VILLAGE OF BURR RIDGE REGULAR MEETING - MAYOR & BOARD OF TRUSTEES VILLAGE HALL – BOARD ROOM

AGENDA

Monday, June 13, 2022 - 7:00 P.M.

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE
- 2. ROLL CALL

3. PRESENTATIONS AND PUBLIC HEARINGS

4. CONSENT AGENDA

All items listed with an asterisk are considered routine by the Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen requests, in which event the item will be removed from the Consent Agenda, discussed, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. <u>* Approval of Regular Board Meeting of May 23, 2022</u>
- B. <u>* Receive and File Plan Commission Meeting of June 6, 2022</u>

6. ORDINANCES

- A. <u>Consideration of an Ordinance Amending Section 25.09 of Chapter 25, Entitled</u> <u>"Liquor Control", of the Burr Ridge Municipal Code</u>
- 7. **RESOLUTIONS**

8. CONSIDERATIONS

- A. <u>Consideration of a Plan Commission Recommendation to Approve a Major</u> <u>Change and Amendment to the Cottages of Drew PUD (Ordinance #A-834-16-18)</u> (Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC)
- B. <u>* Approval of Engineering Services Contract with RJN Engineering for the IICP</u> <u>Assessment Study</u>

Public Comment Procedures: Public comments will be accepted in written or statement form prior to or during the meeting. Written public comments shall identify whether the comment is intended to address a specific agenda item or is intended for general public comment under Section 9 – Public Comment. Public comments may also be made during the meeting when discussing specific items on the agenda. Any person seeking to address the Board on topics not on the agenda may do so during Section 9 – Public Comment.

- C. <u>* Receive and File Resignation Letter from Accounting Analyst Preeti Goel</u>
- D. <u>* Approval to Create and Fill the Position of Utility Billing Analyst in the Finance</u> Department
- E. <u>* Approval of Vendor List Dated June 13, 2022, for the Fiscal Year 2021-2022 in</u> the Amount of \$74,628.77 for all Funds, Which Includes No Special Expenditures
- F. <u>* Approval of Vendor List Dated June 13, 2022, for the Fiscal Year 2022-2023 in the Amount of \$255,350.30 for all Funds, plus \$205,236.54 for the Pay Period Ending May 14, 2022 for a Grand Total of \$460,586.84, Which Includes No Special Expenditures</u>
- 9. PUBLIC COMMENTS
- 10. REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS
- 11. ADJOURNMENT NEXT MEETING MONDAY, JULY 11, 2022 @ 7:00PM

June 13, 2022 Board Meeting – Staff Summary

6A. Modification of Ordinance Amending Section 25.09 (Liquor Control)

Kohler voluntarily gave up its liquor license; as such, the Village should reduce the number of licenses in the applicable license class by one. Additionally, the ordinance includes a provision relating to the overall Liquor Code, wherein if licenses are no longer in use for any reason, the Code is automatically considered to be reduced by the number of licenses which are no longer in use. The purpose of this amendment is to ensure that no user could obtain a liquor license in the time between the disuse of a license and the Board's approval of amendments to the Liquor Code. The Board will continue to approve amendments to the Liquor Code while the legal status of a liquor license will now be clear upon approval of this ordinance on a proactive basis.

It is staff's recommendation: That the Ordinances be approved.

8A. <u>PUD Amendment – Cottages at Drew</u>

Please find attached a letter from the Plan Commission recommending approval of a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. The petitioner also requested approval of final engineering and landscaping plans as well as building elevations in accordance with the 2018 ordinance. After the request was remanded to the Plan Commission from the May 23, 2022, Board meeting, the Plan Commission held a public hearing on June 6, 2022, for the request. No members of the public spoke at the public hearing. The Plan Commission reaffirmed the previous recommendation of approval with the same seven conditions, which are included in the attached letter.

It is staff's recommendation: That the Board direct staff to prepare an ordinance to approve the special use and PUD amendment with conditions for the Cottages of Drew PUD.

8B. Engineering Services Contract

The FY2023 Sewer Fund budget includes \$280,000 to continue completion of the Inflow and Infiltration Control Program (IICP) required by the Metropolitan Water Reclamation District (MWRD), of which the Village is partially under said jurisdiction. The IICP provides a thorough assessment, problem identification, and repair or maintenance plan for the Village that helps to reduces problematic inflow and infiltration of stormwater into our sanitary sewage collection system. The MWRD, charged with reclamation and treatment of wastewater and flood abatement in Cook County, mandated the IICP as part of the Village's adoption of the MWRD's Watershed Management Ordinance in 2014. The Village's sanitary sewage collection system that is subject to IICP requirements includes only the neighborhoods in Cook County. The MWRD requires substantial completion of the Village's IICP by December 31, 2022. The Village started its IICP project in 2019 with a focus on high-priority areas, which are older neighborhoods having clay pipes that are susceptible to cracking and failures. The program was not completed in 2019 as a result of wet weather and early frost.

The COVID-19 pandemic precluded the program's resumption in FY2021, while the Chasemoor lift station emergency rehabilitation project became the Sewer Fund's focus in FY2022. In 2022, the IICP will include outstanding items in the high-priority areas such as smoke testing, as well as the Sanitary Sewer Evaluation Survey (SSES) for remaining Village sewers to include manhole inspections, sewer televising, smoke testing, dyed-water sampling, and lift station inspections. Completing the IICP in 2022 will provide a system-wide plan of sanitary pipe rehabilitation that will result in a reliable sewage collection system. RJN Group was awarded the 2019 contract for the IICP. With weather and pandemic-related cancellations, their contract was not renewed; however, this firm assisted the Village with design and project management on the 2021 Chasemoor sanitary sewage lift station rehabilitation. Therefore, the Water & Wastewater Division solicited RJN Group for a proposal to resume and complete the SSES that meets the MWRD requirements. RJN Group provided a thorough proposal that meets the Village's objectives and complies with the MWRD IICP obligations, at a cost not to exceed \$275,300. This amount is \$4,700 under the FY2023 budget for this mandated project.

It is staff's recommendation: That the contract be approved.

8C-D. Accounting Analyst Preeti Goel Resignation Letter & Utility Billing Analyst

Please find attached a resignation letter from Accounting Analyst Preeti Goel effective June 3, 2022. Staff recommends the creation of a "Utility Billing Analyst" position to replace this "Accounting Analyst" position. The Utility Billing Analyst position is organizationally critical due to its oversight of all Water and Sewer Fund receivables (about \$8 million in annual revenue) while also carrying significant public interaction in handling said bills. The new position will be full-time but have streamlined duties compared to the previous position with a lower comparative salary range. Staff projects that the Village will save approximately \$10,000 in the first fiscal year based upon the comparative costs of the old and new positions.

<u>It is staff's recommendation:</u> That the resignation letter be accepted and the position be created and filled.

8E. <u>Vendor List of June 13, 2022 – FY 2021-2022</u>

Attached is the vendor list dated June 13, 2022, for the fiscal year 2021-2022, in the amount of \$74,628.77, which includes no special expenditures.

It is staff's recommendation: That the FY2021-2022 June 13, 2022, vendor list be approved.

8F. <u>Vendor List of June 13, 2022 – FY 2022-2023</u>

Attached is the vendor list dated June 13, 2022, for the fiscal year 2022-2023, in the amount of \$255,350.30 for all funds, plus \$205,236.54 for payroll for the period ending May 14, 2022, for a grand total of \$460,586.84, which includes no special expenditures.

It is staff's recommendation: That the FY 2022-2023 June 13, 2022, vendor list be approved.

5A

<u>REGULAR MEETING</u> <u>MAYOR AND BOARD OF TRUSTEES</u> <u>VILLAGE OF BURR RIDGE</u>

May 23, 2022

<u>CALL TO ORDER</u> The Regular Meeting of the Mayor and Board of Trustees of May 23, 2022, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:00 p.m. by Mayor Gary Grasso.

<u>PLEDGE OF ALLEGIANCE</u> Mayor Gary Grasso lead the Pledge of Allegiance.

<u>ROLL CALL</u> was taken by the Village Clerk and the results denoted the following present: Trustees Franzese, Schiappa, Paveza, and Mital. Trustee Snyder gave advance notice that he would be participating remotely, pending Board approval. Trustee Smith gave advance notice that he would be out of town and unable to attend. Mayor Grasso was present. Also present were Village Administrator Evan Walter, Deputy Chief Marc Loftus, Public Works Director Dave Preissig, Community Development Director Janine Farrell, Village Attorney Mike Durkin, and Village Executive Assistant Pam Foy.

Mayor Grasso asked for a motion to allow Trustee Snyder to participate remotely as he had given advance notice of this request.

<u>Motion</u> was made by Trustee Mital, seconded by Trustee Schiappa, to approve Trustee Snyder's remote participation.

On Roll Call, Vote Was: AYES: 4 - Trustees Schiappa, Mital, Franzese, Paveza NAYS: 0 - None ABSENT: 1 - Trustee Smith ABSTAIN: 1 - Trustee Snyder There being four affirmative votes the motion carried.

PRESENTATIONS AND PUBLIC HEARINGS

There were no presentations or public hearings.

CONSENT AGENDA – OMNIBUS VOTE

Mayor Gary Grasso read the Consent Agenda and asked if any agenda item needed to be removed from the Consent Agenda. There was none.

<u>APPROVAL OF REGULAR BOARD MEETING MINUTES OF MAY 9, 2022</u> were approved for publication under the Consent Agenda by Omnibus Vote.

<u>RECEIVE AND FILE ECONOMIC DEVELOPMENT COMMITTEE MINUTES OF MAY 4,</u></u> <u>2022</u> were noted as received and filed under the Consent Agenda by Omnibus Vote.

<u>RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF MAY 16, 2022</u> were noted as received and filed under the Consent Agenda by Omnibus Vote.

APPROVAL OF AN ORDINANCE GRANTING AN AMENDMENT TO ORDINANCE #A-834-10-21 TO EXPAND THE SUBJECT USE AND A SPECIAL USE FOR A RESTAURANT OVER 4,000 SQUARE FEET WITH THE SALE OF ALCOHOLIC BEVERAGES (Z-04-2022: 308-312 BURR RIDGE PARKWAY: ROVITO) the Board, under the Consent Agenda by Omnibus Vote, Approved the Adoption of the Ordinance.

APPROVAL OF AN ORDINANCE GRANTING A VARIATION FROM SECTION IV.I.1 OF THE ZONING ORDINANCE TO PERMIT A DETACHED GARAGE IN THE SIDE BUILDABLE AREA (V-02-2022: 8311 FARS COVE – PANICO) the Board, under the Consent Agenda by Omnibus Vote, Approved the Adoption of the Ordinance.

ADOPTION OF RESOLUTION ACCEPTING CERTAIN SUBDIVISION IMPROVEMENTS AND ESTABLISHING A DEADLINE FOR COMPLETION OF OTHER IMPROVEMENTS FOR THE LAKESIDE POINTE PLANNED UNIT DEVELOPMENT (11650 BRIDEWELL DRIVE) the Board, under the Consent Agenda by Omnibus Vote, Approved the Adoption of the Resolution.

APPROVAL OF AWARD OF THE 2022 CRACK SEALING CONTRACT TO SKC CONSTRUCTION OF WEST DUNDEE THROUGH THE MPI JOINT BID IN THE AMOUNT OF \$79,977 the Board, under the Consent Agenda by Omnibus Vote, Approved the Award.

APPROVAL OF PURCHASE OF VEHICLE MODULES FROM FEDERAL SIGNAGE OF UNIVERSAL PARK IN THE AMOUNT OF \$22,240 the Board, under the Consent Agenda by Omnibus Vote, Approved the Purchase.

APPROVAL OF A CONTRACT EXTENSION FOR MANAGED GIS SERVICES WITH CLOUDPOINT GEOSPATIAL OF ROANOKE IN THE ANNUAL AMOUNT OF \$25,800 the Decide on deaths Concern Accords by Operities Note: A support of the Contract

Board, under the Consent Agenda by Omnibus Vote, Approved the Contract.

APPROVAL OF MAYOR GRASSO'S NOMINATION TO APPOINT JOHN MCCRACKEN AND ANABEL MCFARLIN TO THE STORM WATER MANAGEMENT COMMITTEE TO TERMS EXPIRING FEBRUARY 1, 2025 the Board, under the Consent Agenda by Omnibus Vote, Approved the Nominations.

APPROVAL TO REMAND A PETITION FOR SPECIAL USES, PUD AMENDMENT, AND VARIATIONS TO THE PLAN COMMISSION (Z-10-2022: 9115 KINGERY HIGHWAY – THORNTONS LLC) the Board, under the Consent Agenda by Omnibus Vote, Approved To Remand the Petition.

APPROVAL OF VENDOR LIST DATED MAY 23, 2022, FOR THE FISCAL YEAR 2021-22 IN THE AMOUNT OF \$255,777.10 FOR ALL FUNDS, PLUS \$198,177.38 FOR THE PAY PERIOD ENDING APRIL 30, 2022, FOR A GRAND TOTAL OF \$453,954.48, WHICH INCLUDES NO SPECIAL EXPENDITURES the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List for the Fiscal Year 2021-22 Dated May 23, 2022 plus Payroll for the Period Ending April 30, 2022.

APPROVAL OF VENDOR LIST DATED MAY 23 2022, FOR THE FISCAL YEAR 2022-23 IN THE AMOUNT OF \$186,414.65 FOR ALL FUNDS, PLUS \$261,255.55, FOR THE PAY PERIOD ENDING MAY 14, 2022 FOR A GRANT TOTAL OF \$447,670.20, WHICH INCLUDES NO SPECIAL EXPENDITURES the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List for the Fiscal Year 2022-23 Dated May 23, 2022, plus Payroll for the Period Ending May 14, 2022.

After reading the Consent Agenda, Mayor Gary Grasso asked for a motion to approve.

<u>Motion</u> was made by Trustee Schiappa, seconded by Trustee Mital, to approve the Consent Agenda – Omnibus Vote (attached as Exhibit A), and the recommendations indicated for each respective item be hereby approved.

Mayor Gary Grasso asked for any discussion from the Board and/or public. There were none.

On Roll Call, Vote Was:AYES:5 - Trustees Schiappa, Mital, Franzese, Paveza, SnyderNAYS :0 - NoneABSENT:1 - Trustee Smith

There being five affirmative votes the motion carried.

CONSIDERATION OF AN ORDINANCE AMENDING SECTION VIII.A.11 OF THE ZONING ORDINANCE REGARDING HOURS OF OPERATION FOR RESTAURANTS WITH LIQUOR LICENSES IN THE BUSINESS DISTRICTS (Z-09-2022)

Village Administrator Evan Walter reviewed two ordinances amending the Zoning Ordinance and Section 25 of the Municipal Code (Liquor Control) related to permitted hours of operation at restaurants in Business Districts with liquor licenses. Together, these ordinances create a unified regulatory framework governing permitted restaurant hours of operation. Approval of these

ordinances will allow such uses the right to operate until midnight on Sunday-Wednesday and 1:00 am on Thursday-Saturday (i.e. Thursday until 1:00 am on Friday, etc.).

Mr. Walter clarified that there are no exceptions to these ordinances. All permitted and special uses previously granted and PUD's approved for retail centers are overridden by these ordinances, meaning that all current and prospective businesses will operate under the same regulations. These ordinances align outdoor dining hours of operation with indoor dining at this time, but the language creating this alignment may be easily amended if hours of operation for outdoor dining are differentiated from indoor dining hours (the Board has already directed that outdoor hours of operation be studied by the Plan Commission) such as in any text amendment petition.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to approve the Consideration.

Mayor Gary Grasso asked for any discussion from the Board and/or public.

Trustee Snyder asked if Jonny Cabs or Capri will maintain their 2:00 am closing time, Mr. Walter confirmed both will be closing at 12:00 midnight -1:00 am going forward. Trustee Franzese asked if this would prevent businesses from petitioning for a 2:00 am closing, Mr. Walter said that option would not be possible at this time. Outdoor dining hours were mentioned and Mayor Grasso said that the intent is to have standard hours for outdoor dining and that all restaurants would have the same rules in the Village, with no exceptions.

Mayor Gary Grasso asked for any discussion from the public. There was none.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to approve the Consideration.

On Roll Call, Vote Was:

AYES: 5 - Trustees Paveza, Schiappa, Mital, Snyder, Franzese

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

There being five affirmative votes the motion carried.

CONSIDERATION OF AN ORDINANCE AMENDING SECTION 25.09 (CLASSES OF LICENSES-NUMBER OF LICENSES-HOURS) OF CHAPTER 25, ENTITLED "LIQUOR CONTROL," OF THE BURR RIDGE MUNICIPAL CODE

Village Administrator Evan Walter stated that this Consideration would cover the same hours as the previous agenda item pertaining to liquor licenses but related to the Municipal Code.

Mayor Gary Grasso asked for any discussion from the Board and/or public.

Trustee Franzese asked if the liquor license/code applied to packaged goods, and what time would liquor sales end for a gas station that is open 24 hours. Village Attorney Mike Durkin stated that this amendment did not impact anything other than restaurants. Deputy Chief Marc Loftus stated that packaged goods liquor sales currently end at 12:00 midnight.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to approve the Consideration.

On Roll Call, Vote Was:

AYES:5 - Trustees Paveza, Schiappa, Mital, Snyder, FranzeseNAYS :0 - NoneABSENT:1 - Trustee SmithThere being five affirmative votes the motion carried.

CONSIDERATION OF AN ORDINANCE AMENDING CHAPTER 1, ENTITLED "GENERAL PROVISIONS", OF THE BURR RIDGE MUNICIPAL CODE WITH REGARD TO DEBTS OWED TO THE VILLAGE

Village Administrator Evan Walter said that as the Village developed its adjudication program since inception at the start of 2021, the number of property owners owing monies to the Village has grown in parallel. In certain cases, property owners owing significant sums of money to the Village have attempted to obtain services such as building permits or liquor licenses; however, there is currently no legal mechanism in place to compel property owners to pay their debts owed to the Village prior to obtaining a permit or license. This ordinance would create said mechanism, with property owners being required to settle any debts above \$100 to become permitted to obtain a permit or license through the Village.

Mayor Gary Grasso asked for any discussion from the Board and/or public. There were none.

Motion was made by Trustee Mital, seconded by Trustee Snyder, to approve the Consideration.

On Roll Call, Vote Was:

AYES: 5 - Trustees Mital, Snyder, Franzese, Schiappa, Paveza

NAYS : 0 - None

ABSENT: 1 - Trustee Smith

There being five affirmative votes the motion carried.

CONSIDERATION OF A PLAN COMMISSION RECOMMENDATION TO APPROVE A MAJOR CHANGE AND AMENDMENT TO THE COTTAGES AT DREW PUD (ORDINANCE #A-834-16-18) (Z-15-2022:7950 DREW AVENUE -- PERINO/JARPER PROPERTIES LLC)

Community Development Director Janine Farrell gave an overview of the Plan Commission recommendation to approve a special use and PUD amendment requested by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD by approximately 1% and increase the garage area for the proposed homes. The Plan Commission held a public hearing on May 16, 2022 for the request. The Cottages of Drew PUD was previously approved in 2018, but the petitioner is now requesting to construct three-car garages on six of the eight homes instead of two-car garages. This increase in garage floor space was the sole reason for the reduction of the open space on the property, thus requiring a major change to the PUD. The petitioner also requested approval of final engineering and landscaping plans as well as building elevations in accordance with the 2018 ordinance. There were six members of the public who spoke in objection to the request at the public hearing, expressing concerns about drainage in the area and the impact the development may have on that situation. The Plan Commission recommended unanimous approval with seven conditions. Ms. Farrell said that the stormwater detention volume requirement was increased to accommodate more than 20% of the minimal requirement. The Petitioner was present and confirmed that it was 30%.

Mayor Gary Grasso asked for any discussion from the Board and/or public.

Trustee Franzese asked what was driving the need for homes with a three-car garage when most of the recent subdivisions have two car garages. Property developer Anthony Perino of Jarper Properties said that in their discussions, marketing conditions dictated a preference for three car garages. Trustee Franzese also asked if there was living space above the garage and it not, could it be converted to living space as there are windows above the garage in the renderings. The Petitioners stated that there is no living space above the garage. Trustee Franzese said that the homes with three car garages look more like garages with living space attached and not homes with garages attached. The flood plain was also discussed, and it was confirmed that DuPage County and Army Corps signed off on the flood plain storage.

Trustee Paveza said that the property had been in development for five years, with seven items coming back from the Plan Commission requesting compliance. He asked the developers if they were confident that they could proceed from here and not have more concerns related to compliance from the Plan Commission or Village. Trustee Snyder stated that given the longevity and issues related to this project, he was not planning to support it.

Trustee Franzese asked how the Plan Commission responded to some of the questions asked at this meeting. Ms. Farrell said that a few commissioners expressed concern about the garages, but they ultimately voted to approve the request as those houses were not visible from Drew Avenue. She said that potential livable space above the garages was not a concern and that the homes would be restricted to a certain amount of livable space, with the plans specifying a predetermined square footage.

Mayor Grasso asked that the developer be transparent so that potential buyers are aware that they cannot develop the space above the garage into livable space. Ms. Farrell said that could be added as a condition. She added that the Plan Commission had the same sentiment as the Board and also that the development must contain drainage to itself and not impact flooding in the area.

Joanne Palmasano, a Burr Ridge resident, attended Plan Commission meeting and expressed concern about the proximity of the homes to each other in the development and also about the lack of trees and plants that are on the perimeter of the development in the renderings. Mayor Grasso clarified that the trees and plants planned for the site would need to come back to the Board for review down the line. Village Administrator Evan Walter added that the development was also changed from a straight bowling alley format street to a cluster, and the Plan Commission approved the cluster, curved road so that the homes would not immediately be visible from Drew Avenue. Trustee Franzese added that perhaps the surrounding trees could be conifers which would not lose leaves in winter.

Ms. Palmasano also expressed concern that one of the Plan Commissioners had asked about purchasing a home with a three-car garage. The developer confirmed this was the case, but also said that the three-car garage was based on market analysis and discussions with brokers. Ms. Palmasano was also concerned that the homes appeared to be very close to each other, and Mayor Grasso confirmed that the homes were at least 20 feet apart. Trustee Franzese confirmed this was the bare minimum requirement for the Village.

Mayor Grasso said that the Board needed clarity from the Plan Commissioner involvement related to the three-car garage with the Commissioner in question prior to further discussion and recommended that there be a motion to remand to the Plan Commission. Trustee Franzese said he was not happy with the proposed development and could not support at this time as it had too many homes on the land. Trustees Schiappa and Paveza said it was a challenging site and agreed that it was important to get clarity on the Plan Commission vote and possible involvement. Trustee Snyder said he would not support the proposal as submitted and did not want more impact on the land.

Mayo Grasso added that he needed more information on the involvement of Mike Stratis, the Plan Commissioner involved in the discussion, and that Mayor Grasso has a lot of respect for him, but wants due diligence done since this was brought up by a resident.

<u>Motion</u> was made by Trustee Paveza, seconded by Trustee Franzese, to remand this Consideration to the Plan Commission.

On Roll Call, Vote Was:AYES:3 - Trustees Paveza, Schiappa, MitalNAYS :2 - Trustees Franzese, SnyderABSENT:1 - Trustee SmithThere being three affirmative votes the motion carried.

PUBLIC COMMENT

Mayor Gary Grasso asked for any public comment. There was none.

REPORTS AND COMMUNICATIONS

Trustee Mital congratulated Community Engagement Analyst Hannah Weyant and the Village staff for the Armed Forces Day Event on May 21. Grasso agreed and commended Ms. Weyant and the Memorial Veterans Committee, stating that the keynote speaker, Captain Smith gave a great speech. He said that Burr Ridge is about the only village celebrating Armed Forces Day in this way to celebrate our current men and women in the military. He asked that the Veterans Memorial Committee get the resources that it needs to continue making this event a success.

Trustee Mital mentioned that the Village Concerts will start on June 2, featuring the Fortunate Sons, and will run through the summer on Thursdays.

ADJOURNMENT

Mayor Gary Grasso asked for a motion to Adjourn the Board Meeting at 8:24 pm.

Motion was made by Trustee Paveza, seconded by Trustee Schiappa, to Adjourn. The Board unanimously approved.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Susan Schaus Village Clerk Burr Ridge, Illinois

APPROVED BY the President and Board of Trustees this _____ day of _____, 2022.

VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS MINUTES FOR REGULAR MEETING OF JUNE 6, 2022

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT:7 – Irwin, Broline, Stratis, Morton, McCollian, Petrich, and Trzupek**ABSENT**:1 – Parrella

Community Development Director Janine Farrell was also present.

II. APPROVAL OF PRIOR MEETING MINUTES – MAY 16, 2022

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Petrich to approve the minutes of the May 16, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES:6 – Morton, Petrich, Stratis, Broline, Trzupek, and McCollianNAYS:0ABSTAIN:1 – Irwin

MOTION CARRIED by a vote of 6-0 with one abstention.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact [REMANDED BACK FROM MAY 23, 2022 VILLAGE BOARD MEETING]

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. The petition was remanded from the May 23, 2022 Village Board meeting back to the Plan Commission.

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell clarified that a resident commented during the May 23, 2022 Village Board meeting that a statement made by one of the Commissioners on May 16, 2022 may have influenced other Commissioners' voting. The Board remanded the petition back to the Plan Commission to ensure that there was no undue influence.

Since the May 23rd meeting, updated landscape plans have been provided, including new evergreen trees on the western property line, trees have been relocated to minimize impact with the retaining walls, and the fence rail on the retaining wall was eliminated. Currently five homes are shown to have three-car garages, not six as originally submitted. The site plan now shows the open space is 84% instead of 88.5% which is a reduction of 4.5%. In 2018, the petitioner was to provide 20% stormwater retention above the ordinance regulations. It is currently slightly under 30%. The Commission may wish to move forward with the original recommendation or take a new vote on the petition.

Chairman Trzupek confirmed that the Board was concerned about landscaping and undue influence or improper proceedings which is why the petition was remanded. Chairman Trzupek stated that the Commissioner was transparent at the meeting relaying that he had a conversation with the petitioner. Mrs. Farrell clarified that at the Board meeting, only one member of the public spoke and commented on the petition. The individual stated that Commissioner Statis had a phone conversation with the petitioner about 18 months ago asking why the proposed homes do not have three-car garages. This was reflected in the minutes. The person at the public hearing took this to mean that Commissioner Stratis was interested in purchasing one of the homes and was the reason behind this petition coming forward again with the three-car garages as part of the proposal.

Chairman Trzupek understood the resident's concern but stated that Commissioner Stratis was very transparent. Chairman Trzupek was not clear why the petition was remanded. Mrs. Farrell commented that the Board wanted to ensure upmost transparency to the public and that no one was influenced by any comments made.

Chairman Trzupek asked for public comment. There was none.

Nick Patera, representative for the petitioner, agreed what staff presented but clarified that they are still petitioning to have up to six of the eight homes with three-car garages, not five.

Commissioner Morton generally stands by his comments that were made May 16th and had little to add aside from the comments that were made at the Board meeting about side-load vs. front-load garages. Commissioner Morton did not find guidance or ordinance documents that said there was a requirement for front-load or side-load. He is currently satisfied and his position doesn't change.

Commissioner Irwin did not have comments or questions.

Commissioner Petrich noted that on the drawings there was a minimum distance between 20' to 22'5" with up to six three-car garages between houses. The petitioner confirmed the measurements.

Commissioner Broline stated that Commissioner Stratis was transparent and he took the comments made as if he was a potential client, not an actual customer.

Commissioner McCollian did not have comments or questions.

Commissioner Stratis stated that he made a comment, has since bought another property, and has had no conversations with the petitioner for over 18 months.

Nick Patera confirmed for Chairman Trzupek that nothing has changed for the stormwater calculations.

Commissioner Morton asked for clarification on the stormwater percentage. Bill Zalewski, representative for the petitioner, stated that the stormwater percentage is about 29.5% over the requirement.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Broline to close the public hearing for Z-15-2022.

ROLL CALL VOTE was as follows:

AYES:6 – Irwin, Broline, McCollian, Morton, Petrich, and TrzupekNAYS:0ABSTAIN:1 – Stratis

MOTION CARRIED by a vote of 6-0 with one abstention.

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner McCollian to reaffirm the previous recommendation to approve a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering plans, landscaping plans, and building elevations, and Findings of Fact, subject to the following conditions:

- 1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
- 2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.
- 3. The proposed fencing on the retaining walls shall be eliminated.
- 4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
- 5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
- 6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
- 7. No more than six of the eight homes shall have three-car garages.

ROLL CALL VOTE was as follows:

AYES:6 – Broline, McCollian, Morton, Petrich, Trzupek, and IrwinNAYS:0ABSTAIN:1 – Stratis

MOTION CARRIED by a vote of 6-0 with one abstention.

Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]

Chairman Trzupek asked for a summary of the petition. Mrs Farrell confirmed that this was first heard on April 18, 2022 at the Plan Commission meeting. The text amendment is to define live entertainment and permit live entertainment as accessory to uses within the business district. The takeaways from the April 18th meeting were as follows. There was no formal consensus to keep live entertainment as a special use, but many Commissioners favored that. Previously, the Village Attorney stated that any text amendment wouldn't apply to existing establishments or those with existing special uses, but he has relooked at this and crafted language so that the text amendment would apply to those establishments within PUDs and for those with existing special uses. The proposed definition of live entertainment is unchanged since April 18th. The Zoning Ordinance definition of a restaurant was added to the packet. A new #12 has been added within Section 8 which addresses the floorplan and applying the amendment to establishments within PUDs and with existing special uses.

Chairman Trzupek confirmed with Mrs. Farrell that most existing establishments only offer live music as entertainment and that this text amendment would apply to establishments like Are We Live.

Chairman Trzupek asked for public comments.

Mark Thoma, 7515 Drew, stated that live entertainment should remain a special use since there are many restaurants that back up to residential areas.

Nick Esposito, representative for Capri and Are We Live, stated that he is happy with the text amendment.

Commissioner Stratis stated that 49% of floor space for live entertainment is too large and questioned if there is a better standard for size. Commissioner Stratis did not support this language applying to other businesses outside of the Business Districts like Edgewood Valley Country Club or the Marriott.

Commissioner McCollian did not support 49% floor space dedicated to live entertainment.

Commissioner Broline preferred keeping live entertainment as a special use.

Commissioner Petrich stated that live entertainment should be a special use consistent with Clarendon Hills, Hinsdale, and Western Springs. Commissioner Petrich confirmed with Mrs. Farrell that the live entertainment amendment does not include dancing which is separate within the Zoning Ordinance and that karaoke would be included. Commissioner Petrich wanted clarification that the pre-packaged food is related only to the wine boutique and that 49% is too high.

Commissioner Irwin supports the comments from the Commissioners and did not like the first sentence of the proposed definition since that opens to other uses. Commission Irwin favors a special use for live entertainment.

Commissioner Morton supports keeping live entertainment as a special use. Commissioner Morton confirmed with staff the special event provision within the Noise Ordinance.

Chairman Trzupek would support making live entertainment a permitted accessory use or keep as a special use. Chairman Trzupek agreed on modifying the definition and that 49% floor space is too large since only a couple hundred square feet is needed to accommodate a stage.

Commissioner Stratis would support live entertainment as an accessory use and defining how much space should be dedicated to the live entertainment space.

Nick Esposito stated that he has a lot of performers in his family. Mr. Esposito stated that the definition could include words like theatrical or within the realm of performing arts.

Chairman Trzupek confirmed that the definition needs to be amended and the amount of floor space dedicated to the use.

There was discussion amongst the Commissioners about live entertainment floor space and that it should exclude room for dancing.

Mark Thoma stated this should be a special use because it is so difficult to determine how much space is needed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to continue the public hearing for Z-08-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES:7 – Irwin, Morton, Petrich, Broline, Stratis, McCollian, and TrzupekNAYS:0

MOTION CARRIED by a vote of 7-0.

Z-12-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that this is related to commercial vehicles within residential districts. Commercial vehicles are prohibited from being parked overnight and outside. Only two commercial vehicles may be stored inside a fully enclosed building or structure for a single family detached home. Only one commercial vehicle can be stored indoors for duplexes, multifamily, or townhomes. Mrs. Farrell stated that within those existing regulations, there are five criteria which define a commercial vehicle. One criterion

which poses a challenge is, "any vehicle with attached axillary equipment including, but not limited to, plows, equipment, rafts, storage boxes or lockers." A storage box or locker doesn't necessarily have to be used for commercial purposes, sometimes storage boxes are used for personal storage. There are options for the Commission to pursue including striking that provision completely, removing portions of the provision which seem to be problematic such as the racks, storage boxes or lockers, or requiring one other qualifier from that section. For example, if you have a storage box and a business logo then you are defined as a commercial vehicle.

Chairman Trzupek asked for public comment.

Alice Krampits, 7515 Drew, asked what the purpose of the amendment was and if there was a particular problem going on in the town. Mrs. Farrell stated there was a code enforcement complaint about a pickup truck vehicle which had a storage box for personal use. Ms. Krampits stated that the rules sound like they belong in a subdivision that has a homeowner's association and that they are extremely restricting. Ms. Krampits asked about Uber and if that would be a commercial vehicle since they have stickers in the windows. Mrs. Farrell stated that would be considered a commercial vehicle if there was a business logo. Ms. Krampits does not think that utility boxes on the back of pick-up trucks is a big deal. Ms. Krampits stated that the regulation for vans without windows or seats is too restrictive.

Commissioner Morton also objects to vans without windows being prohibited and that he does not have an issue with pick-up trucks. He stated there are some challenges distinguishing commercial from private use and if there was a way to check registration or insurance.

Commissioner Irwin agreed to remove the storage lockers and boxes but not racks. Commissioner Irwin supported the idea to check registration.

Commissioner Petrich prefers keeping the regulation as is. Commissioner Petrich would support storage boxes or lockers that are below the sides of the truck or under the cover.

Commissioner Broline questioned if there was a way to allow plows seasonally.

Commissioner McCollian supports removing storage boxes and lockers from the definition.

Commissioner Stratis supports removing storage boxes and lockers from the definition but did not support amending the provision regarding vans.

Chairman Trzupek confirmed that RVs are classified under a different provision of the Zoning Ordinance. Chairman Trzupek supported eliminating the storage boxes and lockers.

Commissioner Morton stated that the State of Illinois recognizes vans as passenger vehicles and that the restriction is an overreach.

By a show of hands, there were only three Commissioners who were in favor of eliminating the provision about vans.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Irwin to continue the public hearing for Z-12-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Morton, Irwin, Stratis, Broline, Petrich, Trzupek, and McCollian

NAYS: 0 - None

MOTION CARRIED by a vote of 7-0.

V. CORRESPONDENCE

There were no comments on the May 23, 2022 Board Report or April 2022 Building Report.

VI. OTHER CONSIDERATIONS

A. PC -02-2022: 10S381 Madison St. (Musa); Extraterritorial Review of Rezoning and Plat of Subdivision [FROM APRIL 4, 2022 MEETING BUT PETITIOIN WAS REVISED]

Review of a DuPage County rezoning request from R-1 Single Family to R-2 Single Family with variations for lot size on Lot 2 and Lot 3 from 40,000 sq. ft. to 36,000 sq. ft. and a proposed three-lot subdivision.

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that the proposed three-lot subdivision and rezoning was on the April 4th meeting but since that time, the request was amended. The petition is now proposing R-2 instead of R-3 and variations for two lots since they do not meet the minimum 40,000 sq. ft. minimum requirement. Mrs. Farrell read a statement from Jessica Infelise, Zoning Administration Coordinator with DuPage County Building & Zoning Department, "the petitioner stated that most of the unincorporated adjacent residential properties are R-1 single-family and that transitioning from R-1 to R-2 would make more sense than R-3 for the neighborhood and the presentation." Mrs. Farrell noted that was the reason for the change in the rezoning request, but that the three-lot subdivision itself is unchanged.

Chairman Trzupek understands that the area is more consistent from R-1 to R-2 but it is the same size lots which are really R-3. Chairman Trzupek did not support variations on the R-2 zoning and preferred to see proper R-3.

Commissioner Stratis agreed and questioned what the petitioner gained by rezoning to R-2.

Commissioners McCollian, Broline, Petrich, Irwin, and Morton did not have any comments.

Sherie DeDore, 10S420 Glenn Dr., lives across from the parcel. Ms. DeDore did not support R-3 since the lots could be made smaller. Ms. DeDore supports R-2 with variations since they cannot come back and re-subdivide the parcels smaller.

Chairman Trzupek clarified with Mrs. Farrell that Lots 2 and 3 would not meet R-3 standards if they were further divided, but Lot 1 might be able to be divided to create two R-3 lots.

Chairman Trzupek prefers the R-2 with variations after the public comments which were made. The Commissioners generally agreed to submit updated comments to DuPage County to that effect.

VII. PUBLIC COMMENT

Mark Thoma recommended an eyesore ordinance about commercial vehicles that are unsightly or contain construction materials.

VIII. FUTURE MEETINGS

Mrs. Farrell briefly listed the June 20 Plan Commission scheduled cases.

A. V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact

Request for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback.

B. Z-10-2022: 9115 Kingery Highway (Thorntons LLC) AMENDED PETITION; Special Uses, PUD Amendment, Variations, and Findings of Fact [REMANDED FROM MAY 23, 2022 VILLAGE BOARD MEETING]

Amended request for the automobile gasoline sale station to include 24-hour operation.

C. Z-16-2022: 6860 North Frontage Rd. (Action Behavior Centers); Special Uses and Findings of Fact

Requests special uses for a child care center and for a fence in a non-residential district.

D. Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Special Use, Variation, Planned Unit Development, and Findings of Fact

Requests to rezone the property, variations, and a PUD.

E. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text

Amendment and Findings of Fact [CONTINUED FROM MAY 16, 2022]

Due to case load for this agenda, staff requested that this be continued until July 18.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-11-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Morton, Stratis, Broline, Petrich, and Trzupek **NAYS:** 0 – None

MOTION CARRIED by a vote of 7-0.

F. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16, 2022]

Due to case load for this agenda, staff requested that this be continued until July 18.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-11-2022 until July 18, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Morton, Stratis, Broline, Petrich, and Trzupek **NAYS:** 0 – None

MOTION CARRIED by a vote of 7-0.

Chairman Trzupek noted that he will be out of town on June 20th. Commissioner Petrich confirmed that he will be in attendance and acting as Chair.

Commissioner Broline asked about public notice for the commercial vehicles text amendment. Mrs. Farrell stated that text amendment notifications are published in the newspaper and the agendas published online.

Chairman Trzupek asked about recordings of Plan Commission meetings being available online. Mrs. Farrell stated that this is being reviewed including cost estimates solicited on the potential to film the meetings.

IX. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 8:16 pm.

ROLL CALL VOTE was as follows:

AYES:7 – Irwin, Stratis, Morton, Petrich, Broline, McCollian, and TrzupekNAYS:0 – None

MOTION CARRIED by a vote of 7-0.

Respectfully Submitted:

Janine Farrell, AICP Community Development Director

ORDINANCE NO. ____-22

AN ORDINANCE AMENDING SECTION 25.09 OF CHAPTER 25, ENTITLED "LIQUOR CONTROL," <u>OF THE BURR RIDGE MUNICIPAL CODE</u>

WHEREAS, the corporate authorities of the Village of Burr Ridge (the "Village") are expressly authorized, pursuant to Section 4-1 of the Liquor Control Act of 1934 (235 ILCS 5/1-1) to determine the number, kind and classification of licenses for the retail sale of alcoholic liquor within the Village.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. Section 25.09, entitled "Classes of Licenses – Number of Licenses – Hours," of the Burr Ridge Municipal Code is hereby amended by amending the last paragraph thereof, as follows:

The number of Class "A" licenses issued within the Village shall be limited to one (1); the number of Class "B" licenses issued within the Village shall be limited to fivefour (54); the number of Class "C" licenses issued within the Village shall be limited to one (1); the number of Class "D" licenses issued within the Village shall not be limited; the number of Class "E" licenses issued within the Village shall not be limited; the number of Class "F" licenses issued within the Village shall be limited to one (1); the number of Class "G" licenses issued within the Village shall be limited to one (1); the number of Class "H" licenses issued within the Village shall be limited to ten (10); the number of Class "I" licenses issued within the Village shall not be limited; the number of Class "J" licenses issued within the Village shall be limited to zero (0); the number of Class "K" licenses issued within the Village shall be limited to one (1); the number of Class "L" licenses issued within the Village shall be limited to one (1); the number of Class "M" licenses issued within the Village shall be limited to one (1); the number of Class "N" licenses issued within the Village shall not be limited; the number of Class "O" licenses issued within the Village shall be limited to one (1); the number of Class "P" licenses issued within the Village shall be limited to one (1); the number of Class "P-1" licenses issued within the Village shall be limited to one (1); the number of Class "Q" licenses issued within the Village shall be limited to zero (0); the number of Class "R" licenses issued within the Village shall be limited to one (1); the number of Class "S" licenses issued within the Village shall be limited to zero (0); the number of Class "T" licenses issued within the Village shall be limited to one (1). The number of Class "U" licenses issued within the Village shall be limited to one (1). If any license of any class is not renewed or if any license of any class is surrendered, canceled, revoked, or otherwise terminated, the total number of liquor licenses of that class authorized to be issued by the Village herein shall be automatically reduced, accordingly.

Section 2. This Ordinance shall be in full force and effect upon its adoption and approval as provided by law.

ADOPTED this 13th day of June, 2022.

AYES:

NAYS:

ABSENT:

APPROVED this 13th day of June, 2022.

ATTEST:

Mayor

Village Clerk





MAYOR GARY GRASSO VILLAGE CLERK SUE SCHAUS VILLAGE ADMINISTRATOR EVAN WALTER

June 13, 2022

Mayor Gary Grasso and Board of Trustees 7660 County Line Road Burr Ridge, Illinois 60527

Re: Z-15-2022: 7950 Drew Ave. (Perino/Jarper Properties LLC); Special Use, PUD Amendment, and Findings of Fact

Dear Mayor and Board of Trustees:

After due notice as required by law, the Plan Commission held a public hearing on May 16, 2022. The petitioner, Anthony Perino of Jarper Properties LLC, stated that the purpose of his request was to amend a previously approved Planned Unit Development (PUD). On September 10, 2018, the petitioner was approved for a PUD and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. The petitioner now wishes to provide the option on six of the eight homes to have a three-car garage instead of a two-car garage. This increase in the floor area of the homes resulted in a reduction of the open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. One of the conditions of the 2018 PUD approval required that "final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees." In addition to the major change and PUD amendment request, the petitioner was requesting approval of the final engineering, landscaping plans, and building elevations. The Plan Commission transmitted its recommendation to approve a special use, PUD amendment, final engineering, landscaping plans, and building elevations, with conditions, to the Board of Trustees.

This recommendation was on the May 23, 2022 Board of Trustees meeting agenda for consideration. During public testimony, a resident stated that a Plan Commissioner discussed communication he had with the petitioner about threecar garages being offered as an option on the proposed homes and that he may have been the impetus behind the PUD amendment. To ensure that Commissioners were not unduly influenced by the statement and that there was no question about improper proceedings, the Board remanded the petition back to the Commission. The Board also requested that additional evergreen landscaping be added to the western property line.

The Plan Commission held a public hearing on June 6, 2022 on the remanded petition. For the June 6 meeting, the petitioner updated the landscaping plan to include additional evergreens along the western property line. There was no public comment made at the meeting. The Plan Commission voted to reaffirm the prior recommendation with a vote of 6 to 0 with one abstention.

The Plan Commission *recommends that the Board of Trustees approve* a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering plans, landscaping plans, and building elevations, and Findings of Fact, subject to the following conditions:

- 1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
- 2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.

- 3. The proposed fencing on the retaining walls shall be eliminated.
- 4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
- 5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
- 6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
- 7. No more than six of the eight homes shall have three-car garages.

Sincerely,

Greg Trzupek, Chairman Plan Commission/Zoning Board of Appeals



Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

HEARING DATES:

May 16, 2022 and June 6, 2022 (remanded from May 23, 2022 Village Board meeting)

TO: Plan Commission Greg Trzupek, Chairman

FROM: Janine Farrell, AICP Community Development Director

PETITIONER: Anthony Perino, Manager of Jarper Properties LLC

PETITIONER STATUS: Property Owner

PROPERTY OWNER: Anthony Perino, Manager of Jarper Properties LLC

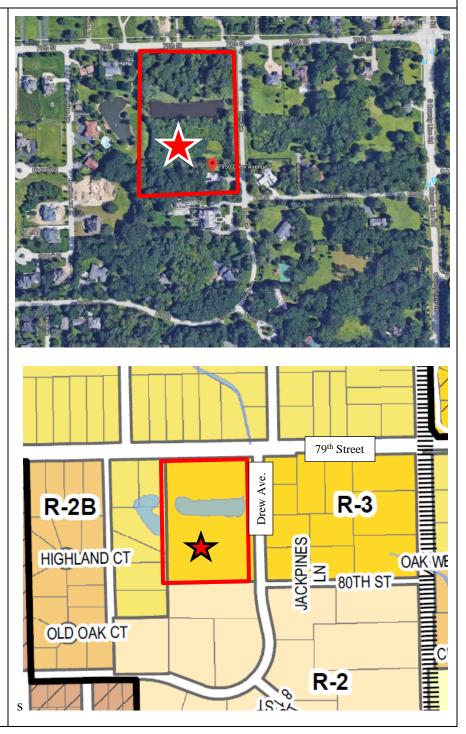
EXISTING ZONING: R-3 Residential PUD

LAND USE PLAN: Recommends Residential Uses

EXISTING LAND USE: Vacant Single-Family Residential

SITE AREA: 8.87 Acres

SUBDIVISION: Korinek's Owners



Staff Report and Summary Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Major Change and PUD Amendment, and Findings of Fact Page 2 of 3

At the May 16, 2022 Plan Commission meeting, the Commission unanimously approved special use and PUD amendment requests by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering, landscaping plans, and building elevations subject to the following conditions:

- 1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
- 2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.
- 3. The proposed fencing on the retaining walls shall be eliminated.
- 4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
- 5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
- 6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
- 7. No more than six of the eight homes shall have three-car garages.

This recommendation was on the May 23, 2022 Village Board meeting agenda for consideration. During public testimony, a resident stated that a Plan Commissioner commented about communication he had with the petitioner about three-car garages being offered as an option on the proposed homes and that he may have been the impetus behind the PUD amendment (see page 4 of the May 16, 2022 minutes). To ensure that Commissioners were not unduly influenced by the statement and that there was no question about improper proceedings, the Board remanded the petition back to the Commission. The Board also requested that additional evergreen landscaping be added to the western property line.

Since the May 16th Plan Commission meeting, the petitioner confirmed that the open space has been reduced from 88.5% to 84% which is a 4.5% reduction. The petitioner was previously required to provide over 20% stormwater detention volume beyond Ordinance requirements in 2018. According to the petitioner's engineer and the Stormwater Report, slightly under 30% additional stormwater detention volume is now being provided.

The petitioner submitted an abbreviated, revised plan set which includes:

- Updated landscape plan with new evergreen plantings on the western property line
- Relocated trees to minimize impact with the retaining walls
- Label reference to fence rail on the walls being eliminated
- Three car garage options are shown for five homes (#2, 3, 4, 5 & 6). Two car garage option would remain on homes #1 and 8.
- Side yard building separation dimensions noted.

The remainder of the submittal, which includes building elevations and a site plan, are unchanged from May 16, 2022. Digital versions of those plans are available on the Village's website under Plan Commission/Zoning Board of Appeals meeting packet materials.

Staff Report and Summary Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Major Change and PUD Amendment, and Findings of Fact Page 3 of 3

Findings of Fact and Recommendation

The petitioner prepared Findings of Fact which were previously adopted on May 16, 2022 and are attached as Exhibit A.

Since the Commission unanimously approved the request on May 16, 2022, the Commission may wish to take a new vote on the matter or vote to reaffirm the previous recommendation.

Appendix

Exhibit A – Petitioner's Materials and Findings of Fact

- Application and Findings of Fact
- Revised plan set



EXHIBIT A VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS RECEIVED APR 1 9.2022 VILLAGE OF BURR RIDGE

	GENERAL INFORMATION (to be completed by Petitioner)							
	PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES LIC-							
	STATUS OF PETITIONER: ANTHONY PERINO, MANAGER							
	PETITIONER'S ADRESS: 155 ANN ST. CLARENDON HILLS, IL 60514							
	ADDRESS OF SUBJECT PROPERTY: <u>1950 DREW AVE.</u>							
	PHONE: 630-850-91'70							
	EMAIL: aperino@jarperproperties/lc.com							
	PROPERTY OWNER: JARPER PROPERTIES LLC							
	155 ANN STREET PROPERTY OWNER'S ADDRESS: CLARENDON HILLS, IL 60514 PHONE: 630-850-9170							
	PUBLIC HEARING REQUESTED: X Special Use Rezoning Text Amendment Variation(s)							
	DESCRIPTION OF REQUEST:							
REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUID								
and the second s	OPEN SPACE REDUCTION OF 19% (MAJOR CHANGE IN P.U.D.) AND INCREASE OF 1.13% FOR IMPERVIOUS							
	COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (ININOR CHANGE IN P.4.D)							
PROPERTY INFORMATION (to be completed by Village staff)								
	PROPERTY ACREAGE/SQ FOOTAGE: $\frac{8.87}{386,377}$ EXISTING ZONING: <u>R-3</u> , P.U.D.							
	EXISTING USE/IMPROVEMENTS: VACANT							
	SUBDIVISION: THE COTTAGES OF DREW 7950 DREWAVE:							
	PIN(S) # 09-36-201-004-							
	The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.							
	Petitioner's Signature 4/19/2022 Date of Filing							



VILLAGE OF BURR RIDGE PLAN COMMISSION AND ZONING BOARD OF APPEALS

Consent to Install Public Notice Sign

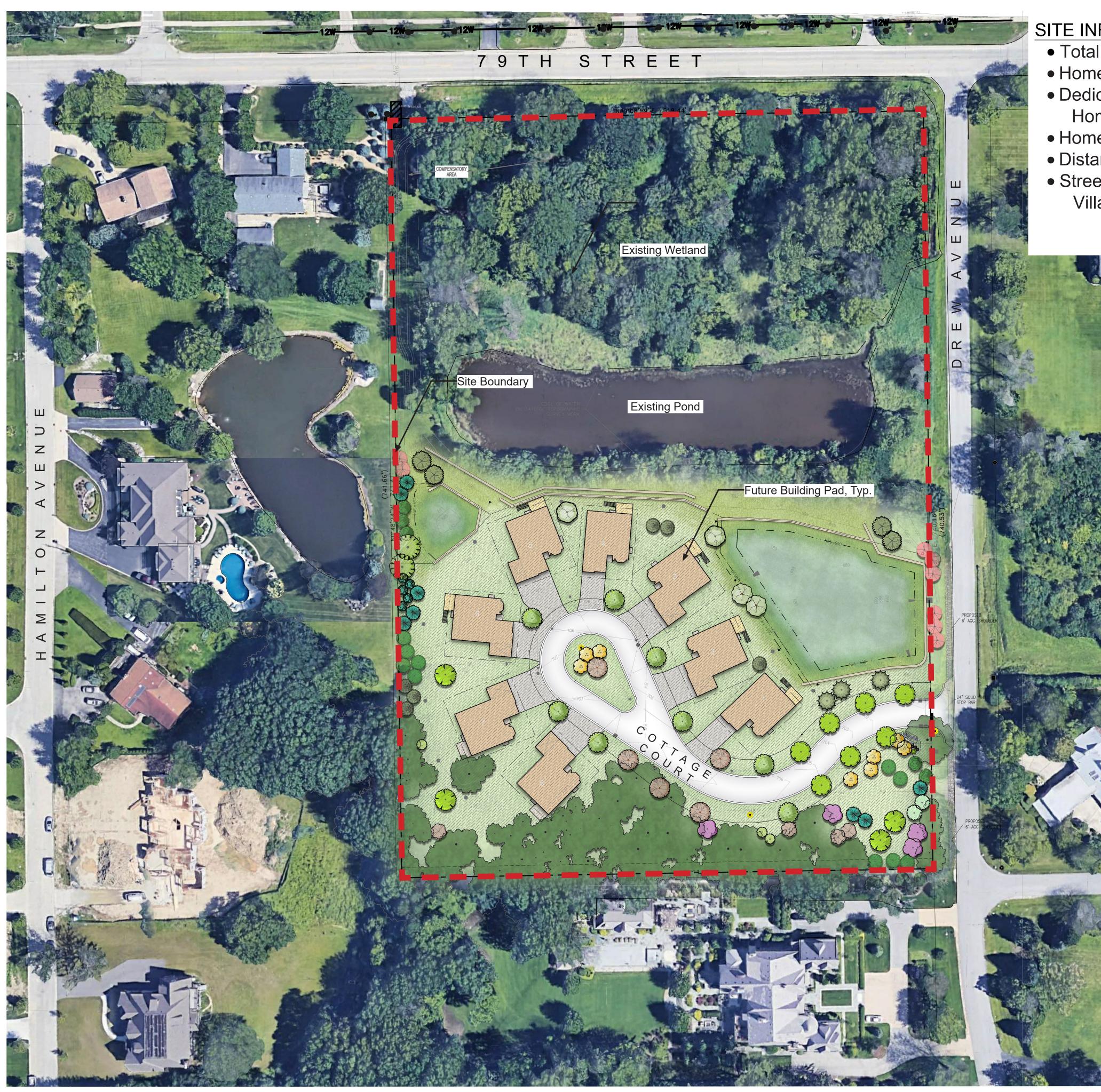
The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

Property Owner or Petitioner:

JARPER PROPERTIES LLC ERIND, MGR. (Print Name) (Signature)

1950 DREW AVENUE



SITE INFORMATION & NOTES:

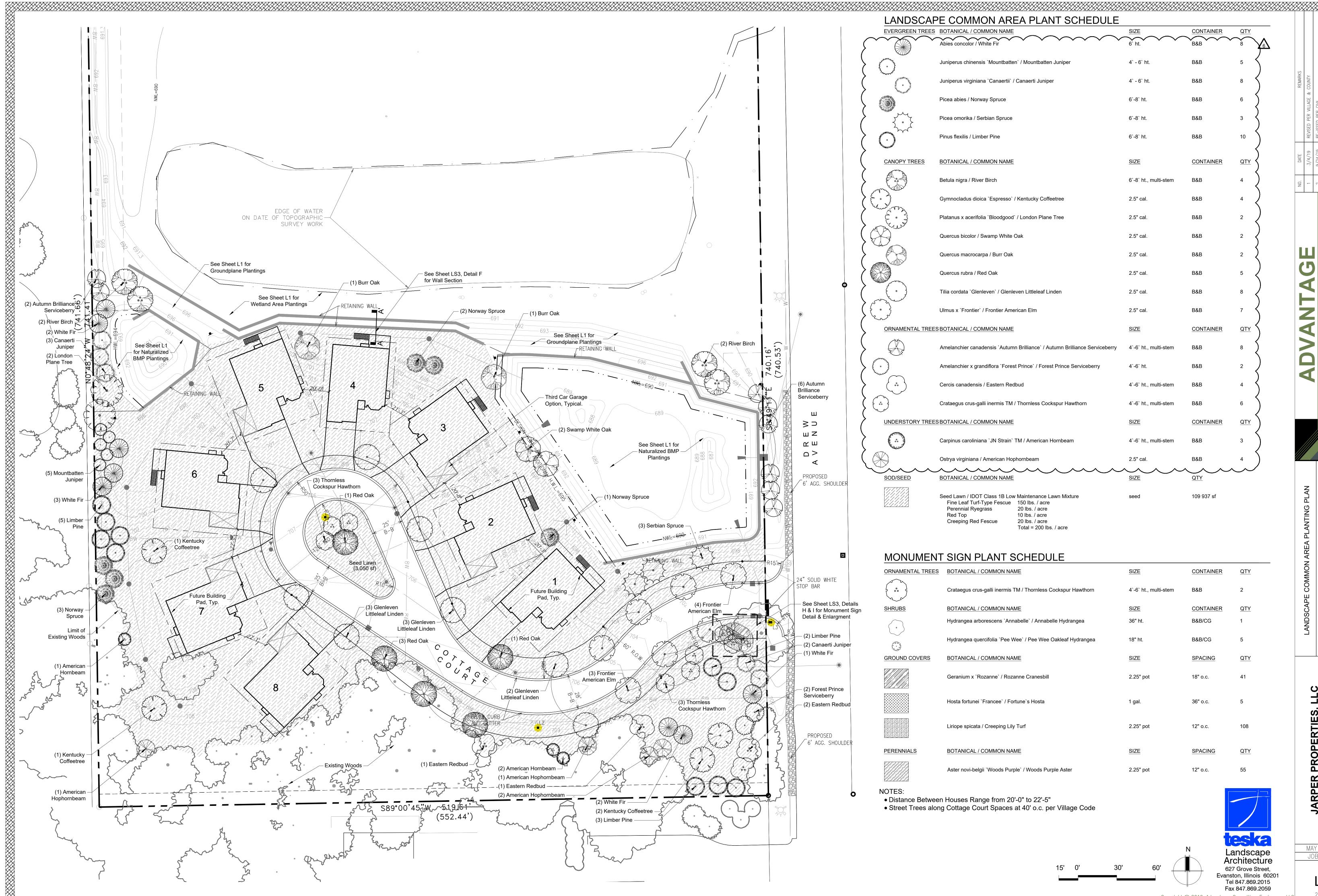
 Total Property Area = 8.87 ac. • Homes + Drives = 1.4 ac. (13%) Dedicated Open Space/Common Area Managed by Homeowners Associates = 7.47 ac. (84%) Homes 2, 3, 5, 6, & 7 Show Option for 3 Car Garages Distance Between Houses Range from 20'-0" to 22'-5" • Street Trees along Cottage Court Spaces at 40' o.c. per Village Code

NO. DATE REMARKS	1 3/4/19 REVISED PER VILLAGE & COUNTY	2 9/24/19 RE-ISSED PER CIVIL	3 10/31/19 RE-ISSED PER CIVIL	4 10/04/21 REVISED PER ARCH	5 3/15/22 REVISED PER ARCH	6 5/26/22 REVISED PER ARCH	
			CONSULTING ENGINEERS		80 MAIN STREET - SUITE 17 - LEMONT. ILLINOIS 60439	847-260-4758	
	LANDSCAPE SITE PLAN				BURR RIDGE. ILLINOIS		
			16W231 S. FRONTAGE ROAD, SUITE 17	BURR RIDGE. IL 60527	222		
	JU	S	16 HEE S	T:	00		

					teska
				N	Landscape Architecture
20'	0'	40'	80'		627 Grove Street,
					Evanston, Illinois 60201
			_		Tel 847.869.2015
				ſĒ	Fax 847.869.2059



