



**REGULAR MEETING
MAYOR & BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE**

AGENDA

**December 9, 2019
7:00 P.M.**

1. CALL TO ORDER & PLEDGE OF ALLEGIANCE

- Madilyn and William Steckel, Gower West School

2. ROLL CALL

3. PRESENTATIONS AND PUBLIC HEARINGS

- A. Swearing In of New Police Officer Hemza Shaibi

- B. Public Hearing – 2019 Tax Levy

4. CONSENT AGENDA – OMNIBUS VOTE

All items listed with an asterisk (*) are considered routine by the Village Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen so request, in which event the item will be removed from the Consent Agenda, discussed by the Board, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. * Approval of Regular Board Meeting of November 25, 2019

- B. * Receive and File Economic Development Meeting of December 4, 2019

6. ORDINANCES

- A. Consideration of An Ordinance Levying Taxes for All Corporate Purposes for the Village of Burr Ridge, DuPage and Cook Counties, Illinois, for the Fiscal Year Commencing on May 1, 2020 and Ending April 30, 2021

- B. * Approval of Ordinance Amending the Village of Burr Ridge Personnel Manual Adopted by Ordinance Number 661

Prior to voting on each agenda item, the Mayor will invite public comment on that item. The Mayor also will invite any person in attendance to address the Board on any other item of concern under Section 9 Public Comments. Each speaker addressing the Board of Trustees is asked to limit her or his comment to five minutes.

7. RESOLUTIONS

- A.** Consideration and Discussion of a Resolution Providing for the Submission of the Electors of the Village of Burr Ridge, at the General Primary Election to be Held on March 17, 2020, a Public Question as to Whether the Village Should Become a Home Rule Unit
- B.** Consideration of Resolution Approving Final Plat The Cottages of Drew Subdivision (7950 Drew Avenue)

8. CONSIDERATIONS

- A.** Consideration of a Variation from the Subdivision Ordinance to Permit a Gated Subdivision at Cabernet Court
- B.** Consideration of Plan Commission Recommendation for Special Use Approval for Automobile Sales, Rental, and Service (Z-20-2019; 16W260 83rd Street – Odeh)
- C.** Receive and File Letter of Resignation of Mary Praxmarer from the Plan Commission
- D.** Consideration of Recommendation to Create a Complete Count Committee for the 2020 U.S. Census
- E.** Consideration of a Request by Storino, Ramello & Durkin to Approve a Fee Increase
- F.** * Approval of 2020 Village Board Meeting Schedule
- G.** * Receive and File Letter of Resignation of Police Department Records Clerk Margaret Strama
- H.** * Approval of Recommendation to Hire Replacement Records Clerk to Fill the Vacancy Created by Resignation of Margaret Strama
- I.** * Approval of Contract with McFarlane Douglass for Interchange Improvements
- J.** * Approval of Vendor List Dated December 9, 2019 in the Amount of \$168,042.87 for all Funds, plus \$199,395.14 for Payroll for the Period Ending November 30, 2019, for a Grand Total of \$367,438.01, Which Includes Special Expenditures of \$37,560 to Currie Motors for a 2020 Ford Utility Police Vehicle and \$22,395.10 to Burns & McDonnell for the County Line Road Sidewalk Project

9. PUBLIC COMMENTS

10. REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS

11. ADJOURNMENT



TO: Mayor and Board of Trustees
FROM: Village Administrator Doug Pollock and Staff
SUBJECT: Regular Meeting of December 9, 2019
DATE: December 6, 2019

3. A. **Swearing In of New Police Officer**

B. **2019 Tax Levy**

6. **ORDINANCES**

A. **Tax Levy for the Fiscal Year May 1, 2020 to April 30, 2021**

Enclosed is an Ordinance approving the 2019 Tax Levy. The total request for the 2019 Tax Levy is \$1,293,764 which represents an increase of \$72,034 or 5.9% over 2018.

The Village of Burr Ridge, like all non-home-rule communities in Cook and the collar counties, is subject to a State imposed annual tax levy cap of 5% or the cost of living, whichever is lower, plus property taxes from new growth (annexation and new construction). The cost of living increase is based on the Consumer Price Index which this year, has been set at 1.9%.

The available tax levy increase resulting from new growth will be determined by the Township Assessors in the first quarter of 2020. Thus, municipalities have to “predict” the available levy increase for new growth. If we predict lower than the actual amount available, we cannot capture that additional amount. If we predict higher, the Assessors will lower our levy to match the actual available increase. Thus, to capture all of the property tax revenue available under the tax cap, the Village always requests a higher amount than we anticipate receiving. Typically, the increase in the tax levy resulting from new growth will be closer to 2% rather than the 4% used for the estimating calculation.

The Tax Levy Ordinance must be adopted and filed with Cook and DuPage Counties no later than the last Tuesday of December. The total levy is divided into three separate levies. The Police Pension Levy, which is the legally required employer contribution, is determined by an independent actuarial valuation as of April 30, 2019. Once the pension requirement is established, the remaining dollars are allocated between the Corporate Levy (60%) and the Police Protection Levy (40%). The Corporate Levy and the Police Protection Levy represent approximately 5.7% of the total General Fund Revenues and are used to pay for normal expenses found in the General Fund. The 2019 proposed Tax Levy is summarized as follows (see attached slides for more detail).

	Actual Extended 2018	Proposed Extended 2019	Dollar Change	% Change
Corporate	\$290,431	\$309,400	\$18,969	6.53%
Police Protection	\$193,220	\$206,267	\$13,047	6.75%
Police Pension	\$738,079	\$778,097	\$40,018	5.42%
Total	\$1,221,730	\$1,293,764	\$72,034	5.90%

As always, staff reminds the Board and taxpayers that the Burr Ridge Property Tax Levy represents less than 2% of a Burr Ridge resident's tax bill. The remaining 98%+ goes to other local taxing districts such as the schools, fire districts, parks, County, etc.

It is our recommendation: That the Tax Levy Ordinance be approved.

B. Amend Personnel Manual

Attached is an Ordinance amending the Village of Burr Ridge Personnel Manual regarding accrual of sick leave for employees. Current policy states that employees receive one sick day (8 hours) at the beginning of each month up to a maximum of 10 days (80 hours) per year. The amendment revises the accrual process so that 3.07 sick hours are accrued with each pay check. This change in the accrual policy does not change the number of sick days allotted for employees. It is simply intended to streamline the accrual process.

Please note that this policy will not be immediately applicable to employees that are members of the three unions as their contracts will have to be amended to reflect this change in policy.

It is our recommendation: That the Board approves the Ordinance.

7. RESOLUTIONS

A. Home Rule Referendum on the March 2020 Ballot

As directed by the Board of Trustees, attached is a Resolution placing a referendum question regarding home rule on the March 17, 2020 ballot. The Resolution was prepared by Village Attorney Mike Durkin. The referendum question to be placed on the ballot is as follows:

Shall the Village of Burr Ridge become a home rule unit?	YES
	NO

Also attached is the memorandum previously distributed to the Board providing additional information as requested by the Board at the November 25 meeting.

Based on the presentation by staff and Board discussion at the November 25 meeting, it appears that the primary reasons for considering home rule include:

- Flexibility to allow hotel taxes to be used for the Police Pension Fund and the Capital Improvement Fund Road Program;
- Expanding local adjudication to allow more tickets and fines to be adjudicated in Burr Ridge; and
- Adding regulatory authority to address land use and environmental issues.

It is our recommendation: That the Board approves the Resolution.

B. Final Plat of Subdivision for Cottages of Drew

Please find attached a Resolution approving the final plat of subdivision for the Cottages of Drew, located at 7950 Drew Avenue (southwest corner of 79th Street and Drew Avenue). The plans have been approved by both DuPage County and the Village on a zoning and engineering basis. This subdivision is a Planned Unit Development with 8 zero-lot-line home sites.

The petitioner has submitted the necessary documents regarding the subdivision letter of credit and all other agreements. The developer is also requesting:

- Waiver of the donation in lieu of required street improvements for 79th Street and Drew Avenue. Half street improvements are required for both streets. The estimated cost of these street improvements is \$62,540.
- Reduction of the donation in lieu of required sidewalks. Sidewalks are required on the adjacent side of 79th Street and Drew Avenue and on both sides of Cottage Court. Sidewalk cost estimates are \$56,040.
- Payment of school and park impact fees on a per-permit basis. The Village has historically collected these fees up front but have recently approved payment on a per lot basis for two different subdivisions.

The developer has justified the request for relief from the sidewalk and street improvement requirements due to the fact that 79th Street was recently resurfaced along the subject property as well as the presence of protected wetlands along 79th Street and Drew Avenue in the areas indicated. The developer states that due to the presence of the wetlands, the adjacent streets will never be widened and sidewalks would otherwise be unable to be built in these locations. The developer further states that because the sidewalks along Cottage Court would not be connected to any other existing or planned sidewalks, these sidewalks would serve no connectivity purpose.

Due to the timing of the final plat, the sidewalks have not been reviewed by the Pathway Commission. Based on the recently updated Sidewalk Plan, it is anticipated that the Pathway Commission would recommend a donation in lieu of sidewalks.

Staff suggests that the Board consider maintaining the requirement for full payment of school and park donations. If an accommodation is deemed appropriate, staff suggests allowing the school and park donations to be paid with issuance of each building permit provided that all payments are made prior to acceptance of the subdivision improvements (2 years from final plat approval). Staff also suggests that approval of a donation in lieu of sidewalks be subject to the review by the Pathway Commission.

It is our recommendation: That the final plat of subdivision be approved with direction regarding the request for fee waivers provided.

8. CONSIDERATIONS

A. Subdivision Gate at Cabernet Court

The Village has received a petition from the Cabernet Court Homeowners Association (HOA) to create a gated subdivision at Cabernet Court. The subdivision is located on the west side of County Line Road just north of Plainfield Road. A map of the subdivision (outlined in yellow) is located below.



Cabernet Court is a seven-lot subdivision (six lots currently developed) that was developed between 2000-02. The subdivision is self-contained in that no other streets access Cabernet Court for purposes of through-travel. The residents of the subdivision propose erecting a gate on Cabernet Court setback a reasonable distance from County Line Road. The stated purpose of the request is primarily to increase safety for the residents within the subdivision and to restrict solicitors from accessing their properties.

In regards to gated subdivisions, Section IX.G of the Subdivision Ordinance states as follows:

Subdivision fences and entryway monuments are intended to be utilized as decorative gateway features and to buffer rear and side yards from arterial streets. Subdivision fences and entryway monuments are not intended to enclose subdivisions and are not allowed as gates either for private or public streets.

The subdivision has an active HOA which is responsible for the maintenance of the two stormwater outlots located along County Line Road on either side of Cabernet Court. The HOA has stated that they would agree to take ownership of the street and assume street and snow maintenance responsibilities.

The HOA is not requesting final approval of a subdivision gate, entryway monuments, or formal transference of road maintenance from the Village to the HOA at this time; rather, the HOA is requesting direction from the Board. If the Board were to approve the concept of a subdivision gate at Cabernet Court, the Board would be directing staff to work with the Cabernet Court HOA to prepare formal plans regarding subdivision entryway monuments and a gate as well as revising the HOA's covenants to allow for receiving ownership of the public roadway within their subdivision. If the Board directs staff to proceed in this fashion, the following planning requirements are recommended:

- Preparation of a Plat of Vacation and Grant of Easement to transfer ownership of the street to the HOA and the property owners with access rights to the Village and Fire District.
- Review of amendments to the HOA covenants to assure continued maintenance of the street.
- The final location of the gate should be set back at least 60 feet from the sidewalk crossing on the west side of County Line Road. This will allow for adequate distance for three cars to stack while queueing at the gate.
- The subdivision gate be equipped with an optical receiver to allow for instant keyless access to the subdivision for emergency police and fire vehicles. The Police Department has recommended that Federal Signal Opticon Emitters be used as the preferred brand; this is the same technology that is used on traffic signals throughout the Village to allow for emergency priority and actuate a green signal.

Because the language affecting this petition is located in the Subdivision Ordinance, this petition does not require Plan Commission review and recommendation to be considered by the Board.

It is our recommendation: That the Board provide direction regarding this petition.

B. Special Use for Automobile Sales, Rental, and Service

Please find attached a letter recommending approval of a one-year extension of the special use for Apex Motorworks for an automobile sales, rental, and service business 16W260 83rd Street. The petitioner seeks to continue to operate an automobile-based business at the subject property after their initial two-year special use expired in 2019. This recommendation was previously on the November 11, 2019 Board agenda.

The business was originally granted a temporary two-year special use in 2017 to operate an automobile sales use, with maintenance of vehicles restricted to those owned by the company on-site. The petitioner stated that the purpose of the expanded special use request was to permit the business to add automobile rental and maintenance services to their portfolio. While the petitioner's original temporary special use did not permit the commercial rental of vehicles or maintenance services not currently owned by Apex, staff had observed evidence of both activities being performed by the business at the subject property. The petitioner was also required to adhere to minimum sale price standards as follows:

1. 75% of all automobiles sold will have an average sale price of \$75,000 or more;
2. 15% of automobiles sold may be sold for \$10,000 to \$29,999;
3. All other automobiles must be sold for \$30,000 or more.

Upon inspection of the petitioner's sales data from January 2018 through August 2019, it was determined that the petitioner had met the first and third condition but not the second condition. Although 16.1% of all sales in the aforementioned time period were between said prices, there was one sale of \$6,000 which is below the minimum.

The Plan Commission debated the merits of allowing rental and maintenance services at the subject property, including how the Village would ensure that the rentals offered would be of an acceptable quality as well as the impact of allowing maintenance services on the neighborhood. The Plan Commission determined that due to the presence of other automobile maintenance uses in proximity to the use, there would be little impact in recommending such activity, but restricted the petitioner to perform maintenance only on vehicles currently owned or previously sold by the business. The Plan Commission also determined that the rental of automobiles would similarly have little impact on the surrounding neighborhood, but recommended that a minimum rental price be applied to any rental transaction. No residents spoke on the petition.

It should also be noted that the petitioner has several signs on their building which are non-compliant with the Sign Ordinance. Staff plans to immediately address this issue through code compliance if the special use is approved.

The Plan Commission, by a vote of 7-0, recommended approval of the special use request for an automobile sales, service, and rental use in a G-I General Industrial District, subject to the following conditions:

1. The special use shall be limited to Apex Motorworks in a manner consistent with the submitted business plan.
2. The special use shall be null and void if Apex Motorworks no longer operates an automobile sales, service, and rental use at 16W260 83rd Street.
3. The special use shall be temporary in nature, expiring one year from the date of any approving ordinance. If no petition for renewal is received by said date, the special use shall be null and void.
4. No advertisements for maintenance service shall be permitted on the subject property.
5. All vehicles, except for personal vehicles of customers and staff, shall be stored inside at all times.
6. All rental transactions shall have an executed transaction price of at least \$400 per day.
7. The hours of operation for sales and maintenance operations shall be limited to 10:00am to 7:00pm, Mondays through Saturdays.
8. The hours of operation for rental operations shall be limited to 10:00am to 7:00pm, seven days per week.
9. Within any 12-month period, all automobiles sold from the subject property shall comply with the following sale price requirements:
 - 75% of all automobiles sold will have an average sale price of \$75,000 or more;
 - 15% of automobiles sold may be sold for \$20,000 to \$29,999;
 - No vehicles may be sold for under \$20,000.
 - All other automobiles must be sold for \$30,000 or more.
 - Apex shall provide this data to staff prior to any future special use petitions.
10. Only vehicles that are currently owned or were previously sold by Apex may be serviced on-site. On-site maintenance of aforementioned vehicles shall occur entirely indoors, with all exterior doors closed. No body work shall be permitted on the subject property.
11. All aforementioned conditions shall apply to Prestige Exotics, which acts as a rental company for the petitioner, operating at 16W260 83rd Street.

The Board of Trustees should also know that the gross sales numbers reported by the petitioner are not reflective of the sales tax paid to the Village. The petitioner reports that approximately 90% of the sales are out of state and as such are exempt from State of Illinois sales tax.

It is our recommendation: That the Board provide direction regarding the request for a special use and direct staff to prepare an Ordinance accordingly.

C. Resignation of Plan Commissioner Mary Praxmarer

Plan Commissioner Mary Praxmarer has notified the Village that she will be resigning from her position at the expiration of her term on the Plan Commission, effective February 1, 2020. Ms. Praxmarer has been on the Plan Commission since June 2013.

It is our recommendation: That Mary Praxmarer's resignation be accepted.

D. Complete Count Committee for the 2020 U.S. Census

The upcoming 2020 Census is the legally-required method in determining the number of residents living in the Village; proper political representation and allocation of financial resources to the Village. To aid in ensuring that the Village is accurately represented in the 2020 Census, staff recommends the establishment of a Village Complete Count Committee. Complete Count Committees (CCC) are volunteer committees established by state and local governments to increase awareness and motivate local residents to participate in the upcoming 2020 Census. A CCC will allow the Village to better identify our hard-to-reach populations, such as seniors, snowbirds, and those who speak little to no English as well as act as a trusted point of contact for community members who require additional assistance to participate in the Census. As examples, the CCC might participate in the following activities to aid in its mission:

- Establish methods to communicate the importance of an accurate count of all Illinoisans in the 2020 Census and increase participation rates.
- Develop strategies to motivate people to respond.
- Publicize participation in the census at community and civic events, job fairs, civic organization meetings, university/school events, church events, etc.
- Educate and encourage those who feel threatened by the government collection of their personal information.
- Recognize historically undercounted populations (including, but not limited to, immigrant communities; children under the age of 5; students; those geographically isolated; or those persons who live in more than one state, such as residents who live in the South during the winter).
- Distribute recruiting materials to the public, including hard-to-count areas and communities.
- Build coalitions with community organizations and community leaders.
- Act as a speaker at organized events and meetings to educate and promote the importance of census participation in an effort to recruit additional participants.

Staff recommends that the CCC be made up of nine standing members, including a Chair, and be made up primarily of community leaders who represent local organizations, such as places of worship, businesses, or service organizations. As the CCC will work to support a temporary initiative, staff recommends that the CCC be mandated to cease its functions at an established date no later than December 31, 2020. The Census is legally required to deliver its results to the President and Congress by this date; therefore, a Village CCC would not need to exist beyond this date. Staff estimates that the Village would incur minimal financial expenses in establishing a CCC.

It is our recommendation: That a Complete Count Committee be established.

E. Storino, Ramello & Durkin Fee Increase

Attached is a request from the Village Attorney for an increase in their hourly rates. The current rate is \$198 per hour for the Village Attorney and \$175 per hour for the Village Prosecutor. The proposed rates would be \$200 and \$180 per hour respectively.

Also attached is a survey completed in November (by the City of Elmhurst) of other municipal legal counsel fees. The average is just under \$205 per hour for Village Attorneys. Village Prosecutor fees vary considerably in formula and amount.

It is our recommendation: That the requested fee increase be approved.

F. 2020 Village Board Meeting Schedule

Attached is the Village Board meeting schedule for the 2020 calendar year. The schedule includes meetings on the 2nd and 4th Monday of each month except for December where the second meeting is not scheduled. As directed by the Board, staff will monitor agendas and cancel meetings as may be appropriate.

It is our recommendation: That the Board approve the schedule.

G. Resignation of Records Clerk Margaret Strama

Attached please find a letter from Records Clerk Margaret Strama tendering her resignation from the Burr Ridge Police Department effective December 5, 2019.

It is our recommendation: That Margaret Strama's letter of resignation be received and filed.

H. Hire Replacement Records Clerk to Fill Vacancy

Chief John Madden is recommending that the Records Clerk vacancy created by the resignation of Margaret Strama be filled.

It is our recommendation: That the Board authorize filling this vacancy.

I. Contract with McFarlane Douglass for Interchange Improvements

At the November 25, 2019 meeting, the Board of Trustees directed staff to proceed with installation of holiday decorations at two of the four quadrants of the County Line Road and I-55 interchange. Those decorations have been completed. Funding for these improvements will come from the Hotel Motel Tax Fund which has ample reserves for this additional cost.

It is our recommendation: That the Board approve the contract for McFarlane Douglass to install holiday decorations at the I-55 and County Line Road interchange in an amount of \$19,500.

J. Vendor List of December 9, 2019

Attached is the vendor list dated December 9, 2019 in the amount of \$168,042.87 for all funds, plus \$199,395.14 for payroll for the period ending November 30, 2019, for a grand total of \$367,438.01, which includes special expenditures of \$37,560 to Currie Motors for a 2020 Ford utility Police vehicle and \$22,395.10 to Burns & McDonnell for the County Line Road sidewalk project.

It is our recommendation: That the December 9, 2019 vendor list be approved.

LEGAL NOTICE
NOTICE OF PROPOSED PROPERTY TAX
FOR THE VILLAGE OF BURR RIDGE
COOK AND DUPAGE COUNTIES, ILLINOIS

- I. A public hearing to approve a proposed property tax levy increase for the Village of Burr Ridge, Cook and DuPage Counties, Illinois, for the 2019 tax levy year will be held on the 9th day of December 2019 at 7:00 p.m. at the Village Hall, 7660 County Line Road, Burr Ridge, Illinois.

Any person desiring to appear at the public hearing and present testimony to the taxing district may contact Mr. Doug Pollock, Village Administrator, Village of Burr Ridge, 7660 County Line Road, Burr Ridge, Illinois, (630) 654-8181.

- II. The corporate and special purpose property taxes extended or abated for 2018 were \$1,221,730.

The proposed corporate and special purpose property taxes to be levied for 2019 are \$1,293,764.

This represents a 5.90% increase over the previous year.

- III. The property taxes extended for debt service and public building commission leases for 2018 were \$0.

The estimated property taxes to be levied for debt service and public building commission leases for 2019 are \$0.

This represents a 0.0% increase over the previous year.

- IV. The total property taxes extended or abated for 2018 were \$1,221,730.
The estimated total property taxes to be levied for 2019 are \$1,293,764.

This represents a 5.90% increase over the previous year.

Published in The Suburban Life Newspaper November 28, 2019

REGULAR MEETING
MAYOR AND BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE

November 25, 2019

CALL TO ORDER The Regular Meeting of the Mayor and Board of Trustees of November 25, 2019 was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:00 p.m. by Mayor Gary Grasso.

PLEDGE OF ALLEGIANCE Pledge of Allegiance led by Boy Scout Troop 69 from St. Helena's Church

ROLL CALL was taken by the Village Clerk and the results denoted the following present: Trustees Franzese, Schiappa, Paveza, Snyder, Mital, and Mayor Grasso. Absent was Trustee Mottl. Also present were Deputy Chief Marc Loftus, Assistant Village Administrator Evan Walter, Finance Director Jerry Sapp, Public Works Director Dave Preissig, Village Clerk Karen Thomas, and Village Attorney Mike Durkin.

PRESENTATIONS AND PUBLIC HEARINGS

PUBLIC HEARING – AMENDMENT TO ANNEXATION AGREEMENT
(SAIA – 15W460 NORTH FRONTAGE ROAD)

CALL TO ORDER The Public Hearing of the Mayor and Board of Trustees for the Amendment to Annexation Agreement was called to order by Mayor Grasso at 7:02 P.M. with the same Trustees in attendance as immediately preceding the Public Hearing.

Assistant Village Administrator Evan Walter presented Saia's request to amend their annexation agreement to add an electric fence on the subject property for better security. The fence would be approximately 10 feet tall, 6-12 inches inside the existing chain link fence, making it not easily accessible to passersby.

Trustee Mital asked the purpose behind the design of having the electric fence 6-12 inches beyond the chain link fence. Mr. Walter introduced Cindy Williams, from Electric Guard Dog, to answer questions. Ms. Williams assured Mayor Grasso the fence is not harmful to people or animals. It is simply a deterrent to crime. Mayor Grasso commented he is not aware of criminal activity on site. Ms. Williams responded she is not a SAIA employee however SAIA does utilize electric fences nationwide. Trucking companies have found this to be the most effective security system for terminals. In response to Trustee Mital, she stated the two fences work in conjunction with each other. The perimeter fence is the first line of defense and if it is cut, the electric fence is still secure. If there were more than 6-12 inches between the two fences there is the danger of someone climbing the exterior fence and becoming trapped between the two. Trustee Mital questioned if there was signage to warn people. Ms. Williams confirmed there are warning signs every 30 feet, in English and Spanish, on both sides of the fence.

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Trustee Franzese asked Deputy Chief Marc Loftus if there has been any external crime in the past year. Deputy Chief Loftus confirmed there has not been. Trustee Franzese stated it has been determined the crimes are internal, employees, drivers. He questioned how the electric fence would help. Ms. Williams explained the employees are aware of the fence and know that it is monitored and all breaches are recorded. The electric fence is a deterrent to internal crimes as well as external. Trustee Franzese questioned if Compass Truck Sales to the west has an electric fence. Village Administrator Doug Pollock stated not to his knowledge. Ms. Williams commented if there is an existing electric fence they would not install another one.

Trustee Schiappa requested further explanation of the current running through the fence. Ms. Williams explained the current source is a twelve-volt battery. It is pulse electricity so when it is touched it doesn't injure you. It is akin to the shock of static electricity and is very safe. All large trucking companies nationwide, including SAIA, utilize electric fences for security. Trustee Schiappa asked how tall the electric fence is in comparison to the chain link fence. Ms. Williams explained the electric fence needs to be two feet taller than the existing fence to prevent anyone from jumping over the fence.

Resident Alice Krampits commented that Lyons Trucking was denied an electric fence so this would be setting a precedent. Also, if it is an internal problem, video surveillance would solve the problem. She suggested a sound barrier fence.

Resident Ellen Raymond expressed hope that the Board will not set a precedent by allowing the electric fence. Her concern is other businesses and homeowners will want an electric fence.

Ms. Williams clarified that Lyons Trucking was not denied the electric fence rather they withdrew their request. The existing fence was not code compliant and Lyons Trucking decided not to make necessary changes required for the variance. Ms. Williams stated she does not know specifics about thefts however since there is a monthly expense incurred with the electric fence, SAIA obviously feels it is necessary. Ms. Williams explained this is not appropriate for homeowners. It is for industrial or commercial outside storage properties.

Mayor Grasso asked if there is an insurance or liability carrier. Ms. Williams stated Electric Guard Dog has \$6,000,000.00 liability per incident.

Trustee Snyder stated larger trucking companies do not notify the Police on small claims. He also asked if Compass Truck has an electric fence. Village Administrator Doug Pollock said they do not have one that was approved by the Village. Trustee Franzese, however, believes they do have one. Assistant Village Administrator Evan Walter also stated Compass is not approved to have one. If that is a concern it can be addressed through code enforcement. Mayor Grasso requested it be confirmed whether or not there is an electric fence at Compass.

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There was further discussion regarding filing a Police report verses filing an insurance claim. Mayor Grasso requested that SAIA agree to report all incidences of crime at the site.

Motion was made by Trustee Paveza and seconded by Trustee Snyder that the Public Hearing be closed.

On Roll Call, Vote Was:

AYES: 5 – Trustees Paveza, Snyder, Mital, Franzese, Schiappa

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes the motion carried and the Public Hearing was closed at 7:25 P.M.

CONSENT AGENDA – OMNIBUS VOTE After reading the Consent Agenda by Mayor Gary Grasso, motion was made by Trustee Franzese and seconded by Trustee Snyder that the Consent Agenda – Omnibus Vote (attached as Exhibit A) (except 8B), and the recommendations indicated for each respective item, be hereby approved. Any item removed from the Consent Agenda, will be discussed by the Board, opened for public comment, and voted upon during this meeting.

On Roll Call, Vote Was:

AYES: 5 – Trustees Franzese, Snyder, Mital, Schiappa, Paveza

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes the motion carried.

APPROVAL OF REGULAR BOARD MEETING MINUTES OF NOVEMBER 11, 2019 were approved for publication under the Consent Agenda by Omnibus Vote.

APPROVAL OF SPECIAL - TOWN HALL MEETING OF OCTOBER 21, 2019 were approved for publication under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE STORMWATER COMMITTEE MEETING MINUTES OF NOVEMBER 12, 2019 were noted as received and filed, under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PATHWAY COMMISSION MEETING MINUTES OF NOVEMBER 14, 2019 were noted as received and filed, under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE PLAN COMMISSION MEETING MINUTES OF NOVEMBER 18, 2019 were noted as received and filed, under the Consent Agenda by Omnibus Vote.

APPROVAL OF AN ORDINANCE AMENDING VARIOUS SECTIONS OF THE BURR RIDGE ZONING ORDINANCE TO PROHIBIT THE LOCATION OF CANNABIS

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BUSINESS ESTABLISHMENTS WITHIN THE VILLAGE OF BURR RIDGE the Board, under Consent Agenda, approved the Ordinance.

THIS IS ORDINANCE NO. A-834-17-19

APPROVAL OF RECOMMENDATION FOR VILLAGE ADMINISTRATOR TO HIRE A PART TIME CLERK IN THE ADMINISTRATION DEPARTMENT the Board, under Consent Agenda, Authorized the Village Administrator to Hire a Part Time Clerk.

APPROVAL OF EMPLOYMENT TRAINING AGREEMENT FOR POLICE OFFICER HEMZA SHAIBI the Board, under Consent Agenda, Approved the Training Agreement.

APPROVAL OF PLAN COMMISSION RECOMMENDATION TO APPOINT BARRY IRWIN AS VICE CHAIRPERSON OF THE PLAN COMMISSION FOR A ONE-YEAR TERM EXPIRING NOVEMBER 18, 2020 the Board, under Consent Agenda, Approved the Appointment for One-Year.

APPROVAL OF RECOMMENDATION TO AWARD CONTRACT FOR JANITORIAL SERVICES AT VILLAGE FACILITIES FOR A SIX-MONTH RENEWAL TERM TO ECO CLEAN MAINTENANCE, INC. OF ELMHURST, ILLINOIS the Board, under Consent Agenda, Awarded the Contract to Eco Clean Maintenance, Inc. for six months.

APPROVAL OF RECOMMENDATION TO AWARD CONTRACT FOR PURCHASE OF BLENDED LIQUID CHLORIDES TO K-TECH SPECIALTY COATINGS, INC. OF ASHLEY, IN, IN THE AMOUNT OF \$11,868.00 the Board, under Consent Agenda, Awarded the Contract to K-Tech Specialty Coatings, Inc. in the Amount of \$11,868.00.

APPROVAL OF VENDOR LIST DATED NOVEMBER 25, 2019 IN THE AMOUNT OF \$357,793.51 FOR ALL FUNDS, PLUS \$189,653.18 FOR PAYROLL FOR THE PERIOD ENDING NOVEMBER 16, 2019, FOR A GRAND TOTAL OF \$547,446.69 WHICH INCLUDES SPECIAL EXPENDITURES OF \$10,000.00 TO RAUCCI & SULLIVAN STRATEGICS FOR STERIGENICS LOBBYIST REPRESENTATIVE; \$22,641.14 TO PATRICK ENGINEERING FOR THE BURR RIDGE PARKWAY PAVING PROJECT; AND \$15,097.50 TO MACKIE CONSULTANTS FOR WATER MAIN INTERCONNECTION
The Board, under Consent Agenda by Omnibus Vote, approved the Vendor List for the period ending November 25, 2019 plus Payroll for the Period Ending November 16, 2019.

CONSIDERATION OF REQUEST FOR HELICOPTER LANDING AT VILLAGE CENTER
Mayor Grasso requested this be removed from the Consent Agenda for further explanation. Village Administrator Doug Pollock stated the Village Center Management would like to bring Mr. & Mrs. Santa Claus to the Village Center via helicopter. Ms. Taylor Blagrove from the Village Center and Edwards Realty Company explained their plan to have Mr. & Mrs. Santa Claus arrive via helicopter,

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landing in the parking lot behind the 850 Building. The Fire and Police Departments will be standing by. The interaction with the helicopter will last approximately ten minutes.

Trustee Franzese confirmed there would only be one landing/lift off and that the residents will be notified.

Village Administrator Doug Pollock requested Ms. Blagrave announce the date and time which she stated is December 14, 2019. The helicopter will land at 1:30 and lift off a few minutes later. Mr. and Mrs. Santa Claus will be available for photos until 4:30.

Motion was made by Trustee Mital and seconded by Trustee Schiappa to approve the Request for Helicopter Landing at Village Center.

The Motion was approved by unanimous voice vote of the Board of Trustees.

APPROVAL OF AN ORDINANCE AUTHORIZING AMENDMENT TO ANNEXATION AGREEMENT (SAIA – 15W460 NORTH FRONTAGE ROAD) Village Administrator Doug Pollock explained this is the Ordinance in support of the Public Hearing that was just held.

Motion was made by Trustee Paveza and seconded by Trustee Snyder to Approve the Amendment to the Annexation Agreement.

On Roll Call, Vote Was:

AYES: 4 – Trustees Paveza, Snyder, Mital, Schiappa

NAYS : 1 – Trustee Franzese

ABSENT: 1 – Trustee Mottl

There being four affirmative votes the motion carried.

THIS IS ORDINANCE NO. A-1116-01-19

Mayor Grasso repeated the need for Saia to report incidents of crime to the Village.

CONSIDERATION OF RESOLUTION CENSURING TRUSTEE ZACHARY MOTTL

Mayor Grasso announced Trustee Mottl informed the Board he would be out of town on business and unable to attend the meeting. He will attend the meeting on December 9, 2019 at which time he will present documents supporting claims he has made against Village Staff. Mayor Grasso has said he asked Staff, Village Attorney, Police Chief and recently the State's Attorney to interact with Trustee Mottl and produce any documents on the issues he has raised. Mayor Grasso stated it is his opinion that Trustee Mottl should provide copies of his documents at least a week in advance of the Board meeting so everybody has what he has.

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Mayor Grasso asked if it was the consensus of the Board that Staff should inform Trustee Mottl to present his documents to Staff for distribution to the Mayor and Trustees no later than December 2, 2019 if he wants to present said documents at the Board Meeting December 9, 2019. There were no objections to this request.

Mayor Grasso stated the Board can continue this Resolution until the next Board Meeting or Vote tonight and reconsider the Vote subject to what Trustee Mottl presents.

Trustee Snyder stated adequate time has been given.

Mayor Grasso explained to the Public this is a Resolution concerning a series of communications Trustee Mottl has had with Staff in which he believes Trustee Mottl may have crossed lines in demeaning Staff. The Village is only as good as the Staff and they are one of the reasons the Village remains a Very Special Place. Mayor Grasso believes it is incumbent for the Board to address this but will give Trustee Mottl the courtesy of producing his documents.

Trustee Franzese stated there are two separate issues involved here. One being Trustee Mottl's interaction with Staff and the second is his allegations of corruption and crime for which he will present documentation at the next Board meeting. The Resolution only pertains to Trustee Mottl's treatment of Staff.

Motion was made by Trustee Schiappa and seconded by Trustee Franzese to Adopt the Resolution Censuring Trustee Zachary Mottl.

Trustee Franzese read several of the comments Trustee Mottl has made about Staff as stated in this Resolution. Trustee Franzese said these comments by Trustee Mottl are threats, accusations, demeaning, and character assassinations toward Village Staff members. This is bullying, harassment and verbal abuse.

Mayor Grasso clarified this Resolution only concerns Trustee Mottl's treatment of Staff and not the issues that may be discussed at the December 9, 2019 Board Meeting.

On Roll Call, Vote Was:

AYES: 5 – Trustees Schiappa, Franzese, Mital, Snyder, Paveza

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes the motion carried.

THIS IS RESOLUTION NO. R-35-19

Mayor Grasso stated for the record he would have voted yes on this Resolution.

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CONTINUED DISCUSSION OF HOME RULE Village Administrator Doug Pollock stated that on November 5, 2019 the Village Board held a workshop to discuss the possibility of a Home Rule Referendum on the March ballot. Legal aspects of Home Rule were presented and all information is posted on the Village's website. At the meeting, the Board gave directives to Staff to research and report back to the Board. Those were primarily the impact Home Rule would have on Hotel/Motel Tax, Ticket and Fine Revenue, as well as overall revenues of the Village.

Mr. Pollock presented an overview of the Village's Finances which he said are very stable. The General Fund has a mixture of revenue and is not overly dependent on one source of income.

There are a few challenges for the Village's Finances including the Police Pension Fund, the Road Program in the Capital Improvement Fund and the Equipment Replacement Fund. These are large annual expenses the Village incurs that do not have a single dedicated revenue source to fully fund them every year. In reviewing these financial challenges, a variety of options were considered to stabilize the portion of the property tax that goes into the Police Pension Fund. It was determined that the most effective way was to make an annual \$100,000 contribution to the Police Pension Fund in addition to the State mandated minimum. An additional source of revenue of \$350,000 annually would suffice to ensure funding for the Road Program. The Equipment Replacement Fund needs \$150,000 annually.

The Police Pension Fund continues to increase the percentage of the total property tax levy. The split between this Fund and Village operations needs to be stabilized. Current projections indicate the Police Pension Fund will be more than 100% of property tax by 2040 unless additional funding is secured.

Mayor Grasso interjected this is what prompted him to request scenarios addressing revenues in the present to prevent 100% of the property taxes being required to pay for the Police Pension Fund in the future.

Mr. Pollock continued, explaining the split starts to stabilize if the Village contributes \$100,000 annually to the Police Pension Fund which he suggests as one Financial Goal of the Village.

The Annual Road Program has been funded without borrowing money or assessing residents. The average Annual Expenditure is \$750,000 with approximately \$400,000 revenues from the Motor Fuel Tax. Additionally, the Road Program has historically been funded by Permits, Developer Donations and forfeited Building Bonds which are typically one-time opportunities and are dwindling.

The Equipment Replacement Fund has current reserves of \$335,866 with an average annual contribution of \$187,086 needed to sustain the fund. Typically, equipment is replaced two years beyond the scheduled years of service. Mr. Pollock stated the recommendation is \$150,000 contributed to the Equipment Replacement Fund annually.

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In summary, Mr. Pollock's recommendation is annual contributions of \$100,000 to the Police Pension Fund, \$350,000 to the Road Program and \$150,000 to the Equipment Replacement Fund.

Mayor Grasso explained, to the Public, the Village has always paid into the Police Pension Fund the amount recommended by the Actuary, approximately \$779,000 this year. This is still not sustainable because if funded at the minimum, the minimum continues to grow and take away from the General Fund.

Trustee Snyder asked about the option of "open funding" for the Police Pension Fund. There was further discussion regarding this option.

Finance Director Jerry Sapp explained actuaries measure the market sensitivity. Depositing \$500,000 or \$1,000,000 may be better in the first few years however it could realize a loss in the future so it is more prudent to contribute \$100,000 annually.

Mayor Grasso explained to the Public that the Village Board is discussing whether to Vote to put Home Rule Referendum on the Ballot. Within that discussion is a fiscal program for the future.

Mr. Pollock presented an overview of Revenue as a Home Rule Community verses Non Home Rule Community. As a Non-Home Rule Community, the maximum tax rate for Hotel Tax is 5% with the Village's current rate being 4%. At least 75% of Hotel Taxes must be used to encourage overnight stays in the Village and may not be used for Police Pension Fund or General Fund expenditures. Under Home-Rule there is no maximum tax rate set by law and there is no limitations on expenditures. The Revenue could fund the Police Pension, the Road program, the General Fund, or any other Village purpose.

Staff recommends implementation of an adjudication program for ticket and code revenues, with or without Home Rule Status. There is anticipated increase in revenue from adjudication however with Home Rule status. The revenue from home rule adjudication should increase a minimum of \$50,000 above Non-Home Rule status.

Other Revenue impacts available to Home Rule Communities includes no limit on Sales Tax and Places of Eating Tax. Mr. Pollock stated that with other advantages available to Home Rule Community, raising places of eating taxes does not seem necessary and is not recommended.

In summary, Mr. Pollock stated Home Rule Status would definitely provide significant flexibility in Hotel/Motel tax. The Village has options to achieve a majority of the previously discussed financial goals without Home Rule Status. The Sales Tax could be increased by $\frac{1}{4}\%$ and Hotel Tax by 1%. But that flexibility goes away if the State does not continue to allow Non-Home Rule Villages to use 25% of Hotel Tax for capital expenses past the 2023 deadline. There is no guarantee that will continue.

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Trustee Snyder asked how the figures were calculated for Sales Tax averages and projections. Finance Director Jerry Sapp explained the calculations are conservative. Trustee Snyder requested further review of the estimated revenue from implementation of the additional ¼ % sales tax.

Mr. Pollock continued. Home Rule status would provide incremental increases in Tickets and Fines and would provide flexibility to raise revenues from other sources. Home Rule status would also significantly increase budget flexibility in times of recession or budget cuts. There are regulatory benefits from Home Rule status which could be researched further but the focus has been on revenues.

Mr. Pollock stated there are Villages who have adopted Home Rule and imposed restrictions on the use of their powers. He cited Downers Grove as an example who passed a Resolution pledging not to raise property taxes.

Mayor Grasso expressed approval of Downers Grove approach. He said any use of Home Rule power would require extraordinary meetings, notices, and announcements to the Public. He supports passing a Resolution pledging not to raise Property Taxes.

Trustee Snyder questioned if other options, such as leasing, were considered for the Equipment Replacement Fund. Village Administrator Doug Pollock explained the Village had a \$250,000 Street Sweeper which needed replacing but the Village decided to contract for street sweeping rather than purchase a new Street Sweeper. Trustee Snyder asked if a leasing program was considered for all the cars and equipment for the Village. Director of Public Works Dave Preissig said that option has not been considered yet. Mayor Grasso requested this be researched.

Trustee Snyder asked if there are other assets that are not being utilized that could generate revenue. Mr. Pollock explained there is property on 83rd Street which is restrictive so it is not really an option for sale. Rustic Acres is for sale and when it is sold a portion of the revenue would be used to move the salt storage to the Public Works garage.

Trustee Franzese inquired if revenue for the sale of Rustic Acres would pay off the bond on the Police Station. Mr. Pollock confirmed that was the plan however with the real estate market right now, it may not be sufficient to close that gap. When the Debt Service Fund comes due in 2023, if Rustic Acres has not sold and the Village decides not to roll it over, there is \$5.3 million in General Fund Reserves available to pay off the outstanding \$1.3 million shortfall in the Debt Service Fund.

Trustee Snyder asked what the annual estimate is to maintain sidewalks. Mr. Preissig stated the Village sidewalk maintenance is approximately \$12,000 a year excluding asphalt sidewalks which are currently the greatest hazard. Mr. Pollock stated a detailed estimate was calculated a few years ago which he believes may be around \$400,000 to \$500,000 to replace asphalt pathways. He said that replacement of the asphalt sidewalks will eventually need to happen. Otherwise, sidewalk maintenance is not a significant cost. Replacing asphalt is a one-time project, not recurring like the Road Program. There currently is no money for new sidewalk projects. Mr. Pollock stated if there

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was a dedicated revenue source for annual costs of Police Pension, Road Program, and Equipment Replacement General Fund surpluses that have been used for the Road Program could then be used for sidewalks, storm water and one-time Capital Improvements Projects.

Mr. Pollock commended the Finance Department for generating the information for this discussion.

Village Attorney Mike Durkin reminded the Board that in order to make the March 2020 Primary Election Ballot, a resolution would need to be approved in December, which makes December 9, 2019 the target date. He suggested Staff should prepare the Resolution for the Referendum to be placed on that Agenda. Mayor Grasso confirmed the Resolution should be prepared for a Vote. Trustee Snyder requested additional information in advance of the Board Packet for review.

Resident Ellen Raymond recommended another workshop or town meeting with more notice to residents. She agrees with being able to reallocate Hotel/Motel Tax however she expressed concern about the other taxes that could be added including Real Estate Transfer Tax which could depress home values. She suggested lobbying the Legislature to continue allowing use of the 25% past the 2023 deadline from the Hotel/Motel Tax Fund.

Mayor Grasso clarified that Real Estate Transfer Tax has to be a separate Referendum even if you are Home Rule Community. Village Attorney Durkin confirmed it is only for Home Rule Communities and must be a separate Referendum.

PUBLIC COMMENTS There were none.

REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS Mayor Grasso announced the Village Hall will be closed Thursday and Friday in celebration of Thanksgiving.

On Saturday, December 7, 2019 between 8:00 A.M. and 11:30 A.M. Gower West School will host breakfast with Santa. More information can be found on the Burr Ridge Park District website.

Mayor Grasso presented pictures of proposed decorations on the I-55 Bridge by McFarlane Douglas, at a cost of \$19,500 to rent the display. There was discussion regarding the number of wreaths and the duration of the display. Mayor Grasso suggested trying it for a season; there are funds in the Hotel/Motel Tax Fund to cover the expense. There was consensus to proceed with this project.

Mayor Grasso wished everyone a Happy Thanksgiving.

Motion was made by Trustee Snyder and Seconded by Trustee Paveza that the Regular Meeting of November 25, 2019 be adjourned.

The Motion was approved by unanimous voice vote of the Board of Trustees and the meeting was adjourned at 8:56 p.m.

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PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Karen J. Thomas
Village Clerk
Burr Ridge, Illinois

APPROVED BY the President and Board of Trustees this _____ day of _____, 2019.

MINUTES
ECONOMIC DEVELOPMENT COMMITTEE MEETING
December 4, 2019

CALL TO ORDER: Chairperson Gary Grasso called the meeting to order at 6:00 p.m.

ROLL CALL: **Present:** Mayor Gary Grasso, Trustee Tony Schiappa, Leslie Bowman, Bhagwan Sharma, Michael Simmons, Mark Stangle, Paul Stettin, Sam Odeh, and Kirsten Jepsen (arrived at 6:15 p.m.)

Absent: Debbie Hamilton and Ramzi Hassan

Also Present: Village Administrator Doug Pollock, Assistant Village Administrator Evan Walter, Communications & Public Relations Coordinator Janet Kowal, and Management Analyst Andrez Beltran

MINUTES: A **MOTION** was made by Trustee Schiappa to approve the Minutes from the November 4, 2019 meeting. The **MOTION** was seconded by Mr. Sharma and approved by a vote of 8-0.

CONSIDERATION OF LICENSING PROGRAMS

Mr. Walter stated that the Committee had asked for further details about the cost, revenue, and staff effects of instituting three types of licensing programs: business, contractor, and landscapers. Mr. Walter continued that a business licensing program is projected to have a net revenue of \$40,000 with no increased staff burden; the contractor program would have a net revenue of \$10,000 after the need for an additional part-time employee to handle the additional staff work, and the landscaper licensing would have a net loss of \$55,000 due to the heavy staff burden needed to license and enforce with little revenue.

Mayor Grasso stated that the landscaper license, in addition to the net revenue loss and the high cost to enforce, the license would be very resident sensitive as the landscaper would pass on the cost to the owner. Mr. Sharma stated that he preferred to start with a business license, as it produced the most revenue and was the least strain on staff time, and then expand to a contractor license in the future if so desired. There was consensus on this concept. Mr. Walter stated that previously discussed was an annual fee of \$100 for business licenses. Mayor Grasso asked the Committee if it was still acceptable and the Committee agreed. He then asked for a motion.

A **MOTION** was made by Mr. Sharma to recommend that the Village formally adopt a business license program with an annual fee of \$100; **SECONDED** by Mr. Simmons. **APPROVED 8-0.**

CONSIDERATION OF 2020 EDC GOALS

Mayor Grasso stated that his priority for 2020 is to help the Village Center be fully leased. The Committee discussed a number of ways to approach it, including looking at market segmentation, additional entertainment options, and focusing on foot traffic and trip generation metrics. Mayor Grasso stated that he wanted more input on this issue, and asked if the HOA presidents of the three condo associations should come to the next meeting to discuss further.

OTHER CONSIDERATIONS

Mr. Walter stated that the Illinois Department of Public Health had put out a request for information on sites for a new state of the art Health Lab. Mr. Walter stated with a December 23, 2019 cutoff date, that there would not be time for the Committee to review again. He asked if there were any particular sites that should be omitted from the possible ones presented. The Committee did not omit either of the two sites presented. Mr. Walter stated he and Mr. Beltran would start working on the proposal.

PUBLIC COMMENT

There were no public comments on the above agenda items.

ADJOURNMENT

Mayor Grasso asked for a MOTION to adjourn. Trustee Schiappa made the **MOTION**; Mr. Stangle **SECONDED**. With no objections, the meeting was adjourned at 7:10 p.m.

Respectfully submitted:

A handwritten signature in black ink, appearing to read "Andres Beltran". The signature is fluid and cursive, with the first name "Andres" written in a larger, more prominent script than the last name "Beltran".

Andrez Beltran
Management Analyst

ORDINANCE NO. ____

**AN ORDINANCE LEVYING TAXES FOR ALL CORPORATE
PURPOSES FOR THE VILLAGE OF BURR RIDGE, DUPAGE AND
COOK COUNTIES, ILLINOIS FOR THE FISCAL YEAR
COMMENCING ON MAY 1, 2020 AND ENDING APRIL 30, 2021**

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, DuPage and Cook Counties, Illinois, as follows:

SECTION 1: The total amount of appropriations for all corporate purposes legally made to be collected from the tax levy for the current year is hereby ascertained to be the sum of One Million, Two Hundred Ninety-Three Thousand, Seven Hundred Sixty-Four Dollars (\$1,293,764).

SECTION 2: The sum of One Million, Two Hundred Ninety-Three Thousand, Seven Hundred Sixty-Four Dollars (\$1,293,764), being the total appropriations heretofore legally made which are to be collected from the tax levy for the current fiscal year of the Village of Burr Ridge, as appropriated for the current fiscal year by the annual appropriation ordinance of the Village of Burr Ridge for the fiscal year ending April 30, 2020, passed by the Mayor and Board of Trustees of the Village at the legally convened meeting of April 8, 2019, be, and the same is hereby levied upon all of the taxable property in the Village of Burr Ridge subject to taxation for the current year, the specific amounts as levied for the various purposes named being included herein by being placed in a separate column under the heading Amount To Be Derived By Tax Levy which appears over the same, the tax so levied being for the current fiscal year of the Village, and for the said appropriation to be collected from the tax levy, the total which has been ascertained and being as follows:

Account Description	Adopted Budget	Amount To Be Derived By Tax Levy
General Fund		
Boards & Commissions		
Personnel Services		
Salaries Part-Time	\$ 35,980	\$ 15,470
IMRF Contributions	1,255	0
FICA/Medicare Taxes	2,750	0
Due & Subscriptions	9,800	0
Training & Travel Expense	5,300	0
Total Personnel Services	55,085	15,470
Contractual Services		
Legal Services	90,000	30,940
Prosecution Services	10,000	0
Other Professional Services	2,500	0
Postage	3,210	0
Telephone	1,630	0
Printing	1,000	0
Total Contractual Services	108,340	30,940
Commodities		
Operating Supplies	1,000	0
Total Commodities	1,000	0
Other Expenditures		
Public/Employee Relations	29,300	0
Village Clerk	2,200	0
Fire & Police Comm	19,120	0
Cable TV	13,225	0
Economic Development Comm	34,000	0
Total Other Expenditures	97,845	0
Transfers		
Transfer to Info Tech Fund	8,405	0
Total Transfers	8,405	0
Total Boards & Commission	270,675	46,410
Administration		
Personnel Services		
Salaries Full-Time	401,180	0
Salaries Part-Time	31,095	0
Salaries Overtime	600	0
IMRF Contributions	46,830	0
FICA/Medicare Taxes	35,860	0
Health/Life Insurance	65,085	0
Dues & Subscriptions	1,445	0
Training & Travel Expense	14,700	0
Total Personnel Services	596,795	0
Contractual Services		
Other Professional Services	15,000	0
Postage	2,990	0
Telephone	17,610	0
Publishing	2,500	0
Printing	500	0
Maintenance-Vehicles	750	0
Building/Zoning Enforcement	114,300	0
Total Contractual Services	153,650	0

Commodities		
Office Supplies	300	0
Operating Supplies	7,000	0
Gasoline & Oil	200	0
Total Commodities	7,500	0
Capital Outlay		
Equipment	1,750	0
Total Capital Outlay	1,750	0
Transfers		
Transfer to Info Tech Fund	24,080	0
Total Transfers	24,080	0
Total Administration	783,775	0
Finance		
Personnel Services		
Salaries Full-Time	184,670	0
Salaries Part-Time	15,795	0
IMRF Contributions	19,335	0
FICA/Medicare Taxes	15,135	0
Health/Life Insurance	23,595	0
Dues & Subscriptions	1,465	0
Training & Travel Expense	4,800	0
Total Personnel Services	264,795	0
Contractual Services		
Postage	1,850	0
Telephone	5,150	0
Publishing	1,100	0
Printing	1,150	0
Auditing Services	39,075	0
Total Contractual Services	48,325	0
Commodities		
Office Supplies	300	0
Operating Supplies	300	0
Total Commodities	600	0
Transfers		
Transfer To Info Tech Fund	16,770	0
Total Transfers	16,770	0
Total Finance	330,490	0
Central Services		
Other Personnel Services	5,000	0
Total Personnel Services	5,000	0
Contractual Services		
Printing	4,900	0
Maintenance-Equipment	2,700	0
Insurance	215,750	170,170
Rentals	1,890	0
Total Contractual Services	225,240	170,170

Commodities		
Office Supplies	2,200	0
Operating Supplies	4,900	0
Total Commodities	7,100	0
Other Expenditures		
Bank/Investment Fees	11,185	0
Total Other Expenditures	11,185	0
Transfers		
Transfer to Cap.Imprvmt. Fund	250,000	0
Transfer to Sidewalk/Pathway Fund	125,000	0
Transfer to Equipment Replacement Fund	50,000	0
Total Transfers	425,000	0
Total Central Services	673,525	170,170
Police		
Personnel Services		
Salaries Full-time	2,750,095	206,267
Salaries Part-Time	35,635	0
Salaries Overtime	205,000	0
IMRF Contributions	16,640	0
FICA/Medicare Taxes	228,055	0
Health/Life Insurance	411,970	0
Pension Contribution	758,505	0
Uniform Allowance	50,575	0
Dues & Subscriptions	4,550	0
Employment Recruitment	800	0
Training & Travel Expense	30,885	0
Tuition Reimbursement	6,000	0
Total Personnel Services	4,498,710	206,267
Contractual Services		
Other Professional Services	46,900	0
Postage	1,800	0
Telephone	36,010	0
Printing	1,200	0
Dispatching	324,380	0
Maintenance-Equipment	24,590	0
Maintenance-Vehicles	31,200	0
Other Contractual Services	6,175	0
Total Contractual Services	472,255	0
Commodities		
Office Supplies	1,000	0
Operating Supplies	30,970	0
Gasoline & Oil	55,000	0
Total Commodities	86,970	0
Capital Outlay		
Equipment	27,800	0
Vehicles	102,800	0
Total Capital Outlay	130,600	0
Transfers		
Transfer To Info Tech Fund	49,160	0
Total Transfers	49,160	0
Total Police	5,237,695	206,267

Public Works		
Personnel Services		
Salaries Full-Time	495,505	92,820
Salaries Part-Time	56,930	0
Salaries Overtime	47,500	0
IMRF Contributions	56,850	0
FICA/Medicare Taxes	45,525	0
Health/Life Insurance	88,900	0
Uniform Allowance	8,150	0
Dues & Subscriptions	2,405	0
Employee Recruitment Expense	1,000	0
Training & Travel Expense	10,005	0
Total Personnel Services	812,770	92,820
Contractual Services		
Postage	700	0
Telephone	15,625	0
Printing	300	0
Maintenance-Equipment	12,600	0
Maintenance-Vehicles	41,200	0
Maintenance-Streets	48,150	0
Maintenance-Lighting	32,600	0
Maintenance-Signals	12,860	0
Maintenance-Trees	10,250	0
Street Lighting-Electric	30,500	0
Garbage Hauling	17,000	0
Rentals	9,700	0
Other Contractual Services	90,155	0
Reimbursable Contractor Srvc	8,000	0
Maintenance-EAB	69,200	0
Total Contractual Services	398,840	0
Commodities		
Office Supplies	700	0
Operating Supplies	5,500	0
Gasoline & Oil	36,250	0
Supplies-Equipment	12,000	0
Supplies-Vehicles	15,000	0
Supplies-Streets	18,000	0
Supplies-Trees	19,000	0
Small Tools	1,500	0
Salts & Chemicals	118,000	0
Total Commodities	225,950	0
Capital Outlay		
Equipment	16,300	0
Total Capital Outlay	16,300	0
Transfers		
Transfer To Info Tech Fund	22,240	0
Total Transfers	22,240	0
Total Public Works	1,476,100	92,820

Buildings & Grounds		
Contractual Services		
Maintenance-Buildings	48,440	0
Maintenance-Grounds	17,595	0
Janitorial Services	40,060	0
Utilities	21,000	0
Other Contractual Services	5,300	0
Total Contractual Services	132,395	0
Commodities		
Operating Supplies	19,000	0
Total Commodities	19,000	0
Capital Outlay		
Improvements	9,750	0
Total Capital Outlay	9,750	0
Buildings & Grounds	161,145	0
Total General Fund	8,933,405	515,667

Motor Fuel Tax Fund		
Other Expenditures		
Bank/Investment Fees	400	0
Total Other Expenditures	400	0
Special Revenue MFT		
Transfers		
Transfer To Cap. Imprvmt. Fund	275,000	0
Total Transfers	275,000	0
<hr/>		
Total Motor Fuel Tax Fund	275,400	0
Hotel/Motel Tax Fund		
Special Revenue Hotel/Motel		
Contractual Services		
Maintenance-Gateway Landscape	102,370	0
Gateway Projects	39,000	0
Total Contractual Services	141,370	0
Other Expenditures		
Special Events	106,055	0
Bank/Investment Fees	400	0
Programs/Tourism Promotions	156,600	0
Hotel/Motel Marketing	350,000	0
Total Other Expenditures	613,055	0
<hr/>		
Total Hotel/Motel Tax Fund	754,425	0
Capital Improvements Fund		
Capital Improvement		
Capital Outlay		
Improvements	426,390	0
Village Facility Improvements	35,000	
Road Program	727,035	0
Total Capital Outlay	1,188,425	0
Other Expenditures		
Bank/Investment Fees	800	0
Total Other Expenditures	800	0
<hr/>		
Total Capital Improvements Fund	1,189,225	0
Sidewalks/Pathway Fund		
Capital Outlay		
Sidewalk/Pathway Projects	823,005	0
Sidewalk/Pathway Maint Project	69,000	0
Total Capital Outlay	892,005	0
Other Expenditures		
Bank/Investment Fees	800	0
Total Other Expenditures	800	0
<hr/>		
Total Sidewalks/Pathway Fund	892,805	0

Equipment Replacement Fund

Equipment Replacement		
Capital Outlay		
Vehicles	111,200	0
Total Capital Outlay	111,200	0
Other Expenditures		
Bank/Investment Fees	800	0
Total Other Expenditures	800	0
Total Equipment Replacement Fund	112,000	0

Storm Water Management Fund

Storm Water Management		
Capital Outlay		
Storm Water Management	61,700	0
Total Capital Outlay	61,700	0
Other Expenditures		
Bank/Investment Fees	400	0
Total Other Expenditures	400	0
Total Storm Water Management Fund	62,100	0

Debt Service Fund

Debt Service		
Other Expenditures		
Bank/Investment Fees	11,350	0
Interest-Debt Crt Series 2017	119,400	0
Total Other Expenditures	130,750	0
Total Debt Service Fund	130,750	0

Water Fund

Water Operations		
Personnel Services		
Salaries Full-time	636,515	0
Salaries Part-time	15,030	0
Salaries Overtime	61,700	0
IMRF Contributions	73,850	0
FICA/Medicare Taxes	54,385	0
Health/Life Insurance	84,935	0
Uniform Allowance	8,950	0
Due & Subscriptions	2,595	0
Employee Recruitment Expense	500	0
Training & Travel Expense	3,790	
Total Personnel Services	942,250	0
Contractual Services		
Professional Services	23,000	0
Postage	12,080	0
Telephone	22,185	0
Printing	1,000	0
Maintenance-Equipment	24,600	0
Maintenance-Vehicles	5,000	0
Maintenance-Buildings	7,110	0
Maintenance-Distribution System	178,500	0
Engineering Services	276,000	0
Utilities	80,000	0
Insurance	48,940	0
Rentals	500	0
Other Contractual Services	18,670	0
Total Contractual Services	697,585	0
Commodities		
Office Supplies	600	0
Operating Supplies	37,800	0
Gasoline And Oil	9,300	0
Supplies-Equipment	41,500	0
Supplies-Vehicles	1,000	0
Water Purchases	3,646,020	0
Total Commodities	3,736,220	0
Capital Outlay		
Equipment	51,000	0
Improvements	909,000	0
Vehicles	155,000	0
Total Capital Outlay	1,115,000	0
Other Expenditures		
Bank/Investment Fees	11,000	
Total Other Expenditures	11,000	0
Transfers		
Transfer To Info Tech Fund	165,650	0
Total Transfers	165,650	0
Total Water Fund	6,667,705	0

Sewer Fund

Sewer Operations		
Personnel Services		
Salaries Full-time	194,705	0
Salaries Part-time	3,755	0
Salaries Overtime	3,090	0
IMRF Contributions	20,835	0
FICA/Medicare Taxes	15,365	0
Health/Life Insurance	27,160	0
Uniform Allowance	2,760	0
Total Personnel Services	267,670	0
Contractual Services		
Telephone	1,140	0
Maintenance-Utility System	17,320	0
Utilities	5,500	0
Total Contractual Services	23,960	0
Commodities		
Operating Supplies	1,500	0
Supplies-Equipment	500	0
Total Commodities	2,000	0
Capital Outlay		
Equipment	10,840	0
Improvements	150,000	0
Total Capital Outlay	160,840	0
Other Expenditures		
Bank/Investment Fees	3,500	0
Total Other Expenditures	3,500	0
Transfers		
Transfer To Info Tech Fund	36,810	0
Total Transfers	36,810	0
Total Sewer Fund	494,780	0

Information Technology Fund

Information Technology		
Personnel Services		
Salaries Part-time	6,000	0
Dues & Subscriptions	2,060	0
Training & Travel Expense	5,000	0
Total Personnel Services	13,060	0
Contractual Services		
Other Professional Services	60,000	0
Telephone	480	0
Maintenance-Equipment	15,000	0
Data Processing Service	153,250	0
Total Contractual Services	228,730	0
Commodities		
Operating Supplies	20,000	0
Total Commodities	20,000	0
Capital Outlay		
Equipment	110,190	0
Total Capital Outlay	110,190	0
Other Expenditures		
Bank/Investment Fees	800	0
Total Other Expenditures	800	0
Total Information Technology Fund	372,780	0

Police Pension Fund

Police Pension		
Employer Contribution		778,097
Personnel Services		
Dues & Subscriptions	875	0
Training & Travel Expense	2,000	0
Total Personnel Services	2,875	778,097
Contractual Services		
Legal Services	0	0
Postage	200	0
Actuarial Services	5,000	0
Annual Filing Fee	3,400	0
Total Contractual Services	8,600	0
Other Expenditures		
Bank/Investment Fees	47,160	0
Pension/Disability Payments	1,232,250	0
Pension Refunds	15,000	0
Other Expenses	0	0
Total Other Expenditures	1,294,410	0
Total Police Pension Fund	1,305,885	778,097
Total Village	\$ 21,191,260	\$ 1,293,764

Section 3: The total amount One Million, Two Hundred Ninety-Three Thousand, Seven Hundred Sixty-Four Dollars (\$1,293,764), ascertained above, be and hereby levied and assessed on all property subject to taxation within the Village of Burr Ridge according to the value of said property as the same is assessed and equalized for State and County purposes for the current year.

