



**REGULAR MEETING
MAYOR & BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE**

AGENDA

**August 26, 2019
7:00 P.M.**

- 1. CALL TO ORDER & PLEDGE OF ALLEGIANCE**
 - Henry Bryndal, St. Isaac Jogues
- 2. ROLL CALL**
- 3. PRESENTATIONS AND PUBLIC HEARINGS**
- 4. CONSENT AGENDA – OMNIBUS VOTE**

All items listed with an asterisk (*) are considered routine by the Village Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen so request, in which event the item will be removed from the Consent Agenda, discussed by the Board, opened for public comment, and voted upon during this meeting.

5. MINUTES

- A. * Approval of Regular Board Meeting of August 12, 2019
- B. * Receive and File Veterans Committee Meeting of July 31, 2019

6. ORDINANCES

- A. * Approval of an Ordinance Amending Section 50.02, Entitled "Exclusive Disposal Contract for Residences," or Chapter 50, Entitled "Refuse Control" of the Burr Ridge Village Code
- B. * Approval of An Ordinance Amending the Budget Adoption Ordinance for All Corporate Purposes of the Village of Burr Ridge, DuPage and Cook Counties, Illinois, for the Fiscal Year Commencing on the First Day of May, 2018 and Ending on the Thirtieth Day of April, 2019
- C. * Approval of an Ordinance Granting an Amendment to Planned Unit Development Ordinance #A-834-10-05 to Add "Coworking Office Space" as

Prior to voting on each agenda item, the Mayor will invite public comment on that item. The Mayor also will invite any person in attendance to address the Board on any other item of concern under Section 9 Public Comments. Each speaker addressing the Board of Trustees is asked to limit her or his comment to five minutes.

a First-Floor Special Use in Building 6 of the Village Center and a Special Use for a “Coworking Office Space” in Building 6 of the Village Center (Z-11-2019: 800 Village Center Drive – Hassan)

- D. * Approval of an Ordinance Granting Conditional Sign Approval for a Non-Residential Sign in a Residential District and for Three Variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance to Allow a Sign; (1) Exceeding the Maximum Permitted Size for a Ground Sign; (2) With an Electronic Changeable Message Panel; and (3) Located Less Than 10 Feet from a Property Line (S-04-2019: 7425 Wolf Road – Pleasant Dale Park District)
- E. * Approval of an Ordinance Granting Conditional Sign Approval for a Non-Residential Sign in a Residential District and for Three Variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance to Allow a Sign; (1) Exceeding the Maximum Permitted Size for a Ground Sign; (2) With an Electronic Changeable Message Panel; and (3) Located Less Than 10 Feet from a Property Line (S-05-2019: 7450 Wolf Road – Pleasantdale School District 107)
- F. * Approval of an Ordinance Approving a Variation from Section IV.J of the Zoning Ordinance to Permit a Six-Foot Tall Fence in the Front and Side Yard of a Residential Property (V-06-2019: 8335 County Line Road – Pizzuto)
- G. * Approval of an Ordinance Granting an Amendment to Planned Unit Development Ordinance #A-834-09-16 to Permit a Reconfiguration and Expansion of an Existing Surface Parking Lot (Z-08-2019: 120 Harvester Drive – Olquin)
- H. * Approval of an Ordinance Amending Section IV.K of the Zoning Ordinance Regarding the Definition of Commercial Vehicles (Z-10-2019: Text Amendments – Commercial Vehicles)

7. RESOLUTIONS

8. CONSIDERATIONS

- A. Update Regarding Sterigenics in Willowbrook, IL
- B. Continued Discussion of Burr Ridge Address System
- C. Continued Discussion Regarding State of Illinois Cannabis Regulation and Tax Act
- D. Consideration of an Amendment to the Subdivision Ordinance to Remove Option for Provision of Private Open Space in lieu of Park Donation
- E. * Approval of Recommendation to Award Contract for 2019-2020 Tree Removal to Desidario Landscaping LLC, of Grant Park, Illinois in the Amount of \$45,642.00

- F. * Approval of Recommendation to Award Contract for 2019 Branch Pickup to Kramer Tree Specialists, Inc., of West Chicago, Illinois, in the Amount of \$24,115
- G. * Approval of Recommendation to Award Contract for 2019 Concrete Replacement to Davis Concrete Construction Company, of Monee, Illinois, in the Amount of \$20,196.25
- H. * Approval of Recommendation to Award Contract for Purchase of Replacement Arrow Board for the Public Works Department to Traffic Control and Protection, Inc. of Bartlett, Illinois in the amount of \$5,900.00
- I. * Approval of Request for Raffle License for Hope's Front Door and Hosting Facility License at 8738 Aintree Lane in Burr Ridge for a Fundraising Event on September 14, 2019
- J. * Approval of Mayor Grasso's Recommendation to Appoint Ramzi Hassan to the Economic Development Committee
- K. * Approval of Vendor List dated August 26, 2019 in the Amount of \$653,607.59 for all Funds, plus \$192,988.97 for Payroll, for a Grand Total of \$846,596.56, which includes Special Expenditures of \$20,312.50 for 2019/2020 Annual Dues to the DuPage Convention & Visitors Bureau and \$11,085.49 to Burns & McDonnell regarding the County Line Road Sidewalk Project

9. PUBLIC COMMENTS

10. REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS

11. CLOSED SESSION

- A. Approval of Closed Session Minutes of July 22, 2019
- B. Discussion of Collective Bargaining Issues

12. RECONVENED MEETING

- A. Consideration of Recommendation to Approve Union Contract for Patrol Officers

13. ADJOURNMENT



TO: Mayor and Board of Trustees
FROM: Village Administrator Doug Pollock and Staff
SUBJECT: Regular Meeting of August 26, 2019
DATE: August 22, 2019

6. ORDINANCES

A. Amend Chapter 50 (Refuse Control)

Attached is an amendment to the Municipal Code clarifying the requirement that residential properties must use and pay for the Village franchised scavenger service (Groot Industries).

The Village first entered into a franchise agreement for a single scavenger service in 2017. Our intent and agreement with Groot is that all residents must pay for and use garbage collection services provided by Groot Industries. There has been isolated incidences where a resident has refused to pay claiming that they do not use the service and therefore, should not have to pay. Apparently, they haul their garbage to another location for disposal (which is illegal under State law). Although staff believes the law currently requires each and every resident to pay for garbage collection whether they use it or not, the Village Attorney has advised that an amendment to the Municipal Code explicitly stating this requirement is needed.

It is our recommendation: That the Board approves the Ordinance.

B. Amend Budget Adoption Ordinance FY 2018/2019

Attached is the annual Budget Amendment Ordinance prepared in response to the final audit of the fiscal year 2018-19 Budget. Budget amendments are typically done after the completion of the annual audit field work to reconcile the final budget. Budget amendments are also done at such times that larger expenditures are approved by the Village Board that were not included in the budget for the current fiscal year. At this time, the field work for the audit of the fiscal year 2018-19 budget has been completed and a reconciliation amendment is proposed.

The bottom line of the audit field work is that the anticipated transfer from prior year General Fund surpluses to pay for fiscal year 2019-20 capital projects may be reduced from \$199,950 to \$168,844. This reduction in the transfer results from the following:

- A reduction in actual costs for capital projects in FY 19-20 of \$342,470. This reduction in costs was due to lower than anticipated bids for the Burr Ridge Parkway resurfacing project and the County Line Road sidewalk project and elimination of the sidewalk project at 87th and County Line

Road (which is now expected to be completed by a developer at no cost to the Village).

- A reduction in actual revenues in FY 18-19 of \$311,364. The estimated General Fund surplus in the budget approved on April 8, 2019 was \$667,790. The actual surplus was \$356,426. This shortfall was due primarily to less than expected revenues in the final quarter of FY 18-19.
- Based on the above, the transfer from prior year General Fund surpluses may be reduced from \$199,950 to \$168,844.

The attached Budget Amendment Ordinance covers the amounts needed to be transferred from the General Fund to Capital Projects Funds to pay for Fiscal Year 19-20 capital projects. The transfers summarized below reflect these changes in the final Fiscal Year 2018-19 Budget:

- A \$395,000 transfer from the General Fund to the Capital Projects Fund
- A \$130,000 transfer from the General Fund to the Sidewalk/Pathway Fund

It is our recommendation: That the Board approves the Ordinance.

C. Amend PUD and Coworking Space Special Use

Please find attached an ordinance granting approval of an amendment to Planned Unit Development Ordinance #A-834-10-05 to add “co-working office space” as a first-floor special use in Building 6 of the Village Center and a special use for a “co-working office space” in Building 6 of the Village Center for Life Time Work, while recommending denial of a revision to the exterior building footprint of Building 6 of the Village Center. The following conditions were included in the ordinance at the direction of the Board:

1. The special use shall be limited to Life Time Work in a manner consistent with the submitted business plan attached hereto as Exhibit A.
2. The special use shall be null and void should Life Time Work and its business entities or partners no longer operate the coworking space at 800 Village Center Drive within Building 6 of the Village Center.
3. Life Time Work shall be permitted to be open to the public between the hours of 7:00am-10:00pm, with private key-fob access granted only to customers outside of these hours.
4. The breezeway bisecting the first floor of Building 6 shall remain in place as shown in the original PUD site plans.
5. No more than seven vehicles used by the patrons of Life Time Work shall be permitted to park in the east lot of Building 6 at any one time as indicated by the yellow outline in Exhibit B. All such vehicles shall be marked with a clear sticker or placard.

It is our recommendation: That the Ordinance be approved.

D. Conditional Sign Approval and Sign Variations – Pleasant Dale Park

Please find attached an ordinance granting approval of a conditional sign for a non-residential sign in a residential district and for three variations from section 55.04.B and section 55.11.K of the sign ordinance to allow a sign: (1) exceeding the maximum permitted size for a ground sign; (2) with an electronic changeable message panel; and (3) located less than 10 feet from a property line at Pleasant Dale Park District. The following conditions were included in the ordinance at the direction of the Board:

1. The sign shall comply with the sign elevations and the sign location plan attached hereto.
2. There shall be no animation, videos, or other moving text within the electronic message panel.
3. The electronic message panel shall be turned off every night from 11:00 p.m. to 6:00 a.m.
4. The electronic message panel shall be permitted to message changes no more than every 10 seconds.
5. The sign shall display only advertisements which promote the activity of governmental bodies.

It is our recommendation: That the Ordinance be approved.

E. Conditional Sign Approval and Sign Variations – Pleasantdale School

Please find attached an ordinance granting approval of a conditional sign for a non-residential sign in a residential district and for three variations from section 55.04.B and section 55.11.K of the sign ordinance to allow a sign: (1) exceeding the maximum permitted size for a ground sign; (2) with an electronic changeable message panel; and (3) located less than 10 feet from a property line at Pleasantdale School District 107. The following conditions were included in the ordinance at the direction of the Board:

1. The sign shall comply with the sign elevations and the sign location plan attached hereto.
2. There shall be no animation, videos, or other moving text within the electronic message panel.
3. The electronic message panel shall be turned off every night from 11:00 p.m. to 6:00 a.m.
4. The electronic message panel shall be permitted to message changes no more than every 10 seconds.
5. The sign shall display only advertisements which promote the activity of governmental bodies.
6. The top of the sign shall be flush across the entirety of the sign's elevation.

It is our recommendation: That the Ordinance be approved.

F. Variations to Permit Six-Foot High Fence in a Side and Front Yard

Please find attached an ordinance granting approval of variations to permit a six-foot tall fence in the front and side yards of a residential property at 8335 County Line Road.

It is our recommendation: That the ordinance be approved.

G. Amend PUD Ordinance to Expand a Parking Lot

Please find attached an ordinance granting approval of an amendment to Planned Unit Development Ordinance #A-834-09-16 to permit a reconfiguration and expansion of an existing surface parking lot at 120 Harvester Drive.

It is our recommendation: That the Ordinance be approved.

H. Amend Zoning Ordinance to Define Commercial Vehicles

Please find attached an ordinance granting approval of an amendment to Section IV.K of the Zoning Ordinance classifying personal vehicles used for rental purposes as commercial vehicles.

It is our recommendation: That the Ordinance be approved.

8. CONSIDERATIONS

A. Sterigenics Update

On behalf of Burr Ridge and Willowbrook, legal counsel has filed public comments on the Sterigenics application for a construction permit a copy of which is posted on the Village web site. The next important dates include filing of comments on August 23 regarding the September 6 continued hearing for the proposed court order settlement and September 22 for the final decision by the US EPA regarding the construction permit.

B. Burr Ridge Address System

The Board of Trustees has discussed the possibility of eliminating the Du Page County prefix addresses (e.g. 15W) on several occasions. This was first considered by the Board in 2004. In April of 2018, the Board considered this once again and directed staff to begin research. On January 28, 2019 the Board tabled consideration of this matter pending additional research by staff.

To summarize, Village staff continues to receive inquiries and requests from residents and businesses to change their address to eliminate the prefix. If the change is consistent with other addresses on the same block, staff is able to change the address. If eliminating the prefix creates a possible duplicate address or would not be consistent with other addresses on the same block,

the request for an address change is not approved. It is estimated that there are 2 to 4 such requests per year.

The most common reason for address change requests are concerns about delivery and service providers finding a property. As can be seen from some of the attached letters, some property owners already dropped the prefix and this creates confusion for service providers (including sometimes emergency responders). Another common complaint is that the prefix address does not reflect the suburban character of the Village. A common request is when a new business is opening and they would prefer to use a more traditional address.

As noted, staff has been directed by the Board to recommend changes to the Village address system that would eliminate the prefix addresses. To accomplish this objective, staff recommends the following:

- Dropping the 15W for east-west addresses between County Line Road and Madison Street (e.g. 15W116 59th Street becomes 116 59th Street);
- Changing the 16W addresses west of Madison Street to continue the block numbers between County Line Road and Madison Street (e.g. 16W020 79th Street becomes 820 79th Street); and
- Changing the north-south addresses to correspond with the numbered street names (e.g. 6S650 Garfield Avenue becomes 6150 Garfield Avenue).

Attached is an updated list of all addresses in the Village that use a Du Page County prefix (including 15W, 16W, 9S, 10S and 11S). There are a total of 706 properties that have a prefix address. Also attached is a copy of a letter sent to property owners impacted by the potential address change and copies of emails from property owners in response to the notification letter. As of the publication of this agenda summary, there have been 29 responses to the Village letter. It appears that 19 of those responses object to the address change, 5 are in support of the change, and the rest are neutral.

Village staff has notified our dispatch service (Du Comm), the two fire districts that serve the Village, and the Willowbrook Post Office. None of these agencies have objections to the changes with the only concerns being proper notifications. The Post Office indicated they would keep both the new and old address in their database and would continue to deliver mail to a property regardless of which address is used.

If the Board decides to proceed with the address changes, it is recommended that the changes would be effective at a later date; perhaps January 1, 2020. In the meantime, staff will provide several notices to property owners reminding them of the pending change and will continue to work with other agencies to ensure a smooth transition.

It is our recommendation: That the Board direct staff to proceed with notifications and implementation of the address changes with said changes becoming effective January 1, 2020.

C. Illinois Cannabis Regulation and Tax Act

The Board of Trustees first discussed this issue at its July 22 meeting. At that time, staff provided information regarding the Village options relative to this State of Illinois legislation. In summary, the Village must determine if it will allow cannabis businesses in the corporate limits. Cannabis businesses may include retail sales, smoking lounges, and cultivation facilities. Although the use and possession of cannabis will be allowed in the Village and throughout the State of Illinois on January 1, 2020, municipalities may prohibit or regulate the location of cannabis-related businesses within its borders.

In order to provide for public comment and policy evaluation of this issue, staff recommends that the Board of Trustees forward this matter to the Plan Commission and the Economic Development Committee for further review. The Plan Commission would be tasked with recommending zoning regulations for cannabis businesses while the Economic Development Committee would review and advise the Board of Trustees regarding economic development impacts on the Village.

It is our recommendation: that the Board directs the Plan Commission and Economic Development Committee to provide recommendations and information within their purviews relative to the Illinois Cannabis Regulation and Tax Act.

D. Subdivision Ordinance – Remove Provision of Private Open Space in Lieu of Park Donation

The Village of Burr Ridge Subdivision Ordinance provides regulations for the subdivision of land. In addition to requirements for construction of infrastructure for new subdivisions (streets, stormwater management, water, sewer, etc.), the Subdivision Ordinance also measures the impact of a subdivision on school and park land and requires a donation of land or money based on the assessed impact.

Section X of the Subdivision Ordinance provides the regulations for assessing park land needs for a subdivision. Typically, a subdivision is required to either provide a donation of land to the local Park District or a cash donation in lieu of land. With only a few exceptions, the cash donation is typically preferred by the Park District and by the developer.

Section X.A.4 provides an exception to the park land or cash donation requirement. This exception allows a developer to provide privately owned open space in lieu of land or cash donation. To our knowledge, the only time this exception was used was by the developer of Lakeside Pointe on Bridewell Drive. In this case, the developer built a private park with a public access easement.

The Pleasant Dale Park District has requested that this option be eliminated. It is their preference that the Park District be allowed to determine whether a developer is allowed to construct a park or provide a cash donation.

A copy of the Park Donation regulations is attached. Section X.A.4 begins on Page 2. If this section is deleted as requested by the Park District, either a land donation or a cash contribution would be required by a developer.

It is our recommendation: That the Board provide direction to staff to prepare an Ordinance amending the Subdivision Ordinance to delete the option for a private open space in lieu of a park land or cash donation.

E. Award Contract for 2019-2010 Tree Removal to Desidario Landscaping

Since 2014, at the peak period of emerald ash borer (EAB) infestation, the Village has removed 1,450 parkway ash trees. Our EAB managed decline program consisting of targeted tree treatment and aggressive tree removal has tempered what could have been a more devastating effect to our urban forest.

Our Village Arborist in the Department of Public Works has identified 149 parkway trees qualifying for removal this Summer: 85 are ash trees in decline from EAB infestation, and the remaining 64 are miscellaneous maple trees and other species. Of the ash trees to be removed, 30 trees (35%) are ash trees that were being treated. The total ash tree removal this year is a decrease from 110 removed in 2018 and a significant improvement since 2016 when a total of 450 trees were removed in the peak EAB infestation.

The Village obtained competitive bids for its tree removal contract in 2015 and awarded a contract to the low-bidder, Desiderio Landscaping LLC, of Grant Park, Illinois. The Village executed contract renewals in 2016 and 2017, and extended the contract in 2018 while holding the 2017 unit prices. This contractor has agreed to unit price increases for the 2019-2020 contract of 1.6% from the 2017 prices, which adjusted prices are still 2.5% under the next lowest bid received in 2015.

Desiderio Landscaping has performed satisfactorily in each year of their contract, while being professional and courteous to residents, vehicular traffic, and Village staff. This same contractor has also performed satisfactorily in the Village's consolidated landscaping maintenance contract since 2016.

The Arborist estimates that 77 additional trees will likely require removal in Winter and early Spring; therefore, a total of 226 trees would be removed, and the contract cost would be \$45,642. The FY19-20 General Fund Budget provides \$54,000 for parkway tree removals; therefore, the proposed contract amount would be \$8,358 less than budgeted.

It is our recommendation: That the Village Board award the 2019-2020 Parkway Tree Removal Contract to Desiderio Landscaping LLC, of Grant Park, Illinois, in the amount of \$45,642.00.

F. Award Contract for 2019 Branch Pickup to Kramer Tree Specialists

The Village of Burr Ridge provides its residents a branch pick-up program; which this calendar year began as an annual collection each fall with elimination of a spring collection. This program is a benefit for our residents who perform the work on their own private property and would like to easily dispose of their branches; therefore, a tree or landscape contractor's waste is not allowed. The spring collection was eliminated, in part, because Burr Ridge residents receive, at no additional charge, weekly, unlimited, landscape waste collection between April 1st and December 15th as part of their regular waste pick-up.

In 2014, the Department of Public Works solicited prices for this program, at which time Kramer Tree Specialists, Inc., of West Chicago, Illinois, submitted the lowest cost proposal. Additionally, their proposal used an innovative method of grapple-claw collection that has proven to be quieter, quicker, and less disruptive than any method used previously. Their operation substantially reduced the program duration compared to prior years with curbside branch chipping.

Kramer Tree Specialists, Inc., of West Chicago, Illinois, has provided a proposal for services consistent with the work required in fall 2018 when the elimination of a spring 2019 collection was first announced. Since 2014, Village staff and residents have been satisfied by Kramer Tree Specialists, and this contractor has performed reliably in completing our branch pick-up program for our Village and its residents.

The proposal by Kramer Tree Specialists for an annual branch pick-up in fall 2019 is \$24,115.00, from which proposal the FY 19-20 budget was estimated. Pending approval, the annual fall collection will begin on October 28th, as regularly scheduled for the fourth Monday of October.

It is our recommendation: That a contract be awarded for the 2019 Branch Pick-Up Program to Kramer Tree Specialists, Inc., of West Chicago, Illinois in the amount of \$24,115.00.

G. Award Contract for 2019 Concrete Replacement

This annual concrete contract provides the services needed for replacement of concrete sidewalk identified as trip hazards or other items necessary after Village water main break repairs. Previously, the Village would utilize prices from the Municipal Partnering Initiative (MPI), a joint initiative aggregating quantities for concrete work from several municipalities to provide an economy of scale at reduced costs. Unfortunately, the MPI contractor could not complete the work, and, therefore the Village has to look for an alternative.

The Engineering Division of the Public Works Department compared the unit prices obtained by the County Line Road Sidewalk Extension Project currently underway, with those in our 2017 contract when soliciting locally for bids.

Davis Concrete Construction Company, of Monee, Illinois, was awarded the Village's sidewalk project on County Line Road as bid by the State, but has agreed to apply those same unit prices to our smaller contract and complete both concurrently. These prices are nearly 2% lower than the 2017 prices, which is a greater savings if compared to inflation of current prices.

Applying the prices from Davis Concrete Construction Company, the contract sub-total for concrete sidewalk repairs would be \$10,196.25, which is \$1,304 less than the FY 19-20 budget in Sidewalks/Pathway Fund Maintenance. Should unanticipated water main breaks require concrete replacement later this year, the Water Fund Contractual Services account provides up to \$10,000, which work can be provided by Davis Concrete at the same unit prices. Therefore, this Water Fund amount should be added with Sidewalks/Pathway Fund estimate, for a total contract not to exceed \$20,196.25.

It is our recommendation: That a contract be awarded for the 2019 Concrete Replacement Contract to Davis Concrete Construction Company, of Monee, Illinois, in the amount not to exceed \$20,196.25. Adequate funds are budgeted in the Sidewalks/Pathway Fund and Water Fund for this work.

H. Public Works Department Purchase of a Replacement Arrow Board

The FY19-20 Capital Equipment Replacement Fund Budget includes \$8,000 to replace a 15-year-old arrow board trailer for the Public Works Department. An arrow board trailer provides a warning sign consisting of a matrix of lighted elements capable of either flashing or sequential displays, such as arrows, chevrons, or caution symbols. This unit is used frequently by all Divisions during any excavation, emergencies, work in the medians, holiday lighting on County Line Road, or other operations where road users must be warned to merge in advance of a lane closure and work zone. The solar panels and primary electrical systems of the existing unit are aging and have been unreliable when needed in urgent situations.

The Manual on Uniform Traffic Control Devices, published by the Federal Highway Administration, requires a Type C arrow board (48" x 96") for the traffic conditions encountered on typical work in our Department. The Public Works Department staff evaluated options and available models, and determined that WANCO is an industry leader in arrow boards for highway agencies, is readily available from several local vendors, and is suitable to meet the needs of all Divisions.

The Municipal Land and Forestry Division solicited quotes from local vendors as follows:

Traffic Control and Protection, Inc., Bartlett, IL	\$5,900.00
Traffic and Parking Control Co., Inc. (TAPCO), Brown Deer, WI	\$5,937.50
RoadSafe Traffic Systems, Inc., Romeoville, IL	Non-responsive

The lowest price for the arrow board trailer was received from Traffic Control and Protection, Inc., of Bartlett, Illinois. This total cost is \$2,100 under the FY19-20 Capital Equipment Replacement Fund budget for this anticipated purchase. The existing unit would be disposed later by ordinance.

It is our Recommendation: That the purchase of one WANCO 48-inch x 96-inch arrow board trailer from Traffic Control and Protection, Inc., Bartlett, Illinois, in the amount of \$5,900.00 be approved.

I. Raffle License for Hope's Front Door and Hosting Facility at 8738 Aintree

Enclosed is an application from Hope's Front Door to conduct a raffle on Saturday, September 14, 2019, as part of their fundraising event, as well as a letter requesting waiver of the fidelity bond requirement. In addition, enclosed is a letter from James Gaw requesting that a Hosting Facility license be issued to allow them to hold this event at 8738 Aintree Lane in Burr Ridge.

It is our recommendation: That a Raffle and Chance License be issued to Hope's Front Door for its September 14 raffle, with the fidelity bond waived, and that 8738 Aintree Lane be licensed to host the event.

J. Appoint Ramzi Hassan to EDC

Please find attached Mayor Grasso's nomination of Village Center co-owner Ramzi Hassan to serve on the Village's Economic Development Committee.

It is our recommendation: That the nomination be approved.

K. Vendor List of August 26, 2019

Attached is the vendor list dated August 26, 2019, in the amount of \$653,607.59 for all funds, plus \$192,988.97 for payroll, for a grand total of \$846,596.56, which includes special expenditures of \$20,312.50 for 2019/2020 annual dues to the DuPage Convention & Visitors Bureau and \$11,085.49 to Burns & McDonnell regarding the County Line Road sidewalk project.

It is our recommendation: That the vendor list dated August 26, 2019, be approved.

REGULAR MEETING
MAYOR AND BOARD OF TRUSTEES
VILLAGE OF BURR RIDGE

August 12, 2019

CALL TO ORDER The Regular Meeting of the Mayor and Board of Trustees of August 12, 2019 was held in the Meeting Room of the Village Hall, 7660 County Line Road, Burr Ridge, Illinois and called to order at 7:02 p.m. by Mayor Gary Grasso.

PLEDGE OF ALLEGIANCE Pledge of Allegiance was led by John & Sam Pitsoulakis – Gower West School

ROLL CALL was taken by the Village Clerk and the results denoted the following present: Trustees Franzese, Schiappa, Paveza, Snyder, Mital, and Mayor Grasso. Absent was Trustee Mottl. Also present were Police Chief John Madden, Director of Public Works Dave Preissig, Assistant Village Administrator Evan Walter, Village Attorney Mike Durkin and Village Clerk Karen Thomas.

PRESENTATIONS AND PUBLIC HEARINGS

COOK COUNTY FOREST PRESERVE STRATEGIC PLAN PRESENTATION

Lydia Uhler presented various ways residents benefit from Cook County Preserves. Their mission is to acquire, restore and protect natural lands for the purpose of preserving natural wonders. Cook County Preserves is one of the oldest and largest in the United States comprising 70,000 acres of Woodlands, Savannas, Wetlands, and tall grass Prairies. Cook County is home to more endangered species than anywhere else in Illinois, 90% of which live in the Forest Preserves. There are over 40 managed lakes and ponds, over 2,000 acres for fishing, paddling, boating, canoeing and kayaking. There are over 300 picnic groves, ten golf courses, five campgrounds and various other outdoor activities. There are six Nature Centers offering displays focusing on plants and animals in the region. There are many programs and special events offered throughout the year. Volunteers are always needed in restoration efforts as well as in educational programs and special events.

DUPAGE METROPOLITAN EMERGENCY RESPONSE TEAM PRESENTATION

Chief John Madden highlighted a few points of the DuPage Metropolitan Emergency and Investigation Team (MERIT). Burr Ridge formerly relied on the Illinois State Police to investigate any officer involved shooting as an unbiased third party. There was usually an 8-10 month wait for a report. The DuPage County Chiefs of Police Association was approached by the leadership of Felony Investigative Assistance Team to create a Public Integrity Task Force for a quicker and more efficient response. The decision was made to create one County Wide Task Force with over 300 Police Officers. Key components this Task Force will provide that were not previously provided include Crisis Negotiations, Public Integrity to handle Officer involved incidents, Crime Scene Investigators, Incident Management Assistance Team and surveillance and Intelligence Investigations. DuPage County is a leader throughout the Country with this Task Force and higher level of service to residents.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

CONSENT AGENDA – OMNIBUS VOTE After reading the Consent Agenda by Mayor Gary Grasso, motion was made by Trustee Schiappa and seconded by Trustee Mital that the Consent Agenda – Omnibus Vote (attached as Exhibit A), (except 7B and 7D) and the recommendations indicated for each respective item, be hereby approved. Any item removed from the Consent Agenda, will be discussed by the Board, opened for public comment, and voted upon during this meeting.

Motion carried by Voice Vote.

On Roll Call, Vote Was:

AYES: 5 – Trustees Schiappa, Mital, Snyder, Paveza, Franzese

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes the motion carried.

APPROVAL OF REGULAR BOARD MEETING MINUTES OF JULY 22, 2019 approved for publication under the Consent Agenda by Omnibus Vote.

RECEIVE AND FILE DRAFT OF ENVIRONMENTAL QUALITY COMMISSION MEETING MINUTES OF JULY 29, 2019 were noted as received and filed, under the Consent Agenda

RECEIVE AND FILE DRAFT OF PLAN COMMISSION MEETING MINUTES OF AUGUST 5, 2019 were noted as received and filed, under the Consent Agenda

RECEIVE AND FILE DRAFT OF ECONOMIC DEVELOPMENT COMMITTEE MEETING MINUTES OF AUGUST 7, 2019 were noted as received and filed, under the Consent Agenda

APPROVAL OF AN ORDINANCE DENYING AN APPLICATION FOR A SPECIAL USE PURSUANT TO SECTION IV.V OF THE BURR RIDGE ZONING ORDINANCE REGARDING A WIRELESS SERVICE FACILITY AT A PROPERTY OWNED AND USED FOR MUNICIPAL SERVICES (Z-04-2019: 10S110 MADISON STREET – TRI-STATE FIRE PROTECTION DISTRICT) the Board, under Consent Agenda, approved the Ordinance.
THIS IS ORDINANCE NO. A-834-09-19

APPROVAL OF AN ORDINANCE AMENDING CHAPTER 8 (STORMWATER RUN-OFF OF THE BURR RIDGE MUNICIPAL CODE (ADOPT COOK COUNTY WATERSHED MANAGEMENT ORDINANCE BY REFERENCE) AS AMENDED ON MAY 16, 2019 AND (ADOPT COUNTY OF DUPAGE, COUNTYWIDE STORMWATER AND FLOOD PLAIN ORDINANCE BY REFERENCE) AS AMENDED ON MAY 14, 2019 the Board, under Consent Agenda, approved the Ordinance.
THIS IS ORDINANCE NO. A-676-01-19

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

ADOPTION OF RESOLUTION APPROVING THE DESTRUCTION OF THE VERBATIM RECORDINGS OF CERTAIN CLOSED SESSION MEETINGS OF THE VILLAGE OF BURR RIDGE the Board, under Consent Agenda, Adopted the Resolution.
THIS IS RESOLUTION NO. R-26-19

APPROVAL OF RECOMMENDATION TO APPROVE REQUEST FOR VARIATIONS TO THE FENCE ORDINANCE TO PERMIT A SIX-FOOT HIGH FENCE IN THE SIDE AND FRONT YARD (V-06-2019: AT 8335 COUNTY LINE ROAD – PIZZUTO) the Board, under Consent Agenda, directed Staff to prepare the Ordinance.

