Woods Purple Aster	2.25" pot	12" o.c.	55


- NOTES:
- Distance Between Houses Range from 20'-0" to 22'-5"
 - Street Trees along Cottage Court Spaces at 40' o.c. per Village Code




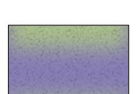
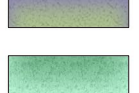



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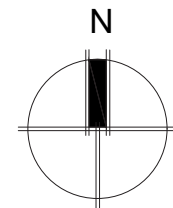
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	Total = 200 lbs. / acre		


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15'0'30'60'



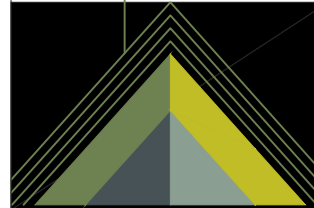


teska
Landscape Architecture
827 Grove Street,
Evanston, Illinois 60201
Tel 847.869.2015
Fax 847.869.2059

REVISIONS

NO.	DATE	REVISED PER VILLAGE & COUNTY	RE-USED PER CIVIL	RE-USED PER ARCH	REVISED PER ARCH	REVISED PER ARCH
1	3/4/19					
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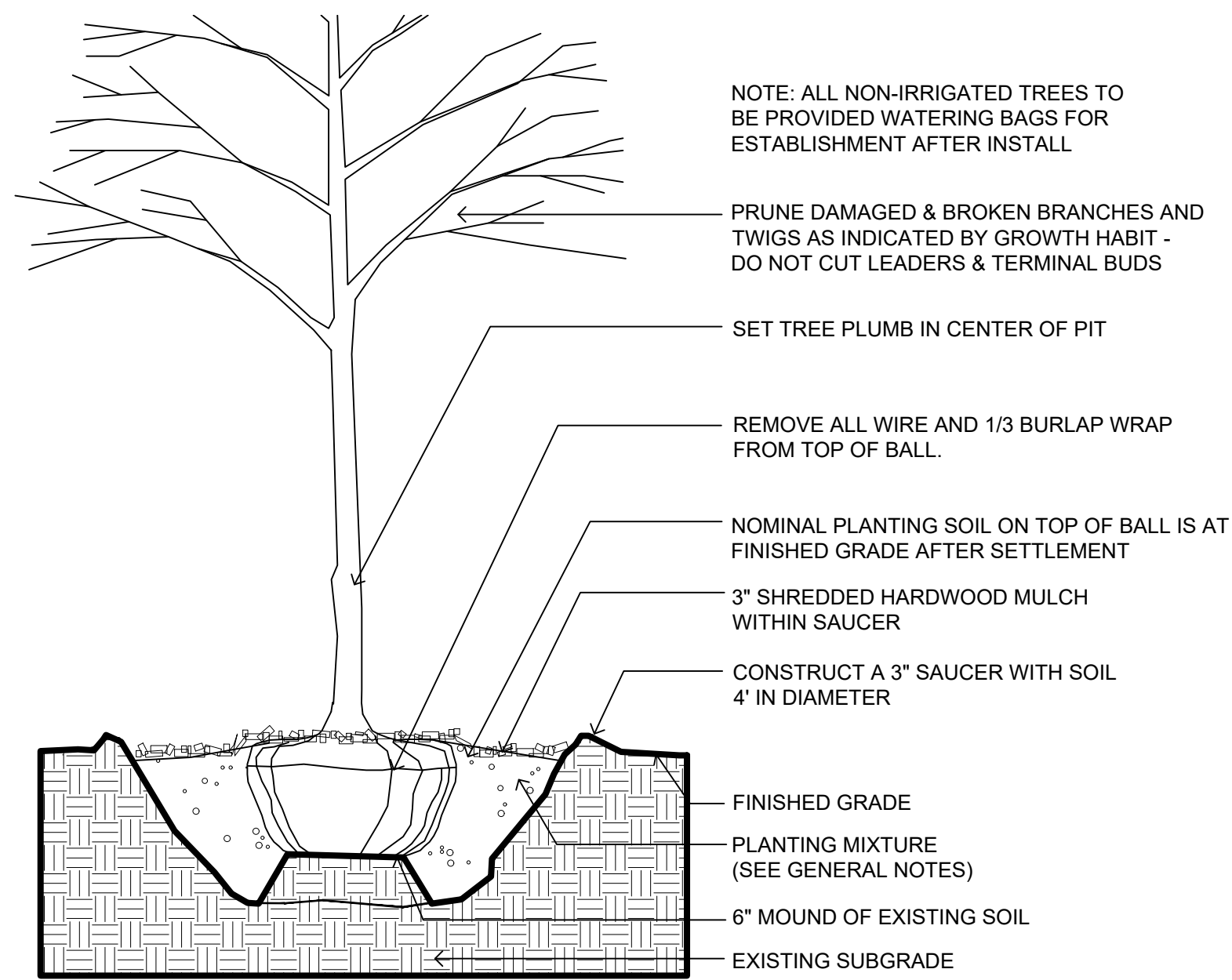
LANDSCAPE COMMON AREA PLANTING PLAN



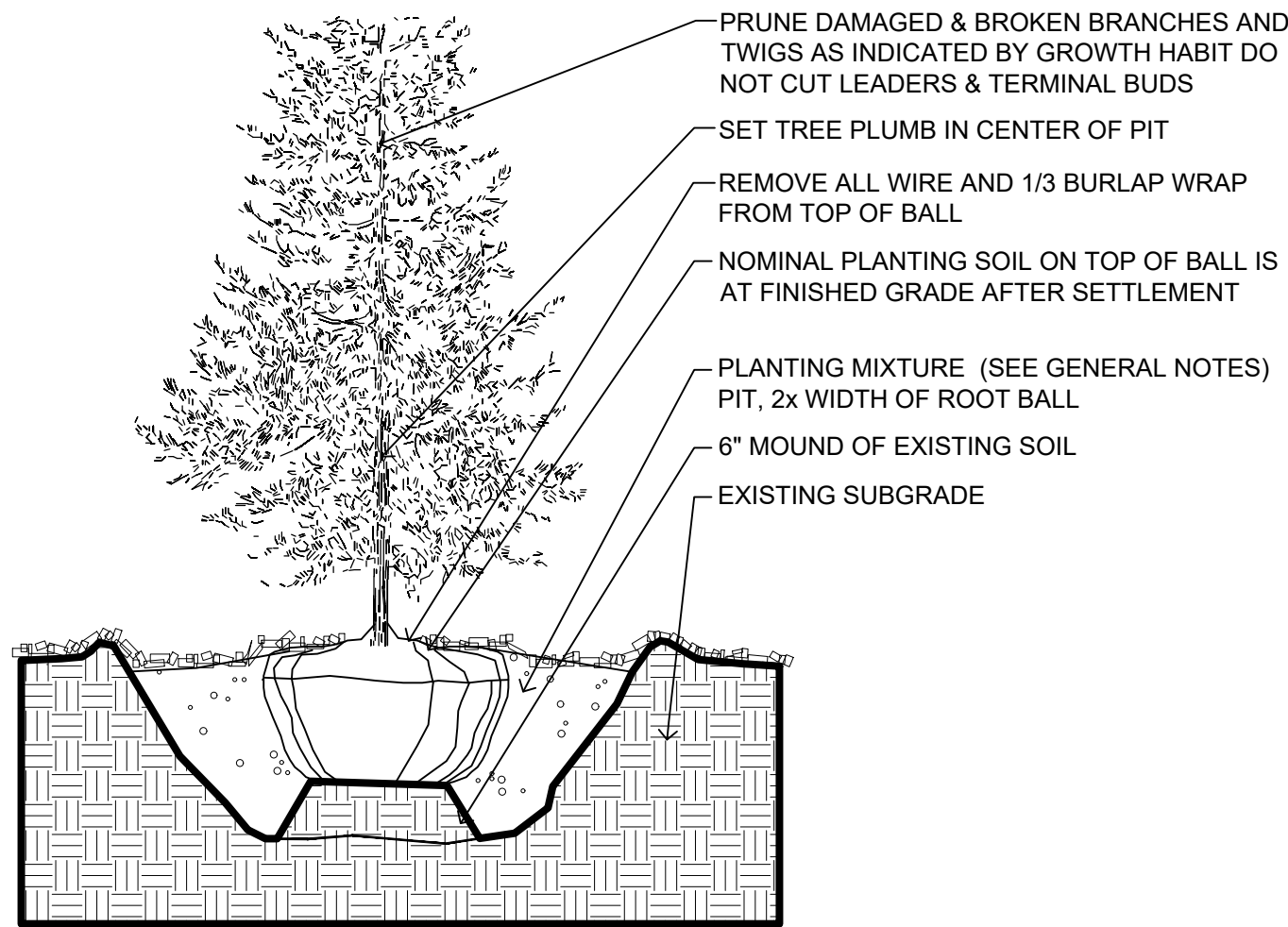
THE COTTAGES OF DREW
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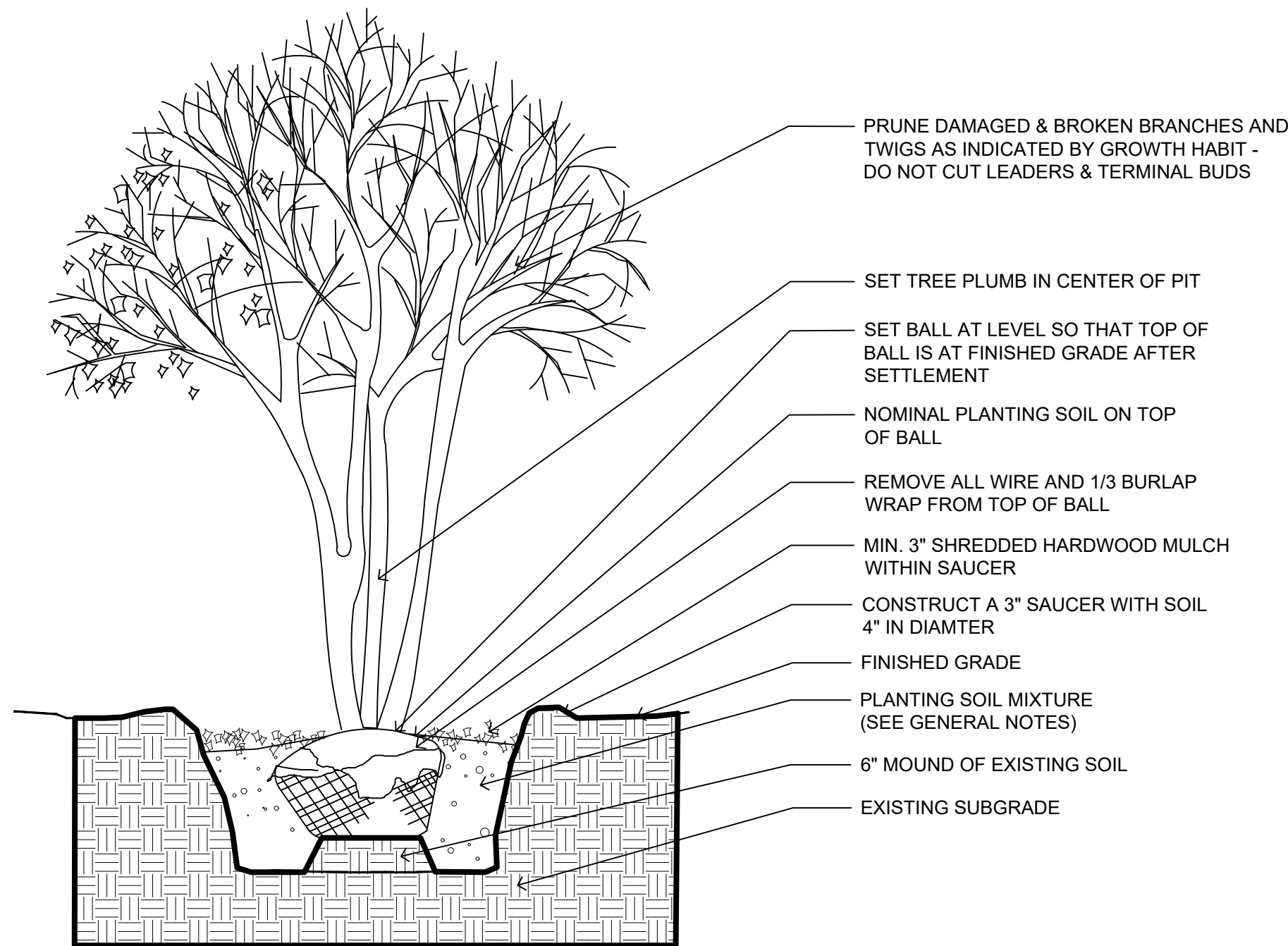
MAY 27, 2022
JOB: 16-086
SHEET:
LS1
25 OF 27



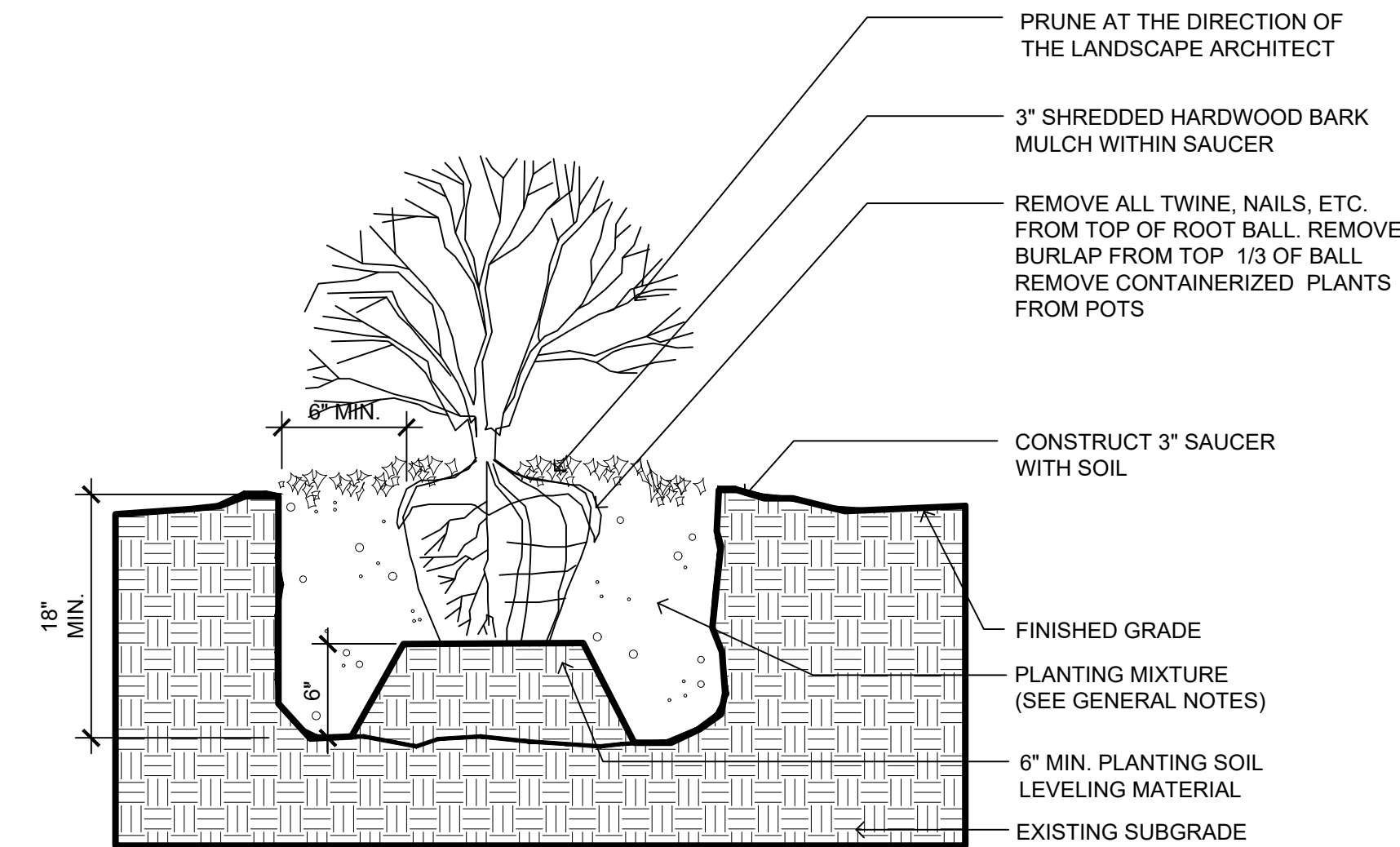
A SHADE TREE PLANTING DETAIL
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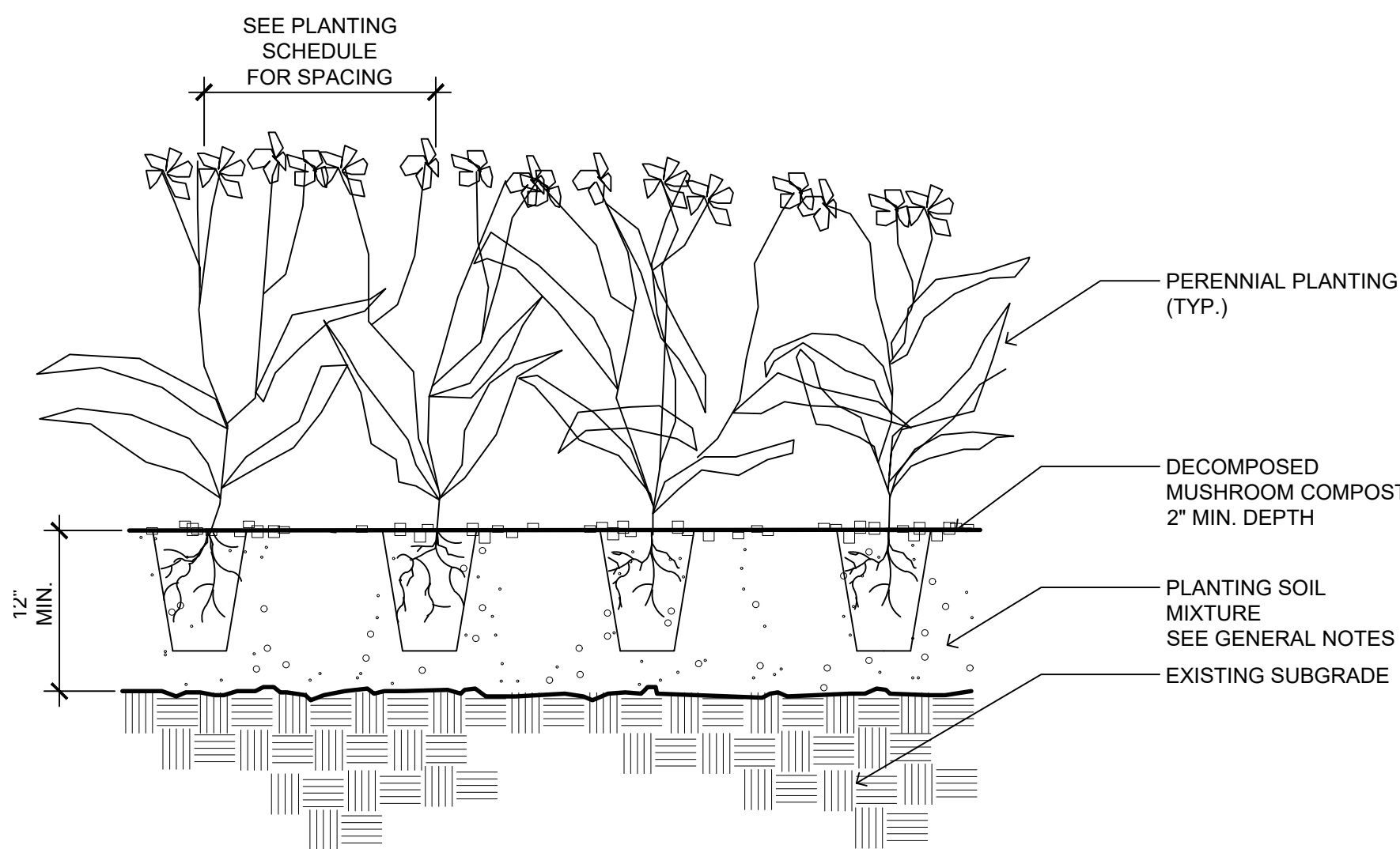
B EVERGREEN TREE PLANTING DETAIL
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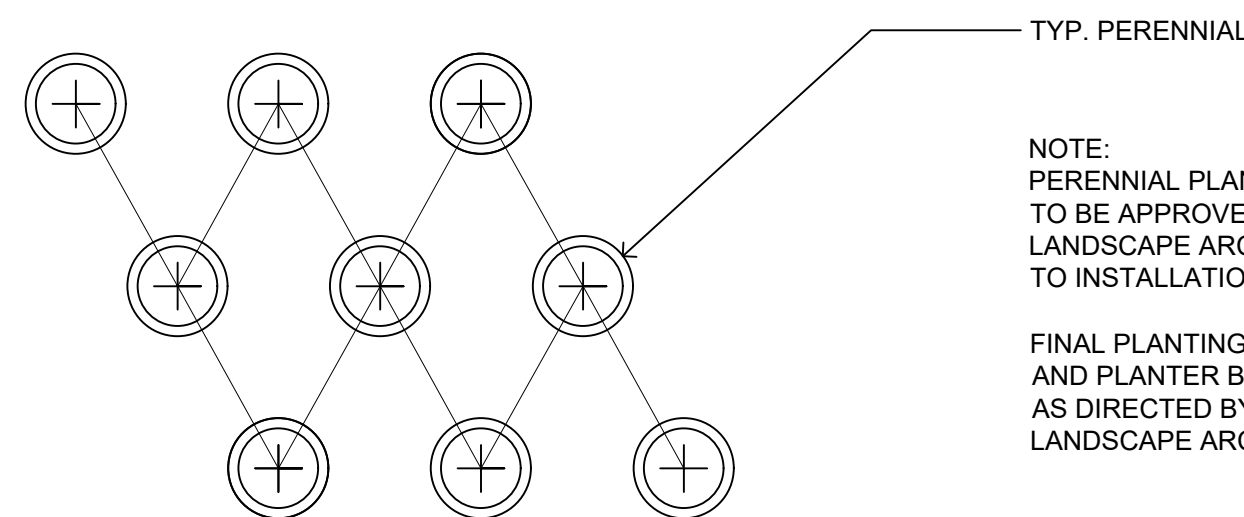
C ORNAMENTAL / UNDERSTORY TREE PLANTING DETAIL
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D SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



E PERENNIAL PLANTING DETAIL
SCALE: NOT TO SCALE



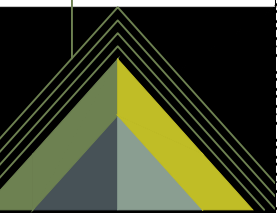
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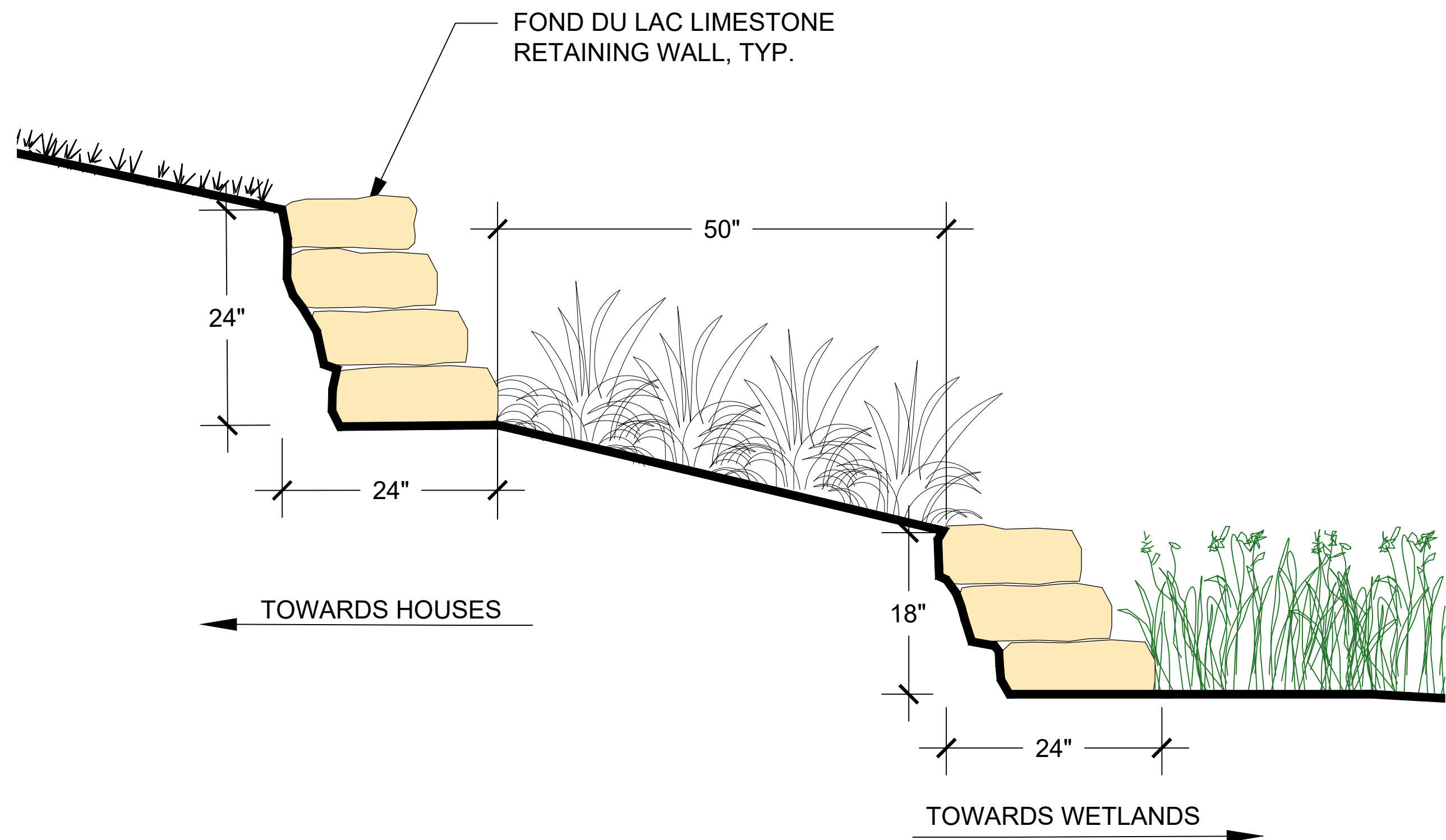
1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE ACCEPTED.
5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)
7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.
8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.
10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).
12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/Form OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT PRACTICE' TECHNIQUES.
13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUNDCOVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.
14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.
15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.
16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.
19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

BID OPTION:

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND SYSTEM.
21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN.

NO.	DATE	REMARKS	
		REVISED PER VILLAGE & COUNTY	REVISED PER OWNER
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2	9/24/19		
3	10/27/19		
4	10/04/21		
5	3/15/22		
6	5/06/22		





F WALL SECTION A - A'
1"=1'-0"

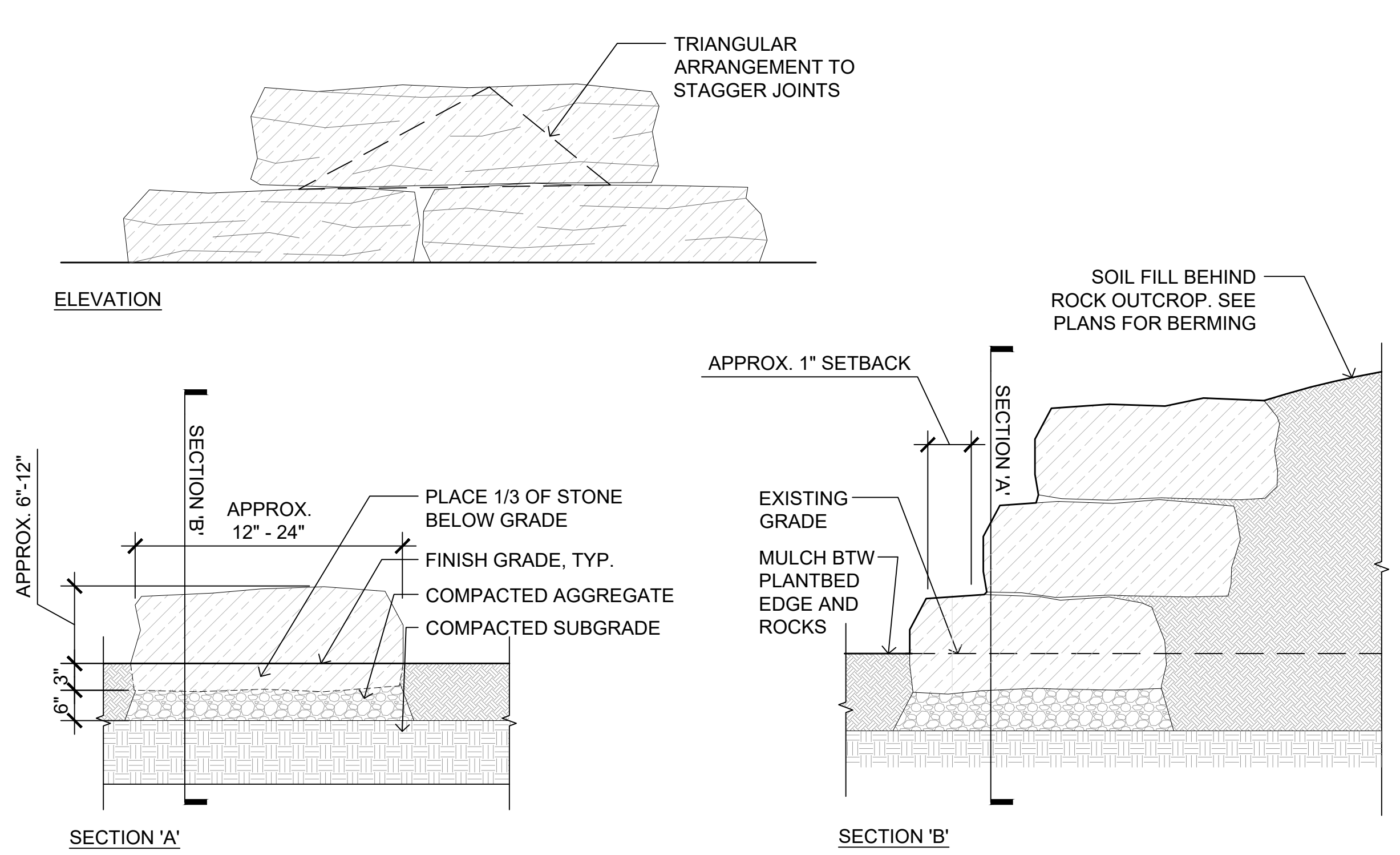


NOTES:

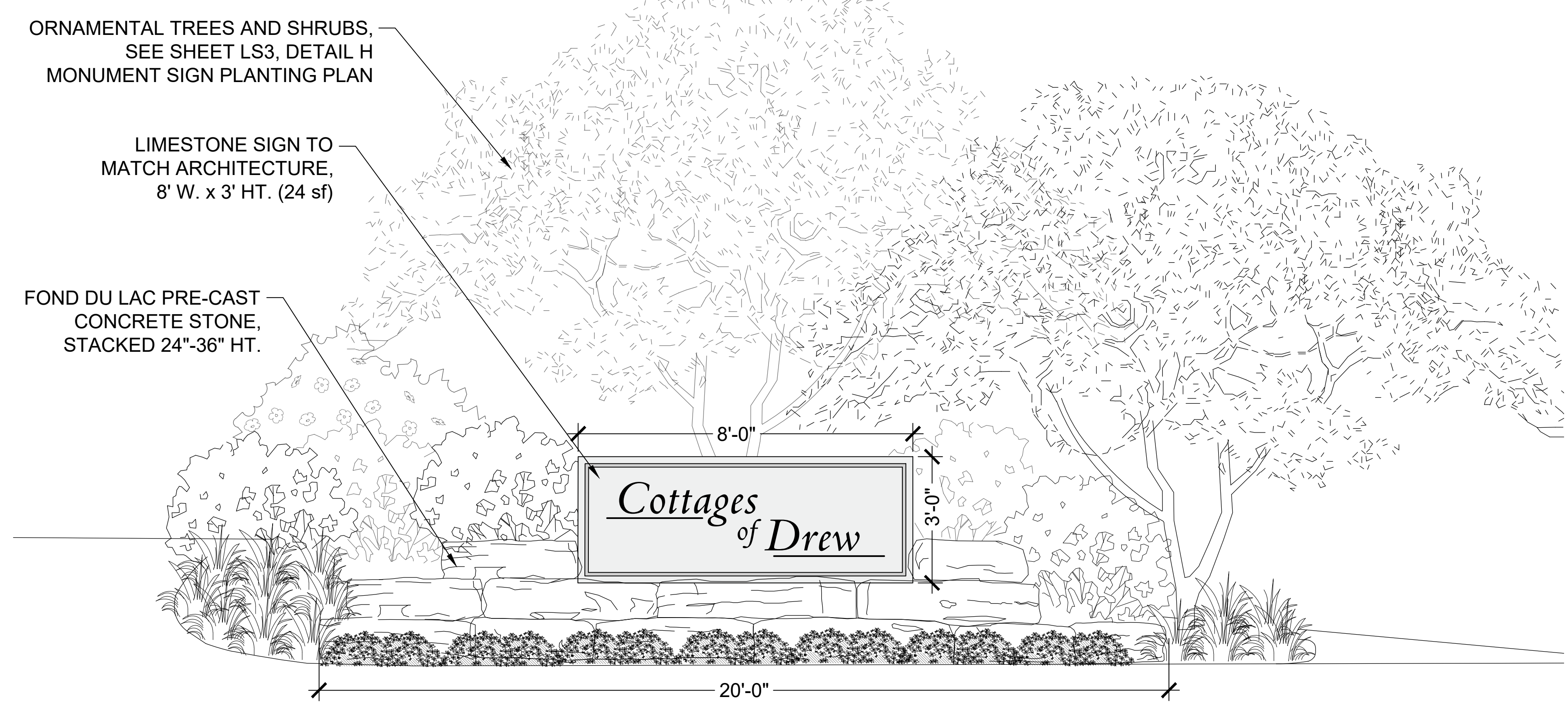
DO NOT PLACE STONES OF THE SAME HEIGHT, SHAPE, OR MASS NEXT TO EACH OTHER.

ARRANGE STONES IN TRIANGULAR, STACKED GROUPINGS, LEVEL FLAT AND SHIMMED TO PREVENT ROCKING.

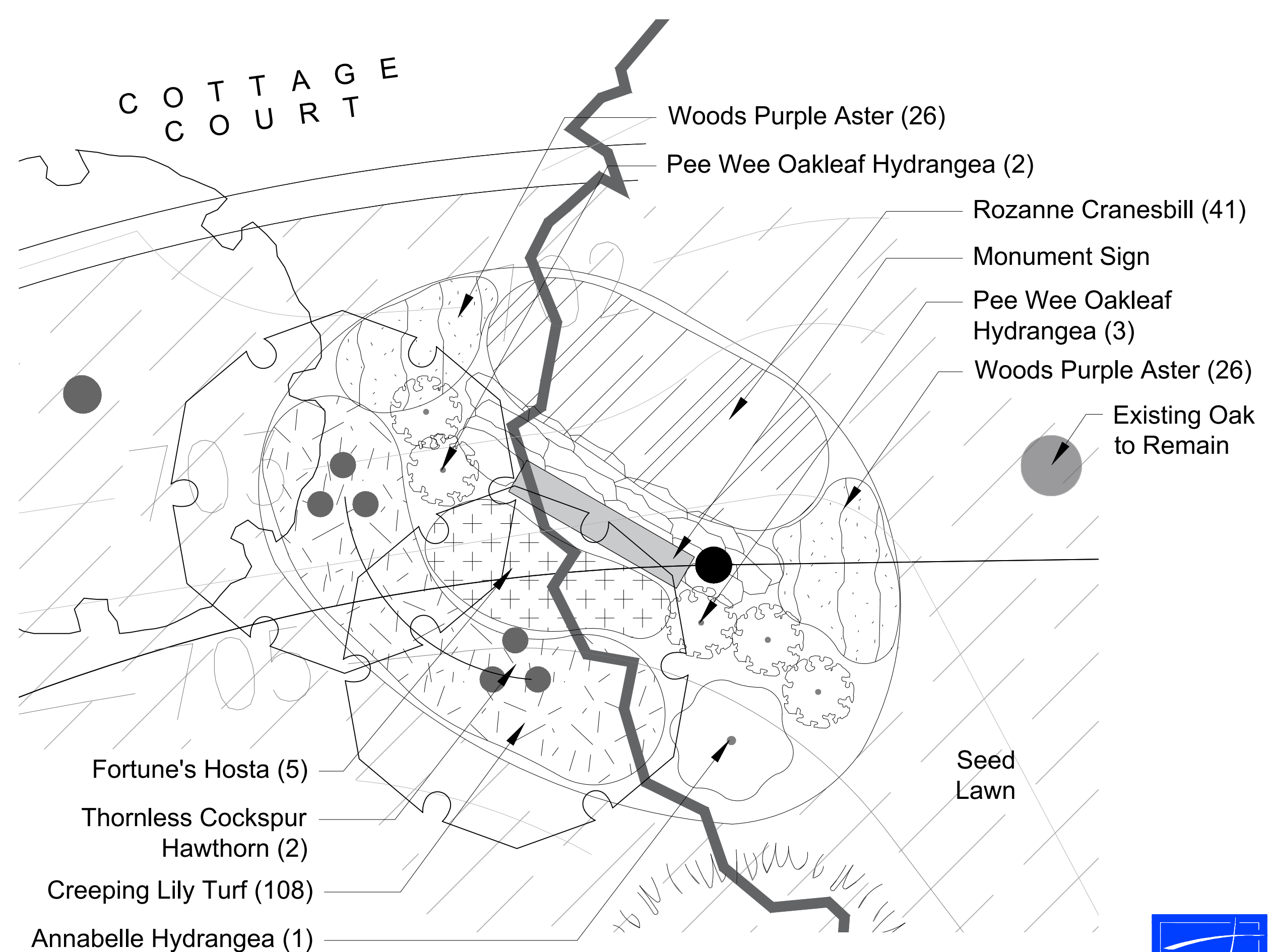
ARRANGE STONES IN ODD NUMBERED GROUPS OF THREE, FIVE OR SEVEN. FINAL PLACEMENT OF STONES TO BE APPROVED BY L.A.



G WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL
NOT TO SCALE



H MONUMENT SIGN DETAIL
1/2" = 1'-0"



I MONUMENT SIGN PLANTING PLAN
1/4" = 1'-0"

REMARKS		DATE	
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6	5/16/22	REVISED PER ARCH	

ADVANTAGE
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847.260.4758

THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

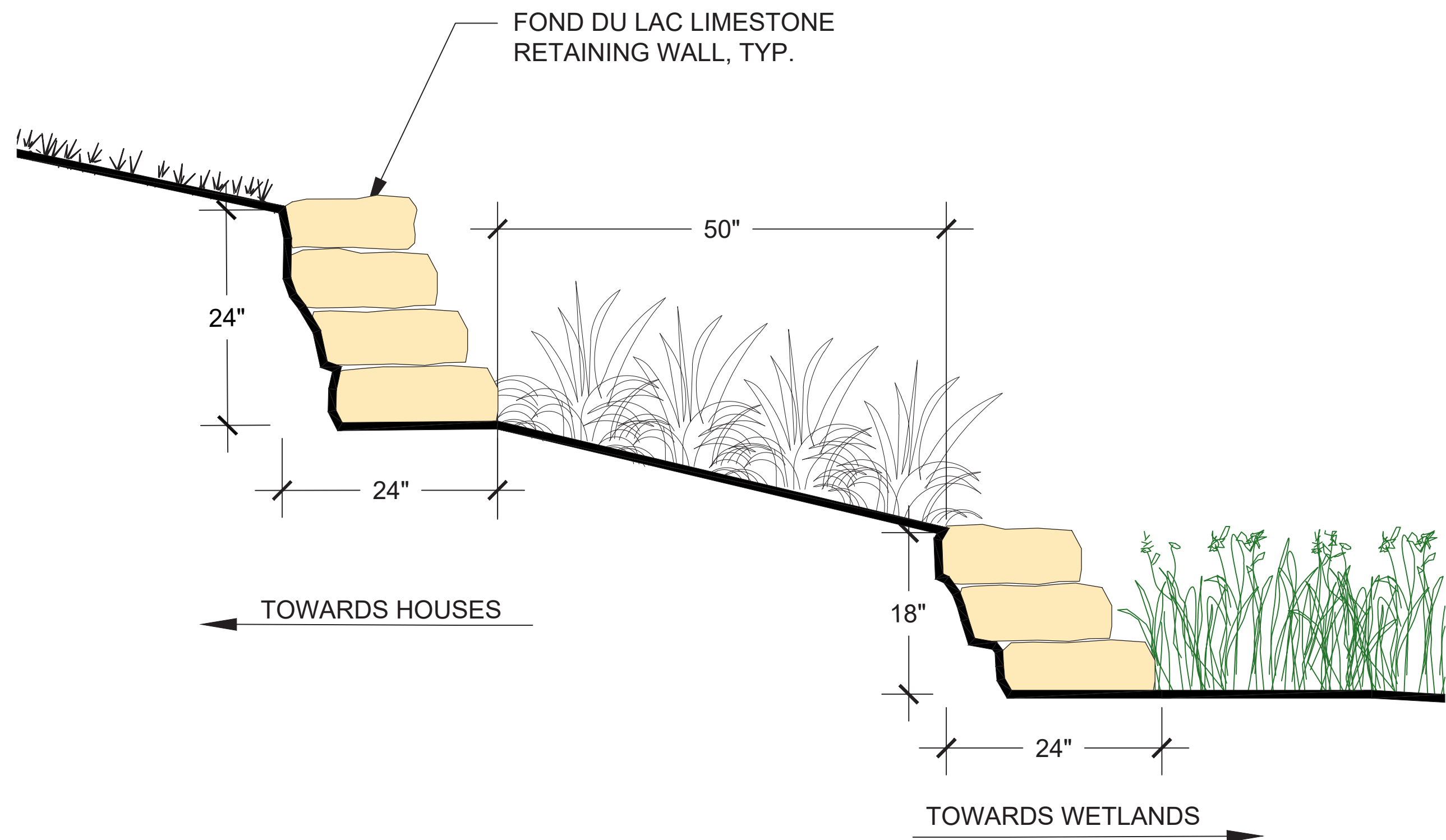
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WALL & SIGNAGE DETAILS

teska
Landscape Architecture
627 Grove Street,
Evanston, Illinois 60201
Tel 847.869.2015
Fax 847.869.2059

MAY 27, 2022
JOB: 16-086

SHEET:
LS3
27 OF 27



F WALL SECTION A - A'
1"=1'-0"

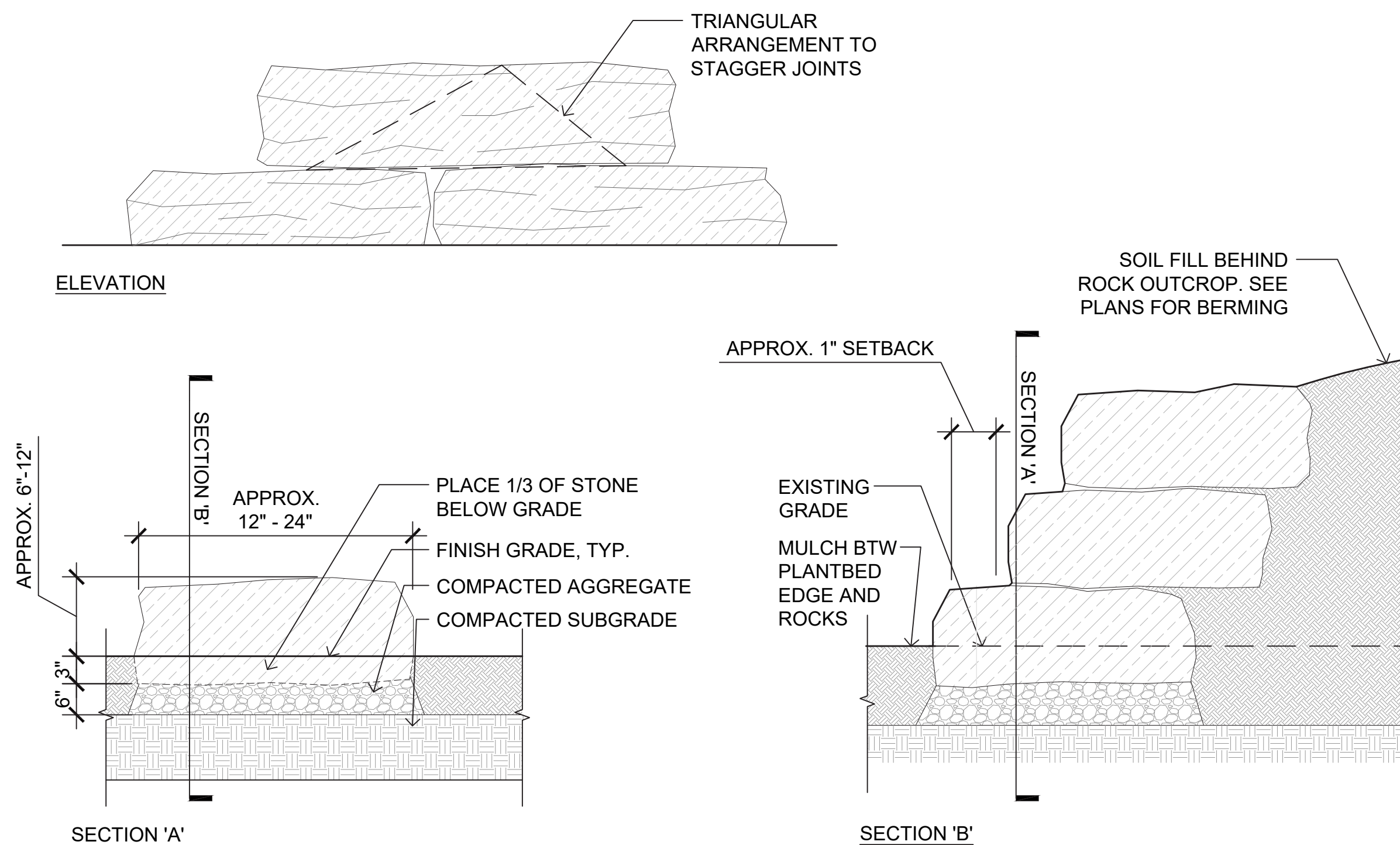


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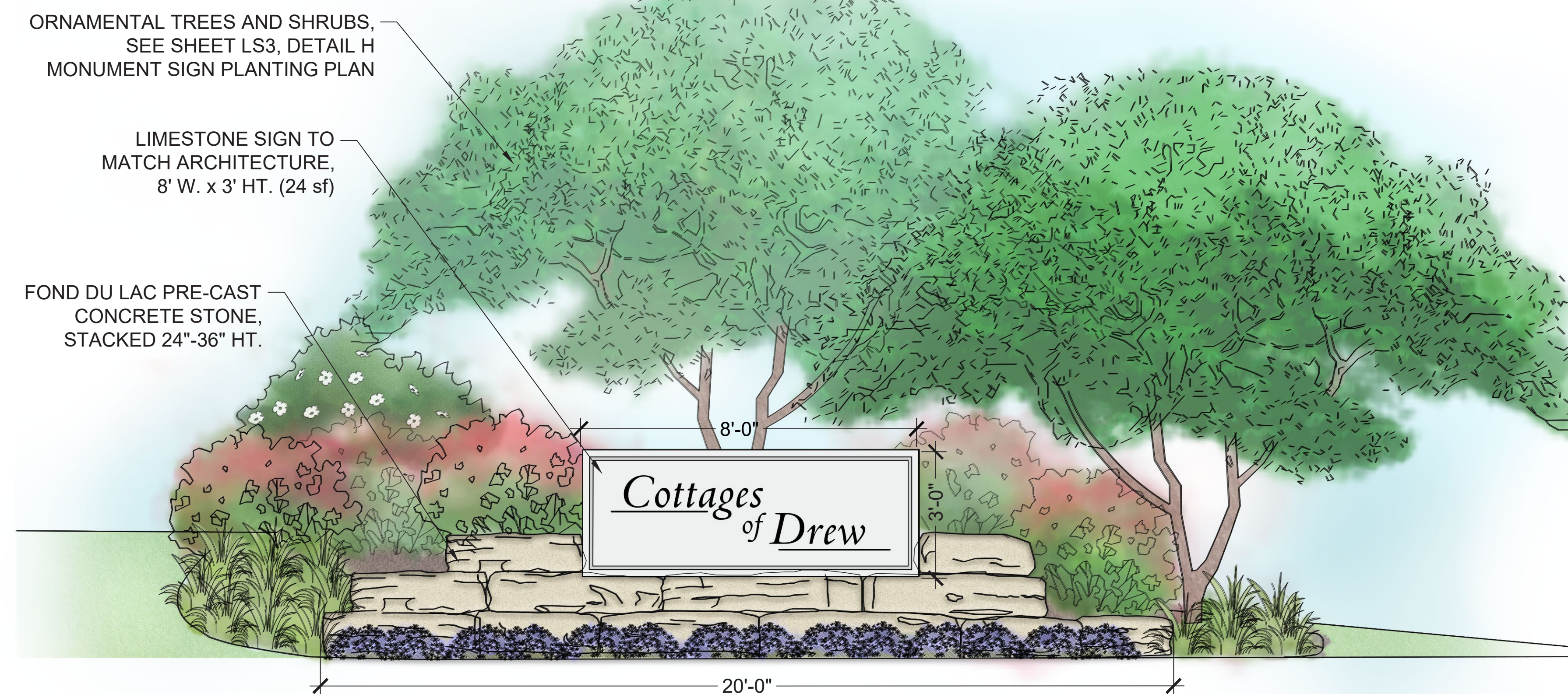
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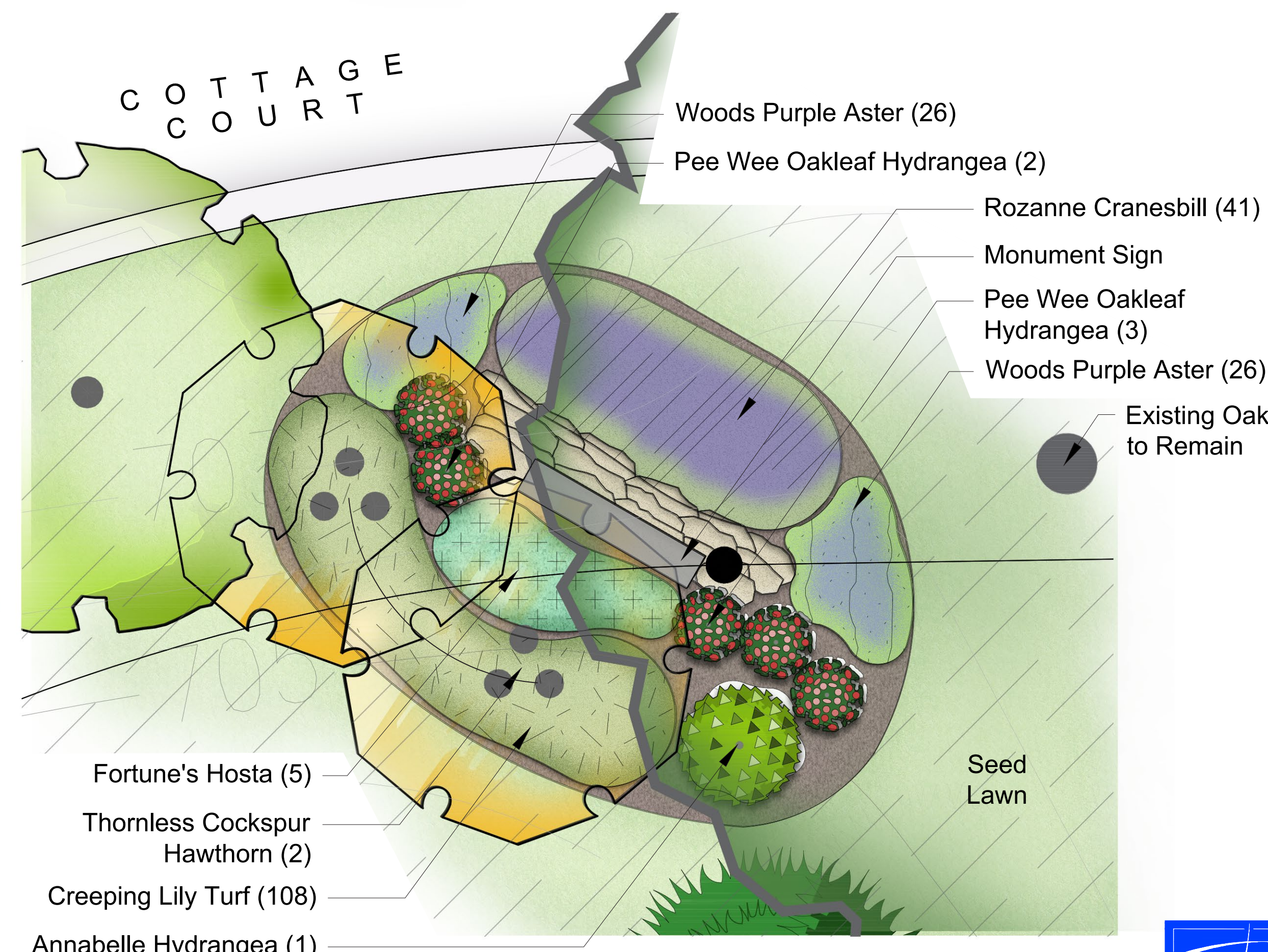
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1/4" = 1'-0"