Section 4: This Levy Ordinance is adopted pursuant to the procedures set forth in the Illinois Municipal Code.

Section 5: This is hereby certified to the County Clerks of DuPage and Cook, Illinois, the several sums aforesaid, constituting said total amount of One Million, Two Hundred Ninety-Three Thousand, Seven Hundred Sixty-Four Dollars (\$1,293,764), which said total amount the Village of Burr Ridge requires to be raised by taxation for the current fiscal year of the Village, and the Village Clerk of the Village is hereby ordered and directed to file with the County Clerks of DuPage and Cook on or before the time required by law, a certified copy of this Ordinance.

Section 6: If any item, purpose, sentence or portion thereof of this ordinance be, for any reason, held invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance, and any ordinance or parts of any ordinance in conflict herewith are hereby repealed.

Section 7: This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

Adopted this 9th day of December, 2019 pursuant to a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge the 9th day of December,
2019.

Mayor

ATTEST:

Karen Thomas

Village Clerk



Village of Burr Ridge

Proposed 2019 Tax Levy

November 11, 2019

Finance Department

Jerry Sapp

Finance Director

Amy Nelson, CPA

Assistant Finance Director



Tax Levy Process

The 2019 Tax Levy process is:

- First step in the annual budget process.
- Proposed in November 2019.
- Adopted by public hearing and filed by ordinance in December 2019.
- Levied and collected by the County Assessor in 2020.
- Received as part of the fiscal year 2020-2021 budget.



Tax Levy Overview

The Tax Levy is comprised of three separate levies:

- Corporate – used for general governmental services.
- Police Protection – used for police services.
- Police Pension – Employer contribution to the Police Pension Fund.



Calculating the Levy Under the Tax Cap

- Estimate new Equalized Assessed Valuation (EAV).
- Calculate the limiting rate under the tax cap.
- Determine the dollars available for the Tax Levy by applying the limiting rate to the estimated EAV.
- Allocate the Police Pension Levy statutory requirement.
- Apply remaining dollars to the Corporate and Police Levy.



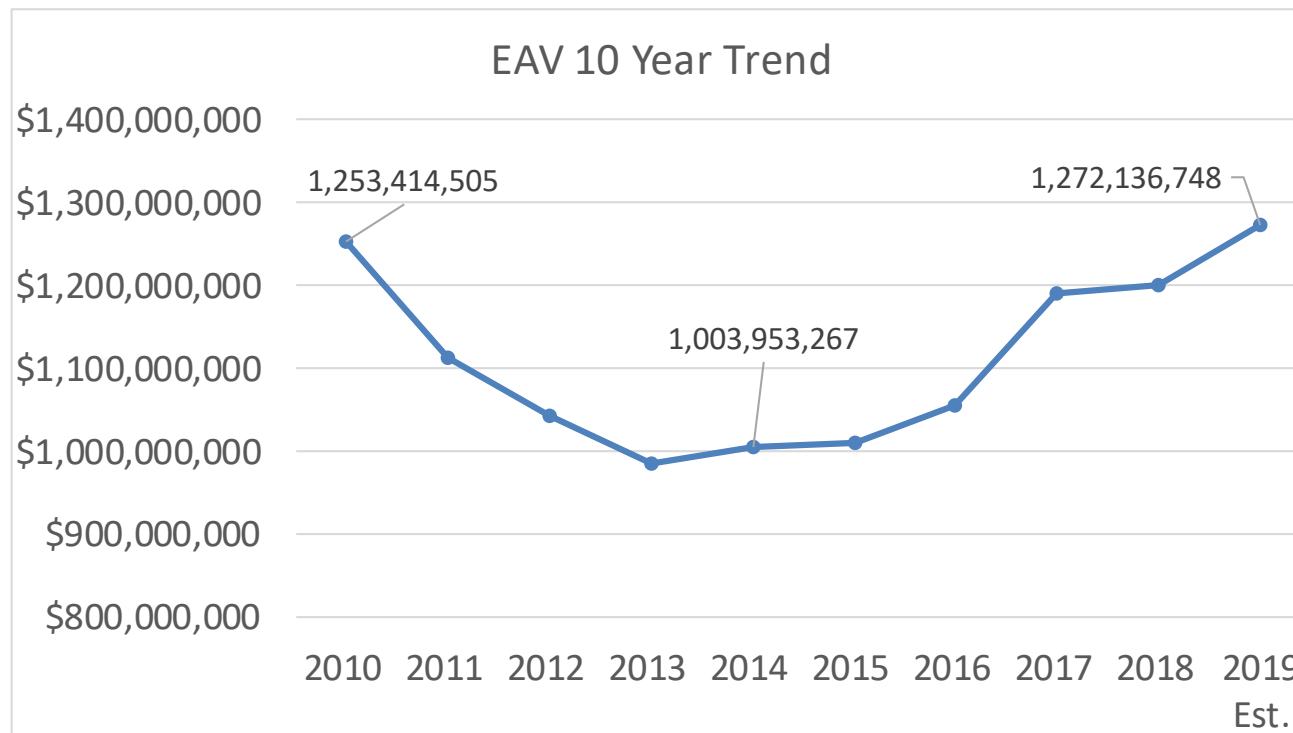
Estimate New Equalized Assessed Valuation

Actual 2018 EAV \$1,200,129,008

Increase - Existing Value 2.00%

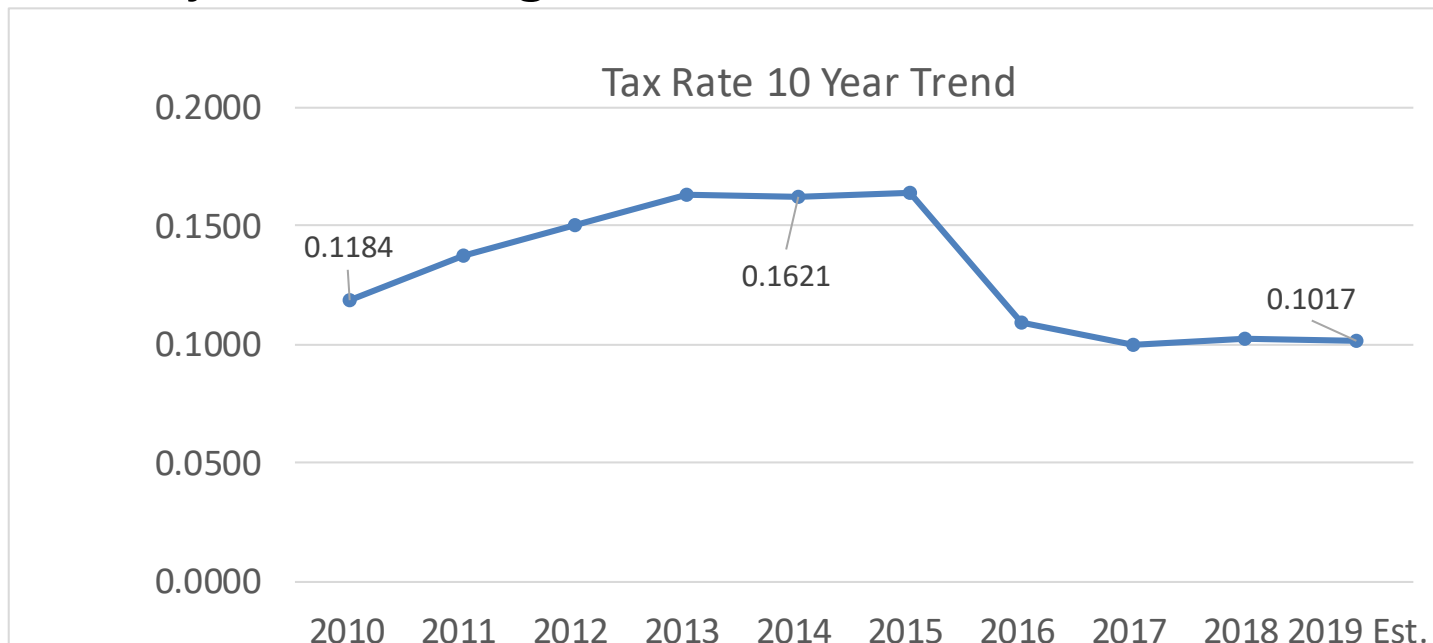
Increase - New Construction 4.00%

Estimated 2019 EAV \$1,272,136,748



Calculate the Limiting Rate Under the Tax Cap

- Limiting rate formula is provided by the Counties.
- Allows taxing districts to receive a limited inflationary increase in taxes on existing property.
- Also an additional amount for any new construction.
- This year's limiting rate is estimated at **0.1017**



Allocate the Police Pension Levy Statutory Requirement

	<u>Levy Amount</u>	<u>% of Levy</u>
Police Pension	\$778,097	60%

Apply remaining dollars to Corporate and Police Levy

Corporate	\$309,400	24%
Police Protection	<u>\$206,267</u>	16%
Total	<u>\$1,293,764</u>	100%

Total Dollar Amount Increase Over Last Year \$72,034

Total Percentage Increase Over Last Year 5.90%



How Your Tax Dollars are Allocated

- The Village tax levy represents less than 2% of every tax dollar on the residents tax bill.



Impact on a \$600,000 Home in Burr Ridge



	Dupage County		Cook County	
	2018	2019	2018	2019
Market Value	\$600,000	\$600,000	\$600,000	\$600,000
EAV	\$199,800	\$199,800	\$174,654	\$174,654
Village Tax Rate	0.1080	0.1017	0.1080	0.1017
Total Village Taxes	\$215.78	\$203.20	\$188.63	\$177.62
\$ Increase (Decrease)		(\$12.59)		(\$11.00)
% Increase (Decrease)		-6.2%		-6.2%



Proposed 2019 Tax Levy Summary

- The proposed Tax Levy is: \$1,293,764
- The proposed tax which equals the Limiting Rate is: 0.1017
- The required public hearing under the “Truth in Taxation” Law is at the Regular Meeting of the Board on Monday, December 9, 2019.
- Recommendation: the proposed Tax Levy be accepted and that staff prepare the necessary notice for the public hearing.
- Last Year's Levy vs. Proposed Tax Levy:

	2018	2019	\$	%
	<u>Actual</u>	<u>Proposed</u>	<u>Change</u>	<u>Change</u>
Corporate	\$290,431	\$309,400	\$18,969	6.53%
Police Protection	\$193,220	\$206,267	\$13,047	6.75%
Police Pension	\$738,079	\$778,097	\$40,018	5.42%
Total	<u>\$1,221,730</u>	<u>\$1,293,764</u>	<u>\$72,034</u>	<u>5.90%</u>



ORDINANCE NO. 661-__-19

**ORDINANCE AMENDING THE VILLAGE OF BURR RIDGE
PERSONNEL MANUAL ADOPTED BY ORDINANCE NUMBER 661**

WHEREAS, the Mayor and Board of Trustees have previously adopted Ordinance No. 661 entitled "Ordinance Adopting the Village of Burr Ridge Personnel Manual as Amended", including subsequent amendments thereto; and

WHEREAS, the Mayor and Board of Trustees intend, by the adoption of this Ordinance, to revise and/or otherwise amend information contained in the aforementioned "Village of Burr Ridge Personnel Manual."

NOW, THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, DuPage and Cook Counties, Illinois, as follows:

Section 1: That Ordinance No. 661 entitled "Ordinance Adopting the Village of Burr Ridge Personnel Manual as Amended" is hereby further amended by the adoption of the following revisions to Article IV, Leaves, Section IV, Sick Leave by deleting Paragraphs A and B, adding the following Paragraph A, and renumbering subsequent Paragraphs C-F to be Paragraphs B-E.

"A. Effective January 1, 2020, full-time employees will start earning sick leave immediately upon employment and will be eligible to earn a total of ten (10) sick leave days per year (i.e., 80 hours). Employees will earn 3.077 hours each pay period for 26 pay periods which will total 80 hours per year (i.e., 10 sick leave days)."

Section 2: Any and all other ordinances in conflict with the provisions of this Ordinance adopted hereby, are hereby repealed to the extent of such conflict.

Section 3: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as

required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

ADOPTED this 9th day of December, 2019 by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 9th day of December, 2019, by the Mayor of the Village of Burr Ridge.

Mayor

ATTEST:

Village Clerk

RESOLUTION NO. 2019-_____

**A RESOLUTION PROVIDING FOR THE SUBMISSION TO THE ELECTORS OF
THE VILLAGE OF BURR RIDGE, AT THE GENERAL PRIMARY ELECTION
TO BE HELD ON MARCH 17, 2020, A PUBLIC QUESTION AS TO WHETHER
THE VILLAGE SHOULD BECOME A HOME RULE UNIT**

WHEREAS, the Village of Burr Ridge is a non-home rule unit of local government; and

WHEREAS, Article VII, Section 6(a) of the Constitution of the State of Illinois provides that a municipality may elect by referendum to become a home rule unit; and

WHEREAS, the Illinois Election Code provides that any public question authorized by Article VII of the Constitution of the State of Illinois shall be initiated in accordance with 10 ILCS 5/28-7, and may be initiated by the governing body of the unit of local government by resolution; and

WHEREAS, under the Constitution of the State of Illinois, a home rule unit may exercise any power and perform any function relating to its government and affairs, including, but not limited to, the power to regulate for the protection of the public health, safety, morals and welfare; and

WHEREAS, the corporate authorities of the Village of Burr Ridge find that it is in the best interest of the Village of Burr Ridge to submit the question of whether the Village of Burr Ridge should become a home rule unit to the electors of the Village of Burr Ridge at the March 17, 2020 General Primary Election.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois as follows:

Section 1. The public question in substantially the following form shall be submitted to the electors of the Village of Burr Ridge at the General Primary Election to be held on March 17, 2020:

Shall the Village of Burr Ridge become a home rule unit?	YES
	NO

Section 2. The referendum shall be conducted, in all respects, in accordance with the provisions of the Illinois Election Code pertaining to the General Primary Election to be held on

March 17, 2020, and with all laws providing for the publications, ballots, polling places and other procedures relating to such election.

Section 3. The Village Clerk is hereby directed to certify copies of this Resolution and the public question set forth herein to the County Clerk of Cook County and the County Clerk of DuPage County not less than 68 days prior to March 17, 2020, to ensure that this public question is submitted to the voters of the Village of Burr Ridge at the March 17, 2020 General Primary Election.

Section 4. If the voters of the Village of Burr Ridge approve the public question, the Village Clerk is hereby directed, within 45 days after the referendum held at the March 17, 2020 General Primary Election, to file with the Illinois Secretary of State a certified statement showing the results of the referendum and the resulting status of the Village of Burr Ridge as a home rule unit.

Section 5. This Resolution shall be in full force and effect upon its passage and approval, as required by law.

ADOPTED this ____ day of _____, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this ____ day of _____, 2019.

Mayor

ATTEST:

Village Clerk



MEMORANDUM

TO: Gary Grasso and Board of Trustees
FROM: Doug Pollock, AICP, Village Administrator
DATE: December 2, 2019
RE: Additional Information Regarding Draft Financial Plan and Home Rule

At the November 25, 2019 meeting, the Board requested additional information regarding staff's presentation on home rule and 2040 financial goals. The following is an update:

Open Amortization (Funding) for the Police Pension Fund: Trustee Snyder asked that we research this option for the Village's Police Pension Fund. Finance Director Jerry Sapp is familiar with this concept and was able to provide the attached information comparing open and closed amortization. Staff also talked with Village of Glenview Finance Director, Maggie Bosley as requested by Trustee Snyder as well as the Village of Burr Ridge Police Pension Fund actuary.

In summary, the difference between closed amortization (our current funding policy) and open amortization is the setting of an end target. With closed amortization, the Village's actuary targets a goal of 90% funding by the year 2040. This goal remains the same from one year to the next. With open amortization (also referred to as rolling amortization), each year the actuary sets a new target date 20 years in advance (i.e. the target date is rolled one more year). The balancing of the annual payment via open amortization results in higher payments up front (as compared to closed amortization) and less growth in annual payments in the long term.

Glenview adopted open amortization in order to stabilize their annual pension payments and reduce the future growth of the annual payment as a percentage of its total property tax levy. This is the same reason that Burr Ridge staff has recommended adding an annual contribution above the required minimum, i.e. to ensure that the portion of the property tax going to the police pension levy remains close to the current 66% of the total levy.

The Board also asked to see other options considered by staff to stabilize the police pension portion of the annual tax levy. Attached are charts showing the impacts of a one-time \$500,000 payment, a one-time \$1,000,000 payment, an annual additional contribution of \$50,000, and an annual additional contribution of \$100,000. Of those options, the annual additional contribution of \$100,000 is most effective in achieving the desired stability.

Under any of the above options, an additional source of revenue will be required for the Police Pension Fund in order to stabilize the fund as a percentage of the total property tax levy. It should also be noted that there may be changes in pension policy as a result of the recent legislation consolidating downstate public safety pension funds. Given all of the above, it is staff's recommendation that the Board continue to consider options for additional funding of the Police Pension Fund and in the meantime, staff will continue to work with our actuary and the Police Pension Board to consider the option of open amortization.

Revenue from Home Rule Adjudication: The Board also asked for additional information on home rule revenues resulting from adjudication and ticket fines. Attached is an email message from Chief Madden that includes a list of tickets that may be adjudicated locally under home rule,

**Additional Information Regarding Draft Financial Plan and Home Rule
November 21, 2019**

thus, increasing revenue to the Village. Also included is recent article on this subject from the Village of Vernon Hills. Vernon Hills recently added “home-rule” moving violations to the list of violations eligible for local adjudication.

Revenue from ¼ % Non-Home Rule Sales Tax: The Board asked staff to confirm the estimated sales tax from implementation of the previously approved ¼ % non-home rule sales tax. The following is a history of the revenues from the existing ¼ % non-home rule sales tax:

Fiscal Year	Actual Tax		Fiscal Year	Actual Tax
2014-2015	302,710		2017-2018	337,010
2015-2016	292,260		2018-2019	328,230
2016-2017	312,990			

Based on recent revenues and anticipated growth in restaurant sales, staff is confident that the estimated annual revenue of \$350,000 from the additional ¼ % sales tax will be sustainable.

Leasing of Vehicles and Equipment: Staff is researching this option and will provide more information in the near future. Based on the limited information available at this time, staff does not anticipate that the annual cost of \$150,000 to sustain this fund will be significantly reduced by leasing.

Details Regarding Locally Imposed Limitations on Home Rule: Attached is a summary provided by Assistant Village Administrator Evan Walter regarding restrictions imposed by the Village of Downers Grove on their use of home rule authority.

Summary: Discussion regarding the draft financial plan and home rule authority will continue at the December 9, 2019 Board meeting. In the meantime, if Trustees have any additional questions or would like additional information, please email me directly and I will respond.

Pension Funding Policy

Current Pension Funding Policy

There is a Formal Funding Policy that exists between the Pension Fund and the Village. The Funding Policy states that the Village will annually contribute 100% of the statutory minimum required contribution to the Pension Fund. Typically, funds rely on the Illinois Pension Code.

The statutory assumptions based on the Illinois Pension Code are as follows:

- Amortization Period: 90% funded by 2040
- Amortization Method – Closed (Level % Pay)
 - o An amortization with a finite period is called a closed amortization

If an amortization method is “closed” that means the plan has a particular date it is targeting to eliminate unfunded liabilities.

Open Amortization Funding Policy

An open (rolling) amortization is one that always uses the same number of years and resets every year, like refinancing a mortgage each year. With this approach, there is a possibility that the pension liability may never be paid off.

Advantages

- In earlier years, contributions are higher and gain interest earnings
- Contribution Stability year over year

Concerns

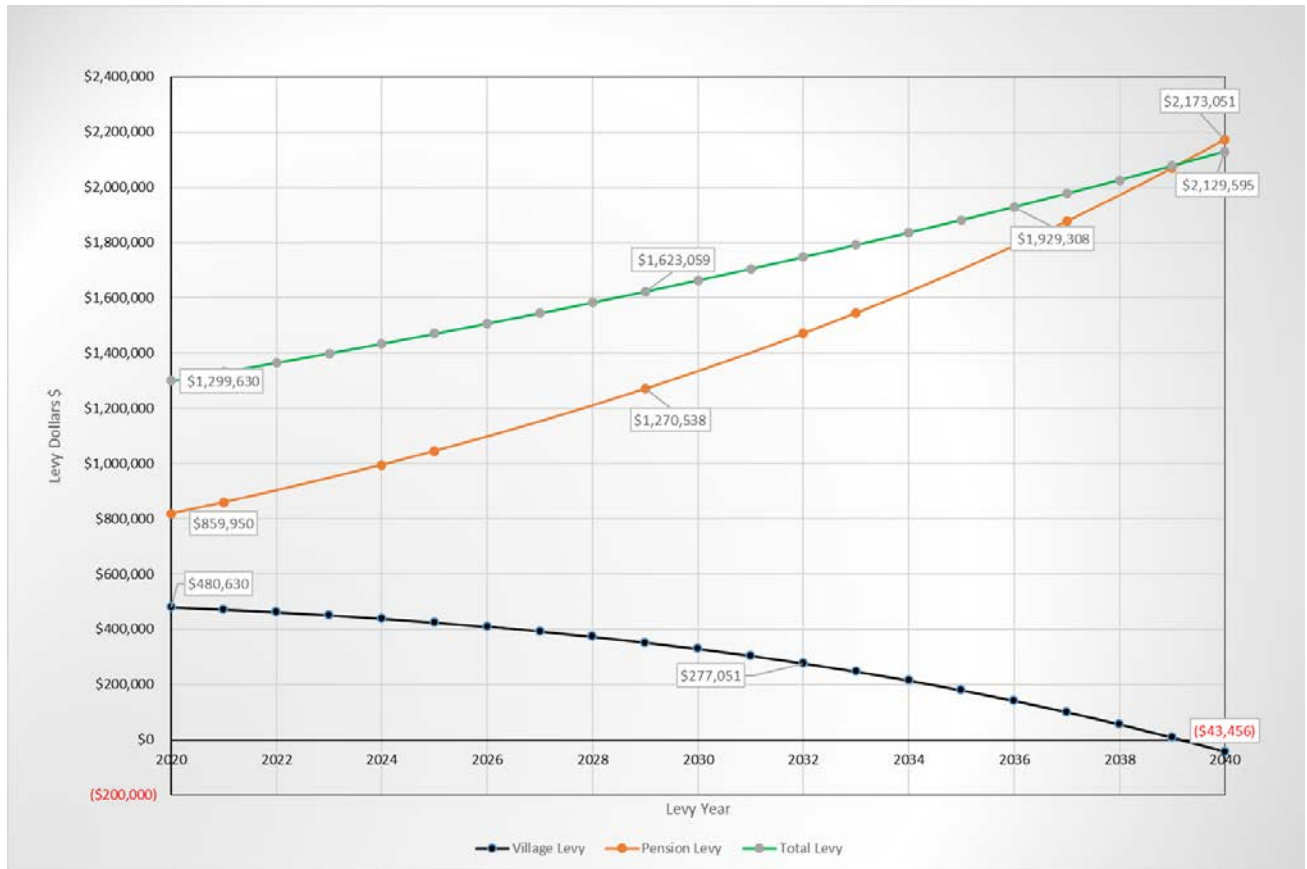
- Taxpayers will pay more in the long run over time
- Over the long run, never get to a target % of funding
- Negative amortization and risk of getting “upside-down”
 - o Risk that the amortization payment is not large enough to cover the interest accruing on the unfunded liabilities

In Summary:

Changing the Funding Policy to contribute an additional \$100,000 each year in addition to the statutory minimum requirement can be accomplished on our next Actuarial Report within the budget cycle in FY 2020-2021. In contrast, changing the Funding Policy for the Pension Fund to Open Amortization is often a multi-year evaluation process involving all stakeholders, including the Board of Trustees, Pension Board, Actuaries, Investment Advisors and Rating agencies. To add complexity, there is additional uncertainty surrounding the recent legislative changes with pension consolidation and the impact that will have on pension funds.

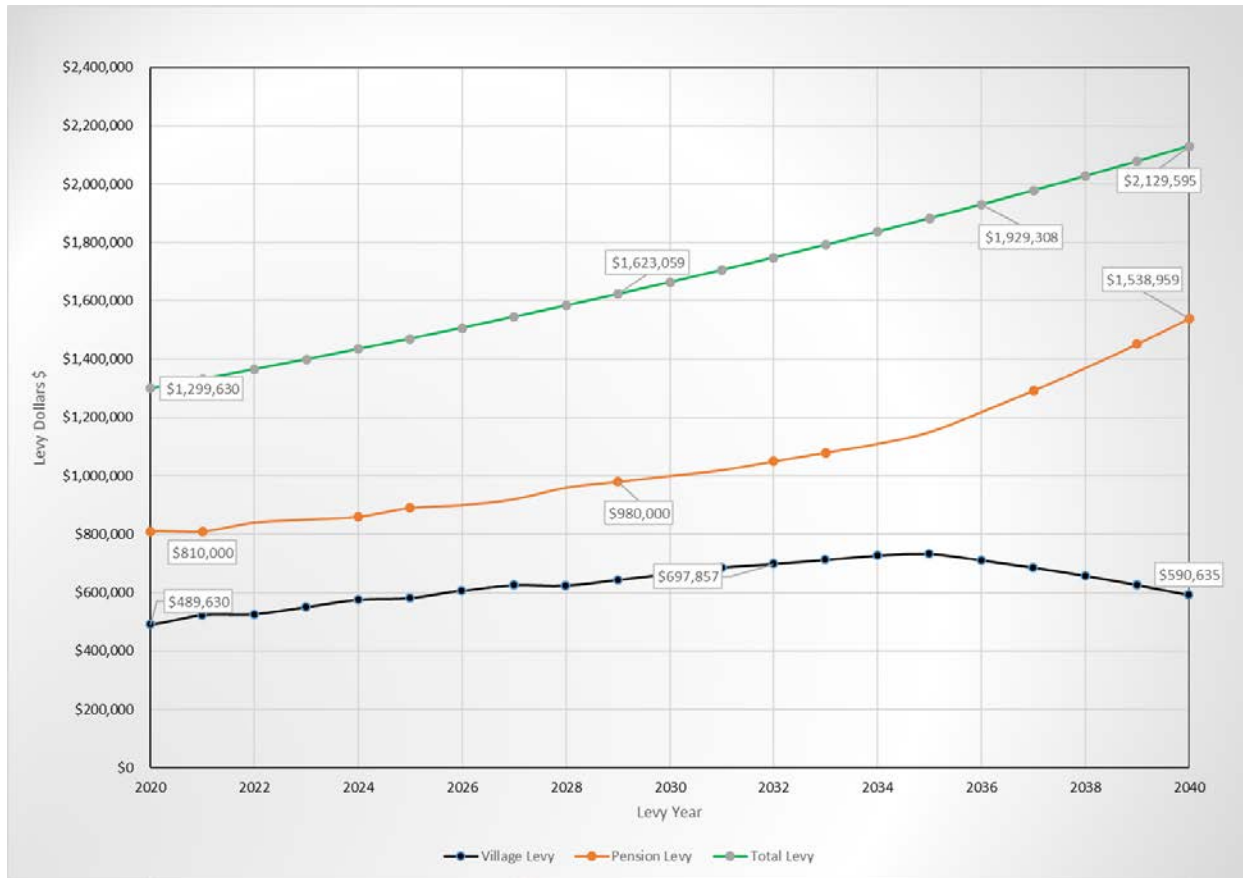
The Village will gain more contribution stability by adopting a funding policy with a consistent annual contribution such as an annual contribution of \$100,000 as discussed in previous meetings. Contributions need to be sufficient to systematically pay down the liability or the unfunded liability will never be contained.

Tax Levy Comparison – Statutory Minimum (Status Quo)



The assumption on the above chart assumes an overall Tax Levy growth of 2.5%. By 2040, the Pension Fund levy growth of 5% growth outpaces the overall total levy and diminishes the amount of funds left for the Village portion of the Levy.

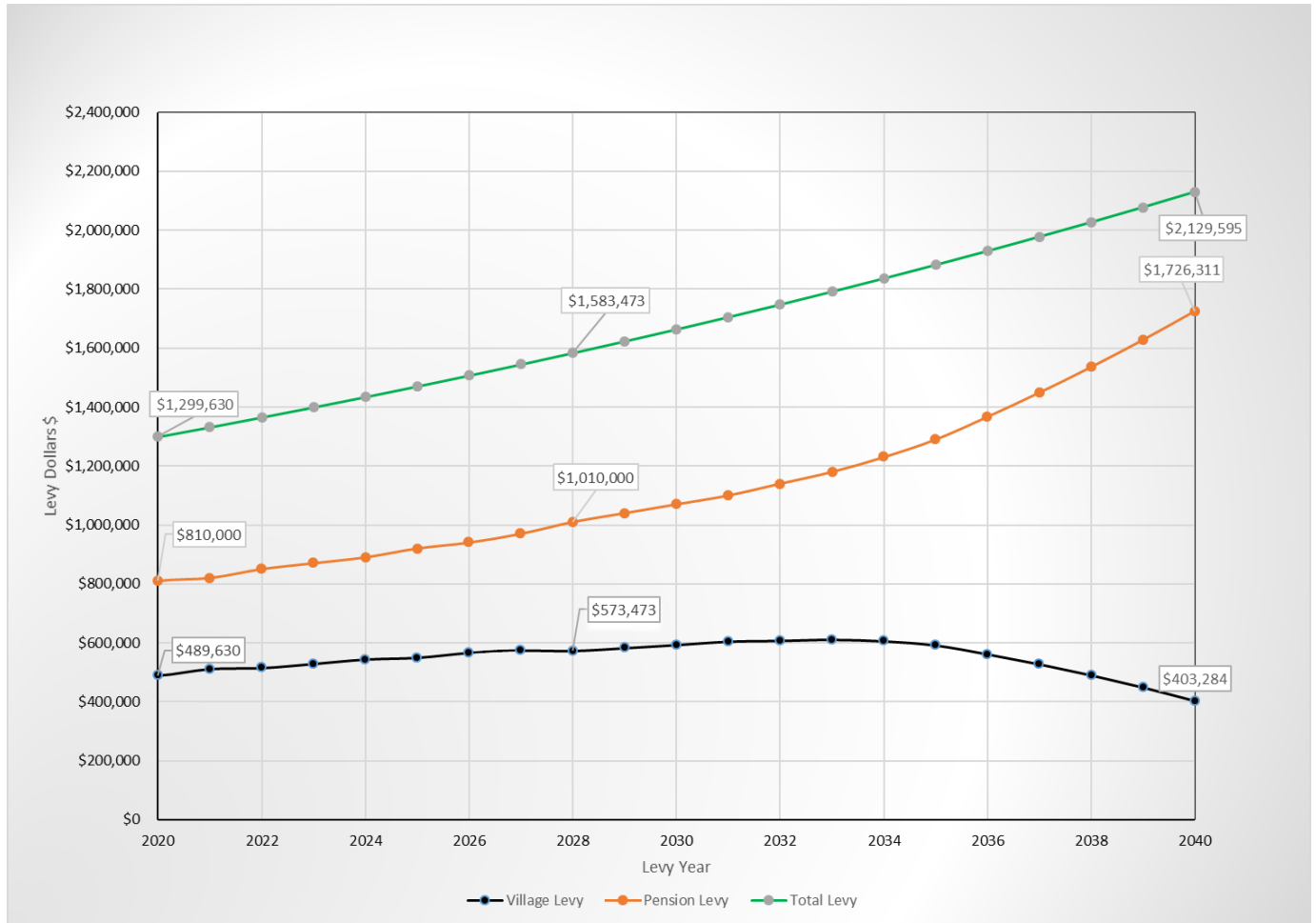
Projected Future Tax Levy Comparison - Additional Annual Funding of \$100,000



The assumption on the above chart assumes an additional \$100,000 is contributed to the Police Pension Fund on annual basis from non-tax levy sources, which minimizes the Police Pension Fund Levy and maintains the amount of the Village Property Tax levy.

Over 20 years, this provides \$2 million of additional funding into the Police Pension fund. Investing annually decreases market risk and lowers the probability of seeing large losses if there is volatility in the market.

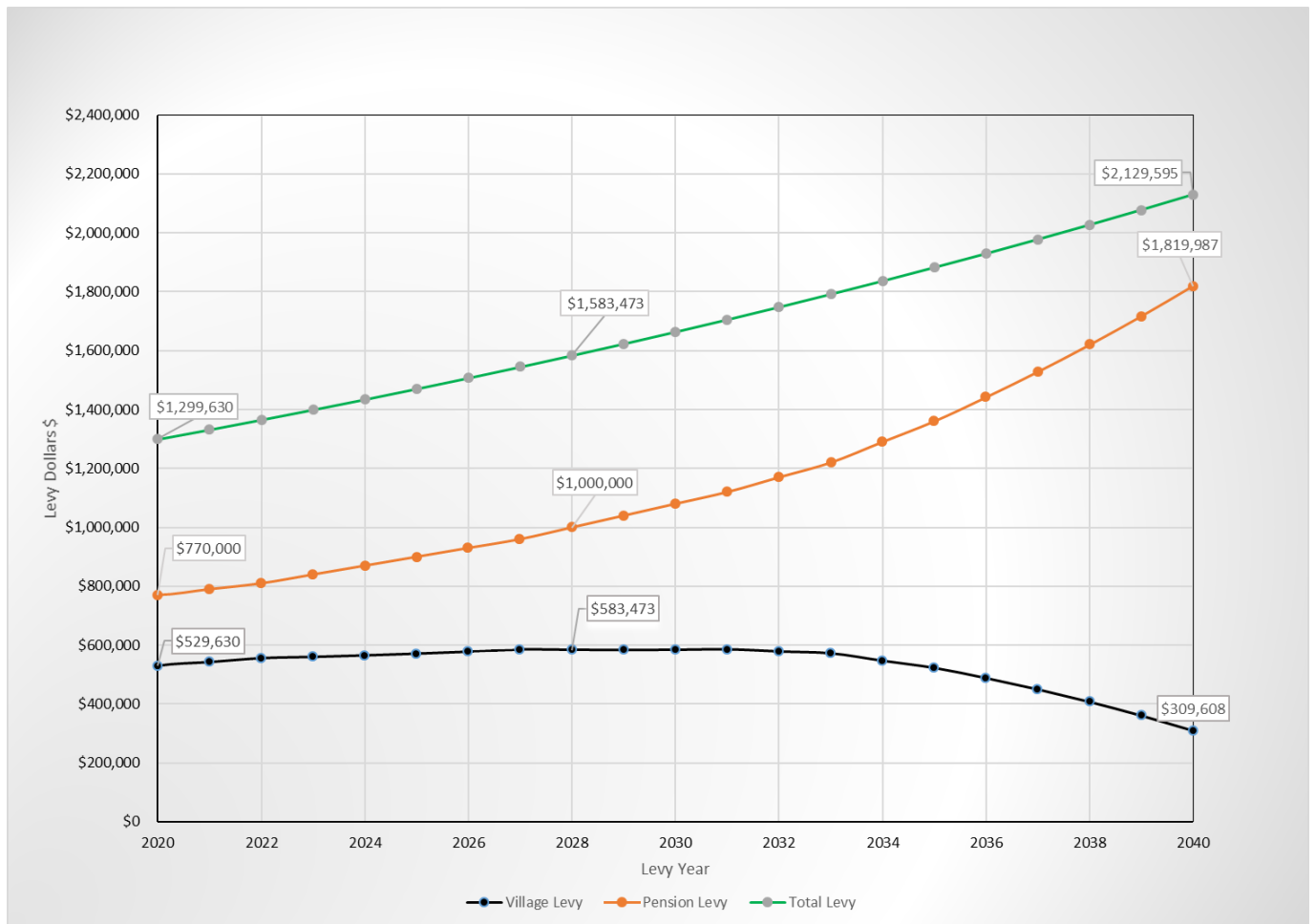
Projected Future Tax Levy Comparison - Additional Annual Funding of \$50,000



The assumption on the above chart assumes an additional \$50,000 is contributed to the Police Pension Fund on annual basis from non-tax levy sources, which minimizes the Police Pension Fund Levy and maintains the amount of the Village Property Tax levy.

Over 20 years, this provides \$1 million of additional funding into the Police Pension fund. Investing annually decreases market risk and lowers the probability of seeing large losses if there is volatility in the market.

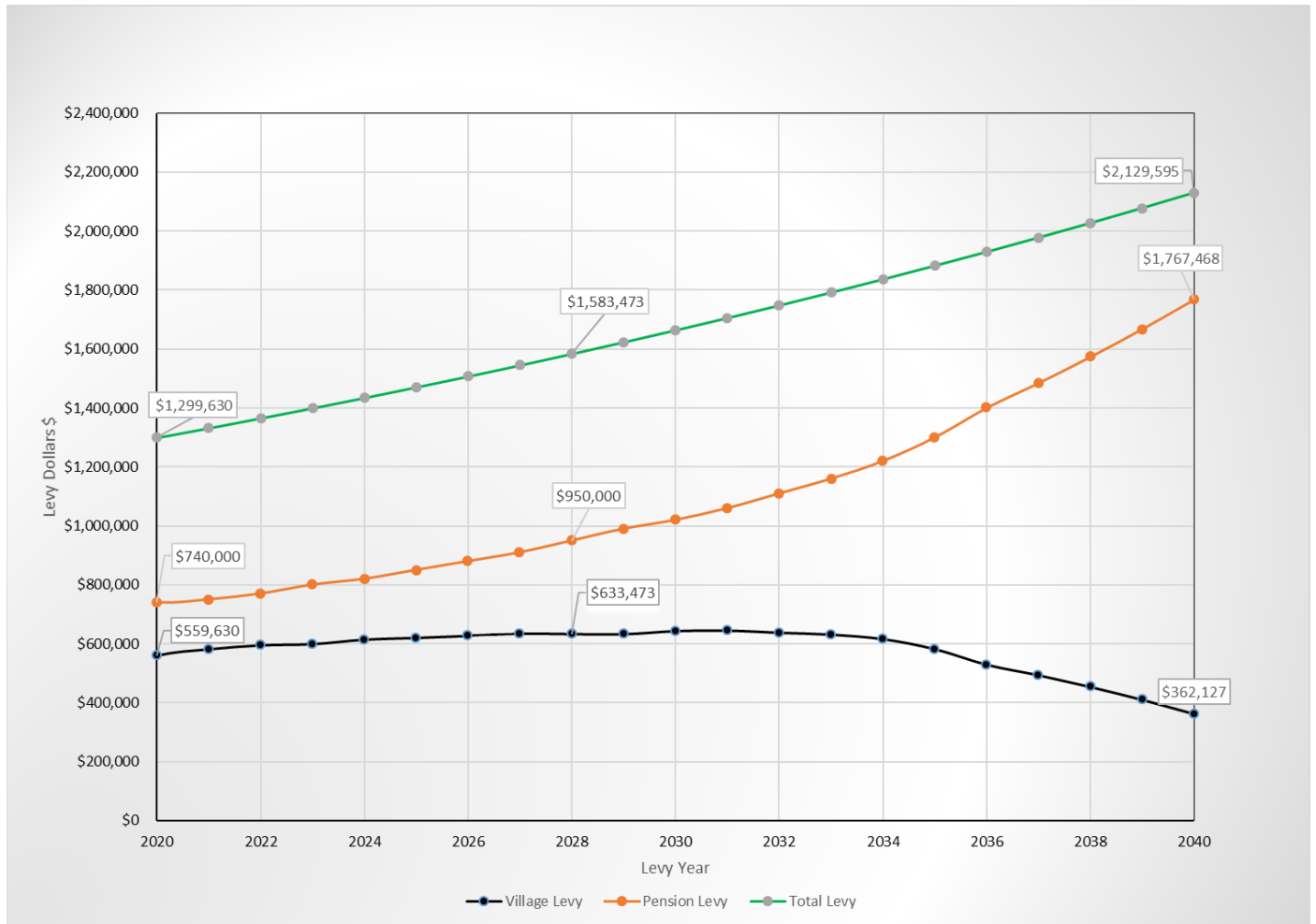
Projected Future Tax Levy Comparison – One-time \$500,000 funding



The assumption on the above chart assumes a one-time funding of \$500,000 to the Police Pension Fund from non-tax levy sources.

In early years, a lump sum amount has a more favorable impact on the percent of funds that the Village receives from the tax levy for General Fund purposes, however by 2040 this gap widens due to actuarial assumptions such as market returns and increases in total payroll to account for new hires replacing retiring/terminating employees. This is the least favorable scenario provided by the actuaries in terms of reducing the Police Pension Fund levy and provides the least amount of additional funding.

Projected Future Tax Levy Comparison – One-time \$1,000,000 funding



The assumption on the above chart assumes a one-time funding of \$1,000,000 to the Police Pension Fund from non-tax levy sources.

In early years, a lump sum amount has a more favorable impact on the percent of funds that the Village receives from the tax levy for General Fund purposes, however by 2040 this gap widens due to actuarial assumptions such as market returns and increases in total payroll to account for new hires replacing retiring/terminating employees.

From: [John Madden](#)
To: [Douglas Pollock](#)
Subject: Chart
Date: Monday, December 2, 2019 2:22:11 PM
Attachments: [Non Reporting Traffic Offenses Adjudication.pdf](#)

Doug,

I attached the chart of non-reporting traffic offenses that could be adjudicated in-house for **a home rule community**. The ability to adjudicate those 17 offenses in-house is the difference in the figures for home rule vs. non-home rule.

Chief John W. Madden

Burr Ridge Police Department
7700 S. County Line Road
Burr Ridge, IL 60527
630-323-8181



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Electronic messages sent to and from the Village of Burr Ridge may be subject to discovery under the IL Freedom of Information Act.

Revised

Code	Offense Description	2014	2015	2016	2017	2018
2455	No registration	363	315	312	192	187
2460	Cancelled, Suspended, Revoked Registration	27	16	12	12	0
2462	Suspended Registration	30	54	12	17	13
2465	Improper Use of Registration	21	10	12	17	14
2485	Driver and Passenger Safety Belts	7	0	0	0	0
6582	Illegal Parking	1	1	1	2	2
6627	Improper Lighting	25	24	9	7	4
6633	Improper Lighting	16	12	23	20	19
6635	No Valid Safety Test	13	5	2	0	0
6648	Other Equipment	180	138	37	20	24
8018	Improper Display of Registration	19	7	6	4	7
8078	Unlawful Display of Registration	2	2	1	0	0
8446	Failure to Wear Seatbelt	12	1	3	2	4
8545	Failure to Secure Child Under 4	1	0	0	0	0
8546	Failure to Secure Child 4-16 years of age	1	1	1	0	0
8547	Failure to Secure Child 6-18 years of age	1	1	0	1	2
9905	Dumping, Depositing, Littering	1	0	0	0	1

17 offenses

NON IVC moving citations as listed above

720

587

431

294

277

Fine \$164⁰⁰

Non-HR
#3,324
Prepay
#13,850

HR
#45,428

Vernon Hills to offer adjudication hearings for minor offenses



Those stopped for non-moving traffic violations and other minor offenses in Vernon Hills will be able to contest the charges without going to court, under a new adjudication process beginning next month. (*Courtesy of Vernon Hills police*)



Mick Zawislak

Posted

11/27/2019 5:33 AM

Anyone cited in Vernon Hills for non-moving traffic or other minor violations soon will be able to contest the charges without going to court.

As of Dec. 1, those citations can be brought before an administrative hearing officer who will review the case and render a decision.

The monthly proceedings at village hall are regarded as more convenient and less costly than dealing with the matters in court, village officials say.

Vernon Hills has hired Henry C. Tonigan III, a retired Lake County judge, to serve as hearing officer. Tonigan, who fills the same role in other communities, will be paid \$170 per hour.

Police Chief Patrick Kreis said the village's previous adjudication system dealt only with parking and animal violations. All others were sent to Lake County circuit court.

The new process allows more cases to be dealt with out of court, including traffic tickets for things like seat belt violations, as well as cases involving curfew, possession of tobacco by a minor, noise complaints, trespassing or fireworks.

"We feel it important there be a consequence but we don't need to necessarily generate a court record for a first offense," Kreis said.

A noteworthy addition to cases that could avoid court are minor shoplifting reports -- a common occurrence in a town with millions of square feet of retail space, including Hawthorn Mall, the Melody Farm center and several strip malls.

Police will assess each situation to determine whether it is reviewed by a hearing officer or ends up in court. Factors such as the value of the merchandise, a suspect's criminal history and the desire of the merchant will be evaluated, according to Kreis.

Avoiding court for minor offenses can save officers' time and be more convenient and less expensive for those who are cited. Aside from a fine

if the suspect is found guilty, court costs of \$200 are imposed, with little of those proceeds coming back to the village, Kreis said.

An adjudication hearing instead will require a \$25 fee.

During a recent discussion, Trustee David Oppenheim asked Kreis whether police now will be looking for opportunities to issue citations knowing the village could get all the money.

"I have not ever given direction to police officers to go out there and make enforcement decision about revenue. Period," Kreis responded.

For more information, click on the government tab at [vernonhills.org](http://www.vernonhills.org) (<https://www.vernonhills.org/892/Administrative-Adjudication>).

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From: [Evan Walter](#)
To: [Douglas Pollock](#)
Subject: Downers Grove HR Policy
Date: Monday, December 2, 2019 3:53:40 PM
Attachments: [image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

This is how Downers Grove has memorialized their home rule policy in writing. As we have discussed, their adherence to such a policy has varied based on weight of issue and political climate.

- The Village Manager may recommend to the Village Council that a summary of the proposed ordinance be published in a newspaper having general circulation in the Village and that copies of the proposed ordinance be made available for public distribution at the Downers Grove Library and Village Hall.
- Prior to adoption of any ordinance imposing a tax on any person or property in the Village that is not authorized under the provisions of the Illinois Municipal Code for municipalities that are not home rule units, the Village Manager may recommend to the Village Council that a statement setting forth the intended use of the additional revenue to be derived from such tax will be prepared and published and that a public hearing be held with respect to the proposed tax to be presided over by the Mayor or the Mayor Pro-Tem, or by some other person designated for such purpose by the Mayor, at which any person interested in the subject matter of such proposed ordinance may appear, in person or by attorney, and submit statements and documentary evidence to the person conducting such hearing.
- Notice of the time and place of such public hearing will be published at least once, seven days or more prior to the date of such hearing, in a newspaper having general circulation in the Village.
- The Village Council will consider the minutes of the public hearing, as well as the written statements submitted as part thereof. If, following a public hearing and at least three business days prior to a vote on adoption of the ordinance petitions opposing such proposed ordinance are filed with the Village Clerk containing signatures of eligible voters in the Village equal to 10% or more of the total votes cast for the office of Mayor at the last preceding election of Mayor, the petition will be presented to the Village Council prior to ordinance adoption and the Village Council shall consider the merits of presenting the issue to voters via advisory referendum.



Evan Walter

Assistant Village Administrator - Village of Burr Ridge

email: ewalter@burr-ridge.gov

phone: (630) 654-8181 ext. 2010 | mobile: (630) 601-0042

7660 County Line Road Burr Ridge, Illinois 60527



www.burr-ridge.gov

RESOLUTION NO.

**RESOLUTION APPROVING FINAL PLAT
THE COTTAGES OF DREW SUBDIVISION (7950 DREW AVENUE)**

Be It Resolved by the Mayor and Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: The plat of subdivision entitled "Final Plat of Subdivision for The Cottages of Drew" (hereinafter referred to as the "Subdivision" or the "Subdivision Plat"), dated September 30, 2019, and prepared by MGA Civil Engineering, substantially in the form of **Exhibit A** attached hereto and made a part hereof, is hereby approved, and the Village Clerk is hereby authorized to execute the Subdivision Plat subject to the following conditions:

- A. Prior to recording the final plat, execution by the appropriate parties of all Certificates on the Subdivision Plat.
- B. Prior to recording the final plat, payment of all outstanding fees, including school and park impact fees, subdivision engineering and inspection fees, and any outstanding legal fees, in connection with review and approval of the Subdivision Plat and related documents.
- C. The recording, immediately after the recording of the final plat, of the Subdivision Improvement Completion Agreement, substantially in the form of **Exhibit B** attached hereto and made a part hereof. The Mayor and Clerk are hereby authorized to execute and enter into the Subdivision Improvement Completion Agreement on behalf of the Village.
- D. Prior to recording the final plat, submission of a letter of credit from Village Bank and Trust in an amount of \$1,269,226 with an issue date after the date of the Subdivision Improvement Completion Agreement and an expiration date at least one year thereafter in substantially the same form as the attached **Exhibit C**. Village Bank and Trust is hereby

approved as the issuer of the letter of credit for this subdivision.

- E. Addition of language found in Appendix V-C and V-I of the Subdivision Ordinance shall be added to the final plat of subdivision prior to its recording.
- F. Completion of the matters specified in A through E above before recording of the final plat.
- G. The subdivision development shall comply with the development plans for this Subdivision, comprised of the engineering plans entitled "Final Site Improvement Plans for The Cottages at Drew", consisting of 29 pages, prepared by Advantage Consulting Engineering, with a submittal date of October 31, 2019.

Section 2: This Resolution shall be in full force and effect upon its adoption and approval as required by law.

ADOPTED this 9th day of December, 2019, by a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 9th day of December, 2019, by the Mayor of the Village of Burr Ridge.

Mayor

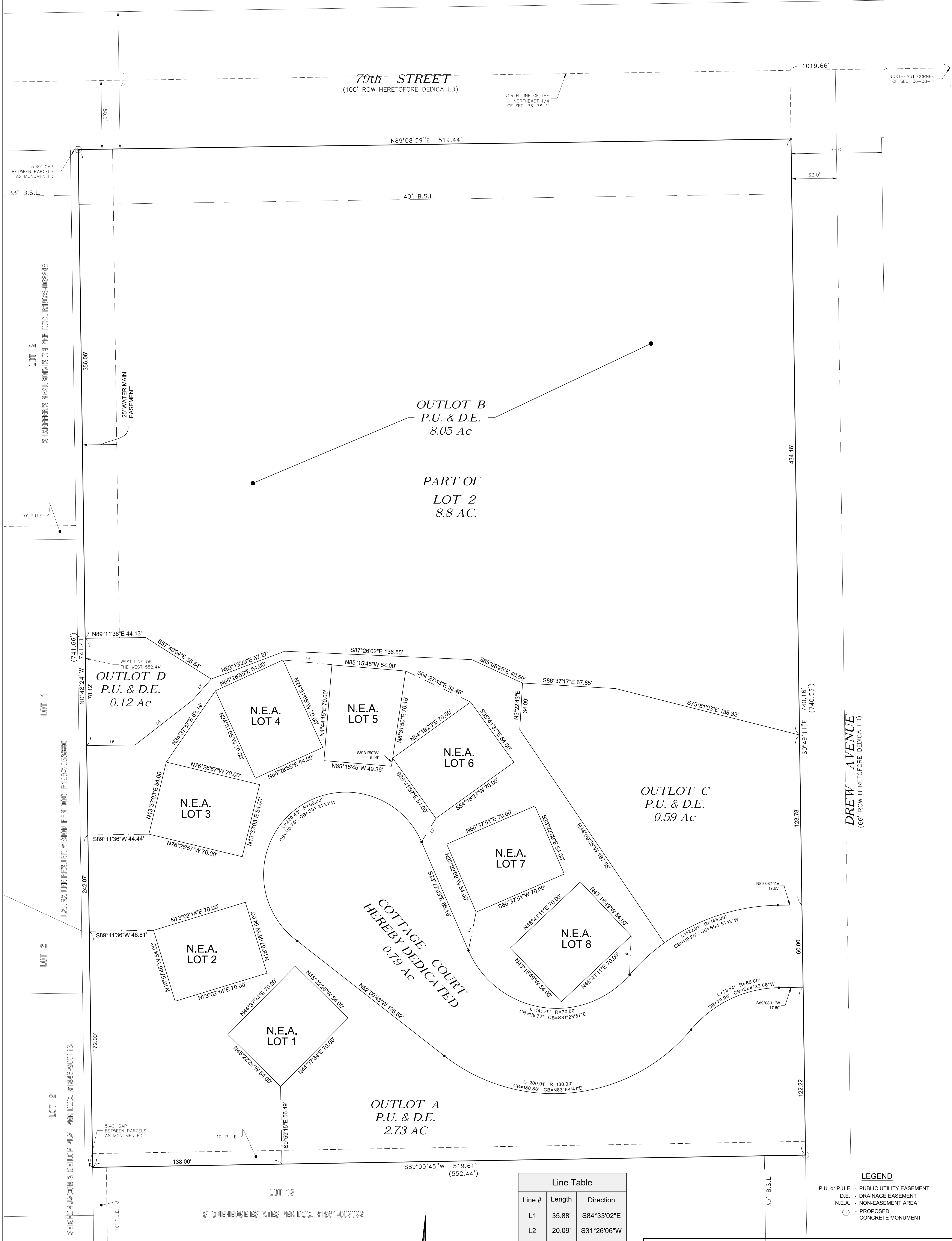
ATTEST:

Village Clerk

FINAL PLAT OF SUBDIVISION
FOR
THE COTTAGES OF DREW

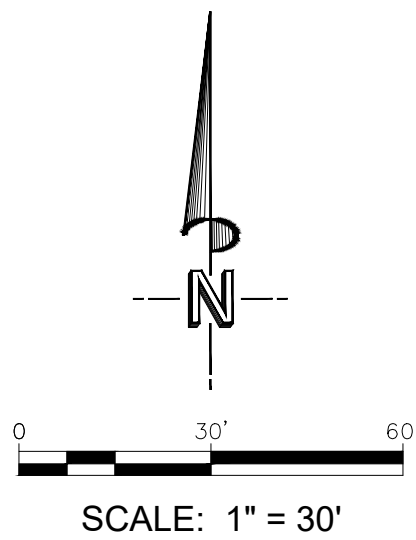
EXHIBIT A

BEING A RE-SUBDIVISION OF THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.



NOTE: PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED OVER ALL OF OUTLOT A, EXCEPT IN AREAS NOTED AS N.E.A. (NON-EASEMENT AREA). SEE PROVISIONS FOR DETAILS.

