



**REGULAR MEETING
MAYOR & BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE**

AGENDA

**Monday, August 10, 2020
7:00 P.M.**

Attendance and Public Comment Procedures: Pursuant to Public Act 101-0640, and due to the current limitations on social distancing and gatherings of no more than 50 persons in physical attendance, as set forth in Emergency Order 2020-43 issued by the Governor of the State of Illinois, attendance by members of the public for the August 10, 2020 Village of Burr Ridge Board of Trustees meeting will be permitted both in-person (subject to social distancing requirements and capacity limitations) and virtually.

Mayor Grasso, the Deputy Village Clerk, and Village Staff will attend the meeting live in the Village Hall Board Room. Trustees' attendance shall be virtual/on-line. Anyone who may want to provide public comment at the meeting may do so, either by: (1) attendance at the Village Hall; (2) [logging into this link](#) to watch, listen, and comment; (3) calling in at [1 \(312\) 626 6799](tel:3126266799) (and entering Meeting ID# [825 5985 3452](#)) to listen and comment; or (4) sending public comments no later than 6:45 p.m. on August 10, 2020 via email at BRMeetings@burr-ridge.gov (e-mailed public comments should identify whether the comment is intended to address a specific agenda item or is intended for general public comment under Section 9 of this Agenda). The public may also view the meeting on-line [via this watch-only link](#) (this last link is for watching only and will not accommodate public comment).

All public participants will be muted upon entering the virtual meeting. Prior to voting on each agenda item, on-line or call-in participants will be unmuted and asked for comments and email public comments that were timely received will be read into the record. The same procedure will be followed for any person seeking to address the Board under Section 9 - Public Comment. Each speaker addressing the Board of Trustees is asked to limit comments to five minutes.

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA – OMNIBUS VOTE**

All items listed with an asterisk (*) are considered routine by the Village Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen so request, in which event the item will be removed from the Consent Agenda, discussed by the Board, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. * Approval of Regular Board Meeting of July 27, 2020**

- B. * Receive and File Plan Commission Meeting of August 3, 2020
- C. * Receive and File Economic Development Committee Meeting of August 5, 2020

6. ORDINANCES

- A. * Approval of Ordinance Amending Chapter 38 (Nuisances) to Regulate the Temporary Placement of Roll-Off Containers in the Village
- B. * Approval of an Ordinance Granting a Special Use to Permit Outdoor Dining at an Existing Restaurant in the B-2 Business District
- C. * Approval of Ordinance Amending Section 25.09 of Chapter 25 (Liquor Control) of the Burr Ridge Municipal Code (Class K Liquor Licenses)

7. RESOLUTIONS

- A. Consideration of Resolution Approving a One-Time Rebate of Liquor License Fees for Licenses Due July 31, 2020
- B. * Approval of Resolution Approving the Grant Street Preliminary Plat of Subdivision (6100 Grant Street – Cooper)

8. CONSIDERATIONS

- A. Continuing Discussion Regarding FY 2020-21 Budget
- B. Consideration of Continuing the Cost Sharing Agreement with Restaurants for Outdoor Dining Tents and Related Facilities
- C. Discussion and Update Regarding Village Adjudication Program
- D. Consideration of One-Time Rebate of Business License Fees for FY 2020-21
- E. * Approval of Recommendation to Award Contract for 2020 Water Main Valve Assessment and Leak Detection Program to M.E. Simpson Co., Inc. of Valparaiso, Indiana, in an Amount Not to Exceed \$24,500
- F. * Approval of Vendor List Dated August 10, 2020, in the Amount of \$70,469.61 for all Funds, plus \$188,974.96 for Payroll for the Period Ending July 25, 2020, for a Grand Total of \$259,444.57, Which Includes Special Expenditures of \$22,850.00 to Lauterbach & Amen, LLP for Auditing Services

9. PUBLIC COMMENTS

10. REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS

11. ADJOURNMENT



TO: Mayor and Board of Trustees
FROM: Village Administrator Doug Pollock and Staff
SUBJECT: Regular Meeting of August 10, 2020
DATE: August 6, 2020

6. ORDINANCES

A. Amend Municipal Code Regarding Temporary Roll-Off Containers

Please find attached an ordinance amending Chapter 38 (Nuisances) of the Burr Ridge Municipal Code regulating the use of temporary roll-off containers. Staff was directed to prepare this ordinance at the July 27 Board meeting.

It is our recommendation: That the Ordinance be approved.

B. Special Use to Permit Outdoor Dining at Falco's Pizza

Please find attached an ordinance approving a special use for outdoor dining at Falco's Pizza. Staff was directed to prepare this ordinance at the July 27 Board meeting.

It is our recommendation: That the Ordinance be approved.

C. Reduce Number of Class K Liquor Licenses

The Hampton Inn hotel has a Class K liquor license which allows them to sell single servings of packaged beer and wine to hotel guests. Hampton Inn has informed staff that they no longer want to sell beer and wine and thus, are not renewing their license.

Anytime a license is abandoned, it is the practice of the Village to eliminate that license. The attached Ordinance reduces the number of Class K licenses from 2 to 1. If another hotel or if the Hampton Inn decides in the future to seek a license, the Board may amend the Municipal Code once again to add a Class K license.

It is our recommendation: That the Ordinance be approved.

7. RESOLUTIONS

A. One-Time Rebate of Liquor License Fees

At the July 27, 2020 meeting, the Board of Trustees directed staff to prepare a Resolution rebating the 2021 liquor license fees. Attached is a Resolution approving a rebate of said fees. The intention of the rebate is to support local businesses as they seek to recover and maintain themselves during the

pandemic/recession. The cost to the Village of providing the rebate will be included in our application for CARES funding.

It is our recommendation: That the Resolution be adopted.

B. Preliminary Plat of Subdivision – Grant Street

Please find attached a resolution approving a preliminary plat of subdivision and subdivision variation. Staff was directed to prepare this resolution at the July 27 Board meeting.

It is our recommendation: That the Resolution be adopted.

8. CONSIDERATIONS

A. Discuss 20-21 Budget

Please find attached the latest budget report provided by the Finance Department. This budget report, dated August 6, 2020, is an update from the report provided to the Board via email on July 27. Places of Eating Tax revenue has been updated as more taxes have been paid since the July 27 report. Also attached once again is a summary of the budget items that were put on a wait list to be considered during the fiscal year.

July 27, 2020 Budget Summary: The prior fiscal year ended with revenues exceeding the estimates provided in the April 27 budget approval. The Village auditors are currently conducting the FY 2019-20 final audit and we expect to have the completed financial report in September 2020. It appears that we will conclude the FY 19-20 fiscal year with a General Fund surplus.

Collection of revenue for May through July 2020 is incomplete due to the inherent lag in receiving revenues from the State of Illinois. General Fund expenditures for this time exceeded budget due primarily to purchase of equipment and materials related to COVID 19 (including tent rentals). CARES funding, which we should have in the coming months, will more than cover the expenditures that have exceeded the budget.

Budget Wait List: The attached wait list summary lists 42 different budget expenditures that were included in the original draft budget presented to the Board in March 2020 but eliminated from the final budget approved by the Board of Trustees on April 27, 2020. Staff has added a High, Medium, and Low priority to each item. This prioritization is a staff recommendation subject of course to Board approval/input. Staff does want to bring to the Board's attention three particular items from the wait list (see below).

Vehicle Leasing: There are actually three items on the wait list that would be included in a vehicle leasing contract – One (PD15) Police Interceptor Sedan, Five Police Squad Cars, and one DPW Dump Truck (w/Plow, Salt Spreader,

and Chloride Tank). Staff has re-engaged Enterprise Leasing and anticipates coming to the Board on August 24 or in September with a recommendation to proceed with vehicle leasing. Due to the delay caused by wait listing these purchases, we would expect the total cost to the FY 20-21 budget to be substantially less and with much of the cost to be incurred in the next fiscal year due to time lapse between ordering and delivery of vehicles.

Pension Funding: At its last meeting, the Board of Trustees approved the Mayor's recommendation to create an ad hoc pension funding committee. The first meeting of the committee is scheduled for August 6. We anticipate more information and recommendations from the Committee at future Board meetings.

County Line Road Sidewalk: The County Line Road sidewalk project was begun in 2019 with the completion of underground utility work. The project was to be finished in 2020 but postponed due to pandemic budget considerations. It is possible that the project could be completed yet this year if the Board so chooses. One option for finishing the project this year would be to use the \$100,000 grant funding for the Garfield sidewalk (planned for spring/summer 2021), use reserve spending for the remaining gap (about \$35,000 would still be needed), and find other funding for the Garfield Avenue sidewalk next year. The Board may also postpone this project to next year as the \$284,000 grant would be available again next year. If the Board wants to complete the project in 2020, a decision should be made at the August 10 Board meeting.

B. Cost Sharing Agreements with Restaurants for Tents

In late May, the Board created an outdoor tent program to support outdoor dining at restaurants across the community. Initially, the Board covered 100% of rental costs from May 29-July 6, later extending the rentals on a 50/50 cost-sharing basis between the Village and restaurants through August 10. Several tents were removed on July 6, leaving five tent sites in the Village: Falco's Pizza, Eddie Merlot's, Patti's Sunrise Café, Kirsten's Danish Bakery, and Capri Ristorante.

All of the remaining restaurants with tents have expressed strong interest in retaining their tents for as long as possible, and have offered to adjust the cost-sharing between the Village and the restaurants to 60/40 (restaurants paying 60%) if said cost-sharing basis is established through October 26 (the last regularly-scheduled Board meeting in October). If the Village were to agree to this structure, the following costs would be incurred by the either party:

| Restaurant | Restaurant Cost (per week) | Village Cost (per week) |
|-------------------|---------------------------------------|------------------------------------|
| Falco's Pizza | \$290 | \$193 |

| | | |
|----------------------------|----------------|----------------|
| Eddie Merlot's | \$940 | \$627 |
| Patti's Sunrise Café | \$502 | \$334 |
| Kirsten's (pays full cost) | \$68 | \$0 |
| Capri | \$1,224 | \$816 |
| TOTAL | \$3,024 | \$1,970 |

The Village cost of a 60/40 rental extension through October 26 is **\$21,670**. Adjusting the cost of the tent rentals from 50/50 to 60/40 will create a weekly savings of **\$561** and an eleven-week savings of **\$6,171**. If the Board agrees to this cost-sharing structure, staff recommends that the rental program be extended through October 26 at the same cost-sharing structure while holding an interim discussion on September 14 to allow for re-evaluation of the tent program on an interest-only basis.

It is our recommendation: that the Board extend the tent rental program on a 60 (restaurant) / 40 (Village) cost-sharing basis through October 26 with a status update provided at the September 14 Board meeting.

C. Village Adjudication Program

The Police Department and the Administration Department jointly recommend the implementation of an adjudication program. Illinois statute allows any municipality to hold administrative adjudication hearings for “violations of traffic regulations concerning the standing, parking, or condition of vehicles (compliance)” as well as “to expedite the prosecution and correction of [building] code violations”. If enacted, administrative adjudication can streamline the cumbersome task of adjudicating minor parking and traffic offenses as well as local code violations through the dual counties in which we work. Local adjudication would also allow for the administrative tow, booking, and processing fees to be assessed to violators whose vehicles are towed and impounded. Fees may also be assessed on violators who are processed within the Burr Ridge Police Department lockup.

In the current structure for sending traffic, parking, compliance, and ordinance tickets to a county to adjudicate, the Village receives between only 5% and 25% of an assessed fine. As an example, a minor traffic violation in county court would be assessed fines and costs of \$226. After the County Clerk, County, and State receive their portion of funds, the Village receives \$12. For ordinance violations, where the fine is \$100, the Village receives \$25. Switching to local adjudication would reverse this fee structure, whereby the Village would receive the majority of the fines and costs. In summary, adjudication creates a more reliable enforcement mechanism for local matters

that do not require the attention of a circuit court.

Staff has researched three vendors that provide the software service and support to handle municipal adjudication. Staff is recommending Municipal Services, Inc., (MSI) be used as the vendor for software, support, and collections. MSI is the only known vendor that supports the collection function of municipal adjudication through an integrated software design. The cost of the MSI Adjudication Management System subscription is \$1,495 per month for year one and two. The monthly subscription cost reduces to \$750 per month in year three forward. There are also one-time costs at implementation of \$3,000 for training of personnel and \$2,000 for system interfaces.

Additional costs of the program that will be presented to the Village Board in greater detail at a future meeting include:

- Hiring of a Hearing Officer (\$4,800 annually)
- Prosecutor (\$4,800 annually)
- Computer hardware

All expenses related to adjudication implementation were included (and not wait listed) in the approved Fiscal Year 2020-21 budget. Staff projects that the adjudication program will be revenue positive while saving a significant amount of travel and overtime costs that will no longer be incurred by traveling to the County Courthouse in Wheaton.

It is our recommendation: That the purchase of the adjudication software from Municipal Services, Inc. be approved.

D. One-Time Rebate of Business License Fees

In 2019, the Economic Development Committee (EDC) reviewed and recommended and Board of Trustees approved an amendment to the Municipal Code that created an annual business license program. The business license program was in final development and set for public rollout in spring 2020 ahead of its May 1, 2020 enacting date, but the rollout was delayed due to the coronavirus pandemic. As almost all businesses that were temporarily shut down have restarted operations, Mayor Grasso directed staff to restart the rollout of the business license program, but requested that staff explore methods to do so at no cost to each business for the current fiscal year. As Chapter 22 of the Municipal Code (Business Licenses) sets the business license fee at \$100, deviation from this fee requires Board approval.

All business rebate programs implemented by the Village through December 31, 2020 are reimbursable by the CARES Act and will be included in our CARES funding application. The rebate would be one-time and limited to FY 2020-21, with all businesses required to renew their licenses for FY 2021-22 for a \$100 fee. The EDC made a unanimous recommendation to support the rebate at their August 5 meeting.

It is our recommendation: That the \$100 annual business license fee for the FY 2020-21 program be fully rebated.

E. Contract for Water Main Valve Assessment and Leak Detection

The FY 2020-21 Water Fund Budget includes \$28,000.00 for the first year of a three-year leak detection survey and valve assessment program. Leak detection by acoustical methods is performed routinely to reveal unknown leaks, mitigate emergency repairs, and minimize non-revenue water loss, which also keeps the Village in compliance with the Illinois DNR annual audit of Lake Michigan water users. A valve assessment program would be a new component of this professional services contract to include physical and operational inspections of valves that ensures functionality and control, and works well to coincide with leak detection.

Water main valve assessment ensures their operability which directly affects control of the water system, reduces the consequences of water main failures, and helps the Water & Wastewater Division better plan for construction activity and minor leaks. A systematic evaluation of valves should be considered a core activity, and the American Water Works Association recommends a 3 to 5-year rotation for each assessment.

The system-wide leak survey in 2013 identified leaks at 10 locations, and in 2018 identified 13 leaks. These 13 locations were estimated to be losing a total of 99,000 gallons per day, which is nearly \$900 per day at today's residential water rates. During a leak detection survey, an employee of our Public Works Department is present at all times to immediately investigate a leak located by the professional technicians, then works with our Water & Wastewater Division Supervisor to schedule the necessary repairs. In the past two leak detection surveys, the costs for these services have had a payback period of less than 20 days.

M.E. Simpson Co., Inc. of Valparaiso, Indiana, has conducted these two leak detection surveys and can include valve assessment as part of a comprehensive program. The Village has also utilized this contractor over the past seven years for emergency leak detection. Our Water & Wastewater Division Supervisor, along with our businesses and residents, have been pleased with this contractor's quality of work and responsiveness to emergencies. M.E. Simpson Co., Inc. has provided prices for the Village's proposal at the same rates as have been provided to Village of Willowbrook for this year's program on their water utility.

In the attached proposal, M.E. Simpson Co., Inc. has provided a cost to complete the above services on 1/3 of our valves and mains, at a cost of \$23,300. As this is our first year with valve assessment and may result in undocumented valves being located, a 5% contingency is requested in the amount of \$1,200, for a total of \$24,500. This not-to-exceed amount is \$3,500

under budget. Pricing obtained from a second vendor, Wachs Water Service in Buffalo Grove, Illinois, was \$26,650 for identical services.

It is our recommendation: That a contract for the 2020 Water Main Valve Assessment and Leak Detection Program be awarded to M.E. Simpson Co., Inc. of Valparaiso, Indiana, in the amount not to exceed \$24,500.

F. Vendor List of August 10, 2020

Attached is the vendor list dated August 10, 2020, in the amount of \$70,469.61 for all funds, plus \$188,974.96 for payroll for the period ending July 25, 2020, for a grand total of \$259,444.57, which includes special expenditures of \$22,850.00 to Lauterbach & Amen, LLP for auditing services.

It is our recommendation: That the August 10, 2020, vendor list be approved.

9. PUBLIC COMMENTS

REGULAR MEETING
MAYOR AND BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE

July 27, 2020

CALL TO ORDER The Regular Meeting of the Mayor and Board of Trustees of July 27, 2020, was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:03 p.m. by Mayor Gary Grasso. Mayor Grasso read the following declaration.

“In accordance with the mandate of Public Act #1010640 and as Mayor of the Village of Burr, I hereby declare that an in-person meeting or a meeting is not practical or prudent on account of the COVID -19 Declaration of Disaster issue by Governor Pritzker.”

PLEDGE OF ALLEGIANCE Pledge of Allegiance was led by Mayor Grasso.

ROLL CALL was taken by the Deputy Village Clerk and the results denoted the following present via Zoom: Trustees Franzese, Schiappa, Mital, Snyder and Paveza. Trustee Mottl was absent. Mayor Grasso was present in the Board Room. Also present in the Board Room were Village Administrator Doug Pollock, Chief John Madden, Assistant Village Administrator/Deputy Village Clerk Evan Walter, Public Works Director David Preissig, Deputy Chief Marc Loftus, and Village Attorney Mike Durkin.

PRESENTATIONS AND PUBLIC HEARINGS There were none.

Mayor Grasso read the following instructions for those wanting to make public comments.

“At this time, anyone logged on or calling in to the meeting may provide public comment on this agenda item. If you would like to comment, you must first unmute and then please announce your name and address. If you are on-line, there is an unmute button on the Zoom toolbar located at the bottom of your screen. If you are on the telephone, you may unmute by hitting *6 on your phone. If you would like to comment, please unmute yourself and give your name and address at this time. We will pause and take comments in the order received.”

Mayor Grasso asked if there were any comments. There were none.

CONSENT AGENDA – OMNIBUS VOTE After reading the Consent Agenda by Mayor Gary Grasso, motion was made by Trustee Snyder and seconded by Trustee Mital that the Consent Agenda – Omnibus Vote (attached as Exhibit A) and the recommendations indicated for each respective item be hereby approved. Any item removed from the Consent Agenda will be discussed by the Board, opened for public comment, and voted upon during this meeting.

Mayor Grasso asked if there was any discussion on the Consent Agenda. There was none.

Mayor Grasso asked if there were any public comments on any items on the Consent Agenda. There were none.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

On Roll Call, Vote Was:

AYES: 5 – Trustees Snyder, Mital, Franzese, Schiappa, Paveza

NAYS : 0 – None

ABSENT: 0 – Trustee Mottl

There being five affirmative votes the motion carried.

APPROVAL OF REGULAR BOARD MEETING MINUTES OF JUNE 22, 2020 were approved for publication, under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE ECONOMIC DEVELOPMENT MEETING OF JULY 1, 2020 were noted as received and filed under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING OF JULY 6, 2020 were noted as received and filed under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING OF JULY 20, 2020 were noted as received and filed under the Consent Agenda by Omnibus Vote.

APPROVAL OF A RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE COUNTY OF DUPAGE AND THE VILLAGE OF BURR RIDGE FOR THE REIMBURSEMENT OF ELIGIBLE COVID-19 EXPENSES (DUPAGE COUNTY CARES FUNDING) the Board, under the Consent Agenda by Omnibus Vote, Adopted the Resolution.

THIS IS RESOLUTION NO. R-22-20

APPROVAL OF A RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE COUNTY OF COOK AND THE VILLAGE OF BURR RIDGE FOR THE REIMBURSEMENT OF ELIGIBLE COVID-19 EXPENSES (COOK COUNTY CARES FUNDING) the Board, under the Consent Agenda by Omnibus Vote, Adopted the Resolution.

THIS IS RESOLUTION NO. R-23-20

ADOPTION OF A RESOLUTION APPROVING A MEMORANDUM OF UNDERSTANDING BETWEEN THE VILLAGE OF BURR RIDGE AND DUPAGE PUBLIC SAFETY COMMUNICATIONS (DU-COMM) FOR RADIO EQUIPMENT ON THE NORTH WATER TOWER AND POLICE STATION the Board, under the Consent Agenda by Omnibus Vote, Approved the Resolution.

THIS IS RESOLUTION NO. R-24-20

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

APPROVAL OF PLAN COMMISSION RECOMMENDATION TO APPROVE A PRELIMINARY PLAT OF SUBDIVISION (GRANT STREET PRELIMINARY PLAT OF SUBDIVISION) the Board, under the Consent Agenda by Omnibus Vote, Approved the Recommendation.

APPROVAL OF PLAN COMMISSION RECOMMENDATION TO APPROVE A SPECIAL USE TO PERMIT OUTDOOR DINING AT AN EXISTING RESTAURANT IN A B-2 DISTRICT (Z-10-2020 16W561 SOUTH FRONTAGE ROAD – FALCO’S PIZZA) the Board, under the Consent Agenda by Omnibus Vote, Approved the Recommendation.

APPROVAL OF EMPLOYMENT AGREEMENT WITH PATROL OFFICER PATRICK PATLA the Board, under the Consent Agenda by Omnibus Vote, Approved the Agreement.

APPROVAL OF RECOMMENDATION TO AWARD A CONTRACT FOR FIRE HYDRANT PAINTING TO G.O. PAINTERS, INC. OF MAYWOOD, ILLINOIS, IN THE AMOUNT OF \$27,000 the Board, under the Consent Agenda by Omnibus Vote, Approved the Contract.

APPROVAL OF RECOMMENDATION TO RATIFY EMERGENCY WATER MAIN REPAIR AT COUNTY LINE ROAD AND 79TH STREET ON JUNE 14, 2020 BY VIAN CONSTRUCTION CO., INC IN THE AMOUNT OF \$8,228 the Board, under the Consent Agenda by Omnibus Vote, Approved the Recommendation.

APPROVAL OF RECOMMENDATION TO AWARD A CONTRACT FOR CONCRETE FOUNDATION REPAIRS AND EXTERIOR DRAINAGE SYSTEM INSTALLATION AT POLICE STATION TO PERMA-SEAL BASEMENT SYSTEMS, INC. OF BURR RIDGE, ILLINOIS, IN THE AMOUNT OF \$6,991.10 the Board, under the Consent Agenda by Omnibus Vote, Approved the Contract.

APPROVAL OF VENDOR LIST DATED JULY 13, 2020, IN THE AMOUNT OF \$740,865.78 FOR ALL FUNDS, PLUS \$200,139.74 FOR PAYROLL FOR THE PERIOD ENDING JUNE 27, 2020, FOR A GRAND TOTAL OF \$941,005.52 WHICH INCLUDES SPECIAL EXPENDITURES OF \$57,501.60 TO PARTYTIME HDO OPERATIONS FOR RESTAURANT TENT RENTALS AND \$59,857.00 TO DENLER, INC. FOR THE 2020 ROAD PROGRAM the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List.

APPROVAL OF VENDOR LIST DATED JULY 27, 2020, IN THE AMOUNT OF \$190,752.92 FOR ALL FUNDS, PLUS \$200,897.60 FOR PAYROLL FOR THE PERIOD ENDING JULY 11, 2020, FOR A GRAND TOTAL OF \$391,650.52 WHICH INCLUDES SPECIAL EXPENDITURES OF \$118,208.84 TO SCHROEDER ASPHALT SERVICES FOR THE 2020 ROAD PROGRAM the Board, under the Consent Agenda by Omnibus Vote, Approved the Vendor List.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

CONSIDERATION OF AN ORDINANCE AMENDING CHAPTER 25, SECTION 25.11 OF THE BURR RIDGE MUNICIPAL CODE REGARDING CLASS O AND CLASS S LIQUOR LICENSE FEES – HENN HOUSE AND PEAK RUNNING

Village Administrator Doug Pollock stated that staff had been directed to prepare this ordinance at the June 22 meeting. This ordinance reduces the fees for the Henn House and Peak Running down to \$100. Both are limited licenses as the Henn House is a BYOB and Peak Running is a running shoe business with little alcohol sales. Fees are based on the cost of processing and enforcing the licenses.