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

HEARING DATE:

May 16, 2022

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP
Community Development
Director

PETITIONER:

Anthony Perino, Manager of
Jarper Properties LLC

PETITIONER STATUS:

Property Owner

PROPERTY OWNER:

Anthony Perino, Manager of
Jarper Properties LLC

EXISTING ZONING:

R-3 Residential PUD

LAND USE PLAN:

Recommends Residential Uses

EXISTING LAND USE:

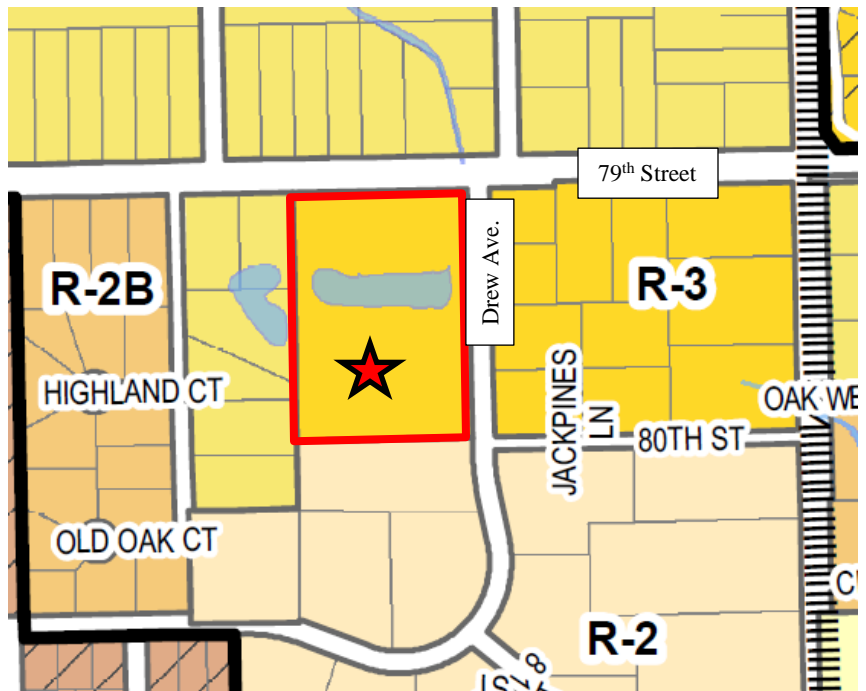
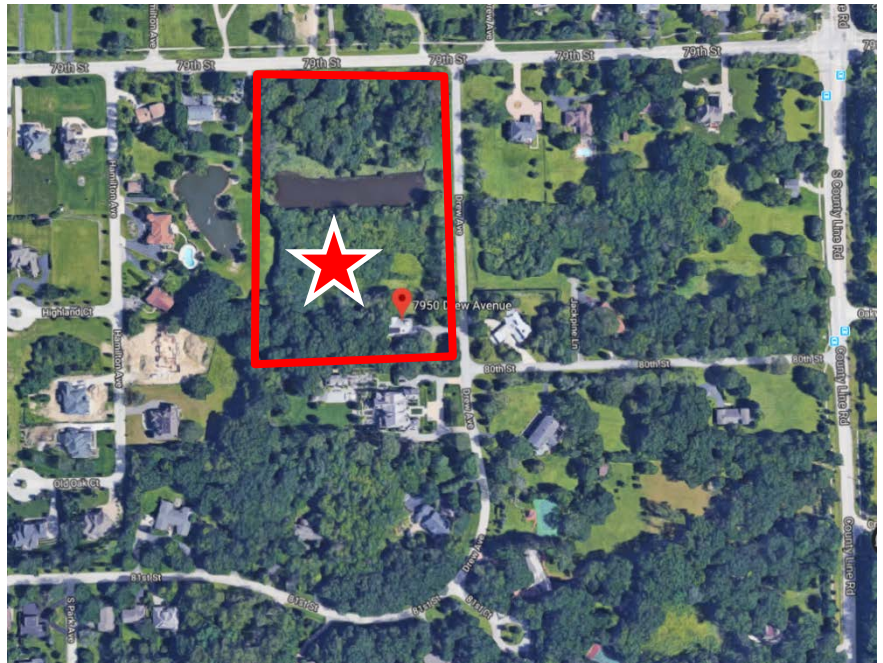
Vacant Single-Family Residential

SITE AREA:

8.87 Acres

SUBDIVISION:

Korinek's Owners



On September 10, 2018, the petitioner was approved for a Planned Unit Development and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. Three of the approved conditions for the PUD stated:

1. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
2. Additional landscaping be added on the western property line.
3. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

As the petitioner was finalizing engineering, landscaping, and building elevations, the attached garage sizes were evaluated. Originally, a two-car garage was proposed, but the petitioner would now like to offer a three-car option for six of the eight homes. This increase in floorplate of the residences resulted in a reduction of open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. In all other respects, the PUD remains relatively unchanged from the 2018 proposal.

The petitioner is now requesting a major change to the PUD and final approval of the engineering plans, landscaping plans, and building elevations, in accordance with the 2018 approval. These documents are attached as Exhibit A. In follow-up to the 2018 conditions, some additional landscaping has been added to the western property line and the petitioner is proposing four different architectural styles for the development.

Findings of Fact and Recommendation

The petitioner has prepared Findings of Fact for the PUD which may be adopted if the Plan Commission is in agreement with those findings.

Appendix

Exhibit A – Petitioner’s Materials and Findings of Fact

- Application and Findings of Fact
- 2018 Ordinances #A-834-16-18 and #A-834-17-18
- 2018 Conceptual Site Plan (for reference)
- Comparison of 2018 and 2022 plans
- Final Plat of Subdivision
- Final Site Plans
- Landscaping Plans
- Architectural elevations
- Stormwater Report



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS



GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES LLC

STATUS OF PETITIONER: ANTHONY PERINO, MANAGER

PETITIONER'S ADDRESS: 155 ANN ST., CLARENDON HILLS, IL 60514

ADDRESS OF SUBJECT PROPERTY: 7950 DREW AVE.

PHONE: 630-850-9170

EMAIL: aperino@jarperpropertiesllc.com

PROPERTY OWNER: JARPER PROPERTIES LLC

PROPERTY OWNER'S ADDRESS: 155 ANN STREET
CLARENDON HILLS, IL 60514 PHONE: 630-850-9170

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUIRES
OPENS SPACE REDUCTION OF 10% (MAJOR CHANGE IN P.U.D) AND INCREASE OF 1.13% FOR IMPERVIOUS
COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (MINOR CHANGE IN P.U.D)

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 8.87/386,377 EXISTING ZONING: R-3, P.U.D.

EXISTING USE/IMPROVEMENTS: VACANT

SUBDIVISION: THE COTTAGES OF DREW 7950 DREW AVE.

PIN(S) # 09-36-201-004

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

ANTHONY PERINO MANAGER

4/19/2022
Date of Filing



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign


The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

7950 DREW AVENUE

Property Owner or Petitioner:

JARPER PROPERTIES LLC - ANTHONY PERINO, MGR.
(Print Name)


(Signature) MANAGER



Apr 29, 2022 at 11:40:19 AM



Apr 29, 2022 at 11:45:49 AM

219 79th St
Burr Ridge IL 60527
United States



Findings of Fact
Special Use
Burr Ridge Zoning Ordinance

Address: _____

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

ORIGINAL ISSUE APRIL 2018, AMENDED APRIL 21, 2022 to allow for 6 of 8 homes to have three car garages, two homes with two car garages

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.**

Creation of a planned residential cluster development reduces disturbances to the north natural area, wetland and flood plain and provides benefit to the downstream neighbors by controlling storm water runoff that is not presently restricted.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

The benefit of a compact cluster arrangement for the proposed homes as a planned unit residential development produces 61% less square footage (19,800 sq. ft.) of home area compared to the allowable (32,000 sq. ft.) of home area on the same property of a the conventional R-3 zoning district, it is distinct and unique to this property only. The result of petitioning for a special use will allow a less intensive but high value use compared to the conventional R-3 zoning, therefore the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.**

The location of proposed planned unit development homes are specifically placed to emphasize open space and view preservation of 7.7 acres (87%) of the site. The ability to view natural areas and planned and commonly managed landscape open space area will benefit the use and enjoyment to this development and provide attractive benefit to surrounding neighbors and travelers on 79th and Drew Ave. The proposed homes and open space areas will be maintained and managed in a consistent manner as a maintenance free setting providing enhancement and to neighborhood property values. The open space will be deed restricted and provide an open space buffer to separate the proposed internal road from the

neighboring property to the south as a landscape separation and not impose a requirement for corner lot building setback imposition to the neighboring south property. (Amended, April 21, 2022, Amend open space impervious coverage from 88.5% to 84% due to addition of three car garages for 6 of the eight homes;.94% decrease in open space.)

- d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The establishment of a special use as a planned cluster development allows for the preservation of open space natural area, wetlands, floodplain and views is specific to the 7950 Drew property. Given the unique nature of the property configuration and presence of natural areas, topography, wetland and floodplain, this petition will not act as a catalyst for other properties to justify planned unit development.

The proposed planned development will create enhanced property value and not have detrimental impact to the normal and orderly development and demonstrate an improvement to benefit the surrounding property. Management of the homes and landscape common areas will act as a positive catalyst to show property improvement in a unified, well maintained and coordinated manner.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The preliminary engineering of the site as a planned development provides for comprehensive engineering design at one time providing adequate site grading, utility routing and road access that are complementary to the site and surrounding infrastructure.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The proposed Drew Ave. access road is offset 150' north of from 80th St. to provide safe ingress and egress separation and clear sight lines. The type of proposed residential floorplan features ground floor as the primary living area intended to produce low density traffic flow to minimize congestion at a level that is suitable for Drew Ave. design capacity as a residential collector street.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed use respects underlying residential R-3 zoning density by producing a restrained 19,800 sq. ft. (Amended April 21, 2022 to allow 6 of 8 homes with three car garages, add 1,584 sq. ft. = 21383 sq. ft. or 66% less than comparable R-3 conventional development) (61% less) of home building area and is less than the allowable 32,000 sq. ft. allowable under conventional R-3 development. The reduced home size and reduced impervious area abides by the Comprehensive Plan recommendations allowing protection of the natural areas, wetlands and floodplain areas. The proposed plan incorporates as a coordinated theme by using native landscape, rural streetscape character and unified neighborhood identifying elements. The proposed residential cluster site plan allows homes to be compact and arranged in a group to create views, enhance natural topography, wetlands and floodplain and to preserve natural wooded and landscaped areas.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.**

The special use as a planned unit development provides flexibility that allows for a clustered arrangement of homes with reduced building square footage than otherwise attainable by conventional R-3 standards. This provision allows for compact development and results in providing a greater open area of the site to be preserved in a park like open space setting, managed and maintained in perpetuity by covenants and restrictions for the enhancement of the neighborhood.

ORDINANCE NO. A-834-16-18

AN ORDINANCE GRANTING A SPECIAL USE PURSUANT TO THE BURR RIDGE
ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT CONSISTING OF
EIGHT SINGLE-FAMILY HOMES AND COMMONLY OWNED OPEN SPACE BETWEEN
HOMES

(Z-04-2018: 7950 Drew Avenue - Patera)

WHEREAS, an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development (PUD) consisting of eight single-family homes with commonly-owned open space between homes.
- B. That the construction of a PUD provides a public benefit to neighbors in the form of additional stormwater management and site plan optimization that is not required or feasible under standard zoning.
- C. The PUD will not be detrimental to the general welfare.
- D. The site plan will provide additional setback and stormwater management benefits to other properties in the immediate vicinity.
- E. The PUD will not impede normal and orderly development to surrounding properties.
- F. Adequate facilities will be present upon the development of the property.

- G. The traffic measures proposed by the PUD are adequate for the development's purposes.
- H. The PUD abides by the objectives of the Official Comprehensive Plan by retaining green space and building like density as is permitted under standard zoning.
- I. The PUD shall conform to all other applicable regulations in the district and in the Village.

Section 3: That special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development consisting of eight single-family homes with commonly-owned open space between homes *is hereby granted* for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of 09-36-201-004.

Section 4: That the approval of the Planned Unit Development shall be subject to the following conditions:

- A. This Ordinance is limited to preliminary PUD approval including approval of the preliminary site plan attached hereto as Exhibit A.
- B. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
- C. Additional landscaping be added on the western property line.
- D. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of September, 2018 by the Corporate

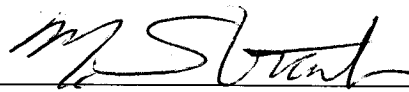
Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

NAYS: 0 - None

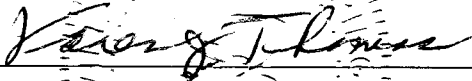
ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 10th day of September, 2018.



Village President

ATTEST:



Village Clerk



ORDINANCE NO. A-834-17-18

AN ORDINANCE GRANTING A VARIATION PURSUANT TO THE BURR RIDGE
ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT ON 8.87 ACRES
RATHER THAN THE REQUIRED 40 ACRES

(Z-04-2018: 7950 Drew Avenue - Patera)

WHEREAS, an application for a variation for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said variation on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a variation, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of

Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of a variation indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the variation for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests a variation from Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres.
- B. That the particular physical conditions of the specific property involved present a hardship if the strict letter of the regulations were to be carried out.
- C. The property in question cannot yield a reasonable return if permitted to be used only under conditions allowed by the regulations of the zoning district.
- D. The conditions on which the application for a variation is based are unique to the property.
- E. The purpose of the variation is not based primarily on a desire to increase financial gain.
- F. The granting of the variation will not be injurious to the public welfare.
- G. The granting of the variation will not alter the essential character of the neighborhood or locality.
- H. The proposed variation will not impair natural drainage or

create drainage problems on adjacent properties.

- I. The proposed variation is consistent with the Official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

Section 3: That the variation as per Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres ***is hereby granted*** for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of **09-36-201-004**.

Section 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of September, 2018 by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

NAYS: 0 - None

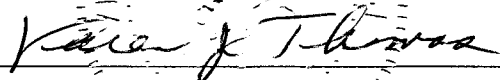
ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 10th day of September, 2018.



Village President

ATTEST:

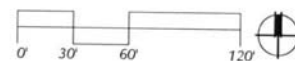


Village Clerk



8 Homes on Commonly Owned Open Space Plan
 8 Homes with 2,200 s.f. Floorplate and
 Approximately 3,500 s.f. of Primary Dwelling Area

Total Property Area = 8.87 Ac.
 Homes + Drives = 1.02 Ac. (11.5%)
 Dedicated Open Space/Common Area
 Managed by Homeowner Association
 = 7.85 Ac. (88.5%)



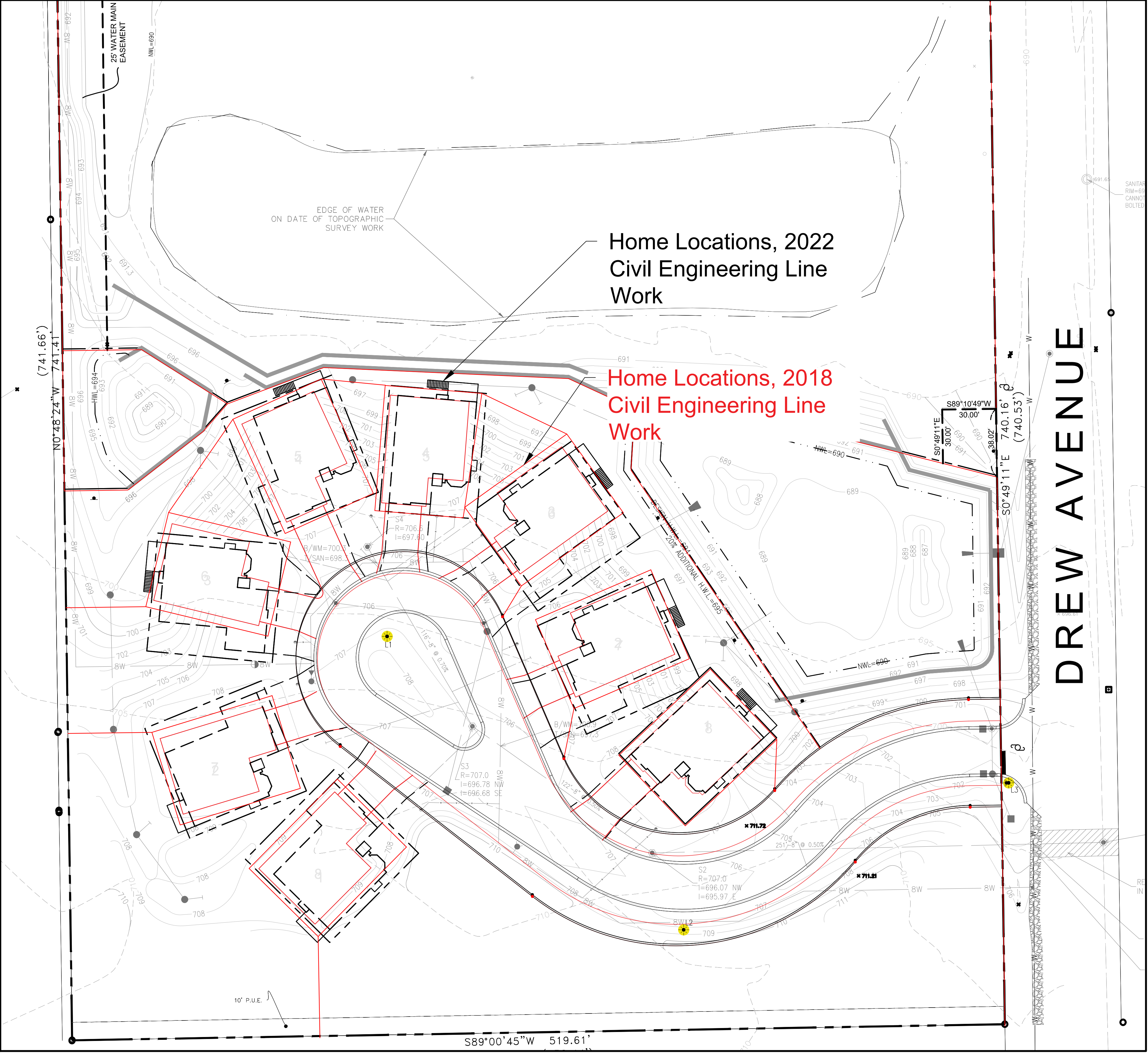
Conceptual Site Plan
 7950 Drew Avenue
 Burr Ridge, IL

SHEET L-7

JARPER PROPERTIES, LLC
 16 W. 231 S. Frontage Road #17
 Burr Ridge, IL 60527

June 22, 2018





- 2018 LOT, HOME AND DRIVEWAY CONFIGURATIONS FOR REFERENCE
- 2022 LOT, HOME AND DRIVEWAY CONFIGURATIONS FOR REFERENCE

2018 SITE COVERAGE CALCULATIONS:

EXHIBIT A - JUNE 22, 2018 - CONCEPTUAL SITE PLAN; APPROVED PER ORDINANCE

Total Property Area = 8.87 Ac.
Homes, Driveways + Road = 1.02 Ac. (11.5%)
Dedicated Open Space/Common Area
Managed by Homeowner Association=7.85 Ac. (88.5%)

2022 SITE COVERAGE CALCULATIONS:

EXHIBIT A - APRIL 21, 2022 - CONCEPTUAL SITE PLAN

Total Property Area = 8.87 Ac.
Homes, Driveways + Road = 1.4 Ac. (13.0%)
Dedicated Open Space/Common Area
Managed by Homeowner Association=7.47 Ac. (84%)

SUMMARY	2018	2022	
OPEN SPACE AREA	88.50%	84%	0.94% DECREASE
IMPERVIOUS AREA	11.50%	13%	1.13% INCREASE

2018 / 2022 SITE COVERAGE COMPARISON EXHIBIT

BURR RIDGE, ILLINOIS

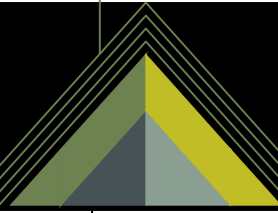
APRIL 21, 2022



627 Grove Street,
Evanston, Illinois 60201
Tel 847.869.2015
Fax 847.869.2059

NO.	DATE	REMARKS
1	3/4/19	REVISED PER VILLAGE & COUNTY
2	9/24/19	RE-USED PER CML
3	10/27/19	RE-USED PER CML
4	10/04/21	REVISED PER ARCH
5	3/15/22	REVISED PER ARCH

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847.260.4758



LANDSCAPE COMMON AREA PLANTING PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

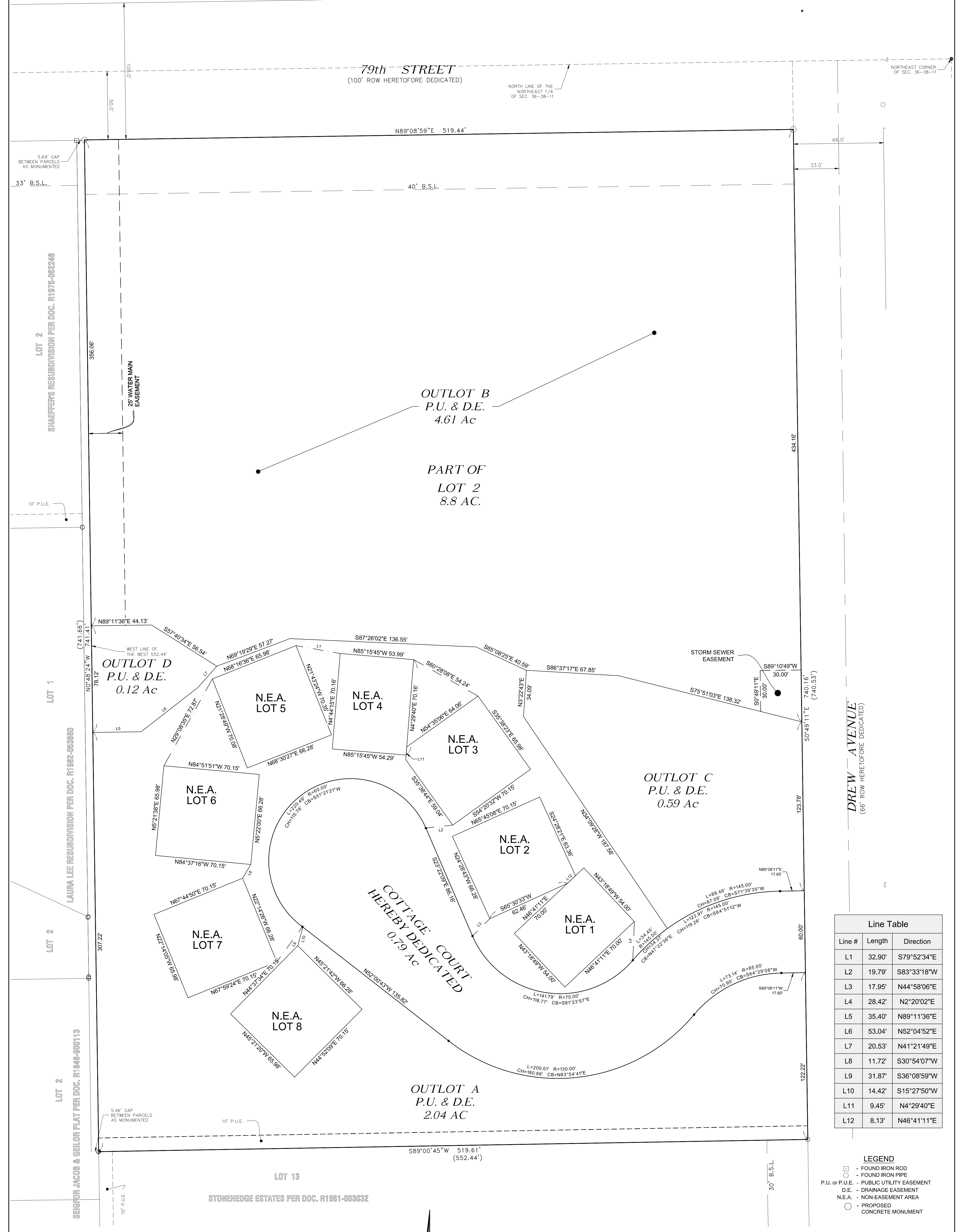
JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

MARCH 15, 2022
JOB: 16-086

SHEET:
LS1
25 OF 27

FINAL PLAT OF SUBDIVISION
FOR
THE COTTAGES OF DREW

BEING A RE-SUBDIVISION OF THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

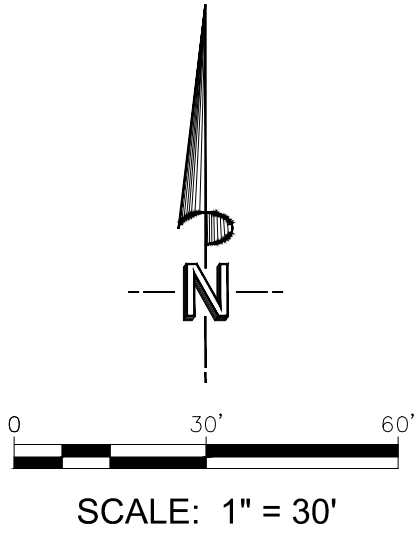


Line Table		
Line #	Length	Direction
L1	32.90'	S79°52'34"E
L2	19.79'	S83°33'18"W
L3	17.95'	N44°58'06"E
L4	28.42'	N2°20'02"E
L5	35.40'	N89°11'36"E
L6	53.04'	N52°04'52"E
L7	20.53'	N41°21'49"E
L8	11.72'	S30°54'07"W
L9	31.87'	S36°08'59"W
L10	14.42'	S15°27'50"W
L11	9.45'	N4°29'40"E
L12	8.13'	N46°41'11"E

- LEGEND
- FOUND IRON ROD
 - FOUND IRON PIPE
 - P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - N.E.A. - NON-EASEMENT AREA
 - PROPOSED CONCRETE MONUMENT

NOTE: PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED OVER ALL OF OUTLOT A, EXCEPT IN AREAS NOTED AS N.E.A. (NON-EASEMENT AREA). SEE PROVISIONS FOR DETAILS.

IN ADDITION, A PERPETUAL EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE HOMEOWNERS ASSOCIATION, AND OTHER PARTIES AS DETERMINED NECESSARY OVER THE ENTIRE EASEMENT FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MAINTENANCE AND OPERATION OF THE STORM WATER AREAS, THOSE BEING LOCATED UPON PORTIONS OF OUTLOT A, B, C, & D.



REVISIONS		
DATE	BY	DESCRIPTION
3/15/19	RFS	ISSUED FOR REVIEW
3/19/19	RFS	PER VILLAGE REVIEW
3/28/19	RFS	PER VILLAGE REVIEW
4/2/19	BPH	GENERAL REVISIONS
4/19/19	BPH	PER VILLAGE REVIEW
9/05/19	BPH	PER VILLAGE REVIEW
9/30/19	BPH	GENERAL (REM. 30x30 SS ESMT)
10/30/19	BPH	PER VILLAGE REVIEW
12/09/21	BPH	PER BUILDING CHANGES
ORDERED BY: JARPER PROPERTIES		
DRAWN BY: JARPER PROPERTIES	CHECKED BY: JARPER PROPERTIES	FILED BY: JARPER PROPERTIES
DATE ISSUED: 01-02-2019	DWG. NO.: 16-207	PG: 1 of 2

ISSUED FOR CONSTRUCTION

FINAL SITE IMPROVEMENT PLANS

FOR

THE COTTAGES OF DREW

FOR

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

DUPAGE COUNTY SMC # SM2018-0124

TRACKING # 18-08-1024/T60746

SWPPP PERMIT # ILR10AS66

BENCHMARKS:

REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:

SITE BENCHMARK #1
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF
79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

CALL J.U.L.I.E. 1-800-892-0123
WITH THE FOLLOWING:

COUNTY DuPAGE

CITY, TOWNSHIP BURR RIDGE, DOWNERS GROVE
SEC. & SEC. NO. SEC 36, T38N, R11E

48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS

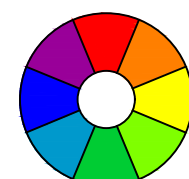
DEVELOPER/OWNER

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

ADVANTAGE NOTE

ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION. STAKING REQUESTS FIVE (5) DAYS NOTICE BETWEEN SEPTEMBER 15th AND DECEMBER 15th AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR VIEW PDF.

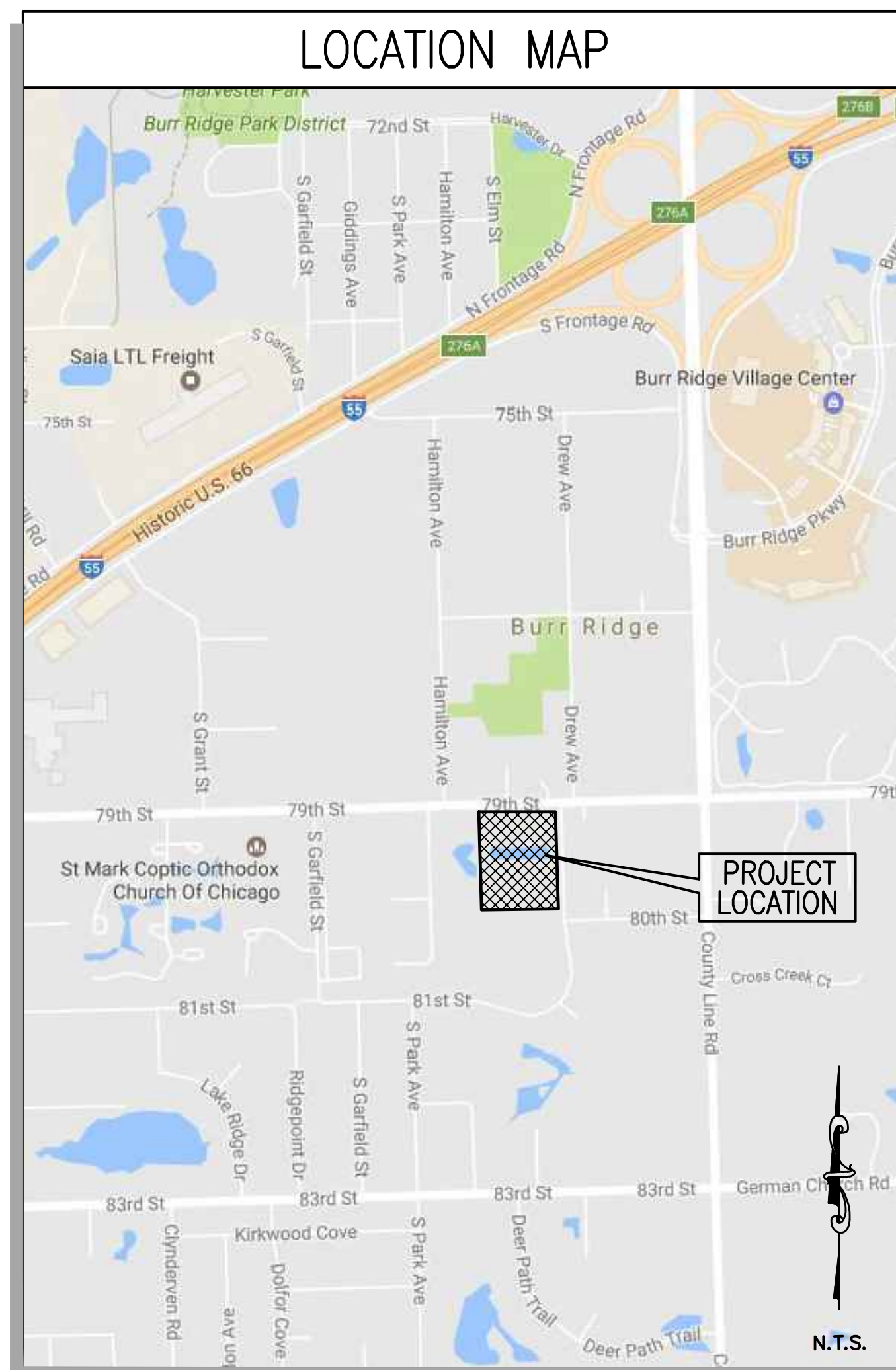


BENCHMARK

SEE ABOVE

EXISTING TOTAL SITE AREA: 8.8 ACRES
PROPOSED DISTURBED AREA: 4.1 ACRES

LOCATION MAP



INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	TS1	GENERAL NOTES AND TYPICAL SECTIONS
3-4	EX1-EX2	EXISTING CONDITIONS PLAN
5	DM1	DEMOLITION PLAN
6	L1	GEOMETRIC PLAN
7-8	G1-G2	GRADING PLAN
9-10	U1-U2	UTILITY PLAN
11	PP1	PLAN AND PROFILE
12-13	SE1-SE2	STORM WATER POLLUTION PREVENTION PLAN
14-15	SE3-SE4	SOIL EROSION AND SEDIMENT CONTROL PLAN
16-17	S1-S2	SPECIFICATIONS
18-19	D1-D2	DETAILS
20-22	XS1-XS3	CROSS SECTIONS - FLOOD PLAIN COMPENSATORY AREAS
22A	T1	TREE SURVEY
23	W1	WATER RESOURCE PLAN
24-25	B1-B2	BMP PLANTING PLAN
26	LS1	COMMON AREA PLANTING PLAN
27	LS2	COMMON AREA PLANTING DETAILS AND NOTES
28	LS3	SIGNAGE AND WALL DETAILS

REVISIONS

[illegible]

ENGINEER WILLIAM J. ZALEWSKI, P.E. BILLZ@CENG.US	DATE
ILLINOIS REGISTRATION NO.: 062-046121 EXPIRATION DATE: 11/30/2021	
PROFESSIONAL DESIGN FIRM NO.: 184-007386 EXPIRATION DATE: 4/30/2021	
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER	

GENERAL NOTES

1.

ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
2.

ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
3.

STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
5.

NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO OBTAIN SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
6.

NOTIFICATION OF COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
7.

ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
8.

ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
9.

THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
10.

ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
11.

ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
12.

REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
13.

ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY OWNER & MUNICIPALITY.
14.

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
15.

BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
16.

UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND & INSURANCE IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.
17.

EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, ADVANTAGE CONSULTING ENGINEERS IS RESPONSIBLE TO RESOLVE THE CONFLICT. ADVANTAGE CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
18.

OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
19.

THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
20.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS.
21.

THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. **BURNING ON THE SITE IS NOT PERMITTED.**
22.

IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR D.O.T. DREW AVENUE AND 79TH STREET SHALL REMAIN OPEN TO TWO WAY TRAFFIC AT ALL TIMES.
23.

NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
24.

ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
25.

AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
26.

TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
27.

LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
28.

ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
29.

ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
30.

ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
31.

CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
32.

TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, BUILDINGS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6.
33.

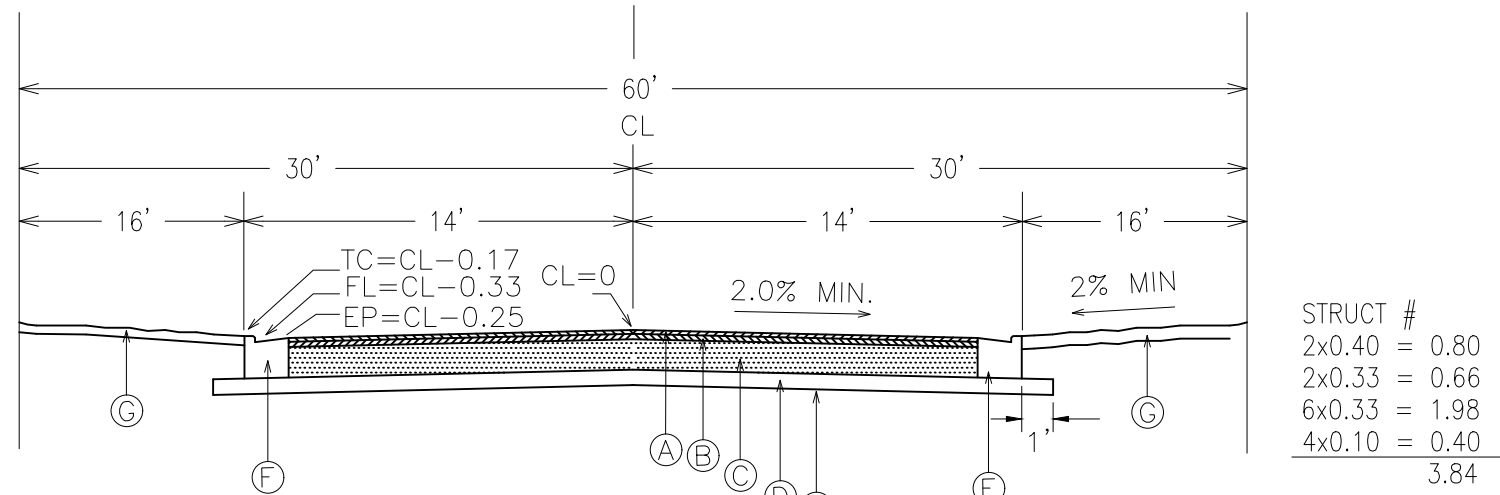
WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE.
34.

HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
35.

AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
36.

EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
37.

THE OWNER SHALL PROVIDE RECORD DRAWINGS PER MUNICIPAL REQUIREMENTS.



TYPICAL PAVEMENT SECTION
N.T.S.

- A

2" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, N50
- B

2" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, IL19, N50
- C

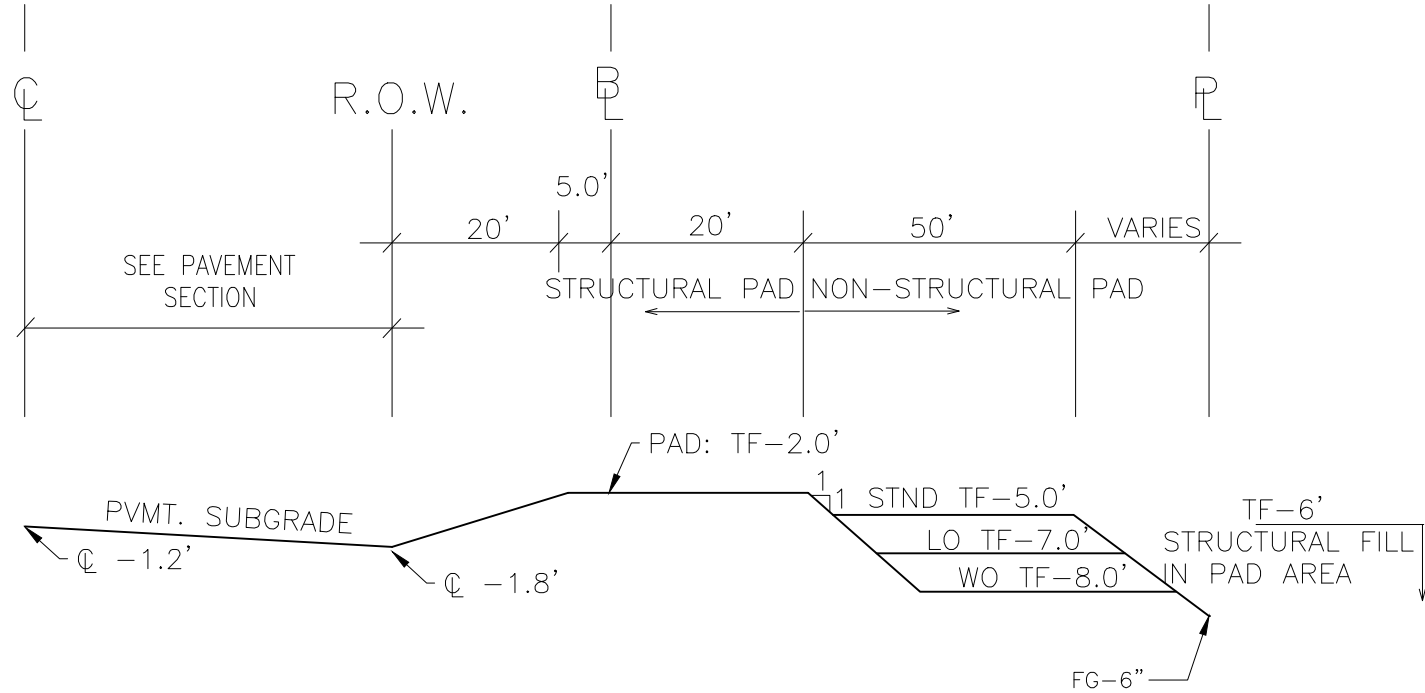
6" BITUMINOUS CONCRETE BASE COURSE, HOT MIX ASPHALT, N50
- D

4" CRUSHED AGGREGATE SUB-BASE, TY. B.
- E

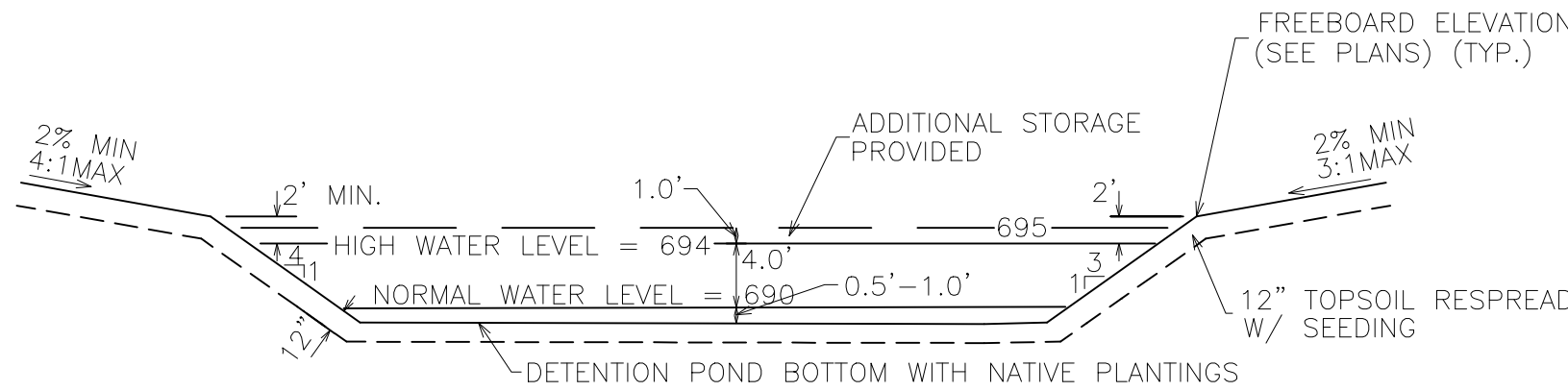
COMPACTED SUBGRADE
- F

COMB. CONC. CURB AND GUTTER, B-6-12
- G

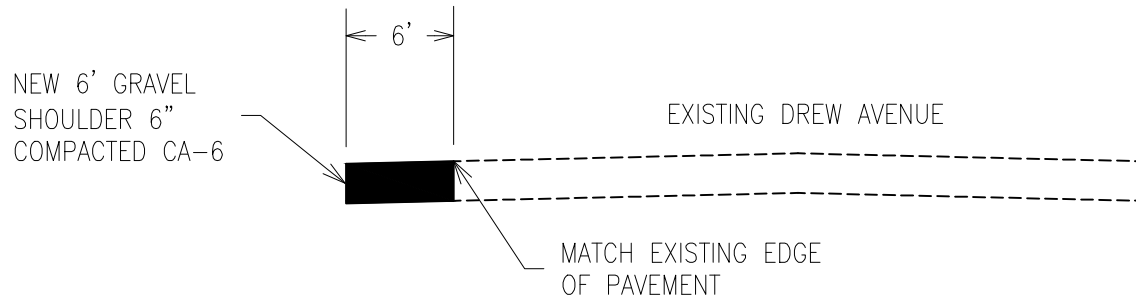
6" TOP SOIL AND SEEDING



TYPICAL HOMESITE MASS GRADE SECTION
N.T.S.