25 OF 2



ANICAL / COMMON NAME	SIZE	CONTAINER	QTY
s concolor / White Fir	6` ht.	B&B	8
perus chinensis `Mountbatten` / Mountbatten Juniper	4` - 6` ht.	B&B	5
perus virginiana `Canaertii` / Canaerti Juniper	4` - 6` ht.	B&B	8
a abies / Norway Spruce	6`-8` ht.	B&B	6
a omorika / Serbian Spruce	6`-8` ht.	B&B	3
s flexilis / Limber Pine	6`-8` ht.	B&B	10
ANICAL / COMMON NAME	SIZE	CONTAINER	QTY
la nigra / River Birch	6`-8` ht., multi-stem	B&B	4
nocladus dioica `Espresso` / Kentucky Coffeetree	2.5" cal.	B&B	4
nus x acerifolia `Bloodgood` / London Plane Tree	2.5" cal.	B&B	2
rcus bicolor / Swamp White Oak	2.5" cal.	B&B	2
rcus macrocarpa / Burr Oak	2.5" cal.	B&B	2
cus rubra / Red Oak	2.5" cal.	B&B	5
cordata `Glenleven` / Glenleven Littleleaf Linden	2.5" cal.	B&B	8
is x `Frontier` / Frontier American Elm	2.5" cal.	B&B	7
ANICAL / COMMON NAME	SIZE	CONTAINER	<u>QTY</u>
lanchier canadensis `Autumn Brilliance` / Autumn Brilliance Serviceberry	4`-6` ht., multi-stem	B&B	8
lanchier x grandiflora `Forest Prince` / Forest Prince Serviceberry	4`-6` ht.	B&B	2
is canadensis / Eastern Redbud	4`-6` ht., multi-stem	B&B	4
aegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4`-6` ht., multi-stem	B&B	6
ANICAL / COMMON NAME	SIZE		QTY
inus caroliniana `JN Strain` TM / American Hornbeam	4`-6` ht., multi-stem	B&B	3
ya virginiana / American Hophornbeam	2.5" cal.	B&B	4
ANICAL / COMMON NAME	SIZE		\sim
d Lawn / IDOT Class 1B Low Maintenance Lawn Mixture ine Leaf Turf-Type Fescue 150 lbs. / acre erennial Ryegrass 20 lbs. / acre ted Top 10 lbs. / acre	seed	109 937 sf	



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MONUMENT SIGN PLANT SCHEDULE

20 lbs. / acre

Total = 200 lbs. / acre

BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4`-6` ht., multi-stem	B&B	2
BOTANICAL / COMMON NAME	SIZE		QTY
łydrangea arborescens `Annabelle` / Annabelle Hydrangea	36" ht.	B&B/CG	1
lydrangea quercifolia `Pee Wee` / Pee Wee Oakleaf Hydrangea	18" ht.	B&B/CG	5
BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
Geranium x `Rozanne` / Rozanne Cranesbill	2.25" pot	18" o.c.	41
łosta fortunei `Francee` / Fortune`s Hosta	1 gal.	36" o.c.	5
iriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	108
BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
Aster novi-belgii `Woods Purple` / Woods Purple Aster	2.25" pot	12" o.c.	55

30'

60

15' 0'

Distance Between Houses Range from 20'-0" to 22'-5"
Street Trees along Cottage Court Spaces at 40' o.c. per Village Code



Landscape Architecture 627 Grove Street, Evanston, Illinois 60201 Tel 847.869.2015 Fax 847.869.2059



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BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
Abies concolor / White Fir	6` ht.	B&B	8
luniperus chinensis `Mountbatten` / Mountbatten Juniper	4` - 6` ht.	B&B	5
luniperus virginiana `Canaertii` / Canaerti Juniper	4` - 6` ht.	B&B	8
Picea abies / Norway Spruce	6`-8` ht.	B&B	6
Picea omorika / Serbian Spruce	6`-8` ht.	B&B	3
Pinus flexilis / Limber Pine	6`-8` ht.	B&B	10
BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
Betula nigra / River Birch	6`-8` ht., multi-stem	B&B	4
Gymnocladus dioica `Espresso` / Kentucky Coffeetree	2.5" cal.	B&B	4
Platanus x acerifolia `Bloodgood` / London Plane Tree	2.5" cal.	B&B	2
Quercus bicolor / Swamp White Oak	2.5" cal.	B&B	2
Quercus macrocarpa / Burr Oak	2.5" cal.	B&B	2
Quercus rubra / Red Oak	2.5" cal.	B&B	5
Filia cordata `Glenleven` / Glenleven Littleleaf Linden	2.5" cal.	B&B	8
Jlmus x `Frontier` / Frontier American Elm	2.5" cal.	B&B	7
BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
Amelanchier canadensis `Autumn Brilliance` / Autumn Brilliance Serviceberry	4`-6` ht., multi-stem	B&B	8
Amelanchier x grandiflora `Forest Prince` / Forest Prince Serviceberry	4`-6` ht.	B&B	2
Cercis canadensis / Eastern Redbud	4`-6` ht., multi-stem	B&B	4
Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4`-6` ht., multi-stem	B&B	6
BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
Carpinus caroliniana `JN Strain` TM / American Hornbeam	4`-6` ht., multi-stem	B&B	3
Dstrya virginiana / American Hophornbeam	2.5" cal.	B&B	4
<u>BOTANICAL / COMMON NAME</u>	SIZE		
Seed Lawn / IDOT Class 1B Low Maintenance Lawn MixtureFine Leaf Turf-Type Fescue150 lbs. / acrePerennial Ryegrass20 lbs. / acreRed Top10 lbs. / acreCreeping Red Fescue20 lbs. / acreTotal = 200 lbs. / acre	seed	109 937 sf	



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ARPER PROPERTIES, LLC I S. FRONTAGE ROAD, SUITE BURR RIDGE, IL 60527

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MONUMENT SIGN PLANT SCHEDULE

Total = 200 lbs. / acre

BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	4`-6` ht., multi-stem	B&B	2
BOTANICAL / COMMON NAME	SIZE		QTY
łydrangea arborescens `Annabelle` / Annabelle Hydrangea	36" ht.	B&B/CG	1
lydrangea quercifolia `Pee Wee` / Pee Wee Oakleaf Hydrangea	18" ht.	B&B/CG	5
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BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
Aster novi-belgii `Woods Purple` / Woods Purple Aster	2.25" pot	12" o.c.	55

30'

15' 0'

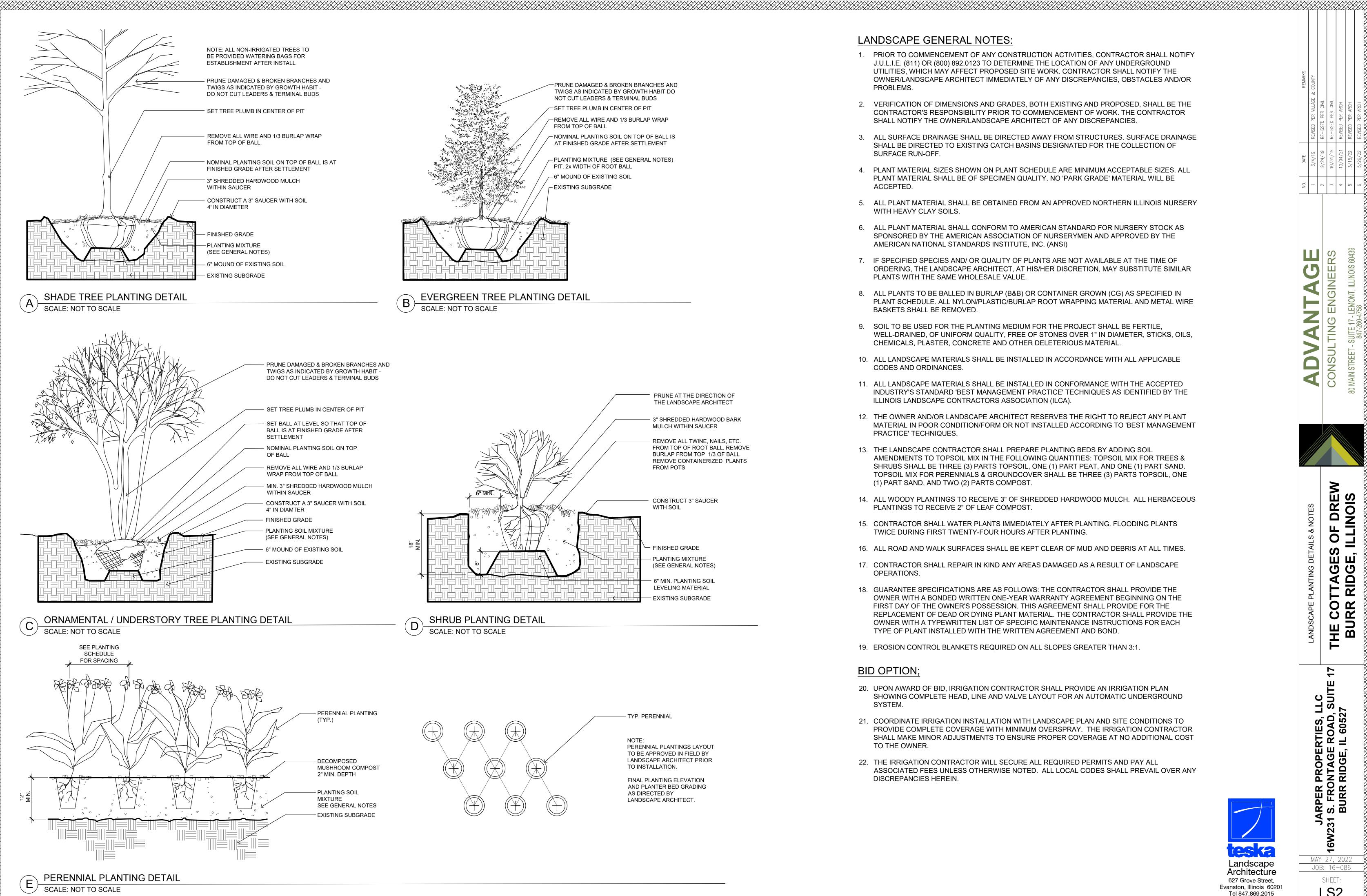
Distance Between Houses Range from 20'-0" to 22'-5"
Street Trees along Cottage Court Spaces at 40' o.c. per Village Code



Landscape Architecture 627 Grove Street, Evanston, Illinois 60201 Tel 847.869.2015 Fax 847.869.2059

60'

Advantage Consulting Engineers



LANDSCAPE GENERAL NOTES:

- PROBLEMS.
- SURFACE RUN-OFF.
- ACCEPTED.
- WITH HEAVY CLAY SOILS.
- PLANTS WITH THE SAME WHOLESALE VALUE.
- BASKETS SHALL BE REMOVED.
- CODES AND ORDINANCES.
- PRACTICE' TECHNIQUES.
- (1) PART SAND, AND TWO (2) PARTS COMPOST

- OPERATIONS.

BID OPTION;

- SYSTEM.
- TO THE OWNER.
- DISCREPANCIES HEREIN.

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR

2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF

4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE

5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY

6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)

7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR

8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE

9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.

10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE

11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).

12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/FORM OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT

13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUNDCOVER SHALL BE THREE (3) PARTS TOPSOIL, ONE

14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.

15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.

16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.

17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE

18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.

19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND

21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST

22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY

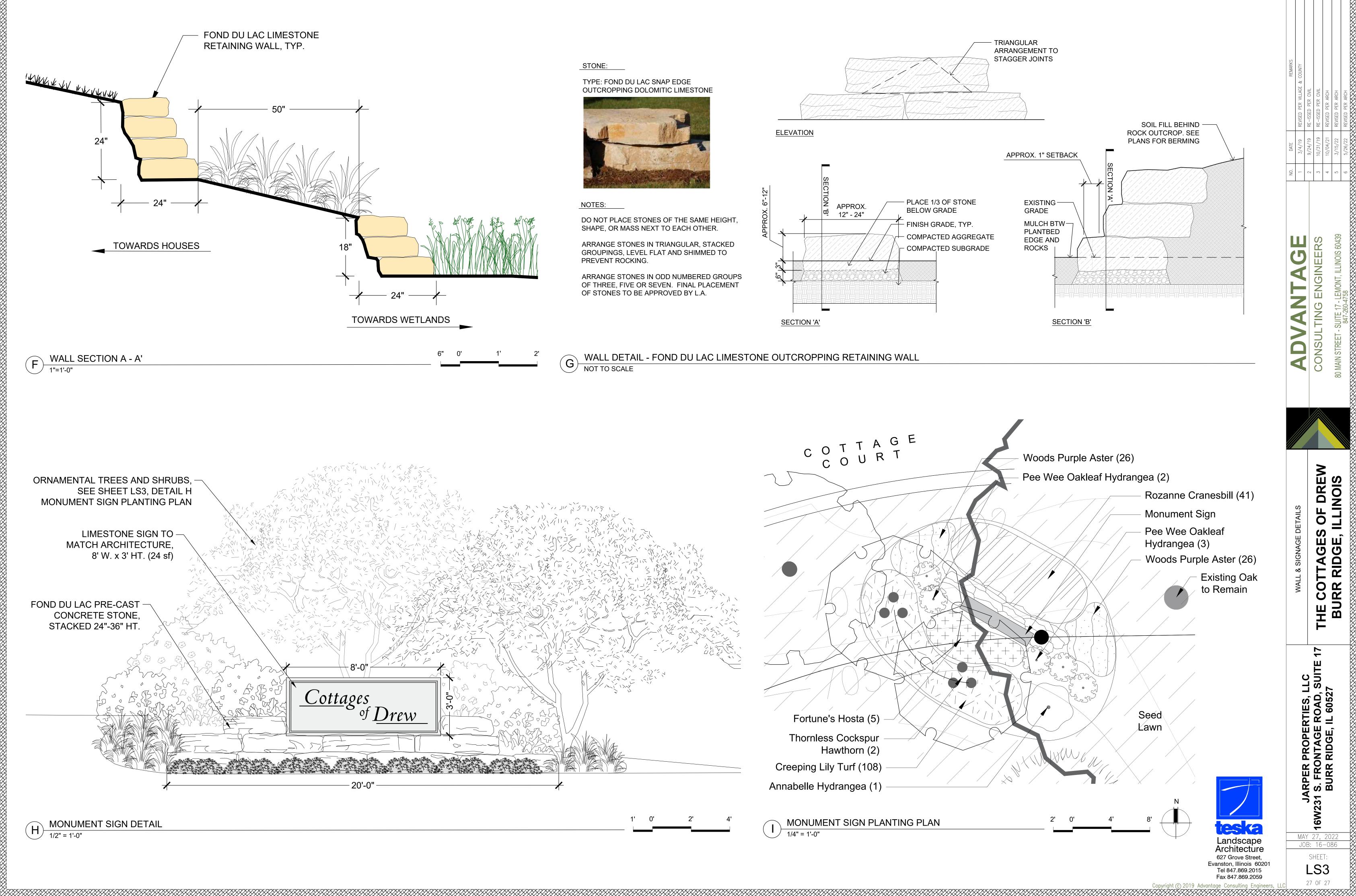
	NO. DATE REMARKS	1 3/4/19 REVISED PER VILLAGE & COUNTY	2 9/24/19 RE-ISSED PER CIVIL	3 10/31/19 RE-ISSED PER CIVIL	4 10/04/21 REVISED PER ARCH	5 3/15/22 REVISED PER ARCH	6 5/26/22 REVISED PER ARCH	
				CONSULTING ENGINEERS		80 MAIN STREET - SUITE 17 - LEMONT. ILLINOIS 60439	847-260-4758	
		LANDSCAPE PLANTING DETAILS & NOTES		THE COTTAGES OF DREW		BURR RIDGE. ILLINOIS		
				16W231 S. FRONTAGE ROAD, SUITE 17	BURR RIDGE IL 60527			
, LLC		MA)B:	HEE .S	<u>-0</u> T: 2	22		

Landscape Architecture

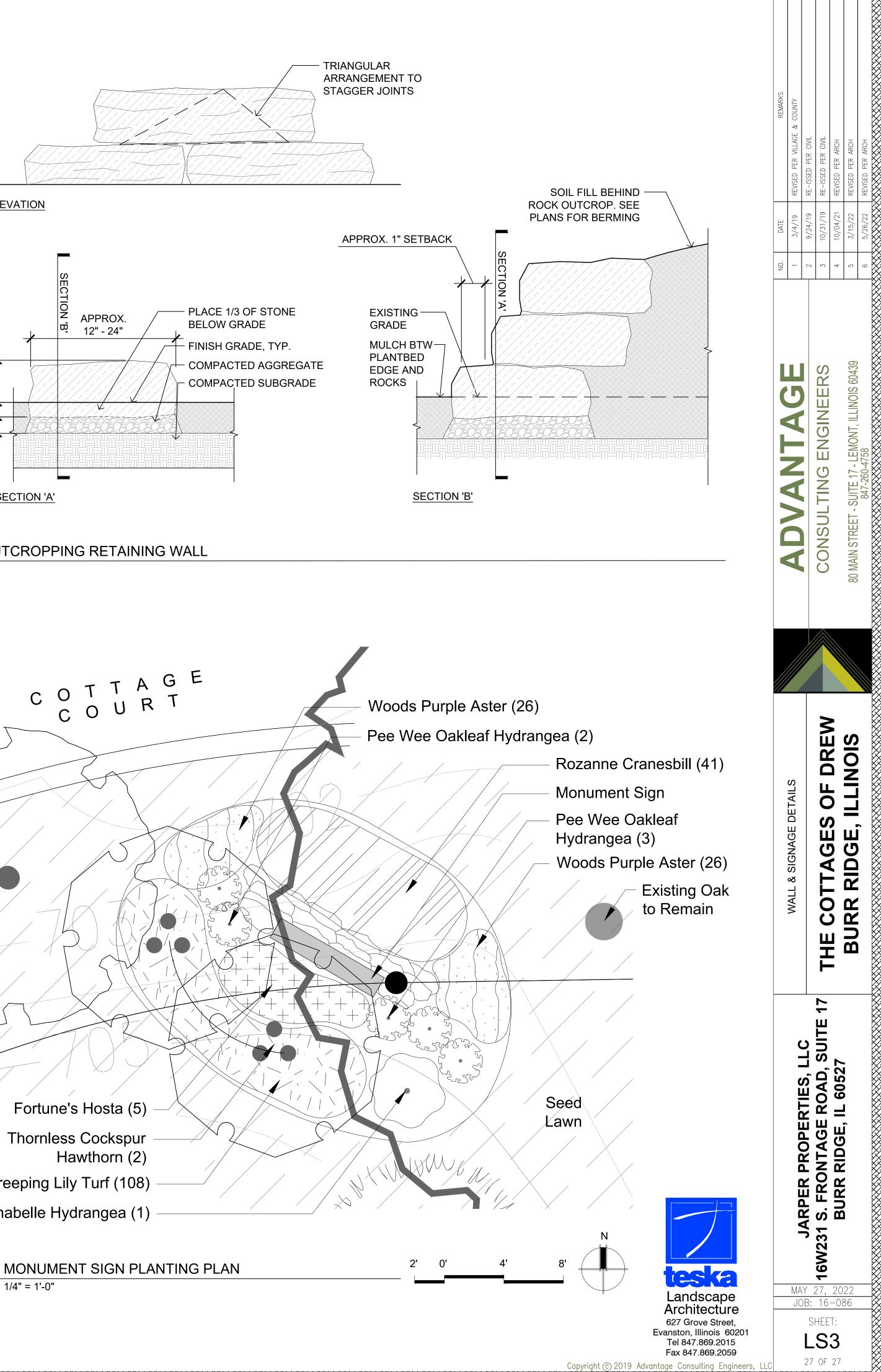
627 Grove Street, Evanston, Illinois 60201

Tel 847.869.2015 Fax 847.869.2059

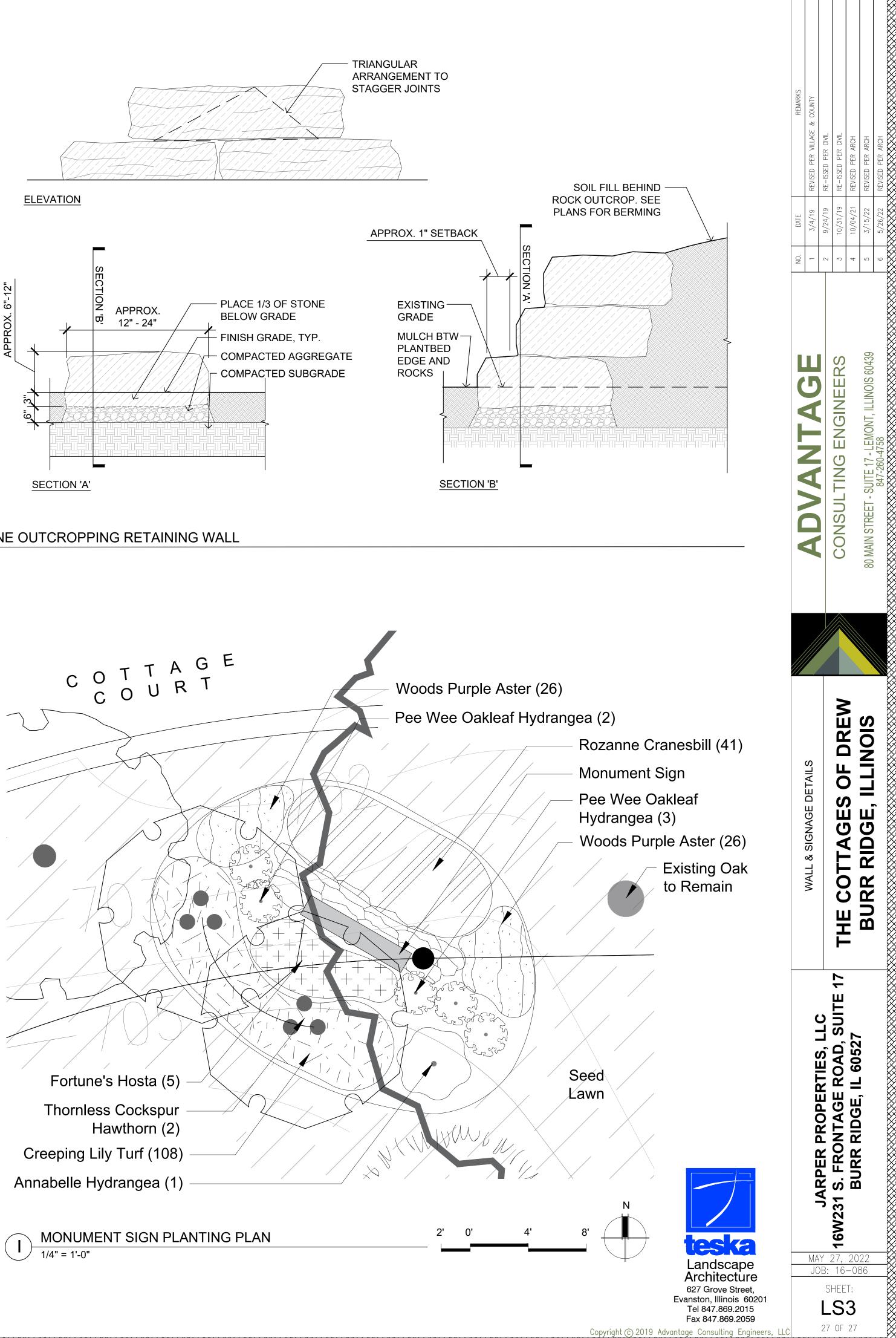
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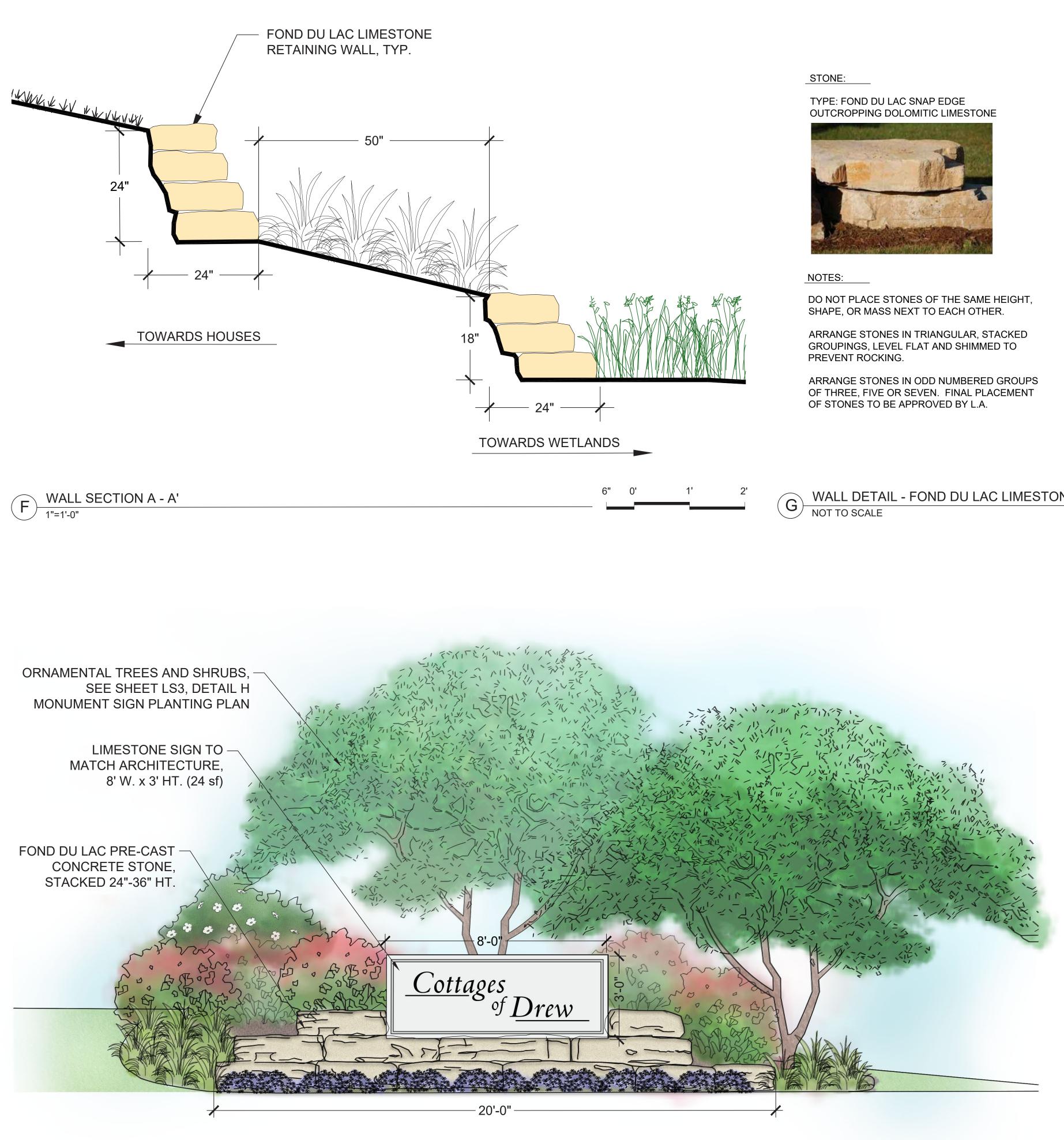








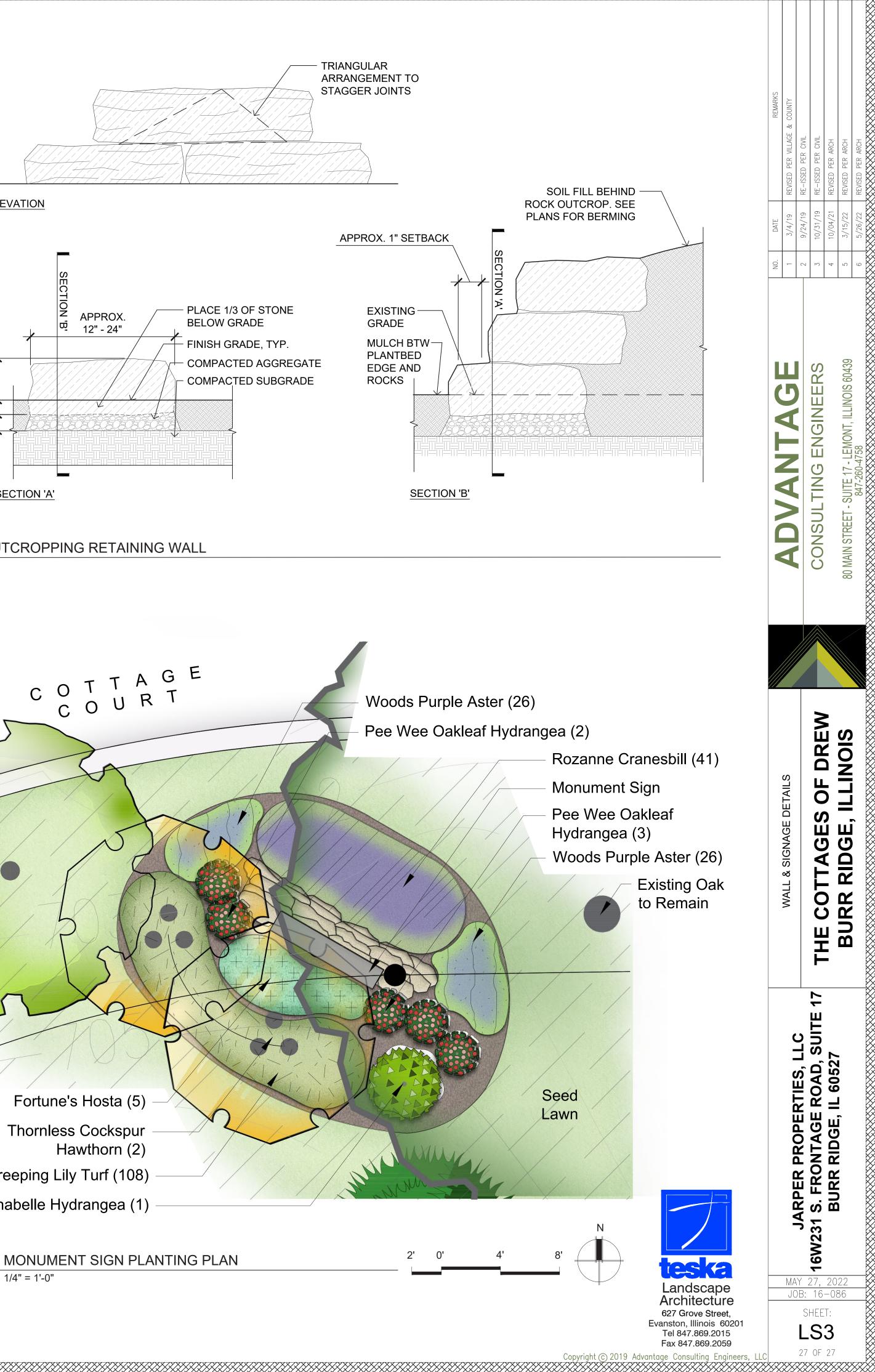


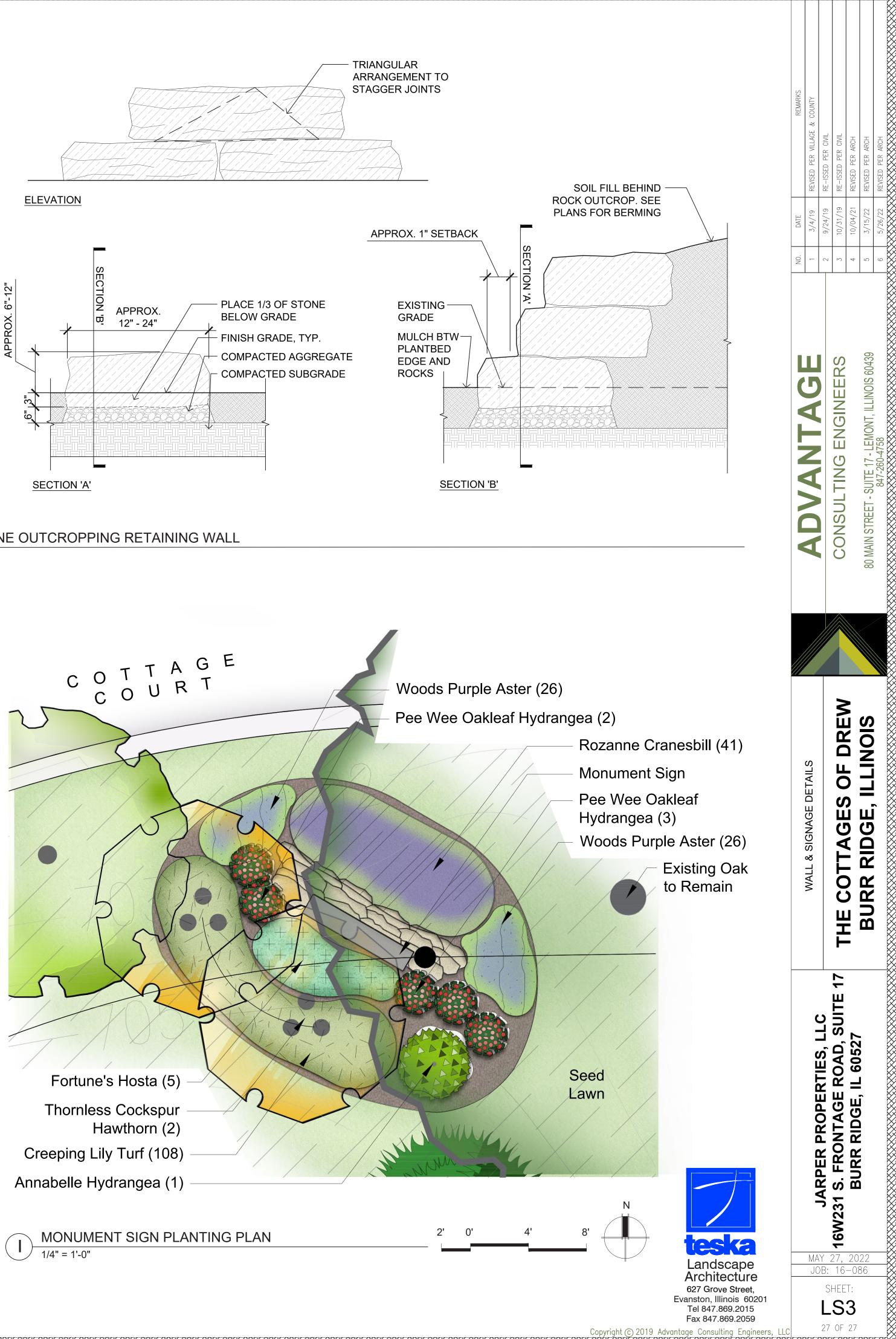


MONUMENT SIGN DETAIL (H)1/2" = 1'-0"



1' 0' 2'





WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL



Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

HEARING DATE: May 16, 2022

TO: Plan Commission Greg Trzupek, Chairman

FROM: Janine Farrell, AICP Community Development Director

PETITIONER: Anthony Perino, Manager of Jarper Properties LLC

PETITIONER STATUS: Property Owner

PROPERTY OWNER: Anthony Perino, Manager of Jarper Properties LLC

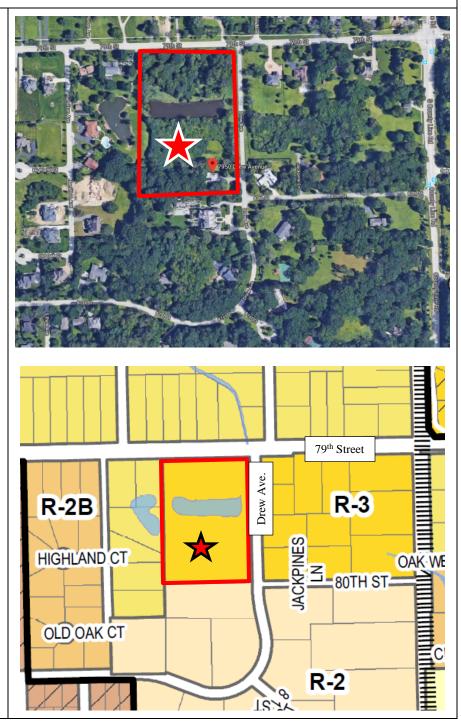
EXISTING ZONING: R-3 Residential PUD

LAND USE PLAN: Recommends Residential Uses

EXISTING LAND USE: Vacant Single-Family Residential

SITE AREA: 8.87 Acres

SUBDIVISION: Korinek's Owners



Staff Report and Summary Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Major Change and PUD Amendment, and Findings of Fact Page 2 of 2

On September 10, 2018, the petitioner was approved for a Planned Unit Development and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. Three of the approved conditions for the PUD stated:

- 1. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
- 2. Additional landscaping be added on the western property line.
- 3. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

As the petitioner was finalizing engineering, landscaping, and building elevations, the attached garage sizes were evaluated. Originally, a two-car garage was proposed, but the petitioner would now like to offer a three-car option for six of the eight homes. This increase in floorplate of the residences resulted in a reduction of open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. In all other respects, the PUD remains relatively unchanged from the 2018 proposal.

The petitioner is now requesting a major change to the PUD and final approval of the engineering plans, landscaping plans, and building elevations, in accordance with the 2018 approval. These documents are attached as Exhibit A. In follow-up to the 2018 conditions, some additional landscaping has been added to the western property line and the petitioner is proposing four different architectural styles for the development.

Findings of Fact and Recommendation

The petitioner has prepared Findings of Fact for the PUD which may be adopted if the Plan Commission is in agreement with those findings.

Appendix

Exhibit A – Petitioner's Materials and Findings of Fact

- Application and Findings of Fact
- 2018 Ordinances #A-834-16-18 and #A-834-17-18
- 2018 Conceptual Site Plan (for reference)
- Comparison of 2018 and 2022 plans
- Final Plat of Subdivision
- Final Site Plans
- Landscaping Plans
- Architectural elevations
- Stormwater Report



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED APR 1 9.2022 VILLAGE OF BURR RIDGE

	GENERAL INFORMATION (to be completed by Petitioner)
	PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES U.C.
	STATUS OF PETITIONER: ANTHONY PERINO, MANAGER
	PETITIONER'S ADRESS: 155 ANN ST., CLARENDON HILLS, IL 60514
	ADDRESS OF SUBJECT PROPERTY: 1950 DREW AVE.
	PHONE: 630-850-9170
	EMAIL: aperino@jarperproperties/lc.com
	PROPERTY OWNER: JARPER PROPERTIES LLC
	PROPERTY OWNER'S ADDRESS: CLARENDON HILLS, IL 60514 PHONE: 630-850-9170
	PUBLIC HEARING REQUESTED: X Special Use Rezoning Text Amendment Variation(s)
	DESCRIPTION OF REQUEST:
2	REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUIRES
	OPEN SPACE REDUCTION OF 19% (MAJOR CHANGE IN P.U.D.) AND INCREASE OF 1.13% FOR IMPERVIOUS
	COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (ININOR CHANGE IN P.4.D)
	PROPERTY INFORMATION (to be completed by Village staff)
	PROPERTY ACREAGE/SQ FOOTAGE: $8.87/386,377$ EXISTING ZONING: $R-3$, $P.4.2$.
	EXISTING USE/IMPROVEMENTS: VACANT
	SUBDIVISION: THE COTTAGES OF DREW 7950 DREWAVE:
	PIN(S) # 09-36-201-004-
	The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.
	Petitioner's Signature 4/19/2022 Date of Filing



VILLAGE OF BURR RIDGE PLAN COMMISSION AND ZONING BOARD OF APPEALS

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

Property Owner or Petitioner:

JARPER PROPERTIES LLC ERIND, MGR. (Print Name) (Signature)

1950 DREW AVENUE







Findings of Fact <u>Special Use</u> Burr Ridge Zoning Ordinance Address:

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding. ORIGINAL ISSUE APRIL 2018, AMENDED APRIL 21, 2022 to allow for 6 of 8 homes to have three car garages, two homes with two car garages

a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

Creation of a planned residential cluster development reduces disturbances to the north natural area, wetland and flood plain and provides benefit to the downstream neighbors by controlling storm water runoff that is not presently restricted.

b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The benefit of a compact cluster arrangement for the proposed homes as a planned unit residential development produces 61% less square footage (19,800 sq. ft.) of home area compared to the allowable (32,000 sq. ft.) of home area on the same property of a the conventional R-3 zoning district, it is distinct and unique to this property only. <u>The result of petitioning for a special use will</u> <u>allow a less intensive but high value use compared to the</u> <u>conventional R-3 zoning, therefore the special use will not be</u> <u>detrimental to or endanger the public health, safety, morals,</u> <u>comfort or general welfare.</u>

c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The location of proposed planned unit development homes are specifically placed to emphasize open space and view preservation of 7.7 acres (87%) of the site. The ability to view natural areas and planned and commonly managed landscape open space area will benefit the use and enjoyment to this development and provide attractive benefit to surrounding neighbors and travelers on 79th and Drew Ave. <u>The proposed homes and open space areas will be maintained and managed in a consistent manner as a maintenance free setting providing enhancement and to neighborhood property values.</u> The open space will be deed restricted and provide an open space buffer to separate the proposed internal road from the neighboring property to the south as a landscape separation and not impose a requirement for corner lot building setback imposition to the neighboring south property. <u>(Amended, April 21, 2022, Amend</u> <u>open space impervious coverage from 88.5% to 84% due to addition</u> <u>of three car garages for 6 of the eight homes;.94% decrease in</u> <u>open space.)</u>

d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The establishment of a special use as a planned cluster development allows for the preservation of open space natural area, wetlands, floodplain and views is specific to the 7950 Drew property. Given the unique nature of the property configuration and presence of natural areas, topography, wetland and floodplain, this petition will not act as a catalyst for other properties to justify planned unit development.

The proposed planned development will create enhanced property value and not have detrimental impact to the normal and orderly development and demonstrate an improvement to benefit the surrounding property. Management of the homes and landscape common areas will act as a positive catalyst to show property improvement in a unified, well maintained and coordinated manner.

e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The preliminary engineering of the site as a planned development provides for comprehensive engineering design at one time providing <u>adequate site grading, utility routing and road access</u> <u>that are complementary to the site and surrounding infrastructure.</u>

f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The proposed Drew Ave. access road is offset 150' north of from 80th St. to <u>provide safe ingress and egress separation and clear</u> <u>sight lines</u>. The type of proposed residential floorplan features ground floor as the primary living area intended to <u>produce low</u> <u>density traffic flow to minimize congestion at a level that is</u> suitable for Drew Ave. design capacity as a residential collector street.

g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed use respects underlying residential R-3 zoning density by producing a restrained 19,800 sq. ft. (Amended April 21, 2022 to allow 6 of 8 homes with three car garages, add 1,584 sq. ft. = 21383 sq. ft. or 66% less than comparable R-3 conventional development) (61% less) of home building area and is less than the allowable 32,000 sq. ft. allowable under conventional R-3 development. The reduced home size and reduced impervious area abides by the Comprehensive Plan recommendations allowing protection of the natural areas, wetlands and floodplain areas. The proposed plan incorporates as a coordinated theme by using native landscape, rural streetscape character and unified neighborhood identifying elements. The proposed residential cluster site plan allows homes to be compact and arranged in a group to create views, enhance natural topography, wetlands and floodplain and to preserve natural wooded and landscaped areas.

h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The special use as a planned unit development provides flexibility that <u>allows for a clustered arrangement of homes with reduced</u> <u>building square footage than otherwise attainable by conventional</u> <u>R-3 standards.</u> This provision allows for compact development and results in providing a greater open area of the site to be preserved in a park like open space setting, managed and maintained in perpetuity by covenants and restrictions for the enhancement of the neighborhood.

ORDINANCE NO. A-834-16-18

AN ORDINANCE GRANTING A SPECIAL USE PURSUANT TO THE BURR RIDGE ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT CONSISTING OF EIGHT SINGLE-FAMILY HOMES AND COMMONLY OWNED OPEN SPACE BETWEEN HOMES

(Z-04-2018:	7950	Drew	Avenue	-	Patera)
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WHEREAS, an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in <u>The Doings Weekly</u>, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations. NOW THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

<u>Section 2</u>: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development (PUD) consisting of eight single-family homes with commonly-owned open space between homes.
- B. That the construction of a PUD provides a public benefit to neighbors in the form of additional stormwater management and site plan optimization that is not required or feasible under standard zoning.
- C. The PUD will not be detrimental to the general welfare.
- D. The site plan will provide additional setback and stormwater management benefits to other properties in the immediate vicinity.
- E. The PUD will not impede normal and orderly development to surrounding properties.
- F. Adequate facilities will be present upon the development of the property.

- G. The traffic measures proposed by the PUD are adequate for the development's purposes.
- H. The PUD abides by the objectives of the Official Comprehensive Plan by retaining green space and building like density as is permitted under standard zoning.
- I. The PUD shall conform to all other applicable regulations in the district and in the Village.

<u>Section 3</u>: That special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development consisting of eight single-family homes with commonly-owned open space between homes *is hereby granted* for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of 09-36-201-004.

Section 4: That the approval of the Planned Unit Development shall be subject to the following conditions:

- A. This Ordinance is limited to preliminary PUD approval including approval of the preliminary site plan attached hereto as **Exhibit A**.
- B. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
- C. Additional landscaping be added on the western property line.
- D. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

<u>Section 5</u>: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of September, 2018 by the Corporate

Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

NAYS: 0 - None

ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 10th day of September, 2018.

Village President

ATTEST Village Clerk

ORDINANCE NO. A-834-17-18

AN ORDINANCE GRANTING A VARIATION PURSUANT TO THE BURR RIDGE ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT ON 8.87 ACRES RATHER THAN THE REQUIRED 40 ACRES

(Z-04-2018: 7950 Drew Avenue - Patera)

WHEREAS, an application for a variation for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said variation on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in <u>The Doings Weekly</u>, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a variation, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of

Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

<u>Section 1</u>: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of a variation indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

<u>Section 2</u>: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the variation for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests a variation from Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres.
- B. That the particular physical conditions of the specific property involved present a hardship if the strict letter of the regulations were to be carried out.
- C. The property in question cannot yield a reasonable return if permitted to be used only under conditions allowed by the regulations of the zoning district.
- D. The conditions on which the application for a variation is based are unique to the property.
- E. The purpose of the variation is not based primarily on a desire to increase financial gain.
- F. The granting of the variation will not be injurious to the public welfare.
- G. The granting of the variation will not alter the essential character of the neighborhood or locality.
- H. The proposed variation will not impair natural drainage or

create drainage problems on adjacent properties.

I. The proposed variation is consistent with the Official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

<u>Section 3</u>: That the variation as per Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres *is hereby granted* for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of 09-36-201-004.

Section 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of September, 2018 by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

NAYS: 0 - None

ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 10th day of September, 2018.

ATTEST: Village Cl

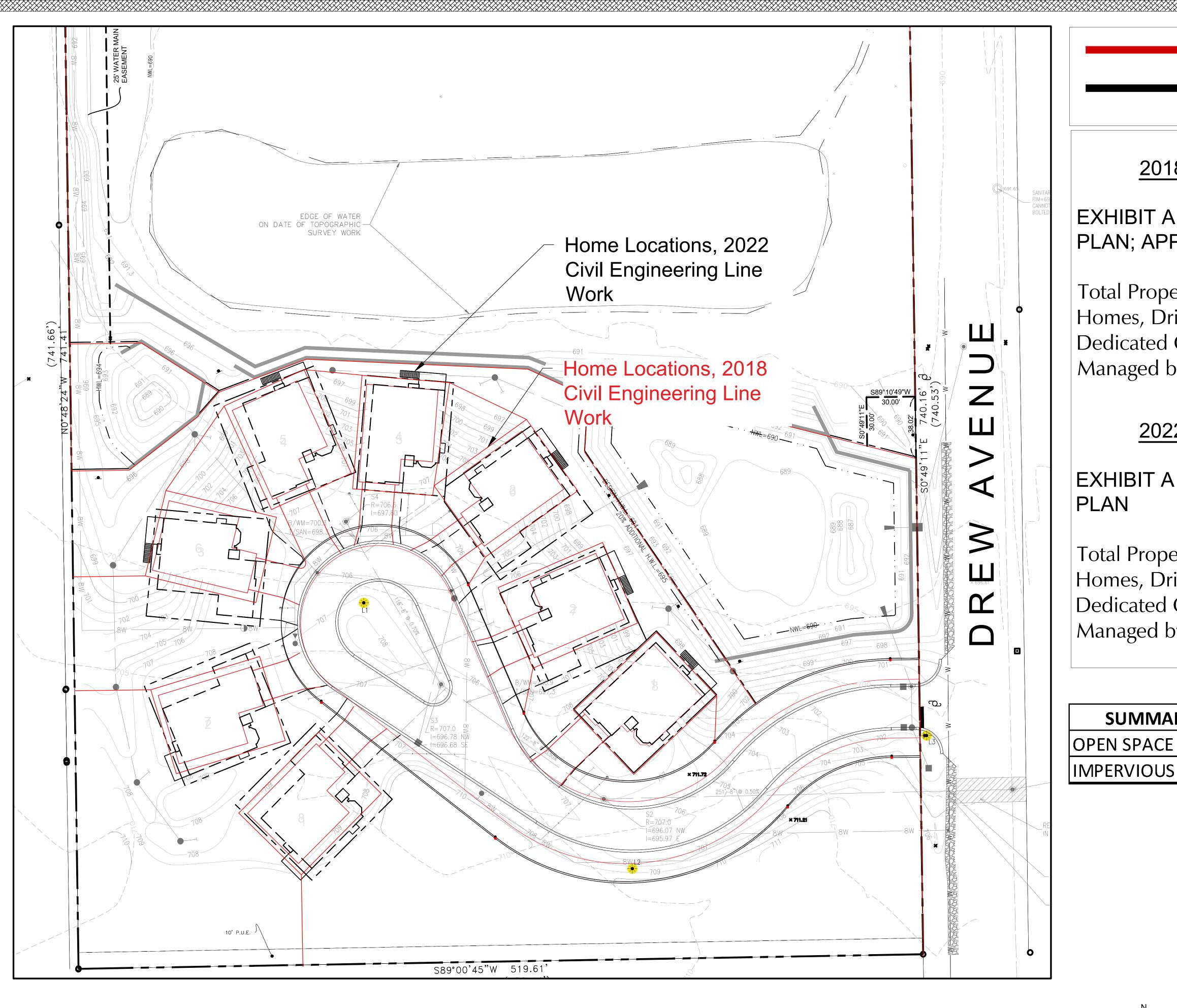
Village President



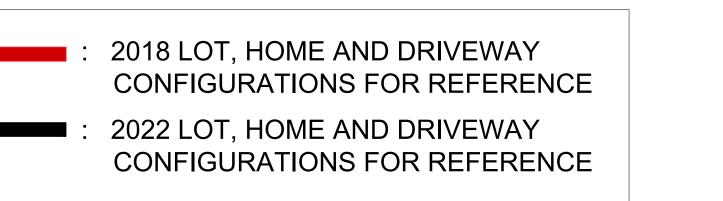


2018 / 2022 SITE COVERAGE COMPARISON EXHIBIT

BURR RIDGE, ILLINOIS



APRIL 21, 2022



2018 SITE COVERAGE CALCULATIONS:

EXHIBIT A - JUNE 22, 2018 - CONCEPTUAL SITE PLAN; APPROVED PER ORDINANCE

Total Property Area = 8.87 Ac. Homes, Driveways + Road =1.02 Ac. (11.5%) Dedicated Open Space/Common Area Managed by Homeowner Association=7.85 Ac. (88.5%)

2022 SITE COVERAGE CALCULATIONS:

EXHIBIT A - APRIL 21, 2022 - CONCEPTUAL SITE

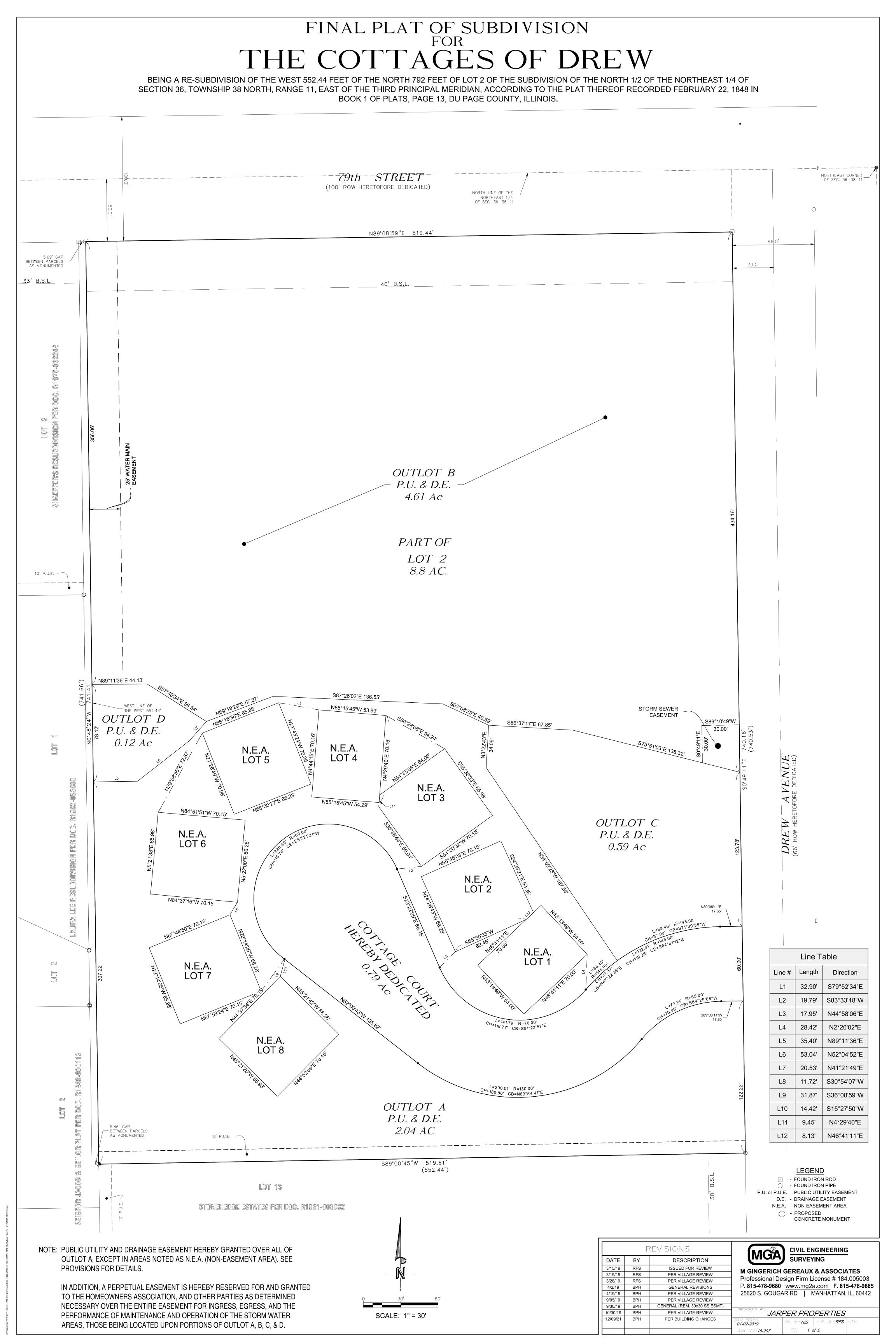
- Total Property Area = 8.87 Ac.
- Homes, Driveways + Road = 1.4 Ac. (13.0%)
- Dedicated Open Space/Common Area
- Managed by Homeowner Association=7.47 Ac. (84%)

RY	2018	2022	
AREA	88.50%	84%	0.94% DECREASE
5 AREA	11.50%	13%	1.13% INCREASE



Landscape Architecture 627 Grove Street, anston, Illinois 6020 Tel 847.869.2015 Fax 847.869.2059

JARPER PROPERTIES, LLC JARPER PROPERTIES, LLC JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527 BURR RIDGE,	NO. DATE REMARKS 1 3/4/19 REVISED PER VILLAGE & COUNTY	2 9/24/19 RE-ISSED PER CIVIL	10/31/19 RE-ISSED PER CIVIL	4 10/04/21 REVISED PER ARCH	5 3/15/22 REVISED PER ARCH	
OPERTIES, LLC AGE ROAD, SUITE 17 AGE, IL 60527 BURR RIDGE, ILLII	A		CONSULTING ENGINEERS		80 MAIN STREET - SUITE 17 - LEMONT. ILLINOIS 60439	
OPERTIES, LLC AGE ROAD, SUIT DGE, IL 60527	LANDSCAPE COMMON AREA PLANTING PLAN				BURR RIDGE. ILLINOIS	
MARCH 15, 2022			16W231 S. FRONTAGE ROAD, SUITE 17	BURR RIDGE. IL 60527		



FINAL PLAT OF SUBDIVISION FOR THE COTTAGES OF DREW

BEING A RE-SUBDIVISION OF THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF ILLINOIS) COUNTY OF ______) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS SHOWN ON THIS PLAT OF SUBDIVISION, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED:

THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT, INCLUDING BUT NOT LIMITED TO, THOROUGHFARES, STREETS, ALLEYS, WALKWAYS AND PUBLIC SERVICES; GRANTS THE TELEPHONE, GAS, ELECTRIC AND ANY OTHER PUBLIC OR PRIVATE UTILITY EASEMENTS AS STATED AND SHOWN ON THIS PLAT; AND GRANTS AND DECLARES THE STORM WATER DRAINAGE AND DETENTION RESTRICTIONS AND EASEMENTS AS STATED AND SHOWN ON THIS PLAT.

THE UNDERSIGNED FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS AFFECTING THE LAND DESCRIBED AND SHOWN ON THIS SUBDIVISION PLAT OR, IF ANY OF SAID INSTALLMENTS ARE NOT PAID, THEN SUCH INSTALLMENTS HAVE BEEN DIVIDED IN ACCORDANCE WITH THE SUBDIVISION AND APPROVED BY THE COURT WHICH CONFIRMED THE SPECIAL ASSESSMENT AND THE PROPER COLLECTOR OF ANY SUCH SPECIAL ASSESSMENT HAS SO CERTIFIED SUCH DIVISION ON THE FACE OF THIS SUBDIVISION PLAT.

DATED THIS _____ DAY OF ______, 20____.

OWNER:

OWNER'S ADDRESS:

STATE OF ILLINOIS)
COUNTY OF	SS

SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS) COUNTY OF) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HEREBY CERTIFIES THAT THE SUBJECT PROPERTY IS LOCATED WITH THE FOLLOWING SCHOOL DISTRICT(S):

GOWER #62 ELEMENTARY SCHOOL DISTRICT,

HINSDALE TOWNSHIP #86 HIGH SCHOOL DISTRICT

COLLEGE OF DuPAGE #502 COLLEGE, IN DUPAGE COUNTY, ILLINOIS.

THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____ , 20 ____.

PROPERTY OWNER

NOTARY CERTIFICATE

STATE OF ILLINOIS) COUNTY OF _____) St

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY

OF______A.D., 20____.

NOTARY PUBLIC

EASEMENT PROVISIONS An easement for serving the subdivision and other property with electric And communication service is hereby reserved for and granted to:

> Commonwealth Edison Company And Ameritech Illinois a.k.a. Illinois Bell Telephone Company, Grantees,

Their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas, to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantees' facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground". "parking", and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of the Grantor/Lot Owner, upon written request.

I, ______, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR FREE AND VOLUNTARY ACT FOR THE USES ABD PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY

OF ______ A.D., 20____.

NOTARY PUBLIC

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) COUNTY OF _____) SS

I, ______, COUNTY CLERK OF ______ COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID CURRENT SPECIAL ASSESSMENTS, NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND SHOWN ON THIS PLAT OF SUBDIVISION AND NO DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

GIVEN UNDER MY HAND AND SEAL AT ______, COUNTY, ILLINOIS, THIS _____ DAY OF ______, 20___.

COUNTY CLERK

VILLAGE CLERK'S CERTIFICATE

STATE OF ILLINOIS) COUNTY OF _____) SS

I, ______, VILLAGE CLERK OF THE VILLAGE OF BURR RIDGE, ILLINOIS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PRESENTED TO AND BY RESOLUTION OR ORDER DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON ______, 20 ___, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL

OF THE VILLAGE OF BURR RIDGE, ILLINOIS, THIS _____ DAY OF

, 20

VILLAGE CLERK

PUBLIC WORKS DEPARTMENT CERTIFICATION

STATE OF ILLINOIS) COUNTY OF DUPAGE) SS

I, ______, SUPERINTENDENT OF THE COUNTY OF DUPAGE DEPARTMENT OF PUBLIC WORKS & OPERATIONS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND CERTIFICATE AS TO SPECIAL ASSESSMENTS STATE OF ILLINOIS) COUNTY OF _____) SS

DATED AT BURR RIDGE, _____ COUNTY, ILLINOIS THIS _____ DAY

OF _____, 20____.