IN ADDITION, A PERPETUAL EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE HOMEOWNERS ASSOCIATION, AND OTHER PARTIES AS DETERMINED NECESSARY OVER THE ENTIRE EASEMENT FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MAINTENANCE AND OPERATION OF THE STORM WATER AREAS, THOSE BEING LOCATED UPON PORTIONS OF OUTLOT A, B, C, & D.



Line Table		
Line #	Length	Direction
L1	35.88'	S84°33'02"E
L2	20.09'	S31°26'06"W
L3	28.45'	N11°21'33"E
L4	28.42'	N2°20'02"E
L5	35.40'	N89°11'36"E
L6	53.04'	N52°04'52"E
L7	20.53'	N41°21'49"E

LEGEND			
P.U. or P.U.E.	-	PUBLIC UTILITY EASEMENT	
D.E.	-	DRAINAGE EASEMENT	
N.E.A.	-	NON-EASEMENT AREA	
○	-	PROPOSED CONCRETE MONUMENT	

REVISIONS			MGA ² CIVIL ENGINEERING SURVEYING	
DATE	BY	DESCRIPTION		
3/15/19	RFS	ISSUED FOR REVIEW	M GINGERICH GEREUX & ASSOCIATES Professional Design Firm License # 184.005003 P. 815-478-9680 www.mg2a.com F. 815-478-9685 25620 S. GOUGAR RD MANHATTAN, IL. 60442	
3/19/19	RFS	PER VILLAGE REVIEW		
3/28/19	RFS	PER VILLAGE REVIEW		
4/2/19	BPH	GENERAL REVISIONS		
4/19/19	BPH	PER VILLAGE REVIEW		
9/05/19	BPH	PER VILLAGE REVIEW		
9/30/19	BPH	GENERAL (REM. 30x30 SS ESMT)		
ORDERED BY: JARPER PROPERTIES			DATE ISSUED: 01-02-2019	
			DR. BY: NIB	CK. BY: RFS
			JOB NO.: 16-207	PG: 1 of 2

ISSUED FOR CONSTRUCTION

FINAL SITE IMPROVEMENT PLANS

FOR

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

DUPAGE COUNTY SMC # SM2018-0124

TRACKING # 18-08-1024/T60746

SWPPP PERMIT # ILR10AS66

BENCHMARKS:

REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:

SITE BENCHMARK #1
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF
79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

CALL J.U.L.I.E. 1-800-892-0123
WITH THE FOLLOWING:

COUNTY DuPAGE

CITY, TOWNSHIP BURR RIDGE, DOWNERS GROVE
SEC. & SEC. NO. SEC 36, T38N, R11E

48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS

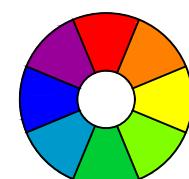
DEVELOPER/OWNER

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

ADVANTAGE NOTE

ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION. STAKING REQUESTS FIVE (5) DAYS NOTICE BETWEEN SEPTEMBER 15th AND DECEMBER 15th AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR VIEW PDF.

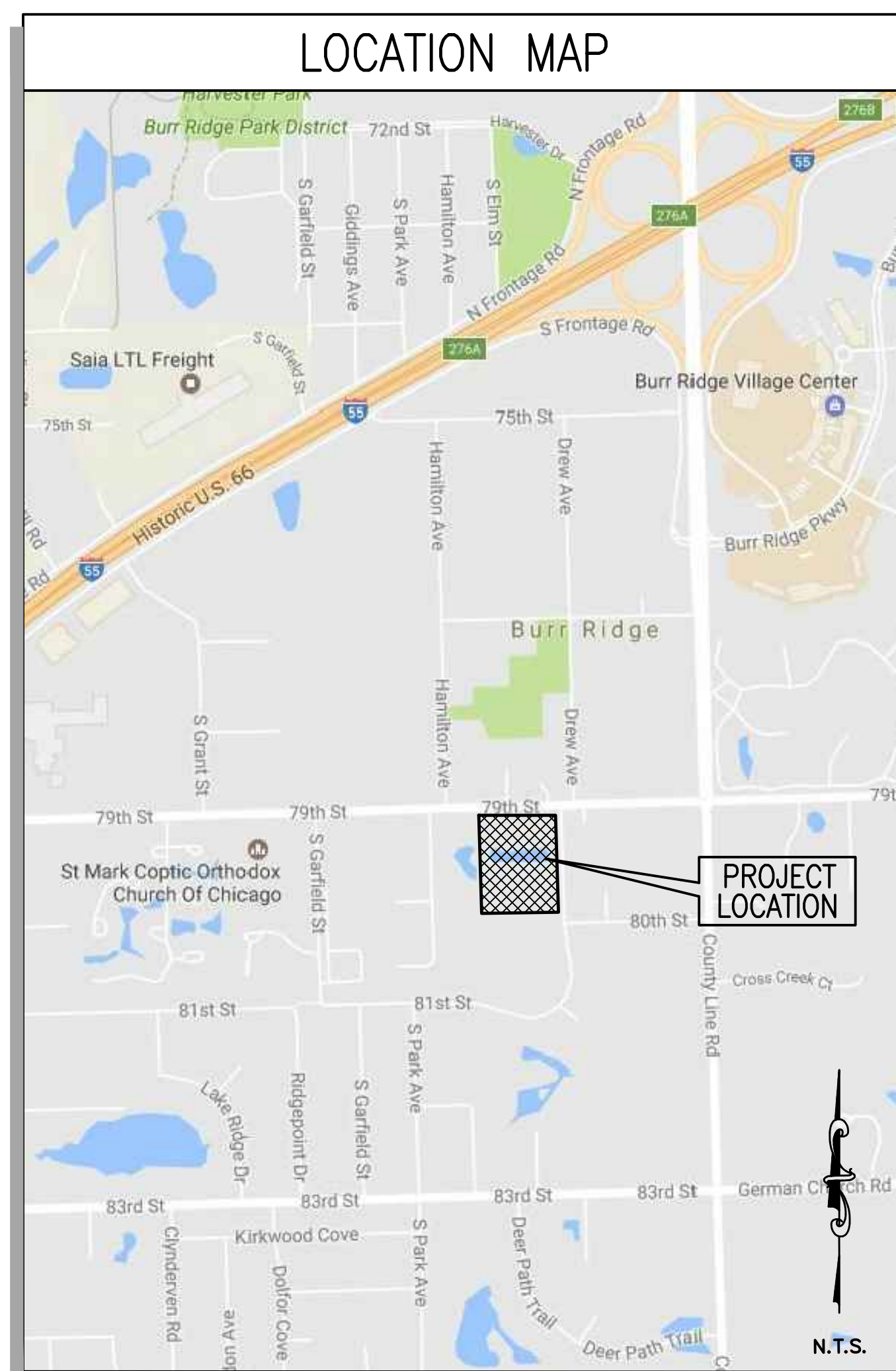


BENCHMARK

SEE ABOVE

EXISTING TOTAL SITE AREA: 8.8 ACRES
PROPOSED DISTURBED AREA: 4.1 ACRES

LOCATION MAP



INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	TS1	GENERAL NOTES AND TYPICAL SECTIONS
3-4	EX1-EX2	EXISTING CONDITIONS PLAN
5	DM1	DEMOLITION PLAN
6	L1	GEOMETRIC PLAN
7-8	G1-G2	GRADING PLAN
9-10	U1-U2	UTILITY PLAN
11	PP1	PLAN AND PROFILE
12-13	SE1-SE2	STORM WATER POLLUTION PREVENTION PLAN
14-15	SE3-SE4	SOIL EROSION AND SEDIMENT CONTROL PLAN
16-17	S1-S2	SPECIFICATIONS
18-19	D1-D2	DETAILS
20-22	XS1-XS3	CROSS SECTIONS - FLOOD PLAIN COMPENSATORY AREAS
22A	T1	TREE SURVEY
23	W1	WATER RESOURCE PLAN
24-25	B1-B2	BMP PLANTING PLAN
26	LS1	COMMON AREA PLANTING PLAN
27	LS2	COMMON AREA PLANTING DETAILS AND NOTES
28	LS3	SIGNAGE AND WALL DETAILS

REVISIONS

[illegible]

ENGINEER WILLIAM J. ZALEWSKI, P.E. BILLZ@ACENGUS	DATE
ILLINOIS REGISTRATION NO.: 062-046121 EXPIRATION DATE: 11/30/2019	
PROFESSIONAL DESIGN FIRM NO.: 184-007386 EXPIRATION DATE: 4/30/2021	
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER	

GENERAL NOTES

1.

ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
2.

ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
3.

STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
5.

NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
6.

NOTIFICATION OF COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
7.

ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
8.

ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
9.

THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
10.

ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
11.

ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
12.

REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
13.

ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY OWNER & MUNICIPALITY.
14.

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
15.

BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
16.

UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND & INSURANCE IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.
17.

EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, ADVANTAGE CONSULTING ENGINEERS IS RESPONSIBLE TO RESOLVE THE CONFLICT. ADVANTAGE CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
18.

OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
19.

THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
20.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS.
21.

THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. **BURNING ON THE SITE IS NOT PERMITTED.**
22.

IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR D.O.T.
23.

NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
24.

ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
25.

AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
26.

TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
27.

LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
28.

ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
29.

ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
30.

ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
31.

CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
32.

TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, BUILDINGS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6.
33.

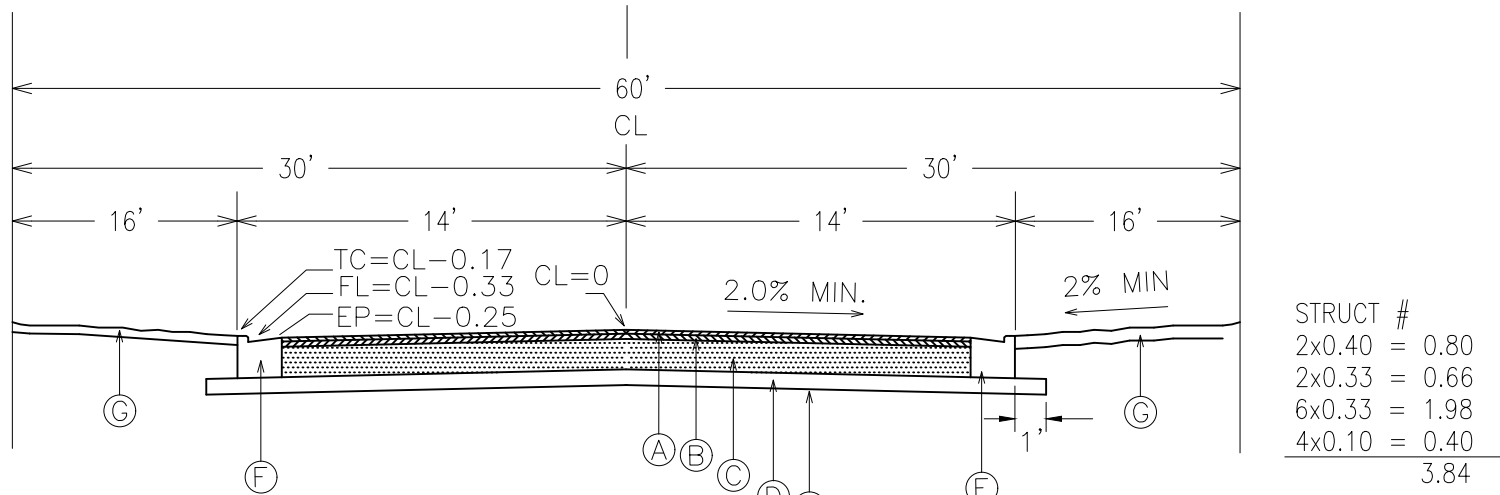
WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE.
34.

HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
35.

AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
36.

EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
37.

THE OWNER SHALL PROVIDE RECORD DRAWINGS PER MUNICIPAL REQUIREMENTS.



TYPICAL PAVEMENT SECTION
N.T.S.

- A

2" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, N50
- B

2" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, IL19, N50
- C

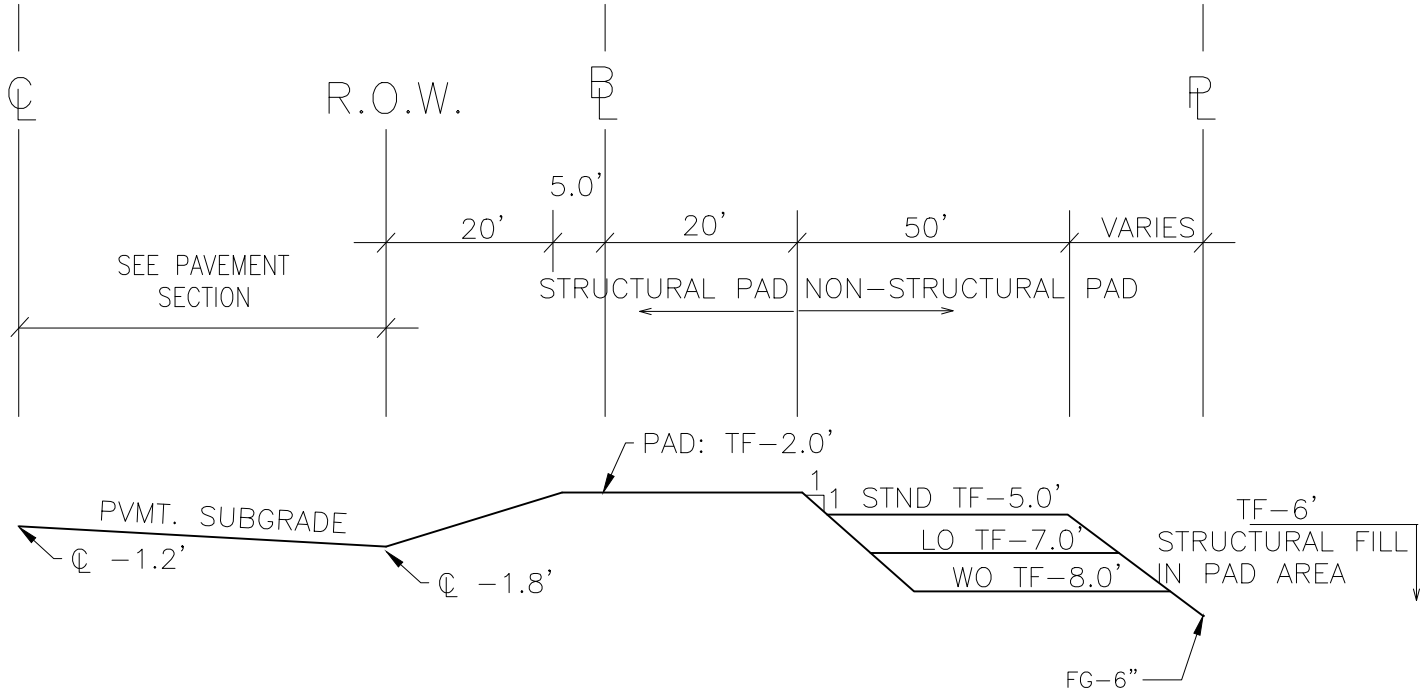
6" BITUMINOUS CONCRETE BASE COURSE, HOT MIX ASPHALT, N50
- D

4" CRUSHED AGGREGATE SUB-BASE, TY. B.
- E

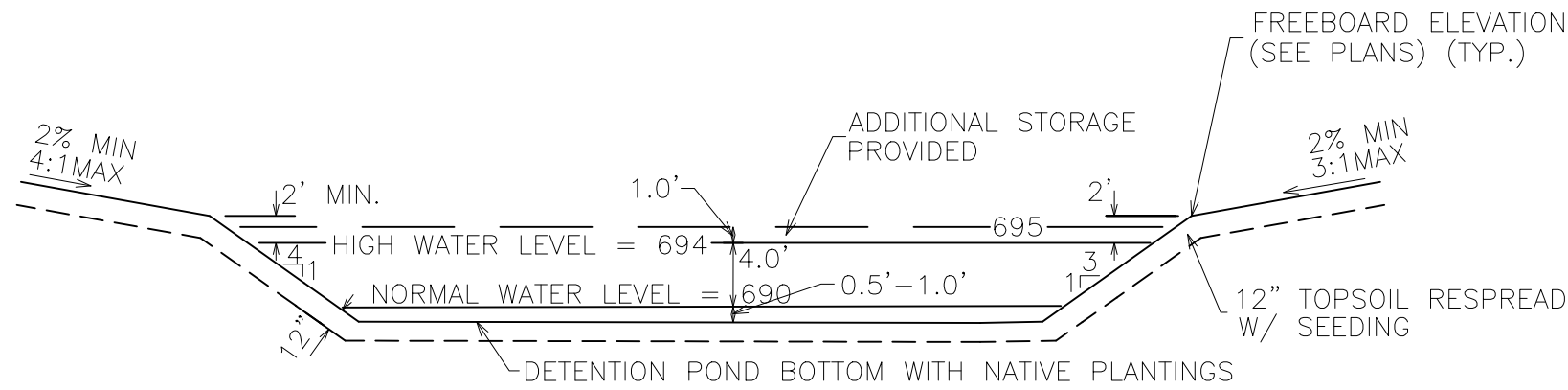
COMPACTED SUBGRADE
- F

COMB. CONC. CURB AND GUTTER, B-6-12
- G

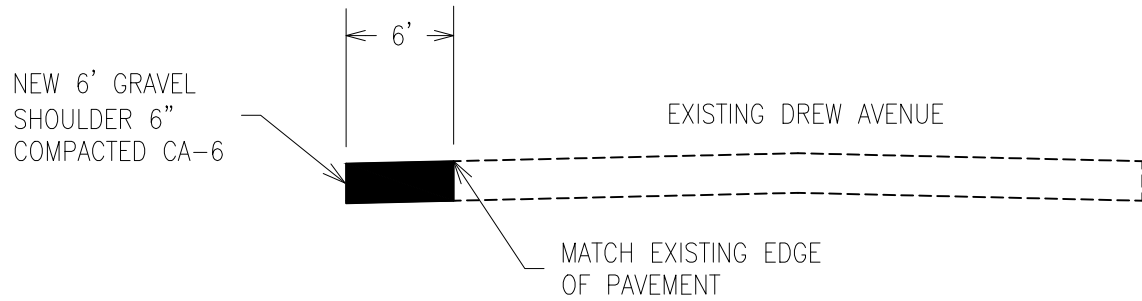
6" TOP SOIL AND SEEDING



TYPICAL HOMESITE MASS GRADE SECTION
N.T.S.



TYPICAL SECTION DETENTION POND
N.T.S.



TYPICAL DREW AVE. SECTION
N.T.S.

CONTACTS

ENGINEER

ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439
PHONE: (847) 260-4758
CONTACT: WILLIAM J ZALEWSKI

DEVELOPER

JASPER PROPERTIES, LLC
16W231 S FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

VILLAGE ENGINEER

DAVID PREISSIG
VILLAGE OF BURR RIDGE
DEPARTMENT OF PUBLIC WORKS
451 COMMERCE STREET
BURR RIDGE, ILLINOIS 60527
PHONE: (630) 323-4733 EXT. 6000

ADVANTAGE

CONSULTING ENGINEERS

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GENERAL NOTES AND
TYPICAL SECTIONS

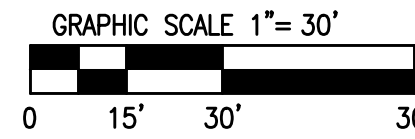
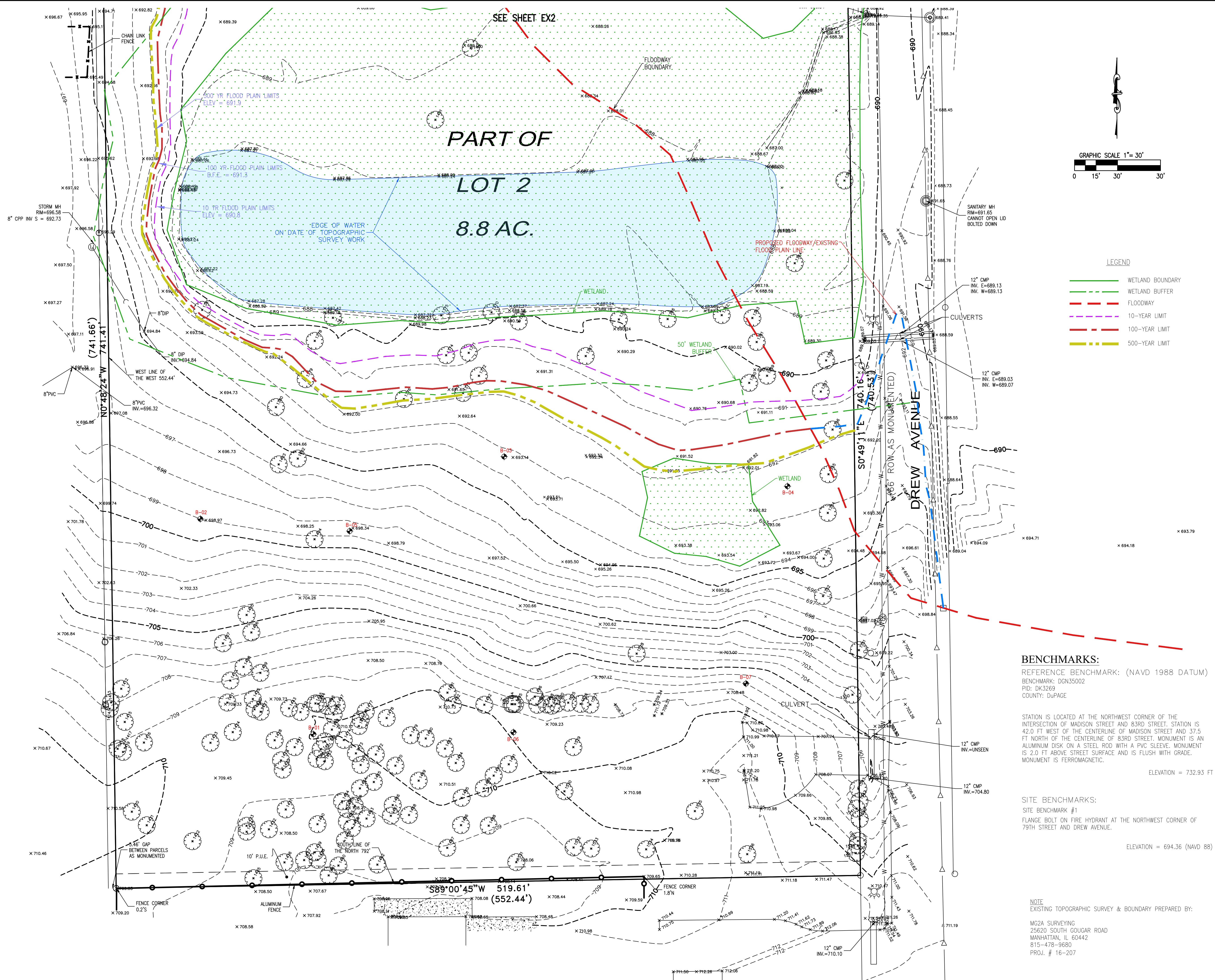
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
TS1

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LEGEND

- WETLAND BOUNDARY
- WETLAND BUFFER
- FLOODWAY
- 10-YEAR LIMIT
- 100-YEAR LIMIT
- 500-YEAR LIMIT

BENCHMARKS:

REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:

SITE BENCHMARK #1
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

NOTE
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:

MC2A SURVEYING
25620 SOUTH GOUGAR ROAD
MANHATTAN, IL 60442
815-478-9680
PROJ. # 16-207

REMARKS	
1	3/18/19 REVISED PER VILLAGE & COUNTY
2	4/18/19 REVISED PER VILLAGE & COUNTY
3	08/24/19 REVISED PER COUNTY
4	10/16/19 REVISED PER VILLAGE & COUNTY

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CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847-260-4758
WWW.ADVANTAGE-ILL.COM

EXISTING CONDITIONS

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

NO.	DATE
1	3/18/19
2	4/18/19
3	08/24/19
4	10/16/19

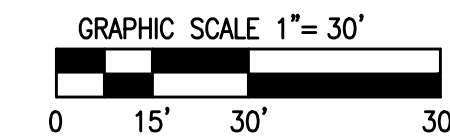
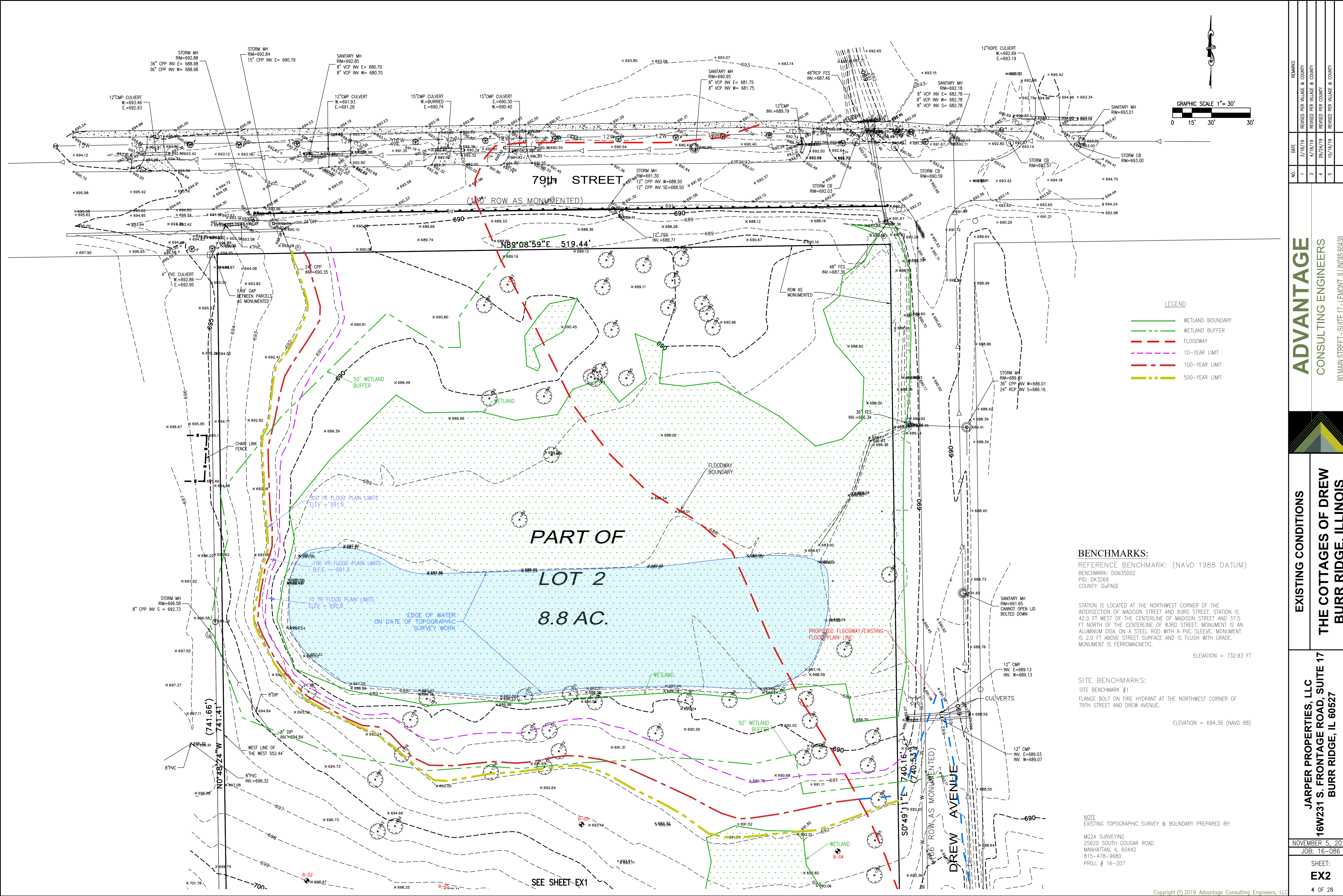
NOVEMBER 5, 2018

JOB: 16-086

SHEET:

EX1

3 OF 28



- LEGEND
- WETLAND BOUNDARY
 - WETLAND BUFFER
 - FLOODWAY
 - 10-YEAR LIMIT
 - 100-YEAR LIMIT
 - 500-YEAR LIMIT

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2	REVISED PER VILLAGE & COUNTY
3	REVISED PER COUNTY
4	REVISED PER VILLAGE & COUNTY
5	REVISED PER VILLAGE & COUNTY

DATE	
1	3/16/19
2	4/16/19
3	08/24/19
4	10/16/19
5	

NO.	
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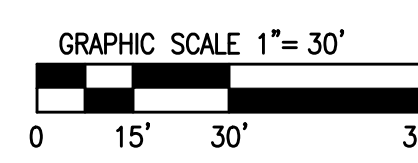
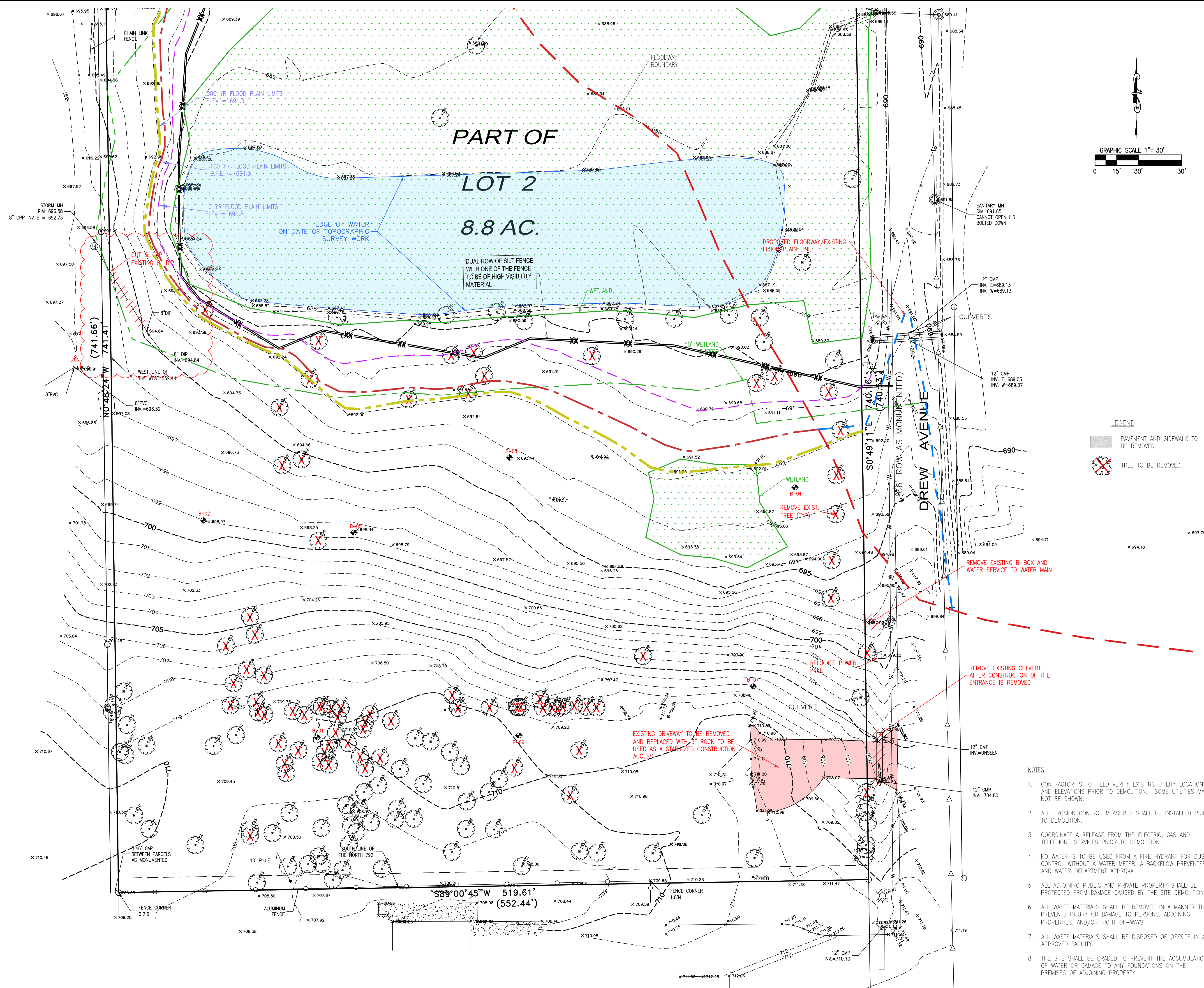
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WWW.ADVANTAGEILL.COM

EXISTING CONDITIONS

THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018	
JOB: 16-086	
SHEET: EX2	
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- LEGEND
- PAVEMENT AND SIDEWALK TO BE REMOVED
 - TREE TO BE REMOVED

- NOTES
- CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
 - COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION.
 - NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
 - ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
 - ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT OF-WAYS.
 - ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
 - THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.

REMARKS	
DATE	REVISED PER VILLAGE & COUNTY
NO.	REVISED PER VILLAGE & COUNTY
1	3/18/19
2	4/18/19
3	08/24/19
4	REVISED PER COUNTY
5	10/16/19
6	REVISED PER VILLAGE & COUNTY
10/31/19	REVISED PER VILLAGE

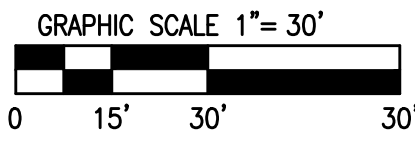
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847-260-4758
WWW.ADVANTAGE-ILL.COM

DEMOLITION PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

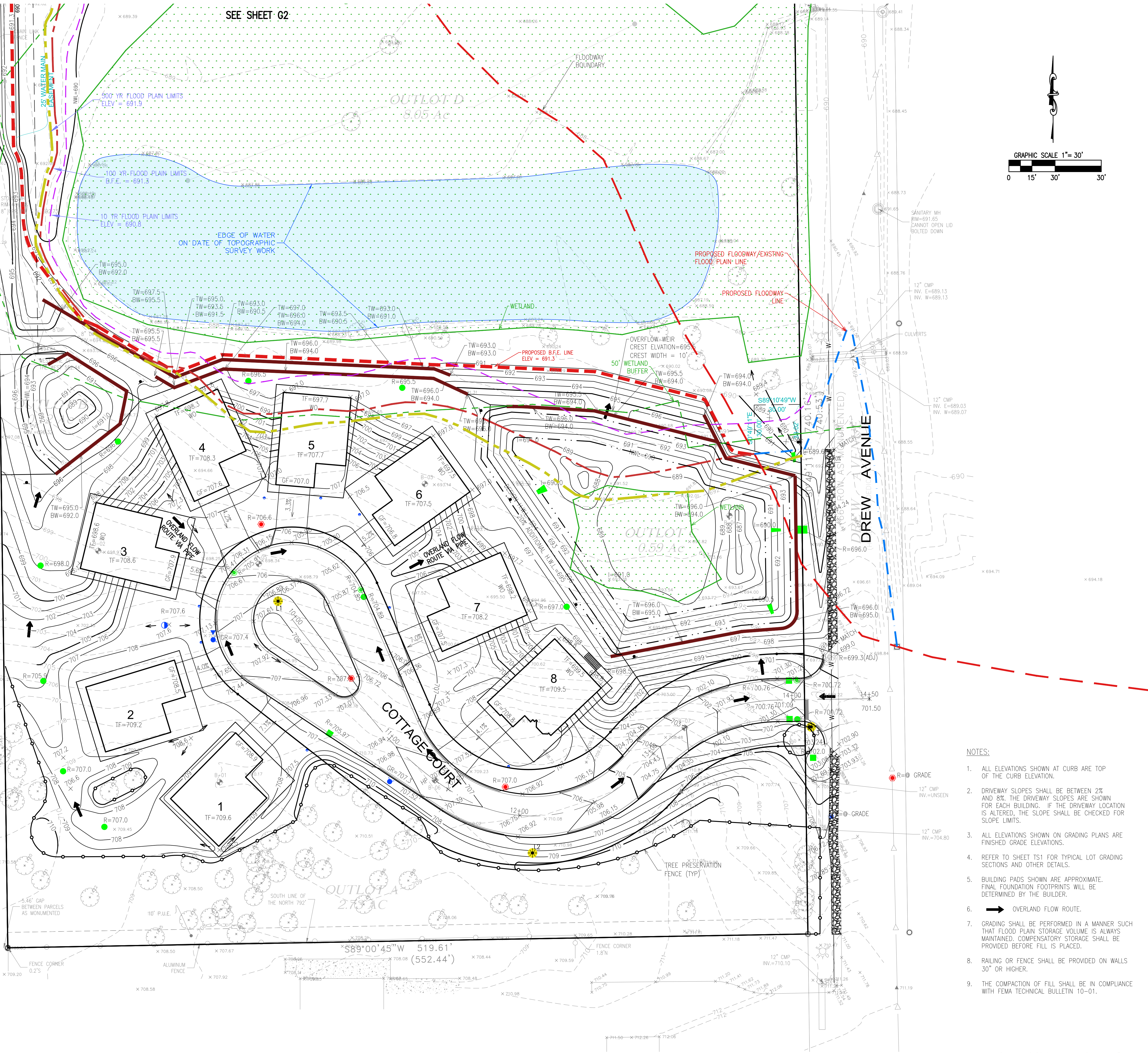
NOVEMBER 5, 2018
JOB: 16-086
SHEET:
DM1
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SEE SHEET 02



DETENTION POND - 2" RESTRICTOR						
ELEV.	AREA S.F.	DEPTH (H) FT.	V=H³(A1+A2+√ (A1*A2)), AC FT	CUMM VOL. AC FT	DISCHARGE, CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	12,335					
691.00	14,729	1.00	0.31	0.31	0.11	-
692.00	16,340	1.00	0.36	0.67	0.15	0.07
693.00	18,517	1.00	0.40	1.07	0.18	0.12
693.60	19,889	0.60	0.26	1.33	0.20	0.15
694.00	20,803	0.40	0.19	1.52	0.21	0.16
695.00	22,392	1.00	0.50	2.01	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.01 100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR
694.18 100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR



- NOTES:
- ALL ELEVATIONS SHOWN AT CURB ARE TOP OF THE CURB ELEVATION.
 - DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 8%. THE DRIVEWAY SLOPES ARE SHOWN FOR EACH BUILDING. IF THE DRIVEWAY LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
 - ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
 - REFER TO SHEET TS1 FOR TYPICAL LOT GRADING SECTIONS AND OTHER DETAILS.
 - BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
 - OVERLAND FLOW ROUTE.
 - GRADING SHALL BE PERFORMED IN A MANNER SUCH THAT FLOOD PLAN STORAGE VOLUME IS ALWAYS MAINTAINED. COMPENSATORY STORAGE SHALL BE PROVIDED BEFORE FILL IS PLACED.
 - RAILING OR FENCE SHALL BE PROVIDED ON WALLS 30" OR HIGHER.
 - THE COMPACTION OF FILL SHALL BE IN COMPLIANCE WITH FEMA TECHNICAL BULLETIN 10-01.

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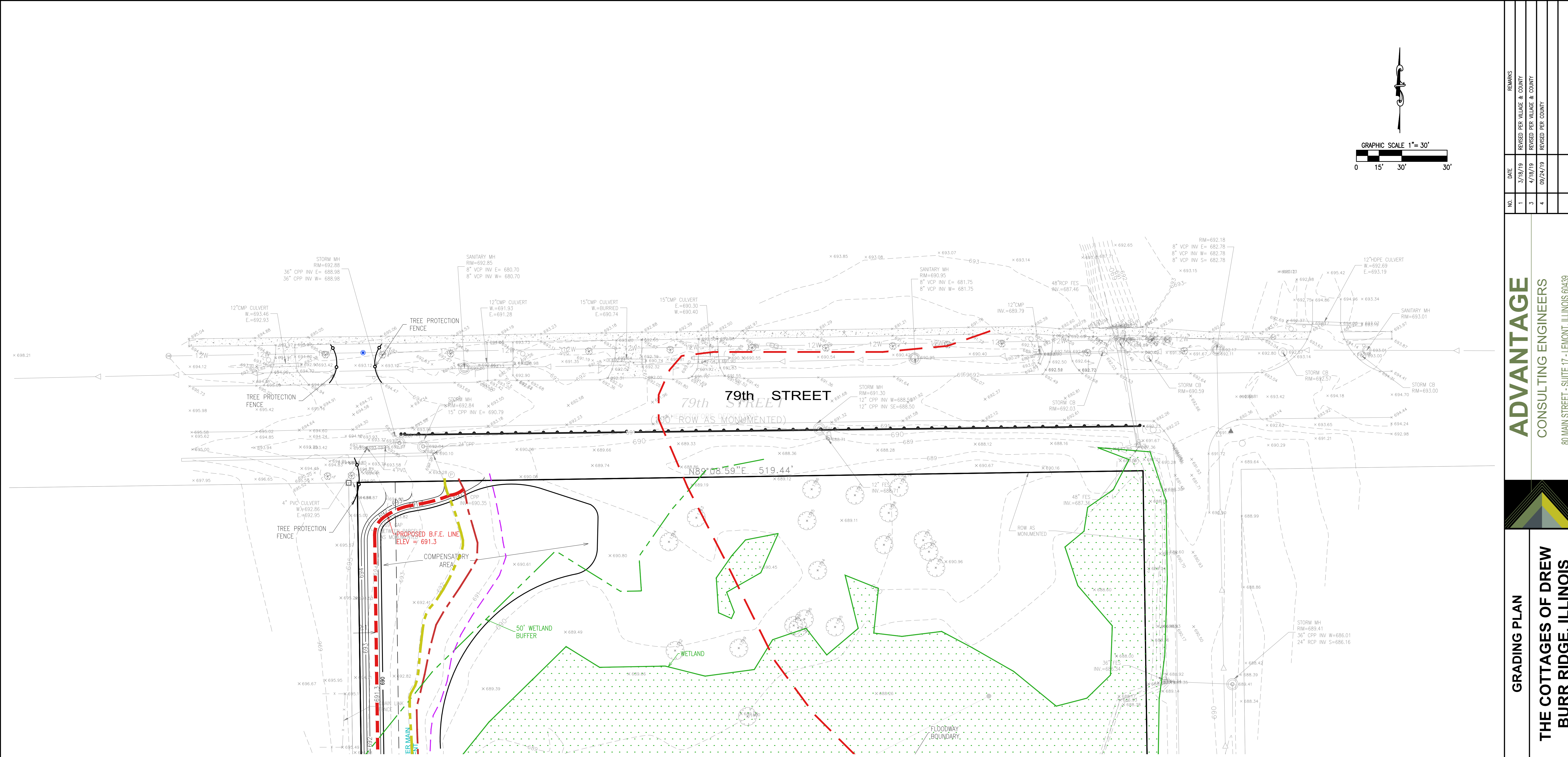
GRADING PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
G1

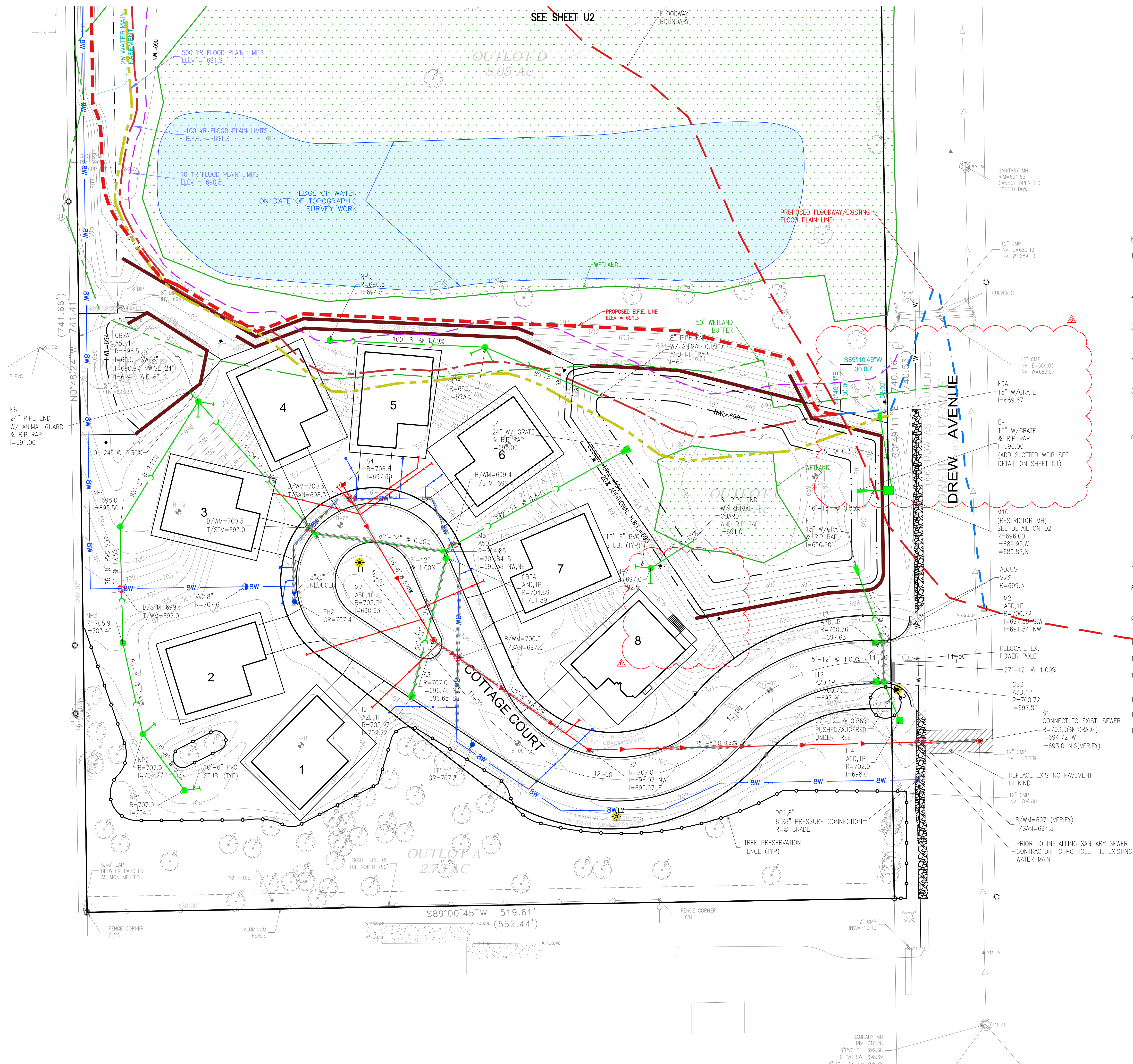
7 OF 28



SEE SHEET G1

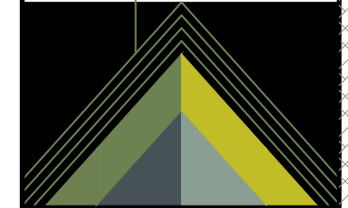
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REMARKS	DATE	NO.	ADVANTAGE CONSULTING ENGINEERS 80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 847-260-4758 WWW.ACEENGINEERS.COM
	3/18/19	1	
	4/18/19	3	
	09/24/19	4	
REVISED PER VILLAGE & COUNTY			THE COTTAGES OF DREW BURR RIDGE, ILLINOIS
REVISED PER VILLAGE & COUNTY			
REVISED PER COUNTY			
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527			NOVEMBER 5, 2018 JOB: 16-086
SHEET: G2			
8 OF 28			



- NOTES
- ALL 8" STORM SEWERS TO BE PVC SDR26, ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE. SEE NOTE #2, STORM SEWER NOTES ON SHEET S1.
 - ALL SANITARY SEWER & SERVICE SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE. A CLEAN OUT IS REQUIRED ON SERVICE LINE, 10' FROM FOUNDATION.
 - ALL WATER MAIN SHALL BE ZINC COATED D.I.P. CLASS 52 WITH V-BIO POLYETHYLENE ENCASEMENT AND NO. 8 SOLID BLUE TRACER WIRE.
 - THE UNDERDRAIN AND 8" STORM SEWER SHALL BE PERFORMED PVC SDR 26 UNLESS NOTED OTHERWISE. STORM SEWER CROSSING WATER MAIN SHALL BE WATER MAIN QUALITY PIPE, PVC SDR 21.
 - THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:
1P: NEENAH R-1712, TYPE D OPEN GRATE
1C: NEENAH R-1712, TYPE B CLOSED LID
 - UTILITY STRUCTURE SYMBOL LEGEND:
M36: MANHOLE, STRUCTURE # 36
I: INLET
CB: CATCH BASIN
M: MANHOLE
E: FLARED END SECTION WITH RIP RAP
S: SANITARY MANHOLE
NP: NYLOPLAST INLET
FH: FIRE HYDRANT
V: VALVE VAULT
PC: PRESSURE CONNECTION
UD: PERFORATED UNDERDRAIN
A40,1P: TYPE A, 4' DIA., TYPE OF FRAME AND GRATE/LID.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL COORDINATE ANY ROAD CLOSURES FOR OPEN CUT UTILITY WORK WITH THE APPROPRIATE AUTHORITIES.
 - LONG SERVICES INCLUDE TRENCH BACKFILL CA-6 CRUSHED AGGREGATE.
 - = TRENCH BACKFILL
 - 1-6" PVC SCH 40 CONDUIT FOR GAS
 - 3-4" PVC SCH 40 CONDUITS FOR COMED, AMERITECH, CABLE
 - ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
 - PIPE CROSSING
 - SEE SHEET SE1 FOR RIP RAP INFORMATION.

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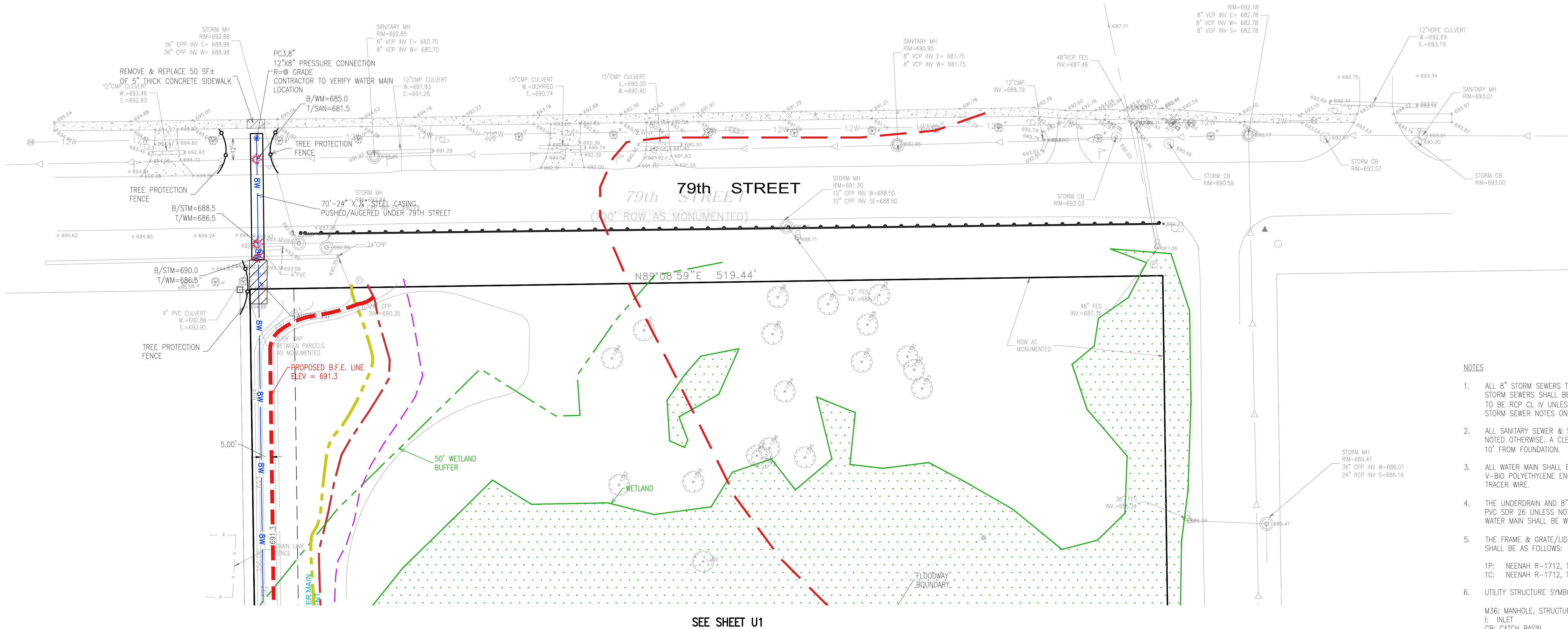
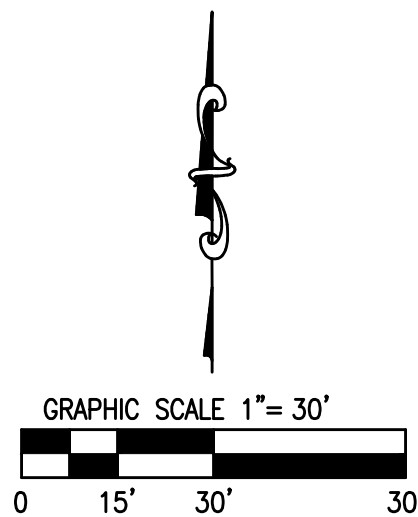


UTILITY PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
U1
9 OF 28



SEE SHEET U1

NOTES

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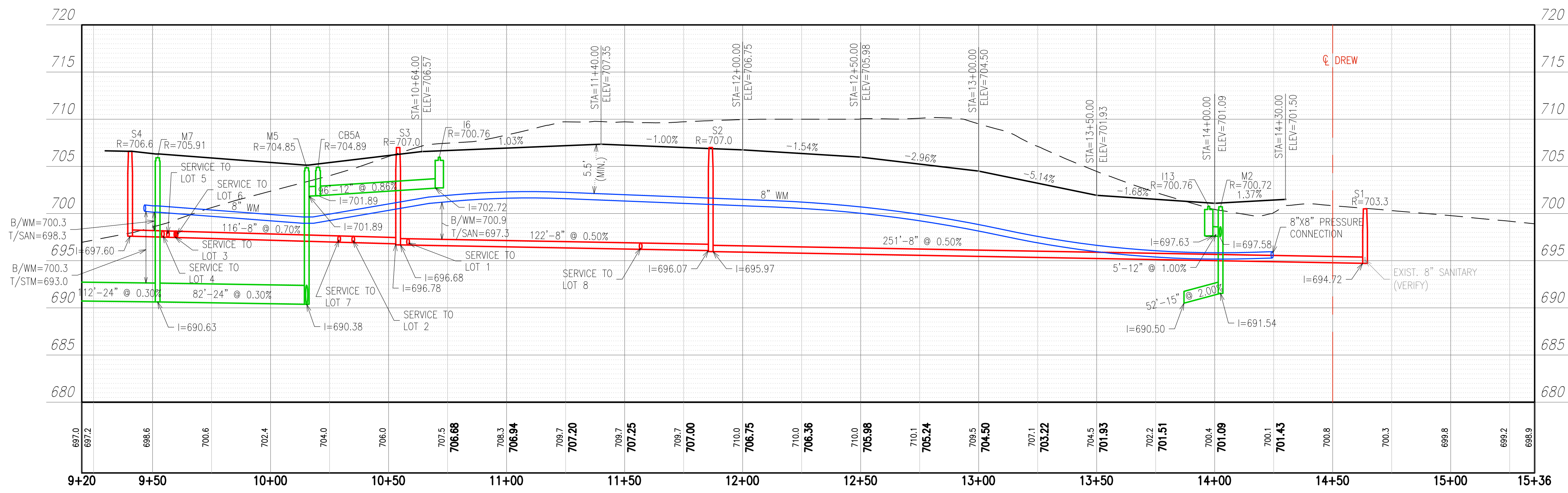
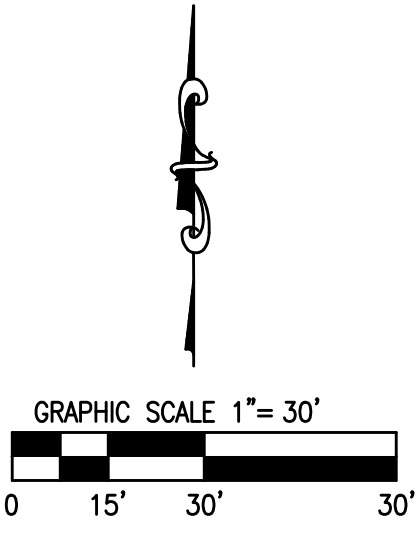
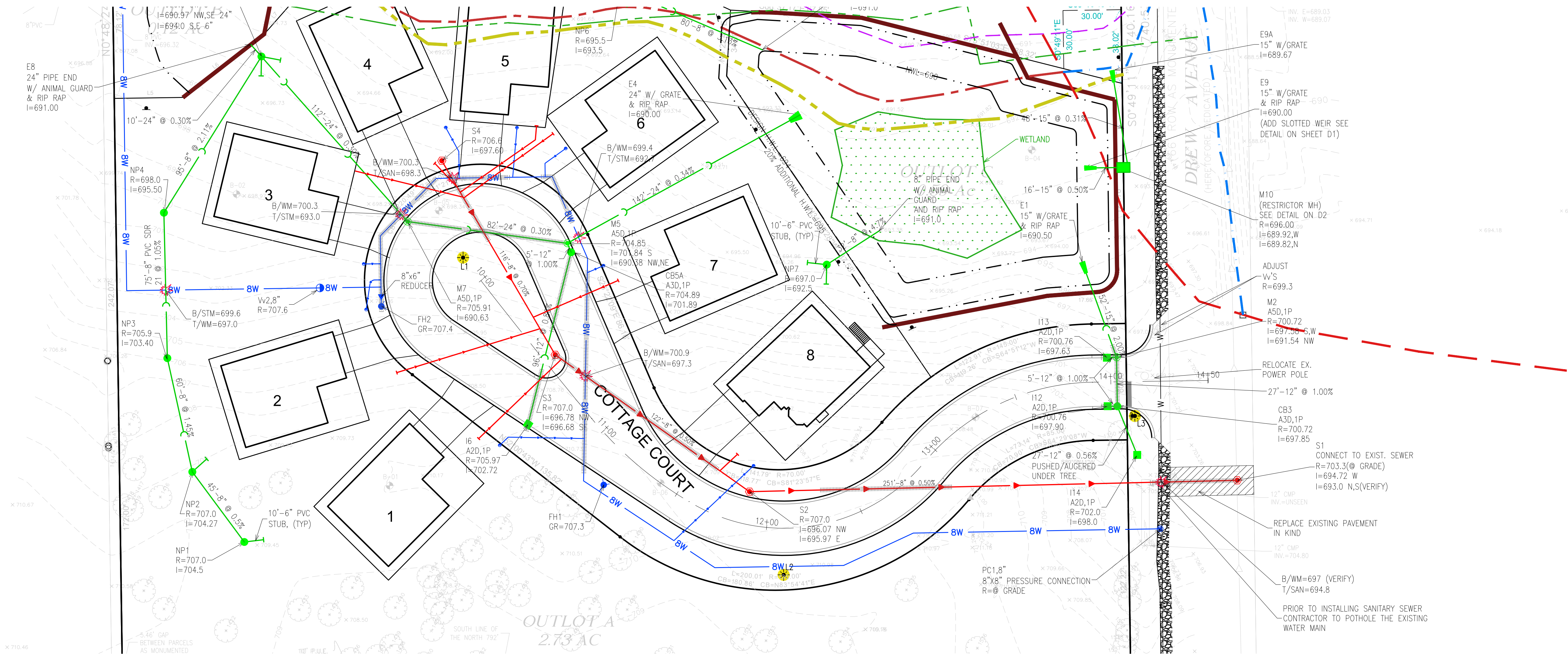
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UTILITY PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
U2
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REMARKS	1	3/16/19	REVISED PER VILLAGE & COUNTY
	2	3/26/19	REVISED PER COUNTY PUBLIC WORKS
	3	4/16/19	REVISED PER VILLAGE & COUNTY
	4	09/24/19	REVISED PER VILLAGE & COUNTY
	5	10/16/19	REVISED PER VILLAGE & COUNTY
DATE			
NO.			
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527			
THE COTTAGES OF DREW BURR RIDGE, ILLINOIS			
NOVEMBER 5, 2018 JOB: 16-086			
SHEET: PP1			
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CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMAN	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING		TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SO	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING		CO	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.	X		N/A
	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X		REAPPLY EVERY 1½ MONTHS.
	AGGREGATE COVER		AO	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PO	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
DIVERSIONS	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.		X	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED DRAINAGE	STORM SEWER	X	STW	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
	UNDER DRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DRAINER SEDIMENT BASINS.		X	N/A
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SP	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	DROP INLET PIPE SPILLWAY		DIP	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY	X	W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BIW	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		X	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.		X	REPAIR DISLOODED STONES OR EROSION UNDER RIP-RAP AS NEEDED.
	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES – DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT BASINS	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES – DETAIN WATER WITH CONTROLLED RELEASE.	X		CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SILT FENCE	X	SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
SEDIMENT FILTERS	VEGETATIVE FILTER		VF	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.		X	REDO ANY FAILING AREAS.
	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X		SCRAPE MUD AND REPLACE STONE AS NEEDED.
EROSION CONTROL	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X		RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET		EB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.	X	X	REPLACE AS NEEDED.
	TURF REINFORCEMENT MAT		TM	REINFORCES TURF IN CHANNELS AND SHORELINES.	X	X	REPLACE AS NEEDED.
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.	X	X	REPLACE AS NEEDED.
SEDIMENT CONTROL	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.		X	REPLACE AS NEEDED.
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.	X	X	REPLACE AS NEEDED.
	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.		X	REPLACE AS NEEDED.
	INLET PROTECTION	X	IF	USED FOR PROTECTION OF INLETS.	X		REPLACE OR CLEAN WHEN CLOGGED.
SEDIMENT CONTROL	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.	X	X	CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK		DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.	X		CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG	X	FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.	X		REPLACE WHEN HALF-DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.	X		REPLACE WHEN FABRIC IS TORN OR HOLES BEGON TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.	X		REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGON TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.	X		CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.
	STREET SWEEPING		SS	USED TO PREVENT SILT BUILD UP IN STREETS.	X		

RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON Ld (FT)	MEDIAN RIP-RAP SIZE C (IN)	WIDTH OF APRON U/S FACE W1 (FT)	WIDTH OF APRON D/S FACE W2 (FT)	DEPTH OF RIP-RAP d (IN)	AREA OF RIP-RAP (SQ.YDS.)	VOLUME OF RIP-RAP (CU.YDS.)
ALL	8/12		10	6	3.00	15.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

OBSERVATION & MAINTENANCE SCHEDULE		
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION – MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION – OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5".
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

DESCRIPTION	MON-1	MON-2	MON-3	MON-4	MON-5	MON-6	MON-7	MON-8	MON-9
EROSION CONTROL									
SITE CLEARING									
MASS GRADING									
UTILITIES									
PAVING									
SITE STABILIZATION									

CONSTRUCTION SCHEDULE-2019-20

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES AND SOIL EROSION AND SEDIMENT CONTROL ORDINANCE FOR THE COUNTY.