TYPICAL SECTION DETENTION POND
N.T.S.



TYPICAL DREW AVE. SECTION
N.T.S.

CONTACTS

ENGINEER

ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439
PHONE: (847) 260-4758
CONTACT: WILLIAM J ZALEWSKI

DEVELOPER

JASPER PROPERTIES, LLC
16W231 S FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

VILLAGE ENGINEER

DAVID PREISSIG
VILLAGE OF BURR RIDGE
DEPARTMENT OF PUBLIC WORKS
451 COMMERCE STREET
BURR RIDGE, ILLINOIS 60527
PHONE: (630) 323-4733 EXT. 6000

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CONSULTING ENGINEERS

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GENERAL NOTES AND
TYPICAL SECTIONS

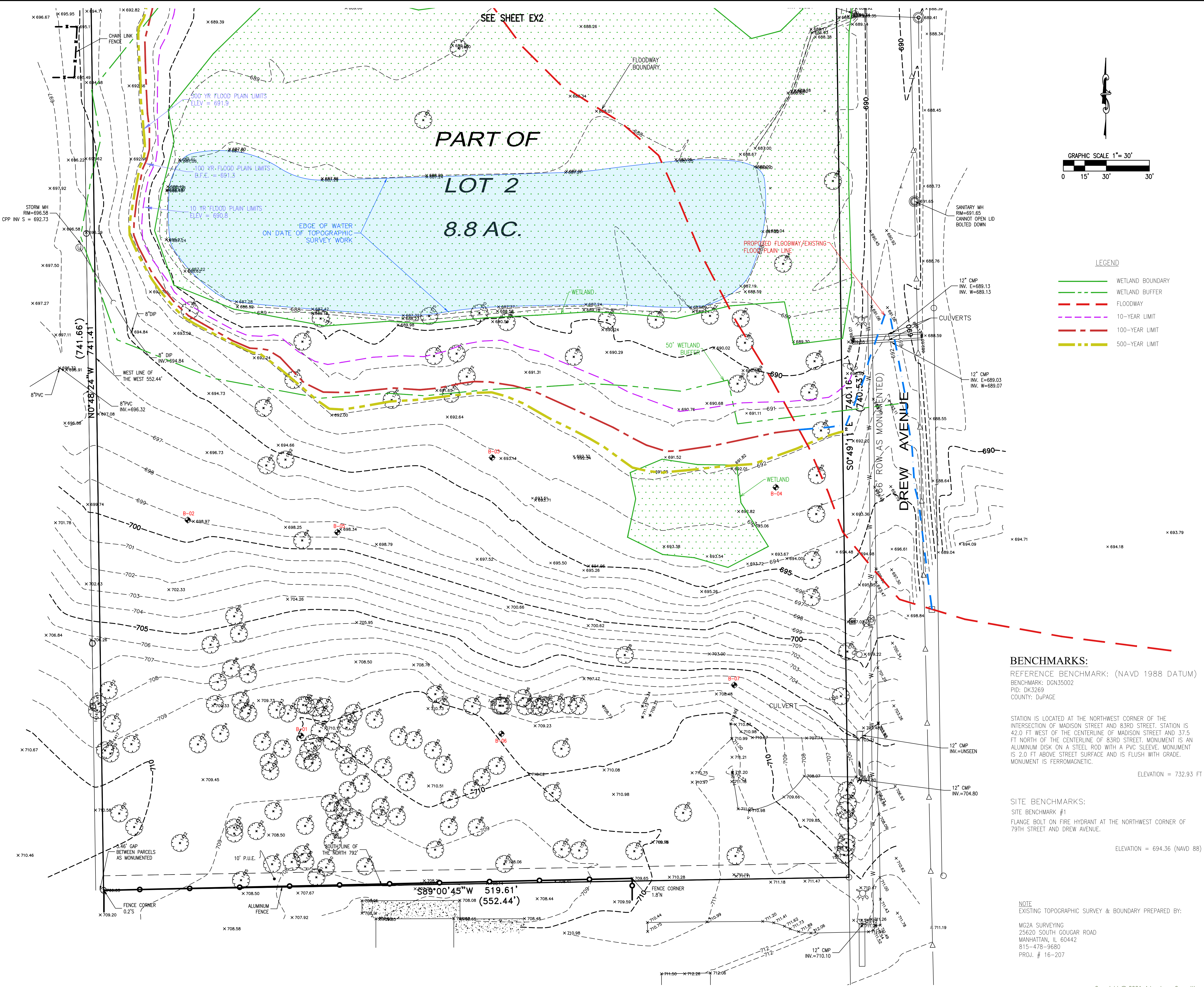
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
TS1

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- LEGEND
- WETLAND BOUNDARY
 - WETLAND BUFFER
 - FLOODWAY
 - 10-YEAR LIMIT
 - 100-YEAR LIMIT
 - 500-YEAR LIMIT

BENCHMARKS:
REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

SITE BENCHMARKS:
SITE BENCHMARK #1
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

NOTE
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:
MC2A SURVEYING
25620 SOUTH GOUGAR ROAD
MANHATTAN, IL 60442
815-478-9680
PROJ. # 16-207

REMARKS		DATE	
1	REVISED PER VILLAGE & COUNTY	3/18/19	
2	REVISED PER VILLAGE & COUNTY	4/18/19	
3	REVISED PER COUNTY	08/24/19	
4	REVISED PER VILLAGE & COUNTY	10/16/19	

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
630-520-2467
WWW.ADVANTAGEILL.COM

EXISTING CONDITIONS

THE COTTAGES OF DREW

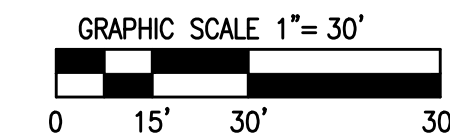
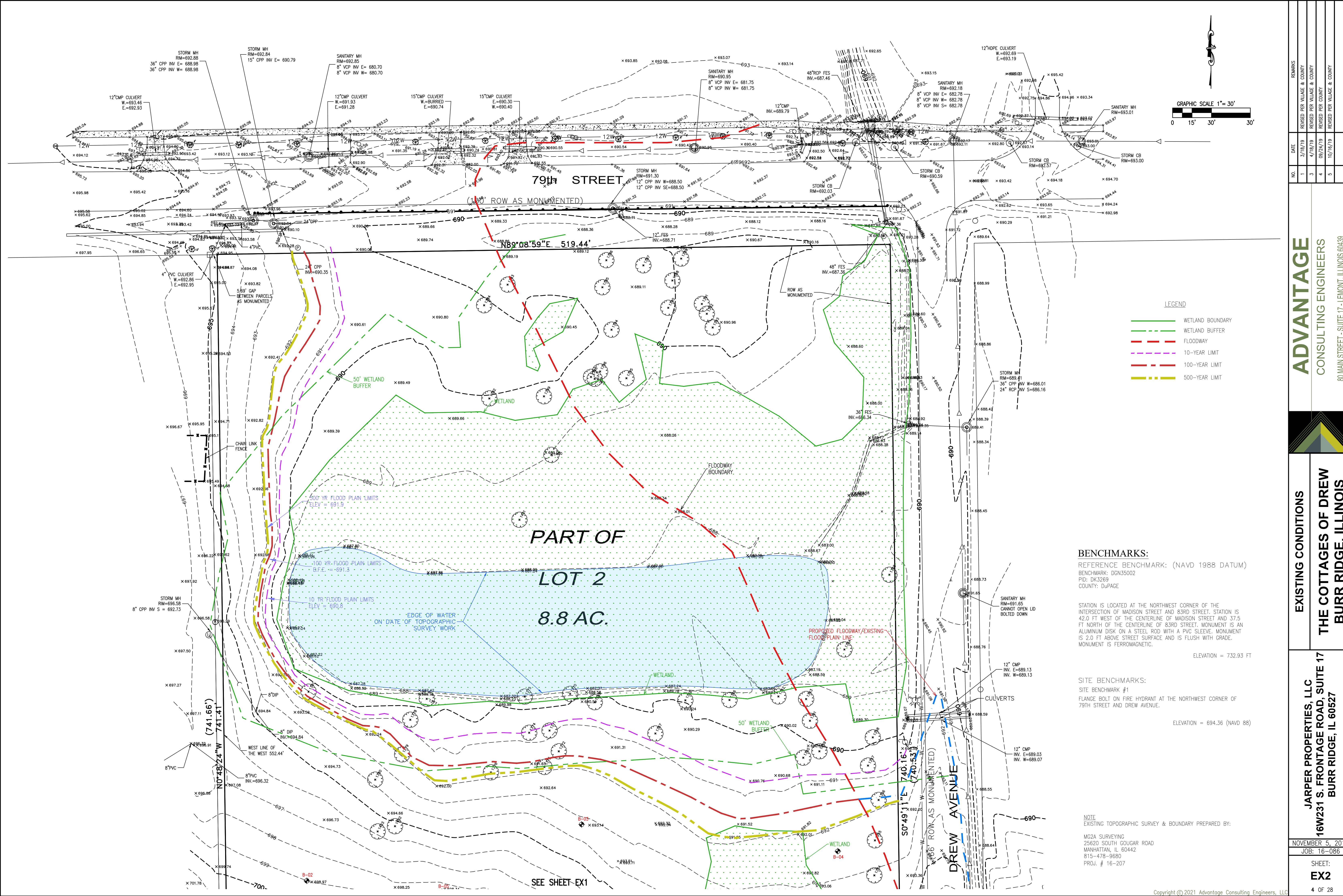
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

NOVEMBER 5, 2018	
JOB: 16-086	
SHEET:	
EX1	
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- LEGEND
- WETLAND BOUNDARY
 - WETLAND BUFFER
 - FLOODWAY
 - 10-YEAR LIMIT
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BENCHMARKS:
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NOTE
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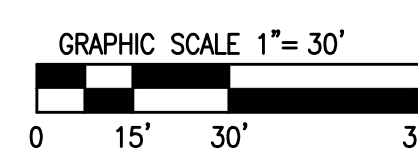
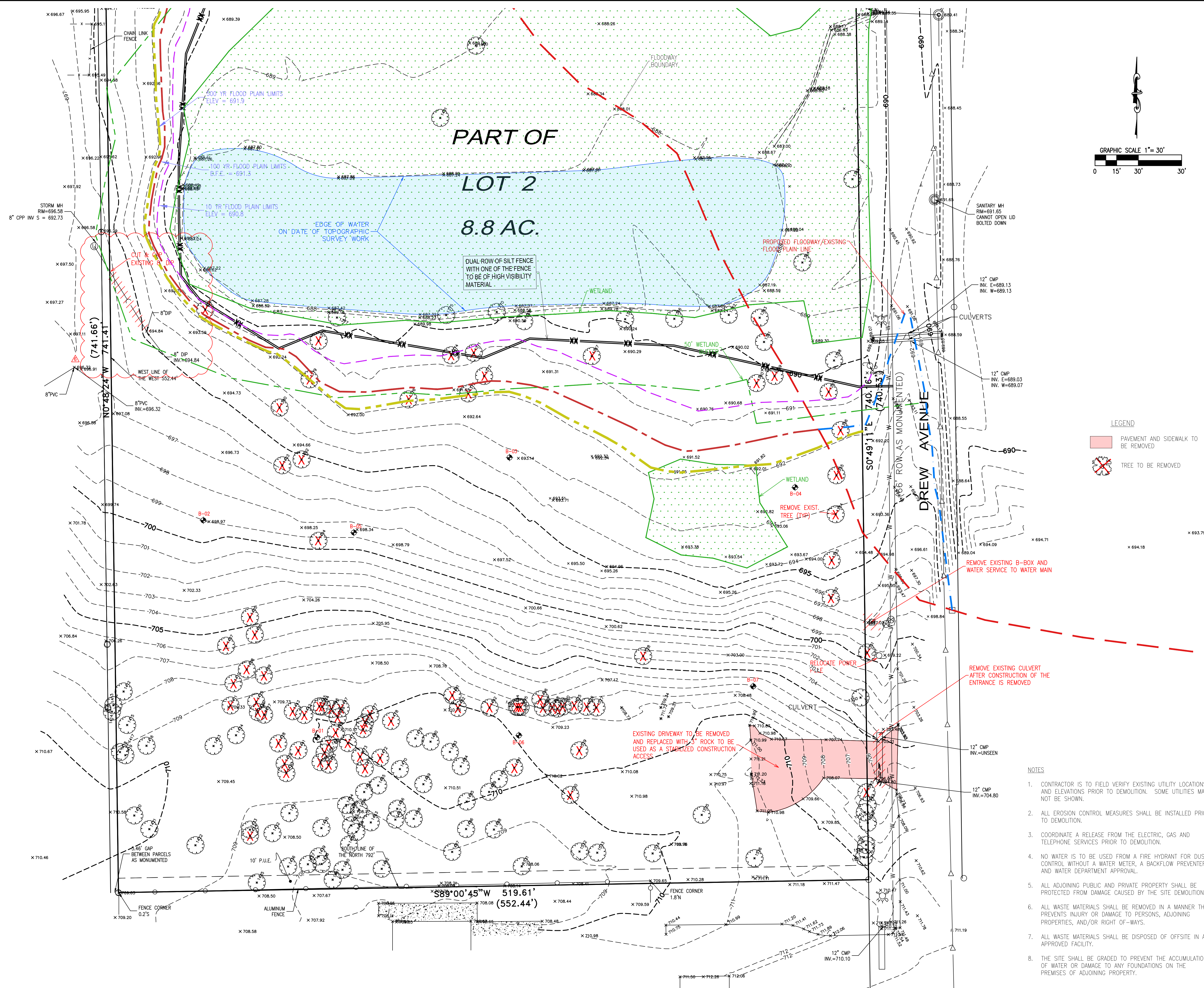
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630-520-2467
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EXISTING CONDITIONS
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NO.	DATE	REMARKS
1	3/16/19	REVISED PER VILLAGE & COUNTY
2	4/16/19	REVISED PER VILLAGE & COUNTY
3	08/24/19	REVISED PER COUNTY
4	10/16/19	REVISED PER VILLAGE & COUNTY

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
EX2
4 OF 28



LEGEND

- PAVEMENT AND SIDEWALK TO BE REMOVED
- TREE TO BE REMOVED

NOTES

- CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
- COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION.
- NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
- ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
- ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT OF-WAYS.
- ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
- THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.

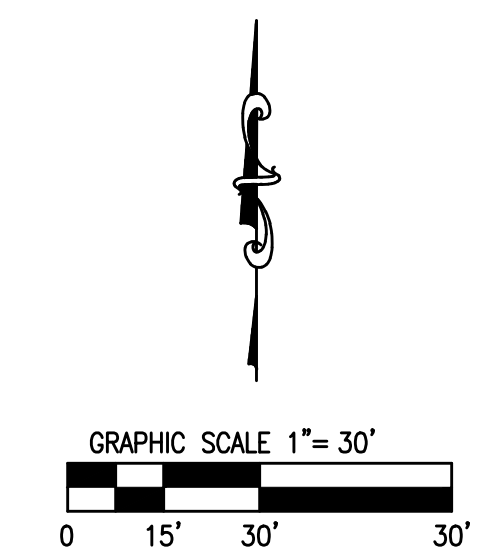
REMARKS	
DATE	REVISED PER VILLAGE & COUNTY
NO.	REVISED PER VILLAGE & COUNTY
1	3/18/19
2	4/18/19
3	08/24/19
4	10/16/19
5	10/16/19
6	10/31/19

ADVANTAGE
CONSULTING ENGINEERS
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630-520-2467
WWW.ADVANTAGE-ILL.COM

DEMOLITION PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
DM1
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- NOTES:
1. ALL STREETS SHALL BE 28' B-B UNLESS NOTED OTHERWISE.
 2. SEE SHEET TS1 FOR TYPICAL PAVEMENT SECTION AND TYPE OF C&G.
 3. ALL CURB RADII AT INTERSECTIONS TO BE 25' UNLESS NOTED OTHERWISE.
 4. ALL STREET DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
 5. ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.

- SIGN LEGEND:
- ① NO MOWING SIGN
 - ② STOP SIGN & STREET NAME SIGN

REMARKS	
DATE	3/18/19
NO.	1
DATE	4/18/19
NO.	3
DATE	09/24/19
NO.	4
DATE	10/16/19
NO.	5
DATE	08/11/21
NO.	7

ADVANTAGE

CONSULTING ENGINEERS

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630-520-2467
WWW.ACEENGINEERS.COM

GEOMETRIC PLAN

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

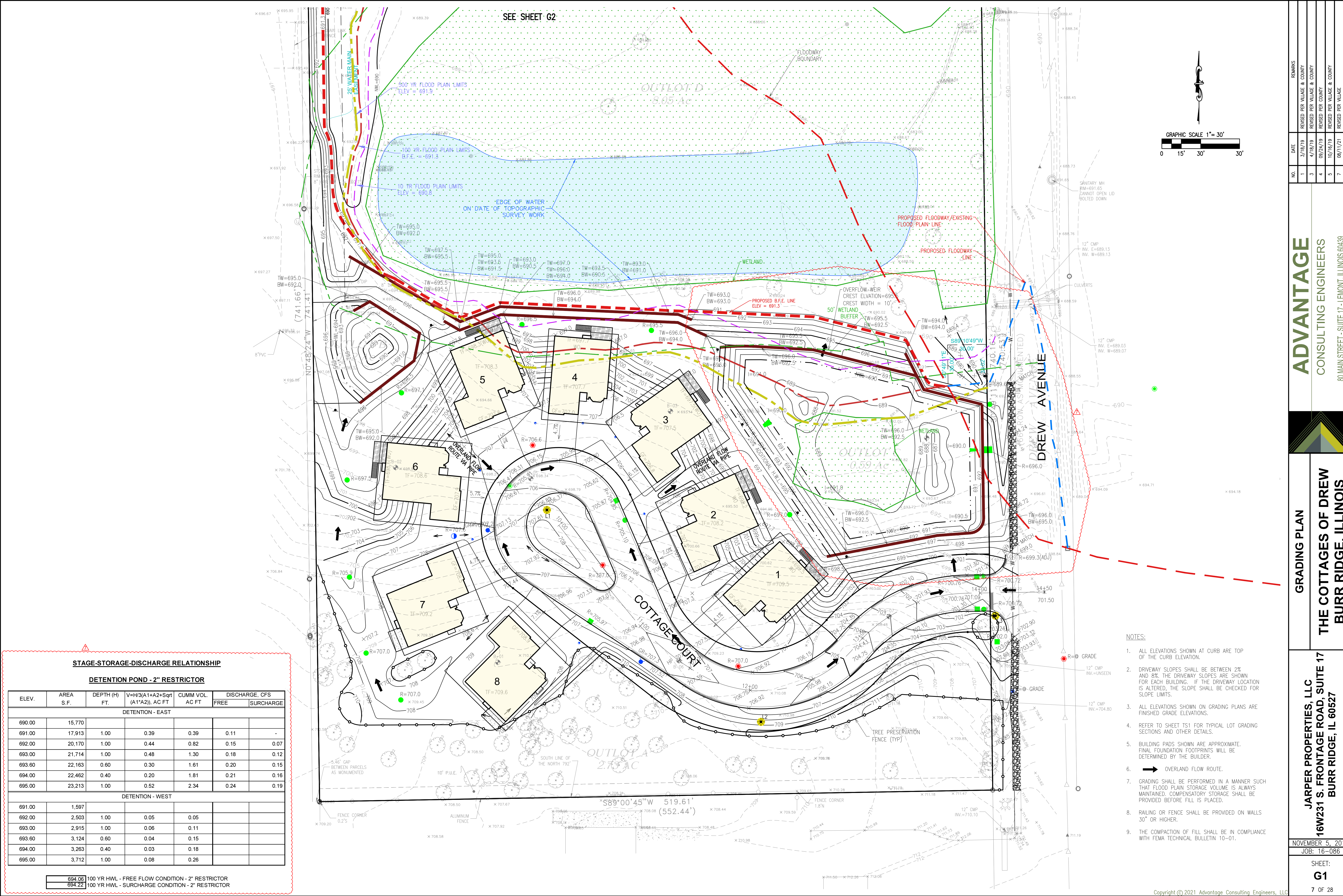
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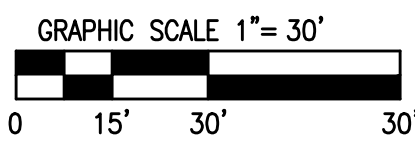
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L1

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SEE SHEET 02



STAGE-STORAGE-DISCHARGE RELATIONSHIP						
DETENTION POND - 2" RESTRICTOR						
ELEV.	AREA S.F.	DEPTH (H) FT.	V=H ³ (A1+A2+Sqrt(A1*A2)), AC FT	CUMM VOL AC FT	DISCHARGE CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.06

100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR

694.22

100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

- NOTES:
- ALL ELEVATIONS SHOWN AT CURB ARE TOP OF THE CURB ELEVATION.
 - DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 8%. THE DRIVEWAY SLOPES ARE SHOWN FOR EACH BUILDING. IF THE DRIVEWAY LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
 - ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
 - REFER TO SHEET TS1 FOR TYPICAL LOT GRADING SECTIONS AND OTHER DETAILS.
 - BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
 - OVERLAND FLOW ROUTE.
 - GRADING SHALL BE PERFORMED IN A MANNER SUCH THAT FLOOD PLAN STORAGE VOLUME IS ALWAYS MAINTAINED. COMPENSATORY STORAGE SHALL BE PROVIDED BEFORE FILL IS PLACED.
 - RAILING OR FENCE SHALL BE PROVIDED ON WALLS 30" OR HIGHER.
 - THE COMPACTION OF FILL SHALL BE IN COMPLIANCE WITH FEMA TECHNICAL BULLETIN 10-01.

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GRADING PLAN

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

NOVEMBER 5, 2018

JOB: 16-086

SHEET: 01

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REMARKS

DATE

NO.

1

3/18/19

REVISED PER VILLAGE & COUNTY

2

4/18/19

REVISED PER VILLAGE & COUNTY

3

09/24/19

REVISED PER COUNTY

4

10/16/19

REVISED PER VILLAGE & COUNTY

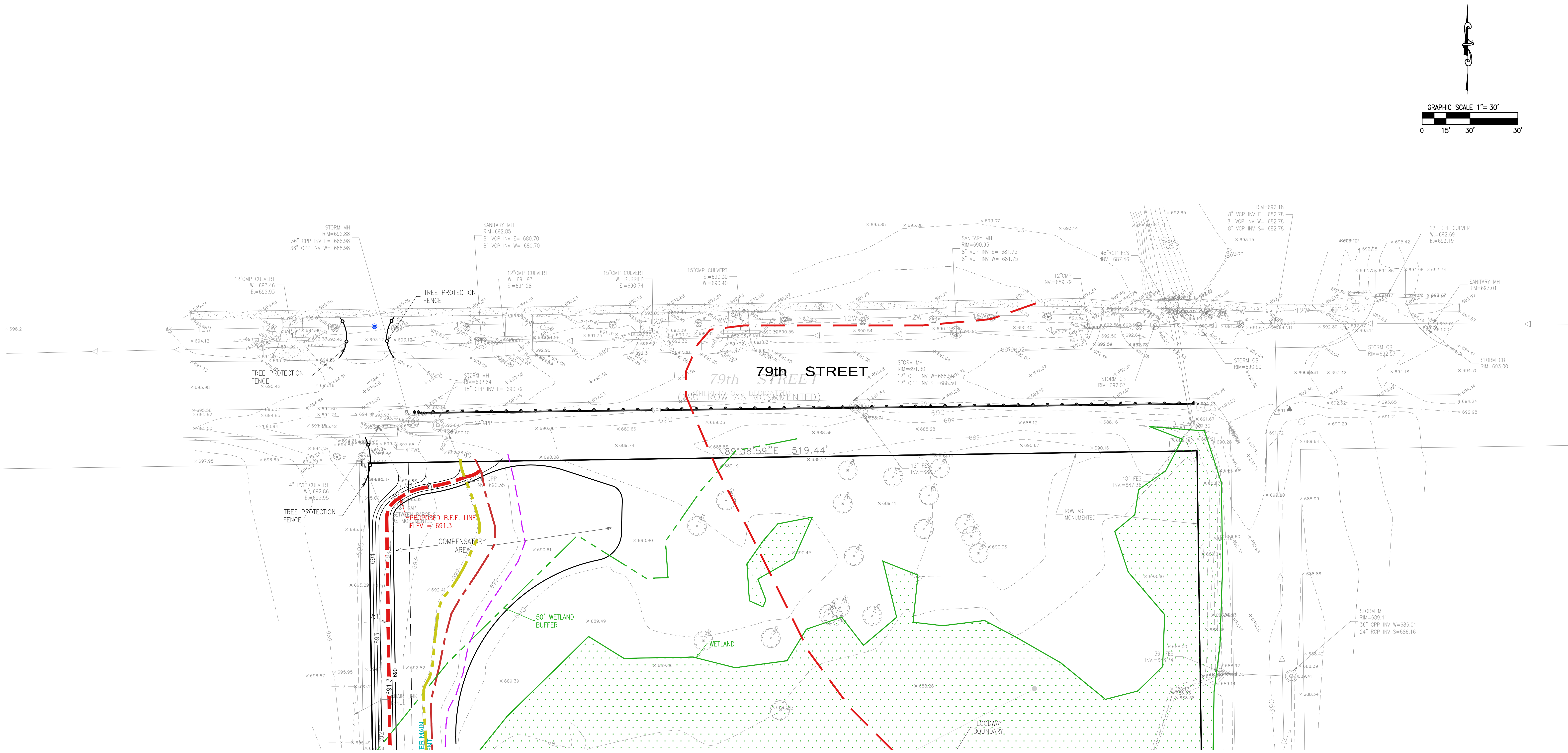
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08/11/21


REVISED PER VILLAGE

6

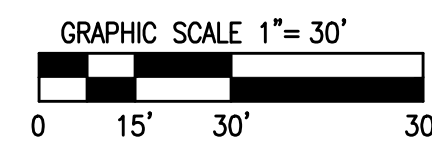
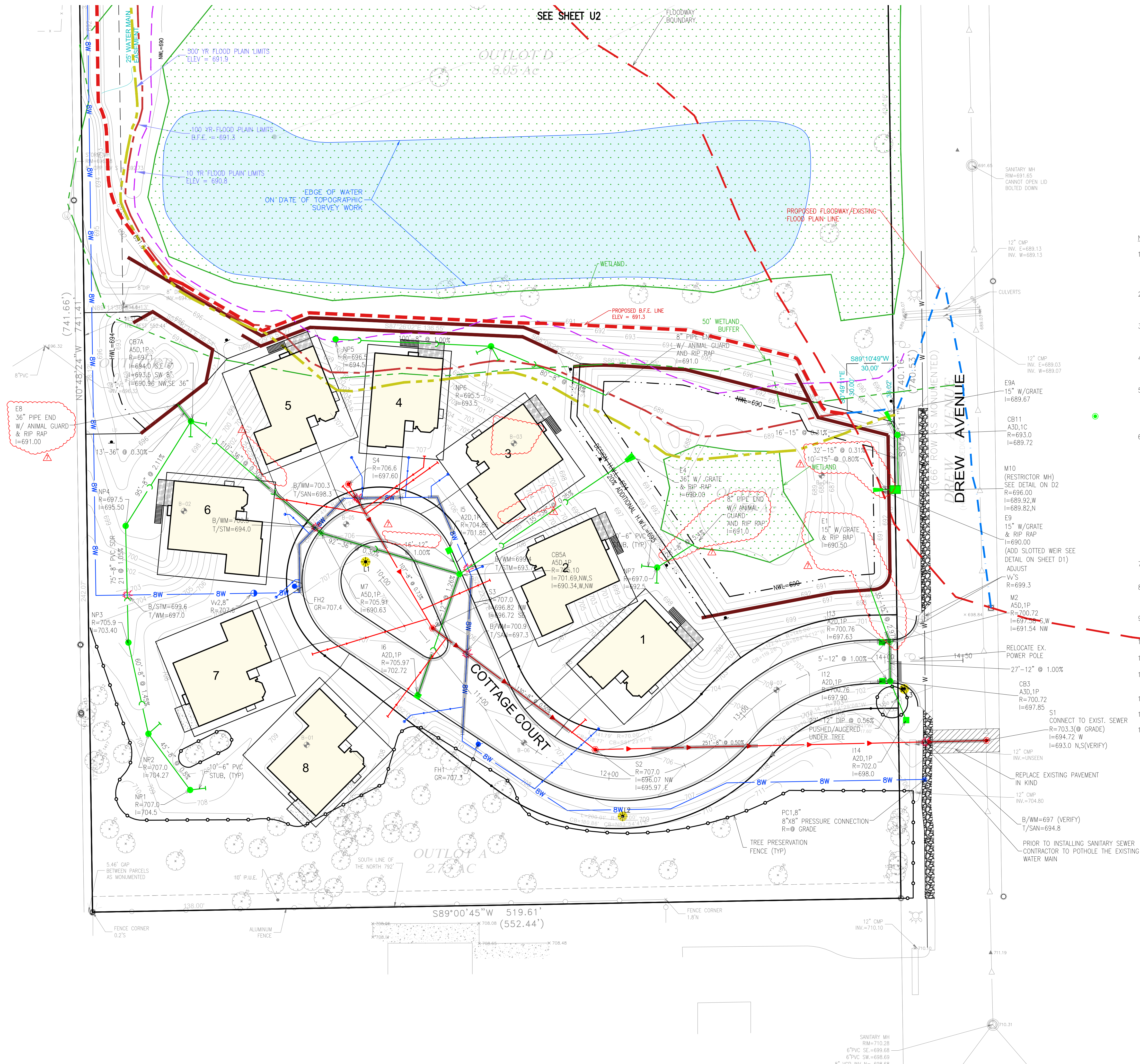
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SEE SHEET G1

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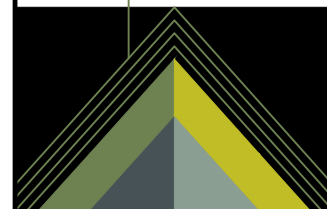
REMARKS	1	3/18/19	REVISED PER VILLAGE & COUNTY
	2	4/18/19	REVISED PER VILLAGE & COUNTY
	3	09/24/19	REVISED PER COUNTY
	4		
ADVANTAGE CONSULTING ENGINEERS 80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 630-520-2467 WWW.ACEENGINEERS.COM			
GRADING PLAN			
THE COTTAGES OF DREW BURR RIDGE, ILLINOIS			
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527			
NOVEMBER 5, 2018 JOB: 16-086			
SHEET: G2 8 OF 28			



NOTES

- ALL 8" STORM SEWERS TO BE PVC SDR26, ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE. SEE NOTE #2, STORM SEWER NOTES ON SHEET S1.
- ALL SANITARY SEWER & SERVICE SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE. A CLEAN OUT IS REQUIRED ON SERVICE LINE, 10' FROM FOUNDATION.
- ALL WATER MAIN SHALL BE ZINC COATED D.I.P. CLASS 52 WITH V-BIO POLYETHYLENE ENCASEMENT AND NO. 8 SOLID BLUE TRACER WIRE.
- THE UNDERDRAIN AND 8" STORM SEWER SHALL BE PERFORMED PVC SDR 26 UNLESS NOTED OTHERWISE. STORM SEWER CROSSING WATER MAIN SHALL BE WATER MAIN QUALITY PIPE, PVC SDR 21.
- THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:
1P: NEENAH R-1712, TYPE D OPEN GRATE
1C: NEENAH R-1712, TYPE B CLOSED LID
- UTILITY STRUCTURE SYMBOL LEGEND:
M36: MANHOLE, STRUCTURE # 36
I: INLET
CB: CATCH BASIN
M: MANHOLE
E: FLARED END SECTION WITH RIP RAP
S: SANITARY MANHOLE
NP: NYLOPLAST INLET
FH: FIRE HYDRANT
V: VALVE VAULT
PC: PRESSURE CONNECTION
UD: PERFORATED UNDERDRAIN
A4D,1P: TYPE A, 4' DIA., TYPE OF FRAME AND GRATE/LID.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE ANY ROAD CLOSURES FOR OPEN CUT UTILITY WORK WITH THE APPROPRIATE AUTHORITIES.
- LONG SERVICES INCLUDE TRENCH BACKFILL CA-6 CRUSHED AGGREGATE.
- TRENCH BACKFILL
- 1-6" PVC SCH 40 CONDUIT FOR GAS
- 3-4" PVC SCH 40 CONDUITS FOR COMED, AMERITECH, CABLE
- ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
- PIPE CROSSING
- SEE SHEET SE1 FOR RIP RAP INFORMATION.

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CONSULTING ENGINEERS

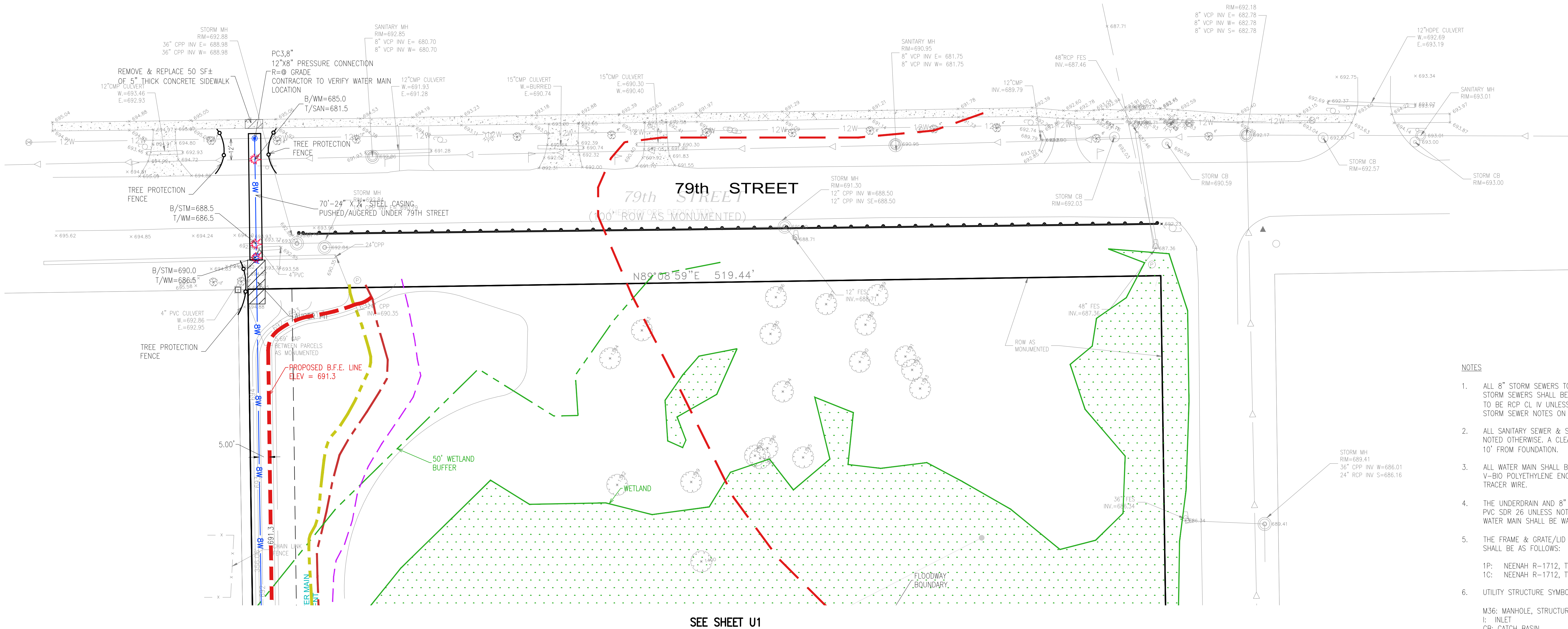
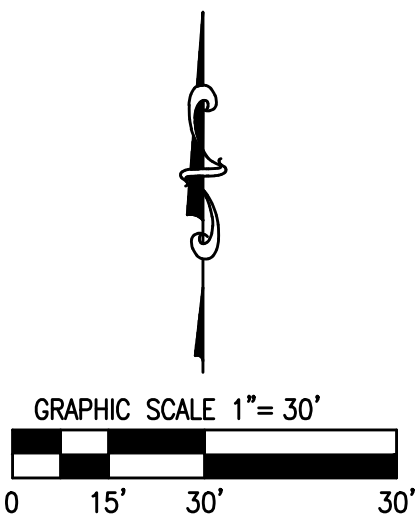


UTILITY PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
U1
9 OF 28



SEE SHEET U1

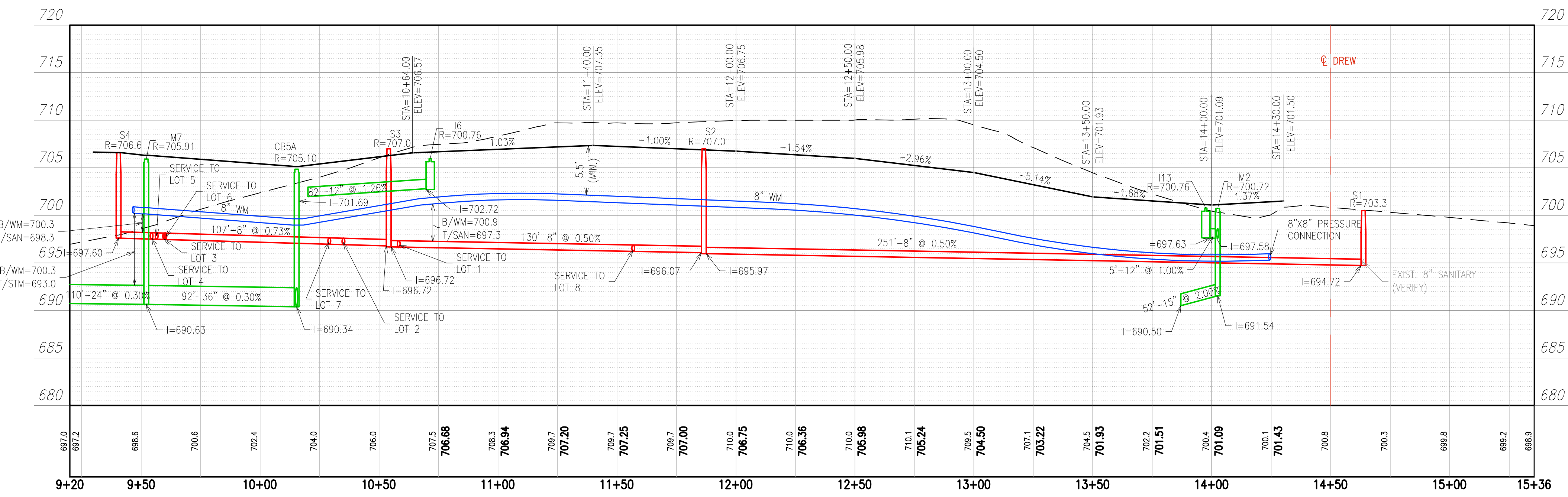
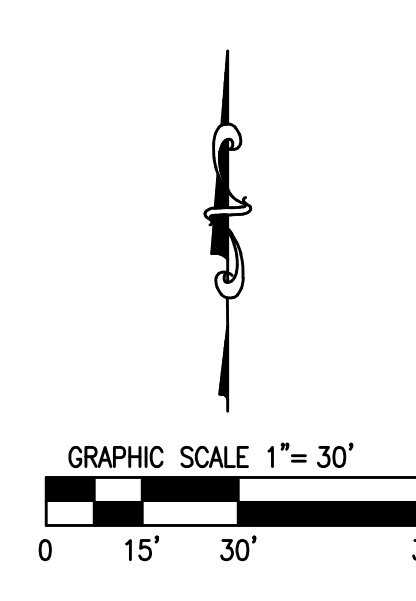
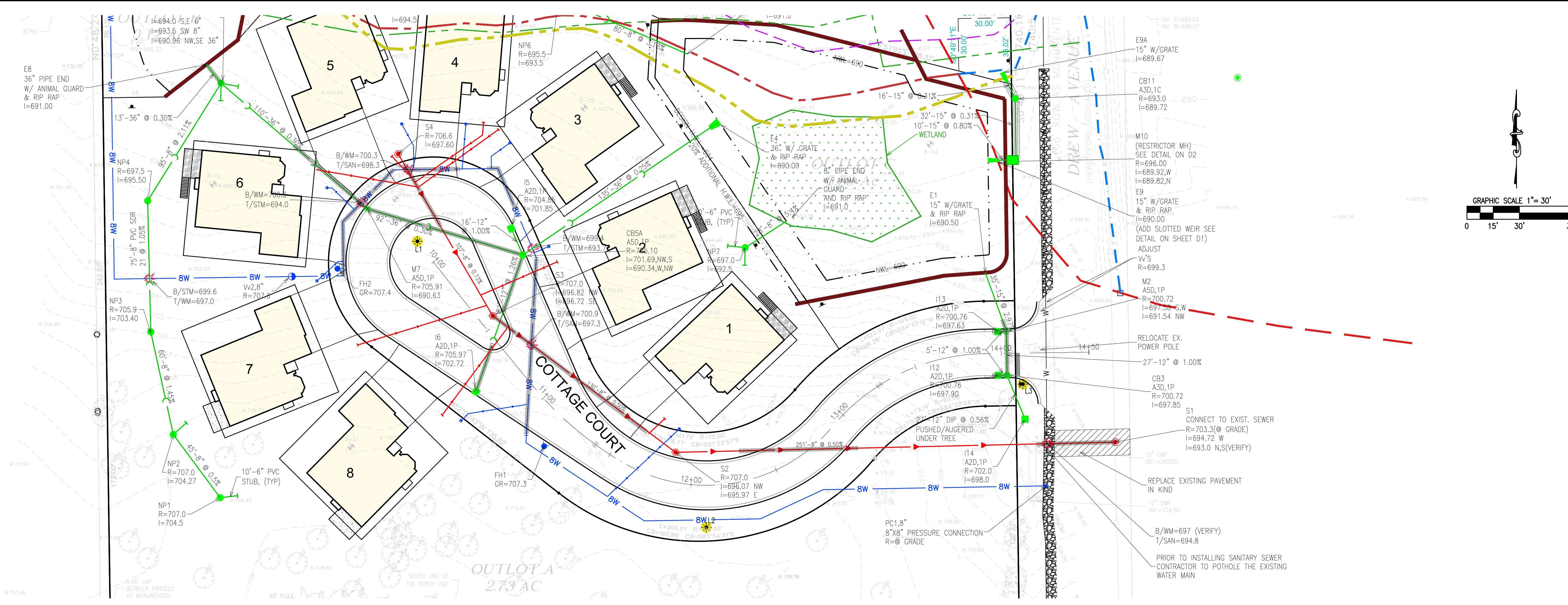
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UTILITY PLAN
THE COTTAGES OF DREW
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PLAN & PROFILE
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
PP1
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NO.	DATE	REMARKS
1	3/16/19	REVISED PER VILLAGE & COUNTY
2	3/26/19	REVISED PER COUNTY PUBLIC WORKS
3	4/16/19	REVISED PER VILLAGE & COUNTY
4	09/24/19	REVISED PER COUNTY
5	10/16/19	REVISED PER VILLAGE & COUNTY

CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMIT	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING		TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SC	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING		MC	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.	X		N/A
	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X		REAPPLY EVERY 1 1/2 MONTHS.
	AGGREGATE COVER		AC	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PA	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
DIVERSIONS	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.		X	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED DRAINAGE	STORM SEWER	X	STW	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
	UNDER DRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SOIL STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DRAINER SEDIMENT BASINS.		X	N/A
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SP	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	DROP INLET PIPE SPILLWAY		DIP	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY	X	W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BIW	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		X	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.		X	REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED.
	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT BASINS	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X		CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SILT FENCE		SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
SEDIMENT FILTERS	VEGETATIVE FILTER		VF	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X		REDO ANY FAILING AREAS.
	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X		SCRAPE MUD AND REPLACE STONE AS NEEDED.
MUD AND DUST CONTROL	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X		RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET		EB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.	X	X	REPLACE AS NEEDED.
EROSION CONTROL	TURF REINFORCEMENT MAT		TM	REINFORCES TURF IN CHANNELS AND SHORELINES.	X	X	REPLACE AS NEEDED.
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.	X	X	REPLACE AS NEEDED.
	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.		X	REPLACE AS NEEDED.
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.	X	X	REPLACE AS NEEDED.
SEDIMENT CONTROL	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.		X	REPLACE AS NEEDED.
	INLET PROTECTION	X	IF	USED FOR PROTECTION OF INLETS.		X	REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.	X	X	CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK		DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.	X		CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG	X	FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.	X		REPLACE WHEN HALF DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.		X	REPLACE WHEN FABRIC IS TORN OR HOLES BEGON TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.	X		REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGON TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.	X		CLEAN OUT WHEN HALF-FULL. CLEAN WASHOUT GRAVEL AREA AS NEEDED.
	STREET SWEEPING	X	SS	USED TO PREVENT SILT BUILD UP IN STREETS.	X		CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.

RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON Ld (FT)	MEDIAN RIP-RAP SIZE C (IN)	WIDTH OF APRON D/S FACE W1 (FT)	WIDTH OF APRON U/S FACE W2 (FT)	DEPTH OF RIP-RAP d (IN)	AREA OF RIP-RAP (SQ.YDS.)	VOLUME OF RIP-RAP (CU.YDS.)
ALL	8/12		10	6	3.00	13.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

OBSERVATION & MAINTENANCE SCHEDULE		
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION - MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION - OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5".
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

DESCRIPTION	MON-1	MON-2	MON-3	MON-4	MON-5	MON-6	MON-7	MON-8	MON-9
EROSION CONTROL									
SITE CLEARING									
MASS GRADING									
UTILITIES									
PAVING									
SITE STABILIZATION									

CONSTRUCTION SCHEDULE-2019-20

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES AND SOIL EROSION AND SEDIMENT CONTROL ORDINANCE FOR THE COUNTY.

1. SITE DESCRIPTION.

- THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY FOLLOWING MASS GRADING WHICH IS THE SUBJECT OF THIS PLAN:

THE PROPOSED DEVELOPMENT CONSISTS OF CONSTRUCTION OF THE COTTAGES OF DREW DEVELOPMENT
THE CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENTS INCLUDE:

A. MASS GRADING
B. PAVEMENT CONSTRUCTION
C. INSTALLATION OF UTILITIES INCLUDING STORM SEWERS
D. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, AS A MINIMUM.

THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE, SUCH AS GRUBBING, EXCAVATION, AND GRADING:

THE SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:

A. INSTALL SILT FILTER FENCE AND STABILIZED CONSTRUCTION ENTRANCE
B. MASS GRADING
C. UNDERGROUND UTILITIES INSTALLATION
D. FINE GRADING IN PAVEMENT AREA
E. PAVEMENT CONSTRUCTION

THE SOIL EROSION AND SEDIMENTATION CONTROL ITEMS WILL BE INSTALLED FIRST AND AS NEEDED DURING THE ABOVE CONSTRUCTION ACTIVITIES.

THE TOTAL ESTIMATED AREA OF THE SITE IS 8.8 ACRES.
THE TOTAL ESTIMATED AREA OF THE SITE TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS 4.06 ACRES.

THE ESTIMATED RUNOFF COEFFICIENTS OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORM WATER MANAGEMENT FOR THE COTTAGES ON DREW.
PREPARED BY ADVANTAGE CONSULTING ENGINEERS WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.

THE ESTIMATED PROPOSED OVERALL SITE RUNOFF COEFFICIENT IS 0.65
EXISTING DATA DESCRIBING SOILS IS INCLUDED IN SOILS REPORT _____ OR NOT AVAILABLE

NAME OF RECEIVING WATER(S) EXISTING AREA TO NORTH
NAME OF ULTIMATE RECEIVING WATER(S) Z9TH STREET DITCH
WETLAND ACREAGE 2.68 ACRES.

POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH CONSTRUCTION ACTIVITY MAY INCLUDE:

A. SEDIMENT FROM DISTURBED SOILS
B. PORTABLE SANITARY STATIONS
C. FUEL TANKS
D. STAGING AREAS
E. WASTE CONTAINERS
F. CHEMICAL STORAGE AREAS
G. OIL OR OTHER PETROLEUM PRODUCTS
H. ADHESIVES
I. TAR
J. SOLVENTS
K. DETERGENTS
L. FERTILIZERS
M. RAW MATERIALS (E.G., BAGGED PORTLAND CEMENT)
N. CONSTRUCTION DEBRIS
O. LANDSCAPE WASTE
P. CONCRETE AND CONCRETE TRUCKS
Q. LITTER
- THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1 ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTORS WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR HAS SIGNED THE REQUIRED CERTIFICATION ON FORMS WHICH ARE INCLUDED AS A PART OF THIS PLAN.

EROSION AND SEDIMENT CONTROLS.

STABILIZATION PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. EXCEPT AS PROVIDED IN 2, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED ON ALL DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 21 OR MORE CALENDAR DAYS.

WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECEDDED BY SNOW COVER, STABILIZATION MEASURES SHALL BY INITIATED AS SOON AS PRACTICABLE THEREAFTER.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:

A. PERMANENT SEEDING
B. SILT FILTER FENCE
C. VEGETATIVE FILTER
D. STABILIZED CONSTRUCTION ENTRANCE

STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.

THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:

A. BARRIER FILTERS
B. STORM SEWERS
C. RIP-RAP FOR OUTLET PROTECTION
D. INLET PROTECTION

DUST CONTROL- DUST CONTROL SHALL BE PROVIDED PER STANDARD 825 OF ILLINOIS URBAN MANUAL. THE FOLLOWING METHODS FOR THE DUST CONTROL CAN BE USED.

A. IRRIGATION
B. SPRAY ON ADHESIVE
C. VEGETATIVE COVER
D. MULCHING

STORM WATER MANAGEMENT.

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.

THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:

A. BARRIER FILTERS
B. STORM SEWERS
C. RETENTION/DETENTION PONDS
D. PERMANENT SEEDING
E. OUTLET PROTECTION

VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).

STORM WATER MANAGEMENT CONTROL INCLUDES:

A. RIP-RAP FOR OUTLET PROTECTION (SEE RIP RAB TABLE FOR QUANTITY)
B. INLET PROTECTION

APPROVED STATE OR LOCAL PLANS.

2. CONTROLS.

- THE FOLLOWING GROUNDKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT. AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT.
PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
SUBSTANCES SHOULD NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.

MANAGEMENT OF PORTABLE SANITARY STATIONS

TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (E.G., GRAVEL-BAG BERM). THE CONTRACTOR SHOULD PREVENT/AVOID UNSANITARY CONDITIONS. SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATIONS.

SPILL PREVENTION AND CLEAN-UP PROCEDURES

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL SHOULD BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, STAIN PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

DE-WATERING OPERATIONS

DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQUATE EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY. STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER.

OFF-SITE VEHICLE TRACKING

THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. STREETS SHOULD BE SWEEP AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE, REMOVE AND REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.

TOPSOIL STOCKPILE MANAGEMENT

IF TOPSOIL IS TO BE STOCKPILED AT THE SITE, SELECT A LOCATION SO THAT IT WILL NOT ERODE, BLOCK DRAINAGE, OR INTERFERE WITH WORK ON SITE. TOPSOIL STOCKPILES SHALL NOT BE LOCATED IN THE 100-YEAR FLOODPLAIN OR DESIGNATED BUTTER PROTECTING WATERS OF THE STATE. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHOULD BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. PERIMETER CONTROLS, SUCH AS SILT FENCE, SHOULD BE PLACED AROUND THE STOCKPILE IMMEDIATELY. STABILIZATION OF THE STOCKPILE SHOULD BE COMPLETED IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS.

MAINTENANCE

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES TO WILL BE USED TO MAINTAIN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.

A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONE, REMOVE AND REPLACE TOP LAYER OF STONE OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.

B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.

C. SEDIMENTATION BASINS/TRAPS: SEDIMENTS SHALL BE REMOVED WHEN 40-50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OBTAINED BY SEDIMENT. IN NO CASE SHALL SEDIMENT BE ALLOWED TO BUILD UP TO MORE THAN 1 FOOT BELOW THE CREST ELEVATION. AT THIS STAGE, THE BASIN SHALL BE CLEANED OUT TO RESTORE ITS ORIGINAL VOLUME.

D. SILT FILTER FENCE: ANY DAMAGED SILT FILTER FENCE SHALL BE RESTORED TO MEET THE STANDARDS OR REMOVED AND REPLACED AS NEEDED

E. RIP-RAP OUTLET PROTECTION: INSPECTED SHALL OCCUR AFTER HIGH FLOWS FOR ANY SCOUR BENEATH THE RIP-RAP OR FOR STONE THAT HAVE BEEN DISLODGED. DISTURBED RIP RAB SHALL BE REPAIRED IMMEDIATELY.

F. DUST CONTROL: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.
- APPROVED STATE OR LOCAL PLANS.

THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND THE MUNICIPAL SUBDIVISION ORDINANCE. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS OR SITE PERMITS OR STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

7. WASTE MANAGEMENT

- SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF SITE BY THE CONTRACTORS. THE CONTRACTORS ARE RESPONSIBLE TO ACQUIRE THE PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE FOR THE WASTES BEING DISCARDED. NO OTHER WASTES SHOULD BE DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE. IF NECESSARY, CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ON SITE. WASTE DISPOSAL SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

ON-SITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.

CONCRETE WASTE MANAGEMENT

CONCRETE WASTE OR WASHOUT IS NOT ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. WHEN PRACTICABLE, A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE, AND SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB. IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD, A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.

THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 60% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AND USED AGAIN ON SITE (AS APPROVED BY THE ENGINEER) OR HAULED OFF SITE TO AN APPROPRIATE LANDFILL.

CONCRETE CUTTING

CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE NEAR A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DEPOSITED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.

VEHICLE STORAGE AND MAINTENANCE

WHEN NOT IN USE, CONSTRUCTION VEHICLES SHOULD BE STORED IN A DESIGNATED AREA(S) OUTSIDE OF THE REGULATORY FLOOD-PLAN, AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. CONTROLS SHOULD BE INSTALLED TO MINIMIZE THE POTENTIAL OF RUNOFF FROM THE STORAGE AREA(S) FROM REACHING STORM DRAINS OR WATER COURSES. VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN A DESIGNATED AREA(S) TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ABSORBENT PADS SHOULD BE USED FOR ALL VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSAL OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER VEHICLE-RELATED CHEMICALS IN ACCORDANCE WITH UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) AND EPA REGULATIONS AND PER MATERIAL SAFETY DATA SHEET (MSDS) AND/OR MANUFACTURER INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE PRIMARY CONTACT.
- MATERIAL STORAGE AND GOOD HOUSEKEEPING

MATERIALS AND/OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ON-SITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ON SITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. BERMED-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE FOR REFERENCING CLEAN-UP PROCEDURES. ANY RELEASE OF CHEMICALS/CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE PRIMARY CONTACT, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT. AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT.
PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
SUBSTANCES SHOULD NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.

MANAGEMENT OF PORTABLE SANITARY STATIONS

TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (E.G., GRAVEL-BAG BERM). THE CONTRACTOR SHOULD PREVENT/AVOID UNSANITARY CONDITIONS. SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATIONS.

SPILL PREVENTION AND CLEAN-UP PROCEDURES

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL SHOULD BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, STAIN PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

DE-WATERING OPERATIONS

DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQUATE EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY. STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER.

OFF-SITE VEHICLE TRACKING

THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. STREETS SHOULD BE SWEEP AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE, REMOVE AND REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.

TOPSOIL STOCKPILE MANAGEMENT

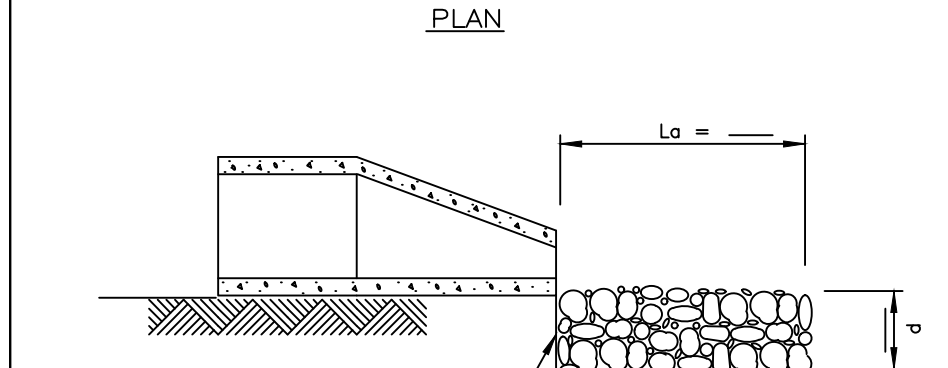
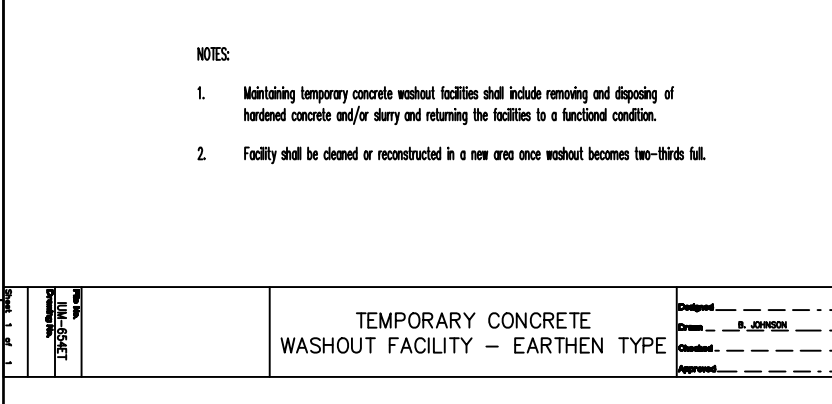
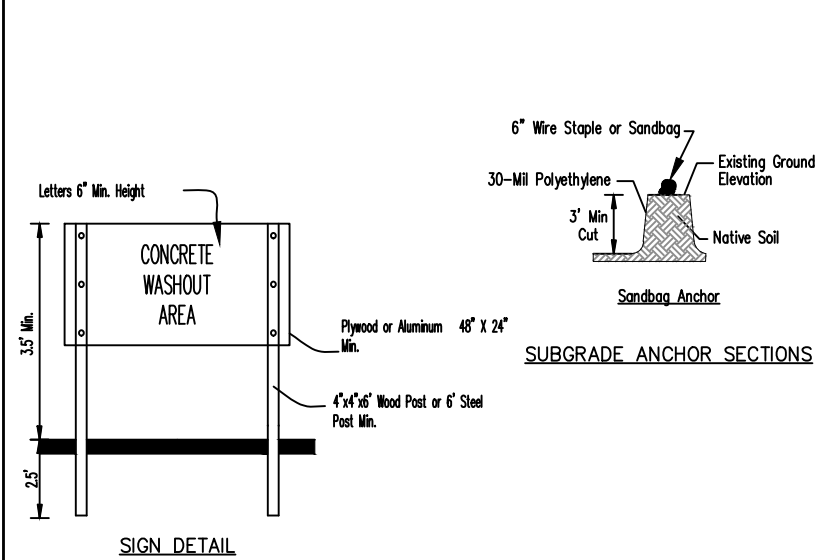
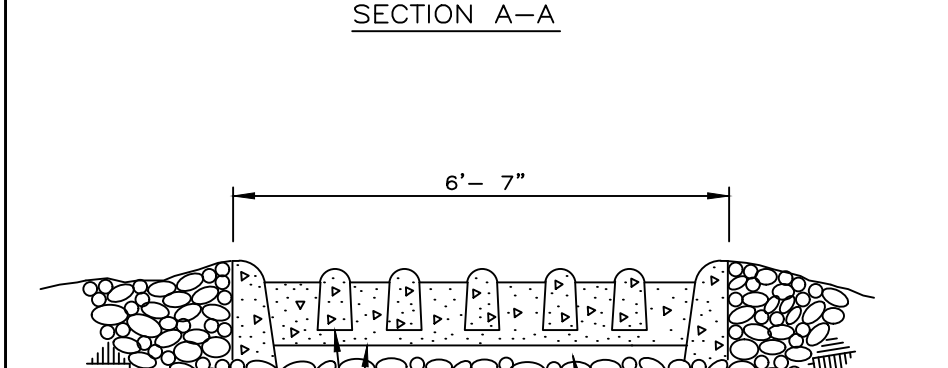
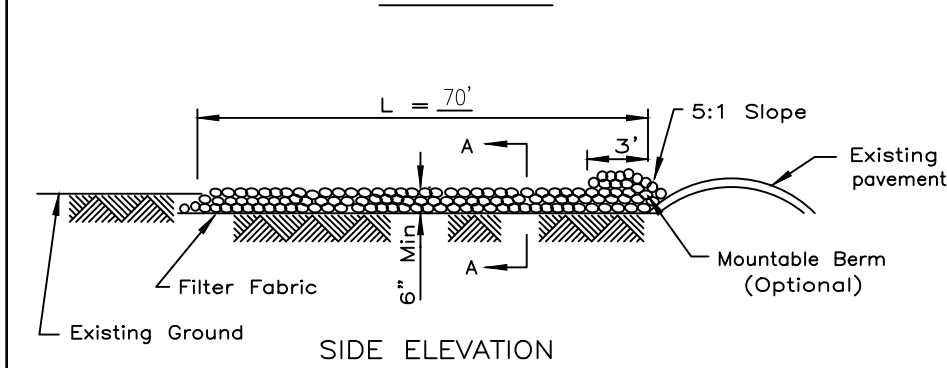
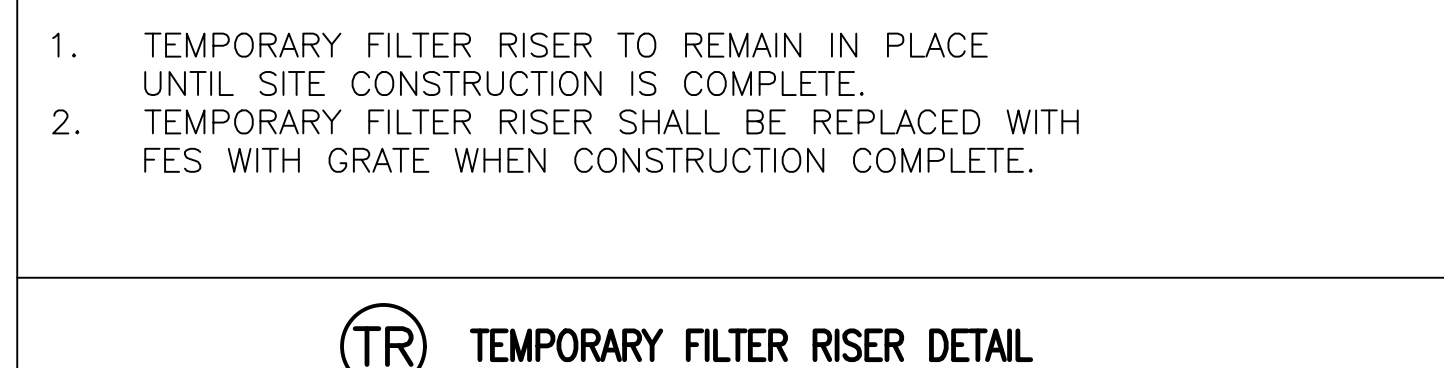
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MAINTENANCE

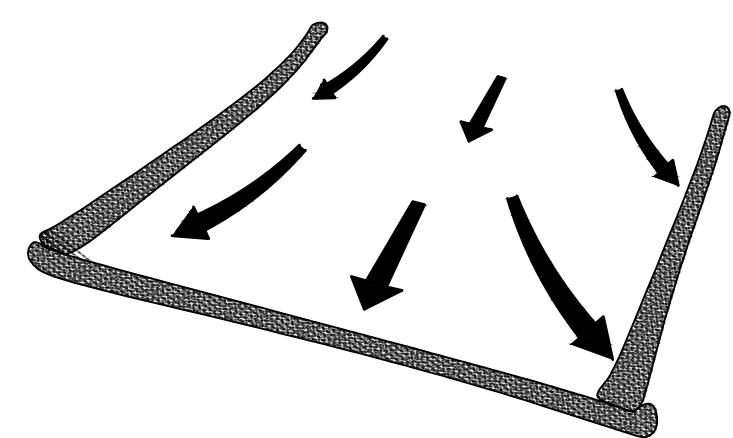
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A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONE, REMOVE AND REPLACE TOP LAYER OF STONE OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.

B. VEGETATIVE



SILTWORM PERIMETER CONTROL SPECIFICATIONS



PLACE SILTWORM DIRECTLY ON TOP OF GRADE, AND OVERLAP ENDS A MINIMUM OF 6". SITE PREPARATION IS MINIMAL, AND THERE IS NO STAKING OR TRENCHING REQUIREMENT FOR GRADES UNDER 12%. ARRANGE THE SILTWORM PERIMETER CONTROL IN A MANNER THAT IS APPLIED PERPENDICULAR TO SHEET FLOW. ENSURE GROUND CONTACT.

SILTWORM HEIGHTS INSTALLED		
NOMINAL DIAMETER, D	INSTALLED HEIGHT OF SINGLE SILTWORM	INSTALLED HEIGHT OF STACKED SILTWORM
9"	7.5"	15"
12"	9.5"	19"
18"	14.5"	29"
24"	19"	38"

MINIMUM SPECIFICATION FOR SILTWORM		
PROPERTY	UNITS	RANGE
PH	PH	5.0-8.5
MOISTURE CONTENT	% WET WEIGHT BASIS	<20
PARTICLE SIZE	% PASSING SELECTED MESH SIZE, DRY WEIGHT BASIS	1 1/2" - 2" - 90% FINES = 10% MAX. PARTICLE SIZE 2"

SILTWORM SHOULD BE REMOVED FROM SLOPES AFTER STABILIZATION IS COMPLETE. THIS MAY BE ACCOMPLISHED BY CUTTING THE SILTWORM OPEN AND SPREADING THE FILL MATERIAL ON THE SITE. SILTWORM APPLIED IN DITCH SHALL BE COMPLETELY REMOVED.

Filter Fabric

5' Max (Typ)

Fastener - Min. No. 10 Gauge Wire
4 Per Post Required. (Typ.)

2' Min

1 1/2" Min (Typ)

ELEVATION

Diagram illustrating the Fabric Anchor Detail. The diagram shows a cross-section of a retaining wall. A vertical anchor is embedded into the wall, passing through a layer of filter fabric. The anchor is surrounded by compacted backfill. The diagram shows the direction of flow and the undisturbed ground line. Dimensions include 6 inches for the anchor diameter and 6 inches for the backfill width.

1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class with equivalent opening size of at least 30 for nonwoven and 50 for woven.
3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	
Project	_____
Designed	_____ Date _____
Checked	_____ Date _____
Approved	_____ Date _____

The diagram illustrates the process of attaching two silt fences to a single filter fabric. It consists of three numbered steps:

- Step 1:** A single silt fence (represented by a rectangle with a diagonal line) is attached to a filter fabric (dashed line). Labels include "Filter Fabric", "Posts", and "Filter Fabric".
- Step 2:** A second silt fence is attached to the first, creating a double fence. Labels include "Filter Fabric" and "Filter Fabric".
- Step 3:** The final setup shows two silt fences attached to a single filter fabric. Labels include "Filter Fabric" and "Filter Fabric".

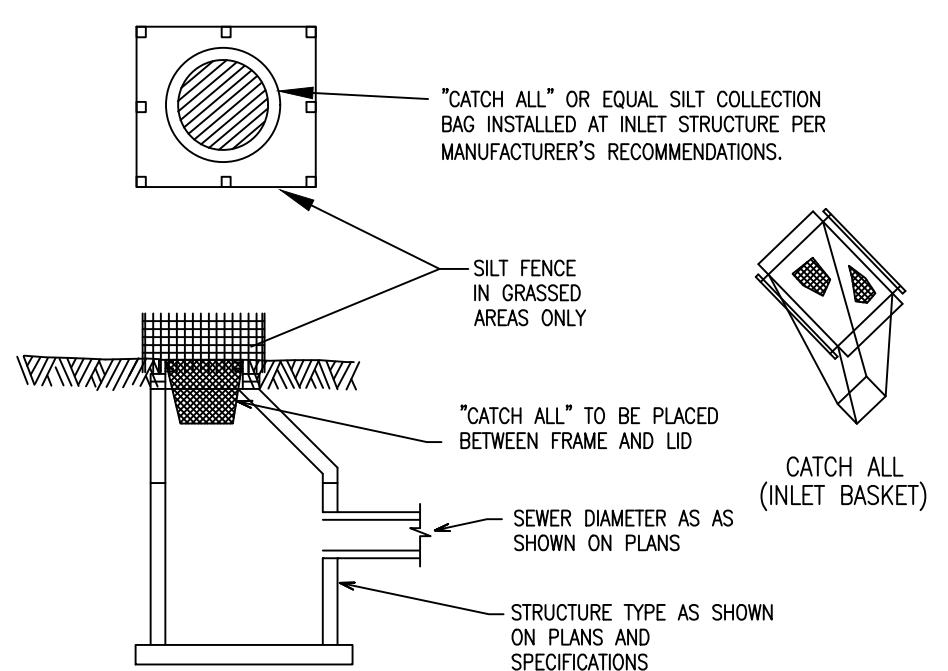
ATTACHING TWO SILT FENCES

NOTES:

1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Drive both posts a minimum of 18 inches into the ground and bury the flap.

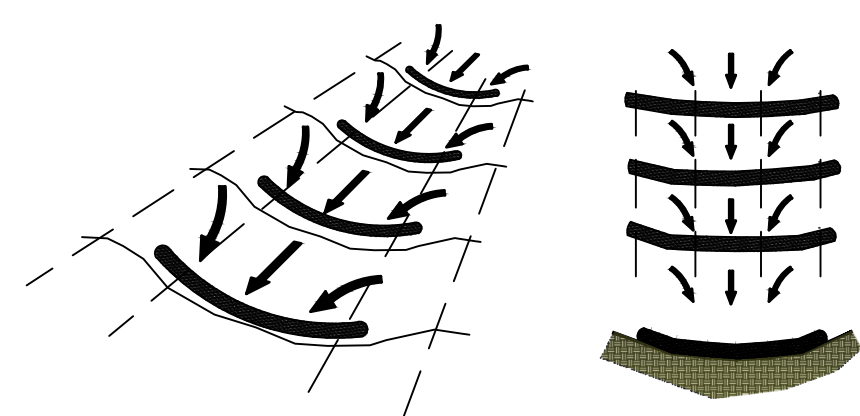
REFERENCE		 NRCS Natural Resource Conservation Service	STANDARD DWG. NO.
Project	_____		IL-620(V)
Designed	_____ Date _____		SHEET 2 OF 2
Checked	_____ Date _____		DATE 1-29-84
Approved	_____ Date _____		

PLAN SYMBOL: (FF)



TR

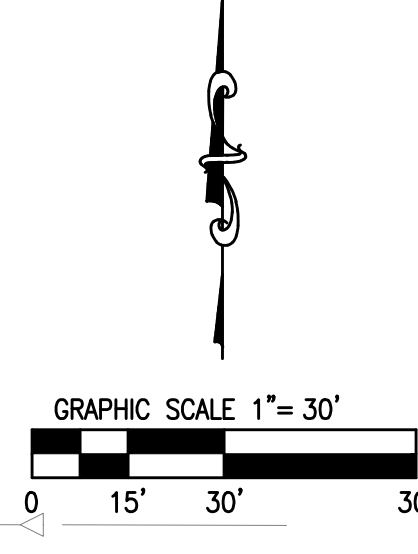
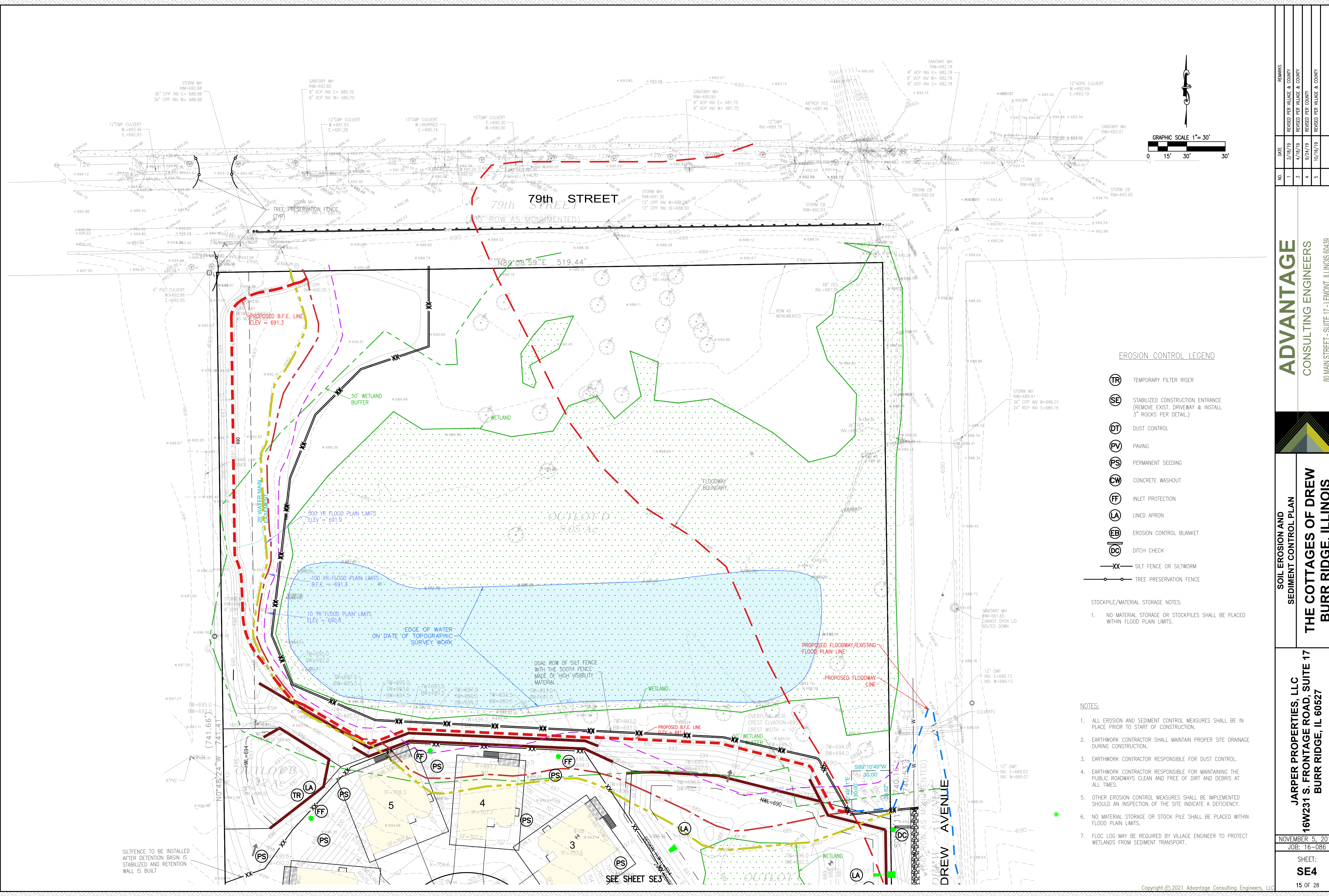
PLAN SYMBOL: (DC)



PLACE SILTWORM PERPENDICULAR TO CONCENTRATED FLOW. STAKE THE SILTWORM EVERY 4' AND OVERLAP THE ENDS BY 2' INSTALLED WITH A SLIGHT SADDLING. AND STAKE EVERY 4'.

SILTWORM SPACING FOR DITCH APPLICATION	
DITCH SLOPE	MAXIMUM SILTWORM SPACING
2%	80'
3%	80'
4%	50'
5%	30'
6%	20'
GREATER THAN 6%	20'

BASED ON INSTALLED HEIGHT OF 19".
SEE TABLE ON EC-STA-6 FOR OTHER
HEIGHTS



EROSION CONTROL LEGEND

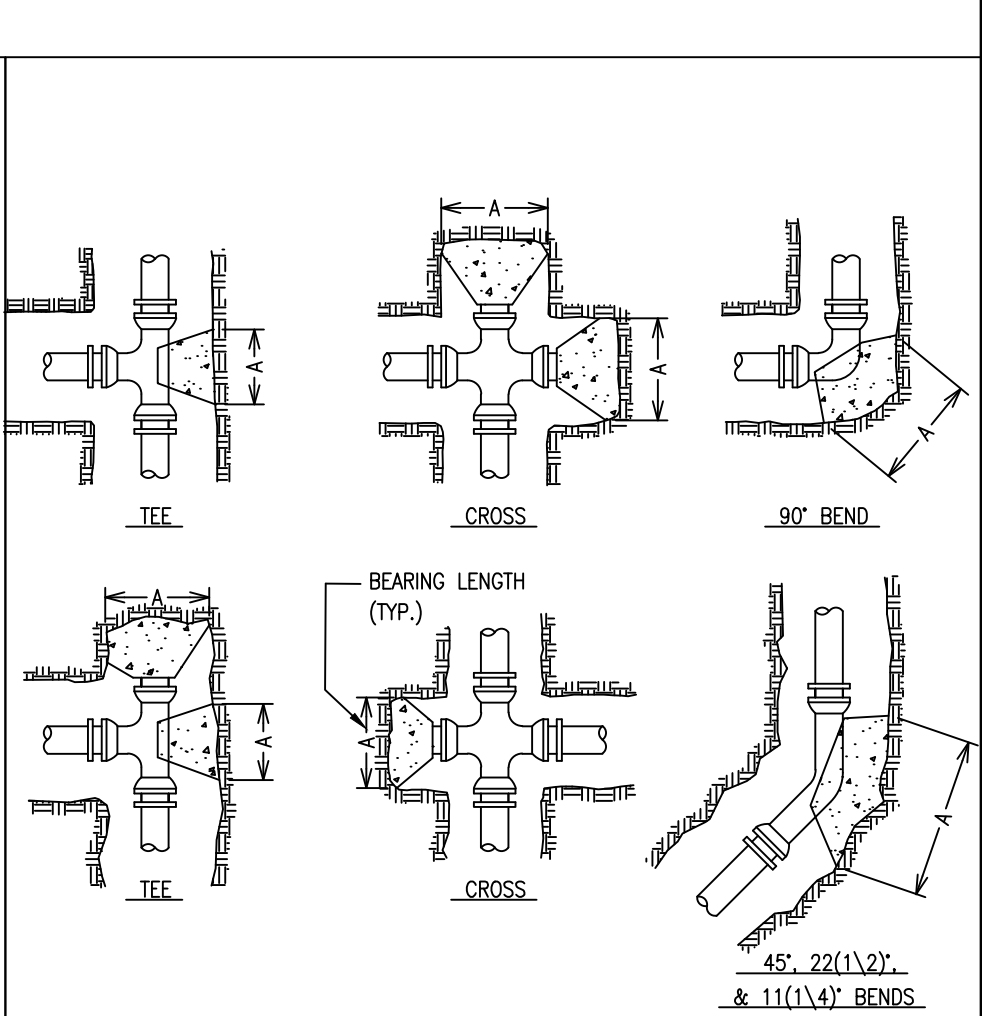
- TR** TEMPORARY FILTER RISER
- SE** STABILIZED CONSTRUCTION ENTRANCE (REMOVE EXIST. DRIVEWAY & INSTALL 3" ROCKS PER DETAIL.)
- DT** DUST CONTROL
- PV** PAVING
- PS** PERMANENT SEEDING
- CW** CONCRETE WASHOUT
- IF** INLET PROTECTION
- LA** LINED APRON
- EB** EROSION CONTROL BLANKET
- DC** DITCH CHECK
- XX** SILT FENCE OR SILTWORM
- TREE PRESERVATION FENCE

STOCKPILE/MATERIAL STORAGE NOTES:
1. NO MATERIAL STORAGE OR STOCKPILES SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.

- NOTES:
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
 - EARTHWORK CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
 - EARTHWORK CONTRACTOR RESPONSIBLE FOR DUST CONTROL.
 - EARTHWORK CONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
 - OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
 - NO MATERIAL STORAGE OR STOCK PILE SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.
 - FLOC LOG MAY BE REQUIRED BY VILLAGE ENGINEER TO PROTECT WETLANDS FROM SEDIMENT TRANSPORT.

REMARKS	REVISED PER VILLAGE & COUNTY
	REVISED PER VILLAGE & COUNTY
	REVISED PER VILLAGE & COUNTY
	REVISED PER VILLAGE & COUNTY
	REVISED PER VILLAGE & COUNTY
DATE	NOVEMBER 5, 2018
NO.	1
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, ILLINOIS 60027	
THE COTTAGES OF DREW BURR RIDGE, ILLINOIS	
SOIL EROSION AND SEDIMENT CONTROL PLAN	
ADVANTAGE CONSULTING ENGINEERS 80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 630-520-2467 WWW.ADVANTAGEILL.COM	
SHEET: SE4 15 OF 28	