VILLAGE TREASURER

DU PAGE COUNTY DEPARTMENT OF PUBLIC WORKS CERTIFICATE

STATE OF ILLINOIS) COUNTY OF _____) SS

I, ______, SUPERINTENDENT FOR THE DU PAGE COUNTY DEPARTMENT OF PUBLIC WORKS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT OF DU PAGE COUNTY.

DATED AT ______, DU PAGE COUNTY, ILLINOIS, THIS

_____ DAY OF ______, 20____.

SUPERINTENDENT

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS) COUNTY OF _____) SS

I, ______, VILLAGE ENGINEER OF THE VILLAGE OF BURR RIDGE, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS IN THIS SUBDIVISION, AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREFOR, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT BURR RIDGE DUPAGE COUNTY, ILLINOIS, THIS _____

DAY OF _____, 20____.

VILLAGE ENGINEER

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS) COUNTY OF _____) SS An easement is hereby reserved for and granted to NORTHERN ILLINOIS GAS COMPANY, its successors and assigns, in all platted "easement" areas, streets, alleys, other public ways and places shown on this plat, said easement to be for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances for the purpose of serving all areas shown on this plat as well as other property, whether or not contiguous thereto. No buildings or other structures shall be constructed or erected in any such "easement" areas, streets, alleys, or other public ways or places nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS (APPLIES TO OUTLOTS A, B, C, & D)

ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF BURR RIDGE AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF BURR RIDGE, INCLUDING, BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, MEDIA ONE CABLE TELEVISION COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS, AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF BURR RIDGE, OVER, UPON, ALONG, UNDER, THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK; THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE TREES, SHRUBS, OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES. NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND /OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF BURR RIDGE.

A PERPETUAL EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION OF ILLINOIS, ITS SUCCESSORS AND ASSIGNS, FOR THE FULL AND FREE RIGHT AND AUTHORITY TO INSTALL, CONSTRUCT, AND OTHERWISE ESTABLISH, RELOCATE, REMOVE, RENEW, REPLACE, OPERATE, INSPECT, REPAIR, AND MAINTAIN WATERMAINS, FIRE HYDRANTS, VALVES, AND WATER SERVICE FACILITIES, SANITARY SEWER PIPES, MANHOLES, AND SEWER CONNECTIONS, STORM SEWER PIPES, MANHOLES, INLETS, STORM WATER DETENTION AND STORM SEWER SERVICE CONNECTIONS, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEMS, AND SUCH OTHER APPURTENANCES AND FACILITIES AS MAY BE NECESSARY OR CONVENIENTLY RELATED TO SAID WATERMAINS, SANITARY SEWER PIPES, STORM SEWER PIPES, STORM WATER DETENTION, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEM, IN, ON, UPON, OVER, THROUGH, ACROSS, AND UNDER ALL OF THAT REAL ESTATE HEREON DESCRIBED AND DESIGNATED AS WITHIN PUBLIC UTILITY AND DRAINAGE EASEMENTS. SAID EASEMENTS BEING DESIGNATED BY THE DASHED LINES AND DESIGNATIONS OF WIDTH.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) COUNTY OF WILL) SS

THIS IS TO CERTIFY THAT I, <u>ROBERT F. SLUIS</u>, REGISTERED, ILLINOIS LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

AS SHOWN ON THIS SUBDIVISION THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL

SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE
REQUIREMENTS OF THE COUNTY OF DUPAGE DEPARTMENT OF PUBLIC
WORKS.

DATED AT ______, DUPAGE COUNTY, ILLINOIS

THIS ______ DAY OF _______, 20____.

SUPERINTENDENT

WE HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE ILLINOIS PLAT ACT, ILLINOIS REVISED STATUTE, CHAPTER 109, SECTION 1 ET SEQ., AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

PROPERTY OWNER

DATED AT BURR RIDGE, DUPAGE COUNTY, ILLINOIS, THIS

DAY OF _____, 20____.

REGISTERED PROFESSIONAL ENGINEER

LICENSE NO.

RESPONSIBILITY OF HOMEOWNERS ASSOCIATION

AS SET FORTH MORE SPECIFICALLY IN THE DECLARATION, THE UNDERSIGNED HEREBY WARRANTS AND COVENANTS THAT IT WILL CREATE THE <u>COTTAGES OF DREW</u> HOMEOWNERS ASSOCIATION (THE "ASSOCIATION") OF WHICH THE UNDERSIGNED AND ALL LOT OWNERS SHALLBE MEMBERS AND WHOSE PURPOSE IS TO PROVIDE A GOVERNING BODY FOR THE LOT OWNERS FOR THE CARE, MANAGEMENT, AND MAINTENANCE OF THE PROPERTY OF THE ASSOCIATION. THE ASSOCIATION, BY THE DECLARATION AND THIS PLAT, IS RESPONSIBLE FOR MAINTENANCE OF THE FOLLOWING: ALL COMMON AREAS INCLUDING DETENTION PONDS AND OUTLOTS (SPECIFY SPECIFIC OUTLOTS AND COMMON AREAS); OUTLOTS A, B, C, AND D

THAT PORTION OF THE STORM SEWER SYSTEM NOT LOCATED WITHIN THE DEDICATED PUBLIC RIGHTS-OF-WAY; ALL OTHER UTILITIES NOT MAINTAINED BY THE VILLAGE OF BURR RIDGE OR ANY OTHER UTILITY COMPANY; SUBDIVISION ENTRYWAYS INCLUDING FENCES, SIGNS, AND LANDSCAPING; ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY INCLUDING PARKWAYS, CUL DE SAC ISLANDS, MEDIAN ISLANDS, AND SIMILAR LANDSCAPING IN COMMON AND PUBLIC AREAS; (ADD OTHER FEATURES AS DETERMINED APPROPRIATE).

ALL AREAS DESIGNATED AS WETLANDS

THE ASSOCIATION SHALL MAINTAIN THOSE SPECIFIED AREAS AND FEATURES DESCRIBED ABOVE IN A MANNER CONSISTENT WITH THE PLANS APPROVED BY THE VILLAGE AND THE STANDARDS TYPICAL OF PRIVATE PROPERTY MAINTENANCE THROUGHOUT THE COMMUNITY. IN THE EVENT THE ASSOCIATION FAILS TO PROPERLY MAINTAIN THESE AREAS, THE VILLAGE SHALL, UPON SEVENTY-TWO (72) HOURS PRIOR NOTICE TO THE ASSOCIATION OR PROPERTY OWNERS (IN THE EVENT THAT NO INFORMATION RELATIVE TO A CONTACT PERSON FOR THE ASSOCIATION IS PROVIDED TO THE VILLAGE), HAVE THE RIGHT, BUT NOT THE DUTY, TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK TO OR UPON THE SPECIFIED AREAS AND FEATURES. IN THE EVENT OF AN EMERGENCY SITUATION, AS DETERMINED BY THE VILLAGE, THE SEVENTY-TWO (72) HOURS PRIOR NOTICE REQUIREMENT SET FORTH ABOVE SHALL NOT APPLY, AND THE VILLAGE SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO PROCEED WITHOUT NOTICE TO THE ROPERTY OWNER(S) OR HOMEOWNERS' ASSOCIATION.

IN THE EVENT THE VILLAGE SHALL PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK OF THE SPECIFIED AREAS OR FEATURES, THE COST OF SUCH WORK SHALL, UPON RECORDATION OF NOTICE OF LIEN WITH THE RECORDER OF DEEDS OF DUPAGE COUNTY, ILLINOIS, CONSTITUTE A LIEN AGAINST THE ASSETS OF THE HOMEOWNERS ASSOCIATION AND AGAINST EACH AND EVERY LOT WITHIN THE SUBDIVISION. THE COST OF THE WORK INCURRED BY THE VILLAGE SHALL INCLUDE ALL EXPENSES AND COSTS ASSOCIATED WITH THE PERFORMANCE OF SUCH WORK INCLUDING, BUT NOT LIMITED TO, REASONABLE ENGINEERING, CONSULTING AND ATTORNEYS' FEES RELATED TO THE PLANNING AND ACTUAL PERFORMANCE OF THE WORK.

SANITARY SEWER PROVISIONS

A NON EXCLUSIVE PERMANENT EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE COUNTY OF DUPAGE, AND ITS ASSIGNS AND, SUCCESSORS, OVER THOSE AREAS DESIGNATED AS "SANITARY SEWER EASEMENT AND, OR PUBLIC UTILITY EASEMENT". TO INSTALL. LAY, CONSTRUCT, RENEW, OPERATE, REPAIR, MAINTAIN, RELOCATE AND REMOVE, FROM TIME TO TIME, A SANITARY SEWER MAIN AND RELATED APPURTENANCES AND FACILITIES USED IN CONNECTION WITH THE CONVEYANCE AND DISTRIBUTION OF THE SANITARY SEWER IN, UNDER, ACROSS, ALONG AND, OR, UPON SAID EASEMENT AREAS, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS THERETO. THE RIGHTS GRANTED BY THIS INSTRUMENT INCLUDE THE AUTHORITY TO REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENTAL TO THE RIGHTS HEREIN GIVEN AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL OF THESE PURPOSES. NO OBSTRUCTIONS OR IMPROVEMENTS OF ANY TYPE SHALL BE PLACED OVER GRANTEES SANITARY SEWER MAINS, APPURTENANCES OR FACILITIES OR IN, UPON OR OVER SUCH EASEMENTS WITHOUT PRIOR WRITTEN CONSENT OF THE GRANTEES. NOR SHALL SUCH OBSTRUCTIONS OR IMPROVEMENTS BE LOCATED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE OF THE GRANTEE'S SANITARY SEWER MAINS, APPURTENANCES, FACILITIES AND/OR EASEMENTS.

MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

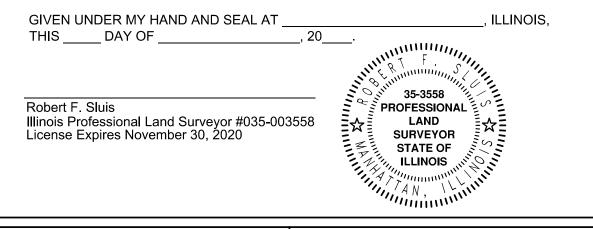
AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT A PART OF THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FIRM MAP NUMBER 17043C0909H, EFFECTIVE DATE DECEMBER 16, 2004 AND THAT NO PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY PUBLIC WATERS IN WHICH THE STATE OF ILLINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY INTERESTS.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF BURR RIDGE OR WITHIN 1 1/2 MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I DO FURTHER CERTIFY THAT:.

- 1. THE ACCOMPANIED PLAT IS TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.
- 2. ALL LOTS CORNERS AND POINTS OF CURVATURE HAVE BEEN STAKED (5/8 INCH BY 24 INCH IRON RODS) OR MONUMENTED ACCORDING TO THE PLAT ACT AS AMENDED.
- 3. DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.
- 4. THIS SUBDIVISION CONTAINS 8.84 ACRES.
- 5. PIN: 09-36-201-004



	R	EVISIONS			IGINEERING	3
DATE	BY	DESCRIPTION		SURVEY	YING	
4/19/19	BPH	PER VILLAGE REVIEW	M GINGERICH GEREAUX & ASSOCIATES			
9/05/19	BPH	PER VILLAGE REVIEW				-
10/30/19	BPH	PER VILLAGE REVIEW				
2/25/20	BPH	ADDED H.A. LANGUAGE	P. 815-478-9680 www.mg2a.com F. 815-478-968			
			25620 S. GOUGAR RD MANHATTAN, IL. 60442			
			_			
			ORDERED BY:	CLIEN	IT	
			DATE ISSUED: 01-02-2019	DR. BY: NIB	СК. ВҮ: RFS	FILE:
			JOB NO.: 16-207	PG: 20	of 2	

FINAL SITE IMPROVEMENT PLANS

BENCHMARKS:

REFERENCE BENCHMARK: (NAVD 1988 DATUM) BENCHMARK: DGN35002 PID: DK3269 COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS THE CENTERLINE OF MADISON STREET AND 37 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS: SITE BENCHMARK #1 FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)



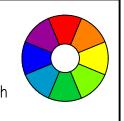
EXCLUDING SAT., SUN. & HOLIDAYS

DEVELOPER/OWNER

JARPER PROPERTIES. LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527

ADVANTAGE NOTE

ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION. STAKING REQUESTS FIVE (5) DAYS NOTICE BETWEEN SEPTEMBER 15th AND DECEMBER 15th AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

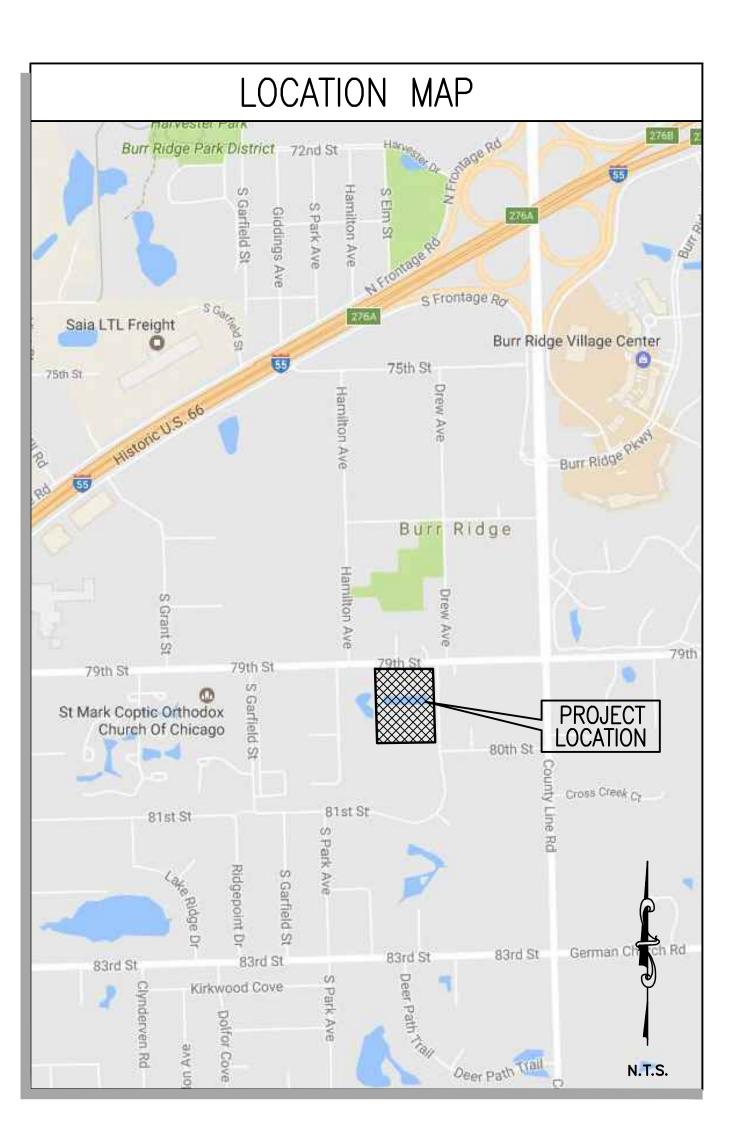


THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR VIEW PDF.

BENCHMARK

SEE ABOVE

EXISTING TOTAL SITE AREA: 8.8 ACRES PROPOSED DISTURBED AREA: 4.1 ACRES



FOR

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS DUPAGE COUNTY SMC # SM2018-0124 TRACKING # 18-08-1024/T60746 SWPPP PERMIT # ILR10AS66

	INDEX					
SHEET #	SHEET I.D.	SHEET DESCRIPTION				
1	C1	COVER SHEET				
2	TS1	GENERAL NOTES AND TYPICAL SECTIONS				
3-4	EX1-EX2	EXISTING CONDITIONS PLAN				
5	DM1	DEMOLITION PLAN				
6	L1	GEOMETRIC PLAN				
7-8	G1–G2	GRADING PLAN				
9–10	U1-U2	UTILITY PLAN				
11	PP1	PLAN AND PROFILE				
12-13	SE1-SE2	STORM WATER POLLUTION PREVENTION PLAN				
14-15	SE3-SE4	SOIL EROSION AND SEDIMENT CONTROL PLAN				
16-17	S1-S2	SPECIFICATIONS				
18–19	D1-D2	DETAILS				
20-22	XS1-XS3	CROSS SECTIONS - FLOOD PLAIN COMPENSATORY AREAS				
22A	T1	TREE SURVEY				
23	W1	WATER RESOURCE PLAN				
24-25	B1-B2	BMP PLANTING PLAN				
26	LS1	COMMON AREA PLANTING PLAN				
27	LS2	COMMON AREA PLANTING DETAILS AND NOTES				
28	LS3	SIGNAGE AND WALL DETAILS				

		REVISIONS	
	DRIGINAL PLAN D	NOVEMBER 5, 2018	
#	Sheet #	REMARKS	DATE
1	ALL SHEETS	REVISED PER VILLAGE & COUNTY	3/18/19
2	9,11,16,17	REVISED PER COUNTY PUBLIC WORKS	3/26/19
3	14–15	REVISED PER COUNTY	08/19/19
4	3–11,14,15	REVISED PER COUNTY	09/24/19
5	3–11,14,15,20,21	REVISED PER COUNTY	10/16/19
6	1,2,5,9,17–19,26	REVISED PER BURR RIDGE	10/31/19
7	6,7,9	REVISED PER BURR RIDGE	08/11/21

FNGINFFR WILLIAM J ZALEWSKI, P.E.

BILLZ@ACENG.US ILLINOIS REGISTRATION NO.: 062-046121 EXPIRATION DATE: 11/30/2021

PROFESSIONAL DESIGN FIRM NO .: 184-007386

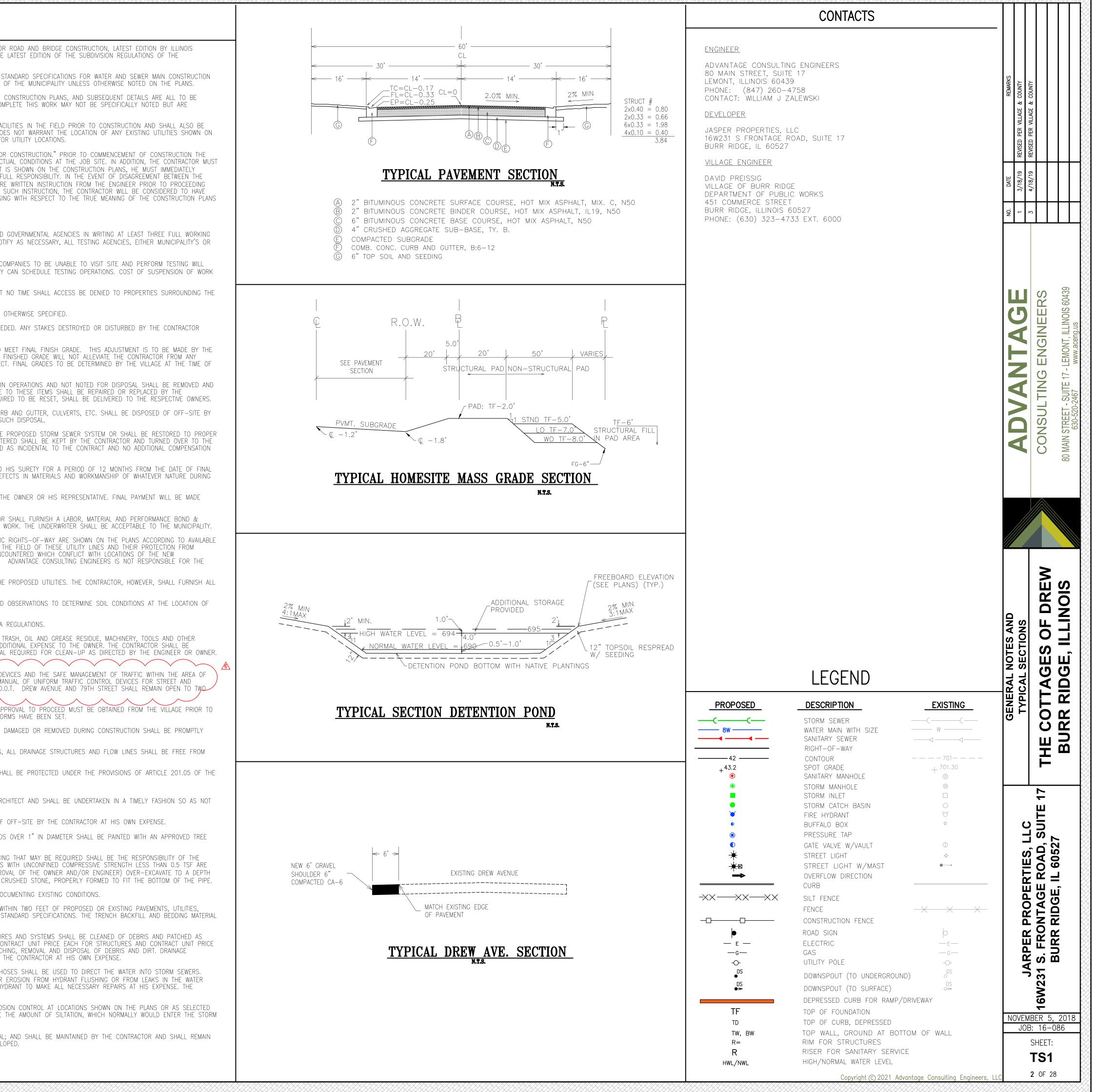
EXPIRATION DATE: 4/30/2021 THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE , SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

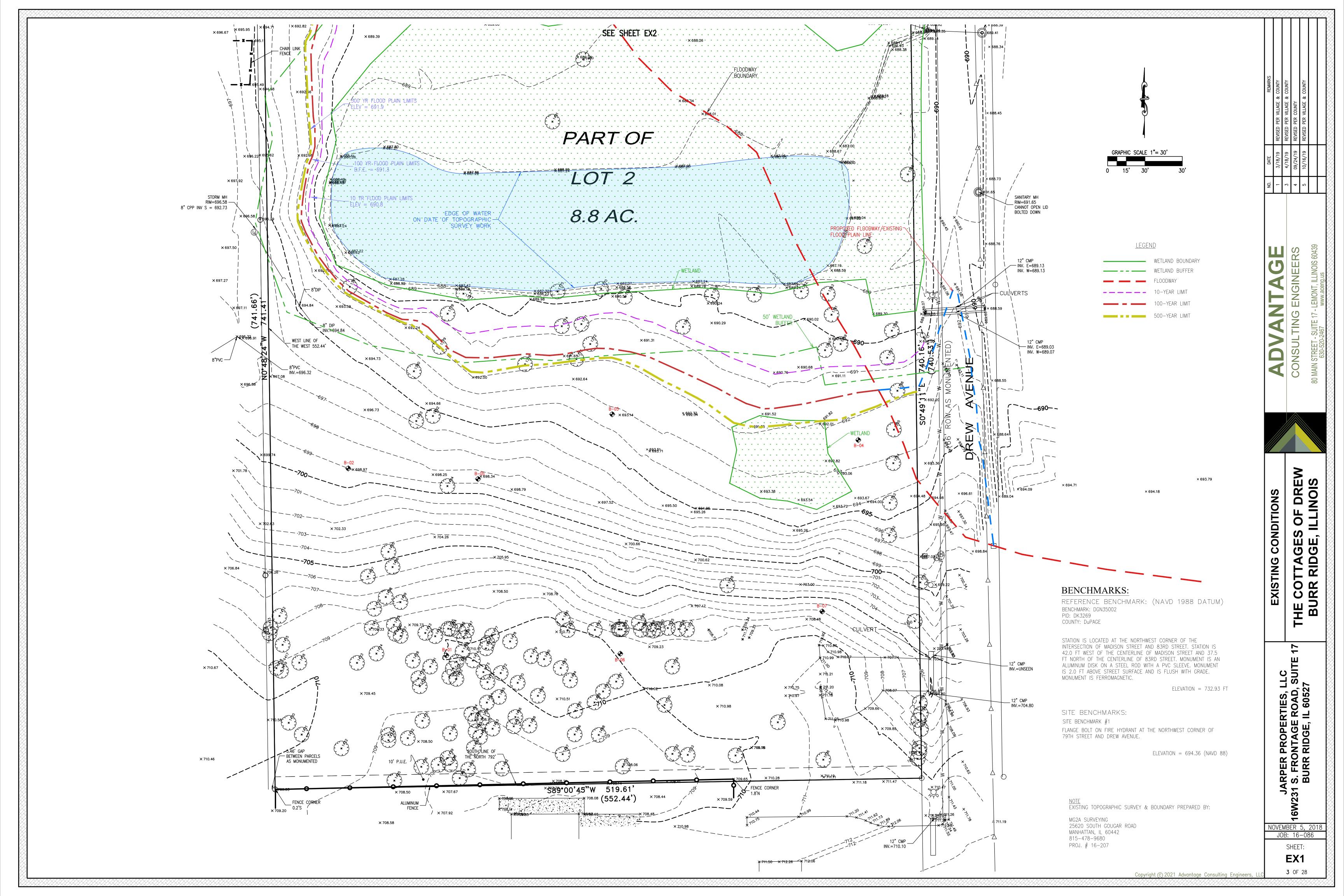
DATE

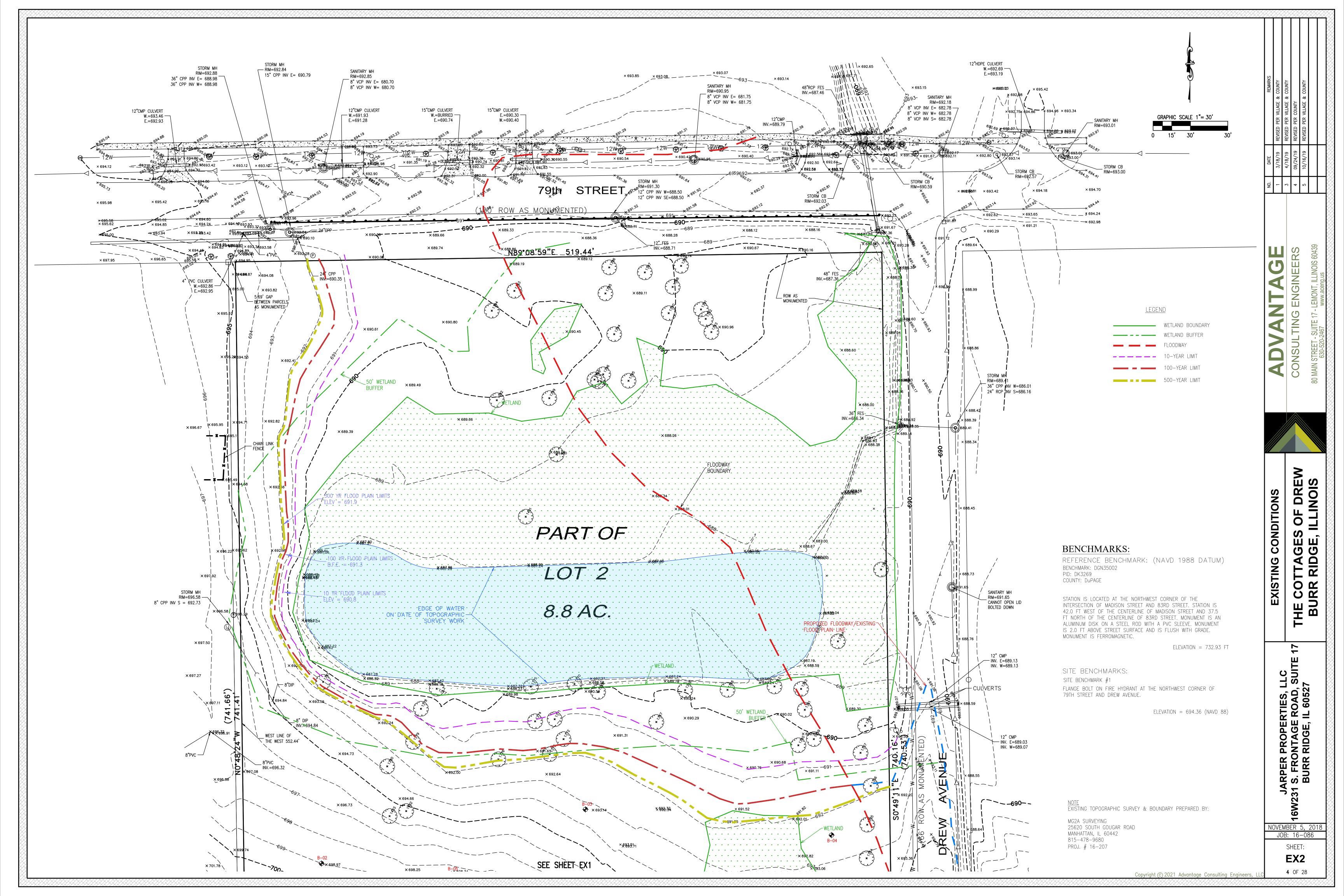


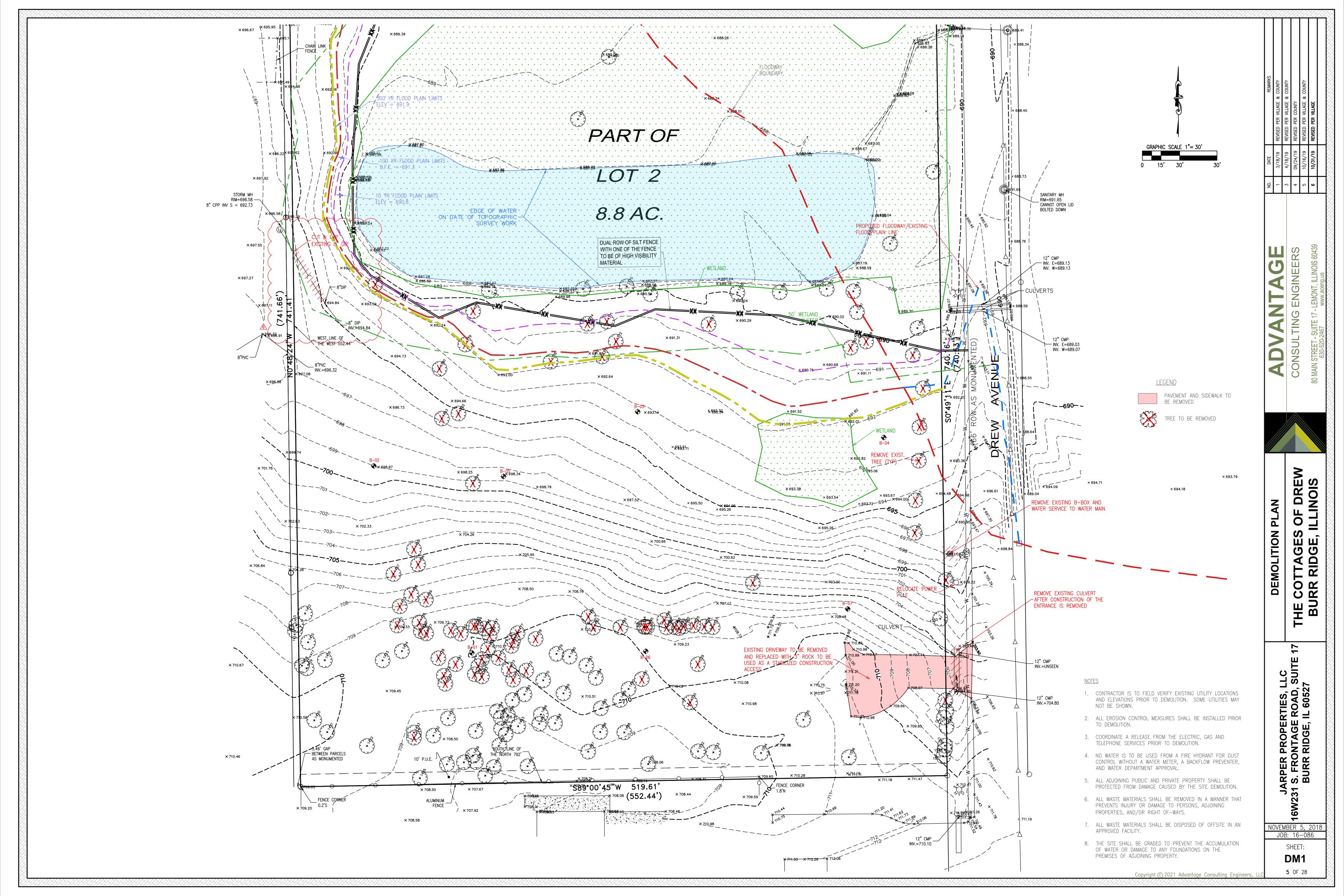
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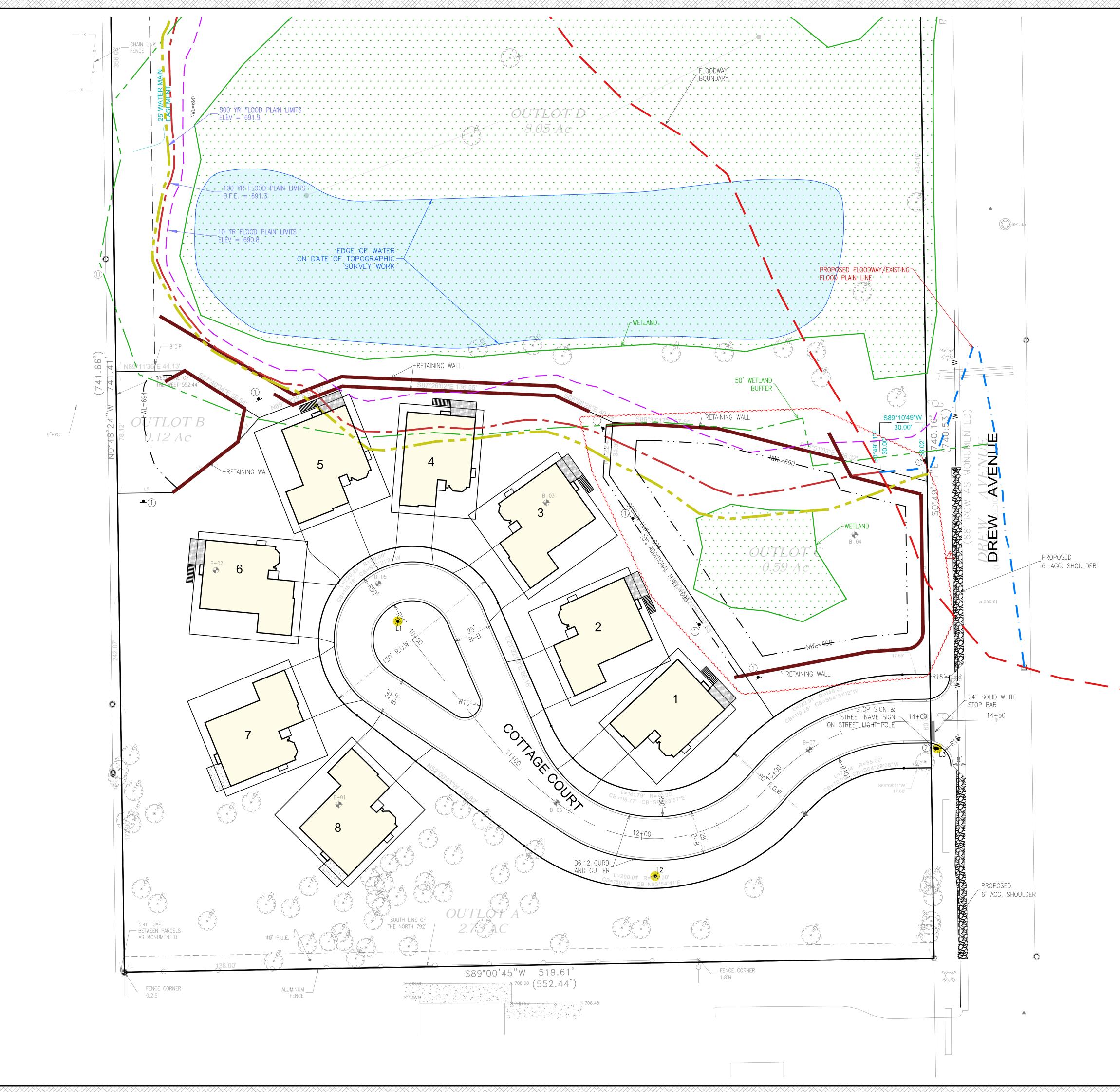
	GENERAL NOTES
1.	ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROA
2.	DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE. ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDA
3.	IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF TH STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONS
4.	CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE CONSIDERED A PART OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES
4.	RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NO THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800–892–0123, AND THE MUNICIPALITY FOR UTI
5.	NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CON CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SH REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL R CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRI WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WI OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
6.	NOTIFICATION OF COMMENCING CONSTRUCTION
	A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVE DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY A THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
	B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPAN CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN TO BE BORNE BY CONTRACTOR.
7.	ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO T SITE.
8.	ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHER
9.	THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
10.	ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISH ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FIN FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
11.	ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPE RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO TI CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED T
12.	REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH D
13.	ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROF OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS II WILL BE ALLOWED BY OWNER & MUNICIPALITY.
14.	ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS S ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS THAT PERIOD.
15.	BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OW AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
16.	UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHA INSURANCE IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK.
17.	EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGH RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FI DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNT CONSTRUCTION, ADVANTAGE CONSULTING ENGINEERS IS RESPONSIBLE TO RESOLVE THE CONFLICT. ADVA COST OF CONSTRUCTION.
18.	OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PRO REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
19.	THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSE THE PROPOSED WORK.
20. 21.	THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULT THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITION RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQ BURNING ON THE SITE IS NOT PERMITTED.
22.	IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR D.O.T. WAY TRAFFIC AT ALL TIMES.
23.	NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVA INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS I
24.	ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAG RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
25.	AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DIRT AND DEBRIS.
26.	TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL B STANDARD SPECIFICATIONS.
27.	LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITEC
28.	ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-
29.	ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVE PAINT.
30.	ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING TH CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL O OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSH
31. 32.	CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENT TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN
33.	BUILDINGS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDA SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6. WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AI
	NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRAC PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE C
34.	HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROS DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FLUSHING OR USING HYDRAN CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
35.	AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION (IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
36.	EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
37.	THE OWNER SHALL PROVIDE RECORD DRAWINGS PER MUNICIPAL REQUIREMENTS.

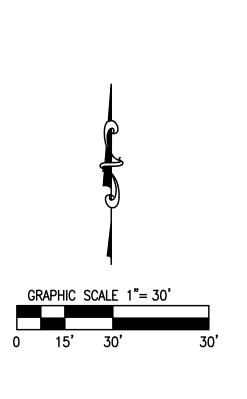












NOTES:

- ALL STREETS SHALL BE 28' B-B UNLESS NOTED OTHERWISE.
- 2. SEE SHEET TS1 FOR TYPICAL PAVEMENT SECTION AND TYPE OF C&G.
- 3. ALL CURB RADII AT INTERSECTIONS TO BE 25' UNLESS NOTED OTHERWISE.
- 4. ALL STREET DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.

SIGN LEGEND:

- 1 NO MOWING SIGN
- (2) STOP SIGN & STREET NAME SIGN

Time Comparing to the field plane Consult and the field plane Count <					NO.	DATE	REMARKS
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Image: Non-State 1 The cortages of brew suite 17 The cortages of brew suite 17 Consulting engine 17 A mo/16/19 Image: Non-State 1 BURR RIDGe, IL 60527 BURR RIDGe, IL 60527 BURR RIDGe, IL INOIS 60439 A mo/16/19 Image: Non-State 1 BURR RIDGe, IL 60527 BURR RIDGe, IL 60527 B mon street - SUITE 17 - LEMONT, ILINOIS 60439 A mo/16/19 Image: Non-State 1 BURR RIDGe, IL 60527 B mon street - SUITE 17 - LEMONT, ILINOIS 60439 A mo/16/19	SI SI				3		EVISED PER VILLAGE & COUNTY
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BURR RIDGE, ILLINOIS BURR RIDGE, ILLINOIS MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 7 08/11/21 ^α ⁰⁰	—08 T:	BURR RIDGE IL 60527			5		EVISED PER VILLAGE & COUNTY
	<u> </u>		BURR RIDGE. ILLINOIS	80 MAIN STREET - SUITE 17 - LEMONT. ILLINOIS 60439	7		EVISED PER VILLAGE
	<u>, </u>			630-520-2467 www.aceng.us			

6 OF 28

694.06	100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR
694.22	100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
	L. L	C	DETENTION - WEST			
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

DETENTION POND - 2" RESTRICTOR

AREA

S.F.

FT.

ELEV.

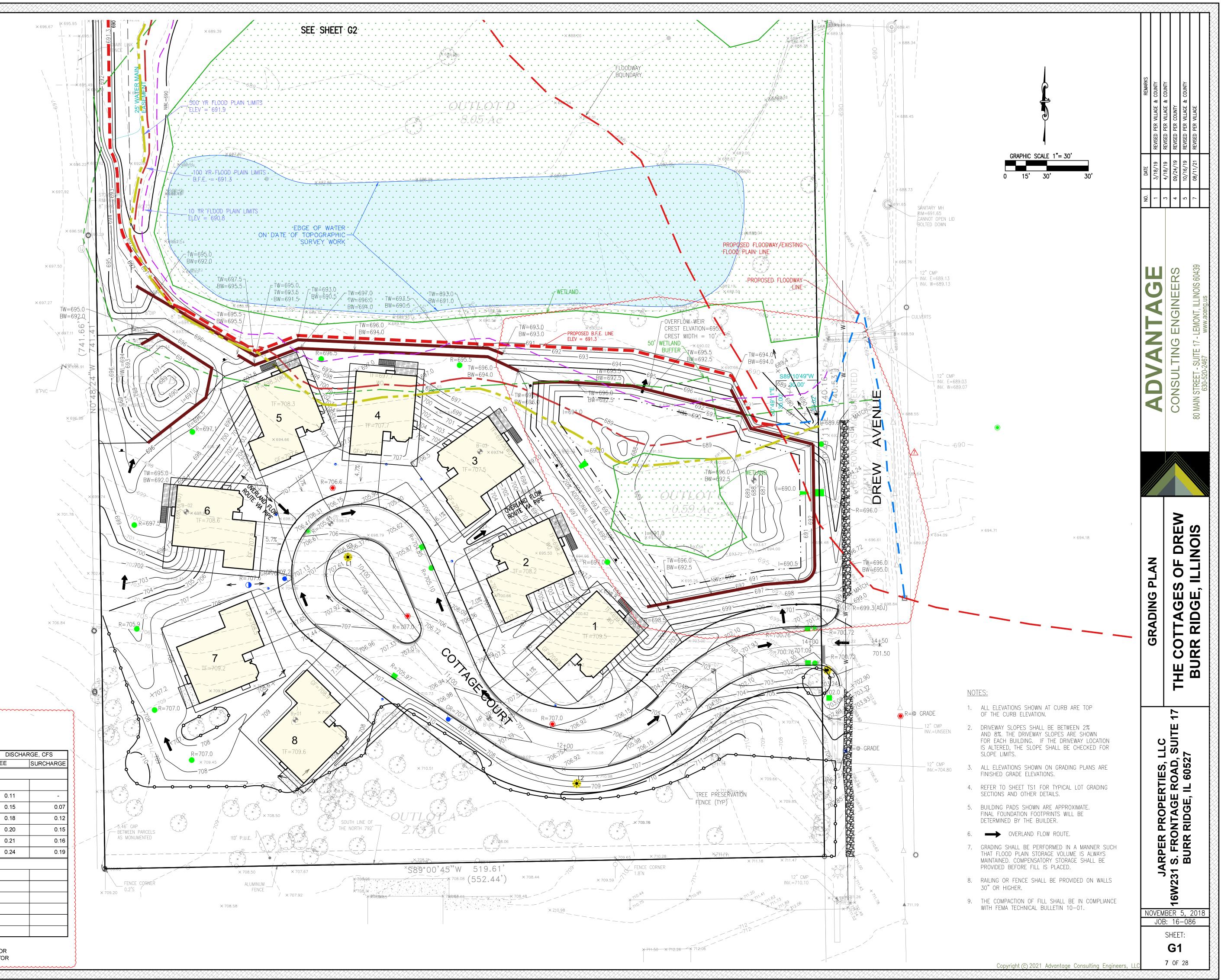
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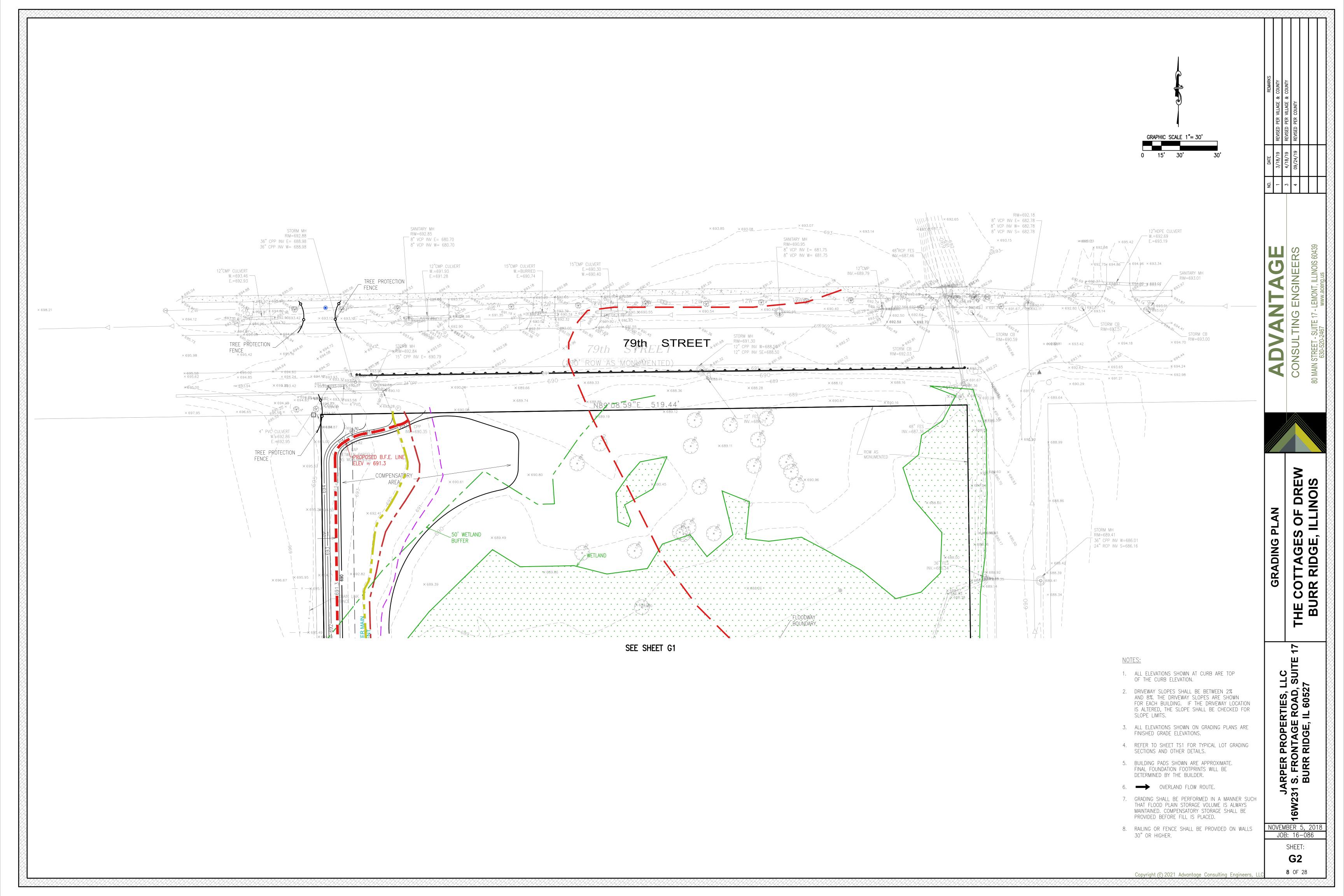
DETENTION - EAST

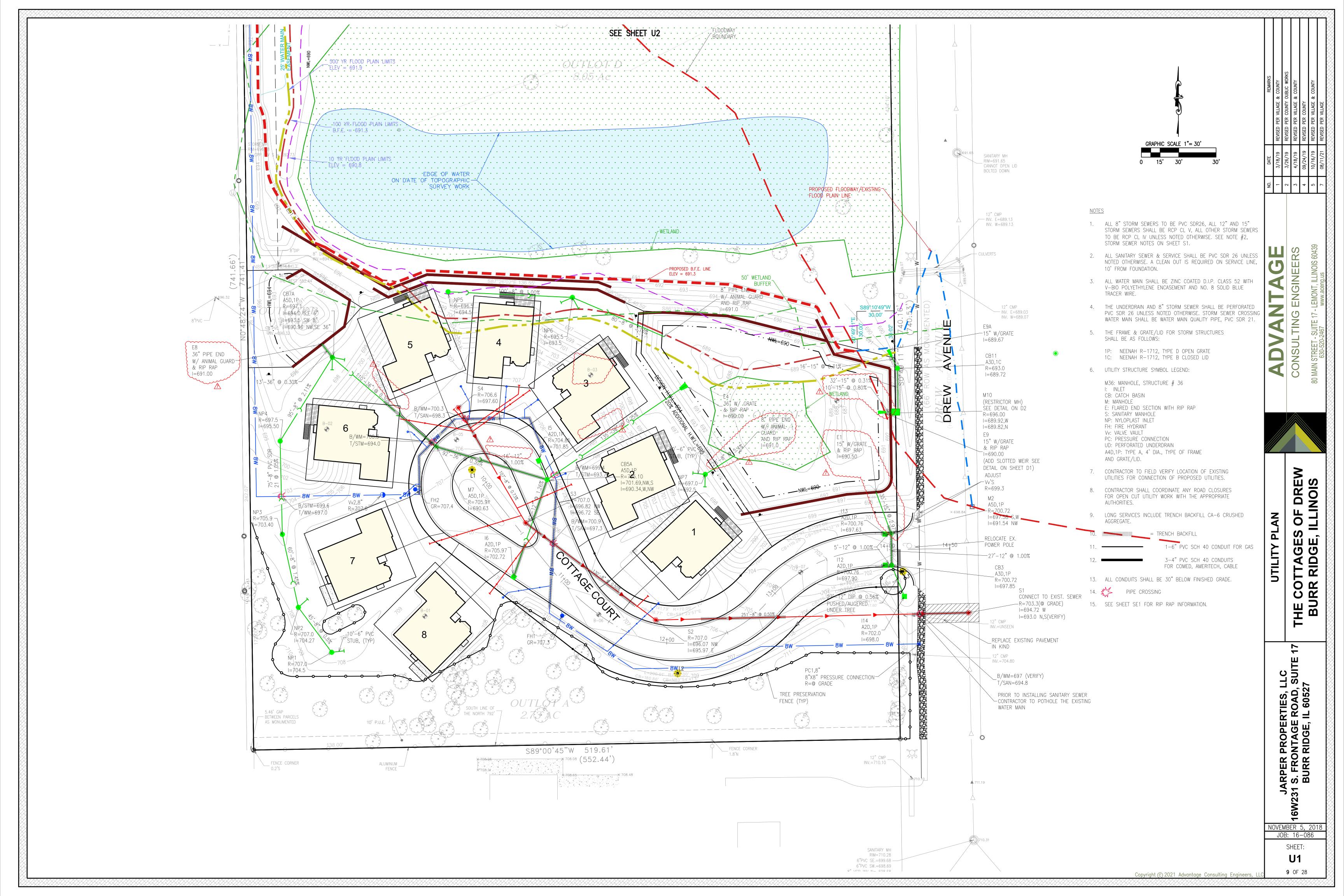
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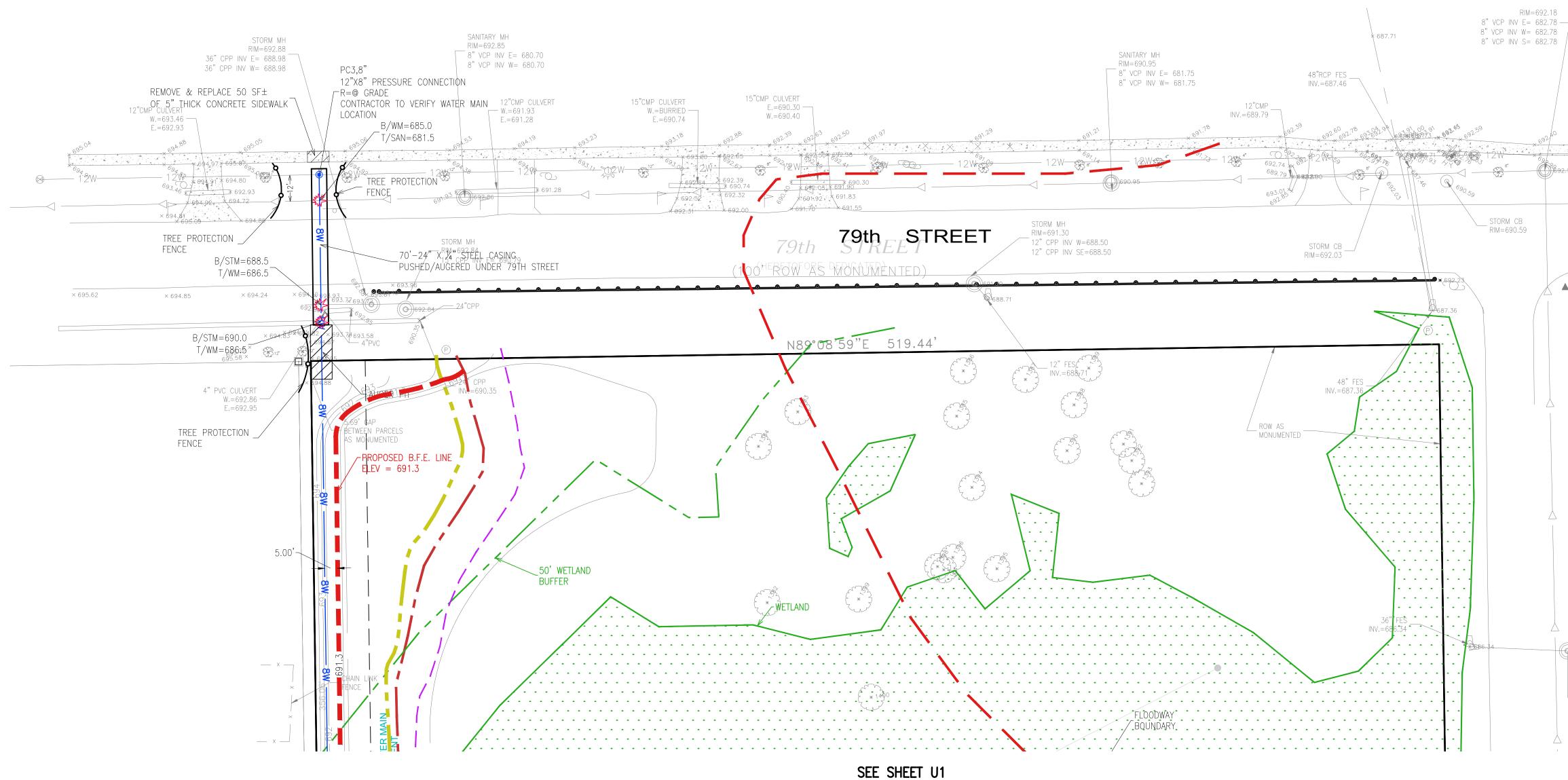
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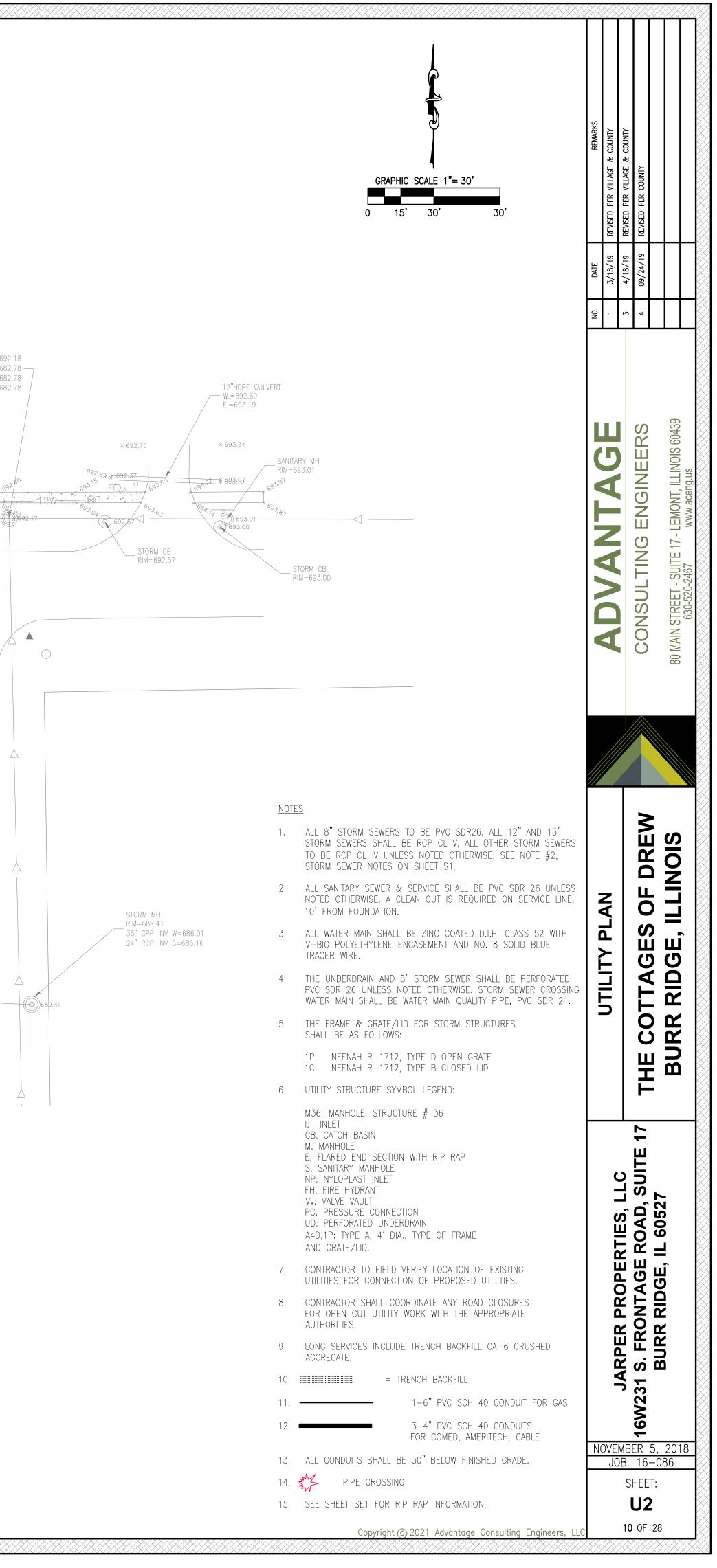
STAGE-STORAGE-DISCHARGE RELATIONSHIP