1. SITE DESCRIPTION.

- THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY FOLLOWING MASS GRADING WHICH IS THE SUBJECT OF THIS PLAN:

THE PROPOSED DEVELOPMENT CONSISTS OF CONSTRUCTION OF THE COTTAGES OF DREW DEVELOPMENT
THE CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENTS INCLUDE:

A. MASS GRADING
B. PAVEMENT CONSTRUCTION
C. INSTALLATION OF UTILITIES INCLUDING STORM SEWERS
D. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, AS A MINIMUM.

THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE, SUCH AS GRUBBING, EXCAVATION, AND GRADING:

THE SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:

A. INSTALL SILT FILTER FENCE AND STABILIZED CONSTRUCTION ENTRANCE
B. MASS GRADING
C. UNDERGROUND UTILITIES INSTALLATION
D. FINE GRADING IN PAVEMENT AREA
E. PAVEMENT CONSTRUCTION

THE SOIL EROSION AND SEDIMENTATION CONTROL ITEMS WILL BE INSTALLED FIRST AND AS NEEDED DURING THE ABOVE CONSTRUCTION ACTIVITIES.

THE TOTAL ESTIMATED AREA OF THE SITE IS 8.8 ACRES.
THE TOTAL ESTIMATED AREA OF THE SITE TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS 4.06 ACRES.

THE ESTIMATED RUNOFF COEFFICIENTS OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORM WATER MANAGEMENT FOR THE COTTAGES ON DREW
PREPARED BY ADVANTAGE CONSULTING ENGINEERS WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.

THE ESTIMATED PROPOSED OVERALL SITE RUNOFF COEFFICIENT IS 0.65
EXISTING DATA DESCRIBING SOILS IS INCLUDED IN SOILS REPORT _____ OR NOT AVAILABLE

NAME OF RECEIVING WATER(S) EXISTING AREA TO NORTH
NAME OF ULTIMATE RECEIVING WATER(S) 29TH STREET DITCH
WETLAND ACREAGE 2.68 ACRES.
- POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH CONSTRUCTION ACTIVITY MAY INCLUDE:

A. SEDIMENT FROM DISTURBED SOILS
B. PORTABLE SANITARY STATIONS
C. FUEL TANKS
D. STAGING AREAS
E. WASTE CONTAINERS
F. CHEMICAL STORAGE AREAS
G. OIL OR OTHER PETROLEUM PRODUCTS
H. ADHESIVES
I. TAR
J. SOLVENTS
K. DETERGENTS
L. FERTILIZERS
M. RAW MATERIALS (E.G., BAGGED PORTLAND CEMENT)
N. CONSTRUCTION DEBRIS
O. LANDSCAPE WASTE
P. CONCRETE AND CONCRETE TRUCKS
Q. LITTER

THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1 ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTORS WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR HAS SIGNED THE REQUIRED CERTIFICATION ON FORMS WHICH ARE INCLUDED AS A PART OF THIS PLAN.

- EROSION AND SEDIMENT CONTROLS.

STABILIZATION PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. EXCEPT AS PROVIDED IN 2, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED ON ALL DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 21 OR MORE CALENDAR DAYS.

WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECEDDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE THEREAFTER.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:

A. PERMANENT SEEDING
B. SILT FILTER FENCE
C. VEGETATIVE FILTER
D. STABILIZED CONSTRUCTION ENTRANCE

2. CONTROLS.

- STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:

A. PERMANENT SEEDING
B. SILT FILTER FENCE
C. VEGETATIVE FILTER
D. STABILIZED CONSTRUCTION ENTRANCE
- DUST CONTROL: DUST CONTROL SHALL BE PROVIDED PER STANDARD 825 OF ILLINOIS URBAN MANUAL. THE FOLLOWING METHODS FOR THE DUST CONTROL CAN BE USED.

A. DETENTION POND
B. STORM SEWER SYSTEM
C. RIP-RAP FOR OUTLET PROTECTION
D. INLET PROTECTION
- DUST CONTROL: DUST CONTROL SHALL BE PROVIDED PER STANDARD 825 OF ILLINOIS URBAN MANUAL. THE FOLLOWING METHODS FOR THE DUST CONTROL CAN BE USED.

A. IRRIGATION
B. SPRAY ON ADHESIVE
C. VEGETATIVE COVER
D. MULCHING
- STORM WATER MANAGEMENT.

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.

THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:

A. BARRIER FILTERS
B. STORM SEWERS
C. RETENTION/DETENTION PONDS
D. PERMANENT SEEDING
E. OUTLET PROTECTION

- VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).

STORM WATER MANAGEMENT CONTROL INCLUDES:

A. RIP-RAP FOR OUTLET PROTECTION (SEE RIP RAP TABLE FOR QUANTITY)
B. INLET PROTECTION
- APPROVED STATE OR LOCAL PLANS.

THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND THE MUNICIPAL SUBDIVISION ORDINANCE. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS OR SITE PERMITS OR STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

3. MAINTENANCE

- WASTE MANAGEMENT

SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF SITE BY THE CONTRACTORS. THE CONTRACTORS ARE RESPONSIBLE TO ACQUIRE THE PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE FOR THE MATERIALS. THE MAINTENANCE OF THESE CONTAINERS SHOULD BE SUCH THAT THEY BE DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE. IF NECESSARY, CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ON SITE. WASTE DISPOSAL SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

ON-SITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.

CONCRETE WASTE MANAGEMENT

CONCRETE WASTE OR WASHOUT IS NOT ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. WHEN PRACTICABLE, A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE, AND SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB, IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD. A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.

THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRED CONCRETE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 65% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AND USED AGAIN ON SITE (AS APPROVED BY THE ENGINEER) OR HAULED OFF SITE TO AN APPROPRIATE LANDFILL.

CONCRETE CUTTING

CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE IMMEDIATELY AFTER A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DEPOSITED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.

VEHICLE STORAGE AND MAINTENANCE

WHEN NOT IN USE, CONSTRUCTION VEHICLES SHOULD BE STORED IN A DESIGNATED AREA(S) OUTSIDE OF THE REGULATORY FLOOD-PLAN, AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. CONTROLS SHOULD BE INSTALLED TO MINIMIZE THE POTENTIAL OF RUNOFF FROM THE STORAGE AREA(S) FROM REACHING STORM DRAINS OR WATER COURSES. VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN A DESIGNATED AREA(S) TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ADSORBENT PADS SHOULD BE USED FOR VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSE OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER VEHICLE-RELATED CHEMICALS IN ACCORDANCE WITH UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) AND EPA REGULATIONS AND PER MATERIAL SAFETY DATA SHEET (MSDS) AND/OR MANUFACTURER INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE PRIMARY CONTACT.

MATERIAL STORAGE AND GOOD HOUSEKEEPING

MATERIALS AND/OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ON-SITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ON SITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. BERMED-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE FOR REFERENCING CLEAN-UP PROCEDURES. ANY RELEASE OF CHEMICALS/CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE PRIMARY CONTACT, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT: AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT.
PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. SUBSTANCES SHOULD NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MANAGEMENT OF PORTABLE SANITARY STATIONS

TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE OR BE SURROUNDED BY A CONTROL DEVICE (E.G., GRAVEL-BAG BERM). THE CONTRACTOR SHOULD PREVENT/AVOID UNSANITARY CONDITIONS. SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATIONS.
- SPILL PREVENTION AND CLEAN-UP PROCEDURES

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL SHOULD BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- DE-WATERING OPERATIONS

DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQUATE EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY. STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER.
- OFF-SITE VEHICLE TRACKING

THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. STREETS SHOULD BE SWEEP AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE, REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED; VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.
- TOPSOIL STOCKPILE MANAGEMENT

IF TOPSOIL IS TO BE STOCKPILED AT THE SITE, SELECT A LOCATION SO THAT IT WILL NOT ERODE, BLOCK DRAINAGE, OR INTERFERE WITH WORK ON SITE. TOPSOIL STOCKPILES SHALL NOT BE LOCATED IN THE 100-YEAR FLOODPLAIN OR DESIGNATED BUTTER PROTECTING WATERS OF THE STATE. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHOULD BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. PERMITTER CONTROLS, SUCH AS SILT FENCE, SHOULD BE PLACED AROUND THE STOCKPILE IMMEDIATELY. STABILIZATION OF THE STOCKPILE SHOULD BE COMPLETED IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS.

4. INSPECTIONS

- THE OWNER, OR OWNER'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT THE DISTURBED AREAS OF THE SITE UNDER CONSTRUCTION WHICH HAVE NOT BEEN STABILIZED, ALL STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4. SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH APPLICABLE PART OF THE GENERAL PERMIT.
- IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE PROJECT ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. C OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

ALL PACKAGES:
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
DIVISION OF WATER POLLUTION CONTROL
ATTN: COMPLIANCE ASSURANCE SECTION
1024 NORTH GRAND AVENUE, EAST
SPRINGFIELD, IL 62794

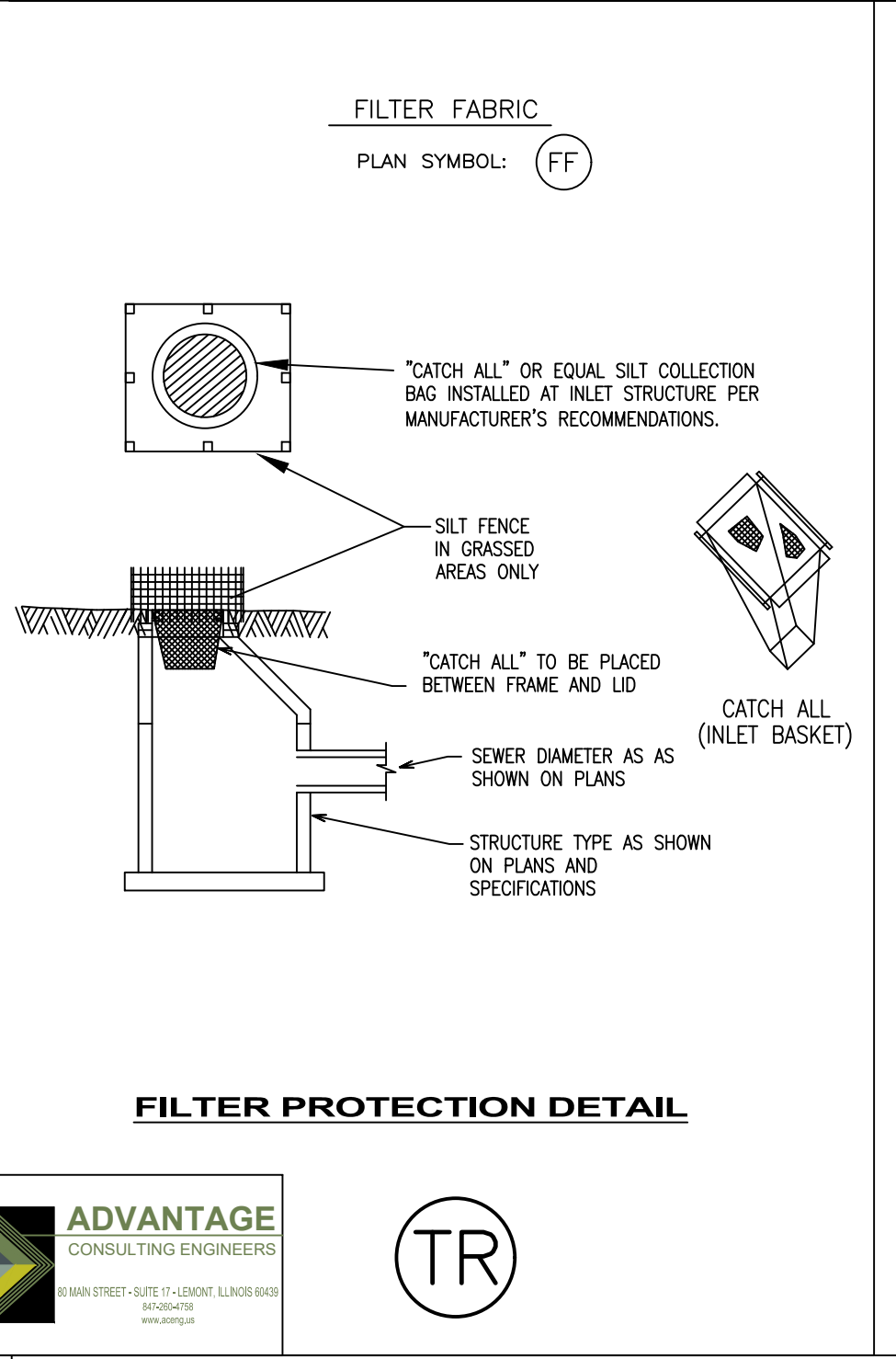
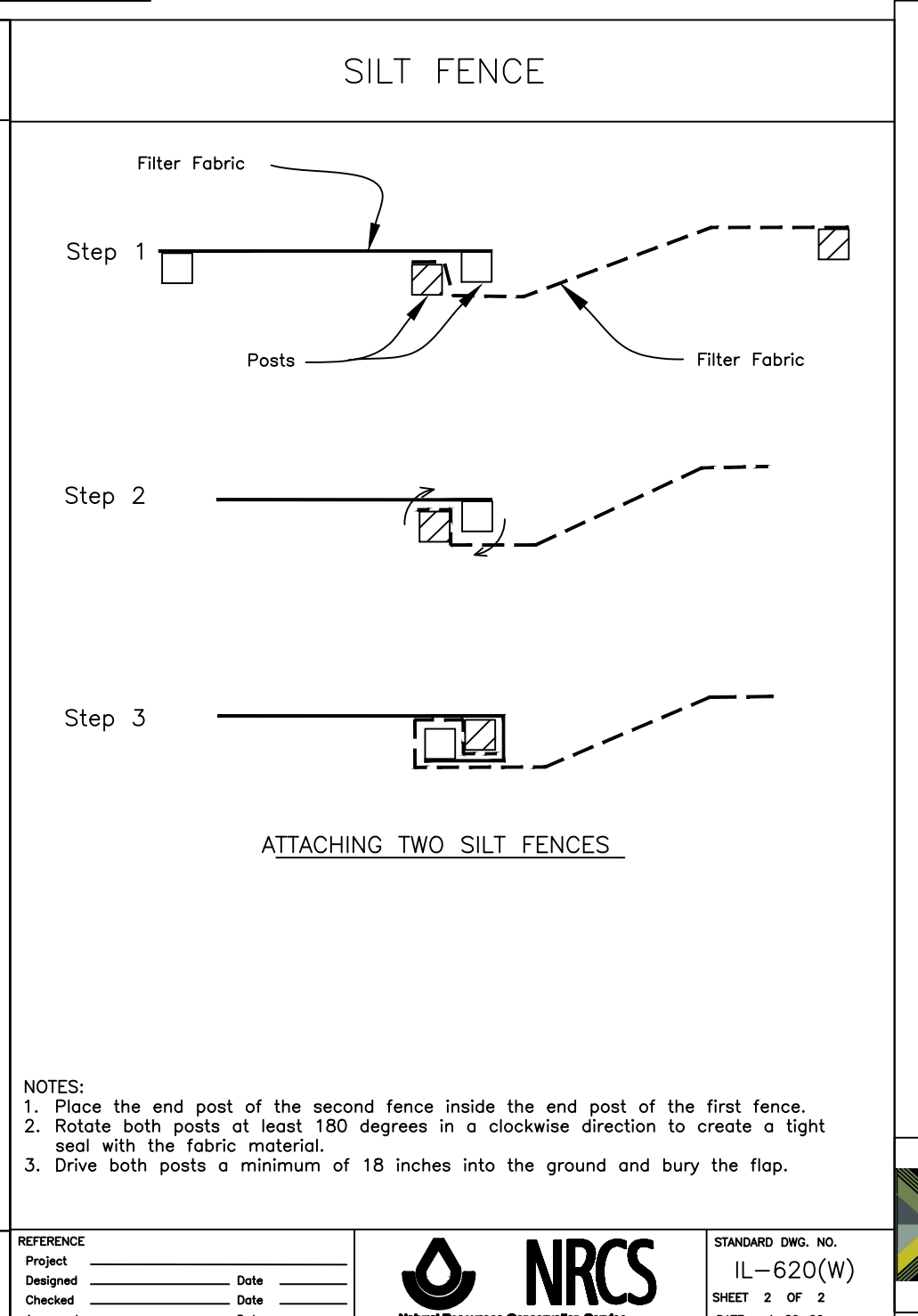
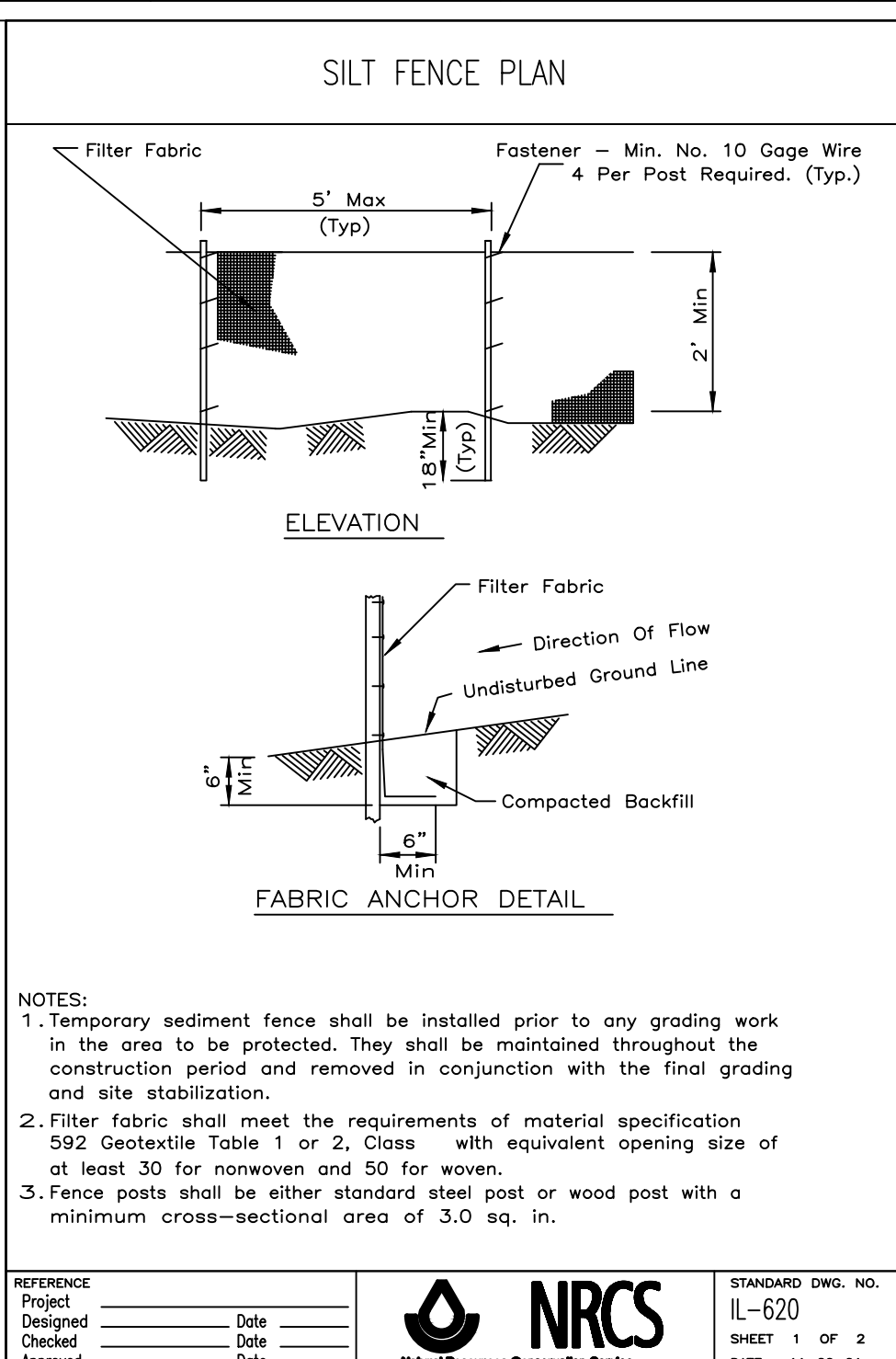
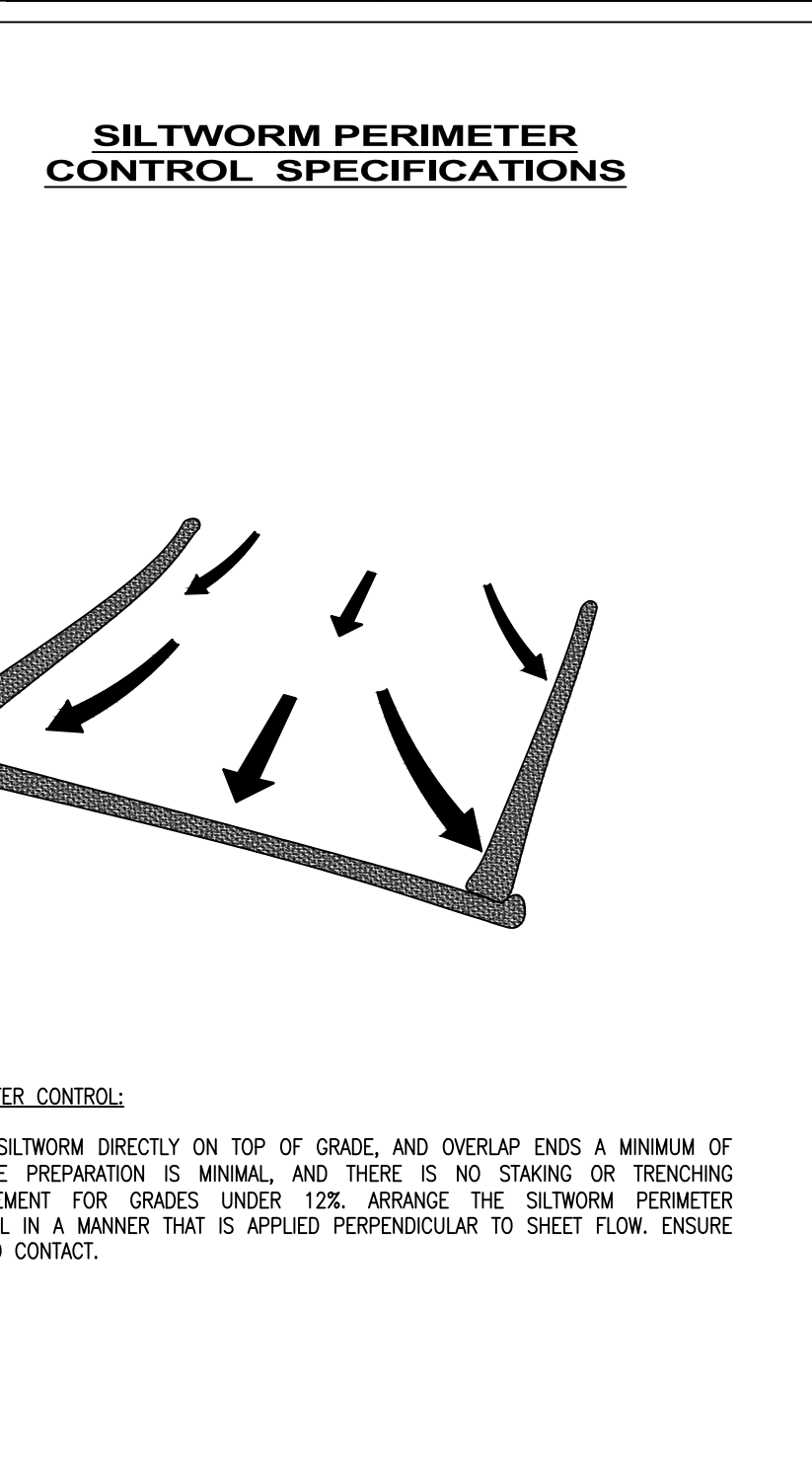
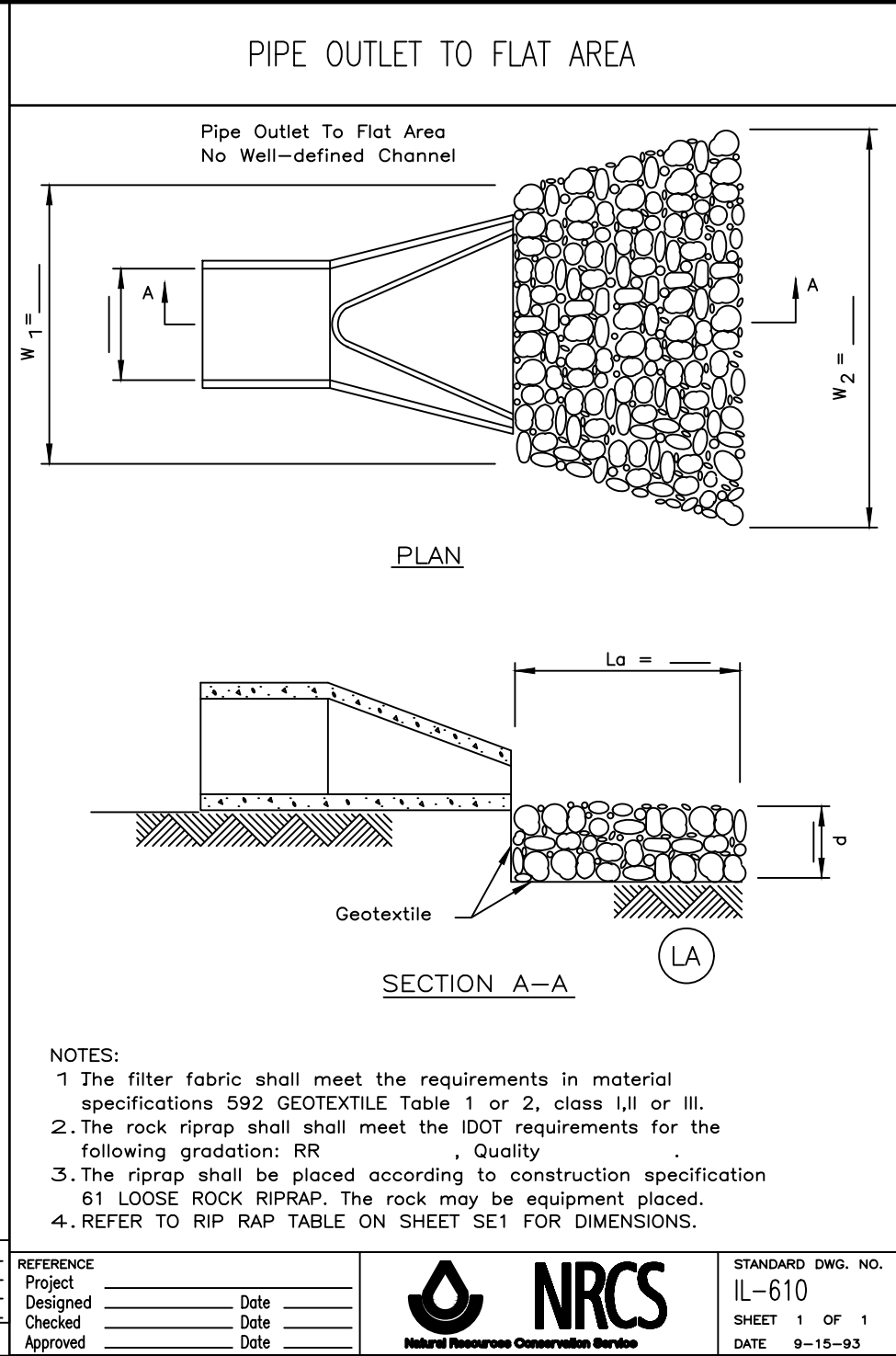
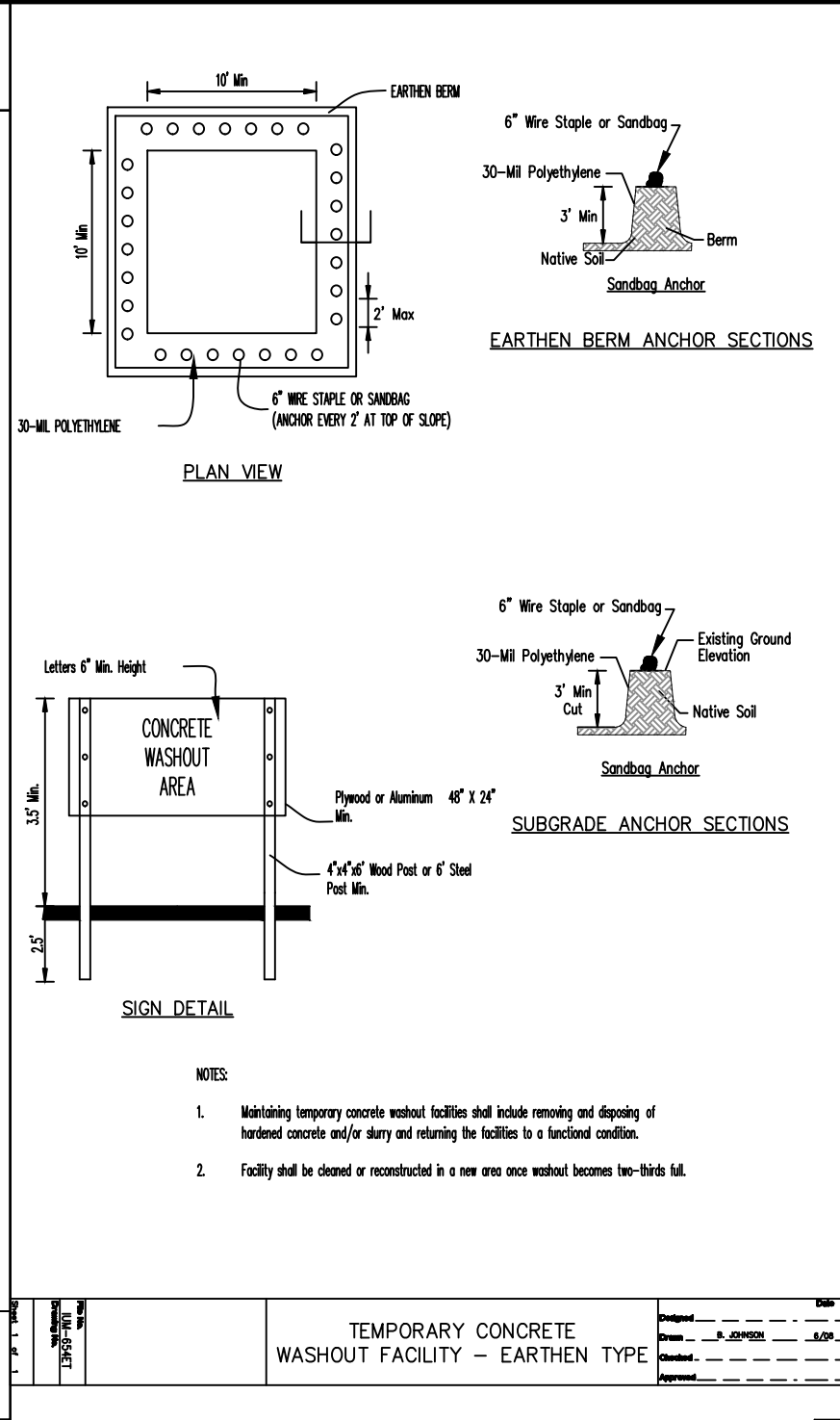
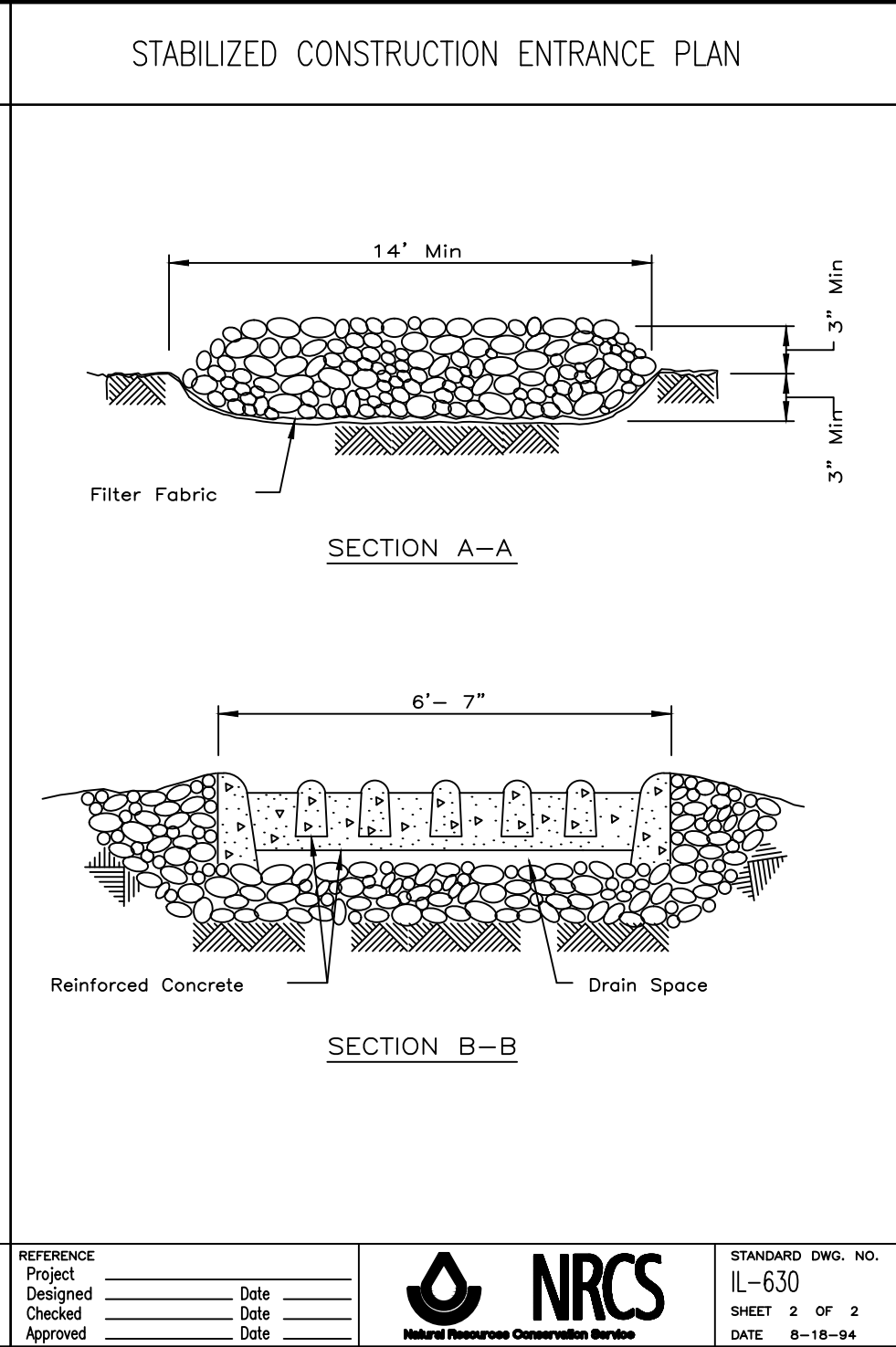
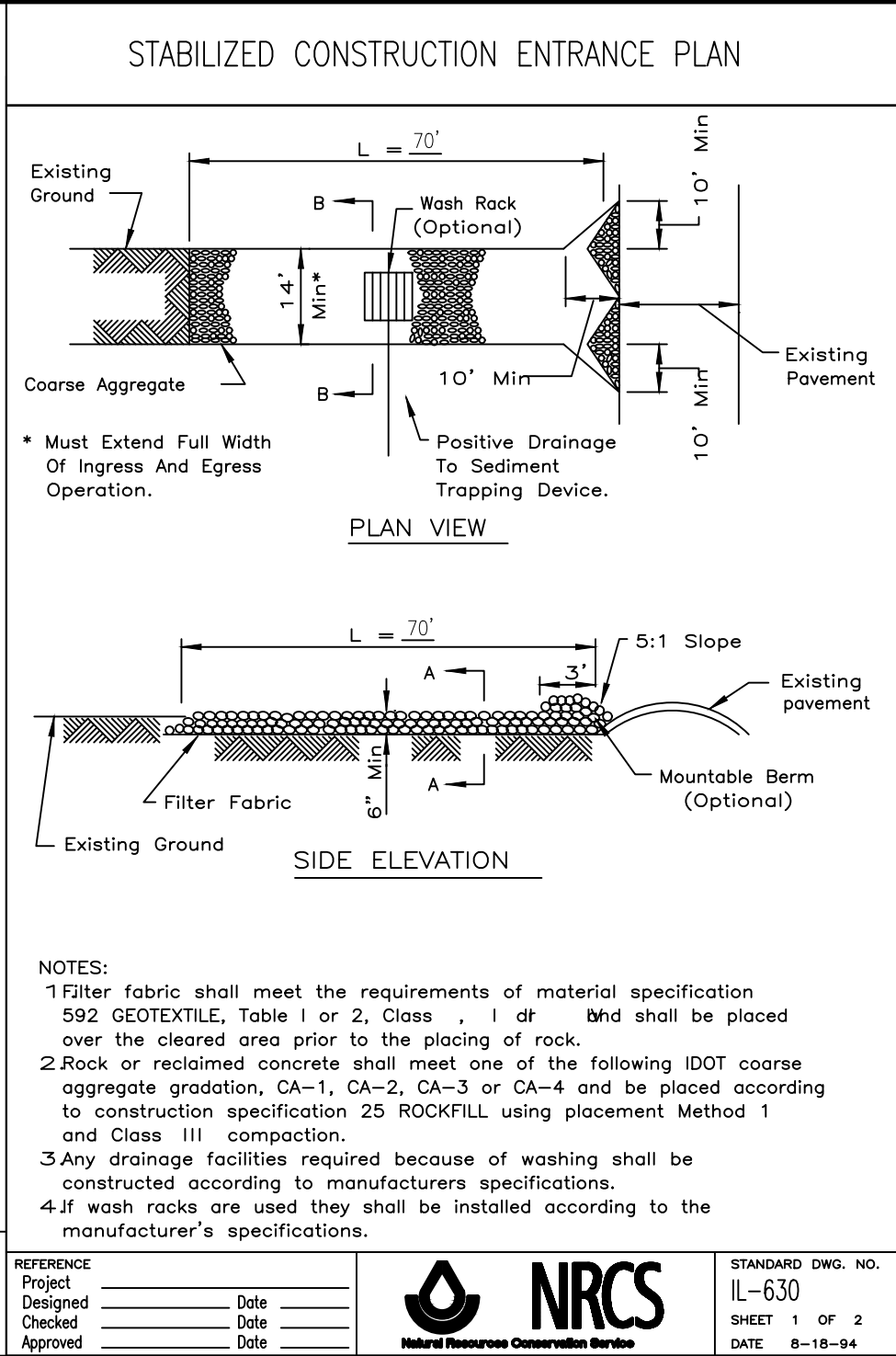
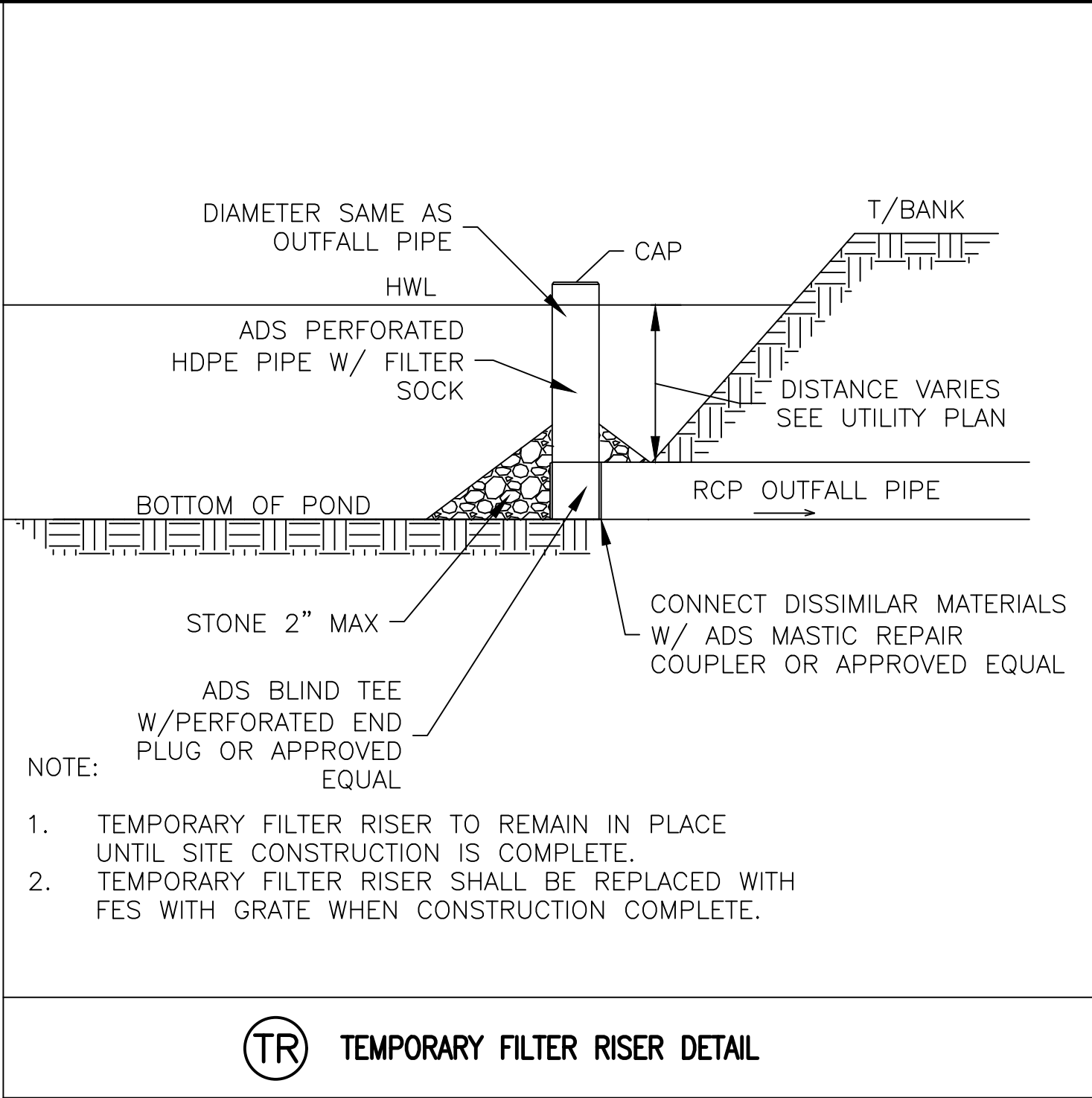
ALL LETTERS
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
DIVISION OF WATER POLLUTION CONTROL
ATTN: COMPLIANCE ASSURANCE SECTION
POST OFFICE BOX 19276
SPRINGFIELD, IL 62794-9276

5. NON-STORM WATER DISCHARGES

- EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, POSSIBLE SOURCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH THE PROPOSED ACTIVITY, ARE DESCRIBED BELOW:
- FIRE FIGHTING ACTIVITIES
FIRE HYDRANT FLUSHINGS
WATER USED TO CONTROL DUST
POTABLE WATER SOURCES INCLUDING UNCONTAMINATED WATERLINE FLUSHINGS
LANDSCAPE IRRIGATION DRAINAGES
ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS
PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED) AND WHERE DETERGENTS HAVE NOT BEEN USED.
UNCONTAMINATED AIR CONDITIONING CONDENSATE
SPRINGS
IRRIGATION DITCHES
UNCONTAMINATED GROUND WATER
FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS
 - CONCRETE AND WASTEWATER FROM WASHOUT OF CONCRETE (UNLESS MANAGED BY AN APPROPRIATE CONTROL)
DRYWALL COMPOUND
WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT
FORM RELEASE OILS
CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS
FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE OR EQUIPMENT OPERATION AND MAINTENANCE
SOAPS, SOLVENTS, OR DETERGENTS
TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE
ANY OTHER POLLUTANT THAT COULD CAUSE OR TEND TO CAUSE WATER POLLUTION

6. PROHIBITED NON-STORMWATER DISCHARGES

- CONCRETE AND WASTEWATER FROM WASHOUT OF CONCRETE (UNLESS MANAGED BY AN APPROPRIATE CONTROL)
DRYWALL COMPOUND
WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT
FORM RELEASE OILS
CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS
FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE OR EQUIPMENT OPERATION AND MAINTENANCE
SOAPS, SOLVENTS, OR DETERGENTS
TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE
ANY OTHER POLLUTANT THAT COULD CAUSE OR TEND TO CAUSE WATER POLLUTION



SILTWORM INSTALLATION SPECIFICATIONS				
SILTWORM HEIGHTS INSTALLED			MINIMUM SPECIFICATION FOR SILTWORM	
NOMINAL DIAMETER, D	INSTALLED HEIGHT OF SINGLE SILTWORM	INSTALLED HEIGHT OF STACKED SILTWORM	PROPERTY	UNITS RANGE
9"	7.5"	15"	PH	PH 5.0-8.5
12"	9.5"	19"	MOISTURE CONTENT	% WET WEIGHT BASIS <20
18"	14.5"	29"	PARTICLE SIZE	% PASSING SELECTED MESH SIZE, DRY WEIGHT BASIS 1 1/2"-2"-90% FINES = 10% MAX. PARTICLE SIZE 2"
24"	19"	38"		

SILTWORM CAN BE PLACED IN DITCHES OR AT THE TOP, ON THE FACE, OR AT THE TOE OF A SLOPE AS SEDIMENT TRAPPING DEVICE. SILTWORM CAN ALSO SERVE TO REMOVE SEDIMENT FROM RUNOFF AND RELEASE FILTERED WATER AS SHEET FLOW.

SILTWORM INSTALLATION ON A SLOPE SHALL BE PLACED ALONG OR ON THE GROUND CONTOUR, WHERE POSSIBLE. SILTWORM APPLIED TO THE TOE OF A SLOPE SHOULD BE PLACED 10 FEET AWAY FROM THE TOE IN ORDER TO PROVIDE SPACE FOR SEDIMENT STORAGE. MAXIMUM DRAINAGE AREA SHALL BE 1/2 ACRE PER 100 LF OF SILTWORM.

FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 15 ACRES, AT SITES WHICH OUTFALL TO EXCEPTIONAL WATER OR SEDIMENT-IMPAIRED STREAMS, THE MAXIMUM DRAINAGE AREA SHALL BE LIMITED TO 10 ACRES.

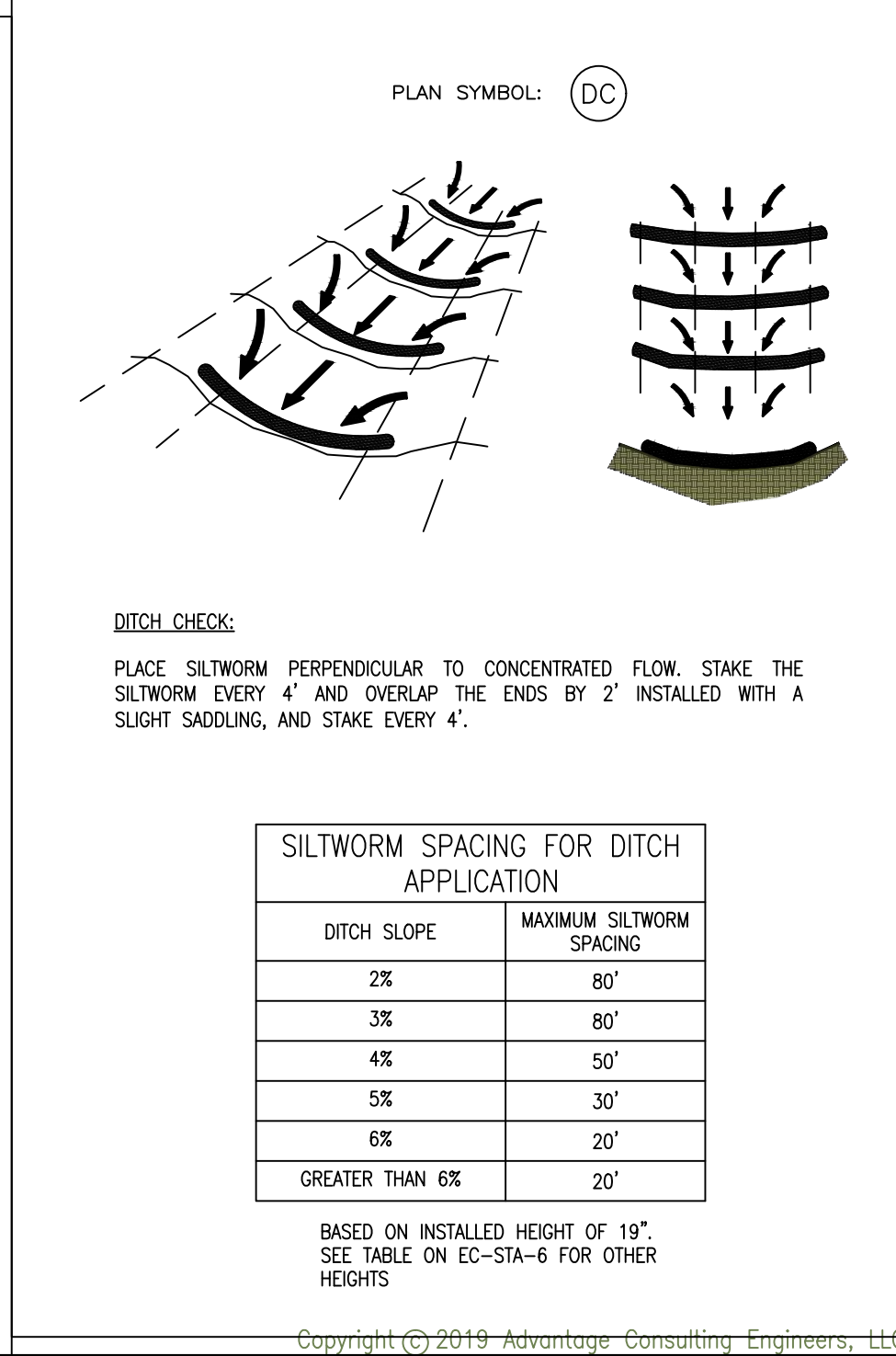
SILTWORM SHALL BE PLACED PERPENDICULAR TO THE FLOW OF WATER. SILTWORM SHALL CONTINUE UP THE SIDE SLOPES TO THE TOP OF BANK OR A MAXIMUM OF 3 FEET ABOVE THE INSTALLED HEIGHT. SILTWORM SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS ARE PERMANENTLY STABILIZED.

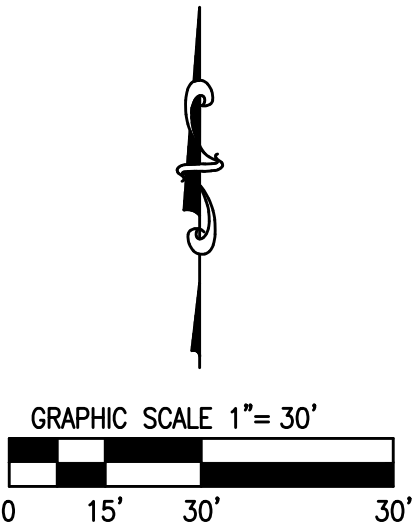
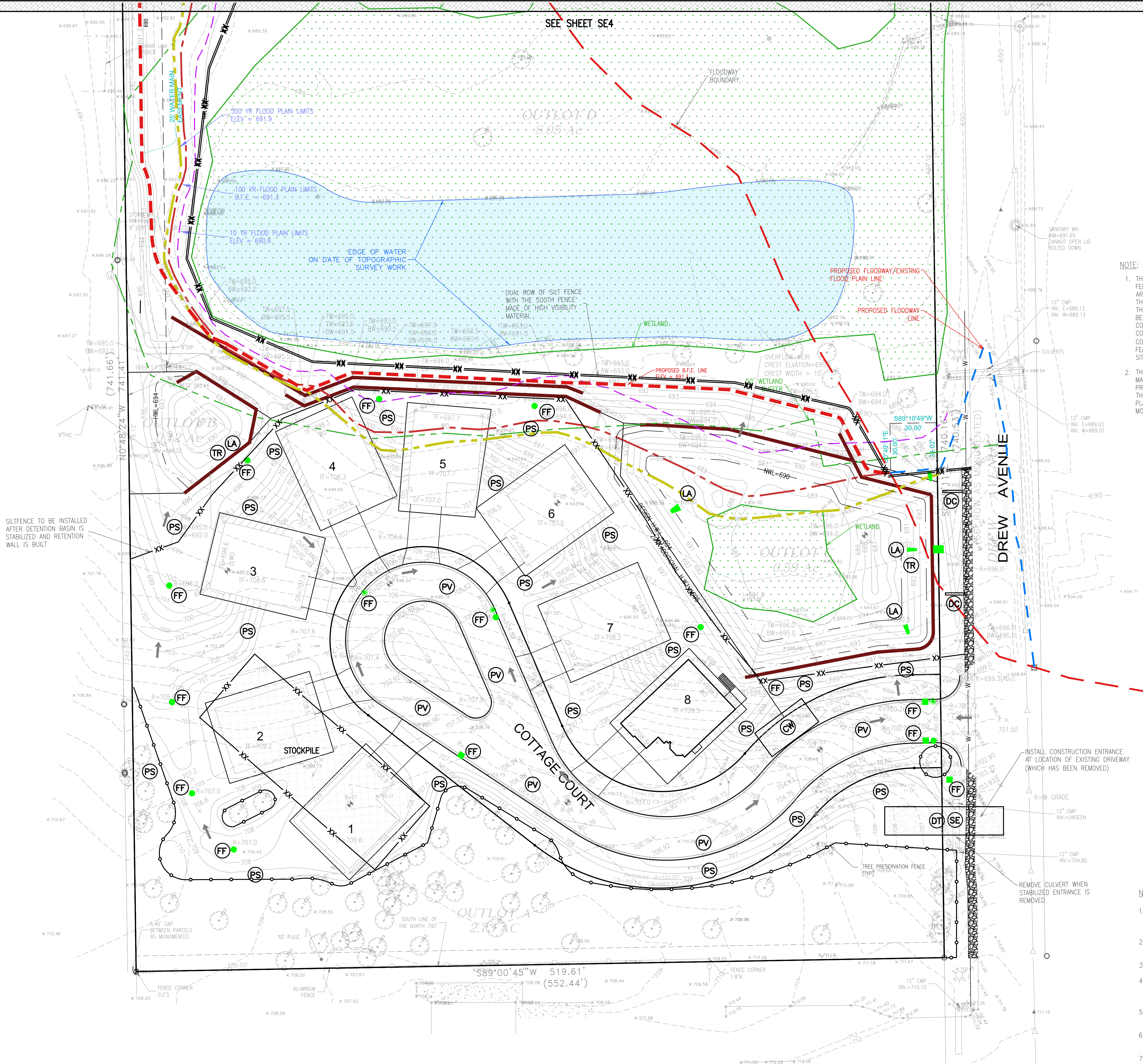
SILTWORM IS SUPPLIED AND INSTALLED IN DIAMETERS OF 9", 12", 18" OR 24" DIAMETER TOLERANCES ARE 2". SILTWORM WILL FLATTEN OUT TO AN OVAL WHEN IN PLACE, THUS THE INSTALLED HEIGHT WILL BE LESS THAN NOMINAL DIAMETER.