APPROVAL OF RECOMMENDATION TO AMEND PUD TO EXPAND THE PARKING LOT (Z-08-2019: 120 HARVESTER DRIVE – OLGUIN) the Board, under Consent Agenda, directed Staff to prepare the Ordinance.

APPROVAL OF RECOMMENDATION TO APPROVE A ZONING ORDINANCE AMENDMENT REGARDING THE DEFINITION OF COMMERCIAL VEHICLES (Z-10-2019) the Board, under Consent Agenda, directed Staff to prepare the Ordinance.

APPROVAL OF RECOMMENDATION TO PURCHASE WAYSIDE AUTOMATED TRAIN HORN STOCK PARTS FROM QUIET ZONE TECHNOLOGIES OF FORT WORTH TEXAS IN THE AMOUNT NOT TO EXCEED \$10,200 the Board, under Consent Agenda, approved the purchase from Quiet Zone Technologies in an amount not to exceed \$10,200

APPROVAL OF RECOMMENDATION TO PURCHASE FOUR REPLACEMENT AED'S FROM CARDIO PARTNER RESOURCES OF BRENTWOOD, TN IN THE AMOUNT OF \$5,445 the Board, under Consent Agenda, approved the purchase from Cardio Partner Resources in an amount of \$5,445

APPROVAL OF RECOMMENDATION TO AWARD CONTRACT FOR FLOOR MATS IN VILLAGE BUILDINGS AND UNIFORM CLEANING SERVICES FOR THE PUBLIC WORKS DEPARTMENT TO BREENS, INC. OF COUNTRYSIDE, IL, AT PRICES ESTABLISHED IN THE SERVICE AGREEMENT the Board, under Consent Agenda, Awarded the Contract to Breen's, Inc. at prices established in the Service Agreement

APPROVAL OF RECOMMENDATION TO RATIFY EMERGENCY WATER MAIN REPAIR AT PLAINFIELD ROAD AND MADISON STREET ON JULY 26, 2019 BY VIAN CONSTRUCTION CO., INC. IN THE AMOUNT OF \$8,676.00 the Board, under Consent Agenda, approved the recommendation.

APPROVAL OF VENDOR LIST DATED AUGUST 12, 2019 IN THE AMOUNT OF \$280,341.35 FOR ALL FUNDS, PLUS \$194,889.65 FOR PAYROLL, FOR A GRAND TOTAL OF \$475,231.00, WHICH INCLUDES SPECIAL EXPENDITURES OF \$12,025.00 TO BKD,

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

LP FOR AUDITING SERVICES; \$16,020.00 TO SF MOBILE-VISION FOR THREE IN-SQUAD CAMERAS; AND 2019 ROAD PROGRAM EXPENDITURES OF \$64,974.00 TO J DENLER, INC. FOR CRACK SEALING, \$51,901.35 TO ORANGE CRUSH FOR PAVING, AND \$23,466.25 TO SUPERIOR ROAD STRIPING FOR FINAL STRIPING The Board, under the Consent Agenda by Omnibus Vote, approved the Vendor List for the period ending August 12, 2019 in the amount of \$280,341.35 for all funds, plus \$194,889.65 for Payroll for the period ending July 27, 2019, for a Grand Total of \$475,231.00 which includes special expenditures of \$12,025.00 to BKD, LP for auditing services; \$16,020.00 to SF Mobile-Vision for three in-squad cameras; and 2019 Road Program Expenditures of \$64,974.00 to J Denler, Inc. for Crack Sealing, \$51,901.35 to Orange Crush for Paving, and \$23,466.25 to Superior Road Striping for Final Striping

CONSIDERATION OF A RESOLUTION APPROVING THE STUDY OF A POTENTIAL INTERGOVERNMENTAL AGREEMENT BETWEEN THE MUNICIPALITIES OF BURR RIDGE, WILLOWBROOK, HINSDALE AND DARIEN (RE: STERIGENICS PROPERTIES)

Motion was made by Trustee Franzese and Seconded by Trustee Schiappa to Adopt the Resolution Approving the Study of a Potential Intergovernmental Agreement (re: Sterigenics Properties).

Resident Richard Morton expressed support for this Resolution and appreciation for the efforts of Village Officials and the Environmental Quality Commission. Ethylene Oxide does not belong in the neighborhood.

Mayor Grasso reiterated that he, the Village Trustees and Staff stand united against Sterigenics remaining open. There have been meetings with the Mayors of Hinsdale, Willowbrook, Darien, Western Springs and Countryside to discuss how to deal with Sterigenics. After discussions with lawyers the idea of possibly condemning the Sterigenics buildings and taking them over for public use is being considered. Mayor Grasso then read the Resolution

On Roll Call, Vote Was:

AYES: 5 – Trustees Franzese, Schiappa, Paveza, Snyder, Mital

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes the motion carried.

THIS IS RESOLUTION NO. R-27-19

Trustee Paveza stated it is a shame to have to pass a Resolution to protect the Residents and that Public Officials and Courts cannot be depended upon to do the job.

Trustee Schiappa commended residents who have stood against Sterigenics and provided Village information.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

Mayor Grasso stated that at the request of the Environmental Quality Commission, Staff has reviewed a list of current businesses operating in Burr Ridge. None have been found to use or store any chemicals or materials that have been known to be cancer causing or otherwise dangerous to human health. The Economic Development Committee is establishing a Business License Program which would preclude any business that would have a negative impact on public health from operating or opening in Burr Ridge.

ADOPTION OF A RESOLUTION AUTHORIZING AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE VILLAGE OF BURR RIDGE AND PACE, THE SUBURBAN BUS DIVISION OF THE REGIONAL TRANSPORTATION AUTHORITY

Trustee Franzese requested this item be removed from the Consent Agenda. He asked what Ordinances could be enforced in the parking lot. Chief Madden explained the Police will work with PACE, but the idea of this Intergovernmental Agreement is to give Police the authority to enforce traffic regulations once proper signs are installed. Trustee Franzese stated there are cars currently parking on both sides of the curves making it difficult for emergency vehicles to pass through. Chief Madden stated once proper signs are posted the Police can take action.

Motion was made by Trustee Franzese and seconded by Trustee Schiappa to Adopt the Resolution.

The Motion was approved by unanimous voice vote of the Board of Trustees.

THIS IS RESOLUTION NO. R-28-19

ADOPTION OF RESOLUTION REGARDING THE PERIODIC REVIEW OF CLOSED MEETING MINUTES OF THE VILLAGE OF BURR RIDGE

Trustee Franzese requested this item be removed from the Consent Agenda for clarification of the title. Attorney Durkin explained that State Statute requires a semi-annual review of the minutes but does not obligate the Village to release them. A suggestion was made to change the title to agree with the action taken.

Motion was made by Trustee Snyder and Seconded by Trustee Mital to Amend this Item to read Adoption of Resolution Regarding the Periodic Review and Release of Closed Meeting Minutes of the Village of Burr Ridge.

The Motion was approved by unanimous voice vote of the Board of Trustees.

ADOPTION OF RESOLUTION REGARDING THE PERIODIC REVIEW AND RELEASE OF CLOSED MEETING MINUTES OF THE VILLAGE OF BURR RIDGE.

Motion was made by Trustee Paveza and Seconded by Trustee Mital to Adopt the Resolution

On Roll Call, Vote Was:

AYES: 5 – Trustees Paveza, Mital, Snyder, Schiappa, Franzese

NAYS : 0 – None

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

ABSENT: 1 – Trustee Mottl
There being five affirmative votes the motion carried.

THIS IS RESOLUTION NO. R-29-19

UPDATE REGARDING STERIGENICS IN WILLOWBROOK, IL Assistant Village Administrator Evan Walter updated the lawsuit between the Attorney General/State's Attorney and Sterigenics. The case was heard in DuPage Circuit Court on July 24, at which time the Consent Order prepared by those three parties as well as motions from Willowbrook, Burr Ridge, Hinsdale and Darien to join the suit as intervening parties were considered. The Court approved the motions for the four Villages to intervene and honored requests to have input and comment on the Consent Order. The Court rescheduled consideration of the Consent Order for Friday, September 6, 2019 at 10:00 A.M. in Circuit Court.

On Thursday, August 1, the Illinois Environmental Protection Agency held a Public Meeting at Ashton Place regarding the permit application filed by Sterigenics to open one of their two buildings in Willowbrook. This is a Construction permit and Sterigenics intends to comply with Bill 1852, recently put into law by the State of Illinois. The Agency took questions from the public and will provide written responses when they decide to make a ruling on the Permit, within the next 60 days. Many comments have been posted on the Village's website.

D86 passed a Resolution in support of this matter and Oak Brook has a Resolution on their Agenda supporting the Attorney General in their lawsuit against Sterigenics.

Trustee Franzese thanked residents for attending the Illinois EPA public hearing. They were well informed and asked pointed questions. Mayor Grasso spoke, defending residents' position demanding environment be clear of this cancer causing agent.

CONSIDERATION OF AGREEMENT TO SHARE COSTS WITH THE VILLAGE OF WILLOWBROOK FOR THIRD PARTY REVIEW OF STERIGENICS IL EPA PERMIT APPLICATION Assistant Village Administrator Evan Walter explained Willowbrook has offered to engage the Village's air testing consultant, GHD, to perform a technical review of Sterigenics' permit. Total cost of the permit review would be \$12,000 with the Village's portion not to exceed \$3000. This total cost is below the Village Administrator's spending authority. This item is on the agenda to provide information regarding the Village's efforts on this matter.

In response to Trustee Franzese, Mr. Walter confirmed the review would be completed prior to August 15, 2019.

CONSIDERATION OF REQUEST FOR AN AMENDMENT TO THE SAIA ANNEXATION AGREEMENT Assistant Village Administrator Evan Walter explained SAIA has requested to erect an electric fence around most of the perimeter of their parking lot facilities. SAIA has engaged a private contractor, Electric Guard Dog (EGD) to act as their agent in this request. This has been

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

brought before the Board rather than the Plan Commission since this property is governed by an Annexation Agreement. Should the Board agree to this request, it would require an Amendment to the Annexation Agreement and a Public Hearing would need to be held. If the Board denies the request no further action is required. Mr. Walter introduced a representative from EGD, Michael Payne who provided operational information on the electric fence which would be installed inside the existing fence line so no one can accidentally touch the electric fence. The intent is to deter criminal activity.

Trustee Mital questioned what would happen if someone does touch the fence. Mr. Payne responded a non-lethal shock would be felt. The product is tested and meets all safety standards set by the International Electrotechnical Commission. Trustee Mital asked if it would hurt a stray animal. Mr. Payne stated these devices have been used many years for livestock and animals are not injured.

Mayor Grasso asked if there is a crime issue. Mr. Don McLellan, Security Director for Saia, answered there have been break-ins at the facility. External theft targets trucks, high valued freight, and pharmaceuticals that move in and out and are staged in the yard. Mayor Grasso asked if this is a proactive measure to prevent any external thefts. Mr. Payne stated there have been break-ins however no thefts yet, so this is a proactive measure. Mr. McLellan explained SAIA is growing and the trailers at this location are very visible from the highway (I-55). Thieves would be deterred if they saw the electric fence surrounding the yard. Mayor Grasso asked if there would be signs. Mr. Payne said there would be signs posted in English and Spanish. Mayor Grasso wanted confirmation that people and animals will not be hurt if touching the fence on the outside. Mr. Payne confirmed there would be no injury.

Trustee Franzese asked if the existing fence would remain in place or would another fence be installed. Mr. McLellan stated the existing fence would remain. In response to further questions Mr. Payne stated if a thief tried to drive a tractor-trailer through the fence it would set the alarm off.

Trustee Franzese asked Chief Madden if the Police are aware of the attempted break-ins. Chief Madden is aware of internal thefts. He cannot give specific details but will research the data.

Trustee Schiappa questioned if the fence really needed to be electrified if piercing the fence would set off an alarm. Mr. Payne explained there does need to be a pulse current for .0003 second. Trustee Schiappa asked if there is currently a significant problem with external theft at the facility. Mr. McLellan stated there has not been anything significant taken yet.

Trustee Snyder asked what the distance is between the perimeter fence and the electric fence. Mr. Payne said it's usually about eight inches.

Motion was made by Trustee Snyder and seconded by Trustee Mital to direct Staff to schedule a Public Hearing.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

The Motion was approved by unanimous voice vote of the Board of Trustees.

CONSIDERATION TO DIRECT THE PLAN COMMISSION TO CONSIDER AMENDMENTS TO THE BUSINESS DISTRICT SHOPPING CENTER PARKING REGULATIONS Assistant Village Administrator Evan Walter stated Trustee Snyder requested this item be placed on the agenda to begin a comprehensive discussion promoting sound planning and economic development policies regarding parking at Commercial Shopping Centers. Issues to be considered include, but not limited to, minimum parking requirements, methods of counting parking and possible PUD's to specific properties. If this is approved, Staff should schedule a Public Hearing for a future Plan Commission Meeting.

Motion was made by Trustee Snyder and seconded by Trustee Mital to direct the Plan Commission consider Amendments to the Business District Shopping Center Parking Regulations.

The Motion was approved by unanimous voice vote of the Board of Trustees.

CONSIDERATION OF RECOMMENDATION TO AMEND PUD AND APPROVE SPECIAL USE TO PERMIT COWORKING SPACE AT BUILDING 6 OF THE VILLAGE CENTER (Z-11-2019: 800 VILLAGE CENTER DRIVE – HASSAN) Assistant Village Administrator Evan Walter explained this is a petition for Life Time co-working space where office space can be rented on a monthly basis in a large combined environment. This is a growing trend in Shopping Centers across the Country. The Plan Commission voted 6-0 in favor of approving the request for an Amendment to the PUD to add the co-working space as a first-floor special use in Building 6. They also voted 5-1 in favor of Special Use for Life Time Work with four conditions, three of which are standard for all Special Use. The fourth condition that needs to be considered is that the breezeway under Building 6 shall remain in place. The petition to close the breezeway connecting the parking lot to the Village Green was denied by the Plan Commission. The petitioner has withdrawn their request to amend the building's exterior footprint.

Trustee Schiappa requested more information regarding the concept. Lawrence Friedman, Attorney representing the Petitioner, Ramzi Hassan, Edward Realty Company, owner of the Village Center introduced himself. Mr. Hassan explained this is a co-working space which is shared office offered by LifeTime Fitness. Their goal is to be a life style provider including fitness center, café, spa, physical therapy and now offices. Their vision is a "one-park" concept; park one time and get your workout, go to a café and then go to your shared work space. This provides an alternative to professionals and entrepreneurs, specifically those who have offices downtown. It is designed to be temporary not a static office. Interested parties would purchase a membership and use the facility under the level of membership purchased. Mr. Hassan stated this concept was vigorously pursued, realizing the needs have changed over the past twenty years. They are trying to respond to the demands of the current marketplace and create another amenity for businesses and residents.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

Trustee Mital asked if he would be managing this. Mr. Hassan replied that LifeTime would be managing it as another facet of their membership offerings. Trustee Mital asked who monitors if the situation becomes disruptive. Mr. Hassan stated they manage the Village Center but does not envision this being disruptive.

Trustee Snyder questioned where the individuals will be parking. Mr. Hassan explained this site was chosen for the one-park concept, so those who park at LifeTime Fitness would not move their car and have to park twice. He further stated the parking would be monitored and if there are issues of disruption they will react.

Trustee Franzese asked what the hours of operation would be. Mr. Hassan stated the hours are 9:00 A.M. to 5:00 P.M. with 24-hour access to members. Mr. Franzese questioned why the 700 building was not considered rather than the 800 building. Mr. Hassan replied the space is too small in the 700 building being approximately 11,000 square feet. The space they are considering is over 18,000 square feet.

Trustee Franzese asked if any Village Officials have a financial interest in the Village Center or have received campaign contributions from the property owner or LifeTime Fitness. There were no comments from the Board.

Trustee Franzese mentioned that when the Village Center was proposed the developer said for the Center to be successful all first floor occupants had to be Retail. His concern is that removing retail on the first floor could be detrimental to other retailers. Mr. Hassan does not consider it to be a concern. This space has been vacant or subsidized since it was built. LifeTime Work is expected to create foot traffic which would benefit the retailers in the Center.

Trustee Mital asked if there would be a coffee shop where Barbara's Bookstore currently is. Mr. Hassan stated the entire space would be occupied by LifeTime Work. Within their space is a kitchen area and solarium for their own membership access but not open to the public. Trustee Mital suggested that if there was a coffee shop it would draw foot traffic. Mr. Hassan stated Starbucks has an exclusive for coffee and restricts a coffee shop anywhere else in the Center.

Attorney Freidman stated there are no objections to the conditions in the Recommendation by the Plan Commission including the hours and the denial to close the Breezeway.

Greg Dose, representative of the Village Center Condo Association, stated residents in the Village Center are pleased the breezeway will not be blocked however they are concerned about the proposed Office use particularly regarding parking in the East lot. Residents who do not have parking spaces in the garage rely on the East lot for parking. He passed out a map demonstrating the lack of adequate parking. Their concern is members will choose to park close to their Work and walk to the Fitness Center thereby creating a parking problem. The East lot for Building 6 was designed in the original

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

concept for residential use only. Mr. Dose requested the Board not take any action on this Recommendation and remand it back to the Plan Commission for further parking analysis.

Leslie Bowman, owner of the Design Bar and resident in the Village Center, stated there needs to be synergy to create foot traffic. She suggested this be tabled to develop a plan for the entire Center.

A resident in the Village Center, asked if other options are being considered for this space. Mr. Hassan confirmed there were no other options. She also asked if there would be an increase in security. Mr. Hassan stated there is currently security onsite 24 hours, seven days a week and does not see the need for added security protocols.

Another resident of the Village Center, noted the Village Center has been doing poorly for years and parking has always been an issue. Mr. Hassan has been very successful in other business ventures and encourages the Village to consider all sides of the issue.

Diane Jovic, resident in the Village Center, asked if other businesses had been approached and offered incentives to occupy vacant space in the Village Center. Mr. Hassan confirmed there have been several deals that did not move forward. LifeTime Fitness is an anchor to the Village Center and expanding their amenities could create synergy to promote growth in the Community. Ms. Jovic suggested retail businesses would be more advantageous to the Community and requested the Board table this issue.

There was a lengthy discussion with several residents commenting on the parking issues.

Dave Atkenson, President of 850 Village Center Drive HOA, reiterated parking is a major problem and requested the Village commission an independent engineering study on parking.

Eloise Carnevale, resident in the Village Center, is concerned with security and parking. She suggested the Board table this issue.

Joanne Kukstal, resident in the Village Center, is concerned about the parking and suggested the top floor of the parking deck be utilized.

Mayor Grasso commented that retail stores have not done well in the ten years since the Village Center opened. He underscored some of the concerns expressed from the residents, parking, use of office space on the first floor and security. Mayor Grasso has an office in the Village Center and he does not have a concern for security. He does not see the need for a parking study and questioned if there is a way to reserve thirty parking spaces in the East lot for residential parking. Mayor Grasso commended Mr. Hassan for presenting ideas to occupy that vacant space and asked if there was any assurance LifeTime will complete the deal before the Village puts more effort into making it happen. Mr. Hassan stated there are no guarantees but he is working with LifeTime Work to redesign plans without closing the breezeway.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

Mayor Grasso inquired if the plan for the other vacancies in the Center is for retail. Mr. Hassan stated there are various uses and will be announcing a significant retail tenant soon. Mayor Grasso asked if there would be incentives for LifeTime Work tenants to stay and support local businesses.

Mr. Hassan is concerned the parking issue may be a deal breaker with LifeTime and would like to negotiate some parking spaces in the East Lot. There was further discussion regarding solutions to the perceived parking problem. It was suggested that tenants of LifeTime Work be required to park in the parking deck in reserved spaces however, Mr. Hassan explained that would remove those spaces from general parking. Valet parking was suggested however Mr. Hassan does not think that is a practical solution to this situation.

Mayor Grasso stated the goal is to revitalize the Village Center. Coworking is something new that seems to be in demand.

Motion was made by Trustee Mital and seconded by Trustee Snyder to direct Staff to prepare the Ordinance Amending the Special Use as directed by the Plan Commission adding a fifth condition that seven spaces be permitted in the East Lot for LifeTime Work patrons.

On Roll Call, Vote Was:

AYES: 5 – Trustees Mital, Snyder, Paveza, Schiappa, Franzese

NAYS : 0 – None

ABSENT: 1 – Trustee Mottl

There being five affirmative votes the motion carried.

CONSIDERATION OF RECOMMENDATION TO APPROVE A REQUEST FOR CONDITIONAL SIGN APPROVAL AND SIGN VARIATIONS (S-04-2019:7425 WOLF ROAD – PLEASANTDALE PARK DISTRICT) Assistant Village Administrator Evan Walter introduced Matt Russian, Executive Director Pleasantdale Park District. Mr. Russian said the Plan Commission had several conditions on the approval for the sign. One of the conditions was that there be a one-minute hold time on the message. The purpose of the sign is to disseminate information to the Community about events and programs. Mr. Russian said a one-minute hold is a very long time and requested a hold time of ten seconds. The sign default for Gower Middle School is four seconds. He continued that he understands the concern is for driver safety and referenced a study by Texas A&M which found no correlation between electronic signs and any increased incidents of traffic accidents

Motion was made by Trustee Franzese and seconded by Trustee Snyder to accept the Plan Commission recommendation and direct Staff to prepare the Ordinance with the modification that the message change every ten seconds.

The Motion was approved by unanimous voice vote of the Board of Trustees.

Regular Meeting
Mayor and Board of Trustees, Village of Burr Ridge
August 12, 2019

**CONSIDERATION OF RECOMMENDATION TO APPROVE A REQUEST FOR
CONDITIONAL SIGN APPROVAL AND SIGN VARIATIONS (S-05-2019: 7450 WOLF
ROAD – PLEASANTDALE SCHOOL DISTRICT 107)**

Trustee Franzese stated his concern that the top of the sign is not even with the top of the monument. Matt Russian stated that Griffin Sonntag, Principal of Pleasantdale Middle School was unable to attend the meeting. Mr. Russian spoke on his behalf stating the LED panels are one foot by one foot. This sign is four feet by five feet. Mr. Sonntag's concern is not extending the sign toward the road and breaking the rule of being too close to the sidewalk.

There were different suggestions offered to modify the sign to fit in the monument.

Motion was made by Trustee Franzese and seconded by Trustee Snyder to accept the Plan Commission's recommendation and direct Staff to prepare the Ordinance with the modification that the message change every ten seconds.

The Motion was approved by unanimous voice vote of the Board of Trustees.

PUBLIC COMMENTS Resident Alice Krampits, representative of the I&M National Heritage Corridor Civic Center Authority, thanked the Village for their annual donation. She announced the annual Rendezvous, Rivers Through History, is September 7-8, 2019.

REPORTS AND COMMUNICATIONS FROM VILLAGE OFFICIALS Trustee Paveza reminded everyone the Secretary of State's Office will be at the Village Hall on Wednesday, August 14, 2019 from 9:00 A.M. until 3:00 P.M.

Mayor Grasso announced the next Concert on the Green will be Strung Out on August 16, 2019 and the last concert will be August 23, 2019, Chicago Experience.

Motion was made by Trustee Schiappa and Seconded by Trustee Franzese that the Regular Meeting of August 12, 2019 be adjourned.

The Motion was approved by unanimous voice vote of the Board of Trustees and the meeting was adjourned at 10:39 p.m.

PLEASE NOTE: Where there is no summary or discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

Karen J. Thomas
Village Clerk
Burr Ridge, Illinois

APPROVED BY the President and Board of Trustees this _____ day of _____, 2019.

**MINUTES
VETERANS MEMORIAL COMMITTEE
VILLAGE OF BURR RIDGE**

5B

JULY 31, 2019

CALL TO ORDER: Chairperson Mickey Straub called the meeting to order at 4:00 p.m.
in the Conference Room, 7660 County Line Road, Burr Ridge, Illinois

ROLL CALL - Roll call was taken as follows:

Present: Mickey Straub, John Moskal, Jack Schaus, Len Ruzak, John Curin, Russell Smith

Also Present: Events Coordinator Janet Kowal

Absent: Sue Schaus

MOTION TO APPROVE MINUTES FROM PREVIOUS MEETING – From June 26, 2019:
Landscaping on page #5 - Stated County Line Road should be changed to Wolf Road , and
on page #3.

John Curin - Questioned if it should be in the minutes that Mickey would ask General
Castellvi has access to a military band or color guard? Mickey will ask.

Motion to Approve Minutes: Russ Smith **2nd:** John Moskal

FINANCIAL REPORT – Jack Schaus. There is a total of \$187.97 income, from two bricks
that were purchased for the period being reported. There is a total of \$26,385.30 in the
overall account.

Motion to Approve Financial Report: John Curin **2nd:** Len Ruzak.

Approved: All.

DISCUSSION REGARDING MEMORIAL UPKEEP: Nick Just.

The Committee is waiting for an update from Nick Just regarding the fountain and keeping
it clean; it needs a cleaner/chemical that will keep it running clean continuously. This
needs to be addressed sooner rather than later, as it should be running and clean. We
need a price for cleaning and chemicals - they are expensive.

The bushes around the Eagle need replacing, as well as around the fountain; weeds
between the brick need to be cleaned. Whatever weeding is being done is not working and
needs to be addressed.

Mickey brought up the "definition of insanity" - doing the same thing over and over expecting different results. He suggested that the Committee try a different approach, such as finding the right company to fix and maintain the landscaping. Len noted that Premiere Landscaping was the original landscaping group; but the quotes for maintenance by them were too high. Premiere should be able to handle both the landscaping and the fountain.

It was decided to wait until the end of August to review the quote from Nick about the landscaping, etc.

The real issues of the fountain are its cleanliness (black mold growth) and function. John Moskal volunteered to find a fountain expert if needed.

DISCUSSION REGARDING ARMED FORCES DAY 2020

General Castellvi has confirmed with Mickey Straub that he will be the guest speaker for Armed Forces Day 2020. He is the Commander at Camp Pendleton. Mickey asked regarding fees; General Castellvi declined and said there would be none. He noted that he would like to meet Bo Jackson and Dan Hampton. Mickey suggested a reception the night before Armed Forces Day, with the General and some guests. Mickey to pursue. John Curin asked if a reception should be paid for by the Committee? Len Ruzak asked if it was a compatible reason to spend the money for it? Conceptually it makes sense to do the reception; Len was concerned about the time until we get there, and would Bo Jackson or Dan Hampton would need to be paid to attend the reception. Mickey thought there were funds that could be used for the reception, but will look into it.

Also questioning again whether or not General Castellvi would have connections for a military flyover and military band. Mickey will check into it.

It was noted that the Committee felt there should be a better, more military oriented group to do the Color Guard at Armed Forces Day.

COMMITTEE DUTIES - tabled until August meeting, Sue Schaus is absent.

HIGHWAY SIGNAGE - A sign directing visitors to the Veterans Memorial on I-55 was turned down once before; the Committee would like to try again. Dave Preissig would be the start to try again for signage with the tollway.

ADDITIONAL PIECES FOR THE MEMORIAL GROUNDS: John Curin showed a photo of the plane in Brookfield, and was asking about a cannon or Humvee for the memorial grounds as in the Brookfield Park. It was noted that there is a link to used equipment from Afghanistan that could be used to find pieces. Jack Schaus noted that the memorial should be kept at a classy level, and asked to see what might be available before making any decisions.

VETERANS MEMORIAL BROCHURES - It is time to update and reprint the Veterans Memorial brochures. Janet will add in the Armed Forces Day information, and add in the brick sales information. She will then get production quotes from the printer. Janet, Russ, and Mickey will edit the brochure and follow up on it. It was decided that it is time to move forward with this, and we will use local printers.

Mickey suggested that the Committee meet out at Cantigny for a meeting at some time, just to see the military grounds and area.

FUNDRAISING NOTE: Jack Schaus mentioned that Jane Hopson had given \$200 for a special brick to be made to represent the War of 1812. She would like a 1 foot limestone brick of survivors, to place between the eagle and the large memorial. \$200 will not cover what is needed. Russ Smith said he would talk to Jane about the additional cost.

In the meantime, Len Ruzak will find out the cost of such a large plaque. 12' x 12'.

It was also noted that the guard rail along the stairs needs refreshing.

John Moskal asked about getting a larger "Patriot Award" plaque, as it is smaller than the yearly plaque given to the winner.

A Motion Was Made to Adjourn the Meeting: John Moskal **2nd:** Len Ruzak.

Respectfully Submitted,

Janet Kowal

ORDINANCE NO. _____

**AN ORDINANCE AMENDING SECTION 50.02, ENTITLED
 “EXCLUSIVE DISPOSAL CONTRACT FOR RESIDENCES,” OF CHAPTER 50,
ENTITLED “REFUSE CONTROL” OF THE BURR RIDGE VILLAGE CODE**

WHEREAS, the corporate authorities of the Village of Burr Ridge (the “Village”) have determined that it is advisable, necessary and in the best interest of the Village to amend Section 50.02, entitled “Exclusive Disposal Contract of Residences,” of Chapter 50, entitled “Refuse Control,” of the Burr Ridge Village Code.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1. Section 50.02, entitled “Exclusive Disposal Contract for Residences,” of Chapter 50, entitled “Refuse Control,” of the Burr Ridge Village Code is hereby amended as follows:

Sec. 50.02. Exclusive Disposal Contract for Residences

The Village shall enter into an exclusive contract with a solid waste contractor licensed by the Village for the collection and disposal of solid waste from all single-family attached or detached dwellings located in the Village. All such dwellings shall be served by, and exclusively by, the licensed Village contractor, and all such dwellings are prohibited from hiring any private scavenger service in lieu of the licensed Village contractor without prior approval by the Village Board. All owners of single-family attached or detached dwellings located within the Village shall be required to pay for general refuse collection services in the amount provided by the exclusive contract for solid waste disposal for residences regardless of whether such owner or occupant utilizes the refuse collection services. Owners or occupants of single-family attached or detached dwellings located within the Village may request a temporary suspension of their refuse collection service in accordance with any terms regarding such temporary suspension that may be contained within the Village’s contract with the solid waste contractor.

Section 2. Any ordinance or portion of any ordinance in conflict with the provisions of this Ordinance is repealed solely to the extent of such conflict.

Section 3. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

ADOPTED this 26th day of August, 2019, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 26th day of August, 2019.

Village Mayor

ATTEST:

Village Clerk

ORDINANCE NO.

**AN ORDINANCE AMENDING THE BUDGET ADOPTION ORDINANCE
FOR ALL CORPORATE PURPOSES OF THE VILLAGE OF BURR RIDGE,
DUPAGE AND COOK COUNTIES, ILLINOIS,
FOR THE FISCAL YEAR COMMENCING ON THE FIRST DAY OF
MAY, 2018 AND ENDING ON THE THIRTIETH DAY OF APRIL, 2019**

WHEREAS, the Village of Burr Ridge has previously heretofore adopted the Budget Adoption Ordinance for fiscal year 2018-19; and

WHEREAS, at this time, it has been determined that certain amendments have to be made to said Budget Adoption Ordinance and certain transfers within line items must be approved.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Burr Ridge, DuPage and Cook Counties, Illinois, as follows:

Section 1: That the Budget Adoption Ordinance and the 2018-19 budget for all corporate purposes of the Village of Burr Ridge, DuPage and Cook Counties, be hereby amended as follows:

AMENDMENTS TO THE FINAL FISCAL YEAR 2018-19 BUDGET

FUND/DEPARTMENT	ACCOUNT DESCRIPTION	ORIGINAL BUDGET	BUDGET AMENDMENT	AMENDED BUDGET
General Fund/Central Services	Transfer to Capital Improvement Fund	\$215,000	\$395,000	\$610,000
General Fund/Central Services	Transfer to Sidewalk/ Pathway Fund	\$0	\$130,000	\$130,000

Section 2: That the amendments to the Budget Adoption ordinance and the 2018-19 budget set forth in Section 1 above are made from existing fund resources or additional revenue sources that have been made available for expenditure subsequent to the adoption of the 2018-19 Budget Adoption Ordinance.