Motion was made by Trustee Franzese and seconded by Trustee Schiappa to Approve the Ordinance.

Mayor Grasso asked if there was any discussion from the Trustees. There was none.

Mayor Grasso then read the instructions for public comments and asked if there were any. There were none.

On Roll Call, Vote Was:

AYES: 5 – Trustees Franzese, Schiappa, Mital, Snyder, Paveza,

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being six affirmative votes the motion carried.

THIS IS ORDINANCE NO. A-222-05-20

CONSIDERATION OF A RESOLUTION ESTABLISHING A POLICY THAT PEOPLE WEAR FACIAL COVERINGS/MASKS, SANITIZE THEIR HANDS, AND PRACTICE SOCIAL/PHYSICAL DISTANCING

Mayor Grasso stated that he asked for this to be put on tonight's agenda. He thinks it is a very important policy statement for the Village of Burr Ridge. It is consistent with the CDC, Illinois Dept. of Public Health and both Boards of Health for Cook and DuPage County's policies. Although it may not be an enforceable policy, he believes it is important for the Village of Burr Ridge to make this statement and would like the Board to consider it.

Motion was made by Trustee Mital and Seconded by Trustee Snyder to Adopt the Resolution.

Mayor Grasso read the instructions for public comments and asked if there were any.

Resident Edyta Smolka advised that she was against the resolution. She believes we all should wash our hands, be careful and keep our distance but forcing people to wear masks is not healthy and unconstitutional.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

Resident Richard Morton believes that enacting this resolution demonstrates leadership in COVID-19 and trying to keep everyone safe.

Mayor Grasso asked for any comments from the Trustees.

Trustee Snyder thanked Mr. Morton for his comments and stated that the Board is trying to do what's best for others. Trustee Snyder complimented Mayor Grasso on his handling of the pandemic.

Trustee Mital also commended the Mayor on taking leadership and thought it was a great idea.

Trustee Paveza stated he had mixed feelings at first but the more he thought about it, he believed that this was the way to go.

Trustee Schiappa stated we are in a free country where you can choose to wear a mask or not, but we are here to provide security and safety to our residents and businesses.

On Roll Call, Vote Was:

AYES: 5 – Trustees Mital, Snyder, Paveza, Schiappa, Franzese

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being six affirmative votes the motion carried.

THIS IS RESOLUTION NO. R-25-20

CONSIDERATION OF REBATING LIQUOR LICENSE FEES FOR APPLICATIONS DUE JULY 31, 2020

Mayor Grasso asked for the item to be added to the agenda to consider rebating liquor license fees. Mayor Grasso explained that they are significant fees and that the Village could allocate CARES Act money to cover these costs.

Village Administrator Doug Pollock added that if the Board is in agreement to rebate the fees, an ordinance would be prepared for the next meeting.

Motion was made by Trustee Franzese and Seconded by Trustee Snyder to approve the consideration and to direct staff to prepare an ordinance for consideration at the August 10th meeting.

Mayor Grasso asked for any discussion or comments from the Trustees.

Trustee Schiappa asked where this consideration had originated; with the restaurants or the Village.

Mayor Grasso stated he was the one to suggest it after his conversations with other mayors in the area and what they were doing. Some are doing this to give relief to their bars and restaurants. Mayor

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

Grasso stated that he is very confident that we can get this money back thru the CARES funding so we would not be out this money.

Trustee Franzese wanted to verify that this was a one-time only proposition. Mayor Grasso stated it was.

Trustee Snyder asked to have Doug or Evan follow through when the CARES funding comes in to validate everything that was discussed. Mayor Grasso said that he would provide the Trustees the actual basis of all the language of the Act before a final vote is taken on the ordinance at the next meeting.

Mayor Grasso read the instructions for public comments and asked if there were any. There were none.

On Roll Call, Vote Was:

AYES: 5 – Trustees Franzese, Snyder, Paveza, Mital, Schiappa

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being six affirmative votes the motion carried.

CONSIDERATION OF AN AMENDMENT TO THE MUNICIPAL CODE REGARDING TEMPORARY USE OF ROLL-OFF CONTAINERS

Assistant Village Administrator Evan Walter explained that over the last six months, staff has received many complaints on dumpsters or roll-off containers with and some without a permit. Mr. Walter explained that with a building permit, a dumpster is permitted. Mr. Walter said that staff did not have guidance as to when a dumpster is allowed without a permit. Mr. Walter explained there was more information in the Trustees packets and that there was an error stating 30 cubic yards in a section and 20 cubic yards in another for maximum size. Thirty cubic yards is the correct number.

Mayor Grasso asked if there was any discussion from the Trustees.

Trustee Franzese stated that it would be good to have a time limit so that they are not sitting on someone's property for an extended period of time.

Mayor Grasso asked if there would be a length of time added to the Chapter. Mr. Walter stated it would be 10 days. If needed longer, they would have to wait 14 days in between and then could start another 10 days. Mr. Walter said that staff would work with a resident if more time were needed.

Village Attorney Mike Durkin pointed out that the 10-day limitation only applies to those roll-off containers that do not have a building permit attached to them.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

Motion was made by Trustee Paveza and Seconded by Trustee Mital to approve the consideration and direct Staff to prepare Ordinance.

Mayor Grasso read the instructions for public comment and asked if there was any. There was none.

On Roll Call, Vote Was:

AYES: 5 – Trustees Paveza, Mital, Snyder, Schiappa, Franzese

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being six affirmative votes the motion carried.

CONSIDERATION OF MAYOR’S RECOMMENDATION TO FORM AN AD HOC PENSION FUNDING COMMITTEE AND TO APPOINT TRUSTEES SNYDER AND SCHIAPPA AND MAYOR GRASSO TO SAID AD HOC COMMITTEE

Mayor Grasso stated he had discussed an idea with Village Administrator Doug Pollock with a possible way to have additional funding of the police pension obligation. Mayor Grasso thought it was worth having an Ad Hoc Committee to consider. The committee could come back with one or more recommendations to the Board to address the issue of long-term obligations to the police pension obligation.

Motion was made by Trustee Franzese and seconded by Trustee Mital to approve the recommendation.

Mayor Grasso asked if there were any questions or discussion by the Trustees.

Trustee Snyder advised that Trustee Mital would be an asset in this area and stated he would utilize her talents. Mayor Grasso agreed and stated they would be reaching out to her also.

Trustee Schiappa asked if they would be working with our actuaries on this committee. Mayor Grasso stated that they have a lot of the information provided by the actuaries to give to the committee. If needed, the Mayor will schedule a meeting with the actuaries and the committee to get all the information the committee needs.

Trustee Paveza stated that he had mixed emotions on the issue. Trustee Paveza says we are paying what we are obligated to pay. Trustee Paveza disagreed that the Village should be paying more when many villages are under water with their payments, and our money is tight right now. Mayor Grasso agreed and said that information is power and; if the Ad Hoc committee chooses to do something or not, we still have our obligations to our police pension. The Ad Hoc Committee will make recommendations to the Board, and the Board can do something with them or not.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

Trustee Franzese asked how this committee will work with the current police pension board. Mayor Grasso stated that is to be decided, and it will be a coordinated effort with everyone. Trustee Franzese added that it should be spelled out in the Ad Hoc Committee's charter. Mayor Grasso said it would.

Mayor Grasso read the instructions for the public comments and asked if there were any on this agenda item. There were none.

On Roll Call, Vote Was:

AYES: 5 – Trustees Franzese, Mital, Snyder, Paveza, Schiappa

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being six affirmative votes the motion carried.

PUBLIC COMMENTS

Mayor Grasso read the instructions on public comments and asked if there were any. There were none.

Mayor Grasso advised the Village Administrator Doug Pollock informed him that he had not received any public comments via email before the meeting.

REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS

Trustee Mital wanted to give an update on the Census. Trustee Mital thanked staff for placing all of the signs around the village and added they have been very helpful with other materials. Trustee Mital also thanked Patricia Schiappa for creating materials for the printouts and finding videos on the Census website. The current participation rate for Burr Ridge is 76.4%. Trustee Mital advised that the Census workers will start going door to door on August 11, which will make a difference in the count.

Trustee Franzese asked if the Staff could comment on how the Water Fund is doing in actual revenues versus projected. Village Administrator Doug Pollock advised that actual revenues exceeded budgeted predictions by 40%.

Trustee Franzese added that his homeowners' association had utilized the Police Department for their meeting last week and all went well. They were able to stay within the guidelines the Village had set up, cleaning before and after, wearing masks and keeping the social distancing. He wanted to encourage other HOA's to get out and utilize these facilities.

Trustee Schiappa thanked staff for providing the budget report but wanted to hear comments on the General Fund and to know what we are going to be doing over the next two months. Village Administrator Pollock said that the revenue estimate was incomplete as June's sales tax figures were not available. Mayor Grasso stated that we usually would not be looking at incomplete data but staff

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
July 27, 2020

agreed to keep as much information coming to the Board as possible. Mayor Grasso added that the good news is that the Village is fiscally sound with lots of reserves, but the bad news is that COVID is having an effect on us and we will not see good sales tax coming in from the months affected by it.

Mayor Grasso welcomed our newest police officer Patrick Patla who was sworn in Monday, July 20.

Mayor Grasso said that a Farmers' Market is starting Sunday, August 2 and occurring every Sunday through October 11 except for September 6. The Burr Ridge Village Center will be hosting the farmers' market on the Village Green from 9 am to 1 pm. The market is free to attend and will be hosted in partnership with local grocer Brookhaven. Social distancing, wearing of masks, and use of hand sanitizer between purchases will be expected while present at the market.

Mayor Grasso said that Cruise Nights will be every other Tuesday with the next one scheduled for August 4 from 6 – 8 pm in the out lot at Village Center Drive and Bridewell, near the Starbucks. There will be no charge, but you will need to reserve a spot for your car by contacting Janet Kowal.

Mayor Grasso said that the positive cases in Burr Ridge are going up as they are all over the nation. Burr Ridge is now at 150 cases with 32 new cases in the last 14 days. The age group of 20-29 has the most cases according to the DuPage County Board of Health. The hospitalization rates are staying level, which is good news. Those 60 and over are still at severe risk so be vigilant, stay home, and try not to interact with others unless you have too.

Mayor Grasso asked for a motion to adjourn until August 10.

Motion was made by Trustee Schiappa and seconded by Trustee Snyder that the Regular Meeting of July 27, 2020 be adjourned.

On Roll Call, Vote Was:

AYES: 5 – Trustees Schiappa, Snyder, Paveza, Mital, Franzese

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes, the motion carried and the meeting was adjourned at 7:53 p.m.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Evan Walter
Deputy Village Clerk
Burr Ridge, Illinois

APPROVED BY the Mayor and Board of Trustees this _____ day of _____, 2020.

PLAN COMMISSION/ZONING BOARD OF APPEALS
VILLAGE OF BURR RIDGE
MINUTES FOR REGULAR MEETING OF AUGUST 3, 2020

I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek. Due to the current limitations on social distancing and gatherings of no more than 50 persons in physical attendance that were set forth in place by the Declaration of a State of Emergency by the Governor of the State of Illinois based upon the ongoing novel coronavirus pandemic disaster, the hearing was convened utilizing a virtual environment, pursuant to Public Act 101-0640.

Chairman Trzupek read aloud the following statement:

“As Chairman of the Village of Burr Ridge Plan Commission and Zoning Board of Appeals, I am advising you in your capacity as Deputy Village Clerk that I hereby declare that conducting an in-person meeting of the Burr Ridge Plan Commission/Zoning Board of Appeals on August 3, 2020 is neither practical nor prudent due to Governor Pritzker’s May 29, 2020 Declaration of a State of Emergency caused by the COVID-19 pandemic.”

ROLL CALL was noted as follows:

PRESENT: 8 – Broline, Petrich, Hoch, Stratis, Farrell, Irwin, Parrella, and Trzupek

ABSENT: 0 – None

Assistant Village Administrator Evan Walter was also present.

II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Petrich to approve the minutes of the July 20, 2020 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 4 – Hoch, Petrich, Broline, and Trzupek

NAYS: 0 – None

ABSTAIN: 4 – Irwin, Stratis, Farrell, and Parrella

MOTION CARRIED by a vote of 4-0.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearing on the agenda for the meeting.

Z-04-2020: 15W230 North Frontage Road (Bobak); Special Use, Variations, and Findings of Fact; continued from February 3 and July 6, 2020

At the outset of the discussion, Commissioner Broline recused himself from all discussion and voting on the present petition due to a conflict of interest in the potential property sale. This recusal was noted and accepted by Chairman Trzupek.

Mr. Walter said that the petitioner requested an automatic continuation to August 17, 2020 to better accommodate feedback from previous Plan Commission meetings.

At 7:07pm, a **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Farrell to continue the public hearing related to Z-04-2020 to August 17, 2020.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Farrell, Stratis, Hoch, Petrich, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Z-09-2020: 15W776 North Frontage Road (Criscione); Re-Zoning, Special Uses, Text Amendment, and Findings of Fact

Chairman Trzupek asked for a summary of the petition. Mr. Walter said that the petitioner is Michael Criscione, owner of M&T Trucking located at 7545 Madison Street in unincorporated DuPage County. This petition is intended to replace petition #Z-08-2020. The petitioner requests re-zoning of the subject property from the B-2 Business District to G-I General Industrial, as well as a special use for “automobile and truck and equipment sales, rental, and service”, a text amendment to add “outdoor, overnight storage of retail vehicles ancillary to a permitted or special use” as a special use, and a special use for “outdoor, overnight storage of retail vehicles ancillary to a permitted or special use” per the aforementioned amendment, all in the G-I General Industrial District. Mr. Walter said the current petition replaced Z-08-2020, which was withdrawn due to a lack of support to permit truck sale uses in the B-2 Business District. Mr. Walter reviewed each of the four requests by the petitioner.

Chairman Trzupek asked for public comment. Mr. Walter noted an email from a resident that had been received on the day of the meeting generally objecting to the use. No other public comment was given.

Commissioner Stratis said that the staff report explained the issues at hand clearly, and said that he was more comfortable supporting the petition if it were in an Industrial District. Commissioner Stratis said that the landscape plan left a lot to be desired in terms of design quality. Michael

Criscione said that while the landscape plan may not have been of the highest quality, he had already made the proposed alterations to the site, showing pictures of new landscaping located on the subject property. Commissioner Stratis asked how the trucks would be parked on the subject property. Mr. Criscione said that the trucks would generally be parked facing north and east, with parking for customers reserved on the west side.

Commissioner Hoch said she felt the site was not pretty and that the area was junky. Commissioner Hoch said that there were two businesses in Willowbrook zoned Business nearby. Mr. Walter said that one of the sites she was referring to was generally undevelopable and constituted highway frontage, despite its Business district zoning, but agreed that Madison's Pub to the north was clearly a Business district use. Commissioner Hoch said that she felt that this was not the best use for the site.

Commissioner Farrell asked if the entire area was planned to be in Burr Ridge in the future. Mr. Walter said that while no official planning agreement existed with Willowbrook, there was a general understanding that properties west of Madison Street were to be incorporated into Willowbrook, while properties east of Madison Street were to be incorporated into Burr Ridge. Commissioner Farrell asked for further explanation of the zoning in Willowbrook and DuPage County. Mr. Walter explained that, with the exception of Madison's Pub immediately north of the subject property, the area was zoned for industrial uses. Commissioner Farrell asked if the landscaping concepts proposed met the standards of the Zoning Ordinance. Mr. Walter confirmed that the proposed landscaping plan met the standards of the Zoning Ordinance. Commissioner Farrell said she would like to see a striping plan of the parking lot.

Commissioner Petrich asked about the petitioner's plan for security. Mr. Criscione said that he had engaged a security camera company that would perform 24/7 visual monitoring of the site, and that the company would contact him or his staff directly if any issues arose. Mr. Criscione said that he had originally planned to install a 4' rail fence filled with concrete along the perimeter of the property, as it was his intent to have a more minimal elevation on the exterior of the property, but had since begun to consider the value of a solid 6' fence along Madison Street to add a visual buffer. Mr. Criscione said he would be happy to provide either type of fence. Commissioner Petrich asked the petitioner to elaborate upon his business' proposed hours of operation on site.

Commissioner Parrella said she had concerns about the landscape plan that was presented and asked if there would be any lights added to the subject property. Mr. Criscione said that he did not intend to add lights to the property, except for the purpose of enhancing his security system, if need be, in the form of motion-activated lights.

Commissioner Irwin asked about landscaping opportunities along Madison Street. Mr. Walter said that there was room between the sidewalk and parking lot that could be utilized for adding landscape buffers. Commissioner Irwin said he liked the concept of a minimal fence installation along Madison Street instead of the solid fence concept. Commissioner Irwin also requested that the petitioner perform all required landscaping in the right of way that would be permitted by DuPage County.

Commissioner Broline said that he felt the use was appropriate considering the site was already primarily located in an industrial area.

Chairman Trzupek asked for further explanation as to the concept of outdoor storage. Mr. Walter said that outdoor storage is a special use, which includes overnight, outdoor storage of vehicles. Mr. Walter said that the Village recently expanded overnight, outdoor storage of vehicles from two to eight after a number of petitions were received as well as in the wake of the PermaSeal special use, where the Village permitted thirty trucks to be parked outdoors next to residential properties. Commissioner Irwin requested that staff provide this information at the next public hearing.

Commissioner Hoch asked if rentals would be permitted on site. Mr. Walter confirmed that Commissioner Hoch was asking this question in the context of the special use listed, which is “automobile and truck and equipment sales, rental, and service”. Mr. Walter said that he did not feel that it would be legally appropriate to shorten the title of the special use to eliminate services that would not otherwise be provided by the petitioner but were included in the title of the use, clarifying that the special use would have no rental or service components.

Commissioner Petrich said he would prefer to see the special use become a staging area for sales that simply required closing, and that trucks should not sit unsold on the site to the public.

At 8:11pm, a **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Broline to continue the public hearing related to Z-09-2020 to August 17, 2020.

ROLL CALL VOTE was as follows:

AYES: 8 – Irwin, Broline, Farrell, Stratis, Hoch, Petrich, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

IV. CORRESPONDENCE

V. OTHER PETITIONS

16W361 South Frontage Road (Price); Sign Variation, Text Amendment, and Findings of Fact

Chairman Trzupek requested an overview of the petition. Mr. Walter said that the petitioner is Don Price, owner of the subject property at 16W361 South Frontage Road. The petitioner requests a sign variation from Section 55.07 of the Burr Ridge Sign Ordinance to add two ground signs to the subject property in addition to one permitted ground sign as well as a text amendment to Section 55.10 of the Burr Ridge Sign Ordinance to list “directional blade sign” as an exempt sign or a text amendment to 55.10.L of the Burr Ridge Sign Ordinance amending the definition of a directional sign. The subject property is 5.2 acres in size with approximately 250 feet of street

frontage along South Frontage Road. The subject property contains one primary office building, housing approximately 20 tenant spaces, surrounded by surface parking on all sides.

Mr. Walter said that as per Section 55.07 of the Sign Ordinance, all properties in Manufacturing Districts are permitted to have one ground sign not to exceed 75 square feet. As the building on the subject property has an equal number of office space on separate sides, the petitioner is attempting to improve the wayfinding on the property via directory signs. The petitioner proposes to remove an existing ground sign near the building and replace it with one larger ground sign near the subject property's entrances while having smaller directory signs on either side of the property (designated as Side A and Side B in the petitioner's proposed elevation). Sign 1 (nearest the street) is 50 square feet in size and 6 feet tall, both meeting the standards of a ground sign in a Manufacturing District. Sign 2 (Sign A) and Sign 3 (Sign B) both measure 17.33 square feet in size and 6 feet tall. In total, the petitioner proposes to erect three ground signs measuring 84.67 square feet. The petitioner also requests a text amendment to Section 55.10 of the Burr Ridge Sign Ordinance to list "directional blade sign" as an exempt sign. Exempt signs are those signs that require neither Village approval nor a permit to affix at a property; one such example are "no trespassing" or "beware of dog" signs. The purpose of this request is to permit the petitioner the ability to hang 3-square foot blade signs on the building of the subject property over the door of each tenant space. Each blade sign proposed would extend approximately 42 inches off the building and be approximately 18 inches in height, counting the blade sign arm, while measuring approximately 3 inches thick. As the petitioner is limited to three wall signs on the entirety of the building, the petitioner has worked with staff to identify low-impact methods to ensure that each tenant space can be identified outside of its address identification.

Chairman Trzupek asked for public comment. There was none.

Commissioner Irwin said he understood the premise of the petition but felt that the Village would not be well served by making blade signs exempt. Commissioner Irwin asked that the amendment be made to include these signs as conditional signs.

Commissioner Broline asked about sign maintenance. Mr. Price said that the signs would be removable based upon the tenant, and fully removed and plugged with putty if no sign was requested. Commissioner Broline said he supported the general premise of the petition.

Commissioner Parrella said that the signs looked dated and needed improvement in quality.

Commissioner Stratis said that the design of the ground signs was not very attractive and questioned the viability of the ground sign shown near the road. Commissioner Stratis asked if ground directional signs could be used in lieu of the present design. Mr. Price said they had experimented with ground signs but they became challenging to maintain with snow removal and otherwise were hard to see.

Commissioner Petrich asked if wall signs were an option for addresses. Mr. Walter said that address signs that were flush to the building and less than 25 square feet were exempt, and that the petition was different in that it requested blade signs that protruded from the building.

Commissioner Farrell said that the number of signs being requested on the subject property was very busy and objected to the petition.

Commissioner Hoch asked about the location of the ground signs. Mr. Walter explained that one would be placed by the road while two like signs would be placed on the north and south sides of the property to act as directory signage. Commissioner Hoch said that there were too many signs proposed for the subject property and wanted to see a different plan be put forward.

Chairman Trzupek said that the signs were not well designed and wanted to have the petitioner come back with another plan that was tighter. Chairman Trzupek agreed with the concept of allowing certain signs as conditional instead of exempt.

VII. FUTURE SCHEDULED MEETINGS

The next scheduled Plan Commission meetings were set for August 17, 2020 and September 21, 2020. Mr. Walter said that no meeting was scheduled for September 7, 2020 due to Labor Day.

VII. ADJOURNMENT

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Petrich to adjourn the meeting at 8:58p.m.

ROLL CALL VOTE was as follows:

AYES: 8 – Hoch, Petrich, Broline, Irwin, Stratis, Farrell, Parrella, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

Respectfully Submitted:

Evan Walter, Assistant Village Administrator

MINUTES
ECONOMIC DEVELOPMENT COMMITTEE MEETING
August 5, 2020

CALL TO ORDER: Mayor Gary Grasso called the meeting to order at 6:01 p.m. The meeting was held in person at the Village Hall.

ROLL CALL: **Present:** Mayor Gary Grasso, Trustee Tony Schiappa, Leslie Bowman, Mark Stangle, Debbie Hamilton, Ramzi Hassan, Bhagwan Sharma

Absent: Paul Stettin, Sam Odeh, Michael Simmons and Kirsten Jepsen

Also Present: Village Administrator Doug Pollock, Assistant Village Administrator Evan Walter, Communications & Public Relations Coordinator Janet Kowal, Management Analyst Andres Beltran, Edwards Realty Marketing Director Taylor Blagrave

MINUTES: A **MOTION** was made by Trustee Schiappa to approve the Minutes from the July 1, 2020 meeting. The **MOTION** was seconded by Mr. Stangle and approved by a vote of 8-0.

DISCUSSION OF BUSINESS LICENSE PROGRAM IMPLEMENTATION

Mayor Grasso asked Mr. Walter to give an update on the business license program implementation. Mr. Walter stated that in 2019, the EDC recommended and Board of Trustees approved creation of an annual business license program. This program was set to start in spring 2020 ahead of its May 1 enacting date, but was delayed due to the coronavirus pandemic temporarily shutting down many businesses. With most returning to some level of working capacity, Mayor Grasso has directed staff to restart the program, but that it be at no cost to businesses for the current fiscal year. As the Municipal Code sets the fee at \$100, the Village Board must approve any rebate of the fee. However, as part of the CARES Act, all business rebate programs implemented by the Village between March 15 and December 31, 2020 are reimbursable. This means the Village would experience no loss of revenue.

Mayor Grasso stated that being able to implement this program while adding no costs to the Village is a win for everyone. The Economic Development Committee also agreed that it sounded like a great action to take.

DISCUSSION OF LONG TERM VILLAGE CENTER STRATEGY

Mayor Grasso stated that at the last meeting he had asked Mr. Hassan to come back with more specifics on how to transform the Village Center. Mr. Hassan thanked Mayor Grasso and stated that with his presentation he wanted to get input from the Committee so as to have a collaborative vision going forward. He did note that between last month's meeting and this month, three more stores have declared bankruptcy: Jos. A Banks, New York and Company, and Loft.