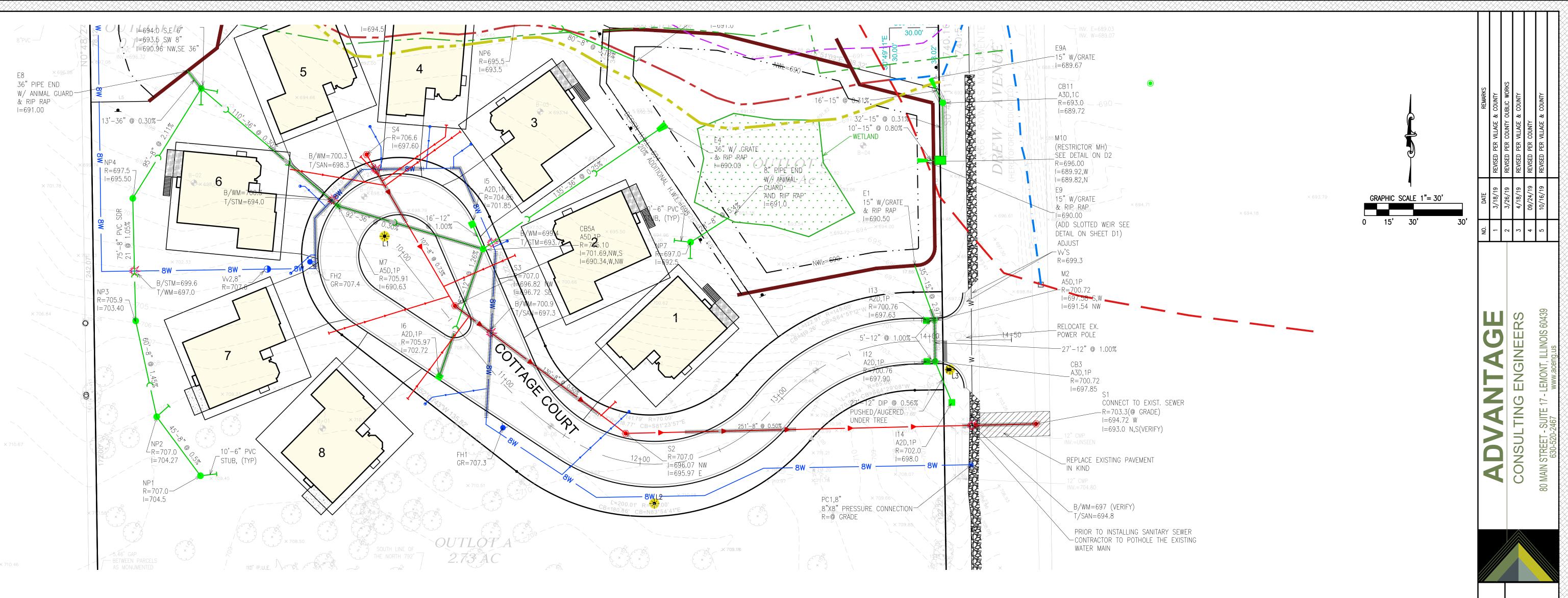


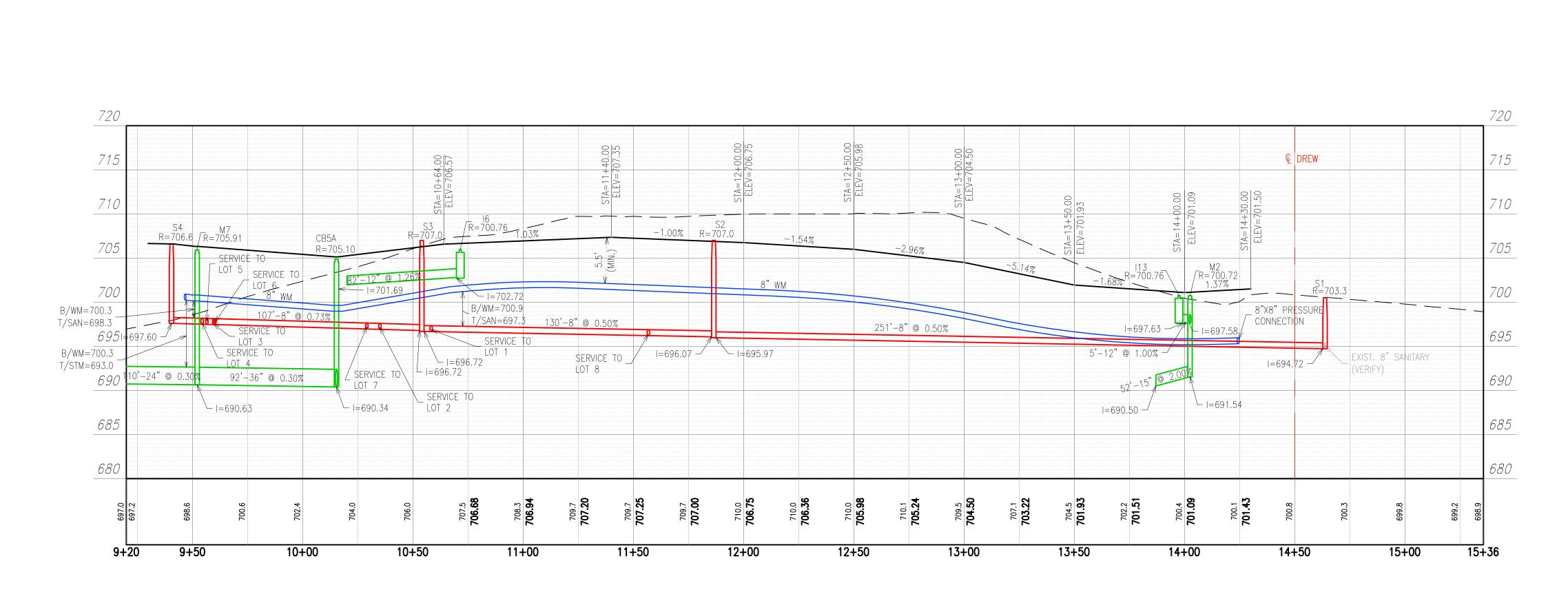


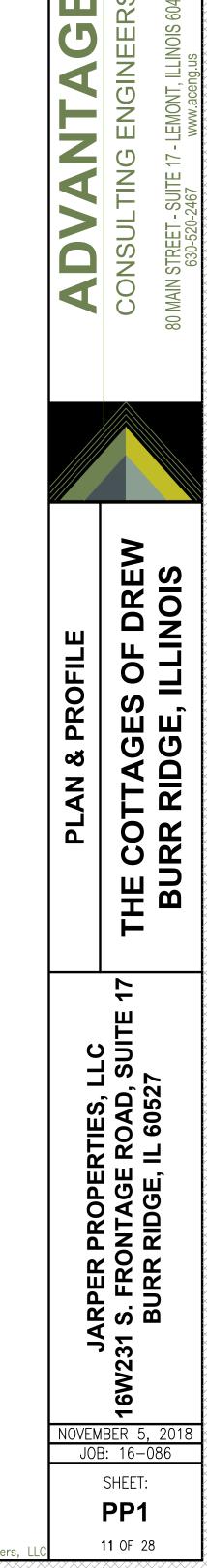












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Number Number No State Stat	MEASURE	CONTROL MEASURE	APPL.	КЕY	CONTROL MEASURE CHARACTERISTICS			MAINTENANCE FREQUENCY	ILLI	NOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES AND SOIL
Norm Norm <t< td=""><td></td><td>TEMPORARY SEEDING</td><td></td><td>TS</td><td>PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.</td><td>Х</td><td></td><td>REDO ANY FAILING AREAS.</td><td>1.</td><td>SITE DESCRIPTION.</td></t<>		TEMPORARY SEEDING		TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	Х		REDO ANY FAILING AREAS.	1.	SITE DESCRIPTION.
Handson Constrained and a set of the		PERMANENT SEEDING	\mathbf{X}	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.	1.	
Processing Strategy (Comparison (Comparison) Processing Strategy (Comparison) Processing		DORMANT SEEDING		OS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	Х	X	RE-SEED IF NEEDED.	1	
Norm Case		SODDING		60	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGE WAYS WHERE SEEDING MAY BE DIFFICULT.		X	N/A	A. R	
OND is not in the interval of the inte		MACHINE TRACKING		C C	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.	Х		N/A	C.	INSTALLATION OF UTILITIES INCLUDING STORM SEWERS
UNDERUNDERUNDERUNDERS<		POLYMER		\bigcirc	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	Х		REAPPLY EVERY $1\frac{1}{2}$ MONTHS.	2.	
$ \begin{array}{ $		AGGREGATE COVER		(AG)	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF—SITE.	Х	X	CLEAN UP DIRT FROM STONE AS NEEDED.		THE SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:
Number of the state		PAVING			PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		Х	N/A		B MASS GRADING
$ \begin{array}{c c c c c c c } \hline \begin{tabular}{ c c c c c } \hline \begin{tabular}{ c c c c c c c } \hline \begin{tabular}{ c c c c c c c c c c c c c c c c c c c$		RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	×	CLEAN SILT OUT WHEN HALF-FULL.		D FINE GRADING IN PAVEMENT AREA
$10 + 40 + 2m^{-1}$ 0 $30 + 20 + 30 + 30 + 30 + 30 + 30 + 30 + $		CHANNEL DIVERSION			TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.		
$ \frac{1}{100} 1$	DIVERSIONS	COMBINATION DIVERSION			TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	Х	X	REPLACE PROTECTION WHEN NEEDED.	3.	
$ \begin{array}{ $		CURB AND GUTTER		\bigcirc	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A	4	
$ \begin{array}{ $		BENCHES			SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	Х	N/A		IN THE PROJECT DRAINAGE STUDY, TITLED STORM WATER MANAGEMENT FOR THE COTTAGES ON DREW
Image: 10 mm mm Image: 10 mm	WATFRWAYS	VEGETATIVE CHANNEL				Х	X	REDO ANY FAILING AREAS.		THE ESTIMATED PROPOSED OVERALL SITE RUNOFF COEFFICIENT IS <u>0.65</u>
Bit Log PAR 1940 Constrained and the second and the s		LINED CHANNEL			USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.		X	REPLACE PROTECTION WHEN NEEDED.		
SPL 2007 INSCIPTION FOR ADDALS Image: Addals and addals a		STORM SEWER	X				X	CLEAN SEDIMENT OUT.		WETLAND ACREAGE <u>2.68 ACRES</u>
PRUMAR PROF NULL PRO 20 Last PROF NULL	DRAINAGE	UNDER DRAIN		\bigcirc	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS.		×	N/A	5.	A SEDIMENT FROM DISTURBED SOILS
$ \frac{1}{12} $		STRAIGHT PIPE SPILLWAY		\bigcirc	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.		C FUEL TANKS
$ \begin{array}{ $	SPILLWAYS	DROP INLET PIPE SPILLWAY		DIS	CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.		E WASTE CONTAINERS F CHEMICAL STORAGE AREAS
LUNE FIGURATION CO Autor and a tag tag tag. Co Autor and a data NULLEY UNDER FIGURATION CO Subject and the autor and tag tag tag. C Subject and tag tag tag. C Subject and tag tag tag. Subject and tag tag. Subject and tag. <		WEIR SPILLWAY	X	\bigcirc	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		X	CLEAN OUT CONSTRUCTION DEBRIS.		H ADHESIVES I TAR
COULD Units which wh		BOX INLET WEIR SPILLWAY		BS	BECAUSE OF LOWER WEIR LENGTH.		Х	CLEAN OUT CONSTRUCTION DEBRIS.		K DETERGENTS
LUDUIT 30 100 Holes Construction	OUTLETS	LINED APRON	\mathbb{X}	} 			X			N CONSTRUCTION DEBRIS
Converting Converting <thconverting< th=""> Converting Converti</thconverting<>		SEDIMENT BASIN	X	(SB)		X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.		P CONCRETE AND CONCRETE TRUCKS
STUNENT WILL HAR Will Base W	BASINS	SEDIMENT TRAP		(ST)		X			2.	CONTROLS.
MULE AND Constraints		SILT FENCE	\square	4 1	SEDIMENT FROM RUNOFF.	×		HALF-FULL. REPAIR ANY DAMAGED SILT		
DUST CONTOL DUST EVENTS		VEGETATIVE FILTER		\square	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X		REDO ANY FAILING AREAS.		
CONT FQ. Dest Contract. X Is -were work in Luck F CONT FQ. ENSIGN CONTROL ELANGT Image: An answere work in the contract in the con		STABILIZED CONST. ENTRANCE	$\left \right\rangle$	(SE)	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X		SCRAPE MUD AND REPLACE STONE AS NEEDED.	1.	
EROSION Turk Construction X X First and submit to the second submit t	CONTROL	DUST CONTROL	\square		PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X		RE-APPLY AS NEEDED.		INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED.
EROSION CONTROL CELULULAR CONTINUEMENT C USD TO FOLD TOPOLL OF STORULE OF STORUCE OF USED FOLD TO STOLUTE PROVIDE CONTROL GROUND X X ACCACE AS INCODE CONTROL GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE ACCACE AS INCODE ACCACE AS INCODE GROUND C USD TO FORCE FORSON IN VEH FOLD A AEGO X ACCACE AS INCODE ACCACE AS INCODE <td< td=""><td></td><td>EROSION CONTROL BLANKET</td><td></td><td></td><td>PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.</td><td>X</td><td>X</td><td>REPLACE AS NEEDED</td><td></td><td>THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED</td></td<>		EROSION CONTROL BLANKET			PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.	X	X	REPLACE AS NEEDED		THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED
CONTROL Get ons; Got use on negati easion in very nor negative in the very easier easiere easier easier easin easier easier easiere easier easier easiere		TURF REINFORCEMENT MAT			REINFORCES TURF IN CHANNELS AND SHORELINES.	X	X	REPLACE AS NEEDED		
GREADING GREADING GREADING A All Address in High P GEOTEXTILE TARKING GREADING GREADING A All Address in High P GEOTEXTILE TARKING GREADING GREADING A All Address in High P GEOTEXTILE TARKING GREADING GREADING A A All Address in High P GEOTEXTILE TARKING GREADING GREADING GREADING X X Result of a strenge MILET PROTECTION GREADING GREADING GREADING GREADING X A Result of a strenge X Result of a strenge SLOPE INTERRUPT GREADING GREADING GREADING GREADING X X Result of a strenge X CREADING X Result of a strenge X CREADING X Result of a strenge X CREADING X CREADING X Result of a strenge X CREADING X Result of a strenge X CREADING		CELLULAR CONFINEMENT			USED TO HOLED TOPSOIL ON STEEP SLOPES.	X	X	REPLACE AS NEEDED		PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BY INITIATED AS SOON AS
GEOBLOCK PORCUS PAVENENT Image: Standard Control of Pavenent X NETWORK NEEDED GEOBLOCK PORCUS PAVENENT Image: Standard Control of Pavenent X Network is needed INLET PROTECTION Image: Standard Control of Pavenent X Network is needed SLOPE INTERRUPT Image: Standard Control of Pavenent X Refused on clean when inter-paul or stat. DITCH CHECK Image: Standard Control of Pavenent Control in Status Standard Control in Status Status Status Control in Status Status Status Control in Status Status Status Status Control in Status Statu	CONTROL	GABIONS		+ +	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.		X	REPLACE AS NEEDED	-	THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE
SEDIMENT INLET PROTECTION ISSUE to generation of inlets. X Heridage of generation when closed. S. SEDIMENT INLET PROTECTION Issue to began with the flow on a slope. X Clean out when har-full of slit. Stabilized construction entrance Stabilized construction entrance SEDIMENT Inter Protection Issue to began with the flow on a slope. X Clean out when har-full of slit. Stabilized construction entrance Stabilized construction entrance SEDIMENT FLOC LOG Issue to clasify water that has sediment on the watery column. X Replace when har full of slit. Stabilized construction entrance Stabilized construction entrance SUT CURTAIN Issue to clasify water that has sediment on the watery column. X Replace when har full, clean Stabilized construction entrance Stabilized construction entrance PUMPING DISCHARGE BAG Import the construction entrance X Replace when har full, clean A Inter Protection Street sweeping Issee to report structure in streets. X Clean out when har full, clean Street sweeping Stabilized construction entrance					USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.	X	X	REPLACE AS NEEDED	-	
INLET PROJECTION Used for provenent control in stream X A reduce or clean with cloceded SLOPE INTERRUPT Si used for provide gravity X X clean out when har-foul of sut. DITCH CHECK Gi used for provide gravity X X clean out when har-foul of sut. X X SEDIMENT Gi used for provide gravity Stope interrupt Si used for provide gravity X Clean out when har-foul of sut. SEDIMENT FLOC LOG Gi used for provide gravity Stope interrupt Si Si used for provide gravity X Clean out when har-foul of sut. SEDIMENT FLOC LOG Gi used for provide gravity Y Replace when har-foul of sut. A oclean out when har-foul of sut. SUBJECT TO SECTION 404 OF The Clean water act. Gi used for provide gravity Y Replace when har-foul of sut. A Detention Provide gravity SUBJECT TO SECTION 404 OF The Clean water act. Gi used for provide gravity Front Provide gravity Stope system Stope system Stope system Stope system C Replace when har-foul of sut. SUBJECT TO RECTION							×	REPLACE AS NEEDED		C VEGETATIVE FILTER
SEDIMENT Image: Ditch check Image: Ditch check<		INLET PROTECTION	\square	4 1	USED FOR PROTECTION OF INLETS.	X		REPLACE OR CLEAN WHEN CLOGGED.	2.	STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED,
SEDIMENT CONTROL FLOC LOG Ised to clarify water that has sediment in the watery column. X Replace when half dissolved. SEDIMENT CONTROL Silt CURTAIN So used for sediment control in stream / pond. X Replace when half-full, fabric is torn or holes Begin to form. B STORM Selver Stream D UNST CONTROL Shall BE provided per standard 825 of illinois urban Manual. the PUMPING DISCHarge Bag PB used for pump discharge lines. X Replace when half-full, fabric is torn, or holes Begin to form. So PUMPING DISCHARGE Bag PI used for pump discharge lines. X Replace when half-full, clean washout cravel area as needed. D INICT ROLE DUST CONTROL Shall BE PROVIDED PER STANDARD 825 of illinois urban Manual. the FOLOWING methods for the DUST control CAN BE USED. STREET SWEEPING Sist or prevent sult build up in streets. X Clean once a week, or as needed. To keep street clean. M MARAGEMENT.					USED TO BREAK UP THE FLOW ON A SLOPE.	X	X	CLEAN OUT WHEN HLAF-FULL OF SILT.		THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE
CONTROL Silt curtain So used for sediment control in stream / pond. X Replace when fabric is torn or holes BEGIN to form. D INLET PROTECtion PUMPING DISCHARGE BAG PB used for pump discharge lines. X Replace when half-full, fabric is torn or holes D INLET PROTECtion CONCRETE WASHOUT CONCRETE WASHOUT CONCRETE Trucks to washout. X Clean out when half-full, clean washout gravel area as needed. A IRRIGATION B SPREAT ON ADDESIVE D MULCHING STREET SWEEPING SS used to prevent silt build up in streets. X Clean once a week, or as needed to keep street clean. A Storm Water Management.						X		CLEAN OUT WHEN HLAF-FULL OF SILT.	-	
SILT CORTAIN GO Used for sediment control in stream / pond. X Degree for form. X X X Degree for form. X X Degree form. X X X Degree form. X			\vdash			X			-	C RIP-RAP FOR OUTLET PROTECTION
CONCRETE WASHOUT X CLEAN OUT WHEN HALF-FULL, CLEAN WASHOUT GRAVEL AREA AS NEEDED. SPRAY ON ADHESIVE C VEGETATIVE COVER D MULCHING STREET SWEEPING X SS Used to prevent silt build up in streets. X CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN. 4. STORM WATER MANAGEMENT.				_		X		BEGIN TO FORM.	3.	
STREET SWEEPING X CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN. D MULCHING 4. STORM WATER MANAGEMENT.			+			X		OR HOLES BEGIN TO FORM.		B SPRAY ON ADHESIVE
			- K	x 1				WASHOUT GRAVEL AREA AS NEEDED.	-	
RIP-RAP DIMENSION TABLE		SIRLET SWEEPING		S		X			4.	STORM WATER MANAGEMENT. PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON La (FT)	MEDIAN RIPRAP SIZE C (IN)	WIDTH OF APRON U/S FACE W1 (FT)	WIDTH OF APRON D/S FACE W2 (FT)	DEPTH OF RIP RAP d (IN)	AREA OF RIP RAP (SQ.YDS.)	VOLUME OF RIP RAP (CU.YDS.)
ALL	8/12		10	6	3.00	13.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

OBSERVATION	& MAINTENANC	E SCHEDULE
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION- MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION- OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5".
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

		CONS	STRUC	TION	SCHE	DULE-	-2019	-20	
RIPTION	MON-1	MON-2	MON-3	MON-4	MON-5	MON-6	MON-7	MON-8	MON-9
I CONTROL									
CLEARING									
GRADING									
		1							

CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT. THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN IEPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.

THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:

- A BARRIER FILTERS
- B STORM SEWERS RETENTION/DETENTION PONDS
- PERMANENT SEEDING
- E OUTLET PROTECTION
- 5. VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).

STORM WATER MANAGEMENT CONTROL INCLUDES:

- A RIP-RAP FOR OUTLET PROTECTION (SEE RIP RAP TABLE FOR QUANTITY) B INLET PROTECTION
- 3. APPROVED STATE OR LOCAL PLANS.

THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND THE MUNICIPAL SUBDIVISION ORDINANCE. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS OR SITE PERMITS OR STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

WASTE MANAGEMENT

- SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINER TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF SITE BY THE CONTRACTORS. THE CONTRAC ARE RESPONSIBLE TO ACQUIRE THE PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORE APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE FOR THE MATERIALS BEING DISCARDED. THERE SHOULD BE NO LIQUID WASTES DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOUL REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE, IF NECES CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ON SITE. WASTE DISPOSAL SHALL COMPLY WITH ALL LOC STATE, AND FEDERAL REGULATIONS.
- ON-SITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLE FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED OF IN THE MANNER SPECIFIED E LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
- 8. CONCRETE WASTE MANAGEMENT

CONCRETE WASTE OR WASHOUT IS NOT ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAIN SYSTEM OR WATERCOURSE. WHEN PRACTICABLE, A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTAN FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE, AND SHOULD BE LOCATED AT LEAST 10 FEET BEHI CURB, IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD. A STABILIZED ENTRANCE THAT MEETS ILLINOIS UF MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.

THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CON WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE WASTE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 66% CAPACITY IS REACHED. HARD CONCRETE CAN BE PROPERLY RECYCLED AND USED AGAIN ON SITE (AS APPROVED BY THE ENGINEER) OR HAULI OFF SITE TO AN APPROPRIATE LANDFILL.

CONCRETE CUTTING

CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES CONCRETE CUTTING SHOULD NOT TAKE PLACE DURING OR IMMEDIATELY AFTER A RAINFALL EVENT. WASTE GENER FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DEPOSITED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.

10. VEHICLE STORAGE AND MAINTENANCE

WHEN NOT IN USE, CONSTRUCTION VEHICLES SHOULD BE STORED IN A DESIGNATED AREA(S) OUTSIDE OF THE REGULATORY FLOODPLAIN, AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STO DRAIN. CONTROLS SHOULD BE INSTALLED TO MINIMIZE THE POTENTIAL OF RUNOFF FROM THE STORAGE AREA(S) REACHING STORM DRAINS OR WATER COURSES. VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN A DESIGNATED AREA(S) TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS ABSORBENT PADS SHOULD BE USED FOR ALL VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DIS OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER VEHICLE-RELATED CHEMICALS IN ACCORDANCE WITH UNITE STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) AND IEPA REGULATIONS AND PER MATERIAL SAFETY DATA S (MSDS) AND/OR MANUFACTURER INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE PR CONTACT

11. MATERIAL STORAGE AND GOOD HOUSEKEEPING

MATERIALS AND/OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHA INTO STORM DRAINS OR WATERCOURSES. AN ON-SITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY STORAGE. ALL MATERIALS KEPT ON SITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABE AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFF TO READ. BERMED-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION (STORM WATER. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE FOR REFERENCING CLEAN-UP PROCEDURES. ANY RELEASE OF CHEMICALS/CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE PRIMARY CONTACT, WHO SHOULD THE APPROPRIATE AGENCIES, IF NEEDED.

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PR AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT. PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. SUBSTANCES SHOULD NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON S WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.

- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. MANAGEMENT OF PORTABLE SANITARY STATIONS
- TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT I TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDE A CONTROL DEVICE (E.C. CRAVEL_RAC RERM) THE CONTRACTOR SHOULD REVENT / AVO SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATION
- 13. SPILL PREVENTION AND CLEAN-UP PROCEDURES

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL S BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MA AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLC GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

14. DE-WATERING OPERATIONS

DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOC PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABIL AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQ EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY, STABILIZED CONVEYANC CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONT MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER

15. OFF-SITE VEHICLE TRACKING

THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING (SEDIMENTS. STREETS SHOULD BE SWEPT AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE AND REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND F THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.

16. TOPSOIL STOCKPILE MANAGEMENT

IF TOPSOIL IS TO BE STOCKPILED AT THE SITE, SELECT A LOCATION SO THAT IT WILL NOT ERODE, BLOCK DRAIN OR INTERFERE WITH WORK ON SITE. TOPSOIL STOCKPILES SHALL NOT BE LOCATED IN THE 100-YEAR FLOODPLA OR DESIGNATED BUFFER PROTECTING WATERS OF THE STATE. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHOULD BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. PERIMETER CONTROLS AS SILT FENCE, SHOULD BE PLACED AROUND THE STOCKPILE IMMEDIATELY. STABILIZATION OF THE STOCKPILE SH BE COMPLETED IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS.

3. <u>MAINTENANCE</u>

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES TO WILL BE USED TO MAINTAIN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASU IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.

- A STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONE, REMOVE REPLACE TOP LAYER OF STONE OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- B VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEE SODDING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPL ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.
- C SEDIMENTATION BASINS/TRAPS: SEDIMENTS SHALL BE REMOVED WHEN 40-50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY SEDIMENT. IN NO CASE SHALL SEDIMENT BE ALLOWED TO BUILT UP MORE THAN 1 FOOT BELOW THE CREST ELEVATION. AT THIS STAGE, THE BASIN SHALL BE CLEANED OUT T RESTORE ITS ORIGINAL VOLUME.
- D SILT FILTER FENCE: ANY DAMAGED SILT FILTER FENCE SHALL BE RESTORED TO MEET THE STANDARDS OR REMOVED AND REPLACED AS NEEDED
- E RIP-RAP OUTLET PROTECTION: INSPECTED SHALL OCCUR AFTER HIGH FLOWS FOR ANY SCOUR BENEATH TH RIP-RAP OR FOR STONE THAT HAVE BEEN DISLODGED. DISTURBED RIP RAP SHALL BE REPAIRED IMMEDIAT
- F DUST CONTROL: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD E APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

4. 1.	INSPECTIONS THE OWNER, OR OWNER'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT THE DISTURBED AREAS OF THE SITE UNDER CONSTRUCTION WHICH HAVE NOT BEEN STABILIZED, ALL STRUCTURAL CONTROL MEASURES, AND			
	LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.			
2.	DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE. THEY SHALL BE INSPECTED TO ASCERTAIN	REMARKS COUNTY	COUNTY	
	WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE SEDIMENT TRACKING.	ू अ	ઝ	
3.	BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE		PER VILLAGE	
4.	A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE		REVISED	
	INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4. SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH APPLICABLE PART OF THE GENERAL PERMIT.		4/18/19	
5.	IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN		++	
	SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. G OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING	- NO.	™	
	ADDRESS: ALL PACKAGES: ALL LETTERS			
	ILLINOIS ENVIRONMENTAL PROTECTION AGENCYILLINOIS ENVIRONMENTAL PROTECTION AGENCYDIVISION OF WATER POLLUTION CONTROLDIVISION OF WATER POLLUTION CONTROLATTN: COMPLIANCE ASSURANCE SECTIONATTN: COMPLIANCE ASSURANCE SECTION1024 NORTH GRAND AVENUE, EASTPOST OFFICE BOX 19276			
5.	SPRINGFIELD, IL 62794 SPRINGFIELD, IL 62794–9276 NON-STORM WATER DISCHARGES SPRINGFIELD, IL 62794–9276	ш	RS	60430
	EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, POSSIBLE SOURCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH THE PROPOSED ACTIVITY, ARE DESCRIBED BELOW:	U		
	A FIRE FIGHTING ACTIVITIES B FIRE HYDRANT FLUSHINGS		GINE	
	C WATER USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED D WATER USED TO CONTROL DUST E POTABLE WATER SOURCES INCLUDING UNCONTAMINATED WATERLINE FLUSHINGS F LANDSCAPE IRRIGATION DRAINAGES		С И Ш	- I FMONT
	 G ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS H PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED) AND WHERE DETERGENTS HAVE NOT BEEN USED. 		D N	17
	I ÙNCONTAMINATED AIR CONDITIONING CONDENSATE J SPRINGS K IRRIGATION DITCHES	A	ILTIN	
	L UNCONTAMINATED GROUND WATER M FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS	0	ISU	STRFFT
6.	PROHIBITED NON-STORMWATER DISCHARGES A CONCRETE AND WASTEWATER FROM WASHOUT OF CONCRETE (UNLESS MANAGED BY AN APPROPRIATE CONTROL)	A	CONSI	SU MAIN S
	B DRYWALL COMPOUND C WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT D FORM RELEASE OILS			80 N
	E CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS F FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE OR EQUIPMENT OPERATION AND MAINTENANCE G SOAPS, SOLVENTS, OR DETERGENTS			
	H TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE I ANY OTHER POLLUTANT THAT COULD CAUSE OR TEND TO CAUSE WATER POLLUTION			
	NPDES CONTRACTOR CERTIFICATE THIS CERTIFICATION STATEMENT IS A PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR			
	THE PROJECT DESCRIBED BELOW, IN ACCORDANCE WITH NPDES PERMIT NO. ILROODODOOO, ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY ON PROJECT TITLE: THE COTTAGES OF DREW			
	PROJECT TITLE: <u>THE COTTAGES OF DREW</u> PROJECT LOCATION: <u>BURR RIDGE DuPAGE ILLINOIS</u> CITY/VILLAGE COUNTY STATE		>	
	DEVELOPER: JARPER PROPERTIES, LLC		SEV	
	I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER	NOL	OF DRE/	CZ
	DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.	A L	ОF	
		N PL		
		RM WATER PO	GE	L L L L L L
	Signature: Date:	A WAT	TA	RID
	CONTRACTOR/SUBCONTRACTOR CERTIFICATION STATEMENT	STORM PRE		۵
	Name: Signature	ST	_	
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*** MOW LAWNS AS NECESSARY

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS

45 LBS/ACRE + STRAW MULCH 2 TONS/ACRE

KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS

30 LBS/ACRE.

SPRING OATS 100 LBS/ACRE WHEAT OR CEREAL RYE 150 LBS/ACRE.

STRAW MULCH 2 TONS/ACRE.

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IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

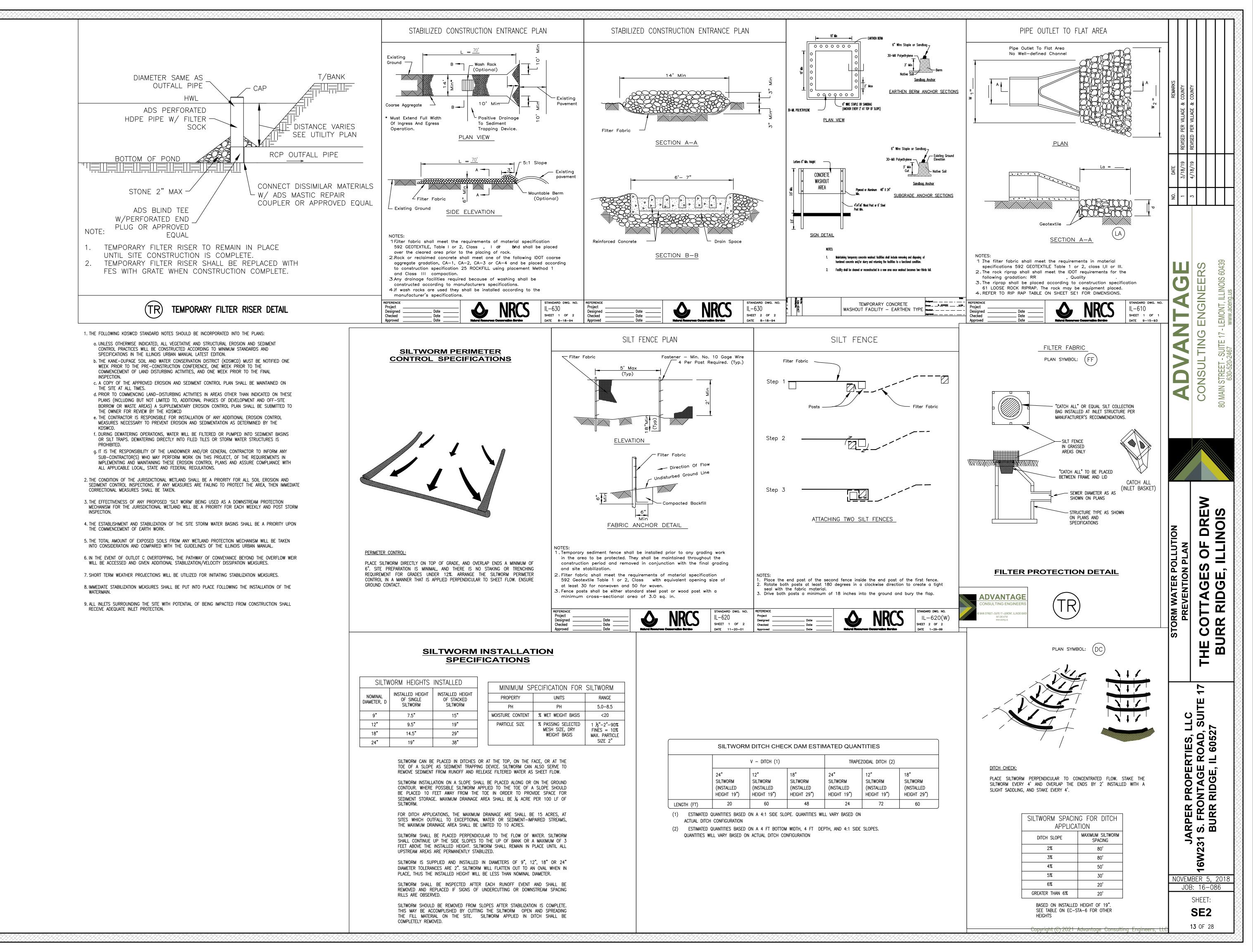
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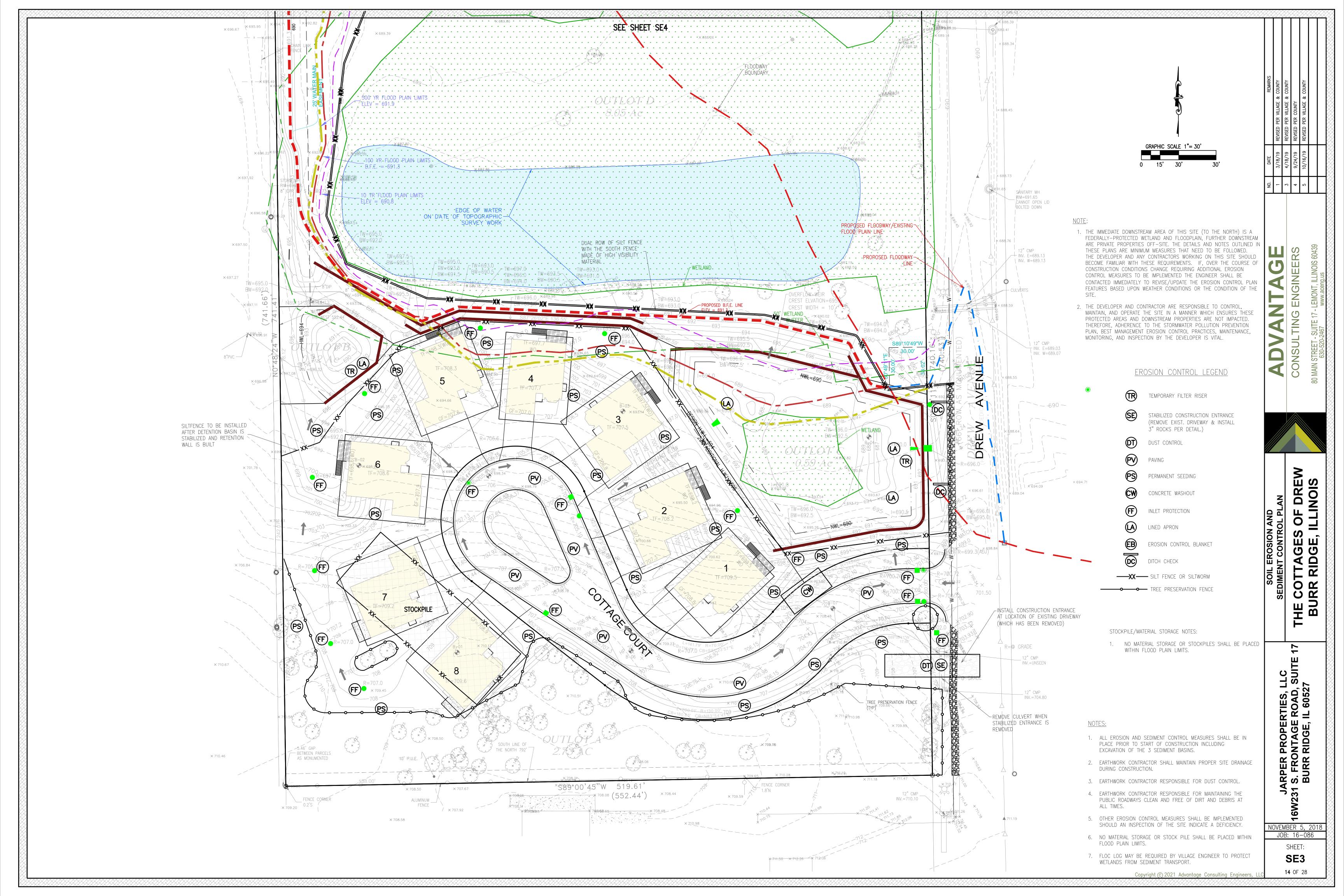
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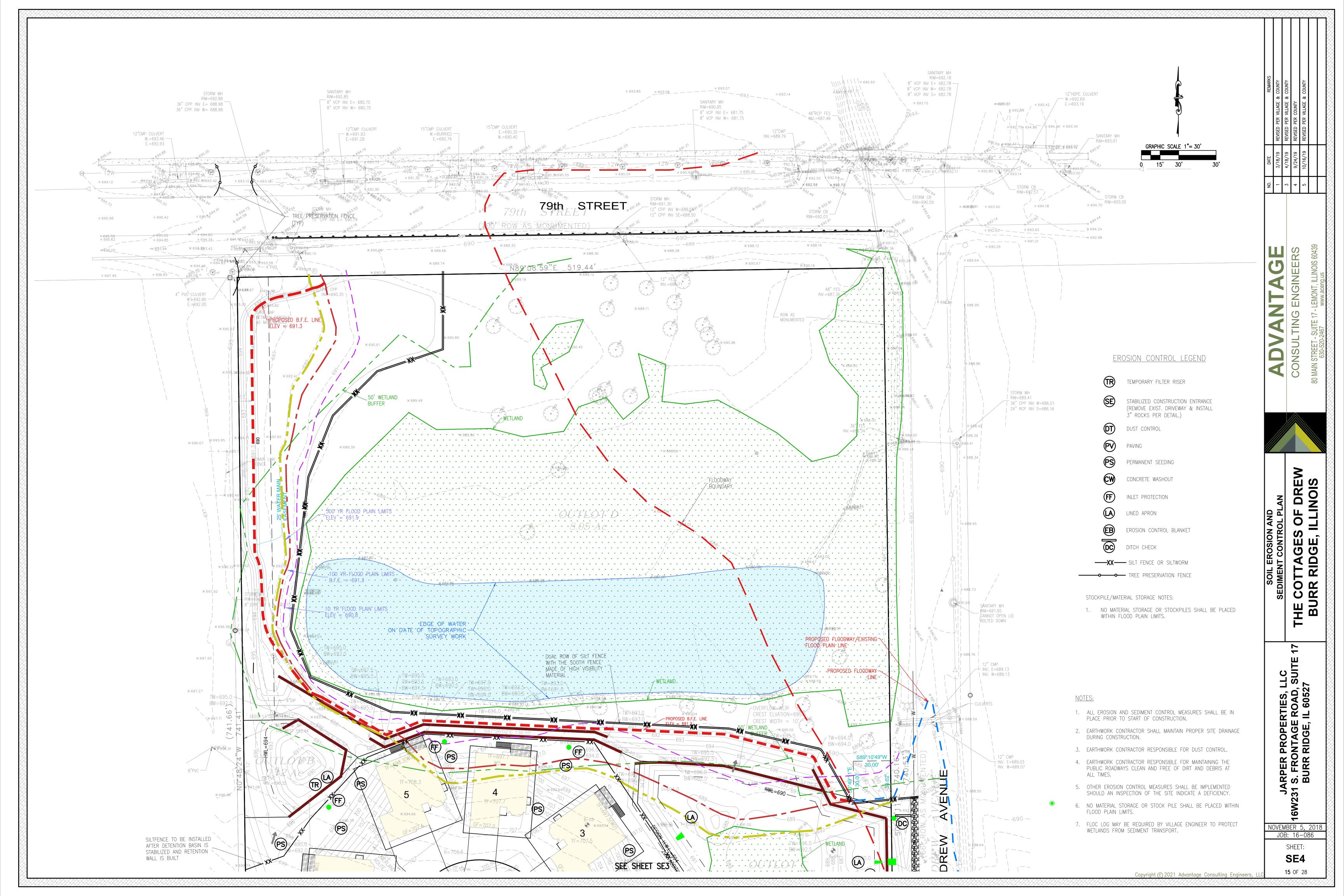
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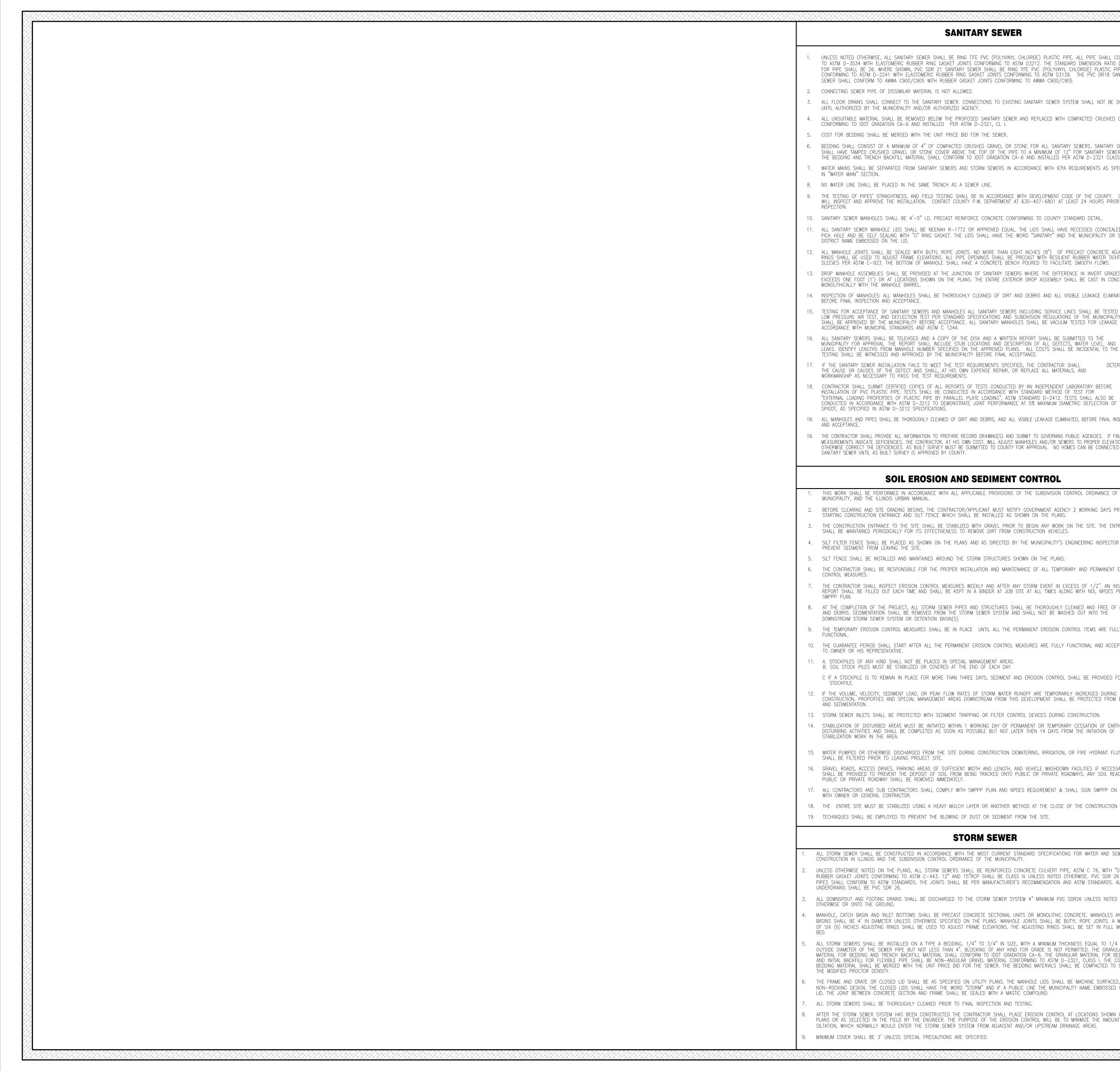
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SANITA	RY	SEWER
JANITA		JEWEN

1.	UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE. ALL PIPE SHALL COM TO ASTM D-3034 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3212. THE STANDARD DIMENSION RATIO (S FOR PIPE SHALL BE 26. WHERE SHOWN, PVC SDR 21 SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE CONFORMING TO ASTM D-2241 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3139. THE PVC DR18 SANI SEWER SHALL CONFORM TO AWWA C900/C905 WITH RUBBER GASKET JOINTS CONFORMING TO AWWA C900/C905
2. 3.	CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT ALLOWED. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DO
4.	ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GI CONFORMING TO IDOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321, CL I.
5. 6.	COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER. BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL SANITARY SEWERS. SANITARY SE
7.	SHALL HAVE TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF 12" FOR SANITARY SEWER THE BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321 CLASS WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPEC
8.	IN "WATER MAIN" SECTION. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE.
9.	THE TESTING OF PIPES' STRAIGHTNESS, AND FIELD TESTING SHALL BE IN ACCORDANCE WITH DEVELOPMENT CODE OF THE COUNTY. CO WILL INSPECT AND APPROVE THE INSTALLATION. CONTACT COUNTY P.W. DEPARTMENT AT 630-407-6801 AT LEAST 24 HOURS PRIOR INSPECTION.
10. 11.	SANITARY SEWER MANHOLES SHALL BE 4'-O" I.D, PRECAST REINFORCE CONCRETE CONFORMING TO COUNTY STANDARD DETAIL. ALL SANITARY SEWER MANHOLE LIDS SHALL BE NEENAH R-1772 OR APPROVED EQUAL. THE LIDS SHALL HAVE RECESSED (CONCEALED PICK HOLE AND BE SELF SEALING WITH "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" AND THE MUNICIPALITY OR SA
12.	DISTRICT NAME EMBOSSED ON THE LID. ALL MANHOLE JOINTS SHALL BE SEALED WITH BUTYL ROPE JOINTS. NO MORE THAN EIGHT INCHES (8") OF PRECAST CONCRETE ADJU RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. ALL PIPE OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES PER ASTM C-923. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.
13.	DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS ONE FOOT (1') OR AT LOCATIONS SHOWN ON THE PLANS. THE ENTIRE EXTERIOR DROP ASSEMBLY SHALL BE CAST IN CONCR MONOLITHICALLY WITH THE MANHOLE BARREL.
14.	INSPECTION OF MANHOLES: ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AND ALL VISIBLE LEAKAGE ELIMINATI BEFORE FINAL INSPECTION AND ACCEPTANCE.
15.	TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE TESTED F LOW PRESSURE AIR TEST, AND DEFLECTION TEST PER STANDARD SPECIFICATIONS AND SUBDIVISION REGULATIONS OF THE MUNICIPALITY SHALL BE APPROVED BY THE MUNICIPALITY BEFORE ACCEPTANCE. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED FOR LEAKAGE II ACCORDANCE WITH MUNICIPAL STANDARDS AND ASTM C 1244.
16.	ALL SANITARY SEWERS SHALL BE TELEVISED AND A COPY OF THE DISK AND A WRITTEN REPORT SHALL BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL. THE REPORT SHALL INCLUDE STUB LOCATIONS AND DESCRIPTION OF ALL DEFECTS, WATER LEVEL, AND LEAKS. IDENTIFY LENGTHS FROM MANHOLE NUMBER SPECIFIED ON THE APPROVED PLANS. ALL COSTS SHALL BE INCIDENTAL TO THE TESTING SHALL BE WITNESSED AND APPROVED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE.
17.	IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERM THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE REPAIR, OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS NECESSARY TO PASS THE TEST REQUIREMENTS.
18.	CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARD D-2412. TESTS SHALL ALSO BE CONDUCTED IN ACCORDANCE WITH ASTM D-3212 TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF T SPIGOT, AS SPECIFIED IN ASTM D-3212 SPECIFICATIONS.
19.	ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSP AND ACCEPTANCE.
19.	THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) AND SUBMIT TO GOVERNING PUBLIC AGENCIES. IF FINA MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATION OTHERWISE CORRECT THE DEFICIENCIES. AS BUILT SURVEY MUST BE SUBMITTED TO COUNTY FOR APPROVAL. NO HOMES CAN BE CONNECTED SANITARY SEWER UNTIL AS BUILT SURVEY IS APPROVED BY COUNTY.
	SOIL EROSION AND SEDIMENT CONTROL
1.	THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF T MUNICIPALITY, AND THE ILLINOIS URBAN MANUAL.
2. 3.	BEFORE CLEARING AND SITE GRADING BEGINS, THE CONTRACTOR/APPLICANT MUST NOTIFY GOVERNMENT AGENCY 2 WORKING DAYS PRIC STARTING CONSTRUCTION ENTRANCE AND SILT FENCE WHICH SHALL BE INSTALLED AS SHOWN ON THE PLANS. THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGIN ANY WORK ON THE SITE. THE ENTRA
4.	SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT FROM CONSTRUCTION VEHICLES. SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR PREVENT SEDIMENT FROM LEAVING THE SITE.
5. 6.	SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE STORM STRUCTURES SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EF
7.	CONTROL MEASURES. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2". AN INSP REPORT SHALL BE FILLED OUT EACH TIME AND SHALL BE KEPT IN A BINDER AT JOB SITE AT ALL TIMES ALONG WITH NOI, NPDES PE
8.	SWPPP PLAN. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE THOROUGHLY CLEANED AND FREE OF D AND DEBRIS. SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT INTO THE DOWNSTREAM STORM SEWER SYSTEM OR DETENTION BASIN(S)
9.	THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.
10.	THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPT TO OWNER OR HIS REPRESENTATIVE.
11.	A. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS. B. SOIL STOCK PILES MUST BE STABILIZED OR COVERED AT THE END OF EACH DAY. C IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOF STOCKPILE.
12.	IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THIS DEVELOPMENT SHALL BE PROTECTED FROM EI AND SEDIMENTATION.
13. 14.	STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THEN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN THE AREA.
15.	WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING, IRRIGATION, OR FIRE HYDRANT FLUSI SHALL BE FILTERED PRIOR TO LEAVING PROJECT SITE.
16.	GRAVEL ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSAF SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACH
17.	PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED IMMEDIATELY. ALL CONTRACTORS AND SUB CONTRACTORS SHALL COMPLY WITH SWPPP PLAN AND NPDES REQUIREMENT & SHALL SIGN SWPPP ON F WITH OWNER OR GENERAL CONTRACTOR.
18. 19.	THE ENTIRE SITE MUST BE STABILIZED USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION S TECHNIQUES SHALL BE EMPLOYED TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.
	STORM SEWER
1.	ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT STANDARD SPECIFICATIONS FOR WATER AND SEWE CONSTRUCTION IN ILLINOIS AND THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY.
	UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE REINFORCED CONCRETE CULVERT PIPE, ASTM C 76, WITH "O" RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. 12" AND 15"RCP SHALL BE CLASS IV UNLESS NOTED OTHERWISE. PVC SDR 26 PIPES SHALL CONFORM TO ASTM STANDARDS. THE JOINTS SHALL BE PER MANUFACTURER'S RECOMMENDATION AND ASTM STANDARDS. ALI UNDERDRAINS SHALL BE PVC SDR 26.
	ALL DOWNSPOUT AND FOOTING DRAINS SHALL BE DISCHARGED TO THE STORM SEWER SYSTEM 4" MINIMUM PVC SDR26 UNLESS NOTED OTHERWISE OR ONTO THE GROUND.
l	MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES ANI BASINS SHALL BE 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. MANHOLE JOINTS SHALL BE BUTYL ROPE JOINTS. A MA OF SIX (6) INCHES ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. THE ADJUSTING RINGS SHALL BE SET IN FULL MC BED.
	ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A BEDDING, 1/4" TO 3/4" IN SIZE, WITH A MINIMUM THICKNESS EQUAL TO 1/4 T OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE GRANULA MATERIAL FOR BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA-6. THE GRANULAR MATERIAL FOR BED AND INITIAL BACKFILL FOR FLEXIBLE PIPE SHALL BE NON-ANGULAR GRAVEL MATERIAL CONFORMING TO ASTM D-2321, CLASS I. THE COS BEDDING MATERIAL SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER. THE BEDDING MATERIALS SHALL BE COMPACTED TO 9 THE MODIFIED PROCTOR DENSITY.
6.	THE FRAME AND GRATE OR CLOSED LID SHALL BE AS SPECIFIED ON UTILITY PLANS. THE MANHOLE LIDS SHALL BE MACHINE SURFACED, NON—ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" AND IF A PUBLIC LINE THE MUNICIPALITY NAME EMBOSSED O LID. THE JOINT BETWEEN CONCRETE SECTION AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.
8.	ALL STORM SEWERS SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN O PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
9.	MINIMUM COVER SHALL BE 3' UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED.

	EARTHWORK						
1.	TOPSOIL EXCAVATION						
	EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION BELOW STRUCTURALLY UNSUITABLE MATERIALS OR COMPACTED EARTH FILL MATERIAL, AND CUT AREAS OF THE NON-STRUCTURAL ZONES. TOPSOIL MAY NOT HAVE TO BE REMOVED IF FILL IS TO BE PLACED IN NON-STRUCTURAL FILL AREAS SUCH AS REAR YARDS.						
	PLACEMENT OF EXCAVATED MATERIAL FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL ARE TO BE APPROVED BY OWNER PRIOR TO PLACEMENT.	RS	►		AUKKS	 ح	
	EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT TO BE STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.	REMARKS	0			COUNTY	
	TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING A MINIMUM OF 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.		VILLAGE &			VILLAGE &	
~	MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.		PER VI		E E	PER VIL	
2.	EARTH EXCAVATION EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A		REVISED		EVISED	REVISED	
	TOLERANCE OF 0.1 FEET +/- OF THE PLAN SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTI MATERIALS SHALL "BALANCE" AS PART OF THE FINE GRADING OPERATION.				+	╈	
	PLACEMENT OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET +/ THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN PLAN SUBGRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS. THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL FILL AREAS.	DATE	3/18/19	3/76/10	3/20/13	4/18/19	
	COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 95% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AND BUILDING PAD AREAS, SIDEWALK, ETC., 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED IN	NO.	<u> </u>	· ,		ъ	
	NON-STRUCTURAL FILL AREAS. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE TO REMAIN SO AS NOT TO CAUSE INJURY TO						
	ROOTS OR TRUNKS. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ALL EXISTING ITEMS WHICH ARE TO BE REMAIN. ANY DAMAGE DONE TO						
7	THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.						
3.	UNSUITABLE MATERIAL UNSUITABLE MATERIAL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT OR BUILDING CONSTRUCTION,				6	Ś	30
	AND IF IT IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION IT SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.					Ц	10 60/30
4.	THE GRADING CONTRACTOR SHALL:				L		
	MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.					5	I EMONT II I
	SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED FOR ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.					Z IJ	
	SCARIFY AND COMPACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.		2			5	5
	PROVIDE WATER AS DIRECTED BY SOILS ENGINEER TO DRY MATERIAL TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.						
	BACKFILL THE CORB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED IN THESE PLANS. ALL CONTRACTORS SHALL COMPLY WITH SWPPP AND NPDES REQUIREMENTS.					SUL	
	USE LIME STABILIZATION IN THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS ENGINEER.					SNC	
5.	TESTING AND FINAL ACCEPTANCE					00	NI MI NI NI
	THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR	1					9(
	TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY GRA REPRESENTATIVE AND OWNER.						
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PRESSURE CONNECTION TO EXISTING WATER MAIN W/ 12"X12" MECHANICAL JOINT TAPPING SLEEVE

STEEL PLATE PER AWWA C-200 SPECIFICATIONS.

PROVISION FOR GATES VALVES.

OPERATION.

SPECIFICATIONS.

ALL EXCESS MATERIAL.

A.TRENCH EXCAVATION

HIS OWN ÉXPENSE.

B.POLYETHYLENE ENCASEMENT

REPAIRS FOLLOWING THE TAP.

REQUIREMENTS.

5.RETRACT CUTTER ASSEMBLY.

6.CLOSE HOT TAPPING VALVE.

THIS SPECIAL PROVISION AS FOLLOWS:

GENERAL DESCRIPTION OF WORK AND PROCEDURES.

BOLTS AND NUTS SHALL BE GRADE 304L STAINLESS STEEL, ANNEALED.

THE FOLLOWING IS THE SUGGESTED SEQUENCE OF THE TAPPING PROCESS:

7. REMOVE HOT TAP MACHINE TO ALLOW FOR CONNECTION TO NEW PIPE.

1.INSTALL FITTING AND VALVE TO THE EXISTING PIPELINE.

EXISTING WATER MAIN W/

DESCRIPTION. THIS WORK SHALL CONSIST OF ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED TO CONNECT THE PROPOSED WATER MAIN TO THE EXISTING MAIN WITH A PRESSURE CONNECTION AT LOCATIONS INDICATED ON THE PLANS AND AS SHOWN ON THE DETAILS AND IN ACCORDANCE WITH THE ILLINOIS WATER & SEWER SPECIFICATIONS. THIS ITEM OF WORK SHALL INCLUDE FURNISHING A TAPPING SLEEVE, TAPPING RESILIENT WEDGE VALVE AND MAKING A PRESSURE TAP TO CONNECT TO AN EXISTING WATER MAIN. TAPPING SLEEVE SHALL BE OF CAST IRON MATERIAL.

MATERIALS. WATER MAIN AND AUXILIARY VALVES SHALL BE A RESILIENT WEDGE GATE VALVE RATED FOR 250 P.S.I.G. COLD WATER WORKING PRESSURE, HAVE A DUCTILE IRON BODY WITH A MODIFIED WEDGE DISC, HAVE MECHANICAL JOINT ENDS UNLESS OTHERWISE SPECIFIED, AND BE A NON-RISING STEM TYPE VALVE. THE VALVE SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C515. BOTH MECHANICAL JOINT ENDS SHALL COMPLY WITH AWWA STANDARD C111

AND ANSI STANDARD A21.11 SPECIFICATIONS. FLANGED ENDS SHALL COMPLY WITH ANSI/AWWA C110/A21.10. GATE VALVES

THE TAPPING SLEEVE SHALL BE MUELLER CAST IRON MJ #H615, AMERICAN FLOW CONTROL DUCTILE IRON SERIES 2800,

TYLER/UNION DUCTILE IRON, US PIPE DUCTILE IRON T-9, OR APPROVED EQUAL. THE NECK AND BODY SHALL BE 3/8"

SHOP DRAWINGS. SHOP DRAWINGS OF ALL ITEMS RELATED TO THE MANUFACTURER AND INSTALLATION OF THE TAPPING

GENERAL. TAPPING VALVES SHALL BE PROVIDED WITH A FLANGED END FOR ATTACHMENT TO THE FLANGE OF THE TAPPING SLEEVE AND WITH A MECHANICAL JOINT END THAT IS SUITABLE FOR ATTACHMENT OF A DRILLING MACHINE. WITH TH EXCEPTION OF VALVE ENDS AND OVERSIZED SEAT RINGS TO PERMIT ENTRY OF THE DRILLING MACHINE CUTTERS, TH

TAPPING VALVE SHALL BE OF THE RESILIENT WEDGE, GATE VALVE TYPE AS PREVIOUSLY SPECIFIED IN THE SPECIAL

PRIOR TO MOUNTING THE TAPPING MACHINE, ALL COMPONENTS OF THE TAPPING VALVE, SLEEVE, AND TAPPING MACHINE SHALL BE DISINFECTED. THE ENGINEER SHALL WITNESS CLEANING, PREPARATION, AND DISINFECTION OF THE PORTION OF THE EXISTING WATER MAIN THAT THE FITTING AND VALVE ASSEMBLY WILL BE MOUNTED ON.