Section 3: This Ordinance shall be in full force and effect after its passage by a vote of at least three-fourths of the Corporate Authorities, and approval in the manner

provided by law, and publications in pamphlet form as required by law. The Village Clerk is hereby directed and ordered to publish the Ordinance in pamphlet form.

ADOPTED this 26th day of August, 2019, by a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge on the 26th day of August, 2019.

Mayor

ATTEST:

Village Clerk

ORDINANCE NO.

AN ORDINANCE GRANTING AN AMENDMENT TO PLANNED UNIT DEVELOPMENT
ORDINANCE # A-834-10-05 TO ADD "COWORKING OFFICE SPACE" AS A
FIRST- FLOOR SPECIAL USE IN BUILDING 6 OF THE VILLAGE CENTER
AND A SPECIAL USE FOR A "COWORKING OFFICE SPACE" IN BUILDING 6
OF THE VILLAGE CENTER

(Z-11-2019: 800 Village Center Drive - Hassan)

WHEREAS, an application for a special use for certain real estate has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on August 5, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for special uses, including its

findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 800 Village Center Drive, Burr Ridge, Illinois, also known as Building 6 in the Burr Ridge Village Center, is Ramzi Hassan (hereinafter "Petitioner"). The Petitioner requests an amendment to Planned Unit Development Ordinance #A-834-10-05 to add "coworking office space" as a first-floor special use in Building 6 of the Village Center and a special use for a "coworking office space" in Building 6 of the Village Center.
- B. That the property will not detract from the public health, safety, morals, comfort, or general welfare.

- C. That the special use will not adversely impact any adjacent properties.
- D. That the special use will allow the petitioner to bring a necessary service to the residents of the Village.
- E. That the site plan of the property is adequate for the use.
- F. That adequate traffic facilities are present on or adjacent to the property.
- G. That the use is not contrary to the objectives of the Official Comprehensive Plan.
- H. That the special use will otherwise conform to the applicable regulations of the Zoning Ordinance.

Section 3: That the amendment to Planned Unit Development Ordinance #A-834-10-05 to add "coworking office space" as a first-floor special use in Building 6 of the Village Center and a special use for a "coworking office space" in Building 6 of the Village Center is ***hereby granted*** for the property commonly known as 800 Village Center Drive and identified by the Permanent Real Estate Index Number of: **18-30-300-054.**

Section 4: That approval of the PUD amendment shall be subject to the following conditions:

- 1. The special use shall be limited to Life Time Work in a manner consistent with the submitted business plan attached hereto as **Exhibit A.**
- 2. The special use shall be null and void should Life Time Work and its business entities or partners no longer operate the coworking office space at 800 Village Center Drive within Building 6 of the Village Center.
- 3. Life Time Work shall be permitted to be open to the public between the hours of 7:00am-10:00pm, with private key fob access granted only to customers outside of these hours.

4. The breezeway bisecting the first floor of Building 6 shall remain in place as shown in the original PUD site plans.
5. No more than seven vehicles used by the patrons of Life Time Work shall be permitted to park in the east lot of Building 6 at any one time as indicated by the yellow outline in Exhibit A. All such vehicles shall be marked with a clear sticker or placard.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 26th day of August, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

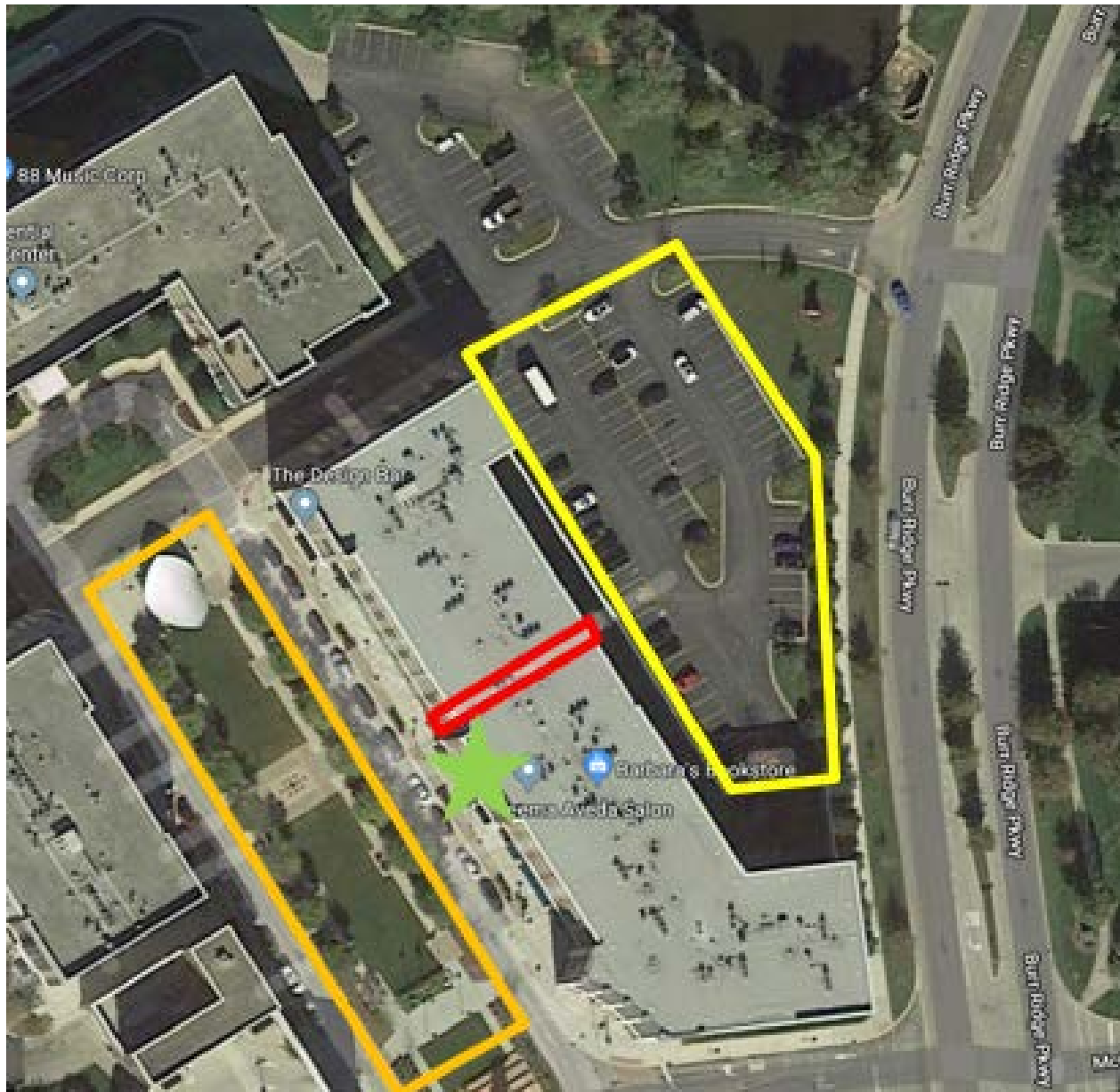
APPROVED by the Mayor of the Village of Burr Ridge on this 26th day of August, 2019.

Mayor

ATTEST:

Village Clerk

EXHIBIT A





Library Tables & Lounge Space



Meetings at Life Time Work



Lounge Space & Resident Offices



Phones Rooms & Solarium



Patio



Life Time Work Introduction

Life Time Work is a premium, shared workspace designed for established professionals, integrated with all the health and wellness benefits of world-class Life Time Athletic Clubs.

Our members are Fortune 500 companies looking for a satellite location and independent professionals in search of a change of scenery, they are attracted to our dynamic, elegant and flexible workspaces that suit a variety of needs. From private offices to our library lounges, quality comes through an elevated experience at work.

REAL ESTATE REQUIREMENTS

- Situated in prime – LIVE WORK PLAY urban & suburban locations
- Connected with, adjacent or approximate to new and existing Life Time Clubs
- Actively pursuing 20,000-50,000SF locations for an accelerated rollout schedule - 50 locations in 5 years
- Key Space Attributes: contiguous space, 5,000SF minimum floor plate, high window to floor ratio, 10-20 year term
- 6 Locations already confirmed for 2019

Life Time Work Offerings

Memberships:

RESIDENT Membership – dedicated space

Office Resident

A private enclosed office,
for you and your team.

\$659/Desk/Month

Open Resident

A dedicated desk
in an open plan
seating area.

\$549/Desk/Month

LOUNGE Membership – flexible

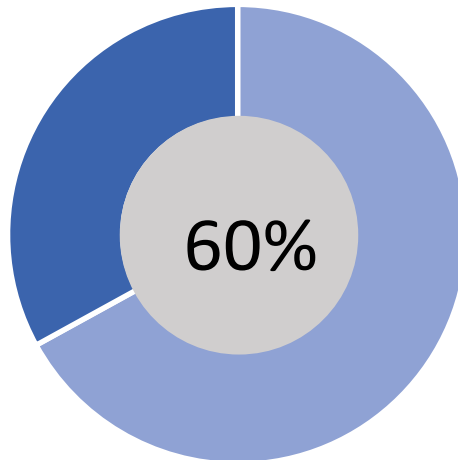
A flexible workspace in the open plan
Lounge with access to a variety of
environments that support a range of
workstyles.

\$399/Month

* Life Time Work Ardmore, PA pricing includes a Diamond Premiere Club membership

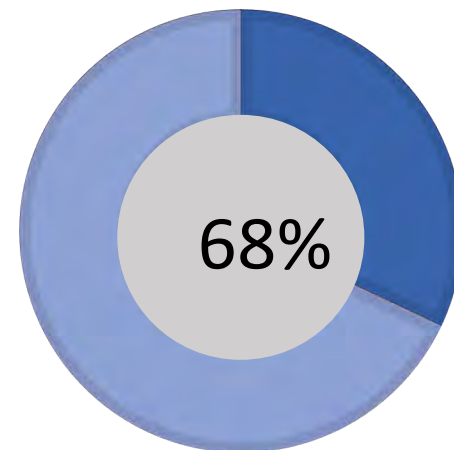
Life Time Work Members

Gender



60% Male 40% Female

Member/Non Member



68% Non-Member 32% Member

Average Age: 43

Diverse Industry Mix:

Real Estate, Technology, Legal, Finance, Recruitment, Health & Medical

Life Time Work Members: Established, Professional & Diversified



Senior Product &
Marketing Manager -
Marketo/San
Francisco



Director of Global
Events & Programming
for NetDiligence -
Cyber Security



COO Venmo



Executive Coach &
Strategic Advisor –
Creativity, Personal
Mastery, Wharton MBA



Lawyer, Kennerly
Loutey - Catastrophic
injury cases



Sports Management
Kobe Bryant, etc...



Attorney at law -
Employment
professional



EOS Ventures,
ConVista –
Healthcare and
financial technology



CEO Neue Agency
Video content
creation &
distribution

Life Time Work Team



Silvana Carpinito Life Time Work Manager

Quintess Collection – Luxury residential membership sales

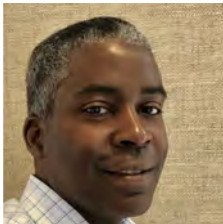
Embassy Suites – Ran Catering and Hotel P&L



Ashley Bracey - Life Time Work Specialist

Office Director for a Pennsylvania Congressman

MBA Villanova



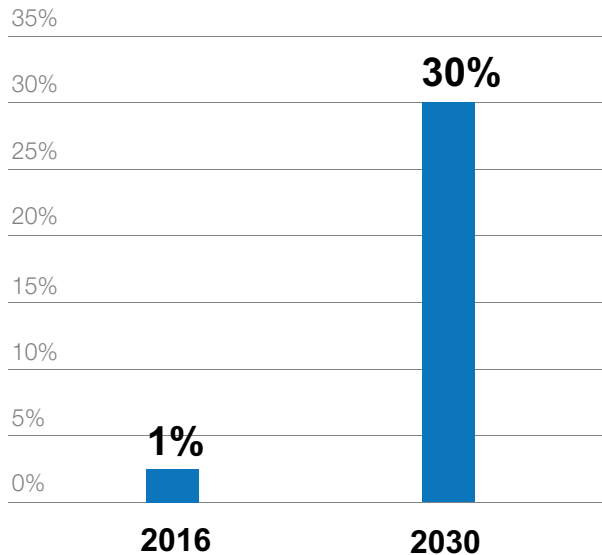
Fred Handy - Life Time Work Tech Genius

Apple Expert & Tech Genius

AT&T Manager Customer Support

Industry Opportunity

Estimated volume of flexible workspace as percentage of all office space in U.S.



- Highly fragmented, fast growing market with strong fundamentals
- **40%** of corporate occupiers are either using or considering using coworking – broad market adoption.
- **31%** of the US workforce working remotely 4-5 days/week in 2016 (46-63M people, 30% increase in 4 years).
- **40%** of US workforce will be engaged in the freelance, independent economy by 2020.
- **75%** of the workforce will be millennials by 2030.

-----Reserved for Recording Data-----
This instrument was prepared by
and after recording return to:

D. Albert Daspin
Daspin & Aument, LLP
227 West Monroe Street, Suite 3500
Chicago, Illinois 60606

**DECLARATION OF RECIPROCAL EASEMENTS,
COVENANTS, CONDITIONS AND RESTRICTIONS
[BURR RIDGE VILLAGE CENTER]**

**THIS DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS CONDITIONS
AND RESTRICTIONS ("Declaration")** is made as of _____, 2006, by Opus North
Corporation, an Illinois corporation ("**Declarant**").

RECITALS

A. Declarant is the owner of those certain tracts of land depicted as Lots 1 through 8 and Outlot A and Outlot B on the site plan attached hereto and made a part hereof as Exhibit A, and legally described on Exhibit B attached hereto and made a part hereof, and is the owner of any buildings and improvements thereon.

B. Each of Lots 1 through 8 and Outlot A and Outlot B, together with the buildings and improvements thereon, if any, is sometimes hereinafter referred to individually as a "**Lot**" and collectively as the "**Lots**."

C. Declarant anticipates that all or a portion of Lots 1, 2, 4 and 6 may be subsequently vertically subdivided into eight (8) separate tracts in a configuration generally as depicted on the site plan attached hereto and made a part hereof as Exhibit A-1, with Lots 3, 5, 7 and 8 and Outlot A and Outlot B not anticipated to be further subdivided and therefore are depicted as Tract 3, Tract 5, Tract 7 and Tract 8 and Outlot A and Outlot B on Exhibit A-1.

D. It is anticipated that Lot 1 will be subdivided into two tracts, with one tract ("**Tract 1**") anticipated to be developed for retail purposes comprised of approximately 25,628 square feet of net retail space on the ground floor and related improvements, and the other tract ("**Tract 9**") anticipated to be developed for residential condominium purposes comprised of three floors of residential condominium

space within certain air space, ground level space and subsurface space located within Lot 1 which contains (i) that portion of Lot 1 located above Tract 1 to a height of approximately fifty-six feet two inches (56' – 2") above six hundred ninety-four feet six inches (694' - 6") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed residential condominium improvements within Tract 9 are anticipated to be constructed, (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed residential condominium improvements within Tract 9, and (iv) that portion of Lot 1 located below the ground floor, within which certain underground parking facilities are anticipated to be constructed.

E. It is anticipated that Lot 2 will be subdivided into two tracts, with one tract ("**Tract 2**") anticipated to be developed for retail purposes comprised of approximately 36,873 square feet of net retail space on the ground floor and related improvements and subsurface areas, and the other tract ("**Tract 10**") anticipated to be developed for office condominium purposes comprised of approximately 18,380 square feet of net office condominium space within certain air space and ground level space located within Lot 2 which contains (i) that portion of Lot 2 located above Tract 2 to a height of approximately thirty-four feet ten inches (34' – 10") above six hundred ninety-one feet six inches (691' - 6") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed office condominium improvements within Tract 10 are anticipated to be constructed, and (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed office condominium improvements within Tract 10.

F. It is anticipated that Lot 4 will be subdivided into two tracts, with one tract ("**Tract 4**") anticipated to be developed for retail purposes comprised of approximately 30,485 square feet of net retail space on the ground floor and related improvements and subsurface areas, and the other tract ("**Tract 11**") anticipated to be developed for office condominium purposes comprised of approximately 14,450 square feet of net office condominium space within certain air space and ground level space located within Lot 4 which contains (i) that portion of Lot 4 located above Tract 4 to a height of approximately thirty-four feet ten inches (34' – 10") above six hundred ninety-one feet six inches (691' - 6") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed office condominium improvements within Tract 11 are anticipated to be constructed, and (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed office condominium improvements within Tract 11.

G. It is anticipated that Lot 6 will be subdivided into two tracts, with one tract ("**Tract 6**") anticipated to be developed for retail purposes comprised of approximately 34,336 square feet of net retail space on the ground floor and related improvements, and the other tract ("**Tract 12**") anticipated to be developed for residential condominium purposes comprised of three floors of residential condominium space within certain air space, ground level space and subsurface space located within Lot 6 which contains (i) that portion of Lot 6 located above Tract 6 to a height of approximately fifty-six feet two inches (56' – 2") above six hundred eighty-eight feet four inches (688' - 4") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed residential condominium improvements within Tract 12 are anticipated to be constructed, (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed residential condominium improvements within Tract 12, and (iv) that portion of Lot 6 located below the ground floor, within which certain underground parking facilities are anticipated to be constructed.

H. If all or a portion of said Lots are so subdivided, then Declarant anticipates amending and restating this Declaration as may be reasonably necessary to ratify and confirm that the easements, covenants, conditions and restrictions set forth in this Declaration shall be binding upon and inure to the benefit of the subdivided lots, all as more particularly described herein. Any reference in this Declaration to the tracts ("**Tracts**") created by Declarant's proposed subdivision shall mean and refer to the Tracts as depicted on Exhibit A-1, and, in furtherance thereof, the easements, covenants, conditions and restrictions set forth in this Declaration shall be binding upon and inure to the benefit of the Tracts as if the Tracts constituted legally subdivided parcels of property notwithstanding that any such subdivision has not occurred.

I. Tracts 1 through 6 and Outlot A and Outlot B, together with the buildings and improvements thereon, if any, are sometimes hereinafter collectively referred to as the "**Shopping Center Tracts**" and individually as a "**Shopping Center Tract**;" Tracts 10 and 11, together with the buildings and improvements thereon, if any, are sometimes hereinafter collectively referred to as the "**Office Tracts**," and individually as an "**Office Tract**;" Tracts 7, 9 and 12, together with the buildings and improvements thereon, if any, are sometimes hereinafter collectively referred to as the "**Residential Tracts**," and individually as a "**Residential Tract**;" and Tract 8, together with the buildings and improvements thereon, if any, is sometimes hereinafter referred to as the "**Outparcel**."

J. The Shopping Center Tracts and the Outparcel are sometimes hereinafter collectively referred to as the "**Retail Tracts**," and individually as a "**Retail Tract**;" Tracts 1, 2, 4, 6, 9, 10, 11 and 12 are sometimes hereinafter collectively referred to as the "**Vertical Tracts**," and individually as a "**Vertical Tract**;" and the Retail Tracts, the Office Tracts and the Residential Tracts are sometimes hereinafter collectively referred to as the "**Tracts**," and individually as a "**Tract**." The Project is commonly known as the Burr Ridge Village Center.

K. Declarant desires (i) to impose certain easements, covenants, conditions and restrictions upon certain of the Tracts for the purpose of facilitating the economic and related development of the Project, and (ii) to memorialize Declarant's intent to amend and restate this Declaration if and when all or part of the Lots may be further subdivided.

NOW, THEREFORE, in connection with the development of the Project, Declarant does hereby declare that each of the following grants, easements, covenants, conditions and restrictions shall exist at all times hereafter and be binding upon, and inure to the benefit of, each Tract in the Project.

1. **EASEMENT DECLARATIONS AND GRANTS.**

(a) **Access and Parking.**

(i) *Access.* Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Tracts, a nonexclusive easement appurtenant to each Tract, upon, over and across the access and perimeter driveways and parking areas, including any parking decks, sidewalks, walkways, trailways and driveways of the Tracts but excluding any parking garage located within or upon any Residential Tract, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with (i) vehicular (including repair and maintenance vehicles, but excluding construction vehicles, except as hereinafter provided), pedestrian, and bike ingress and egress to, from and between each Tract, and (ii) use of the driveways of the Project for access to Burr Ridge Parkway and Bridewell Drive. Anything herein to the contrary notwithstanding, neither the owner of any Retail Tract

nor Office Tract, nor such owner's tenants or occupants nor their respective employees, customers, agents or invitees shall have any right of access, ingress or egress or use to, from, upon or of any parking garage located within or upon any Residential Tract.

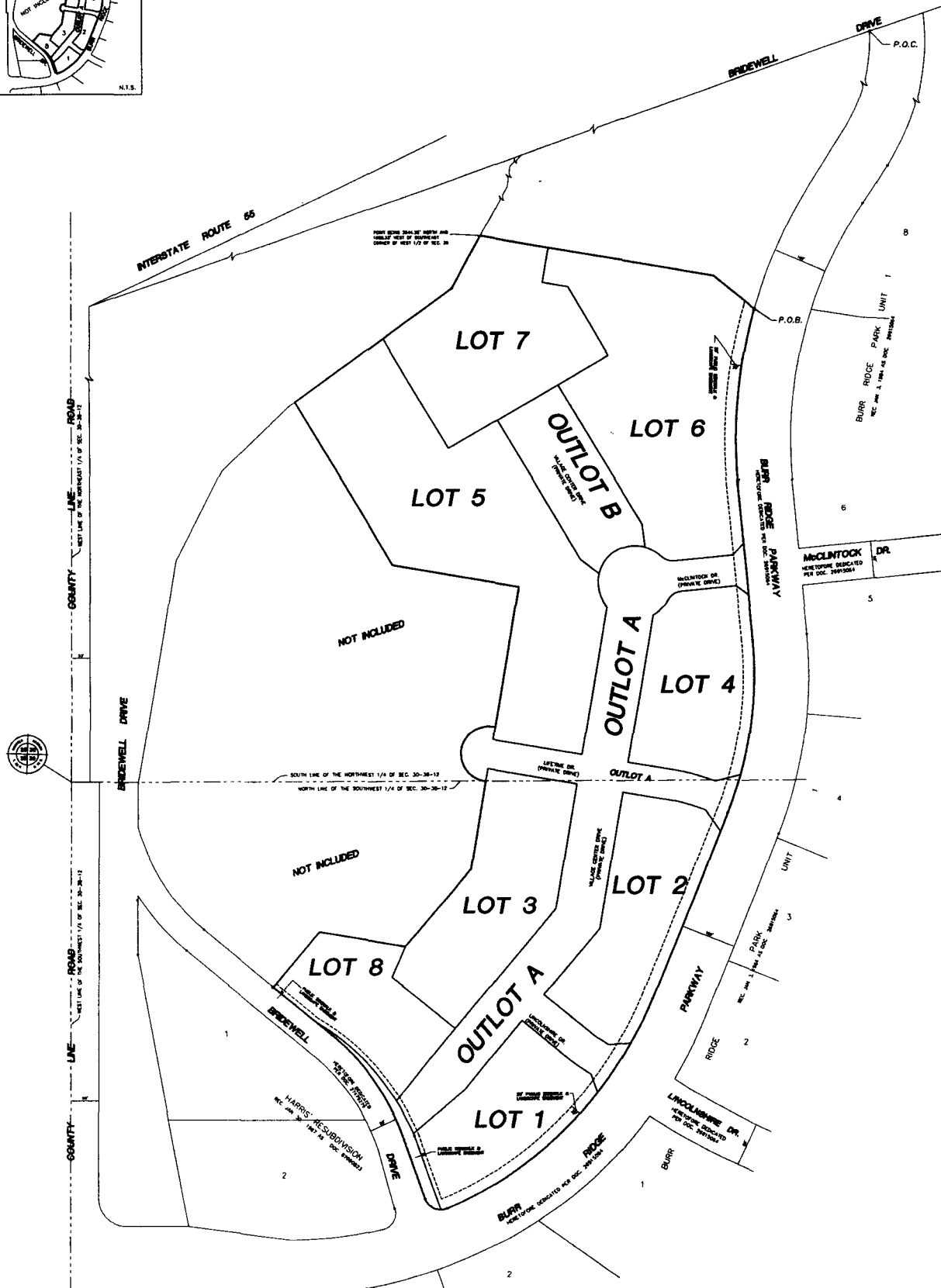
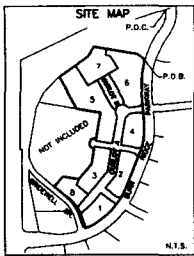
(ii) *Retail and Office Parking.* Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Retail Tracts and the Office Tracts, a nonexclusive easement appurtenant to each such Retail Tract and Office Tract, upon, over and across the parking areas within the Retail Tracts, including any parking decks of the Retail Tracts, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each such Retail Tract and Office Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with use of the parking facilities, if any, located within each of the Retail Tracts; provided, however, Declarant may designate, from time to time, certain portions of the parking facilities within the Retail Tracts as reserved for use of employees of tenants and occupants of the Retail Tracts and Office Tracts, in which event such employees shall park only in such designated areas and in no other location on any of the Retail Tracts and no persons other than such employees may park in such designated areas. The owner of each Retail Tract and Office Tract shall furnish to Declarant upon request a complete list of license numbers of all automobiles operated by such employees. If any such employees or such other persons, after twelve (12) hours notice from Declarant, fail to abide by any parking designations established by Declarant, then, in addition to any other rights or remedies that may be available to Declarant, Declarant shall have the right to impose fines upon such employees or persons who park on any portion of the Retail Tracts in violation hereof and/or cause the vehicles of such employees or persons to be towed at the sole cost and expenses of such employee or person. Anything herein to the contrary notwithstanding, neither the owner of any Retail Tract or Office Tract, nor such owner's tenants or occupants nor their respective employees, customers, agents or invitees, shall have any parking rights on any Residential Tract.

(iii) *Residential Parking.* Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Residential Tracts, a nonexclusive easement appurtenant to each Residential Tract, upon, over and across the parking areas of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each such Residential Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with use of the parking facilities, if any, located within each of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8; provided, however, Declarant may designate, from time to time, certain portions of the parking facilities within Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8 as reserved for use of employees of tenants and occupants of the Retail Tracts and Office Tracts, in which event no persons other than such employees may park in such designated areas. If any person, after twelve (12) hours notice from Declarant, fail to abide by any parking designations established by Declarant, then, in addition to any other rights or remedies that may be available to Declarant, Declarant shall have the right to impose fines upon such persons who park on any portion of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8 in violation hereof and/or cause the vehicles of such persons to be towed at the sole cost and expenses of such person. Anything herein to the contrary notwithstanding, neither the owner of any Residential Tract, nor such owner's tenants or occupants nor their respective employees, customers, agents or invitees, shall have any parking rights on Tract 3 or Tract 5.

(iv) *Valet Parking.* Declarant hereby reserves to itself and declares and grants for the benefit of the Retail Tracts, a non-exclusive easement appurtenant to the Retail Tracts over, across, upon and under that portion of Tract 4, Tract 5 and Tract 8 depicted as the "**Valet Parking Easement Area**" on Exhibit A-1 for the purpose of permitting Declarant to operate a valet parking service (the "**Valet Program**") benefiting the customers and invitees of the owners, tenants and occupants of the Retail

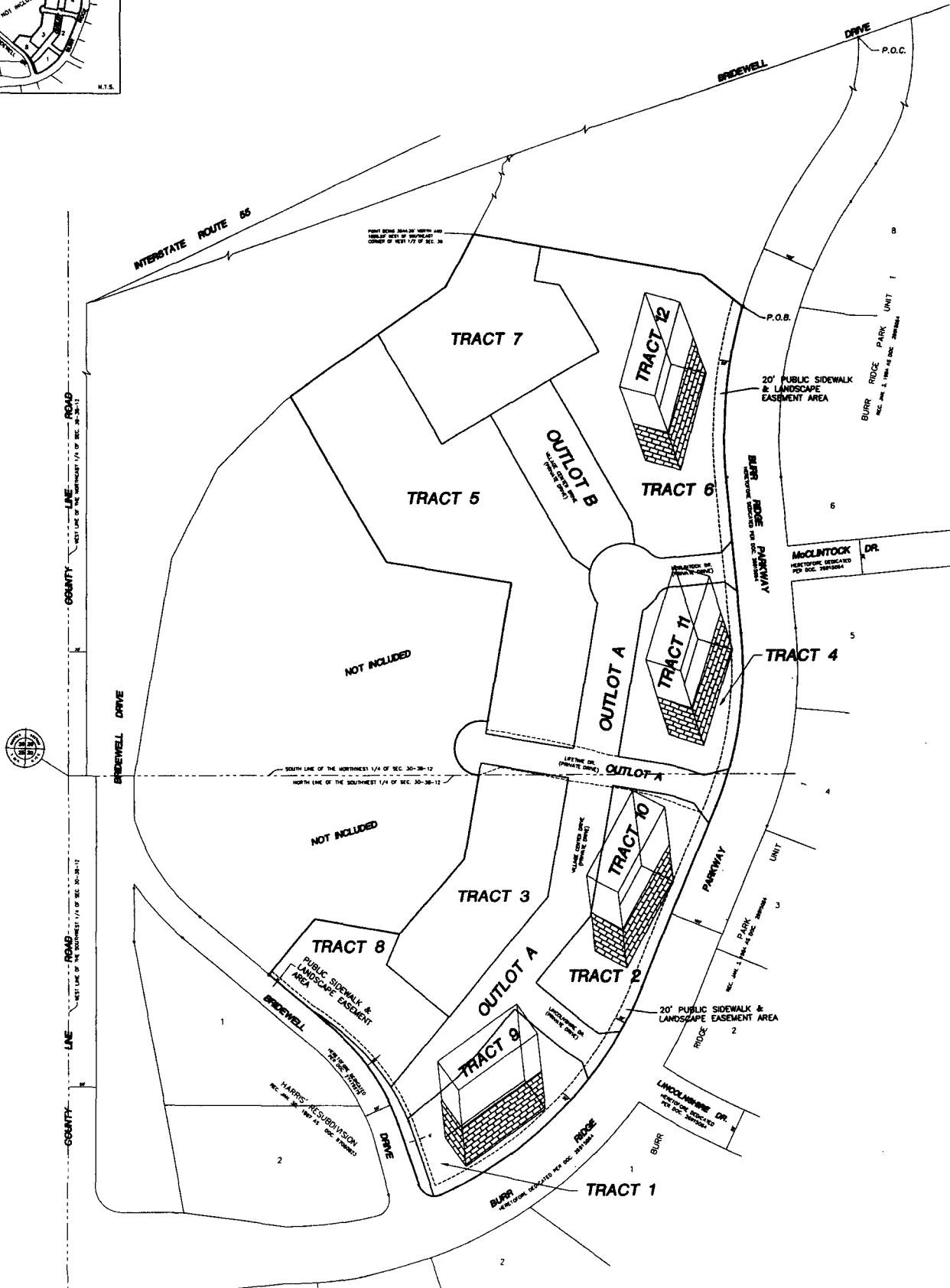
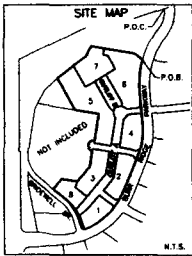
GRAPHIC SCALE

1" = 40'



GRAPHIC SCALE

1" = 50'



FINAL PLAT OF SUBDIVISION
FOR THE
BURR RIDGE VILLAGE CENTER
RESUBDIVISION

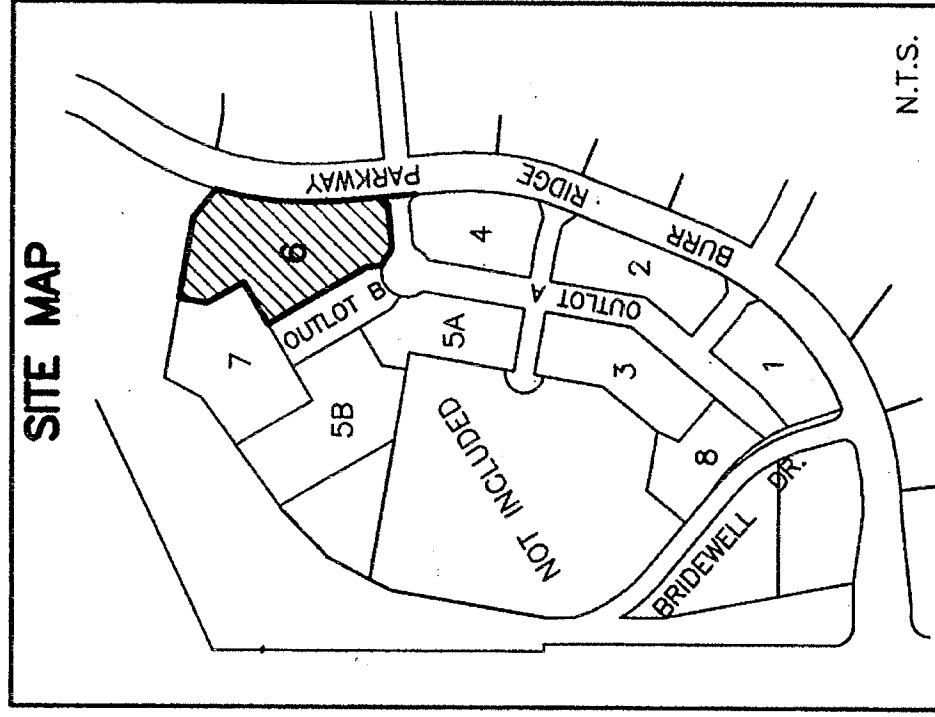
PART OF THE WEST 1/4 OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

DOCUMENTS
WITH THIS
PLAT

27 OF 033403124

GRAPHIC SCALE

1" = 20'



N.T.S.