Mr. Hassan presented an overview of the changes that would be needed to transform the Village Center. Improved signage along the Interstate, County Line Road, and Burr Ridge Parkway would help draw attention and people to the Center while improved wayfinding signage would help with finding parking and stores. In relation to parking, having a parking spots available sign, valet

parking for the Center in general, as well as mobile app parking services would improve the experience.

Mr. Hassan stated that activating the outdoor areas is another center of focus. Adding amenities for families and recreation in the Village Green as well as outdoor dining options and water features will help draw people to the Center and have them stay there longer. Finally, adding flexibility and agility to uses in the Center as well as making changes would help make it more viable.

Mayor Grasso asked the Committee if there were any comments on the presentation. The Committee was overall supportive. Ms. Bowman noted that along with the issues presented, logistical issues such as loading docks and truck access would also have to be looked at. Mr. Hassan stated that it was definitely something they were looking into as well down the road.

Mayor Grasso asked Mr. Hassan what other help the Village could provide. Mr. Hassan stated that the assistance in helping him navigate the Village processes was appreciated, but also stated that the Business District idea would be a large help not only to him but to help bring a cohesive feeling to the entire downtown once the TCF parcel starts development. The ability to cost-share with the Village would allow him to tackle bigger projects faster.

Mayor Grasso directed staff to put a report together for the next EDC meeting to start the discussion on the Business District.

OTHER CONSIDERATIONS

No other considerations were brought forward.

PUBLIC COMMENT

There were no public comments.

ADJOURNMENT

Trustee Schiappa made the **MOTION** to adjourn the meeting to September 2, 2020 at 5pm; **SECONDED** by Mr. Hassan. **APPROVED 8-0**. The meeting was adjourned at 7:23 p.m.

Respectfully submitted:

A handwritten signature in black ink, appearing to read "Andres Beltran". The signature is fluid and cursive, with the first name "Andres" and last name "Beltran" clearly distinguishable.

Andrez Beltran
Management Analyst

ORDINANCE NO. A- - -20

ORDINANCE AMENDING CHAPTER 38 (NUISANCES) TO REGULATE THE
TEMPORARY PLACEMENT OF ROLL-OFF CONTAINERS IN THE VILLAGE

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: That Chapter 38 of the Burr Ridge Municipal Code, as amended, be and is hereby further amended as per **Exhibit A** of this ordinance.

Section 2: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Deputy Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of August, 2020, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 10th day of August, 2020, by the Mayor of the Village of Burr Ridge.

Mayor

Deputy Village Clerk

Chapter 38

Article VII – Roll-Off Containers

Sec. 38.34 Applicability

The restrictions imposed herein shall apply to all roll-off containers or any other containers in excess of one cubic yard used for the collection and storage of construction and demolition debris, or any similar obstruction placed on private property, any public street, public sidewalk, or public alley at any time, or moved across public right-of-way for placement on private property. Henceforth in this Article, all applicable containers shall be referred to as roll-off containers.

Sec. 38.35 Permit Not Required

A Permit is not required for any roll-off container covered in this Article.

Sec. 38.36 Time limit

A roll-off container may not exceed 10 days at a property without a 14-day interval between placements. If the roll-off containers use is in conjunction with a project for which a building permit has been issued by the Village, this Article does not apply.

Sec. 38.37 Location and Placement.

- (a) All roll-off containers shall be located on private property, except when it is not possible to place a roll-off container on private property; a maximum 30-yard roll-off container may be placed in the street in accordance with the provisions of this Article.
- (b) Roll-off containers exceeding 30 cubic yards are strictly prohibited from being located within the village. Freight containers are strictly prohibited from being located within the village. The placement of roll-off containers on public alleys or parkways is strictly prohibited.
- (c) No roll-off container shall be allowed to be placed in any manner so as to block any public street, sidewalk, or alley for use by vehicles, pedestrians, or bicycles. No such roll-off container shall be allowed to be placed within 15 feet from the corner of any street or alley.
- (d) When a roll-off container will be located on a street where there is parking on the opposite side of the street, the property owner shall provide flashing barricades in the street parking areas on the side opposite from where the roll-off container will be placed, to ensure adequate space for vehicular passage.
- (e) The property owner shall ensure that the placement of the roll-off container does not interfere with snow removal, street cleaning, or public improvements.
- (f) Roll-off containers shall have no signage other than the name, address and telephone number of the person or firm engaged in the business of renting or otherwise placing the roll-off container.
- (g) Roll-off containers shall be maintained in a good state of repair, free from rust, peeling paint and other forms of visible deterioration.

Sec 38.38 Care of Public Right-of-Way.

(a) The owner or authorized agent of any property with a roll-off container or other container located on a public street shall place or cause a flashing barricade to be placed on either side of the roll-off container.

(b) Any roll-off container or delivery truck delivering a roll-off container traversing the public parkway shall have padding, plywood, or a like material placed under the truck or roll-off container to prevent damage to or depressions in the public parkway.

(c) The property owner using the roll-off container is responsible for any damage to the public right-of-way. In the event of damage to the public right-of-way, the Village Engineer shall estimate, or cause an estimate to be made of the cost to repair the damage; and the property owner will be notified of the cost of repair. Failure of the property owner to pay the cost to repair the damage within 30 days of receipt of the estimate of the cost of repair shall be punishable by a fine in the amount of \$750.00.

ORDINANCE NO. A-834- -20

AN ORDINANCE GRANTING A SPECIAL USE TO PERMIT OUTDOOR DINING
AT AN EXISTING RESTAURANT IN THE B-2 BUSINESS DISTRICT

(Z-10-2020: 16W561 South Frontage Road - Falco's Pizza)

WHEREAS, an application for a special use for certain real estate has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on July 20, 2020, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for the special use, including its findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of the special use indicated herein is in the public good, in the best interests of the Village of Burr Ridge and its residents, and is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 16W561 South Frontage Road, Burr Ridge, Illinois, is Lynn Falco o/b/o Falco's Pizza (hereinafter "Petitioner"). The Petitioner requests a special use to permit outdoor dining at an existing restaurant in the B-2 Business District.
- B. That the amendment will not detract from the public health, safety, morals, comfort, or general welfare.
- C. That the amendment will not adversely impact any adjacent properties.
- D. That the amendment will allow the petitioner to bring a necessary service to the residents of the Village.
- E. That the site plan of the property is adequate for the use.
- F. That adequate traffic facilities are present on or adjacent to the property.

- G. That the use is not contrary to the objectives of the Official Comprehensive Plan.
- H. That the amendment will otherwise conform to the applicable regulations of the Zoning Ordinance.

Section 3: That the special use to permit outdoor dining at an existing restaurant in the B-2 Business District is **hereby granted** for the property commonly known as 16W561 South Frontage Road and identified by the Permanent Real Estate Index Number of: **09-35-400-020.**

Section 4: That approval of the special use shall be subject to the following conditions:

1. The special use is limited to the submitted site plan at 16W561 South Frontage Road hereinafter known as **Exhibit A**; the special use shall be null and void if the owners of the restaurant cease to operate Falco's Pizza at the subject property.
2. All fences surrounding the outdoor seating area shall have matching elevations and colors.
3. All furniture shall be removed during the winter season (November 1-March 1) and be covered and stored in the rear of the property if stored on site.
4. There shall be no advertising, signs, or leaflets on the tables, chairs, fences, umbrellas (aside from the business' own branding or logos) or railings.
5. A self-closing gate shall be provided for the outdoor dining area.
6. No outdoor food preparation is permitted.
7. Tables shall be cleaned promptly after use.
8. The outdoor dining area shall have business hours of 11:00am-10:30pm on Sunday-Thursday and 11am-midnight on Friday-Saturday.
9. Staff is directed to work with the petitioner to establish proper location of ledgestone on the subject property for the purpose of traffic control and protection.
10. Failure to comply with these regulations shall deem this special use approval null and void.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Deputy Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of August, 2020, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge on this 10th day of August, 2020.

Mayor

ATTEST:

Deputy Village Clerk

FALCO'S PIZZA & BAR OUTDOOR PATIO

LANDSCAPE LIST:

| | | |
|------|------------------------------------|---|
| "GG" | GREEN GIANT ARBORVITAE | 8 |
| "KO" | DOUBLE KNOCK OUT ROSES-RED | 8 |
| "SA" | SALVIA - 1 GALLON | 6 |
| "CT" | PRAIRIE FIRE CRAB TREE -6FT | 2 |
| "JM" | JAPANESE MAPLE - 4FT | 1 |
| "OG" | PETITE ORNAMENTAL TALLGRAS- HAMELN | 6 |

LEDGESTONES WILL BE INSTALLED AND STACKED TO A HEIGHT OF 24" ABOVE GRADE TO PROVIDE VEHICULAR PROTECTION AT CORNER AND ENDS SIZE AND LAYOUT TO BE DETERMINED IN FIELD.

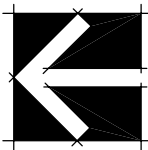
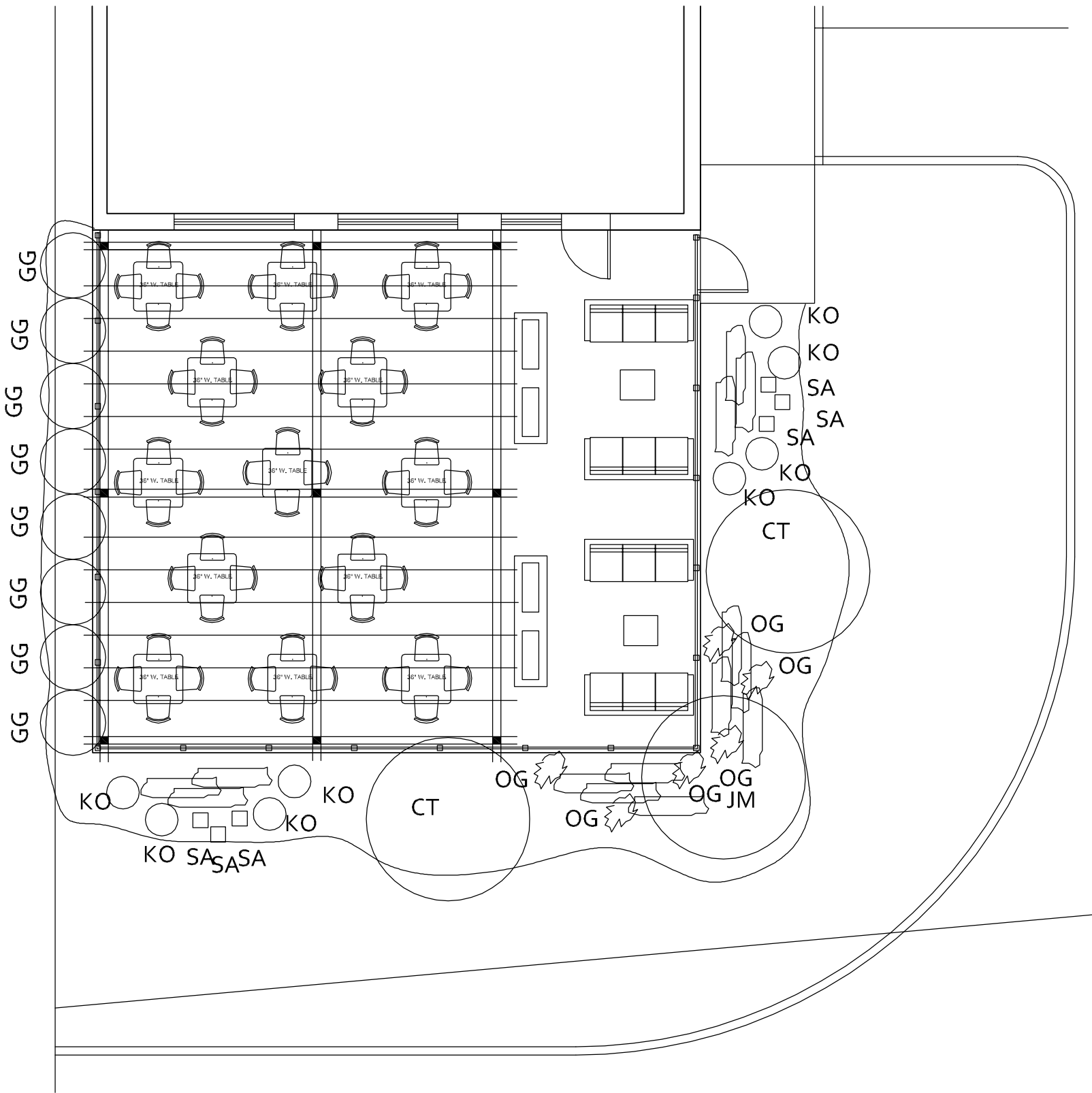
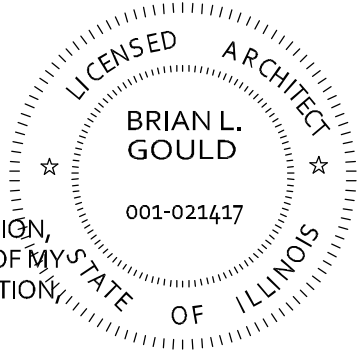
BUILDING CODE ANALYSIS

- ☐ International Building Code (IBC), 2012 Edition
- ☐ International Mechanical Code (IMC), 2012 Edition
- ☐ International Fuel Gas Code (IFGC), 2012 Edition
- ☐ International Energy Conservation Code (IECC), 2012 Edition
- ☐ Illinois State Plumbing Code (ISPC), Latest Edition as mandated by the State of Illinois
- ☐ International Plumbing Code (IPC), 2012 Edition
- ☐ International Fire Code (IFC), 2012 Edition
- ☐ International Wildland-Urban Interface Code 2012
- ☐ NFPA 70, National Electric Code (NEC), 2011 Edition
- ☐ NFPA 101, Life Safety Code (NFPA 101), 2012 Edition
- ☐ Illinois Accessibility Code (IAC), Latest Edition as mandated by the State of Illinois
- ☐ International Existing Building Code, 2012 Edition

STATEMENT OF COMPLIANCE

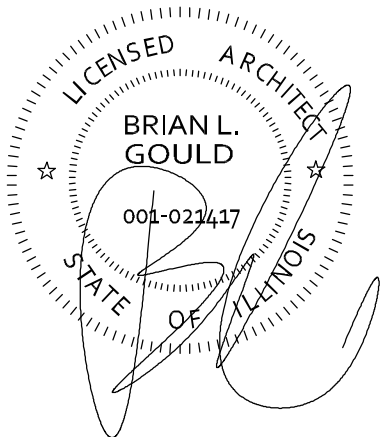
I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE CODES LISTED IN THE BUILDING CODE ANALYSIS

SIGNED: _____



A LANDSCAPE/SEATING PLAN
1/8" = 1'-0"

FALCO'S PIZZA & BAR OUTDOOR PATIO

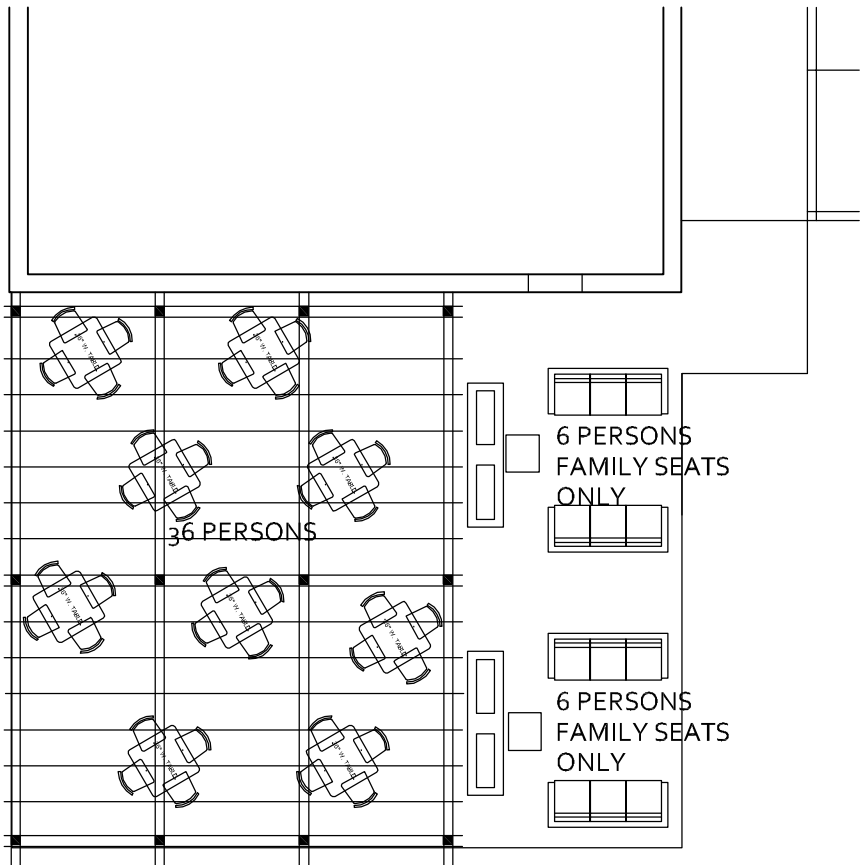
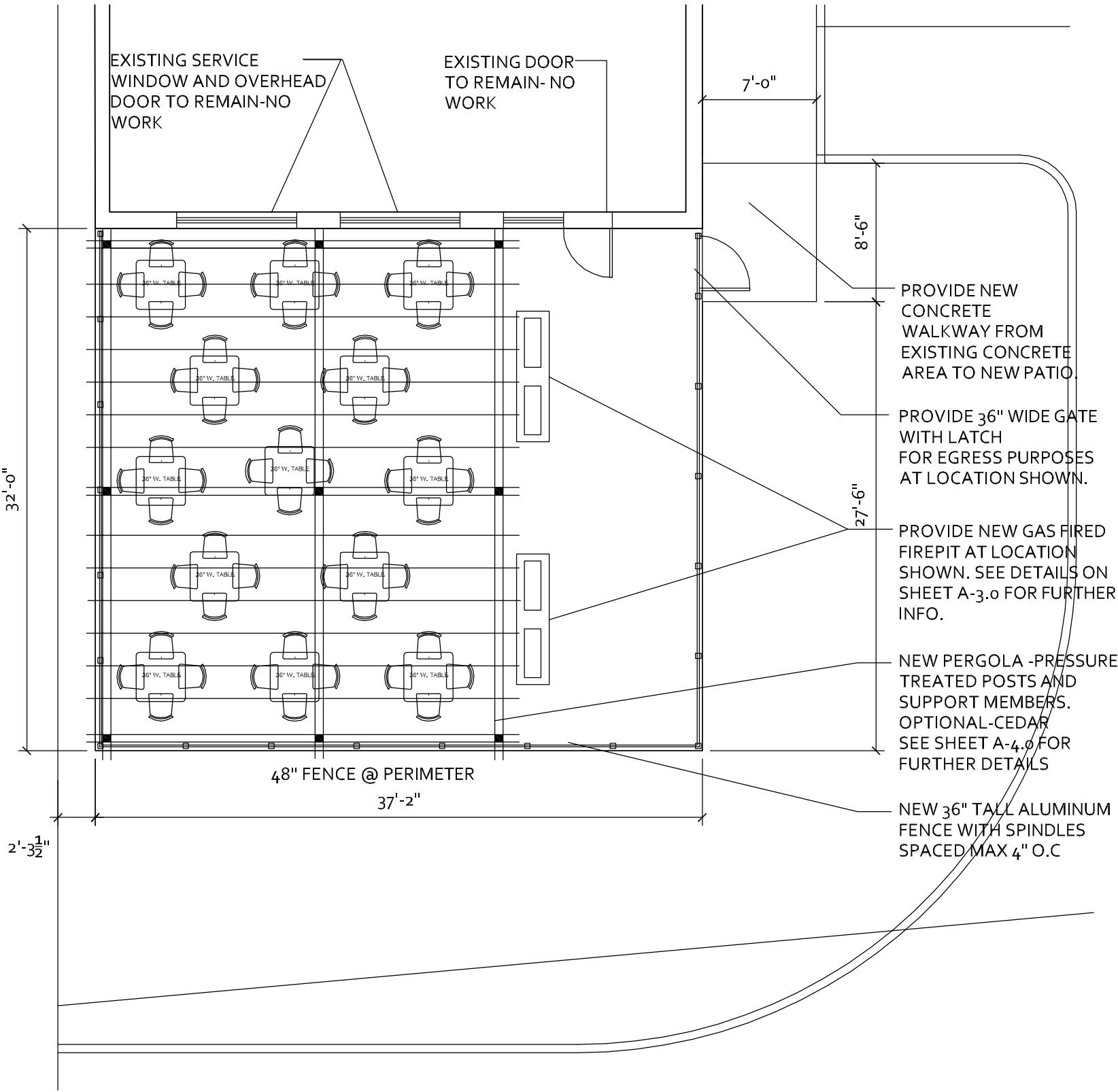


PARKING INFO:
45 CARS EXIST CURRENTLY
25 ADDITIONAL CARS AVAILABLE
TOTAL : 70 CARS

OCCUPANCY COUNT:

126 TOTAL OCCUPANTS INSIDE -EXISTING
PROPOSED PATIO :
52 PERSONS (TABLES & CHAIRS)
12 PERSONS - LOUNGE SEATING
SUBTOTAL : 64 PERSONS
TOTAL : 190 PERSONS

2018 IPC
GIVEN EXISTING
MEN'S/WOMEN'S
RESTROOM FACILITY
200 PERSONS MAX
ALLOWED



1 TEMP LAYOUT-COVID
3/32" = 1'-0"

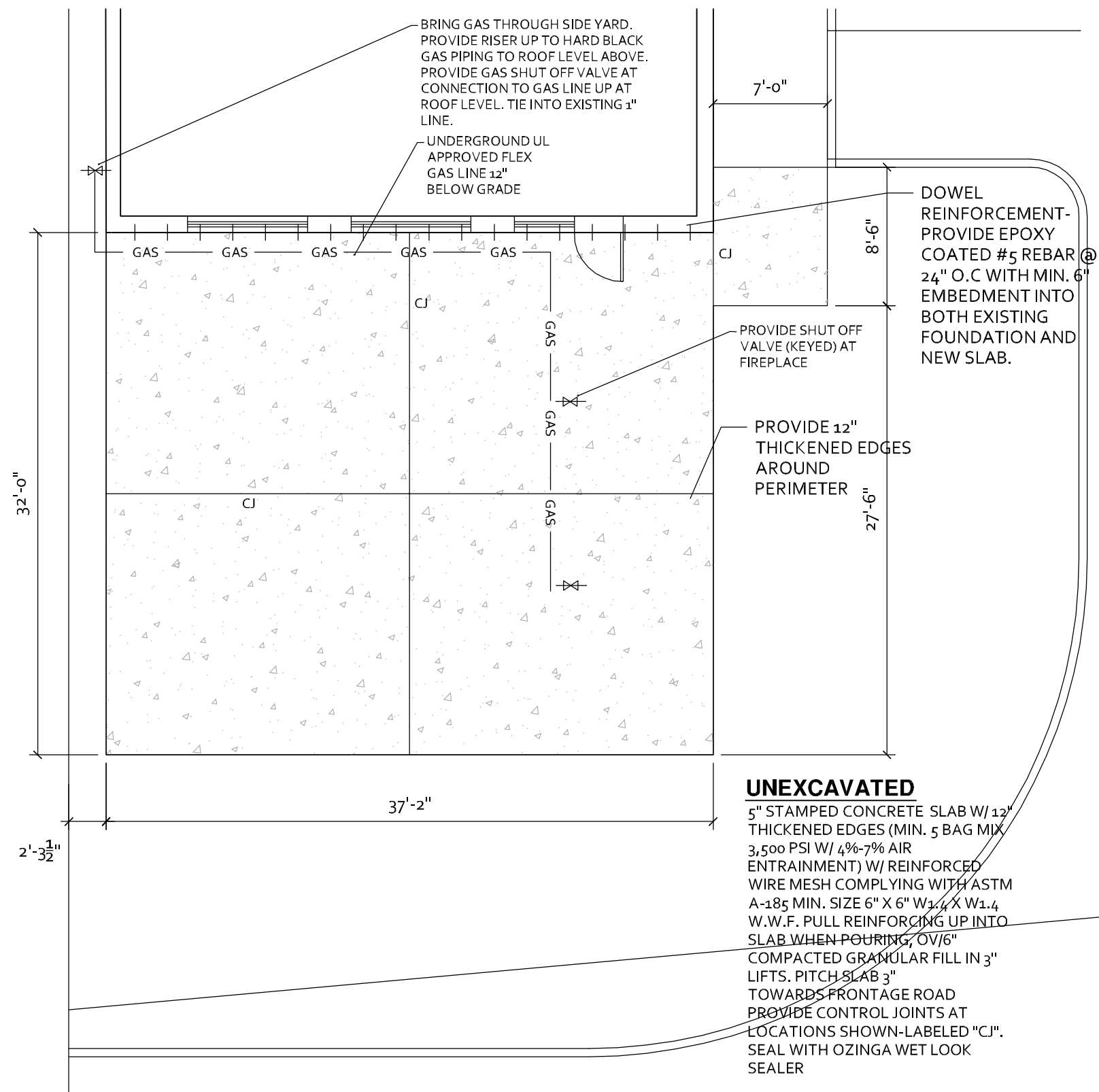
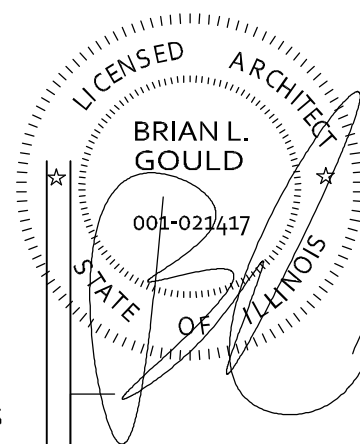
A PATIO DESIGN
1/8" = 1'-0"