SILTWORM SHALL BE INSPECTED AFTER EACH RUNOFF EVENT AND SHALL BE REMOVED AND REPLACED IF SIGNS OF UNDERCUTTING OR DOWNSTREAM SPACING RILLS ARE OBSERVED.

SILTWORM SHOULD BE REMOVED FROM SLOPES AFTER STABILIZATION IS COMPLETE. THIS MAY BE ACCOMPLISHED BY CUTTING THE SILTWORM OPEN AND SPREADING THE FILL MATERIAL ON THE SITE. SILTWORM APPLIED IN DITCH SHALL BE COMPLETELY REMOVED.

SILTWORM DITCH CHECK DAM ESTIMATED QUANTITIES						
V - DITCH (1)			TRAPEZOIDAL DITCH (2)			
24" SILTWORM (INSTALLED HEIGHT 19")	12" SILTWORM (INSTALLED HEIGHT 19")	18" SILTWORM (INSTALLED HEIGHT 29")	24" SILTWORM (INSTALLED HEIGHT 19")	12" SILTWORM (INSTALLED HEIGHT 19")	18" SILTWORM (INSTALLED HEIGHT 29")	
LENGTH (FT)	20	60	48	24	72	60
(1) ESTIMATED QUANTITIES BASED ON A 4:1 SIDE SLOPE. QUANTITIES WILL VARY BASED ON ACTUAL DITCH CONFIGURATION						
(2) ESTIMATED QUANTITIES BASED ON A 4 FT BOTTOM WIDTH, 4 FT DEPTH, AND 4:1 SIDE SLOPES. QUANTITIES WILL VARY BASED ON ACTUAL DITCH CONFIGURATION						





NOTE:

1. THE IMMEDIATE DOWNSTREAM AREA OF THIS SITE (TO THE NORTH) IS A FEDERALLY-PROTECTED WETLAND AND FLOODPLAIN. FURTHER DOWNSTREAM ARE PRIVATE PROPERTIES OFF-SITE. THE DETAILS AND NOTES OUTLINED IN THESE PLANS ARE MINIMUM MEASURES THAT NEED TO BE FOLLOWED. THE DEVELOPER AND ANY CONTRACTORS WORKING ON THIS SITE SHOULD BECOME FAMILIAR WITH THESE REQUIREMENTS. IF, OVER THE COURSE OF CONSTRUCTION CONDITIONS CHANGE REQUIRING ADDITIONAL EROSION CONTROL MEASURES TO BE IMPLEMENTED THE ENGINEER SHALL BE CONTACTED IMMEDIATELY TO REVISE/UPDATE THE EROSION CONTROL PLAN FEATURES BASED UPON WEATHER CONDITIONS OR THE CONDITION OF THE SITE.

2. THE DEVELOPER AND CONTRACTOR ARE RESPONSIBLE TO CONTROL, MAINTAIN, AND OPERATE THE SITE IN A MANNER WHICH ENSURES THESE PROTECTED AREAS AND DOWNSTREAM PROPERTIES ARE NOT IMPACTED. THEREFORE, ADHERENCE TO THE STORMWATER POLLUTION PREVENTION PLAN, BEST MANAGEMENT EROSION CONTROL PRACTICES, MAINTENANCE, MONITORING, AND INSPECTION BY THE DEVELOPER IS VITAL.

EROSION CONTROL LEGEND

- TR TEMPORARY FILTER RISER
- SE STABILIZED CONSTRUCTION ENTRANCE (REMOVE EXIST. DRIVEWAY & INSTALL 3" ROCKS PER DETAIL.)
- DT DUST CONTROL
- PV PAVING
- PS PERMANENT SEEDING
- CW CONCRETE WASHOUT
- FF INLET PROTECTION
- LA LINED APRON
- EB EROSION CONTROL BLANKET
- DC DITCH CHECK
- XX SILT FENCE OR SILTWORM
- Tree Preservation Fence

STOCKPILE/MATERIAL STORAGE NOTES:

1. NO MATERIAL STORAGE OR STOCKPILES SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION INCLUDING EXCAVATION OF THE 3 SEDIMENT BASINS.
2. EARTHWORK CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. EARTHWORK CONTRACTOR RESPONSIBLE FOR DUST CONTROL.
4. EARTHWORK CONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
6. NO MATERIAL STORAGE OR STOCK PILE SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.
7. FLOC LOG MAY BE REQUIRED BY VILLAGE ENGINEER TO PROTECT WETLANDS FROM SEDIMENT TRANSPORT.

REMARKS

REVISED PER VILLAGE & COUNTY

3/18/19

1

NO.

DATE

REVISED PER VILLAGE & COUNTY

4/18/19

3

REVISED PER COUNTY

5/24/19

4

REVISED PER VILLAGE & COUNTY

10/16/19

5

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEOMONT, ILLINOIS 60439

847-260-4758

WWW.ADCENGINEERS.COM

SOIL EROSION AND SEDIMENT CONTROL PLAN

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

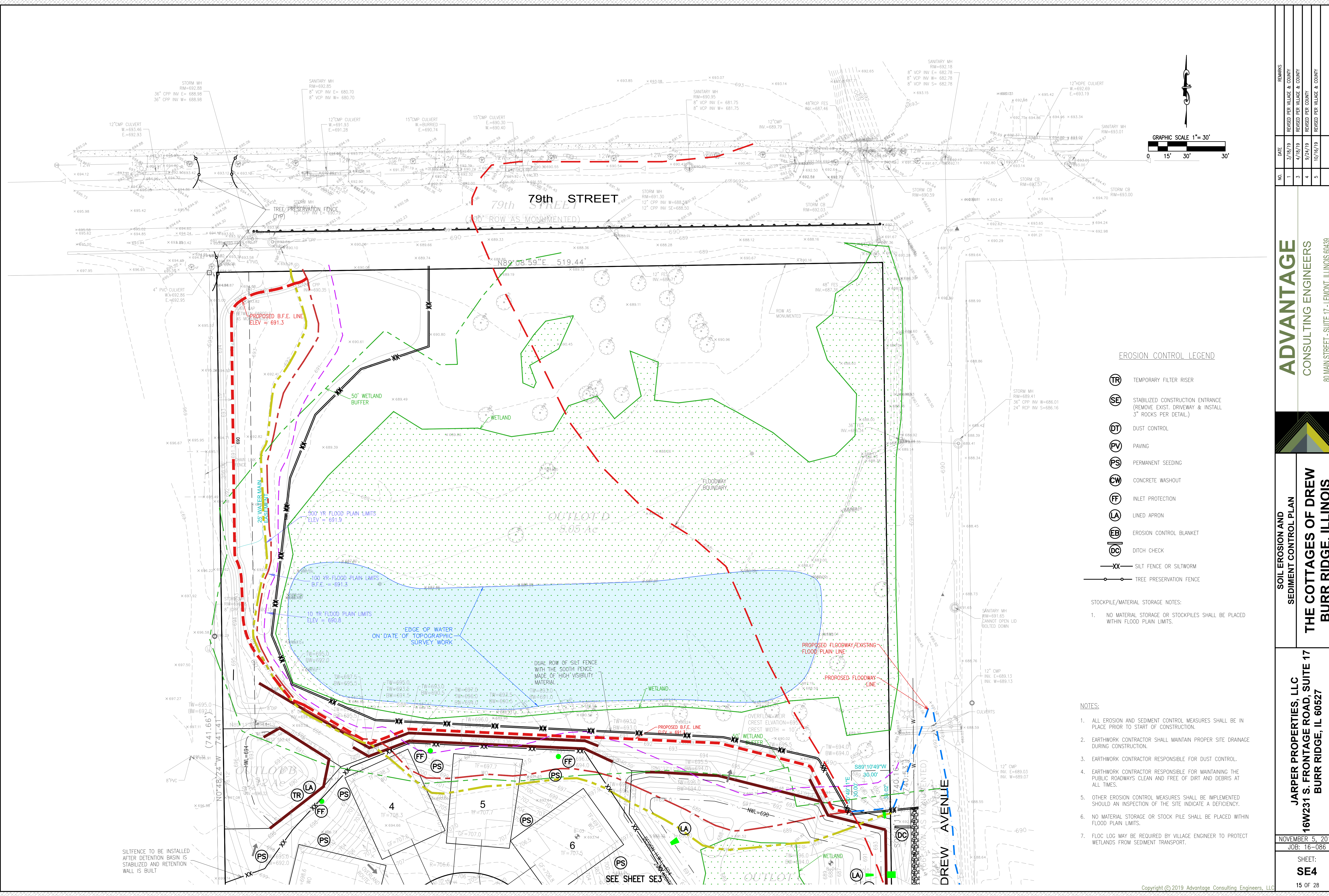
BURR RIDGE, IL 60527

NOVEMBER 5, 2018

JOB: 16-086

SHEET: SE3

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EROSION CONTROL LEGEND

- TR TEMPORARY FILTER RISER
- SE STABILIZED CONSTRUCTION ENTRANCE
(REMOVE EXIST. DRIVEWAY & INSTALL
3" ROCKS PER DETAIL.)
- DT DUST CONTROL
- PV PAVING
- PS PERMANENT SEEDING
- CW CONCRETE WASHOUT
- FF INLET PROTECTION
- LA LINED APRON
- EB EROSION CONTROL BLANKET
- BC DITCH CHECK
- XX SILT FENCE OR SILTWORM
- TREE PRESERVATION FENCE

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 - EARTHWORK CONTRACTOR RESPONSIBLE FOR DUST CONTROL.
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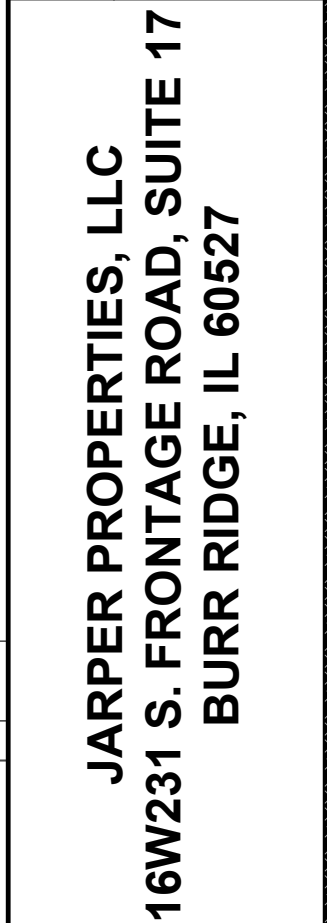
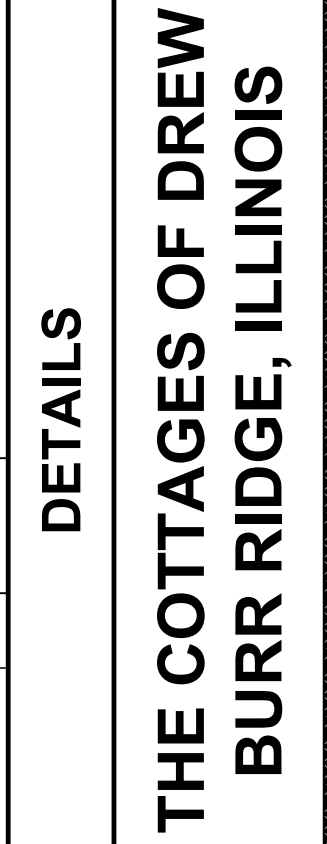
ADVANTAGE
CONSULTING ENGINEERS

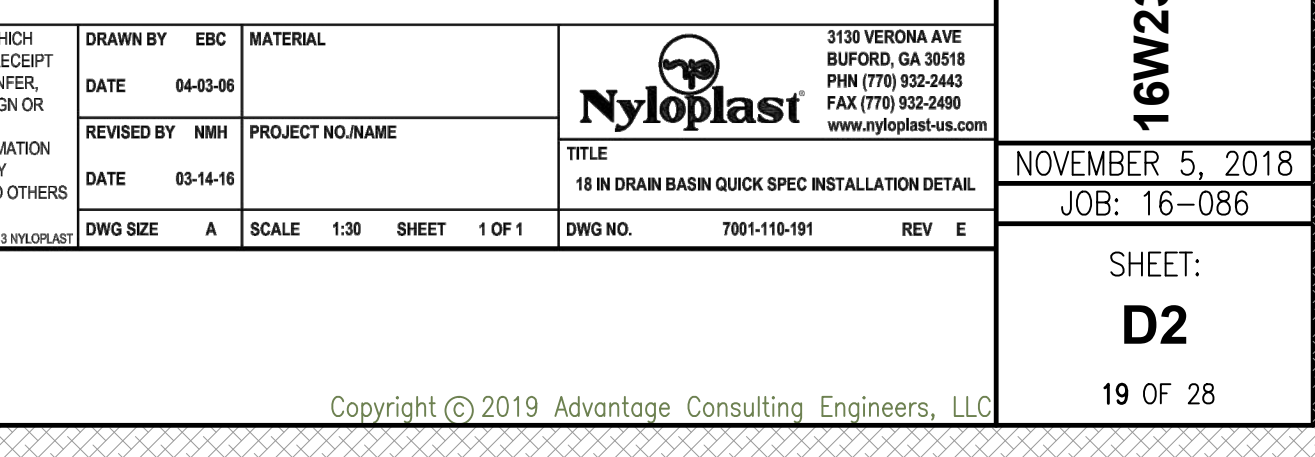
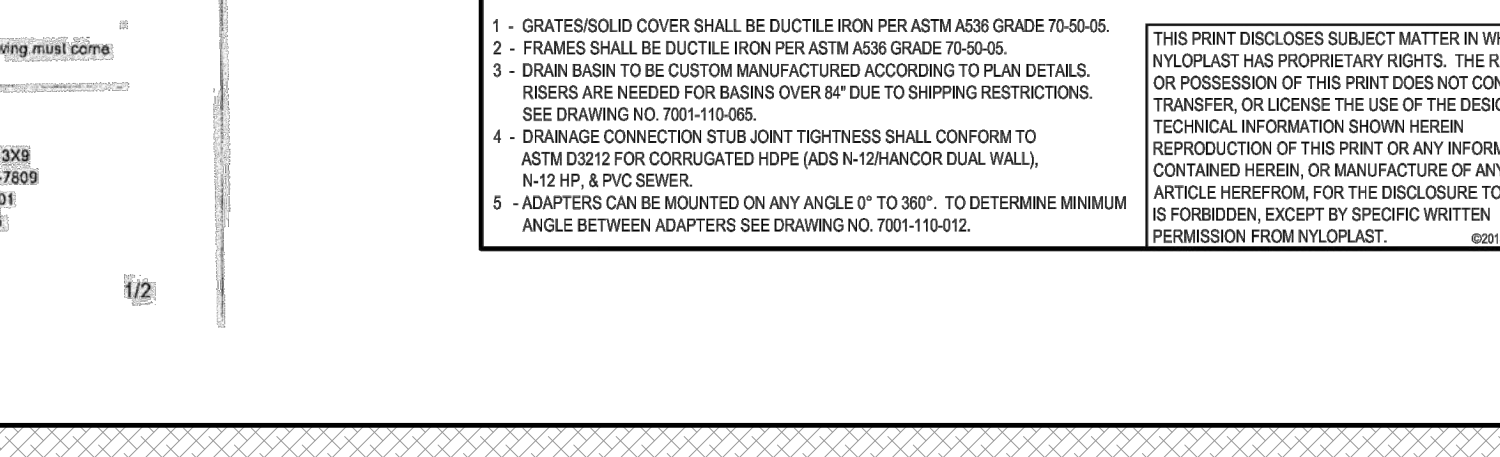
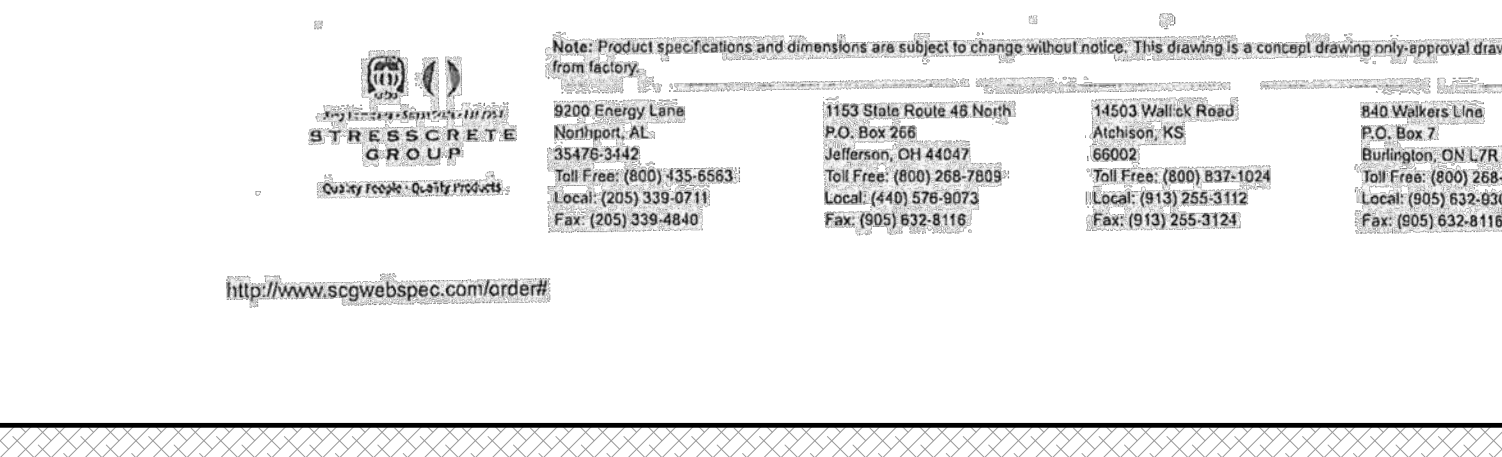
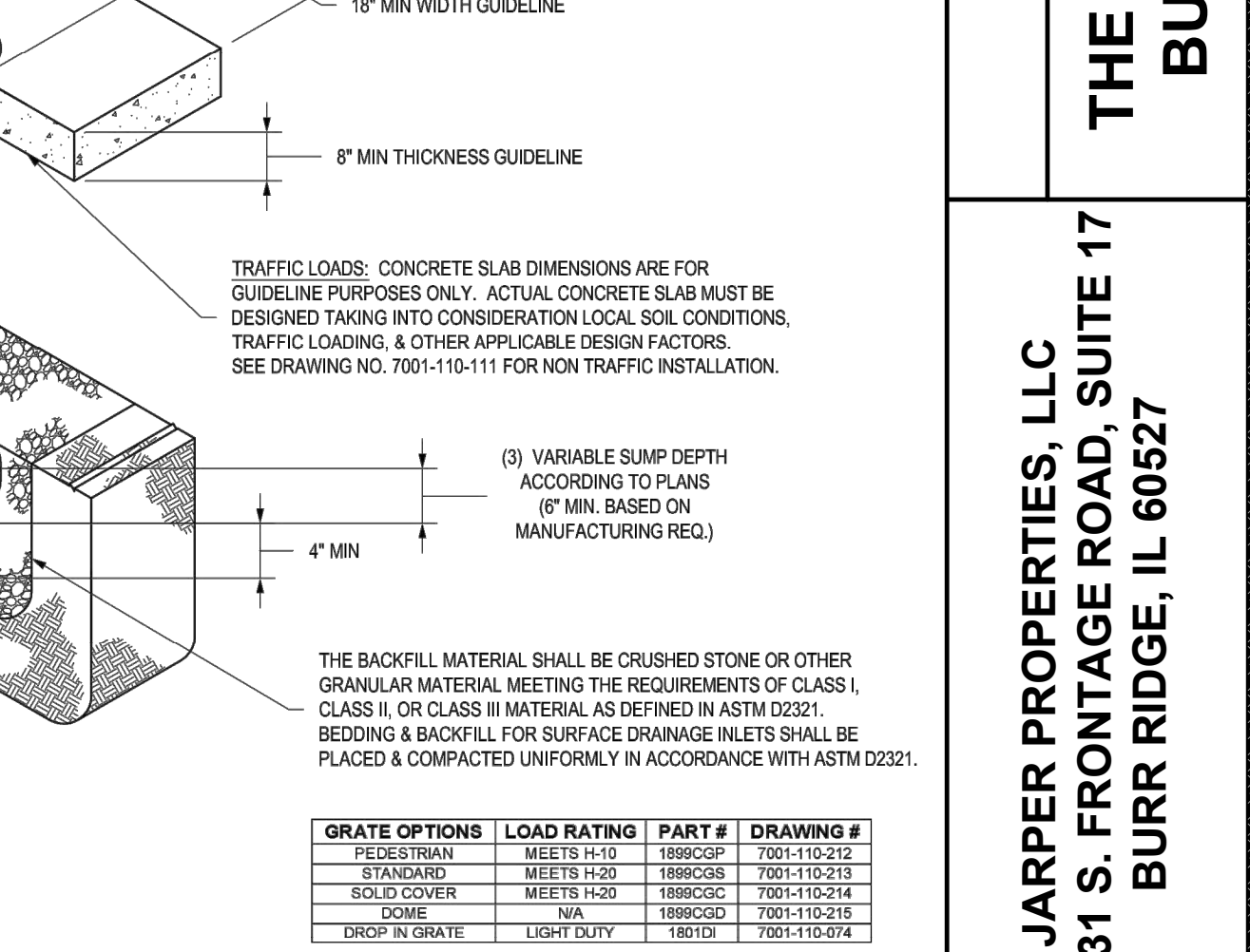
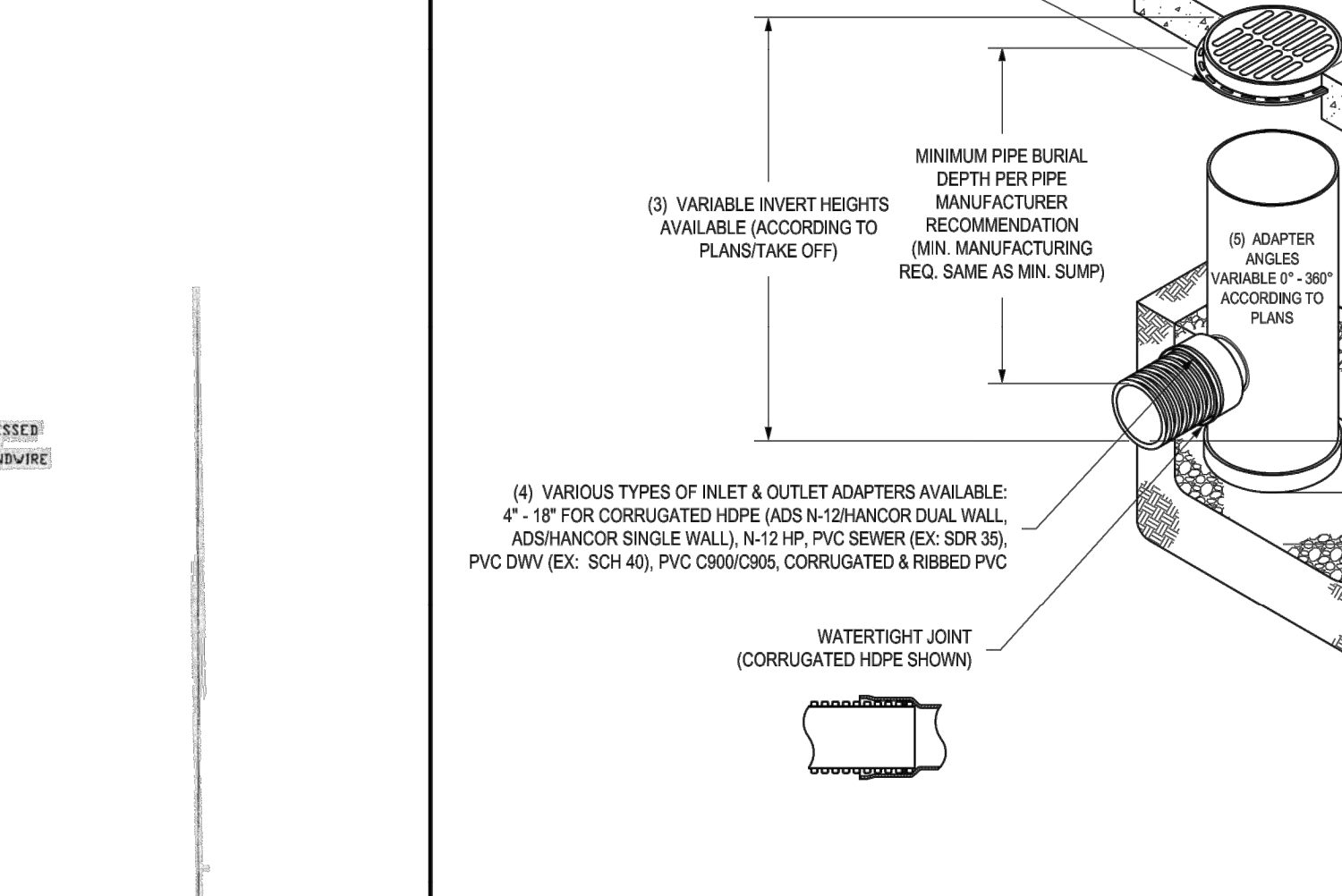
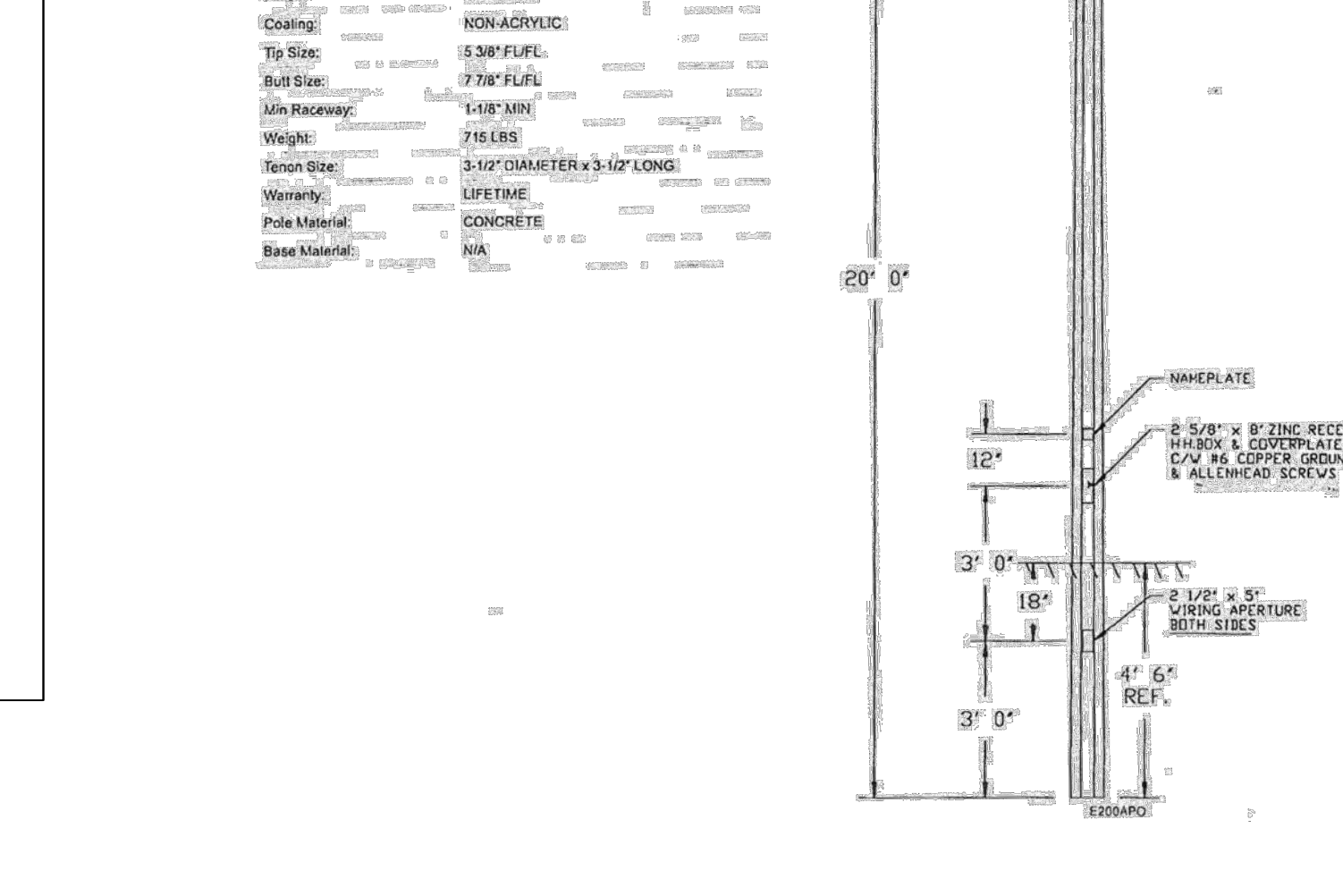
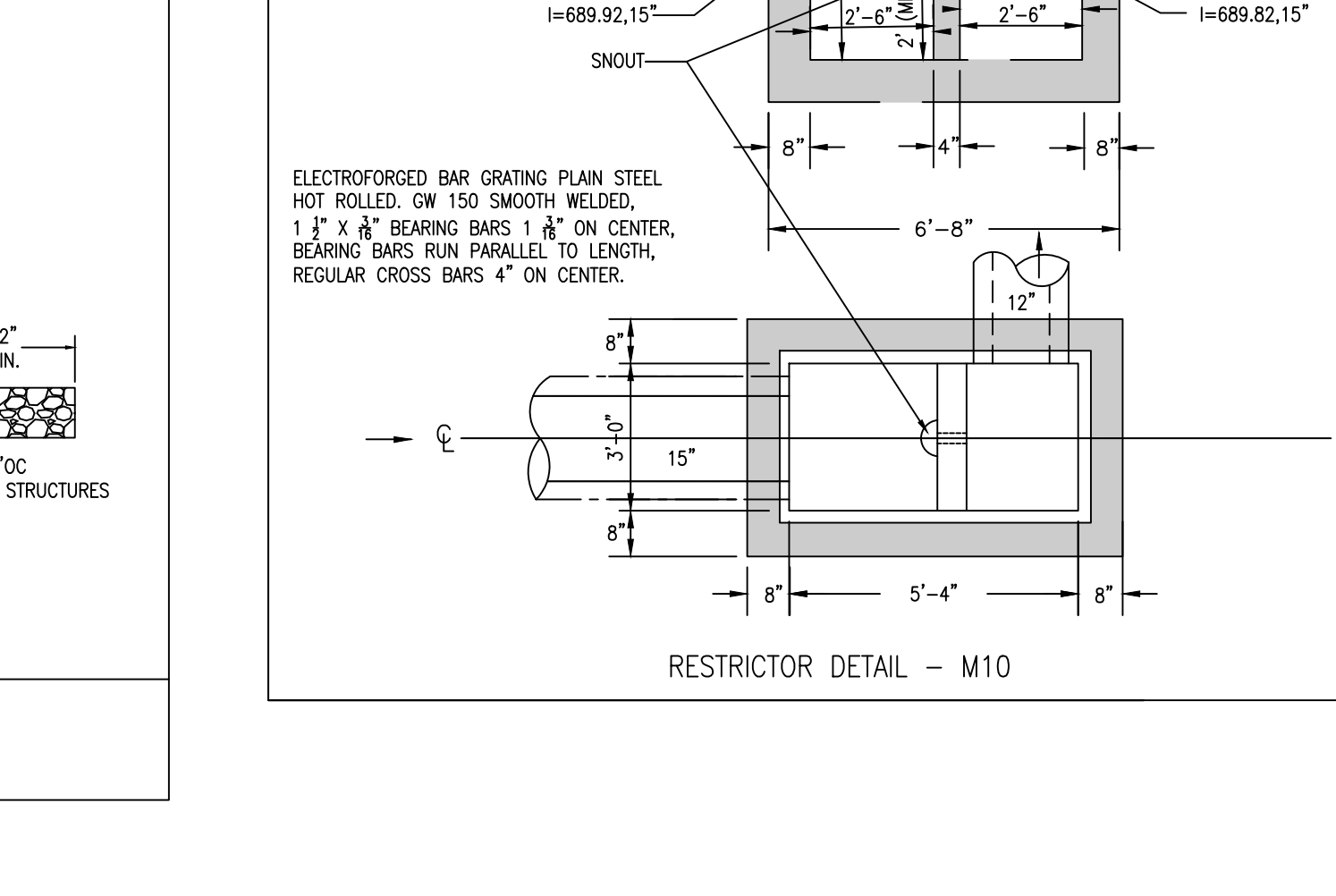
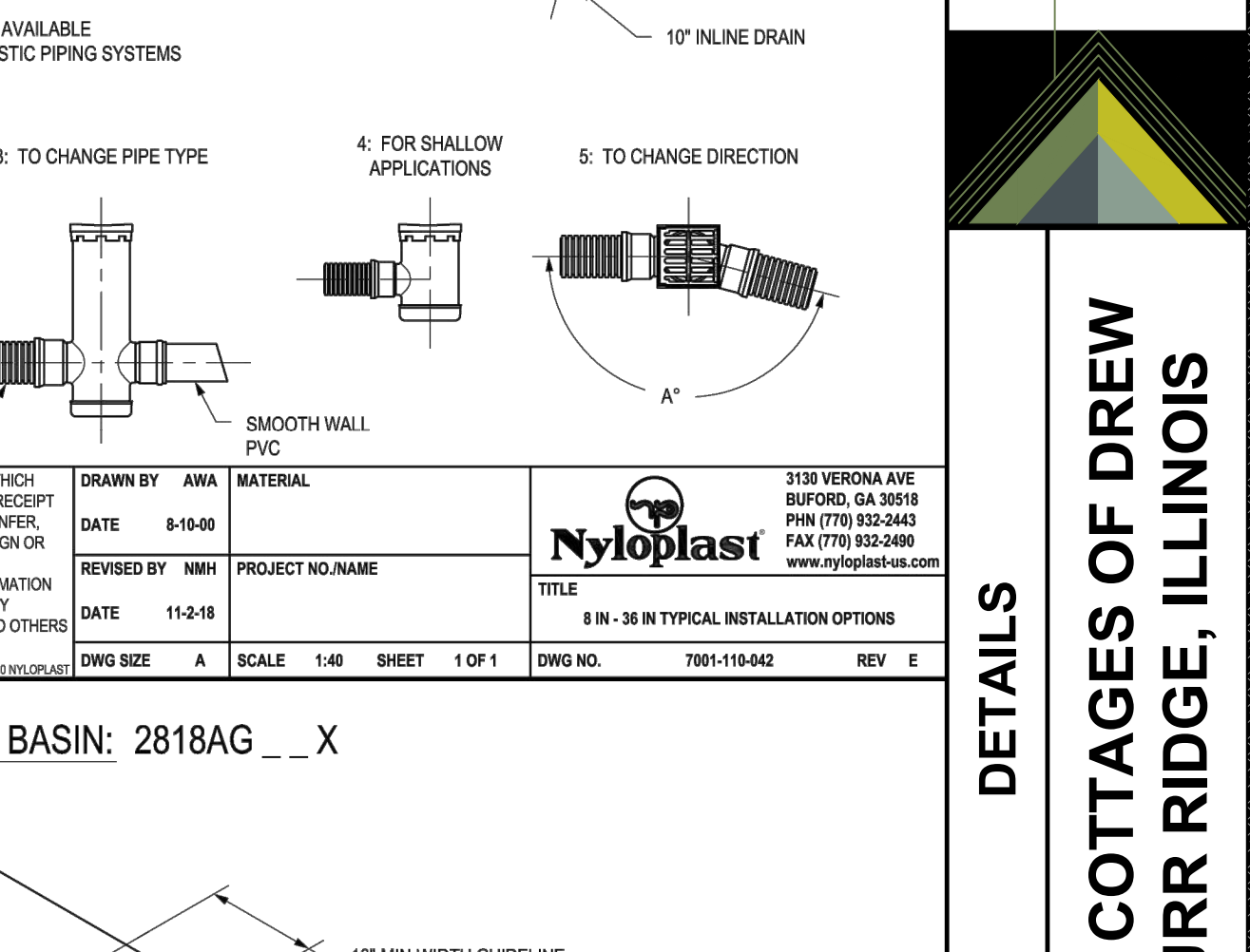
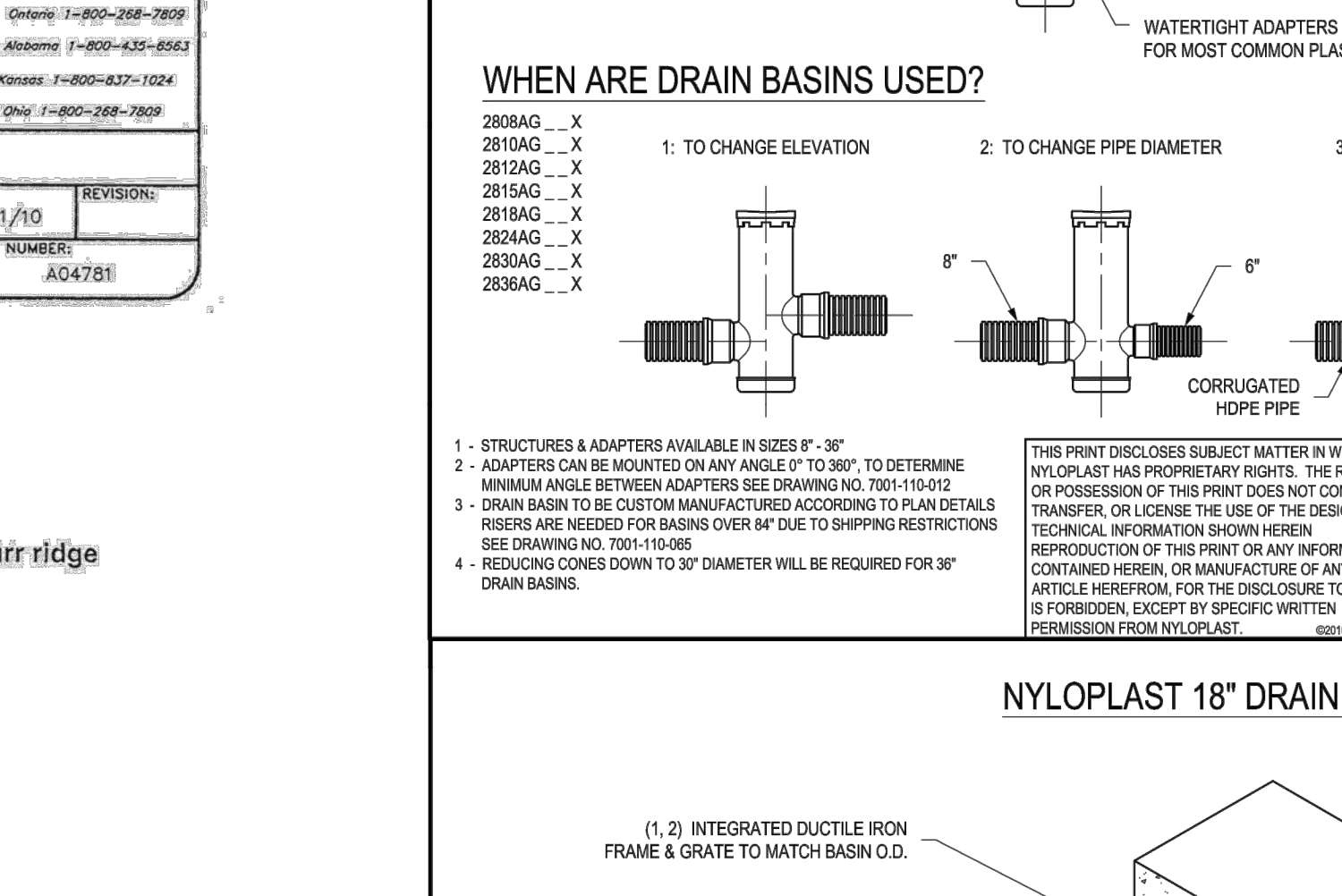
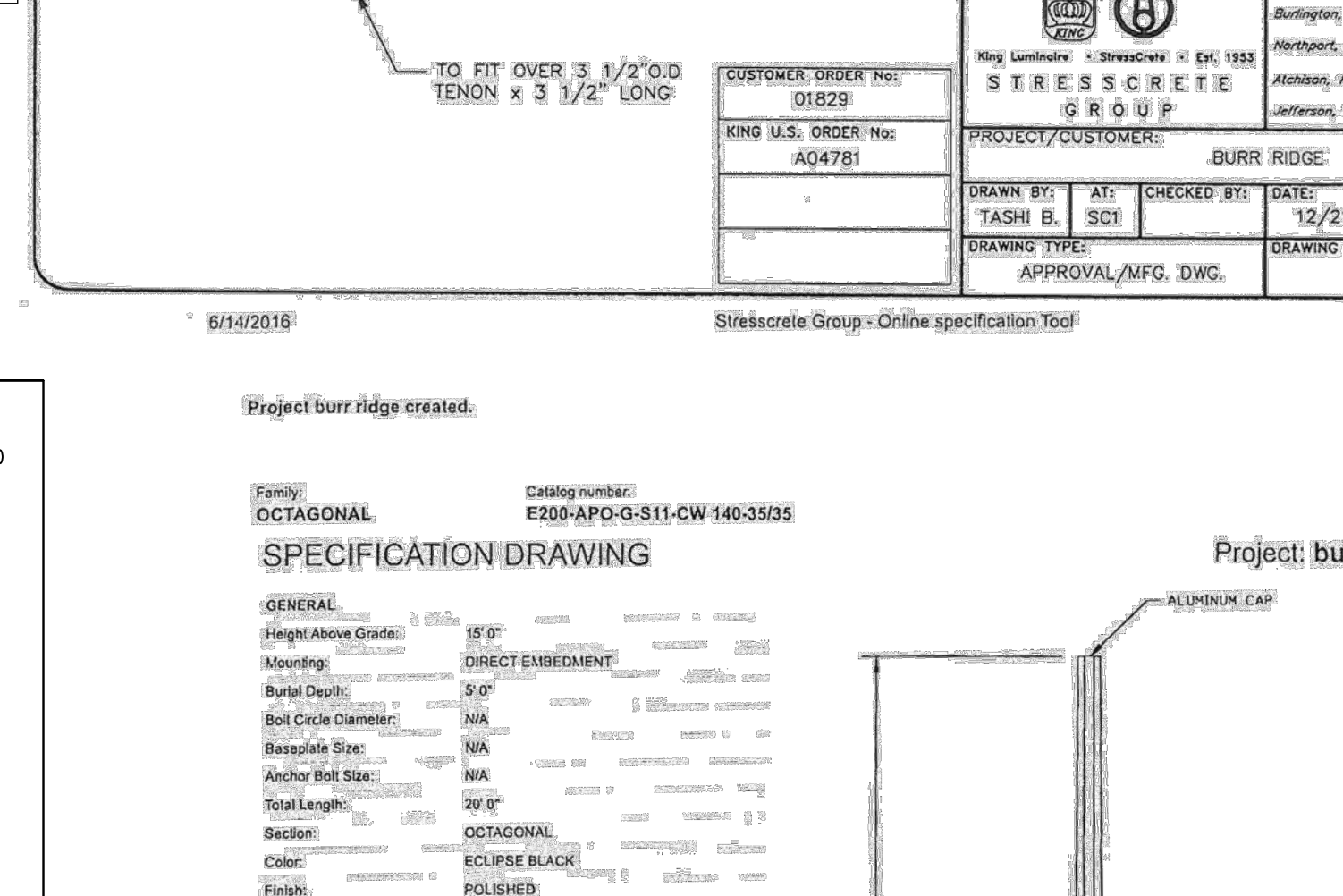
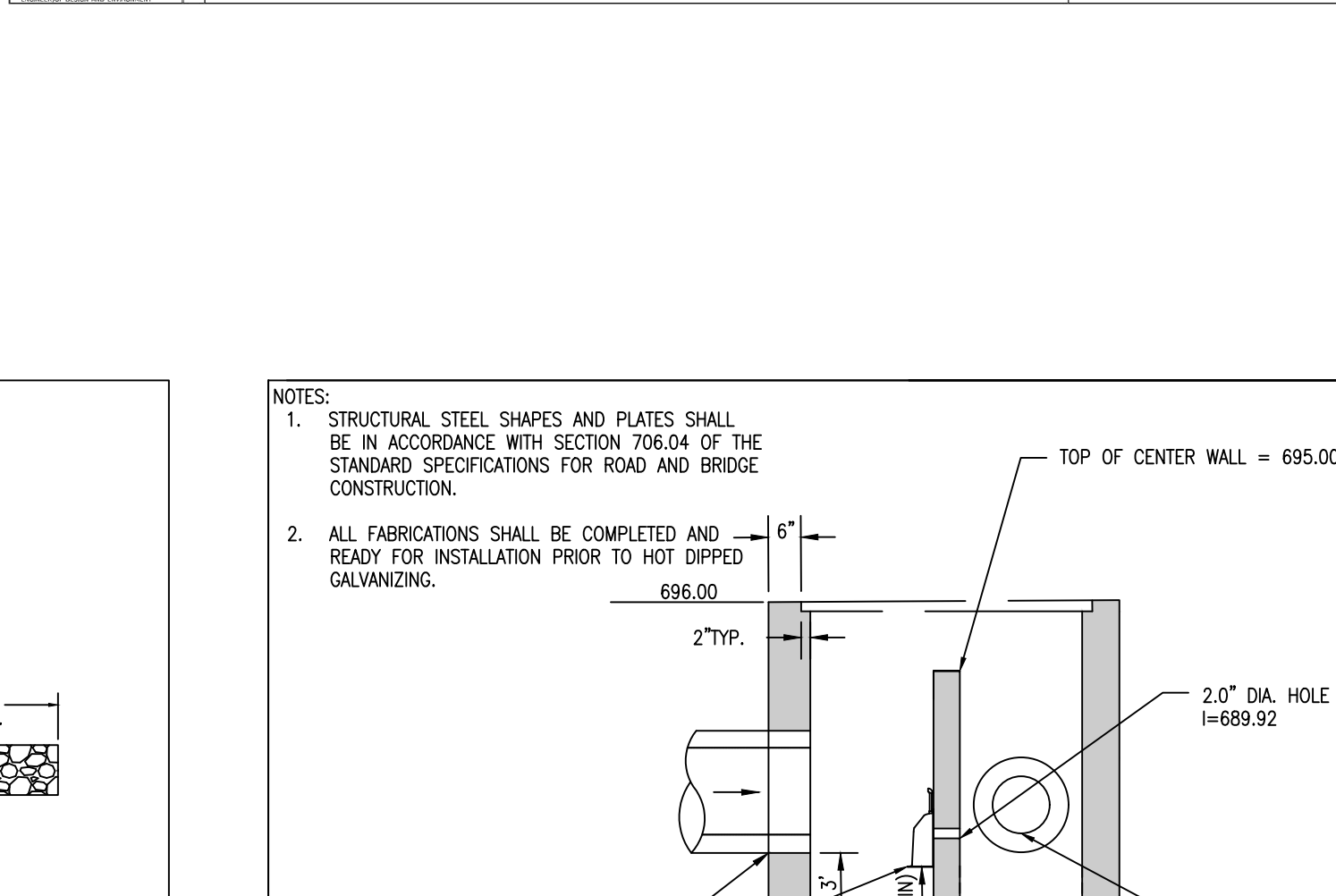
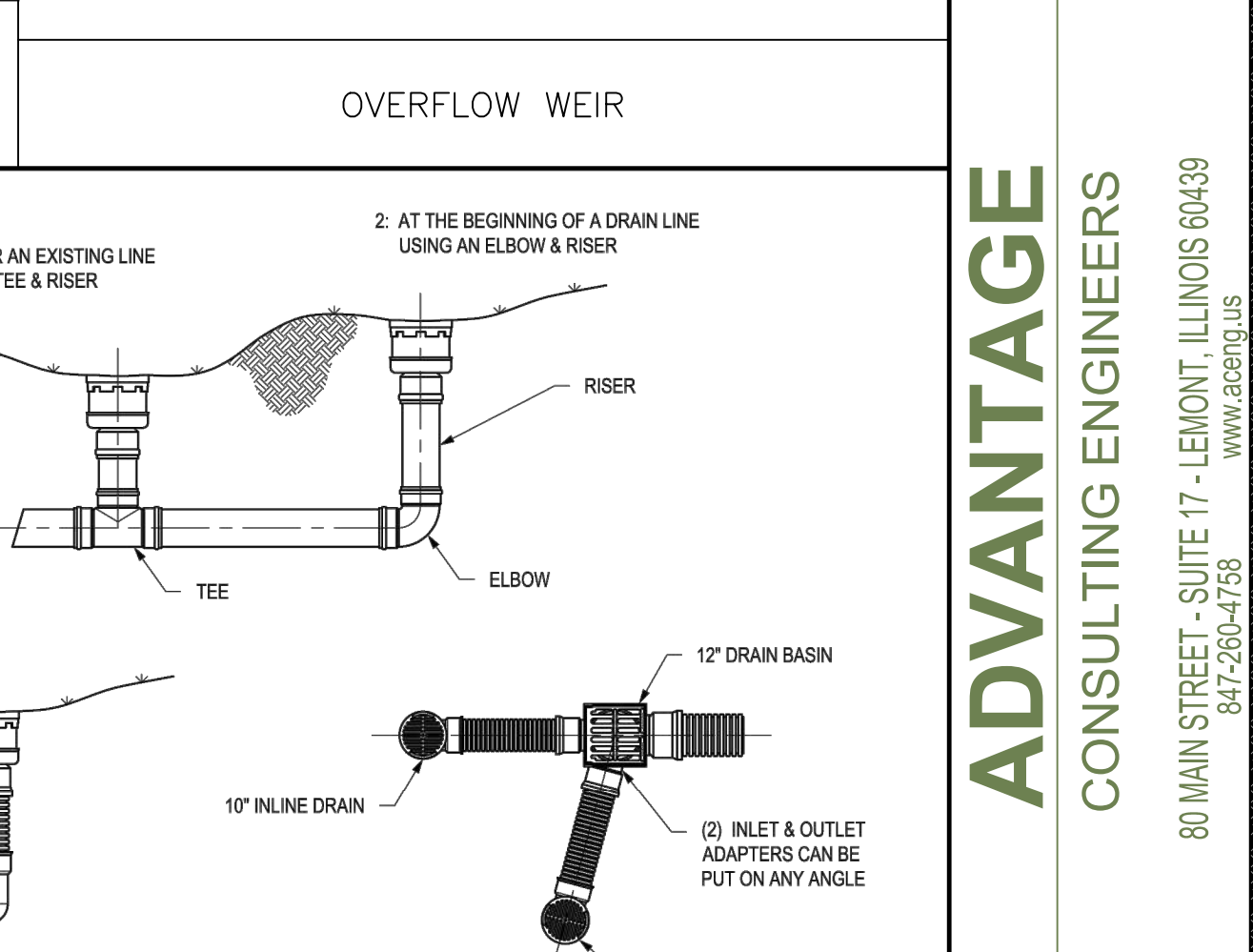
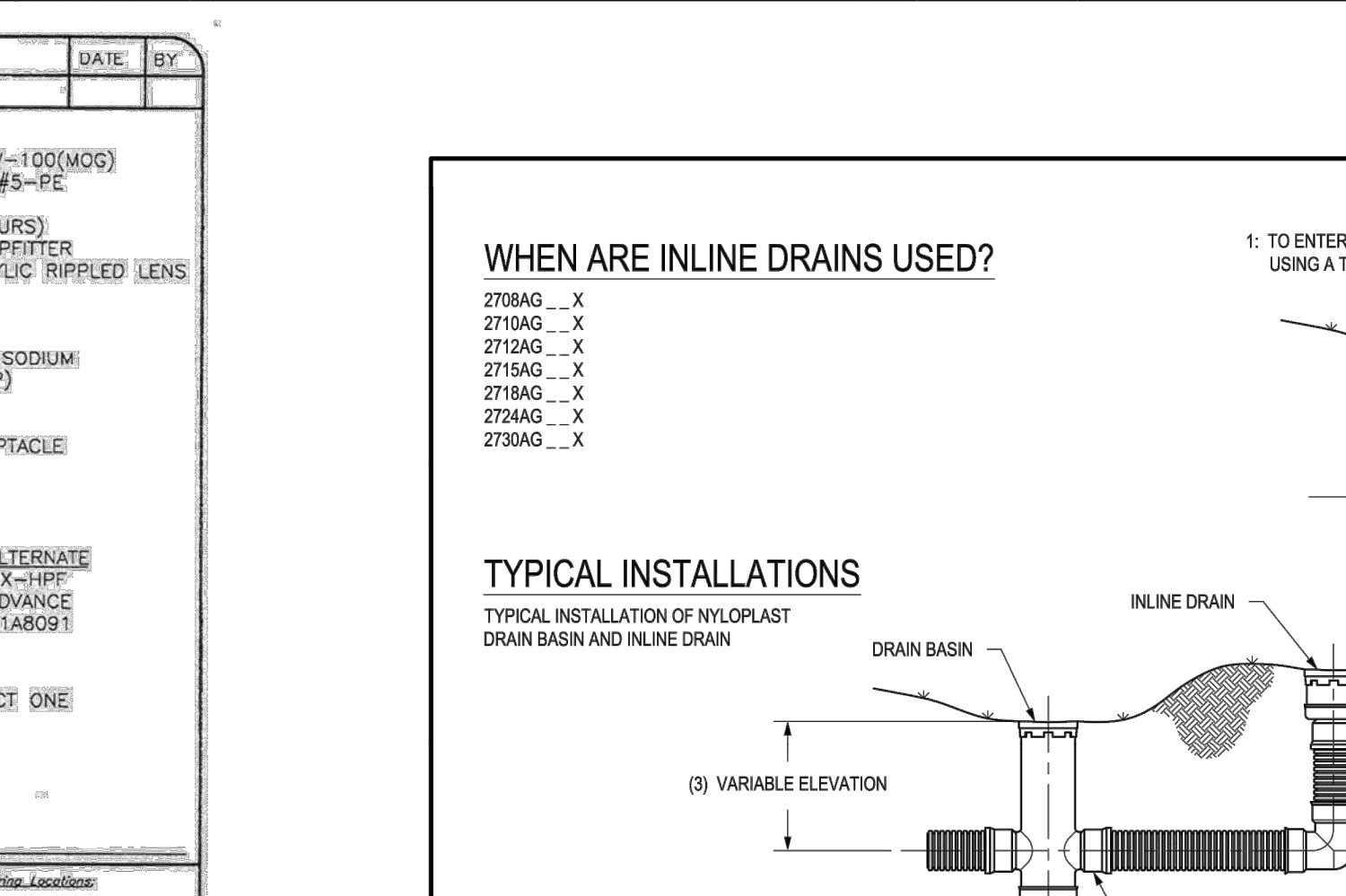
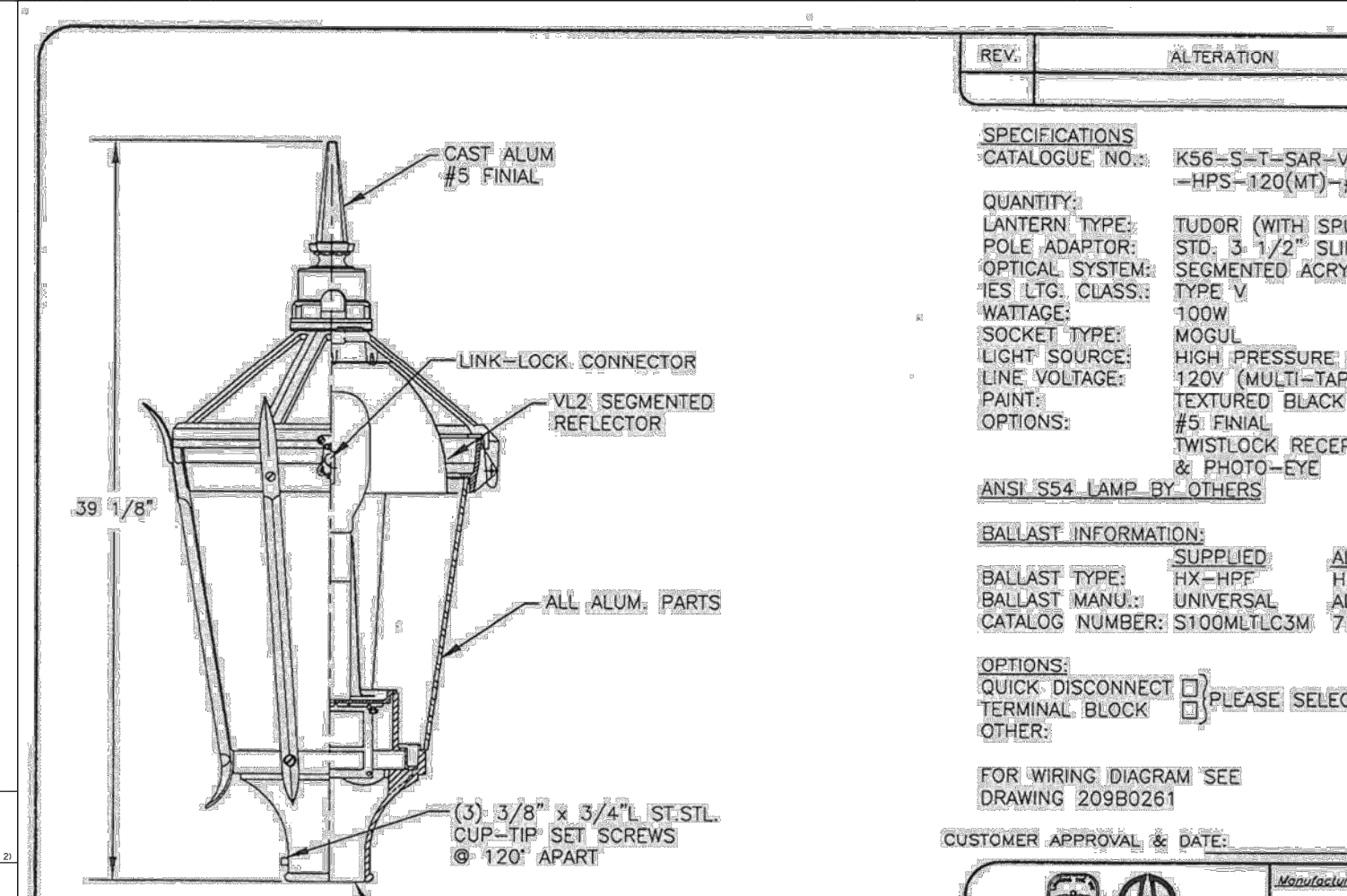
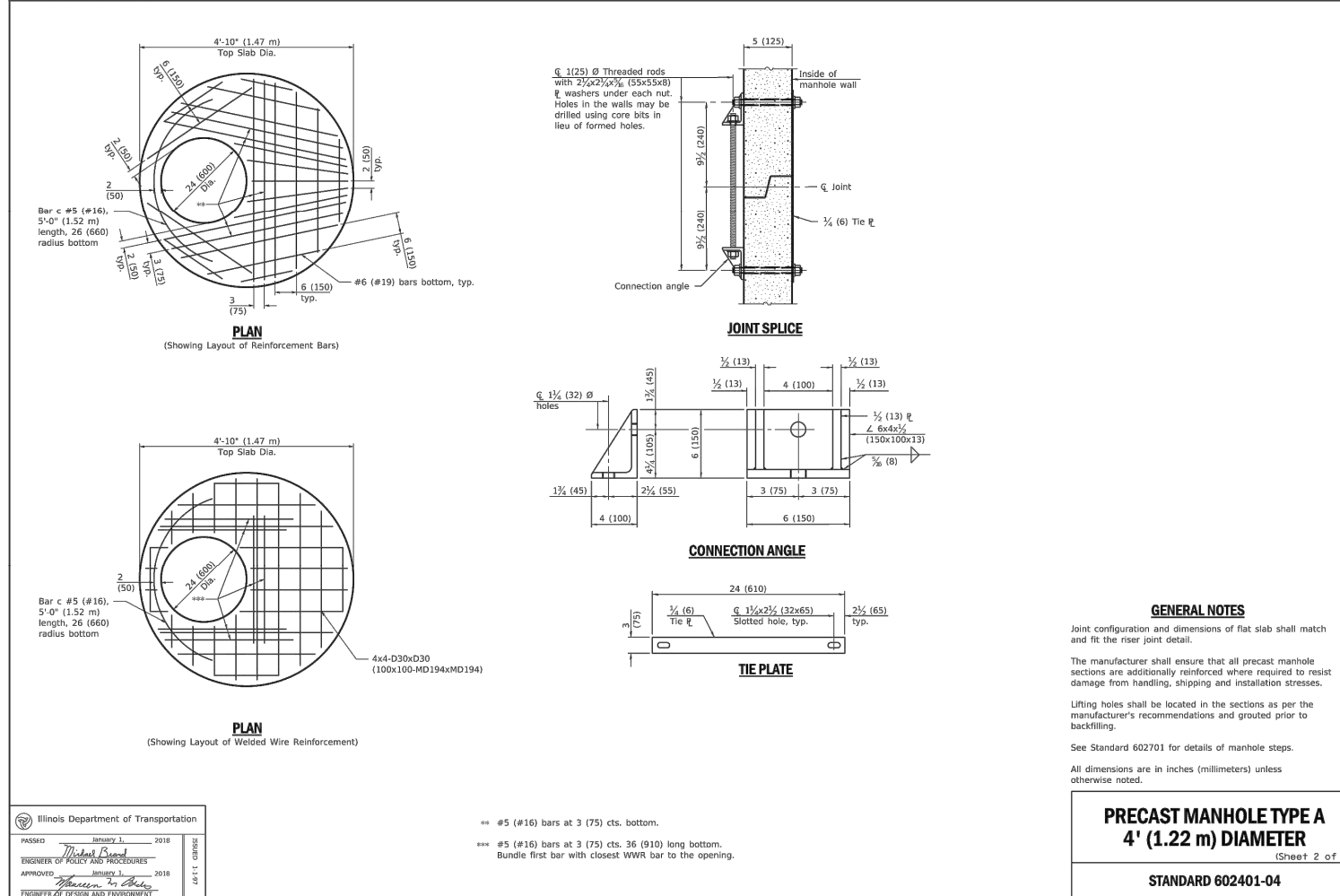
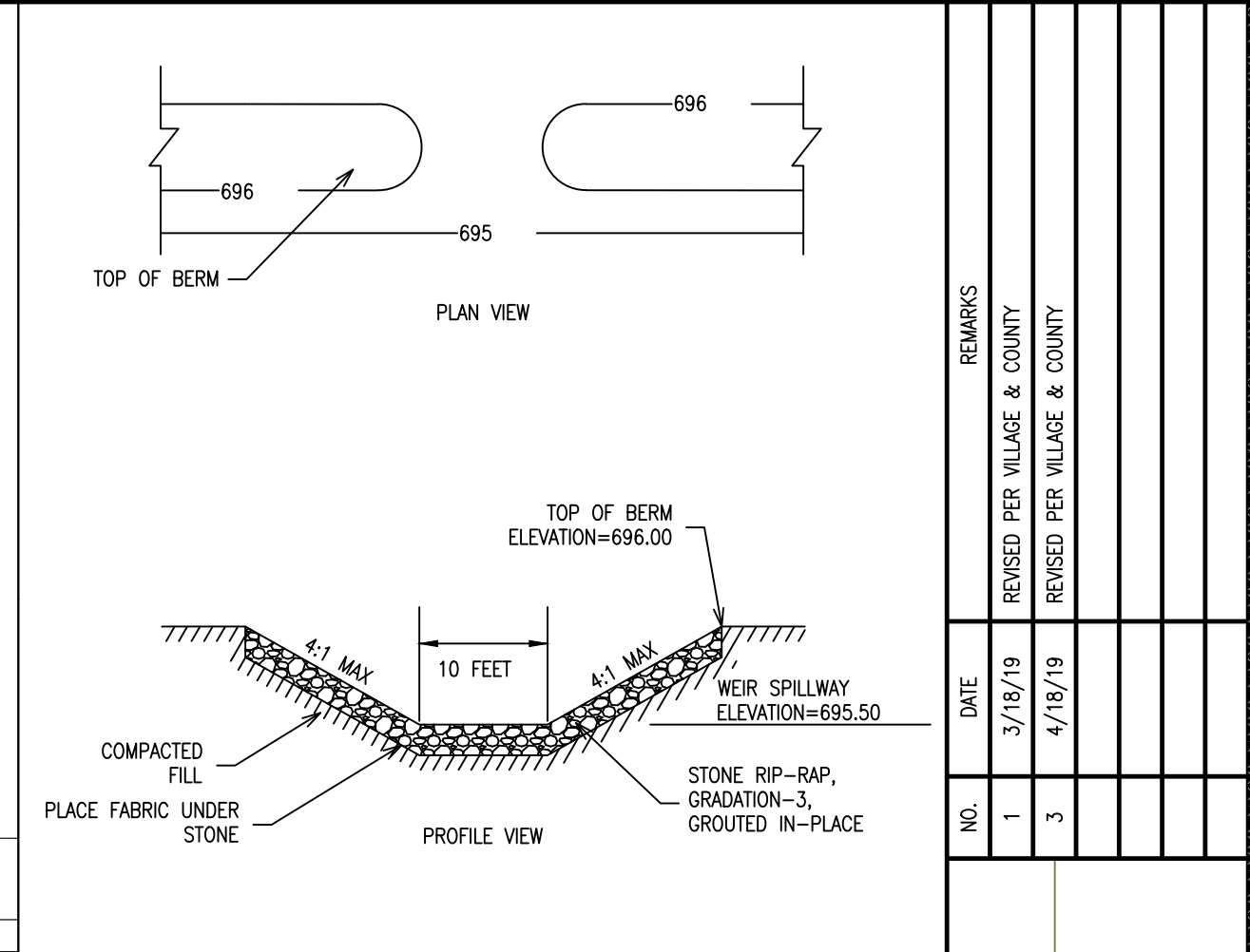
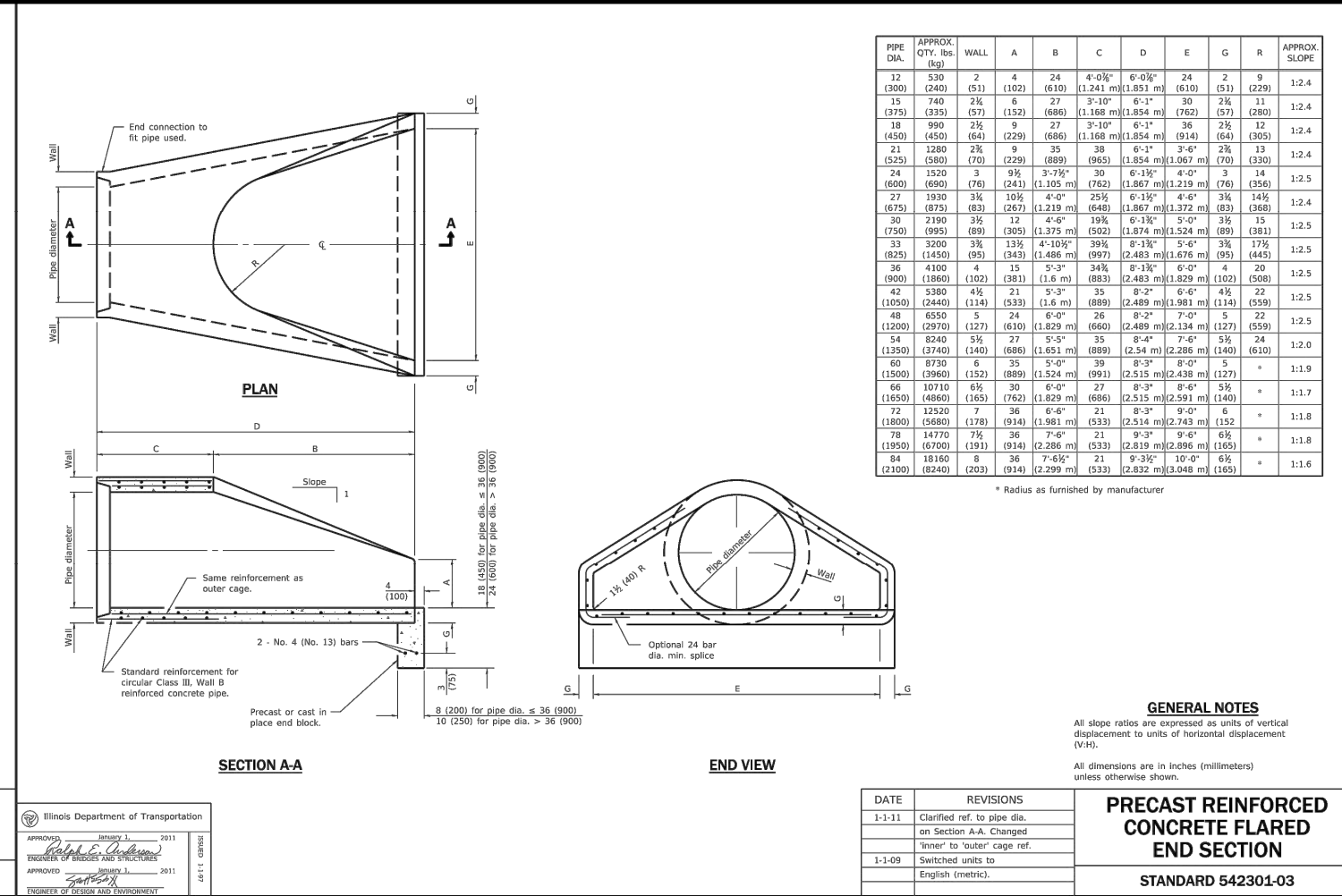
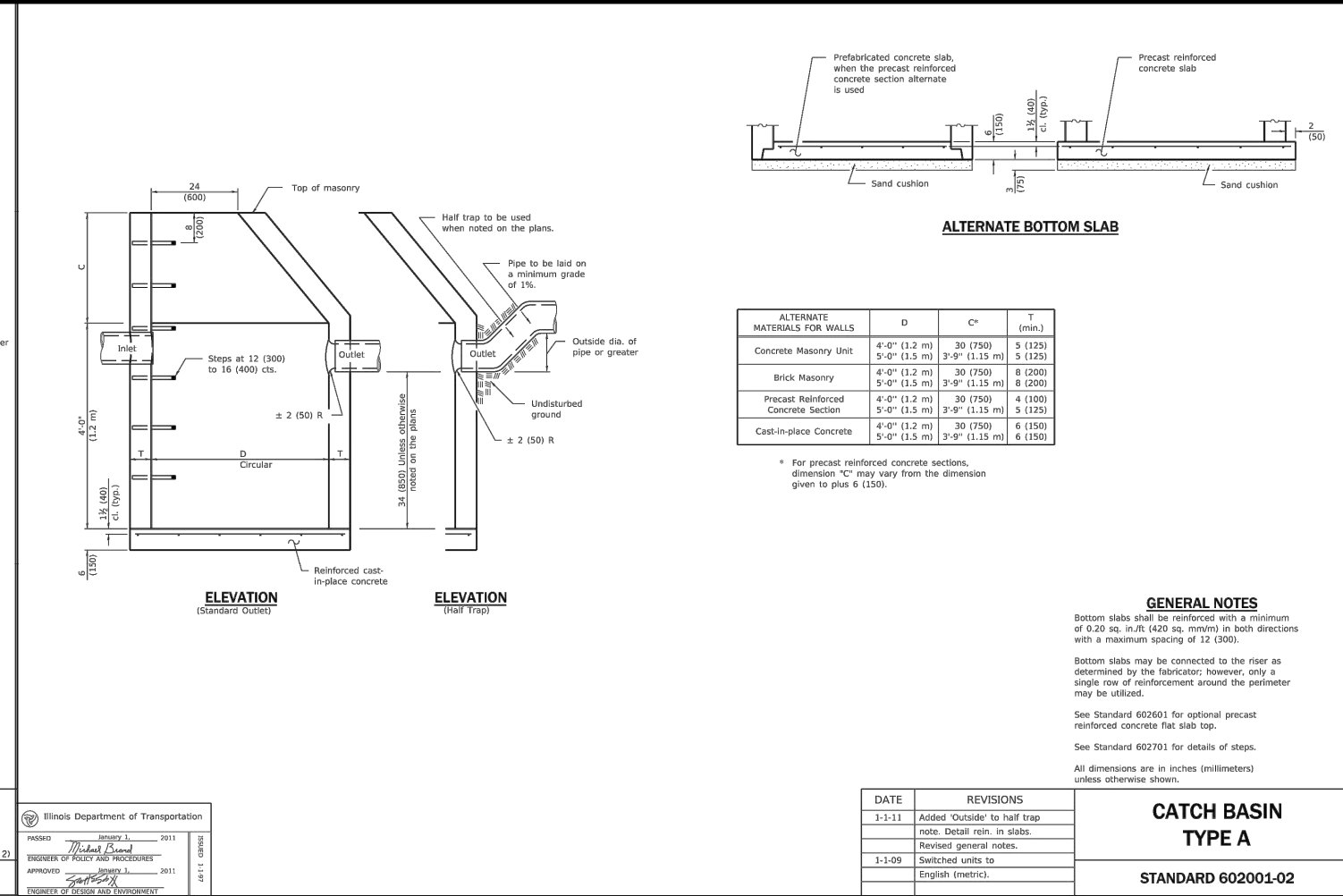
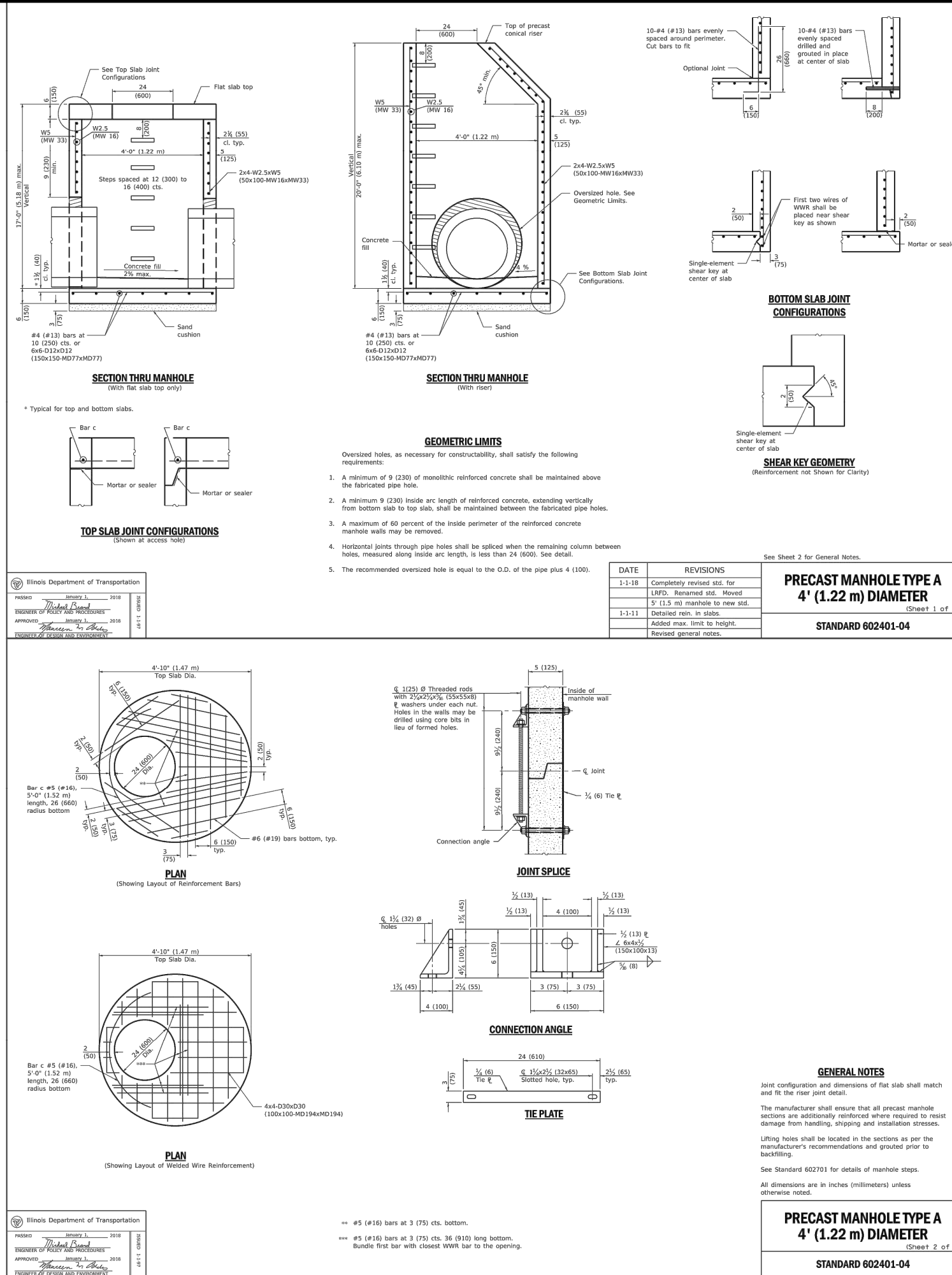