2.INSTALL TAPPING MACHINE TO THE OUTLET FLANGE OF THE TAPPING VALVE, MAKING A PRESSURE TIGHT CONNECTION.

BASIS OF PAYMENT. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR PRESSURE CONNECTION

MECHANICAL JOINT TAPPING SLEEVE WITH TAPPING VALVE. WHICH SHALL BE PAYMENT IN FULL FOR ALL LABOR, EQUIPMENT, MATERIALS, AND ALL OTHER WORK REQUIRED TO COMPLETE THE INSTALLATION OF THE WATER MAIN

CONNECTION INCLUDING THE TAPPING VALVE, PIPE, FITTINGS, SOLID SLEEVE / FLEXIBLE COUPLING. INSTALLATION AND

PRESSURE CAPS, THRUST BLOCKS, POLYETHYLENE ENCASEMENT, EXCAVATION, TRENCH BACKFILL AND LEGAL DISPOSAL OF

DESCRIPTION. THIS ITEM CONSISTS OF FURNISHING AND INSTALLING METALLIC ZINC COATED DUCTILE IRON PIPE WITH V—BIO® ENHANCED POLYETHYLENE ENCASEMENT WITH TRACER WIRE AND WARNING TAPE IN OPEN TRENCH, FITTINGS, JOINT MATERIALS, TESTING, STERILIZING AND FLUSHING THE NEW MAIN, TAKING AND TRANSPORTING WATER SAMPLES FOR

CONSTRUCTION IN ILLINOIS, APPLICABLE SECTIONS OF AWWA STANDARDS, PLAN DETAILS AND AS REVISED OR AMENDED IN

DURING ANY ONE WORKING DAY, THE CONTRACTOR SHALL EXCAVATE SUCH TRENCHES THAT WILL HAVE THE WATER MAIN INSTALLED AND BACKFILLED DURING THE DAY. NO SUCH TRENCHES SHALL BE LEFT OPEN AT THE END OF THE WORKING DAY. IT SHALL BE TEMPORARILY BACKFILLED UNTIL CONSTRUCTION RESUMES. IMMEDIATELY FOLLOWING THE BACKFILLING OF

TRENCHES, ALL EXCAVATION MATERIAL SHALL BE HAULED OFF THE JOB SITE AND DISPOSED OF BY THE CONTRACTOR AT

TO PROTECT DUCTILE IRON PIPE FROM THE CORROSIVE SOIL, ALL PIPE SHALL BE WRAPPED WITH V- BIO® ENHANCED POLYETHYLENE ENCASEMENT. POLYETHYLENE ENCASEMENT FOR USE WITH DUCTILE IRON PIPE SHALL MEET ALL THE

IN ADDITION, POLYETHYLENE ENCASEMENT FOR USE WITH DUCTILE IRON PIPE SYSTEMS SHALL CONSIST OF THREE LAYERS

OF CO-EXTRUDED LINEAR LOW DENSITY POLYETHYLENE (LLD PE), FUSED INTO A SINGLE THICKNESS OF NOT LESS THAN

THE INSIDE SURFACE OF THE POLYETHYLENE WRAP TO BE IN CONTACT WITH THE PIPE EXTERIOR SHALL BE INFUSED WITH A BLEND OF ANTI-MICROBIAL BIOCIDE TO MITIGATE MICROBIOLOGICALLY INFLUENCED CORROSION AND A VOLATILE CORROSION INHIBITOR TO CONTROL GALVANIC CORROSION.

DUCTILE IRON PIPE AND THE POLYETHYLENE ENCASEMENT USED TO PROTECT IT SHALL BE INSTALLED IN ACCORDANCE

WITH AWWA C600 AND ANSI/ AWWA C105/ A21.5 AND ALSO IN ACCORDANCE WITH ALL RECOMMENDATIONS AND PRACTICES OF THE AWWA M41, MANUAL OF WATER SUPPLY PRACTICES -DUCTILE IRON PIPE AND FITTINGS. SPECIFICALLY,

THE WRAP SHALL BE OVERLAPPED ONE FOOT IN EACH DIRECTION AT JOINTS AND SECURED IN PLACE AROUND THE PIPE AND ANY WRAP AT TAP LOCATIONS SHALL BE TAPED TIGHTLY PRIOR TO TAPPING AND INSPECTED FOR ANY NEEDED

1. PICK UP THE PIPE WITH A SLING OR PIPE TONGS. SLIP A POLYETHYLENE TUBE WHICH IS APPROXIMATELY TWO FEET

2.LOWER THE PIPE INTO THE TRENCH AND MAKE UP THE JOINT WITH THE PRECEDING PIPE. SHALLOW BELL HOLES ARE

POLYETHYLENE TUBE ALONG THE PIPE BARREL, LEAVING APPROXIMATELY ONE FOOT OF THE TUBE BUNCHED UP AT

4.0VERLAP EACH JOINT BY FIRST PULLING ONE BUNCHED-UP TUBE OVER THE BELL, FOLDING IT AROUND THE ADJACENT PLAIN END AND SECURING IT IN PLACE WITH TWO OR THREE WRAPS OF THE POLYETHYLENE ADHESIVE TAPE. COMPLETE

5. TAKE UP THE SLACK TUBE ALONG THE PIPE BARREL BY FOLDING IT OVER THE TOP OF THE PIPE HOLDING THE FOLD

3.REMOVE THE SLING OR TONG FROM THE CENTER OF THE PIPE, RAISE THE BELL A FEW INCHES AND SLIP THE

REQUIREMENTS FOR ANSI/ AWWA C105/A21.5, POLYETHYLENE ENCASEMENT FOR DUCTILE IRON PIPE SYSTEMS.

ALL INSTALLATIONS SHALL BE CARRIED OUT BY PERSONNEL TRAINED AND EQUIPPED TO MEET THESE VARIOUS

LONGER THAN THE PIPE OVER THE PLAIN END AND LEAVE IT BUNCHED UP ACCORDION STYLE.

REQUIRED TO ALLOW OVERLAP OF THE TUBE AT THE JOINTS.

EACH END OF THE PIPE FOR WRAPPING THE JOINTS.

3.PERFORM HOT TAP THROUGH THE OPEN VALVE, RETAINING THE 'COUPON' CUTOUT REMOVED DURING THE HOT TAP

4.INSTALLATION SHALL BE PRESSURE TESTED IN ACCORDANCE WITH SECTION 46-6 OF THE WATER AND SEWER

12"X12

METALLIC ZINC COATED DUCTILE IRON WATER MAIN ENCASED IN V- BIO® ENHANCED POLYETHYLENE PLASTIC

BACTERIOLOGICAL ANALYSIS. AND ALL OTHER WORK AS MAY BE NECESSARY FOR A COMPLETE INSTALLATION.

THIS WORK SHALL BE IN ACCORDANCE WITH APPLICABLE PARAGRAPHS OF SECTIONS 208, 561, AND 1000 OF THE STANDARD SPECIFICATIONS, APPLICABLE SECTIONS OF STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN

SHALL BE EPOXY COATED ACCORDING TO AWWA C550. VALVES 14 INCH AND LARGER SHALL HAVE AN ENCLOSED GEAR

CASE. DESIGN SHALL BE OF THE BEVEL GEAR TYPE (HORIZONTAL INSTALLATION) OR AS SPECIFIED ON THE PLANS.

VALVE AND SLEEVE SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO DELIVERY TO THE JOB SITE.

SHALL HAVE "FIELD LOK GASKETS". THE PLACEMENT OF FIELD LOK THESE SPECIAL PROVISIONS.

TO THE HOURS OF SHUT-OFF. A.TRACER WIRE AND WARNING TAPE

TRACER WIRE AND WARNING TAPE WILL BE REQUIRED TO ASSIST WITH WATER MAIN LOCATING. WARNING TAPE SHALL BE 2" WIDE BLUE PLASTIC WARNING TAPE. TRACER WIRE SHALL BE #8 SOLID GAUGE TRACER WIRE WITH BLUE INSULATION. (ADDED BY ORDINANCE A-894-03-08)

B.BACKFILLING

THE BEDDING, HAUNCHING AND BACKFILLING FOR PIPE INSTALLATION SHALL BE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN SECTION 20 OF THE WATER AND SEWER SPECIFICATIONS EXCEPT AS MODIFIED IN THESE SPECIAL PROVISIONS. BEDDING, HAUNCHING, AND INITIAL BACKFILL WILL NOT BE ELIGIBLE FOR PAYMENT BUT SHALL BE CONSIDERED INCLUDED IN THE COST OF DUCTILE IRON WATER MAIN, OF THE DIAMETER SPECIFIED.

BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL CONSIST OF CA-7 COURSE AGGREGATE GRADATION. BEDDING SHALL CONSIST OF 6" COMPACTED GRANULAR BEDDING BENEATH THE PIPE. HAUNCHING SHALL CONSIST OF THE BACKFILL FROM THE BOTTOM OF THE PIPE TO THE SPRING LINE (CENTERLINE) OF THE PIPE. INITIAL BACKFILL INCLUDES GRANULAR BACKFILL FROM THE SPRING LINE OF THE PIPE TO 12" ABOVE THE PIPE. INITIAL BACKFILL AND HAUNCHING SHALL BE PLACED IN 6-INCH MAXIMUM LAYERS WITH THE BACKFILL COMPACTED BY MECHANICAL MEANS.

THE PLACEMENT AND COMPACTION OF GRANULAR BACKFILL MATERIAL (CA-6) WHEN REQUIRED SHALL BE AS SPECIFIED UNDER TRENCH BACKFILL OF THESE SPECIAL PROVISIONS. BEDDING SHALL BE PLACED IN 6-INCH MAXIMUM LAYERS OF THE SPECIFIED MATERIALS AS SHOWN ON THE DRAWINGS AND COMPACTED BY MECHANICAL MEANS.

C.HYDROSTATIC TESTING

PRESSURE TESTING OF DISTRIBUTION WATER MAINS SHALL BE PERFORMED BY CONTRACTOR IN ACCORDANCE WITH AWWA C-600 AND WITNESSED BY VILLAGE OF BURR RIDGE REPRESENTATIVE. THE TEST SHALL CONSIST OF HOLDING A PRESSURE ON THE WATER MAIN / SERVICE OF 150 PSI FOR A MINIMUM OF 2 HOURS. THE PRESSURE DURING THE TWO-HOUR TEST CANNOT VARY BY MORE THAN = - 5 PSI FOR THE DURATION OF THE TEST. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE OR ANY VALVED SECTION THEREOF TO MAINTAIN PRESSURE WITHIN 5 PSI OF THE SPECIFIED TEST PRESSURE AFTER THE WATER MAIN / SERVICE HAS BEEN FILLED WITH WATER AND THE AIR HAS BEEN EXPELLED. THE WATER NECESSARY TO BRING THE PRESSURE UP TO 150 PSI FROM A MEASURED CONTAINER SHALL BE THE AMOUNT OF

LEAKAGE. A FIRE SERVICE LINE MUST BE TESTED AT 200 PSI AS OUTLINED IN THE NFPA 24: STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES.

NOTE: IF AT ANY TIME AFTER THE TEST BEGINS A DROP OF 5 PSI OR GREATER IS RECORDED, THE TEST IS COMPLETE WITH A FAILING RESULT REGARDLESS OF THE ALLOWABLE MAKE-UP. G.FLUSHING AND DISINFECTION

ANY OF THE METHODS STATED IN AWWA STANDARD C651-92 ARE ACCEPTED AS A MEANS OF DISINFECTION OF WATER MAINS. SECTIONS OF PIPE TO BE DISINFECTED SHALL FIRST BE FLUSH TO REMOVE ANY SOLID OR CONTAMINATION MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE. IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, THEN A TAP SHOULD BE PROVIDED LARGE ENOUGH TO DEVELOP A VELOCITY OF AT LEAST 2.5-FEET PER SECOND IN THE MAIN. ONE

1/2-INCH HYDRANT OPENING WILL, UNDER NORMAL PRESSURES, PROVIDE THIS VELOCITY IN PIPE SIZES UP TO AND INCLÚDING 12- INCHES.

WATER MAINS SHALL BE STERILIZED BY OR UNDER THE DIRECTION OF AN EXPERIENCED PROFESSIONAL CHLORINATION TECHNICIAN RETAINED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER AND THE STATE DEPARTMENT OF HEALTH. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF SHALL BE CHLORINATED FOR THAT THE DIRECTORY OF THAT THE OWNER ACCEPTABLE TO THE DIRECTORY OF SHALL BE CHLORINATED AND THE STATE DEPARTMENT. SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) MG/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) MG/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE. AFTER THE STERILIZATION PROCESS, WATER SAMPLES SHALL BE COLLECTED AT STRATEGIC LOCATIONS THROUGHOUT THE SYSTEM EQUAL TO ONE (1) IN EVERY 1000-FEET OF NEW PIPE WITH NO LESS THAN TWO (2) SAMPLES TOTAL AND SUBMITTED TO AN INDEPENDENT LABORATORY APPROVED BY THE ENGINEER FOR BACTERIOLOGICAL EXAMINATION ON TWO SEPARATE DAYS.

FOLLOWING CHLORINATION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE NEWLY LAID PIPE AT ITS EXTREMITY UNTIL THE REPLACEMENT WATER THROUGHOUT ITS LENGTHS SHOWS UPON TEST, CHLORINE RESIDUAL NOT IN EXCESS OF THAT CARRIED IN THE SYSTEM (0.8 TO 1.0 MG/L). METHOD OF MEASUREMENT AND BASIS OF PAYMENT THIS WORK SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR "ZINC COATED DUCTILE IRON WATER MAIN ENCASED IN V-BIO® ENHANCED POLYETHYLENE PLASTIC, OF THE SIZE INDICATED ON DUE CONTRACT DRAWINGS MEASURED FOR PAYMENT IN ACCORDANCE WITH THE PAY LIMITS SHOWN ON THE PLANS. THIS PRICE SHALL INCLUDE THE COST OF ALL MATERIALS, LABOR AND EQUIPMENT FOR A COMPLETE INSTALLATION INCLUDING THE PRESSURE TESTING AND STERILIZATION. THIS ITEM SHALL ALSO INCLUDE ANY AND ALL ITEMS SUCH AS WATER PUMPS, GAUGES, METERS, TAPS, CORPORATION STOPS, COPPER WHIPS, TEMPORARY BLIND FLANGES (REQUIRED FOR TESTING), LABORATORY TEST COSTS, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THIS WORK AS SPECIFIED. TEES, CROSSES, REDUCERS, BEND, PLUGS, SLEEVES, WEDGES, AND POLYETHYLENE TUBE ARE PART OF THIS ITEM AND WILL NOT BE PAID FOR SEPARATELY. FIELD LOK GASKETS WILL BE PAID FOR SEPARATELY.

DUCTILE IRON PIPE INSTALLED IN STEEL CASING, 12" / PVC PIPE INSTALLED IN STEEL CASING, 12"

DESCRIPTION. THIS WORK SHALL BE IN CONFORMANCE WITH SECTION 20-2.19 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, EXCEPT AS MODIFIED HEREIN. ENCASEMENTS FOR PIPES UNDER HIGHWAYS OR RAILROADS SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE, OR THE OWNER OF THE HIGHWAY OR RAILROAD.

MATERIALS. MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 561.02 OF THESE SPECIAL PROVISIONS. ALL JOINTS LOCATED INSIDE OF STEEL CASING SHALL BE RESTRAINED WITH FIELD-LOK BY U.S. PIPE, MEGA LUGS BY EBAA IRON. OR APPROVED FQUAL.

THE CARRIER PIPE SHALL BE SUPPORTED FOR ITS ENTIRE LENGTH INSIDE THE CASING PIPE BY MEANS OF CASING SPACERS, SIZED PRECISELY TO PREVENT SHIFTING OR FLOTATION. CASING SPACERS SHALL BE STAINLESS STEEL OF TYPE 304 STAINLESS STEEL SHELLS, PVC LINER, HIGH MOLECULAR WEIGHT POLYMER RUNNERS, AND STAINLESS STEEL BOLTS AND LOCK NUTS AS MANUFACTURED BY CASCADE MODEL CSS. SPACERS SHALL BE PLACED AT A MAXIMUM DISTANCE OF 10-FEET ON CENTER, WITH A MINIMUM OF THREE (3) SPACERS PER PIPE LENGTH, WITH ONE (1) SPACER WITHIN TWO (2) FEET FROM ANY END.

STEEL CASING PIPE ENDS SHALL BE SEALED WITH RUBBER END SEALS CASCADE MODEL CCES OR APPROVED EQUAL. THE CARRIER PIPE SHALL BE ADJUSTED SO THAT THE END EXTENDS PAST THE END OF THE CASING PIPE BY APPROXIMATELY 12 TO 18 INCHES. CARRIER PIPE FOR WATER MAIN SHALL BE HYDROSTATICALLY PRESSURE TESTED PRIOR TO SEALING THE ANNULAR SPACE.

THE ANNULAR SPACE SHALL BE FILLED WITH PEA GRAVEL, LOW-STRENGTH GROUT, OR CELLULAR FOAM CONCRETE AND PROVISIONS SHALL BE MADE SO THAT NO VOIDS ARE LEFT. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE A VILLAGE REPRESENTATIVE WITNESS THE ANNULAR SPACING FILLING OPERATIONS.

BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR DUCTILE IRON OR PVC PIPE INSTALLED IN STEEL CASING, 12", WHICH PRICE SHALL INCLUDE ALL PIPE; FITTINGS; JOINT MATERIALS AND JOINT RESTRAINTS: "FIELD LOK GASKETS"; THRUST BLOCKS; POLYETHYLENE ENCASEMENT; TESTING AND DISINFECTION, (INCLUDING FITTINGS, METERS, PUMPS, GAUGES, LABORATORY FEES); LABOR; EQUIPMENT; EXCAVATION; FILLING THE ANNULAR SPACE, CASING SPACERS, AND END SEALS REQUIRED TO COMPLETE THE WORK AS SPECIFIED HEREIN.

CUT AND INSTALL ENDCAPS DESCRIPTION. THIS WORK SHALL CONSIST OF THE INSTALLATION OF A CAP ON AN EXISTING WATER MAIN THAT IS TO BE ABANDONED AT LOCATIONS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER. THIS WORK SHALL INCLUDE FULL DEPTH SAWCUTTING OF THE EXISTING PAVEMENT, PAVEMENT REMOVAL, EXCAVATION, DISPOSAL OF ALL UNSUITABLE MATERIAL, CAPPING BOTH ENDS OF THE EXISTING WATER MAIN, AND FURNISHING, PLACING, AND COMPACTING TRENCH BACKFILL IN AN APPROVED MANNER.

MATERIALS. THE CAP(S) AND OR PLUG(S) SHALL BE OF AN APPROVED MATERIAL WITH A MECHANICAL JOINT AND GASKET AND SHALL BE SECURED IN PLACE WITH MEGA LUGS. PREFORMED PORTLAND CEMENT CONCRETE BLOCKS SHALL ALSO BE USED TO FURTHER BRACE THE CAP.

CONSTRUCTION REQUIREMENTS. THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE VILLAGE'S WATER AND SEWER DEPARTMENT FOR A REQUEST FOR A WATER SHUT- OFF SO THAT THE CUSTOMERS CAN BE NOTIFIED BY THE VILLAGE WATER DEPARTMENT OF ANY SERVICE INTERRUPTION. THE VILLAGE'S WATER AND SEWER DEPARTMENT SHALL DETERMINE THE TIME AND DURATION OF THE SHUT-OFF. THE CONTRACTOR SHALL CONTINUE THE WORK TO COMPLETE AND RESTORE SERVICE TO THE INTERRUPTED MAIN. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR OVERTIME DUE TO THE HOURS OF SHUT-OFF.

THE CONTRACTOR SHALL EXCAVATE THE AREA WHERE THE CAP IS TO BE INSERTED AND EXPOSE THE EXISTING CONNECTION. ALL MATERIALS NECESSARY TO CUT AWAY THE EXISTING CONNECTION AND TO INSTALL THE CAP SHALL BE ON THE JOB SITE PRIOR TO DOING THE WORK. ONCE IT IS DETERMINED THAT ALL NECESSARY EQUIPMENT AND MATERIALS ARE AVAILABLE, THE CONTRACTOR MAY PROCEED WITH SHUTTING DOWN THE MAIN AND PERFORMING THE WORK.

METHOD OF MEASUREMENT. AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR CUT AND INSTALL ENDCAPS, OF ANY DIAMETER, WHICH PRICE SHALL INCLUDE ALL LABOR, EQUIPMENT AND MATERIAL NECESSARY FOR A COMPLETE INSTALLATION AS SPECIFIED HEREIN.

CUT-IN CONNECTIONS DESCRIPTION. THIS WORK SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO CONNECT THE NEW WATER MAIN TO AN EXISTING MAIN. THIS SHALL INVOLVE THE SAW CUTTING AND REMOVAL OF PAVEMENT, EXCAVATION OF ALL MATERIAL NECESSARY TO REMOVE OLD FITTINGS, THE REMOVAL OF EXISTING CONNECTION FITTINGS AND PIPE (TEE, CROSS, SLEEVES , VALVES, VALVE VAULTS, ETC.), AND ALL BACKFILL NECESSARY TO RESTORE EXCAVATED AREA TO PRÈVIOUS GRADE. WORK SHALL BE STAGED IN SUCH A WAY AS TO MAXIMIZE THE NUMBER OF CUT-IN CONNECTIONS THAT CAN BE PERFORMED PER EACH SHUTDOWN OF AN EXISTING WATER MAIN. NO SHUTDOWNS OF WATER MAIN WILL BE ALLOWED ON FRIDAYS OR MONDAYS WITHOUT PRIOR APPROVAL BY THE ENGINEER.

METHOD OF MEASUREMENT, MEASUREMENT FOR THIS ITEM SHALL BE ON AN EACH BASIS PER LOCATION OF CONNECTION. BASIS OF PAYMENT. THIS ITEM SHALL BE PAID FOR PER EACH FOR CUT-IN CONNECTIONS, REGARDLESS OF SIZE, WHICH SHALL INCLUDE ANY SAW CUTTING OF PAVEMENT, PAVEMENT REMOVAL, EXCAVATIONS, CUTTING AND REMOVAL OF FITTINGS AND PIPE, CLEANING AND PREPPING PIPE FOR CONNECTION, AND ALL BACKFILL NECESSARY TO BRING HOLE TO ORIGINAL GRADE.

IN PLACE WITH POLYETHYLENE ADHESIVE TAPE. 6.REPAIR ANY RIPS, PUNCTURES OR OTHER DAMAGE TO THE POLYETHYLENE WITH TAPE OR BY CUTTING OPEN A SHORT LENGTH OF TUBE, WRAPPING IT AROUND THE PIPE AND SECURING WITH POLYETHYLENE TAPE. INSTALLATION OF POLYETHYLENE OVER FITTINGS, VALVES, AND PIPING SPECIALTIES: FIT BENDS, REDUCERS AND OFFSETS WITH POLYETHYLENE TUBE IN THE SAME MANNER DESCRIBED ABOVE FOR PIPE.

THE OVERLAP BY REPEATING THE SAME PROCEDURE WITH THE BUNCHED-UP TUBE ON THE ADJACENT PIPE.

WRAP VALVES, TEES, CROSSES AND SPECIALTY ITEMS WITH A FLAT SHEET OBTAINED BY SPLITTING OPEN A LENGTH OF POLYETHYLENÉ TUBÉ. PASS THE SHEET UNDER THE VALVE OR FITTING AND BRING IT UP AROUND THE BODY. JOIN THE SEAMS BY BRINGING THE EDGES TOGETHER, FOLDING OVER TWICE AND SECURING IN PLACE WITH POLYETHYLENE TAPE. C.DUCTILE IRON PIPE AND FITTINGS

COATING

THE EXTERIOR OF DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ARC-SPRAYED ZINC PER ISO 8179. THE MASS OF THE ZINC APPLIED SHALL BE 200 G/M2 OF PIPE SURFACE AREA. A FINISHING LAYER TOPCOAT SHALL BE APPLIED TO THE ZINC. THE COATING SYSTEM SHALL CONFORM IN EVERY RESPECT TO ISO 8179-1 "DUCTILE IRON PIPES - EXTERNAL ZINC-BASED COATING - PART 1: METALLIC ZINC WITH FINISHING LAYER. SECOND EDITION 2004-06-01. INSTALLATION OF DUCTILE IRON PIPE AND FITTINGS

ALL DUCTILE IRON WATERMAIN PIPE SHALL CONFORM TO THE DIMENSION, WEIGHT, CHARACTER OF MATERIALS, ALLOWABLE VARIATIONS IN DIAMETERS AND THICKNESS, METHOD OF MANUFACTURING, MARKING AND COATING TO ANSI/AWWA-C151/A21.51. THE THICKNESS OF THE PIPES SHALL HAVE A CLASS 52 STANDARD WALL THICKNESS IN ACCORDANCE WITH ANSI/AWWA-C151/A21.51.

ALL JOINTS SHALL BE SUPER BELL-TITE PUSH-ON JOINTS AND MEET THE REQUIREMENTS OF ANSI/AWWA-C111/A21.11. ALL FITTINGS SHALL BE FULL BODY DUCTILE IRON MECHANICAL JOINT FITTINGS AND MEET AWWA-C110 AND SHALL HAVE A 250-PSI PRESSURE RATING. COMPACT FITTINGS AND FITTINGS NOT INCLUDED IN AWWA C110 SHALL NOT BE USED UNLESS APPROVED BY THE ENGINEER. ALL DUCTILE IRON WATERMAIN PIPE SHALL HAVE A CEMENT MORTAR LINING WITH A BITUMINOUS SEAL COAT IN ACCORDANCE WITH ANSI/AWWA- C111/A21.1. STANDARD CEMENT MORTAR LINING WITH A BITUMINOUS SEAL COAT IN ACCORDANCE WITH ANSI/AWWA- C111/A21.1. STANDARD CEMENT LINING SHALL BE NO LESS THAN 1/16-INCH ON ALL PIPE UP TO 12-INCH DIAMETER, AND 3/16-INCH THICK ON ALL PIPE 14-INCH THROUGH 24-INCH DIAMETER. EXTERIOR OF PIPE AND FITTINGS USED IN SUBMERGED OR BURIED APPLICATIONS SHALL BE SHOP COATED WITH A BITUMINOUS COATING NOT LESS THAN 1.0 MIL THICK.

FITTINGS SHALL BE A-304 STAINLESS STEEL ASTM F 593 AND F 594 BOLTS, NUTS, WASHERS, AND TIE RODS. (ADDED BY ORDINANCE A-894-03-08)

THE WATERMAIN SHALL BE LAID ON A WELL COMPACTED FLAT BOTTOM TRENCH, TRUE AND EVEN, SO THAT THE BARREL OF THE PIPE WILL HAVE A BEARING FOR ITS FULL LENGTH. UNLESS OTHERWISE DIRECTED, WATERMAIN PIPE SHALL BE LAID WITH THE BELL ENDS FACING THE DIRECTION OF LAYING. WHEN THE GRADE EXCEEDS 2-FEET OF RISE PER 100-FEET OF TRENCH, THE BELLS SHALL FACE UP-GRADE. BELL HOLES SHALL BE EXCAVATED FOR ALL JOINTS AND BE 4-INCHES IN DEPTH AND EXTEND 6-INCHES IN FRONT OF THE FACE OF THE BELL. ANY PART OF THE TRENCH EXCAVATED BELOW GRADE SHALL BE CORRECTED WITH GRANULAR MATERIAL AND THOUGHLY COMPACTED. THE MINIMUM COVER OF THE PIPE SHAL BE FIVE (5) FEET.

AT ALL TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY A WATER-TIGHT PLUG OR BY OTHER MEANS APPROVED BY THE ENGINEER. IF THERE IS WATER IN THE TRENCH, THE SEAL SHAL REMAIN IN PLACE UNTIL THE TRENCH IS PUMPED COMPLETELY DRY. NO PIPE SHALL BE LAID IN WATER OR WHEN, IN THE OPINION OF THE ENGINEER, TRENCH CONDITIONS ARE NOT SUITABLE.

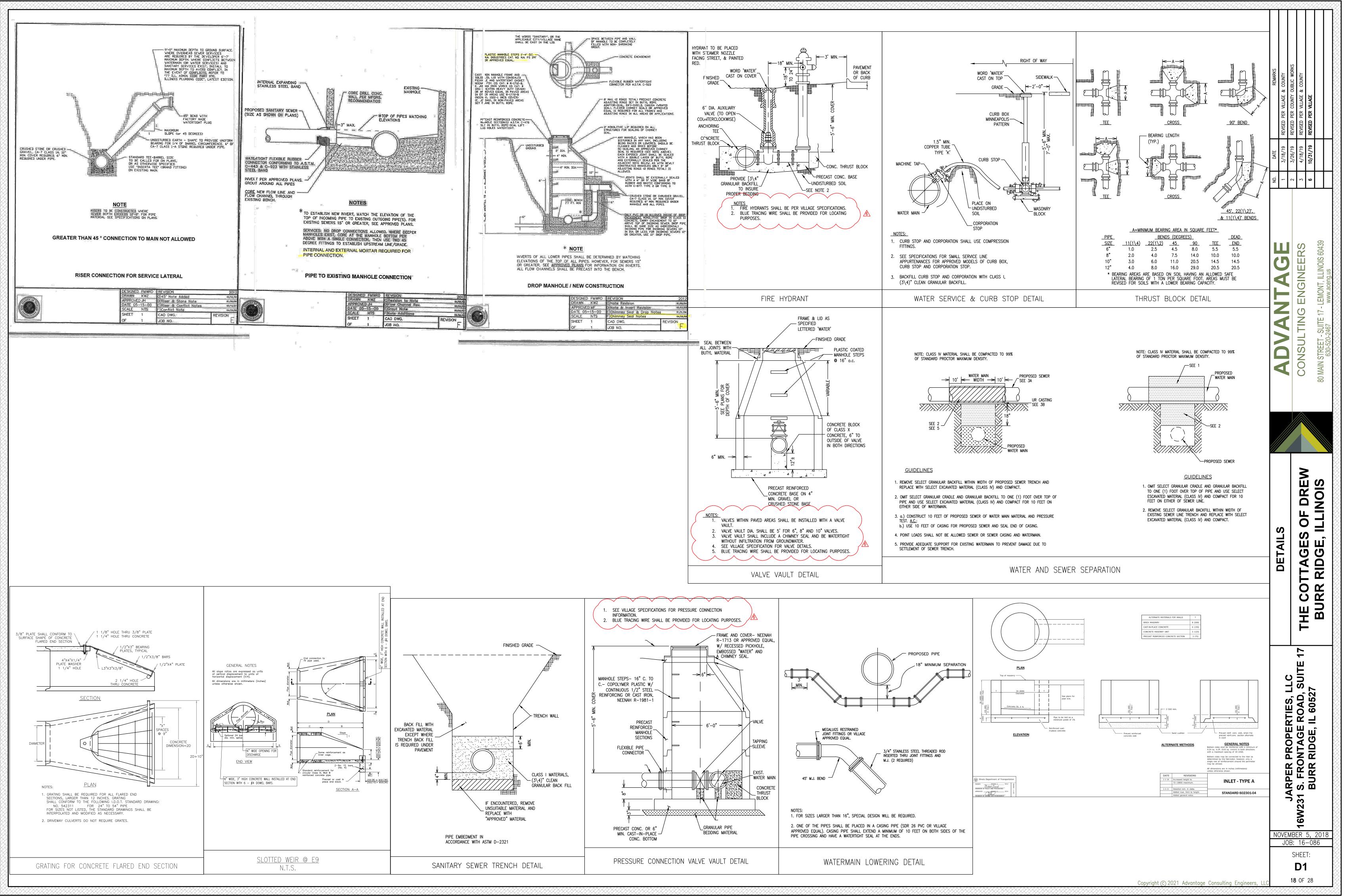
WHENEVER IT BECOMES NECESSARY TO LAY A MAIN OVER, UNDER, OR AROUND A KNOWN OBSTRUCTION, THE CONTRACTOR WILL FURNISH AND INSTALL THE REQUIRED FITTINGS. THE LAYING OF SUCH FITTINGS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR EACH SIZE OF WATER MAIN. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY EXPENSES INCURED BECAUSE OF SUCH OBSTRUCTION.

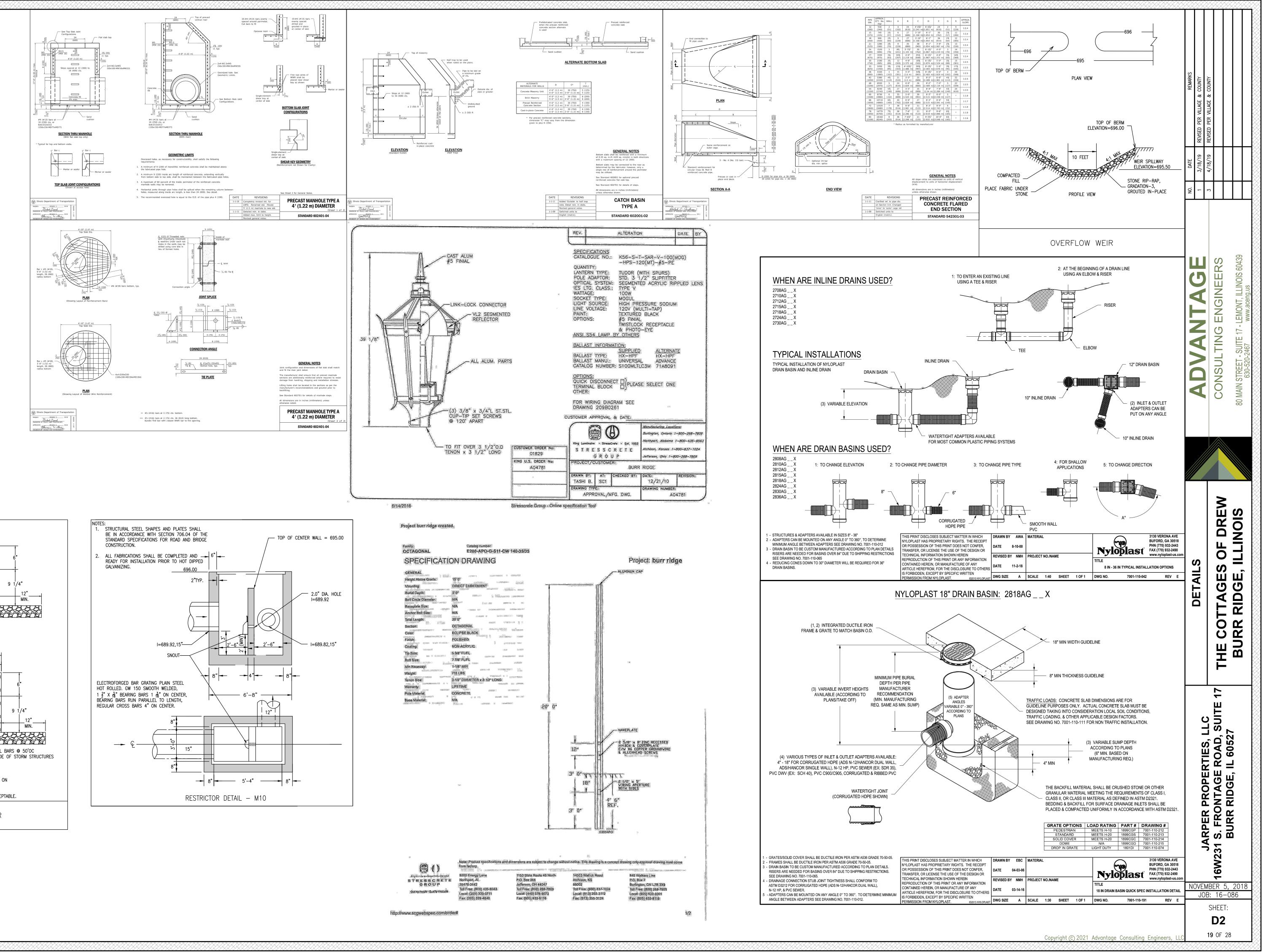
REMOVAL AND DISPOSAL OF ANY KNOWN ABBANDONED UNDERGROUND UTILITIES AS SHOWN ON PLANS WILL B CONSIDERED INCIDENTAL TO THE INSTALLATION OF THE WATER MAIN, NO ADDITIONAL COMPENSATION WILL BE PAID T THE CONTRACTOR FOR ANY EXPENSES INCURED BECAUSE OF SUCH WORK.

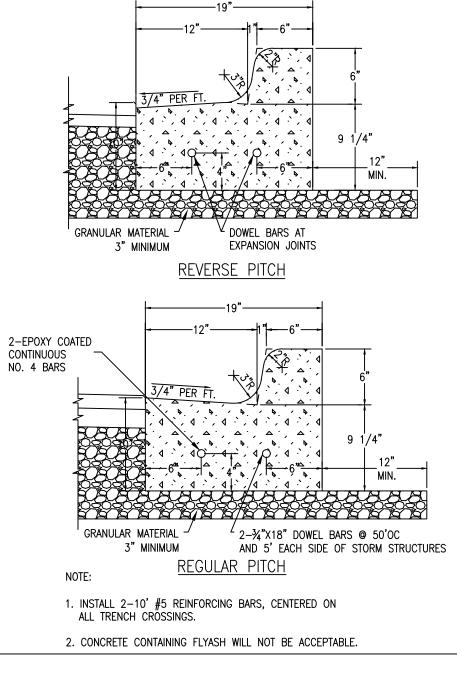
ALL BENDS, CAPS, TEES, PLUGS, VALVES, FITTINGS AND HYDRANTS AT A POINT IN THE PIPELINE WHERE THERE IS A CHANGE IN DIRECTION OR AT A DEAD END SHALL BE THRUST BLOCKED OR RESTRAINED BY THE USE OF MEGA LUGS. THRUST BLOCKING SHALL BE POURED PORTLAND CEMENT CONCRETE A MINIMUM OF 12–INCHES THICK AND SHALL BE POURED AGAINST FIRM MATERIAL GROUND. THEY SHALL BE FORMED SO THAT THE PIPE JOINTS ARE KEPT FREE FROM

THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE VILLAGE'S WATER AND SEWER SUPERINTENDENT FOR A REQUEST FOR A WATER SHUT-OFF SO THAT THE CUSTOMERS CAN BE NOTIFIED BY THE VILLAGE WATER DEPARTMENT OF ANY SERVICE INTERRUPTION. THE VILLAGE'S WATER AND SEWER SUPERINTENDENT SHALL DETERMINE THE TIME AND DURATION OF THE SHUT-OFF. THE CONTRACTOR SHALL CONTINUE THE WORK TO COMPLETE AND RESTORE SERVICE TO THE INTERRUPTED MAIN. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR OVERTIME DUE

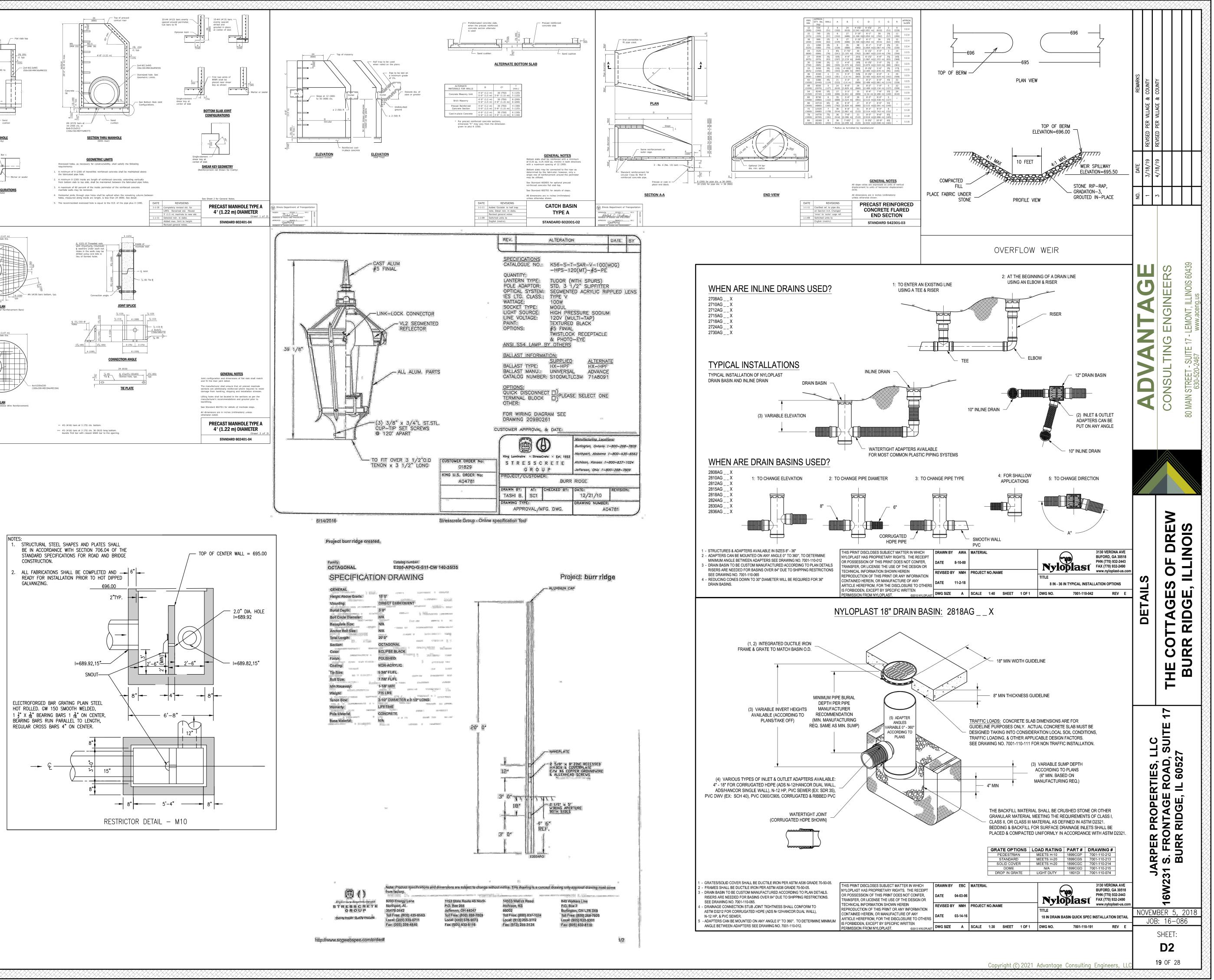
<u>GATE VALVES, 12"</u> DESCRIPTION. WATER VALVES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF SECTION 561	<u>TRAFFIC CONTROL AND PROTECTION</u> DESCRIPTION. THIS WORK CONSISTS OF FURNISHING EQUIPMENT, LABOR, TOOLS AND MATERIALS NECESSARY FOR ANY		
OF THE STANDARD SPECIFICATIONS AND WITH THE APPLICABLE PORTIONS OF SECTION 41 OF THE WATER AND SEWER SPECIFICATIONS EXCEPT AS MODIFIED HEREIN. MATERIALS. WATER VALVES 16" AND SMALLER SHALL BE OF THE RESILIENT WEDGE GATE VALVE TYPE SUITABLE FOR ORDINARY WATER-WORKS SERVICE, INTENDED TO BE INSTALLED IN A NORMAL POSITION ON BURIED PIPE LINES FOR WATER	TRAFFIC CONTROL AND PROTECTION REQUIRED FOR THE DURATÍON OF THE PROJECT. ANY TRAFFIC CONTROL DEVICES REQUIRED BY THE ENGINEER TO IMPLEMENT THE TRAFFIC CONTROL PLAN, SPECIFICATIONS, OR HIGHWAY STANDARDS FOUND IN THE CONTRACT SHALL BE CONSIDERED INCLUDED IN THE LUMP SUM COST OF TRAFFIC CONTROL AND PROTECTION, (SPECIAL).		
DISTRIBUTION SYSTEMS. AT A MINIMUM, ALL GATE VALVES SHALL, IN DESIGN, MATERIAL AND WORKMANSHIP, CONFORM TO THE STANDARDS OF THE LATEST AWWA C515 AND AWWA C509 AND BE RATED FOR 250 PSI WORKING PRESSURE. VALVES LARGER THAN 16" SHALL BE BUTTERFLY STYLE.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SIGNING AND TRAFFIC CONTROL REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE LATEST REVISION OF THE STATE OF ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND IN ACCORDANCE WITH SECTION 701 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, EXCEPT AS HEREIN MODIFIED.	Remarks county bllc works county Heet added)	
FURTHER DETAILS AND NOTES ON MATERIALS AND INSTALLATION ARE PROVIDED ON THE PLANS. ALL MATERIALS USED IN THE MANUFACTURE OF WATERWORKS GATE VALVES AND BUTTERFLY VALVES SHALL CONFORM TO THE AWWA STANDARDS DESIGNED FOR EACH MATERIAL LISTED. MANUFACTURER AND MARKING – THE GATE VALVES SHALL BE STANDARD PATTERN AND SHALL HAVE THE NAME OR MARK	SPECIAL ATTENTION IS CALLED TO ARTICLE 107.09 AND SECTION 701 OF THE STANDARD SPECIFICATIONS AND THE FOLLOWING HIGHWAY STANDARDS, SUPPLEMENTAL SPECIFICATIONS, DETAILS, QUALITY STANDARD FOR WORK ZONE TRAFFIC CONTROL DEVICES, AND RECURRING SPECIAL PROVISIONS CONTAINED HEREIN RELATING TO TRAFFIC CONTROL.	REM VILLAGE & COUI COUNTY OUBLIC VILLAGE & COUI	
OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY. GATE VALVES SHALL BE MUELLER OR APPROVED EQUAL. THE BUTTERFLY VALVES SHALL BE STANDARD PATTERN AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY.	DREW AVENUE AND 79 ^{1H} STREET SHALL REMAIN OPEN TO TWO WAY TRAFFIC AT ALL TIMES.	PER PER	
1. TYPE AND MOUNTING – THE VALVE BODIES SHALL BE MOUNTED WITH APPROVED NONCORROSIVE METALS. ALL WEARING SURFACES SHALL BE BRONZE OR OTHER APPROVED NONCORROSIVE MATERIAL AND THERE SHALL BE NO MOVING BEARING OR CONTACT SURFACES OF IRON IN CONTACT WITH IRON. CONTACT SURFACES SHALL BE MACHINED AND FINISHED IN THE BEST WORKMANLIKE MANNER AND ALL WEARING SURFACES SHALL BE EASILY RENEWABLE. ALL TRIM BOLTS SHALL BE 304 SERIES STAINLESS STEEL.		DATE JATE 3/18/19 REVISED 3/26/19 REVISED 4/18/19 REVISED 10/31/19	-
THE RESILIENT–SEATED DISC WEDGE SHALL BE OF THE RESILIENT WEDGE FULLY–SUPPORTED TYPE. SOLID GUIDE LUGS SHALL TRAVEL WITHIN CHANNELS IN THE BODY OF THE VALVE. THE DISC AND GUIDE LUGS SHALL BE FULLY 100% ENCAPSULATED IN SBR (STYRENE BUTADIENE) RUBBER.		 4 4 4 4 4 10 	-
DISC WEDGES THAT ARE NOT 100% FULLY ENCAPSULATED SHALL NOT BE NOT BE ACCEPTABLE. GUIDE CAPS OF AN ACETAL COPOLYMER BEARING MATERIAL SHALL BE PROVIDED TO PROTECT THE RUBBER—ENCAPSULATED SOLID GUIDE LUGS FROM ABRASION FOR LONG LIFE AND EASE OF OPERATION.			
ALL INTERNAL AND EXTERNAL EXPOSED FERROUS SURFACES OF THE GATE VALVE AND THE BUTTERFLY VALVE SHALL BE COATED WITH A FUSION-BONDED, THERMOSETTING POWDER EPOXY COATING CONFORMING TO AWWA C550 AND CERTIFIED TO NSF 61. COATING SHALL BE NON-TOXIC AND SHALL IMPART NO TASTE TO WATER. COATING THICKNESS SHALL BE NOMINAL 10 MILS.			
THE STEM SHALL BE OF HIGH TENSILE STRENGTH BRONZE OR OTHER APPROVED NON-CORROSIVE METAL, PROVIDING 70,000 PSI TENSILE STRENGTH WITH 15% ELONGATION AND A YIELD STRENGTH OF 30,000 PSI. ALL NONFERROUS BUSHINGS SHALL BE OF SUBSTANTIAL THICKNESS, TIGHTLY FITTED AND PRESSED INTO MACHINE SEATS. ALL VALVES SHALL OPEN BY TURNING TO THE LEFT (COUNTERCLOCKWISE), UNLESS OTHERWISE SPECIFIED.		60439 S	
BUTTERFLY STYLE VALVES SHALL BE SUPPLIED WITH 2" OPERATING NUT. 2.END CONNECTIONS – END CONNECTIONS OF GATE VALVES SHALL CONSIST OF MECHANICAL JOINTS.			
ALL GATE VALVES AND BUTTERFLY VALVES ARE TO BE INSTALLED IN CONCRETE VALVE VAULTS AS DETAILED IN THE PLANS. THE VALVES SHALL BE WRAPPED WITH POLYETHYLENE FILM, AS SPECIFIED IN THE SPECIAL PROVISION FOR DUCTILE IRON WATER MAIN, INCLUDED ELSEWHERE HEREIN. VALVES SHALL BE INSTALLED USING STAINLESS STEEL BOLTS.		JGIN VIGIN	$\sim \sim \sim$
METHOD OF MEASUREMENT AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR GATE VALVES, OF THE SIZE SPECIFIED. THIS PRICE SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE GATE VALVE IN A VALVE VAULT, AS DETAILED IN THE PLANS AND TO THE SATISFACTION OF THE ENGINEER. THE VALVE VAULT WILL BE PAID FOR SEPARATELY.		ING EN	
FIRE HYDRANTS WITH AUXILIARY VALVE AND VALVE BOX DESCRIPTION. THIS WORK CONSISTS OF FURNISHING AND INSTALLING A FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX AT LOCATIONS SHOWN IN THE PLANS. AS A MINIMUM, THE DESIGN, MATERIALS AND WORKMANSHIP OF ALL FIRE HYDRANTS SHALL CONFORM TO THE APPLICABLE PORTIONS OF AWWA C502 AS WELL AS SECTION 45 OF THE WATER AND SEWER SPECIFICATIONS. THE DETAILS AND NOTES FOR MATERIALS AND INSTALLATION ARE PROVIDED ON THE PLANS. MATERIALS. ALL FIRE HYDRANTS SHALL BE MUELLER CENTURION OR EAST JORDAN, COMPLYING WITH AWWA C-502 AND		DVLT NSULT 630-520-246	
HAVING BREAKABLE SAFETY FLANGES, AS CURRENTLY INSTALLED IN THE VILLAGE. FIRE HYDRANTS SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 350 FEET IN A DIRECT LINE IN THE PARKWAY. THE HYDRANTS SHALL HAVE A MINIMUM OF A SEVEN (7") INCH BARREL AND TWO, TWO AND ONE-HALF (2 ½") INCH HOSE			
CONNECTIONS AND ONE (1) FOUR AND ONE-HALF (4 ½") INCH STEAMER CONNECTION AND AN INDIVIDUAL AUXILIARY VALVE OF THE SIZE REQUIRED BY THE APPROPRIATE FIRE PROTECTION DISTRICT. FIRE HYDRANTS SHALL BE MUELLER CENTURION OR EAST JORDAN, DEPENDING UPON WHICH FIRE HYDRANT IS PREDOMINANT IN THE VICINITY. FIRE HYDRANTS SHALL BE EQUIPPED WITH A 6" AUXILIARY VALVE AND VALVE BOX STABILIZER. THE AUXILIARY VALVE SHALL CONNECT TO THE FIRE HYDRANT WITH A FLANGE FITTING. (ADDED BY ORDINANCE A-894-03- 08). HYDRANTS SHALL HAVE NATIONAL STANDARD THREADS AND SHALL BE PAINTED THE VILLAGE STANDARD COLOR.			
HYDRANT SHALL BE INSTALLED AT FINISHED GRADE. THE DEPTH OF BURY ON ALL HYDRANTS SHALL BE AS REQUIRED TO AVOID VERTICAL BENDS IN THE HYDRANT LEAD, AND 5.5' MINIMUM WHEN POSSIBLE. ANY VERTICAL ADJUSTMENT NECESSARY TO MEET THIS REQUIREMENT IS INCIDENTAL AND WILL NOT BE PAID FOR SEPARATELY. ALL FIRE HYDRANTS SHALL BE FLANGED OR MECHANICAL JOINT CONNECTION AND RUBBER GASKET. ALL HYDRANTS INSTALLED ON 12" OR LARGER WATER MAIN SHALL BE INSTALLED ON LOCKING HYDRANT TEES WHERE AVAILABLE. THE AUXILIARY VALVE SHALL BE IN ACCORDANCE WITH THE GATE VALVE SPECIAL PROVISION INCLUDED ELSEWHERE HEREIN. THE WATER MAIN FROM THE HYDRANT TO THE WATER MAIN SHALL BE A SIX (6) INCH DUCTILE IRON WATER PIPE. THE VALVE BOXES SHALL BE THE ADJUSTABLE TYPE, SHALL BE SET AT FINISHED GRADE, AND SHALL HAVE THE VALVE BOX COVERS STAMPED "WATER".			
GENERAL. FIRE HYDRANTS SHALL BE PLACED AT THE LOCATIONS AS SHOWN ON THE PLANS OR AS OTHERWISE DIRECTED BY THE ENGINEER. FIRE HYDRANTS SHALL BE INSTALLED AS SHOWN ON THE DETAILS INCLUDED IN THE PLANS. A MINIMUM OF 0.5 CUBIC YARD OF COARSE AGGREGATE SHALL BE PLACED AT AND AROUND THE BASE OF THE HYDRANT TO INSURE PROPER DRAINAGE OF THE HYDRANT AFTER USE. THE HYDRANT SHALL BE SET ON A CONCRETE BLOCK TO INSURE FIRM BEARING FOR THE HYDRANT BASE. ALL FIRE HYDRANTS WILL BE INSPECTED BY THE ENGINEER PRIOR TO ANY BACKFILLING.		S EV S EV	
METHOD OF MEASUREMENT AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR FIRE HYDRANTS WITH AUXILIARY VALVE AND VALVE BOX, WHICH PRICE SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX, TEE OR LOCKING HYDRANT TEE, NEW STAINLESS STEEL BOLTS, AND 6" DUCTILE IRON PIPE EXTENSION CONNECTING THE HYDRANT			
TO THE WATER MAIN, AS DETAILED IN THE PLANS, THE FOREGOING SPECIFICATIONS AND TO THE SATISFACTION OF THE ENGINEER. ANY VERTICAL ADJUSTMENT NECESSARY TO INSTALL THE HYDRANT AND HYDRANTS SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE AND LEAKAGE TEST OF 150 PSI AFTER INSTALLATION. EACH SECTION OF WATER MAIN AND CONNECTION TO BE PRESSURE TESTED SHALL BE CAREFULLY FILLED WITH WATER TO EXPEL ALL ENTRAPPED AIR, AND THE TEST PRESSURE SHALL BE APPLIED BY USE OF A PUMP CONNECTED TO A TAP IN			
THE PIPE. COPPER WHIP SHALL BE USED FOR FLUSHING, PRESSURE TESTING, AND DISINFECTION SHALL BE CONSIDERED INCLUDED IN THE COST OF THE DUCTILE IRON WATER MAIN. DURATION OF EACH PRESSURE TEST SHALL BE FOR A PERIOD OF NOT LESS THAN TWO (2) HOURS' MAXIMUM LOSS (LEAKAGE, AS PER "STATE STANDARDS"). ALL TESTING PROCEDURES SHALL FOLLOW VILLAGE PROCEDURES AND REQUIREMENTS IN ADDITION TO THOSE ALREADY LISTED. THE TAPS, CORPORATION STOPS, AND COPPER PIPE WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCLUDED IN THE COST OF THE DUCTILE IRON WATER MAIN. G. FLUSHING AND DISINFECTION		PECIF VGES OGE, I	
ANY OF THE METHODS STATED IN AWWA STANDARD C651–92 ARE ACCEPTED AS A MEANS OF DISINFECTION OF WATER MAINS.		RI 1	
SECTIONS OF PIPE TO BE DISINFECTED SHALL FIRST BE FLUSH TO REMOVE ANY SOLID OR CONTAMINATION MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE. IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, THEN A TAP SHOULD BE PROVIDED LARGE ENOUGH TO DEVELOP A VELOCITY OF AT LEAST 2.5-FEET PER SECOND IN THE MAIN. ONE (1) 2-1/2-INCH HYDRANT OPENING WILL, UNDER NORMAL PRESSURES, PROVIDE THIS VELOCITY IN PIPE SIZES UP TO AND INCLUDING 12- INCHES.			
WATER MAINS SHALL BE STERILIZED BY OR UNDER THE DIRECTION OF AN EXPERIENCED PROFESSIONAL CHLORINATION TECHNICIAN RETAINED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER AND THE STATE DEPARTMENT OF HEALTH. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) MG/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) MG/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE. AFTER THE STERILIZATION PROCESS, WATER SAMPLES SHALL BE COLLECTED AT STRATEGIC LOCATIONS THROUGHOUT THE SYSTEM EQUAL TO ONE (1) IN EVERY 1000-FEET OF NEW PIPE WITH NO LESS THAN TWO (2) SAMPLES TOTAL AND SUBMITTED TO AN INDEPENDENT LABORATORY APPROVED BY THE ENGINEER FOR BACTERIOLOGICAL EXAMINATION ON TWO		BL BL	
SEPARATE DAYS. FOLLOWING CHLORINATION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE NEWLY LAID PIPE AT ITS EXTREMITY UNTIL THE REPLACEMENT WATER THROUGHOUT ITS LENGTHS SHOWS UPON TEST, CHLORINE RESIDUAL NOT IN EXCESS OF THAT CARRIED IN THE SYSTEM (0.8 TO 1.0 MG/L). METHOD OF MEASUREMENT AND BASIS OF PAYMENT.		UITE 1	
THIS WORK SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR WATER MAIN, PVC C-900, PUSH JOINTS, TRENCHED 12", OF THE SIZE INDICATED ON DUE CONTRACT DRAWINGS MEASURED FOR PAYMENT IN ACCORDANCE WITH THE PAY LIMITS SHOWN ON THE PLANS. THIS PRICE SHALL INCLUDE THE COST OF ALL MATERIALS, LABOR AND EQUIPMENT FOR A COMPLETE INSTALLATION INCLUDING THE PRESSURE TESTING AND STERILIZATION. THIS ITEM SHALL ALSO INCLUDE ANY AND ALL ITEMS SUCH AS WATER PUMPS, GAUGES, METERS, TAPS, CORPORATION STOPS, COPPER WHIPS, TEMPORARY BLIND FLANGES (REQUIRED FOR TESTING), LABORATORY TEST COSTS, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THIS WORK AS SPECIFIED. TEES, CROSSES, REDUCERS, BEND, PLUGS, SLEEVES, WEDGES, AND POLYETHYLENE TUBE ARE PART OF THIS ITEM AND WILL NOT BE PAID FOR SEPARATELY.		RTIES, LL ROAD, SI IL 60527	
NEAR-SIDE AND FAR-SIDE WATER SERVICES, 1" & 1-1/2" DESCRIPTION: THIS WORK SHALL CONSIST OF FURNISHING AND INSTALLING NEW WATER SERVICES TO ALL EXISTING WATER USERS FROM THE NEW WATER MAIN TO A NEW BUFFALO BOX TO BE LOCATED IN THE RIGHT-OF-WAY AND TERMINATE WITH A BUFFALO BOX AT THE PROPERTY LINE. NEW WATER SERVICE LINES SHALL INCLUDE A CORPORATION VALVE, BE FULL-CIRCLE ALL STAINLESS STEEL TAPPING SLEEVE, VARIOUS CONNECTING PIECES, A NEW INSULATED DIELECTRIC CURB STOP, PRECAST CONCRETE CURB STOP STABILIZING PAD, BUFFALO BOX, COPPER WATER SERVICE LINE.		PROPEF NTAGE RIDGE, I	
MATERIALS: ALL WATER SERVICE PIPE SHALL BE OF PURE COPPER, TYPE "K", FOR UNDERGROUND LINES CONFORMING TO ASTM B-88 AND B-251. CORPORATION STOPS, CURB STOPS, AND ALL NECESSARY FITTINGS SHALL BE OF SOLID BRASS. CURB STOPS SHALL BE INSULATED DIELECTRIC MUELLER OR FORD APPROVED MODELS, WITH A NYLON INSULATING MATERIAL TO INTERCEPT STRAY CURRENTS, AND SHALL BE OF THE SAME INTERNAL DIAMETER AS THE SERVICE PIPE, AND SHALL BE OF THE		ARPER F 1 S. FRON BURR F	
ROUNDWAY TYPE. ALL FITTINGS SHALL BE OF THE TYPE APPROVED BY THE OWNER, AND IN ACCORDANCE WITH LOCAL PLUMBING CODES. BUFFALO BOXES SHALL BE OF A SCREW ON MINNEAPOLIS PATTERN ACCEPTED BY THE OWNER AS STANDARD AND SHALL MEET WITH THEIR APPROVAL PRIOR TO ORDERING. PRECAST CONCRETE CURB STOP STABILIZING BASES SHALL BE APPROXIMATELY EIGHT INCHES (8") IN DIAMETER AND THREE INCHES (3") IN HEIGHT, WITH PRECAST CUT OUTS MADE TO ACCEPT THE SERVICE LINE IN ONE DIRECTION AND STABILIZE THE CURB STOP IN THE OTHER DIRECTION. SADDLES SHALL BE FULL-CIRCLE, NEW, ALL STAINLESS STEEL, SMITH BLAIR, MODEL 264 OR 372, OR EQUAL.		ل W23	
METHOD OF MEASUREMENT AND BASIS OF PAYMENT: THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR NEAR-SIDE WATER SERVICE, 1", NEAR-SIDE WATER SERVICE, 1.5", FAR-SIDE WATER SERVICE, 1", OR FAR-SIDE WATER SERVICE, 1.5", AS THE CASE MAY BE, WHICH SHALL INCLUDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO INSTALL THE SERVICE AS SPECIFIED.		9 NOVEMBER 5, 2018 JOB: 16-086	
INSTALL THE SERVICE AS SELUTIED.		SHEET:	
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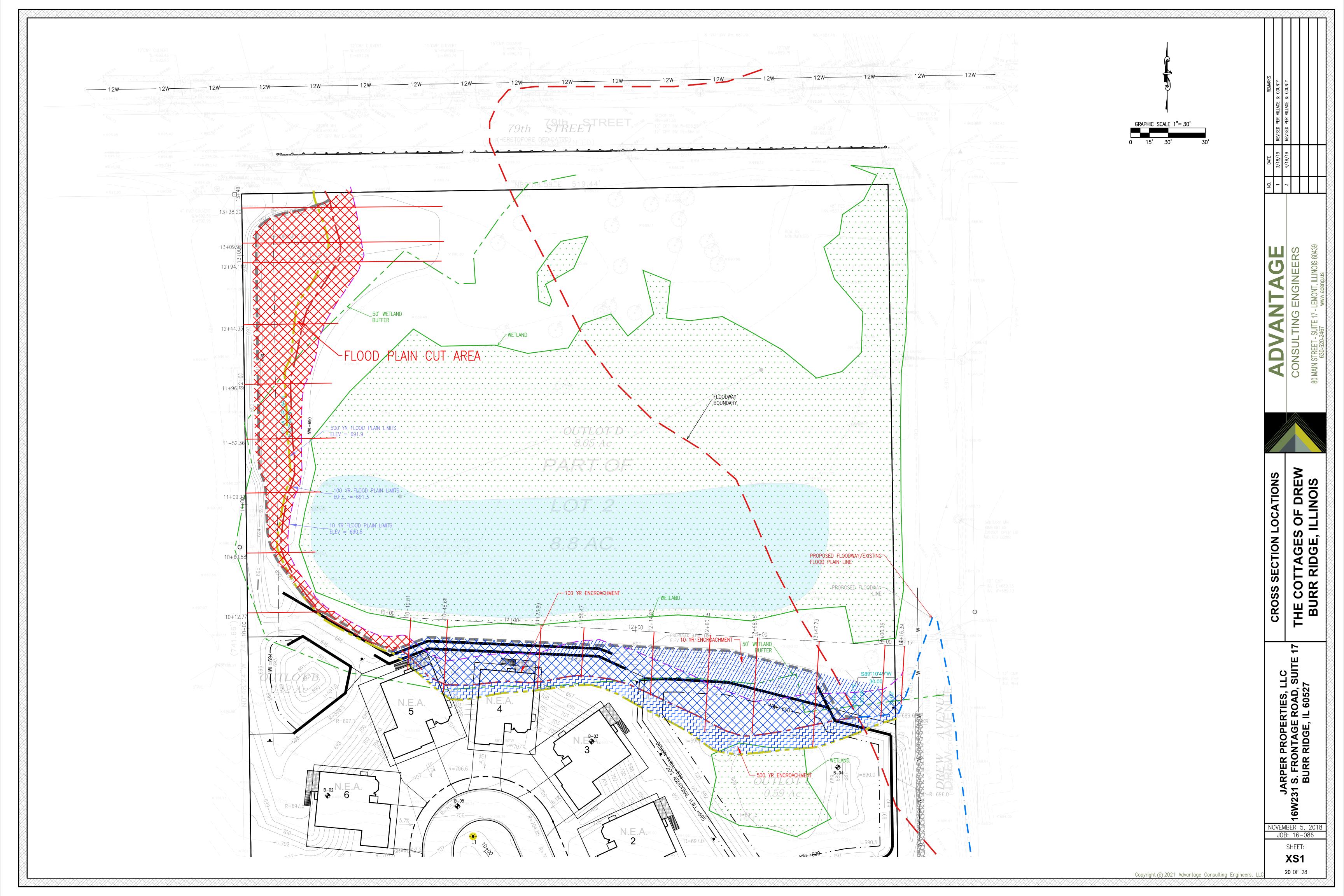