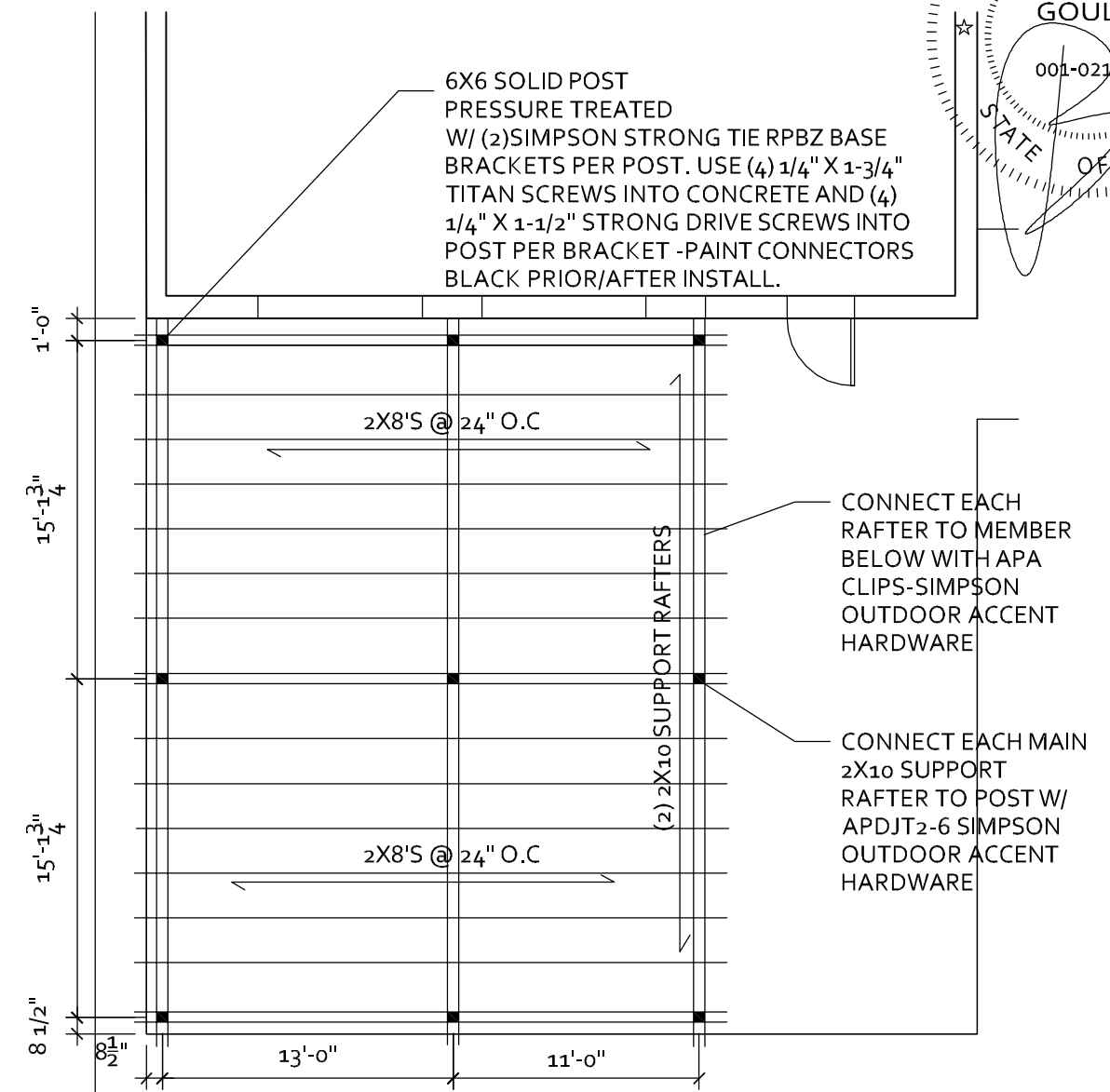
BAR DESIGN & ARCHITECTURE

ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281

FALCO'S PIZZA & BAR OUTDOOR PATIO



A FOUNDATION DESIGN
1/8" = 1'-0"

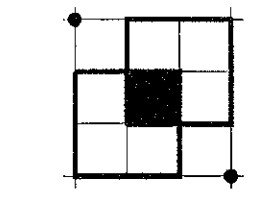


B PERGOLA DESIGN
1/8" = 1'-0"



BR DESIGN & ARCHITECTURE

ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281



LIST OF ABBREVIATIONS

| | | | | | |
|----------|--------------------|--------|--|-------|------------------------|
| AB | Anchor Bolt | FIN | Furnish & Install | PROV | Provide |
| ACOUS | Acoustical | FLR | Floor | PBF | Pounds Per Square Foot |
| ADJ | Adjacent | FDN | Foundation | PSI | Pounds Per Square Inch |
| AFF | Above Finish Floor | FFPB | Fire Proof Hose-Bib | PT | Paint |
| ANOD | Anodized | FRT | Fire Retardant Treated | PVMT | Pavement |
| AT | Acoustical Tile | FTG | Footing | QT | Quarry Tile |
| B/D | Bottom of | GA | Gauge | RENF | Reinforcing |
| BD | Board | GALV | Galvanized | REQD | Required |
| BIT | Bituminous | GB | Gypsum Board | RM | Room |
| BKGS | Blocking | GC | General Contractor | RN | Sanitary |
| BLDG | Building | GL | Glass | SCHD | Schedule |
| BM | Beam | GRAN | Granular | SECT | Section |
| BOT | Bottom | GYP BD | Gypsum Board | SFT | Square Foot |
| BRDG | Bridging | GTP | Gypsum | SH | Sheet |
| BRG | Bearing | H | High | SLV | Short Leg Vertical |
| CONC BLK | Concrete Block | HC | Handicapped | STD | Standard |
| CLG | Ceiling | HM | Hollow Metal | STL | Steel |
| CLR | Clear | HORIZ | Horizontal | SS | Stainless Steel |
| CPT | Carpet | HP | High Point | SUSP | Suspended |
| COL | Column | HVAC | Heating, Ventilating, Air Conditioning | T | Top of |
| COMP | Compact | HW | Hot Water | TEMP | Tempered |
| CONC | Concrete | INSUL | Insulation | TOP | Top of |
| CONST | Construction | INT | Interior | TJ | T-Joint |
| CONT JT | Control Joint | IST | Just | TYP | Typical |
| CONTR | Contractor | JT | Joint | UNO | Unless Noted Otherwise |
| CORR | Corrugated | LAV | Lavatory | VCT | Vinyl Composition Tile |
| CT | Control Joint | LG | Long Leg Vertical | VERT | Vertical |
| CTJ | Control Joint | LLV | Low Leg Vertical | VWC | Vinyl Wall Covering |
| CW | Cold Water | LP | Low Point | WC | Water Closet |
| DBL | Double | MAX | Maximum | WD | Wood |
| DET | Detail | MFR | Manufacturer | WH | Water Heater |
| DIA | Diameter | MN | Minimum | WMF | Welded Wire Fabric |
| Ds | Ditto | MO | Masonry Opening | WINDW | Window |
| DR | Door | MAS | Masonry | | |
| DWG | Drawing | MTL | Metal | | |
| EA | Each | NC | Not in Contract | | |
| ET | Expansion Joint | OVHD | Overhead | | |
| ELEC | Electrical | OPNG | Opening | | |
| ELEV | Elevation | PART | Partition | | |
| EQ | Equal | PC | Precast | | |
| EQU | Equal | PERIM | Perimeter | | |
| EW | Electrical Water | PL | Plate | | |
| EXIST | Existing | PLUMB | Plumbing | | |
| EXP | Expansion | PPT | Pressure Preservative Treated | | |
| EXP JT | Expansion Joint | PREFN | Prefinished | | |
| EXT | Exterior | | | | |

RECEIVED

JUL 06 2020

VILLAGE OF BURR RIDGE

CONSTRUCTION DATA

| | |
|--|---|
| BUILDING CODE: | 2012 INTERNATIONAL BUILDING CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FUEL GAS CODE 2012 INTERNATIONAL ENERGY CONSERVATION CODE ILLINOIS STATE PLUMBING CODE, LATEST EDITION AS MANDATED BY THE STATE OF ILLINOIS 2012 INTERNATIONAL PLUMBING CODE INTERNATIONAL WILD-URBAN INTERFACE CODE 2012 NFPA 70 NATIONAL ELECTRIC CODE 2012 NFPA 101 LIFE SAFETY CODE ILLINOIS ACCESSIBILITY CODE, LATEST EDITION AS MANDATED BY THE STATE OF ILLINOIS 2012 INTERNATIONAL EXISTING BUILDING CODE VILLAGE OF BURR RIDGE BUILDING ORDINANCE #124, INCLUDING MECELANEOUS AMENDMENTS TO THE ABOVE LISTED MODEL CODES LISTED IN ARTICLE VI VILLAGE OF BURR RIDGE ZONING ORDINANCE #934 VILLAGE OF BURR RIDGE ZONING MUNICIPAL CODE, CHAPTER 8 STORMWATER MANAGEMENT |
| CONSTRUCTION TYPE: | TYPE 2B NON-COMBUSTIBLE |
| EGRESS TRAVEL: | 200'-0" |
| OCCUPANCY TYPE: | ASSEMBLY GROUP A-2 |
| OCCUPANCY LOAD: | ASSEMBLY UNCONCENTRATED DINING ROOM AND KITCHEN IS NET / 3,317 S.F. = 221 P MSC SPACES (TLT RMS, COORDORS) 200 GROSS / 646 S.F. = 3 P TOTAL OCCUPANCY 224 P |
| OCCUPANCY LOAD: | DINING ROOM AND BAR AREA = 10 P EMPLOYEES = 5 P NEW OUTDOOR PATIO AND LOUNGE AREA = 64 P TOTAL OCCUPANCY 179 P |
| PARKING PROVIDED: | 45 CARS |
| ADDITIONAL AUX PARKING TO THE SOUTH OF SITE: | 25 CARS |
| TOTAL PARKING PROVIDED: | 70 CARS |

INDEX TO DRAWINGS

| SHT. NO. | DESCRIPTION | PREPARED BY |
|----------|--|--|
| A-1 | GENERAL CONSTRUCTION NOTES, SITE PLAN AND BUILDING ELEVATION | DM+S ARCHITECTS, P.C. FIRM REGISTRATION NO. 184-004004 I bear by certify that these plans were prepared by me or under my supervision and to the best of my knowledge complies with all applicable codes and with all provisions of the Illinois Accessibility Code and Environmental Barriers Act. The seal affixed below pertains to Construction Documents A-1 & A-2 Dated 7-10-20 Date Sealed 7-10-20 |
| A-2 | FLOOR PLAN, WALL SECTIONS AND MEC DETAILS | ROBERT J. SEBAK 001-013455 Illinois Licensed Architect License Expires 1-30-20 (NOT VALID UNLESS SIGNED & SEALED IN RED) |

PLUMBING FIXTURES REQUIRED

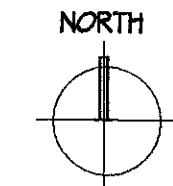
| <u>OCCUPANT LOAD</u> | <u>AREA</u> | <u>PERSON/S.F.</u> | <u>TOTAL PEOPLE</u> |
|--|-----------------------|--------------------------|---------------------|
| DINING RM / KIT | 3,963 S.F. | 130 | 82 |
| OUTDOOR PATIO | 1,091 S.F. | | 64 |
| TOTAL | 5,052 S.F. | | 146 |
| <u>FIXTURES REQUIRED</u> | <u>FIXTURES REQD.</u> | <u>EXISTING FIXTURES</u> | |
| WATER CLOSETS | 1 (M) 2 (F) | 1 (M) 2 (F) | |
| URINALS | 0 | 1 | |
| LAVATORIES | 1 (M) 1 (F) | 1 (M) 1 (F) | |
| DRINKING FOUNTAINS | 1 | 0 | |
| <u>FIXTURES REQUIRED BY CODE:</u> | | | |
| WC - 1 per 100 PEOPLE FOR MALE | | | |
| WC - 2 per 500 PEOPLE FOR FEMALE | | | |
| LAV - 1 per 100 PEOPLE EACH FOR BOTH MALE & FEMALE | | | |

CONSTRUCTION NOTES

- ALL CONTRACTORS TO VERIFY ALL CONDITIONS, DIMENSIONS, AND MATERIALS BEFORE PROCEEDING WITH WORK AND ANY DISCREPANCIES TO THE OWNER, ARCHITECT, GENERAL CONTR. AND SHALL BE RESPONSIBLE FOR THE SAME.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER IN STRICT ACCORDANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES OF THE VILLAGE OF BURR RIDGE.
- SCALE FOR THE DRAWINGS IS FOR GENERAL INFORMATION ONLY. LOCATION AND DIMENSIONS SHALL BE TAKEN AS SHOWN AND IS NOT TO BE SCALED.
- THE CONTRACTOR ALONG WITH ANY NECESSARY SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE AND THE LOCAL CONDITIONS AND VERIFY ALL DATA PERTAINING TO THE EXISTING CONDITIONS AND THEIR RELATION TO THE NEW WORK.
- IF ANY CONFLICTS EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS THE ARCHITECT SHALL BE CONTACTED IN ORDER TO CLARIFY THE CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FALSE ASSUMPTIONS MADE BY HIMSELF OR ANY SUBCONTRACTORS.
- THE CONTRACTOR TO SUBMIT TO THE GENERAL CONTRACTOR A CERTIFICATE OF INSURANCE LISTING THE OWNER AND THE ARCHITECT AS ADDITIONAL BUREAU.
- GENERAL CONTRACTOR TO SUPPLY ALL NECESSARY LABOR, MATERIALS, PERMITS, TOOLS, FEES, UTILITIES, EQUIPMENT, TRANSPORTATION, INSURANCE, SUPERVISION, TEMPORARY CONSTRUCTION PROTECTION, AND ANY OTHER SERVICES AND FACILITIES REQD TO PROPERLY PERFORM THE WORK AND COMPLETE THE PROJECT.
- GENERAL CONTRACTOR SHALL EXERCISE REASONABLE CARE TO AVOID DAMAGE TO EXISTING CONSTRUCTION OUTSIDE THE LIMITS OF THE WORK. WHENEVER EXISTING CONSTRUCTION OUTSIDE THE LIMITS OF WORK IS DISTURBED, THE GENERAL CONTRACTOR SHALL FULLY RESTORE THE DISTURBED PORTION TO ITS ORIGINAL CONDITION.
- CONTRACTOR TO PROVIDE ALL NECESSARY PROTECTION AND ADHERE TO SAFETY PRECAUTIONS AS SPECIFIED BY THE STATE OF ILLINOIS DEPARTMENT OF LABOR SAFETY DIVISION.
- CONTRACTORS TO REMOVE ALL RUBBISH PERTAINING TO THEIR WORK.
- THE DRAWINGS DO NOT LOCATE OR NOTE ALL EXISTING UNDERGROUND UTILITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF ANY UNDERGROUND UTILITIES. THE CONTRACTOR SHALL EXERCISE REASONABLE CARE DURING EXCAVATION TO INSURE THAT EXISTING UTILITIES ARE NOT DAMAGED.
- THE DRAWINGS AND SPECIFICATIONS ARE "CONTRACT DOCUMENTS" AND INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL CONSTRUCTION. THE DIMENSIONS OF THE PROJECT, THE MAJOR ARCHITECTURAL AND STRUCTURAL DETAILS ON THE BASIS OF THE DESIGN INDICATED OR DESCRIBED. THE GENERAL CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- WOOD TRIM PROFILE DIMENSIONS AND FINISH AS SELECTED BY OWNER.

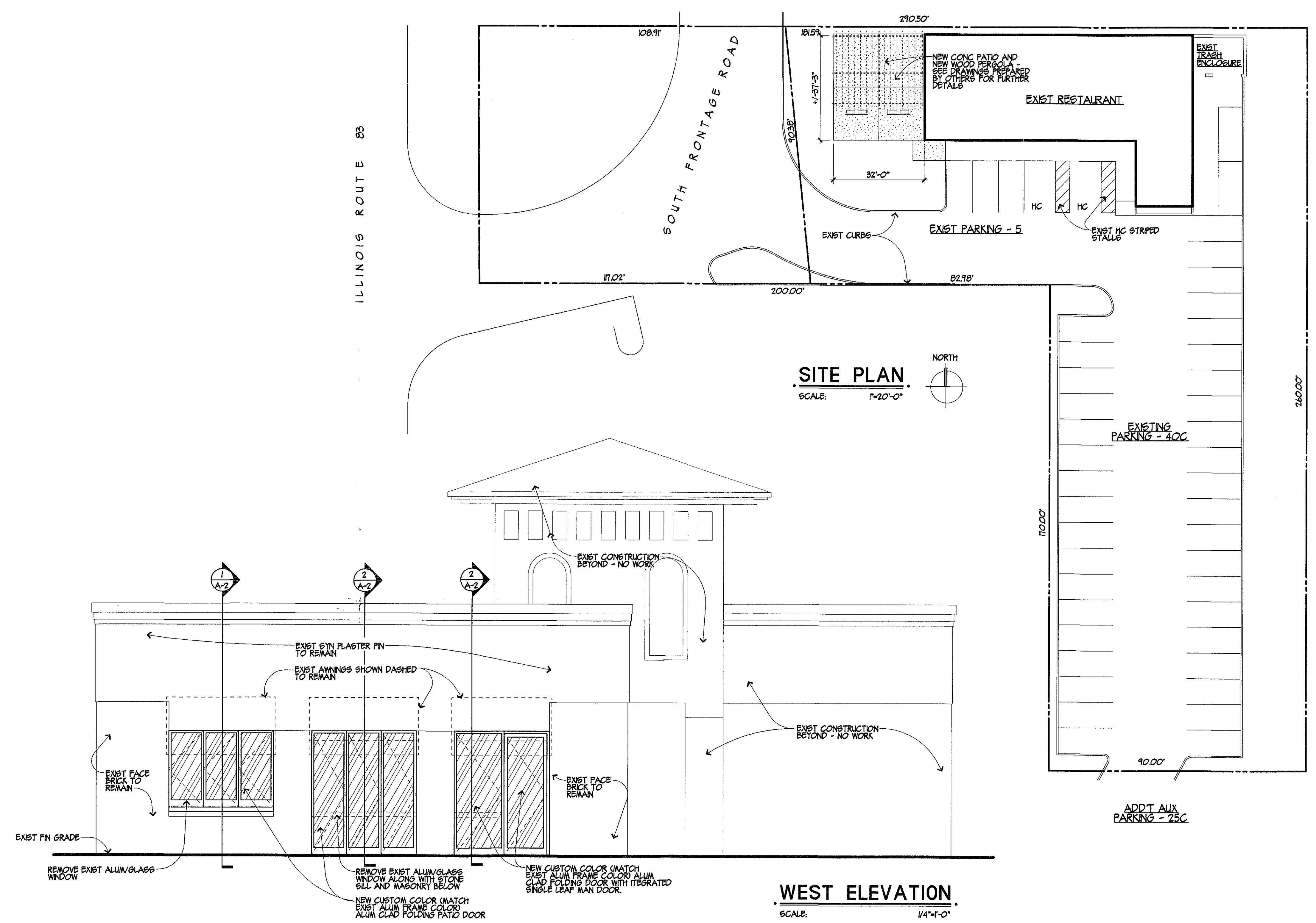
SITE PLAN

SCALE: 1"=20'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"



DM+S ARCHITECTS, P.C.
117 HEATH PLACE
WESTMONT, ILLINOIS
630-863-6406
630-863-6418 FAX

NEW PATIO AND WINDOW RENOVATIONS FOR:
FALCO'S PIZZA

DRAWING HISTORY:
6-24-20
IN PROGRESS
ISSUED FOR BUILDING PERMIT 7-10-20

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE WORK OF ANY OTHER CONTRACTOR OR SUBCONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE WORK OF ANY OTHER CONTRACTOR OR SUBCONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE WORK OF ANY OTHER CONTRACTOR OR SUBCONTRACTOR.

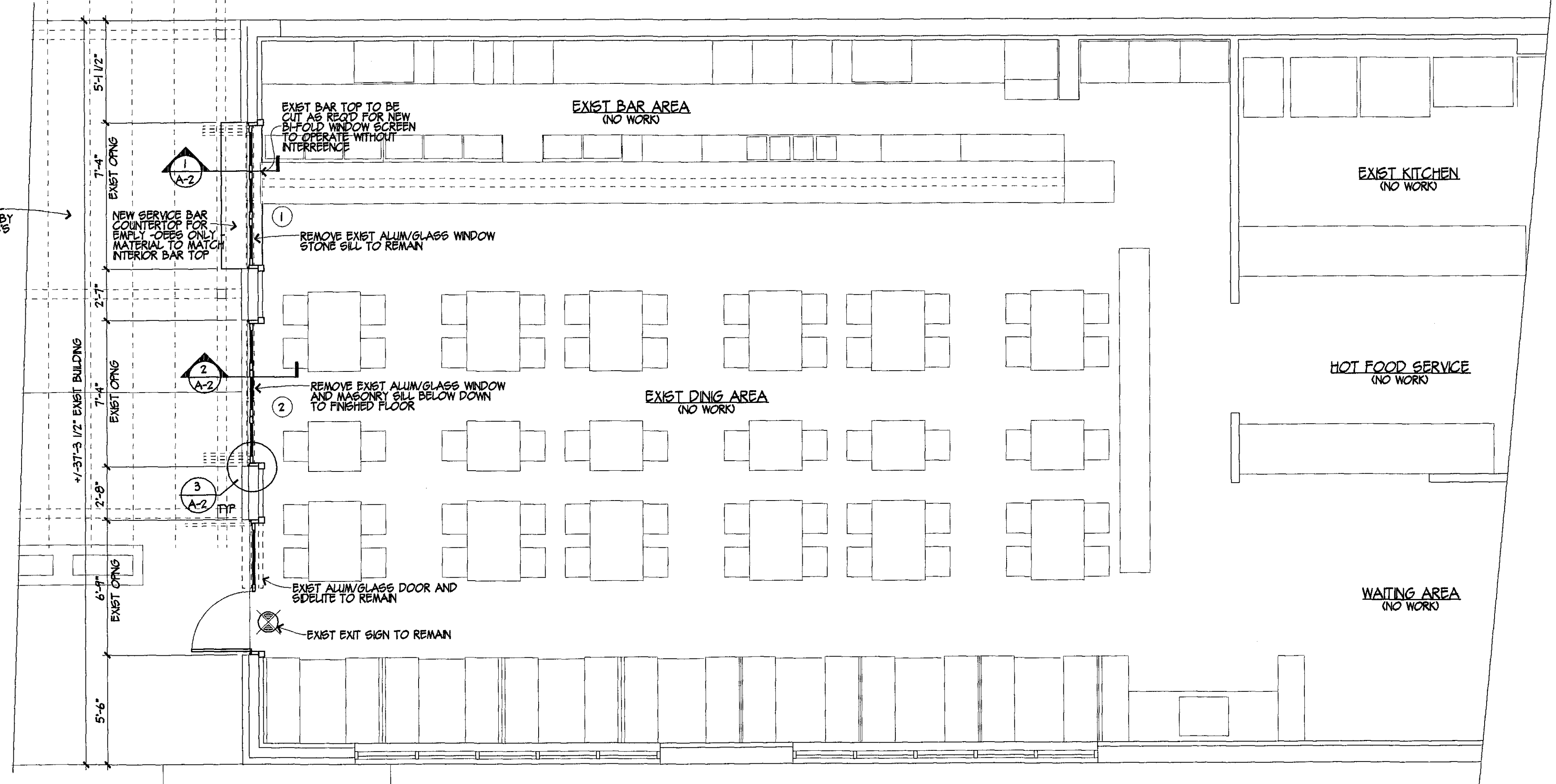
COPYRIGHT © 2020
DM+S Architects, P.C.
THE ARCHITECTURAL DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE THE SOLE PROPERTY OF DM+S ARCHITECTS, P.C. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DM+S ARCHITECTS, P.C.