LOT 6-1

LOWER LIMITS = 691.00'
UPPER LIMITS = 709.58'

LOT 6-1

LOWER LIMITS = 691.00'
UPPER LIMITS = 709.58'

LOT 6-2

LOWER LIMITS = 691.00'
UPPER LIMITS = 710.58'

LOT 6-2

LOWER LIMITS = 691.00'
UPPER LIMITS = 710.58'

LOT 6-2

LOWER LIMITS = 691.00'
UPPER LIMITS = 709.58'

LOT 6-2

LOWER LIMITS = 691.00'
UPPER LIMITS = 710.58'

LOT 6
LEVEL L1

AREA SUMMARY			
LOT NO.	SQ. FT.	ACRES	
6-1	124,618	2.8608	
6-2	5,065	0.1163	
TOTAL	129,683	2.9771	

NOTE: AREAS SHOWN HEREON REPRESENT LOT AREA AS DEPICTED ON THIS SHEET ONLY.

BENCHMARKS:
DUPAGE COUNTY BENCHMARK NO. 28:
BRONZE DISK IN CONCRETE MONUMENT ESTABLISHED BY
NATIONAL GEODETIC SURVEY MARKED "HINSDALE 1956 NO.
4, 1983". REFERENCED AS DGN23002 AND NGS38112303.
ON EAST SIDE OF ROUTE 83 KINGERY HIGHWAY ABOUT 0.1
MILE NORTH OF INTERSECTION OF PLAINFIELD ROAD AND
KINGERY HIGHWAY.
ELEVATION=724.63
NGVD 1983 DATUM
T.B.M. #1 - SET CROSS NOTCH IN TOP OF CURB AT
WEST NORTHERLY CORNER OF LOT 6
ELEVATION=679.12
T.B.M. #2 - SET CROSS NOTCH IN WALK 44 FEET
SOUTHWESTERLY OF NORTHEASTERLY CORNER OF LOT 6 IN
EAST SIDE OF LOT SUBDIVISION.
ELEVATION=669.16

NOTE:
THE VERTICAL SUBDIVISION OF LOTS SHOWN HEREON WAS TAKEN FROM AS-BUILT
LOCATIONS OBTAINED IN THE FIELD. HORIZONTAL BOUNDARIES OF THE LOTS SHOWN
HEREON ARE THE VERTICAL PLANES FORMED BY AS-BUILT EXTERIOR WALLS OR THE
CENTERLINES OF AS-BUILT INTERIOR WALLS. VERTICAL BOUNDARIES OF THE LOTS
SHOWN HEREON ARE HORIZONTAL PLANES FORMED BY AS BUILT OR PROPOSED
FLOOR OR ROOF ELEVATIONS.

ORDINANCE NO.

AN ORDINANCE GRANTING A CONDITIONAL SIGN APPROVAL FOR A NON-RESIDENTIAL SIGN IN A RESIDENTIAL DISTRICT AND FOR THREE VARIATIONS FROM SECTION 55.04.B AND SECTION 55.11.K OF THE SIGN ORDINANCE TO ALLOW A SIGN: (1) EXCEEDING THE MAXIMUM PERMITTED SIZE FOR A GROUND SIGN; (2) WITH AN ELECTRONIC CHANGEABLE MESSAGE PANEL; AND (3) LOCATED LESS THAN 10 FEET FROM A PROPERTY LINE.

(S-04-2019: 7425 Wolf Road - Pleasant Dale Park District)

WHEREAS, an application for a conditional sign approval and sign variations has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village considered the question of granting said conditional sign approval and sign variations on August 5, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a sign variation, including its findings and recommendations, to this President and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties,

Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of the conditional sign approval and sign variations indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Article I thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the applicant for the conditional sign approval and sign variations for the property located at 7425 Wolf Road, Burr Ridge, Illinois, is Pleasant Dale Park District (hereinafter "Applicant"). The applicant requests conditional sign approval for a non-residential sign in a residential district and three variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance to allow a sign: (1) exceeding the maximum permitted size for a ground sign; (2) with an electronic changeable message panel; and (3) located less than 10 feet from a property line.
- B. The proposed sign will serve a public purpose as the signs will provide information to patrons of the park district about local civic activities.
- C. The variations are necessary due to the petitioner's existing sign base being located in its proposed location.
- D. The proposed sign is intended to serve members of the public.
- E. The proposed sign will not be distracting from the character of the locality.

Section 3: That the conditional sign approval and sign

variations from the Sign Ordinance are **hereby granted** for the property commonly known as 7425 Wolf Road and subject to compliance with the submitted sign elevations attached hereto as **Exhibit A** as well as the following conditions:

1. The sign shall comply with the sign elevations and the sign location plan attached hereto.
2. There shall be no animation, videos, or other moving text within the electronic message panel.
3. The electronic message panel shall be turned off every night from 11:00 p.m. to 6:00 a.m.
4. The electronic message panel shall be permitted to message changes no more than every 10 seconds.
5. The sign shall display only advertisements which promote the activity of governmental bodies.

Section 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 26th day of August, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge on this
26th day of August, 2019.

Mayor

ATTEST:

Village Clerk

EXHIBIT A



Burr Ridge Plan Commission & Board of Trustees
Burr Ridge Village Hall
7660 County Line Road
Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

On behalf of Pleasantdale School District 107 and the Pleasant Dale Park District, we wish to thank you for considering our sign variance request to allow us to install digital signage. While we will be submitting individual applications, we wanted you to be aware that this has been a cooperative effort to benefit both of our organizations. We always attempt to be as fiscally responsible as possible with taxpayer dollars. Working collaboratively has allowed us to secure better pricing as opposed to us working individually. As our locations are directly across the street from each other and our signs will be virtually the same, the finished product would give the area a nice "book end" feel on either side of Wolf Road. Lastly, as both of our agencies offer a variety of events and programs, new signage will serve as a benefit to our community. We look forward to your feedback and future discussion.

Thank you very much,

A handwritten signature in blue ink, appearing to read "Griffin Sonntag".

Griffin Sonntag
Principal
Pleasantdale Middle School

A handwritten signature in blue ink, appearing to read "Matt Russian".

Matt Russian
Executive Director
Pleasant Dale Park District



**Pleasant Dale
Park District**

Since 1954



PLEASANT DALE PARK DISTRICT

7425 South Wolf Road
Burr Ridge, IL 60527

Telephone: (630) 662-6220
FAX: (630) 662-9239

Burr Ridge Plan Commission & Board of Trustees
Burr Ridge Village Hall
7660 County Line Road
Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

Thank you for your review and consideration of our sign variance request which would allow us to install new digital signage at the Walker Park Recreation Center located at 7425 S Wolf Road in Burr Ridge. We are proposing to install an energy efficient Prismview double-faced outdoor 10mm RGB LED matrix display board. The sign would have full color capability and we would use that coloring in our verbiage and artwork displays. No moving pictures would be utilized as part of the display (waving flag, bouncing ball, etc.).

-Existing Sign Measurements: 47"H x 86"L x 24.5"D Base of sign sits 20" above ground

-Proposed Sign Measurements: 48.375"H x 81.25"L x 12"D Base of sign still at 20" above ground

-10mm is the pixel pitch (distance between each pixel) and refers to the resolution of sign.

Included in our application is the following:

- Petition of Public Hearing for Sign Variance
- Findings of Fact for Sign Variance
- Site map of existing and proposed sign location
- Aerial view of existing and proposed sign location
- Picture of existing letter board sign
- Rendering of proposed digital sign
- Technical drawing of digital display board
- Supplemental information regarding Prismview signs

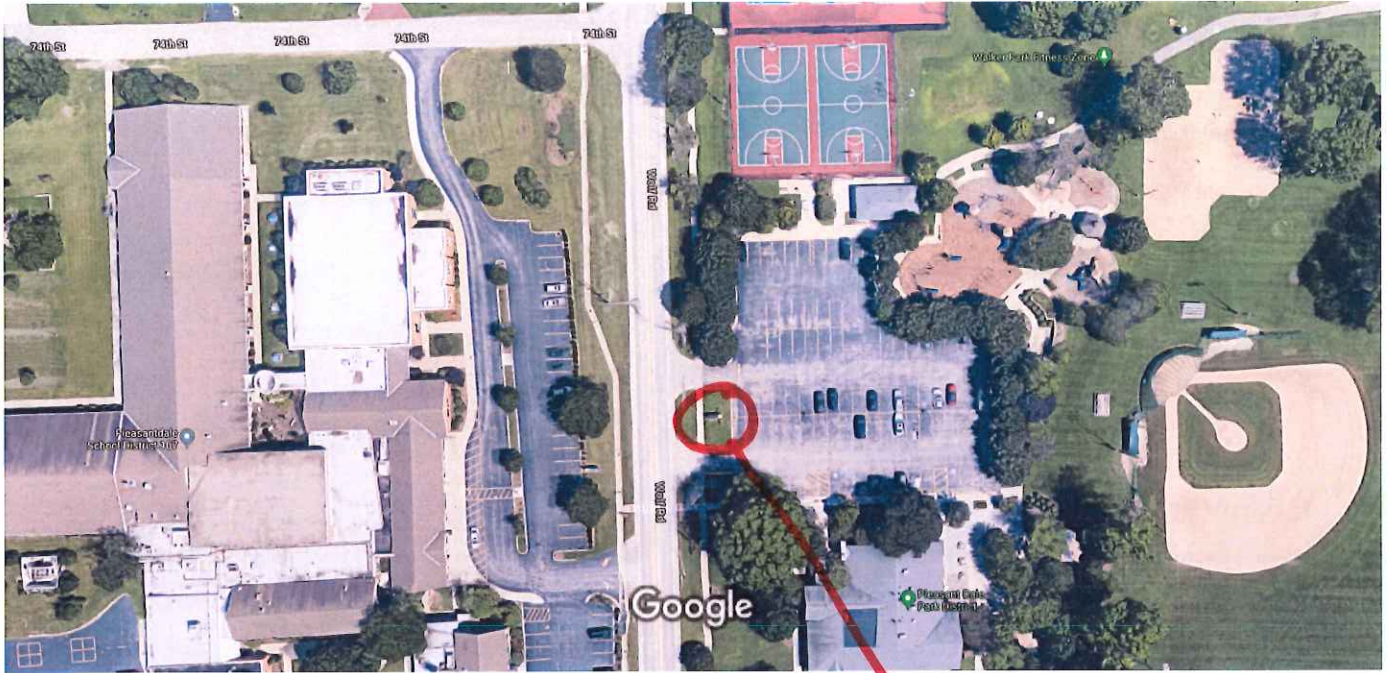
On behalf of the park district, we thank you for your consideration and welcome the opportunity to address any questions you may have.

Sincerely,

Matt Russian
Executive Director
Pleasant Dale Park District

[illegible]

Google Maps 7425 S Wolf Rd



Imagery ©2019 Google, Map data ©2019 50 ft



AERIAL VIEW
SIGN LOCATION

7425 S Wolf Rd

Burr Ridge, IL 60527



Directions



Save



Nearby



Send to your
phone



Share

Q434+HR Burr Ridge, Illinois

PLEASANT DALE PARK DISTRICT

PRE SCHOOL OPEN HOUSE

MAR 13 4-5 PM

FCHS QUEEN ELIZ II 3/18 7PM

SUMMER CAMP

OPEN HOUSE 3-14 6-6:30PM



Pleasant Dale
Park District

7425

**NORTH LOT
EXIT
ONLY**

STOP

3677 N. IL Route 71
Sheridan, IL 60551

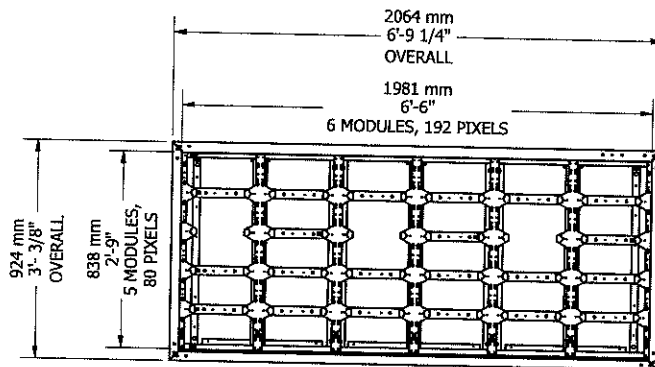
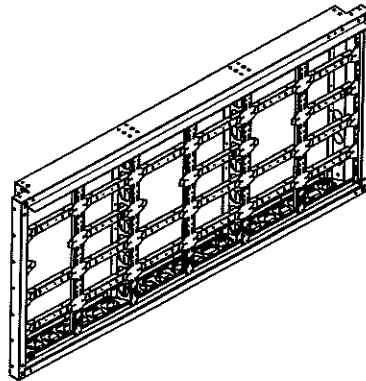


(815) 695-1000
www.correctdd.com

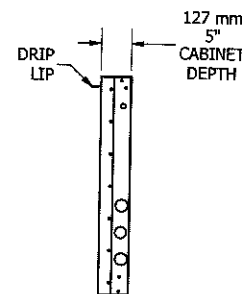


Prepared For:	City:	Colors:	Display Pitch:	Notes:
Address:	State:	Revision 1:		
Location Name:	Drawing #:	Revision 2:	Customer Signature:	

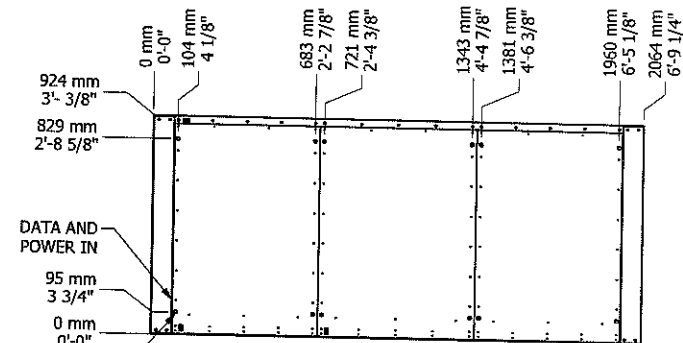
THESE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF PRISMVIEW LLC. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THEIR USE AND FOR THE PROJECT FOR WHICH THEY WERE PROVIDED, AND NOT FOR USE ON ANY OTHER PROJECT.



FRONT VIEW
SCALE 1 / 20



3/8" CLOSED END NUTSERTS FOR MOUNTING TO REAR STRUCTURE



REAR VIEW
SCALE 1 / 20

REVISION HISTORY				
DWG EDITION	REV	DWG EDITION DESCRIPTION	DATE	AUTHOR
1	A	INITIAL RELEASE	12/27/2016	CJN
2	B	Removed 1 Horz. Stiffener, Added 3 Short Stiffners	10/25/20108	AA
3				

NOTES: (UNLESS OTHERWISE SPECIFIED)

PER SINGLE FACE

1. ESTIMATED WEIGHT AT 10 LB PER SQUARE FOOT: 176 LB (APPROX.)
2. ESTIMATED LED WATTAGE AT .077 WATTS PER PIXEL: 1,183 WATTS (APPROX.)
3. TOTAL WATTAGE OF DISPLAY: 1,195 WATTS (APPROX.)
4. PRIMARY POWER TYPE: 120V, 60Hz

PROJECT NAME: PLEASANT DALE PARK

PROJECT NUMBER: S201931000674-01

NUMBER OF SECTIONS (PER FACE): 1
NUMBER OF FACES: 0

NUMBER OF FANS (PER FACE): 3
WATTS PER FAN: 6

NOTES: (UNLESS OTHERWISE SPECIFIED)

- ALUMINUM CABINET DESIGN WITH BLACK PERIMETER FINISH
- ACTUAL CONNECTED LOAD DEPENDS ON NIT VALUES, EFFICIENCY OF THE SYSTEM, AND LED SELECTION. THE ELECTRICAL CONTRACTOR MUST VERIFY ACTUAL LOADS AND POWER TYPE WITH THE FACTORY PRIOR TO FABRICATION
- ALL CORNERS TO BE SHOP WELDED. SILICONE ALL OTHER SEAMS.

Prismview
A Samsung Electronics Company

1651 NORTH 1000 WEST
LOGAN, UT 84321
PHONE: 435-774-8800 FAX: 435-774-8801

Better Build, 10mm 192x80

UNSPECIFIED TOLERANCES
DECIMAL: ± 0.010
FRACTIONAL: ± 1/16
ANGULAR: ± 2°

SHEET
SIZE:
B

ITEM NUMBER:
MAY-880020

ITEM
REVISION:
B

ESTIMATED
WEIGHT:
176 LBS
80 Kg
DATE:
12/27/2016

SHEET NUMBER:
1 OF 6

ORDINANCE NO.

AN ORDINANCE GRANTING A CONDITIONAL SIGN APPROVAL FOR A NON-RESIDENTIAL SIGN IN A RESIDENTIAL DISTRICT AND FOR THREE VARIATIONS FROM SECTION 55.04.B AND SECTION 55.11.K OF THE SIGN ORDINANCE TO ALLOW A SIGN: (1) EXCEEDING THE MAXIMUM PERMITTED SIZE FOR A GROUND SIGN; (2) WITH AN ELECTRONIC CHANGEABLE MESSAGE PANEL; AND (3) LOCATED LESS THAN 10 FEET FROM A PROPERTY LINE.

(S-05-2019: 7450 Wolf Road - Pleasantdale School District 107)

WHEREAS, an application for a conditional sign approval and sign variations has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village considered the question of granting said conditional sign approval and sign variations on August 5, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a sign variation, including its findings and recommendations, to this President and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties,

Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of the conditional sign approval and sign variations indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Article I thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the applicant for the conditional sign approval and sign variations for the property located at 7450 Wolf Road, Burr Ridge, Illinois, is Pleasantdale School District 107 (hereinafter "Applicant"). The applicant requests conditional sign approval for a non-residential sign in a residential district and three variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance to allow a sign: (1) exceeding the maximum permitted size for a ground sign; (2) with an electronic changeable message panel; and (3) located less than 10 feet from a property line.
- B. The proposed sign will serve a public purpose as the signs will provide information to patrons of the school district about local civic activities.
- C. The variations are necessary due to the petitioner's existing sign base being located in its proposed location.
- D. The proposed sign is intended to serve members of the public.
- E. The proposed sign will not be distracting from the character of the locality.

Section 3: That the conditional sign approval and sign

variations from the Sign Ordinance are **hereby granted** for the property commonly known as 7450 Wolf Road and subject to compliance with the submitted sign elevations attached hereto as **Exhibit A** as well as the following conditions:

1. The sign shall comply with the sign elevations and the sign location plan attached hereto.
2. There shall be no animation, videos, or other moving text within the electronic message panel.
3. The electronic message panel shall be turned off every night from 11:00 p.m. to 6:00 a.m.
4. The electronic message panel shall be permitted to message changes no more than every 10 seconds.
5. The sign shall display only advertisements which promote the activity of governmental bodies.
6. The top of the sign shall be flush across the entirety of the sign's elevation.

Section 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 26th day of August, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge on this
26th day of August, 2019.

Mayor

ATTEST:

Village Clerk

EXHIBIT A



Burr Ridge Plan Commission & Board of Trustees
Burr Ridge Village Hall
7660 County Line Road
Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

On behalf of Pleasantdale School District 107 and the Pleasant Dale Park District, we wish to thank you for considering our sign variance request to allow us to install digital signage. While we will be submitting individual applications, we wanted you to be aware that this has been a cooperative effort to benefit both of our organizations. We always attempt to be as fiscally responsible as possible with taxpayer dollars. Working collaboratively has allowed us to secure better pricing as opposed to us working individually. As our locations are directly across the street from each other and our signs will be virtually the same, the finished product would give the area a nice "book end" feel on either side of Wolf Road. Lastly, as both of our agencies offer a variety of events and programs, new signage will serve as a benefit to our community. We look forward to your feedback and future discussion.

Thank you very much,

A handwritten signature in blue ink, appearing to read "Griffin Sonntag".

Griffin Sonntag
Principal
Pleasantdale Middle School

A handwritten signature in blue ink, appearing to read "Matt Russian".

Matt Russian
Executive Director
Pleasant Dale Park District

Pleasantdale Elementary School
8100 School Street
La Grange, IL 60525
708.246.4700 Fax: 708.246.4625



Pleasantdale Middle School
7450 S. Wolf Road
Burr Ridge, IL 60527
708.246.3210 Fax: 708.352.0092

Pleasantdale School District 107 | 7450 S. Wolf Road | Burr Ridge, IL 60527 | 708.784.2013 | Fax: 708.246.0161 | www.d107.org

Burr Ridge Plan Commission and Board of Trustees

Burr Ridge Village Hall

7660 County Line Road

Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

Thank you for your review and consideration of our sign variance request which would allow us to install new digital signage in front of the Pleasantdale Middle School located at 7450 S. Wolf Road in Burr Ridge. We are proposing to install an energy efficient Prismview, double-faced outdoor 10 mm RGB LED matrix display board. The sign would have full-color capability and we would use that coloring in our verbiage and artwork displays. We understand and agree that there shall be no animation, videos, or other moving text within the electronic message panel. In addition, the electronic message panel shall be turned off between the hours of 12 Midnight and 4 a.m.

Existing Sign Measurements: 54" H X 72" L X 15 ½" D--Base of the sign sits 18" above the ground

Proposed Sign Measurements: 48 ¾" H X 68 ¼" L X 24" D--Base of sign still at 18" above ground

10 mm is the pixel pitch (distance between each pixel) and refers to the resolution of the sign.

Included in our application are the following:

- Petition of Public Hearing for Sign Variance
- Findings of Fact for Sign Variance
- Site map of existing and proposed sign location
- Aerial view of existing and proposed sign location
- Picture of existing letter board sign
- Rendering of proposed digital sign
- Technical drawing of the digital display board
- Supplemental information about Prismview Signs

On behalf of the Pleasantdale School District 107 community, we thank you for your consideration and welcome the opportunity to address any questions you may have.

Respectfully,

A handwritten signature in black ink, appearing to read 'Griffin L. Sonntag'.

Griffin L. Sonntag

Proud Principal of Pleasantdale Middle School

Pleasantdale School District 107

Pleasantdale Elementary School
8100 School Street
La Grange, IL 60525
708.246.4700 Fax: 708.246.4625



Pleasantdale Middle School
7450 S. Wolf Road
Burr Ridge, IL 60527
708.246.3210 Fax: 708.352.0092

Pleasantdale School District 107 | 7450 S. Wolf Road | Burr Ridge, IL 60527 | 708.784.2013 | Fax: 708.246.0161 | www.d107.org

Finding of fact for variation pursuant to the Village of Burr Ridge Sign Ordinance

- a) The variation is in harmony with the general purpose and intent of the Sign Ordinance

-The new digital sign will continue to comply with the intent of the sign ordinance by being compatible with the surroundings, appropriate to school district activities, and legible to the community.

- b) The plight of the petitioner is due to unique circumstances

-At the school district, we have many activities and events that we offer to our school community and the communities we serve. Due to the limited space of the old-fashioned letter board sign, we have to choose what events are highlighted on the sign. A new digital sign would allow us to inform the community of more activities and events by integrating new technology.

- c) The variation is necessitated by practical difficulties or particular hardships created by the requirements of the Sign Ordinance

-The antiquated sign we currently have continually needs repairs. The frame and locks have attempted to be repaired multiple times without success. This has allowed precipitation to enter the sign causing additional issues. In trying to spend funds wisely, it makes sense to replace the letter board sign with a new digital display board.

- d) The variation will not alter the essential character of the locality

-The masonry base and adjacent column on the existing sign will stay completely intact. We are simply looking to replace the letter board sign case with a digital display case so the character of the location will not be altered.

Google Maps

7450 Wolf Rd

Aerial view-Sign Location Circled



Imagery ©2019 Google, Map data ©2019

100 ft

*Aerial view of
Sign location*

7450 Wolf Rd

Burr Ridge, IL 60527



Directions



Save



Nearby

Send to your
phone

Share

Photos

PLAT OF SURVEY

By
THOMAS KENNEDY & Co.

30 NORTH LA SALLE ST. CHICAGO

PLEASANT DALE SCHOOL DISTRICT No. 107 COOK COUNTY ILL.

ROW 044-06

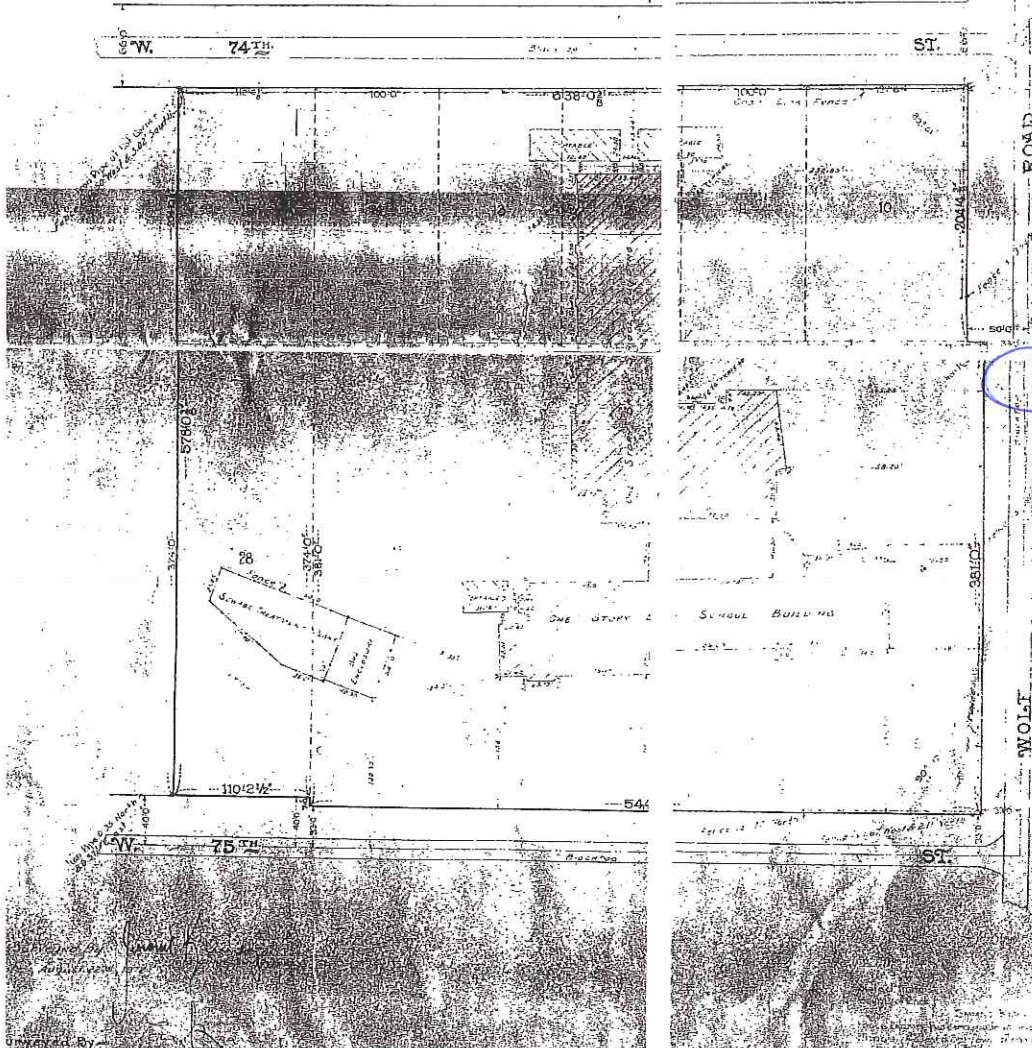
The South 414 feet of the East 577.50 feet of the North East 1/4 of Section 28 Township 38 North Range 12 East of the Third Principal Meridian, except that part taken or used for streets.

Also
Lots 15 to 19 inclusive and lot 28 in the said Section 28 of the said Township 38 North Range 12 East of the Third Principal Meridian.