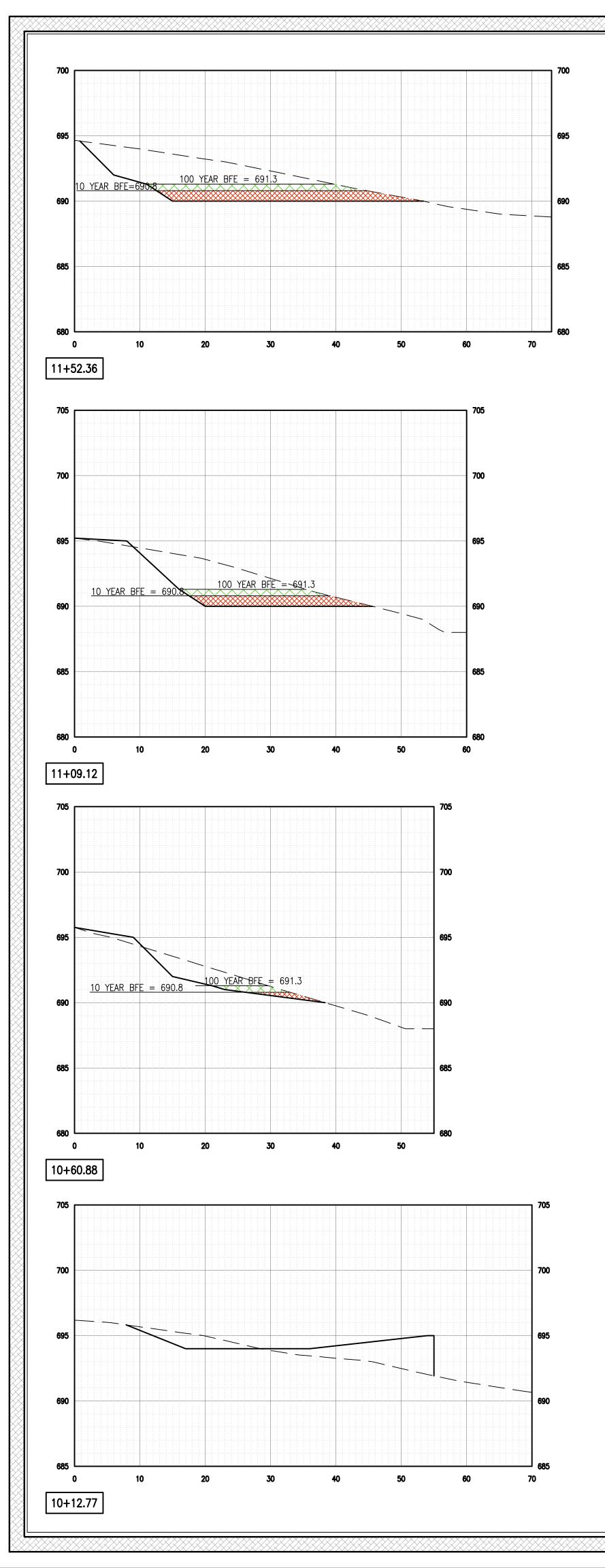


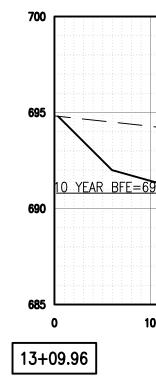


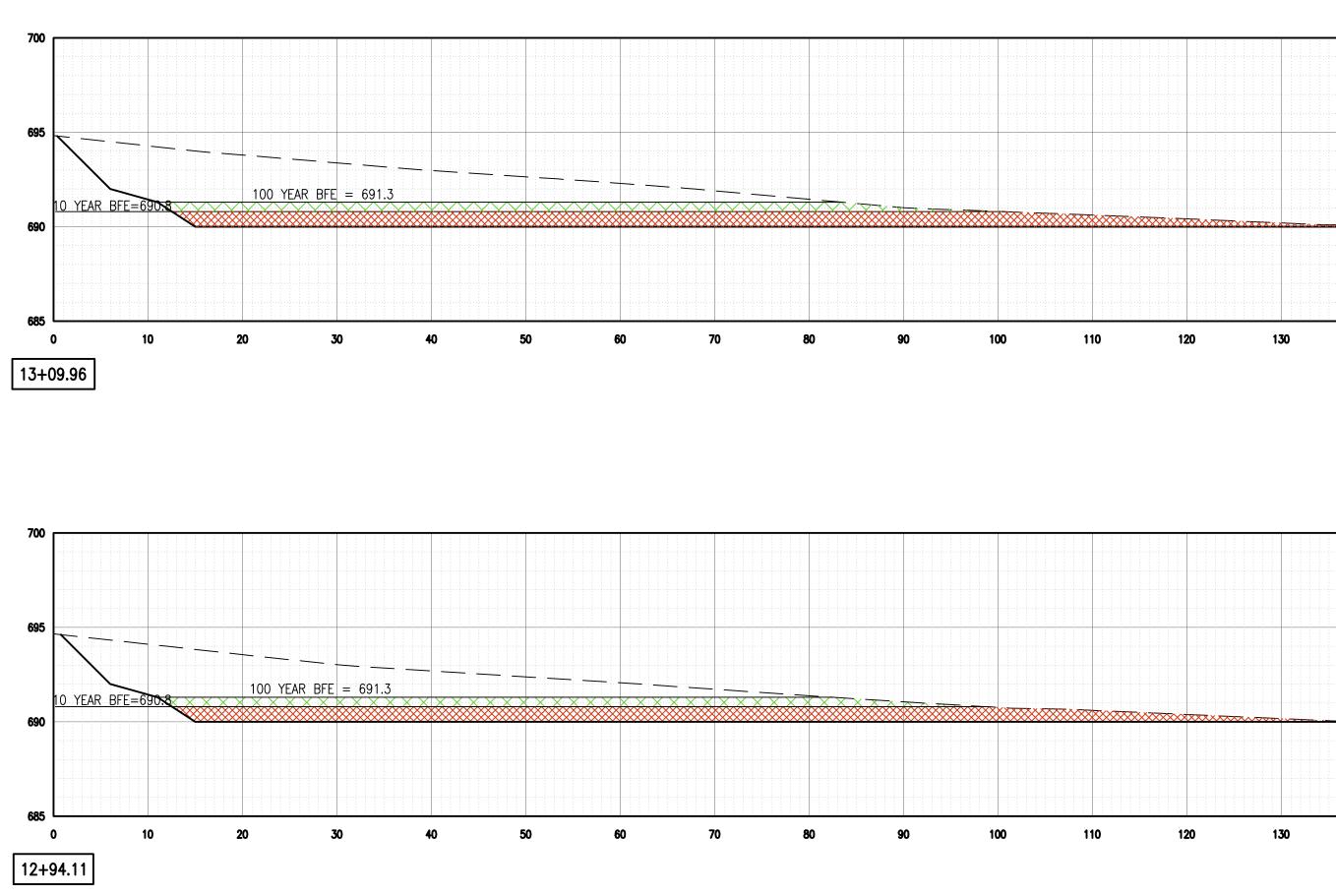
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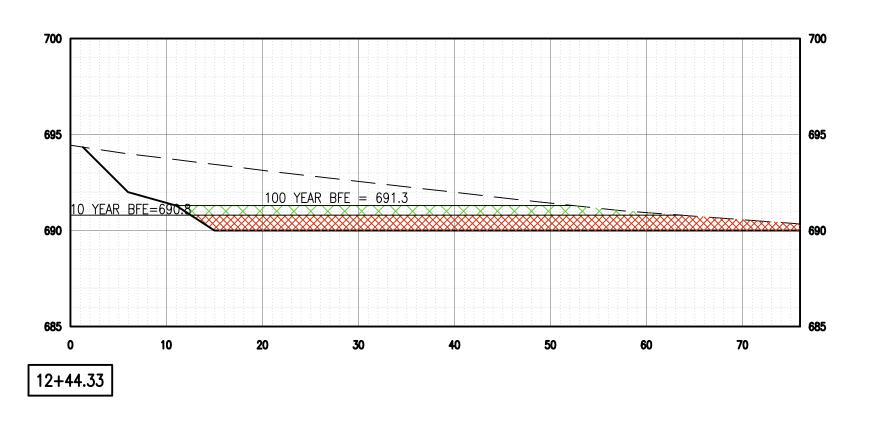


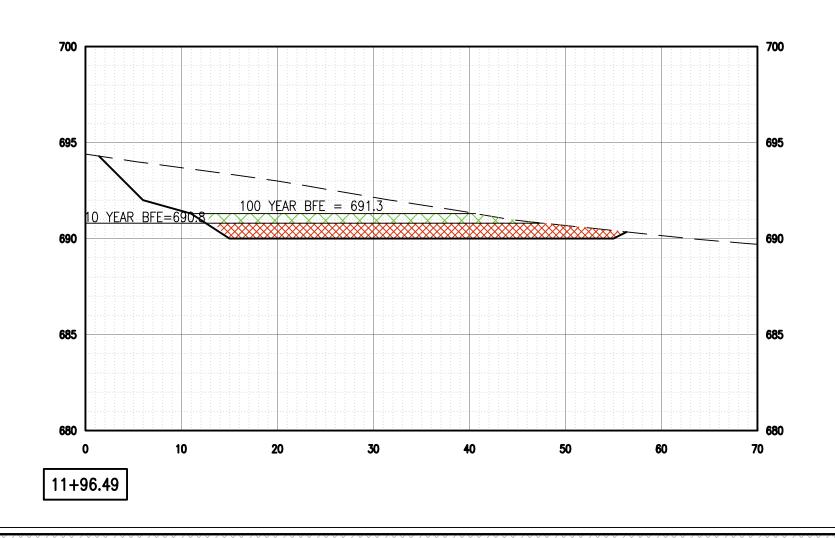


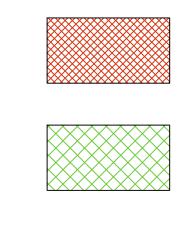


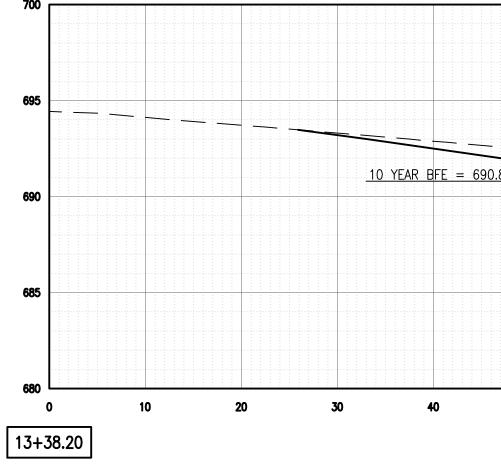




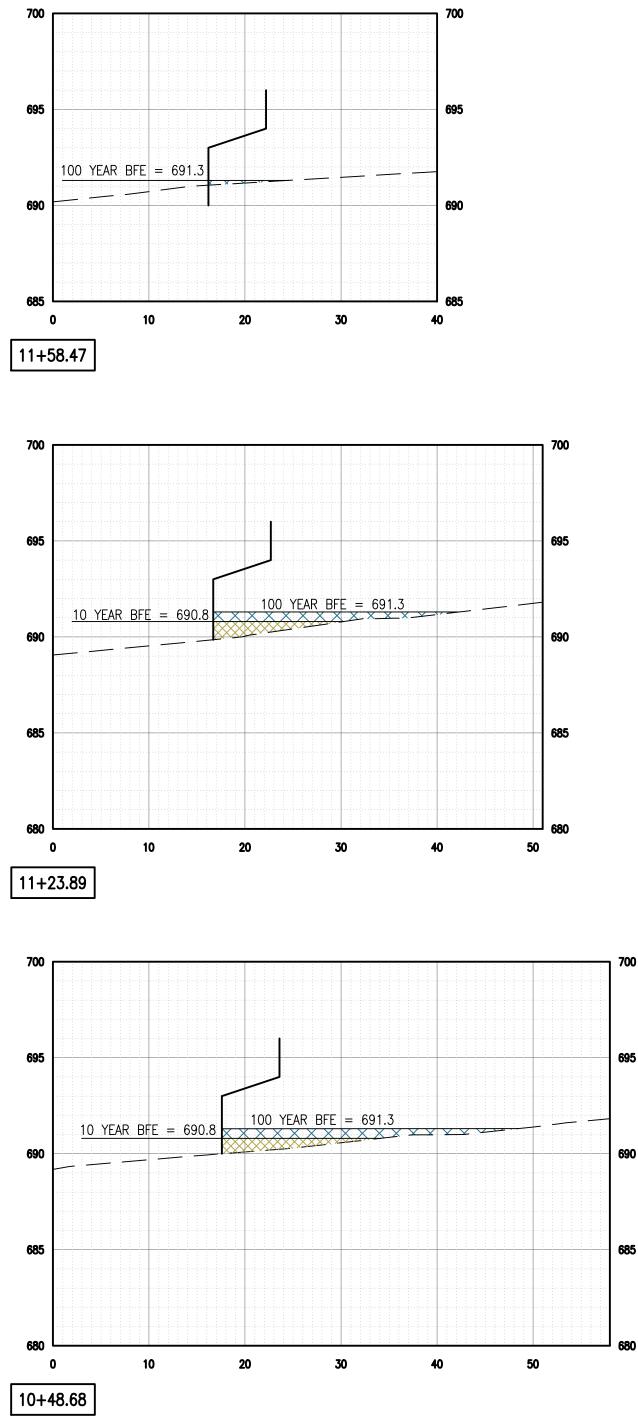


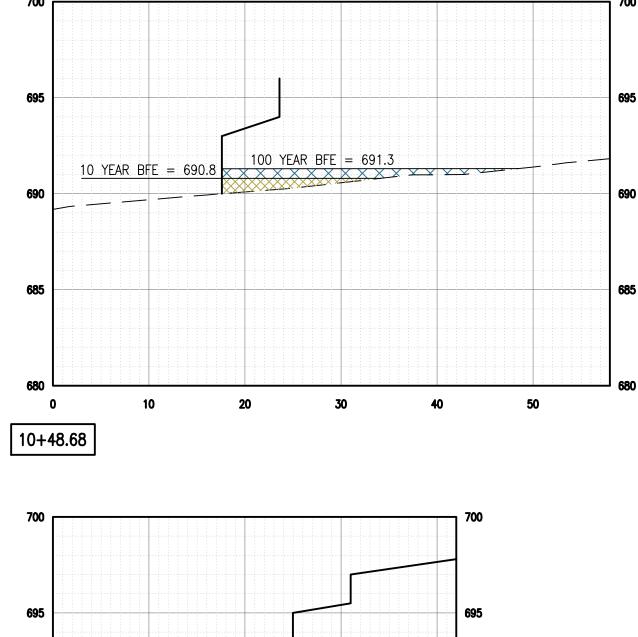


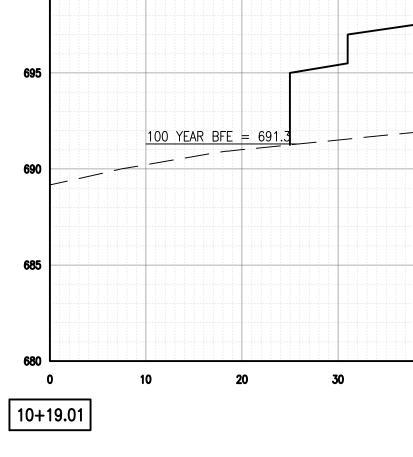


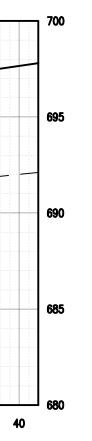


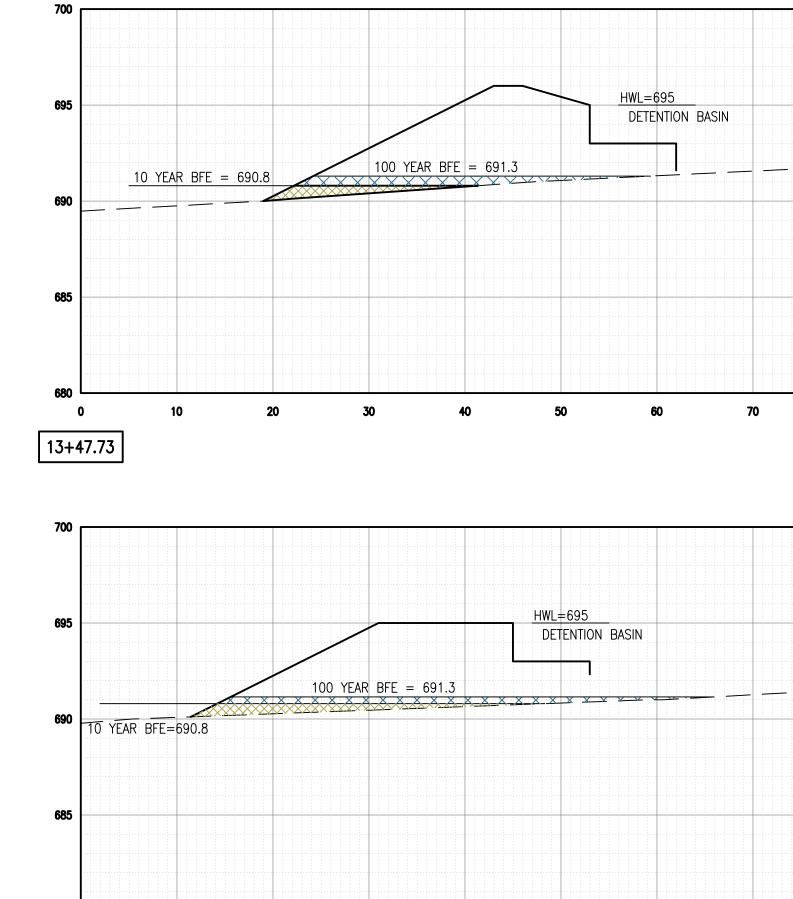
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	JARPER PROPERTIES, LLC JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527 BURR RIDGE, IL 60527

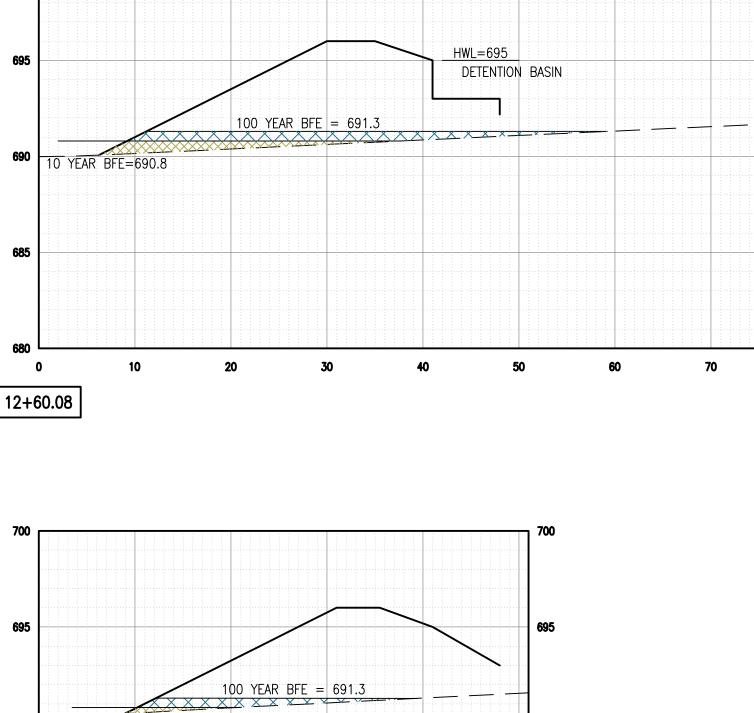


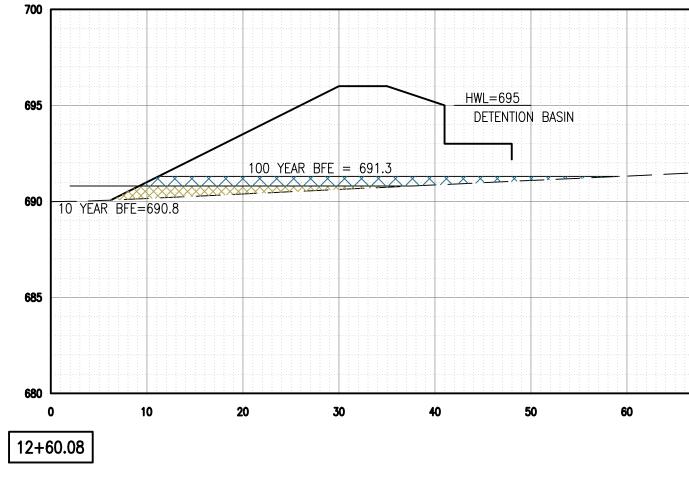


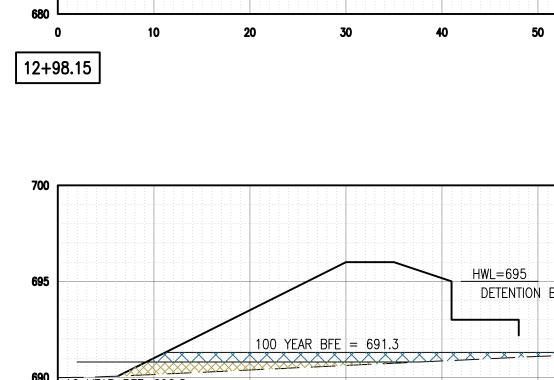






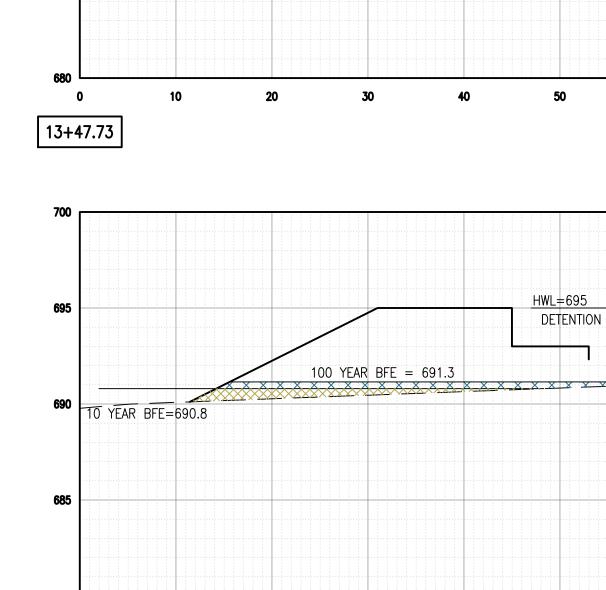


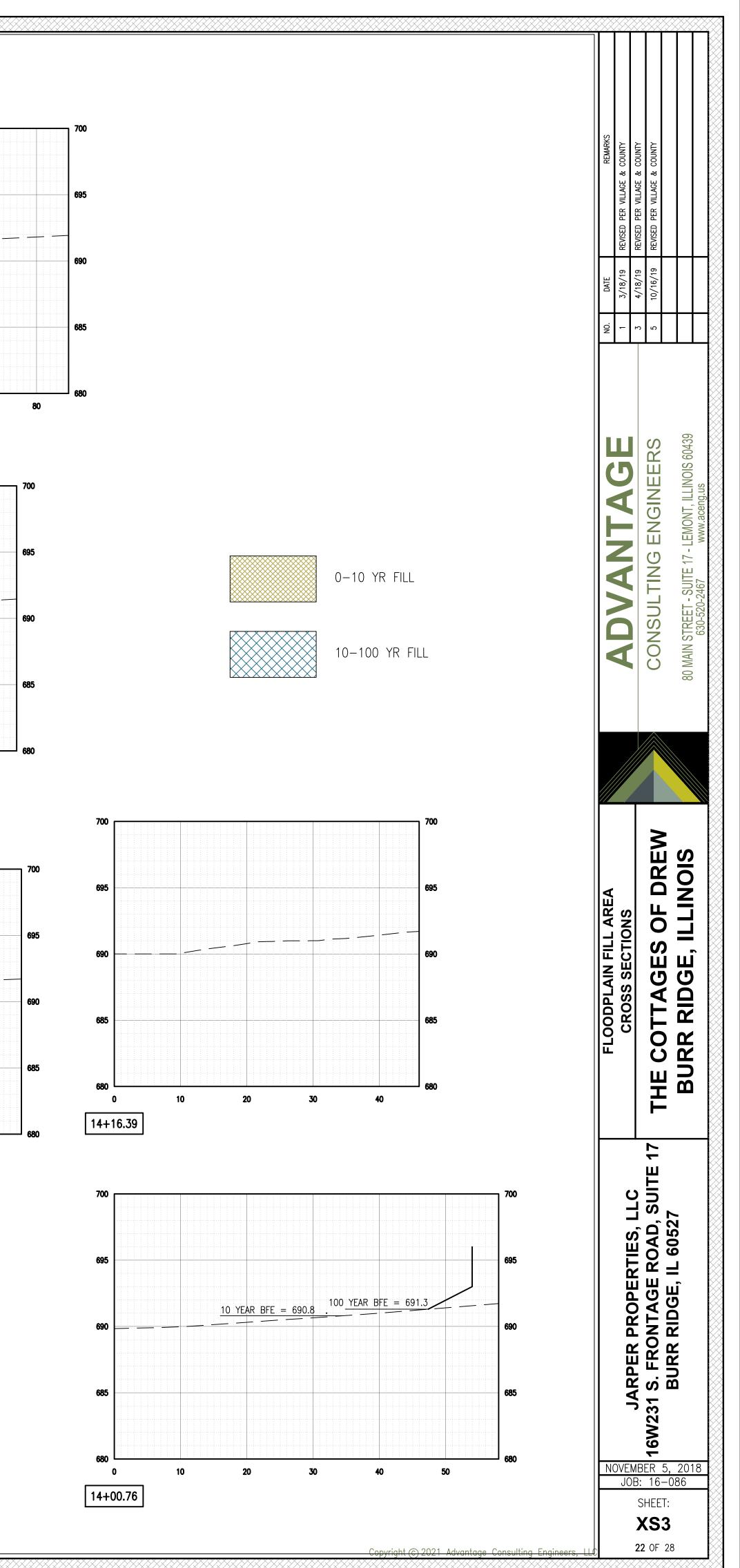


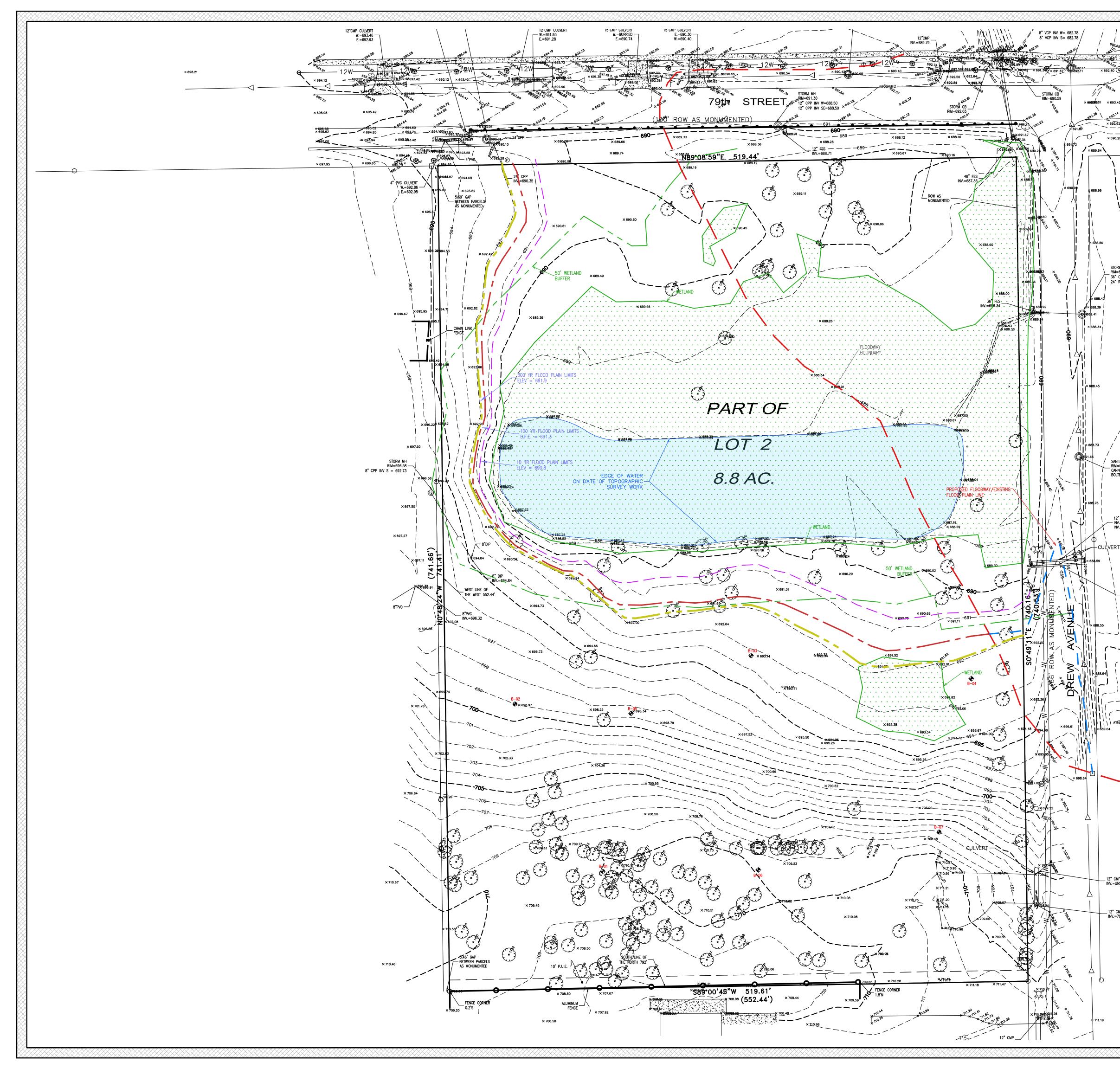


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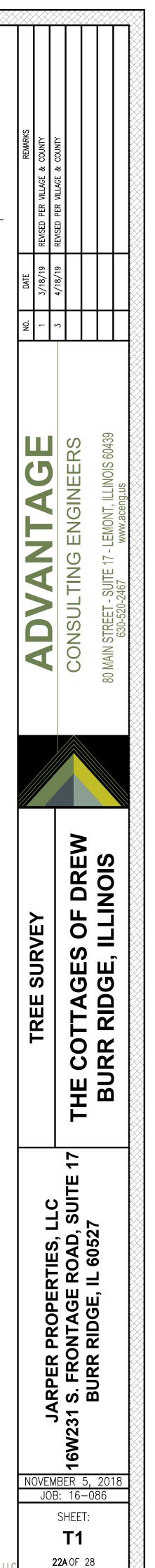
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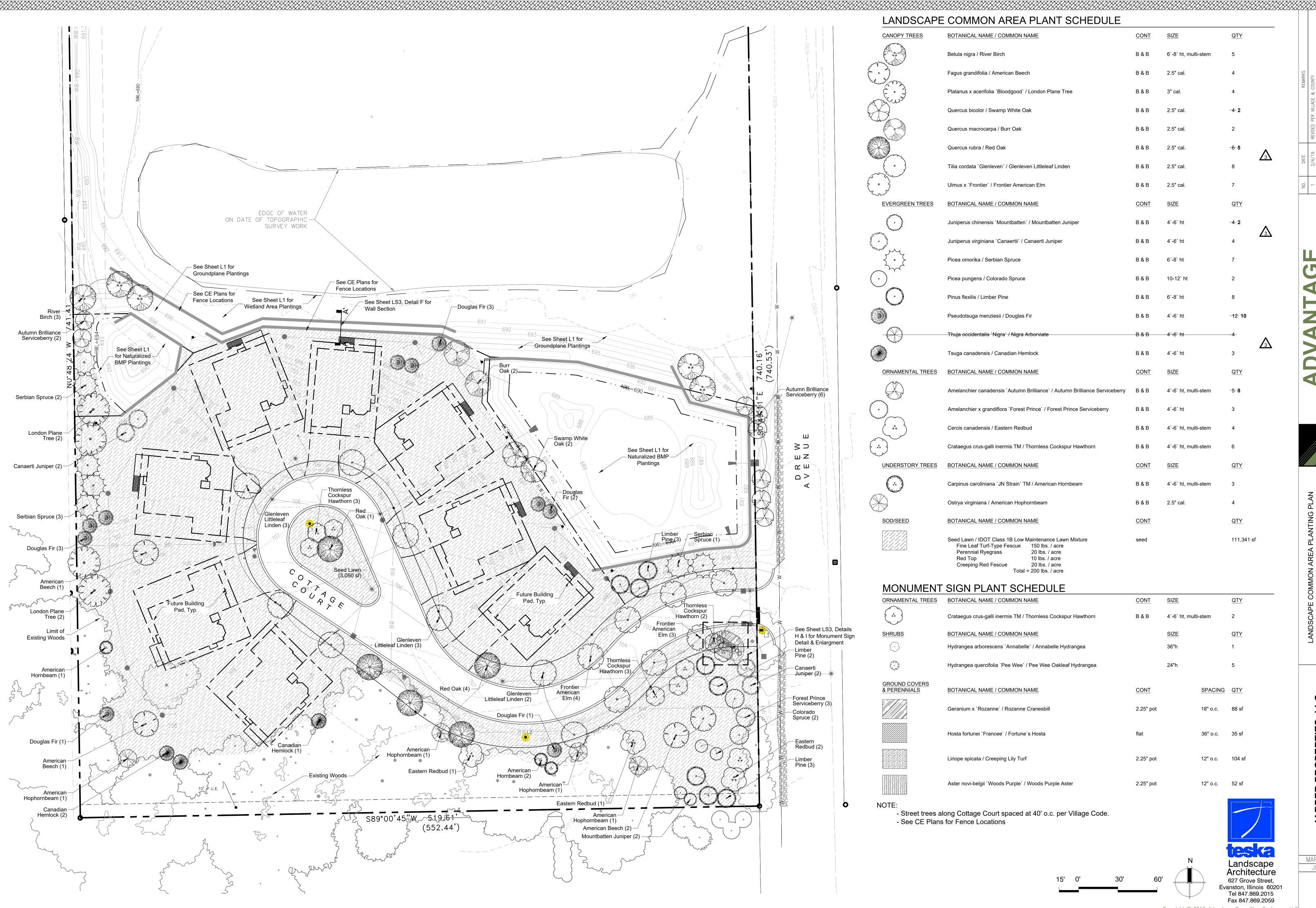




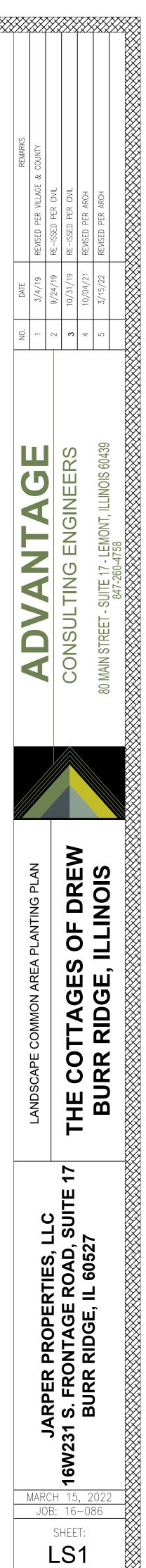


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	TAG NO. 1350	BOTANICAL NAME	COMMON NAME White Oak	SIZE 30	HEALTH/STRUCTURE	COMMENTS Broken branches	TO BE REMOVED
	1351 1352	Quercus rub ra Gleditsia triacanthos	Red Oak Honeylocust	8 14/17	Fair Fair	Pruned for utility line Double leader; dead lower branches	X X
`	1353 1354 1355	Fraxinus sp. Fraxinus sp. Fraxinus sp.	Ash sp. Ash sp. Ash sp.	24 16 20	Poor Poor Poor	Bark damage; dead branches; close to death Dead branches; some new growth Dead branches	X X X
	1356 1357 1358	Fraxinus sp. Gleditsia triacanthos Gleditsia triacanthos	Ash sp. Honeylocust Honeylocust	21 20 17	Poor Fair Fair	Dead branches Dead branches; potential limb failure Dead branches; potential limb failure	X X
į	1359 1360	Malus sp. Malus sp.	Apple Apple	7/8/4/4/3/5/5/7/3/4 7/7/5/5	Fair Poor	Dead branches Lower trunk damage; hollow	X X
МН Э. 4 1	1361 1362 1363	Malus sp. Salix nigra Morus alba	Apple Black Willow White Mulberry	9/8/7/6/5 31/27 11	Poor Poor Fair	Dead branches Fallen leader; dead limbs & branches; strong lean Dead branches	
NV W=686.01 NV S=686.16	1364 1365 1366	Populus deltoides Fraxinus sp.	Cottonwood Ash sp. Black Willow	46 23 NO DBH TAKEN	Poor Poor Poor	Twisted; broken limbs; lean; dead branches Resprouts; dead branches Fallen leader: split	
1	1366 1367 1368	Salix nigra Juniperus virginiana Salix nigra	Black Willow Red Cedar Black Willow	6 24	Poor Good Poor	Fallen leader; split Mostly dead; trunk damage	X
	1369 1370 1371	Salix nigra Populus deltoides Prunus serotina	Black Willow Cottonwood Black Cherry	22/32 13/16 7	Dead Poor Fair	Double leader; trunk damage Double leader; slight lean; trunk damage; water's er Uneven growth; dead branches	dge X
	1372 1373 1374	Prunus serotina Malus sp.	Black Cherry Apple	8 4/7.5/7.5 7.5	Fair Fair Fair Fair	Broken and dead branches Dead branches; fallen leader Dead branches;	X X X
	1375 1376	Prunus serotina Populus deltoides Malus sp.	Black Cherry Cottonwood Apple	8.5/17 10	Poor Fair	Dead leader; strong lean; water's edge Dead branches	x
	1377 1378 1379	Juglans negra Malus sp. Fraxinus sp.	Black Walnut Apple Ash sp.	12 43591 7.5	Poor (Dead) Poor Dead	No new growth; water's edge; slight lean Dead limb; double leader fused	X X
	1380 1381 1382	Gleditsia triacanthos Populus deltoides Morus alba	Honeylocust Cottonwood White Mulberry	6 16/15/10 20	Good Fair Poor	Thoms Triple leader; broken limbs; dead branches; weak le Lean; split risk; dead branches	X X
	1383 1384	Ulmus rubra Acer negundo	Slippery Elm Box Elder	23 12	Fair Fair	Growing in concrete Lean; dead branches	
	1385 1386 1387	Ulmus pumila Ulmus pumila Acer saccharinum	Siberian Elm Siberian Elm Silver Maple	22 16 10/11/14/16/20	Fair Fair Good	Dead branches Multi-leader	
	1388 1389 1390	Gleditsia triacanthos Gleditsia triacanthos Acer negundo	Honeylocust Honeylocust Box Elder	17 18 15	Good Fair Dead	Dead branches Dead branches; thorns	
	1391 1392 1393	Ulmus rubra Acer negundo Acer negundo	Slippery Elm Box Elder Box Elder	8 11 11	Fair Poor Poor	Dead branches Dead branches Dead/broken limbs; trunk damage	
	1394 1395	Acer negundo Fraxinus sp.	Box Elder Ash sp.	16 14	Poor Poor	Lean; dead branches Lean; dead branches	
	1396 1397 1398	Acer negundo Acer negundo Acer negundo	Box Elder Box Elder Box Elder	8 7 12	Fair Poor Poor	Lean Lean; dead leader	
	1399 1400 1401	Acer negundo Fraxinus sp. Fraxinus sp.	Box Elder Ash sp. Ash sp.	16 11 6/10/11/11	Fair Dead Dead	Dead branches	
Y MH 1.65	1402 1403 1404	Acer negundo Acer negundo	Box Elder Box Elder	9.5/15 7.5 11	Poor Fair Good	Trunk damage; dead branches Dead branches Some dead branches	X X X
OPEN LID DOWN	1405 1406	Ulmus rubra Malus sp. Fraxinus sp.	Slippery Elm Apple Ash sp.	10/9 8/9	Poor Dead	Dead limbs and branches	X X
	1407 1408 1409	Ulmus rubra Quercus rubra Quercus rubra	Slippery Elm Red Oak Red Oak	15 10 13	Good Fair Fair	Dead branches; buttress roots Dead and broken branches; one-sided growth Dead branches	X X X
	1410 1411 1412	Quercus rub ra Prunus serotina Quercus rub ra	Red Oak Black Cherry Red Oak	13 9.5/8/10 19	Good Fair Fair	Dead branches; vine Slight lean Strong lean; dead branches	X X
мР	1413 1414 1415	Quercus rub ra Quercus rub ra Quercus rub ra	Red Oak Red Oak Red Oak	11 19/20 18	Fair Fair Good	Lean Double leader; lean; dead branches Dead branches	
=689.13 /=689.13	1416 1417	Quercus rub ra Quercus rub ra	Red Oak Red Oak	10 15 12/10	Fair Fair	Dead branches; one-sided growth One-sided growth	
	1418 1419 1420	Quercus rubra Quercus rubra Ulmus rubra	Red Oak Red Oak Slippery Elm	19 9	Fair Fair Fair	Double-leader; lean; dead branches Lean; dead branches	
	1421 1422 1423	Prunus serotina Acer saccharinum Quercus rub ra	Black Cherry Silver Maple Red Oak	11.5/11 27 27	Poor Good Good	Dead/broken limbs Dead lower branches	x
	1424 1425 1426	Quercus rub ra Quercus macrocarpa Quercus macrocarpa	Red Oak Burr Oak Burr Oak	14 14 12.5/12	Good Fair Fair	Dead branches Dead branches Dead branches	X X X
	1427 1428 1429	Quercus macrocarpa Prunus serotina Quercus rub ra	Burr Oak Black Cherry Red Oak	15 8 18	Fair Fair Good	Dead branches Lean Dead branches	X X X
2" CMP VV. E=689.03	1430 1431	Quercus rub ra Quercus alb a	Red Oak White Oak	5.5/21 15	Good Fair	Dead branches; vine Dead branches	x
NV. W=689.07	1432 1433 1434	Quercus macrocarpa Quercus alb a Acer saccharinum	Burr Oak White Oak Silver Maple	14 13 6	Fair Good Fair	Dead branches Vine; dead branches Crowded	
	1435 1436 1437	Quercus rub ra Quercus rub ra Quercus rub ra	Red Oak Red Oak Red Oak	18 17/17 8/8	Good Fair Good	Dead branches Lean; dead branches Lean	
	1438 1439 1440	Quercus rub ra Quercus rub ra	Red Oak Red Oak Burr Oak	6 15 25	Fair Good Fair	Broken leader Dead branches Dead limb	
690	1441 1442	Quercus macrocarpa Prunus serotina Morus alba	Black Cherry White Mulberry	7.5 8	Fair Fair	Lean Dead branches	X X
-090 -	1443 1444 1445	Prunus serotina Prunus serotina Prunus serotina	Black Cherry Black Cherry Black Cherry	7/9 6 9	Poor Fair Fair	Dead leader, lean	X X X
	1446 1447 1448	Prunus serotina Prunus serotina Prunus serotina	Black Cherry Black Cherry Black Cherry	8 11 7	Fair Fair Poor	Lean Dead branches	X X X
	1449 1450	Prunus serotina Prunus serotina	Black Cherry Black Cherry Black Cherry	7 10 6.5	Dead Fair		X X X
	1451 1452 1453	Prunus serotina Prunus serotina Prunus serotina	Black Cherry Black Cherry	7 7	Fair Fair Fair	Lean	x
'_s	1454 1455 1456	Quercus rub ra Quercus rub ra Quercus alb a	Red Oak Red Oak White Oak	18 13 7.5	Good Good Good	Dead branches Dead branches Slight lean	
× 694.	1458 1459	Quercus rub ra Quercus rub ra Quercus rub ra	Red Oak Red Oak Red Oak	17 6 8.5	Fair Poor Good	Slight lean Dead leader Dead branches	
	1460 1461 1462	Quercus rub ra Quercus alb a Quercus macrocarpa	Red Oak White Oak Burr Oak	15 6.5 30	Good Good Poor	Dead branches Dead leader; broken/dead limbs	
	1463 1464	Quercus alb a Quercus rub ra	White Oak Red Oak	6.5 12 7	Fair Fair	Lean Slight lean; dead branch	
	1465 1466 1467	Prunus serotina Quercus rubra Quercus macrocarpa	Black Cherry Red Oak Burr Oak	17 6	Dead Good Good	Dead branches	
	1468 1469 1470	Quercus macrocarpa Quercus macrocarpa Quercus rub ra	Burr Oak Burr Oak Red Oak	6 23 15	Good Fair Fair	Mushroom growth near trunk; dead branches Dead limbs and branches	
	1471 1472 1473	Quercus rub ra Quercus rub ra Quercus macrocarpa	Red Oak Red Oak Burr Oak	18/7 13/17 6.5	Fair Fair Fair	Dead branches Mushroom growth; dead branches Lean	X X X
	1474 1475 1476	Prunus serotina Prunus serotina Quercus rubra	Black Cherry Black Cherry Red Oak	8 8/4 23	Poor Poor Good	Dead Dead leader; dead branch Dead branches	X X X
	1477 1478	Prunus serotina Prunus serotina	Black Cherry Black Cherry	8/5 11/11/11	Dead Fair	Split risk; lean	X X X
	1479 1480 1481	Quercus macrocarpa Quercus macrocarpa Quercus macrocarpa	Burr Oak Burr Oak Burr Oak	10 9 22	Fair Fair Good	Dead branches Dead branches Broken/dead branches	X
	1482 1483 1484	Quercus rub ra Quercus rub ra Prunus serotina	Red Oak Red Oak Black Cherry	7 23 11	Fair Fair Fair	Dead branches; slight lean Dead branches	X
	1485 1486 1487	Quercus rubra Quercus macrocarpa Quercus macrocarpa	Red Oak Burr Oak Burr Oak	6 27 28	Fair Fair Fair Fair	Crowded Dead limbs and branches Dead branches	
	1487 1488 1489 1490	Quercus macrocarpa Prunus serotina	Burr Oak Black Cherry	28 9 24	Fair Fair Fair Good	Dead branches; slight lean Crowded; lean Dead limb	
EN .	1491 1492	Quercus macrocarpa Quercus rub ra Ulmus pumila	Burr Oak Red Oak Siberian Elm	26 6	Fair Fair	Dead limb Lean Dead branches	X X
	1493 1494 1495	Ulmus pumila Ulmus pumila Ulmus pumila	Siberian Elm Siberian Elm Siberian Elm	10 9 6	Fair Fair Fair	Lean Lean	X X X
	1495 1496 1497 1498	Aesculus glabra Ulmus pumila	Ohio Buckeye Siberian Elm Siberian Elm	12 8 8	Fair Poor Poor	Lower dead branches Little new growth Dying; dead limbs	X X X
80	1499 1500	Ulmus pumila Ulmus pumila Ulmus pumila	Siberian Elm Siberian Elm Siberian Elm	8 13 9	Poor Fair Fair	Dying; dead limbs Dead branches Lean; dead branches	X X X
	1525 1526	01-1524 missing Acer saccharinum Ulmus pumila	Silver Maple Siberian Elm	16 10	Fair Fair	Lean; dead branches	X X
	1527 1528 1529	Ulmus pumila Gleditsia triacanthos Quercus macrocarpa	Siberian Elm Honeylocust Burr Oak	19 26 27	Fair Good Good	Lean; dead branches Dead branches Dead branch	X X X
	1530 1531 1532	Quercus rub ra Quercus macrocarpa	Red Oak Burr Oak	23 12/9 27	Good Good Fair Good	Broken branches Dead branches	x
	1533 1534	Quercus macrocarpa Quercus macrocarpa Quercus macrocarpa	Burr Oak Burr Oak Burr Oak	28 19	Good Fair	One-sided growth Dead branches Dead branches	
	1535 1536 1537	Quercus macrocarpa Ulmus pumila Quercus rub ra	Burr Oak Siberian Elm Red Oak	26 11 15	Good Fair Good	Dead branches Dead branches	
	1538 1539	Quercus alb a Quercus alb a	White Oak White Oak	13 10	Good	Dead branch	
	1540	Quercus alb a	White Oak	14	Good Fair	Dead branches	