DOOR SCHEDULE

- DOOR 1:** • MARVIN ULTIMATE BI-FOLD DOOR W/ PREFINISHED CLAD EXTERIOR EXTERIOR COLOR TO MATCH EXISTING ALUMINUM FRAME. INTERIOR STAIN COLOR AS SELECTED BY OWNER.
• NUMBER OF LEAFS PER MANUF SPEC'S. SEE FLOOR FOR LEAF STACKING SIDE OF OPENING.
• GLAZING TO BE INSULATING PANE LOW E2 ARGON. GLAZING TO MEET U-4.5 AND SHGC=40. GLASS COLOR AS SELECTED BY OWNER.
• FLOOR CHANNEL SILL. COLOR AS SELECTED BY OWNER.
• SCREEN - COMPLETE W/ ALL REQD FRAMES, TRACKS AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF SCREENING AND FRAME AS SELECTED BY OWNER.
• PROVIDE ALL REQD WEATHERSTRIPPING AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF HARDWARE AS SELECTED BY OWNER.
- DOOR 2:** • MARVIN ULTIMATE BI-FOLD DOOR W/ PREFINISHED CLAD EXTERIOR EXTERIOR COLOR TO MATCH EXISTING ALUMINUM FRAME. INTERIOR STAIN COLOR AS SELECTED BY OWNER.
• NUMBER OF LEAFS PER MANUF SPEC'S. SEE FLOOR FOR LEAF STACKING SIDE OF OPENING.
• GLAZING TO BE INSULATING PANE LOW E2 ARGON. GLAZING TO MEET U-4.5 AND SHGC=40. GLASS COLOR AS SELECTED BY OWNER.
• LOW PROFILE SILL. COLOR AS SELECTED BY OWNER.
• SCREEN - COMPLETE W/ ALL REQD FRAMES, TRACKS AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF SCREENING AND FRAME AS SELECTED BY OWNER.
• PROVIDE ALL REQD WEATHERSTRIPPING AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF HARDWARE AS SELECTED BY OWNER.

- DOOR 3:** • MARVIN ULTIMATE BI-FOLD DOOR W/ PREFINISHED CLAD EXTERIOR EXTERIOR COLOR TO MATCH EXISTING ALUMINUM FRAME. INTERIOR STAIN COLOR AS SELECTED BY OWNER.
• PROVIDE 3'-0" x 7'-0" DOOR FOR EXISTING AS SHOWN ON FLOOR PLAN.
• GLAZING TO BE INSULATING PANE LOW E2 ARGON. GLAZING TO MEET U-4.5 AND SHGC=40. GLASS COLOR AS SELECTED BY OWNER.
• LOW PROFILE SILL. COLOR AS SELECTED BY OWNER.
• PROVIDE LEVER HANDLE ON BOTH SIDES OF DOOR. COLOR AS SELECTED BY OWNER.
• SCREEN - COMPLETE W/ ALL REQD FRAMES, TRACKS AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF SCREENING AND FRAME AS SELECTED BY OWNER.
• PROVIDE ALL REQD WEATHERSTRIPPING AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF HARDWARE AS SELECTED BY OWNER.

NEW PATIO AND PERGOLA
SEE DRAWINGS PREPARED BY
OTHERS FOR FURTHER DTL'S

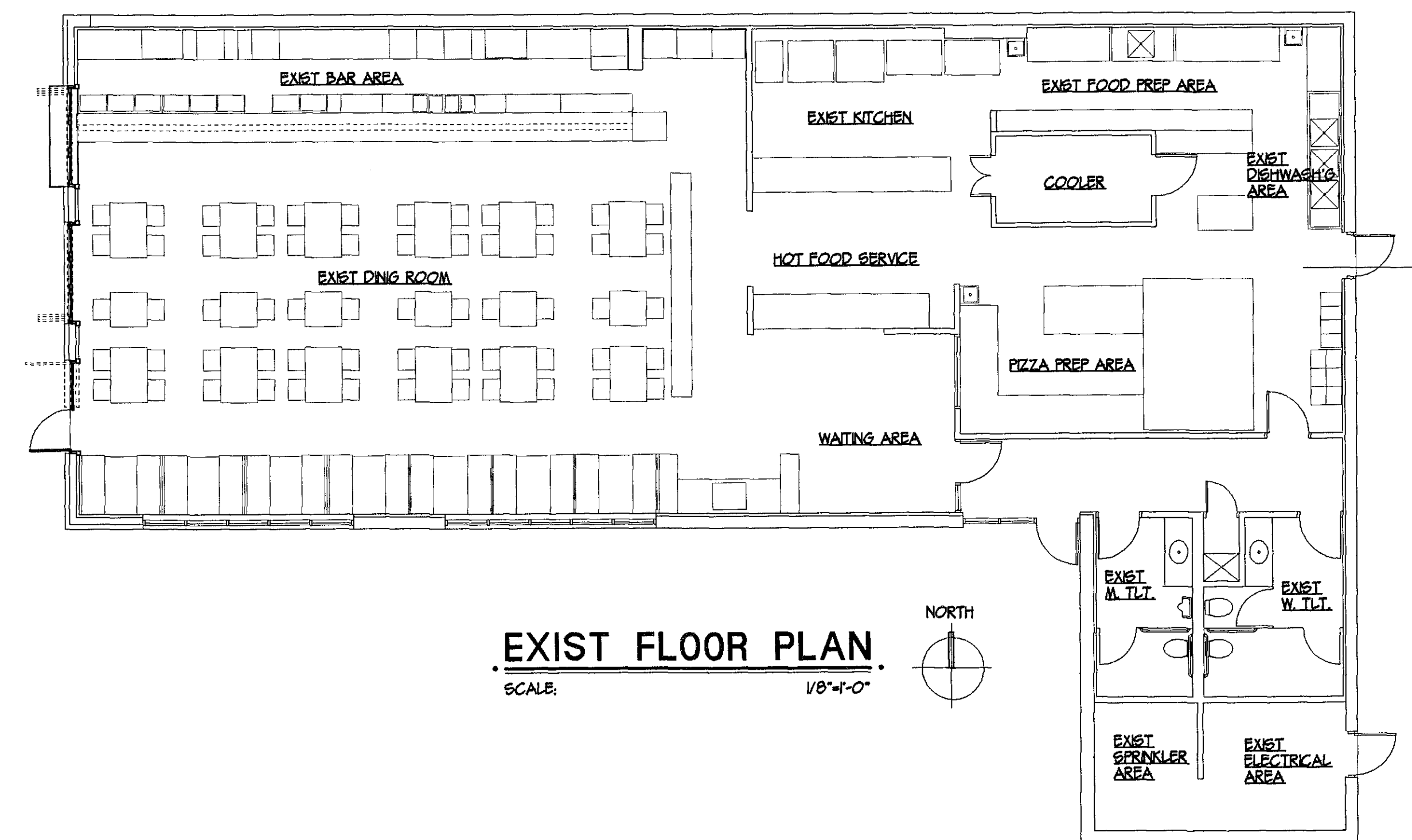


PART. FLOOR PLAN

SCALE: 1/4"=1'-0"

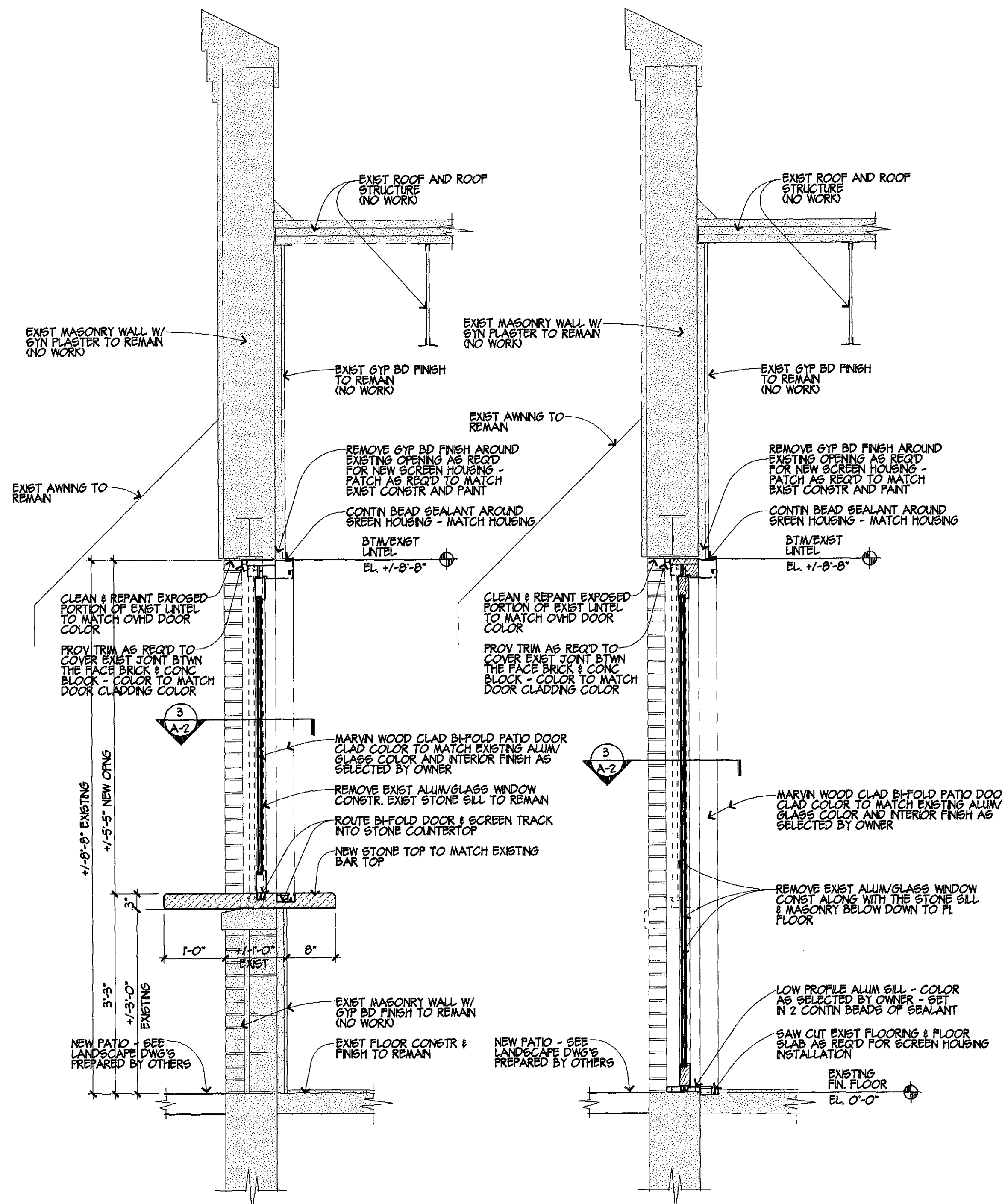
KEY

- EXIST CONSTRUCTION TO REMAIN
- - - EXIST CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION



EXIST FLOOR PLAN

SCALE: 1/8"=1'-0"



WALL SECTION 1

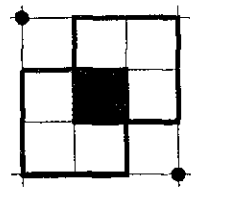
SCALE: 3/4"=1'-0"

WALL SECTION 2

SCALE: 3/4"=1'-0"

JAMB DTL.

SCALE: 1"=1'-0"



DM+S ARCHITECTS, P.C.
117 WESTMONT PLACE
WESTMONT, ILLINOIS
630-983-8408
630-983-0418 FAX

NEW PATIO AND WINDOW RENOVATIONS FOR
FALCO'S PIZZA
561 S. FRONTAGE ROAD
BARR RIDGE, ILLINOIS

DRAWING HISTORY:
NO. 1
PROJECT NO. 2004
DATE: JULY 10, 2020
BY: RS
CHECKED: RS

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

COPYRIGHT © 2020
DM+S Architects, P.C.
THE ARCHITECTURAL DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE THE PROPERTY OF DM+S ARCHITECTS, P.C. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DM+S ARCHITECTS, P.C.

PROJECT NO. 2004
DATE: JULY 10, 2020
BY: RS
CHECKED: RS
FALCO'S PIZZA
SHEET NO. 4

A-2
2 OF 2

DO NOT SCALE DRAWINGS

ORDINANCE NO. A-222- -20

ORDINANCE AMENDING SECTION 25.09 OF CHAPTER 25
(LIQUOR CONTROL) OF THE BURR RIDGE MUNICIPAL CODE
(CLASS K LIQUOR LICENSES)

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and Du Page Counties, Illinois, as follows:

Section 1: That the last paragraph of Section 25.09 of Chapter 25 of the Burr Ridge Municipal Code be and is hereby amended to read in its entirety as follows:

The number of Class "A" licenses issued within the Village shall be limited to zero (0); the number of Class "B" licenses issued within the Village shall be limited to four (4) ; the number of Class "C" licenses issued within the Village shall be limited to one (1); the number of Class "D" licenses shall not be limited; the number of Class "E" licenses shall not be limited; the number of Class "F" licenses issued within the Village shall be limited to one (1); the number of Class "G" licenses issued within the Village shall be limited to one (1); the number of Class "H" licenses issued within the Village shall be limited to eight (8); the number of Class "I" licenses shall not be limited; the number of Class "J" licenses issued within the Village shall be limited to zero (0). The number of Class "K" licenses shall be limited to two (2) one (1). The number of Class "L" licenses shall be limited to one (1). The number of Class "M" licenses shall be limited to (1). The number of Class "N" licenses shall not be limited. The number of Class "O" licenses shall be limited to zero (0). The number of Class "P" licenses shall be limited to one (1). The number of Class "P-1" licenses shall be limited to one (1). The number of Class "Q" licenses shall be limited to one (1). The number of Class "R" licenses shall be limited to one (1). The number of Class "S" licenses shall be limited to one (1)

Section 2: That this Ordinance shall take effect from and after its passage, approval, and publication in the manner provided

by law. That the Deputy Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of August 2020, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 10th day of August 2020 by the Mayor of the Village of Burr Ridge.

Mayor

ATTEST:

Deputy Village Clerk

RESOLUTION NO. R-____-20

**A RESOLUTION APPROVING A ONE-TIME REBATE OF LIQUOR LICENSE
FEES FOR LICENSES DUE JULY 31, 2020**

WHEREAS, Chapter 25, Section 25.11 of the Burr Ridge Municipal Code establishes annual fees to cover the Village costs for processing and enforcement of liquor licenses; and

WHEREAS, on March 16, 2020, due to the COVID-19 pandemic, the Governor of Illinois issued an Executive Order requiring restaurants and other establishments with liquor licenses to close indefinitely; and

WHEREAS, subsequent Executive Orders from the State of Illinois have allowed such establishments to re-open but with limited capacity; and

WHEREAS, establishments with liquor licenses continue to be constrained and restricted from the full conduct of their business due to the COVID-19 pandemic; and

WHEREAS, the Village of Burr Ridge wishes to provide relief to these establishments in the form of a one-time rebate of liquor license fees.

NOW, THEREFORE, BE IT RESOLVED, by the Village of Burr Ridge Board of Trustees;

Section 1: That the Village of Burr Ridge Board of Trustees hereby rebates all liquor license fees otherwise due on July 31, 2020 and as per Chapter 25, Section 25.11 of the Burr Ridge Municipal Code.

Section 2: This policy shall be in full force and effect from and after its adoption and approval as required by law.

ADOPTED this 10th day of August, 2020, by a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 10th day of August 2020, by the Mayor of the Village of Burr Ridge.

Mayor

ATTEST:

Deputy Village Clerk

RESOLUTION NO. R- -20

**RESOLUTION APPROVING PRELIMINARY PLAT
COOPER SUBDIVISION (6100 SOUTH GRANT AVENUE)**

Be It Resolved by the Mayor and Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: The preliminary plat of subdivision attached hereto as **Exhibit A** (hereinafter referred to as the "Subdivision" or the "Subdivision Plat"), is hereby approved, subject to the following conditions:

- A. That a variation is hereby approved from Table VII.A of the Subdivision Ordinance to permit a T-type terminus turnaround in a right-of-way measuring 60 feet in width and 20 feet in depth at the most northerly portion of the right-of-way extension on Keller Drive.
- B. The Preliminary Plat shall substantially comply with the submitted Preliminary Plat and Preliminary Engineering Plans attached hereto as **Exhibit A**.
- C. That as per Section VIII.I of the Subdivision Ordinance, a donation shall be made to the Village's Pathway Fund in lieu of the required sidewalk. Said donation shall be provided prior to recording the final plat of subdivision.
- D. Payment of the required school and park impact fees shall be made prior to recording the final plat of subdivision.
- E. Approval by the Village Engineer of final engineering plans including an engineer's cost estimate for all required improvements is required prior to recording the final plat of subdivision.
- F. Payment of all outstanding reimbursable fees, including but not limited to legal, engineering, and forestry fees prior to recording of the final plat of subdivision.

Section 2: This Resolution shall be in full force and effect upon its adoption and approval as required by law.

ADOPTED this 10th day of August, 2020, by a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 10th day of August, 2020 by the Mayor of the Village of Burr Ridge.

Mayor

ATTEST:

Deputy Village Clerk

PRELIMINARY/FINAL PLAT OF
GRANT STREET SUBDIVISION

LEGAL DESCRIPTION

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS 6100 GRANT STREET BURR RIDGE, ILLINOIS 60527

PIN NO.: 09-13-300-104

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS SHOWN ON THIS PLAT OF SUBDIVISION, FOR PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED:

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT, INCLUDING BUT NOT LIMITED TO, THOROUGHFARES, ALLEYS, WALKWAYS AND PUBLIC SERVICES; GRANTS THE TELEPHONE, GAS, ELECTRIC AND ANY OTHER PUBLIC OR PRIVATE UTILITY EASEMENT AS STATED AND SHOWN ON THIS PLAT; AND GRANTS AND DECLARES THEE STORM WATER DRAINAGE AND DETENTION RESTRICTIONS AND EASEMENTS AS STATED AND SHOWN ON THIS PLAT.

THE UNDERSIGNED FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS AFFECTING THE LAND DESCRIBED AND SHOWN ON THIS SUBDIVISION PLAT OR, IF ANY OF SAID INSTALLMENTS ARE NOT PAID, THEN SUCH INSTALLMENTS HAVE BEEN DIVIDED IN ACCORDANCE WITH THE SUBDIVISION AND APPROVED BY THE COURT WHICH CONFIRMED THE SPECIAL ASSESSMENT AND THE PROPER COLLECTOR OF ANY SUCH SPECIAL ASSESSMENT HAS SO CERTIFIED SUCH DIVISION ON THE FACE OF THIS SUBDIVISION PLAT.

DATED THIS ____ DAY OF _____, A.D. 2020

OWNER SIGNATURE

ADDRESS

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL, THIS ____ DAY OF _____, A.D. 2020, AT _____, ILLINOIS.

NOTARY PUBLIC

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, COUNTY CLERK OF _____ COUNTY, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID CURRENT SPECIAL ASSESSMENTS, NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND SHOWN ON THIS PLAT OF SUBDIVISION AND NO DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

GIVEN UNDER MY HAND AND SEAL AT _____, COUNTY, ILLINOIS, THIS ____ DAY OF _____, A.D. 2020

COUNTY CLERK

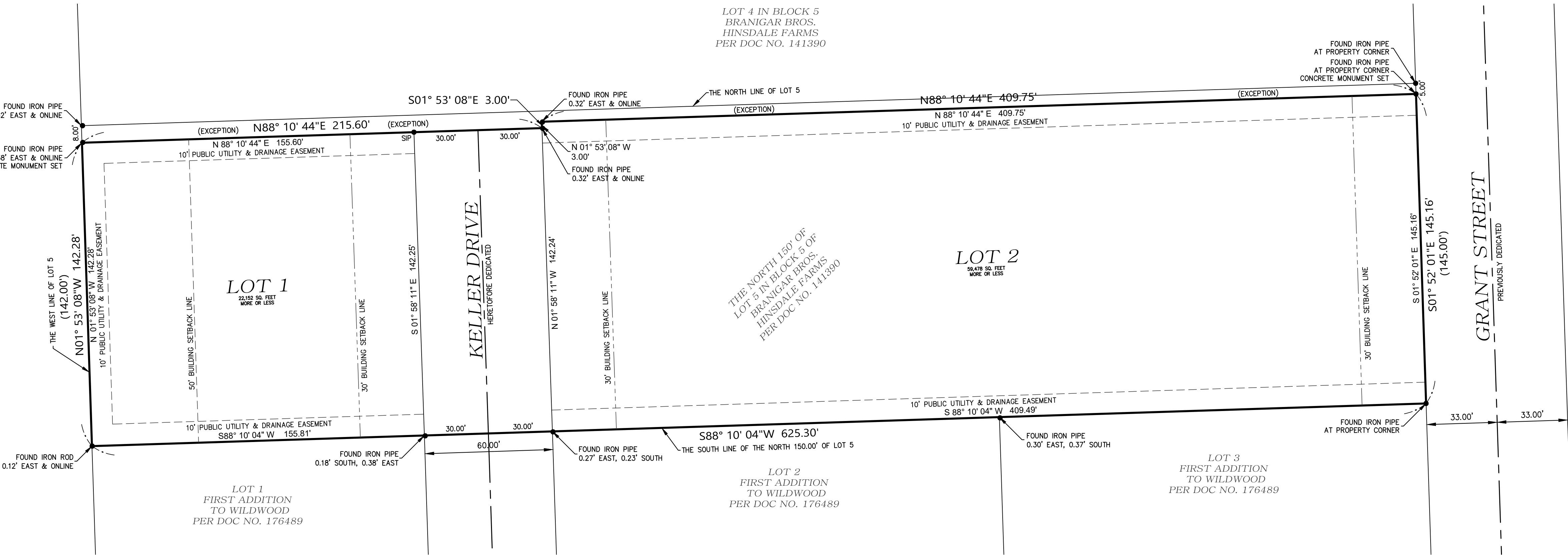
CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, VILLAGE TREASURER OF THE VILLAGE OF BURR RIDGE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENTS.

DATED AT BURR RIDGE, _____, COUNTY, ILLINOIS, THIS ____ DAY OF _____, A.D. 2020

VILLAGE TREASURER



VILLAGE CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, VILLAGE CLERK OF THE VILLAGE OF BURR RIDGE, ILLINOIS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PRESENTED TO AND BY RESOLUTION OR ORDER DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON _____, 2020, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL OF THE VILLAGE OF BURR RIDGE, ILLINOIS, THIS ____ DAY OF _____, 2020.

COUNTY CLERK

SURFACE TO WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

WE HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE ILLINOIS PLAT ACT, ILLINOIS REVISED STATUTE, CHAPTER 109, ET SEQ., AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

DATED AT BURR RIDGE, DUPAGE COUNTY, ILLINOIS, THIS ____ DAY OF _____, 2020.

REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER PROPERTY OWNER(S)

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF BURR RIDGE, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS IN THIS SUBDIVISION, AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREOF, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT BURR RIDGE, DUPAGE COUNTY, ILLINOIS, THIS ____ DAY OF _____, 2020.

VILLAGE ENGINEER

OWNER'S CERTIFICATE - SCHOOL DISTRICTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HEREBY CERTIFIES THAT THE SUBJECT PROPERTY IS LOCATED WITH THE FOLLOWING SCHOOL DISTRICT(S): GRADE SCHOOL DISTRICT 181, HIGH SCHOOL DISTRICT 86 AND COLLEGE OF DUPAGE DISTRICT 502.

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

PROPERTY OWNER

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL, THIS ____ DAY OF _____, A.D. 2020, AT _____, ILLINOIS.