RECEIVED

DEC 18 2006

VILLAGE OF BURR RIDGE





PLEASANTDALE
MIDDLE
SCHOOL

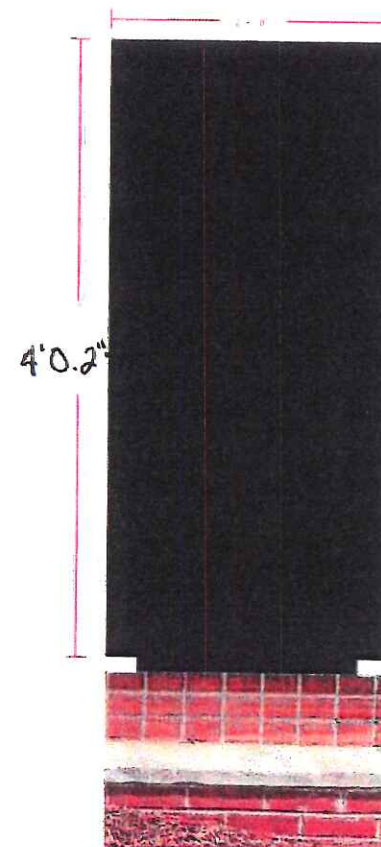
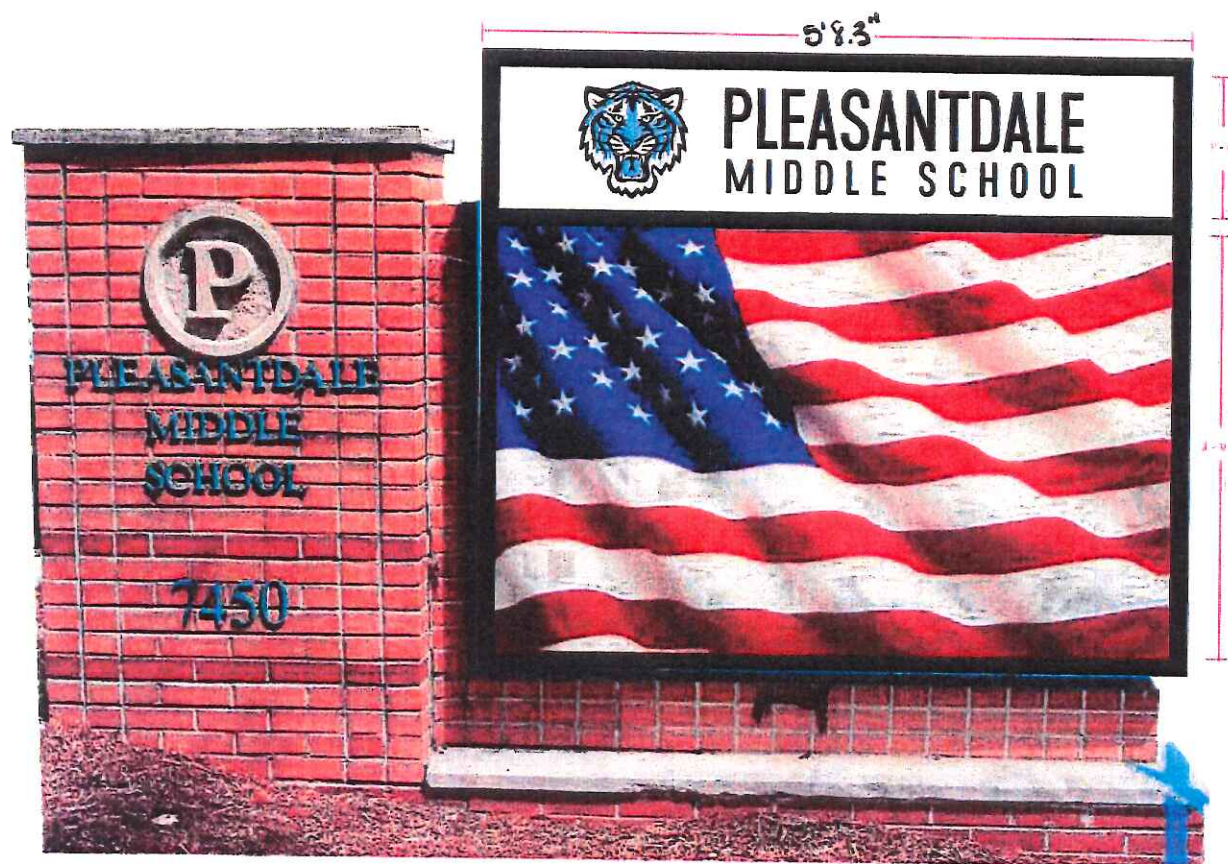
750

PLEASANTDALE
MIDDLE SCHOOL
ENJOY THE SUMMER.
PLEASANTDALE
READ. READ. READ

3677 N. IL Route 71
Sheridan, IL 60551

Correct DIGITAL
D...I...S...P...L...A...Y...S
815-695-1000

(815) 695-1000
www.correctdd.com



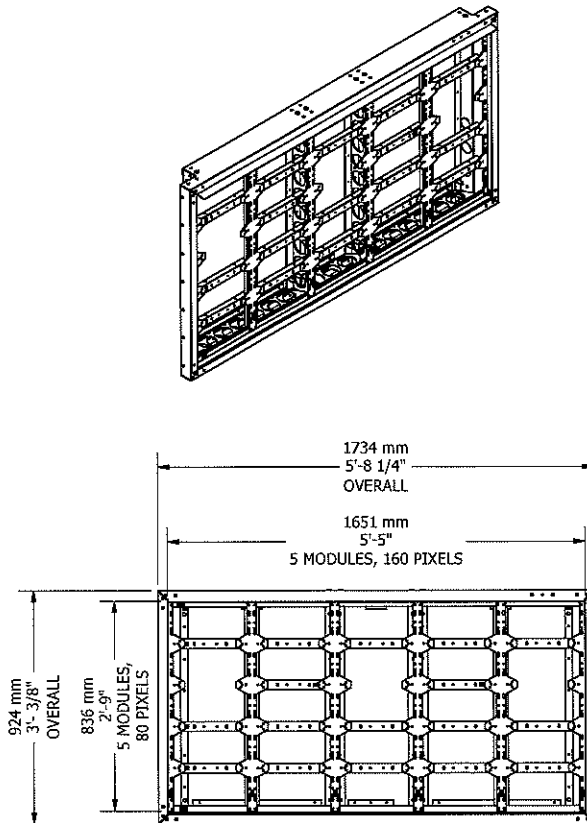
Prepared For:	City:	Colors:	Display Pitch:	Notes:
Address:	State:	Revision 1:		
Location Name:	Drawing #:	Revision 2:	Customer Signature:	

REVISION HISTORY				
DWG EDITION	REV	DWG EDITION DESCRIPTION	DATE	AUTHOR
1	A	INITIAL RELEASE	3/22/2018	CJN
2	B	HORIZONTAL STIFFENER CHAGE	10/19/2018	KK
3				

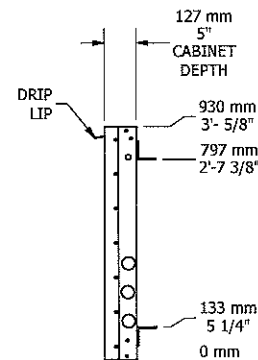
NOTES: (UNLESS OTHERWISE SPECIFIED)

PER SINGLE FACE

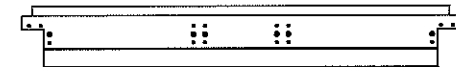
1. ESTIMATED WEIGHT AT 10 LB PER SQUARE FOOT: 147 LB (APPROX.)
2. ESTIMATED LED WATTAGE AT .077 WATTS PER PIXEL: 1,183 WATTS (APPROX.)
3. TOTAL WATTAGE OF DISPLAY: 986 WATTS (APPROX.)
4. PRIMARY POWER TYPE: 120V, 60Hz



FRONT VIEW
SCALE 1 / 18



3/8" CLOSED END NUTSERTS FOR MOUNTING TO REAR STRUCTURE
L3x3x1/4" CONTINUOUS STRINGER BY PRISMVIEW



REAR VIEW
SCALE 1 / 18

PROJECT NAME: PLEASANT DALE MIDDLE SCHOOL

PROJECT NUMBER: S201931000685-01

NUMBER OF SECTIONS (PER FACE): 1
NUMBER OF PAGES: 2

NUMBER OF FANS (PER FACE): 3
WATTS PER FAN: 6

NOTES: (UNLESS OTHERWISE SPECIFIED)

- ALUMINUM CABINET DESIGN WITH BLACK PERIMETER FINISH
- ACTUAL CONNECTED LOAD DEPENDS ON NIT VALUES, EFFICIENCY OF THE SYSTEM, AND LED SELECTION. THE ELECTRICAL CONTRACTOR MUST VERIFY ACTUAL LOADS AND POWER TYPE WITH THE FACTORY PRIOR TO FABRICATION
- ALL CORNERS TO BE SHOP WELDED. SILICONE ALL OTHER SEAMS.

Prismview
A Samsung Electronics Company

1651 NORTH 1000 WEST
LOGAN, UT 84321
PHONE: 435-774-8800 FAX: 435-774-8801

Better Build, 10mm 160x80

UNSPECIFIED TOLERANCES
DECIMAL: ± 0.010
FRACTIONAL: ± 1/16
ANGULAR: ± 2°

SHEET
SIZE:
B

ITEM NUMBER:
MAY-880097

ITEM
REVISION:
B

ESTIMATED
WEIGHT:
147 LBS
67 Kg
DATE:
3/22/2018

SHEET NUMBER:
1 OF 6

ORDINANCE NO.

AN ORDINANCE APPROVING A VARIATION FROM SECTION IV.J OF THE
ZONING ORDINANCE TO PERMIT A SIX-FOOT TALL FENCE IN THE FRONT
AND SIDE YARD OF A RESIDENTIAL PROPERTY

(V-06-2019: 8335 County Line Road - Pizzuto)

WHEREAS, an application for variations for certain real estate has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said variations on August 5, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for variations, including its findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report,

findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that approval of variations indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the variation for the property located at 8335 County Line Road, Burr Ridge, Illinois, is Mr. Michael Pizzuto (hereinafter "Petitioner"). The Petitioner requests variations from Section IV.J of the Zoning Ordinance to permit a six-foot tall fence in the front and side yard of a residential property.
- B. That the property could not yield a reasonable return if the variation was not permitted.
- C. That the configuration of the property did create the need for the variation.
- D. That the proposed variation is consistent with the Zoning Ordinance.
- E. That the proposed hardship has not been created by any persons with a financial interest in the property.
- F. The granting of the variation will not be detrimental to the public welfare.

- G. The granting of the variation will not alter the essential character of the neighborhood or locality.
- H. The granting of the variation will allow for less water to impact both the subject property and surrounding properties.
- I. The granting of the variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge.

Section 3: That variations from Section IV.J of the Zoning Ordinance to permit a six-foot tall fence in the front and side yard of a residential property are ***hereby approved*** for the property commonly known as 8335 County Line Road and identified with the Permanent Real Estate Index Numbers of **18-31-300-012** and **18-31-300-004**.

Section 4: That the approval of these variations are subject to compliance with the submitted proposed site plan and fence elevation attached hereto as **Exhibit A**.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 26th of August, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

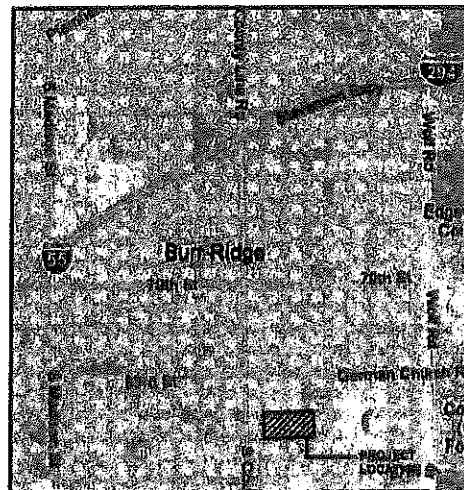
APPROVED by the Mayor of the Village of Burr Ridge on this
26th of August, 2019.

Mayor

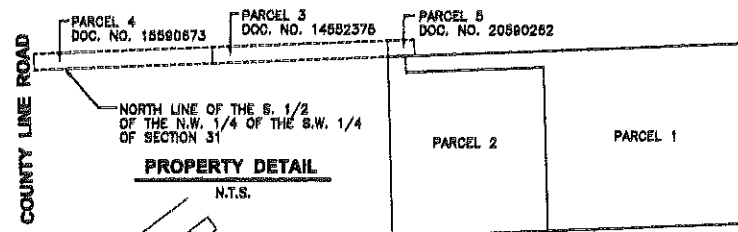
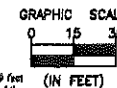
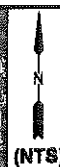
ATTEST:

Village Clerk

ALTA / ACSM LAND TITLE SURVEY
FOR
PART OF THE S.W. 1/4 OF SECTION 31, T. 38 N., R. 12 E., OF THE 3RD P.M.
COOK COUNTY, ILLINOIS
SEPTEMBER, 2015

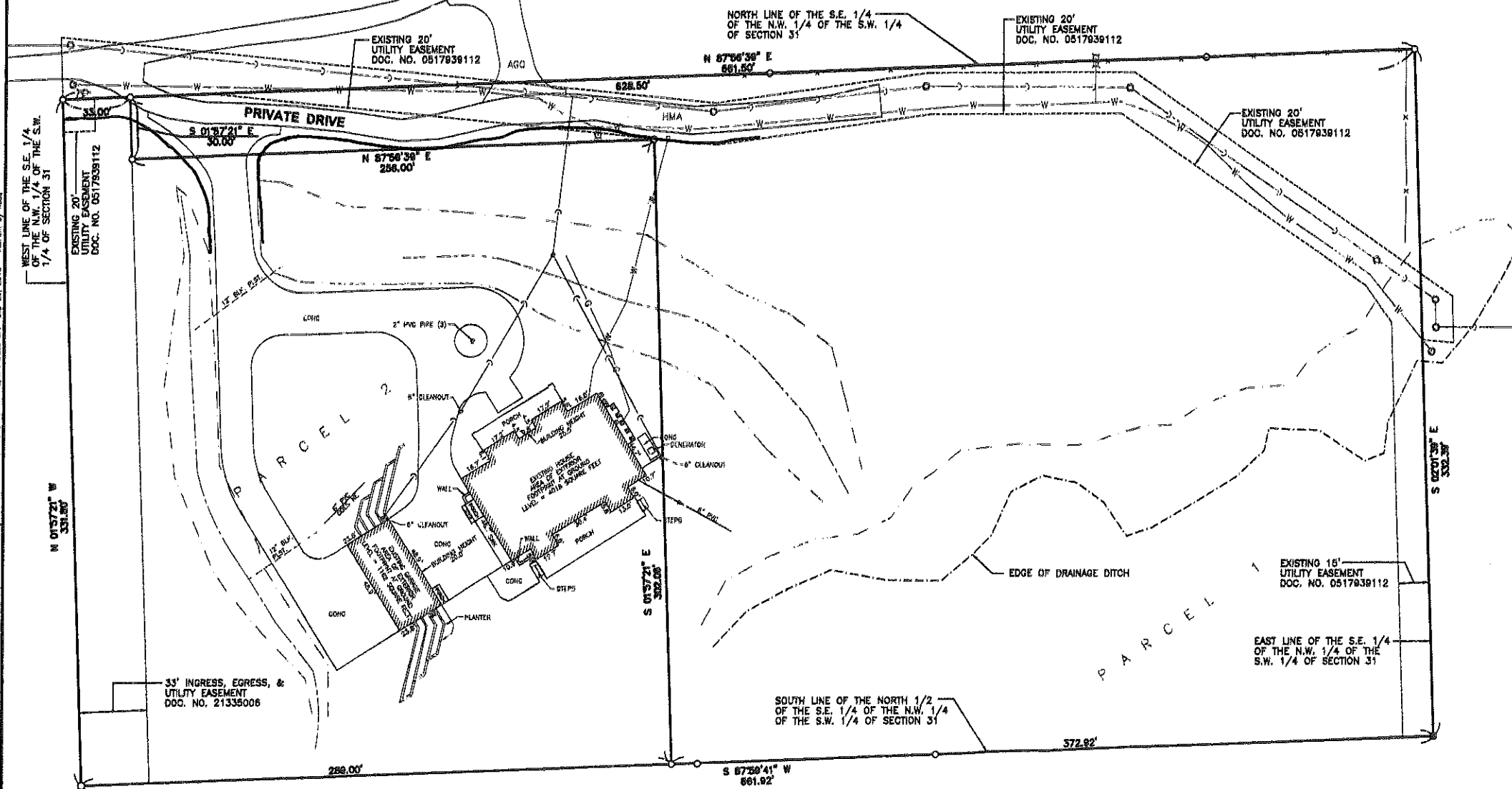


LOCATION MAP



LEGEND

BOUNDARY OF PROPERTY SURVEYED	○	EXISTING POWER POLE
EXISTING EASEMENT LINE	□	EXISTING CABLE BOX
EXISTING WATER MAIN	≡	EXISTING ELECTRIC JUNCTION BOX
EXISTING SANITARY SEWER	○	EXISTING IRON PIPE FOUND
EXISTING STORM SEWER	●	EXISTING IRON ROD FOUND
EXISTING DRAINAGE DITCH	CONC.	CONCRETE
EXISTING TOP OF SLOPE	F.F. EL.	FINISHED FLOOR ELEVATION
EXISTING TOE OF SLOPE	▽	EXISTING FIRE HYDRANT
EXISTING FENCE	⌵	EXISTING BUFFALO BOX
EXISTING MANHOLE	⊕	EXISTING VALVE W/ BOX
EXISTING CLEANOUT	⊙	



LEGAL DESCRIPTION

Parcel 1
The North Half (except the West 33 feet thereof) and also except that part of the West 288 feet thereof, as measured along the South Line, which lies South of the North 30 feet thereof, of the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 2
The West 288 feet, as measured along the South Line (except that part of the North 30 feet thereof lying East of the West 33 feet) of the North Half of the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, except the West 288 feet thereof, in Cook County, Illinois.

Parcel 3
Easement for ingress and egress for the benefit of Parcels 1 and 2, over and upon: The South 30 feet of the East Half of the Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, as reserved in Warranty Deed dated May 11, 1949 and recorded May 13, 1949 as Document No. 1452275.

Parcel 4
Easement for ingress and egress for the benefit of Parcels 1 and 2 over and upon: The South 30 feet of the West Half of the Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, as reserved in deed dated April 1, 1953 and recorded April 15, 1953 as Document No. 1559067, in Cook County, Illinois.

Parcel 5
Easement for ingress and egress for the benefit of Parcels 1 and 2 over and upon: The South 30 feet of the West 30 feet of the South Half of the Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, in Cook County, Illinois as created by deed recorded August 20, 1968 as Document No. 2059026.

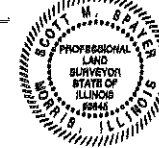
SURVEYOR'S CERTIFICATE

TO: Michael Pizzuto; Bank of America N.A./BAOA/ATMA; and Commonwealth Land Title Insurance Company

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 7(a), 7(b), 7(c), 8, 9, 11(a), and 16 of Table A thereof. The field work was completed on September 3, 2015.

Dated this 28th day of September, 2015.

Scott M. Payer
Professional Land Surveyor No. 035-005645
scott@chamlin.com



GENERAL NOTES

The property described herein is the same as that shown in Commonwealth Land Title Insurance Company's Commitment for Title Insurance No. 212510 having an effective date of July 27, 2015.

No evidence of tenements or burial grounds was observed in the process of conducting the survey.

Address of the property is 8395 S. County Line Road, Hinsdale, IL, according to Cook County, IL Tax Assessor website.

TABLE A ITEMS

- No part of the property shown on this plat of survey is located within a Special Flood Hazard Area as identified by Federal Emergency Management Agency (FEMA) Flood No. 17031C0581J dated August 19, 2006.
- Zoning information not provided by insurer. Zoning information was obtained from Village of Burr Ridge, IL, website. Property is zoned as R-2 Single Family Residential District.
Front Yard Setback - Minimum 10 feet
Rear Yard Setback - Minimum 40 feet
Side Yard Setback - Minimum 20 feet
Floor Area Ratio - Not to exceed 0.1
Maximum Building Height - 2 1/2 stories or 30 Feet, whichever is lower.
- There were no marked parking spaces/ areas on the property.
- All utilities observed in the process of conducting the survey are shown on plat.
- There was no evidence of current earth moving work, building construction, or building additions.

SCHEDULE B ITEMS

- Rights of the public, State of Illinois and municipality in and to that part of the land taken and used for County Line Road. Affects Parcel 4 but does not prevent use and enjoyment of Parcel 4.
- Rights of the public, State of Illinois and municipality in and to that part of the land, if any, taken or used for road purposes. None known to surveyor at time of survey.
- Plat of survey recorded December 4, 1970 as Document 2125006 showing the land with easements. As shown on survey.
- Easement for ingress and egress and utilities over and upon the West 33 feet of Parcel 2 as shown on aforesaid Plat of Survey. As shown on survey.
- Utility Easement as established by Plat: Recorded June 28, 2005, Document # 0517939112. Affects a 20 foot strip of land over parcels 1, 2, and 5. As shown on survey.
- Terms, conditions and provisions affecting the easement described in Schedule A in the Instrument creating said easement. Affects Parcels 2, 4 and 5. Location is shown on survey. For terms, conditions and provisions, see instrument.
- Rights of the adjoining owners to the concurrent use of said easement. Affects Parcels 2, 4 and 5. Location is shown on survey. For terms, conditions and provisions, see instrument.
- The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company:
A: Rights or claims of parties in possession not shown by the public records. None known to surveyor at time of survey.
B: Easements or claims of easements, not shown by the public records. None known to surveyor at time of survey.
C: Discrepancies, conflicts in boundary lines, shortages in area, encroachments, and any other which a correct survey and inspection of the premises would disclose and which are not shown by the public records. None known to surveyor at time of survey.

PREPARED FOR: MICHAEL PIZZUTO
DATE OF FIELD WORK COMPLETION: 9-3-15
CHAMLIN & ASSOCIATES 3017 5TH STREET PERU, ILLINOIS 61354 815-223-3344

CHAMLIN & ASSOCIATES

PERU MORRIS
ILLINOIS

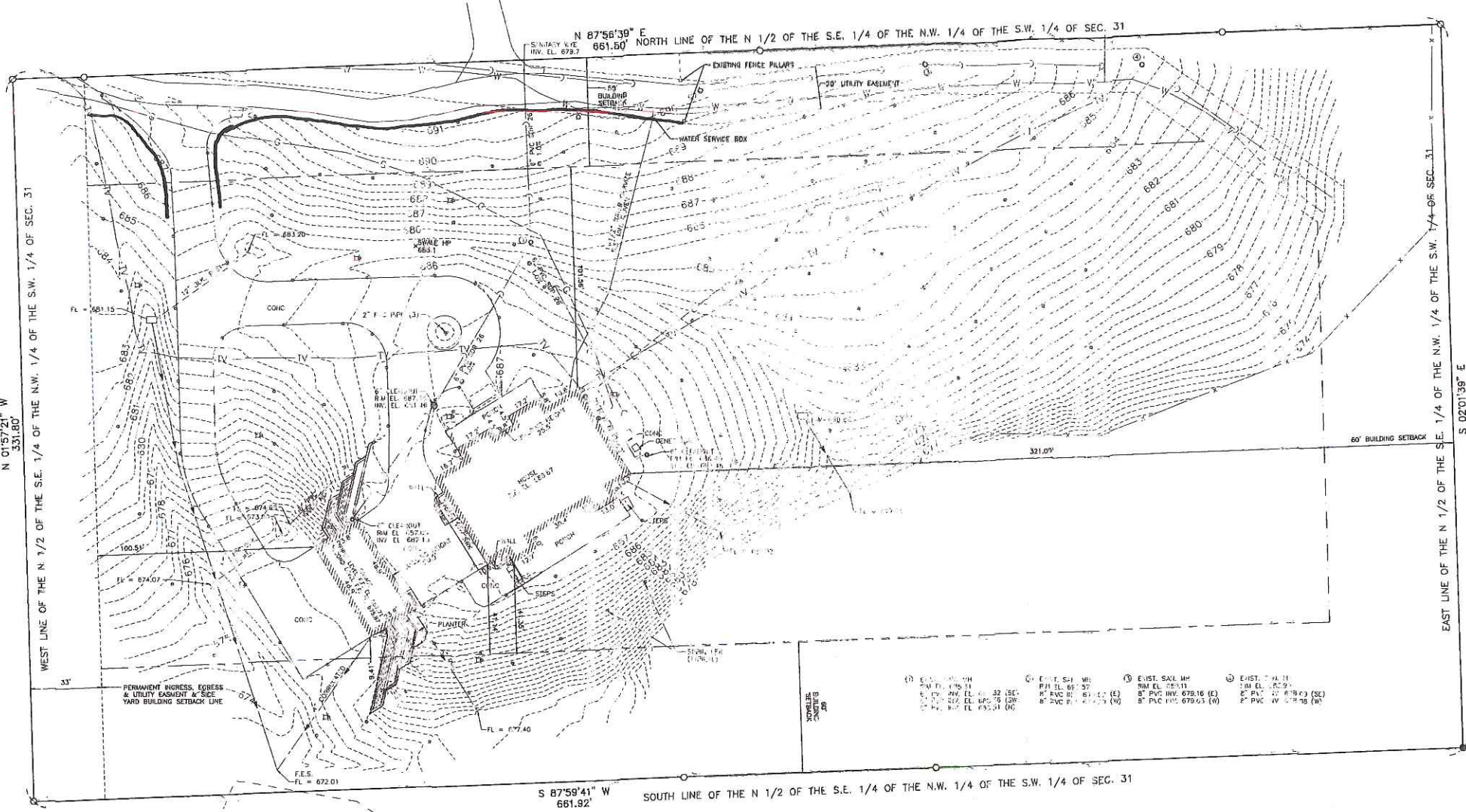
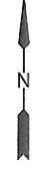
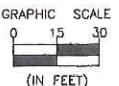
DRAWN BY: NOE
CHECKED BY: SMS
DATE: 09/15

REVISIONS			
LEVEL	BY	DATE	DESCRIPTION

ALTA / ACSM
LAND TITLE
SURVEY

CURRENT AS OF: 09/28/2015
SCALE: AS NOTED
FILE NO.: JB148.05 Y-1
SHEET 1 OF 1

BOUNDARY AND TOPOGRAPHIC SURVEY
FOR
PART OF THE S.W. 1/4 OF SECTION 31, T. 38 N., R. 12 E., OF THE 3RD P.M.
COOK COUNTY, ILLINOIS
NOVEMBER, 2016



LEGAL DESCRIPTION

The North Half of the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, Cook County, Illinois.

SURVEYOR'S CERTIFICATE

I, Scott M. Spayer, Professional Land Surveyor No. 035-003645, do hereby certify that the within plat is a true and correct representation of a survey made under my direction.

This professional service conforms to the current Illinois Minimum Standards for a Boundary and Topographic Survey.

Dated this _____ day of _____, A.D., _____

Scott M. Spayer, P.L.S.



BASIS OF SURVEY

PLAT OF SURVEY PREPARED BY DJA (DAVE JOHNSON & ASSOCIATES, LTD.)
DATED JANUARY 11, 2010
SIGNED BY WARREN D. JOHNSON
ILLINOIS REGISTERED LAND SURVEYOR NO. 2971

PLAT OF EASEMENT RECORDED JUNE 28, 2003 AS DOC. NO. 0517939112.
PLAT OF SURVEY RECORDED DECEMBER 4, 1970 AS DOC. NO. 21335006.

BENCHMARKS (DATUM = NAVD 88)

BM "A"
CHISELED "X" ON N.E. BOLT OF FIRE HYDRANT
SOUTH SIDE OF DRIVE 40'± WEST OF GATE.
ELEV. 682.16

BM "B"
CHISELED "X" ON S.W. BOLT OF FIRE HYDRANT
N. SIDE OF DRIVE 40'± N. OF N.E. CORNER
OF HOUSE.
ELEV. 687.95

LEGEND

BOUNDARY OF PROPERTY SURVEYED	BY	EXISTING CABLE BOX
EXISTING BUILDING SETBACK LINE	BY	EXISTING AIR CONDITIONING UNIT
EXISTING EASEMENT LINE	BY	EXISTING ELECTRIC METER
EXISTING WATER MAIN	BY	EXISTING GAS METER
EXISTING SANITARY SEWER	BY	EXISTING SPRINKLER
EXISTING STORM SEWER	BY	EXISTING IRON PIPE FOUND
EXISTING GAS LINE	BY	EXISTING IRON ROD FOUND
EXISTING ELECTRIC LINE	BY	CONCRETE
EXISTING TELEVISION CABLE	BY	FINISHED FLOOR ELEVATION
EXISTING FENCE	BY	MANHOLE
EXISTING MANHOLE	BY	SANITARY
EXISTING CLEANOUT	BY	
EXISTING VALVE W/ BOX	BY	
EXISTING FIRE HYDRANT	BY	
EXISTING BUFFALO BOX	BY	

CHAMLIN & ASSOCIATES, INC. PERU MORRIS
ILLINOIS

REVISIONS	DATE	DESCRIPTION
DRAWN BY: NV	4/18/16	ADDED INFO RE: FINAL GRADE REVIEW COMMENTS
CHECKED BY: SMS	8/11/16	ADDED EXISTING FENCE PILLARS
DATE: 11/16	11/23/16	ADDED STORM INLETS AND EDGE OF POND

BOUNDARY & TOPOGRAPHIC SURVEY	CURRENT AS OF: 11/23/16
SCALE: AS NOTED	SHEET 1
FILE NO.: JB148.04 Y-2	OF 1

PREPARED FOR: MICHAEL PIZZUTO
DATE OF FIELD WORK COMPLETION: 11/23/2016
CHAMLIN & ASSOCIATES 3017 5TH STREET PERU, ILLINOIS 61354 815-223-3344

CHAMLIN & ASSOCIATES, INC. 11/23/2016
Drawing Name: C:\Users\B\B1618-11-23-16.dwg Last Modified: Mar 21, 2017 - 3:30pm Plotted on: Mar 21, 2017 - 10:50am by: cmts





PRIVATE DRIVEWAY

FENCE REQUEST

FENCE REQUEST



COUNTY LINE ROAD

PRIVATE DRIVEWAY

GERMAN CHURCH ROAD

FENCE REQUEST

FENCE REQUEST

TYPICAL FENCE PANEL



TYPICAL FENCE DETAIL



ORDINANCE NO.

AN ORDINANCE GRANTING AN AMENDMENT TO PLANNED UNIT DEVELOPMENT
ORDINANCE #A-834-09-16 TO PERMIT A RECONFIGURATION AND
EXPANSION OF AN EXISTING SURFACE PARKING LOT

(Z-08-2019: 120 Harvester Drive - Olguin)

WHEREAS, an application for a special use for certain real estate has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on August 5, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for special uses, including its

findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 120 Harvester Drive, Burr Ridge, Illinois, is Jim Olguin (hereinafter "Petitioner"). The Petitioner requests an amendment to Planned Unit Development Ordinance #A-834-09-16 to permit a reconfiguration and expansion of an existing surface parking lot.
- B. That the property will not detract from the public health, safety, morals, comfort, or general welfare.
- C. That the special use will not adversely impact any adjacent properties.

- D. That the special use will allow the petitioner to bring a necessary service to the residents of the Village.
- E. That the site plan of the property is adequate for the use.
- F. That adequate traffic facilities are present on or adjacent to the property.
- G. That the use is not contrary to the objectives of the Official Comprehensive Plan.
- H. That the special use will otherwise conform to the applicable regulations of the Zoning Ordinance.

Section 3: That the amendment to Planned Unit Development Ordinance #A-834-09-16 to permit a reconfiguration and expansion of an existing surface parking lot is ***hereby granted*** for the property commonly known as 120 Harvester Drive and identified by the Permanent Real Estate Index Number of: **09-25-200-025.**

Section 4: That approval of the PUD amendment shall be subject to the submitted site plans hereinafter referred to in **Exhibit A.**

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 26th day of August, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge on this 26th day of August, 2019.

Village President

ATTEST:

Village Clerk

EXHIBIT A

Estancia Executive Center

Amendment to PUD

Description of Request

The Applicant, Estancia UCP LLC, is requesting an amendment to the existing 0-2 PUD which applies to the Estancia Executive Center ("EEC"). The amendment would allow the construction of a parking area and associated improvements on the remaining vacant lot.

The impetus for the proposed amendment is the University of Chicago's desire to increase its office presence at EEC. In addition to the University of Chicago expanding the amount of office space occupied in EEC, it will also extend its term of its current leases until 2034. This will benefit Burr Ridge as having a vibrant office occupancy is important in providing the customers for area restaurants, retail stores, hotels, and other businesses.