SOIL EROSION AND
SEDIMENT CONTROL PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
SE4
15 OF 28







REMARKS	
1	REVISED PER VILLAGE & COUNTY
3	REVISED PER VILLAGE & COUNTY

DATE	NO.
3/18/19	1
4/18/19	3

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847-260-4758
WWW.ACEENGLS.COM

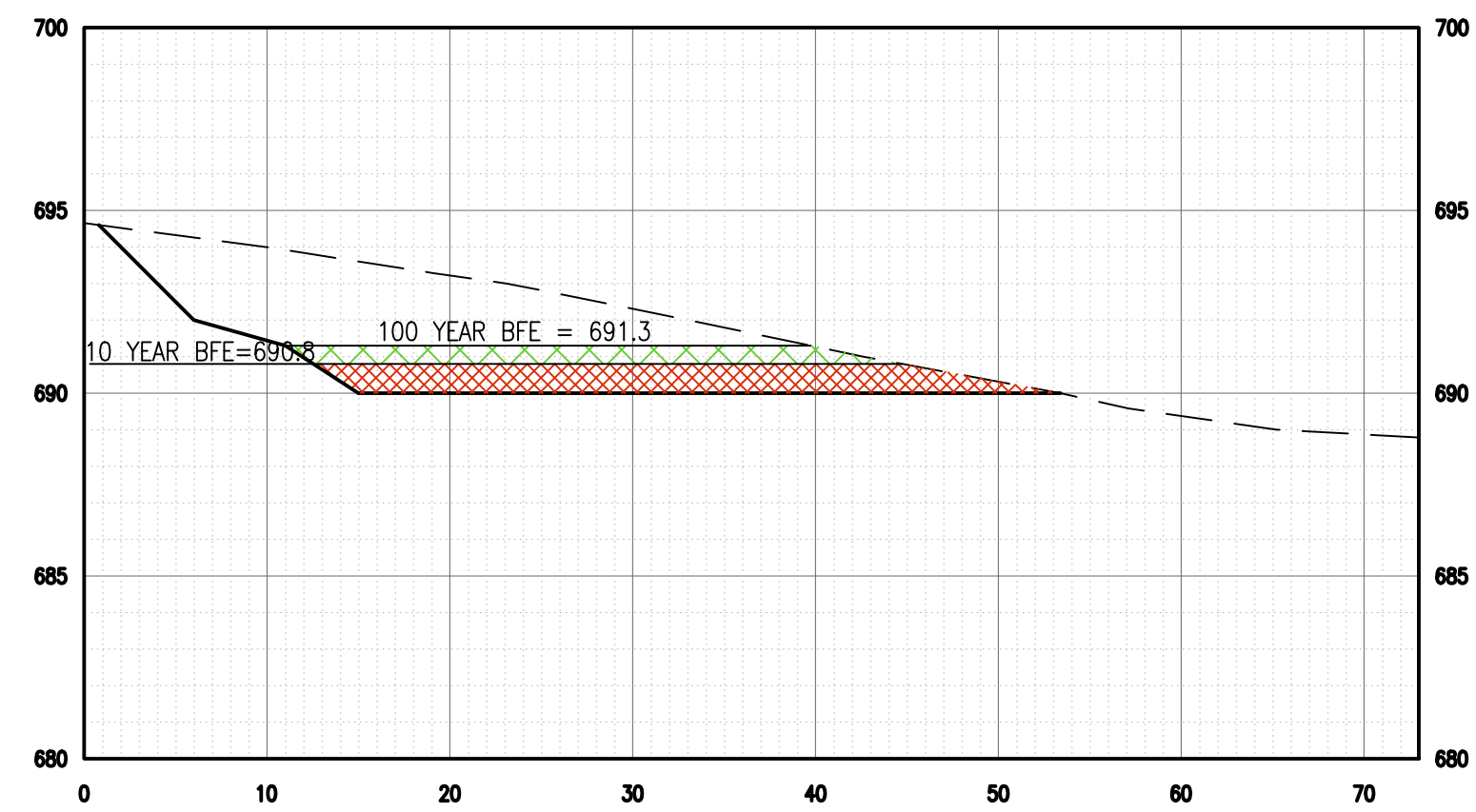
CROSS SECTION LOCATIONS

THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

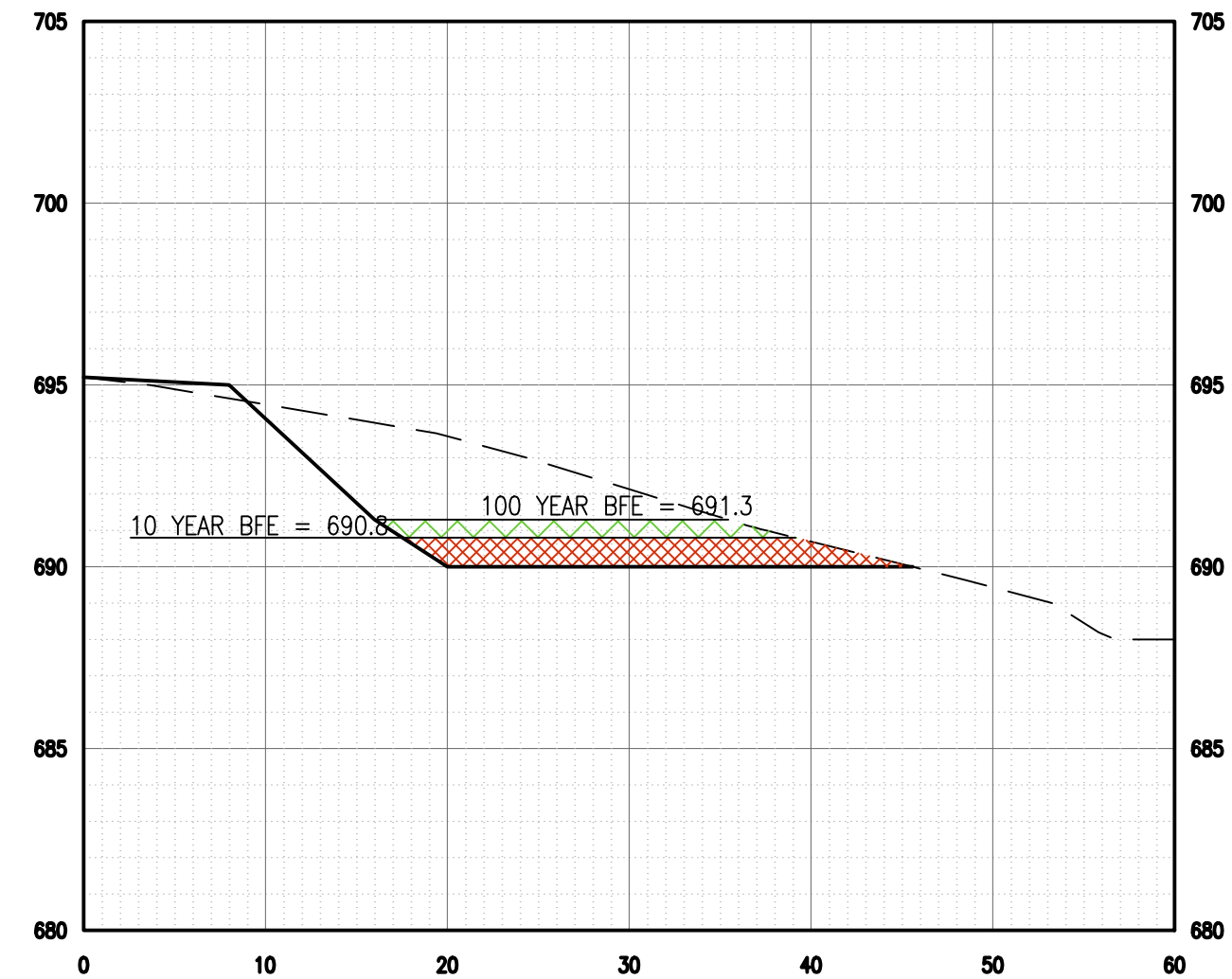
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BURR RIDGE, IL 60527

NOVEMBER 5, 2018
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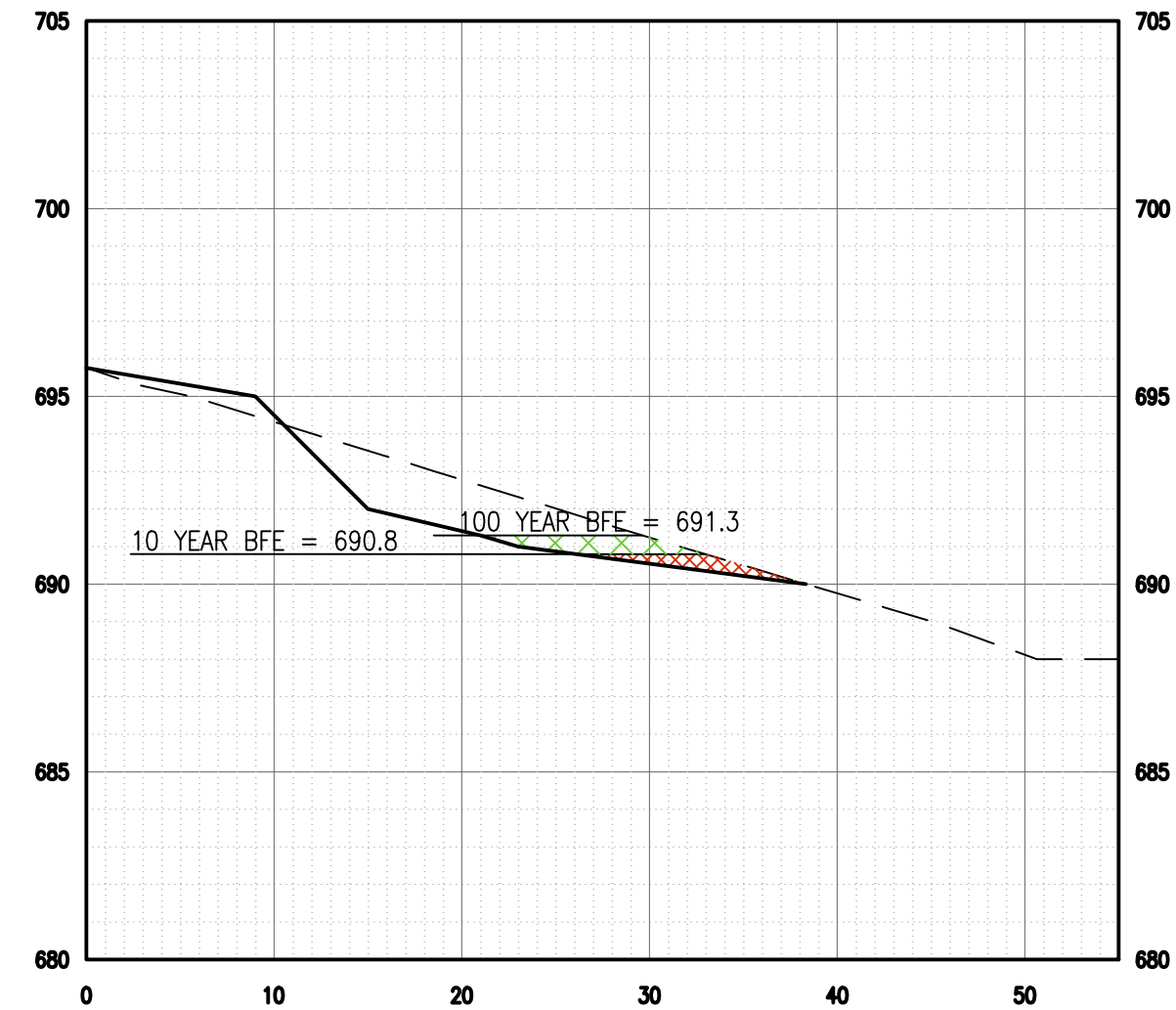
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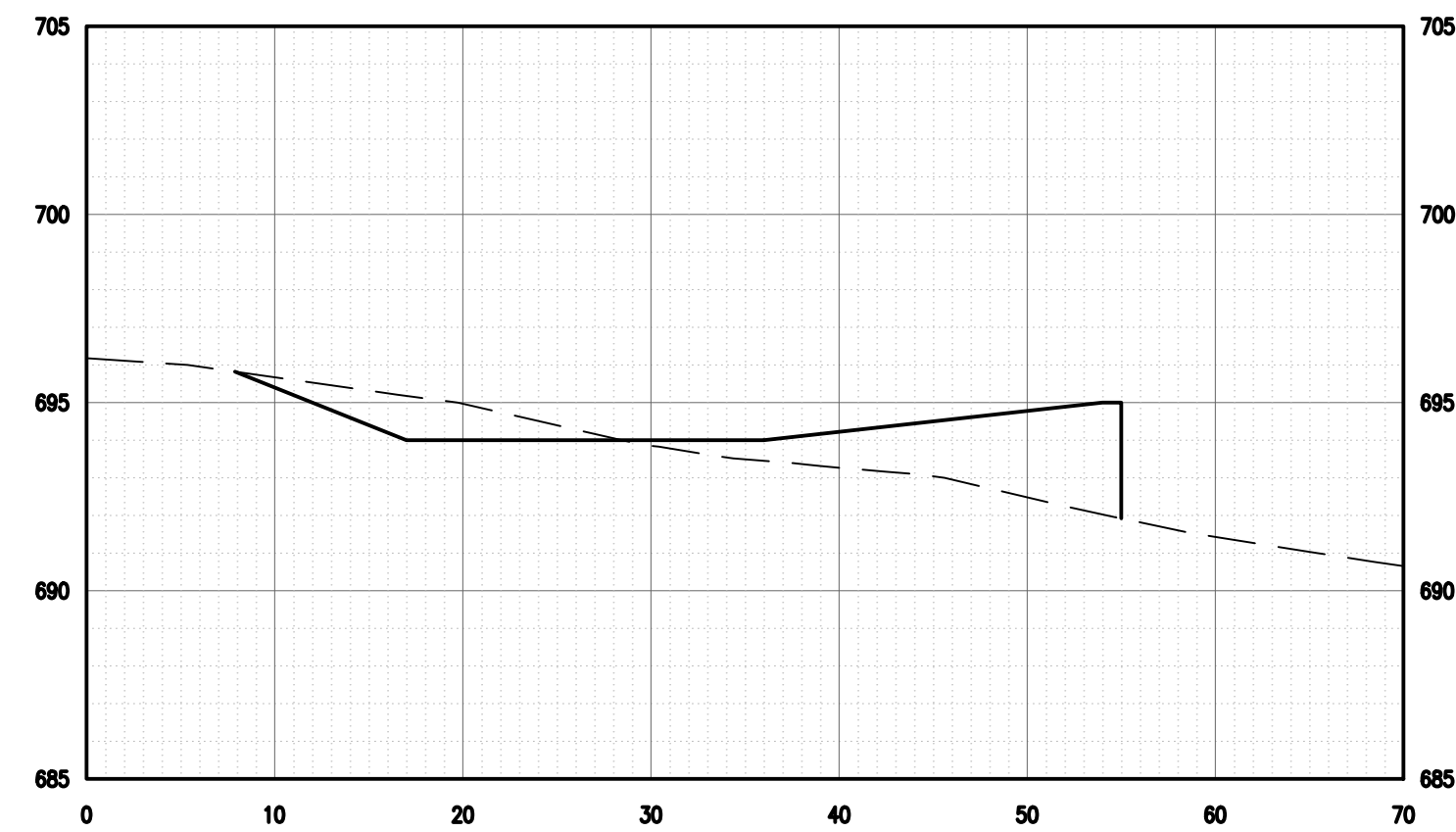
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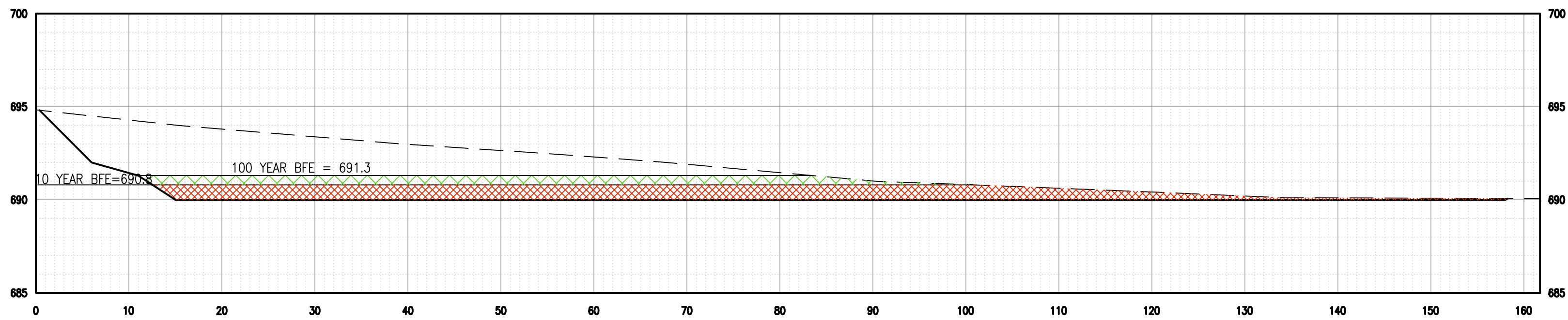
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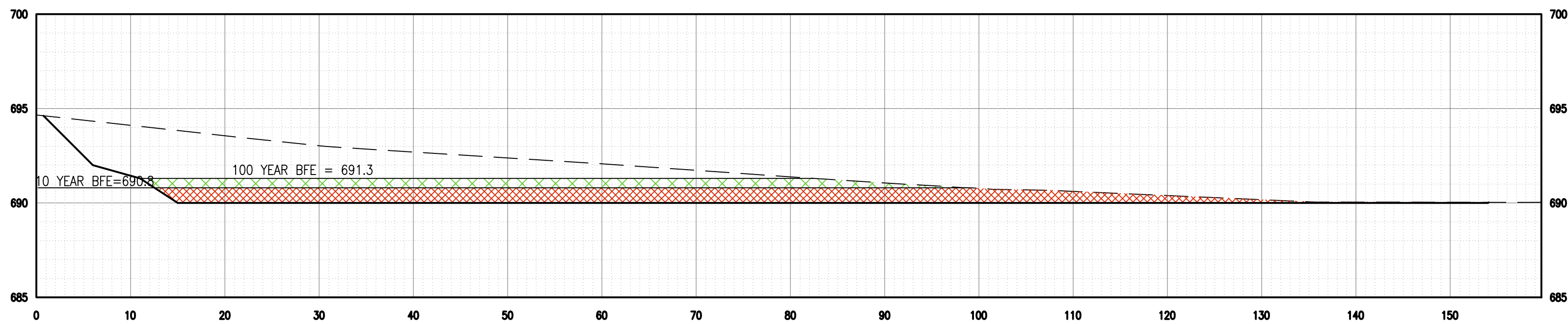
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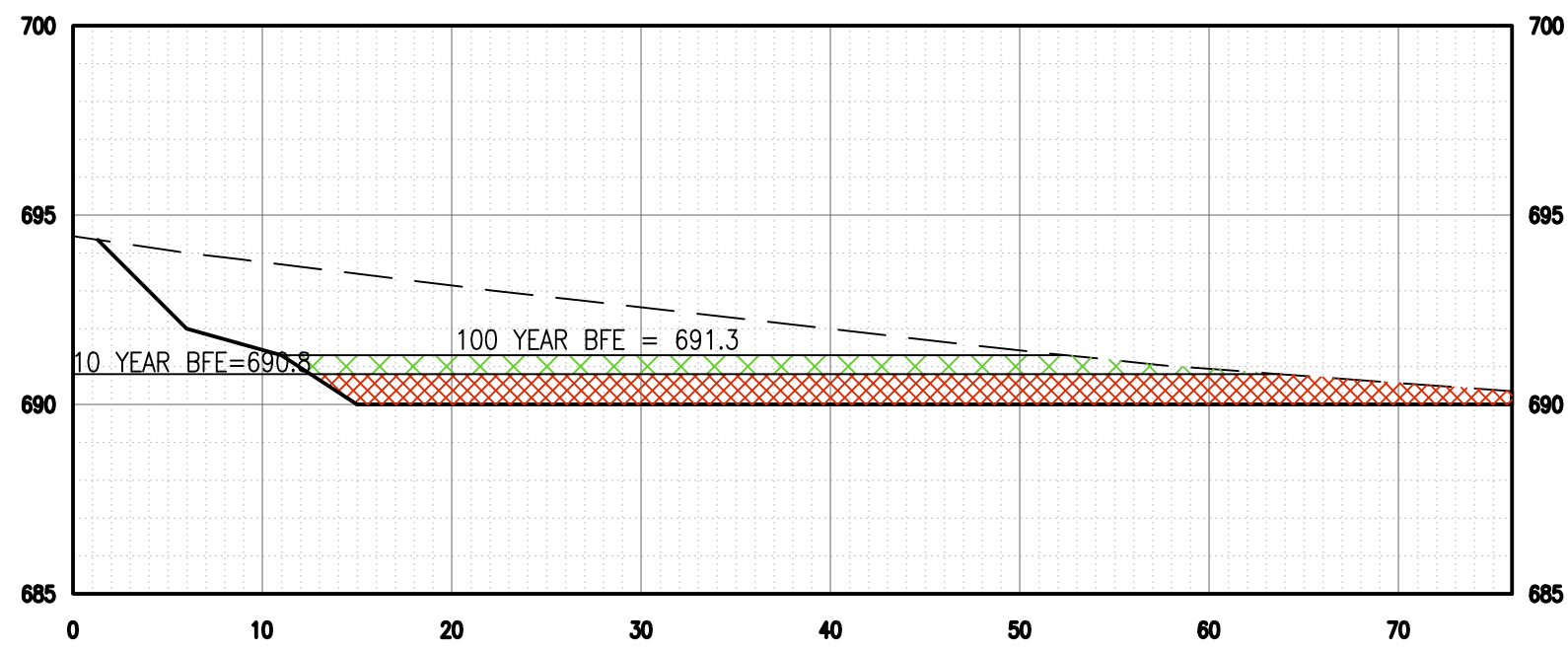
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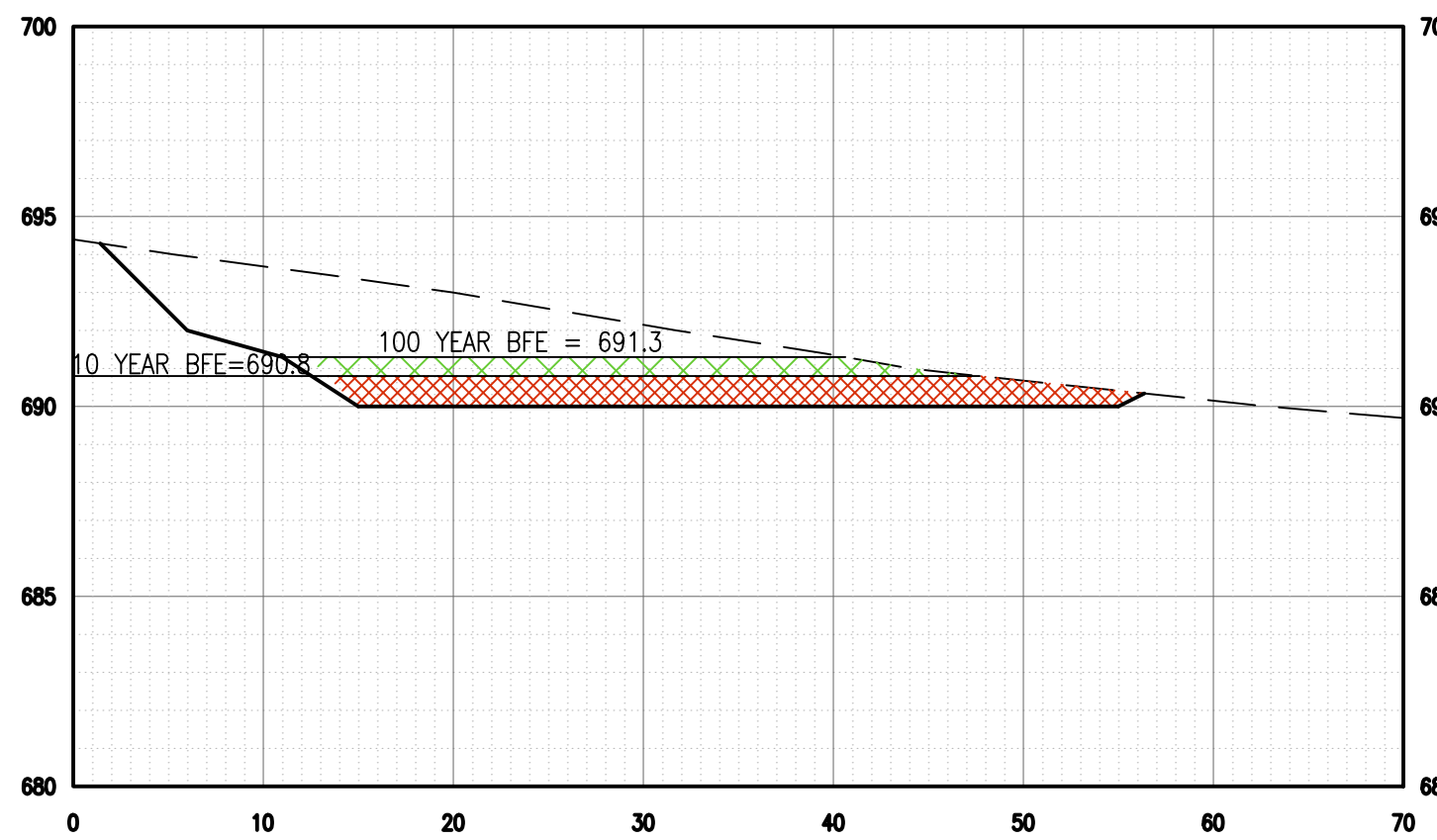
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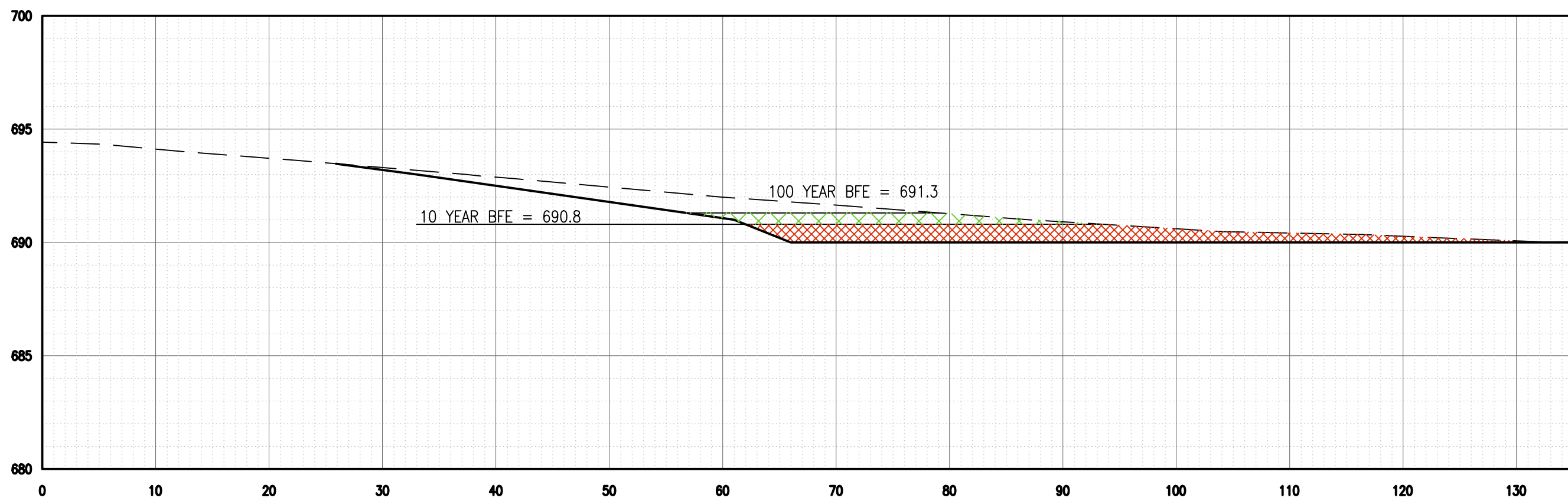
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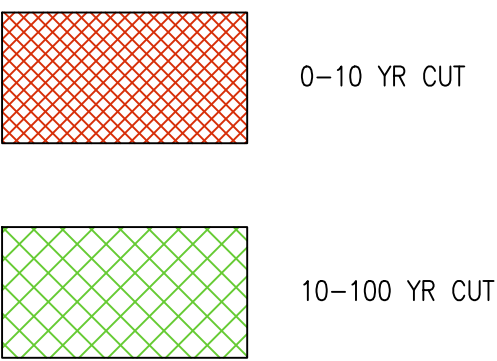
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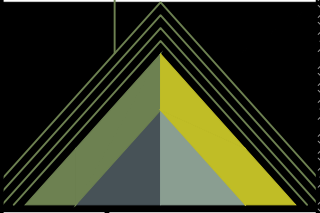


13+38.20



REMARKS	
NO.	DATE
1	3/18/19
3	4/18/19
5	10/16/19

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CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
631-260-1758
WWW.ACEPCLUS



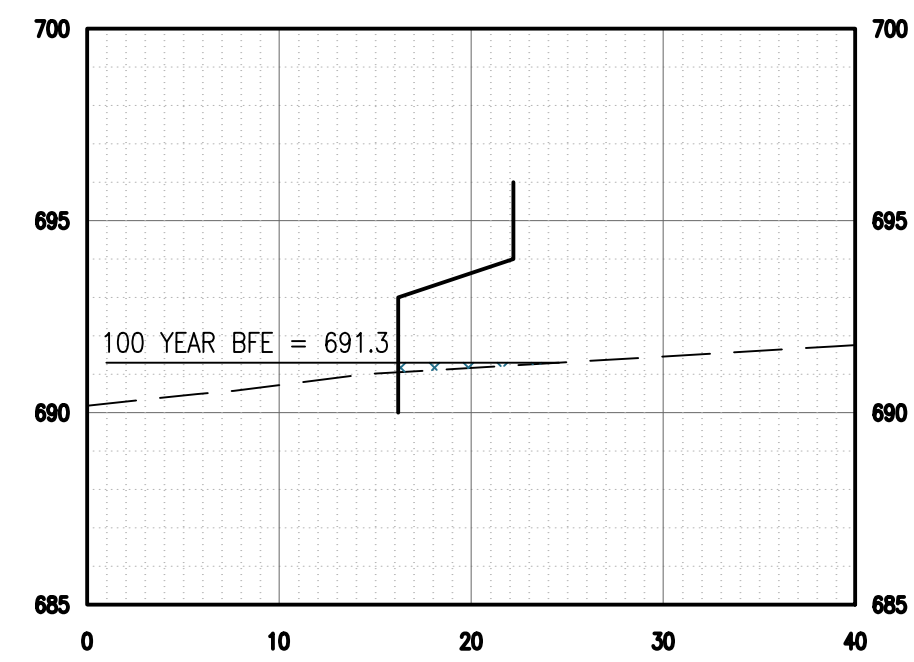
**FLOODPLAIN CUT AREA
CROSS SECTIONS**
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

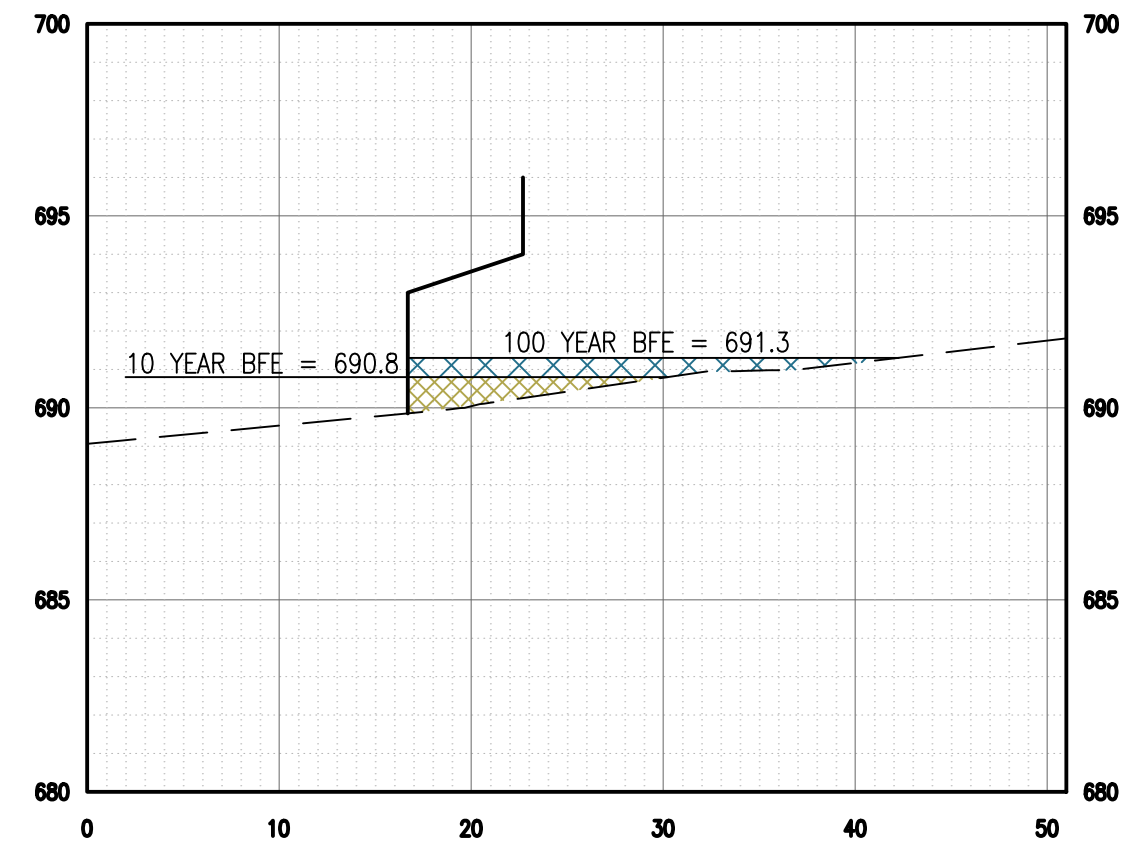
NOVEMBER 5, 2018
JOB: 16-086

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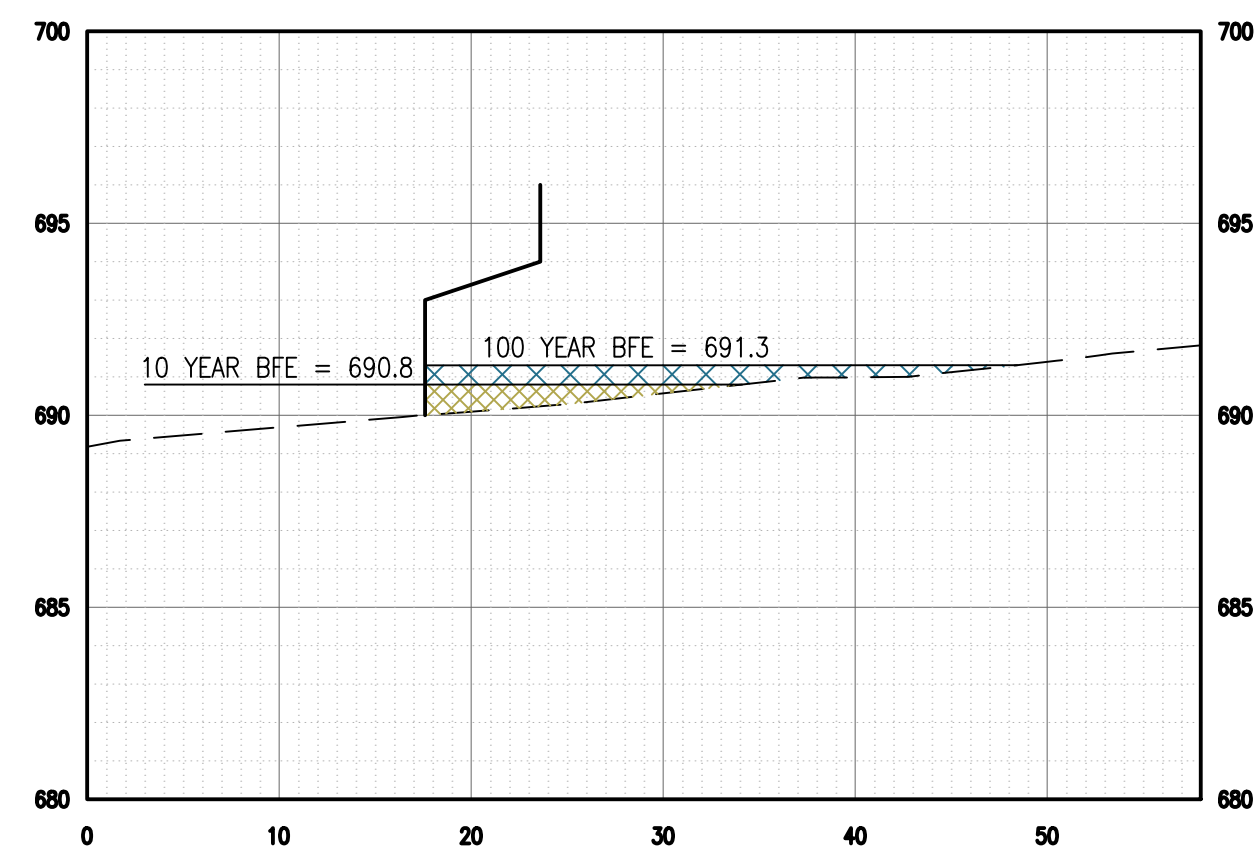
21 OF 28