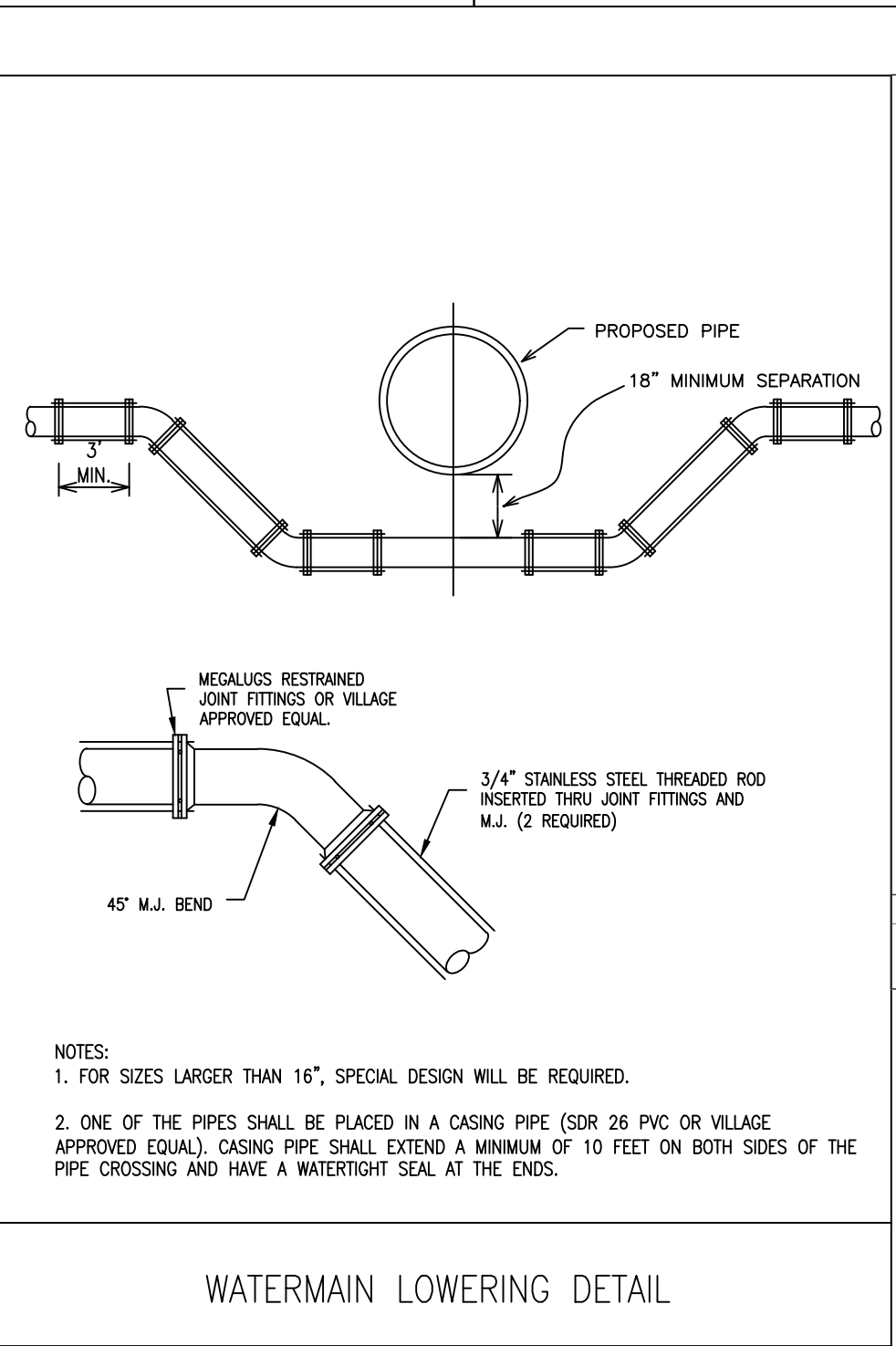
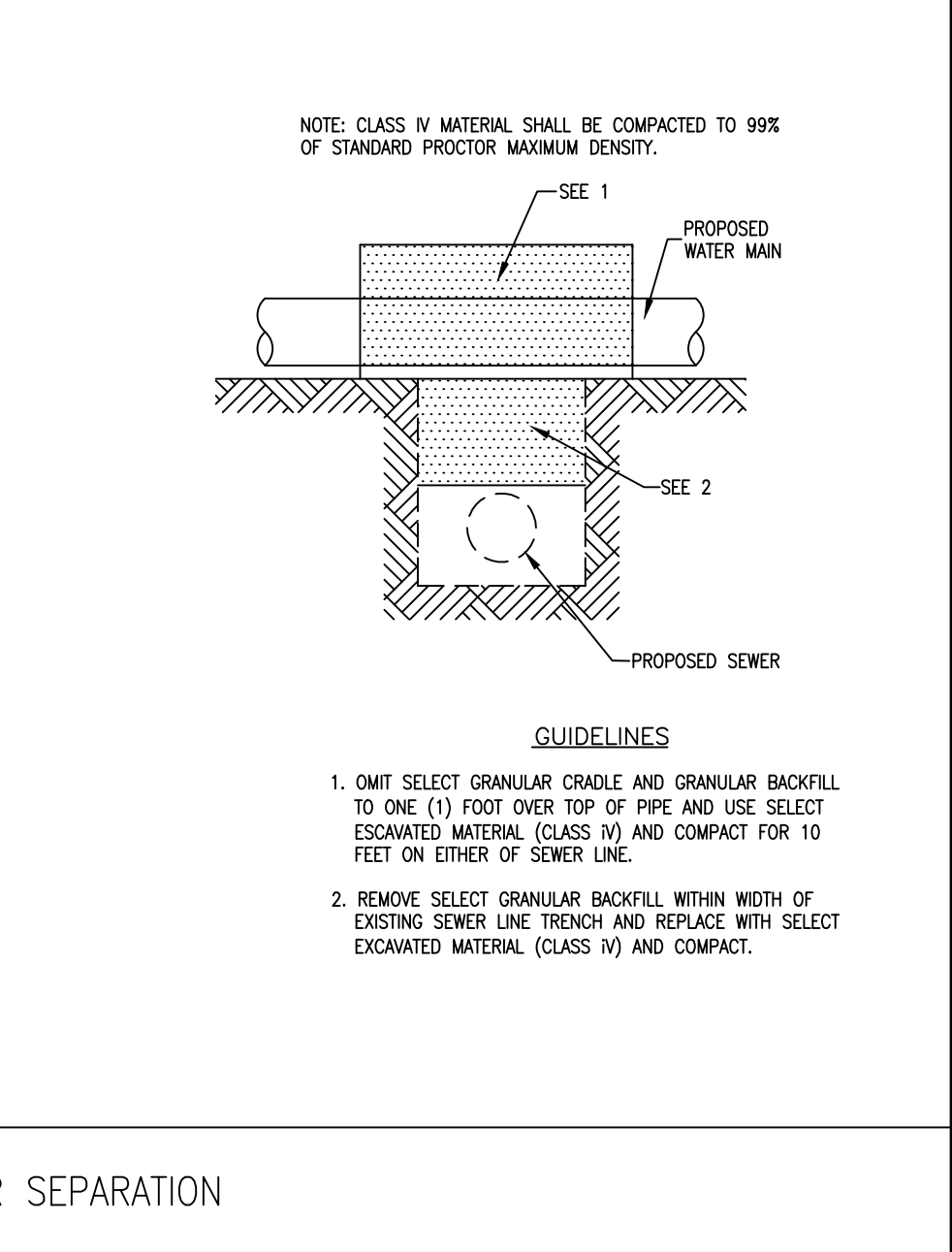
	<div>SANITARY SEWER</div> <div><div><div><div><div><div>1.</div><div>UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE. ALL PIPE SHALL CONFORM TO ASTM D-3034 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3212, THE STANDARD DIMENSION RATIO (SDR) FOR PIPE SHALL BE 26. WHEN SHOWN, PVC SDR 21 SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE CONFORMING TO ASTM D-2241 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3139. THE PVC D1818 SANITARY SEWER SHALL CONFORM TO AWWA C900/C905 WITH RUBBER GASKET JOINTS CONFORMING TO AWWA C900/C905</div></div><div><div>2.</div><div>CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT ALLOWED.</div></div><div><div>3.</div><div>ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY AND/OR AUTHORIZED AGENCY.</div></div><div><div>4.</div><div>ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321, CL 1</div></div><div><div>5.</div><div>COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER.</div></div><div><div>6.</div><div>BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL SANITARY SEWERS. SANITARY SEWERS SHALL HAVE TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF 12" FOR SANITARY SEWER PIPE. THE BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321 CLASS 1.</div></div><div><div>7.</div><div>WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION.</div></div><div><div>8.</div><div>NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE.</div></div><div><div>9.</div><div>THE TESTING OF PIPES' STRAIGHTNESS, AND FIELD TESTING SHALL BE IN ACCORDANCE WITH DEVELOPMENT CODE OF THE COUNTY. COUNTY WILL INSPECT AND APPROVE THE INSTALLATION. CONTACT COUNTY P.W. DEPARTMENT AT 630-407-6801 AT LEAST 24 HOURS PRIOR TO INSPECTION.</div></div><div><div>10.</div><div>SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D, PRECAST REINFORCE CONCRETE CONFORMING TO COUNTY STANDARD DETAIL.</div></div><div><div>11.</div><div>ALL SANITARY SEWER MANHOLE LIDS SHALL BE NENMAM R-1772 OR APPROVED EQUAL. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" AND THE MUNICIPALITY OR SANITARY DISTRICT NAME EMBOSSED ON THE LID.</div></div><div><div>12.</div><div>ALL MANHOLE JOINTS SHALL BE SEALED WITH BUTYL ROPE JOINTS. NO MORE THAN EIGHT INCHES (8") OF PRECAST CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. ALL PIPE OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES PER ASTM C-923. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOW.</div></div><div><div>13.</div><div>DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS ONE FOOT (1') OR AT LOCATIONS SHOWN ON THE PLANS. THE ENTIRE EXTERIOR DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL.</div></div><div><div>14.</div><div>INSPECTION OF MANHOLES: ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AND ALL VISIBLE LEAKAGE ELIMINATED BEFORE FINAL INSPECTION AND ACCEPTANCE.</div></div><div><div>15.</div><div>TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE TESTED FOR LOW PRESSURE AIR TEST, AND DEFLECTION TEST PER STANDARD SPECIFICATIONS AND SUBDIVISION REGULATIONS OF THE MUNICIPALITY AND SHALL BE APPROVED BY THE MUNICIPALITY BEFORE ACCEPTANCE. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED FOR LEAKAGE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND ASTM C 1244.</div></div><div><div>16.</div><div>ALL SANITARY SEWERS SHALL BE TESTED AND A COPY OF THE DISK AND A WRITTEN REPORT SHALL BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL. THE REPORT SHALL INCLUDE SUB LOCATIONS AND DESCRIPTION OF ALL DEFECTS, WATER LEVEL, AND LEAKS. IDENTIFY LENGTHS FROM MANHOLE NUMBER SPECIFIED ON THE APPROVED PLANS. ALL COSTS SHALL BE INCIDENTAL TO THE WORK. TESTING SHALL BE WITNESSED AND APPROVED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE.</div></div><div><div>17.</div><div>IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE REPAIR, OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS NECESSARY TO PASS THE TEST REQUIREMENTS.</div></div><div><div>18.</div><div>CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING". ASTM STANDARD D-2412. TESTS SHALL ALSO BE CONDUCTED IN ACCORDANCE WITH ASTM D-3212 TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT, AS SPECIFIED IN ASTM D-3212 SPECIFICATIONS.</div></div><div><div>19.</div><div>ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.</div></div><div><div>19.</div><div>THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) AND SUBMIT TO GOVERNING PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND OTHERWISE CORRECT THE DEFICIENCIES. AS BUILT SURVEY MUST BE SUBMITTED TO COUNTY FOR APPROVAL. NO HOMES CAN BE CONNECTED TO SANITARY SEWER UNTIL AS BUILT SURVEY IS APPROVED BY COUNTY.</div></div></div><div><div>SOIL EROSION AND SEDIMENT CONTROL</div><div><div>1.</div><div>THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY, AND THE ILLINOIS URBAN MANUAL.</div></div><div><div>2.</div><div>BEFORE CLEARING AND SITE GRADING BEGINS, THE CONTRACTOR/APPLICANT MUST NOTIFY GOVERNMENT AGENCY 2 WORKING DAYS PRIOR TO STARTING CONSTRUCTION ENTRANCE AND SILT FENCE WHICH SHALL BE INSTALLED AS SHOWN ON THE PLANS.</div></div><div><div>3.</div><div>THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGIN ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT FROM CONSTRUCTION VEHICLES.</div></div><div><div>4.</div><div>SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR TO PREVENT SEDIMENT FROM LEAVING THE SITE.</div></div><div><div>5.</div><div>SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE STORM STRUCTURES SHOWN ON THE PLANS.</div></div><div><div>6.</div><div>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.</div></div><div><div>7.</div><div>THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2". AN INSPECTION REPORT SHALL BE FILLED OUT EACH TIME AND SHALL BE KEPT IN A BINDER AT JOB SITE AT ALL TIMES ALONG WITH NOI, NPDES PERMIT & SWPPP PLAN.</div></div><div><div>8.</div><div>AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE THOROUGHLY CLEANED AND FREE OF DIRT AND DEBRIS. SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT INTO THE DOWNSTREAM STORM SEWER SYSTEM OR DETENTION BASIN(S)</div></div><div><div>9.</div><div>THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.</div></div><div><div>10.</div><div>THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE.</div></div><div><div>11.</div><div>A. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS. B. SOIL STOCK PILES MUST BE STABILIZED OR COVERED AT THE END OF EACH DAY. C IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.</div></div><div><div>12.</div><div>IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THIS DEVELOPMENT SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.</div></div><div><div>13.</div><div>STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.</div></div><div><div>14.</div><div>STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THEN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN THE AREA.</div></div><div><div>15.</div><div>WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DETERMINING, IRRIGATION, OR FIRE HYDRANT FLUSHING SHALL BE FILTERED PRIOR TO LEAVING PROJECT SITE.</div></div><div><div>16.</div><div>GRAVEL ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED IMMEDIATELY.</div></div><div><div>17.</div><div>ALL CONTRACTORS AND SUB CONTRACTORS SHALL COMPLY WITH SWPPP PLAN AND NPDES REQUIREMENT & SHALL SIGN SWPPP ON FILE WITH OWNER OR GENERAL CONTRACTOR.</div></div><div><div>18.</div><div>THE ENTIRE SITE MUST BE STABILIZED USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION SEASON.</div></div><div><div>19.</div><div>TECHNIQUES SHALL BE EMPLOYED TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.</div></div></div><div><div>STORM SEWER</div><div><div>1.</div><div>ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY.</div></div><div><div>2.</div><div>UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE REINFORCED CONCRETE CULVERT PIPE, ASTM C 76, WITH "O" RING RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. 12" AND 15" RCP SHALL BE CLASS IV UNLESS NOTED OTHERWISE. PVC SDR 26 PIPE SHALL CONFORM TO ASTM STANDARDS. THE JOINTS SHALL BE PER MANUFACTURER'S RECOMMENDATION AND ASTM STANDARDS. ALL UNDERDRAINS SHALL BE PVC SDR 26.</div></div><div><div>3.</div><div>ALL DOWNSPROUT AND FOOTING DRAINS SHALL BE DISCHARGED TO THE STORM SEWER SYSTEM 4" MINIMUM PVC SDR26 UNLESS NOTED OTHERWISE OR ONTO THE GROUND.</div></div><div><div>4.</div><div>MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. MANHOLE JOINTS SHALL BE BUTYL ROPE JOINTS. A MAXIMUM OF SIX (6) INCHES ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. THE ADJUSTING RINGS SHALL BE SET IN FULL MORTAR BED.</div></div><div><div>5.</div><div>ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A BEDDING, 1/4" TO 3/4" IN SIZE, WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE GRANULAR MATERIAL FOR BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA-6. THE GRANULAR MATERIAL FOR BEDDING AND INITIAL BACKFILL FOR FLEXIBLE PIPE SHALL BE NON-ANGULAR GRAVEL MATERIAL CONFORMING TO ASTM D-2321, CLASS 1. THE COST OF BEDDING MATERIAL SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER. THE BEDDING MATERIALS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY.</div></div><div><div>6.</div><div>THE FRAME AND GRATE OR CLOSED LID SHALL BE AS SPECIFIED ON UTILITY PLANS. THE MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" AND IF A PUBLIC LINE THE MUNICIPALITY NAME EMBOSSED ON THE LID. THE JOINT BETWEEN CONCRETE SECTION AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</div></div><div><div>7.</div><div>ALL STORM SEWERS SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</div></div><div><div>8.</div><div>AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.</div></div><div><div>9.</div><div>MINIMUM COVER SHALL BE 3" UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED.</div></div></div></div></div></div>	<div><div>EARTHWORK</div><div><div>1. TOPSOIL EXCAVATION</div><div>EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE</div></div></div>
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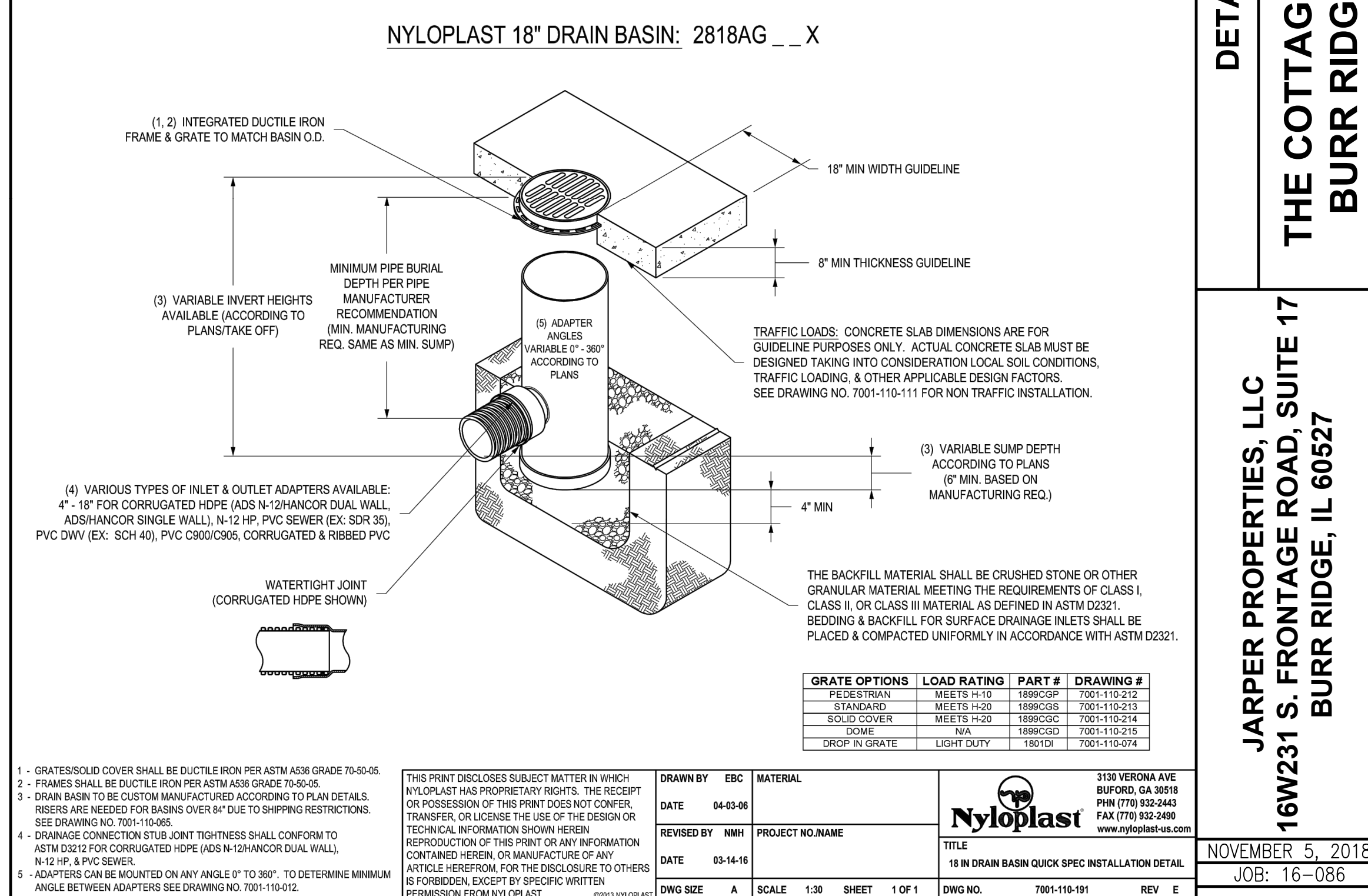
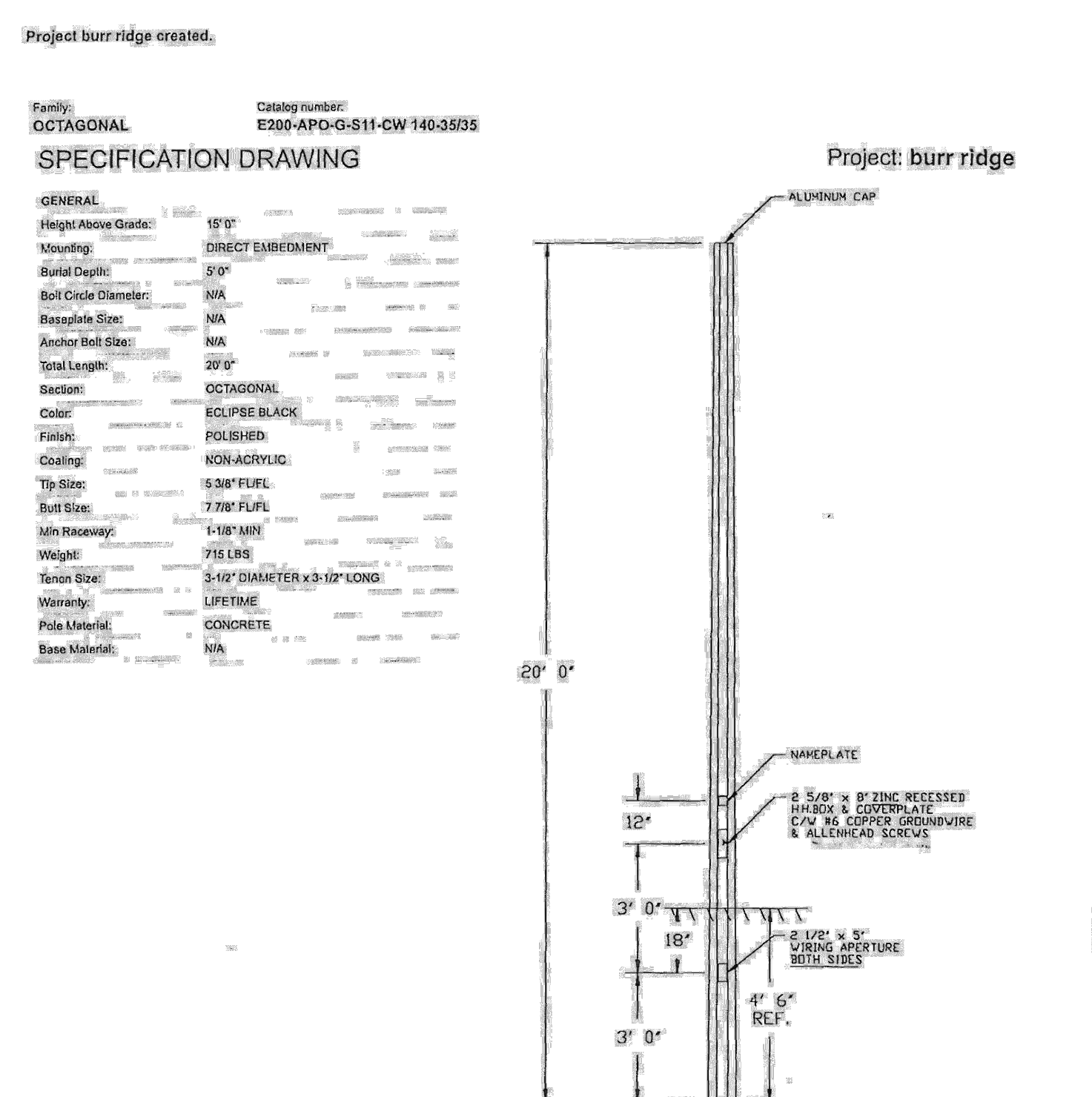
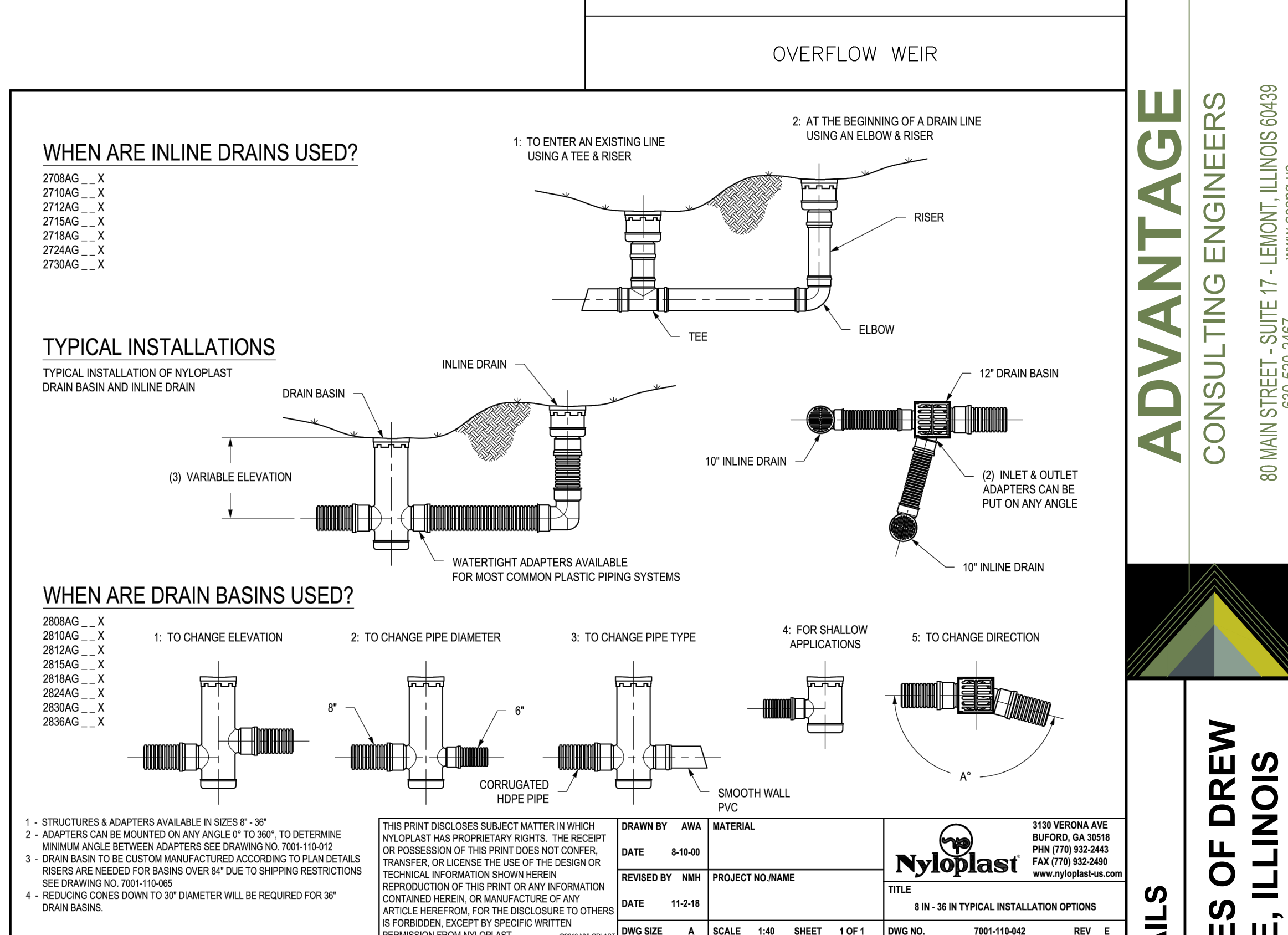
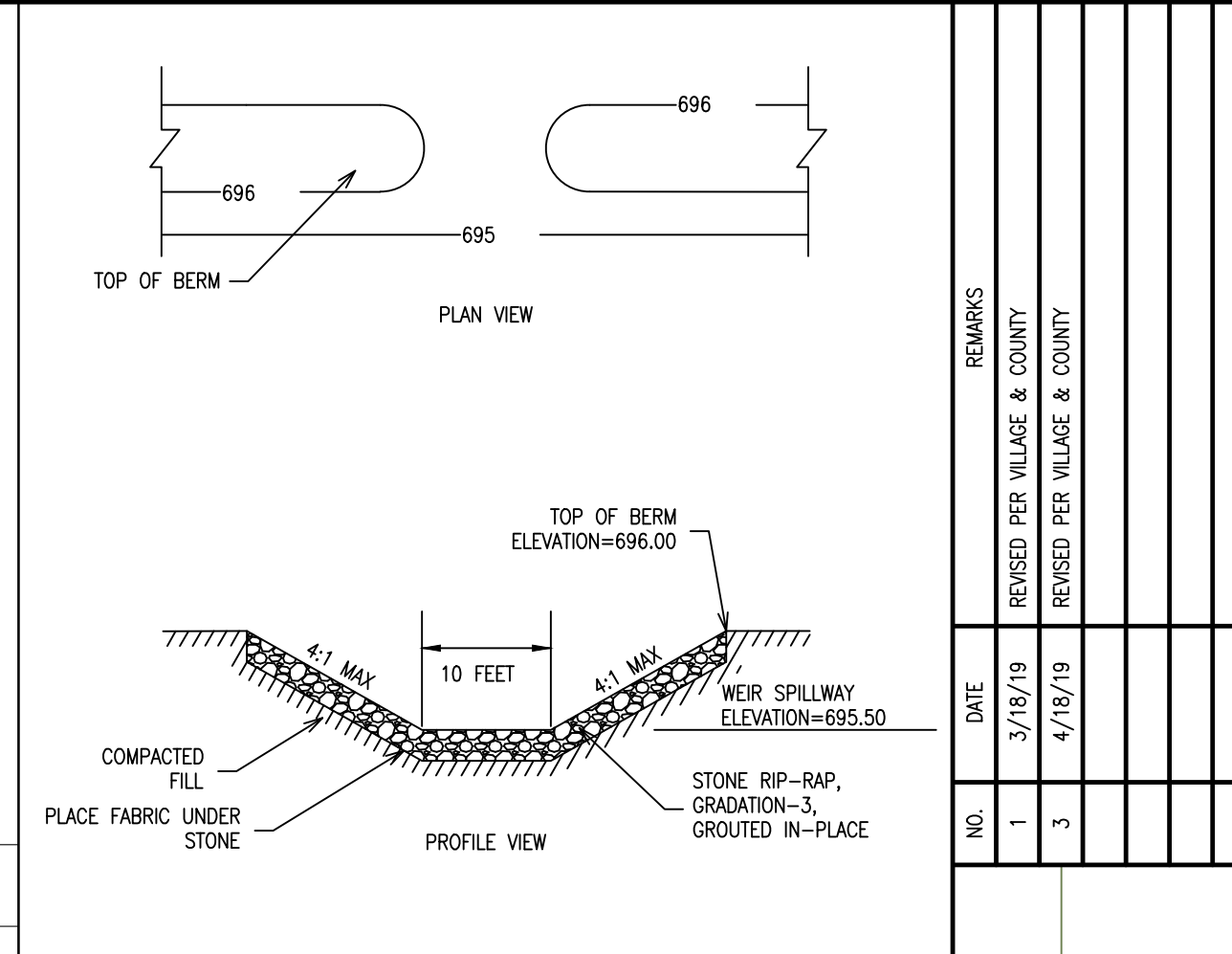


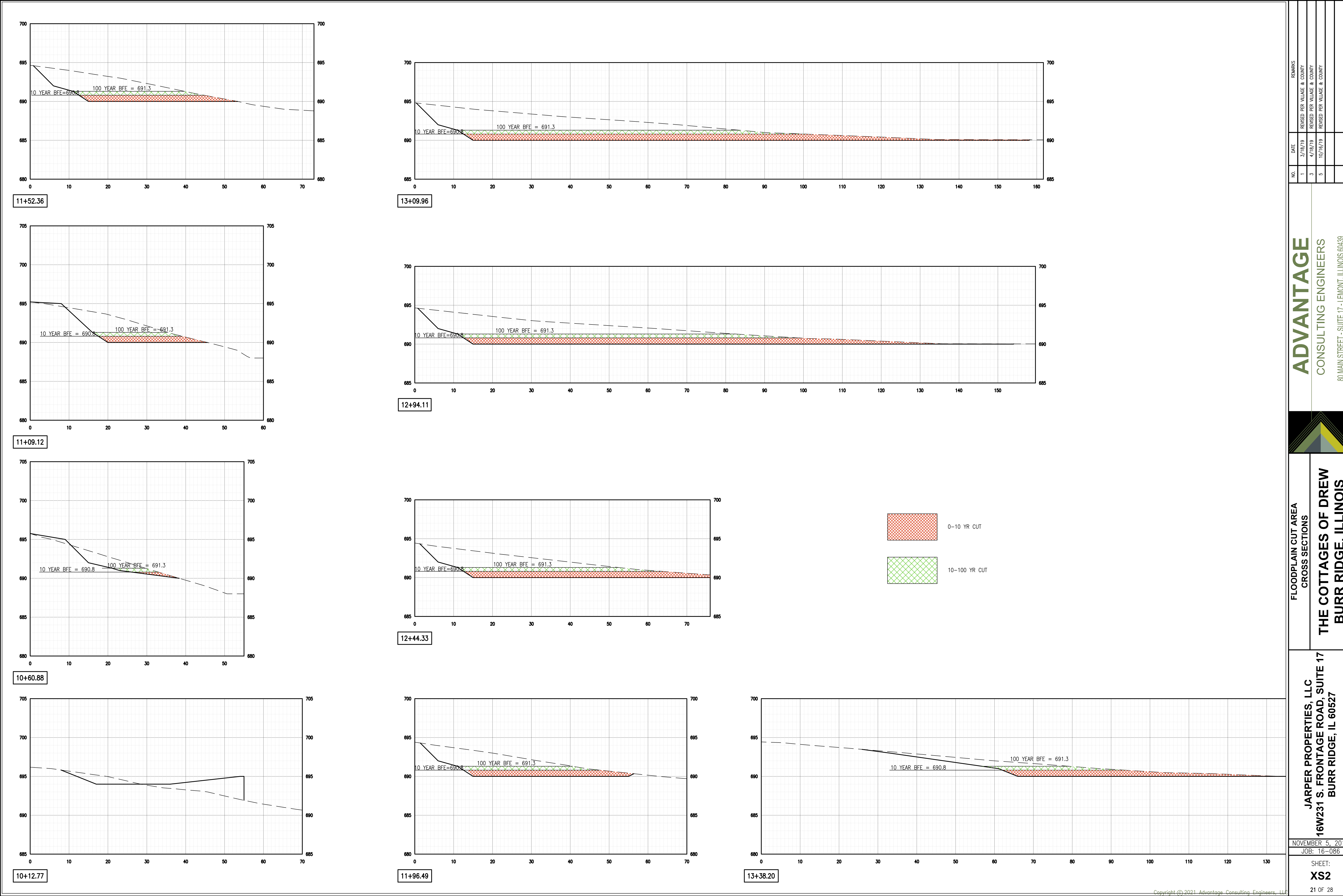
A-MINIMUM BEARING AREA IN SQUARE FEET*						
PIPE SIZE	11(1/4)	22(1/2)	45	90	SEE END	DEAD
6"	1.0	2.5	4.5	8.0	5.5	5.5
8"	2.0	4.0	7.5	14.0	10.0	10.0
10"	3.0	6.0	11.0	20.5	14.5	14.5
12"	4.0	8.0	16.0	29.0	20.5	20.5

* BEARING AREAS ARE BASED ON SOIL HAVING AN ALLOWED SAFE LATERAL BEARING OF 1 TON PER SQUARE FOOT. AREAS MUST BE REVISED FOR SOILS WITH A LOWER BEARING CAPACITY.

THRUST BLOCK DETAIL

[illegible]





ADVANTAGE
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
630-520-2467
WWW.ACEENGINEERS.COM

FLOODPLAIN CUT AREA
CROSS SECTIONS

THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

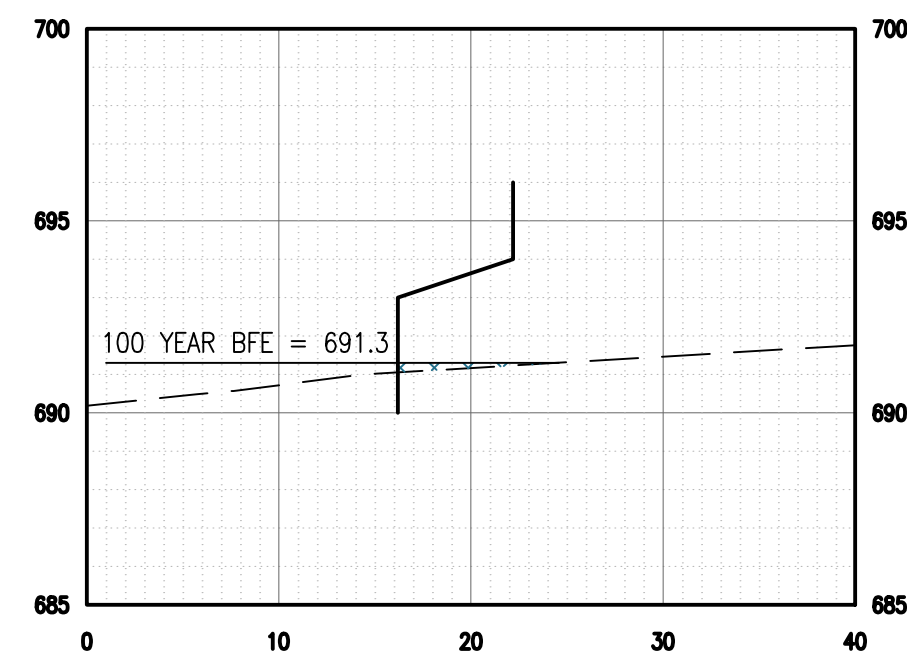
JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

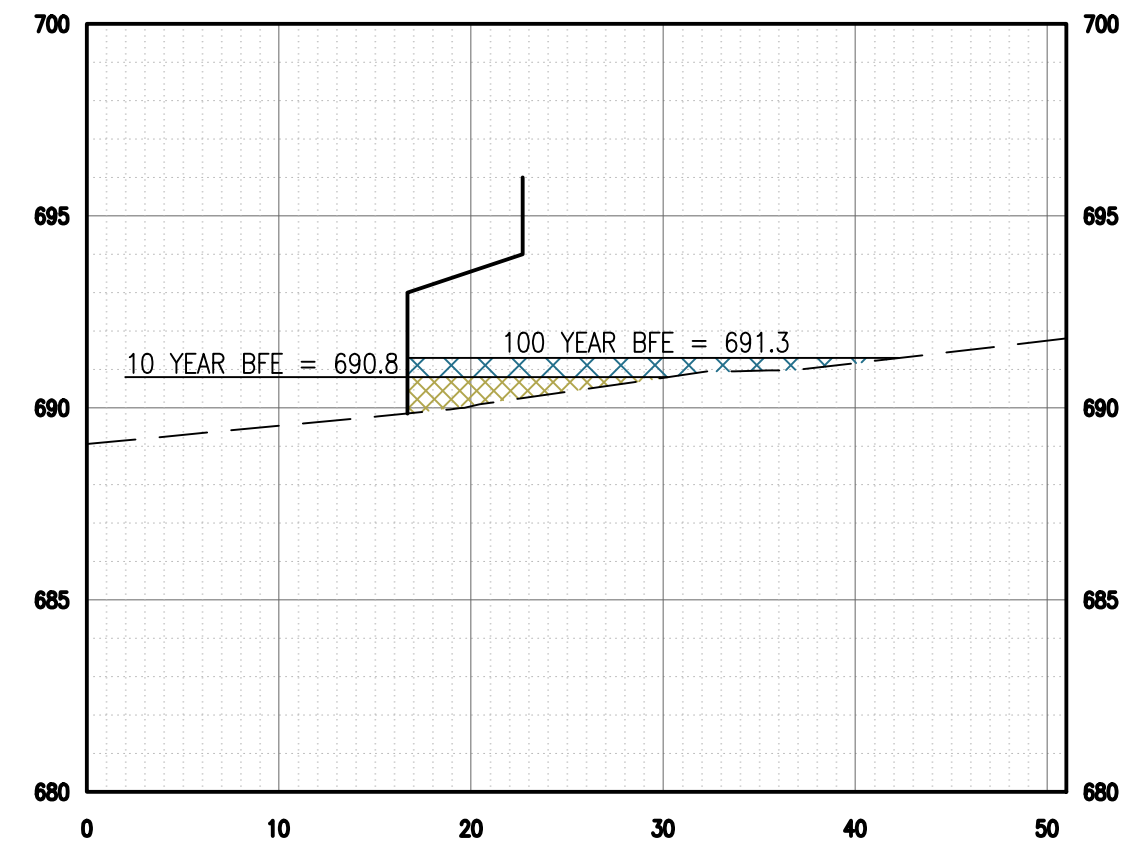
SHEET:
XS2
21 OF 28

NO.	DATE	REMARKS
1	3/18/19	REVISED PER VILLAGE & COUNTY
3	4/18/19	REVISED PER VILLAGE & COUNTY
5	10/16/19	REVISED PER VILLAGE & COUNTY

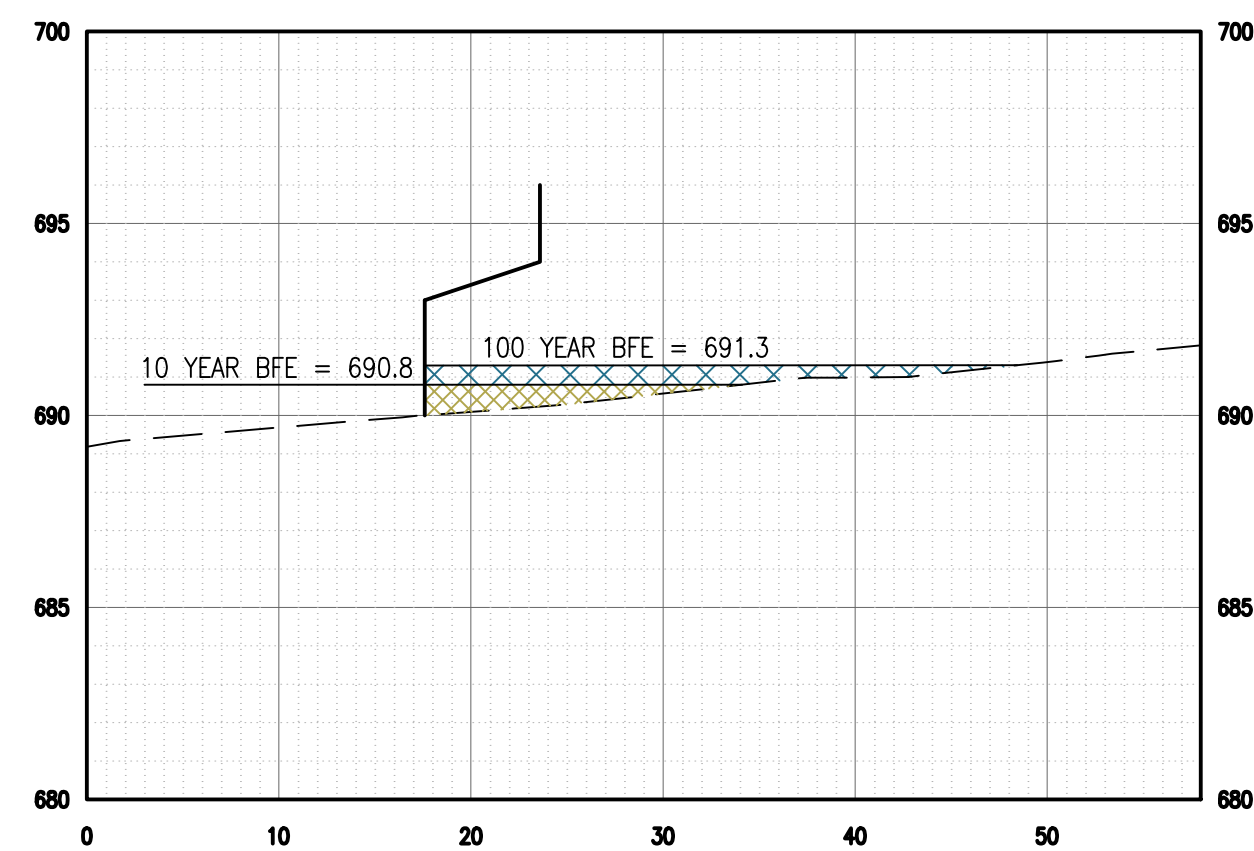
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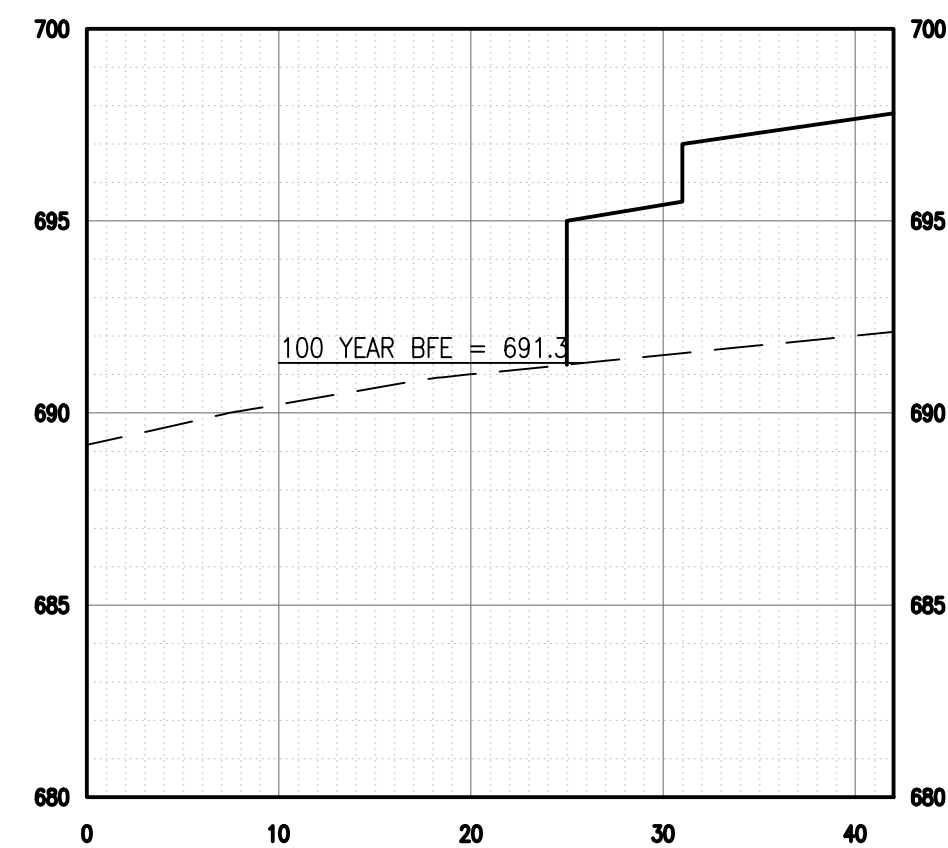
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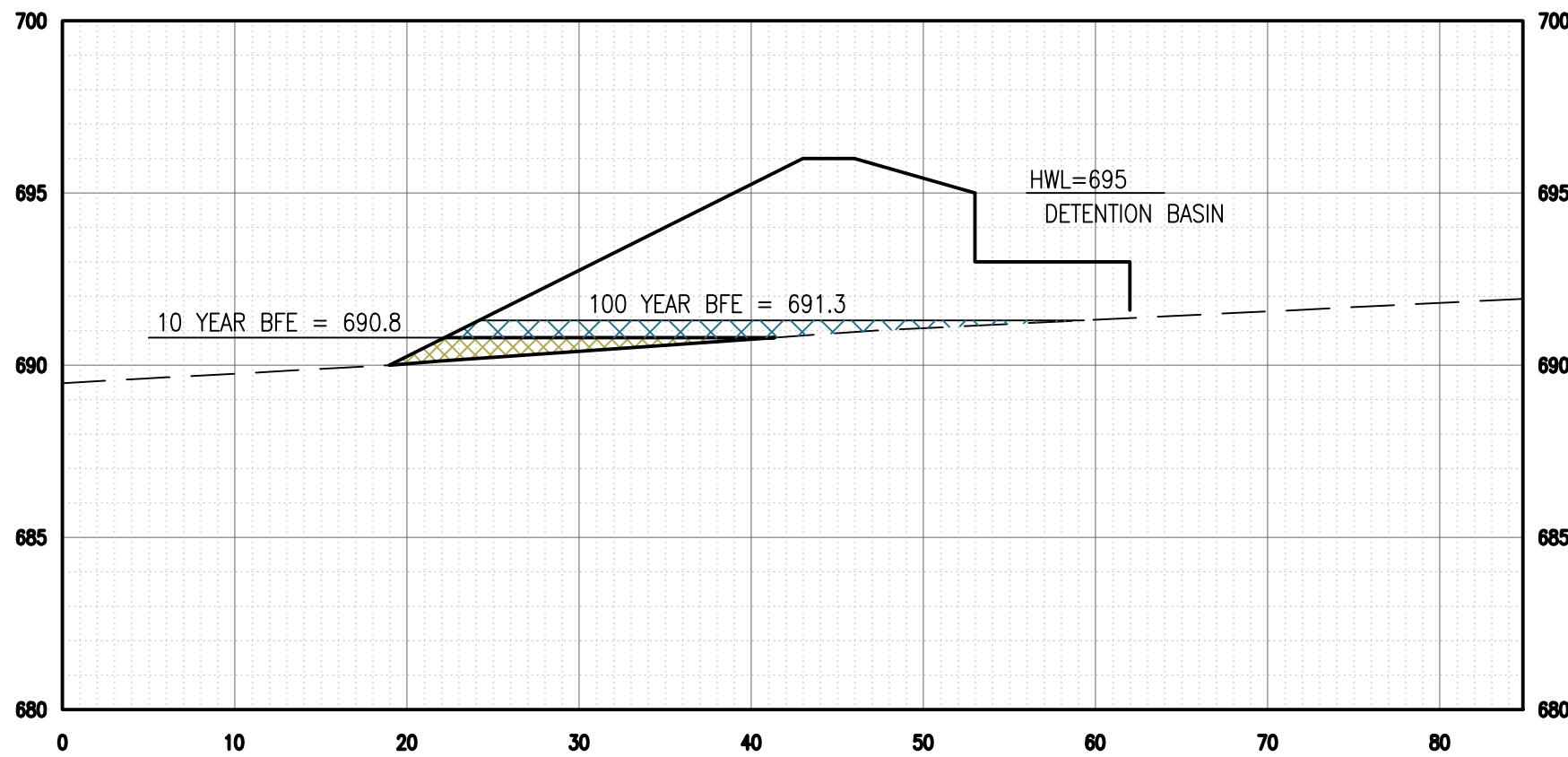
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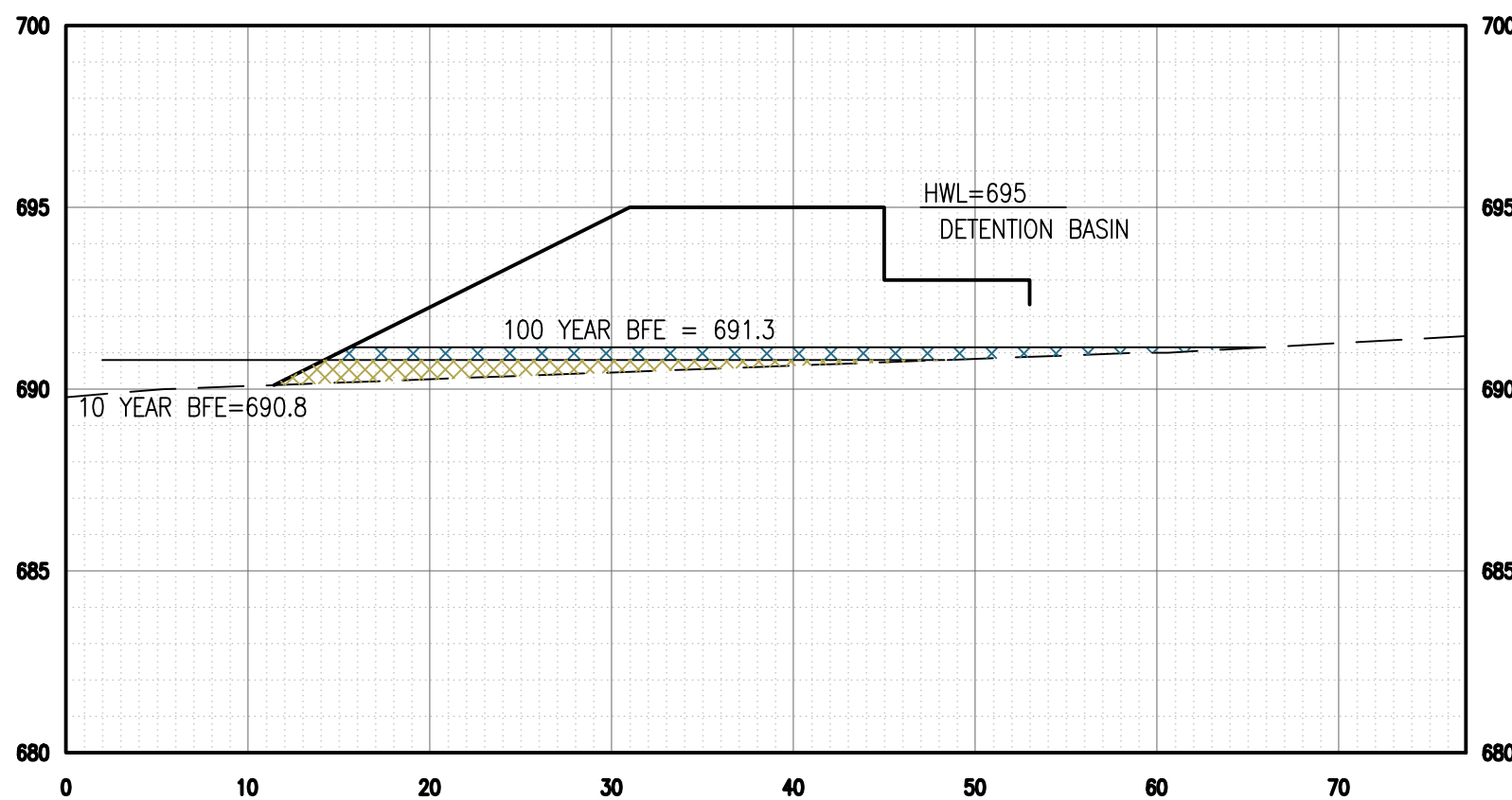
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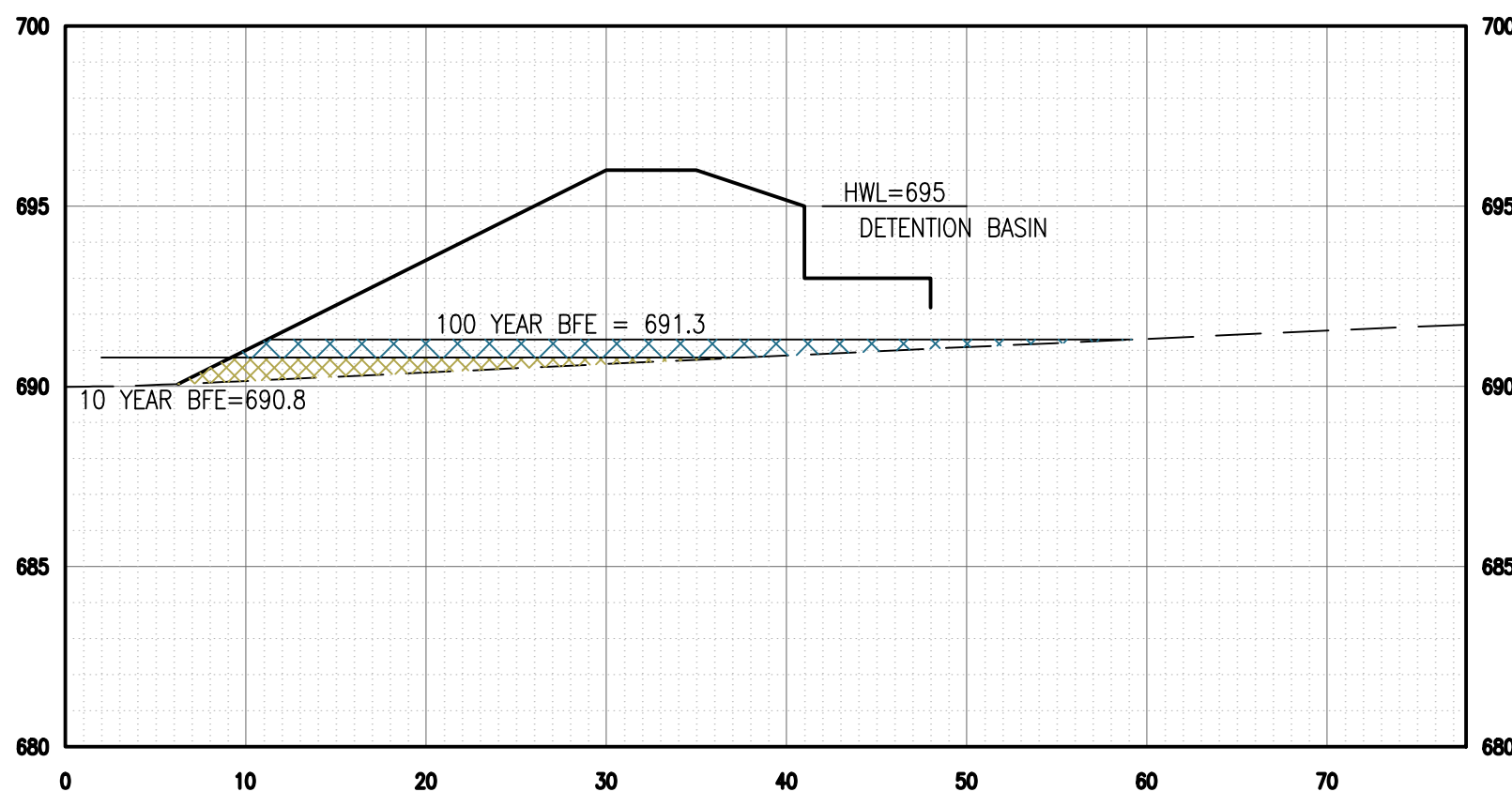
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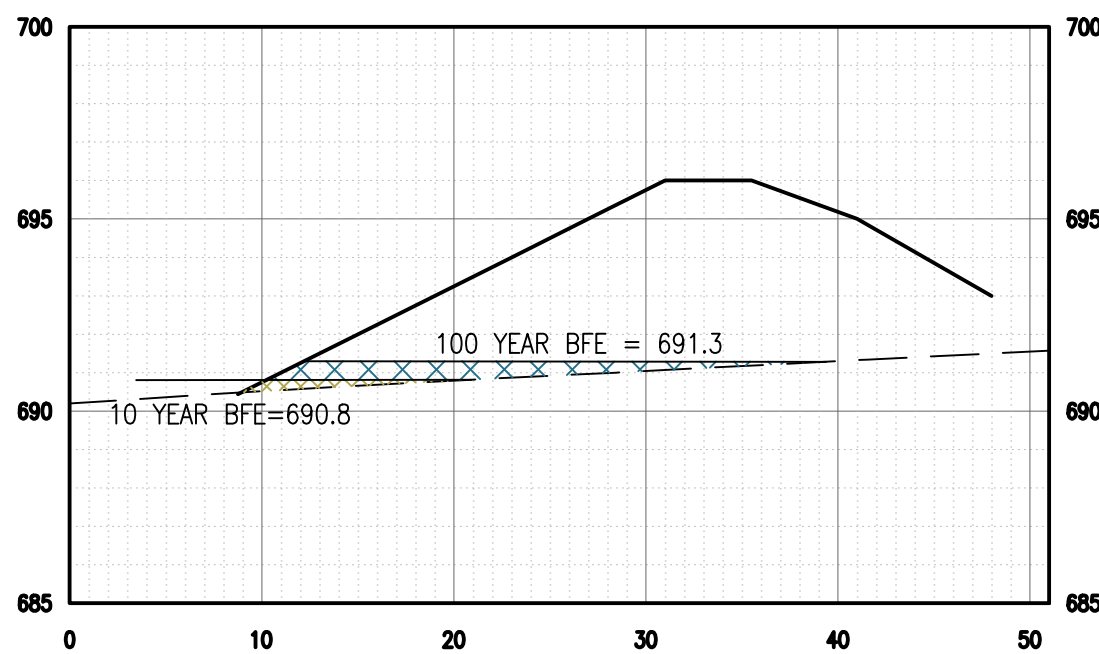
13+47.73



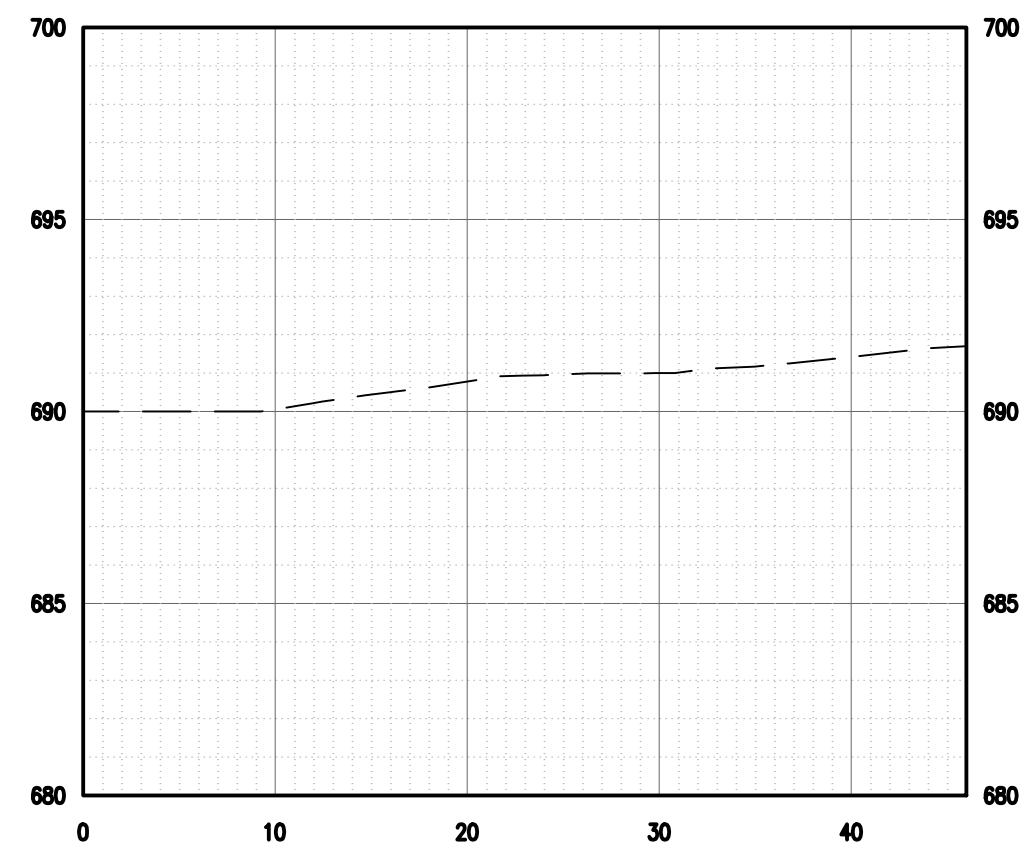
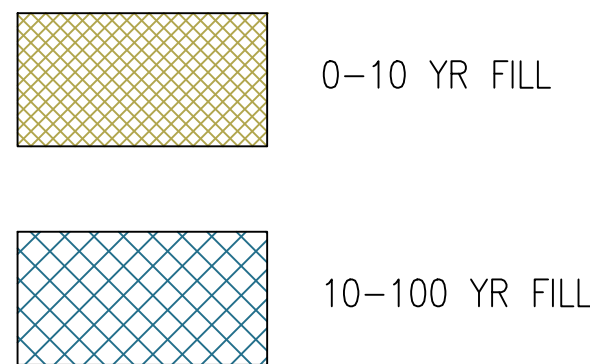
12+98.15