NOTARY PUBLIC

FLAGG CREEK WATER RECLAMATION DISTRICT CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, MANAGER FOR THE FLAGG CREEK WATER RECLAMATION DISTRICT, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE REQUIREMENTS OF THE FLAGG CREEK WATER RECLAMATION DISTRICT.

DATED AT _____, ILLINOIS, THIS ____ DAY OF _____, 2020.

VILLAGE MANAGER

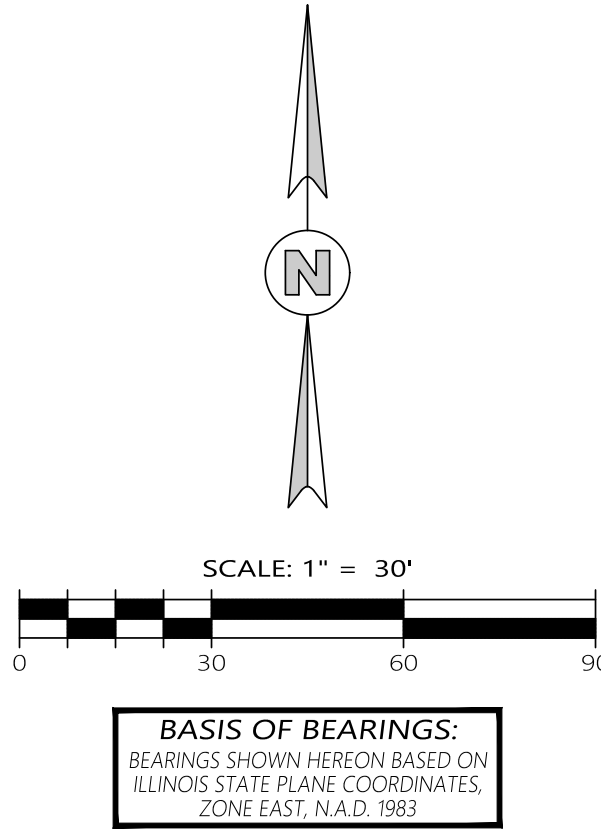
PUBLIC UTILITY EASEMENT AND DRAINAGE EASEMENT PROVISIONS

NON-EXCLUSIVE, PERPETUAL EASEMENTS ARE RESERVED AND GRANTED FOR THE VILLAGE OF BURR RIDGE AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISES FROM THE VILLAGE OF BURR RIDGE INCLUDING, BUT NOT LIMITED TO, COMMONWEALTH EDISON COMPANY, AMERITECH, NICOR, A.T. & T. CABLE, AND THEIR SUCCESSORS AND ASSIGNS OVER ALL AREAS MARKED, "PUBLIC UTILITIES AND DRAINAGE EASEMENT" AND THOSE AREAS DESIGNATED "P.U. & D.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, AND INCLUDING BUT NOT LIMITED TO OVERLAND DRAINAGE, STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BE SAID VILLAGE AND/OR UTILITY COMPANIES, OVER UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN AND TRIM OR REMOVE ANY FENCES, TEMPORARY STRUCTURES, TREES, SHRUBS, OR OTHER PLANTS WITHOUT OBLIGATION TO RESTORE OR REPLACE AND WITHOUT NEED FOR PROVIDING COMPENSATION THEREFORE ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS OR STRUCTURES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS, WHERE AN EASEMENT IS USED FOR BOTH SEWER AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF BURR RIDGE AND TO VILLAGE APPROVAL AS TO DESIGN LOCATION.

PERPETUAL EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF BURR RIDGE AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES INCLUDING WATER, STORM, AND SANITARY SEWER SERVICE AND MAINTENANCE AND EMERGENCY AND ROUTINE POLICE, FIRE, AND OTHER PUBLIC SAFETY RELATED SERVICES.

ENGINEER:
ESM CIVIL SOLUTIONS, LLC
CIVIL ENGINEERING - LAND ENTITLEMENTS - PROJECT FEASIBILITY
4320 WINFIELD ROAD - SUITE 200 WARRENVILLE, IL 60555
O: 630-300-0933 C: 630-624-0520

TAX BILL AND RETURN PLAT TO:
CURT AND CARLA COOPER
6100 S. GRANT STREET
BURR RIDGE, IL 60527



GROSS LAND AREA:
2.070 ACRES MORE OR LESS
90,164 SQ FEET MORE OR LESS

LOT 1 AREA:
22,152 SQ FEET MORE OR LESS

LOT 2 AREA:
59,478 SQ FEET MORE OR LESS

STREET DEDICATION:
8,534 SQ FEET MORE OR LESS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DEKALB)SS

THIS IS TO CERTIFY THAT I, RUDY P. DIXON, REGISTERED, ILLINOIS LAND SURVEYOR NO. 035-003832, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK COOK AND DUPAGE COUNTIES, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT (A/NO) PART OF THE PROPERTY COVERED BY THIS PLAT OF SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND THAT (A/NO) PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY PUBLIC WATERS IN WHICH THE STATE OF ILLINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY INTERESTS.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF BURR RIDGE OR WITHIN 1 1/2 MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D. 2020

RUDY P. DIXON ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE NO. 035-003832 LICENSE EXPIRES: NOVEMBER 30, 2021

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



| | | | | | |
|--|---|-----|-------------|----------|--|
| PROJECT NUMBER: 200105 | DRAWN BY: RWH DATE: 7/1/2020 | | | | |
| SCALE: 1" = 30' | CHECKED BY: RPD DATE: 7/1/2020 | | | | |
| ORDERED BY: ESM | FIELD WORK COMPLETED DATE: 1/20/2020 | | | | |
| PROPERTY ADDRESS: 6100 S GRANT STREET BURR RIDGE, IL 60577 | | 0 | ISSUED | 7/1/2020 | |
| | | REV | DESCRIPTION | DATE | |

Fiscal Year 2020-21 Budget Update

Period Ending June 30, 2020

Submitted: August 6, 2020



BURR RIDGE

FINANCE DEPARTMENT

Amy Nelson, CPA
Assistant Finance Director

Jerry Sapp
Finance Director

Executive Summary

The following report highlights May and June 2020 financial results, which represent the first two months of Fiscal Year 2020-21. Also included in this report is the available April revenue results that were not available during the last budget update. Following the highlights, you will see a financial summary snapshot of each major fund comparing our actual numbers to our forecasted projections.

Fiscal Year 2019-20 April Revenue Results

As discussed at the last budget update, we were awaiting the Village's key revenue sources, Sales and Use Tax and Telecommunications Tax for April 2020. Amounts received in early July are as follows:

- Sales and Use Tax – actual revenues received were \$139,709, which is \$90k or 177% **higher** than forecasted.
- Telecommunications Tax – actual revenues received were \$34,542, which was also **higher** than forecasted by 1%.

As noted last month, both March and April sales tax revenues received exceeded original forecasts by over \$120,000. This is optimistic as we anticipate our May sales tax results to begin our new fiscal year, which will be received in early August.

Fiscal Year 2020-21 Highlights

Across all funds, revenues and expenditures appear to be in line with forecasts to begin our new fiscal year through June 30, 2020. As you will read below, our forecasted revenues are exceeding projections in some funds as well as expenditures coming in below budget.

- **General Fund**
 - **Revenue Highlights** - we await the Sales Tax and Telecom Tax revenues for May and June. If those sources continue to trend as in March and April, our actual revenues will be on target to our forecast. Looking ahead to July, we are already seeing a significant increase in Building Permit revenue for the month which surpassed both May and June. With 90 % of restaurants reporting, Places of Eating Tax revenues surpassed projections in both May and June. Most significantly, June Places of Eating Tax exceeded forecast by 47% which likely is a result of outdoor dining options and the reopening of several restaurants.
 - **Expenditure Highlights** - On the expenditure side, we were notified last week that DU-COMM, who we pay approximately \$78,000/quarter to manage our police E-911 dispatching, has waived our 2nd quarter fee, which is an immediate savings to the General Fund's Police Department Budget.

Expenditures in several departments exceeded budgeted amounts in June due to COVID-19 related expenditures including tent rental expenditures related to outdoor dining, mask purchases, and special partition purchases. These expenditures will be offset by restaurant cost-sharing as well as potential FEMA and CARES Act grant funding from DuPage and Cook Counties.

➤ **Hotel/Motel Tax Fund**

- **Revenue Highlights** - The Hotel/Motel Tax revenue source has exceeded forecasted revenues in every month from March through June. To put in perspective, last year in the months of May through June 2019, the Hotel/Motel Tax Fund revenue generated \$137,310. May through June 2020 is approximately 20% of prior year. Despite this revenue declining over prior year which we anticipated, our actual revenues are coming in better than originally projected and have continued to increase each month since March.
- **Expenditure Highlights** – Expenditures in the Hotel/Motel Tax fund have been minimal and the only significant expenditures to date have been the Maintenance Gateway Landscaping contracts.

➤ **Motor Fuel Tax Fund**

- **Revenue Highlights** – Monthly Motor Fuel Tax Allotments have fell below original projections by 20% and 18% in May and June. We will continue to monitor this revenue source since these funds pay for the Road Program in the Capital Improvement Fund. Additional funding from the General Fund may be needed to fund the Road Program if there continues to be a shortfall.

Grant Funds were received in May for the Rebuild Illinois Bond fund, which represented the first of 6 installments to be distributed over a three year period. IDOT recently notified municipalities that the 2nd installment in the amount of \$115,980 will be distributed in late July 2020. These funds are restricted in use and Staff will be working with IDOT to receive an approved list of capital projects in which the Village can use these funds. Due to the uncertainty of funding during the pandemic, these funds were not budgeted for when passing the FY 20-21 budget. In addition, these funds cannot be used for the Village's annual Road Program.

➤ **Water Fund**

- **Revenue Highlights** – Water revenues are ahead of forecasts with one billing cycle completed in the fiscal year through June. June revenues were higher than forecasted due to billing to the Justice-Willow Springs for tap-on to the Village's water main. Although July is not complete, revenues billed for the July billing cycle are currently at \$1,043,000, which is up 29% over last year and above the five-year historical average for this time period.
- **Expenditure Highlights** – Expenditures are slightly below budget through the first two months of the fiscal year.

The following pages are detailed financial recaps of each major fund for May-June 2020 of Fiscal Year 2020-21.

GENERAL FUND

FISCAL YEAR 2020-21

QUARTERLY FINANCIAL REPORT - REVENUES
FOR THE PERIOD ENDING JUNE 30, 2020

Highlights:

Property Tax revenues came in as expected from both DuPage and Cook Counties in May and June.

Sales Tax for May will be available in August and June numbers will be available in September due to the 3 month lag when received from the State. The May projection was 30% of prior year revenue and June's projection was 35% of revenue.

Telecommunications Tax for May will be available in August and June numbers will be available in September due to the three month lag with the State.

Income Tax revenue typically May sees a larger distribution, however due to the individual income tax deadline extended from April 15th to July 15th we will see a larger distributions in July and August.

Places of Eating Tax for both May and June surpassed forecasted revenues. COVID-19 projection was 30% of prior year revenue for May and 35% for June.

Licenses for May came in ahead of forecasted due to the extension granted for Liquor Licenses beyond the April 30th deadline.

Permits and Fees for May and June came in less than forecasted, however it is difficult to predict when permits will be issued. Forecast is based on a 3 year average in which approximately 10% of the budgeted revenue comes in May, however, this can fluctuate from year to year. July to date has already reported close to \$55k in Building permit revenues due to increase in permits issued.

Cable Franchise Fees are paid quarterly, and the quarter ended June 30th will be paid to the Village by mid-August.

Fines and Forfeitures were down in May and June due to closures of the courts due to COVID-19.

GENERAL FUND

| REVENUE SOURCE | MAY | | | JUNE | | |
|--|-------------------|-------------------|--------|-------------------|-------------------|--------|
| | ACTUAL | FORECAST | % CHG | ACTUAL | FORECAST | % CHG |
| Sales Tax** | N/A | 67,681 | | N/A | 68,846 | |
| Property Tax | 179,057 | 179,057 | → 0% | 482,136 | 482,136 | → 0% |
| Electric Utility Tax | 55,113 | 62,040 | ↓ -11% | 65,607 | 71,730 | ↓ -9% |
| Gas Utility Tax | 17,689 | 14,530 | ↑ 22% | 10,493 | 10,730 | ↓ -2% |
| Telecommunications Tax** | N/A | 36,446 | | N/A | 37,035 | |
| Places of Eating Tax | 10,513 | 10,272 | ↑ 2% | 19,618 | 13,305 | ↑ 47% |
| Licenses | 14,285 | 8,032 | ↑ 78% | 4,200 | 8,032 | ↓ -48% |
| Permits and Fees | 21,900 | 37,667 | ↓ -42% | 17,768 | 36,667 | ↓ -52% |
| Income Tax | 65,940 | 88,043 | ↓ -25% | 104,710 | 88,043 | ↑ 19% |
| Cable Franchise Fees** | - | - | | N/A | 69,278 | |
| Fines and Forfeitures | 3,706 | 17,500 | ↓ -79% | 3,449 | 17,500 | ↓ -80% |
| Total Revenues of Major Sources | \$ 368,203 | \$ 521,268 | | \$ 707,981 | \$ 903,301 | |

** Revenue incomplete as of this date due to the inherent lag on when the Village receives funds.

N/A - revenue source not available at this time

EXPENDITURES

| EXPENDITURE BY DEPT | MAY | | | JUNE | | |
|---------------------------|-------------------|-------------------|---------------|-------------------|-------------------|--------------|
| | ACTUAL | FORECAST | % CHG | ACTUAL | FORECAST | % CHG |
| Boards and Commissions | 2,631 | 21,966 | -88% | 6,107 | 21,966 | -72% |
| Administration | 52,420 | 67,114 | -22% | 77,094 | 67,114 | 15% |
| Finance | 21,313 | 27,027 | -21% | 22,569 | 27,027 | -16% |
| Central Services | 349 | 4,217 | -92% | 58,152 | 4,217 | 1279% |
| Police | 352,005 | 436,245 | -19% | 563,261 | 436,245 | 29% |
| Public Works | 62,513 | 124,651 | -50% | 123,742 | 124,651 | -1% |
| Buildings and Grounds | 2,377 | 12,465 | -81% | 29,036 | 12,465 | 133% |
| Total Expenditures | \$ 493,609 | \$ 693,684 | -28.8% | \$ 879,961 | \$ 693,684 | 26.9% |

HOTEL/MOTEL TAX FUND

FISCAL YEAR 2020-21

QUARTERLY FINANCIAL REPORT - REVENUES
FOR THE PERIOD ENDING JUNE 30, 2020

Highlights:

Hotel/Motel Tax revenue budget was reduced as follows related to COVID 19 - Mar-50%, April 4.5%, May, 4.5%, June 9%, July 9%, August 22.5%, Sept 45%, Oct 80%, Nov 80%, Dec 80%, Jan 80%, Feb 80%, April 80%. For the months of May and June, revenues came in significantly higher than forecasted.

Hotel/Motel Expenditures were all below budget for the beginning of the fiscal year due to events and projects being postponed to later in the year. The only significant expenditures to date have been the Maintenance Gateway Landscaping contracts.

HOTEL/MOTEL TAX FUND

| REVENUE SOURCE | MAY | | | JUNE | | |
|-------------------|-----------|----------|--------|-----------|----------|--------|
| | ACTUAL | FORECAST | % CHG | ACTUAL | FORECAST | % CHG |
| Hotel/Motel Taxes | \$ 11,461 | \$ 2,935 | ↑ 290% | \$ 16,027 | \$ 6,240 | ↑ 157% |

EXPENDITURES

FOR THE YEAR ENDING APRIL 30, 2021

| | MAY | | | JUNE | | |
|--------------------|-----------|-----------|--------|-----------|-----------|-------|
| | ACTUAL | FORECAST | % CHG | ACTUAL | FORECAST | % CHG |
| Total Expenditures | \$ 13,805 | \$ 39,769 | -65.3% | \$ 39,026 | \$ 39,769 | -1.9% |

MOTOR FUEL TAX FUND

FISCAL YEAR 2020-21

QUARTERLY FINANCIAL REPORT - REVENUES
FOR THE PERIOD ENDING JUNE 30, 2020

Highlights:

Grant Funds were received in May for the Rebuild Illinois Bond fund which represents the first of 6 installments to be distributed over a three year period. These funds are restricted in use and Staff will be working with IDOT to receive an approved list of capital projects the Village can use these funds for. Due to the uncertainty of funding during the pandemic, these funds were not budgeted for when passing the FY 20-21 budget. IDOT notified municipalities that the 2nd installment in the amount of \$115,980 will be distributed in late July 2020.

Expenditures to date were nominal for the month of May and June in the Motor Fuel Tax Fund. As the Road Program continues to get underway, transfers will be made out of this fund to the Capital Improvement Fund.

MOTOR FUEL TAX FUND

| REVENUE SOURCE | MAY | | | JUNE | | |
|---------------------------|------------|-----------|--------|-----------|-----------|--------|
| | ACTUAL | FORECAST | % CHG | ACTUAL | FORECAST | % CHG |
| Motor Fuel Tax Allotments | \$ 24,796 | \$ 31,062 | ↓ -20% | \$ 25,511 | \$ 31,062 | ↓ -18% |
| State Grants | \$ 115,980 | \$ - | ↑ 100% | \$ - | \$ - | |

WATER FUND

QUARTERLY FINANCIAL REPORT - REVENUES & EXPENDITURES
FOR THE PERIOD ENDING JUNE 30, 2020

FISCAL YEAR 2020-21

Highlights:

Revenues are ahead of forecasts with one billing cycle completed in the fiscal year through June. June revenues were higher than forecasted due to billing to the Justice-Willow Springs for tap-on to the Village's water main. Although July is not complete, revenues billed for the July billing cycle are currently at \$1,043,000 which is up 29% over last year and above the five year average for this time period.

Expenditures were low for the month of May due to the timing of the Bedford Park Water Purchases invoice that was paid in June for May water.

WATER FUND

| | MAY | | | JUNE | | |
|--------------------|------------|------------|-------|------------|------------|-------|
| | ACTUAL | FORECAST | % CHG | ACTUAL | FORECAST | % CHG |
| TOTAL REVENUES | \$ 702,680 | \$ 685,007 | ↑ 3% | \$ 131,334 | \$ 97,858 | ↑ 34% |
| TOTAL EXPENDITURES | \$ 131,482 | \$ 491,708 | -73% | \$ 406,789 | \$ 491,708 | -17% |

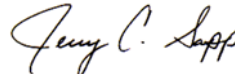
Concluding Remarks

Finance will continue to provide monthly budget updates on revenue and expenditure performance in the coming months as we proceed through the fiscal year.

Submitted August 6, 2020



Amy Nelson, CPA
Assistant Finance Director



Jerry Sapp
Finance Director



FY 20-21 Budget Expenditure Reductions (Waitlist)

| Budget Item: | Department/Fund | Estimated Cost: | Priority: |
|---|------------------------|-------------------|-----------|
| Ballistic Shields | Police | \$ 22,420 | High |
| Guard Rail Replacement - North Frontage Road East of Elm Street | Capital Improvements | \$ 36,000 | High |
| Non-union COLA's | All Departments | \$ 37,853 | High |
| Part-time Salaries - Admin Asst | Public Works | \$ 24,660 | High |
| PD15 Police Interceptor Sedan | Equipment Replacement | \$ 30,000 | High |
| Police Facility Access Control | Information Technology | \$ 20,000 | High |
| Police Squad Cars - Vehicle Leasing | Police | \$ 81,450 | High |
| PW Garage Light Replacements | Capital Improvements | \$ 24,000 | High |
| PW Union COLA's | Public Works | \$ 14,626 | High |
| Unit 103 Brush Chipper | Equipment Replacement | \$ 74,000 | High |
| Unit 106 Floor Scrubber | Equipment Replacement | \$ 20,000 | High |
| Unit 23, Dump Truck | Equipment Replacement | \$ 212,000 | High |
| Village Hall receptionist vacant position | Administration | \$ 15,045 | High |
| Village Hall Security Improvements (\$45,000 total cost) | Capital Improvements | \$ 8,700 | High |
| TOTAL: | | \$ 620,754 | |
| Additional Pension Funding | Central Services | \$ 100,000 | Medium |
| County Line Road Sidewalk - Construction & Engineering (\$463,670 total cost) | Pathway | \$ 115,000 | Medium |
| Maintenance -EAB Treatment | Public Works | \$ 10,000 | Medium |
| Operating Supplies | Police | \$ 5,360 | Medium |
| Parkway Tree Trimming | Public Works | \$ 82,700 | Medium |
| Uniform Allowances | Police | \$ 4,250 | Medium |
| VH HVAC Controls & Efficiency Upgrade (1) | Capital Improvements | \$ 175,000 | Medium |
| TOTAL: | | \$ 492,310 | |
| Aquatic Weed Control - Lakewood/Windsor | Public Works | \$ 8,000 | Low |
| EDC Events | Boards & Commissions | \$ 5,100 | Low |
| Elm St. Culvert Replacement | Stormwater | \$ 275,000 | Low |
| Employee Recognition | Boards & Commissions | \$ 6,500 | Low |
| Garfield Avenue Sidewalk Project | Pathway | \$ 99,300 | Low |
| I-294 Tri-State Tollway 71st Street Bridge - Construction Engineering | Capital Improvements | \$ 12,500 | Low |
| ILEAP Accreditation | Police | \$ 800 | Low |
| Liquid Chloride Tank, Pump and Dispenser | Public Works | \$ 11,000 | Low |
| Newsletters & Surveys | Boards & Commissions | \$ 5,000 | Low |
| Opticom Repair | Police | \$ 3,000 | Low |
| Other Committees | Boards & Commissions | \$ 7,500 | Low |
| PD HVAC Supplemental Heating | Capital Improvements | \$ 140,000 | Low |
| Plow Extensions | Public Works | \$ 4,800 | Low |
| Police Facility Surveillance Security | Information Technology | \$ 120,000 | Low |
| Shredding Events | Boards & Commissions | \$ 2,000 | Low |
| Special Events/Training | Boards & Commissions | \$ 1,500 | Low |
| Thermal Imaging Monocular | Police | \$ 5,000 | Low |
| VH Garage Roof Replacement | Capital Improvements | \$ 58,000 | Low |
| VH Window Replacement | Capital Improvements | \$ 15,000 | Low |
| Village Hall Lobby and Public Rest Room Remodeling | Capital Improvements | \$ 100,000 | Low |
| Training & Conferences | All Departments | \$ 42,715 | Low |
| TOTAL: | | \$ 224,215 | |

Prepared July 9, 2020; Village of Burr Ridge



July 30, 2020

Mr. David Preissig, P.E.
Director of Public Works
Village of Burr Ridge
451 Commerce Drive
Burr Ridge, IL 60527

RE: PROPOSAL FOR A WATER DISTRIBUTION SYSTEM VALVE EXERCISING PROGRAM/LEAK SURVEY

Dear Mr. Preissig,

M.E. Simpson Co., Inc. is pleased to present the Village of Burr Ridge our proposal for a Water Distribution System Valve Assessment and Exercising Program with Leak Detection. We are honored to be considered for this work and are confident our team will help make the project a success.

M.E. Simpson Co., Inc. is a Professional Services Firm dedicated to developing and providing programs and services designed to maximize peak performance for our clients' water distribution systems. Many of these programs are universally recognized as a part of "Best Management Practices" (BMPs) for utilities. We pride ourselves on delivering solid solutions using the highest quality technical and professional services by way of state-of-the-art technology and a skilled and well-trained staff of professionals. Our highly-educated engineers and technical team are committed to the success of this project. They will be ready at a moment's notice to relieve your staff's burden and ensure a seamless continuation of your services.

Our services were developed and refined to provide utilities with programs that can be customized to meet their needs. From complete "Turn-Key" services to assisting with the development of "in-house" programs for utilities, M.E. Simpson Co., Inc. serves our clients with this ultimate goal: to deliver to the public the implicit faith that **"the water is always safe to drink"**.

Thank you for your consideration and this opportunity to acquaint you with our Valve Exercising and Assessment Services and offer this response. We are committed to exceeding your expectations.

Sincerely,

Randy Lusk
Regional Manager

Randy Lusk
Innovations & Solutions Manager

3406 Enterprise Avenue
Valparaiso, IN 46383

800.255.1521 P
888.531.2444 F

Randy.Lusk@mesimpson.com

SCOPE OF WORK

Valve Assessment and Exercising Program Scope of Services

Project Field Approach

The [Valve Assessment and Exercising Program](#) is conducted in the field by our technicians. M.E. Simpson Co., Inc. will locate and operate all designated valves in the system in accordance with AWWA standards (American Water Works Association Manual M-44, "Distribution Valves: Installation, Field Testing and Maintenance"). The important operation, location and asset management details of the valves will be noted and compiled on our "Valve Exercising and Assessment Report" and submitted to your office for your permanent records.