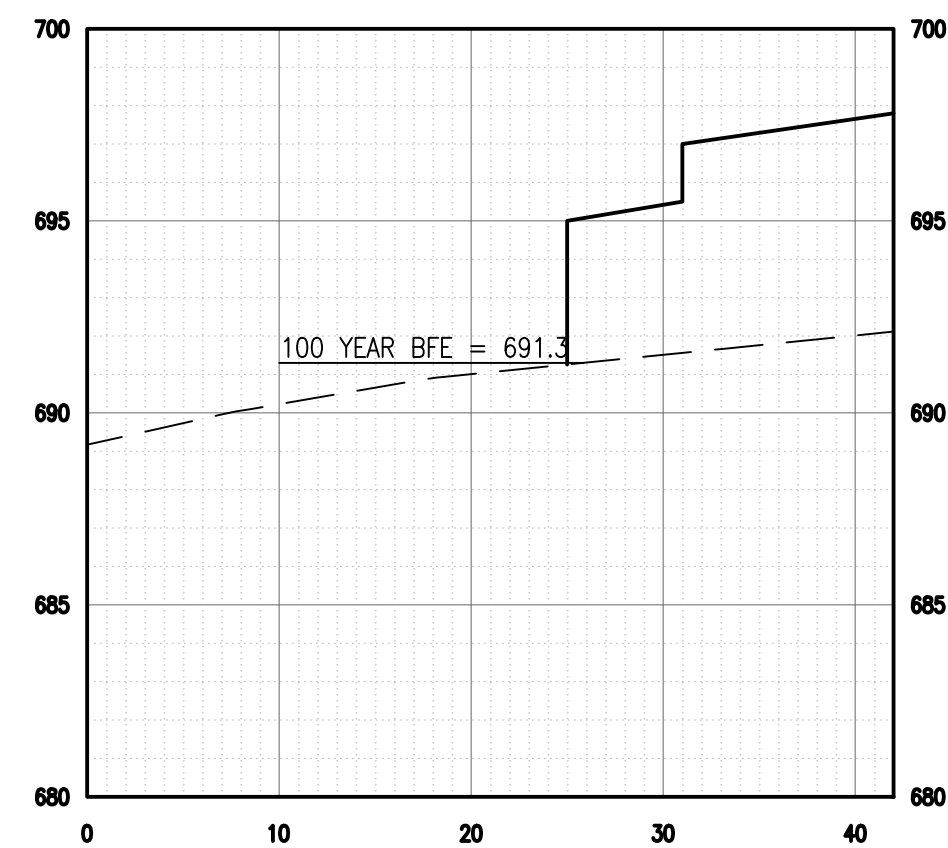
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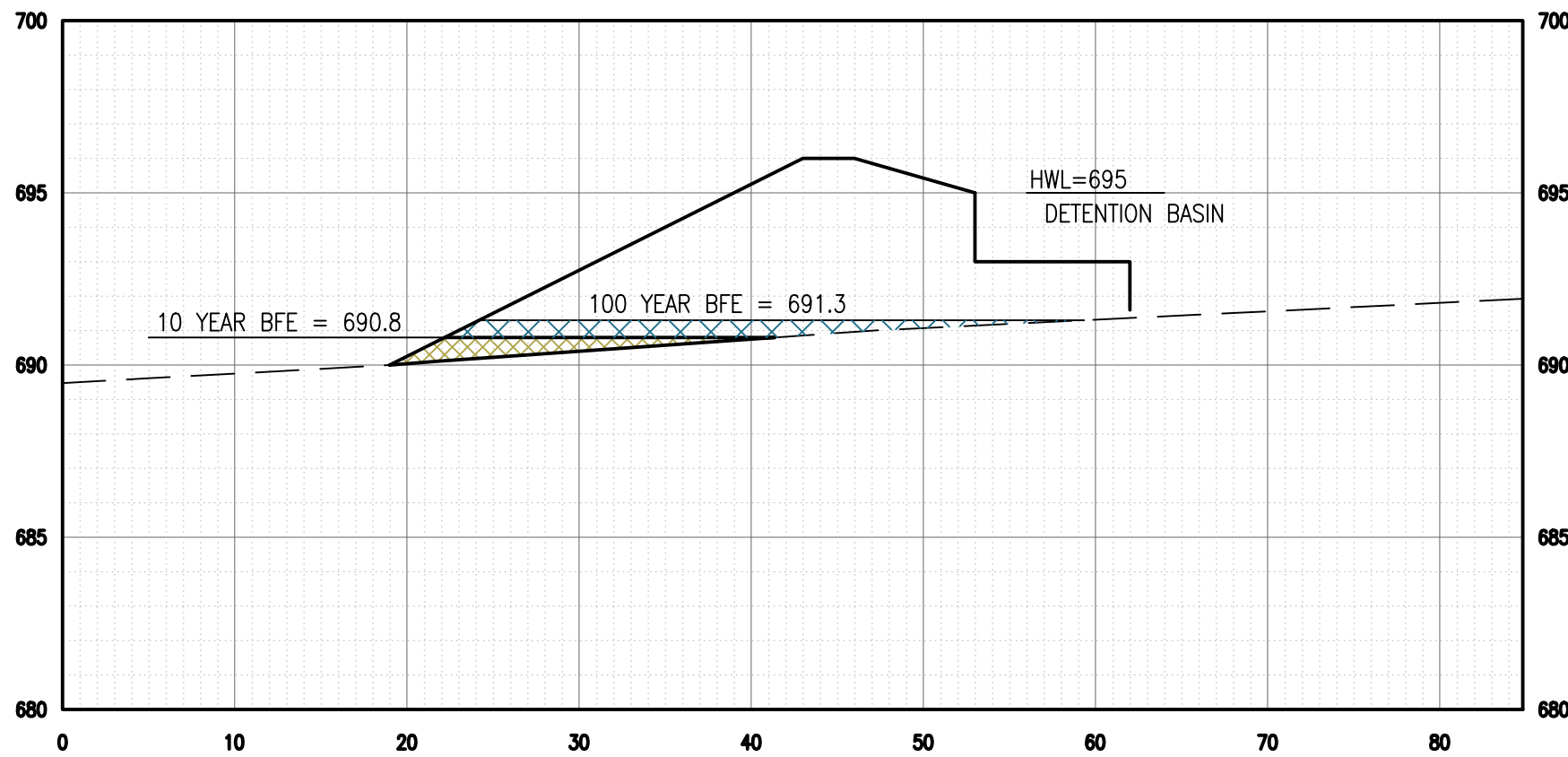
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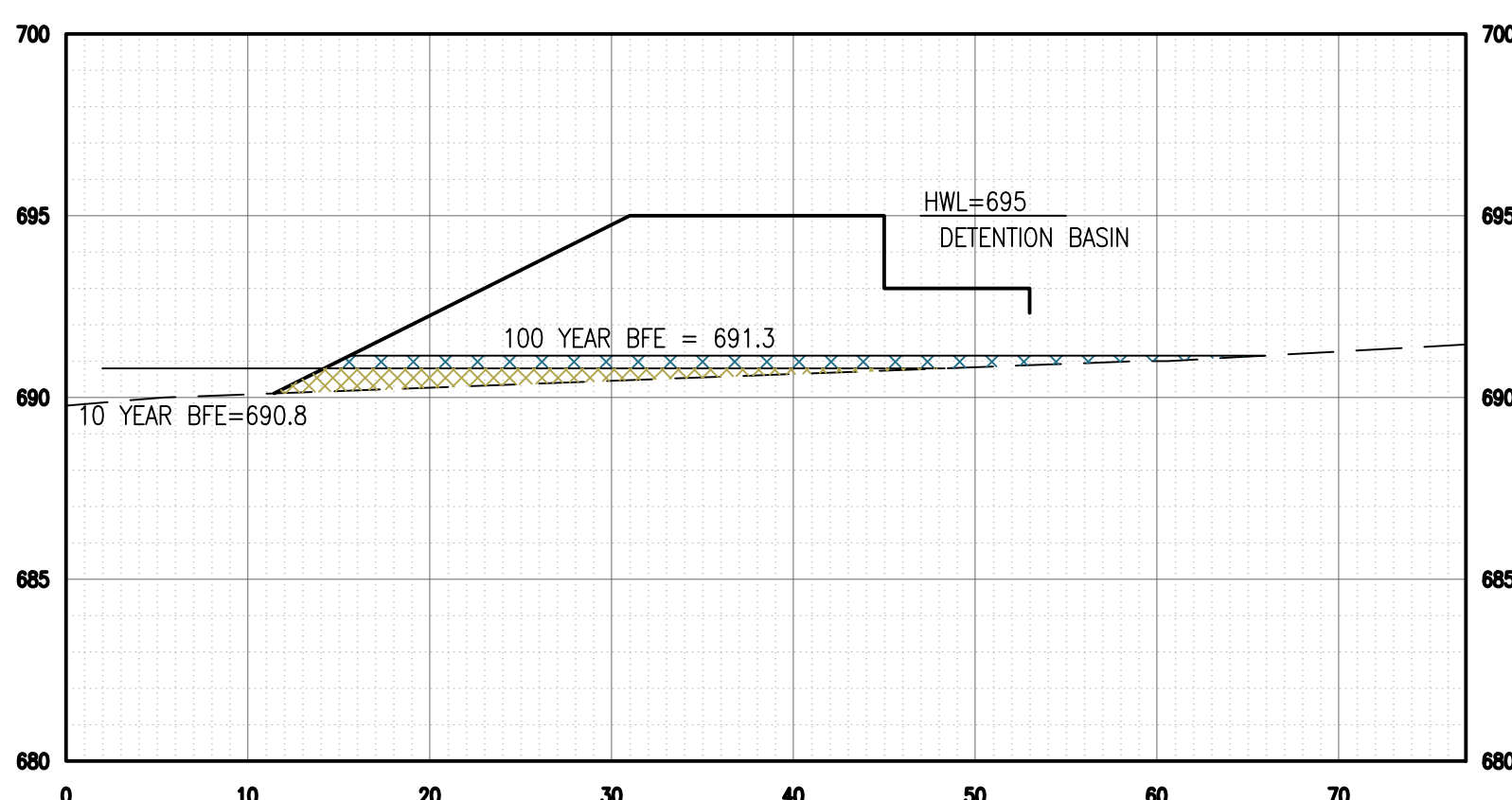
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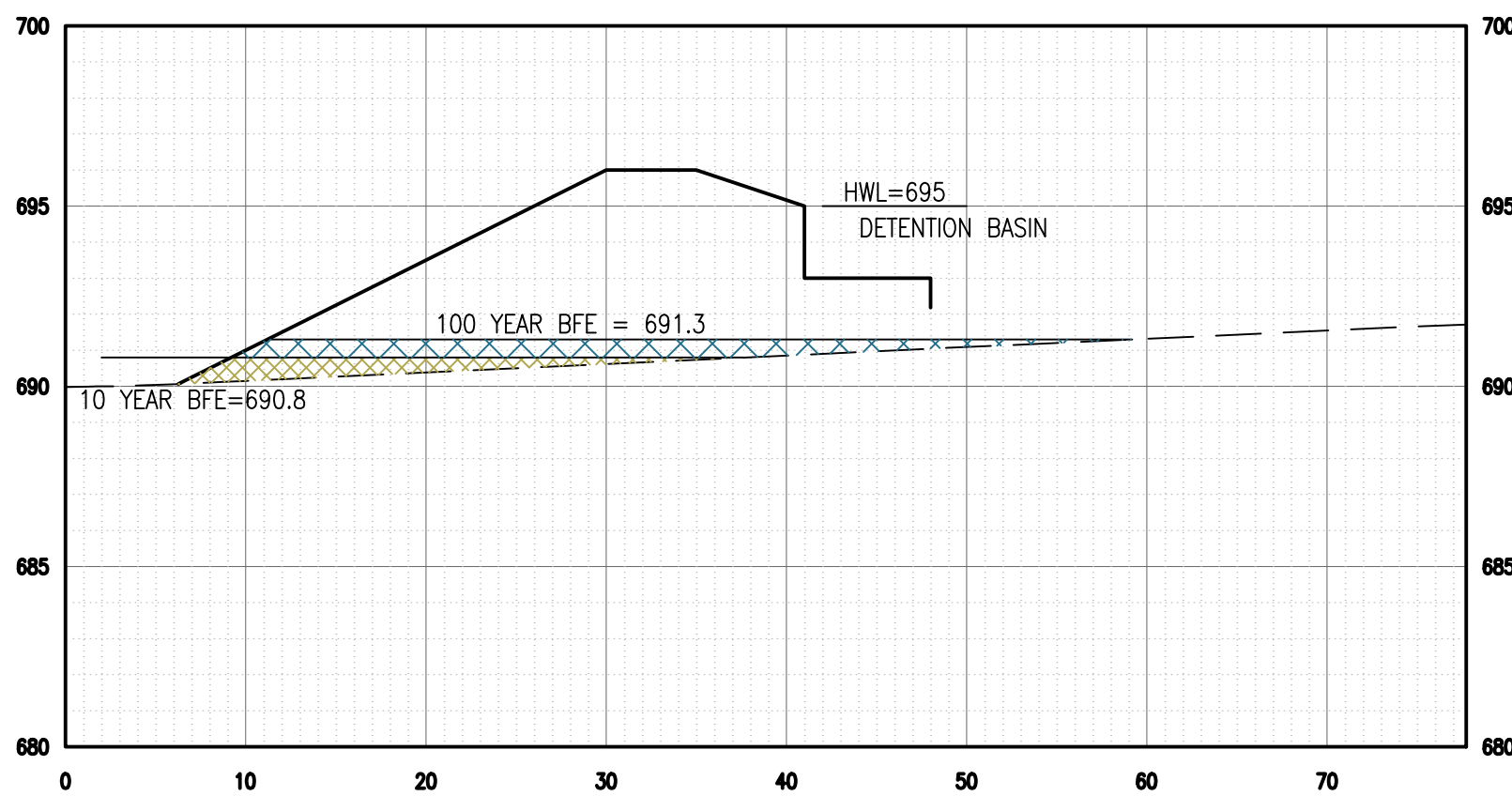
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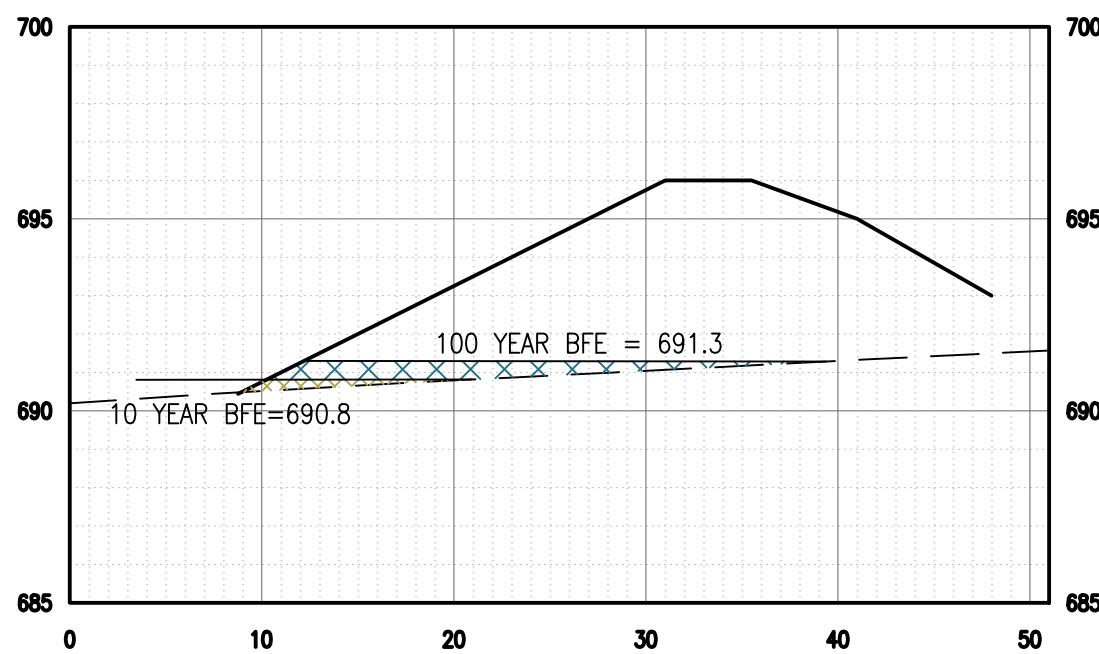
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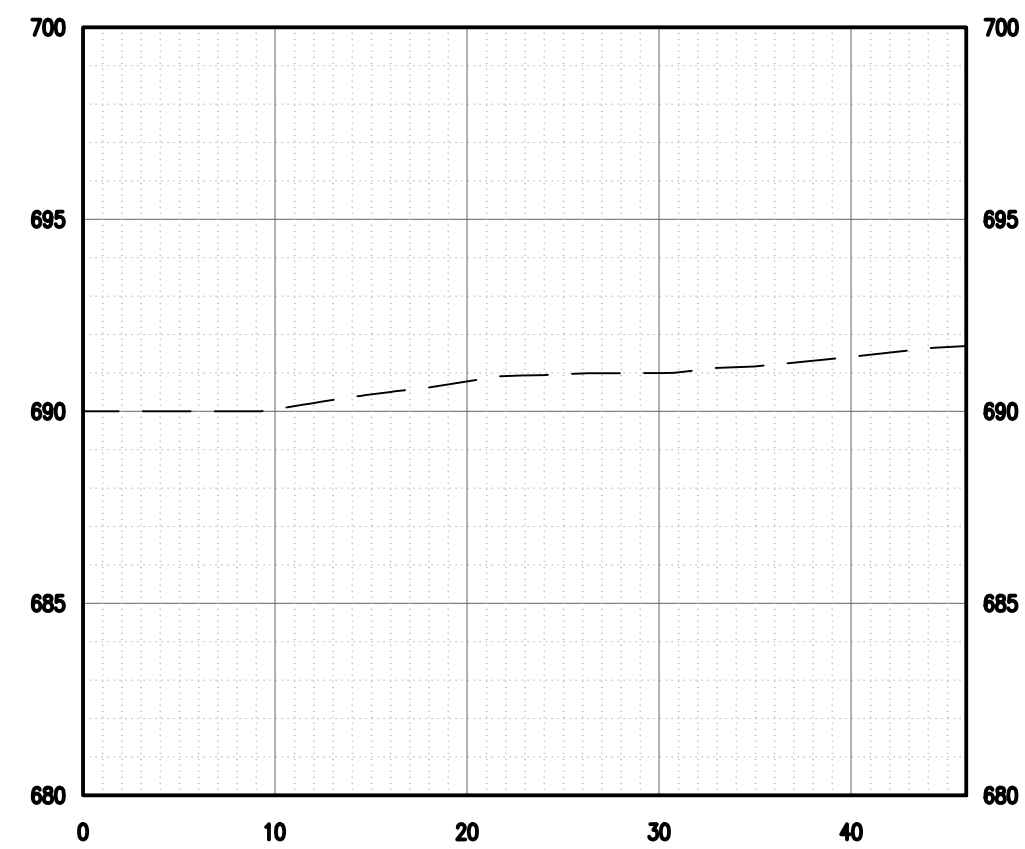
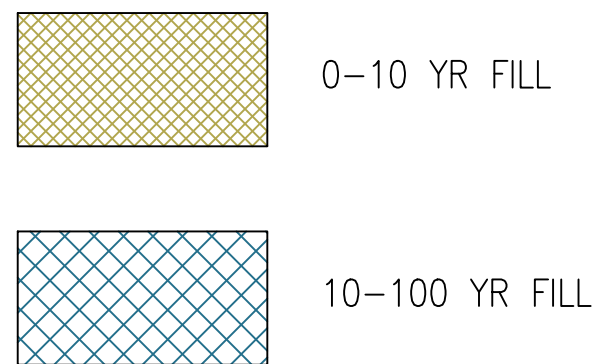
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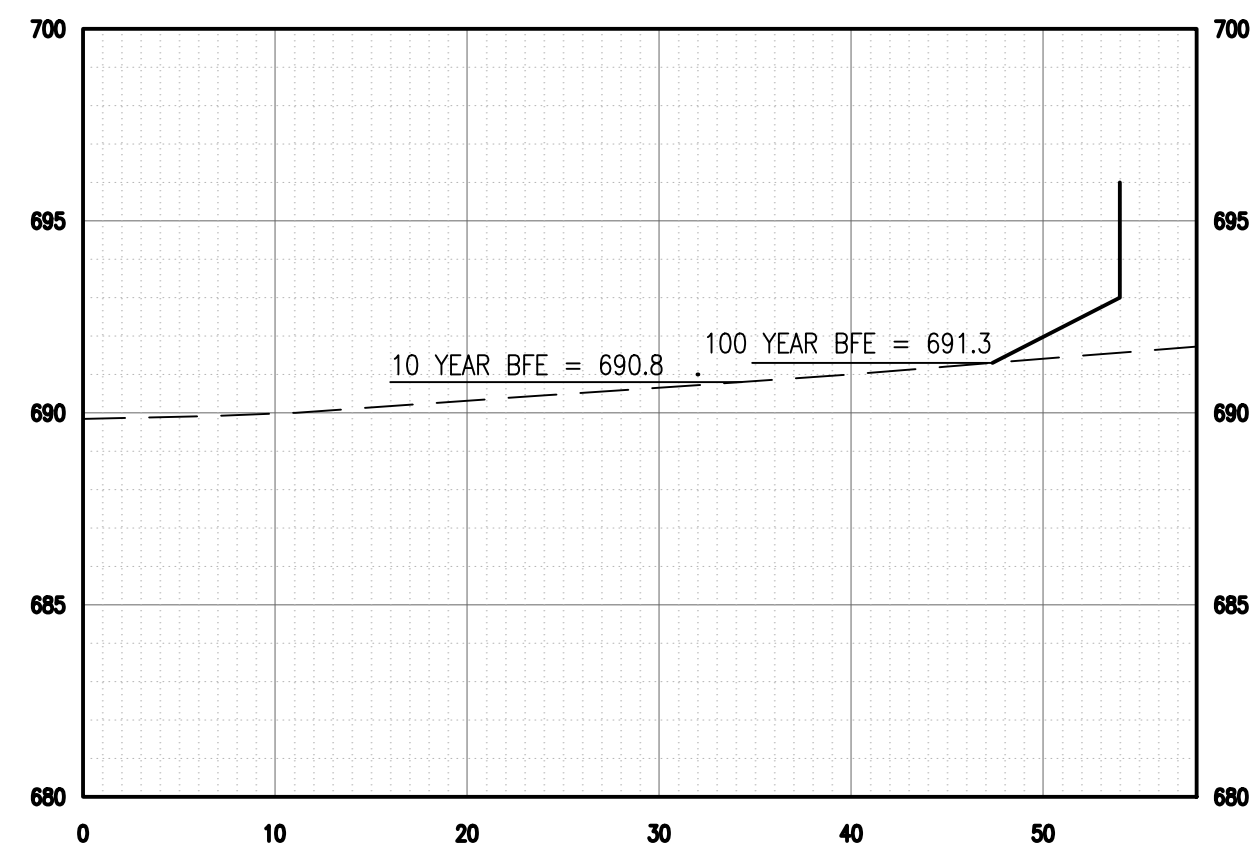
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12+14.83



14+16.39



14+00.76

REMARKS		DATE	
NO.			
1	REVISED PER VILLAGE & COUNTY	3/18/19	
3	REVISED PER VILLAGE & COUNTY	4/18/19	
5	REVISED PER VILLAGE & COUNTY	10/16/19	

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847-260-4758
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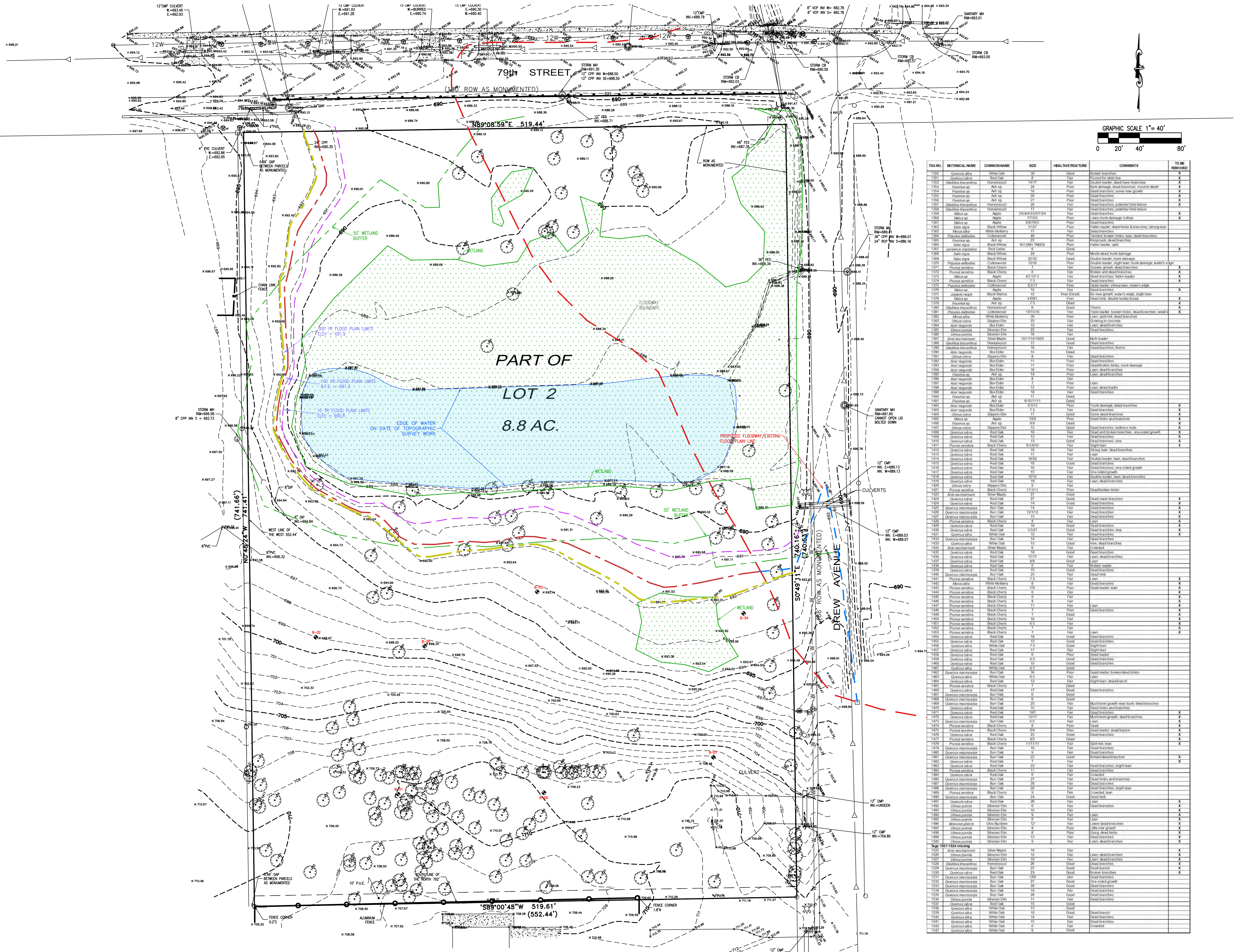
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CROSS SECTIONS
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
XS3

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REMARKS

REVISED PER VILLAGE & COUNTY

NO. 1

DATE 3/18/19

NO. 3

DATE 4/18/19

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TREE SURVEY

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

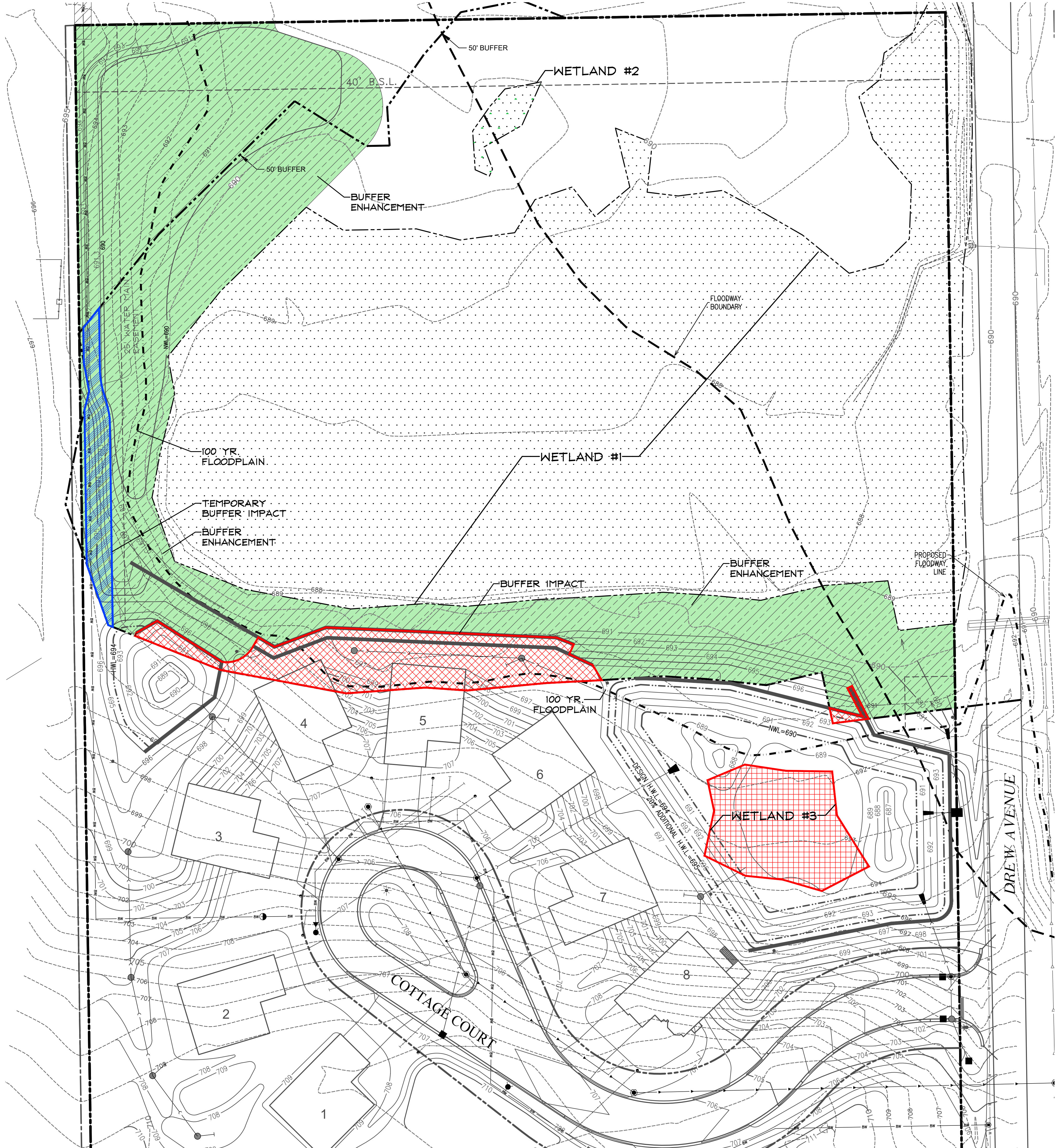
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NOVEMBER 5, 2018

JOB: 16-086

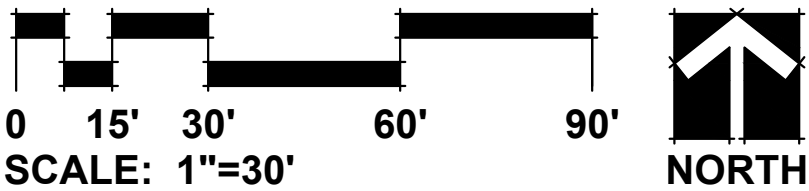
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22A OF 28



**SPECIAL MANAGEMENT AREA
IMPACT SUMMARY**

Key	Qty.	Description
---		WETLAND BUFFER
[Stippled Box]	2.48 AC.	PRESERVED WETLAND AREA
[Green Hatched Box]	1.20 AC.	BUFFER ENHANCEMENT
[Blue Hatched Box]	0.05 AC.	TEMPORARY BUFFER IMPACT
[Red Cross-hatched Box]	0.16 AC.	BUFFER IMPACT
[Red Grid Box]	0.12 AC.	WETLAND IMPACT
- - - - -		EXISTING RIPARIAN BUFFER (100 YR. FLOODPLAIN)



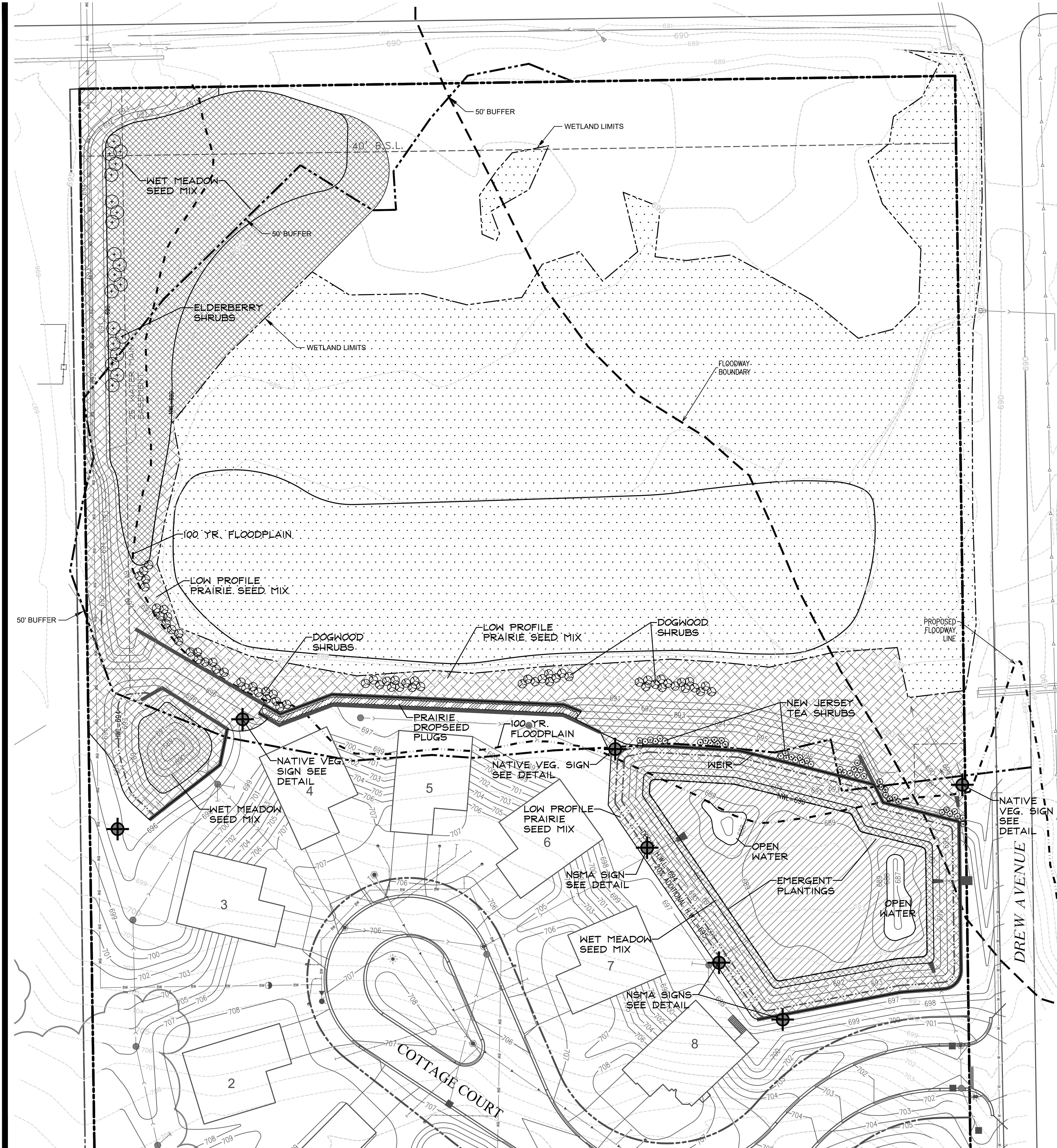
THE COTTAGES AT DREW
BURR RIDGE, ILLINOIS
**WATER RESOURCE
MANAGEMENT PLAN**

3	11.05.19
2	9.27.19
1	8.19.19

REVISIONS

DATE	3.08.19
PROJECT NO.	AC1836
DRAWN	TRC
CHECKED	ELR
SHEET NO.	

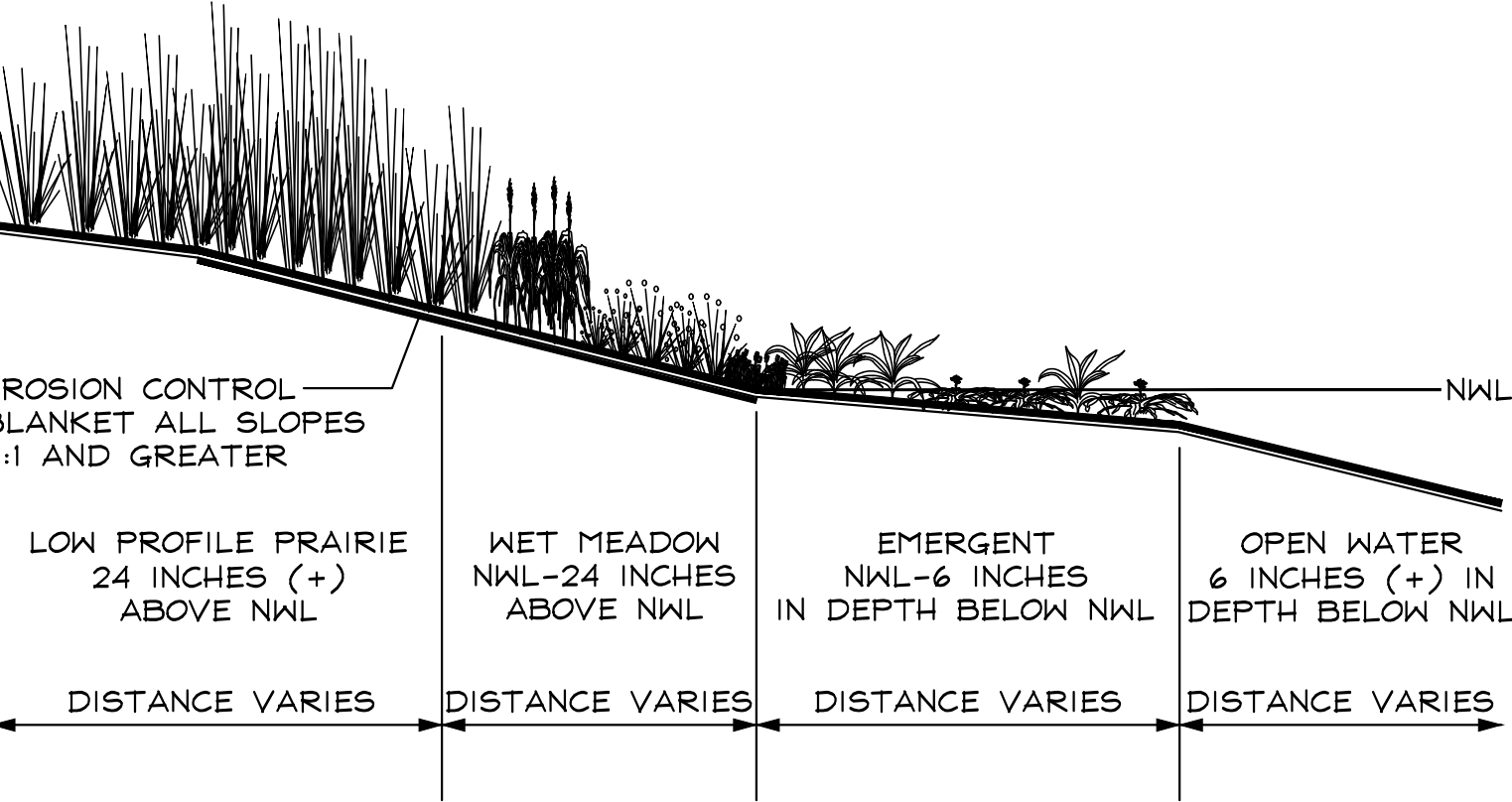




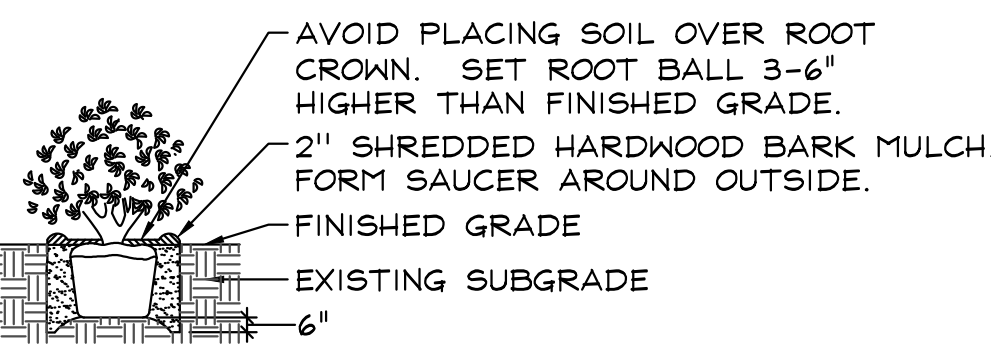
BMP QUANTITIES

Key	Qty.	Description
	0.26 AC.	EMERGENT PLANTINGS
	0.63 AC.	WET MEADOW SEED MIX
	0.97 AC.	LOW PROFILE PRAIRIE SEED MIX
	192	PRAIRIE DROPSEED PLUGS
	45	NEW JERSEY TEA SHRUBS
	65	RED-OSIER DOGWOOD SHRUBS
	20	ELDERBERRY SHRUBS
	7	BMP / STORMWATER AREA SIGNS
	11	SHREDDED HARDWOOD BARK MULCH

PLANTING DETAILS

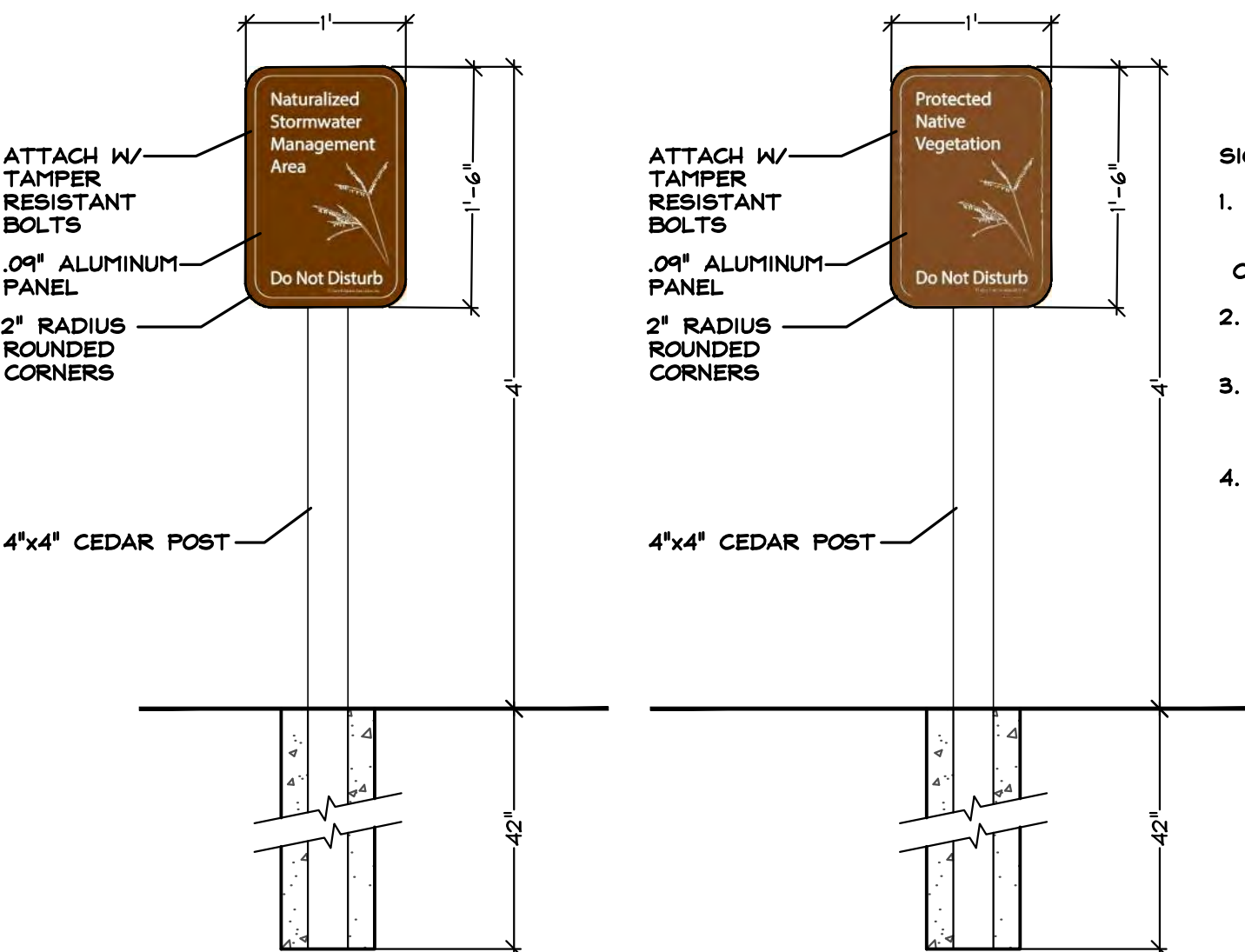


PLANT COMMUNITY SECTION
NOT TO SCALE



DECIDUOUS SHRUBS
NOT TO SCALE

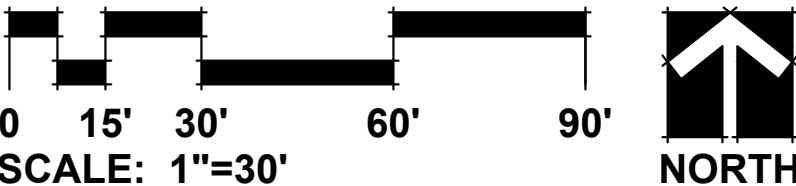
NOTE: WIRE CAGING, IF PRESENT, SHALL BE REMOVED FROM UPPER HALF OF SHRUB.




BMP SIGN DETAILS
NOT TO SCALE

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.





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LEMONT, ILLINOIS 60439

THE COTTAGES AT DREW
BURR RIDGE, ILLINOIS
PRELIMINARY NATURALIZED
BMP PLANTING PLAN

REVISIONS	
3	11.05.19
2	9.27.19
1	8.19.19

DATE	3.07.19
PROJECT NO.	AC1836
DRAWN	TRC
CHECKED	ELR
SHEET NO.	

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of stormwater BMPs, Wetland Creation and Enhancement areas as shown on the Water Resources Management Plan and Native BMP Plan;
2. The installation of shrubs, and seeded native areas as specified on the plans
3. The provision of post-planting management and wetland enhancement as specified herein;
4. Any remedial operations necessary in conformance with the plans as specified in this document;
5. Permits which may be required.

1.2 SUMMARY OF MANAGEMENT AREAS

The work shall be divided over different management areas as noted on the attached Water Resources Management Exhibit. Below is an overall description:

1. Stormwater BMPs are to be managed under a 3-yr M&M Plan. Performance criteria for BMPs should follow Performance Criteria outlined in I&D
2. Wetland Mitigation Areas are to be managed under a 5-yr M&M Plan.
3. The wetland creation and buffer enhancement areas are to be planted as noted on the BMP Plan and Water Resources Summary Exhibit
4. Performance criteria for Wetland Mitigation Areas should follow Performance Criteria outlined in I&E 1-12.
5. See Section 3.2 and 3.4 for execution and maintenance specifics.

1.3 QUALITY ASSURANCE

A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.

B. Quality Control Procedures:

1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
3. Analysis and Standards: Package standard products with manufacturers certified analysis.

1.4 SUBMITTALS

A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting

B. Maintenance Instruction - Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.

D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.

E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and City of Warrenville upon request.

1.5 JOB CONDITIONS

A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.

B. Utilities: Review underground utility location maps and plans; notify local utility location service, demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.

C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.6 GUARANTEES

A. Guarantee seeded areas through the specified maintenance period and until final acceptance.

B. Guarantee trees and shrubs for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

C. Guarantee shade trees installed as replacement trees for a period of three years after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

D. Stormwater BMPs - Native Planting Area Performance Criteria

1st Full Growing Season: 90% of cover crop shall be established. There shall be no bare areas greater than two (2) square feet in seeded areas. At least 25% of vegetation coverage shall be native, non-invasive species. At least 50% of the emergent species, if planted as plugs shall be alive and apparent.

2nd Full Growing Season: All areas with the exception of emergent zones shall exhibit full vegetative cover. At least 50% of the vegetation coverage shall be native, non-invasive species.

3rd Full Growing Season: At least 75% of vegetation coverage shall be native, non-invasive species. Non-native species shall constitute no more than 25% relative aerial coverage of the planted area.

100% of all woody species shall be alive and in good condition at the end of each growing season.

Non-native/invasive species for this project shall include but are not limited to the following: Ambrosia artemisiifolia & trifida (Common & Giant Ragweed), Cirsium arvense (Canada Thistle), Dipsacus laciniatus (Cut-leaved Teasel), Dipsacus sylvestris (Common Teasel), Lythrum salicaria (Purple Loosestrife), Melilotus sp. (Sweet Clover), Phalaris arundinacea (Reed Canary Grass), Phragmites australis (Giant Reed), Polygonum cuspidatum (Fallopia japonica) (Japanese Knotweed), Rhamnus cathartica & frangula (Common & Glossy Buckthorn), Typha sp. (Broadleaf, Narrowleaf, and Hybrid Cattail).

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 NATIVE PLANTING MIXTURES

Provide fresh, clean, new crop of the species and proportions as specified. Native seed and live plant material shall be obtained from a reputable supplier (approved by Landscape Architect) that has collected from sources east of the Mississippi River within the same EPA Level III Ecoregion as the project site (Central Corn Belt Plains). Any material sourced from outside this ecoregion must be approved by the Landscape Architect prior to installation.

For each species, the amount of seed indicated on the specifications shall mean the total amount of pure live seed (PLS) per acre. Seed tags and PLS testing information shall be provided to the Landscape Architect prior to seeding.

It is the sole responsibility of the Native Landscape Contractor to provide approved seed that meets industry-standard PLS requirements.

A. Temporary Cover Crops

Cover crops shall be installed in all planting areas containing dry mesic, mesic, and wet mesic soils to stabilize soils, and combat weed pressure during the germination and establishment of the native seeding area.

For spring plantings use Seed Oats at the specified rate below:

Botanical Name	Common Name	lbs./AC
Avena sativa	Seed Oats	40.0 lbs.

For fall or dormant plantings, use Regreen® at the specified rates below:

Botanical Name	Common Name	lbs./AC
Triticum aestivum	Regreen®	50.0 lbs.

B. Stormwater Basins Emergent Plantings - Shoreline edge and Planting shelf 4" deep - 12" deep

Botanical Name	Common Name	lbs./AC	Plugs/AC
Acorus calamus	Sweet Flag	0.500	494
Alisma subcordatum	Water Plantain	1.250	
Eleocharis obtusa	Blunt Spike Rush	0.375	
Marsh Spike Rush		0.375	
Glyceria grandis	Reed Manna Grass	0.375	
Hibiscus laevis	Rose Mallow	0.250	
Iris virginica shrevei	Blue Flag	0.500	
Juncus effusus	Common Rush	0.500	
Leersia Oryzoides	Rice Cut Grass	1.250	494
Potamogeton nodosus	Potamogeton	0.250	494
Sagittaria latifolia	Common Arrowhead	1.250	494
Scirpus acutus	Hardstem Bulrush	0.250	988
Scirpus pungens	Chalkmakers Rush	0.250	
Scirpus validus	Scout Bulrush	0.250	988
Spartanum eurycarpum	Bur Reed	1.000	988
Total:		8.625	5434

Note: If emergent zone is permanently flooded seeding will be impossible and live plugs shall be installed at the specified rate. Plugs are specified at a standard 38 cell flat and shall measure 2.25' x 5' with a volume of 11.30 inches. Substitution of plug size must be approved by the Landscape Architect prior to installation.

C. Stormwater Basins Wet Meadow Seed Mixture - Lower slopes of basin

Botanical Name	Common Name	lbs./AC
Grasses and Sedges		
Carex bebbii	Bebb's Oval Sedge	0.250
Carex bicknellii	Bicknell's Sedge	0.250
Carex brevior	Plains Oval Sedge	0.250
Carex cristatella	Crested Oval Sedge	0.150
Carex molestus	Field Oval Sedge	0.250
Carex normalis	Spreading Oval Sedge	0.250
Carex scoparia	Pointed Broom Sedge	0.190
Carex stipula	Common Fox Sedge	0.250
Carex vulpinoidea	Brown Fox Sedge	0.250
Elymus virginicus	Virginia Wild Rye	3.000
Fowl manna grass		0.150
Juncus dudleyi	Dudley's Rush	0.003
Juncus torreyi	Torrey's Rush	0.005
Panicum virgatum	Switchgrass	1.000
Scirpus atrovirens	Dark Green Rush	0.060
Scirpus cyperinus	Wool Grass	0.015
Total Grasses and Sedges:		6.303

	Total Grasses and Sedges:	6.303
Wildflowers/Broadleaves		

D. Stormwater Basins Low Profile Prairie With Flowers Seed Mixture - Upper Basin Slopes and Buffer Enhancement

Botanical Name	Common Name	lbs./AC
Grasses		
Bouteloua curtipendula	Side Oats Grama	8.000
Panicum virgatum	Prairie Switch Grass	0.125
Elymus canadensis	Prairie Wild Rye	1.000
Schizachyrium scoparium	Little Blue Stern	6.000
Total Grasses:		15.125

	Total Wildflowers/Broadleaves:	3.97
	Total Wet Meadow Seed Mixture:	10.27
D. Stormwater Basins Low Profile Prairie With Flowers Seed Mixture Slopes and Buffer Enhancement		
Botanical Name	Common Name	lbs./A
Grasses		
Bouteloua curtipendula	Side Oats Grama	8.000
Panicum virgatum	Prairie Switch Grass	0.125
Elymus canadensis	Prairie Wild Rye	1.000
Schizachyrium scoparium	Little Blue Stem	6.000

E. Biannual Seed Mix

Botanical Name	Common Name	lbs./AC
Grasses		
Bouteloua curtipendula	Side Oats Grama	3.000
Auflfruited Sedge		0.500
Carex stipula	Fox Sedge	0.500
Elymus canadensis	Prairie Wild Rye	3.000
Elymus virginicus	Virginia Wild Rye	3.000
Juncus dudleyi	Dudley's Rush	0.250
Total Grasses:		10.25

<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.188
<i>Monarda bergamont</i>	Prairie Bergamont	0.063
<i>Parthenium integrifolium</i>	Wild Quinine	0.016
<i>Penstemon digitalis</i>	Foxglove Beardtongue	0.125
<i>Petalostemum candidum</i>	White Prairie Clover	0.125
<i>Petalostemum purpureum</i>	Purple Prairie Clover	0.156
<i>Potentilla arguta</i>	Prairie Cinquefoil	0.031
<i>Pycnanthemum tenuifolium</i>	Slender Mt. Mint	0.031
<i>Ratibida pinnata</i>	Yellow Coneflower	0.125
<i>Rudbeckia fulgida var.sulcata</i>	Shouy Black-Eyed Susan	0.500
<i>Rudbeckia hirta</i>	Black-Eyed Susan	0.500
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	0.063
<i>Symphyotrichum laevis</i>	Smooth Blue Aster	0.063
<i>Tradescantia ohiensis</i>	Spiderwort	0.063
<i>Verbena stricta</i>	Hoary Vervain	0.125
<i>Zizia aurea</i>	Golden Alexanders	0.050
Total Wildflowers/Broadleaves:		5.190
Total Lo Pro Prairie Seed Mixture:		20.315

F. Retaining Wall

Botanical Name	Common Name	Plugs
Sporobolus heterolepis	Prairie Dropseed	192

G. Moody Vegetation

Botanical Name	Common Name	Qty.
Ceanothus americanus	New Jersey Tea	45
Cornus sericea	Red Osier Dogwood	60
Sambucus nigra	Elderberry	20

2.2 TREES AND SHRUBS

A. Name and Variety: Provide nursery grown plant material true to name and variety.

B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.

C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.

D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.

E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and containerized shrubs.

F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.3 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in I.3.C.

2.4 EROSION CONTROL

A. Native Areas Erosion Control Blanket: Futerra EnviroNet, or equivalent approved equal.

B. Shoreline and Sloped Berm Areas Erosion Control Blanket: Futerra EnviroNet, or approved equal. To be installed per manufacturer's recommendations.

2.5 MULCH

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

A. Seeding Native Areas

1. The period for planting prairie seed shall be from April 1 to May 15 or November 1 to just before the first frost. Seeding outside of these timeframes must be approved by the landscape architect. Native seed planted outside of specified timeframes must have at least 60 days of growth prior to frost. Dormant seeding in winter is possible if soil conditions allow.

2. The General Contractor and Native Landscape Contractor shall be responsible for performing all work necessary to achieve and maintain an acceptable seeded prior to seeding. All areas must be properly prepared before seeding begins. Equipment having low unit pressure ground contact shall be utilized within the planting areas.

3. If present, compacted soils shall be disked or raked prior to seeding. Remedial measures for the access area may, at the direction of the Wetland Consultant, involve ripping from 12 to 18 inches of the soil horizon prior to diskng.

4. Prior to seeding, planting areas shall have at least twelve inches of clean un-compacted topsoil. Clumps, clods, stones over 2" diameter, roots and other extraneous matter shall be removed and disposed of legally off-site.

5. Invasive plant material shall be removed from the wetland creation and enhancement area. This can be achieved through herbicide application, mowing, and reapplication of herbicide until an acceptable planting area has been achieved. Other methods proposed by the contractor for removal must be approved by the City's Wetland Consultant.

6. Granular mycorrhizal inoculants shall be installed with the seed mix at a rate of 40lbs/ acre. Inoculant can be banded under seed, worked into seed or added into spray tanks. Native areas shall not receive fertilizer.

7. Contractor shall be solely responsible for the proper handling and storage of the seed according to the best seed handling and storage practices, including fungicide treatments and stratification considerations. Owner shall make no compensation for damage to the seed because of improper storage, cleaning, threshing, or screening operations.

8. Except where site conditions preclude their use, seeding shall be performed using a Triax drill, Triax Trillion seeder, or comparable equipment designed specifically for installation of native seed. For areas where site conditions preclude the use of specialized equipment, seed shall be broadcast and hand broadcasting and followed by light raking. Hand broadcast seed shall be spread at twice the specified rate. Other methods of seed installation may be used with prior approval from the Landscape Architect.

9. Prior to starting work, all seeding equipment shall be calibrated and adjusted to sow seeds at the proper seeding rate. In general, the optimum seeding depth is 0.25 inch below the soil surface. Areas where the seed has not been incorporated into the soil to the proper depths will not be accepted, and no compensation for materials or labor for the rejected work will be made by the Owner.

10. Seeding and soil tracking/firming shall not be done during periods of rain, severe drought, high winds, excessive moisture, frozen ground, or other conditions that preclude satisfactory results.

11. Wet mesic and emergent areas shall be planted, and seed allowed to germinate (if possible), prior to flooding with significant amounts of water. Any areas of significant permanent water located within the planting area will receive live plugs in lieu of seed.

12. After the seeding operation is completed, install erosion control blanket per manufacturer's specifications.

13. Emergent plugs shall be planted in natural groupings within designed areas containing saturated soils or shallow inundation. Plants within groupings shall be planted at 2 foot centers.

14. Emergent plugs shall not be planted less than the specified rate and shall be protected with goose enclosures surrounding all natural groupings of plugs.

B. Trees and Shrubs

1. Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of ball; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.

2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.

3. Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.

4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.

5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.

6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days. Begin maintenance of BMPs and wetland creation/enhancement areas as soon as conditions allow.

B. Maintain planted and seeded areas by watering, rolling/reggrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.

C. Compensatory Storage and Native Planting areas are to be mowed only once per spring during the initial three year establishment period.

3.4 NATIVE LANDSCAPED AREAS CONTINUED MONITORING & MAINTENANCE

A. Monitoring

The Owner shall notify the City upon completion of plantings. The Owner's Environmental Specialist shall inspect the plantings and provide the City with a copy of the planting locations, species, and quantities for verification by the City.

The Owner's Environmental Specialist shall inspect the plantings at least twice per year during the three-year term of the Establishment and Maintenance Cash Bond or Letter of Credit, to determine compliance with the minimum annual performance criteria (See I.5D-E Guarantees). A monitoring report will be provided to the City by January 31st following each inspection.