FINAL ENGINEERING PLANS
FOR
PARKING LOT EXPANSION
BURR RIDGE, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

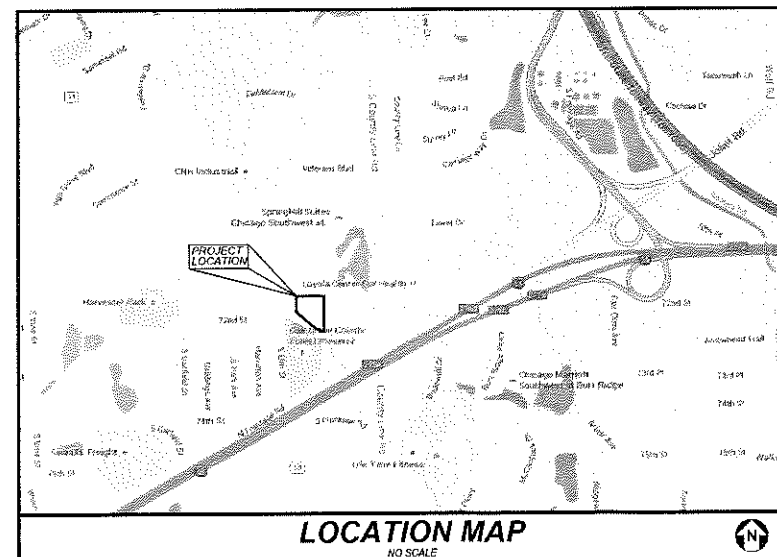
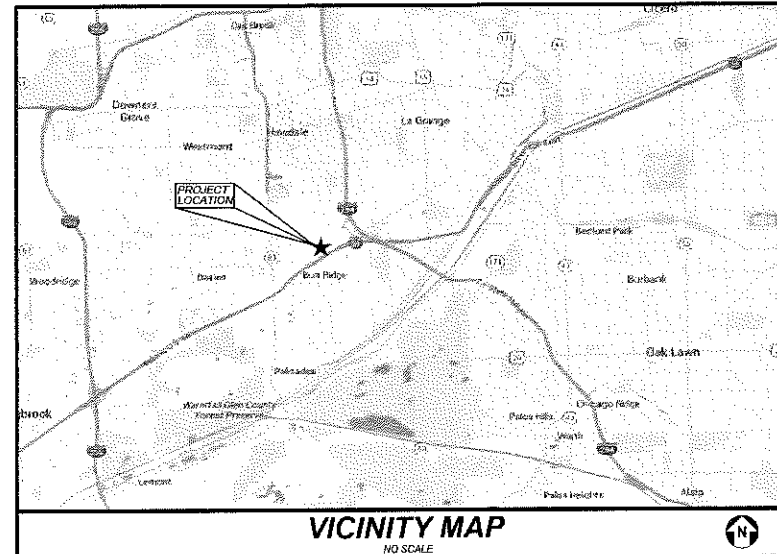
Mars Equities, Inc.
150 Harvester Drive, Suite 100
Burr Ridge, Illinois 60527
630 230 2000
Contact: Robert Palka

ENGINEER

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Ryan Wagner, P.E.
rwagner@v3co.com
Project Engineer: Randy Andersen, P.E.
randersen@v3co.com

SURVEYOR

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Contact: Chris Bartoz



INDEX

CIVIL ENGINEERING PLANS

- C0.0 TITLE SHEET
- C1.0 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C1.1 SPECIFICATIONS
- C2.0 DEMOLITION PLAN
- C3.0 LAYOUT PLAN
- C4.0 GRADING PLAN
- C4.1 EROSION CONTROL PLAN
- C4.2 EROSION CONTROL DETAILS
- C5.0 UTILITY PLAN
- C6.0 CONSTRUCTION DETAILS

SUPPORTING DOCUMENTS

- 1 of 1 TOPOGRAPHIC SURVEY

BENCHMARKS

- BM#1
NORTHWEST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE
NORTHWEST CORNER OF AMERISUITES.
ELEV. = 711.22
- SBM#1
EAST FLANGE BOLT OF FIRE HYDRANT LOCATED EAST SIDE OF
EASTERLY DRIVEWAY TO SITE ± 50' NORTHERLY OF FRONTAGE
ROAD INTERSECTION.
ELEV. = 696.98
- SBM#2
NORTHERLY BOLT IN BASE OF LIGHT STANDARD LOCATED
NORTHEASTERLY OF HARVESTER DRIVE ± 145' NORTHERLY OF
FRONTAGE ROAD INTERSECTION.
ELEV. = 707.49



Call 48 hours before you dig

Joint
Utility
Locating
Information
for
Excavators

PROFESSIONAL ENGINEER'S CERTIFICATION

I, RYAN WAGNER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT
THE CIVIL ENGINEERING PLANS WERE PREPARED ON BEHALF OF MARS EQUITIES, INC. BY V3
COMPANIES, LTD. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS
INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE
PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2019.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-062713
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

7325 Janes Avenue
Woodridge, IL 60517
630 724 9200 phone
www.v3co.com



DRAWING NO.
C0.0

TITLE SHEET
PARKING LOT EXPANSION

BURR RIDGE ILLINOIS

REVISIONS		ORIGINAL ISSUE DATE: 07/01/19	
NO.	DATE	DESCRIPTION	NO.

PROJECT NO.: 15272.MARS	PROJECT MANAGER: RW	DESIGNED BY: RA	DRAWN BY: DB
-------------------------	---------------------	-----------------	--------------

EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

V3 COMPANIES, LTD.
7325 JAMES AVENUE
WOODRIDGE, IL 60517

COPIES OF THE SURVEY, DATED AUGUST 15 2015, ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF.
 - a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS PREPARED BY IDOT, LATEST EDITION.
 - b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
 - c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.
 - d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF BURR RIDGE.
 - e. THE NATIONAL ELECTRIC CODE.
 - f. THE ILLINOIS ACCESSIBILITY CODE.
 - g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITE WORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS, NO EXCAVATING, FILLING OR GRADING IS TO BE DONE IN THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.


10. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HISHER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF BURR RIDGE MUNICIPAL CODE AND IDOT REQUIREMENTS.
13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
21. ALL CURB RADII REFER TO BACK OF CURB.
22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE

35. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x8" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF FISHER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

The image displays a comparison between existing and proposed architectural symbols. The left column, labeled 'EXISTING', shows various line styles (solid, dashed, dotted) and geometric shapes (squares, circles, triangles) used in architectural drawings. The right column, labeled 'PROPOSED', shows updated versions of these symbols, often with additional markings or colors. The symbols include:

- Line styles: Solid, dashed, dotted, and various combinations.
- Geometric shapes: Squares, circles, triangles, and polygons.
- Complex diagrams: A cross-section of a wall, a floor plan detail, and a section of a building.
- Text labels: 'EXISTING', 'PROPOSED', '706.0', '782.82', '792.12', 'SF', 'C01', 'CLL'.

DESCRIPTION	A	ARC LENGTH
RIGHT-OF-WAY LINE	B-B	BACK TO BACK OF CURB
PROPERTY LINE (EXTERIOR)	B/C	BACK OF CURB
LOT LINE (INTERIOR)	BLDG	BUILDING
EASEMENT LINE	BM	BENCHMARK
FENCE LINE	B/P	BOTTOM OF PIPE
CENTERLINE	BV/VV	BUTTERFLY VALVE IN VALVE VAULT
PROPERTY CORNER	C & G	CURB AND GUTTER
CONTOUR	CB	CATCH BASIN
CURB & GUTTER	CL	CENTERLINE
DEPRESSED CURB & GUTTER	CL	CLOSED LID
REVERSE PITCHED CURB	CO	CLEAN OUT
SPOT ELEVATION	DIP	DUCTILE IRON PIPE
TOP OF CURB ELEVATION	DIA	DIAMETER
EDGE OF PAVEMENT ELEVATION	DWM	DUCTILE IRON WATER MAIN
UTILITY STUB	DWG	DRAWING
SANITARY SEWER	E	EAST OR ELECTRIC OR EDGE
SANITARY FORCE MAIN	EJ	EXPANSION JOINT
STORM SEWER	ELEV	ELEVATION
WATER MAIN	E/P	EDGE OF PAVEMENT
GAS MAIN	EX	EXISTING
UNDERGROUND TELEPHONE	F & CL	FRAME & CLOSED LID
& ELECTRIC DUCT BANK	F & G	FRAME & GRATE
BURIED CABLE-ELECTRIC	F & OL	FRAME & OPEN LID
BURIED CABLE-TELEPHONE	FES	FLARED END SECTION
ATLAS LOCATED UTILITY	F-F	FACE TO FACE OF CURB
UTILITY STRUCTURE WITH CLOSED LID	FF	FINISHED FLOOR
CURB INLET	F/G	FINISHED GRADE
DRAINAGE STRUCTURE WITH OPEN LID	FH	FIRE HYDRANT
FIRE HYDRANT	F/L	FLOW LINE
VALVE IN VALVE BOX	G	GAS LINE
GATE VALVE IN VALVE VAULT	GV/VB	GATE VALVE IN VALVE BOX
POST INDICATOR VALVE	GV/VV	GATE VALVE IN VALVE VAULT
THRUST BLOCK	HDCP	HANDICAP
TREE	HDPE	HIGH DENSITY POLYETHYLENE PIPE
TREE LINE	HDW	HEADWALL
CONCRETE HEADWALL	HOR	HORIZONTAL
SUBMERGED HEADWALL	HP	HIGH POINT
FLARED END SECTION (F.E.S.)	HWL	HIGH WATER LEVEL
GUY WIRES	IE	INVERT ELEVATION
FLOOD LIGHT	IN	INLET
UTILITY POLE	LF	LINEAL FEET
LIGHT STANDARD	LP	LOW POINT OR LIGHT POLE
TRAFFIC SIGNAL POLE	L	LEFT
HAND HOLE	ME	MATCH EXISTING
SOIL BORING	MH	MANHOLE
IRRIGATION HEADS	MW	MONITORING WELL
SIGN	N	NORTH
TELEPHONE MANHOLE	NIC	NOT IN CONTRACT / NOT INCLUDED
MONITORING WELL	NWL	NORMAL WATER LEVEL
TELEPHONE PEDESTAL	OC	ON CENTER
TRANSFORMER PAD	OL	OPEN LID
UTILITY TO BE ABANDONED	PC	POINT OF CURVATURE
FEATURE TO BE REMOVED	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
STORMWATER FLOW DIRECTION	PGL	PROFILE GRADE LINE
STORMWATER OVERFLOW ROUTE	PI	POINT OF INTERSECTION
DITCH CHECK	PL	PROPERTY LINE
INLET FILTER BASKET	PP	POWER POLE
RIP RAP	PRC	POINT OF REVERSE CURVATURE
BOLLARD	PT	POINT OF TANGENCY
SILT FENCE	PUE	PUBLIC UTILITY EASEMENT
WATER MAIN PROTECTION	PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
UTILITY CROSSING LABEL	PVI	POINT OF VERTICAL INTERSECTION
GUARDRAIL	PVT	POINT OF VERTICAL TANGENCY
RAILROAD TRACKS	R	RADIUS OR RIGHT
RETAINING WALL	RCP	REINFORCED CONCRETE PIPE
REVISION DELINEATION	ROW	RIGHT OF WAY
CONSTRUCTION LIMIT LINE	S	SLOPE OR SOUTH
TREE PROTECTION FENCE	SAN	SANITARY
	SF	SILTATION FENCE
	SFM	SANITARY FORCE MAIN
	SHT	SHEET
	SHW	SUBMERGED HEADWALL
	SMH	SANITARY MANHOLE
	STA	STATION
	ST	STORM STRUCTURE OR STORM SEWER
	STMH	STORM MANHOLE
	T	TANGENT LENGTH OR TELEPHONE
	T/C	TOP OF CURB
	T/P	TOP OF PIPE
	T/W	TOP OF WALL
	TY	TYPE
	TYP	TYPICAL
	UP	UTILITY POLE
	VC	VERTICAL CURVE
	VERT	VERTICAL
	VCP	VITRIFIED CLAY PIPE
	W	WEST
	WM	WATER MAIN

	7326 Janes Avenue Woodridge, IL 60517 830.724.9200 phone www.v3co.com	GENERAL NOTES LEGEND AND ABBREVIATIONS		PROJECT NO.: 15272-MARS		ORIGINAL ISSUE DATE: 07/01/19		REVISIONS	
				PROJECT MANAGER: RWI		NO. DATE DESCRIPTION		NO. DATE DESCRIPTION	
				DESIGNED BY: RA					
				DRAWN BY: DB					
BURR RIDGE		PARKING LOT EXPANSION		ILLINOIS					

EARTHWORK

- ## STORM SEWER

- ## IEPA CROSSING REQUIREMENTS

- ## 2. VERTICAL SEPARATION

- ## PAVING

- ## TREE PROTECTION

1. ALL EXISTING TREE LOCATIONS AND SIZES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION
2. ALL TREES TO REMAIN AS NOTED ON THE DRAWINGS ARE TO BE ENCLOSED WITH A TREE PROTECTION FENCE, PRIOR TO THE START OF CONSTRUCTION. THE FENCE SHALL CONSIST OF 4" TALL ORANGE PLASTIC FENCE WITH METAL POSTS SPACED NO FURTHER THAN 5' APART. THE FENCE IS TO BE LOCATED UNDER THE OUTER EDGES OF THE TREE'S CANOPY, BUT NO CLOSER THAN 5' AWAY FROM THE TREE'S TRUNK. VILLAGE FORESTER AND LANDSCAPE ARCHITECT TO APPROVE FENCE LOCATION.

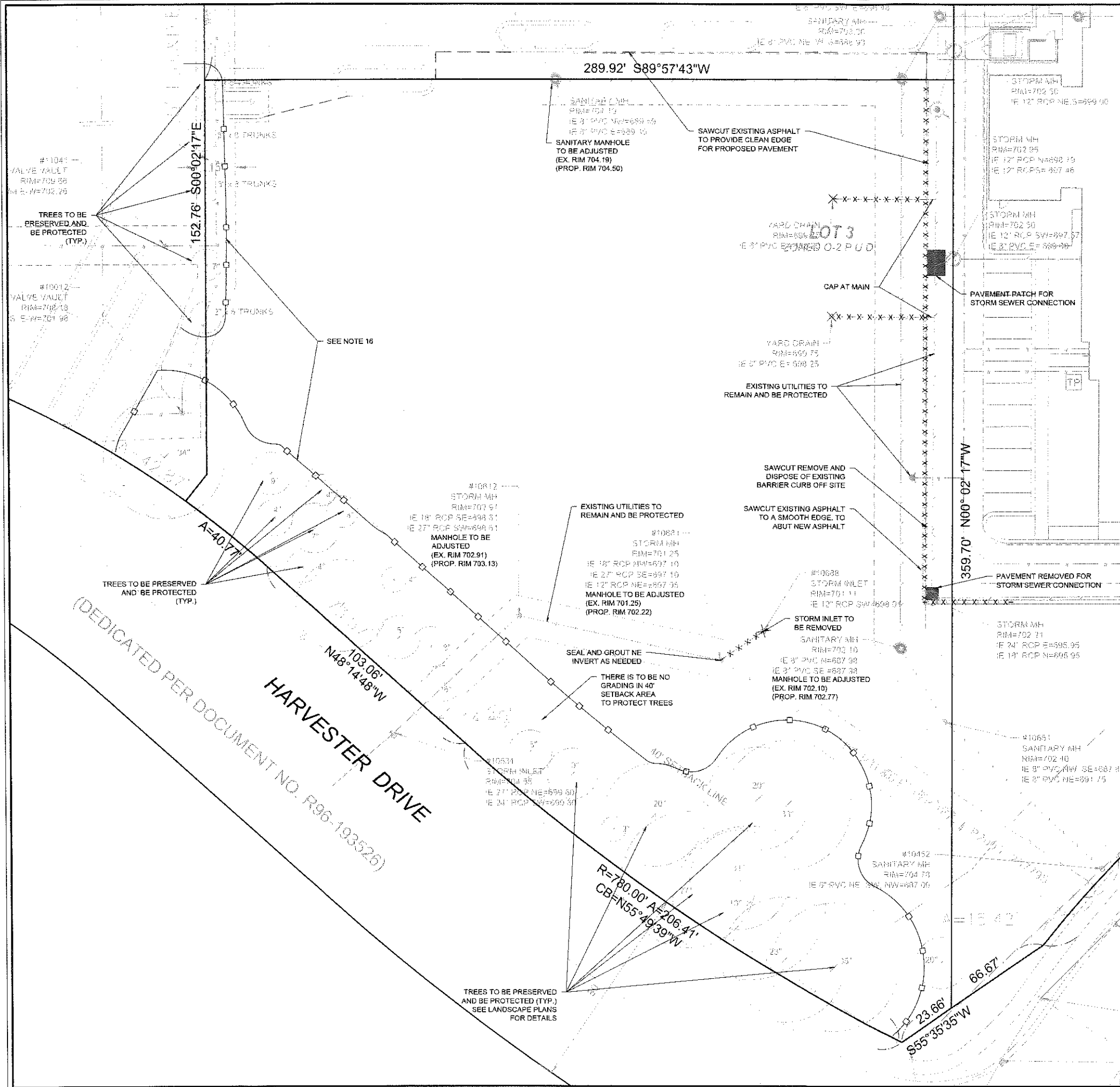
- ### TREE REMOVAL NOTES

1. THE CONTRACTOR SHALL MARK ALL TREES TO BE REMOVED FOR THE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ANY SITE WORK.
2. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY PER LOCAL ORDINANCES.
3. STUMPS SHALL BE GROUND TO A DEPTH OF 12" AND THE WOOD CHIPS REMOVED FROM THE SITE. THE HOLE SHALL BE FILLED WITH SOIL FOR SAFETY PURPOSES.

CARE FOR EXISTING TREES TO REMAIN

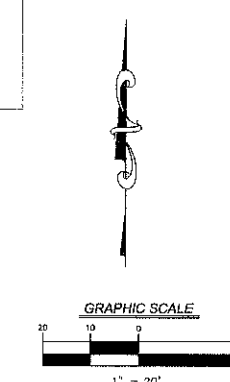
1. HAVE TREES INSPECTED AND TREATED BY A CERTIFIED ARBORIST.
2. REMOVE ANY DEAD WOOD AND PROVIDE ANY TREATMENT RECOMMENDED BY THE ARBORIST.
3. REMOVE ANY DEBRIS FROM THE SITE AND DISPOSE OF THE PROPERLY PER LOCAL ORDINANCES.

7325 Janes Avenue
Woodridge, IL 60617
630.724.9200 phone
www.v3co.com



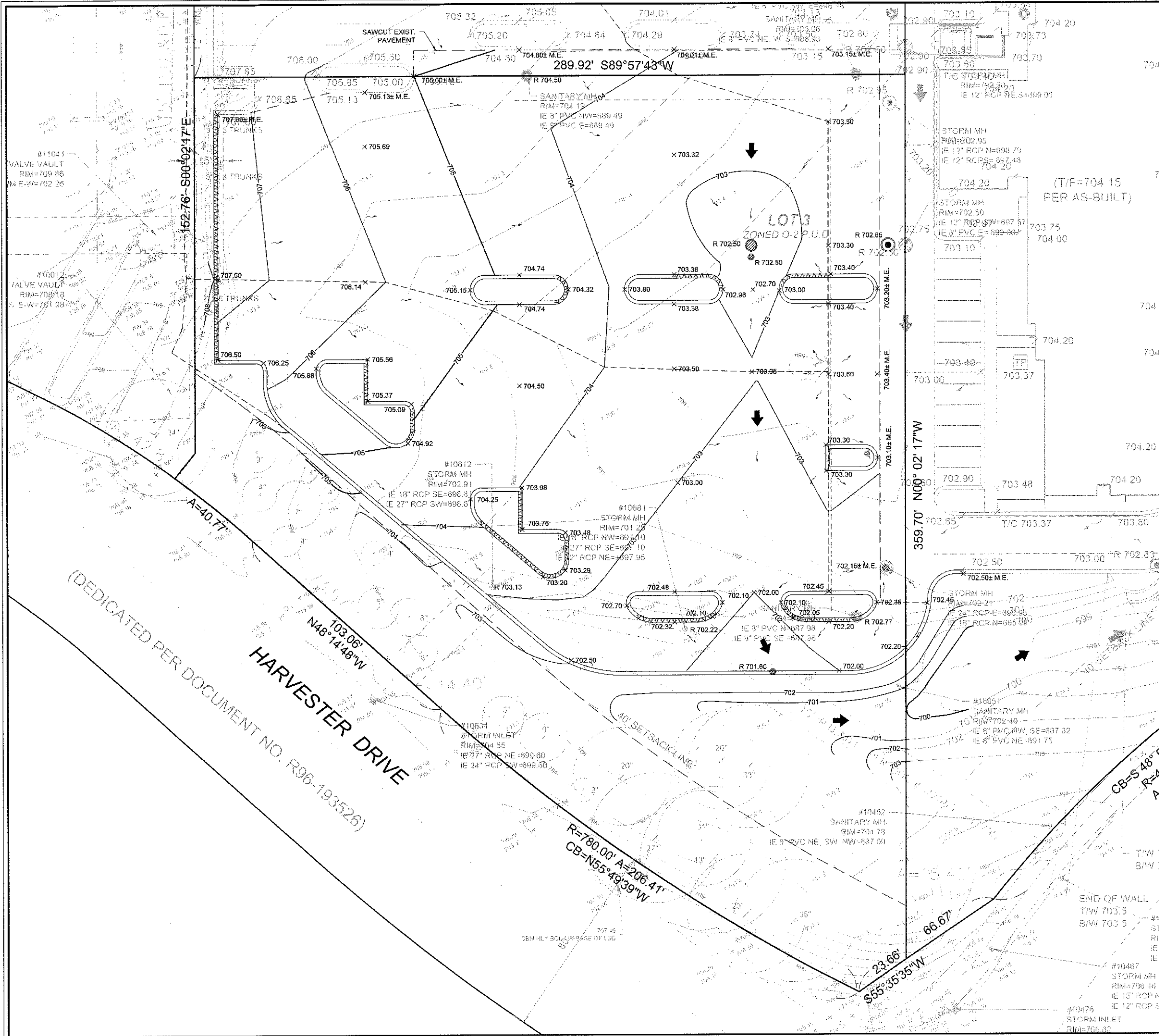
- NOTES:**
- THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - UTILITIES
 - CONSTRUCTION DEBRIS
 - ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
 - CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
 - STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
 - ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
 - CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
 - EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
 - EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
 - ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
 - CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
 - REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
 - USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 - COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONSTRUCTION DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
 - SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
 - EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
 - THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

DEMOLITION LEGEND	
- X - X - X -	CONC. CURB/GUTTER OR UTILITY LINE TO BE REMOVED
X	STRUCTURE/TREE TO BE REMOVED
- - - - -	SAWCUT LINE
[Shaded Box]	PAVEMENT TO BE REMOVED



DEMOLITION PLAN		PARKING LOT EXPANSION		BURR RIDGE	
15272 MARS		DESIGNED BY		DRAWN BY	
PROJECT MANAGER		DESIGNED BY		DRAWN BY	
FW		RA		DB	
ORIGINAL ISSUE DATE: 07/07/19		NO.		DATE	
DESCRIPTION		NO.		DATE	
REVISIONS		NO.		DATE	
DESCRIPTION		NO.		DATE	
DRAWING NO. C2.0					

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.vcco.com



- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.

REVISIONS		DESCRIPTION	
NO.	DATE	NO.	DATE

PROJECT NO.	18722 MAPS
PROJECT MANAGER	RW
DESIGNED BY	RA
DRAWN BY	DB

GRADING PLAN

PARKING LOT EXPANSION

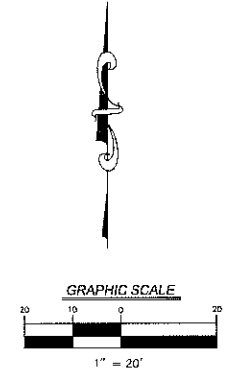
BURR RIDGE

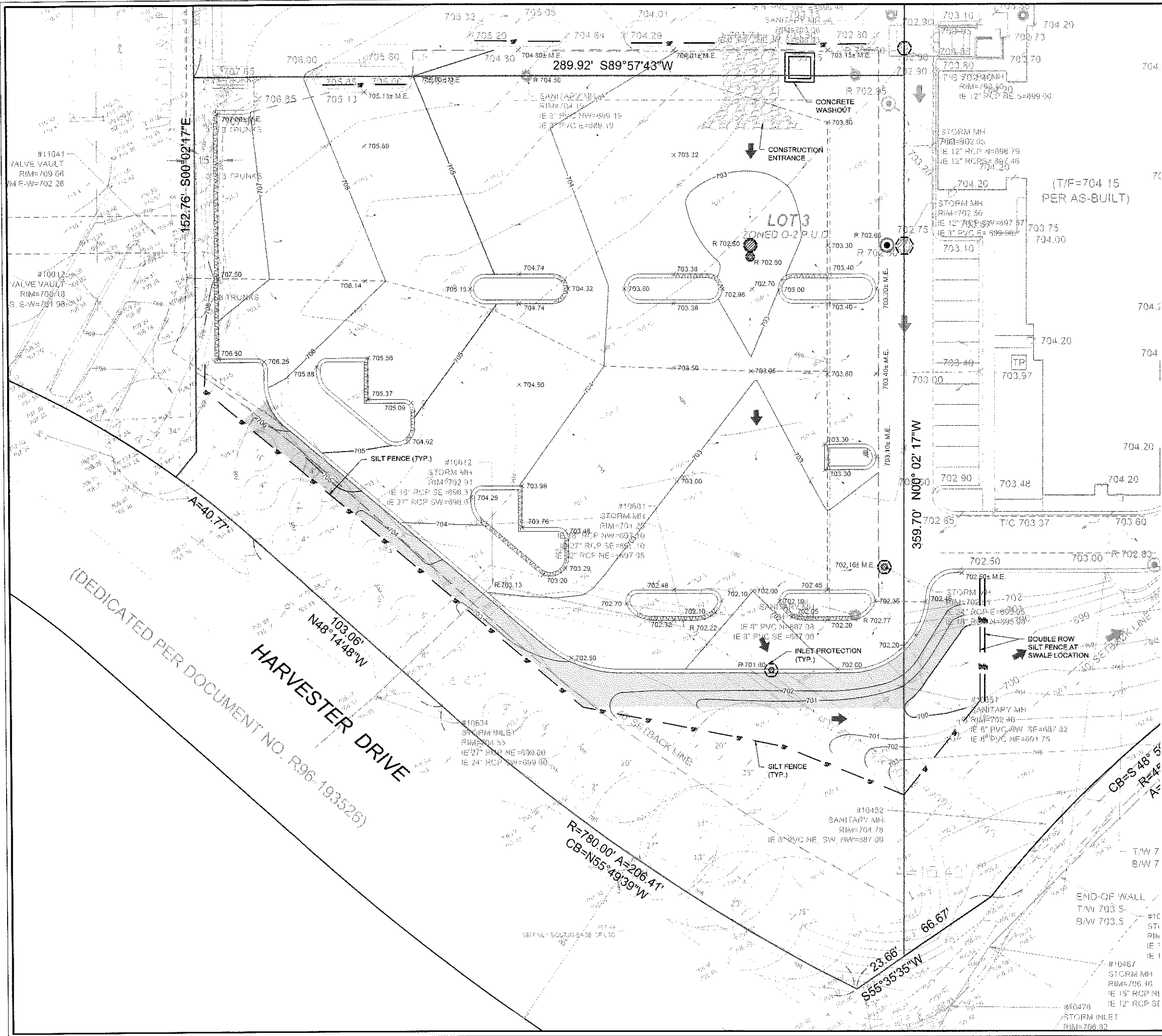
ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3cc.com

DRAWING NO.