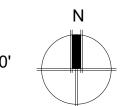




```````````````````````````````````````	XXXXXXXXX	*****	XXXXXXXXX	
COMMON AREA PLANT SCHEDULE				
BOTANICAL NAME / COMMON NAME	CONT	SIZE	<u>QTY</u>	
Betula nigra / River Birch	B & B	6`-8` ht, multi-stem	5	
Fagus grandifolia / American Beech	B & B	2.5" cal.	4	
Platanus x acerifolia `Bloodgood` / London Plane Tree	B & B	3" cal.	4	
Quercus bicolor / Swamp White Oak	B & B	2.5" cal.	-4-2	
Quercus macrocarpa / Burr Oak	B & B	2.5" cal.	2	
Quercus rubra / Red Oak	B & B	2.5" cal.	- <del>6</del> -5	Λ
Γilia cordata `Glenleven` / Glenleven Littleleaf Linden	B & B	2.5" cal.	8	3
JImus x `Frontier` / Frontier American Elm	B & B	2.5" cal.	7	
BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY	
Juniperus chinensis `Mountbatten` / Mountbatten Juniper	B & B	4`-6` ht	-4-2	^
Juniperus virginiana `Canaertii` / Canaerti Juniper	B & B	4`-6` ht	4	3
Picea omorika / Serbian Spruce	B & B	6`-8` ht	7	
Picea pungens / Colorado Spruce	B & B	10-12` ht	2	
Pinus flexilis / Limber Pine	B & B	6`-8` ht	8	
Pseudotsuga menziesii / Douglas Fir	B & B	4`-6` ht	- <del>12</del> 10	
Fhuja occidentalis `Nigra` / Nigra Arborviate	<del></del>	4`-6` ht	4	^
rsuga canadensis / Canadian Hemlock	B & B	4`-6` ht	3	3
BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY	
Amelanchier canadensis `Autumn Brilliance` / Autumn Brilliance Serviceberry	B & B	4`-6` ht, multi-stem	-5-8	
Amelanchier x grandiflora `Forest Prince` / Forest Prince Serviceberry	B & B	4`-6` ht	3	
Cercis canadensis / Eastern Redbud	B & B	4`-6` ht, multi-stem	4	
Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	B & B	4`-6` ht, multi-stem	6	
BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY	
Carpinus caroliniana `JN Strain` TM / American Hornbeam	B & B	4`-6` ht, multi-stem	3	
Ostrya virginiana / American Hophornbeam	B & B	2.5" cal.	4	
BOTANICAL NAME / COMMON NAME	CONT		QTY	
Seed Lawn / IDOT Class 1B Low Maintenance Lawn MixtureFine Leaf Turf-Type Fescue150 lbs. / acrePerennial Ryegrass20 lbs. / acreRed Top10 lbs. / acreCreeping Red Fescue20 lbs. / acreTotal = 200 lbs. / acre	seed		111,341 sf	
SIGN PLANT SCHEDULE				
BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY	
Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	B & B	4`-6` ht, multi-stem	2	
BOTANICAL NAME / COMMON NAME		SIZE	QTY	
Hydrangea arborescens `Annabelle` / Annabelle Hydrangea		36"h	1	
Hydrangea quercifolia `Pee Wee` / Pee Wee Oakleaf Hydrangea		24"h	5	



30' 15' 0'



Evanston, Illinois 60201 Tel 847.869.2015 Fax 847.869.2059 taae Consultina Enair 

SPACING QTY

18" o.c. 88 sf

36" o.c. 35 sf

12" o.c. 104 sf

12" o.c. 52 sf

Landscape Architecture

627 Grove Street,

25 OF 27

CONT

2.25" pot

flat

2.25" pot

2.25" pot

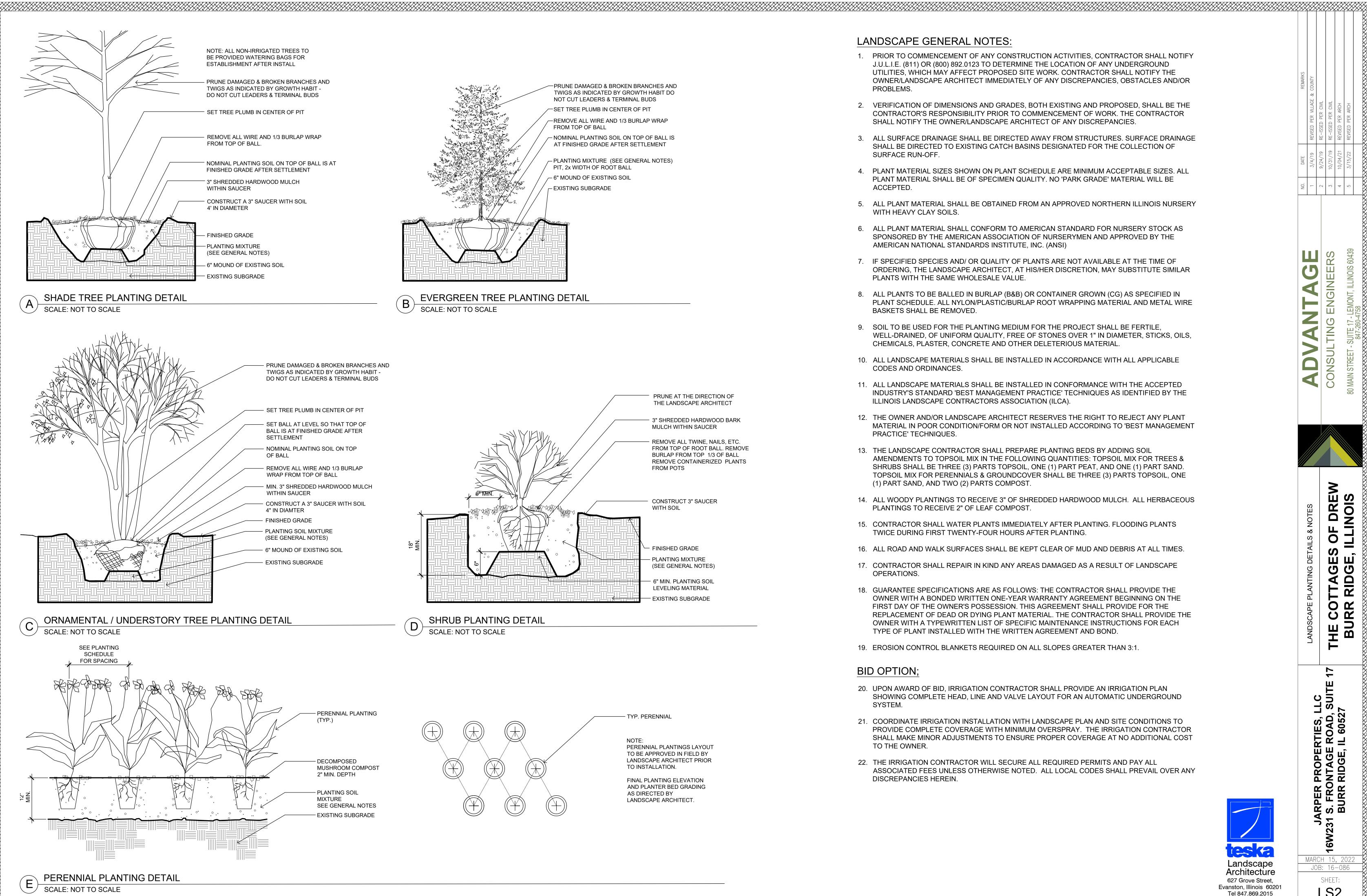
Geranium x 'Rozanne' / Rozanne Cranesbill

Hosta fortunei `Francee` / Fortune`s Hosta

Liriope spicata / Creeping Lily Turf

Aster novi-belgii 'Woods Purple' / Woods Purple Aster

- Street trees along Cottage Court spaced at 40' o.c. per Village Code.



# LANDSCAPE GENERAL NOTES:

- PROBLEMS.
- SURFACE RUN-OFF.
- ACCEPTED.
- WITH HEAVY CLAY SOILS.
- PLANTS WITH THE SAME WHOLESALE VALUE.
- BASKETS SHALL BE REMOVED.
- CODES AND ORDINANCES.
- PRACTICE' TECHNIQUES.
- (1) PART SAND, AND TWO (2) PARTS COMPOST

- OPERATIONS.

## BID OPTION;

- SYSTEM.
- TO THE OWNER.
- DISCREPANCIES HEREIN.

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR

2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF

4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE

5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY

6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)

7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR

8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE

9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.

10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE

11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).

12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/FORM OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT

13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUNDCOVER SHALL BE THREE (3) PARTS TOPSOIL, ONE

14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.

15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.

16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.

17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE

18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.

19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND

21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST

22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY

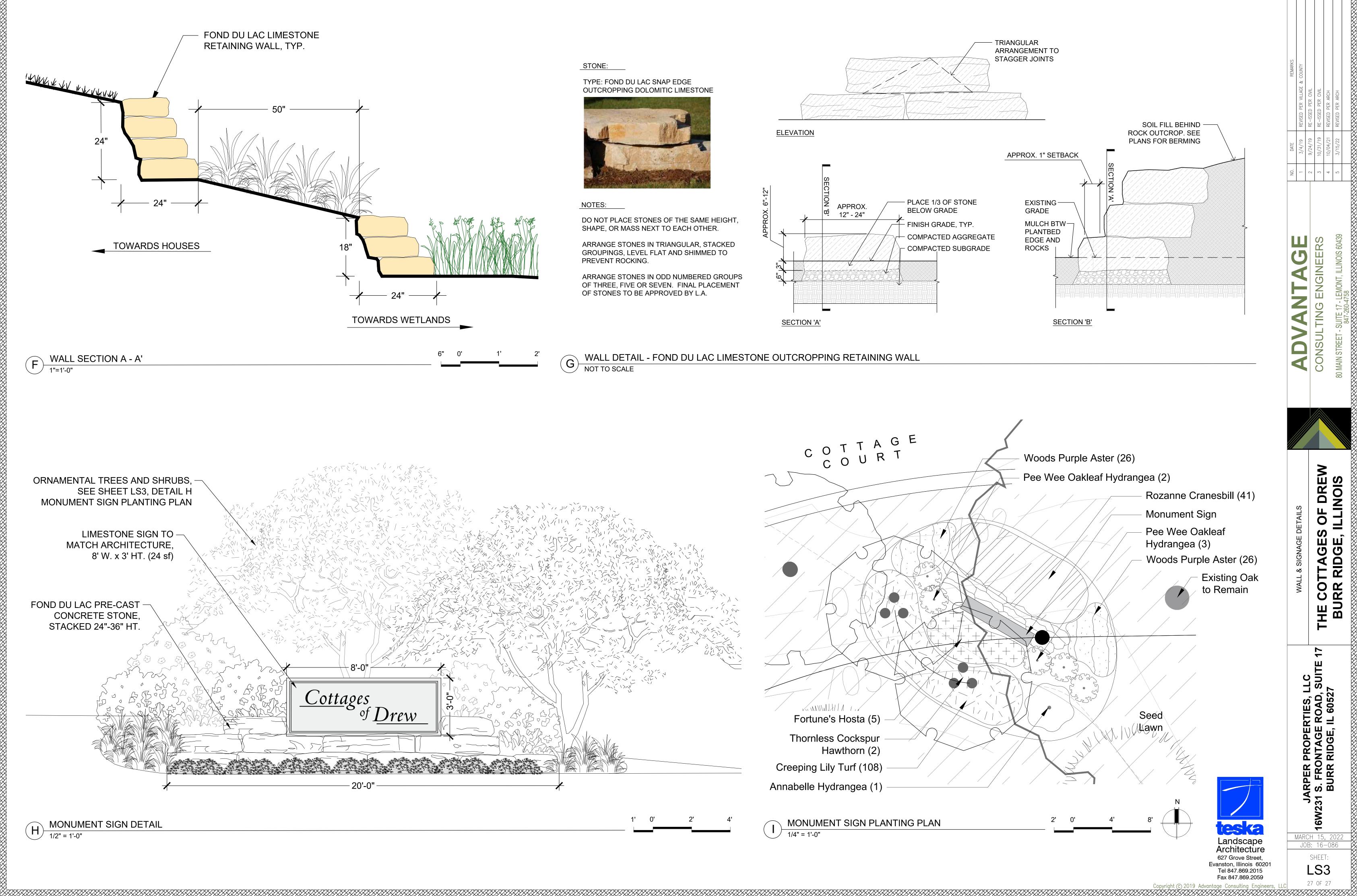
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				CONSULTING ENGINEERS		80 MAIN STREET - SUITE 17 - LEMONT. ILLINOIS 60439	847-260-4758	
		LANDSCAPE PLANTING DETAILS & NOTES				BURR RIDGE. ILLINOIS		
	Ν			1 16W231 S. FRONTAGE ROAD, SUITE 17	BURR RIDGE. IL 60527	022	2	
, LLC		XX/		HEE S OF	2	$\chi\chi$	$\langle \rangle$	

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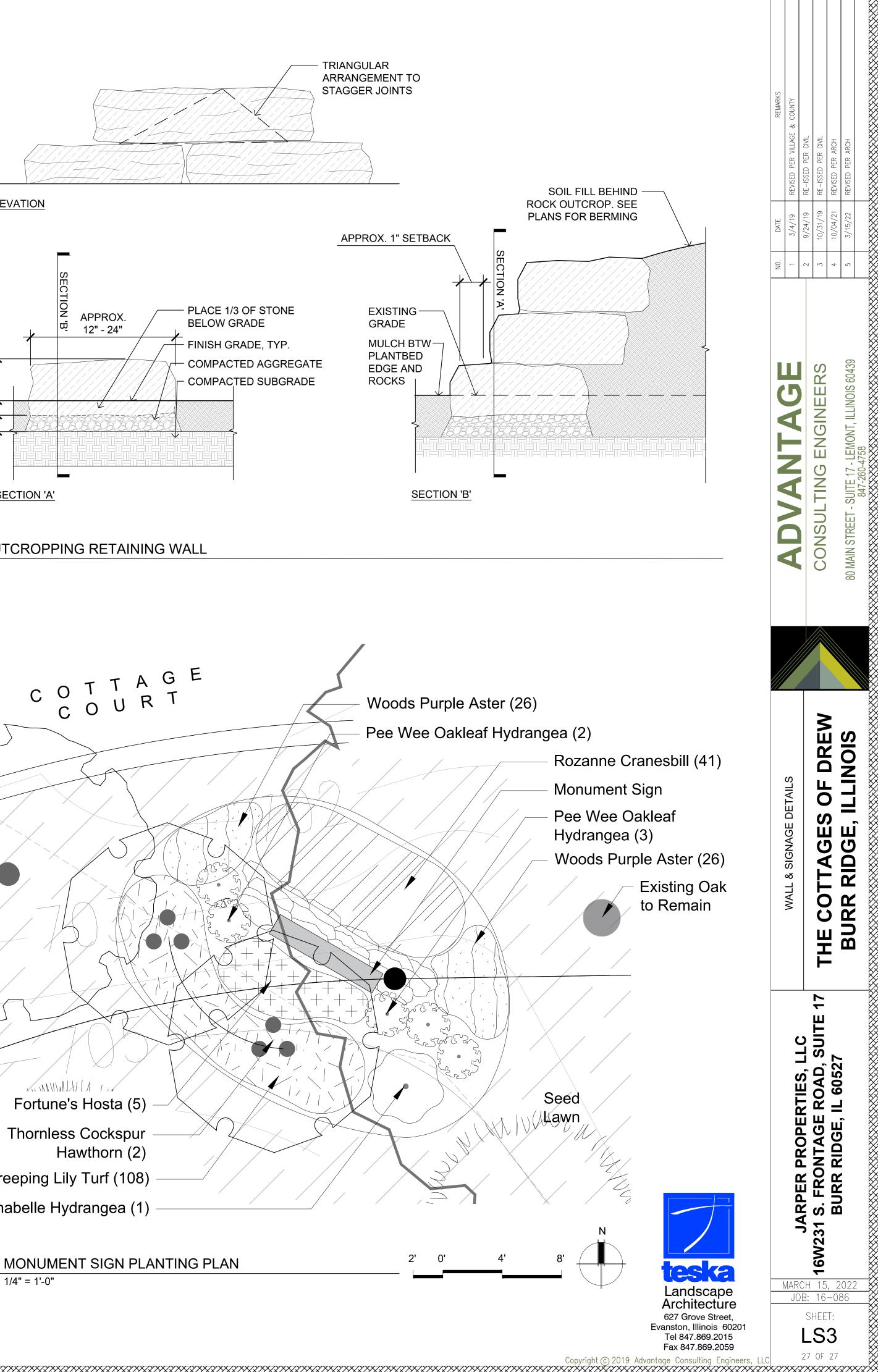
Landscape Architecture

627 Grove Street, Evanston, Illinois 60201

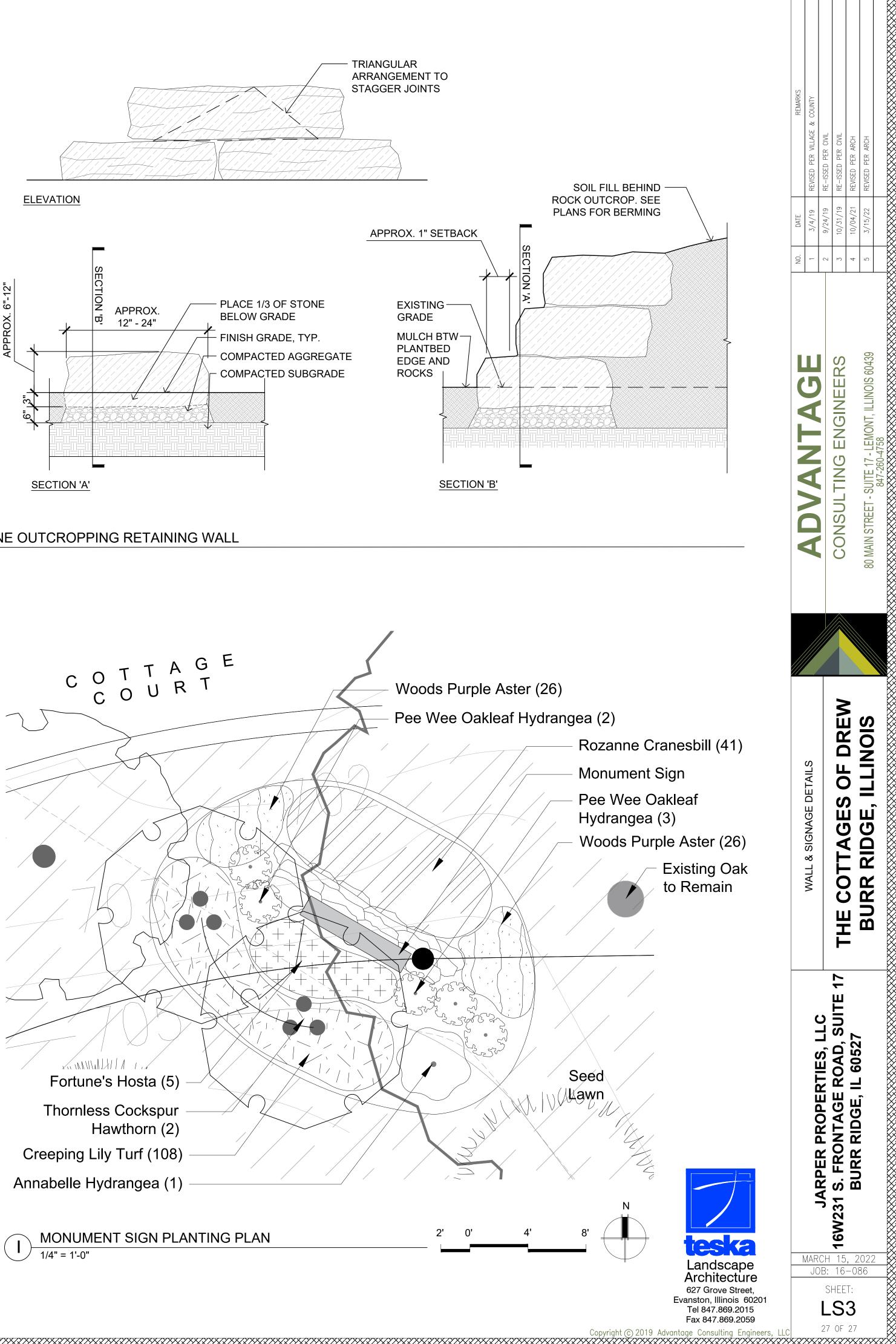
Tel 847.869.2015 Fax 847.869.2059







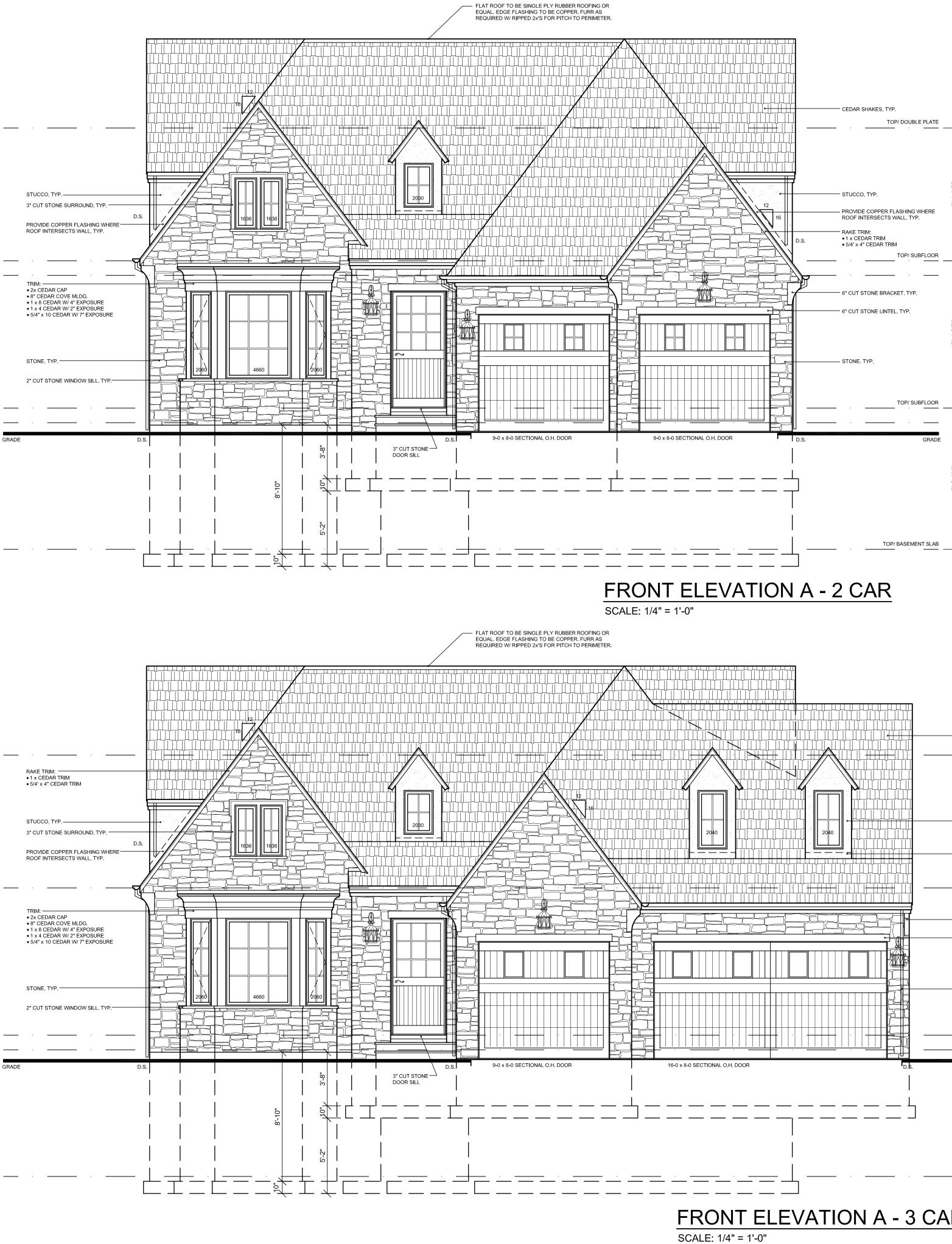


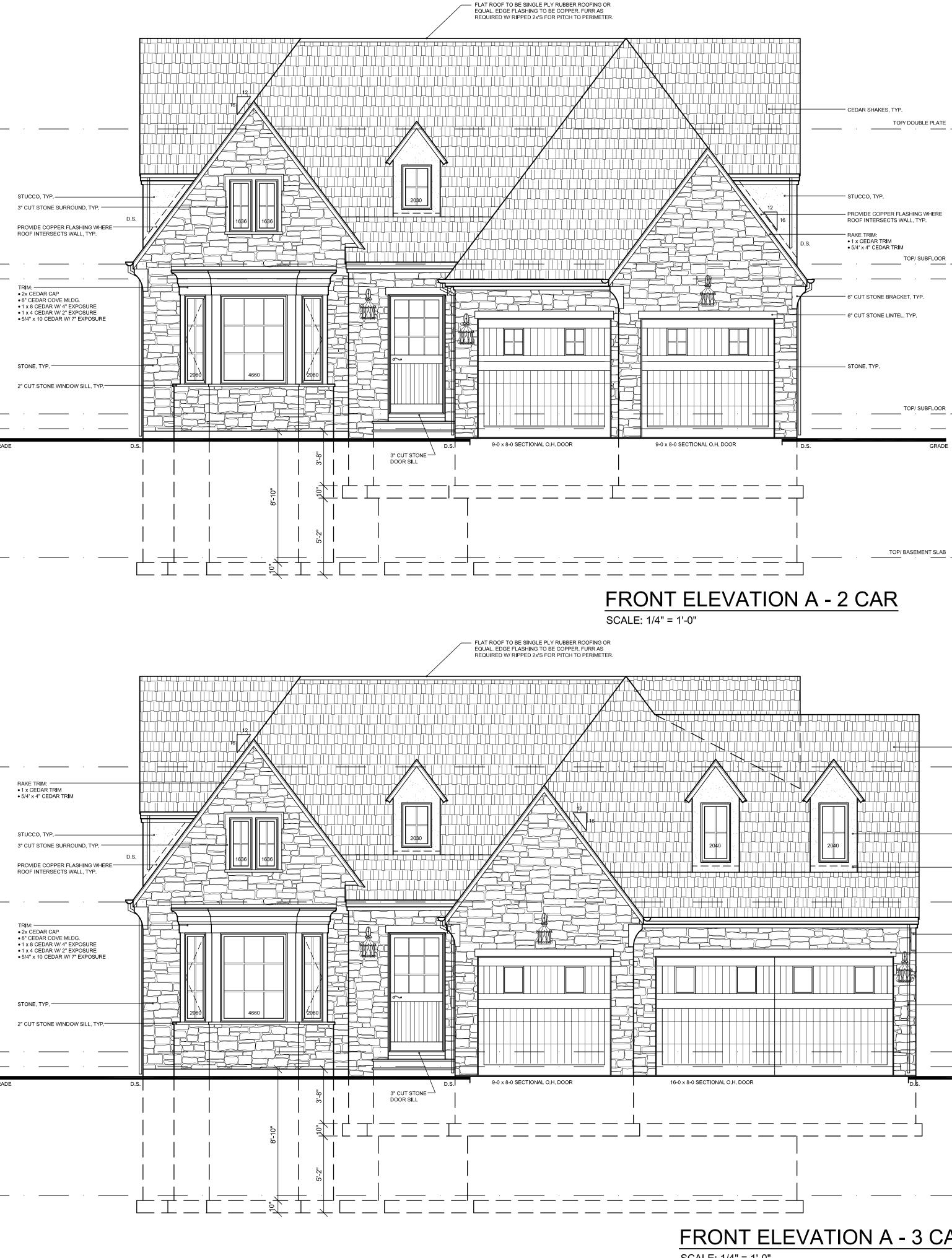




SCALE: 1/4" = 1'-0"

	REVISIONS: PRELIMINARY DESIGN ISSUED FOR BID
E PLATE 181 1-6	DATE: REVI 1/11/19 PREL 3/25/19 ISSU
	COTTAGES AT THE DREW COTTAGES AT THE DREW PLAN 2 RESIDENCE LOT 1- LOT 1- To COPRIGHT 2019 FERGON ARCHITECTS, LLC The Plans prediction of Fergon Architects, LLC, were created and developed for use on and in connection with the specified project. Any use, reproduction or assignment to any shall not occur without obtaining express written consent of Fergon Architects, LLC.
TOP/ DOUBLE PLATE	GREYSTONE BURR RIDGE, IL 60527 PHONE; 630.323.7600 FAX: 630.850.9171
TOP/SUBFLOOR	FERGON 434 North Dover Avenue La Grange Park, Illinois 60526 708.352.0446 phone ARCHITECTS LLC
S. ORADE	ов ио. J 00 119 DATE: JANUARY 11, 2019





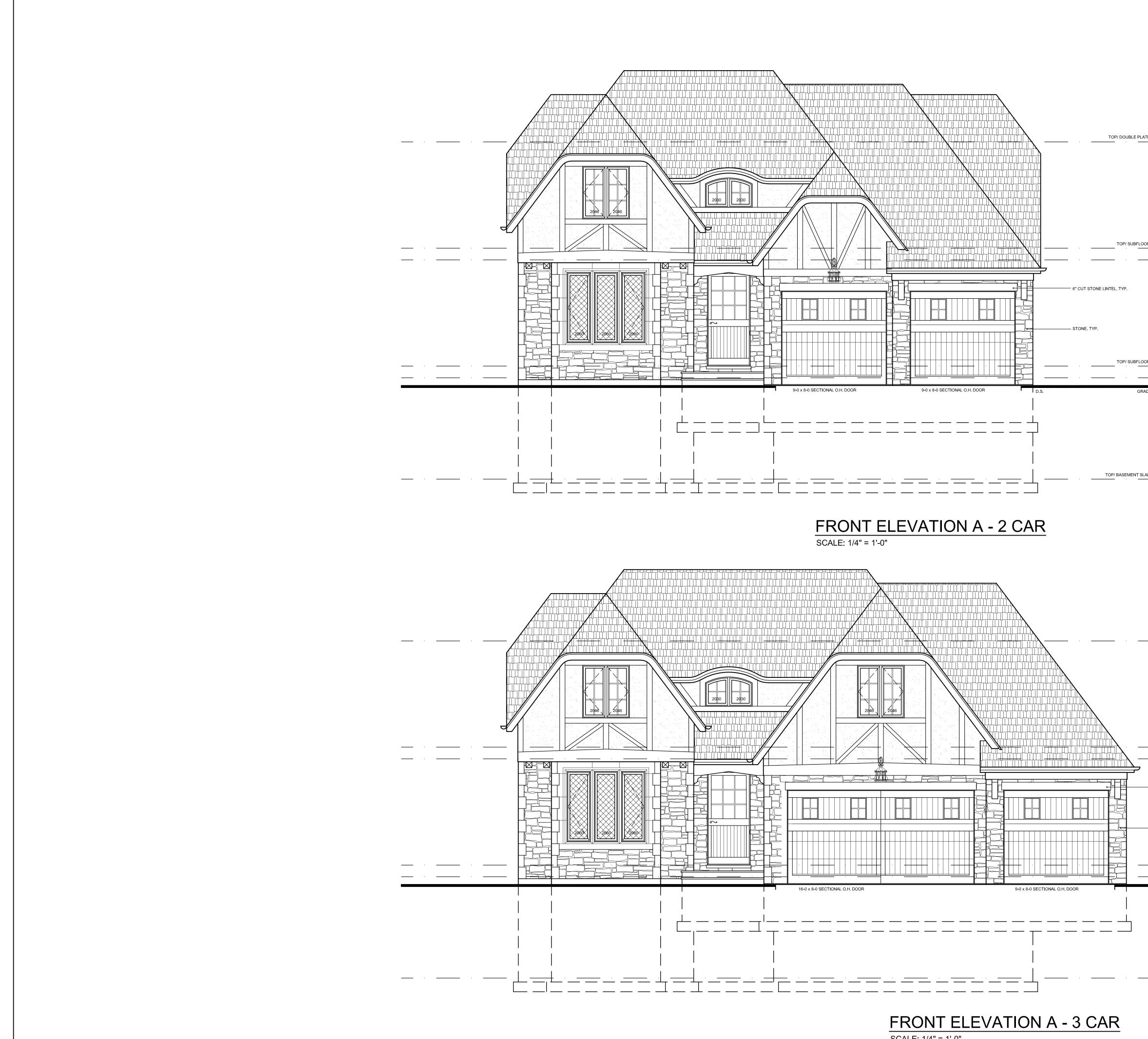
-1 18 	DATE:     REVISIONS:       1/11/19     PRELIMINARY DESIGN       3/25/19     ISSUED FOR BID       1     ISSUED FOR BID
	COTTAGES AT THE DREW PLAN 1 RESIDENCE LOT 1- LOT 1- COPYRIGHT 2019 FERGON ARCHITECTS, LLC. Were created and welloped for use on and in connection with the specified project. Any use, reproduction or assignment to any third party shall not occur without obtaining express written consent of Fergon Architects, LLC.
CEDAR SHAKES, TYP.	<b>GREYSTONE</b> <b>BURR RIDGE, IL 60527</b> PHONE; 630.850.9171
STUCCO, TYP. PROVIDE COPPER FLASHING WHERE ROOF INTERSECTS WALL TYP. et cut stone BRACKET, TYP. ef cut stone BRACKET, TYP. for cut stone LINTEL, TYP. STONE, TYP. TOP/ SUBFLOOR	FERGON       434 North Dover Avenue         134 South Dover Avenue       134 South Dover Avenue         12 Grange Park, Illinois 60526       708.352.0446 phone         ARCHITECTS LLC       1000000000000000000000000000000000000
	Job No. Job No. Date: January 11, 2019





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	REVISIONS: PRELIMINARY DESIGN ISSUED FOR BID
	DATE: 1/11/19 3/25/19
	COTTAGES AT THE DREW         PLAN 1 RESIDENCE         LOT 1-         LOT 1-         To Presented on this drawing are the sole property of Fergen Architects, LLC. were created and eveloped for use on and in connection with the specified project. Any use, reproduction or assignment to any third party shall not occur without obtaining express written consent of Fergen Architects, LLC.
CEDAR SHAKES, TYP. TOP/ DOUBLE PLATE RAKE TRIM: • 1 x CEDAR TRIM • 54% x4% CEDAR TRIM	<b>GREYSTONE</b> <b>BURR RIDGE, IL 60527</b> PHONE; 630.323.7600 FAX: 630.850.9171
• 5/4' x 4' CEDAR TRIM	FERGON 434 North Dover Avenue La Grange Park, Illinois 60526 708.352.0446 phone ARCHITECTS LLC
CRADE	JOB NO. JOB NO. DATE: JANUARY 11, 2019



SCALE: 1/4" = 1'-0"

PLATE	DATE:     REVISIONS:       1/11/19     PRELIMINARY DESIGN       3/25/19     ISSUED FOR BID       1/11/10     ISSUED FOR BID
	COTTAGES AT THE DREW PLAN 2 RESIDENCE LOT 1- LOT 1- COPRIGHT 2019 FERGON ARCHITECTS, LLC. were created and developed for use on and in connection with the specified project. Any use, reproduction or assignment to any third party shall not occur without obtaining express written consent of Fegon Architects, LLC.
TOP/ DOUBLE PLATE	GREYSTONE         BURE       BURE         16w231       S. FRONTAGE         16w231       S. FRONTAGE
TOP/ SUBFLOOR       6" CUT STONE LINTEL, TYP.       50 1-00       50 1-00       50 1-00       50 1-00	Architects LLC Architecture Arenue 708.352.0446 phone
	JOB NO. JOB NO. DATE: JANUARY 11, 2019



# CONSULTING ENGINEERS

# **Revised Detention Calculations**

For

The Cottages at Drew

Burr Ridge, Illinois

By

# **Jasper Properties, LLC**

Date: November 2, 2018 Last Revised: August 11, 2021

William J Zalewski, P.E. Illinois Registered Professional Engineer No. 062-046121 Expires 11/30/2021

80 MAIN STREET• SUITE 17• LEMONT, ILLINOIS 60439 847-260-4758

#### NARRATIVE

Jasper Properties, LLC is proposing to build proposed single-family residential subdivision on 4.1 acres area of the 8.8-acre parcel located at southwest corner of 79th Street and Drew Avenue in Burr Ridge, Illinois.

#### **EXISTING CONDITIONS**

The project area is located at southwest corner of 79th Street and Drew Avenue in Burr Ridge in DuPage County. There was an existing single-family residential building on the parcel.

Based on regulatory FEMA maps, FIS and flood profile, there are floodplain, and floodway areas located on the site and are shown on the site improvement plans. The regulatory maps are restrictive maps for this site.

Gary R Weber Associates have performed wetland study for the project area. The wetland limits and buffer limits are shown on plans.

#### PROPOSED CONDITIONS

The proposed project site area is 8.8 acres and the disturbed area will be 4.1 acres. The proposed improvements will consist of building construction with street, detention basin, PCBMP areas, flood plain compensatory area.

Detention volume has been provided per DuPage County Storm Water Management ordinance with Bulletin 75 rainfall data. The basin is analyzed for free flow condition and surcharge conditions. The controlling condition is surcharge condition. The detention required for surcharge condition is 1.99-acre feet and 2.59-acre feet volume is provided in basins. We have provided 30% more volume than required per Village request.

#### <u>PCBMP</u>

The project area will be routed through detention basin planted with naturalized plantings. The naturalized detention basin will satisfy the PCBMP requirement of the ordinance.

#### Flood Plain Compensatory Volume

Since the project area will require fill of flood plain area, flood plain compensatory volume will be excavated at northwest corner of the site.

Flood plain cut and fill volumes are shown under Tab 3.

The proposed cut is at least at 1:1 ratio for 0-10 year and 10-100 Year. The overall cut is more than required cut volume of 1.5:1.

#### Wetland and Buffers

There are proposed wetland impacts proposed for the project. Wetland buffers also will be impacted. GRWA has addressed the wetland, buffer and riparian impacts and their findings are included in Tabs 4 and 5.

#### **GENERAL STATEMENT**

In our opinion, the proposed storm water management meets or exceeds the minimum requirements of the DuPage County Storm Water Management Ordinance.

# ADVANTAGE CONSULTING ENGINEERS, LLC



80 Main Street - Suite 17 - Lemont, Illinois 60439 847-260-4758

#### THE COTTAGES ON DREW

BURR RIDGE, IL, Illinois Project No. 16-086 November 2, 2018 *September 24, 2019* TPP

#### STAGE-STORAGE-DISCHARGE RELATIONSHIP

#### **DETENTION POND - 2" RESTRICTOR**

ELEV.	AREA	DEPTH (H)	V=H/3(A1+A2+Sqrt	CUMM VOL.	DISCH	ARGE, CFS
ELEV.	S.F.	FT.	(A1*A2)), AC FT	AC FT	FREE	SURCHARGE
		Γ	DETENTION - EAST			
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
		E	DETENTION - WEST			
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.06 100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR 694.22 100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

JOB TR-20				SUMMAI	RY	
TITLE	BURR RIDGE	SITE, BURR	RIDGE, ILLIN			
TITLE	DETENTION (	CALCULATIONS	- FREE FLOW	/SURCHARGE (	CONDITION - 2	IN RESTRICT
5 RAINFL	1	0.05				DIM-LESS
8	0.00	0.16	0.33	0.43	0.52	BULL70
8	0.60	0.66	0.71	0.75	0.79	1STQTR
8	0.82	0.84	0.86	0.88	0.90	POINT
8	0.92	0.94	0.96	0.97	0.98	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL						
5 RAINFL	2	0.05				DIM-LESS
8	0.00	0.03	0.08	0.12	0.16	BULL70
8	0.22	0.29	0.39	0.51	0.62	2NDQTR
8	0.70	0.76	0.81	0.85	0.88	POINT
8	0.91	0.93	0.95	0.97	0.98	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL						
5 RAINFL		0.05				DIM-LESS
8	0.00	0.03	0.06	0.09	0.12	BULL70
8	0.15	0.19	0.23	0.27	0.32	<b>3RDQTR</b>
8	0.38	0.45	0.57	0.70	0.79	POINT
8	0.85	0.89	0.92	0.95	0.97	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL						
5 RAINFL		0.05				DIM-LESS
8	0.00	0.02	0.05	0.08	0.10	BULL70
8	0.13	0.16	0.19	0.22	0.25	4THQTR
8	0.28	0.32	0.35	0.39	0.45	POINT
8	0.51	0.59	0.72	0.84	0.92	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL						
3 STRUCT	01					
8		690.0	0.00	0.00		
8		691.0	0.11	0.39		
8		692.0	0.15	0.87		
8		693.0	0.18	1.41		
8		694.0	0.21	1.99		
8		695.0	0.24	2.59		
9 ENDTBL	0.2					
3 STRUCT	02	<b>COC C</b>	0.00	0.00		
8		690.0	0.00	0.00		
8		691.0	0.01	0.39		
8		692.0	0.07	0.87		
8		693.0	0.12	1.41		

8 8 1	694.0 695.0	0.16 0.19	1.99 2.59			
******	***80-80 LIST C	)F INPUT DAT	A (CONTINUED)	)*********	*****	
9 ENDTBL 6 RUNOFF 1 050	7 0.0063	85.	0.25	1	SITE	
6 RESVOR 2 01 7		05.	0.25	1	FREE	
6 RUNOFF 1 051	5 0.0063	85.	0.25	1	SITE	
6 RESVOR 2 02 5		05.	0.25	111	SURCH	
ENDATA	0 000.0				Solicit	
7 INCREM 6	1.0					
7 COMPUT 7 050	02 0.0	8.57	24.0	3 2 24	99YR 24HR	
ENDCMP 1	02 0.0	0.57	2110	52 21	55117 2 1117	
ENDJOB 2						
0*******	********************ENC	0F 80-80 L	.IST********	*********	*****	
			-			
EXECUTIVE CONTROL OF	PERATION INCREM	1				RECORD ID
+		MAIN T	IME INCREMEN	Γ = 1.00 HC	URS	
EXECUTIVE CONTROL OF	PERATION COMPUT	-				RECORD ID R 24HR
+			SECTION 50			
+		FROM X		TO STRUCTUR		
+ STARTING TIM		FROM X AIN DEPTH =	8.57 RA	IN DURATION=	24.00 RAIN TABLE NO.= 3	
+		FROM X	8.57 RA	IN DURATION=		
+ STARTING TIM		FROM X AIN DEPTH =	8.57 RA	IN DURATION=	24.00 RAIN TABLE NO.= 3	
+ STARTING TIM ALTERNATE NO	).=24 5	FROM X RAIN DEPTH = STORM NO.=99	8.57 RA	IN DURATION=	24.00 RAIN TABLE NO.= 3	
+ STARTING TIM ALTERNATE NO		FROM X RAIN DEPTH = STORM NO.=99	8.57 RA	IN DURATION=	24.00 RAIN TABLE NO.= 3	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF	).=24 S	FROM X RAIN DEPTH = STORM NO.=99 50	8.57 RA MAIN TIM	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME	).=24 S	FROM X RAIN DEPTH = STORM NO.=99 50	8.57 RA MAIN TIME	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF	).=24 S	FROM X RAIN DEPTH = STORM NO.=99 50	8.57 RA MAIN TIM	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME	).=24 S	FROM X RAIN DEPTH = STORM NO.=99 50	8.57 RA MAIN TIME	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76	).=24 S CROSS SECTION	FROM X RAIN DEPTH = STORM NO.=99 50	8.57 RA MAIN TIME	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76	).=24 S	FROM X RAIN DEPTH = STORM NO.=99 50	8.57 RA MAIN TIME	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF C PEAK TIME 14.76 OPERATION RESVOR	).=24 S CROSS SECTION E(HRS) STRUCTURE 1	FROM X AIN DEPTH = STORM NO.=99 50 PEAK D	8.57 RA MAIN TIME DISCHARGE(CFS) 3.54	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76	).=24 S CROSS SECTION E(HRS) STRUCTURE 1	FROM X AIN DEPTH = STORM NO.=99 50 PEAK D	8.57 RA MAIN TIME DISCHARGE(CFS) 3.54	IN DURATION= E INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM	FROM X RAIN DEPTH = STORM NO.=99 50 PEAK D 1 DISCHARGE	8.57 RA MAIN TIME DISCHARGE(CFS) 3.54	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK PEAK TIME	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM	FROM X RAIN DEPTH = STORM NO.=99 50 PEAK D 1 DISCHARGE	<ul> <li>8.57 RA</li> <li>MAIN TIME</li> <li>DISCHARGE(CFS)</li> <li>3.54</li> <li>= .22</li> <li>DISCHARGE(CFS)</li> </ul>	IN DURATION= INCREMENT	<pre>24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF) PEAK ELEVATION(FEET)</pre>	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S **** WARNING-NO PEAK	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM	FROM X RAIN DEPTH = STORM NO.=99 50 PEAK D 1 DISCHARGE	8.57 RA MAIN TIME DISCHARGE(CFS) 3.54	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK PEAK TIME	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM	FROM X RAIN DEPTH = STORM NO.=99 50 PEAK D 1 DISCHARGE	<ul> <li>8.57 RA</li> <li>MAIN TIME</li> <li>DISCHARGE(CFS)</li> <li>3.54</li> <li>= .22</li> <li>DISCHARGE(CFS)</li> </ul>	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF) PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK PEAK TIME 25.00	).=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM E(HRS)	FROM X AIN DEPTH = TORM NO.=99 50 PEAK D 1 DISCHARGE PEAK D	<ul> <li>8.57 RA</li> <li>MAIN TIME</li> <li>DISCHARGE(CFS)</li> <li>3.54</li> <li>= .22</li> <li>DISCHARGE(CFS)</li> </ul>	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF) PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK PEAK TIME 25.00	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM	FROM X AIN DEPTH = TORM NO.=99 50 PEAK D 1 DISCHARGE PEAK D	<ul> <li>8.57 RA</li> <li>MAIN TIME</li> <li>DISCHARGE(CFS)</li> <li>3.54</li> <li>= .22</li> <li>DISCHARGE(CFS)</li> </ul>	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF) PEAK ELEVATION(FEET)	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK PEAK TIME 25.00 OPERATION RUNOFF O	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM E(HRS) CROSS SECTION	FROM X AIN DEPTH = TORM NO.=99 50 PEAK D 1 DISCHARGE PEAK D 51	8.57 RA MAIN TIME DISCHARGE(CFS) 3.54 = .22 DISCHARGE(CFS) .21	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF) PEAK ELEVATION(FEET) 694.06	
+ STARTING TIM ALTERNATE NO OPERATION RUNOFF O PEAK TIME 14.76 OPERATION RESVOR S *** WARNING-NO PEAK PEAK TIME 25.00	D.=24 S CROSS SECTION E(HRS) STRUCTURE 1 FOUND, MAXIMUM E(HRS) CROSS SECTION	FROM X AIN DEPTH = TORM NO.=99 50 PEAK D 1 DISCHARGE PEAK D 51	<ul> <li>8.57 RA</li> <li>MAIN TIME</li> <li>DISCHARGE(CFS)</li> <li>3.54</li> <li>= .22</li> <li>DISCHARGE(CFS)</li> </ul>	IN DURATION= INCREMENT	24.00 RAIN TABLE NO.= 3 = 1.00 HOURS PEAK ELEVATION(FEET) (RUNOFF) PEAK ELEVATION(FEET)	

TR20 XEQ 08-11-21 08:48	BURR RIDGE SITE, BURR RIDGE, ILLINOIS	JOB	1	PASS	1
REV PC 09/83(.2)	DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT			PAGE	1

PEAK ELEVATION(FEET)

OPERATION RESVOR STRUCTURE 2

PEAK TIME(HRS)

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .17 CFS.

PEAK DISCHARGE(CFS)

	25.0	0		.17			694.22				
TIME(HRS)		FIRST HYDROGR	APH POINT	= .00 HO	URS	TIME INCREM	ENT = 1.00	HOURS	DRAINAGE	AREA =	.01 SQ.MI.
.00	DISCHG	.00	.00	.00	.00	.00	.00	.00	.00	.01	.01
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.55	690.72
10.00	DISCHG	.01	.02	.03	.05	.07	.10	.12	.13	.14	.15
10.00	ELEV	690.93	691.16	691.39	691.67	692.07	692.57	693.01	693.32	693.56	693.74
20.00	DISCHG	.15	.16	.16	.16	.17	.17	.17	.17	.16	.16
20.00	ELEV	693.85	693.95	694.03	694.10	694.18	694.22	694.19	694.17	694.15	694.13
30.00	DISCHG	.16	.16	.16	.16	.16	.16	.16	.16	.16	.16
30.00	ELEV	694.10	694.08	694.06	694.04	694.01	693.99	693.97	693.95	693.92	693.90
40.00	DISCHG	.16	.15	.15	.15	.15	.15	.15	.15	.15	.15
40.00	ELEV	693.88	693.86	693.84	693.81	693.79	693.77	693.75	693.73	693.71	693.69
50.00	DISCHG	.15	.15	.14	.14	.14	.14	.14	.14	.14	.14
50.00	ELEV	693.66	693.64	693.62	693.60	693.58	693.56	693.54	693.52	693.50	693.48
60.00	DISCHG	.14	.14	.14	.14	.14	.13	.13	.13	.13	.13
60.00	ELEV	693.46	693.44	693.42	693.40	693.38	693.36	693.35	693.33	693.31	693.29
70.00	DISCHG	.13	.13	.13	.13	.13	.13	.13	.13	.12	.12
70.00	ELEV	693.27	693.25	693.23	693.21	693.20	693.18	693.16	693.14	693.12	693.11
80.00	DISCHG	.12	.12	.12	.12	.12	.12	.12	.12	.12	.12
80.00	ELEV	693.09	693.07	693.05	693.04	693.02	693.00	692.98	692.97	692.95	692.93
90.00	DISCHG	.12	.11	.11	.11	.11	.11	.11	.11	.11	.11
90.00	ELEV	692.91	692.89	692.88	692.86	692.84	692.83	692.81	692.79	692.77	692.76
100.00	DISCHG	.11	.11	.11	.10	.10	.10	.10	.10	.10	.10
100.00	ELEV	692.74	692.73	692.71	692.69	692.68	692.66	692.65	692.63	692.61	692.60
110.00	DISCHG	.10	.10	.10	.10	.10	.10	.09	.09	.09	.09
110.00	ELEV	692.58	692.57	692.55	692.54	692.52	692.51	692.49	692.48	692.47	692.45
120.00	DISCHG	.09	.09	.09	.09	.09	.09	.09	.09	.09	.09
120.00	ELEV	692.44	692.42	692.41	692.40	692.38	692.37	692.36	692.34	692.33	692.32
130.00	DISCHG	.09	.08	.08	.08	.08	.08	.08	.08	.08	.08
130.00	ELEV	692.30	692.29	692.28	692.26	692.25	692.24	692.23	692.21	692.20	692.19
140.00	DISCHG	.08	.08	.08	.08	.08	.08	.08	.07	.07	.07
140.00	ELEV	692.18	692.17	692.15	692.14	692.13	692.12	692.11	692.09	692.08	692.07
150.00	DISCHG	.07	.07	.07	.07	.07	.07	.07	.07	.07	.07
150.00	ELEV	692.06	692.05	692.04	692.03	692.02	692.01	691.99	691.98	691.97	691.96

1

160.00	DISCHG	.07	.07	.07	.06	.06	.06	.06	.06	.06	.06		
160.00	ELEV	691.95	691.94	691.92	691.91	691.90	691.89	691.88	691.87	691.86	691.85		
170.00	DISCHG	.06	.06	.06	.06	.06	.06	.06	.06	.06	.05		
170.00	ELEV	691.84	691.83	691.82	691.81	691.80	691.79	691.78	691.77	691.76	691.75		
180.00	DISCHG	.05	.05	.05	.05	.05	.05	.05	.05	.05	.05		
180.00	ELEV	691.74	691.73	691.72	691.71	691.70	691.69	691.69	691.68	691.67	691.66		
190.00	DISCHG	.05	.05	.05	.05	.05	.05	.05	.05	.05	.04		
1													
TR20 XEQ	08-11-21 0	8:48	BURR RIDGE	SITE, BUR	R RIDGE, I	LLINOIS					JOB 1	PASS	1
REV	PC 09/83(.2	)	DETENTION	CALCULATIO	NS - FREE	FLOW/SURCH	ARGE CONDI	TION - 2 I	N RESTRICT			PAGE	2
190.00	ELEV	691.65	691.64	691.63	691.63	691.62	691.61	691.60	691.59	691.59	691.58		
200.00	DISCHG	.04	.04	.04	.04	.04	.04	.04	.04	.04	.04		
200.00	ELEV	691.57	691.56	691.56	691.55	691.54	691.53	691.53	691.52	691.51	691.51		
210.00	DISCHG	.04	.04	.04	.04	.04	.04	.04	.04	.04	.04		
210.00	ELEV	691.50	691.49	691.48	691.48	691.47	691.46	691.46	691.45	691.45	691.44		
220.00	DISCHG	.04	.04	.04	.03	.03	.03	.03	.03	.03	.03		
220.00	ELEV	691.43	691.43	691.42	691.41	691.41	691.40	691.40	691.39	691.39	691.38		
230.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.03		
230.00	ELEV	691.37	691.37	691.36	691.36	691.35	691.35	691.34	691.34	691.33	691.33		
240.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.03		
240.00	ELEV	691.32	691.32	691.31	691.31	691.30	691.30	691.29	691.29	691.28	691.28		
250.00	DISCHG	.03	.03	.03	.03	.03	.03	.02	.02	.02	.02		
250.00	ELEV	691.27	691.27	691.26	691.26	691.26	691.25	691.25	691.24	691.24	691.23		
260.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02		
260.00	ELEV	691.23	691.23	691.22	691.22	691.21	691.21	691.21	691.20	691.20	691.19		
270.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02		
270.00	ELEV	691.19	691.19	691.18	691.18	691.18	691.17	691.17	691.17	691.16	691.16		
280.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02		
280.00	ELEV	691.16	691.15	691.15	691.15	691.14	691.14	691.14	691.13	691.13	691.13		
290.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02		
290.00	ELEV	691.12	691.12	691.12	691.12	691.11	691.11	691.11	691.10	691.10	691.10		
EXECUTIVE	E CONTROL OP	ERATION EN									RECORD II	)	
+			CO	MPUTATIONS	COMPLETED	) FOR PASS	1						
												_	
EXECUTIVE	E CONTROL OP	ERALION EN	DIOR								RECORD II	נ	

TR20 XEQ 08-11-21 08:48 BURR RIDGE SITE, BURR RIDGE, ILLINOIS

JOB 1 SUMMARY

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED (A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE	STANDARD CONTROL	DRAINAGE	RAIN TABLE	ANTEC MOIST	MAIN TIME	P	PRECIPITAT	ION	RUNOFF		PEAK DIS	CHARGE	
ID	OPERATION	AREA (SQ MI)	#	COND	INCREM (HR)	BEGIN (HR)	AMOUNT (IN)	DURATION (HR)	AMOUNT (IN)	ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)
ALTERNAT	E 24 S1	Form 99											
	Ø RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64		14.76	3.54	562.3
STRUCTURE	1 RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.63	694.06	25.00?	.21?	33.6
XSECTION 5	1 RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64		14.76	3.54	562.3
STRUCTURE	2 RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.43	694.22	25.00?	.17?	26.4
1													
										100 hwl/	release	rate - 2" r	estrictor
TR20 XEQ 08	-11-21 08:	:48 B	URR RID	GE SIT	E, BURR	RIDGE, I	LLINOIS					JOB 1	SUMMARY

TR20 XEQ 08-11-21 08:48	BURR RIDGE SITE, BURR RIDGE, ILLINOIS	JOB	1	SUMMARY	
REV PC 09/83(.2)	DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT			PAGE 4	

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS 99
0 STRUCTURE 2	.01	
ALTERNATE	24	.17
0 STRUCTURE 1	.01	
+		
ALTERNATE	24	.21
0 XSECTION 50	.01	
+		
ALTERNATE	24	3.54
0 XSECTION 51	.01	
+		
ALTERNATE	24	3.54
1END OF 1 JOBS	IN THIS RUN	

JOB TR-20				SUMMARY	(	
TITLE	BURR RIDG	E SITE, BURR R	IDGE, ILLIN	OIS		
TITLE	DETENTION	CALCULATIONS	- FREE FLOW	/SURCHARGE CO	ONDITION	
5 RAINFL	1	0.05				DIM-LESS
8	0.00	0.16	0.33	0.43	0.52	BULL70
8	0.60	0.66	0.71	0.75	0.79	1STQTR
8	0.82	0.84	0.86	0.88	0.90	POINT
8	0.92	0.94	0.96	0.97	0.98	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL						
5 RAINFL	2	0.05				DIM-LESS
8	0.00	0.03	0.08	0.12	0.16	BULL70
8	0.22	0.29	0.39	0.51	0.62	2NDOTR
8	0.70	0.76	0.81	0.85	0.88	POINT
8	0.91	0.93	0.95	0.97	0.98	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL	1.00	1.00	1.00	1.00	1.00	10 50
5 RAINFL	2	0.05				DIM-LESS
8	0.00	0.03	0.06	0.09	0.12	BULL70
8	0.15	0.19	0.23	0.27	0.32	3RDOTR
8						÷
	0.38	0.45	0.57	0.70	0.79	POINT
8	0.85	0.89	0.92	0.95	0.97	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL		0.05				
5 RAINFL		0.05				DIM-LESS
8	0.00	0.02	0.05	0.08	0.10	BULL70
8	0.13	0.16	0.19	0.22	0.25	4THQTR
8	0.28	0.32	0.35	0.39	0.45	POINT
8	0.51	0.59	0.72	0.84	0.92	TBL 37
8	1.00	1.00	1.00	1.00	1.00	PG 98
9 ENDTBL						
3 STRUCT	01					
8		690.0	0.00	0.00		
8		691.0	0.22	0.39		
8		692.0	0.31	0.87		
8		693.0	0.38	1.41		
8		693.6	0.41	1.76		
9 ENDTBL						
3 STRUCT	02					
8		690.0	0.00	0.00		
8		691.0	0.01	0.39		
8		692.0	0.14	0.87		
8		693.0	0.26	1.41		
8		694.0	0.34	1.99		
9 ENDTBL						
6 RUNOFF	1 050	7 0.0063	85.	0.25	1	SITE
1						

6 RESVOR 2 01 7 6 690.0 1 FREE SITE 6 RUNOFF 1 051 5 0.0063 85. 0.25 1 6 RESVOR 2 02 5 6 690.0  $1 \ 1 \ 1$ SURCH ENDATA 7 INCREM 6 1.0 7 COMPUT 7 050 02 0.0 8.57 24.0 3 2 24 99YR 24HR ENDCMP 1 ENDJOB 2 EXECUTIVE CONTROL OPERATION INCREM RECORD ID MAIN TIME INCREMENT = 1.00 HOURS + EXECUTIVE CONTROL OPERATION COMPUT RECORD ID R 24HR FROM XSECTION 50 + TO STRUCTURE 2 + STARTING TIME = .00 RAIN DEPTH = 8.57 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2 ALTERNATE NO.=24 STORM NO.=99 MAIN TIME INCREMENT = 1.00 HOURS OPERATION RUNOFF CROSS SECTION 50 PEAK TIME(HRS) PEAK DISCHARGE(CFS) PEAK ELEVATION(FEET) 14.76 3.54 (RUNOFF) OPERATION RESVOR STRUCTURE 1 *** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .41 CFS. PEAK TIME(HRS) PEAK DISCHARGE(CFS) PEAK ELEVATION(FEET) 25.00 .41 693.65 OPERATION RUNOFF CROSS SECTION 51 PEAK TIME(HRS) PEAK DISCHARGE(CFS) PEAK ELEVATION(FEET) 14.76 3.54 (RUNOFF) OPERATION RESVOR STRUCTURE 2 *** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .34 CFS. PEAK TIME(HRS) PEAK DISCHARGE(CFS) PEAK ELEVATION(FEET) 25.00 .34 693.97 TIME INCREMENT = 1.00 HOURS TIME(HRS) FIRST HYDROGRAPH POINT = .00 HOURS DRAINAGE AREA = .01 SQ.MI.

.00	DISCHG	.00	.00	.00	.00	.00	.00	.00	.00	.01	.01
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.55	690.72
10.00	DISCHG	.01	.03	.06	.10	.15	.20	.26	.28	.30	.31
10.00	ELEV	690.93	691.15	691.39	691.66	692.05	692.54	692.96	693.25	693.47	693.63
20.00	DISCHG	.32	.32	.33	.33	.34	.34	.33	.33	.33	.32
20.00	ELEV	693.72	693.79	693.85	693.89	693.96	693.97	693.92	693.88	693.83	693.78
30.00	DISCHG	.32	.32	.31	.31	.30	.30	.30	.29	.29	.29
30.00	ELEV	693.74	693.69	693.65	693.60	693.56	693.52	693.47	693.43	693.39	693.35
40.00	DISCHG	.28	.28	.28	.28	.27	.27	.27	.26	.26	.25
40.00	ELEV	693.31	693.27	693.23	693.19	693.15	693.11	693.07	693.03	693.00	692.96
50.00	DISCHG	.25	.25	.24	.24	.23	.23	.22	.22	.22	.21

	08-11-21 PC 09/83(.		BURR RIDGE DETENTION				IARGE CONDI	TION			JOB 1	PASS PAGE	1 1
50.00	ELEV	692.92	692.88	692.84	692.81	692.77	692.74	692.70	692.67	692.63	692.60		
60.00	DISCHG	.21	.20	.20	.20	.19	.19	.19	.18	.18	.18		
60.00	ELEV	692.57	692.54	692.51	692.48	692.45	692.42	692.39	692.36	692.33	692.30		
70.00	DISCHG	.17	.17	.17	.16	.16	.16	.16	.15	.15	.15		
70.00	ELEV	692.28	692.25	692.23	692.20	692.18	692.15	692.13	692.10	692.08	692.06		
80.00	DISCHG	.14	.14	.14	.14	.13	.13	.13	.12	.12	.12		
80.00	ELEV	692.04	692.01	691.99	691.97	691.94	691.92	691.90	691.88	691.86	691.84		
90.00	DISCHG	.12	.11	.11	.11	.11	.10	.10	.10	.10	.09		
90.00	ELEV	691.82	691.80	691.78	691.76	691.74	691.72	691.70	691.69	691.67	691.65		
100.00	DISCHG	.09	.09	.09	.09	.08	.08	.08	.08	.08	.08		
100.00	ELEV	691.64	691.62	691.61	691.59	691.58	691.56	691.55	691.53	691.52	691.51		
110.00	DISCHG	.07	.07	.07	.07	.07	.07	.06	.06	.06	.06		
110.00	ELEV	691.49	691.48	691.47	691.46	691.44	691.43	691.42	691.41	691.40	691.39		
120.00	DISCHG	.06	.06	.06	.06	.05	.05	.05	.05	.05	.05		
120.00	ELEV	691.38	691.37	691.36	691.35	691.34	691.33	691.32	691.31	691.30	691.30		
130.00	DISCHG	.05	.05	.05	.04	.04	.04	.04	.04	.04	.04		
130.00	ELEV	691.29	691.28	691.27	691.26	691.26	691.25	691.24	691.23	691.23	691.22		
140.00	DISCHG	.04	.04	.04	.04	.03	.03	.03	.03	.03	.03		
140.00	ELEV	691.21	691.21	691.20	691.20	691.19	691.18	691.18	691.17	691.17	691.16		
150.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.02		
150.00	ELEV	691.16	691.15	691.15	691.14	691.14	691.13	691.13	691.12	691.12	691.11		
160.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02		
160.00	ELEV	691.11	691.11	691.10	691.10	691.09	691.09	691.09	691.08	691.08	691.08		
170.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02		
170.00	ELEV	691.07	691.07	691.07	691.06	691.06	691.06	691.05	691.05	691.05	691.04		
180.00	DISCHG	.02	.02	.01	.01	.01	.01	.01	.01	.01	.01		
180.00	ELEV	691.04	691.04	691.04	691.03	691.03	691.03	691.03	691.02	691.02	691.02		
190.00	DISCHG	.01	.01	.01	.01	.01	.01	.01	.01	.01	.01		
190.00	ELEV	691.02	691.02	691.01	691.01	691.01	691.01	691.01	691.00	691.00	691.00		
200.00	DISCHG	.01	.01										
200.00	ELEV	691.00	691.00										

RECORD ID

TR20 XEQ 08-11-21 00:00	BURR RIDGE SITE, BURR RIDGE, ILLINOIS	JOB	1	SUMMARY
REV PC 09/83(.2)	DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION			PAGE 2

RECORD ID

PAGE 3

#### SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED (A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE	STANDARD CONTROL	DRAINAGE	RAIN TABLE	ANTEC MOIST	MAIN TIME	P	RECIPITAT	ION	RUNOFF		PEAK DIS	CHARGE	
ID	OPERATION	AREA (SQ MI)	#	COND	INCREM (HR)	BEGIN (HR)	AMOUNT (IN)	DURATION (HR)	AMOUNT (IN)	ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)
ALTERNAT	e 24 ST	ORM 99											
XSECTION 5	Ø RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64		14.76	3.54	562.3
STRUCTURE	1 RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.69	693.65	25.00?	.41?	65.5
XSECTION 5	1 RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64		14.76	3.54	562.3
STRUCTURE	2 RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.58	693.97	25.00?	.34?	53.6
1													
										100 yr h	wl/releas	se rate -	
											e release		
TR20 XEQ 08	-11-21 00:	00 B	URR RID	GE SIT	E, BURR	RIDGE, I	LLINOIS			<b>-</b>		JOB 1	SUMMARY

11/20 YEQ 00-11-21 00.00	DORN RIDGE SITE, DORN RIDGE, ILLINOIS
REV PC 09/83(.2)	DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS 99
0 STRUCTURE 2	.01	
ALTERNATE	24	.34
0 STRUCTURE 1	.01	
+		
ALTERNATE	24	.41
0 XSECTION 50	.01	
+		
ALTERNATE	24	3.54

EXECUTIVE CONTROL OPERATION ENDJOB

1

0 XSECTION	51	.01
т		

ALTERNATE 24 3.54 1END OF 1 JOBS IN THIS RUN





May 24, 2022

Mr. David Preissig, P.E. Public Works Director/Village Engineer Village of Burr Ridge 451 Commerce Street Burr Ridge, Illinois 60257

Subject: PROPOSAL FOR PROFESSIONAL ENGINEERING SERVICES FOR 2022 SSES PROGRAM

Dear Mr. Preissig:

RJN Group, Inc. (RJN) is pleased to submit this proposal to the Village of Burr Ridge (Village) for comprehensive assessment, analysis, reporting, and planning services for the fulfillment of the Short-Term and Long-Term Requirements for the Metropolitan Water Reclamation District of Greater Chicago (MWRD) Inflow and Infiltration Control Program (IICP).

#### **Key Project Goals and Objectives**

The Short-Term Program and Long-Term Program requirements of the MWRD IICP includes condition assessment, maintenance, and rehabilitation within the identified high-priority areas, the development of a Private Sector Plan (PSP) and a Long-Term Operations and Maintenance Plan (LTOMP), and annual reporting. The components of the condition assessment include smoke testing, manhole inspections, sewer televising, dyed water flooding, and lift station assessments. The rehabilitation component requires design and construction of rehabilitation improvements of defects identified during the condition assessment

The remaining items for the Village of Burr Ridge to complete the MWRD IICP Short-Term Program Requirements are as follows:

- Complete smoke testing in the short-term program high priority areas 13,632 LF
- Sewer Televising 177 LF
- Sewer Televising Review 177 LF
- During the previous manhole inspections, 13 structures could not be inspected because they
  were either inaccessible or not found. Some of these are in private backyard areas. It is
  proposed that once these have been located, and raised, if need be, by the Village RJN will
  complete the manhole inspections.
- Dyed Water Flooding Quantity dependent on smoke testing. Allowance of 4 set-ups
- Complete development of the Long-Term O&M and Private Sector Programs Plan

The requirements for the Long-Term Program include continuing to perform condition assessment, maintenance, rehabilitation, and annual reporting. The next area selected as part of the program includes the sewers tributary to the Chasemoor Lift Station. The following program components are included in this proposal for completion for the next area selected:

- Smoke Testing 39,461 LF
- Manhole Inspections Surface and Remote 247 Manholes
- Sewer Televising 39,461 LF
- Sewer Televising Review 39,461 LF
- Dyed Water Flooding Quantity dependent on smoke testing. Allowance of 6 setups
- Summary Report and Project Management
- Lift Station Assessment and Report Arrowhead Lift Station

#### **Assuring Quality**

RJN is committed to providing quality deliverables. The data, analysis, and recommendations provided by RJN will be used to make decisions on how much and where to spend Village sanitary sewer system funds. RJN's use of electronic forms for data collection with standardized entry and error trapping, the use of QC tools in our in-house data management software, as well as our corporate training and QC processes in place will ensure that results and recommendations will provide value to the Village.

### **Price and Schedule Summary**

This project will be invoiced on a Unit Price, Lump Sum, and Time and Materials (T&M) Basis for a total not-to-exceed fee of \$275,300. The project is expected to be completed by January 31, 2023. Complete Scope of Services, Pricing, Schedules, and Maps are provided in the following exhibits:

- Exhibit A Scope of Services
- Exhibit B Pricing
- Exhibit C Schedule
- Exhibit D Project Map

It is our pleasure to submit this proposal to the Village of Burr Ridge. Please feel free to contact me by email at <u>patrick.hulsebosch@rjnmail.com</u> or at (630) 682-4700 x1317 if you would like to discuss this proposal. We are looking forward to the opportunity to continue working with the Village on these important projects.

Sincerely,

Michael M. your

Michael N. Young, P.E. Senior Vice President

Patrick Hulsebosch, E.I.T. Lead Project Engineer



RJN is proposing the following scope of services to conduct the 2022 SSES Program for the Village of Burr Ridge.

#### 1. Smoke Testing

- a. Prepare a draft resident smoke testing notification letter for the Village to send to the affected residents and business owners. The letters will include RJN contact information for use during the smoke testing. If desired, these letters can be formatted as a public service announcement, billing insert, and/or used as a Reverse 911 message sent by the Village. If necessary, provide bilingual letter in Spanish.
- b. Prepare smoke testing door hangers to be hung by RJN staff at each address less than one week prior to smoke testing. The door hangers will also include RJN contact information and can be bilingual if necessary.
- c. Notify the Village and the local fire and police departments of planned smoke testing activities, including daily updates.
- d. Provide equipment, personnel, and smoke as necessary for smoke testing.
- e. During smoke testing, erect smoke testing signs near the testing area and answer resident and Village questions on-site as well as through phone calls.
- f. Use handheld electronic data collection equipment for collecting smoke testing data.
- g. Smoke test the sanitary sewers as outlined.
- h. GPS locate (sub-meter mapping grade) each identified defect and take a minimum of one digital photograph of each defect.
- i. Provide data analysis as follows:
  - i. Compile field data and develop complete list of defects;
  - ii. Map results in GIS;
  - iii. Assign an estimated flow to each defect; and
  - iv. Determine an appropriate rehabilitation method for each defect or segment and estimate an associated cost.

#### 2. Manhole Inspections

- a. Provide equipment and personnel as necessary for manhole inspections.
- b. Use handheld electronic data collection equipment for collecting manhole inspection data.