Valve Assessment and Exercising

The [Water Distribution System Valve Assessment and Exercising Program](#) is conducted in the field by our Project Team (M.E. Simpson Co., Inc. uses **TWO** trained technicians on each valve team). All valves are operated manually and when necessary, M.E. Simpson Co., Inc. uses a hydraulic valve machine capable of operating 2" through 60" valves. This machine can be set with a torque as low as 5 foot pounds and is capable of increasing up to 2500 foot pounds. The hydraulic valve operator with the "adjustable torque control" feature, along with experienced operating personnel, prevents excessive breakage during valve operating. M.E. Simpson Co., Inc. will furnish all labor, material, transportation, tools, and equipment necessary to perform the program. M.E. Simpson Co., Inc. shall be required to provide such skilled and trained personnel and equipment necessary to complete the work herein specified. We will locate and operate each main line valve in the system. The important operation and location details of each valve will be noted and compiled on our "Valve Assessment and Exercising Report" and submitted to your office, in an electronic format, for your permanent records.

The importance of the **Valve Assessment and Exercising Program** is apparent when major emergencies arise and Utility personnel are unable to either locate or close a valve or several valves during a water main break. The same problem occurs when valves that are normally closed need to be opened during a firefighting effort and these valves then fail in the closed position. These situations can occur when valves are not operated annually or at least every two years.

[An organized field approach to this Valve Exercising and Assessment project will include the following:](#)

- ◆ **Introduce and maintain an interactive role** with the Utility Staff for the Valve Program. Conduct short interviews with staff about particulars of the distribution system such as problem areas prone to poor fire flow, age of pipe, and pressure problems in the distribution system. This will allow for a greater understanding of how the distribution system is functioning allowing priorities to be assigned to particular segments of the work
- ◆ **Divide areas of the distribution system** into geographic areas that can be assessed in progression and problems identified in an orderly fashion. This would include setting a schedule and maintaining a level of Field Staffing that will insure completion of the valve assessments within the schedule and budget allotted. This will require all maps of the distribution system to be examined during the course of the planning sessions to formulate a workable plan of action

- ◆ **Perform valve assessments on the distribution system** and document all locations and valves in a manner that will allow a prioritized list of maintenance items to be pursued according to the described “Scope of Work”
- ◆ **Locate** all valves in a manner that will allow their positions to be known and readily re-creatable by Utility personnel upon demand. (GPS Coordinates can be taken or the Utility can provide their GPS data for the records)
- ◆ **Document** each valve operated and individual valve data to such an extent as to provide information characteristic to each specific attribute as defined by the Utility
- ◆ **Provide constant communication** with the Utility staff so valves with issues can be addressed in a timely manner
- ◆ **Provide instruction and council to Utility staff** during the course of the valve exercising and assessments so once the program is concluded, the Utility staff will have a complete understanding of all the parameters of conducting valve exercising and assessments with the established goal of reducing the amount of maintenance required for the distribution system while providing up to date data for the Utility for each and every valve
- ◆ **Provide daily reporting** during the course of the project as well as a final report indicating all the pertinent details regarding the Valve Assessment and Exercising Program.
- ◆ **Provide recommendations for future valve assessment and exercising programs** such as a methodology and frequency for valve operating

Valve Location - General

- ◆ **Examine the water maps** to determine the anticipated location of each water valve.
- ◆ **Attempt to verify** the existence of all water valves shown on the water atlas by visual inspection.
- ◆ **Search for water valves** shown, but not identified by visual inspection, using a magnetic locator.
- ◆ **Employ a combination** of recorded information, manual and technical testing techniques as needed to establish the location of remaining water valves.
- ◆ **Identify locations where a water valve is expected**, but not shown on the water map, and proceed through verification and search process.
- ◆ **Two attempts shall be made to locate “lost” valves** before these are turned into the Utility for location. M.E. Simpson Co. will ask permission to trace existing water mains by means of line locating equipment to establish the configuration of existing water mains and probable location of water valves should search by magnetic locator fail. If the utility cannot locate the valve within five working days, M.E. Simpson Co. shall be paid for the attempted locate.
- ◆ **Located valve boxes or valve vault covers** shall be painted with an environmentally formulated **precautionary blue paint** for future identification.

Information & Data Collection

- ◆ All of the information and data collected will be provided in an electronic format so that it may be uploaded to the Utility's GIS-Based application. This will be accomplished either live as the project is proceeding by the means of a laptop or tablet type device with a wireless connection to the internet and login onto the Utility's GIS-Based application or Pro Maps. Data will also be delivered to the Utility at the end of the project in an electronic format.
- ◆ The data collected shall include, but not be limited to, the following water valve information:
- ◆ Identifying number presently employed by the Utility's GIS-Based application or created by M.E. Simpson Co., Inc.
- ◆ Location referenced by coordinates in landmark system presently employed by the Utility's GIS-Based application
- ◆ Location by street and cross-street names
- ◆ Photo showing location of each valve
- ◆ Size
- ◆ Type
- ◆ Identified Problems: Box/Vault full of debris and/or water, Paved Over, Sealed Shut, Misaligned, Buried, Chlorination Whip in Vault, Bent Stem, Packing Leak, Missing Operating Nut, Rounded Operating Nut, Bolt Deterioration, Broken Stem, Inaccessible, Structural Deficiencies
- ◆ Operating nut depth
- ◆ Enclosure type
- ◆ Number of turns to achieve full closure
- ◆ Direction of closure
- ◆ Present valve position
- ◆ Date operated
- ◆ **Documentation:** As stated above; all documentation will be performed either "live", online through the Utility's GIS-Based online application or Pro Maps. Data will also be delivered to the Utility at the end of the project in an electronic format.
- ◆ All of the information and data collected will be compiled by means of electronic tablet or laptop computer.
- ◆ The data collected shall include, but not be limited to, the following water valve information:
 - Identifying number consistent and compatible with system presently employed by the Utility
 - Location referenced by coordinates in landmark system approved by the Utility
 - Size
 - Type
 - Operating nut depth
 - Enclosure type
 - Number of turns to achieve full closure

- Direction of closure
- Present valve position
- Date operated

GPS Locations

M.E. Simpson Company's Project Team will furnish all labor, material, transportation, tools, and equipment necessary to perform GPS locations on specified appurtenances in the distribution system, then take these GPS locations and import them into a GPS database, showing all the important locational details needed and desired by the Utility. The Project Team shall be required to provide such skilled and trained personnel and equipment necessary to complete the work herein specified. [There will be a minimum of Two Persons per team performing the asset assessments at all times.](#)

- ◆ Work in an orderly and [safe](#) manner to insure protection of the local residents, Utility employees, and the Field Staff so that no [avoidable](#) accidents occur.
- ◆ All Field Staff will have readily observable identification badges worn while in the field. All vehicles used in the field will have company signs attached.
- ◆ Project Team Personnel will meet with the Utility to review the project guidelines and answer any questions on procedures.
- ◆ As a part of the program, mapping discrepancies found on the current atlases will be noted and included as a part of the final report so the Utility will have a listing of needed corrections. This will be included as a part of the periodic reporting to the Utility, thus enabling the Utility to keep up with mapping corrections made by the Project Team.
- ◆ A progression map shall be maintained for each section under study indicating all assets located on the map. This will be especially helpful in quickly determining the work progress of the crews in the field.
- ◆ It may be necessary to conduct parts of the asset assessment during "off hours" such as at night. This may be required in areas of high traffic volume where traffic may affect the ability to conduct safe collection of GPS points, and traffic volume may affect the ability of the Project Team to be able to safely GPS valves on busy streets. The Project Team will give 24-hour advanced notice of intent to GPS valves in a particular area that may require after hours work or nighttime work. This is so the Utility can plan for the area to be worked in, give notification to the Police department, as well as other Public Works Divisions as to the activity that will take place.
- ◆ Examine the water maps to determine the anticipated location of each asset/appurtenance chosen.
- ◆ Attempt to verify the existence of all selected assets shown on the atlases by visual inspection.
- ◆ Search for assets shown, but not identified by visual inspection, using a magnetic locator.
- ◆ Employ a combination of recorded information, manual and technical testing techniques as needed to establish the location of remaining assets.
- ◆ Identify locations where a main line valve or water main is expected, but not shown on the current maps, and proceed through verification and search process.

GPS Asset Location

- ◆ Once the assets have been physically located, the Project Team will perform the following:
- ◆ The Project Team will collect GPS Coordinates of all assets assessed using the above “Scope of Work”
- ◆ The Project Team will work with the Utility to develop a “data dictionary” which will define the information to be collected for each attribute. The data dictionary shall have the following but not limited to:
 - Date and time the information was gathered.
 - The unique identifying number for each attribute consistent and compatible with system presently employed by the *Utility*.
 - Location for each attribute referenced by Northing and Easting coordinates generated from the GPS location in the Utility’s local State Plane Coordinate system.
 - Type of Attribute (Example: mainline valve, hydrant, tee, elbow, four-way cross, major service line, etc.).
 - Offset information if the attribute needs to have the location determined by an offset coordinate due to blocked signals from the GPS satellites.
 - Any other data required to be collected as part of the attribute data set as defined by the data Dictionary. This data dictionary will be assembled by the Project Team and the Utility.
- ◆ The accuracy of each GPS location will be sub-meter.
- ◆ GPS locations will need to have readings from at least four satellites in position and a reading from a local GPS beacon, or five satellites for the position to be considered accurate as a differentially corrected GPS location.
- ◆ “PDOP” readings need to be less than 5. “PDOP” readings greater than 5 will not be considered as accurate locations.
- ◆ A minimum of 30 readings for each position shall be taken.
- ◆ Position of the GPS satellites shall be given primary consideration. The position of the satellites shall be recorded as part of the data. If the satellites are low on the horizon (below 15 degrees), it is expected that the project team will wait until the position is better before attempting to gather the GPS position.
- ◆ The information collected will be differentially corrected using Pathfinder software database with the ability to export the information into a format acceptable to the Utility such as Microsoft Access, Microsoft Excel, .DXF file, or .SHP file for use in the Utility’s GIS system or CAD mapping program, and also included in the Polcon Pro Valve® database if a valve program is part of the work.
- ◆ All locations will be differentially corrected for accuracy. A stationary beacon or mobile beacon can be set up to allow differential correction. All data will be “Post-Processed”, so that a comparison can be made to a Local stationary GPS receiver. The locations of the stationary GPS stations will be obtained from the Internet. This will allow for a greater accuracy of the GPS locations.

Documentation of GPS Locations

- ◆ The Project Team will provide a location report for each asset located, included in a database or excel spreadsheet on a USB in a format agreed upon between the Utility and the Project Team.
- ◆ The GPS data collected shall include but is not limited to the following information:
 - *Identifying number consistent and compatible with system presently employed by the Utility.*
 - *Location referenced by coordinates using the Illinois State Plane Coordinate System.*
 - *Type of structure.*
 - *Date and time data was collected.*

Valve Exercising

The M.E. Simpson Co., Inc. Project Team will:

- ◆ Operate/Exercise selected valves in accordance with the AWWA manual M-44, "Distribution Valves: Selection, Installation, Field Testing and Maintenance"
- ◆ Valves requiring an operating torque greater than one hundred (100) foot-pounds shall be operated by a portable and/or truck mounted hydraulic valve machine. The valve operators used by M.E. Simpson Co., Inc. have torque-limiting capabilities that allow incremental settings from fifty (50) to twenty-five hundred (2500) foot-pounds of torque.
- ◆ The machine shall be solely and completely dependent upon the operator for continuous control of direction and torque, otherwise known as "non-locking" or "torque limiter" capability.
- ◆ All valves will be operated with the minimum torque required preventing valve damage.
- ◆ Using AWWA C500-02 Standards, the following maximum torques shall be as follows:
 - 4" gate valves – **200 ft. lbs.**
 - 6" through 12" gate valves – **300 ft. lbs.**
 - Gate valves larger than 12" – **600 ft. lbs.**
 - Butterfly valves – **200ft. lbs.**
- ◆ With guidance, review by M.E. Simpson Co. staff engineers, Utility review and Utility permission, maximum torque limits may be exceeded on a case by case basis to attempt to get the valve to operate.
- ◆ During initial valve closure, the valve will be turned no more than five (5) turns before turn direction is reversed to two (2) turns, thus allowing the threads of the stem and gate to free themselves. This closure and partial reversal process shall be repeated until the valve has achieved full closure.
- ◆ The valves will then be operated from full open to full closure until such time as this can be done without further turn range improvement or no further reduction in the required operating torque is noted, through a **minimum of three (3) consecutive ranges of operations**, or the valve is easily turning below 70 ft. lbs. of torque. All valves, regardless of operating torque, will be exercised repeatedly towards the closed position or "working the bottom" until there is

no further increase in the number of turns from the fully opened position to the full closed position.

- ◆ **The M.E. Simpson Co., Inc. Project Team shall notify** the Utility, of intent to operate a certain group of water valves. The Team shall obtain permission to perform the work, at least twenty-four (24) hours or one (1) working day in advance of the intended start of that work.
- ◆ **Valves found in the closed position** shall be reported to the Utility immediately so verification can be made for operating or not.
- ◆ If there is reasonable evidence that a valve might break during the operating process, the Utility **will be notified immediately** and a decision will be made by the Utility to attempt or not to attempt the process.
- ◆ **Any valves that fail or break during operation will be repaired or replaced by the Utility. M.E. Simpson Company cannot be held responsible for possible valve failures during the operating procedure.**

Documentation of Valve Exercising

Identifying number consistent and compatible with system presently employed by the Utility.

- Valve Number
- Size of Valve
- Type of Valve (Gate, Butterfly, Other)
- Valve Box/Vault
- Direction of Closure
- Depth of Operating Nut
- Valve Use (Mainline, Crossover, Service Line)
- ◆ Location information
 - Street Name
 - Cross Street Name
 - House Number (if available)
 - Site Location (Street, Parkway, Driveway, Easement, Centerline)
- ◆ Box/Vault Condition
 - Valve Box full of Debris
 - Valve Vault full of water
 - Paved Over
 - Valve Box Misaligned
 - Valve Box Buried
- ◆ Operational Conditions of Valve
 - Final Number of turns to close
 - Final Position
 - Date Turned
 - Crew performing operation

- Valve Problems (Bent stem, Packing Leak, Missing Operating Nut, Rounded Operating Nut, Broken Stem, Inaccessible)
- Comments

Valve Exercising

M.E. Simpson Co., Inc. takes great care when exercising/operating valves in the water distribution system. Even with our years of proven experience in water system operations problems occasionally occur. Any valves that break or fail during the assessment program will be repaired or replaced at the expense of the water utility. M.E. Simpson Co., Inc. cannot be held responsible for possible valve failures during their operation due to pre-existing conditions. M.E. Simpson Co., Inc. cannot be held responsible for damage done to the water system during valve operating, such as water leaks, discolored water and turbidity that can possibly occur during the process.

Equipment

The following equipment will be used for valve exercising/assessment work during the valve program for the Utility. All material listed will be on the job site at all times.

- ◆ Truck mounted or trailer mounted hydraulic valve operator with adjustable torque control
- ◆ Portable hydraulic valve operator adjustable torque control
- ◆ Truck mounted or trailer mounted Vacuum capable of 300 CFM
- ◆ Trucks are equipped with either a Honda 6.5 horsepower pump capable of discharging 150 GPM or a Stanley Hydraulic pump capable of discharging 450 GPM
- ◆ Extendable valve keys for manual operation
- ◆ All necessary hand tools needed
- ◆ Truck mounted Arrow Board/Signage, and warning lights on trucks.
- ◆ Traffic control equipment, including properly sized traffic cones with reflective stripes, when needed or required.
- ◆ A “Fischer M-Scope” / “Schonstedt” / “Chicago Tape” magnetic locator
- ◆ A “Radio Detection RD4000” series line locator
- ◆ **For *OPTIONAL* GPS Location Services (if chosen):** A Trimble GPS GeoExplorer 6000 Series GeoXH hand held receiver, and related equipment

SCOPE OF WORK

Water Distribution System Leak Survey

The Field Scope of Service for the Leak Survey is understood to be the following:

M.E. Simpson Co., Inc. will furnish all labor, material, transportation, tools, and equipment necessary to survey the water distribution system areas selected by the City. M.E. Simpson Co., Inc. shall be required to provide such skilled and trained personnel and equipment necessary to complete the work herein specified. **There will be a minimum of Two Persons per team working on the survey at all times.**

- ◆ Work in an orderly and **safe** manner to insure protection of the local residents, Utility employees, and the Field Staff so that no **avoidable** accidents occur.
- ◆ All Field Staff will have readily observable identification badges worn while in the field.
- ◆ The leak detection equipment to be used will be that which was described in the “Equipment to be used” section.
- ◆ Initially listen to **all fire hydrants, all accessible main line valves**, and when necessary, selected service connections in the entire distribution system by making physical contact with the valve, hydrant, pipe, or B-box. (Listening points that are not accessible will be given to the Utility and when corrected they will be listened to.)
- ◆ Listening points of contact will be: valves, hydrants, service valves or meter settings. The preference of listening points in order as follows; direct contact with the pipe, main line valves, hydrant valves, hydrants, then service valves or meter settings.
- ◆ Specific listening distances will be determined by pipe material. Metallic type pipes; no greater than 500’ between listening points. Non-Metallic AC/Concrete type pipes; no greater than 300’ between listening points. Non-Metallic PVC/HDPE type pipes; no greater than 150’ between listening points.
- ◆ A “suspected leak” log shall be maintained indicating all areas where suspected leak noise was heard. This log will be reviewed when the Project Team is verifying the suspected leak area for confirmation of the actual existence of a leak. This log will be a part of the periodic reports turned into the Utility regardless of an actual leak located in the area or not, with an explanation of the noise source.
- ◆ When leak noise has been detected and or suspected, the Project Team will verify the suspected area a second time to confirm the noise. At least four hours will pass between the initial listening of the area before a second listen and confirmation is attempted.
- ◆ The Project Team will line locate the water main and service lines in the immediate area so the correct pipe distances can be input into the leak correlator and also so that the Water Utility will have an idea of where the water main is located prior to excavation. Non-metallic pipe locations will be “interpolated” as best that can be identified, given the line location of metallic services, Utility knowledge of the area, or other information regarding the actual location of the main.

- ◆ The Project Team will use “State of the Art” Electronic Leak Correlators to determine if a leak is present and use the same equipment to pinpoint the leak.
- ◆ For PVC water mains only the Echologics LeakFinder-ST w/hydrophones leak correlator or Fluid Conservation Systems (FCS) TriCorr Touch leak correlator, will be used for correlations because of the ability for these correlators to be able to analyze the particular sound frequencies inherent to PVC pipe.
- ◆ The leak location will be marked in the field (on the surface) using environmentally formulated Precautionary Blue paint.
- ◆ The Project Team will document all leak locations with a diagram indicating the location of the leak. Other information related to that correlation will be included as part of the field sheet such as the filters used for the correlation, line locations, distances between sensors, etc.
- ◆ The locations of leaks requiring immediate attention (immediate threat to life, injury or traffic) will be turned in as quickly as possible to facilitate the repair process.
- ◆ The Project Team will report daily or per request of the Utility, to assigned Utility Professional and go over the progress of the previous day, as well as cover what will be surveyed the current day.
- ◆ It may be necessary to conduct parts of the Leak Survey during “off hours” such as at night. This may be required in areas of high traffic volume where traffic noise may affect the ability to detect leak noise, and traffic volume may affect the ability of the Project Team to be able to safely access main line valves in the middle of the street. The Project Team will give 24-hour advanced notice of intent to survey a particular area that may require after hours surveying or nighttime surveying. This is so the Utility can plan for the area to be surveyed, give notification to the Police department, as well as other Public Works Divisions as to the activity that will take place.
- ◆ As a part of the leak program, mapping discrepancies found, distribution assets found in disrepair will be noted and turned into the utility.
- ◆ Leaks verified on the customer’s side of a service shut-off will not be located beyond the shut-off. If a leak appears to be on the Customers’ side, the Utility will be notified first, then the customer notified and permission granted prior to the water being shut off even for short periods of time where possible and as time allows, as well as the ability for the customer to respond.
- ◆ If the Utility requests leak locations beyond the service shut off on the customer’s side of the service line, this will result in an additional charge to the leak survey based on an hourly rate and this service must be agreed upon between the Utility and M.E. Simpson Co., Inc. prior to the start of the survey.
- ◆ Valves and hydrants will not be operated without Utility permission. Valves and hydrants that break during this type of operation are the sole responsibility of the Utility. M.E. Simpson Co., Inc. cannot be responsible for valves and hydrants that break due to pre-existing conditions.
- ◆ The Utility is encouraged to dig up and repair the leaks located as soon as possible so that the area may be re-surveyed while the Project Team is still working on the survey in that general geographical location to ensure no other leaks are present in that area.

Equipment List

- ◆ FCS **S30** Gutermann **AquaScope** electronically enhanced listening device.
- ◆ Echologics **LeakFinder-ST w/hydrophones**; FCS **AC Digital**, **TriCorr Touch** or Vivax-Metrotech **HL6000X** leak correlator systems.
- ◆ **RADIO Detection** Line Locators.
- ◆ **Chicago Tape**, **Fisher M-Scope** or **Schonstedt** magnetic locators.
- ◆ **All necessary valve keys and hand tools**
- ◆ Truck mounted arrow board/signage and warning lights.
- ◆ Traffic control equipment, including properly sized traffic cones with reflective stripes.

Quality Control and Accuracy of Leak Locations

The level of accuracy of leak detection is a matter of taking in all the above considerations and applying those considerations to each individual potential leak location as it is being evaluated. Any statement made as to the level of accuracy of leak locations must be considered based on the individual conditions of each leak.

Locating leaks on a distribution system can be very challenging. It is not a perfect science. Pipes and fittings can leak for a variety of reasons (age, poor installation, material failures, bad soils, etc.), and the ability to locate leaks is dependent on the stated variables listed in the “Project Approach”. By employing a strict methodology in the field for conducting a leak survey, these variables can be accounted for and mitigated. The depth of experience of the Project Team is extremely important to maintaining the ability to have accurate locations of leaks. Additionally, crews work as Two-Person Teams in the field, double checking the progress of the work as the survey progresses. The systematic procedure for leak confirmation has been stated in the Scope of Field Service and is restated here.

“Suspected leak areas are always listened to a second time, preferably at a different time of day than originally listened to. The mains and services will be line located to insure correct pipe distances are used for the correlations. Correlations may need to be performed several times with several configurations to insure all the possible scenarios have been covered. Sewer manholes may need to be opened and flows observed. If there is any doubt as to the existence of a leak, the area may be checked and correlated at different times to rule out water usage or other factors. The progress of the survey will be monitored by the use of daily logs and a progression map with suspected leak noise indications marked and possible leak locations will be maintained. Field leak location forms will be turned into the Utility according to the agreed schedule. The Project Team will follow up on leak locations by monitoring the repair schedule of the Utility. That way in case a potential leak location is wrong, the Project Team can return to the site and determine why the leak location was incorrect, and correct it. This means maintaining a good level of communication between the Project Team in the field, and the Utility. As a matter of Quality Control for leaks in the field, our Correlators, FCS TriCorr Touch and Echologics LeakFinder-ST have the distinct ability to be able to detect and pinpoint more than one leak in the same relative area, thus allowing better leak coverage and insuring that one leak is not “masking” another

leak in the same area. The use of progress reports and meetings will allow for open discussions of problems encountered so solutions can be examined.”

Utility Observations

The M.E. Simpson Co., Inc. Project Team will welcome having staff of the Utility observe field procedures while the Valve Assessment and Exercising program is in progress. They will be happy to explain and demonstrate the equipment and techniques that are employed by M.E. Simpson Co., Inc. for assessing and exercising valves in the Water System.