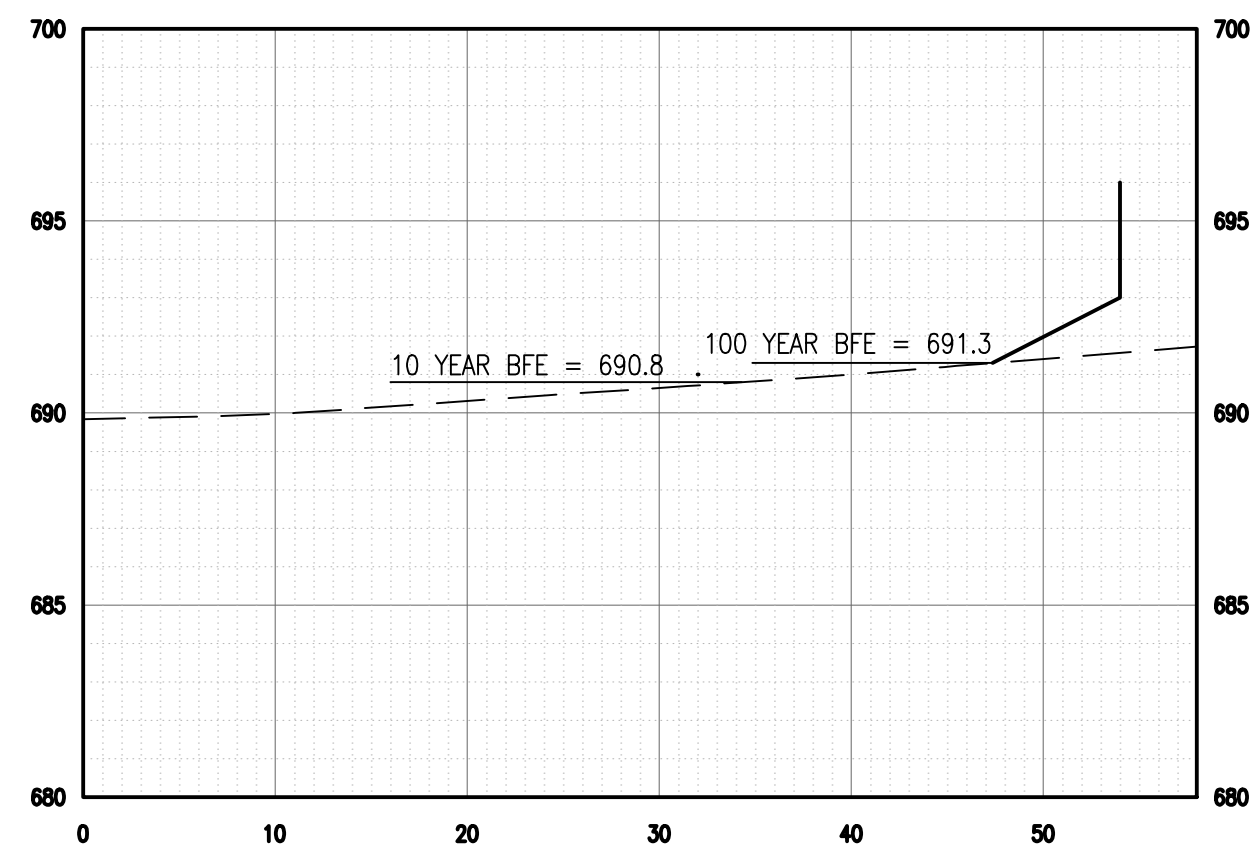
12+60.08



12+14.83



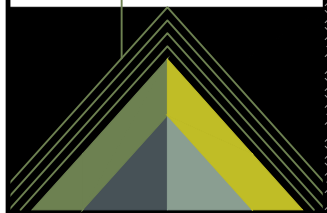
14+16.39



14+00.76

REMARKS		DATE	
NO.			
1	3/18/19	REVISED PER VILLAGE & COUNTY	
3	4/18/19	REVISED PER VILLAGE & COUNTY	
5	10/16/19	REVISED PER VILLAGE & COUNTY	

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
630-520-2467
WWW.ACEENGINEERS.COM



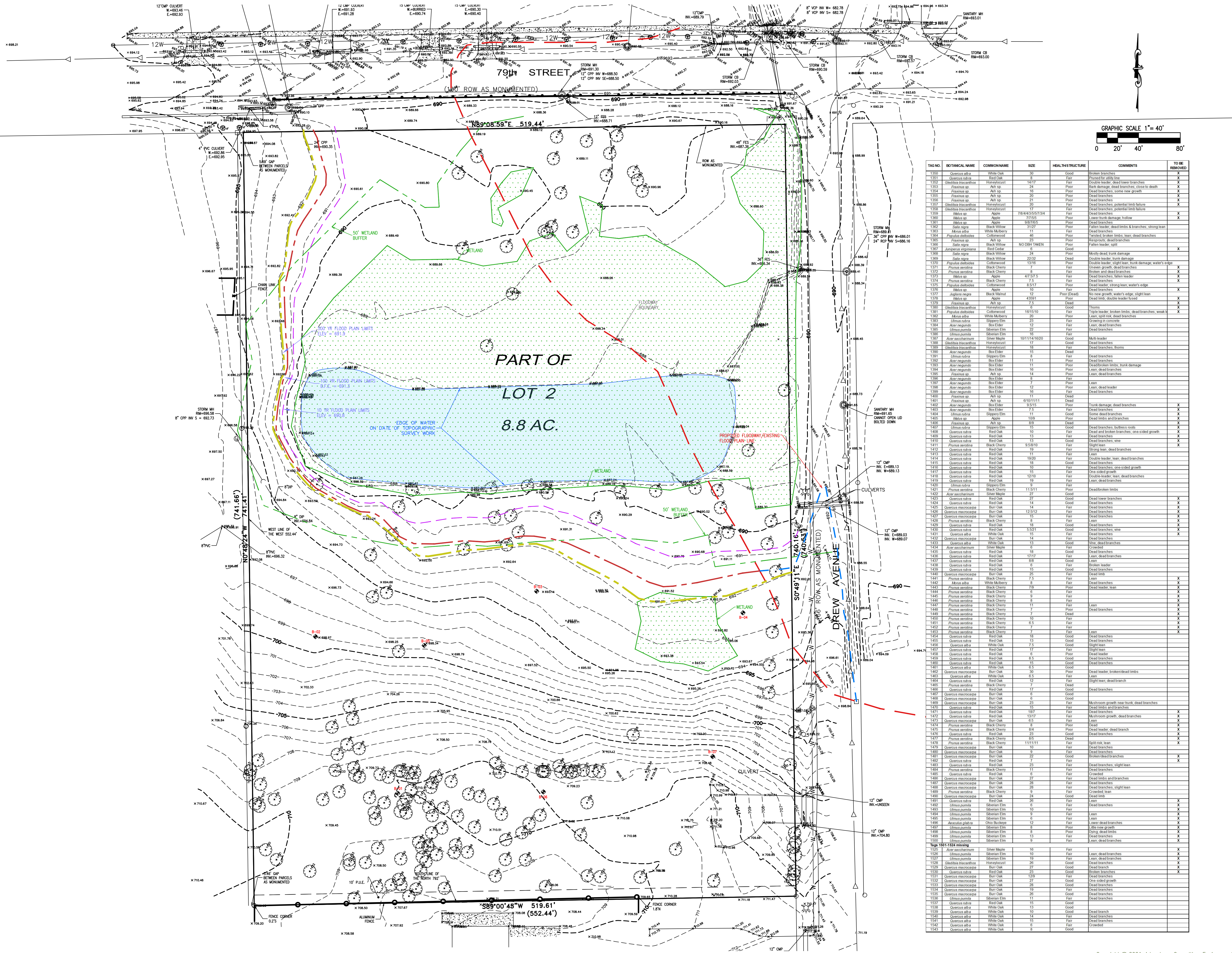
FLOODPLAIN FILL AREA
CROSS SECTIONS
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

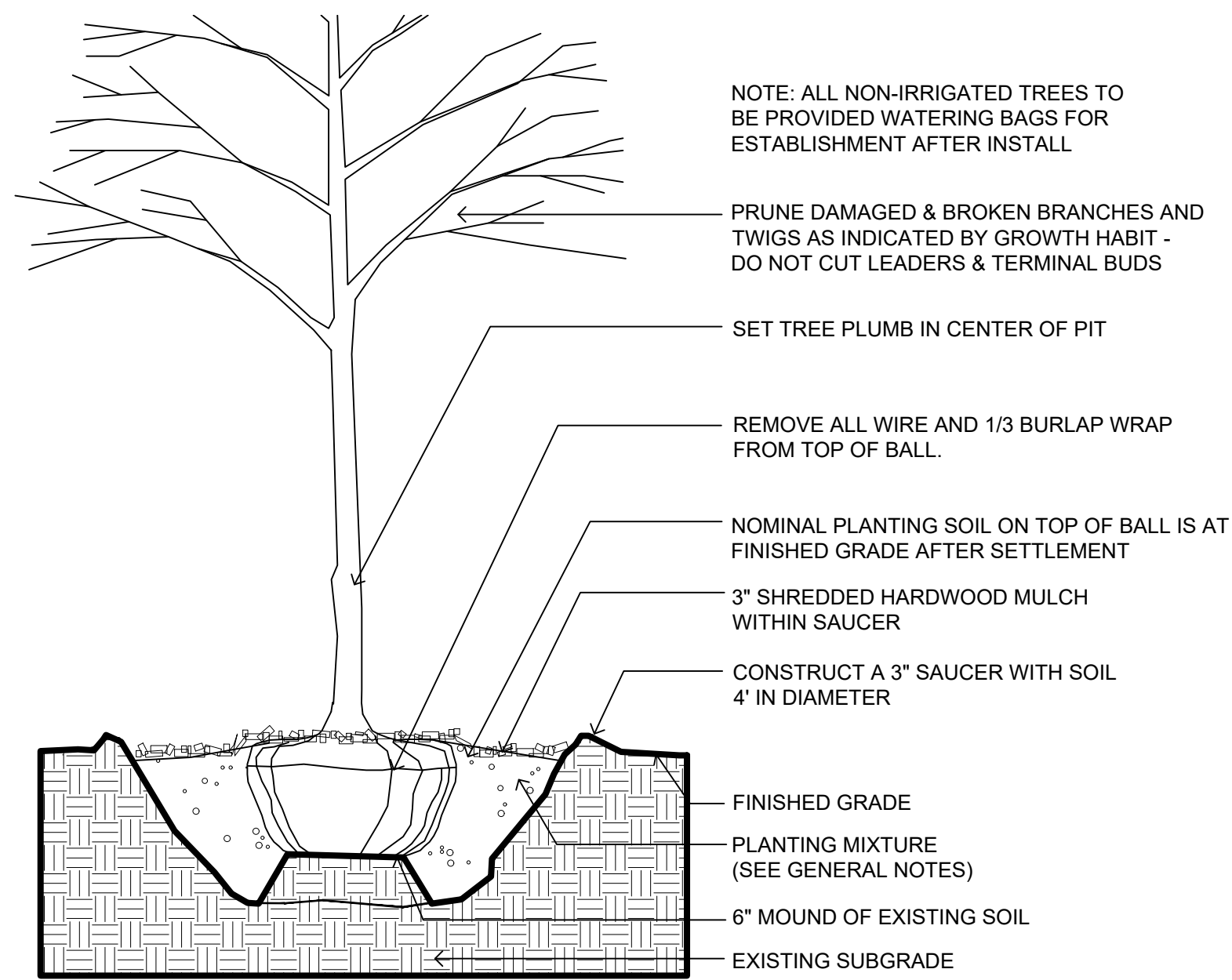
NOVEMBER 5, 2018
JOB: 16-086

SHEET:
XS3

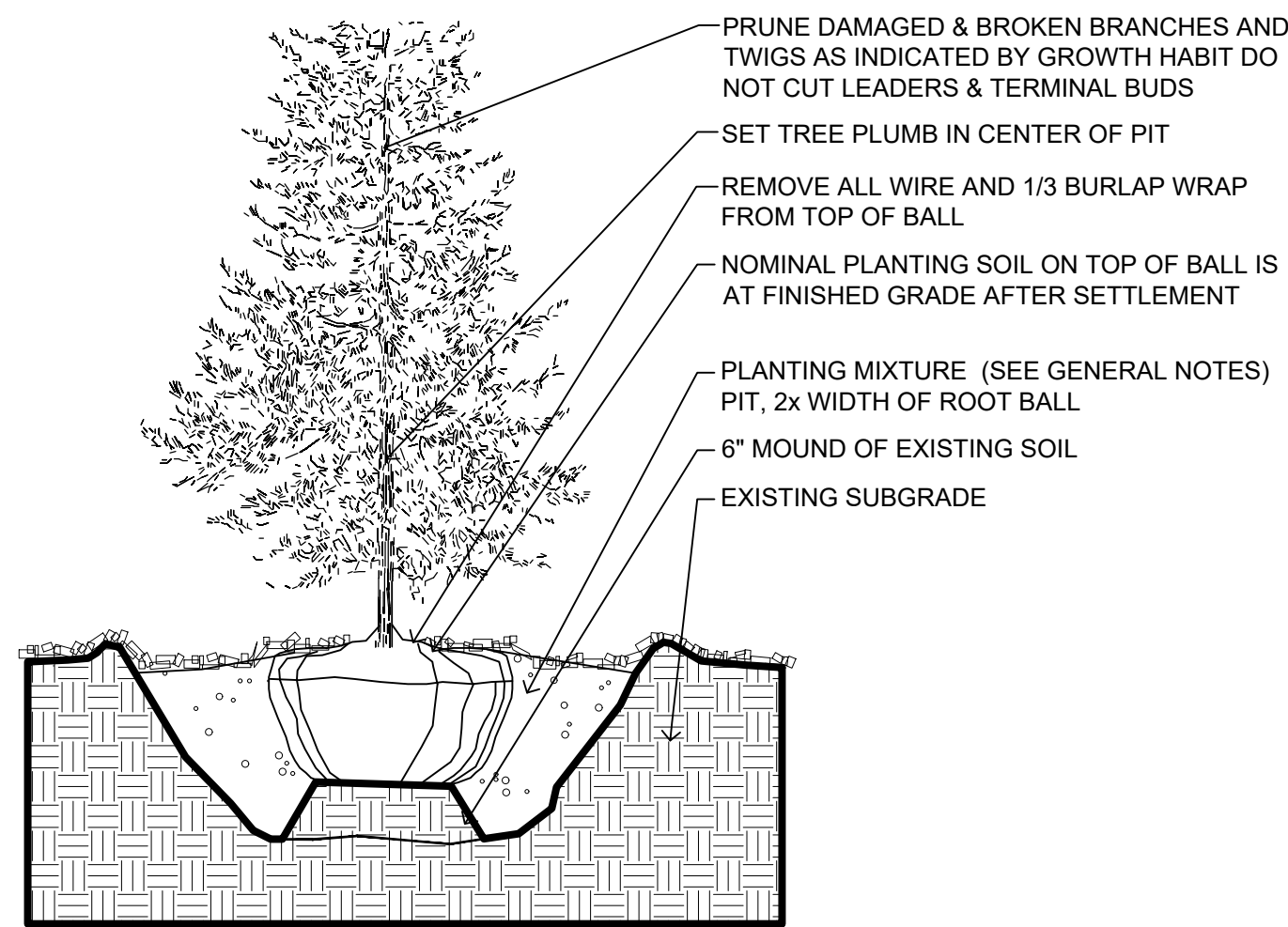
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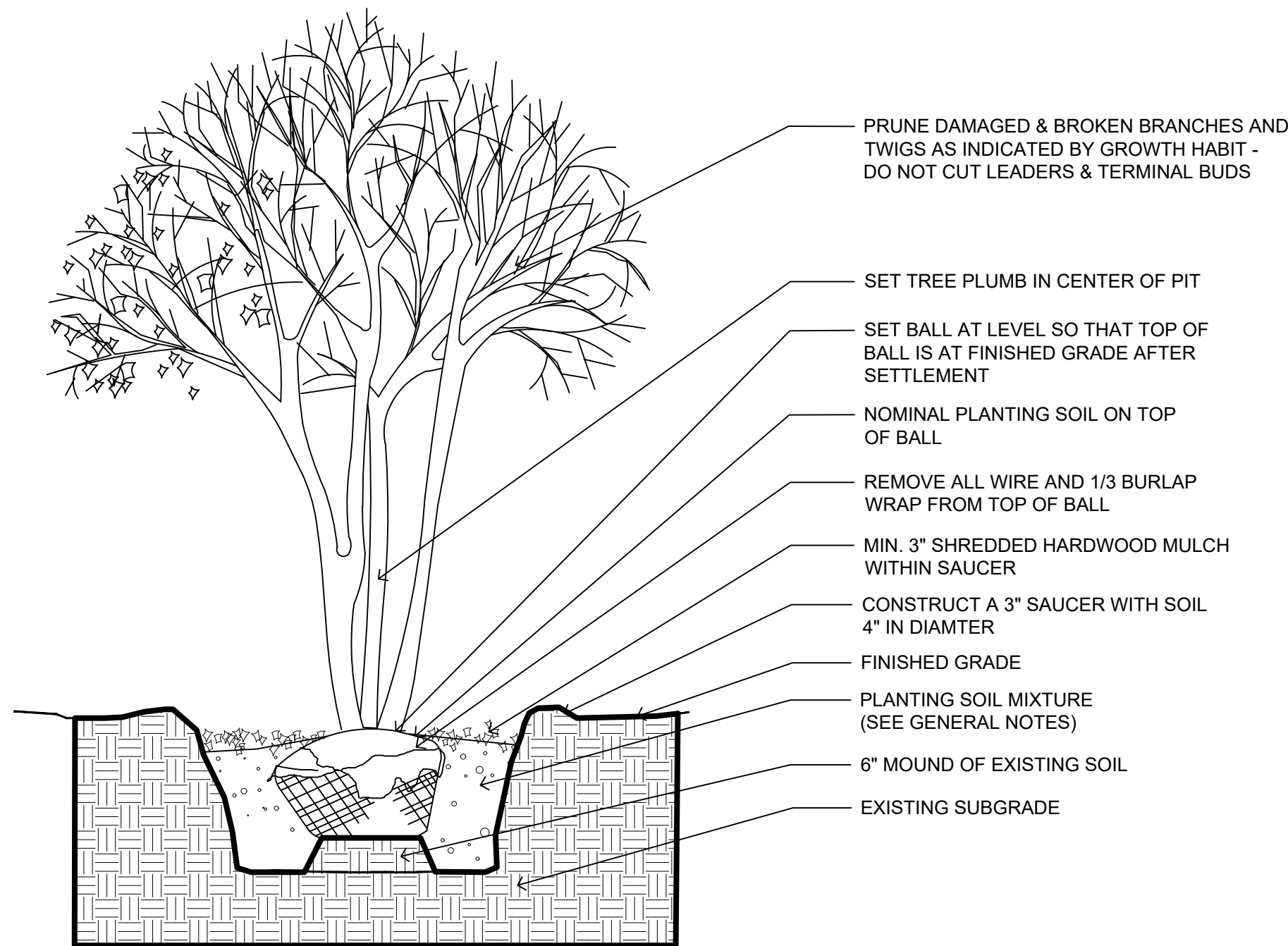
TAG NO.	BOTANICAL NAME	COMMON NAME	SIZE	HEALTH/STRUCTURE	COMMENTS	TO BE REMOVED
1301	Quercus alba	White Oak	30	Good	broken branches	X
1302	Quercus alba	White Oak	8	Fair	Pruned for utility line	X
1303	Quercus macrocarpa	Honeylocust	14/17	Poor	Double leader, dead lower branches	X
1304	Fraxinus sp.	Ash sp.	24	Poor	Bank damage, dead branches, close to death	X
1305	Fraxinus sp.	Ash sp.	20	Poor	Dead branches, some new growth	X
1306	Fraxinus sp.	Ash sp.	21	Poor	Dead branches	X
1307	Quercus macrocarpa	Honeylocust	20	Fair	Dead branches, potential limb failure	X
1308	Quercus macrocarpa	Honeylocust	17	Fair	Dead branches, potential limb failure	X
1309	Malus sp.	Apple	7/8/4/3/5/5/3/4	Fair	Dead branches	X
1310	Malus sp.	Apple	7/7/5/5	Poor	Lower trunk damage, hollow	X
1311	Malus sp.	Apple	8/8/7/6/5	Poor	Dead branches	X
1312	Salix nigra	Black Willow	3/2/2	Poor	Fallen leader, dead limbs & branches, strong lean	X
1313	Malus sp.	Apple	11	Fair	Dead branches	X
1314	Prunus serotina	Black Cherry	46	Poor	Twisted broken limbs, lean, dead branches	X
1315	Fraxinus sp.	Ash sp.	23	Poor	Resprouts, dead branches	X
1316	Salix nigra	Black Willow	NO DBH TAREN	Good	Fallen leader, split	X
1317	Salix nigra	Black Willow	24	Poor	Mostly dead, trunk damage	X
1318	Salix nigra	Black Willow	23/13	Dead	Double leader, trunk damage	X
1319	Populus deltoides	Cottonwood	13/18	Poor	Double leader, slight lean, trunk damage, water's edge	X
1320	Prunus serotina	Black Cherry	8	Fair	Uneven growth, dead branches	X
1321	Prunus serotina	Black Cherry	8	Fair	Shaken and dead branches	X
1322	Malus sp.	Apple	4/7 5/7 5	Fair	Dead branches, fallen leader	X
1323	Prunus serotina	Black Cherry	7 5	Fair	Dead branches	X
1324	Populus deltoides	Cottonwood	8 5/17	Poor	Dead leader, strong lean, water's edge	X
1325	Malus sp.	Apple	10	Fair	Dead branches	X
1326	Juglans nigra	Black Walnut	12	Poor (Dead)	No new growth, water's edge, slight lean	X
1327	Fraxinus sp.	Ash sp.	4/3/6/5	Fair	Dead limb, double leader found	X
1328	Fraxinus sp.	Ash sp.	7 5	Dead	Thorns	X
1329	Quercus macrocarpa	Honeylocust	10/15/10	Fair	Trunk leader, broken limbs, dead branches, weak	X
1330	Populus deltoides	Cottonwood	20	Poor	Lean, split risk, dead branches	X
1331	Malus sp.	Apple	25	Fair	Growing in contour	X
1332	Acacia nigra	Box Elder	12	Fair	Lean, dead branches	X
1333	Ulmus pumila	Siberian Elm	16	Fair	Dead branches	X
1334	Ulmus pumila	Siberian Elm	10/11/14/16/20	Good	Multi-leader	X
1335	Ulmus pumila	Siberian Elm	17	Good	Dead branches	X
1336	Ulmus pumila	Siberian Elm	18	Fair	Dead branches, thorns	X
1337	Ulmus pumila	Siberian Elm	11	Fair	Dead branches	X
1338	Ulmus pumila	Siberian Elm	11	Poor	Dead/broken limbs, trunk damage	X
1339	Ulmus pumila	Siberian Elm	11	Poor	Lean, dead branches	X
1340	Ulmus pumila	Siberian Elm	14	Poor	Lean, dead branches	X
1341	Ulmus pumila	Siberian Elm	7	Poor	Lean	X
1342	Ulmus pumila	Siberian Elm	12	Poor	Lean, dead leader	X
1343	Ulmus pumila	Siberian Elm	16	Poor	Dead branches	X
1344	Ulmus pumila	Siberian Elm	11	Dead	Dead	X
1345	Ulmus pumila	Siberian Elm	9/10/11/11	Poor	Trunk damage, dead branches	X
1346	Ulmus pumila	Siberian Elm	9/15/15	Fair	Dead branches	X
1347	Ulmus pumila	Siberian Elm	7 5	Fair	Dead branches	X
1348	Ulmus pumila	Siberian Elm	11	Good	Some dead branches	X
1349	Ulmus pumila	Siberian Elm	10/9	Poor	Dead limbs and branches	X
1350	Ulmus pumila	Siberian Elm	16/8	Good	Dead	X
1351	Ulmus pumila	Siberian Elm	15	Good	Dead branches, business roots	X
1352	Ulmus pumila	Siberian Elm	13	Fair	Dead and broken branches, one-sided growth	X
1353	Ulmus pumila	Siberian Elm	13	Good	Dead branches, vine	X
1354	Ulmus pumila	Siberian Elm	9 5/8/9/10	Fair	Slight lean	X
1355	Ulmus pumila	Siberian Elm	11	Fair	Strong lean, dead branches	X
1356	Ulmus pumila	Siberian Elm	19	Fair	Double leader, lean, dead branches	X
1357	Ulmus pumila	Siberian Elm	19/20	Fair	Double leader, lean, dead branches	X
1358	Ulmus pumila	Siberian Elm	16	Good	Dead branches	X
1359	Ulmus pumila	Siberian Elm	16	Fair	Dead branches, one-sided growth	X
1360	Ulmus pumila	Siberian Elm	15	Fair	One-sided growth	X
1361	Ulmus pumila	Siberian Elm	13/18	Fair	Double leader, lean, dead branches	X
1362	Ulmus pumila	Siberian Elm	19	Fair	Lean, dead branches	X
1363	Ulmus pumila	Siberian Elm	9	Fair	Dead branches	X
1364	Ulmus pumila	Siberian Elm	11 5/11	Poor	Dead/broken limbs	X
1365	Ulmus pumila	Siberian Elm	17	Good	Dead	X
1366	Ulmus pumila	Siberian Elm	27	Good	Dead lower branches	X
1367	Ulmus pumila	Siberian Elm	14	Good	Dead branches	X
1368	Ulmus pumila	Siberian Elm	14	Fair	Dead branches	X
1369	Ulmus pumila	Siberian Elm	12 5/12	Fair	Dead branches	X
1370	Ulmus pumila	Siberian Elm	15	Fair	Dead branches	X
1371	Ulmus pumila	Siberian Elm	8	Fair	Lean	X
1372	Ulmus pumila	Siberian Elm	18	Good	Dead branches	X
1373	Ulmus pumila	Siberian Elm	16	Good	Dead branches	X
1374	Ulmus pumila	Siberian Elm	5 5/21	Good	Dead branches, vine	X
1375	Ulmus pumila	Siberian Elm	15	Fair	Dead branches	X
1376	Ulmus pumila	Siberian Elm	14	Fair	Dead branches	X
1377	Ulmus pumila	Siberian Elm	13	Good	Vine, dead branches	X
1378	Ulmus pumila	Siberian Elm	6	Fair	Lean, dead branches	X
1379	Ulmus pumila	Siberian Elm	18	Good	Dead branches	X
1380	Ulmus pumila	Siberian Elm	17 1/2	Fair	Lean, dead branches	X
1381	Ulmus pumila	Siberian Elm	8/8	Good	Lean	X
1382	Ulmus pumila	Siberian Elm	6	Fair	Broken leader	X
1383	Ulmus pumila	Siberian Elm	15	Good	Dead branches	X
1384	Ulmus pumila	Siberian Elm	25	Fair	Dead limb	X
1385	Ulmus pumila	Siberian Elm	7 5	Fair	Lean	X
1386	Ulmus pumila	Siberian Elm	8	Fair	Dead branches	X
1387	Ulmus pumila	Siberian Elm	18	Poor	Dead leader, lean	X
1388	Ulmus pumila	Siberian Elm	11 5/11	Poor	Dead branches	X
1389	Ulmus pumila	Siberian Elm	11	Fair	Lean	X
1390	Ulmus pumila	Siberian Elm	11	Fair	Dead branches	X
1391	Ulmus pumila	Siberian Elm	7	Poor	Dead branches	X
1392	Ulmus pumila	Siberian Elm	11	Fair	Lean	X
1393	Ulmus pumila	Siberian Elm	7	Fair	Dead branches	X
1394	Ulmus pumila	Siberian Elm	8 5	Fair	Dead branches	X
1395	Ulmus pumila	Siberian Elm	7	Fair	Lean	X
1396	Ulmus pumila	Siberian Elm	7	Fair	Lean	X
1397	Ulmus pumila	Siberian Elm	7	Fair	Lean	X
1398	Ulmus pumila	Siberian Elm	18	Good	Dead branches	X
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1401	Ulmus pumila	Siberian Elm	13	Good	Dead branches	X
1402	Ulmus pumila	Siberian Elm	14	Fair	Dead branches	X
1403	Ulmus pumila	Siberian Elm	8 5	Fair	Dead leader, broken/dead limbs	X
1404	Ulmus pumila	Siberian Elm	12	Fair	Lean	X
1405	Ulmus pumila	Siberian Elm	8	Fair	Dead branches	X
1406	Ulmus pumila	Siberian Elm	7	Good	Dead branches	X
1407	Ulmus pumila	Siberian Elm	17	Good	Dead branches	X
1408	Ulmus pumila	Siberian Elm	6	Good	Dead branches	X
1409	Ulmus pumila	Siberian Elm	23	Fair	Mushroom growth near trunk, dead branches	X
1410	Ulmus pumila	Siberian Elm	15	Fair	Dead limbs and branches	X
1411	Ulmus pumila	Siberian Elm	8/9	Fair	Dead branches	X
1412	Ulmus pumila	Siberian Elm	13/17	Fair	Mushroom growth, dead branches	X
1413	Ulmus pumila	Siberian Elm	14 1/2	Fair	Lean	X
1414	Ulmus pumila	Siberian Elm	8	Poor	Dead	X
1415	Ulmus pumila	Siberian Elm	8	Poor	Dead leader, dead branch	X
1416	Ulmus pumila	Siberian Elm	23	Good	Dead branches	X
1417	Ulmus pumila	Siberian Elm	8 5	Dead	Dead	X
1418	Ulmus pumila	Siberian Elm	11/11/11	Fair	Split risk, lean	X
1419	Ulmus pumila	Siberian Elm	10	Fair	Dead branches	X
1420	Ulmus pumila	Siberian Elm	10	Fair	Dead branches	X
1421	Ulmus pumila	Siberian Elm	22	Good	Broken/dead branches	X
1422	Ulmus pumila	Siberian Elm	7	Fair	Dead branches	X
1423	Ulmus pumila	Siberian Elm	23	Fair	Dead branches	X
1424	Ulmus pumila	Siberian Elm	23	Fair	Dead branches	X
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1429	Ulmus pumila	Siberian Elm	6	Fair	Dead branches	X
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1442	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1443	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1444	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
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1499	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1500	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1501	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1502	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1503	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1504	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1505	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1506	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1507	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1508	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X
1509	Ulmus pumila	Siberian Elm	28	Fair	Dead branches	X



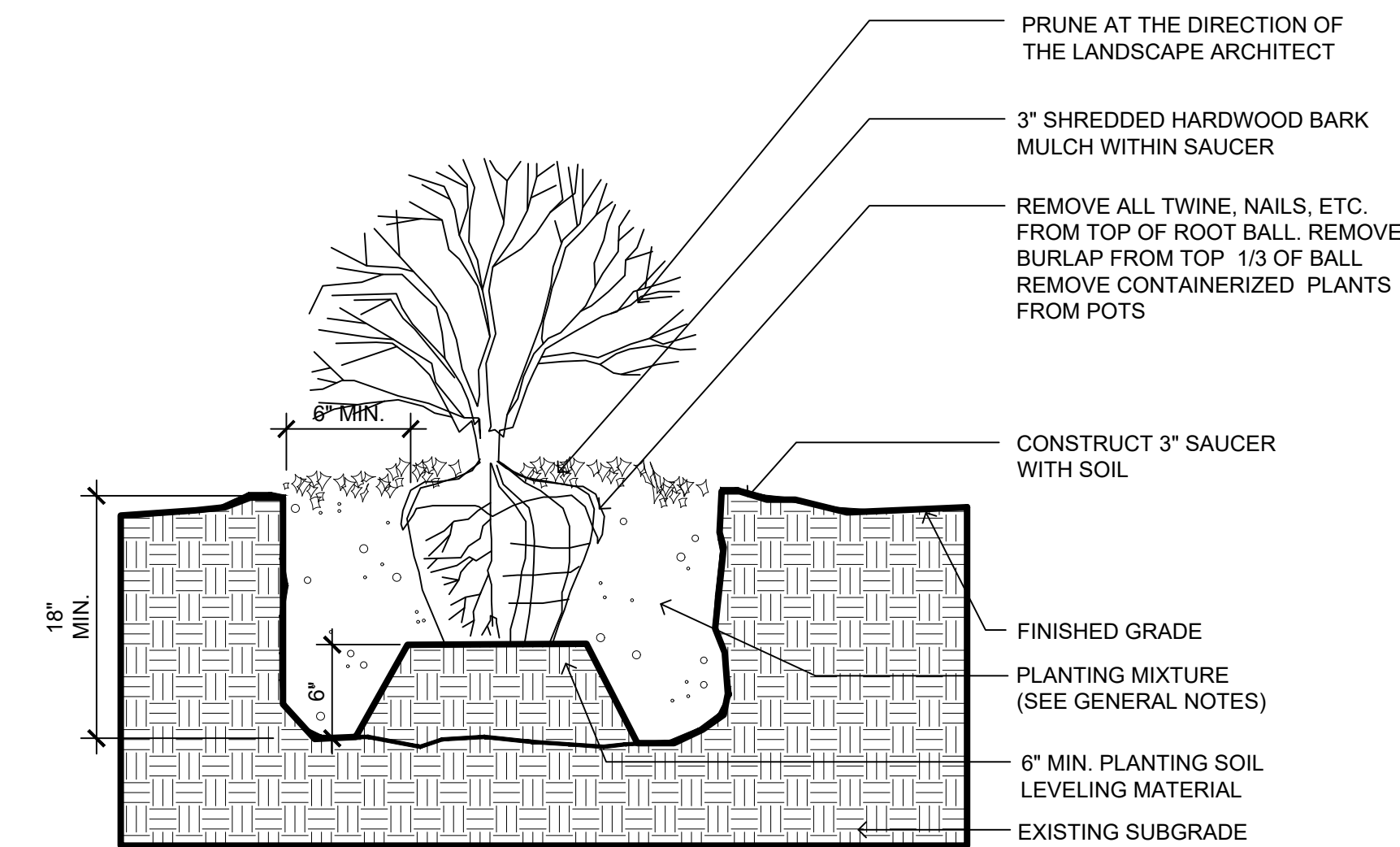
A SHADE TREE PLANTING DETAIL
SCALE: NOT TO SCALE



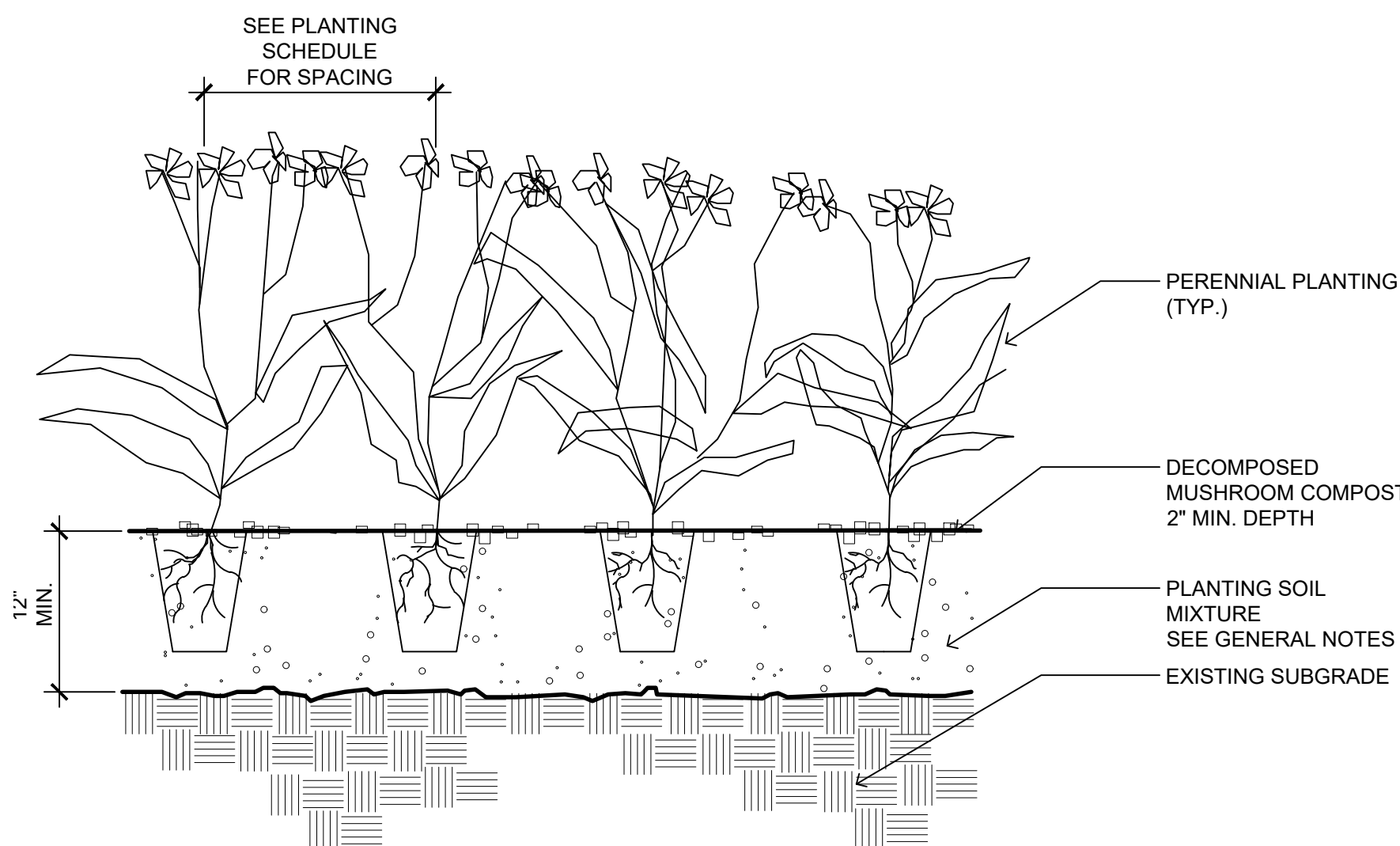
B EVERGREEN TREE PLANTING DETAIL
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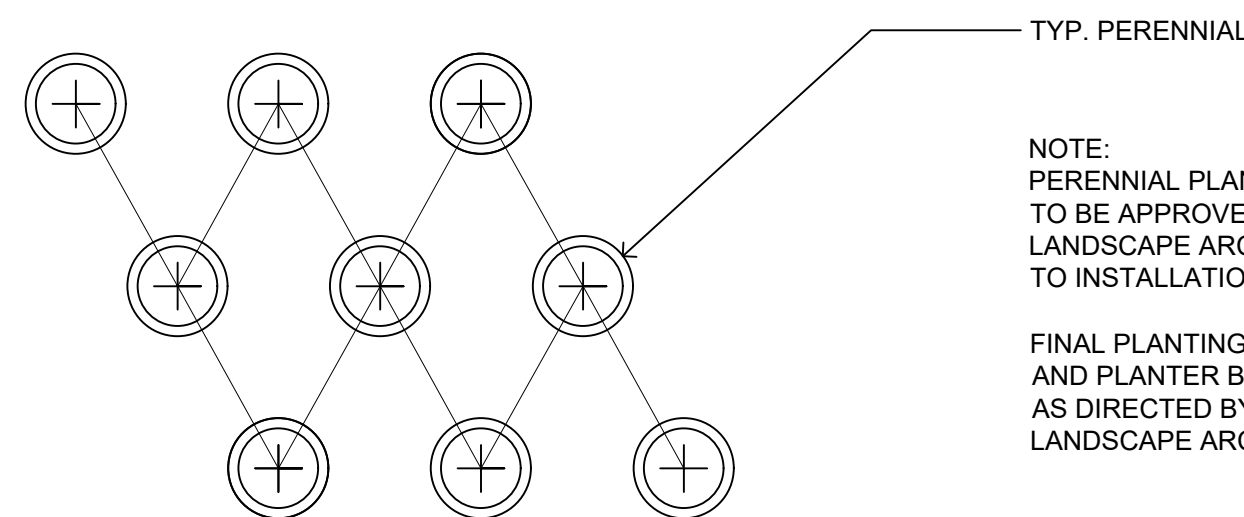
C ORNAMENTAL / UNDERSTORY TREE PLANTING DETAIL
SCALE: NOT TO SCALE



D SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



E PERENNIAL PLANTING DETAIL
SCALE: NOT TO SCALE

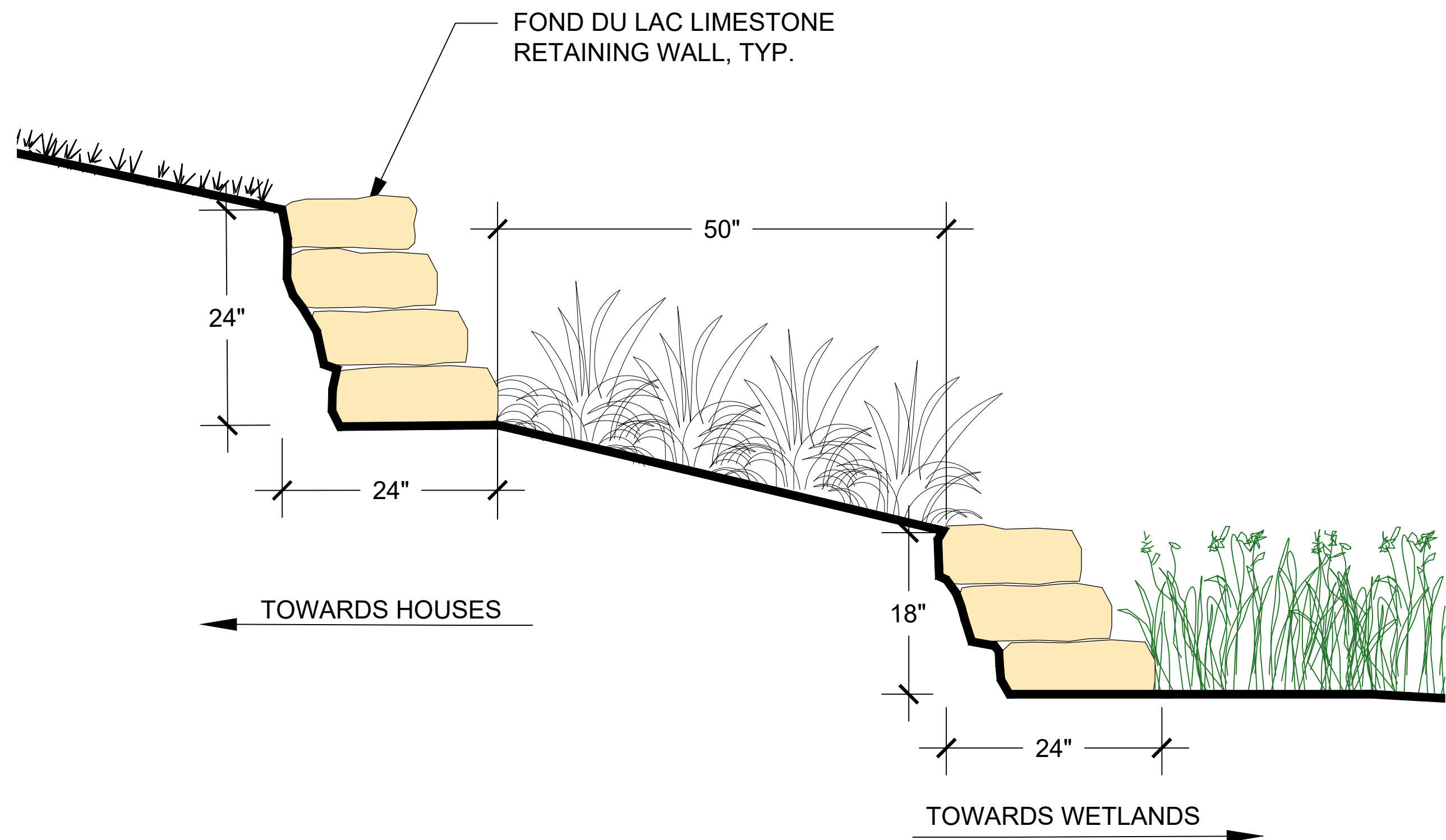


LANDSCAPE GENERAL NOTES:

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE ACCEPTED.
5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)
7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.
8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.
10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).
12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/Form OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT PRACTICE' TECHNIQUES.
13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUND COVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.
14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.
15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.
16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.
19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

BID OPTION:

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND SYSTEM.
21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN.