- c. Complete surface manhole inspections for manholes as outlined. Collect the following attribute data, as it can be determined:
  - i. Mapping grade GPS locate of manhole;
  - ii. Manhole diameter;
  - iii. Manhole material;
  - iv. Pipe invert measurements;
  - v. Connecting sewer diameter(s);

- vi. Connecting sewer material(s); and
- vii. Connecting sewer flow direction.
- d. Identify and document manhole condition, including:
  - i. Direct evidence of I/I;
  - ii. Open pickholes in lid;
  - iii. Cover, frame, adjusting ring, and seal condition, including needed adjustments;
  - iv. Cone condition and defects;
  - v. Wall condition and defects;
  - vi. Trough and bench condition and defects; and
- e. Take a minimum of four digital photographs at each manhole structure
  - i. Surrounding area;
  - ii. Manhole cover;
  - iii. Topside looking down; and
  - iv. Manhole frame.
- f. FOR REMOTE CAMERA STRUCTURE INSPECTIONS: Provide all tasks above as well as Complete remote camera inspections where an inspection cannot be completed from the surface. Provide additional digital photographs and observations for all pipe connections.
- g. Provide data analysis as follows:
  - i. Compile field data and develop complete list of defects;
  - ii. Map results in GIS;
  - iii. Assign an estimated flow to each defect; and
  - iv. Determine an appropriate rehabilitation method for each manhole and estimate an associated cost.

#### 3. Sewer Televising

- a. Provide equipment and personnel as necessary for sewer televising and video review.
- b. Subcontract with a sewer televising contractor for areas to be cleaned and televised and obtaining televising videos. Manage contractor's work while on-site.
- c. Sewer cleaning includes two passes or less with a sewer cleaning nozzle.
- d. Heavy cleaning is NOT included in the cost of this proposal.

#### 4. Televising Review

- a. Provide equipment and personnel as necessary for televising video review.
- b. Review sewer televising videos using PACP-certified personnel and PACP coding standards.
- c. Provide data analysis as follows:
  - i. Review observations and edit as necessary;
  - ii. Compile data and develop complete list of defects;
  - iii. Incorporate results into GIS;
  - iv. Assign an estimated flow to each defect; and

v. Determine an appropriate rehabilitation method and estimate an associated cost for each defect or segment.

### 5. Dyed Water Flooding

- a. Based on the results of the smoke testing, RJN will provide a list of proposed dyed water flooding setup locations.
- b. Provide equipment, personnel, and dye as necessary for dyed water flooding. Water to be provided by Village.
- c. Coordinate and work with a sewer televising subcontractor to perform CCTV inspection of the sanitary sewers in conjunction with dyed water flooding. Sewer cleaning consists of light cleaning and light root removal with a recycler/vac truck.
- d. Set up and complete dyed water flooding as outlined. Document results with digital photographs of the dye test setup and if possible dyed water entering the sewer (where applicable).
- e. Locate (mapping grade) each identified defect relative to segment manholes and take at least one digital photograph or video of each defect (where applicable).
- f. Provide data analysis as follows:
  - i. Compile field data and develop complete list of defects;
  - ii. Map results in GIS;
  - iii. Assign an estimated flow to each defect; and
  - iv. Determine an appropriate rehabilitation method and estimate an associated cost for each defect.

### 6. Summary Report and Data Access

- a. During project provide access to web viewer that will provide status of data collection, access to data collected, including field collected media.
- b. Upon completion of field data collection, organize data from individual field services into a comprehensive summary report.
- c. Provide the following information in a draft summary memorandum:
  - i. Summary of work completed;
  - ii. GIS maps and tables of manholes inspected and identified manhole defects;
  - iii. GIS maps and tables of lines smoke tested and identified smoke testing sources;
  - iv. GIS map and table of manhole rehabilitation recommendations
  - v. GIS maps and tables of televised sewers and rehabilitation recommendations;
  - vi. Recommendations for additional SSES work or inspections.
  - vii. Recommendations rehabilitation recommendations and estimated costs
  - viii. Prioritize recommendations by severity;
- d. Submit a pdf of summary report and up to two hard copies
- e. Provide one digital copy of data, GIS geodatabases, videos, and photographs.

### 7. Lift Station Assessment and Report

a. Review data collected during the kickoff meeting in preparation for the site visit.

- b. Share follow-up questions with the Village for discussion during the site visit or follow-up call.
- c. Provide equipment and personnel as necessary for lift station inspections. Use handheld electronic data collection equipment for collecting lift station inspection data.
- d. Observe pump operations and complete fill and draw tests on each pump and pumping configuration for each lift station. If applicable, compare calculated flow to installed flow meters and pump curves.
- e. Perform a general functionality assessment of the lift station site, evaluate:
  - i. Overall condition and appearance,
  - ii. Site access and security,
  - iii. Lift station bypass pumping capability,
  - iv. Force main inspection/pigging capability,
  - v. Floats/level monitoring,
  - vi. Overall monitoring and control system
  - vii. Emergency power options.
- f. Perform confined space entry or remote camera inspections as able. Identify and document the general attributes, condition, and identified defects of underground structures including junction manholes, wet wells, valve vaults, etc., including:
  - i. Mapping grade GPS locates,
  - ii. Structure condition, dimensions, depths, and materials,
  - iii. Connecting sewer invert(s), diameter(s), and material(s),
  - iv. Frame condition, including needed adjustments and seals,
  - v. Pipe seal condition and defects,
  - vi. Direct evidence of I/I,
  - vii. Grit/silt levels.
- g. Take digital photographs at the lift station site, including:
  - i. Surrounding area,
  - ii. Photos of installed equipment,
  - iii. Topside looking down into each structure.
- h. Collect information regarding the force main, including diameter, material, route, and discharge location, as able. Inspect force main outlet location to look for corrosion due to H₂S and other major concerns.
- i. Provide the following information for the Technical Memorandum:
  - i. Narrative summary of inspections,
    - ii. Assessment of pumping capabilities,
    - iii. GIS map of lift station site, force main, discharge manhole, and identified defects, as able,
  - iv. Recommendations for next steps, including rehabilitation, replacement, force main cleaning or inspection, etc.
- j. Provide access to all data collected during site visit on Clarity[®] by RJN. Clarity is RJN's secure online data center for viewing and accessing collected field data.

- k. Develop a Technical Memorandum summarizing the work completed. Include the information provided from each inspection work in the memorandum:
  - i. Submit a pdf of draft memorandum,
  - ii. Address Village comments on draft memorandum and revise.
- I. Submit up to three color copies of final memorandum and digital copies of all data, photographs, GIS files, and reports.

#### 8. Project Management, Meetings, and Future Program Planning

- a. Provide project management for the duration of the 2021 program.
- b. Work with the Village to plan the 2023 sewer investigations and rehabilitation program.
- c. Provide initial long-range sewer planning assistance to help develop a multi-year program plan for the Village.
- d. Prepare an executive summary presentation for the Village Board or Committee to summarize the 2022 Program including:
  - i. Summary of findings and recommendations from each of the studies;
  - ii. Summary of 2022 and long-range planning recommendations; and
- e. Attend up to four meetings throughout the duration of this project.

#### **Items Requested from the Village**

- 1. Access to manholes and sewers for inspections. Make accessible and identify location of 13 not found/inaccessible structures for inspection. Assistance as necessary for one day to help locate manholes.
- 2. Provide traffic control assistance as necessary in high-traffic locations.
- 3. Mailing of notifications as outlined in smoke testing scope of services.
- 4. Access to water for dyed water flooding and sewer televising.
- 5. Copies of any available plans sets, specifications, record drawings, hydraulic profiles, pump records, or other documents related to the lift station and force main.
- 6. Assistance in operating the lift stations and valves during inspection.
- 7. Access to and assistance in locating ARVs and manholes along the pipeline route.



Pricing for the 2022 SSES Program is shown below.

Pricing Terms for Invoicing: Unit Price, Lump Sum, and Time and Materials (T&M)

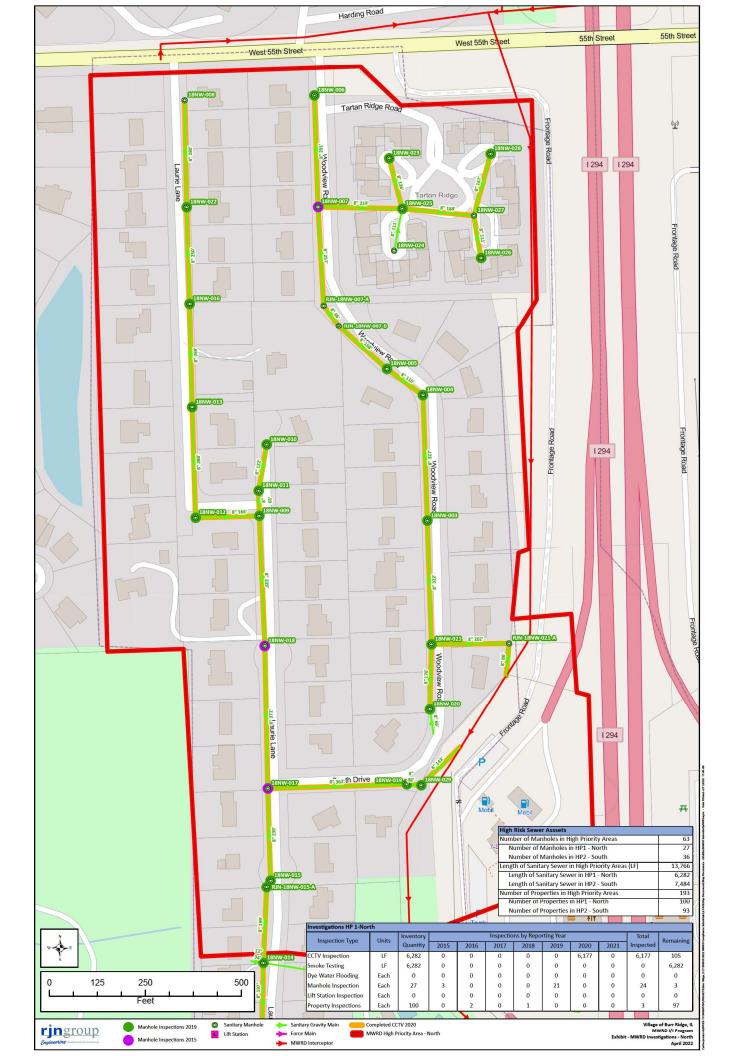
Not-To-Exceed Total Cost: \$275,300

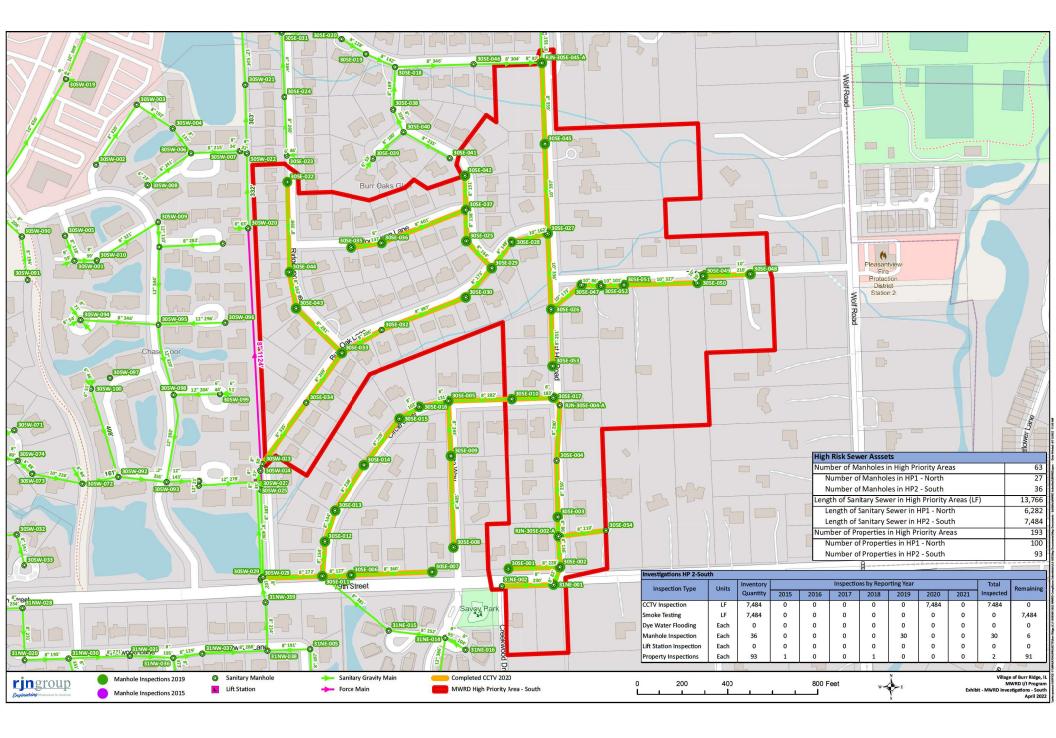
Task	Quantity	Unit	Unit Cost	Total Cost	
Smoke Testing	53,100	Linear Ft	\$0.90	\$	47,800
Surface Manhole Inspections	220	MH	\$100.00	\$	22,000
Remote Manhole Inspections	40	MH	\$135.00	\$	5,400
Sewer Televising	39,638	Linear Ft	Cost +10%	\$	118,800
Sewer Televising Review	39,461	Linear Ft	\$0.36	\$	14,400
Dyed Water Flooding	10	Set-Up	\$2,240.00	\$	22,400
Summary Report & Data Access	1	Lump Sum	\$12,600	\$	12,700
Lift Station Report and Technical Memorandum	1	Lump Sum	\$8,800	\$	8,800
Project Management, Meetings, & Planning	-	T&M	\$10,000	\$	10,000
Project Contingency	-	As Needed	\$13,000	\$	13,000
TOTAL				\$	275,300

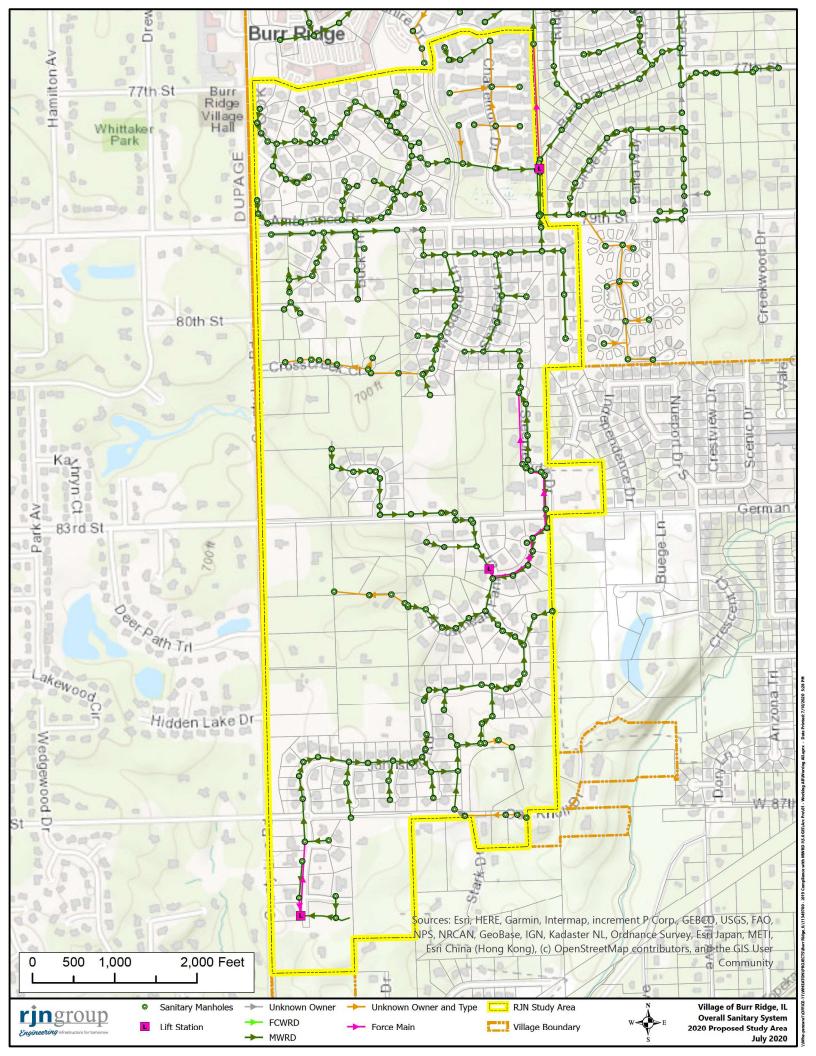


RJN is prepared to start work immediately upon receiving a signed contract with the Village.

Task	Timeline
1. Smoke Testing	Requires dry conditions. Will complete by November 31, 2022. With favorable conditions may complete in July/August 2022.
2. Manhole Inspections	Performable at any time. Will complete by December 31, 2022. Village to locate 13 uninspected manholes prior to RJN Field Work.
3. Sewer Televising	Will complete by August 31, 2022.
4. Televising Review	Will complete within 60 days of receipt of final videos, reports, and databases from CCTV Contractor
5. Dyed Water Flooding	Determine after completion of smoke testing. Will complete by December 31, 2022.
6. Summary Report and Data Access	Data access available immediately following completion of each field service. Report will be complete by January 31, 2023.
7. Lift Station and Technical Memorandum	Data access available immediately following completion of each field service. Tech Memo will be complete by September 3, 2022.







# 8C

# Preeti Goel

May 20, 2022

Evan Walter Village Administrator Village of Burr Ridge 7660 County Line Road Burr Ridge, IL 60527

Dear Evan,

Please accept this as my formal notice of resignation from the position of Accounting Analyst at the Village of Burr Ridge. My last day will be June 3, 2022, two weeks from today.

I have put a lot of thought into this decision, and it was not an easy one to make. While it's been a great experience working first with the Department of Public Works and then the Finance Department, I have decided to explore other options that would help me in my professional growth and development.

I appreciate your support during my tenure here and take with me the valuable experiences I have gained over the last (almost) 4 years. Thank you for the opportunities for growth that you provided me.

Please let me know how I can be of help during the transition period. I wish you and rest of the Village staff the very best going forward.

Sincerely,

/ Preeti Goel

## ACCOUNTS PAYABLE APPROVAL REPORT BOARD DATE: 6/13/2022 PAYMENT DATE: 6/14/2022 FISCAL 21-22

FUND FUND NAME PAYABLE TOTAL AMOUNT 10 General Fund 70,954.46 70,954.46 \$ \$ Water Fund 3,658.48 51 3,658.48 52 Sewer Fund 15.83 15.83 TOTAL ALL FUNDS \$ 74,628.77 \$ 74,628.77

GRAND TOTAL

74,628.77

\$

06/08/2022 03:46 PM User: asullivan DB: Burr Ridge		DISTRIBUTION REPORT FO POST DATES 04/30/2022 - UNJOURNALIZE	- 04/30/2022 D	BURR RIDGE	Page: 1/3
		BOTH OPEN AND 1			
GL Number	Invoice Line Desc	Vendor	Invoice Da	te Invoice	Amoun
Fund 10 General Fund					
Dept 1010 Boards & Commis 10-1010-50-5010	Adjudication Legal Services Apr	2 Donico K Filon	05/20/22	33801	393.75
10-1010-50-5010	General Legal Apr22	Storino, Ramello, & Durk		05/20/22	595.75 6,282.86
10-1010-50-5010	Sterigenics Apr22	Storino, Ramello, & Durk		05/20/22	662.00
10-1010-50-5010	8079 Creekwood Apr22	Storino, Ramello, & Durk		05/20/22	569.79
10-1010-50-5010	Edgewood Annexation Apr22	Storino, Ramello, & Durk		05/20/22	1,053.01
10-1010-50-5015	Prosecution Services Apr22	Storino, Ramello, & Durk		05/20/22	1,395.52
10-1010-80-8010	Cards for Retirement Tejkowski	Walgreen's	04/25/22	057581	16.38
					10,373.31
Dont 2010 Administration			TOLAL FOR De	pt 1010 Boards & Commissions	10,373.31
Dept 2010 Administration 10-2010-40-4042	Lunch w/ New Employee Foy	Coopers Hawk Burr Ridge,	I04/25/22	040520	74.55
10-2010-50-5020	Elevator Inspection	Elevator Inspection Serv		107779	3,232.00
10-2010-50-5020	Elevator Inspection - Guidepost	-		107779	18.00
10-2010-50-5075	Inspections Feb22	B&F Construction Code Se	rv05/17/22	15911	155.00
10-2010-50-5075	Plan Reviews Mar22	B&F Construction Code Se		15912	175.00
10-2010-50-5075	Inspections Mar22	B&F Construction Code Se	r、05/17/22	15912	925.00
10-2010-60-6010	Wireless Mouse/Split Keyboard	Amazon.com Credit	04/29/22	112-66020880720253	81.32
10-2010-60-6020	Gasoline SUV Admin	Shell Oil Company	04/25/22	57444085005	53.96
			Total For Dep	pt 2010 Administration	4,714.83
Dept 4020 Central Service	s				
10-4020-50-5030	Telephone Land Line	Peerless Network, Inc.	04/15/22	515365	1,555.37
10-4020-60-6010	Microwave for VH Kitchen	Walmart	04/28/22	3892246-596598	259.17
			Total For Dep	pt 4020 Central Services	1,814.54
Dept 5010 Police			04/07/00	00005	175.00
10-5010-40-4032	Uniform Allowance Garcia, K	JG Uniforms, Inc.	04/07/22	96905	175.00
10-5010-40-4032	Initial Uniform Allowance - Str	-	01/07/22	93327	1,086.40
10-5010-40-4032	FY21-22 Uniform allowance	JG Uniforms, Inc.	05/27/22	99999	220.49
10-5010-40-4032	Uniform Allowance Nicole Copp	JG Uniforms, Inc.	05/27/22	100004	1,070.50
10-5010-40-4032	Book Style Case	JG Uniforms, Inc.	05/27/22	100005	18.75
10-5010-40-4032	FY 21-22 Jarolimek Replacement	-	04/13/22	97112	277.00
10-5010-40-4032	Initial Uniform Allowance - Str		02/15/22	94812	845.00
10-5010-40-4032	Initial Uniform Allowance - Gni		02/15/22	94814	845.00
10-5010-40-4032	FY 21-22 Wisch Uniform Allowanc		03/03/22	95519	465.10
10-5010-40-4032	Initial Uniform Allowance - Gni		03/24/22	96401	54.95
10-5010-40-4032	Initial Uniform Allowance - Str		03/24/22	96402	54.95
10-5010-40-4032	FY 21-22 Wirth Replacement Jack	-	03/24/22	96403	161.00
10-5010-40-4032	Initial Uniform Allowance - Str		03/24/22	96404	195.00
10-5010-40-4032	Uniform Allowance Nicole Copp	JG Uniforms, Inc.	03/24/22	96405	76.00
10-5010-40-4032	Initial Issue Uniform Allowance FY 21-22 Hoster Replacement Jac		03/24/22	96406	168.00
10-5010-40-4032			03/24/22	96408	161.00
10-5010-40-4032	FY 21-22 Loftus Uniform Allowan		04/28/22	97761	795.45
10-5010-40-4042	Meetings	Falco's Pizza & Pasta	04/19/22	6148	55.00
10-5010-50-5095	Tow 2017 Jeep Cherokee	District Recovery, Inc.	03/08/22	32550	1,500.00
10-5010-60-6010	Operating Supplies/Evidence Sup	-	04/27/22	114-02993817701014	225.71
10-5010-60-6010	Rechargeable Work Lights	Amazon.com Credit	04/28/22	112-69602125773015	63.48
10-5010-60-6010	TE315 Blackhawk Electrashield	Gall's Inc.	04/27/22	021028605	110.99
10-5010-60-6010	FE864 Leatherhead Tools 36"	Gall's Inc.	04/27/22	021028605	349.99
10-5010-60-6010	Shipping	Gall's Inc.	04/27/22	021028605	25.35
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	04/27/22	439102	348.00
10-5010-60-6020	Gasoline & Oil	DuPage County Public Wor	KE U5/18/22	2022-10F	18,734.60

06/08/2022 03:46 PM User: asullivan DB: Burr Ridge		DISTRIBUTION REPORT FOR POST DATES 04/30/2022 - UNJOURNALIZED	04/30/2022	R RIDGE	Page:	2/3
GL Number	Invoice Line Desc	BOTH OPEN AND PA Vendor	Invoice Date	Invoice		Amount
Fund 10 General Fund Dept 5010 Police						
			Total For Dept 5	5010 Police		28,082.71
Dept 6010 Public Works 10-6010-40-4032 10-6010-40-4042 10-6010-40-4042 10-6010-50-5058 10-6010-50-5058 10-6010-50-5058 10-6010-50-5058 10-6010-50-5058 10-6010-60-6010 10-6010-60-6010 10-6010-60	Boot Allowance Chemical Inventory & Haz. Comm. Powered Industrial VehicleTrain: Respiratory Protection & PPE tra Janitorial Services VH, PD, PW; Special Cleanings at VH & PW Janitorial Services VH, PD, PW; Janitorial Services VH, PD, PW; Janitorial Services Holding Cel: Operating Supplies Flat Washers/Lock Nuts for Shop Gasoline & Oil Supplies-Equipment	i Hygieneering, Inc. a Hygieneering, Inc. Chi-Town Cleaning Services Chi-Town Cleaning Services Chi-Town Cleaning Services Chi-Town Cleaning Services l Service Master Chiragh Metal Trading, Ind	04/14/22 05/09/22 05/09/22 04/30/22 04/26/22 04/27/22 05/18/22 04/26/22	04/22/22 05221435 05221460 05221434 2927 2945 3006 3006 215890 1002837 476980 2022-10F 1002837 5010 Public Works		142.68 1,600.00 6,200.00 1,550.00 2,039.31 4,021.00 1,568.62 941.38 195.00 428.60 300.14 6,872.42 109.92 25,969.07
			Total For Fund 1	.0 General Fund		70,954.46
Fund 51 Water Fund Dept 6030 Water Operations 51-6030-40-4032 51-6030-50-5030 51-6030-50-5030 51-6030-60-6020	Boot Allowance Pump Center Alarm Telephone Land Line Gasoline & Oil	Robert Partee AT&T Peerless Network, Inc. DuPage County Public Work:		04/27/22 630325420904 Apr22 515365 2022-10F 5030 Water Operations		150.00 297.47 142.49 3,068.52 3,658.48
			iotal for Dept o	SUSU Water Operations		5,050.40
Fund 52 Sewer Fund Dept 6040 Sewer Operations			Total For Fund 5	1 Water Fund		3,658.48
52-6040-50-5030	Telephone Land Line	Peerless Network, Inc.	04/15/22	515365		15.83
			Total For Dept 6	5040 Sewer Operations		15.83
			Total For Fund 5	2 Sewer Fund		15.83

06/08/2022 03:46 PM User: asullivan DB: Burr Ridge	INVOIC	POST DATES 04/3 UNJOU	PORT FOR VILLAGE OF BURR RIDGE 0/2022 - 04/30/2022 JRNALIZED EN AND PAID	Page:	3/3
GL Number	Invoice Line Desc	Vendor	Invoice Date Invoice		Amount
		Fun	d Totals:		
			Fund 10 General Fund Fund 51 Water Fund Fund 52 Sewer Fund		70,954.46 3,658.48 15.83
			Total For All Funds:		74,628.77

# **8**F

# ACCOUNTS PAYABLE APPROVAL REPORT BOARD DATE: 6/13/2022 PAYMENT DATE: 6/14/2022 FISCAL 22-23

## FUND FUND NAME PAYABLE TOTAL AMOUNT General Fund 210,210.10 10 \$ 210,210.10 \$ 23 Hotel/Motel Tax Fund 33,815.17 33,815.17 Water Fund 51 10,783.26 10,783.26 61 Information Technology 541.77 541.77 TOTAL ALL FUNDS \$ 255,350.30 \$ 255,350.30

## PAYROLL

# PAY PERIOD ENDING June 3, 2022

TOTAL

## PAYROLL

Administration		\$ 21,923.91
Finance		1,724.99
Police		116,378.69
Public Works		29,416.39
Water		25,756.33
Sewer	-	10,036.23
TOTAL		\$ 205,236.54
	GRAND TOTAL	\$ 460,586.84

06/08/2022 03:51 PM User: asullivan DB: Burr Ridge		DISTRIBUTION REPORT FOR POST DATES 06/13/2022 - BOTH JOURNALIZED AND UNJ BOTH OPEN AND PA	06/13/2022 JOURNALIZED	RR RIDGE	Page:	1/6
GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice		Amount
Fund 10 General Fund						
Dept 0000 Assets, Liabilit				05 (1 6 (00		22 660 40
10-0000-22-2200 10-0000-22-2200	Subdivision Impact Fee for High Subdivision Impact Fee for High			05/16/22 05/16/22		33,669.48 16,914.96
10-0000-22-2200	Subdivision impact ree for High.	I Pleasantdale School Dist.				50,584.44
			Total For Dept	0000 Assets, Liabilities, Fund H	5d.	50,584.44
Dept 0300 Revenues 10-0300-31-3110	Refund of Liquor License Fee FY:	2 Kohler Company	05/26/22	05/26/22		2,000.00
10-0300-36-3690	Parkway Rep. (Veh. Citation, IR			123799		3,930.00
10 0300 30 3090	Tarkway Kep. (Ven. Creation, IN	Allemier Landscape contract				
			Total For Dept	0300 Revenues		5,930.00
Dept 1010 Boards & Commiss			05 /11 /00	05/00/00		
10-1010-40-4040	Chicago Tribune 4 weeks	Chicago Tribune	05/11/22	05/11/22		27.72
10-1010-40-4040	2022-2023 Conference Membership	<u> </u>		11367A		5,650.13
10-1010-40-4040	FY22-23 Membership Application	Municipal Clerks of DuPage		06/01/22		40.00
10-1010-40-4042	Business Meeting 2022	DuPage Mayors & Managers (		11413A		40.00
10-1010-50-5025	Mailing Services - 6377 Pieces	Grasso Graphics, Inc.	05/24/22	31911		632.62
10-1010-80-8010	PW Week Public/Employee Materia		r 05/06/22	259074		493.75
10-1010-80-8010	Retirement Party Tejkowski	Brookhaven Marketplace	05/05/22	048483		325.24
10-1010-80-8010	Oak Leaf Newsletter printing - '	7 Grasso Graphics, Inc.	05/24/22	31911		8,732.11
10-1010-80-8010	Retirement Party Supplies	Party City	05/09/22	019147		25.00
10-1010-80-8010	Lunch w/ Engineer Intern	Patti's Sunrise Cafe	05/09/22	353877		65.00
10-1010-80-8010	Meeting	Starbucks Coffee Company	05/19/22	722171		4.39
10-1010-80-8010	Meeting with Trustee Mital	Stix & Stones	05/18/22	086395		47.98
10-1010-80-8010	Refreshments	Walgreen's	05/03/22	04572235145522050303		25.89
10-1010-80-8025	DC Assessment Refreshments	Brookhaven Marketplace	05/17/22	565774		22.78
10-1010-80-8025	BFPC Lunch	Yolk	05/17/22	1603		88.76
			Total For Dept	1010 Boards & Commissions		16,221.37
Dept 2010 Administration						
10-2010-40-4040	Subscription	Crains Chicago Business	05/17/22	05/17/22		15.00
10-2010-40-4040	ILCMA Corporate Membership	ILCMA	05/16/22	16602		395.00
10-2010-40-4041	April 22 Sponsored Jobs	Indeed	05/01/22	61330725		71.22
10-2010-40-4042	DuPage Regional Business Outloo		05/10/22	05/10/22		500.00
10-2010-40-4042	Business Meeting 2022	DuPage Mayors & Managers (		11413A		40.00
10-2010-40-4042	Lunch with Dave	Patti's Sunrise Cafe	05/16/22	354617		45.22
10-2010-40-4042	Chamber Luncheon Walter/Weyant	Willowbrook/Burr Ridge	05/24/22	05/24/22		80.00
10-2010-50-5040	Printing	Grasso Graphics, Inc.	05/26/22	31914		155.32
			Total For Dept	2010 Administration		1,301.76
Dept 4010 Finance			-			
10-4010-50-5020	GFOA Budget Book	Government Finance Office:	r 04/20/22	714339.00		345.00
10-4010-50-5020	Consulting WE 05/22 & 05/29	GovTemps USA, LLC	06/02/22	3972571		6,671.35
10-4010-50-5020	Consulting WE 05/08 & 05/15	GovTemps USA, LLC	05/19/22	3963903		6,848.10
10-4010-50-5025	Postage Finance	FedEx	05/11/22	7-752-27012		38.09
			Total For Dept	4010 Finance		13,902.54
Dept 4020 Central Services						
10-4020-50-5085	Quarterly Lease of Postage Mach	i Pitney Bowes Global Fin. S	505/27/22	3105510332		408.99
10-4020-60-6000	Office Supplies	Runco Office Supply	05/19/22	868437-0		205.73
10-4020-60-6000	Office Supplies	Runco Office Supply	05/27/22	869281-1		8.79
10-4020-60-6000	Office Supplies	Runco Office Supply	06/03/22	869844-0		196.61
10-4020-60-6010	Kitchen Coffee Supplies PW	Commercial Coffee Service	,05/16/22	401311		111.25

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice		Amount
Fund 10 General Fund						
Dept 4040 Information Tec			0 - 100 100	05 (00 (00		65 0 0 0
10-4040-50-5020	Board Meeting Recordings May22		05/29/22	05/29/22		650.00
10-4040-50-5020	IT Support	Orbis Solutions	05/27/22	5573060		18,253.75
10-4040-50-5020	Conference Room AV Upgrades	Orbis Solutions	05/31/22	5573061		4,582.98
10-4040-50-5020	IT Support	Orbis Solutions	06/01/22	5573098		2,775.00
10-4040-50-5020	IT Support	Orbis Solutions	06/01/22	5573105		50.00
10-4040-50-5020	IT Support	Orbis Solutions	06/01/22	5573107		820.00
10-4040-50-5020	IT Support	Orbis Solutions	05/02/22	5572960		475.00
10-4040-50-5020	Fortinet, Storage Backup, Cyber		05/02/22	5572969		4,320.00
10-4040-50-5020	IT Support	Orbis Solutions	05/12/22	5573002		2,425.00
10-4040-50-5020	IT Support	Orbis Solutions	05/12/22	5573009		91.00
10-4040-50-5020	IT Support	Orbis Solutions	05/19/22	5573033		4,250.00
10-4040-50-5020	IT Support	Orbis Solutions	05/19/22	5573037		150.00
10-4040-50-5020	IT Support	Orbis Solutions	05/26/22	5573054		1,300.00
10-4040-50-5020	Remaining balance from initial of		05/23/22	13633		5,540.00
10-4040-50-5061	GIS Consulting May22	Cloudpoint Geospatial	04/30/22	3114		1,950.00
10-4040-50-5061	GIS Consulting Jun22	Cloudpoint Geospatial	05/31/22	3148		2,150.00
10-4040-50-5061	Pump Center	Comcast	05/19/22	8771201140533898 May		199.85
10-4040-50-5061	Contact Management	MAILCHIMP	04/25/22	12975157		28.90
10-4040-50-5061	Video Conferencing	Zoom Video Communications	05/01/22	145954694		14.99
			Total For Dept 4	4040 Information Technology		50,026.47
Dept 5010 Police						
10-5010-40-4032	59012-019 Patrol Duty Gear Bag	-	05/20/22	2196097		45.45
10-5010-40-4032	Patrol Bag Balance Over PO	Ray O'Herron	05/20/22	2196097		4.05
10-5010-40-4032	7581 Streamlight Stinger DS LED		05/25/22	2196918		127.99
10-5010-40-4040	Roll Call News	Linda S. Pieczynski	05/07/22	54		116.00
10-5010-40-4042	Annual Membership for training			302158		2,565.00
10-5010-40-4042	Flight Change Fee for 2 Tickets		04/25/22	4NOZTU (2)		182.00
10-5010-50-5020	Annual Dues for Task Force	DuPage MERIT	05/02/22	05/02/22		6,500.00
10-5010-50-5020	Fair Share contribution FY23	DuPage Metropolitan	03/04/22	03/04/22		14,040.00
10-5010-50-5020	Notary Gniech	Illinois Notary Discount 1		05/05/22		56.00
10-5010-50-5025	Postage PD	Stamps.com	04/11/22	9495381-34687735		17.99
10-5010-50-5030	Police Phone Line	First Communications, LLC		123771455		566.47
10-5010-50-5030	Cell Phones Apr22	Verizon Wireless	05/13/22	9904722631		397.62
10-5010-50-5050	Repair at County Line/Carriage W			30002541		341.00
10-5010-50-5051	Repairs to Squad 1315	B & E Auto Repair Service		141903		1,463.77
10-5010-50-5051	Tire Repair	B & E Auto Repair Service		141891		23.00
10-5010-50-5051	Lube Oil & Filter	B & E Auto Repair Service		141899		51.90
10-5010-50-5051	Unit 1809 Maintenance	Public Safety Direct, Inc		99690		150.00
10-5010-50-5051	Repairs to Squad 1710	Willowbrook Ford	05/12/22	6372160		1,385.11
10-5010-60-6010	Operating Supplies Kitchen PD	Amazon.com Credit	05/04/22	111-49065053569849		26.13
10-5010-60-6010	Operating Supplies Kitchen PD	Amazon.com Credit	05/04/22	111-94485478314604		78.96
10-5010-60-6010	105L 0.082%Ethanol dry gas cylin		05/04/22	01289671		225.42
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	05/03/22	5078756		41.72
10-5010-60-6010	Investigative Supplies	Liveview GPS Inc.	05/01/22	43366270402		41.90
10-5010-60-6020	Fuel Purchases May22	Wex Bank	05/23/22	80980906		458.65
10-5010-60-6020	Gasoline & Oil	Wex Bank	05/23/22	80966932		74.00
			Total For Dept 5	5010 Police		28,980.13
Dept 6010 Public Works						
10-6010-40-4032	3XL Long/short sleeve Hi-Vis sh		04/20/22	112-94916041637006q		44.11
10-6010-40-4032	2XL Long Sleeve Hi-Vis Class 3 s		04/20/22	112-94916041637006q		81.02
10-6010-40-4032	2XL Short Sleeve Hi-Vis Class 3	Amazon.com Credit	04/20/22	112-94916041637006q		78.62

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5		BOTH OPEN AND 1	PAID			
GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice		Amount
Fund 10 General Fund						
Dept 6010 Public Works			/ /			
10-6010-40-4032	XL Long Sleeve Hi-Vis Class 3 S		04/20/22	112-94916041637006q		121.54
10-6010-40-4032	XL Short Sleeve Hi-Vis Class 3		04/20/22	112-94916041637006q		117.94
10-6010-40-4032	L Long Sleeve Hi-Vis Class 3 sh		04/20/22	112-94916041637006q		202.56
10-6010-40-4032	L short Sleeve Hi-Vis Class 3 s		04/20/22	112-94916041637006q		196.56
10-6010-40-4032	Uniform rentals/cleaning	Breens Inc.	05/17/22	11216		88.13
10-6010-40-4032	Uniform rentals/cleaning	Breens Inc.	05/24/22	11358		82.52
10-6010-40-4032	Uniform rentals/cleaning	Breens Inc.	05/31/22	11513		74.94
10-6010-40-4041	April 22 Sponsored Jobs	Indeed	05/01/22	61330725		71.23
10-6010-40-4042	Expo Show Roadeo Registration	APWA Chicago Metro Chapt		05/06/22		70.00
10-6010-40-4042		APWA Chicago Metro Chapt		57cpqk5y		100.00
10-6010-40-4042	Lunch for PW Employees	Jimmy Johns	05/03/22	34		195.44
10-6010-40-4042	APWA Chicago Expo & ROADeo	R & B Productions, Inc.		05/06/22		700.00
10-6010-40-4042	Refreshments	Walgreen's	05/05/22	06475217296422050503		25.89
10-6010-40-4042	Chamber Luncheon Beltran	Willowbrook/Burr Ridge	05/24/22	05/24/22		30.00
10-6010-50-5020	Elevator Reinspections	Elevator Inspection Serv		108534		64.00
10-6010-50-5052	Rustic Acres Alarm Panel Servic			SI-572527		15.16
10-6010-50-5052	RTU circuit board replaced	Dynamic Heating & Piping		204337		1,895.60
10-6010-50-5052	RTU replace controller , RR. se			204344		2,275.20
10-6010-50-5052	HVAC Systems Maint. Contract (B			SM21006-2		3,462.02
10-6010-50-5053	Street Sweeping Cycle	LRS Holdings, LLC	05/15/22	PS453421		4,767.90
10-6010-50-5053	Special Event/Emergency Street		05/15/22	PS453421		521.28
10-6010-50-5055	Maintenance-Signals	Meade Electric Company,		700626		313.18
10-6010-50-5055	Maintenance - Traffic Signals	Meade Electric Company,		700349		187.25
10-6010-50-5056	HD2000 Bluegrass	Central Sod Farms, Inc.		58565		293.76
10-6010-50-5058	Mat rentals - VH & PW	Breens Inc.	05/17/22	11217		26.50
10-6010-50-5058	Mat rentals - PD	Breens Inc.	05/24/22	11359		26.50
10-6010-50-5058	Mat rentals - VH & PW	Breens Inc.	05/31/22	11514		26.50
10-6010-50-5058	Special Cleanings at VH, PD, PW			3009		1,942.00
10-6010-50-5076	Plan Review Permit 22-121	B&F Construction Code Se		59104		225.00
10-6010-50-5076	Building Review May22	Don Morris Architects P.		05/31/22		5,615.00
10-6010-50-5076	Inspections May22	Don Morris Architects P.		05/31/22		3,800.00
10-6010-50-5080	PW Sewer	Flagg Creek Water Reclam		008917-000 May22		44.15
10-6010-50-5080	Public Works	NICOR Gas	05/11/22	22944400005 May22		662.53
10-6010-50-5080	Police Department	NICOR Gas	05/17/22	66468914693 May22		388.68
10-6010-50-5080	Rustic Acres	NICOR Gas	05/17/22	81110732419 May22		98.29
10-6010-50-5080	VH Garage	NICOR Gas	05/17/22	57961400009 May22		49.46
10-6010-50-5080	Village Hall	NICOR Gas	05/17/22	47025700007 May22		512.91
10-6010-50-5095	Mosquito abatement services - J		qu 05/25/22	001024045		11,350.00
10-6010-60-6000	Office Supplies	Runco Office Supply	05/24/22	868786-0		44.97
10-6010-60-6010	Radio Strap & Duty Belt Holder	Amazon.com Credit	05/10/22	113-82028265417849		28.94
10-6010-60-6010	Gray NM PW Hose	Bristol Hose & Fittings,	105/26/22	3486770		172.91
10-6010-60-6010	Operating Supplies	Menards - Hodgkins	05/19/22	97335		82.22
10-6010-60-6040	Supplies-Equipment	Harlem Plumbing Supply	04/21/22	58164		89.21
10-6010-60-6043	4 yards of Sod	Hinsdale Nurseries, Inc.	05/19/22	1751344		16.40
10-6010-60-6043	Color Enhanced Mulch for Pkwy T	r Tameling Industries	05/26/22	0166274		40.00
10-6010-60-6043	Topsoil	Tameling Industries	05/19/22	0165836		390.00
10 0010 00 0040	mana a d 1	Mamalina Taduatuiaa	0E /10 /00	01 CE 400		CO4 00

Tameling Industries

Total For Dept 6010 Public Works

0165408

05/12/22

42,332.02

624.00

Total For Fund 10 General Fund

Topsoil

10-6010-60-6043

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GL Number	Invoice Line Desc	BOTH OPEN AND P. Vendor	AID Invoice Date	Invoice	Amount
Fund 23 Hotel/Motel Tax F					
Dept 7030 Special Revenue			/ /		
23-7030-50-5069	Panicum Shenandoah	Midwest Groundcovers, LLC		1701305	77.50
23-7030-50-5069	Baptisia Bluberry Sundae	Midwest Groundcovers, LLC		1701305	256.25
23-7030-50-5069	Rudbeckia Goldstrum	Midwest Groundcovers, LLC		1701305	332.50
23-7030-50-5069	Stella De Oro daylily	Midwest Groundcovers, LLC		1701305	84.00
23-7030-50-5069	Baptisia Vanilla Creme	Midwest Groundcovers, LLC		1701305	256.25
23-7030-50-5069	Repair of Drip Zone South End	2	05/12/22	84777	196.44
23-7030-50-5069	Memorial Adjustments on Rotors	2	05/20/22	84780	80.00
23-7030-80-8010	Marketing, Communication, Desi	5 <u>1</u> 5		1917	10,000.00
23-7030-80-8010	Marketing, Communication, Desi			1912	5,800.00
23-7030-80-8012	Run the Ridge Promo Bag	4 Imprint	04/22/22	22788071	370.47
23-7030-80-8012	June 9, 2022 Concert Performan		05/24/22	05/24/22	1,300.00
23-7030-80-8012	Armed Forces Day Program	Bannerville USA Inc.	05/19/22	32225	808.00
23-7030-80-8012	Run the Ridge Supplies	Brookhaven Marketplace	05/09/22	05/09/22	41.60
23-7030-80-8012	July 23, 2022 Concert Performa	-	06/02/22	06/02/22	1,500.00
23-7030-80-8012	AFD Plaque	Crown Trophy	05/18/22	43113	72.00
23-7030-80-8012	AFD Supplies	Dollar Tree	05/12/22	048332	21.25
23-7030-80-8012	Run the Ridge Shirts	Four Corners CC & C, LLC		05/03/22	1,002.00
23-7030-80-8012	Armed Forces Day Program	Grasso Graphics, Inc.	05/18/22	31909	264.00
23-7030-80-8012	Run the Ridge	J4 Events, Tents & Rental		17751	1,398.21
23-7030-80-8012	AFD Photography Services	Miguel Narvaez	05/21/22	05/21/22	450.00
23-7030-80-8012	July 7, 2022 Concert Performan	ce Mike Lavery	05/25/22	05/25/22	900.00
23-7030-80-8012	AFD Expenses	Pamela Foy	05/24/22	05/24/22	19.99
23-7030-80-8012	AFD Supplies	Party City	05/17/22	33	167.95
23-7030-80-8012	AFD Supplies	Party City	05/09/22	019147	18.90
23-7030-80-8012	Run the Ridge Post Event Meeti		05/17/22	354672	78.34
23-7030-80-8012	Restrooms (2 reg, 1 access, 1	ha Service Sanitation, Inc.	05/09/22	8374426	895.00
23-7030-80-8012	Damage Waiver	Service Sanitation, Inc.		8374426	60.00
23-7030-80-8012	Run the Ridge Supplies	Target Store - Willowbroc		019842	14.52
23-7030-80-8012	Sound Engineering for Concert		05/23/22	1572	3,000.00
23-7030-80-8012	June 16, 2022 Concert Performa		05/24/22	05/24/22	800.00
23-7030-80-8012	2022 Armed Forces Day Performa		ic 05/23/22	05/23/22	600.00
23-7030-80-8012	June 2, 2022 Concert Performan	ce Jeffrey M Philippe	05/25/22	05/25/22	2,000.00
23-7030-80-8050	Membership Dues	Choose Chicago	06/01/22	27580	950.00
			Total For Dept	7030 Special Revenue Hotel/Motel	33,815.17
			Total For Fund	23 Hotel/Motel Tax Fund	33,815.17
Fund 51 Water Fund Dept 6030 Water Operation	15				
51-6030-40-4032	L short Sleeve Hi-Vis Class 3	sh Amazon.com Credit	04/20/22	112-94916041637006q	196.56
51-6030-40-4032	L Long Sleeve Hi-Vis Class 3 s		04/20/22	112-94916041637006q	202.56
51-6030-40-4032	3XL Long/short sleeve Hi-Vis s	hi Amazon.com Credit	04/20/22	112-94916041637006q	44.11
51-6030-40-4032	XL Short Sleeve Hi-Vis Class 3	s Amazon.com Credit	04/20/22	112-94916041637006q	117.94
51-6030-40-4032	XL Long Sleeve Hi-Vis Class 3	Sh Amazon.com Credit	04/20/22	112-94916041637006q	121.54
51-6030-40-4032	2XL Short Sleeve Hi-Vis Class	3 Amazon.com Credit	04/20/22	112-94916041637006q	78.62
51-6030-40-4032	2XL Long Sleeve Hi-Vis Class 3	s Amazon.com Credit	04/20/22	112-94916041637006q	81.02
51-6030-40-4032	Uniform rentals/cleaning	Breens Inc.	05/17/22	11216	83.80
51-6030-40-4032	Uniform rentals/cleaning	Breens Inc.	05/24/22	11358	81.63
51-6030-40-4032	Uniform rentals/cleaning	Breens Inc.	05/31/22	11513	90.05
51-6030-40-4042	Training & Travel Expense	Illinois Tollway	04/30/22	036433	40.00
51-6030-50-5020	(12) Coliform Samples	Envirotest Perry Laborat	c 05/16/22	22-135898	144.00
51-6030-50-5025	First Class & Marketing Mail	Postmaster	04/20/22	Permit #94	530.00
51-6030-50-5030	Water Modems	Verizon Wireless	05/13/22	9904722631	181.92

06/08/2022 03:51 PM User: asullivan DB: Burr Ridge	INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE POST DATES 06/13/2022 - 06/13/2022 BOTH JOURNALIZED AND UNJOURNALIZED BOTH OPEN AND PAID			R RIDGE	Page: 5/6
GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 51 Water Fund					
Dept 6030 Water Operat			/ /		
51-6030-50-5051	Unit 60; Oil Ch, Tire Rotat,		05/12/22	6372188	842.05
51-6030-50-5067	Estate Wall 6" Random for WN	2	05/26/22	0166274	114.85
51-6030-50-5067	Estate Coping for WM Break F	2	05/26/22	0166274	95.76
51-6030-50-5067	10.5 OZ Paverbond Tube for W	2	05/26/22	0166274	13.10
51-6030-50-5067	Topsoil Picked Up for WM Bre	2	05/26/22	0166274	858.00
51-6030-50-5080	Well #4	COMED	05/17/22	0029127044 May22	583.59
51-6030-50-5080	Pump Center electricity	Dynegy Energy Service	-	310428722051 May22	4,540.02
51-6030-50-5080	Pump Center	NICOR Gas	05/11/22	47915700000 May22	296.67
51-6030-50-5095	Lease Payment 07.01.22-06.30	-		5421-1382	300.00
51-6030-50-5095	Utility Billing May22	Third Millennium Asso	c. Ir05/16/22	27737	1,145.47
			Total For Dept	6030 Water Operations	10,783.26
			Total For Fund	51 Water Fund	10,783.26
Fund 52 Sewer Fund					
Dept 6040 Sewer Operat	ions				
52-6040-40-4032	3XL Long/short sleeve Hi-Vis	s shi Amazon.com Credit	04/20/22	112-94916041637006q	22.06
52-6040-40-4032	2XL Long Sleeve Hi-Vis Class	s 3 s Amazon.com Credit	04/20/22	112-94916041637006q	40.52
52-6040-40-4032	2XL Short Sleeve Hi-Vis Clas	ss 3 Amazon.com Credit	04/20/22	112-94916041637006q	39.32
52-6040-40-4032	XL Long Sleeve Hi-Vis Class	3 Sh Amazon.com Credit	04/20/22	112-94916041637006q	60.76
52-6040-40-4032	XL Short Sleeve Hi-Vis Class	s 3 s Amazon.com Credit	04/20/22	112-94916041637006q	58.96
52-6040-40-4032	L Long Sleeve Hi-Vis Class 3	3 shi Amazon.com Credit	04/20/22	112-94916041637006q	101.28
52-6040-40-4032	L short Sleeve Hi-Vis Class	3 sh Amazon.com Credit	04/20/22	112-94916041637006q	98.28
52-6040-40-4032	Uniform rentals/cleaning	Breens Inc.	05/17/22	11216	24.85
52-6040-40-4032	Uniform rentals/cleaning	Breens Inc.	05/24/22	11358	32.63
52-6040-40-4032	Uniform rentals/cleaning	Breens Inc.	05/31/22	11513	32.79
52-6040-50-5030	Sewer Modems	Verizon Wireless	05/13/22	9904722631	30.32
			Total For Dept	6040 Sewer Operations	541.77
			Total For Fund	52 Sewer Fund	541.77

06/08/2022 03:51 PM User: asullivan DB: Burr Ridge	INVOIC	POST DATES 06/13 BOTH JOURNALIZED	PORT FOR VILLAGE OF BURR RIDGE 3/2022 - 06/13/2022 D AND UNJOURNALIZED EN AND PAID	Page: 6/6
GL Number	Invoice Line Desc	Vendor	Invoice Date Invoice	Amou
		Fun	d Totals:	
			Fund 10 General Fund	210,210.1
			Fund 23 Hotel/Motel Tax Fund	33,815.1
			Fund 51 Water Fund	10,783.2
			Fund 52 Sewer Fund	541.7
			Total For All Funds:	255,350.3