Final Reports, Documentations & Communications

M.E. Simpson Co, Inc. will perform the following:

- ◆ Project Team will **meet daily** with assigned Utility personnel to go over areas of assessment program for prior workday and plan current day and valves exercised.
- ◆ The field technicians will be readily available by cellular phone. This will facilitate communications between the Utility and the field technicians. A **24-hour toll-free 800 number** is available for direct contact with M.E. Simpson Co., Inc. for emergencies.
- ◆ **The Project Manager will** meet with the Utility regularly for a progress report.
- ◆ **Prepare a progress report** at selected intervals for the Utility if requested.
- ◆ Provide a list of material deficiencies such as, broken valves, valves with minor issues and mapping discrepancies on a weekly (in Pro-Maps™ format). The list will also be included with the final report that will include the following;
 1. Mechanical deficiencies discovered
 2. Mapping errors on the water atlas
 3. Broken Valves
 4. Major Deficiencies
 5. Minor Deficiencies
- ◆ **Prepare the final report** at the completion of the project which will include all valve location, information and documentation reports, total of valves assessed and exercised, and a list of problems found in the system during the course of the valve assessment and exercising program that need the attention of the Water Utility. **This final report shall be made available for submission to the Utility within thirty (30) working days of the completion of the fieldwork.**

Effective communication...
accurate documentation...
**Insuring the success for
the valve exercising program**

Assumptions & Services Provided by the Utility

- ◆ The Utility, in an acceptable electronic format, will furnish all maps, atlases, and records, necessary to properly conduct the valve-operating program.
- ◆ The Utility, in an acceptable electronic format, will provide all Valve ID numbers, type of valve (if known), Map page numbers or grid number, and any other additional information that can aide in helping the overall success of the program.
- ◆ The Utility, in an acceptable electronic format, will furnish all GPS Coordinate data.
- ◆ The Utility, in an acceptable electronic format, will provide records such as old valve cards or any additional information that would make the valve location and operating easier to perform. This information shall be regarded as **CONFIDENTIAL** by M.E. Simpson Co., Inc., and will not be shared with anyone outside of the Utility without consent of the Utility.

- ◆ The Utility will notify other departments as to the activity of Valve Assessment and Exercising Program so that various departments are aware that a program is in progress. This is to insure that if there should be a problem with part of the distribution system, notification can be made promptly.
- ◆ The Utility will also make available, on a reasonable but periodic basis, certain personnel with a working knowledge of the water system who may be helpful in attempting to locate particularly hard-to-find valves and for general information about the water system. This person will not need to assist the Project Team on a full-time basis, but only on an “as needed” basis.
- ◆ The Utility will assist, if needed, to help gain entry into sites that may be difficult to get into due to security issues or other concerns. This may be required of areas where distribution mains run in easements on private property.

PROJECT SAFETY PLAN

M.E. Simpson Co., Inc.'s Safety Programs cover all aspects of the work performed by M.E. Simpson Co., Inc. We take great pride in our safety plan/policy/program and that is evident in our EMR scores over the last five years. The safety of our employees, the utilities employees and that of the general public is our #1 priority.

Our Safety Plan/Policy/Program, with all of its parts, is 60 pages in length. In an effort to be more efficient and less wasteful we do not print copies of the safety program for RFPs. There is nothing secretive or proprietary contained within our plan/policy/program and we are happy to share its contents. If you would like a PDF copy of our plan/policy/program please contact Terrence Williams, Operations Manager, at 800.255.1521 and a copy of our program will be sent via email to you.

Below is an overview of our plan/policy/program:



Safety is a major part of any project. M.E. Simpson Co., Inc. always provides a safe work environment for its employees. **Our staff is trained in General Industry OSHA rules, Confined Space Entry & Self-Rescue, First Responder First Aid, CPR, and Traffic Control.**

While in the field on your project, M.E. Simpson Co., Inc. and its employees will follow all of the necessary safety procedures to protect themselves, your staff and the general public.

M.E. Simpson Co., Inc. uses Two-Man Teams for Safety and Quality Assurance.

Therefore M.E. Simpson Co., Inc. adheres to the following:

- ◆ **The Project Manager and the Field Manager will be trained in accordance with OSHA Standard 1910 (General Industry) and be in possession of an OSHA 10 Hour or 30 Hour Card.**
- ◆ **Any listening points located in a "confined space" such as pit and vault installations that require entry will be treated in accordance with the safety rules regarding **Confined Space Entry, designated by the Utility, The Department of Labor and OSHA.****

 - All personnel are **trained and certified** in Confined Space Entry & Self-Rescue.

- ◆ **We will follow all safety rules regarding **First Responder First Aid & CPR, designated by the Utility, The Department of Labor and OSHA.****

 - All personnel are **trained and certified** in First Responder First Aid & CPR.

- ◆ **We will follow all **traffic safety rules, designated by the Utility, The Department of Labor, OSHA, and the State Department of Transportation (per MUTCD).****

 - All personnel are **trained and certified**, by the **AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA)** in Traffic Control and Safety.

Current documentations of safety training and certifications can be provided for all project personnel for the Utility. These certifications are current and up to date (for 2020) for all project personnel.

VALVES TO BE EXERCISED

The total number of valves to be exercised for the Utility is approximately **1200** main line valves over a 3-year period. The number of valves exercised and assessed may vary from the estimated number above. Any additional valves shall be charged a per unit price.

WATER MAIN TO BE SURVEYED

The total mileage to be surveyed will be **90** miles of water main over a 3-year period.

PROPOSED PROJECT SCHEDULE

Project Start Date: **TBD**

Hold Kick-off meeting: **TBD**, to cover goals and objectives of Project.

Fieldwork to be completed and documented: **TBD** days depending on number of valves to be exercised and assessed.

Valves Reports: Thirty (30) working days after fieldwork is completed for the project.

INVESTMENT

A commitment to improving and maximizing Village of Burr Ridge's water distribution system for future generations.

M.E. Simpson Co., Inc. is pleased to offer the Village of Burr Ridge our proposal for a Valve Assessment and Exercising program. This program is based on locating, exercising, assessing and documenting approximately **1200** valves in the Village of Burr Ridge's water distribution system with leak detection on **90** miles of water main over a 3-year period. The exercising and documentation will be done by one of our two-man teams', in accordance with the above Scope of Service, with all necessary equipment furnished by M.E. Simpson Co., Inc. as described within this document.

| | |
|--|----------------------|
| 2020 Valves Assessed, GPS and Exercised at \$50.00 each (Approx. 400) | \$20,000.00** |
| 2020 Leak Survey at \$110.00 per mile (Approx. 30 Miles) | \$3,300.00* |
| 2021 Valves Assessed, GPS and Exercised at \$50.00 each (Approx. 400) | \$20,000.00** |
| 2021 Leak Survey at \$110.00 per mile (Approx. 30 Miles) | \$3,300.00* |
| 2022 Valves Assessed, GPS and Exercised at \$52.00 each (Approx. 400) | \$20,800.00** |
| 2022 Leak Survey at \$120.00 per mile (Approx. 30 Miles) | \$3,600.00* |
| Additional Option: | |
| GPS Collection for Fire Hydrants: | \$10.00 each |

** Any mileage over the 30 miles will be assessed a per mile fee of \$110.00 in 2020-2021 and \$120.00 in 2022. In order for this price to be valid, this project needs to be in conjunction of the Valve Assessment Program.*

*** Any additional valves beyond the original sated amount per year will be assessed a per valve fee for that year.*

These fees are all based on **approximate** numbers of valves to be exercised and assessed. **The total price will change according to the actual number of valves completed.** All procedures will be followed according to the above scope of services.

We thank you for this opportunity to acquaint you with our Valve Exercising and Assessment Program and offer this proposal. If you have further inquiries or you wish to discuss our service in more detail, do not hesitate to call us.

VILLAGE OF BURR RIDGE

8F

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 8/10/2020

PAYMENT DATE: 8/11/2020

FISCAL 20-21

| FUND | FUND NAME | PAYABLE | TOTAL AMOUNT |
|------|------------------------|---------------------|---------------------|
| 10 | General Fund | \$ 47,419.67 | \$ 47,419.67 |
| 31 | Capital Improvements | 1,001.75 | 1,001.75 |
| 51 | Water Fund | 12,184.65 | 12,184.65 |
| 52 | Sewer Fund | 6,479.43 | 6,479.43 |
| 61 | Information Technology | 3,384.11 | 3,384.11 |
| | TOTAL ALL FUNDS | <u>\$ 70,469.61</u> | <u>\$ 70,469.61</u> |

PAYROLL

PAY PERIOD ENDING July 25, 2020

| | TOTAL |
|----------------|----------------------|
| | PAYROLL |
| Administration | 19,254.93 |
| Finance | 7,801.75 |
| Police | 109,543.31 |
| Public Works | 19,843.44 |
| Water | 24,940.33 |
| Sewer | 7,591.20 |
| TOTAL | <u>\$ 188,974.96</u> |
| GRAND TOTAL | <u>\$ 259,444.57</u> |

07/29/2020 03:21 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/10/2020 - 08/10/2020
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 1/4

| GL Number | Invoice Line Desc | Vendor | Invoice Date | Invoice | Amount |
|---|---------------------------------|----------------------------|--------------|---------------------|-----------|
| Fund 10 General Fund | | | | | |
| Dept 0000 Assets, Liabilities, Fund Bal | | | | | |
| 10-0000-22-2203 | Veteran's Memorial- 2 Bricks | Impressions in Stone | 04/08/19 | 10556 | 30.00 |
| Total For Dept 0000 Assets, Liabilities, Fund Ba. | | | | | 30.00 |
| Dept 1010 Boards & Commissions | | | | | |
| 10-1010-40-4040 | Chicago Tribune 4 weeks | Chicago Tribune | 07/07/20 | 07/07/20 | 27.72 |
| 10-1010-50-5010 | General Legal Services | Storino, Ramello, & Durkir | 07/23/20 | 07/23/20 | 3,686.00 |
| 10-1010-50-5010 | Devon Woods Easement Litigation | Storino, Ramello, & Durkir | 07/23/20 | 07/23/20 | 170.00 |
| 10-1010-50-5010 | Sterigenics | Storino, Ramello, & Durkir | 07/23/20 | 07/23/20 | 436.00 |
| 10-1010-50-5010 | Falling Water Sub Annexation | Storino, Ramello, & Durkir | 07/23/20 | 07/23/20 | 396.00 |
| 10-1010-50-5015 | Prosecution Services | Storino, Ramello, & Durkir | 07/23/20 | 07/23/20 | 1,901.20 |
| 10-1010-50-5030 | Cell Phone Reimbursement June | Gary Grasso | 07/27/20 | 07/27/20 | 50.00 |
| 10-1010-60-6010 | Census Banners | Signco, Inc. | 07/20/20 | 69380 | 2,000.00 |
| 10-1010-80-8010 | Employee Picnic 07/16/20 | Chuck's Southern BBQ | 07/16/20 | 839794 | 361.42 |
| 10-1010-80-8010 | Public/Employee Relations | Edible Arrangements | 07/13/20 | W2000932159 | 86.24 |
| 10-1010-80-8010 | Employee Picnic Supplies | Julie Tejkowski | 07/16/20 | 07/16/20 | 71.06 |
| Total For Dept 1010 Boards & Commissions | | | | | 9,185.64 |
| Dept 2010 Administration | | | | | |
| 10-2010-40-4040 | Public Institution Dues | ISCS | 07/16/20 | 285245 | 100.00 |
| 10-2010-40-4040 | 2020 Chicago Metro Retail Sales | Melaniphy & Associates, Ir | 07/17/20 | 22G998888L3046631 | 50.00 |
| 10-2010-40-4042 | Engaging Gov't Employees Book | Amazon.com Credit | 06/29/20 | 114-3190232-1346627 | 28.84 |
| 10-2010-50-5030 | Cell Admin | Verizon Wireless | 06/21/20 | 1012810046 | 249.35 |
| 10-2010-50-5035 | Public Hearing Notices | Chicago Tribune | 06/02/20 | 021996066000 | 369.27 |
| Total For Dept 2010 Administration | | | | | 797.46 |
| Dept 4010 Finance | | | | | |
| 10-4010-50-5030 | Cell Finance | Verizon Wireless | 06/21/20 | 1012810046 | 51.87 |
| 10-4010-50-5060 | Auditing Services | Lauterbach & Amen, LLP | 07/15/20 | 47151 | 22,850.00 |
| 10-4010-60-6000 | Office Chair | Staples | 06/25/20 | 19615155001 | 314.98 |
| 10-4010-60-6010 | Operating Supplies | Staples | 06/25/20 | 19615155001 | 30.46 |
| Total For Dept 4010 Finance | | | | | 23,247.31 |
| Dept 4020 Central Services | | | | | |
| 10-4020-50-5050 | Maintenance-Equipment | Image Systems & Business | 07/20/20 | 317965 | 291.61 |
| 10-4020-50-5085 | 2nd Qtr 2020 Postage Machine | Pitney Bowes Global Fin. | 07/06/20 | 3103872932 | 458.88 |
| 10-4020-60-6010 | Kitchen Coffee Supplies PW | Commercial Coffee Service, | 07/14/20 | 158506 | 218.00 |
| 10-4020-60-6010 | Postage Tape | Label Supply Mart | 07/13/20 | 07/13/20 | 16.90 |
| 10-4020-60-6010 | Received Stamp | Rubber Stamp Champ | 06/25/20 | 1095869 | 49.50 |
| 10-4020-60-6010 | MLL44030550 36x60 Mat; gray | Runco Office Supply | 07/20/20 | 7920271 | 109.99 |
| Total For Dept 4020 Central Services | | | | | 1,144.88 |
| Dept 5010 Police | | | | | |
| 10-5010-40-4032 | BRPD Badge Patch - OFFICER | JG Uniforms, Inc. | 07/27/20 | 73375 | 218.75 |
| 10-5010-40-4032 | BRPD Badge Patch - CORPORAL | JG Uniforms, Inc. | 07/27/20 | 73375 | 62.50 |
| 10-5010-40-4032 | BRPD Badge Patch - SERGEANT | JG Uniforms, Inc. | 07/27/20 | 73375 | 93.75 |
| 10-5010-40-4032 | R Campos Uniform Allowance | JG Uniforms, Inc. | 07/15/20 | 73407 | 550.40 |
| 10-5010-40-4032 | R Campos Uniform Allowance | JG Uniforms, Inc. | 07/16/20 | 73412 | 20.15 |
| 10-5010-40-4032 | Uniform for Academy | Patrick O'Kelly | 07/21/20 | 07/21/20 | 120.00 |
| 10-5010-50-5020 | Annual Continuation Fee | CALEA | 07/15/20 | 34067 | 4,745.00 |
| 10-5010-50-5030 | Cell Police | Verizon Wireless | 06/21/20 | 1012810046 | 1,012.16 |
| 10-5010-50-5050 | Maintenance-Equipment | Proven Business Systems | 07/14/20 | 718571 | 50.49 |
| 10-5010-50-5095 | Random Testing PD | Concentra Medical Centers | 07/10/20 | 1012495890 | 202.50 |
| 10-5010-60-6010 | IL Labor Law Poster | Labor Law | 07/10/20 | 1000671307 | 37.90 |

07/29/2020 03:21 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/10/2020 - 08/10/2020
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 2/4

| GL Number | Invoice Line Desc | Vendor | Invoice Date | Invoice | Amount |
|---|----------------------------------|----------------------------|--------------|---------------------|-----------|
| Fund 10 General Fund | | | | | |
| Dept 5010 Police | | | | | |
| Total For Dept 5010 Police | | | | | 7,113.60 |
| Dept 6010 Public Works | | | | | |
| 10-6010-40-4032 | Uniform rentals/cleaning | Breens Inc. | 07/14/20 | 391802 | 79.18 |
| 10-6010-40-4032 | Uniform rentals/cleaning | Breens Inc. | 05/26/20 | 390812 | 79.18 |
| 10-6010-40-4040 | AWWA Membership | American Water Works Assn | 07/09/20 | 867921 | 350.00 |
| 10-6010-50-5030 | Cell PW | Verizon Wireless | 06/21/20 | 1012810046 | 442.01 |
| 10-6010-50-5051 | Maintenance-Vehicles | Burr Ridge Car Care, Inc. | 07/20/20 | 54447 | 420.91 |
| 10-6010-50-5051 | Safety Inspections | Courtney's Safety Lane, Ir | 07/20/20 | 3013418 | 81.00 |
| 10-6010-50-5085 | Shop Towel Rentals | Breens Inc. | 07/14/20 | 391802 | 4.50 |
| 10-6010-50-5085 | Shop Towel Rentals | Breens Inc. | 05/26/20 | 390812 | 4.50 |
| 10-6010-50-5095 | Random Testing PW | Concentra Medical Centers | 07/15/20 | 1012520023 | 153.50 |
| 10-6010-50-5096 | Reimbursement for Mailbox damage | Michael Majcen | 07/29/20 | 07/29/20 | 175.30 |
| 10-6010-60-6010 | Operating Supplies | Menards - Hodgkins | 06/30/20 | 53349 | 134.52 |
| 10-6010-60-6010 | Operating Supplies | Menards - Hodgkins | 07/13/20 | 54238 | 185.76 |
| 10-6010-60-6040 | Supplies-Equipment | McCann Industries, Inc. | 04/24/20 | P15481 | 656.81 |
| 10-6010-60-6040 | Supplies-Equipment | McCann Industries, Inc. | 03/05/20 | P13893 | 190.34 |
| 10-6010-60-6040 | Trailer Brake Battery | Westown Auto Supply Co. Ir | 07/17/20 | 86909B | 41.00 |
| 10-6010-60-6042 | Supplies-Streets | Kieft Brothers, Inc | 07/17/20 | 239099 | 163.94 |
| 10-6010-60-6050 | Small Tools | Home Depot Credit Services | 06/23/20 | 3214716 | 1,198.00 |
| Total For Dept 6010 Public Works | | | | | 4,360.45 |
| Dept 6020 Buildings & Grounds | | | | | |
| 10-6020-50-5052 | Misc Plumbing Repairs at VH/PD | Patrick B Murphy | 07/22/20 | 28690A | 795.00 |
| 10-6020-50-5058 | Mat rentals - PW | Breens Inc. | 07/14/20 | 391798 | 20.50 |
| 10-6020-50-5058 | Mat rentals - PW | Breens Inc. | 05/26/20 | 390808 | 20.50 |
| 10-6020-50-5080 | Sewer PD | DuPage County Public Works | 07/16/20 | 30506969-01 Mar-May | 65.14 |
| 10-6020-50-5080 | Public Works | NICOR Gas | 07/13/20 | 22944400005 Jul20 | 128.22 |
| 10-6020-50-5080 | Village Hall | NICOR Gas | 07/17/20 | 47025700007 Jul20 | 124.73 |
| 10-6020-50-5080 | Rustic Acres | NICOR Gas | 07/17/20 | 81110732419 Jul20 | 38.53 |
| 10-6020-60-6010 | Electric Air Compressor Covid 19 | Home Depot Credit Services | 06/23/20 | 3214716 | 299.00 |
| 10-6020-60-6010 | Safety Goggles | Home Depot Credit Services | 06/23/20 | 3214716 | 48.71 |
| Total For Dept 6020 Buildings & Grounds | | | | | 1,540.33 |
| Total For Fund 10 General Fund | | | | | 47,419.67 |
| Fund 31 Capital Improvements Fund | | | | | |
| Dept 8010 Capital Improvement | | | | | |
| 31-8010-70-7010 | Burr Ridge Parkway Phase III | Patrick Engineering Inc. | 07/15/20 | 21977.039-7 | 1,001.75 |
| Total For Dept 8010 Capital Improvement | | | | | 1,001.75 |
| Total For Fund 31 Capital Improvements Fund | | | | | 1,001.75 |
| Fund 51 Water Fund | | | | | |
| Dept 6030 Water Operations | | | | | |
| 51-6030-40-4032 | Uniform rentals/cleaning | Breens Inc. | 07/14/20 | 391802 | 72.14 |
| 51-6030-40-4032 | Uniform rentals/cleaning | Breens Inc. | 05/26/20 | 390812 | 72.14 |
| 51-6030-40-4032 | Reimbursement for Boots | Ronald J. Herdzina | 07/16/20 | W1101091681 | 150.00 |
| 51-6030-40-4040 | AWWA Dues/Herdzina | American Water Works Assn | 07/09/20 | 0002071763 | 224.00 |
| 51-6030-40-4040 | AWWA Dues Sept 20-Aug21 | American Water Works Assn | 06/01/20 | 0002069703 | 2,171.00 |
| 51-6030-50-5030 | Well Pumping Line | AT&T | 06/22/20 | 630325420906 | 328.29 |
| 51-6030-50-5030 | Cell Water | Verizon Wireless | 06/21/20 | 1012810046 | 509.85 |
| 51-6030-50-5030 | Water Modems | Verizon Wireless | 06/21/20 | 1012810046 | 179.28 |

07/29/2020 03:21 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/10/2020 - 08/10/2020
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 3/4

| GL Number | Invoice Line Desc | Vendor | Invoice Date | Invoice | Amount |
|---|--------------------------|----------------------------|--------------|----------------------|-----------|
| Fund 51 Water Fund | | | | | |
| Dept 6030 Water Operations | | | | | |
| 51-6030-50-5051 | Maintenance-Vehicles | Burr Ridge Car Care, Inc. | 07/14/20 | 54397 | 192.43 |
| 51-6030-50-5051 | Maintenance-Vehicles | Burr Ridge Car Care, Inc. | 07/09/20 | 54371 | 926.14 |
| 51-6030-50-5080 | Well #4 | COMED | 07/16/20 | 0029127044 Jul20 | 415.71 |
| 51-6030-50-5080 | Pump Center | Dynegy Energy Services, LI | 07/09/20 | 310428720071 | 6,847.02 |
| 51-6030-50-5080 | Pump Center | NICOR Gas | 07/13/20 | 47915700000 Jul20 | 42.65 |
| 51-6030-60-6010 | Topsoil | Hinsdale Nurseries, Inc. | 07/20/20 | 1686811 | 54.00 |
| Total For Dept 6030 Water Operations | | | | | 12,184.65 |
| Total For Fund 51 Water Fund | | | | | 12,184.65 |
| Fund 52 Sewer Fund | | | | | |
| Dept 6040 Sewer Operations | | | | | |
| 52-6040-40-4032 | Uniform rentals/cleaning | Breens Inc. | 07/14/20 | 391802 | 24.63 |
| 52-6040-40-4032 | Uniform rentals/cleaning | Breens Inc. | 05/26/20 | 390812 | 24.63 |
| 52-6040-50-5030 | Sewer Modems | Verizon Wireless | 06/21/20 | 1012810046 | 29.88 |
| 52-6040-70-7010 | MWRD I/I Program | RJN Group, Inc. | 07/17/20 | 349708 | 6,400.29 |
| Total For Dept 6040 Sewer Operations | | | | | 6,479.43 |
| Total For Fund 52 Sewer Fund | | | | | 6,479.43 |
| Fund 61 Information Technology Fund | | | | | |
| Dept 4040 Information Technology | | | | | |
| 61-4040-40-4040 | Streaming Services | Hulu, LLC | 06/26/20 | 06/26/20 | 64.98 |
| 61-4040-50-5030 | Mobile Hot Spots | Verizon Wireless | 06/21/20 | 1012810046 | 36.00 |
| 61-4040-50-5061 | Email Management | Constant Contact | 07/21/20 | 287167889 | 21.25 |
| 61-4040-50-5061 | Teams Conferencing | Microsoft | 06/23/20 | 7f40c56d-94ff-4696-9 | 193.19 |
| 61-4040-50-5061 | Video Conferencing | Zoom Video Communications, | 07/01/20 | 28953457 | 14.99 |
| 61-4040-60-6010 | Laser Pointers | Amazon.com Credit | 07/13/20 | 113-8374437-9757820 | 113.94 |
| 61-4040-60-6010 | Web Cameras | Amazon.com Credit | 07/12/20 | 111-6199041-6649851 | 699.80 |
| 61-4040-60-6010 | IT Operating Supplies | Warehouse Direct, Inc. | 07/20/20 | 4720061-0 | 898.96 |
| 61-4040-60-6010 | IT Operating Supplies | Warehouse Direct, Inc. | 07/22/20 | 4721172-1 | 340.50 |
| 61-4040-60-6010 | IT Operating Supplies | Warehouse Direct, Inc. | 07/21/20 | 4721172-0 | 1,000.50 |
| Total For Dept 4040 Information Technology | | | | | 3,384.11 |
| Total For Fund 61 Information Technology Fund | | | | | 3,384.11 |

07/29/2020 03:21 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/10/2020 - 08/10/2020
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

| GL Number | Invoice Line Desc | Vendor | Invoice Date | Invoice | Amount |
|-----------------------------------|-------------------|--------|--------------|---------|-----------------|
| <hr/> | | | | | |
| Fund Totals: | | | | | |
| Fund 10 General Fund | | | | | 47,419.67 |
| Fund 31 Capital Improvements Fund | | | | | 1,001.75 |
| Fund 51 Water Fund | | | | | 12,184.65 |
| Fund 52 Sewer Fund | | | | | 6,479.43 |
| Fund 61 Information Technology F | | | | | 3,384.11 |
| Total For All Funds: | | | | | <hr/> 70,469.61 |