C4.0

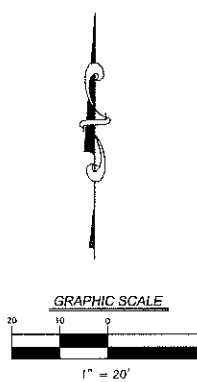




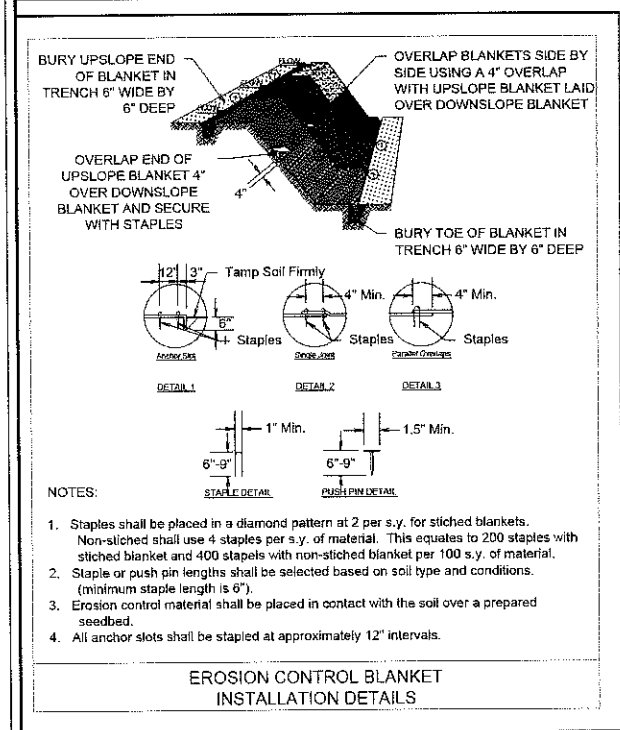
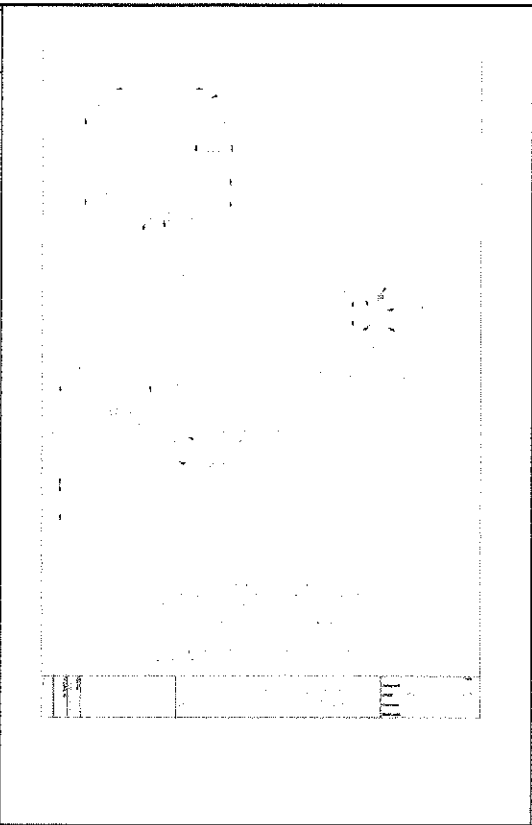
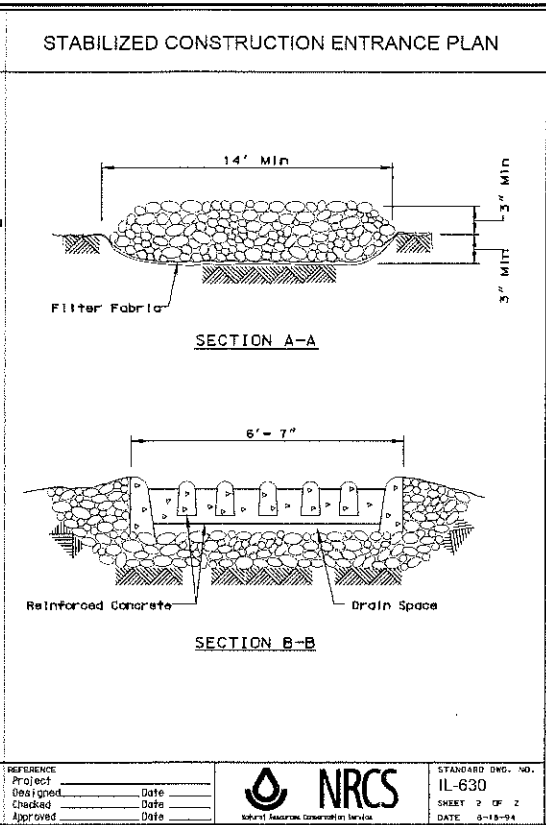
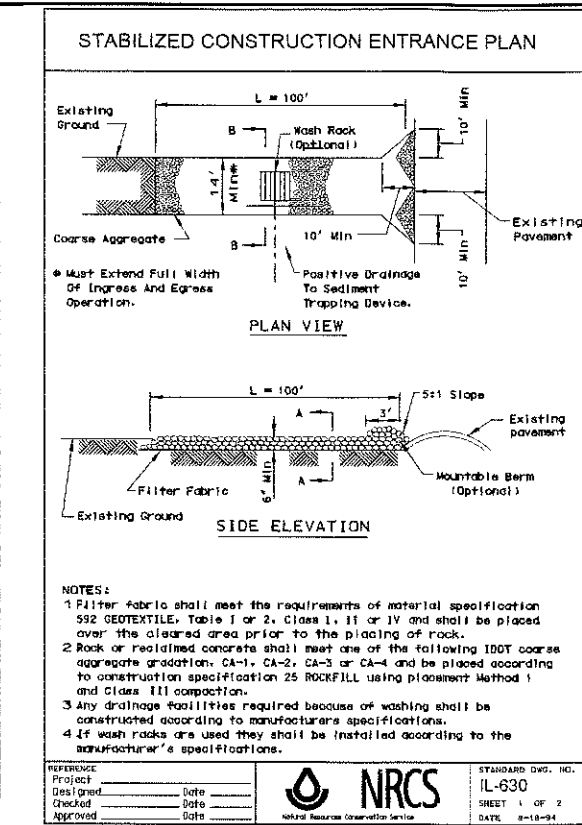
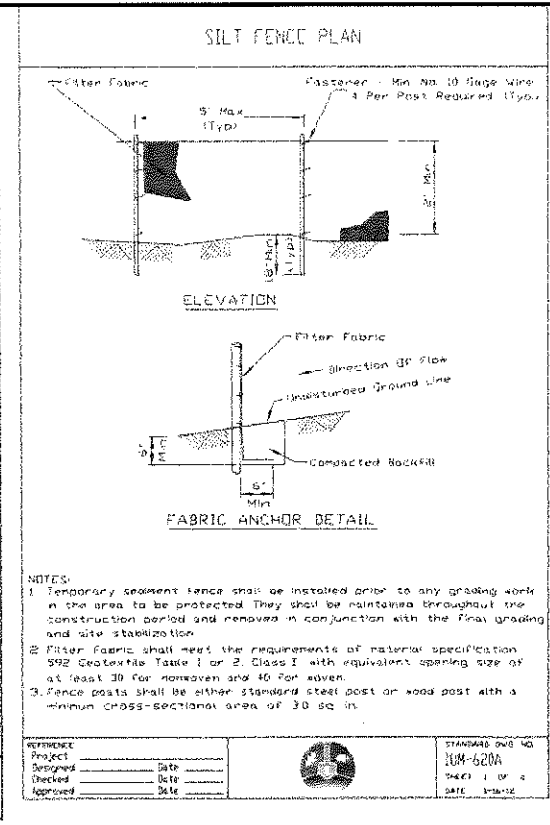
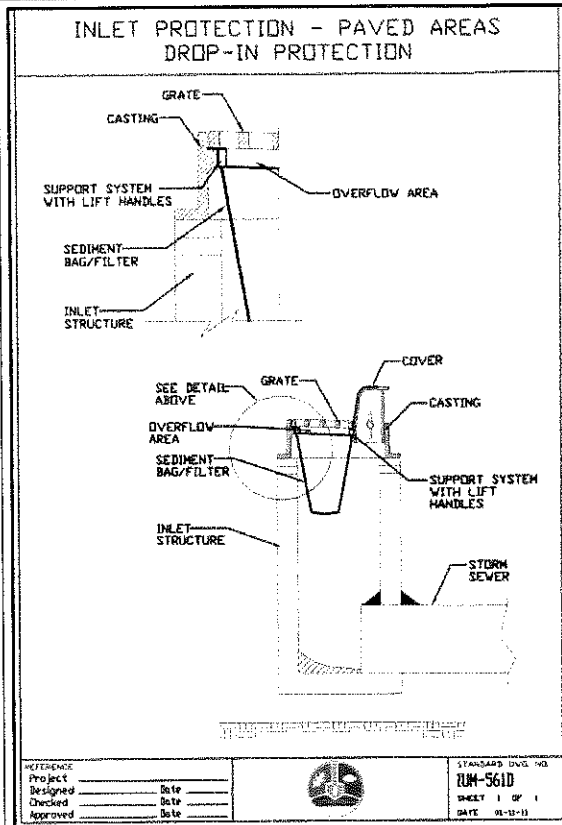
- NOTES:**
1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
 2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 3. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL OPEN LID STRUCTURES. SEE INLET PROTECTION DETAIL ON SHEET C4.2.
 4. EROSION CONTROL BLANKET (ROLLMAX ERONET S150 OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF SWALES WHERE NOTED.
 5. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.
 6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY V3 COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
 7. EXISTING TREES TO BE PRESERVED AND PROTECTED. SEE LANDSCAPE PLANS FOR DETAILS.

EROSION CONTROL LEGEND

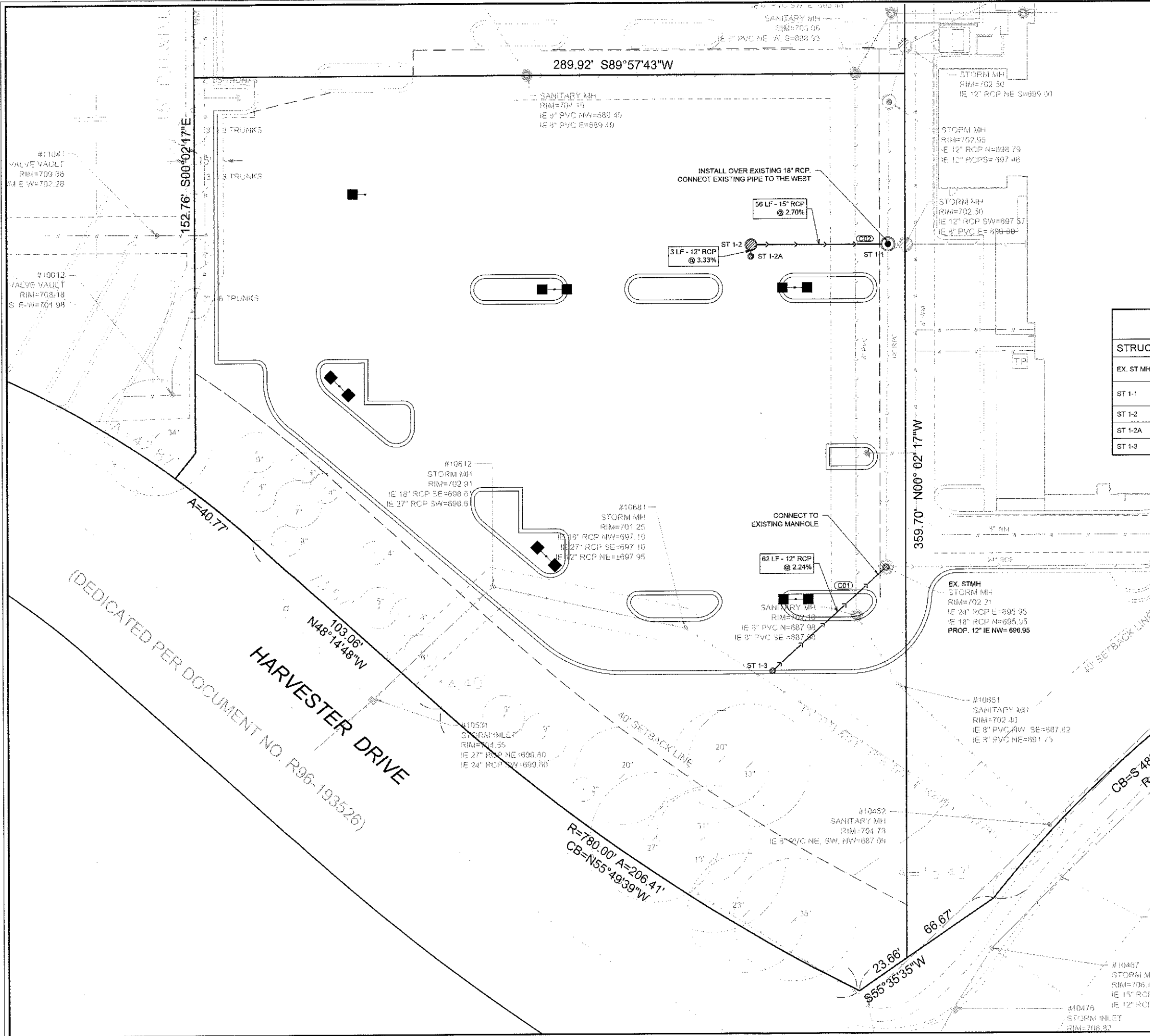
	INLET PROTECTION
	SILT FENCE
	EROSION CONTROL BLANKET



PROJECT NO. 15272.MARS	PROJECT MANAGER RWV	DESIGNED BY RA	DRAWN BY DB	ORIGINAL ISSUE DATE: 07/01/19		REVISIONS		
				NO.	DATE	DESCRIPTION	DESCRIPTION	
EROSION CONTROL PLAN				PARKING LOT EXPANSION				ILLINOIS
7325 Jones Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com				DRAWING NO. C4.1				



REVISIONS		NO.	DATE	DESCRIPTION
ORIGINAL ISSUE DATE: 07/01/19				
PROJECT NO. 15272 MARS				
PROJECT MANAGER RW				
DESIGNED BY: RA				
DRAWN BY: DB				
EROSION CONTROL DETAILS				
PARKING LOT EXPANSION				
BURR RIDGE				
ILLINOIS				
7325 Jares Avenue Woodridge, IL 60517 630.724.8200 phone www.v3co.com				
DRAWING NO.				
C4.2				

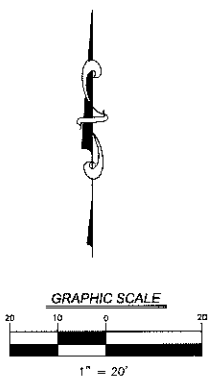


- NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE G LID OR APPROVED EQUAL. FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1" - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE.
 - LIGHT POLES SHOWN FOR COORDINATION OR LOCATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.

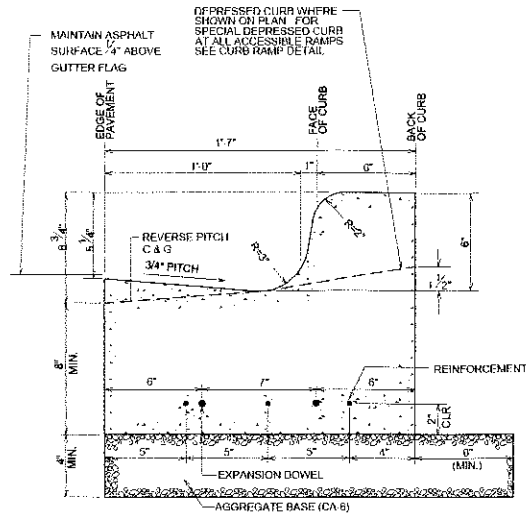
STORM STRUCTURE TABLE				
STRUCTURE	DESCRIPTION	RIM	INVERT IN	INVERT OUT
EX. ST MH	EXISTING MH	RIM: 702.21	698.95 (12" SW) 695.95 (18" N)	695.95 (24" E)
ST 1-1	5' MH (Closed)	RIM: 702.65	697.49 (15" W) 697.00 (18" N)	697.00 (18" S)
ST 1-2	4' MH (Open)	RIM: 702.50	699.00 (12" S)	699.00 (15" E)
ST 1-2A	2' Inlet	RIM: 702.50		699.10 (12" N)
ST 1-3	2' Inlet	RIM: 701.60		698.35 (12" NE)

UTILITY CROSSING

- (C01) PR. 12" ST B/P 697.19
EX. 8" SAN T/P 688.71 (FIELD VERIFY)
- (C02) PR. 15" ST B/P 697.65
EX. 8" SAN T/P 689.32 (FIELD VERIFY)



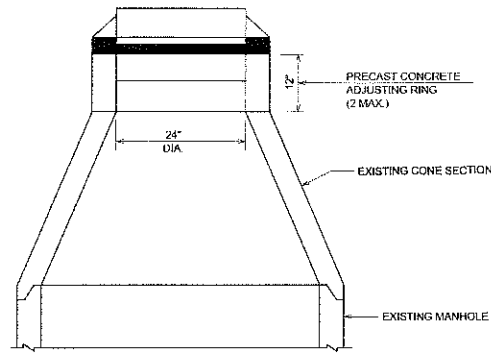
REVISIONS		NO.		DATE		DESCRIPTION	



	RELATIVE ELEVATIONS	
	STANDARD PITCH	REVERSE PITCH
E.P.	0.00	0.00
GUTTER FLAG	-1/4" (-0.021)	+1/4" (+0.021)
FLOW LINE	-1" (-0.083)	+1" (+0.083)
R.C.	+5" (+0.417)	+7" (+0.583)

NOTES:

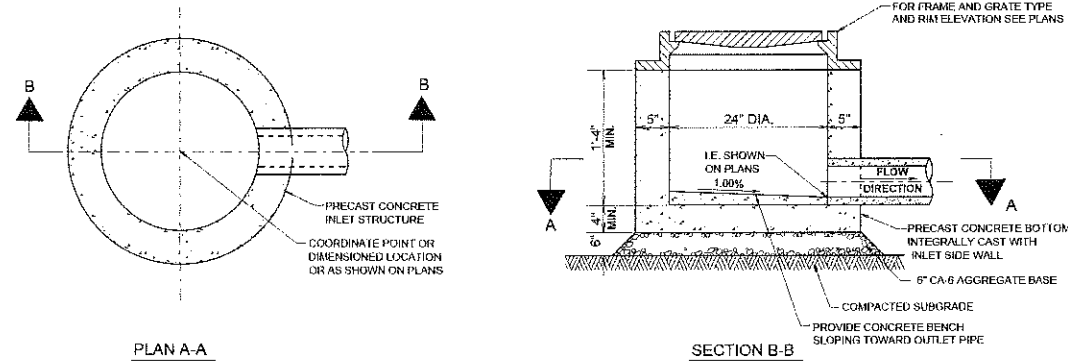
1. REINFORCEMENT: PROVIDE 3 NO.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADI, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 40' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE NO. 5X16" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 5X2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.



1. WHEN ADJUSTMENTS ARE NECESSARY, THEY'LL BE PERFORMED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED NON-HARDENING MASTIC (RUB-R-NEK OR APPROVED EQUAL) TO A MAXIMUM HEIGHT OF TWELVE INCHES.
2. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT. APPLY A CONTINUOUS LAYER OF NON-HARDENING PREFORMED BITUMINOUS MASTIC MATERIAL (RUB-R-NEK OR E-Z STIK) TO EACH JOINT TO PREVENT INFLOW.
3. WHEN ADJUSTMENT HEIGHT EXCEEDS 12" MANHOLE RECONSTRUCTION IS REQUIRED.

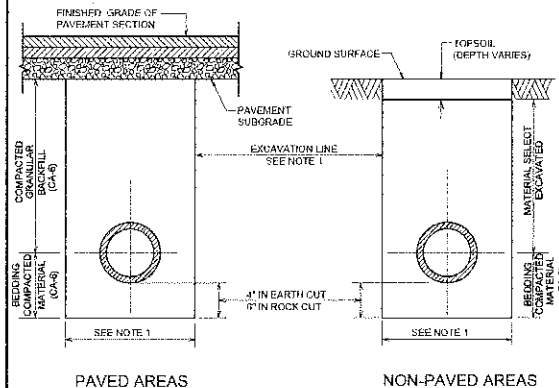
B6.12 CURB AND GUTTER

MANHOLE ADJUSTMENT DETAIL



NOTE

1. WHEN RIM ADJUSTMENTS ARE REQUIRED TO MATCH FINAL GRADE, THE ADJUSTMENT SHALL BE COMPLETED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED, NON-HARDENING MASTIC (RUB-R-NEK OR APPROVED EQUAL). MAXIMUM HEIGHT ADJUSTMENT SHALL BE TWELVE INCHES.

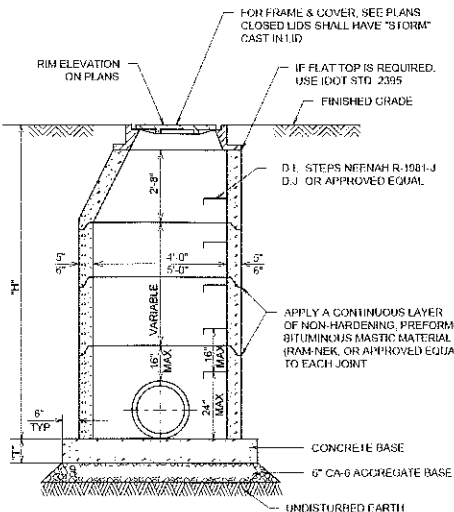


NOTES

1. EXCAVATION LINE: PIPE SIZES UP TO AND INCLUDING 24" USE 1 D. PLUS 20" PIPE SIZES OVER 24" USE 0 D. PLUS 24"
2. LIMITS OF TRENCH BACKFILL SHALL EXTEND 2' OUTSIDE ALL PAVED AREAS

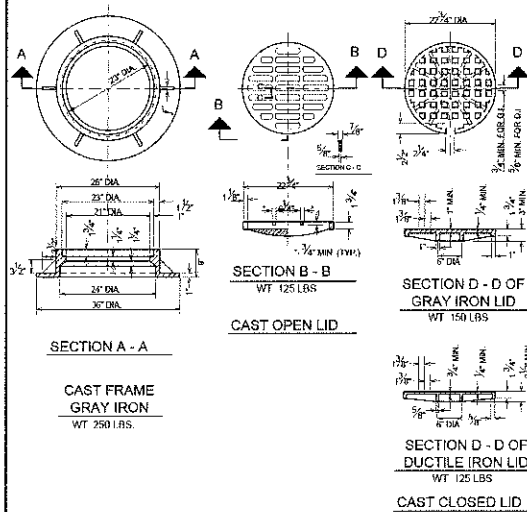
2' DIAMETER INLET - TYPE A

TRENCH BACKFILL SECTIONS FOR STORM SEWER



NOTES

1. WHEN "H" EQUALS 12 FT. OR LESS, "T" = 8" FOR "H" OVER 12 FT. "T" = 10"
2. ADJUSTMENTS TO ELEVATION OF FRAME SHALL BE ACCOMPLISHED WITH PRECAST CONCRETE RINGS WITH A FULL MORTAR BED; MAXIMUM ADJUSTMENT - 12" USING A MAXIMUM OF 2 RINGS. NO MORE THAN ONE 2" ADJUSTMENT RING SHALL BE USED.
3. FOR COORDINATE LOCATION SEE NOTES FOR 2' DIA INLET DETAIL - TYPE A
4. THE FLAT SLAB TOP MAY BE USED IN LIEU OF THE TAPERED TOPS AT THE OPTION OF THE CONTRACTOR OR WHEN FIELD CONDITIONS PROHIBIT THE USE OF TAPERED TOPS



4' AND 5' DIA. STORM MANHOLE

FRAME AND LIDS TYPE 1

CONSTRUCTION DETAILS

PARKING LOT EXPANSION

BURR RIDGE

7325 James Avenue
Woodridge, IL 60517
800.774.8200 phone
www.v3co.com



DRAWING NO.

C6.0

ORIGINAL ISSUE DATE: 07/01/19

PROJECT NO: 10272.MARS

DESIGNED BY: RA

DRAWN BY: DB

PROJECT MANAGER: RW

REVISIONS

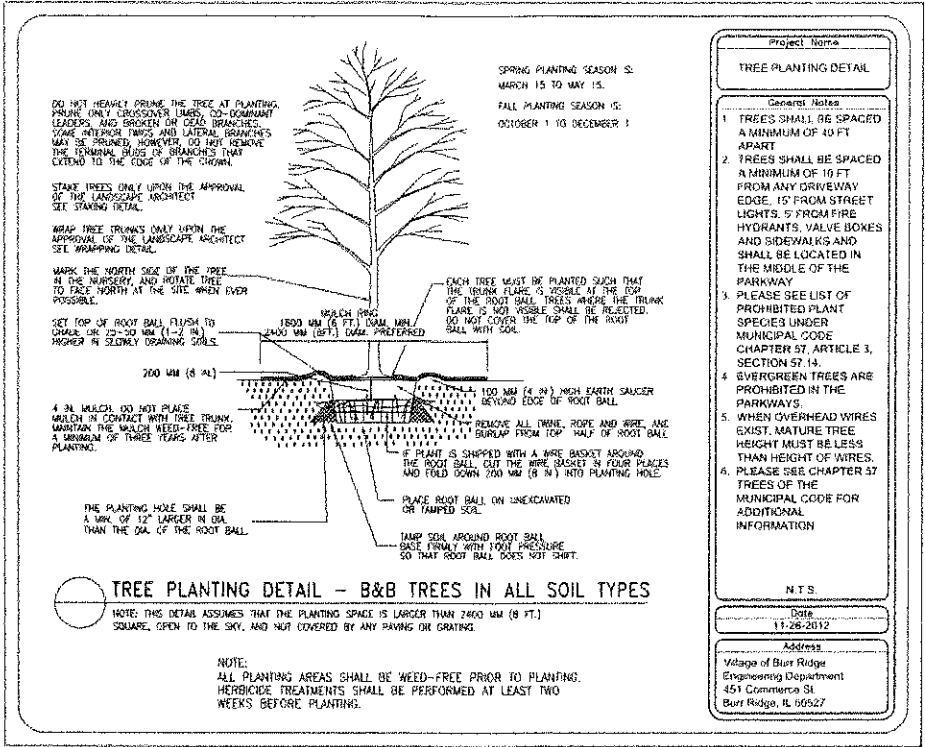
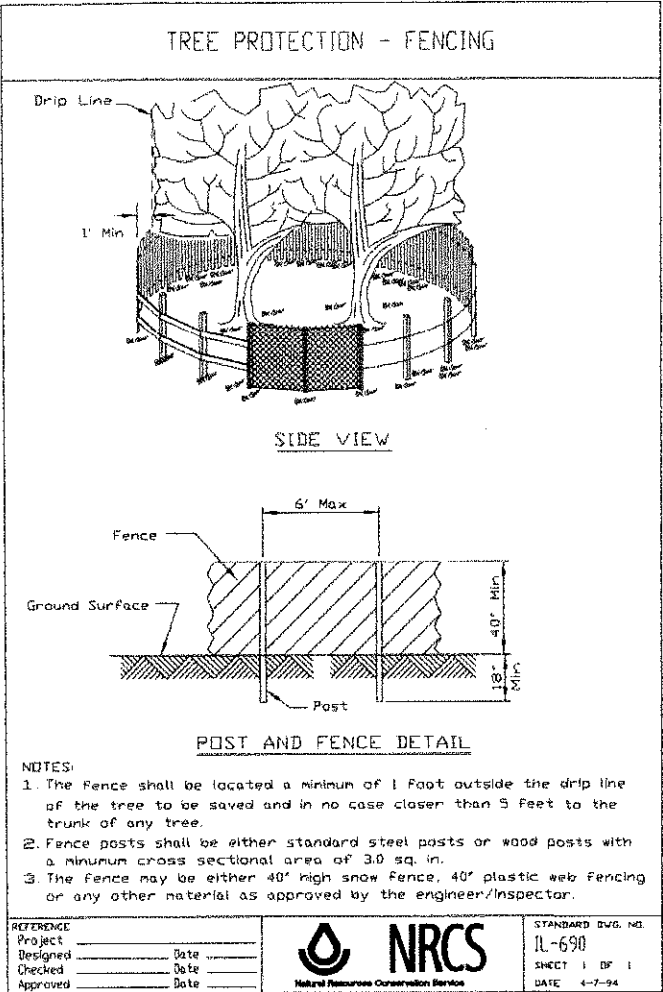
NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION



PLANT SCHEDULE

Symbol	Scientific Name	Common Name	Size	Condition	Quantity	Comments
CG	<i>Carya acuticarpa</i>	HICKORY	3" CAL	B & B	5	BRANCHED UP 8" MIN
GT	<i>Gleditsia plicata</i>	SKYLINE HONEYLOCUST	3" CAL	B & B	2	BRANCHED UP 8" MIN
GD	<i>Gymnocladus dioica</i>	KENTUCKY COFFEE TREE	3" CAL	B & B	1	BRANCHED UP 8" MIN
UT	<i>Ulmus x Montanensis</i>	TRIUMPH ELM	3" CAL	B & B	3	BRANCHED UP 8" MIN
TOTAL					11	

PERMANENT TURF GRASS SEED MIX

TYPE OF SEED - GRASSES	COMMON NAME	lbs/ACRE
<i>Festuca arundinacea</i>	Tall Fescue	210
<i>Festuca rubra</i>	Creeping Red Fescue	70
<i>Poa pratensis</i>	Kentucky Bluegrass	35
<i>Poa trivialis</i>	Rough Bluegrass	35
GRASSES lbs PER ACRE		350
TYPE OF SEED - COVER CROP	COMMON NAME	lbs/ACRE
<i>Avena sativa</i>	Seed Oats	32
<i>Lolium multiflorum</i>	Annual Rye	6
COVER CROP lbs PER ACRE		38

* ANY AREAS DISTURBED DUE TO CONSTRUCTION WILL BE RE-SEEDING WITH TURF GRASS UNLESS NOTED OTHERWISE ON THE PLANS.

PERMANENT SEEDING DATES

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
NON-IRRIGATED*												
IRRIGATED												
DORMANT SEEDING**												



IRRIGATION NEEDED DURING THIS PERIOD TO CONTROL EROSION AT TIMES OTHER THAN IN THE SHADED AREAS. USE MULCH.

* LATE SUMMER SEEDING DATES MAY BE EXTENDED 5 DAYS IF MULCH IS APPLIED.

** INCREASE SEEDING APPLICATION BY 50%.

LANDSCAPE PLANTING NOTES

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL PREVAIL.
- ALL DECIDUOUS TREES TO HAVE 8" MINIMUM MULCH RING, UNLESS OTHERWISE SHOWN.
- ALL SHRUB PLANTING AREAS TO BE COVERED WITH 3" LAYER OF SHREDDED HARDWOOD BARK MULCH. MULCH SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE OBTAINED FROM SHAWMIL OR LUMBERING OPERATION. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTORS OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, AS SET FORTH BY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY THE ARCHITECT.
- ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY THE ARCHITECT SHALL BE REPLACE AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- PEAT MOSS TO BE USED ON PROJECT SHALL BE DOMESTIC OR IMPORTED MATERIAL, CHOCOLATE BROWN IN COLOR AND COMPOSED OF PARTIALLY DECOMPOSED VEGETABLE MATERIAL. PEAT MOSS TO BE MAILED ACIDIC IN CHARACTER AND SHALL BE APPROVED BY THE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS HE/SHE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
- BACKFILL FOR TREE PLANTING SHALL BE 75% APPROVED TOPSOIL AND 25% APPROVED PEAT MOSS. TOP LAYER OF BACKFILL SHALL BE 100% EXISTING TOPSOIL. A 5-10-5 ANALYSIS SLOW RELEASE FERTILIZER SHALL BE INCORPORATED INTO BACKFILL AT APPROVED RATES.
- TREE STAKING IS NOT REQUIRED AS PART OF INITIAL PLANTING. HOWEVER, STAKING WILL BE REQUIRED TO MAINTAIN ANY TREES WHICH BECOME OUT OF PLUMB.
- ALL BED EDGES SHALL BE NATURAL SPADE EDGE, 4" IN DEPTH WITH UNIFORM LINES AND CURVES. LANDSCAPE CONTRACTOR IS TO COORDINATE ALL WORK WITH OTHER TRADES TO MINIMIZE RISK OF DAMAGE TO SITE UTILITIES.
- PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM UTILITIES.
- A MINIMUM OF TEN (10) FOOT HORIZONTAL DISTANCE FROM LATERALS OR ANY OTHER SANITARY OR STORM SEWER FACILITIES (AS MEASURED FROM THE Drip LINE OF THE MATURE TREE TO THE CENTER OF SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHTS-OF-WAY ARE AT RISK OF BEING DAMAGED OR REMOVED WITHOUT THE OBLIGATION OF REPLACEMENT.
- THE TOE OF SLOPE OF EARTHEN WOUNDING CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.
- RETAINING/DECORATIVE/ENTRANCE WALLS CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.

LANDSCAPE DETAILS & SPECS

PARKING LOT EXPANSION

BURR RIDGE

7325 Janes Avenue
Woodridge, IL 60517
630.724.8200 phone
www.v3co.com



DRAWING NO.

L1.1

ORDINANCE NO.

AN ORDINANCE AMENDING SECTION IV.K OF THE ZONING ORDINANCE
REGARDING THE DEFINITION OF COMMERCIAL VEHICLES(Z-10-2019: Text Amendments - Commercial Vehicles)

WHEREAS, an application for a text amendment to the Village of Burr Ridge Zoning Ordinance has been filed with the Assistant Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village considered the question of granting said text amendments on August 26, 2019, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a text amendment to the Burr Ridge Zoning Ordinance, including its findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of the proposed text amendment indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the recommendation is to amend Section IV.K of the Zoning Ordinance.
- B. That the amendment shall be known upon force of this Ordinance by creating Section IV.K.2.e.vi. of the Zoning Ordinance as stated: "Any vehicle rented for non-gratuitous purposes."

Section 3: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 26th day of August, 2019, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Burr Ridge on this 26th
day of August, 2019.