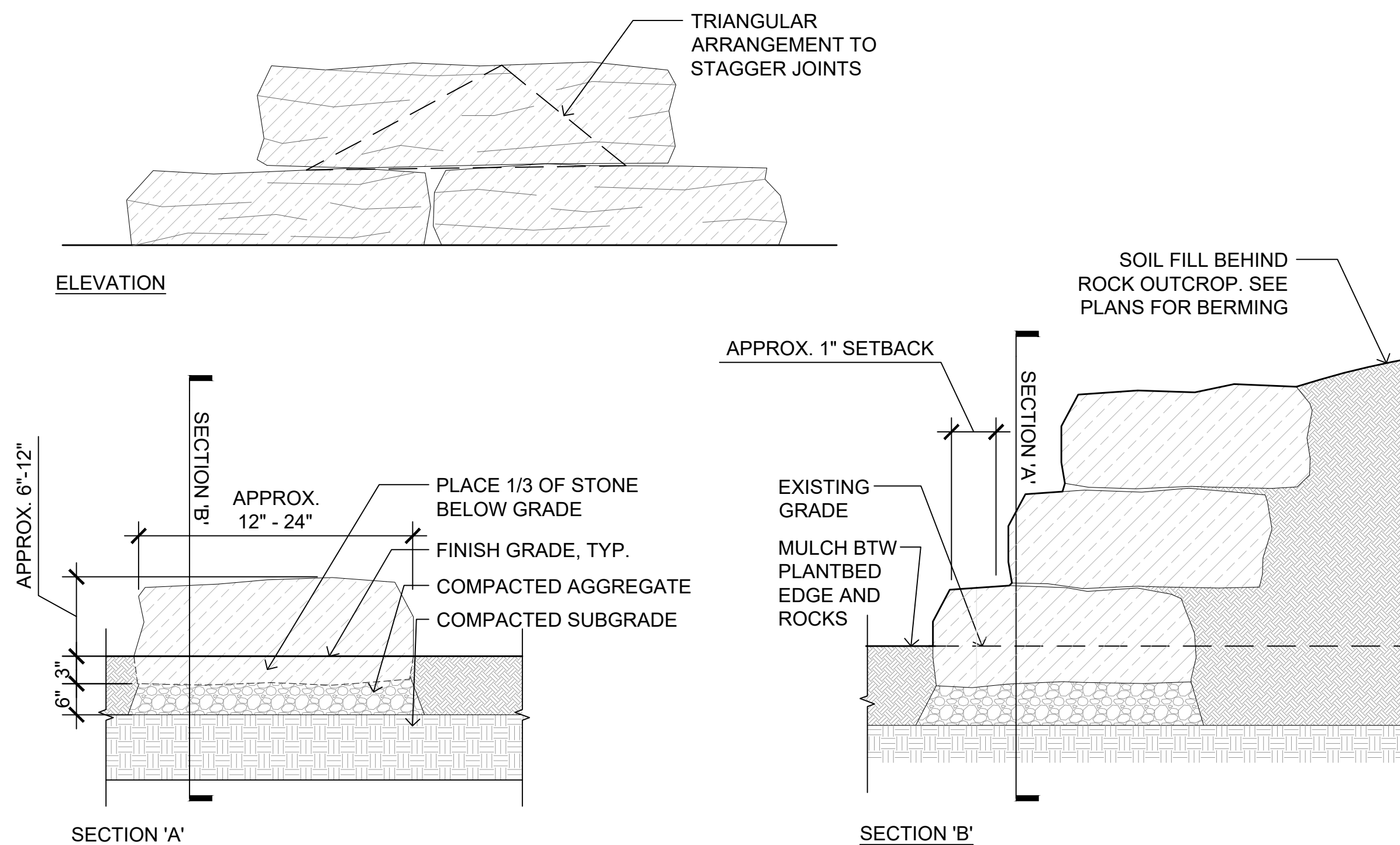


F WALL SECTION A - A'
1"=1'-0"

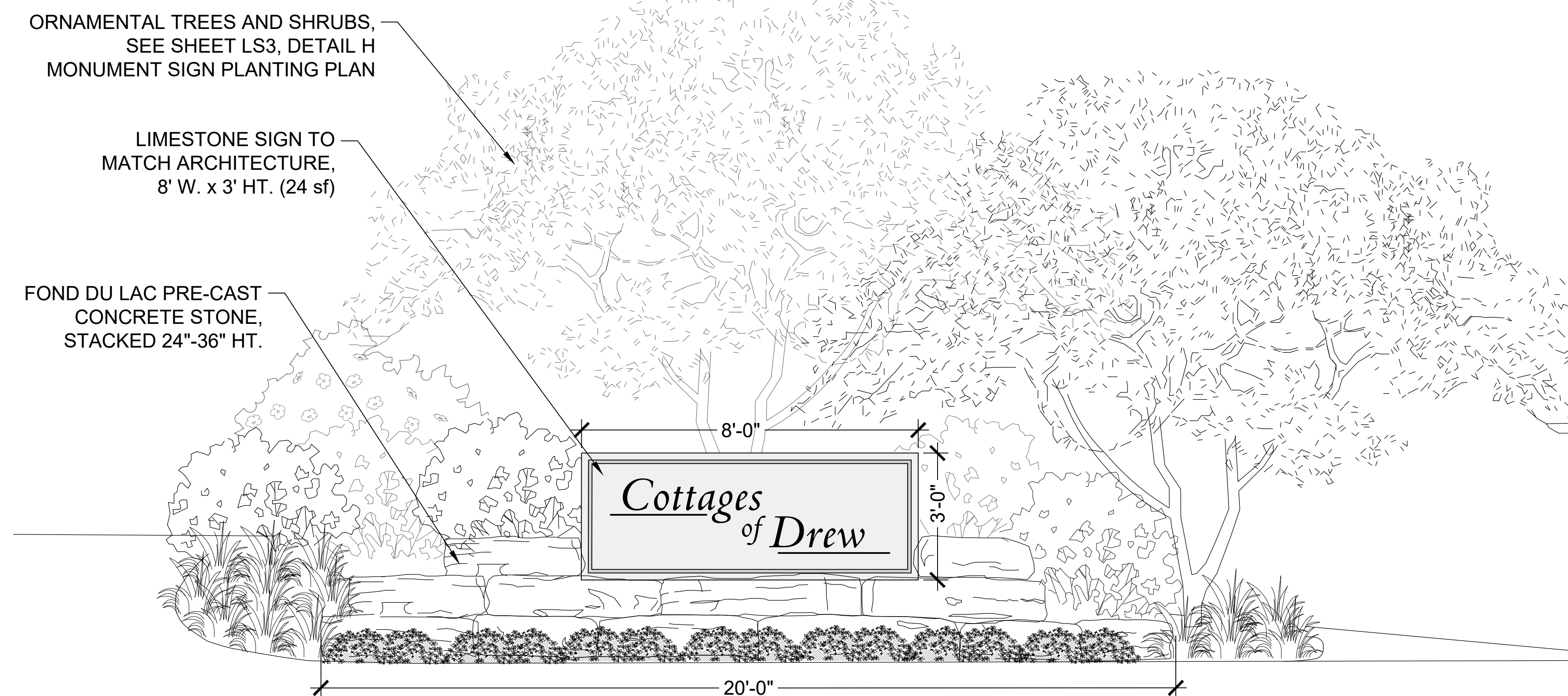
STONE:
TYPE: FOND DU LAC SNAP EDGE
OUTCROPPING DOLOMITIC LIMESTONE



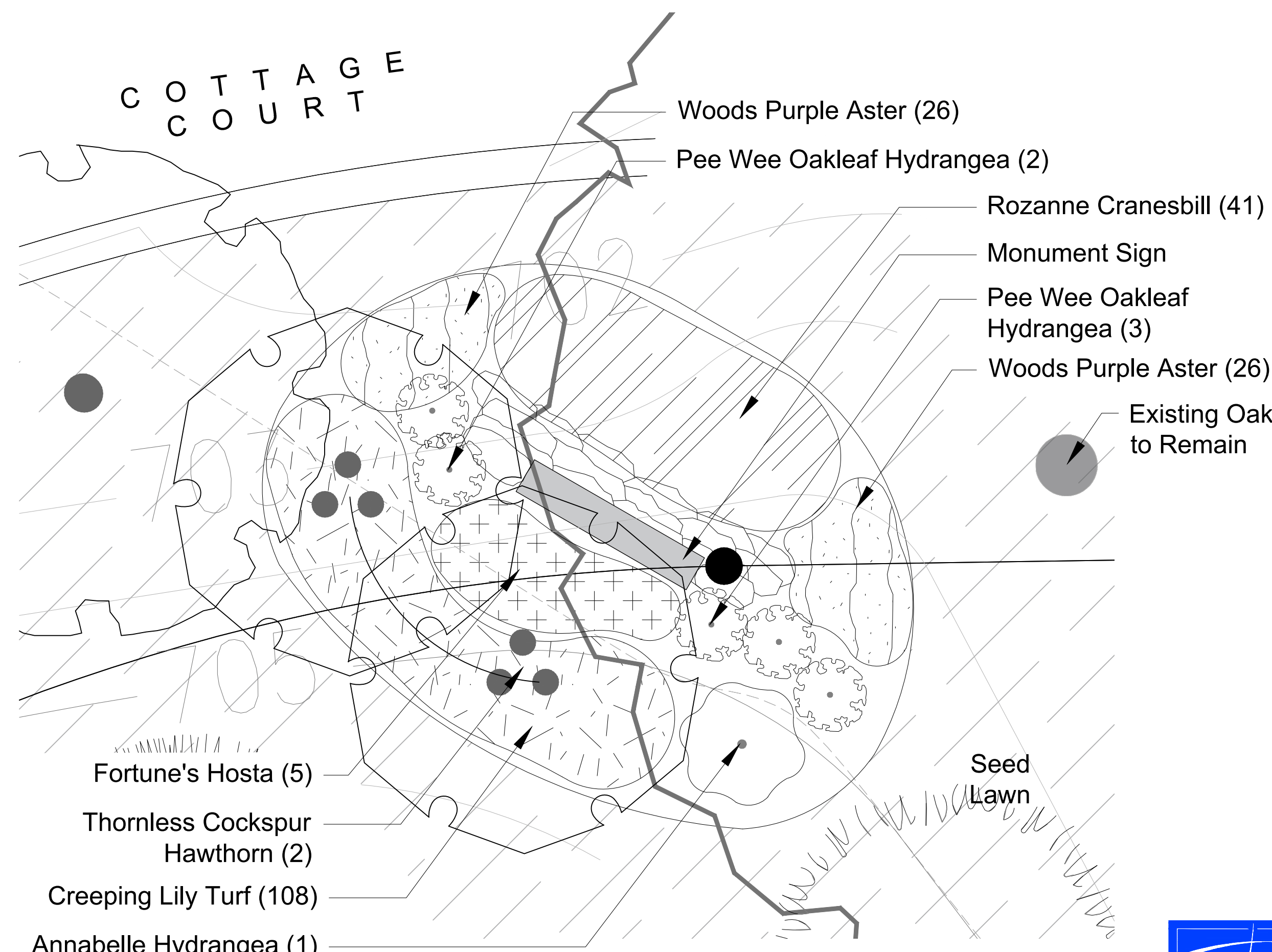
NOTES:
DO NOT PLACE STONES OF THE SAME HEIGHT, SHAPE, OR MASS NEXT TO EACH OTHER.
ARRANGE STONES IN TRIANGULAR, STACKED GROUPINGS, LEVEL FLAT AND SHIMMED TO PREVENT ROCKING.
ARRANGE STONES IN ODD NUMBERED GROUPS OF THREE, FIVE OR SEVEN. FINAL PLACEMENT OF STONES TO BE APPROVED BY L.A.



G WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL
NOT TO SCALE



H MONUMENT SIGN DETAIL
1/2" = 1'-0"

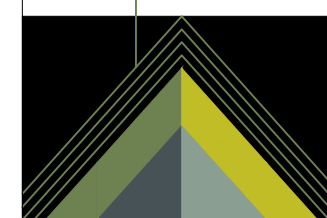


I MONUMENT SIGN PLANTING PLAN
1/4" = 1'-0"



NO.	DATE	REVISIONS
1	3/4/19	REVISED PER VILLAGE & COUNTY
2	9/24/19	RE-USED PER ONL
3	10/21/19	RE-USED PER ONL
4	10/24/21	REVISED PER ARCH
5	3/15/22	REVISED PER ARCH

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847.260.4758



THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

MARCH 15, 2022
JOB: 16-086
SHEET:
LS3
27 OF 27



FRONT ELEVATION B - 2 CAR
SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR
SCALE: 1/4" = 1'-0"

DATE:		REVISIONS:	
1/11/19		PRELIMINARY DESIGN	
3/25/19		ISSUED FOR BID	

COTTAGES AT THE DREW
PLAN 2 RESIDENCE
LOT 1 -
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FAX: 630.650.9171

434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone



JOB NO. 00119
DATE: JANUARY 11, 2019



FRONT ELEVATION A - 2 CAR

SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR

SCALE: 1/4" = 1'-0"

DATE:	REVISIONS:	
	PRELIMINARY DESIGN	ISSUED FOR BID
1/11/19		
3/25/19		

COTTAGES AT THE DREW
PLAN 1 RESIDENCE

LOT 1 -
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JOB NO. 00119

DATE: JANUARY 11, 2019



FRONT ELEVATION B - 2 CAR
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 3 - 3 CAR
SCALE: 1/4" = 1'-0"

REVISIONS:	
DATE:	1/11/19
	PRELIMINARY DESIGN
	ISSUED FOR BID

COTTAGES AT THE DREW
PLAN 1 RESIDENCE

LOT 1 -
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JOB NO. 00119

DATE: JANUARY 11, 2019



FRONT ELEVATION A - 2 CAR
SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR
SCALE: 1/4" = 1'-0"

DATE:		REVISIONS:	
1/11/19		PRELIMINARY DESIGN	
3/25/19		ISSUED FOR BID	

COTTAGES AT THE DREW
PLAN 2 RESIDENCE
LOT 1 -
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JOB NO.	00119
DATE:	JANUARY 11, 2019



ADVANTAGE

CONSULTING ENGINEERS

Revised Detention Calculations

For

The Cottages at Drew

Burr Ridge, Illinois

By

Jasper Properties, LLC

Date: November 2, 2018

Last Revised: August 11, 2021

William J Zalewski, P.E.
Illinois Registered Professional Engineer
No. 062-046121
Expires 11/30/2021

80 MAIN STREET • SUITE 17 • LEMONT, ILLINOIS 60439

847-260-4758

NARRATIVE

Jasper Properties, LLC is proposing to build proposed single-family residential subdivision on 4.1 acres area of the 8.8-acre parcel located at southwest corner of 79th Street and Drew Avenue in Burr Ridge, Illinois.

EXISTING CONDITIONS

The project area is located at southwest corner of 79th Street and Drew Avenue in Burr Ridge in DuPage County. There was an existing single-family residential building on the parcel.

Based on regulatory FEMA maps, FIS and flood profile, there are floodplain, and floodway areas located on the site and are shown on the site improvement plans. The regulatory maps are restrictive maps for this site.

Gary R Weber Associates have performed wetland study for the project area. The wetland limits and buffer limits are shown on plans.

PROPOSED CONDITIONS

The proposed project site area is 8.8 acres and the disturbed area will be 4.1 acres. The proposed improvements will consist of building construction with street, detention basin, PCBMP areas, flood plain compensatory area.

Detention volume has been provided per DuPage County Storm Water Management ordinance with Bulletin 75 rainfall data. The basin is analyzed for free flow condition and surcharge conditions. The controlling condition is surcharge condition. The detention required for surcharge condition is 1.99-acre feet and 2.59-acre feet volume is provided in basins. We have provided 30% more volume than required per Village request.

PCBMP

The project area will be routed through detention basin planted with naturalized plantings. The naturalized detention basin will satisfy the PCBMP requirement of the ordinance.

Flood Plain Compensatory Volume

Since the project area will require fill of flood plain area, flood plain compensatory volume will be excavated at northwest corner of the site.

Flood plain cut and fill volumes are shown under Tab 3.

The proposed cut is at least at 1:1 ratio for 0-10 year and 10-100 Year. The overall cut is more than required cut volume of 1.5:1.

Wetland and Buffers

There are proposed wetland impacts proposed for the project. Wetland buffers also will be impacted. GRWA has addressed the wetland, buffer and riparian impacts and their findings are included in Tabs 4 and 5.

GENERAL STATEMENT

In our opinion, the proposed storm water management meets or exceeds the minimum requirements of the DuPage County Storm Water Management Ordinance.



ADVANTAGE CONSULTING ENGINEERS, LLC

80 Main Street - Suite 17 - Lemont, Illinois 60439
847-260-4758

THE COTTAGES ON DREW

BURR RIDGE, IL, Illinois

Project No. 16-086

November 2, 2018

September 24, 2019

TPP

STAGE-STORAGE-DISCHARGE RELATIONSHIP

DETENTION POND - 2" RESTRICTOR

ELEV.	AREA S.F.	DEPTH (H) FT.	V=H/3(A1+A2+Sqrt (A1*A2)), AC FT	CUMM VOL. AC FT	DISCHARGE, CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.06 100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR

694.22 100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

*****80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY*****

JOB TR-20		SUMMARY				
TITLE BURR RIDGE SITE, BURR RIDGE, ILLINOIS						
TITLE DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT						
5	RAINFL 1	0.05				DIM-LESS
8		0.00	0.16	0.33	0.43	0.52 BULL70
8		0.60	0.66	0.71	0.75	0.79 1STQTR
8		0.82	0.84	0.86	0.88	0.90 POINT
8		0.92	0.94	0.96	0.97	0.98 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
5	RAINFL 2	0.05				DIM-LESS
8		0.00	0.03	0.08	0.12	0.16 BULL70
8		0.22	0.29	0.39	0.51	0.62 2NDQTR
8		0.70	0.76	0.81	0.85	0.88 POINT
8		0.91	0.93	0.95	0.97	0.98 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
5	RAINFL 3	0.05				DIM-LESS
8		0.00	0.03	0.06	0.09	0.12 BULL70
8		0.15	0.19	0.23	0.27	0.32 3RDQTR
8		0.38	0.45	0.57	0.70	0.79 POINT
8		0.85	0.89	0.92	0.95	0.97 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
5	RAINFL 4	0.05				DIM-LESS
8		0.00	0.02	0.05	0.08	0.10 BULL70
8		0.13	0.16	0.19	0.22	0.25 4THQTR
8		0.28	0.32	0.35	0.39	0.45 POINT
8		0.51	0.59	0.72	0.84	0.92 TBL 37
8		1.00	1.00	1.00	1.00	1.00 PG 98
9	ENDTBL					
3	STRUCT 01					
8		690.0	0.00	0.00		
8		691.0	0.11	0.39		
8		692.0	0.15	0.87		
8		693.0	0.18	1.41		
8		694.0	0.21	1.99		
8		695.0	0.24	2.59		
9	ENDTBL					
3	STRUCT 02					
8		690.0	0.00	0.00		
8		691.0	0.01	0.39		
8		692.0	0.07	0.87		
8		693.0	0.12	1.41		

8	694.0	0.16	1.99
8	695.0	0.19	2.59

1

*****80-80 LIST OF INPUT DATA (CONTINUED)*****

9 ENDTBL
6 RUNOFF 1 050 7 0.0063 85. 0.25 1 SITE
6 RESVOR 2 01 7 6 690.0 1 FREE
6 RUNOFF 1 051 5 0.0063 85. 0.25 1 SITE
6 RESVOR 2 02 5 6 690.0 1 1 1 SURCH
ENDATA
7 INCREM 6 1.0
7 COMPUT 7 050 02 0.0 8.57 24.0 3 2 24 99YR 24HR
ENDCMP 1
ENDJOB 2

0*****END OF 80-80 LIST*****

EXECUTIVE CONTROL OPERATION INCREM RECORD ID
+ MAIN TIME INCREMENT = 1.00 HOURS

EXECUTIVE CONTROL OPERATION COMPUT RECORD ID R 24HR
+ FROM XSECTION 50
+ TO STRUCTURE 2
STARTING TIME = .00 RAIN DEPTH = 8.57 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2
ALTERNATE NO.=24 STORM NO.=99 MAIN TIME INCREMENT = 1.00 HOURS

OPERATION RUNOFF CROSS SECTION 50

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

OPERATION RESVOR STRUCTURE 1

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .21 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.21	694.06

OPERATION RUNOFF CROSS SECTION 51

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

TR20 XEQ 08-11-21 08:48
REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT

JOB 1 PASS 1
PAGE 1

OPERATION RESVOR STRUCTURE 2

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .17 CFS.

PEAK TIME(HRS)		PEAK DISCHARGE(CFS)		PEAK ELEVATION(FEET)						
25.00		.17		694.22						
TIME(HRS)	FIRST HYDROGRAPH POINT =	.00 HOURS				TIME INCREMENT = 1.00 HOURS	DRAINAGE AREA =	.01 SQ.MI.		
.00	DISCHG	.00	.00	.00	.00	.00	.00	.01	.01	
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.55	690.72	
10.00	DISCHG	.01	.02	.03	.05	.07	.10	.12	.13	.14
10.00	ELEV	690.93	691.16	691.39	691.67	692.07	692.57	693.01	693.32	693.56
20.00	DISCHG	.15	.16	.16	.16	.17	.17	.17	.17	.16
20.00	ELEV	693.85	693.95	694.03	694.10	694.18	694.22	694.19	694.17	694.15
30.00	DISCHG	.16	.16	.16	.16	.16	.16	.16	.16	.16
30.00	ELEV	694.10	694.08	694.06	694.04	694.01	693.99	693.97	693.95	693.92
40.00	DISCHG	.16	.15	.15	.15	.15	.15	.15	.15	.15
40.00	ELEV	693.88	693.86	693.84	693.81	693.79	693.77	693.75	693.73	693.71
50.00	DISCHG	.15	.15	.14	.14	.14	.14	.14	.14	.14
50.00	ELEV	693.66	693.64	693.62	693.60	693.58	693.56	693.54	693.52	693.50
60.00	DISCHG	.14	.14	.14	.14	.14	.13	.13	.13	.13
60.00	ELEV	693.46	693.44	693.42	693.40	693.38	693.36	693.35	693.33	693.31
70.00	DISCHG	.13	.13	.13	.13	.13	.13	.13	.13	.12
70.00	ELEV	693.27	693.25	693.23	693.21	693.20	693.18	693.16	693.14	693.12
80.00	DISCHG	.12	.12	.12	.12	.12	.12	.12	.12	.12
80.00	ELEV	693.09	693.07	693.05	693.04	693.02	693.00	692.98	692.97	692.95
90.00	DISCHG	.12	.11	.11	.11	.11	.11	.11	.11	.11
90.00	ELEV	692.91	692.89	692.88	692.86	692.84	692.83	692.81	692.79	692.77
100.00	DISCHG	.11	.11	.11	.10	.10	.10	.10	.10	.10
100.00	ELEV	692.74	692.73	692.71	692.69	692.68	692.66	692.65	692.63	692.61
110.00	DISCHG	.10	.10	.10	.10	.10	.10	.09	.09	.09
110.00	ELEV	692.58	692.57	692.55	692.54	692.52	692.51	692.49	692.48	692.47
120.00	DISCHG	.09	.09	.09	.09	.09	.09	.09	.09	.09
120.00	ELEV	692.44	692.42	692.41	692.40	692.38	692.37	692.36	692.34	692.33
130.00	DISCHG	.09	.08	.08	.08	.08	.08	.08	.08	.08
130.00	ELEV	692.30	692.29	692.28	692.26	692.25	692.24	692.23	692.21	692.20
140.00	DISCHG	.08	.08	.08	.08	.08	.08	.08	.07	.07
140.00	ELEV	692.18	692.17	692.15	692.14	692.13	692.12	692.11	692.09	692.08
150.00	DISCHG	.07	.07	.07	.07	.07	.07	.07	.07	.07
150.00	ELEV	692.06	692.05	692.04	692.03	692.02	692.01	691.99	691.98	691.97

160.00	DISCHG	.07	.07	.07	.06	.06	.06	.06	.06	.06	.06
160.00	ELEV	691.95	691.94	691.92	691.91	691.90	691.89	691.88	691.87	691.86	691.85
170.00	DISCHG	.06	.06	.06	.06	.06	.06	.06	.06	.06	.05
170.00	ELEV	691.84	691.83	691.82	691.81	691.80	691.79	691.78	691.77	691.76	691.75
180.00	DISCHG	.05	.05	.05	.05	.05	.05	.05	.05	.05	.05
180.00	ELEV	691.74	691.73	691.72	691.71	691.70	691.69	691.69	691.68	691.67	691.66
190.00	DISCHG	.05	.05	.05	.05	.05	.05	.05	.05	.05	.04

1

TR20 XEQ 08-11-21 08:48	BURR RIDGE SITE, BURR RIDGE, ILLINOIS	JOB 1	PASS 1
REV PC 09/83(.2)	DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT	PAGE	2

190.00	ELEV	691.65	691.64	691.63	691.63	691.62	691.61	691.60	691.59	691.59	691.58
200.00	DISCHG	.04	.04	.04	.04	.04	.04	.04	.04	.04	.04
200.00	ELEV	691.57	691.56	691.56	691.55	691.54	691.53	691.53	691.52	691.51	691.51
210.00	DISCHG	.04	.04	.04	.04	.04	.04	.04	.04	.04	.04
210.00	ELEV	691.50	691.49	691.48	691.48	691.47	691.46	691.46	691.45	691.45	691.44
220.00	DISCHG	.04	.04	.04	.03	.03	.03	.03	.03	.03	.03
220.00	ELEV	691.43	691.43	691.42	691.41	691.41	691.40	691.40	691.39	691.39	691.38
230.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.03
230.00	ELEV	691.37	691.37	691.36	691.36	691.35	691.35	691.34	691.34	691.33	691.33
240.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.03
240.00	ELEV	691.32	691.32	691.31	691.31	691.30	691.30	691.29	691.29	691.28	691.28
250.00	DISCHG	.03	.03	.03	.03	.03	.03	.02	.02	.02	.02
250.00	ELEV	691.27	691.27	691.26	691.26	691.26	691.25	691.25	691.24	691.24	691.23
260.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
260.00	ELEV	691.23	691.23	691.22	691.22	691.21	691.21	691.21	691.20	691.20	691.19
270.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
270.00	ELEV	691.19	691.19	691.18	691.18	691.18	691.17	691.17	691.17	691.16	691.16
280.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
280.00	ELEV	691.16	691.15	691.15	691.15	691.14	691.14	691.14	691.13	691.13	691.13
290.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
290.00	ELEV	691.12	691.12	691.12	691.12	691.11	691.11	691.11	691.10	691.10	691.10

EXECUTIVE CONTROL OPERATION ENDCMP	RECORD ID
+ COMPUTATIONS COMPLETED FOR PASS 1	

EXECUTIVE CONTROL OPERATION ENDJOB	RECORD ID
1	

TR20 XEQ 08-11-21 08:48	BURR RIDGE SITE, BURR RIDGE, ILLINOIS	JOB 1	SUMMARY
-------------------------	---------------------------------------	-------	---------

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED
 (A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH
 A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION			RUNOFF AMOUNT (IN)	PEAK DISCHARGE				
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)	
ALTERNATE 24 STORM 99														
+														
XSECTION	50	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	1	RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.63	694.06	25.00?	.21?	33.6
XSECTION	51	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	2	RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.43	694.22	25.00?	.17?	26.4
1														

100 hwl/release rate - 2" restrictor

TR20 XEQ 08-11-21 08:48
 REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS
 DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT

JOB 1 SUMMARY
 PAGE 4

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS.....
		99
0 STRUCTURE 2	.01	
+		
ALTERNATE 24		.17
0 STRUCTURE 1	.01	
+		
ALTERNATE 24		.21
0 XSECTION 50	.01	
+		
ALTERNATE 24		3.54
0 XSECTION 51	.01	
+		
ALTERNATE 24		3.54
1END OF 1 JOBS IN THIS RUN		

*****80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY*****

JOB TR-20		SUMMARY				
TITLE BURR RIDGE SITE, BURR RIDGE, ILLINOIS						
TITLE DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION						
5	RAINFL 1	0.05				DIM-LESS
8		0.00	0.16	0.33	0.43	0.52
8		0.60	0.66	0.71	0.75	0.79
8		0.82	0.84	0.86	0.88	0.90
8		0.92	0.94	0.96	0.97	0.98
8		1.00	1.00	1.00	1.00	1.00
9	ENDTBL					
5	RAINFL 2	0.05				DIM-LESS
8		0.00	0.03	0.08	0.12	0.16
8		0.22	0.29	0.39	0.51	0.62
8		0.70	0.76	0.81	0.85	0.88
8		0.91	0.93	0.95	0.97	0.98
8		1.00	1.00	1.00	1.00	1.00
9	ENDTBL					
5	RAINFL 3	0.05				DIM-LESS
8		0.00	0.03	0.06	0.09	0.12
8		0.15	0.19	0.23	0.27	0.32
8		0.38	0.45	0.57	0.70	0.79
8		0.85	0.89	0.92	0.95	0.97
8		1.00	1.00	1.00	1.00	1.00
9	ENDTBL					
5	RAINFL 4	0.05				DIM-LESS
8		0.00	0.02	0.05	0.08	0.10
8		0.13	0.16	0.19	0.22	0.25
8		0.28	0.32	0.35	0.39	0.45
8		0.51	0.59	0.72	0.84	0.92
8		1.00	1.00	1.00	1.00	1.00
9	ENDTBL					
3	STRUCT 01					
8		690.0	0.00	0.00		
8		691.0	0.22	0.39		
8		692.0	0.31	0.87		
8		693.0	0.38	1.41		
8		693.6	0.41	1.76		
9	ENDTBL					
3	STRUCT 02					
8		690.0	0.00	0.00		
8		691.0	0.01	0.39		
8		692.0	0.14	0.87		
8		693.0	0.26	1.41		
8		694.0	0.34	1.99		
9	ENDTBL					
6	RUNOFF 1 050	7 0.0063	85.	0.25	1	SITE

*****80-80 LIST OF INPUT DATA (CONTINUED)*****

```

6 RESVOR 2    01 7    6 690.0          1          FREE
6 RUNOFF 1 051      5 0.0063      85.      0.25      1          SITE
6 RESVOR 2    02 5    6 690.0          1 1 1      SURCH
  ENDATA
7 INCREM 6          1.0
7 COMPUT 7 050      02 0.0      8.57      24.0      3 2 24 99YR 24HR
  ENDCMP 1
  ENDJOB 2

```

0*****END OF 80-80 LIST*****

EXECUTIVE CONTROL OPERATION INCREM

RECORD ID

+ MAIN TIME INCREMENT = 1.00 HOURS

EXECUTIVE CONTROL OPERATION COMPUT

RECORD ID R 24HR

+ FROM XSECTION 50
+ TO STRUCTURE 2
STARTING TIME = .00 RAIN DEPTH = 8.57 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2
ALTERNATE NO.=24 STORM NO.=99 MAIN TIME INCREMENT = 1.00 HOURS

OPERATION RUNOFF CROSS SECTION 50

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

OPERATION RESVOR STRUCTURE 1

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .41 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.41	693.65

OPERATION RUNOFF CROSS SECTION 51

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
14.76	3.54	(RUNOFF)

OPERATION RESVOR STRUCTURE 2

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .34 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.34	693.97

TIME(HRS) FIRST HYDROGRAPH POINT = .00 HOURS TIME INCREMENT = 1.00 HOURS DRAINAGE AREA = .01 SQ.MI.

.00	DISCHG	.00	.00	.00	.00	.00	.00	.00	.00	.01	.01
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.55	690.72
10.00	DISCHG	.01	.03	.06	.10	.15	.20	.26	.28	.30	.31
10.00	ELEV	690.93	691.15	691.39	691.66	692.05	692.54	692.96	693.25	693.47	693.63
20.00	DISCHG	.32	.32	.33	.33	.34	.34	.33	.33	.33	.32
20.00	ELEV	693.72	693.79	693.85	693.89	693.96	693.97	693.92	693.88	693.83	693.78
30.00	DISCHG	.32	.32	.31	.31	.30	.30	.30	.29	.29	.29
30.00	ELEV	693.74	693.69	693.65	693.60	693.56	693.52	693.47	693.43	693.39	693.35
40.00	DISCHG	.28	.28	.28	.28	.27	.27	.27	.26	.26	.25
40.00	ELEV	693.31	693.27	693.23	693.19	693.15	693.11	693.07	693.03	693.00	692.96
50.00	DISCHG	.25	.25	.24	.24	.23	.23	.22	.22	.22	.21

1

TR20 XEQ 08-11-21 00:00
REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

JOB 1 PASS 1
PAGE 1

50.00	ELEV	692.92	692.88	692.84	692.81	692.77	692.74	692.70	692.67	692.63	692.60
60.00	DISCHG	.21	.20	.20	.20	.19	.19	.19	.18	.18	.18
60.00	ELEV	692.57	692.54	692.51	692.48	692.45	692.42	692.39	692.36	692.33	692.30
70.00	DISCHG	.17	.17	.17	.16	.16	.16	.16	.15	.15	.15
70.00	ELEV	692.28	692.25	692.23	692.20	692.18	692.15	692.13	692.10	692.08	692.06
80.00	DISCHG	.14	.14	.14	.14	.13	.13	.13	.12	.12	.12
80.00	ELEV	692.04	692.01	691.99	691.97	691.94	691.92	691.90	691.88	691.86	691.84
90.00	DISCHG	.12	.11	.11	.11	.11	.10	.10	.10	.10	.09
90.00	ELEV	691.82	691.80	691.78	691.76	691.74	691.72	691.70	691.69	691.67	691.65
100.00	DISCHG	.09	.09	.09	.09	.08	.08	.08	.08	.08	.08
100.00	ELEV	691.64	691.62	691.61	691.59	691.58	691.56	691.55	691.53	691.52	691.51
110.00	DISCHG	.07	.07	.07	.07	.07	.07	.06	.06	.06	.06
110.00	ELEV	691.49	691.48	691.47	691.46	691.44	691.43	691.42	691.41	691.40	691.39
120.00	DISCHG	.06	.06	.06	.06	.05	.05	.05	.05	.05	.05
120.00	ELEV	691.38	691.37	691.36	691.35	691.34	691.33	691.32	691.31	691.30	691.30
130.00	DISCHG	.05	.05	.05	.04	.04	.04	.04	.04	.04	.04
130.00	ELEV	691.29	691.28	691.27	691.26	691.26	691.25	691.24	691.23	691.23	691.22
140.00	DISCHG	.04	.04	.04	.04	.03	.03	.03	.03	.03	.03
140.00	ELEV	691.21	691.21	691.20	691.20	691.19	691.18	691.18	691.17	691.17	691.16
150.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.02
150.00	ELEV	691.16	691.15	691.15	691.14	691.14	691.13	691.13	691.12	691.12	691.11
160.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
160.00	ELEV	691.11	691.11	691.10	691.10	691.09	691.09	691.09	691.08	691.08	691.08
170.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
170.00	ELEV	691.07	691.07	691.07	691.06	691.06	691.06	691.05	691.05	691.05	691.04
180.00	DISCHG	.02	.02	.01	.01	.01	.01	.01	.01	.01	.01
180.00	ELEV	691.04	691.04	691.04	691.03	691.03	691.03	691.03	691.02	691.02	691.02
190.00	DISCHG	.01	.01	.01	.01	.01	.01	.01	.01	.01	.01
190.00	ELEV	691.02	691.02	691.01	691.01	691.01	691.01	691.01	691.00	691.00	691.00
200.00	DISCHG	.01	.01								
200.00	ELEV	691.00	691.00								

EXECUTIVE CONTROL OPERATION ENDCMP

+

COMPUTATIONS COMPLETED FOR PASS 1

RECORD ID

EXECUTIVE CONTROL OPERATION ENDJOB
1

RECORD ID

TR20 XEQ 08-11-21 00:00 BURR RIDGE SITE, BURR RIDGE, ILLINOIS
REV PC 09/83(.2) DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

JOB 1 SUMMARY
PAGE 2

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED
(A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH
A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION -----			RUNOFF AMOUNT (IN)	PEAK DISCHARGE -----				
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)	
ALTERNATE	24	STORM	99											
+														
XSECTION	50	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	1	RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.69	693.65	25.00?	.41?	65.5
XSECTION	51	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE	2	RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.58	693.97	25.00?	.34?	53.6

1

100 yr hwl/release rate -
allowable release rate

TR20 XEQ 08-11-21 00:00 BURR RIDGE SITE, BURR RIDGE, ILLINOIS
REV PC 09/83(.2) DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

JOB 1 SUMMARY
PAGE 3

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS..... 99
0 STRUCTURE 2	.01	
+		
ALTERNATE 24		.34
0 STRUCTURE 1	.01	
+		
ALTERNATE 24		.41
0 XSECTION 50	.01	
+		
ALTERNATE 24		3.54

Ø XSECTION 51 .01

+

ALTERNATE 24

1END OF 1 JOBS IN THIS RUN

3.54



May 24, 2022

Mr. David Preissig, P.E.
Public Works Director/Village Engineer
Village of Burr Ridge
451 Commerce Street
Burr Ridge, Illinois 60257

Subject: PROPOSAL FOR PROFESSIONAL ENGINEERING SERVICES FOR 2022 SSES PROGRAM

Dear Mr. Preissig:

RJN Group, Inc. (RJN) is pleased to submit this proposal to the Village of Burr Ridge (Village) for comprehensive assessment, analysis, reporting, and planning services for the fulfillment of the Short-Term and Long-Term Requirements for the Metropolitan Water Reclamation District of Greater Chicago (MWRD) Inflow and Infiltration Control Program (IICP).

Key Project Goals and Objectives

The Short-Term Program and Long-Term Program requirements of the MWRD IICP includes condition assessment, maintenance, and rehabilitation within the identified high-priority areas, the development of a Private Sector Plan (PSP) and a Long-Term Operations and Maintenance Plan (LTOMP), and annual reporting. The components of the condition assessment include smoke testing, manhole inspections, sewer televising, dyed water flooding, and lift station assessments. The rehabilitation component requires design and construction of rehabilitation improvements of defects identified during the condition assessment

The remaining items for the Village of Burr Ridge to complete the MWRD IICP Short-Term Program Requirements are as follows:

- Complete smoke testing in the short-term program high priority areas – 13,632 LF
- Sewer Televising – 177 LF
- Sewer Televising Review – 177 LF
- During the previous manhole inspections, 13 structures could not be inspected because they were either inaccessible or not found. Some of these are in private backyard areas. It is proposed that once these have been located, and raised, if need be, by the Village RJN will complete the manhole inspections.
- Dyed Water Flooding – Quantity dependent on smoke testing. Allowance of 4 set-ups
- Complete development of the Long-Term O&M and Private Sector Programs Plan

The requirements for the Long-Term Program include continuing to perform condition assessment, maintenance, rehabilitation, and annual reporting. The next area selected as part of the program includes the sewers tributary to the Chasemoor Lift Station. The following program components are included in this proposal for completion for the next area selected:

- Smoke Testing – 39,461 LF
- Manhole Inspections – Surface and Remote – 247 Manholes
- Sewer Televising – 39,461 LF
- Sewer Televising Review – 39,461 LF
- Dyed Water Flooding – Quantity dependent on smoke testing. Allowance of 6 set-ups
- Summary Report and Project Management
- Lift Station Assessment and Report – Arrowhead Lift Station

Assuring Quality

RJN is committed to providing quality deliverables. The data, analysis, and recommendations provided by RJN will be used to make decisions on how much and where to spend Village sanitary sewer system funds. RJN's use of electronic forms for data collection with standardized entry and error trapping, the use of QC tools in our in-house data management software, as well as our corporate training and QC processes in place will ensure that results and recommendations will provide value to the Village.

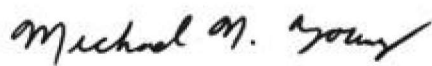
Price and Schedule Summary

This project will be invoiced on a Unit Price, Lump Sum, and Time and Materials (T&M) Basis for a total not-to-exceed fee of \$275,300. The project is expected to be completed by January 31, 2023. Complete Scope of Services, Pricing, Schedules, and Maps are provided in the following exhibits:

- Exhibit A – Scope of Services
- Exhibit B – Pricing
- Exhibit C – Schedule
- Exhibit D – Project Map

It is our pleasure to submit this proposal to the Village of Burr Ridge. Please feel free to contact me by email at patrick.hulsebosch@rjnmail.com or at (630) 682-4700 x1317 if you would like to discuss this proposal. We are looking forward to the opportunity to continue working with the Village on these important projects.

Sincerely,



Michael N. Young, P.E.
Senior Vice President



Patrick Hulsebosch, E.I.T.
Lead Project Engineer



EXHIBIT A

SCOPE OF SERVICES

RJN is proposing the following scope of services to conduct the 2022 SSES Program for the Village of Burr Ridge.

1. Smoke Testing

- a. Prepare a draft resident smoke testing notification letter for the Village to send to the affected residents and business owners. The letters will include RJN contact information for use during the smoke testing. If desired, these letters can be formatted as a public service announcement, billing insert, and/or used as a Reverse 911 message sent by the Village. If necessary, provide bilingual letter in Spanish.
- b. Prepare smoke testing door hangers to be hung by RJN staff at each address less than one week prior to smoke testing. The door hangers will also include RJN contact information and can be bilingual if necessary.
- c. Notify the Village and the local fire and police departments of planned smoke testing activities, including daily updates.
- d. Provide equipment, personnel, and smoke as necessary for smoke testing.
- e. During smoke testing, erect smoke testing signs near the testing area and answer resident and Village questions on-site as well as through phone calls.
- f. Use handheld electronic data collection equipment for collecting smoke testing data.
- g. Smoke test the sanitary sewers as outlined.
- h. GPS locate (sub-meter mapping grade) each identified defect and take a minimum of one digital photograph of each defect.
- i. Provide data analysis as follows:
 - i. Compile field data and develop complete list of defects;
 - ii. Map results in GIS;
 - iii. Assign an estimated flow to each defect; and
 - iv. Determine an appropriate rehabilitation method for each defect or segment and estimate an associated cost.

2. Manhole Inspections

- a. Provide equipment and personnel as necessary for manhole inspections.
- b. Use handheld electronic data collection equipment for collecting manhole inspection data.
- c. Complete surface manhole inspections for manholes as outlined. Collect the following attribute data, as it can be determined:
 - i. Mapping grade GPS locate of manhole;
 - ii. Manhole diameter;
 - iii. Manhole material;
 - iv. Pipe invert measurements;
 - v. Connecting sewer diameter(s);

- vi. Connecting sewer material(s); and
- vii. Connecting sewer flow direction.
- d. Identify and document manhole condition, including:
 - i. Direct evidence of I/I;
 - ii. Open pickholes in lid;
 - iii. Cover, frame, adjusting ring, and seal condition, including needed adjustments;
 - iv. Cone condition and defects;
 - v. Wall condition and defects;
 - vi. Trough and bench condition and defects; and
- e. Take a minimum of four digital photographs at each manhole structure
 - i. Surrounding area;
 - ii. Manhole cover;
 - iii. Topside - looking down; and
 - iv. Manhole frame.
- f. FOR REMOTE CAMERA STRUCTURE INSPECTIONS: Provide all tasks above as well as Complete remote camera inspections where an inspection cannot be completed from the surface. Provide additional digital photographs and observations for all pipe connections.
- g. Provide data analysis as follows:
 - i. Compile field data and develop complete list of defects;
 - ii. Map results in GIS;
 - iii. Assign an estimated flow to each defect; and
 - iv. Determine an appropriate rehabilitation method for each manhole and estimate an associated cost.

3. Sewer Televising

- a. Provide equipment and personnel as necessary for sewer televising and video review.
- b. Subcontract with a sewer televising contractor for areas to be cleaned and televised and obtaining televising videos. Manage contractor's work while on-site.
- c. Sewer cleaning includes two passes or less with a sewer cleaning nozzle.
- d. Heavy cleaning is NOT included in the cost of this proposal.

4. Televising Review

- a. Provide equipment and personnel as necessary for televising video review.
- b. Review sewer televising videos using PACP-certified personnel and PACP coding standards.
- c. Provide data analysis as follows:
 - i. Review observations and edit as necessary;
 - ii. Compile data and develop complete list of defects;
 - iii. Incorporate results into GIS;
 - iv. Assign an estimated flow to each defect; and

- v. Determine an appropriate rehabilitation method and estimate an associated cost for each defect or segment.

5. Dyed Water Flooding

- a. Based on the results of the smoke testing, RJN will provide a list of proposed dyed water flooding setup locations.
- b. Provide equipment, personnel, and dye as necessary for dyed water flooding. Water to be provided by Village.
- c. Coordinate and work with a sewer televising subcontractor to perform CCTV inspection of the sanitary sewers in conjunction with dyed water flooding. Sewer cleaning consists of light cleaning and light root removal with a recycler/vac truck.
- d. Set up and complete dyed water flooding as outlined. Document results with digital photographs of the dye test setup and if possible dyed water entering the sewer (where applicable).
- e. Locate (mapping grade) each identified defect relative to segment manholes and take at least one digital photograph or video of each defect (where applicable).
- f. Provide data analysis as follows:
 - i. Compile field data and develop complete list of defects;
 - ii. Map results in GIS;
 - iii. Assign an estimated flow to each defect; and
 - iv. Determine an appropriate rehabilitation method and estimate an associated cost for each defect.

6. Summary Report and Data Access

- a. During project provide access to web viewer that will provide status of data collection, access to data collected, including field collected media.
- b. Upon completion of field data collection, organize data from individual field services into a comprehensive summary report.
- c. Provide the following information in a draft summary memorandum:
 - i. Summary of work completed;
 - ii. GIS maps and tables of manholes inspected and identified manhole defects;
 - iii. GIS maps and tables of lines smoke tested and identified smoke testing sources;
 - iv. GIS map and table of manhole rehabilitation recommendations
 - v. GIS maps and tables of televised sewers and rehabilitation recommendations;
 - vi. Recommendations for additional SSES work or inspections.
 - vii. Recommendations rehabilitation recommendations and estimated costs
 - viii. Prioritize recommendations by severity;
- d. Submit a pdf of summary report and up to two hard copies
- e. Provide one digital copy of data, GIS geodatabases, videos, and photographs.

7. Lift Station Assessment and Report

- a. Review data collected during the kickoff meeting in preparation for the site visit.

- b. Share follow-up questions with the Village for discussion during the site visit or follow-up call.
- c. Provide equipment and personnel as necessary for lift station inspections. Use handheld electronic data collection equipment for collecting lift station inspection data.
- d. Observe pump operations and complete fill and draw tests on each pump and pumping configuration for each lift station. If applicable, compare calculated flow to installed flow meters and pump curves.
- e. Perform a general functionality assessment of the lift station site, evaluate:
 - i. Overall condition and appearance,
 - ii. Site access and security,
 - iii. Lift station bypass pumping capability,
 - iv. Force main inspection/pigging capability,
 - v. Floats/level monitoring,
 - vi. Overall monitoring and control system
 - vii. Emergency power options.
- f. Perform confined space entry or remote camera inspections as able. Identify and document the general attributes, condition, and identified defects of underground structures including junction manholes, wet wells, valve vaults, etc., including:
 - i. Mapping grade GPS locates,
 - ii. Structure condition, dimensions, depths, and materials,
 - iii. Connecting sewer invert(s), diameter(s), and material(s),
 - iv. Frame condition, including needed adjustments and seals,
 - v. Pipe seal condition and defects,
 - vi. Direct evidence of I/I,
 - vii. Grit/silt levels.
- g. Take digital photographs at the lift station site, including:
 - i. Surrounding area,
 - ii. Photos of installed equipment,
 - iii. Topside - looking down into each structure.
- h. Collect information regarding the force main, including diameter, material, route, and discharge location, as able. Inspect force main outlet location to look for corrosion due to H₂S and other major concerns.
- i. Provide the following information for the Technical Memorandum:
 - i. Narrative summary of inspections,
 - ii. Assessment of pumping capabilities,
 - iii. GIS map of lift station site, force main, discharge manhole, and identified defects, as able,
 - iv. Recommendations for next steps, including rehabilitation, replacement, force main cleaning or inspection, etc.
- j. Provide access to all data collected during site visit on Clarity® by RJN. Clarity is RJN's secure online data center for viewing and accessing collected field data.

- k. Develop a Technical Memorandum summarizing the work completed. Include the information provided from each inspection work in the memorandum:
 - i. Submit a pdf of draft memorandum,
 - ii. Address Village comments on draft memorandum and revise.
- l. Submit up to three color copies of final memorandum and digital copies of all data, photographs, GIS files, and reports.

8. Project Management, Meetings, and Future Program Planning

- a. Provide project management for the duration of the 2021 program.
- b. Work with the Village to plan the 2023 sewer investigations and rehabilitation program.
- c. Provide initial long-range sewer planning assistance to help develop a multi-year program plan for the Village.
- d. Prepare an executive summary presentation for the Village Board or Committee to summarize the 2022 Program including:
 - i. Summary of findings and recommendations from each of the studies;
 - ii. Summary of 2022 and long-range planning recommendations; and
- e. Attend up to four meetings throughout the duration of this project.

Items Requested from the Village

- 1. Access to manholes and sewers for inspections. Make accessible and identify location of 13 not found/inaccessible structures for inspection. Assistance as necessary for one day to help locate manholes.
- 2. Provide traffic control assistance as necessary in high-traffic locations.
- 3. Mailing of notifications as outlined in smoke testing scope of services.
- 4. Access to water for dyed water flooding and sewer televising.
- 5. Copies of any available plans sets, specifications, record drawings, hydraulic profiles, pump records, or other documents related to the lift station and force main.
- 6. Assistance in operating the lift stations and valves during inspection.
- 7. Access to and assistance in locating ARVs and manholes along the pipeline route.



EXHIBIT B

PRICING

Pricing for the 2022 SSES Program is shown below.