B. Maintenance: Maintenance will be applied to all enhanced areas, and naturalized BMPs.

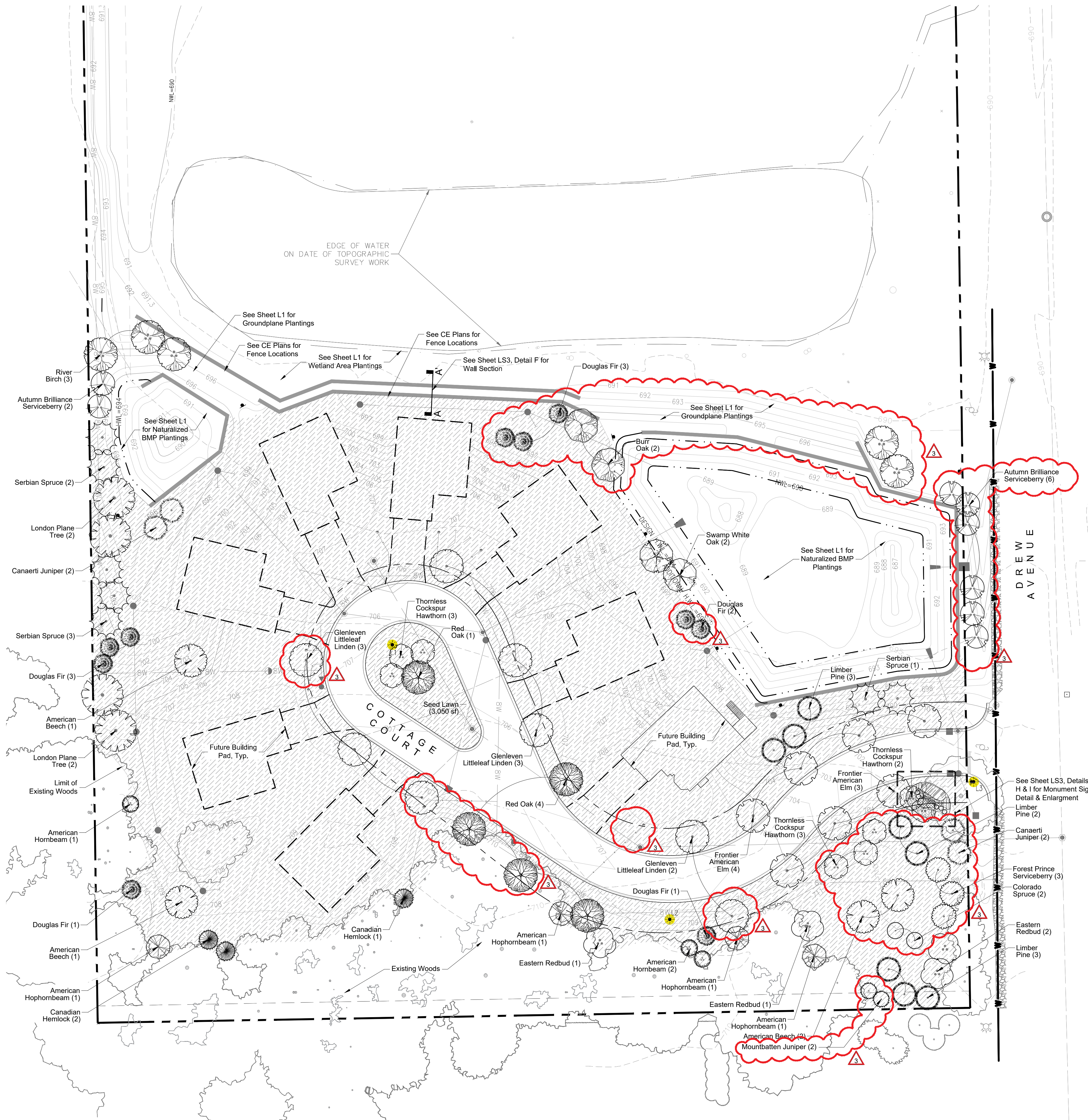
First Season

With the exception of the emergent area, native seeding areas should be mowed to a height of 6" to control annual nonnative and invasive species early in the growing season. Mowing, including weed whipping, should be conducted during prior to weed seed production. Mowing height and timing may need to be adjusted per target species. Small quantities of undesirable plant species, shall be controlled by hand pulling prior to the development and maturity of the plant. Hand removal shall include the removal of all above-ground and below-ground stems, roots and flower masses prior to development of seeds. Herbicide should be applied as necessary by a trained and licensed operator that is competent in the identification of native and nonnative herbaceous plants. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.



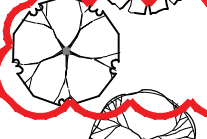



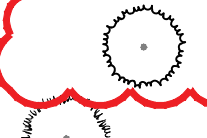
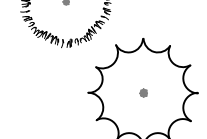
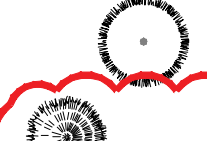
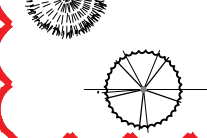


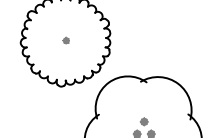
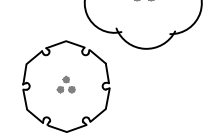

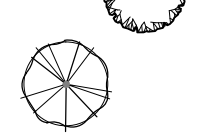
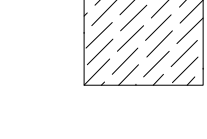

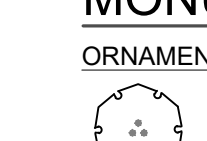
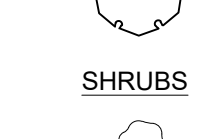

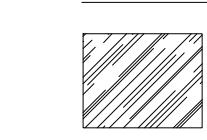

Second Season

Control of undesirable plant species during the second growing season shall consist primarily of precise herbicide application. Mowing and weed whipping shall be conducted as needed during the early growing season and as needed to a height of 6 to 8 inches to prevent annual weeds from producing seed. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Third, Fourth, and Fifth Years:



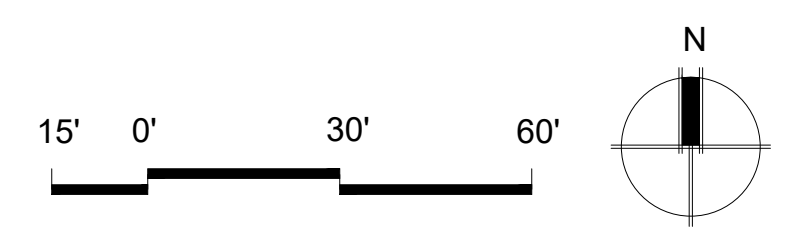
LANDSCAPE COMMON AREA PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Betula nigra / River Birch	B & B	6'-8' ht, multi-stem	5
	Fagus grandifolia / American Beech	B & B	2.5" cal.	4
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	B & B	3" cal.	4
	Quercus bicolor / Swamp White Oak	B & B	2.5" cal.	-4-2
	Quercus macrocarpa / Burr Oak	B & B	2.5" cal.	2
	Quercus rubra / Red Oak	B & B	2.5" cal.	-6-5
	Tilia cordata 'Glenleven' / Glenleven Littleleaf Linden	B & B	2.5" cal.	8
	Ulmus x 'Frontier' / Frontier American Elm	B & B	2.5" cal.	7
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Juniperus chinensis 'Moutbatten' / Moutbatten Juniper	B & B	4'-6' ht	-4-2
	Juniperus virginiana 'Canaerti' / Canaerti Juniper	B & B	4'-6' ht	4
	Picea omorika / Serbian Spruce	B & B	6'-8' ht	7
	Picea pungens / Colorado Spruce	B & B	10-12' ht	2
	Pinus flexilis / Limber Pine	B & B	6'-8' ht	8
	Pseudotsuga menziesii / Douglas Fir	B & B	4'-6' ht	-12-10
	Thuja occidentalis 'Nigra' / Nigra Arborviate	B & B	4'-6' ht	4
	Tsuga canadensis / Canadian Hemlock	B & B	4'-6' ht	3
ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	4'-6' ht, multi-stem	-5-8
	Amelanchier x grandiflora 'Forest Prince' / Forest Prince Serviceberry	B & B	4'-6' ht	3
	Cercis canadensis / Eastern Redbud	B & B	4'-6' ht, multi-stem	4
	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	B & B	4'-6' ht, multi-stem	6
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Carpinus caroliniana 'JN Strain' TM / American Hornbeam	B & B	4'-6' ht, multi-stem	3
	Ostrya virginiana / American Hophornbeam	B & B	2.5" cal.	4
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT		QTY
	Seed Lawn / IDOT Class 1B Low Maintenance Lawn Mixture	seed		111,341 sf
	Fine Leaf Turf-Type Fescue	150 lbs. / acre		
	Perennial Ryegrass	20 lbs. / acre		
	Red Top	10 lbs. / acre		
	Creeping Red Fescue	20 lbs. / acre		
	Total = 200 lbs. / acre			

MONUMENT SIGN PLANT SCHEDULE

ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	B & B	4'-6' ht, multi-stem	2
SHRUBS	BOTANICAL NAME / COMMON NAME		SIZE	QTY
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea		36"h	1
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea		24"h	5
GROUND COVERS & PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Geranium x 'Rozanne' / Rozanne Cranesbill	2.25" pot	18" o.c.	88 sf
	Hosta fortunei 'Frances' / Fortune's Hosta	flat	36" o.c.	35 sf
	Liriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	104 sf
	Aster novi-belgii 'Woods Purple' / Woods Purple Aster	2.25" pot	12" o.c.	52 sf

NOTE:
- Street trees along Cottage Court spaced at 40' o.c. per Village Code.
- See CE Plans for Fence Locations




teska
Landscape
Architecture
627 Grove Street,
Evanston, Illinois 60201
Tel 847.869.2015
Fax 847.869.2059

LANDSCAPE COMMON AREA PLANTING PLAN



ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
630.904.7538

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

APRIL 20, 2019
JOB: 16-086
SHEET:
LS1
26 OF 28



SUBDIVISION IMPROVEMENT COMPLETION AGREEMENT COTTAGES AT DREW

This Agreement, made this 9th day of December, 2019, by and between Jarper Properties, LLC-Series 7 Burr Ridge, an Illinois Limited Liability Company, hereinafter referred to as Owner, and the Village of Burr Ridge, a municipal corporation in Cook and Du Page Counties, Illinois, hereinafter referred to as Village:

W I T N E S S E T H:

WHEREAS, Owner owns the property described in **Exhibit A** attached hereto and made a part hereof.

WHEREAS, Owner has caused said property to be subdivided and has filed, for final approval by Village, a subdivision plat entitled Final Plat of Subdivision for The Cottages at Drew, prepared by MGA Civil Engineering, and dated September 30, 2019.

WHEREAS, Village's ordinances require the installation and completion at Owner's expense of certain public and/or private improvements (hereinafter referred to as land improvements) in any such subdivision within two (2) years from the date of Village's approval of the final subdivision plat, except where directed by the Village to delay installation of the final bituminous surface course on streets for a period of not more than two (2) years from acceptance of the balance of land improvements, as provided in Section XI of the Subdivision Regulations Ordinance, and the maintenance and repair of said improvements for a period of two (2) years after completion and acceptance by Village.

NOW, THEREFORE, in consideration of the Village's approval of the plat of subdivision hereinabove described and other good and valuable consideration, Owner hereby agrees as follows:

1. That at Owner's expense, Owner shall fully install and complete within two (2) years from the date of approval of the subdivision plat of The Cottages at Drew or within such lesser period as may be specifically provided in the Subdivision Regulations Ordinance, or approved construction schedules, for certain work or improvements, the land improvements and work related thereto, as required by the Subdivision Regulations Ordinance and as provided for in the plans and specifications entitled Final Site Improvement Plans for The Cottages at Drew, consisting of 29 pages, prepared by Advantage Consulting Engineering and dated October 31, 2019, except where directed by the Village to delay installation of the final bituminous surface course on streets as provided by Section XI of the Subdivision Regulations Ordinance. Said plans and specifications are incorporated herein by reference.
2. That at Owner's expense, Owner shall maintain and repair said land improvements for a period of two (2) years after completion of and acceptance by Village of said land improvements. If Owner is directed to delay installation of the final bituminous surface course

Appendix VI
Subdivision Improvement Completion Agreement



course on streets as provided by Section XI of the Subdivision Regulations Ordinance. Said plans and specifications are incorporated herein by reference.

2. That at Owner's expense, Owner shall maintain and repair said land improvements for a period of two (2) years after completion of and acceptance by Village of said land improvements. If Owner is directed to delay installation of the final bituminous surface course on streets, as provided in Section XI of the Subdivision Regulations Ordinance, there shall be a separate two (2) year maintenance period for such streets.

3. That in the event Owner breaches the foregoing *commitments or covenants*, Village may perform or cause to be performed, said obligations of Owner and Owner shall reimburse Village for the expenses of said performance. In addition to any other security which may be required by Village to guarantee Owner's performance of the foregoing obligations, Owner hereby grants to Village a lien upon the property described in Exhibit A, attached hereto and made a part hereof, to secure reimbursement to the Village by Owner for the Village's expenses in performing Owner's obligations hereunder.

4. This Agreement shall be recorded and shall be binding upon the Owner and its heirs, executors, successors and assigns, to the extent that such heirs, executors, successors and assigns have any business option, interest or right in the development of the subdivision.

5. That if any portion of this Agreement shall be declared void or unenforceable, such adjudication shall not affect the validity or enforceability of any remaining part of this Agreement.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals the day and year first above written.

VILLAGE OF BURR RIDGE:

By:

Village President

Attest:

Village Clerk

OWNER: JARPER PROPERTIES, LLC - SHERIDAN BURR RIDGE,
AN ILLINOIS LIMITED LIABILITY COMPANY

By:

X _____
Signature

ANTHONY PERINO, MANAGER

Print Name

DRAFT

**** DRAFT COPY ****

STANDBY LETTER OF CREDIT		PAGE 1
DATE OF ISSUE	IRREVOCABLE STANDBY LETTER OF CREDIT	NUMBER
	DATE AND PLACE OF EXPIRY	
APPLICANT JARPER PROPERTIES, LLC 16W2311 S. FRONTAGE ROAD, # 17 BURR RIDGE, IL 60527	BENEFICIARY VILLAGE OF BURR RIDGE 7660 COUNTY LINE ROAD BURR RIDGE, IL 60527	
ADVISING BANK NONE	AMOUNT USD1,269,226.00 U.S. DOLLARS ONE MILLION TWO HUNDRED SIXTY NINE THOUSAND TWO HUNDRED TWENTY SIX ONLY	

ATTACHMENT TO APPLICATION AND AGREEMENT FOR STANDBY LETTER OF CREDIT
PLEASE ISSUE LETTER OF CREDIT IN ACCORDANCE WITH THE TERMS AND CONDITIONS
SHOWN BELOW:

*[TO BE INSERTED AT TIME OF ISSUANCE]

RE: SUBDIVISION: THE COTTAGES AT DREW

WE, VILLAGE BANK & TRUST, N.A. (THE "BANK"), HEREBY ISSUE IN YOUR FAVOR THIS
IRREVOCABLE LETTER OF CREDIT NUMBER _____*_____ (THE "LETTER OF CREDIT"), IN
THE AGGREGATE AMOUNT OF USD1,269,226.00 AVAILABLE WITH VILLAGE BANK & TRUST,
N.A., C/O ITS SERVICE PROVIDER, WINTRUST FINANCIAL CORPORATION, ATTN:
INTERNATIONAL SERVICES GROUP, 231 S. LASALLE ST., 13TH FLOOR, CHICAGO, IL
60604 AGAINST PRESENTATION OF THE FOLLOWING DOCUMENTS:

1. BENEFICIARY'S SIGNED DRAFT AT SIGHT DRAWN ON VILLAGE BANK & TRUST, N.A.,
BEARING THE CLAUSE "DRAWN UNDER VILLAGE BANK & TRUST, N.A. LETTER OF CREDIT
NO. _____*_____ DATED ____*____."

2. BENEFICIARY'S STATEMENT SIGNED BY THE VILLAGE ENGINEER AND THE VILLAGE
PRESIDENT OF THE VILLAGE OF BURR RIDGE, BURR RIDGE, ILLINOIS, DULY COMPLETED
STATING:

"WE ARE DRAWING IN THE AMOUNT OF THE ACCOMPANYING DRAFT WHICH REPRESENTS FUNDS
DUE UNDER LETTER OF CREDIT NO. _____*_____, AS IMPROVEMENT HAVE NOT BEEN
COMPLETED AS PER THE ATTACHED EXHIBIT A, IN ACCORDANCE WITH THE IMPROVEMENT

DRAFT

**** DRAFT COPY ****

STANDBY LETTER OF CREDIT		PAGE 2
DATE OF ISSUE	CONTINUATION OF STANDBY LETTER OF CREDIT	NUMBER
	DATE AND PLACE OF EXPIRY	
APPLICANT JARPER PROPERTIES, LLC 16W2311 S. FRONTAGE ROAD, # 17 BURR RIDGE, IL 60527	BENEFICIARY VILLAGE OF BURR RIDGE 7660 COUNTY LINE ROAD BURR RIDGE, IL 60527	

AGREEMENT DATED _____ * _____, BETWEEN THE VILLAGE OF BURR RIDGE AND JARPER PROPERTIES, LLC."

AND

3. THE ORIGINAL OF THIS LETTER OF CREDIT AND ALL AMENDMENTS, IF ANY.

YOUR AUTHORITY TO DRAW UNDER THIS LETTER OF CREDIT SHALL BE REDUCED BY THE EXACT AMOUNT OF ANY PAYMENT OR PAYMENTS AUTHORIZED AND APPROVED BY THE VILLAGE ENGINEER AND VILLAGE PRESIDENT OF THE VILLAGE OF BURR RIDGE, BURR RIDGE, ILLINOIS IN ACCORDANCE WITH THEIR WRITTEN DIRECTION TO US AND HONORED BY US.

PARTIAL AND MULTIPLE DRAWS ARE PERMITTED. FOLLOWING ANY PARTIAL DRAW HONORED BY US, WE WILL ENDORSE THIS LETTER OF CREDIT AND RETURN THE ORIGINAL TO THE BENEFICIARY BY OVERNIGHT COURIER SERVICE, PROVIDED THERE IS A BALANCE AND THE LETTER OF CREDIT HAS NOT EXPIRED.

WE HEREBY AGREE THAT THIS LETTER OF CREDIT SHALL EXPIRE ON _____ * _____, AS STATED HEREINABOVE; PROVIDED, HOWEVER, THAT WE SEND NOTICE TO THE VILLAGE CLERK, BY CERTIFIED MAIL, RETURN RECEIPT REQUESTED, OR OVERNIGHT COURIER SERVICE AT LEAST THIRTY (30) DAYS PRIOR TO SAID CURRENT EXPIRATION DATE, THAT THIS LETTER OF CREDIT IS ABOUT TO EXPIRE. IN NO EVENT SHALL THIS LETTER OF CREDIT OR THE OBLIGATIONS CONTAINED HEREIN EXPIRE WITHOUT SUCH PRIOR WRITTEN NOTICE, IT BEING EXPRESSLY AGREED THAT THE ABOVE EXPIRATION DATE SHALL BE EXTENDED AS REQUIRED TO COMPLY WITH THIS NOTICE PROVISION. TO HONOR SAME, WE AGREE TO

ALL BANKING CHARGES ASSOCIATED WITH THIS LETTER OF CREDIT ARE FOR THE ACCOUNT OF THE APPLICANT.

THIS LETTER OF CREDIT IS NOT TRANSFERABLE.

THE REFERENCE IN THIS LETTER OF CREDIT TO THE SUBDIVISION IMPROVEMENT AGREEMENT IS FOR IDENTIFICATION PURPOSES ONLY AND SUCH AGREEMENT IS NEITHER

DRAFT

**** DRAFT COPY ****

STANDBY LETTER OF CREDIT		PAGE 3
DATE OF ISSUE	CONTINUATION OF STANDBY LETTER OF CREDIT	NUMBER
	DATE AND PLACE OF EXPIRY	
APPLICANT JARPER PROPERTIES, LLC 16W2311 S. FRONTAGE ROAD, # 17 BURR RIDGE, IL 60527	BENEFICIARY VILLAGE OF BURR RIDGE 7660 COUNTY LINE ROAD BURR RIDGE, IL 60527	
<p>MADE AN INTEGRAL PART OF NOR INCORPORATED INTO THIS LETTER OF CREDIT.</p> <p>THIS LETTER OF CREDIT SETS FORTH IN FULL THE TERMS OF OUR UNDERTAKING, AND SUCH UNDERTAKING SHALL NOT IN ANY WAY BE MODIFIED, AMPLIFIED OR LIMITED BY REFERENCE TO ANY DOCUMENT, INSTRUMENT OR AGREEMENT REFERRED TO IN THIS STANDBY LETTER OF CREDIT, EXCEPT ONLY ISP98 REFERRED TO HEREIN, AND ANY SUCH REFERENCE SHALL NOT BE DEEMED TO INCORPORATE HEREIN ANY SUCH DOCUMENT, INSTRUMENT OR AGREEMENT.</p> <p>WE HEREBY ENGAGE WITH YOU THAT ALL DRAFT(S) DRAWN UNDER AND IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS LETTER OF CREDIT WILL BE DULY HONORED IF PRESENTED TO VILLAGE BANK & TRUST, N.A., C/O OUR SERVICE PROVIDER, WINTRUST FINANCIAL CORPORATION, ATTN: INTERNATIONAL SERVICES GROUP, 231 S. LASALLE ST., 13TH FLOOR, CHICAGO, IL 60604 ON OR BEFORE THE THEN CURRENT EXPIRY DATE.</p> <p>THIS LETTER OF CREDIT IS SUBJECT TO THE INTERNATIONAL STANDBY PRACTICES 1998 ("ISP98"), INTERNATIONAL CHAMBER OF COMMERCE PUBLICATION NO. 590.</p> <p>PLEASE ADDRESS ALL CORRESPONDENCE REGARDING THIS LETTER OF CREDIT TO VILLAGE BANK & TRUST, N.A., C/O ITS SERVICE PROVIDER, WINTRUST FINANCIAL CORPORATION, ATTN: INTERNATIONAL SERVICES GROUP, 231 S. LASALLE ST., 13TH FLOOR, CHICAGO, IL 60604 REFERENCING THE LETTER OF CREDIT NUMBER MENTIONED ABOVE. FOR TELEPHONE ASSISTANCE, PLEASE CONTACT THE STANDBY UNIT AT 1-312-981-0767 OR BY EMAIL TO OUR INTERNATIONAL SERVICES GROUP AT INTERNATIONALSERVICES@WINTRUST.COM.</p> <p>***** END OF CREDIT *****</p> <p>THIS AREA INTENTIONALLY BLANK</p>		

Engineer's Opinion of Probable Construction Cost**THE COTTAGES AT DREW****DRAFT****ITEM****QNTY****UNIT****UNIT
PRICE****AMOUNT****A. Earthwork Improvements**

1. TOPSOIL CUT TO STOCK PILE	6,500	C.Y.	\$7.00	\$45,500
2. CUT TO FILL	8,250	C.Y.	\$5.00	\$41,250
3. 6" TOPSOIL RESREAD	1,800	S.Y.	\$4.00	\$7,200
4. RETAINING WALL	2,017	S.F.	\$50.00	\$100,832
A. Earthwork Improvements			Sub-Total =	\$194,782

B. Storm Sewer

1. 6" STORM SEWER STUB	8	EACH	\$300.00	\$2,400
2. 8" PVC SDR 21	75	L.F.	\$30.00	\$2,250
3. 8" PVC SDR 26	412	L.F.	\$22.00	\$9,064
4. STORM SEWER, RCP CL V, 12"	138	L.F.	\$60.00	\$8,280
5. STORM SEWER, RCP CL V, 15"	116	L.F.	\$65.00	\$7,540
6. STORM SEWER, RCP CL IV, 24"	346	L.F.	\$80.00	\$27,680
7. STORM SEWER, DIP, 12"	27	L.F.	\$50.00	\$1,350
8. INLET, TYPE A, 24" DIA	4	EACH	\$800.00	\$3,200
9. INLET, NYLOPLAST	7	EACH	\$400.00	\$2,800
10. CATCH BASIN, TYPE A, 36" DIA	3	EACH	\$1,800.00	\$5,400
11. CATCH BASIN, TYPE A, 60" DIA	1	EACH	\$4,600.00	\$4,600
12. MANHOLE, TYPE A, 60" DIA	4	EACH	\$4,600.00	\$18,400
13. RESTRICTOR MANHOLE W/SLOTTED WEIR	1	EACH	\$7,500.00	\$7,500
14. F.E.S. WITH 15" GRATE W/RIP RAP & FILTER FABRIC	3	EACH	\$1,500.00	\$4,500
15. F.E.S. WITH 24" GRATE W/RIP RAP & FILTER FABRIC	1	EACH	\$2,250.00	\$2,250
16. 8" PIPE END W/ANIMAL GUARD	2	EACH	\$250.00	\$500
17. 24" PIPE END W/ANIMAL GUARD	1	EACH	\$800.00	\$800
18. RIP RAP WITH FABRIC AT 24-INCH PIPE	1	EACH	\$500.00	\$500
19. TRENCH BACKFILL	1,095	L.F.	\$18.00	\$19,710
B. Storm Sewer			Sub-Total =	\$128,724

C. Roadway Improvements

1. 2" H.M.A. BITUMINOUS CONCRETE SURFACE COURSE, MIX C, N50	1,824	S.Y.	\$9.00	\$16,413
2. 2" H.M.A. BITUMINOUS CONCRETE BINDER COURSE, IL 19, N50	1,824	S.Y.	\$9.00	\$16,413
3. 6" H.M.A. BITUMINOUS CONCRETE BASE COURSE, N50	1,824	S.Y.	\$30.00	\$54,712
4. 4" CRUSHED STONE, CA 6	2,515	S.Y.	\$17.00	\$42,755
5. STOP SIGN & STREET NAME SIGN	1	L.S.	\$250.00	\$250
6. RELOCATE EX. POWER POLE	1	EACH	\$4,000.00	\$4,000
7. B-6.12 CURB AND GUTTER	1,244	L.F.	\$38.00	\$47,261
8. PATCH ON DREW AVENUE	25	S.Y.	\$50.00	\$1,250
9. 6' WIDE CRUSHED STONE SHOULDER	165	S.Y.	\$8.00	\$1,320
10. STREET LIGHTS	3	EACH	\$8,000.00	\$24,000
C. Roadway Improvements			Sub-Total =	\$208,375

D. Water Main Improvements

1. 8" WM, METALLIC ZINC COATED DIP CL 52 / V-BIO ENCASEMENT	1,376	L.F.	\$115.00	\$158,292
2. 1-1/2" WATER SERVICE	8	EACH	\$3,000.00	\$24,000
3. PRESSURE CONNECTION	2	EACH	\$12,000.00	\$24,000
4. 8" RESILIENT WEDGE GATE VALVE IN VAULT	1	EACH	\$3,500.00	\$3,500
5. FIRE HYDRANT	2	EACH	\$6,000.00	\$12,000
6. TRENCH BACKFILL	1,376	L.F.	\$20.00	\$27,520
7. ADJUST VALVE VAULT	2	EACH	\$250.00	\$500
8. WATER MAIN TESTING & CHLORINATION	1	EACH	\$1,200.00	\$1,200
9. 24" X 1/4" STEEL CASING PUSHED/AUGERED	70	L.F.	\$150.00	\$10,500
D. Water Main Improvements			Sub-Total =	\$261,512

E. Sanitary Sewer Improvements

1. 8" SANITARY SEWER, PVC SDR 26	489	L.F.	\$32.00	\$15,648
2. SANITARY MANHOLE	4	EACH	\$3,000.00	\$12,000
3. SANITARY TRENCH BACKFILL	489	L.F.	\$24.00	\$11,736
4. 6" SANITARY STUB	8	EACH	\$1,000.00	\$8,000
5. CONNECT TO EXISTING SEWER	1	EACH	\$2,000.00	\$2,000



December 4, 2019

Evan Walter
Assistant Village Administrator
Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527

RE: Subdivision Fees For: Cottages at Drew

Dear Evan,

Thanks to you and the team at Burr Ridge for your assistance on the Cottages at Drew Subdivision. As we move toward approval of the Final Plat of Subdivision, there is a final item for Village consideration. We received the statement of Subdivision Fees, dated November 18, 2019. In working with the Tony Perino, developer of the property, we ask that the Village incorporate the following as part of its final deliberation of the subdivision, as noted below for each of the relevant fees.

- **Preliminary Plat Fee:** Previously paid.
- **Engineering Plan Review Fee, Subdivision Inspection Fee, and Stormwater Application Fee:** To be paid per Village Code.
- **Sidewalk Donation on cul de sac Street:** The developer requests that this fee be waived as there are no other connecting sidewalks in the area.
- **Sidewalk Donation on 79th Street and Drew Avenue:** The developer requests that this fee be waived due to detrimental impact on existing wetlands that would result from sidewalk being constructed along these roadways. It is unlikely that these sidewalks will be installed.
- **Donation in Lieu of Street Improvements for 79th Street and Drew Avenue:** The developer requests that this fee be waived as street improvements would cause detrimental impact to the existing wetland along 79th Street and Drew Avenue. In addition, the recently completed improvement to 79th Street eliminates the need for this donation.

- **School Impact Fee and Park Impact Fee:** The unique nature of this development merits consideration of a different approach to these fees. Therefore, the developer will address the fees directly with the School and Park Boards, noting that the impacts of this development are minimal, and the fees could reasonably be waived or reduced. Since the final bedroom count for each of the units is yet to be determined, the developer requests that the agreed upon school and park impact fees be provided to the Village at time of building permit issuance for each home.

Thank you again for the Village's assistance with Cottages at Drew Subdivision and your consideration of the matters outlined here.

Sincerely,



Nicolas Patera, PLA
Senior Vice President



Michael Blue, FAICP
Principal



VILLAGE OF
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8B

Gary Grasso
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

November 6, 2019

Mayor Gary Grasso and Board of Trustees
7660 County Line Road
Burr Ridge, Illinois 60527

Re: Z-20-2019: 16W260 83rd Street (Odeh); Special Use and Findings of Fact

Dear Mayor and Board of Trustees:

The Plan Commission transmits for your consideration its recommendation to approve a request by Ehab Odeh on behalf of Apex Motorworks, located at 16W260 83rd Street. The petitioner requests special use approval as per Section X.F.2.a of the Zoning Ordinance for an “automobile sales, service, and rental” use.

After due notice, as required by law, the Plan Commission held a public hearing on November 4, 2019. The petitioner stated that the purpose of the request is to renew a temporary special use previously granted to Apex on a permanent basis and to expand the special use to include automobile rental and service. This petition represents a follow up to a previous petition filed by Apex (Z-15-2019) which, if approved, would have permitted the business to rent and sell vehicles but not perform maintenance on vehicles not owned by Apex. The previous petition has since been withdrawn and replaced by the current petition, which was expanded to include maintenance activities. The Plan Commission considered the brand of Burr Ridge in allowing all three business activities to occur at one business, as no vehicle rental businesses have ever located in Burr Ridge. The Plan Commission expressed support for permitting the business to perform routine maintenance on vehicles that the business either currently owned or had previously sold but did not support allowing the general public to obtain car maintenance at the subject property. After due consideration, the Plan Commission concluded that the request for the special use was appropriate and met with the character of the neighborhood. One business had objected to allowing rental vehicles, while no residents objected to the petition.

The Plan Commission, by a vote of 7 to 0, ***recommends that the Board of Trustees approve*** a request by Ehab Odeh on behalf of Apex Motorworks, located at 16W260 83rd Street. The petitioner requests special use approval as per Section X.F.2.a of the Zoning Ordinance for an “automobile sales, service, and rental” use., subject to the following conditions:

1. The special use shall be limited to Apex Motorworks in a manner consistent with the submitted business plan.
2. The special use shall be null and void if Apex Motorworks no longer operates an automobile sales, service, and rental use at 16W260 83rd Street.
3. The special use shall be temporary in nature, expiring one year from the date of any approving ordinance. If no petition for renewal is received by said date, the special use shall be null and void.

4. No advertisements for maintenance service shall be permitted on the subject property.
5. All vehicles, except for personal vehicles of customers and staff, shall be stored inside at all times.
6. All rental transactions shall have an executed transaction price of at least \$400 per day.
7. The hours of operation for sales and maintenance operations shall be limited to 10:00am to 7:00pm, Mondays through Saturdays.
8. The hours of operation for rental operations shall be limited to 10:00am to 7:00pm, seven days per week.
9. Within any 12-month period, all automobiles sold from the subject property shall comply with the following sale price requirements:
 - 75% of all automobiles sold will have an average sale price of \$75,000 or more;
 - 15% of automobiles sold may be sold for \$20,000 to \$29,999;
 - No vehicles may be sold for under \$20,000.
 - All other automobiles must be sold for \$30,000 or more.
 - Apex shall provide this data to staff prior to any future special use petitions.
10. Only vehicles that are currently owned or were previously sold by Apex may be serviced on-site. On-site maintenance of aforementioned vehicles shall occur entirely indoors, with all exterior doors closed. No body work shall be permitted on the subject property.
11. All aforementioned conditions shall apply to Prestige Exotics, which acts as a rental company for the petitioner, operating at 16W260 83rd Street.

Sincerely,

Mike Stratis, Acting Chairman
Village of Burr Ridge
Plan Commission/Zoning Board of Appeals

EXHIBIT A



Findings of Fact – Special Use Burr Ridge Zoning Ordinance

Address: _____

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.
Yes, the sale/rental of luxury/exotic automobiles does fill a void in the city of Burr Ridge.
- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
No harm or safety issues will arise from the use of luxury automobiles.
- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.
No surrounding property or vicinity will be harmed in any way whatsoever.
- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
All orderly development of any and all surrounding property will not be harmed.
- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.
All utilities are in place.
- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
All exits/entrances have been established and clearly marked.
- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.
The special use does not violate the plan of the village of Burr Ridge.
- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.
All applicable regulations of the district are adhered to and followed.



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LAMBORGHINI HURACÁN PERFORMANTE



MERCEDES BENZ G550 4x4 SQUARED



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CONTACT INFO

Serving Chicago
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f in



289 83rd Street
Burr Ridge
DuPage County
Illinois

Jul 15, 2019 11:07:29 AM

289 83rd Street

Burr Ridge

DuPage County

Illinois



APEX
MOTORWORKS
630.818.1117 www.apexdrive.com

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630-654-8181

SPECIALIZING
IN FOREIGN CARS
OIL CHANGE
TUNE UP
BRAKES
TIRE ROTATION
←



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Gary Grasso
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

May 29, 2019

Mr. Awad Odeh
Apex Motorworks
16W260 83rd Street
Burr Ridge, Illinois 60527

Dear Mr. Odeh:

I am writing to you today after attempting to contact you at your place of business via email. The Village's records indicate that the temporary special use for Apex Motorworks is set to expire on June 12, 2019, and must be re-approved by the Board of Trustees on either a temporary or permanent basis for Apex to continue to operate in the Village. Due to the timing of legal notices that must be written as part of a follow-up petition, the first meeting in which you could appear before the Plan Commission is July 1, 2019; the Village commits to honoring your business' special use beyond the June 12 deadline if you are in process of applying for a renewed special use.

Please call me at (630) 654-8181, extension 2010 to begin the process for extending your special use at your earliest convenience.

Sincerely,

EVAN B WALTER

Evan Walter
Assistant Village Administrator
Village of Burr Ridge

cc: J. Douglas Pollock, Village Administrator



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Gary Grasso
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

August 2, 2019

Apex Motorworks
16W260 83rd Street
Burr Ridge, Illinois 60527

To whom it may concern:

I am writing to you today to follow up on my letter dated May 29, 2019. The Village's records indicate that the temporary special use for Apex Motorworks expired on June 12, 2019. To continue operating an indoor automobile sales use at 16W260 83rd Street, Apex must file a petition for and receive a special use from the Village. Operation of an indoor automobile sales use in the G-I General Industrial District (in which the subject property is located) without a special use is prohibited by the Burr Ridge Zoning Ordinance. To continue operating at the subject property, please file a petition for a special use to me by **Wednesday August 28, 2019**. If no application for special use is received by this date and time, the Village will take legal action to close the business due to a lack of necessary special use permit.

Furthermore, several issues related to your business have been identified that are not permitted based upon the previously-approved special use. They are as follows:

1. Apex currently operates a vehicle rental business called Prestige Exotics (website page included). At no time has Prestige Exotics been permitted to operate as an independent vehicle rental business at 16W260 83rd Street, nor has Apex been permitted to rent vehicles as part of the original special use agreement. Vehicle rentals at 16W260 83rd Street **must cease with immediate effect** until and unless specifically authorized by the Village as part of a special use.
2. Vehicle maintenance has been observed as being advertised to the general public (photo included). This action specifically violates the previously-approved special use, which states that "there shall be no servicing of vehicles except for routine maintenance of vehicles for sale." The advertisement for and the actual servicing of vehicles from the general public **must cease with immediate effect** until and unless specifically authorized by the Village as part of a special use.

3. As part of any future petition to extend your special use at 16W260 83rd Street, staff requests sales records demonstrating that Apex has remained in compliance with Condition D of your previously-approved special use, which states:

a. Within any calendar year, all automobiles sold from the subject property shall comply with the following minimum sales price:

i. 75% of all automobiles sold will have an average sale price of \$75,000 or more;

ii. 15% of automobiles sold may be sold for \$10,000 to \$29,999;

iii. All other automobiles must be sold for \$30,000 or more.

It should be noted that Apex has the right to request the Village amend or remove this condition in any potential special use petition.

To assist in the convenience of assisting you in petitioning the Village for a special use, I have enclosed an application for a special use that may be completed and delivered to me either in person or electronically. Please call me at (630) 654-8181, extension 2010 to begin the process for requesting an extension your special use, including any potential amendments as identified in the aforementioned points 1-3 at your earliest convenience.

Sincerely,

EVAN B WALTER

Evan Walter
Assistant Village Administrator
Village of Burr Ridge

cc. Douglas Pollock, Village Administrator
Karen Thomas, Village Clerk
Andrez Beltran, Management Analyst



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Awad M. Odeh
STATUS OF PETITIONER: Business Owner
PETITIONER'S ADDRESS: 164260 83rd St., Burr Ridge, IL 60527
ADDRESS OF SUBJECT PROPERTY: _____
PHONE: 630-819-5157
EMAIL: ehab @ apexdrive.com
PROPERTY OWNER: John Hollander 708-309-6389
PROPERTY OWNER'S ADDRESS: 1801 Pratt Blvd, Elk Grove Village, IL 60011 PHONE: _____
PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)


DESCRIPTION OF REQUEST:

Permanent Special Use. Amendment to include
rental business

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 1.7 Acres EXISTING ZONING: G-I PUD
EXISTING USE/IMPROVEMENTS: Commercial Building / APEX
SUBDIVISION: Hinsdale Industrial Park
PIN(S) # 09-35-204-033

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.


Petitioner's Signature

08/27/19
Date of Filing

Julie Tejkowski

Subject: FW: Plan Commission

From: 

Sent: Tuesday, November 19, 2019 8:55 PM

To: Evan Walter <EWalter@burr-ridge.gov>; Douglas Pollock <DPOLLOCK@BURR-RIDGE.GOV>

Subject: Plan Commission

Evan,

I want to give you both a heads up that I will not be seeking a reappointment to the Plan Commission. My term will expire on February 1, 2020 and we will again be in Mexico for the month of February.

It has been such an honor to serve on this distinguished board and I can't tell you how grateful I've been to hold this position. I have learned so much and truly value this experience.

Thanks for the opportunity and hopefully this will give you enough time to appoint someone else. In the meantime, I plan to attend the remaining meetings through January 20th.

Mary Praxmarer

LAW OFFICES

STORINO, RAMELLO & DURKIN9501 WEST DEVON AVENUE
ROSEMONT, ILLINOIS 60018

(847) 318-9500

FACSIMILE (847) 318-9509

November 21, 2019

DONALD J. STORINO
MICHAEL K. DURKIN
RICHARD J. RAMELLO
NICHOLAS S. PEPPERS
THOMAS M. BASTIAN
JAMES E. MACHOLL
BRIAN W. BAUGH
ANTHONY J. CASALE
ANDREW Y. ACKER
PETER A. PACIONE
MELISSA M. WOLF
MATTHEW G. HOLMES
MICHAEL R. DURKIN
THOMAS J. HALLERANADAM R. DURKIN
JOSEPH R. PELLEGRINOJOSEPH G. KUSPER
ANGELO F. DEL MARTO
MARK R. STEPHENS
BRYAN J. BERRY
ANN M. WILLIAMS
LEONARD P. DORIO
RICHARD F. PELLEGRINO
DONALD J. STORINO II
BRIAN R. KUSPER

OF COUNSEL

IN REPLY REFER TO FILE NO.

Mr. J. Douglas Pollock
Village Administrator
Village of Burr Ridge
7660 County Line Road
Burr Ridge, Illinois 60527

Re:

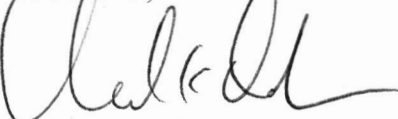
Dear Mr. Pollock:

The law firm of Storino, Ramello & Durkin wishes to express its appreciation for the opportunity to provide legal representation to the Village of Burr Ridge. With the approach of a new calendar year, the firm is requesting that the Village of Burr Ridge re-examine the hourly rates charged by SRD for both general corporate, litigation and prosecution services.

Kindly consider this our request to increase the hourly rates, commencing January 1, 2020, to \$200.00 per hour for both general corporate and litigation services, and to \$180.00 per hour for prosecution services. Thank you.

Respectfully,

STORINO, RAMELLO & DURKIN



Michael K. Durkin

MKD/jas

Municipality/Point of Contact	Hourly Corporate Attorney Rate	Hourly Prosecuting Attorney Rate	Hourly Adjudication Attorney Rate
Riccardo Ginex Oak Brook	\$225.00		\$144.47
Jeffrey O'Dell Roselle	\$165.00	\$130.00	\$540 flat rate for one adjudication per month
Steve May Westmont	\$200.00	\$195.00 court session \$100.00 out of court	\$250 first hour and \$75 after for code adjudication
Jim Grabowski Elmhurst	\$175.00	\$175.00	\$175.00
John Coakley Warrenville	\$305.00 (After \$13,500 Retainer)	\$190 court session \$100 ordinance violation prep \$140 building code violation prep	\$220.00
Rich Keehner, Jr. Villa Park	\$215.00	DUI: \$103.50-180 Other: \$150-180	\$200.00
Darrel Langlois Hinsdale	\$200-\$210	Flat fee of \$1,500 for court calls Matters outside of court \$175-\$240	\$150 Per hearing
Joseph Carey Carol Stream	\$215.00	Not to exceed \$111,000 per year	Appx. \$1,000 per month
Brian Townsend Schaumburg	\$215 Partner \$205 Associate (After \$15,000 Retainer)		Covered by retainer
Carie Anne Ergo Village Administrator, Itasca	\$185.00 partner \$160.00 associate		
Richard Veenstra Corporation Counsel, Aurora	\$185 for most work up to \$220 for litigation	\$72,000 per year for DUI prosecution \$72,000 per year for ordinance enforcement	\$2400-\$2900 per month
Curt Barrett Village of Winfield	\$185.00	\$150.00	\$185.00
Nicole Aranas Village of Lombard	\$210.00	\$550 Flat fee	\$250 for first hour \$75 for following hours
Kevin Barr Village of Clarendon Hills	\$220.00	\$185 in session \$100 out of court	\$200 per hearing
Peter Scalera Village of Bloomingdale	\$195.00	\$120.00	\$150.00
Mary Ribando Village of Bensenville	\$175.00	\$150.00	\$150.00
Michael Guttman City of West Chicago	\$200.00	\$135.00	\$135.00



8F

VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

M E M O

TO: J. Douglas Pollock, Village Administrator
FROM: Karen Thomas, Village Clerk
DATE: December 9, 2019
SUBJECT: **2020 Regular Meeting Dates**

The following is a list of 2020 Regular Meeting dates of the Mayor and Board of Trustees for their approval. All meetings begin at 7:00 p.m.

Monday	January 13
Monday	January 27
Monday	February 10
Monday	February 24
Monday	March 9
Monday	March 23
Monday	April 13
Monday	April 27
Monday	May 11
Monday	May 26 (Tuesday)
Monday	June 8
Monday	June 22
Monday	July 13
Monday	July 27
Monday	August 10
Monday	August 24
Monday	September 14
Monday	September 28
Monday	October 12
Monday	October 26
Monday	November 9
Monday	November 23
Monday	December 14
Monday	December 28 (Not Scheduled)

November 21, 2019

8G

Margaret Strama

Dear Chief/Village of Burr Ridge,

Please accept this letter as a notice of my resignation from my position as a Records Clerk effective December 5th, 2019.

It has been a pleasure to work for the Police Department for the past four years and I am grateful for all the opportunities and experience. I have enjoyed my time working for the village and I will never forget the relationships I've gained with my colleagues and members of the community.

If there is anything I can do to help with the transition, please let me know. I wish everyone the best for the future.

Thank you.

Sincerely,

Margaret Strama



McFarlane Douglass & Co.

143 Tower Drive, Burr Ridge, IL 60527
800-339-2900
630-325-2399 Fax

www.mcfarlanedouglass.com
info@mcfarlanedouglass.com

Invoice 81

Invoice Date 12/02/19 Invoice # 307799 Page 1

Please mail checks to:

**McFarlane Douglass & Co.
143 Tower Dr.
Burr Ridge, IL 60527**

Billing Address:

VILLAGE OF BURR RIDGE
7660 County Line Road
Burr Ridge, IL 60527

Service Location:

VILLAGE OF BURR RIDGE
7660 County Line Road
Burr Ridge, IL 60527

Customer #
MD101370

Your Reference

Shipment Date
11/18/19

Terms
C.O.D.

Description	Item Location	Qty.	Unit Price	Extended Price
-------------	---------------	------	------------	----------------

One time sale of a
Highway display

South and North exit to
County line Rd.

Holiday Decoration Rental

1 19,500.00 19,500.00

**Stars

**Birch

**Lit Ground Cover

**Labor, Materials & Removal

APPROVED

Signature:

Dept. # 23-0300-50-5075

Category Hotel Motel Tax

Date Paid: Salway Project

Vendor No:

*****Past Due Balances*****

A Finance Charge of 2% per month, annual rate of 24%
will be applied to accounts 30 days past due.

31 - 60 Days	61 - 90 Days	Over 90 Days
0.00	0.00	0.00

AMOUNT: 19,500.00
Tax 0.00
TOTAL 19,500.00

Reimbursement for Illinois Sales Tax
paid by McFarlane Douglass.

Credit Card Payment Charges: 3% Bank fee +0.5% Administrative fee.

VILLAGE OF BURR RIDGE

8J

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 12/09/19

PAYMENT DATE: 12/10/19

FISCAL 19-20

FUND	FUND NAME	Pre- Paid	PAYABLE	TOTAL AMOUNT
10	General Fund		73,478.91	73,478.91
23	Hotel/Motel Tax Fund		1,500.00	1,500.00
32	Capital Improvements		22,395.10	22,395.10
41	Debt Service Fund	59,700.00		59,700.00
51	Water Fund		91.42	91.42
52	Sewer Fund		839.44	839.44
61	Information Technology		10,038.00	10,038.00
	TOTAL ALL FUNDS	\$59,700.00	\$ 108,342.87	\$ 168,042.87

PAYROLL

PAY PERIOD ENDING November 30, 2019

	TOTAL
	PAYROLL
Administration	18,651.53
Finance	7,595.93
Police	118,998.94
Public Works	20,804.45
Water	25,656.51
Sewer	7,687.78
TOTAL	\$ 199,395.14
GRAND TOTAL	\$ 367,438.01

12/04/2019 04:47 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
INVOICE DUE DATES 12/09/2019 - 12/09/2019
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 1/4

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 1010 Boards & Commissions					
10-1010-40-4040	IL Municipal Review Magazine	Illinois Municipal League	01/01/20	2020 Dues	1,250.00
10-1010-50-5010	General Legal Services Oct19	Storino, Ramello, & Durkir	11/21/19	11/21/19	5,393.56
10-1010-50-5010	Prosecution Oct19	Storino, Ramello, & Durkir	11/21/19	11/21/19	1,860.00
10-1010-50-5010	Sterigenics Oct19	Storino, Ramello, & Durkir	11/21/19	11/21/19	113.10
10-1010-50-5010	FOIA's Oct19	Storino, Ramello, & Durkir	11/21/19	11/21/19	4,044.30
10-1010-50-5025	Postage Permit	Postmaster	11/20/19	Permit#259000	235.00
10-1010-80-8010	Chili Cook Off Supplies/Madden A	Julie Tejkowski	11/20/19	11/20/19	103.77
Total For Dept 1010 Boards & Commissions					12,999.73
Dept 2010 Administration					
10-2010-40-4040	Suburban Life 2020	Suburban Life Media	01/17/19	2116 2020	52.00
10-2010-50-5035	Public Hearing Notices Oct19	Chicago Tribune	10/01/19	011974104000	206.76
10-2010-50-5075	Plan Review Permit 19-315	B & F Construction Code Se	11/20/19	52659	895.50
Total For Dept 2010 Administration					1,154.26
Dept 4010 Finance					
10-4010-50-5035	Publish Treasurers Report Oct19	Chicago Tribune	10/01/19	011974104000	470.40
10-4010-50-5060	Auditing Services Final bill	BKD, LLP	11/15/19	BK01124903	4,225.00
10-4010-50-5060	Actuarial Services 2019	Lauterbach & Amen, LLP	10/10/19	40595	2,250.00
Total For Dept 4010 Finance					6,945.40
Dept 4020 Central Services					
10-4020-50-5050	Maintenance-Equipment VH Copier	Image Systems & Business S	10/18/19	299936	503.32
10-4020-60-6010	Kitchen Coffee Supplies VH Nov19	Commercial Coffee Service,	11/20/19	156069	69.40
Total For Dept 4020 Central Services					572.72
Dept 5010 Police					
10-5010-40-4032	FY 19-20 Uniform Allowance Overt	JG Uniforms, Inc.	11/12/19	64931	128.45
10-5010-40-4032	Initial Uniform Allowance - Shai	JG Uniforms, Inc.	11/19/19	65278	704.80
10-5010-40-4032	Jacket Replacement	JG Uniforms, Inc.	11/01/19	64344	266.90
10-5010-40-4041	Employment Recruitment PD Nov19	Concentra Medical Centers	11/05/19	1011993288	91.50
10-5010-40-4041	Employment Recruitment PD Nov19	Concentra Medical Centers	11/05/19	1011978008	395.00
10-5010-40-4042	Implementing new Marijuana Law M	Illinois Assn of Chiefs of	11/21/19	5317	57.00
10-5010-50-5050	Maintenance-Equipment Dec19	J&L Electronic Service, Ir	12/01/19	1002498	37.90
10-5010-50-5051	Squad 1612 Mount & Balance/Wiper	B & E Auto Repair Service	11/16/19	135738	117.36
10-5010-50-5051	Squad 1707 Check Engine/Filters,	Willowbrook Ford	11/16/19	6313270/3	655.15
10-5010-50-5095	PD Drug Testing	First Advantage Occupatio	10/31/19	2516061910	171.48
10-5010-60-6000	MMF2645004 - Desktop Vertical Or	Runco Office Supply	11/22/19	769028-0	25.99
10-5010-60-6010	Prisoners Meal Nov19	Wex Bank	11/22/19	62436466	15.06
10-5010-60-6020	Gasoline & Oil PD Nov19	Wex Bank	11/22/19	62436466	80.57
10-5010-70-7020	2020 Ford Utility Police Interce	Currie Motors	11/19/19	E7345	37,560.00
Total For Dept 5010 Police					40,307.16
Dept 6010 Public Works					
10-6010-40-4032	Uniform rentals/cleaning Nov19	Breens Inc.	11/26/19	386942	83.29
10-6010-40-4032	Safety Goggles/Gloves Nov19	Russo's Power Equipment	11/26/19	I10048857	79.97
10-6010-40-4042	Mileage Reimbursement PW to VH N	Preeti Goel	11/30/19	11/30/19	20.88
10-6010-40-4042	Mileage Reimbursement PW to VH N	Shirley Benedict	11/30/19	11/30/19	17.40
10-6010-50-5051	Unit 32 Starting System Repairs	B & R Repair & Co.	11/15/19	WI073542	2,565.14
10-6010-50-5054	Maintenance Street Lighting	Rag's Electric	11/01/19	22310	440.51
10-6010-50-5055	Madison & 97th RR Crossing	Meade Electric Company, Ir	11/12/19	690372	515.38
10-6010-50-5055	Madison & 97th RR Crossing	Meade Electric Company, Ir	11/12/19	690375	147.91
10-6010-50-5085	Shop Towel rentals Nov19	Breens Inc.	11/26/19	386942	4.50

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INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
INVOICE DUE DATES 12/09/2019 - 12/09/2019
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

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GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-50-5095	PW Drug Testing	First Advantage Occupatio	10/31/19	2516061910	187.32
10-6010-60-6010	Operating Supplies Nov19	Menards - Hodgkins	11/14/19	37829	72.55
10-6010-60-6041	Supplies-Vehicles PW	FleetPride, Inc.	11/08/19	39636354	103.04
10-6010-60-6041	Supplies-Vehicles Nov19	Rush Truck Centers, Chica	11/18/19	3017335661	122.75
10-6010-60-6043	Supplies-Trees Nov19	Menards - Hodgkins	11/20/19	38248	51.18
10-6010-60-6043	Supplies-Trees Nov19	Menards - Hodgkins	11/19/19	38189	166.68
10-6010-60-6043	Supplies-Trees Nov19	Russo's Power Equipment	11/26/19	110048857	99.98
10-6010-60-6050	Small Tools Nov19	Menards - Hodgkins	11/14/19	37840	119.99
10-6010-60-6050	Small Tools Nov19	Menards - Hodgkins	11/14/19	37829	44.91
Total For Dept 6010 Public Works					4,843.38
Dept 6020 Buildings & Grounds					
10-6020-50-5052	VH HVAC tubing,controls/dampers	Dynamic Heating & Piping C	11/07/19	203379	715.00
10-6020-50-5052	VH HVAC tubing,controls/dampers	Dynamic Heating & Piping C	10/23/19	203353	1,302.00
10-6020-50-5052	VH HVAC tubing,controls/dampers	Dynamic Heating & Piping C	10/30/19	203356	2,173.00
10-6020-50-5058	Mat rentals/PD Nov19	Breens Inc.	11/26/19	386937	36.00
10-6020-50-5058	Mat rentals/VH & PW Nov19	Breens Inc.	11/26/19	386937	44.50
10-6020-50-5058	Janitorial Services - PD Nov19	Eco-Clean Maintenance, Inc	11/25/19	8304	840.24
10-6020-50-5058	Janitorial Services - VH Nov19	Eco-Clean Maintenance, Inc	11/25/19	8304	661.83
10-6020-50-5058	Janitorial Services - PW Nov19	Eco-Clean Maintenance, Inc	11/25/19	8304	394.19
10-6020-50-5080	Utilities Rustic Acres Nov19	NICOR Gas	11/18/19	81-11-07-32419 Nov19	80.06
10-6020-50-5080	Utilities VH Garage Nov19	NICOR Gas	11/18/19	57-96-14-00009 Nov19	107.79
10-6020-50-5080	Utilities PD Nov19	NICOR Gas	11/15/19	66-46-89-14693 Nov19	262.76
10-6020-60-6010	First Aid Supplies PD Oct19	AUCA Western First Aid & S	10/25/19	ORD5-002315	38.89
Total For Dept 6020 Buildings & Grounds					6,656.26
Total For Fund 10 General Fund					73,478.91
Fund 23 Hotel/Motel Tax Fund					
Dept 0000 Assets, Liabilities, Fund Bal					
23-0000-16-1600	Concert on the Greens 08/14/20	Blue Raven Artists Managen	01/10/20	251324	1,500.00
Total For Dept 0000 Assets, Liabilities, Fund Ba					1,500.00
Total For Fund 23 Hotel/Motel Tax Fund					1,500.00
Fund 32 Sidewalks/Pathway Fund					
Dept 8020 Sidewalks/Pathway					
32-8020-70-7052	County Line Rd Sidewalk Improvem	Burns & McDonnell	11/14/19	117628-4	22,395.10
Total For Dept 8020 Sidewalks/Pathway					22,395.10
Total For Fund 32 Sidewalks/Pathway Fund					22,395.10
Fund 41 Debt Service Fund					
Dept 4030 Debt Service					
41-4030-80-8117	Interest-Debt Crt Series 2017	US Bank	12/13/19	A/C 180120521620	59,700.00
Total For Dept 4030 Debt Service					59,700.00
Total For Fund 41 Debt Service Fund					59,700.00
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-40-4032	Uniform rentals/cleaning Nov19	Breens Inc.	11/26/19	386942	91.42
Total For Dept 6030 Water Operations					91.42

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Fund 51 Water Fund					
Total For Fund 51 Water Fund					91.42
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Uniform rentals/cleaning Nov19	Breens Inc.	11/26/19	386942	28.44
52-6040-50-5068	Maintenance - Three lift station	Metropolitan Industries, I	11/22/19	INV011769	811.00
Total For Dept 6040 Sewer Operations					839.44
Total For Fund 52 Sewer Fund					839.44
Fund 61 Information Technology Fund					
Dept 4040 Information Technology					
61-4040-40-4042	Annual Tech Training License	CustomGuide, Inc.	11/26/19	24835	2,423.00
61-4040-50-5020	IT Support Remote & Onsite	Orbis Solutions	11/22/19	5569557	1,225.00
61-4040-50-5020	IT Support Remote & Onsite	Orbis Solutions	11/11/19	5569529	1,675.00
61-4040-50-5020	IT Support Remote & Onsite	Orbis Solutions	10/22/19	5569465	1,175.00
61-4040-50-5020	IT Services Remote Support	Orbis Solutions	12/02/19	5569593	1,025.00
61-4040-50-5050	Power Supply	Orbis Solutions	11/22/19	5569557	45.00
61-4040-50-5050	Printer Maintenance	Orbis Solutions	11/11/19	5569529	520.00
61-4040-50-5061	GIS Services Nov19	Cloudpoint Geographics, Ir	11/30/19	002516	1,950.00
Total For Dept 4040 Information Technology					10,038.00
Total For Fund 61 Information Technology Fund					10,038.00

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
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Fund Totals:					
Fund 10 General Fund					73,478.91
Fund 23 Hotel/Motel Tax Fund					1,500.00
Fund 32 Sidewalks/Pathway Fund					22,395.10
Fund 41 Debt Service Fund					59,700.00
Fund 51 Water Fund					91.42
Fund 52 Sewer Fund					839.44
Fund 61 Information Technology F					10,038.00
Total For All Funds:					<hr/> 168,042.87