Pricing Terms for Invoicing: Unit Price, Lump Sum, and Time and Materials (T&M)

Not-To-Exceed Total Cost: \$275,300

Task	Quantity	Unit	Unit Cost	Total Cost
Smoke Testing	53,100	Linear Ft	\$0.90	\$ 47,800
Surface Manhole Inspections	220	MH	\$100.00	\$ 22,000
Remote Manhole Inspections	40	MH	\$135.00	\$ 5,400
Sewer Televising	39,638	Linear Ft	Cost +10%	\$ 118,800
Sewer Televising Review	39,461	Linear Ft	\$0.36	\$ 14,400
Dyed Water Flooding	10	Set-Up	\$2,240.00	\$ 22,400
Summary Report & Data Access	1	Lump Sum	\$12,600	\$ 12,700
Lift Station Report and Technical Memorandum	1	Lump Sum	\$8,800	\$ 8,800
Project Management, Meetings, & Planning	-	T&M	\$10,000	\$ 10,000
Project Contingency	-	As Needed	\$13,000	\$ 13,000
TOTAL				\$ 275,300

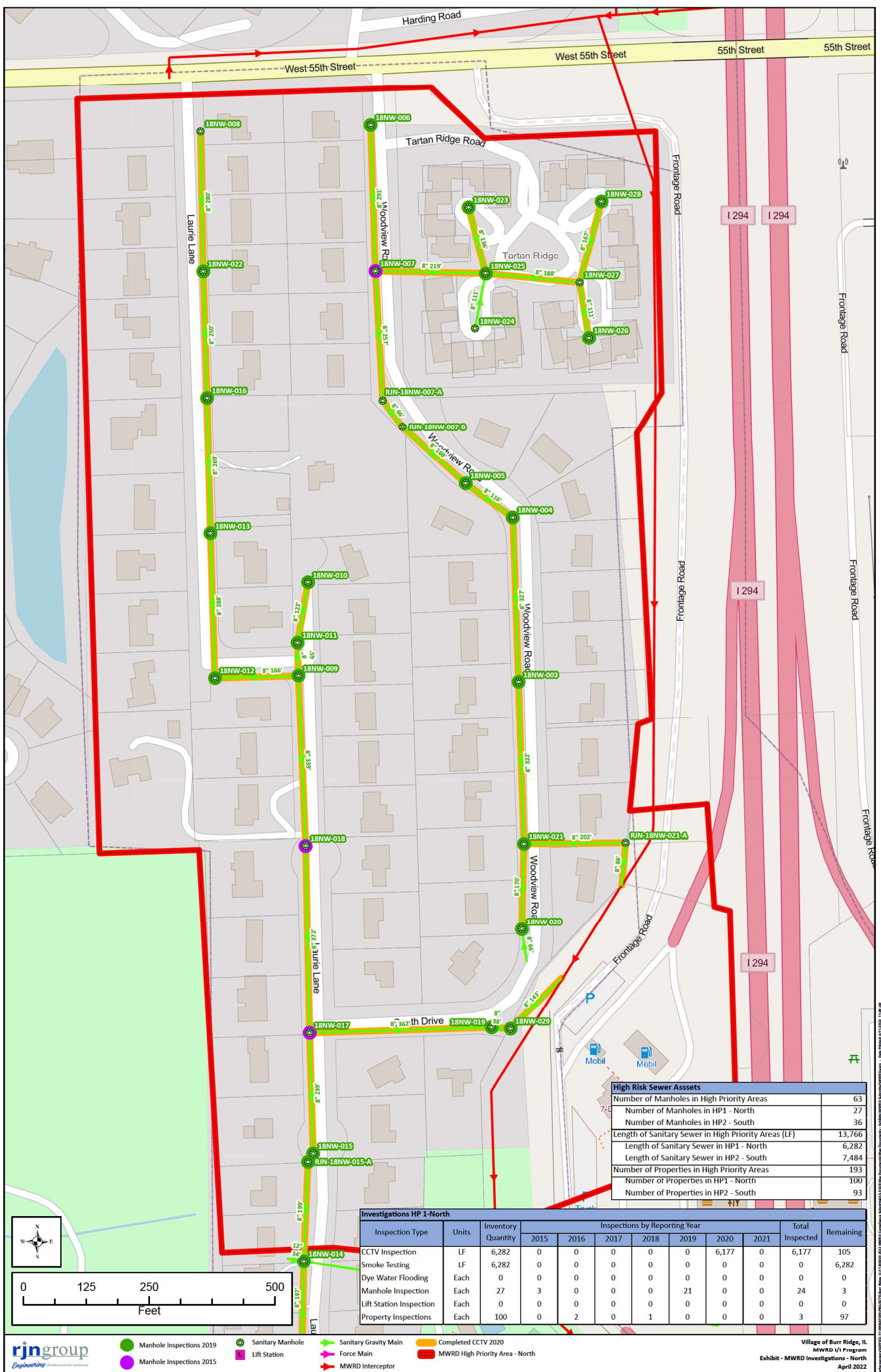


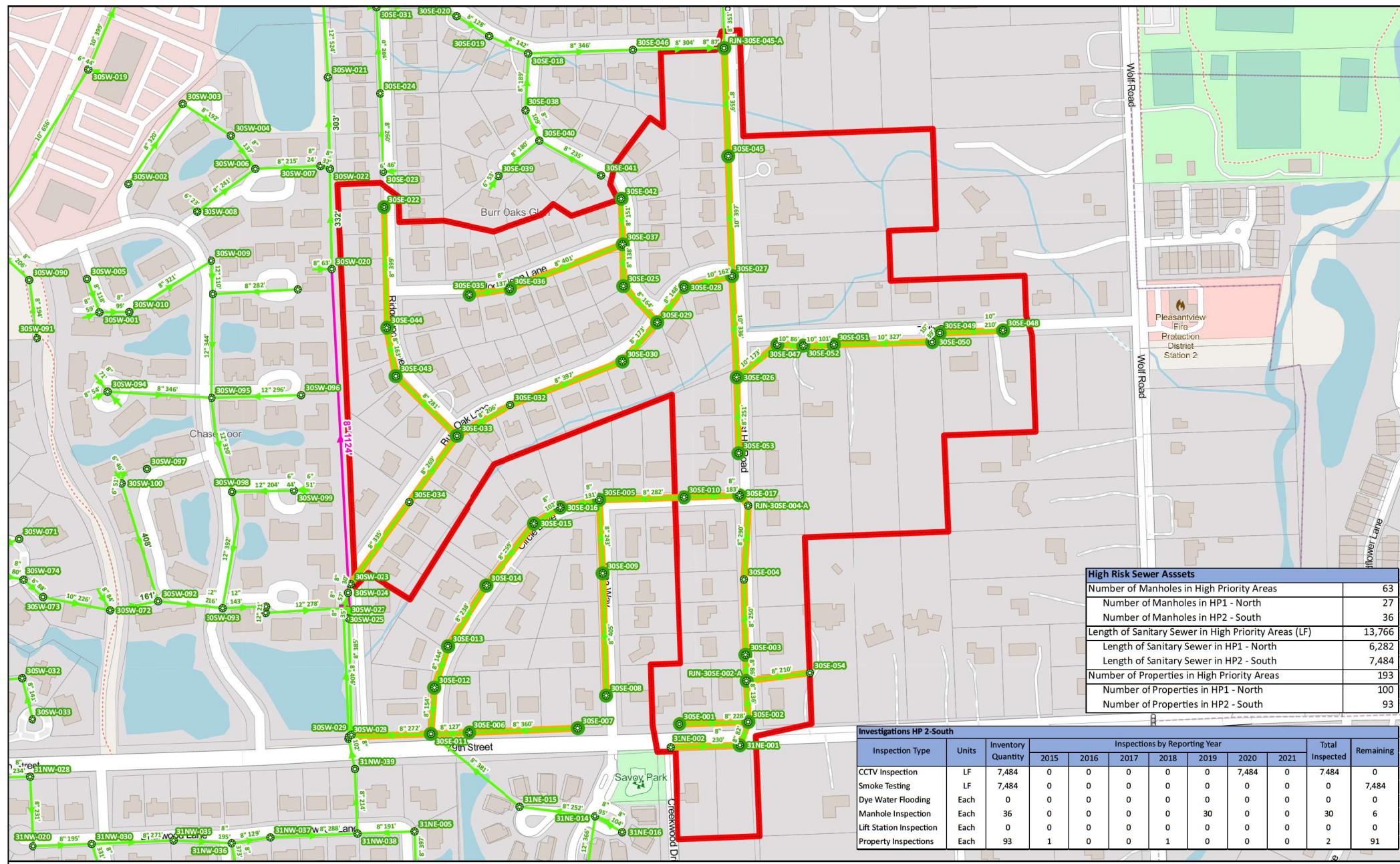
EXHIBIT C

PROPOSED SCHEDULE

RJN is prepared to start work immediately upon receiving a signed contract with the Village.

Task	Timeline
1. Smoke Testing	Requires dry conditions. Will complete by November 31, 2022. With favorable conditions may complete in July/August 2022.
2. Manhole Inspections	Performable at any time. Will complete by December 31, 2022. Village to locate 13 uninspected manholes prior to RJN Field Work.
3. Sewer Televising	Will complete by August 31, 2022.
4. Televising Review	Will complete within 60 days of receipt of final videos, reports, and databases from CCTV Contractor
5. Dyed Water Flooding	Determine after completion of smoke testing. Will complete by December 31, 2022.
6. Summary Report and Data Access	Data access available immediately following completion of each field service. Report will be complete by January 31, 2023.
7. Lift Station and Technical Memorandum	Data access available immediately following completion of each field service. Tech Memo will be complete by September 3, 2022.





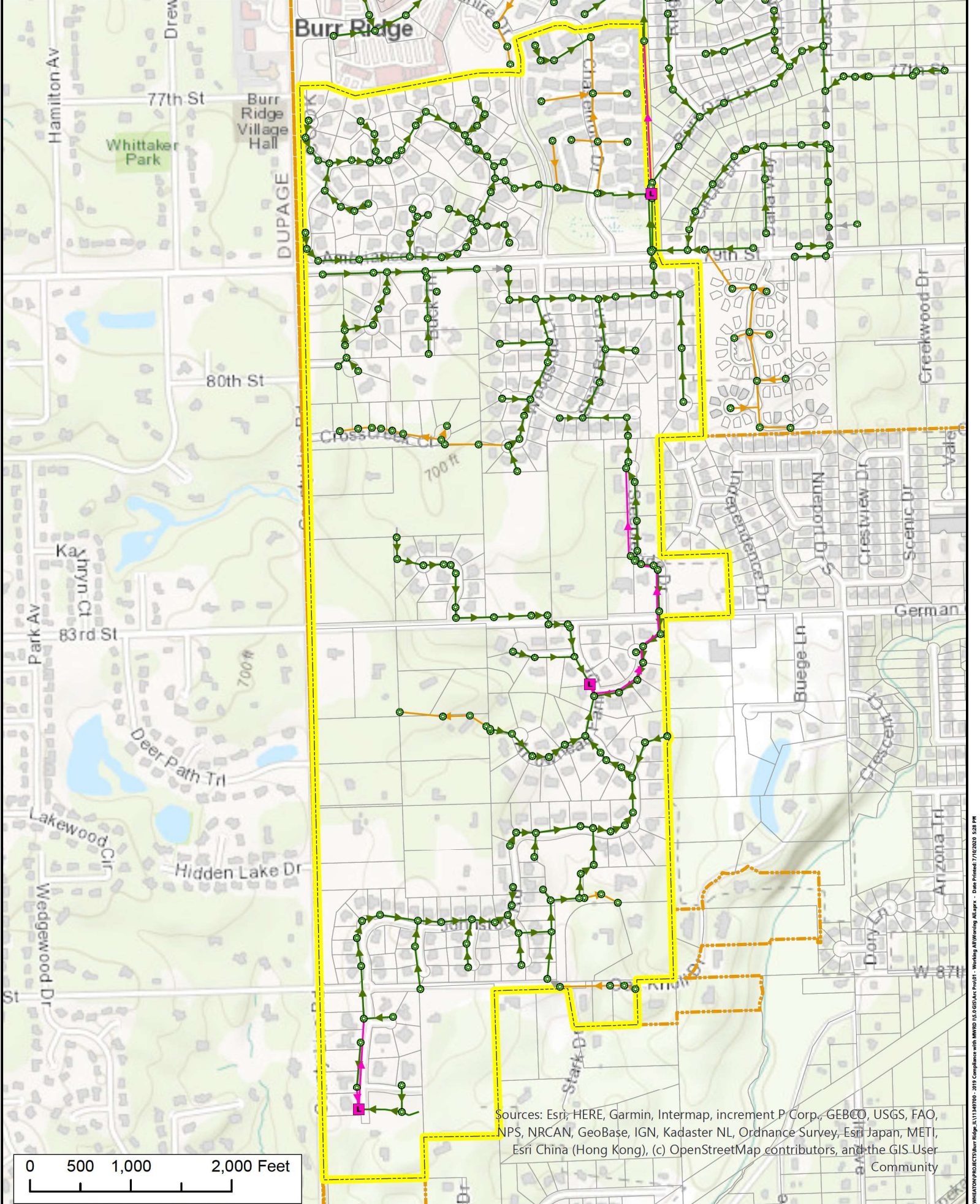
High Risk Sewer Assets	
Number of Manholes in High Priority Areas	63
Number of Manholes in HP1 - North	27
Number of Manholes in HP2 - South	36
Length of Sanitary Sewer in High Priority Areas (LF)	13,766
Length of Sanitary Sewer in HP1 - North	6,282
Length of Sanitary Sewer in HP2 - South	7,484
Number of Properties in High Priority Areas	193
Number of Properties in HP1 - North	100
Number of Properties in HP2 - South	93

Investigations HP 2-South											
Inspection Type	Units	Inventory Quantity	2015	2016	2017	2018	2019	2020	2021	Total Inspected	Remaining
CCTV Inspection	LF	7,484	0	0	0	0	0	7,484	0	7,484	0
Smoke Testing	LF	7,484	0	0	0	0	0	0	0	0	7,484
Dye Water Flooding	Each	0	0	0	0	0	0	0	0	0	0
Manhole Inspection	Each	36	0	0	0	0	30	0	0	30	6
Lift Station Inspection	Each	0	0	0	0	0	0	0	0	0	0
Property Inspections	Each	93	1	0	0	1	0	0	0	2	91

Manhole Inspections 2019
 Sanitary Manhole
 Sanitary Gravity Main
 Completed CCTV 2020
 Manhole Inspections 2015
 Lift Station
 Force Main
 MWRD High Priority Area - South

0 200 400 800 Feet





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community




- | | | | |
|---------------------|-----------------|--------------------------|--------------------|
| ● Sanitary Manholes | — Unknown Owner | — Unknown Owner and Type | ■ RJN Study Area |
| ■ Lift Station | — FCWRD | — Force Main | ■ Village Boundary |
| — MWRD | | | |



Village of Burr Ridge, IL
Overall Sanitary System
2020 Proposed Study Area
July 2020

Preeti Goel



May 20, 2022

Evan Walter
Village Administrator
Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527

Dear Evan,

Please accept this as my formal notice of resignation from the position of Accounting Analyst at the Village of Burr Ridge. My last day will be June 3, 2022, two weeks from today.

I have put a lot of thought into this decision, and it was not an easy one to make. While it's been a great experience working first with the Department of Public Works and then the Finance Department, I have decided to explore other options that would help me in my professional growth and development.

I appreciate your support during my tenure here and take with me the valuable experiences I have gained over the last (almost) 4 years. Thank you for the opportunities for growth that you provided me.

Please let me know how I can be of help during the transition period. I wish you and rest of the Village staff the very best going forward.

Sincerely,


Preeti Goel

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 6/13/2022

PAYMENT DATE: 6/14/2022

FISCAL 21-22

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 70,954.46	\$ 70,954.46
51	Water Fund	3,658.48	3,658.48
52	Sewer Fund	15.83	15.83
TOTAL ALL FUNDS		<u>\$ 74,628.77</u>	<u>\$ 74,628.77</u>

GRAND TOTAL	<u>\$ 74,628.77</u>
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UNJOURNALIZED
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 1010 Boards & Commissions					
10-1010-50-5010	Adjudication Legal Services Apr2	Denise K. Filan	05/20/22	33801	393.75
10-1010-50-5010	General Legal Apr22	Storino, Ramello, & Durkir	05/20/22	05/20/22	6,282.86
10-1010-50-5010	Sterigenics Apr22	Storino, Ramello, & Durkir	05/20/22	05/20/22	662.00
10-1010-50-5010	8079 Creekwood Apr22	Storino, Ramello, & Durkir	05/20/22	05/20/22	569.79
10-1010-50-5010	Edgewood Annexation Apr22	Storino, Ramello, & Durkir	05/20/22	05/20/22	1,053.01
10-1010-50-5015	Prosecution Services Apr22	Storino, Ramello, & Durkir	05/20/22	05/20/22	1,395.52
10-1010-80-8010	Cards for Retirement Tejkowski	Walgreen's	04/25/22	057581	16.38
Total For Dept 1010 Boards & Commissions					10,373.31
Dept 2010 Administration					
10-2010-40-4042	Lunch w/ New Employee Foy	Coopers Hawk Burr Ridge, I	04/25/22	040520	74.55
10-2010-50-5020	Elevator Inspection	Elevator Inspection Servic	04/19/22	107779	3,232.00
10-2010-50-5020	Elevator Inspection - Guidepost	Elevator Inspection Servic	04/19/22	107779	18.00
10-2010-50-5075	Inspections Feb22	B&F Construction Code Ser	05/17/22	15911	155.00
10-2010-50-5075	Plan Reviews Mar22	B&F Construction Code Ser	05/17/22	15912	175.00
10-2010-50-5075	Inspections Mar22	B&F Construction Code Ser	05/17/22	15912	925.00
10-2010-60-6010	Wireless Mouse/Split Keyboard	Amazon.com Credit	04/29/22	112-66020880720253	81.32
10-2010-60-6020	Gasoline SUV Admin	Shell Oil Company	04/25/22	57444085005	53.96
Total For Dept 2010 Administration					4,714.83
Dept 4020 Central Services					
10-4020-50-5030	Telephone Land Line	Peerless Network, Inc.	04/15/22	515365	1,555.37
10-4020-60-6010	Microwave for VH Kitchen	Walmart	04/28/22	3892246-596598	259.17
Total For Dept 4020 Central Services					1,814.54
Dept 5010 Police					
10-5010-40-4032	Uniform Allowance Garcia, K	JG Uniforms, Inc.	04/07/22	96905	175.00
10-5010-40-4032	Initial Uniform Allowance - Stra	JG Uniforms, Inc.	01/07/22	93327	1,086.40
10-5010-40-4032	FY21-22 Uniform allowance	JG Uniforms, Inc.	05/27/22	99999	220.49
10-5010-40-4032	Uniform Allowance Nicole Copp	JG Uniforms, Inc.	05/27/22	100004	1,070.50
10-5010-40-4032	Book Style Case	JG Uniforms, Inc.	05/27/22	100005	18.75
10-5010-40-4032	FY 21-22 Jarolimek Replacement J	JG Uniforms, Inc.	04/13/22	97112	277.00
10-5010-40-4032	Initial Uniform Allowance - Stra	JG Uniforms, Inc.	02/15/22	94812	845.00
10-5010-40-4032	Initial Uniform Allowance - Gnie	JG Uniforms, Inc.	02/15/22	94814	845.00
10-5010-40-4032	FY 21-22 Wisch Uniform Allowance	JG Uniforms, Inc.	03/03/22	95519	465.10
10-5010-40-4032	Initial Uniform Allowance - Gnie	JG Uniforms, Inc.	03/24/22	96401	54.95
10-5010-40-4032	Initial Uniform Allowance - Stra	JG Uniforms, Inc.	03/24/22	96402	54.95
10-5010-40-4032	FY 21-22 Wirth Replacement Jacke	JG Uniforms, Inc.	03/24/22	96403	161.00
10-5010-40-4032	Initial Uniform Allowance - Stra	JG Uniforms, Inc.	03/24/22	96404	195.00
10-5010-40-4032	Uniform Allowance Nicole Copp	JG Uniforms, Inc.	03/24/22	96405	76.00
10-5010-40-4032	Initial Issue Uniform Allowance	JG Uniforms, Inc.	03/24/22	96406	168.00
10-5010-40-4032	FY 21-22 Hoster Replacement Jack	JG Uniforms, Inc.	03/24/22	96408	161.00
10-5010-40-4032	FY 21-22 Loftus Uniform Allowanc	JG Uniforms, Inc.	04/28/22	97761	795.45
10-5010-40-4042	Meetings	Falco's Pizza & Pasta	04/19/22	6148	55.00
10-5010-50-5095	Tow 2017 Jeep Cherokee	District Recovery, Inc.	03/08/22	32550	1,500.00
10-5010-60-6010	Operating Supplies/Evidence Supp	Amazon.com Credit	04/27/22	114-02993817701014	225.71
10-5010-60-6010	Rechargeable Work Lights	Amazon.com Credit	04/28/22	112-69602125773015	63.48
10-5010-60-6010	TE315 Blackhawk Electrashield	Gall's Inc.	04/27/22	021028605	110.99
10-5010-60-6010	FE864 Leatherhead Tools 36"	Gall's Inc.	04/27/22	021028605	349.99
10-5010-60-6010	Shipping	Gall's Inc.	04/27/22	021028605	25.35
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	04/27/22	439102	348.00
10-5010-60-6020	Gasoline & Oil	DuPage County Public Works	05/18/22	2022-10F	18,734.60

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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 04/30/2022 - 04/30/2022

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UNJOURNALIZED
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 5010 Police					
Total For Dept 5010 Police					28,082.71
Dept 6010 Public Works					
10-6010-40-4032	Boot Allowance	George Hovorka	04/22/22	04/22/22	142.68
10-6010-40-4042	Chemical Inventory & Haz. Comm.	Hygieneering, Inc.	05/16/22	05221435	1,600.00
10-6010-40-4042	Powered Industrial VehicleTraini	Hygieneering, Inc.	05/19/22	05221460	6,200.00
10-6010-40-4042	Respiratory Protection & PPE tra	Hygieneering, Inc.	05/16/22	05221434	1,550.00
10-6010-50-5058	Janitorial Services VH, PD, PW;	Chi-Town Cleaning Services	03/18/22	2927	2,039.31
10-6010-50-5058	Special Cleanings at VH & PW	Chi-Town Cleaning Services	04/14/22	2945	4,021.00
10-6010-50-5058	Janitorial Services VH, PD, PW;	Chi-Town Cleaning Services	05/09/22	3006	1,568.62
10-6010-50-5058	Janitorial Services VH, PD , PW	Chi-Town Cleaning Services	05/09/22	3006	941.38
10-6010-50-5058	Janitorial Services Holding Cell	Service Master	04/30/22	215890	195.00
10-6010-60-6010	Operating Supplies	Chiragh Metal Trading, Inc	04/26/22	1002837	428.60
10-6010-60-6010	Flat Washers/Lock Nuts for Shop	Clark-Devon Hardware Co.,	04/27/22	476980	300.14
10-6010-60-6020	Gasoline & Oil	DuPage County Public Works	05/18/22	2022-10F	6,872.42
10-6010-60-6040	Supplies-Equipment	Chiragh Metal Trading, Inc	04/26/22	1002837	109.92
Total For Dept 6010 Public Works					25,969.07
Total For Fund 10 General Fund					70,954.46
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	Boot Allowance	Robert Partee	04/27/22	04/27/22	150.00
51-6030-50-5030	Pump Center Alarm	AT&T	04/22/22	630325420904 Apr22	297.47
51-6030-50-5030	Telephone Land Line	Peerless Network, Inc.	04/15/22	515365	142.49
51-6030-60-6020	Gasoline & Oil	DuPage County Public Works	05/18/22	2022-10F	3,068.52
Total For Dept 6030 Water Operations					3,658.48
Total For Fund 51 Water Fund					3,658.48
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-50-5030	Telephone Land Line	Peerless Network, Inc.	04/15/22	515365	15.83
Total For Dept 6040 Sewer Operations					15.83
Total For Fund 52 Sewer Fund					15.83

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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 04/30/2022 - 04/30/2022
UNJOURNALIZED
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund Totals:					
Fund 10 General Fund					70,954.46
Fund 51 Water Fund					3,658.48
Fund 52 Sewer Fund					15.83
Total For All Funds:					74,628.77

VILLAGE OF BURR RIDGE

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 6/13/2022

PAYMENT DATE: 6/14/2022

FISCAL 22-23

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	\$ 210,210.10	\$ 210,210.10
23	Hotel/Motel Tax Fund	33,815.17	33,815.17
51	Water Fund	10,783.26	10,783.26
61	Information Technology	541.77	541.77
	TOTAL ALL FUNDS	<u>\$ 255,350.30</u>	<u>\$ 255,350.30</u>

PAYROLL

PAY PERIOD ENDING June 3, 2022

	TOTAL PAYROLL
Administration	\$ 21,923.91
Finance	1,724.99
Police	116,378.69
Public Works	29,416.39
Water	25,756.33
Sewer	10,036.23
TOTAL	<u>\$ 205,236.54</u>
GRAND TOTAL	<u><u>\$ 460,586.84</u></u>

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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 06/13/2022 - 06/13/2022
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 0000 Assets, Liabilities, Fund Bal					
10-0000-22-2200	Subdivision Impact Fee for Highl Pleasantdale Park District		05/16/22	05/16/22	33,669.48
10-0000-22-2200	Subdivision Impact Fee for Highl Pleasantdale School Dist.		05/16/22	05/16/22	16,914.96
Total For Dept 0000 Assets, Liabilities, Fund Ba.					50,584.44
Dept 0300 Revenues					
10-0300-31-3110	Refund of Liquor License Fee FY2 Kohler Company		05/26/22	05/26/22	2,000.00
10-0300-36-3690	Parkway Rep. (Veh. Citation, IRM Premier Landscape Contract		05/19/22	123799	3,930.00
Total For Dept 0300 Revenues					5,930.00
Dept 1010 Boards & Commissions					
10-1010-40-4040	Chicago Tribune 4 weeks	Chicago Tribune	05/11/22	05/11/22	27.72
10-1010-40-4040	2022-2023 Conference Membership	DuPage Mayors & Managers C	05/13/22	11367A	5,650.13
10-1010-40-4040	FY22-23 Membership Application	Municipal Clerks of DuPage	06/01/22	06/01/22	40.00
10-1010-40-4042	Business Meeting 2022	DuPage Mayors & Managers C	05/18/22	11413A	40.00
10-1010-50-5025	Mailing Services - 6377 Pieces	Grasso Graphics, Inc.	05/24/22	31911	632.62
10-1010-80-8010	PW Week Public/Employee Material	American Public Works Assr	05/06/22	259074	493.75
10-1010-80-8010	Retirement Party Tejkowski	Brookhaven Marketplace	05/05/22	048483	325.24
10-1010-80-8010	Oak Leaf Newsletter printing - 7	Grasso Graphics, Inc.	05/24/22	31911	8,732.11
10-1010-80-8010	Retirement Party Supplies	Party City	05/09/22	019147	25.00
10-1010-80-8010	Lunch w/ Engineer Intern	Patti's Sunrise Cafe	05/09/22	353877	65.00
10-1010-80-8010	Meeting	Starbucks Coffee Company	05/19/22	722171	4.39
10-1010-80-8010	Meeting with Trustee Mital	Stix & Stones	05/18/22	086395	47.98
10-1010-80-8010	Refreshments	Walgreen's	05/03/22	04572235145522050303	25.89
10-1010-80-8025	DC Assessment Refreshments	Brookhaven Marketplace	05/17/22	565774	22.78
10-1010-80-8025	BFPC Lunch	Yolk	05/17/22	1603	88.76
Total For Dept 1010 Boards & Commissions					16,221.37
Dept 2010 Administration					
10-2010-40-4040	Subscription	Crains Chicago Business	05/17/22	05/17/22	15.00
10-2010-40-4040	ILCMA Corporate Membership	ILCMA	05/16/22	16602	395.00
10-2010-40-4041	April 22 Sponsored Jobs	Indeed	05/01/22	61330725	71.22
10-2010-40-4042	DuPage Regional Business Outlook	Choose DuPage	05/10/22	05/10/22	500.00
10-2010-40-4042	Business Meeting 2022	DuPage Mayors & Managers C	05/18/22	11413A	40.00
10-2010-40-4042	Lunch with Dave	Patti's Sunrise Cafe	05/16/22	354617	45.22
10-2010-40-4042	Chamber Luncheon Walter/Weyant	Willowbrook/Burr Ridge	05/24/22	05/24/22	80.00
10-2010-50-5040	Printing	Grasso Graphics, Inc.	05/26/22	31914	155.32
Total For Dept 2010 Administration					1,301.76
Dept 4010 Finance					
10-4010-50-5020	GFOA Budget Book	Government Finance Officer	04/20/22	714339.00	345.00
10-4010-50-5020	Consulting WE 05/22 & 05/29	GovTemps USA, LLC	06/02/22	3972571	6,671.35
10-4010-50-5020	Consulting WE 05/08 & 05/15	GovTemps USA, LLC	05/19/22	3963903	6,848.10
10-4010-50-5025	Postage Finance	FedEx	05/11/22	7-752-27012	38.09
Total For Dept 4010 Finance					13,902.54
Dept 4020 Central Services					
10-4020-50-5085	Quarterly Lease of Postage Machi	Pitney Bowes Global Fin. S	05/27/22	3105510332	408.99
10-4020-60-6000	Office Supplies	Runco Office Supply	05/19/22	868437-0	205.73
10-4020-60-6000	Office Supplies	Runco Office Supply	05/27/22	869281-1	8.79
10-4020-60-6000	Office Supplies	Runco Office Supply	06/03/22	869844-0	196.61
10-4020-60-6010	Kitchen Coffee Supplies PW	Commercial Coffee Service,	05/16/22	401311	111.25
Total For Dept 4020 Central Services					931.37

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 4040 Information Technology					
10-4040-50-5020	Board Meeting Recordings May22	Garron, Fernando	05/29/22	05/29/22	650.00
10-4040-50-5020	IT Support	Orbis Solutions	05/27/22	5573060	18,253.75
10-4040-50-5020	Conference Room AV Upgrades	Orbis Solutions	05/31/22	5573061	4,582.98
10-4040-50-5020	IT Support	Orbis Solutions	06/01/22	5573098	2,775.00
10-4040-50-5020	IT Support	Orbis Solutions	06/01/22	5573105	50.00
10-4040-50-5020	IT Support	Orbis Solutions	06/01/22	5573107	820.00
10-4040-50-5020	IT Support	Orbis Solutions	05/02/22	5572960	475.00
10-4040-50-5020	Fortinet, Storage Backup, Cyber	Orbis Solutions	05/02/22	5572969	4,320.00
10-4040-50-5020	IT Support	Orbis Solutions	05/12/22	5573002	2,425.00
10-4040-50-5020	IT Support	Orbis Solutions	05/12/22	5573009	91.00
10-4040-50-5020	IT Support	Orbis Solutions	05/19/22	5573033	4,250.00
10-4040-50-5020	IT Support	Orbis Solutions	05/19/22	5573037	150.00
10-4040-50-5020	IT Support	Orbis Solutions	05/26/22	5573054	1,300.00
10-4040-50-5020	Remaining balance from initial c	Revize, LLC	05/23/22	13633	5,540.00
10-4040-50-5061	GIS Consulting May22	Cloudpoint Geospatial	04/30/22	3114	1,950.00
10-4040-50-5061	GIS Consulting Jun22	Cloudpoint Geospatial	05/31/22	3148	2,150.00
10-4040-50-5061	Pump Center	Comcast	05/19/22	8771201140533898 May	199.85
10-4040-50-5061	Contact Management	MAILCHIMP	04/25/22	12975157	28.90
10-4040-50-5061	Video Conferencing	Zoom Video Communications	05/01/22	145954694	14.99
Total For Dept 4040 Information Technology					50,026.47
Dept 5010 Police					
10-5010-40-4032	59012-019 Patrol Duty Gear Bag	Ray O'Herron	05/20/22	2196097	45.45
10-5010-40-4032	Patrol Bag Balance Over PO	Ray O'Herron	05/20/22	2196097	4.05
10-5010-40-4032	7581 Streamlight Stinger DS LED	Ray O'Herron	05/25/22	2196918	127.99
10-5010-40-4040	Roll Call News	Linda S. Pieczynski	05/07/22	54	116.00
10-5010-40-4042	Annual Membership for training	North East Multi-Regional	04/19/22	302158	2,565.00
10-5010-40-4042	Flight Change Fee for 2 Tickets	Southwest Airlines	04/25/22	4NOZTU (2)	182.00
10-5010-50-5020	Annual Dues for Task Force	DuPage MERIT	05/02/22	05/02/22	6,500.00
10-5010-50-5020	Fair Share contribution FY23	DuPage Metropolitan	03/04/22	03/04/22	14,040.00
10-5010-50-5020	Notary Gniech	Illinois Notary Discount F	05/05/22	05/05/22	56.00
10-5010-50-5025	Postage PD	Stamps.com	04/11/22	9495381-34687735	17.99
10-5010-50-5030	Police Phone Line	First Communications, LLC	06/05/22	123771455	566.47
10-5010-50-5030	Cell Phones Apr22	Verizon Wireless	05/13/22	9904722631	397.62
10-5010-50-5050	Repair at County Line/Carriage W	Pleasantview Fire Protecti	05/02/22	30002541	341.00
10-5010-50-5051	Repairs to Squad 1315	B & E Auto Repair Service	05/24/22	141903	1,463.77
10-5010-50-5051	Tire Repair	B & E Auto Repair Service	05/21/22	141891	23.00
10-5010-50-5051	Lube Oil & Filter	B & E Auto Repair Service	05/23/22	141899	51.90
10-5010-50-5051	Unit 1809 Maintenance	Public Safety Direct, Inc	05/26/22	99690	150.00
10-5010-50-5051	Repairs to Squad 1710	Willowbrook Ford	05/12/22	6372160	1,385.11
10-5010-60-6010	Operating Supplies Kitchen PD	Amazon.com Credit	05/04/22	111-49065053569849	26.13
10-5010-60-6010	Operating Supplies Kitchen PD	Amazon.com Credit	05/04/22	111-94485478314604	78.96
10-5010-60-6010	105L 0.082%Ethanol dry gas cylin	ILMO Products Company	05/04/22	01289671	225.42
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	05/03/22	5078756	41.72
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	05/01/22	43366270402	41.90
10-5010-60-6020	Fuel Purchases May22	Wex Bank	05/23/22	80980906	458.65
10-5010-60-6020	Gasoline & Oil	Wex Bank	05/23/22	80966932	74.00
Total For Dept 5010 Police					28,980.13
Dept 6010 Public Works					
10-6010-40-4032	3XL Long/short sleeve Hi-Vis shi	Amazon.com Credit	04/20/22	112-94916041637006q	44.11
10-6010-40-4032	2XL Long Sleeve Hi-Vis Class 3 s	Amazon.com Credit	04/20/22	112-94916041637006q	81.02
10-6010-40-4032	2XL Short Sleeve Hi-Vis Class 3	Amazon.com Credit	04/20/22	112-94916041637006q	78.62

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-40-4032	XL Long Sleeve Hi-Vis Class 3 Sh	Amazon.com Credit	04/20/22	112-94916041637006q	121.54
10-6010-40-4032	XL Short Sleeve Hi-Vis Class 3 s	Amazon.com Credit	04/20/22	112-94916041637006q	117.94
10-6010-40-4032	L Long Sleeve Hi-Vis Class 3 shi	Amazon.com Credit	04/20/22	112-94916041637006q	202.56
10-6010-40-4032	L short Sleeve Hi-Vis Class 3 sh	Amazon.com Credit	04/20/22	112-94916041637006q	196.56
10-6010-40-4032	Uniform rentals/cleaning	Breens Inc.	05/17/22	11216	88.13
10-6010-40-4032	Uniform rentals/cleaning	Breens Inc.	05/24/22	11358	82.52
10-6010-40-4032	Uniform rentals/cleaning	Breens Inc.	05/31/22	11513	74.94
10-6010-40-4041	April 22 Sponsored Jobs	Indeed	05/01/22	61330725	71.23
10-6010-40-4042	Expo Show Roadeo Registration	APWA Chicago Metro Chapter	05/06/22	05/06/22	70.00
10-6010-40-4042	APWA Chicago Metro Expo Roadeo	APWA Chicago Metro Chapter	05/06/22	57cpqk5y	100.00
10-6010-40-4042	Lunch for PW Employees	Jimmy Johns	05/03/22	34	195.44
10-6010-40-4042	APWA Chicago Expo & ROADeo	R & B Productions, Inc.	05/06/22	05/06/22	700.00
10-6010-40-4042	Refreshments	Walgreen's	05/05/22	06475217296422050503	25.89
10-6010-40-4042	Chamber Luncheon Beltran	Willowbrook/Burr Ridge	05/24/22	05/24/22	30.00
10-6010-50-5020	Elevator Reinspections	Elevator Inspection Service	05/24/22	108534	64.00
10-6010-50-5052	Rustic Acres Alarm Panel Service	Alarm Detection Systems, Inc.	05/17/22	SI-572527	15.16
10-6010-50-5052	RTU circuit board replaced	Dynamic Heating & Piping Co	05/13/22	204337	1,895.60
10-6010-50-5052	RTU replace controller , RR. sen	Dynamic Heating & Piping Co	05/17/22	204344	2,275.20
10-6010-50-5052	HVAC Systems Maint. Contract (Bi	Dynamic Heating & Piping Co	05/31/22	SM21006-2	3,462.02
10-6010-50-5053	Street Sweeping Cycle	LRS Holdings, LLC	05/15/22	PS453421	4,767.90
10-6010-50-5053	Special Event/Emergency Street S	LRS Holdings, LLC	05/15/22	PS453421	521.28
10-6010-50-5055	Maintenance-Signals	Meade Electric Company, Inc.	05/26/22	700626	313.18
10-6010-50-5055	Maintenance - Traffic Signals	Meade Electric Company, Inc.	05/31/22	700349	187.25
10-6010-50-5056	HD2000 Bluegrass	Central Sod Farms, Inc.	05/13/22	58565	293.76
10-6010-50-5058	Mat rentals - VH & PW	Breens Inc.	05/17/22	11217	26.50
10-6010-50-5058	Mat rentals - PD	Breens Inc.	05/24/22	11359	26.50
10-6010-50-5058	Mat rentals - VH & PW	Breens Inc.	05/31/22	11514	26.50
10-6010-50-5058	Special Cleanings at VH, PD, PW	Chi-Town Cleaning Services	06/06/22	3009	1,942.00
10-6010-50-5076	Plan Review Permit 22-121	B&F Construction Code Serv	05/23/22	59104	225.00
10-6010-50-5076	Building Review May22	Don Morris Architects P.C.	05/31/22	05/31/22	5,615.00
10-6010-50-5076	Inspections May22	Don Morris Architects P.C.	05/31/22	05/31/22	3,800.00
10-6010-50-5080	PW Sewer	Flagg Creek Water Reclamat	05/26/22	008917-000 May22	44.15
10-6010-50-5080	Public Works	NICOR Gas	05/11/22	22944400005 May22	662.53
10-6010-50-5080	Police Department	NICOR Gas	05/17/22	66468914693 May22	388.68
10-6010-50-5080	Rustic Acres	NICOR Gas	05/17/22	81110732419 May22	98.29
10-6010-50-5080	VH Garage	NICOR Gas	05/17/22	57961400009 May22	49.46
10-6010-50-5080	Village Hall	NICOR Gas	05/17/22	47025700007 May22	512.91
10-6010-50-5095	Mosquito abatement services - Ju	Clarke Environmental Mosqu	05/25/22	001024045	11,350.00
10-6010-60-6000	Office Supplies	Runco Office Supply	05/24/22	868786-0	44.97
10-6010-60-6010	Radio Strap & Duty Belt Holder	Amazon.com Credit	05/10/22	113-82028265417849	28.94
10-6010-60-6010	Gray NM PW Hose	Bristol Hose & Fittings, Inc.	05/26/22	3486770	172.91
10-6010-60-6010	Operating Supplies	Menards - Hodgkins	05/19/22	97335	82.22
10-6010-60-6040	Supplies-Equipment	Harlem Plumbing Supply	04/21/22	58164	89.21
10-6010-60-6043	4 yards of Sod	Hinsdale Nurseries, Inc.	05/19/22	1751344	16.40
10-6010-60-6043	Color Enhanced Mulch for Pkwy Tr	Tameling Industries	05/26/22	0166274	40.00
10-6010-60-6043	Topsoil	Tameling Industries	05/19/22	0165836	390.00
10-6010-60-6043	Topsoil	Tameling Industries	05/12/22	0165408	624.00
Total For Dept 6010 Public Works					42,332.02
Total For Fund 10 General Fund					210,210.10

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Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5069	Panicum Shenandoah	Midwest Groundcovers, LLC	05/19/22	1701305	77.50
23-7030-50-5069	Baptisia Bluberry Sundae	Midwest Groundcovers, LLC	05/19/22	1701305	256.25
23-7030-50-5069	Rudbeckia Goldstrum	Midwest Groundcovers, LLC	05/19/22	1701305	332.50
23-7030-50-5069	Stella De Oro daylily	Midwest Groundcovers, LLC	05/19/22	1701305	84.00
23-7030-50-5069	Baptisia Vanilla Creme	Midwest Groundcovers, LLC	05/19/22	1701305	256.25
23-7030-50-5069	Repair of Drip Zone South End Me	TCS Irrigation, Inc.	05/12/22	84777	196.44
23-7030-50-5069	Memorial Adjustments on Rotors	TCS Irrigation, Inc.	05/20/22	84780	80.00
23-7030-80-8010	Marketing, Communication, Design	Kaleidoscope Management Gr	05/31/22	1917	10,000.00
23-7030-80-8010	Marketing, Communication, Design	Kaleidoscope Management Gr	05/31/22	1912	5,800.00
23-7030-80-8012	Run the Ridge Promo Bag	4 Imprint	04/22/22	22788071	370.47
23-7030-80-8012	June 9, 2022 Concert Performance	And Beyond Music, LLC	05/24/22	05/24/22	1,300.00
23-7030-80-8012	Armed Forces Day Program	Bannerville USA Inc.	05/19/22	32225	808.00
23-7030-80-8012	Run the Ridge Supplies	Brookhaven Marketplace	05/09/22	05/09/22	41.60
23-7030-80-8012	July 23, 2022 Concert Performanc	Brooklyn Charmers, LLC	06/02/22	06/02/22	1,500.00
23-7030-80-8012	AFD Plaque	Crown Trophy	05/18/22	43113	72.00
23-7030-80-8012	AFD Supplies	Dollar Tree	05/12/22	048332	21.25
23-7030-80-8012	Run the Ridge Shirts	Four Corners CC & C, LLC	05/03/22	05/03/22	1,002.00
23-7030-80-8012	Armed Forces Day Program	Grasso Graphics, Inc.	05/18/22	31909	264.00
23-7030-80-8012	Run the Ridge	J4 Events, Tents & Rentals	05/03/22	17751	1,398.21
23-7030-80-8012	AFD Photography Services	Miguel Narvaez	05/21/22	05/21/22	450.00
23-7030-80-8012	July 7, 2022 Concert Performance	Mike Lavery	05/25/22	05/25/22	900.00
23-7030-80-8012	AFD Expenses	Pamela Foy	05/24/22	05/24/22	19.99
23-7030-80-8012	AFD Supplies	Party City	05/17/22	33	167.95
23-7030-80-8012	AFD Supplies	Party City	05/09/22	019147	18.90
23-7030-80-8012	Run the Ridge Post Event Meeting	Patti's Sunrise Cafe	05/17/22	354672	78.34
23-7030-80-8012	Restrooms (2 reg, 1 access, 1 ha	Service Sanitation, Inc.	05/09/22	8374426	895.00
23-7030-80-8012	Damage Waiver	Service Sanitation, Inc.	05/09/22	8374426	60.00
23-7030-80-8012	Run the Ridge Supplies	Target Store - Willowbrook	05/04/22	019842	14.52
23-7030-80-8012	Sound Engineering for Concert Se	UAP Enterprises LLC	05/23/22	1572	3,000.00
23-7030-80-8012	June 16, 2022 Concert Performanc	Walter F. Kissel	05/24/22	05/24/22	800.00
23-7030-80-8012	2022 Armed Forces Day Performanc	West Suburban Concert Banc	05/23/22	05/23/22	600.00
23-7030-80-8012	June 2, 2022 Concert Performance	Jeffrey M Philippe	05/25/22	05/25/22	2,000.00
23-7030-80-8050	Membership Dues	Choose Chicago	06/01/22	27580	950.00
Total For Dept 7030 Special Revenue Hotel/Motel					33,815.17
Total For Fund 23 Hotel/Motel Tax Fund					33,815.17
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	L short Sleeve Hi-Vis Class 3 sh	Amazon.com Credit	04/20/22	112-94916041637006q	196.56
51-6030-40-4032	L Long Sleeve Hi-Vis Class 3 shi	Amazon.com Credit	04/20/22	112-94916041637006q	202.56
51-6030-40-4032	3XL Long/short sleeve Hi-Vis shi	Amazon.com Credit	04/20/22	112-94916041637006q	44.11
51-6030-40-4032	XL Short Sleeve Hi-Vis Class 3 s	Amazon.com Credit	04/20/22	112-94916041637006q	117.94
51-6030-40-4032	XL Long Sleeve Hi-Vis Class 3 Sh	Amazon.com Credit	04/20/22	112-94916041637006q	121.54
51-6030-40-4032	2XL Short Sleeve Hi-Vis Class 3	Amazon.com Credit	04/20/22	112-94916041637006q	78.62
51-6030-40-4032	2XL Long Sleeve Hi-Vis Class 3 s	Amazon.com Credit	04/20/22	112-94916041637006q	81.02
51-6030-40-4032	Uniform rentals/cleaning	Breens Inc.	05/17/22	11216	83.80
51-6030-40-4032	Uniform rentals/cleaning	Breens Inc.	05/24/22	11358	81.63
51-6030-40-4032	Uniform rentals/cleaning	Breens Inc.	05/31/22	11513	90.05
51-6030-40-4042	Training & Travel Expense	Illinois Tollway	04/30/22	036433	40.00
51-6030-50-5020	(12) Coliform Samples	Envirotest Perry Laborato	05/16/22	22-135898	144.00
51-6030-50-5025	First Class & Marketing Mail	Postmaster	04/20/22	Permit #94	530.00
51-6030-50-5030	Water Modems	Verizon Wireless	05/13/22	9904722631	181.92

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Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-50-5051	Unit 60; Oil Ch, Tire Rotat, Bra Willowbrook Ford		05/12/22	6372188	842.05
51-6030-50-5067	Estate Wall 6" Random for WM Brk Tameling Industries		05/26/22	0166274	114.85
51-6030-50-5067	Estate Coping for WM Break Resto Tameling Industries		05/26/22	0166274	95.76
51-6030-50-5067	10.5 OZ Paverbond Tube for WM Br Tameling Industries		05/26/22	0166274	13.10
51-6030-50-5067	Topsoil Picked Up for WM Break R Tameling Industries		05/26/22	0166274	858.00
51-6030-50-5080	Well #4	COMED	05/17/22	0029127044 May22	583.59
51-6030-50-5080	Pump Center electricity	Dynegy Energy Services, LI	05/12/22	310428722051 May22	4,540.02
51-6030-50-5080	Pump Center	NICOR Gas	05/11/22	47915700000 May22	296.67
51-6030-50-5095	Lease Payment 07.01.22-06.30.23	Illinois Dept of Natural F	04/01/22	5421-1382	300.00
51-6030-50-5095	Utility Billing May22	Third Millennium Assoc. Ir	05/16/22	27737	1,145.47
Total For Dept 6030 Water Operations					10,783.26
Total For Fund 51 Water Fund					10,783.26
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	3XL Long/short sleeve Hi-Vis shi Amazon.com Credit		04/20/22	112-94916041637006q	22.06
52-6040-40-4032	2XL Long Sleeve Hi-Vis Class 3 s Amazon.com Credit		04/20/22	112-94916041637006q	40.52
52-6040-40-4032	2XL Short Sleeve Hi-Vis Class 3 Amazon.com Credit		04/20/22	112-94916041637006q	39.32
52-6040-40-4032	XL Long Sleeve Hi-Vis Class 3 Sh Amazon.com Credit		04/20/22	112-94916041637006q	60.76
52-6040-40-4032	XL Short Sleeve Hi-Vis Class 3 s Amazon.com Credit		04/20/22	112-94916041637006q	58.96
52-6040-40-4032	L Long Sleeve Hi-Vis Class 3 shi Amazon.com Credit		04/20/22	112-94916041637006q	101.28
52-6040-40-4032	L short Sleeve Hi-Vis Class 3 sh Amazon.com Credit		04/20/22	112-94916041637006q	98.28
52-6040-40-4032	Uniform rentals/cleaning	Breens Inc.	05/17/22	11216	24.85
52-6040-40-4032	Uniform rentals/cleaning	Breens Inc.	05/24/22	11358	32.63
52-6040-40-4032	Uniform rentals/cleaning	Breens Inc.	05/31/22	11513	32.79
52-6040-50-5030	Sewer Modems	Verizon Wireless	05/13/22	9904722631	30.32
Total For Dept 6040 Sewer Operations					541.77
Total For Fund 52 Sewer Fund					541.77

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
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		Fund Totals:			
		Fund 10 General Fund			210,210.10
		Fund 23 Hotel/Motel Tax Fund			33,815.17
		Fund 51 Water Fund			10,783.26
		Fund 52 Sewer Fund			541.77
					<hr/>
		Total For All Funds:			255,350.30