Mayor

ATTEST:

Village Clerk

8B

Old_Address	New_Address	Street_Name
15W116	516	59th St
15W120	520	59th St
15W134	534	59th St
15W431	431	59th St
15W419	419	60th Pl
15W439	439	60th Pl
15W440	440	60th Pl
15W459	459	60th Pl
15W479	479	60th Pl
15W480	480	60th Pl
15W499	499	60th Pl
15W500	500	60th Pl
15W519	519	60th Pl
15W520	520	60th Pl
15W529	529	60th Pl
15W539	539	60th Pl
15W540	540	60th Pl
15W549	549	60th Pl
15W567	567	60th Pl
15W570	570	60th Pl
15W573	573	60th Pl
15W574	574	60th Pl
15W577	577	60th Pl
15W578	578	60th Pl
15W030	30	60th St
15W047	47	60th St
15W051	51	60th St
15W070	70	60th St
15W090	90	60th St
15W120	120	60th St
15W125	125	60th St
15W130	130	60th St
15W151	151	60th St
15W154	154	60th St
15W170	170	60th St
15W175	175	60th St
15W201	201	60th St
15W240	240	60th St
15W254	254	60th St
15W268	268	60th St
15W280	280	60th St
15W302	302	60th St
15W316	316	60th St
15W330	330	60th St
15W344	344	60th St

Old_Address	New_Address	Street_Name
15W365	365	60th St
15W301	301	61st Pl
15W303	303	61st Pl
15W239	239	62nd St
15W240	240	62nd St
15W244	244	62nd St
15W248	248	62nd St
15W252	252	62nd St
15W260	260	62nd St
15W271	271	62nd St
15W330	330	62nd St
15W341	341	62nd St
15W360	360	62nd St
15W381	381	62nd St
15W435	435	62nd St
15W445	445	62nd St
15W455	455	62nd St
15W465	465	62nd St
15W535	535	62nd St
15W440	440	63rd St
15W506	546	63rd St
15W522	522	63rd St
15W528	528	63rd St
15W536	536	63rd St
15W550	560	63rd St
15W556	556	63rd St
15W562	562	63rd St
15W221	221	72nd St
15W321	321	72nd St
15W321	321	73rd St
15W120	120	74th St
15W121	121	74th St
15W150	150	74th St
15W151	151	74th St
15W622	622	74th St
15W640	640	74th St
15W650	650	74th St
15W667	667	74th St
15W671	671	74th St
15W678	678	74th St
15W710	710	74th St
15W715	715	74th St
15W731	731	74th St
15W734	734	74th St
15W761	761	74th St

Old_Address	New_Address	Street_Name
15W776	776	74th St
15W119	119	75th St
15W120	120	75th St
15W121	121	75th St
15W122	122	75th St
15W200	200	75th St
15W220	220	75th St
15W616	616	75th St
15W626	626	75th St
15W636	636	75th St
15W646	646	75th St
15W656	656	75th St
15W668	668	75th St
15W676	676	75th St
15W700	700	75th St
15W200	200	77th St
15W210	210	77th St
15W111	111	79th St
15W112	112	79th St
15W115	115	79th St
15W116	116	79th St
15W119	119	79th St
15W120	120	79th St
15W124	124	79th St
15W207	207	79th St
15W211	211	79th St
15W215	215	79th St
15W219	219	79th St
15W223	223	79th St
15W227	227	79th St
15W228	228	79th St
15W230	230	79th St
15W234	234	79th St
15W303	303	79th St
15W307	307	79th St
15W310	310	79th St
15W311	311	79th St
15W315	315	79th St
15W316	316	79th St
15W319	319	79th St
15W322	322	79th St
15W323	323	79th St
15W327	327	79th St
15W331	331	79th St
15W455	455	79th St

Old_Address	New_Address	Street_Name
15W611	611	79th St
15W629	629	79th St
15W651	651	79th St
15W660	660	79th St
15W663	663	79th St
15W675	675	79th St
15W700	700	79th St
15W700	700	79th St
15W700	700	79th St
15W705	705	79th St
15W719	719	79th St
15W727	727	79th St
15W737	737	79th St
15W749	749	79th St
15W759	759	79th St
15W773	773	79th St
16W020	820	79th St
15W035	35	80th St
15W651	651	80th St
15W671	671	80th St
15W703	703	80th St
15W721	721	80th St
15W737	737	80th St
15W765	765	80th St
15W121	121	81st Ct
15W155	155	81st St
15W201	201	81st St
15W214	214	81st St
15W241	241	81st St
15W250	250	81st St
15W300	300	81st St
15W304	304	81st St
15W316	316	81st St
15W322	322	81st St
15W341	341	81st St
15W341	341	81st St
15W341	341	81st St
15W341	341	81st St
15W345	345	81st St
15W345	345	81st St
15W345	345	81st St
15W345	345	81st St
15W439	439	81st St
15W453	453	81st St
15W460	460	81st St

Old_Address	New_Address	Street_Name
15W467	467	81st St
15W480	480	81st St
15W481	481	81st St
15W500	500	81st St
15W501	501	81st St
15W520	520	81st St
15W521	521	81st St
15W540	540	81st St
15W541	541	81st St
15W560	560	81st St
15W561	561	81st St
15W581	581	81st St
15W601	601	81st St
15W619	619	81st St
15W621	621	81st St
15W637	637	81st St
15W641	641	81st St
15W645	645	81st St
15W650	650	81st St
15W661	661	81st St
15W670	670	81st St
15W677	677	81st St
15W700	700	81st St
15W707	707	81st St
15W715	715	81st St
15W720	720	81st St
15W737	737	81st St
15W738	738	81st St
15W622	622	82nd St
15W642	642	82nd St
15W652	652	82nd St
15W661	661	82nd St
15W668	668	82nd St
15W675	675	82nd St
15W676	676	82nd St
15W703	703	82nd St
15W710	710	82nd St
15W720	720	82nd St
15W721	721	82nd St
15W739	739	82nd St
15W740	740	82nd St
15W770	770	82nd St
15W010	10	83rd St
15W020	20	83rd St
15W040	40	83rd St

Old_Address	New_Address	Street_Name
15W055	55	83rd St
15W110	110	83rd St
15W140	140	83rd St
15W151	151	83rd St
15W531	531	83rd St
15W551	551	83rd St
15W571	571	83rd St
15W591	591	83rd St
15W611	611	83rd St
15W631	631	83rd St
15W640	640	83rd St
15W660	660	83rd St
15W706	706	83rd St
15W719	719	83rd St
15W720	720	83rd St
15W735	735	83rd St
15W736	736	83rd St
15W751	751	83rd St
15W752	752	83rd St
16W030	830	83rd St
16W030	830	83rd St
16W070	870	83rd St
16W107	907	83rd St
16W110	910	83rd St
16W115	915	83rd St
16W115	915	83rd St
16W127	927	83rd St
16W129	929	83rd St
16W153	953	83rd St
16W171	971	83rd St
16W210	1010	83rd St
16W215	1015	83rd St
16W215	1015	83rd St
16W215	1015	83rd St
16W215	1015	83rd St
16W215	1015	83rd St
16W235	1035	83rd St
16W235	1035	83rd St
16W235	1035	83rd St
16W235	1035	83rd St
16W235	1035	83rd St
16W235	1035	83rd St
16W240	1040	83rd St
16W260	1060	83rd St
16W273	1073	83rd St
16W273	1073	83rd St

Old_Address	New_Address	Street_Name
16W273	1073	83rd St
16W273	1073	83rd St
16W277	1077	83rd St
16W277	1077	83rd St
16W277	1077	83rd St
16W277	1077	83rd St
16W281	1081	83rd St
16W281	1081	83rd St
16W281	1081	83rd St
16W285	1085	83rd St
16W285	1085	83rd St
16W285	1085	83rd St
16W285	1085	83rd St
16W289	1089	83rd St
16W289	1089	83rd St
16W289	1089	83rd St
16W289	1089	83rd St
16W300	1100	83rd St
16W300	1100	83rd St
16W343	1143	83rd St
16W343	1143	83rd St
16W343	1143	83rd St
16W345	1145	83rd St
16W345	1145	83rd St
16W345	1145	83rd St
16W347	1147	83rd St
16W347	1147	83rd St
16W347	1147	83rd St
16W347	1147	83rd St
16W375	1175	83rd St
16W375	1175	83rd St
16W375	1175	83rd St
16W375	1175	83rd St
16W375	1175	83rd St
15W050	50	87th St
15W051	51	87th St
15W064	64	87th St
15W110	110	87th St
15W151	151	87th St
15W155	155	87th St
15W218	218	87th St
15W240	240	87th St
15W351	351	87th St
15W375	375	87th St
15W439	439	87th St

Old_Address	New_Address	Street_Name
15W451	451	87th St
15W463	463	87th St
15W475	475	87th St
15W487	487	87th St
15W501	501	87th St
15W513	513	87th St
15W525	525	87th St
15W537	537	87th St
15W549	549	87th St
15W561	561	87th St
15W573	573	87th St
15W585	585	87th St
15W780	780	87th St
15W450	450	89th St
15W520	520	89th St
15W531	531	89th St
15W560	560	89th St
15W599	599	89th St
15W620	620	89th St
15W627	627	89th St
15W630	630	89th St
15W720	720	89th St
15W760	760	89th St
15W696	696	90th St
15W700	700	90th St
15W731	731	90th St
15W020	20	91st St
15W040	40	91st St
15W069	69	91st St
15W070	70	91st St
15W171	171	91st St
15W271	271	91st St
15W281	281	91st St
15W287	287	91st St
15W305	305	91st St
15W450	450	91st St
15W451	451	91st St
15W457	457	91st St
15W510	510	91st St
15W560	560	91st St
16W031	831	91st St
16W072	872	91st St
16W122	922	91st St
16W201	1001	91st St
16W203	1003	91st St

Old_Address	New_Address	Street_Name
16W205	1005	91st St
16W207	1007	91st St
16W209	1009	91st St
16W211	1011	91st St
16W251	1051	91st St
16W253	1053	91st St
16W255	1055	91st St
16W257	1057	91st St
16W259	1059	91st St
16W261	1061	91st St
16W301	1101	91st St
16W227	1027	93rd Pl
16W250	1050	93rd Pl
16W253	1053	93rd Pl
16W266	1066	93rd Pl
16W267	1067	93rd Pl
16W280	1080	93rd Pl
16W300	1100	93rd Pl
16W311	1111	93rd Pl
16W312	1112	93rd Pl
16W321	1121	93rd Pl
16W324	1124	93rd Pl
16W330	1130	93rd Pl
16W331	1131	93rd Pl
16W341	1141	93rd Pl
16W346	1146	93rd Pl
16W351	1151	93rd Pl
16W360	1160	93rd Pl
16W361	1161	93rd Pl
16W370	1170	93rd Pl
16W380	1180	93rd Pl
16W270	1070	94th Pl
16W280	1080	94th Pl
16W300	1100	94th Pl
16W301	1101	94th Pl
16W310	1110	94th Pl
16W311	1111	94th Pl
16W320	1120	94th Pl
16W321	1121	94th Pl
16W330	1130	94th Pl
16W331	1131	94th Pl
16W340	1140	94th Pl
16W341	1141	94th Pl
16W350	1150	94th Pl
16W351	1151	94th Pl

Old_Address	New_Address	Street_Name
16W360	1160	94th Pl
16W361	1161	94th Pl
16W371	1171	94th Pl
15W700	700	94th St
15W720	720	94th St
15W740	740	94th St
15W760	760	94th St
15W780	780	94th St
16W215	1015	94th St
16W235	1035	94th St
16W236	1036	94th St
16W253	1053	94th St
16W254	1054	94th St
16W264	1064	94th St
16W267	1067	94th St
16W281	1081	94th St
16W284	1084	94th St
16W302	1102	94th St
16W311	1111	94th St
16W319	1119	94th St
16W320	1120	94th St
16W329	1129	94th St
16W330	1130	94th St
16W331	1131	94th St
16W340	1140	94th St
16W350	1150	94th St
16W351	1151	94th St
16W360	1160	94th St
16W361	1161	94th St
16W374	1174	94th St
16W256	1056	95th Pl
16W280	1080	95th Pl
16W300	1100	95th Pl
16W307	1107	95th Pl
16W308	1108	95th Pl
16W317	1117	95th Pl
16W318	1118	95th Pl
16W327	1127	95th Pl
16W328	1128	95th Pl
16W337	1137	95th Pl
16W338	1138	95th Pl
16W347	1147	95th Pl
16W348	1148	95th Pl
16W360	1160	95th Pl
16W361	1161	95th Pl

Old_Address	New_Address	Street_Name
16W370	1170	95th Pl
16W284	1084	97th St
15W335	335	Countryside Ct
15W360	360	Countryside Ct
15W361	361	Countryside Ct
15W362	362	Countryside Ct
10S420	9120	Drew Ave
10S440	9140	Drew Ave
10S470	9170	Drew Ave
10S510	9210	Drew Ave
9S174	8074	Drew Ave
9S175	8075	Drew Ave
10S601	9301	Garfield Ave
10S641	9341	Garfield Ave
6S740	6240	Garfield Ave
10S415	9115	Glenn Dr
10S420	9120	Glenn Dr
10S424	9124	Glenn Dr
10S431	9131	Glenn Dr
10S440	9140	Glenn Dr
10S445	9145	Glenn Dr
10S452	9152	Glenn Dr
10S461	9161	Glenn Dr
10S479	9179	Glenn Dr
10S501	9201	Glenn Dr
10S512	9212	Glenn Dr
10S515	9215	Glenn Dr
10S526	9226	Glenn Dr
10S533	9233	Glenn Dr
10S540	9240	Glenn Dr
10S543	9243	Glenn Dr
10S550	9250	Glenn Dr
10S563	9263	Glenn Dr
10S570	9270	Glenn Dr
10S575	9275	Glenn Dr
10S580	9280	Glenn Dr
10S604	9304	Glenn Dr
10S607	9307	Glenn Dr
10S622	9322	Glenn Dr
10S627	9327	Glenn Dr
10S638	9338	Glenn Dr
10S647	9347	Glenn Dr
10S650	9350	Glenn Dr
10S664	9364	Glenn Dr
10S667	9367	Glenn Dr

Old_Address	New_Address	Street_Name
10S675	9375	Glenn Dr
10S676	9376	Glenn Dr
10S230	8930	Grant St
10S244	8944	Grant St
10S260	8960	Grant St
15W400	400	Harvest Dr
10S659	9359	Jackson St
10S679	9379	Jackson St
10S721	9421	Jackson St
10S730	9430	Jackson St
10S741	9441	Jackson St
10S751	9451	Jackson St
10S760	9460	Jackson St
11S005	9505	Jackson St
11S010	9510	Jackson St
11S030	9530	Jackson St
11S054	9554	Jackson St
10S110	8810	Madison St
10S125	8825	Madison St
10S135	8835	Madison St
10S245	8945	Madison St
10S411	9111	Madison St
10S425	9125	Madison St
10S441	9141	Madison St
10S455	9155	Madison St
10S474	9174	Madison St
10S501	9201	Madison St
10S513	9213	Madison St
10S531	9231	Madison St
10S541	9241	Madison St
10S551	9251	Madison St
10S571	9271	Madison St
10S581	9281	Madison St
10S734	9434	Madison St
9S141	8041	Madison St
9S155	8055	Madison St
9S165	8065	Madison St
9S177	8077	Madison St
9S201	8101	Madison St
9S227	8127	Madison St
9S241	8141	Madison St
9S255	8155	Madison St
9S271	8171	Madison St
15W030	30	North Frontage Rd
15W278	278	North Frontage Rd

[illegible]

[illegible]

[illegible]

Old_Address	New_Address	Street_Name
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W475	1275	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W485	1285	South Frontage Rd
16W505	1305	South Frontage Rd
16W535	1335	South Frontage Rd
16W559	1359	South Frontage Rd
16W561	1361	South Frontage Rd
16W601	1401	South Frontage Rd
10S231	8931	Vine St
10S265	8965	Vine St
8S336	7436	Vine St
8S344	7444	Vine St



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527
(630) 654-8181 • Fax (630) 654-8269 • www.burr-ridge.gov

Gary Grasso
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

August 8, 2019

Tri-State Fire Protection District
Or Current Resident
10S110 Madison St
Burr Ridge, IL 60527

RE: Consideration of Address Change

Dear Tri-State Fire Protection District:

The Village of Burr Ridge receives many complaints from residents and businesses regarding the use of DuPage County addresses within the corporate limits of the Village of Burr Ridge. These are the addresses that contain a prefix such as 15W, 16W, 10S, 11S, etc. This letter is to inform you that the Village of Burr Ridge is considering modifying address numbers to eliminate the County prefix in the Village of Burr Ridge. Our records indicate that you are the owner or tenant of a property in Burr Ridge that has an address with the County prefix.

The Village of Burr Ridge Board of Trustees will provide an opportunity for public comments on this consideration at their meeting of Monday, August 26, 2019. The meeting begins at 7 pm at the Burr Ridge Village Hall (7660 County Line Road).

Problems with these addresses typically occur when the prefix is not used and the location of the property becomes unidentifiable or duplicates another address in the Village. This has led to problems with emergency service providers as well as other service providers searching for a particular address. In order to resolve this problem, the Village of Burr Ridge Board of Trustees will be considering certain changes to those addresses that use the County prefix. For the majority of the prefix addresses, the prefix may be removed and the rest of the address number would be unchanged. For others, it is necessary to also change the block number. Your address would be changed as follows:

From: 10S110 Madison St

To: 8810 Madison St

The Willowbrook/Burr Ridge Post Office, local Fire Districts, and other service providers are also being notified of this potential change. If you have any questions or comments, you may attend the August 26, 2019 meeting, call me at (630) 654-8181, Extension 2000, or email at dpollock@burr-ridge.gov.

Sincerely,

J. Douglas Pollock, AICP
Village Administrator

cc: Gary Grasso, Mayor
Tri-State Fire Protection District
Pleasantview Fire Protection District

From: [Patty Higgins](#)
To: [Douglas Pollock](#)
Subject: Address change proposal
Date: Saturday, August 17, 2019 8:18:03 AM

Good morning,
We received your letter regarding the proposed address change.

We are against it. We have lived here 26 years and all of our mail, packages, etc., have been delivered without a hitch. We have had emergency services two or three times, and they had no trouble finding us. As government agencies, we would expect them to be aware of the area they cover and be familiar with local addresses.

We also feel that this will be a huge inconvenience for US to change EVERYTHING. I do not understand others' difficulty in adding a prefix such as "10S" when it will be a major hassle for us to change our entire world with a completely new address.

If this proposal does pass, how long will we have to notify everyone of our new address? To get a new sign made for the outside of our house? To get new documents printed up? To notify the mortgage company, bank, etc., etc., etc.?

Thank you for listening to our opinion. We appreciate your consideration.

Sincerely,
Doctors Donald and Patricia Higgins
10S452 Glenn Drive

Sent from my iPhone

From: [Rick Sarber](#)
To: [Douglas Pollock](#)
Subject: Address change
Date: Monday, August 12, 2019 3:07:55 PM

I am in receipt of your letter dated 8/8/19 concerning the potential address change. We have not experienced any issues with the current address. If it does change I would respectfully request that there is either a choice to change or a long grace period as businesses such as ours will need to deplete checks, letterhead, stationary, business cards etc. It would be very costly to throw away our current set of paper goods and replace them.

Thanks. Rick

Rick Sarber
Pure Wine Company
16W285 83rd St, Suite A
Burr Ridge, IL 60527
Off 630.655.9190
Fax 630.655.9060
Cel 708.829.8648

From: [Wagner, Rick A](#)
To: [Douglas Pollock](#)
Subject: Address change
Date: Tuesday, August 13, 2019 2:51:49 PM

Mr. Pollock,

I just wanted to weigh in on the possibility of the upcoming address change.

I live in the Oak Hill subdivision that was annexed to Burr Ridge some 20+ years ago. I actually inquired many years ago about having an incorporated address but was unable to get anything done. I would be totally in favor of it. No longer would I need to explain my address. No longer would many sites default to a Willowbrook address and no longer would delivery people tell me they couldn't find my home until I would tell them that "I can see the McDonalds out my front room window." So, yes, I am overwhelmingly in favor of the change.

And besides, it probably wouldn't hurt property values.

Sincerely,

Rick Wagner
10 S. 741 Jackson

CONFIDENTIALITY NOTICE: This e-mail may contain privileged or confidential information and is for the sole use of the intended recipient(s). If you are not the intended recipient, any disclosure, copying, distribution, or use of the contents of this information is prohibited and may be unlawful. If you have received this electronic transmission in error, please reply immediately to the sender that you have received the message in error, and delete it. Thank you

From: [Keith Ahlborn](#)
To: [Douglas Pollock](#)
Subject: Address Change
Date: Tuesday, August 13, 2019 3:15:52 PM

Hi Doug;

I have received your letter about dropping the 15W prefix from our address, this has been mentioned in the past but doesn't seem to ever be made official. My only concern would be would all of our ID cards, Driver License, Foid Card, Concealed Carry etc have to be changed to be legal? This could create several legal problems.

Your thoughts?

Regards;
Keith Ahlborn
15W668 82 st.
Burr Ridge, IL.

kahlborn@aol.com
630-235-8026

From: webebates@gmail.com
To: [Douglas Pollock](#)
Cc: ["Amelia Bates"](#)
Subject: Address change
Date: Thursday, August 15, 2019 9:52:14 AM

Dear Mr. Pollock,

My wife and I heartily agree that changing our address by removing the county prefix is a desirable action. It has been problematical for deliveries, taxis, friends, etc to use the present system.

Please consider this our endorsement of the plan stated in your letter dated August 08, 2019.

Regards,

Maynard and Amelia Bates

316 79th Street

Burr Ridge

From: [Smith, Jesse](#)
To: [Douglas Pollock](#)
Subject: Address Change
Date: Tuesday, August 20, 2019 10:42:10 AM
Attachments: [image001.png](#)

Hello Mr. Pollock,

We received your letter, dated 8/8/19, regarding the address change.

I only have one question. Will there be a communication if the proposal to change the addresses is approved?

I would like to send a communication to my site once I confirm the change was approved.

Thanks!

Jesse Smith
Health, Safety & Environmental Technician

Mars Wrigley, US - Ice Cream
15W660 79th Street
Burr Ridge, IL 60527
T: +1-630-655-7468
M: +1-312-485-9959
F: +1-630-850-9021
E: jesse.smith@effem.com

MARS WRIGLEY



CONFIDENTIALITY. This email and any attachments are confidential and may also be privileged. If received in error, please do not disclose the contents to anyone, but notify the sender by return email and delete this email and any attachments from your system.

From: n.panice@comcast.net
To: [Douglas Pollock](#)
Subject: Address Modification
Date: Sunday, August 18, 2019 10:21:29 AM

Dear Mr. Pollock,

Thank you for the notification of the anticipated change in using the county prefix in Burr Ridge addresses. I am not able to attend the meeting, but as a homeowner with such an address, I want to let you know of my strong opposition to this plan.

The problem is not with the original county prefix addresses but with the haphazard way new addresses are assigned in the village. Delivery people have problems finding my house, not due to the 15W attached to my address, but rather, the fact that new houses on my block are randomly assigned even or odd numbered addresses with no consideration to which side of the block the residence is on. I live at 15W619 and directly across from me are 621 and 601.

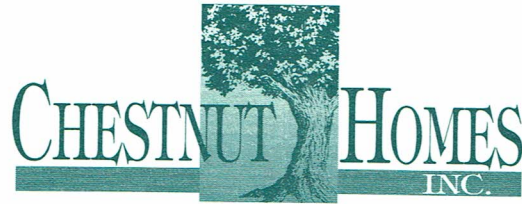
I am curious to know the extent of the complaints "from residents and businesses". The village has had emergency service providers since its inception. They are familiar with the county address system. They also possess highly sophisticated GPS systems. I worry that this is another attempt to strip away the character and charm of older Burr Ridge. This issue was addressed once before and it was decided then that it wasn't a good plan. I wonder what has changed?

Thank you for asking for questions and comments,

Nicolette Panice

15W619 81st Street

Burr Ridge, IL 60527



John H. Barcelona
President

August 16, 2019

Mr. J. Douglas Pollock, AICP
Village Administrator
Village of Burr Ridge
7660 County Line Road
Burr Ridge, Ill. 60527

Re: Proposed Address Change

Dear Doug:


I received your letter of August 8, 2019 regarding the proposed address change for our building. We are a tenant in this building and not the owner and have been here for quite some time. I am writing to voice my objection to the proposed address change for the following reasons:

1. We have letterhead, envelopes, business cards, printed materials and many other things that bear our current address which would have to be changed at a substantial expense to us. I am sure this is the same for many other businesses in our building and in other buildings where you propose to change the address.
2. When we began occupying our space the address was represented to us as 485 S. Frontage Road and we have used that address with no mail delivery or other problem for many years. As you can see, that is the address on our letterhead, envelopes and all other printed materials.
3. Our office location is not the easiest to find, and an address change will not alter that. We give specific directions to people to find us and would have to do the same with an address change.

I plan on attending the public hearing on August 26, 2019 to voice my objection but would appreciate your sharing my letter with the appropriate parties. Thank you for your consideration.

Yours very truly,

CHESTNUT HOMES, INC.



John H. Barcelona
President

CHESTNUT HOMES, INC.

Cc: Gary Grasso, Mayor
Tri-State Fire Protection District
Pleasantview Fire Protection District

From: [Michael Koziol](#)
To: [Douglas Pollock](#)
Subject: Change of Address
Date: Tuesday, August 13, 2019 4:55:49 PM

Hi J. Douglas,

I received your letter yesterday in the mail regarding your proposed address change. While I understand the confusion, I can see how it could get worse.

When I entered our proposed address into Google, it shows a home east of our location (east of Madison Street). How is this going to work if there are two different locations with the same address?

Also, I share an office with a colleague of mine. Between the two of us, we act as the registered agent for over 100 businesses. To change the address with the Secretary of State not only requires filing a form for each business, it also requires a \$25 fee. That's over \$2,500. Who is expected to pay this? We just moved into this location two years ago and paid the fees then. We don't have \$2,500 in our budget to cover this cost - again. And asking our clients to pay this is going to be troubling to say the least.

That also means we have to change our address with IRS, Illinois Department of Labor, Illinois Department of Employment Security, the US Department of Labor, all the states where we are registered with, the tax software companies, the payroll software companies, brokerage accounts... I can list 200 entities as well.

I'm not sure how the hearing works and if there are votes, but we vote "NO" for each of us. There are also several other accounting firms within blocks of us who are going to be facing the same issues in this process.

Thank you for your time. Sincerely,

Michael Koziol, EA, ATA, ATP
Enrolled Agent
Accredited Tax Advisor
Accredited Tax Preparer

[708.328.3567](tel:708.328.3567) Direct
[708.328.3569](tel:708.328.3569) Phone
[708.328.3570](tel:708.328.3570) Fax

16W347 83rd Street
Suite C
Burr Ridge, Illinois 60527
www.koziol.tax

From: [D](#)
To: [Douglas Pollock](#)
Cc: [Gary Grasso](#)
Subject: Consideration of Address Change
Date: Tuesday, August 13, 2019 8:23:53 AM

Dear J. Douglas Pollock,

We received your letter yesterday regarding the proposed address change to certain addresses in the village of Burr Ridge. If we're going to make this change, let's not stop at removing the County Prefix, let's also put the addresses in order. For example, the addresses on our street (63rd St heading west from Garfield) are in the following order:

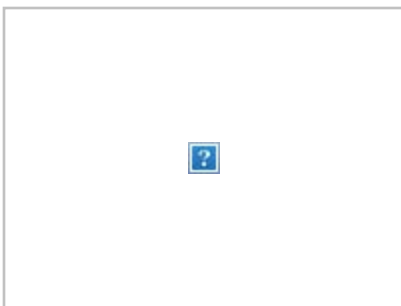
15W440
15W522
15W528
15W536
15W506
15W556
15W550
15W562

We have had several service providers and other people tell us they had difficulty finding our house (or that our address does not exist) because they assumed the house numbers would be in order - a reasonable assumption. So, if homeowners are going to experience the hassle (and possibly cost) of changing their address, let's correct as many issues as possible and incur the hassle/cost just once.

Also, if the proposed change does go through, could you provide the affected homeowners with a starting list of people to notify about their address change (friends, family, banks, utilities, schools, doctors, dentists, insurance companies, etc.). Looks like you will be notifying the post office and emergency services. Will an updated deed/title need to be issued? Thank you.

Sincerely,

Dennis W. Brown
15W550 63rd St
Burr Ridge, IL 60527



16W285 83rd Street, Suite C
Burr Ridge, Illinois 60527
P: 630.920.9158
F: 630.920.1294
www.2290asap.com

Statement of Confidentiality:

The contents of this e-mail message and any attachments are confidential and are intended solely for addressee. The information may also be legally privileged. This transmission is sent in trust, for the sole purpose of delivery to the intended recipient. If you have received this transmission in error, any use, reproduction or dissemination of this transmission is strictly prohibited. If you are not the intended recipient, please immediately **notify** the sender by reply e-mail or phone and **delete** this message and its attachments, if any.

From: [Greg Cibinski](#)
To: [Douglas Pollock](#)
Subject: Consideration of Address Change
Date: Tuesday, August 20, 2019 1:54:13 PM

Good Afternoon Doug,

Thank you for taking the time to speak with me last week in regards to the Village's discussion on potentially changing addresses in our area. We feel strongly that this would cause our business immediate harm with the enormous man hours we would incur to process all the paperwork and to inform all our affected vendors, various state agencies, federal, state and local taxing authorities, insurance providers (health, dental, auto, life) bank and credit card company, phone, cable, internet, utilities, loan providers, IRA/401k administrator, and our entire customer base of our new business address. We are a small company and this adding administrative burden and potential future confusion of an address change would be detrimental to our business.

We would request that our address remain as is, or change to the following which is very similar to our current address:

559 South Frontage Rd

Thank you for your consideration of our above statements and request.

Please feel free to call me anytime to discuss.

Greg Cibinski
Principal

Midwest Energy Inc.
Phone 630-887-8881
Fax 630-887-8884
www.midwestenergyinc.com



From: [Keith Ahlborn](#)
To: [Gary Grasso](#)
Cc: [Anita Mital](#); guyfranzese@aol.com; [Zachary Mottl](#); paveza11617@comcast.net; [Tony Schiappa](#); [Joseph Snyder](#); [Douglas Pollock](#)
Subject: Doug Pollock`s Letter removing the address prefix 15W and others
Date: Thursday, August 15, 2019 2:57:08 PM

Gary;

I live on 82st with the address 15W668 82 st and have been a resident for 35 years. I also operate my business from this location and would oppose removing the prefix 15W from the address. Having to change the address with all formal identification covering credit cards, bank statements, insurance policy`s, drivers license etc. and duplicating this process with my business would be very time consuming and bureaucratic process. I remember when our zip code was changed and given the same number as Willowbrook and the frustration with mail service, UPS, Fedex and the above ID`s and policy`s and the time wasted with returns until the change was completed.

If you vote on this Monday August 26, please vote no, I will NOT support this change.

Thank you for your considerations.

Regards;
Keith Ahlborn
15W668 82st.
Burr Ridge, Illinois 60527
kahlborn@aol.com
630-235-8026

From: [Barbara Rothrock](#)
To: [Douglas Pollock](#)
Subject: elimination of prefix addresses
Date: Saturday, August 17, 2019 12:05:48 PM

Doug,

I talked with you briefly a couple of days ago about the potential change of my address. Please do not do this!!!!

In addition to the onerous job of notification other issues surface such as legal documents and fixed house identifications.

It may help if you focus on erasing Willowbrook from our address instead of Burr Ridge.

Thank you,

Barbara

From: [Ronald Murray](#)
To: [Douglas Pollock](#)
Subject: FW: Address change
Date: Tuesday, August 13, 2019 6:33:36 AM

From: Ronald Murray
Sent: Tuesday, August 13, 2019 6:21 AM
To: dpollock@burrridge.gov
Subject: Address change

Morning Mr. Pollock

It is great that this is going to be changed, please do ASAP. We have so many customers that can not find us or think that the address is a JOKE.

THANK YOU !!

From: [Evan Walter](#)
To: [Douglas Pollock](#)
Subject: FW: thank you
Date: Tuesday, August 13, 2019 10:18:12 AM
Attachments: [image004.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

FYI support for the address change.



Evan Walter

Assistant Village Administrator - Village of Burr Ridge

email: ewalter@burr-ridge.gov

phone: (630) 654-8181 ext. 2010 | mobile: (630) 601-0042

7660 County Line Road Burr Ridge, Illinois 60527



www.burr-ridge.gov

From: Colleen Sahlas [<mailto:colleen@sahlas.com>]
Sent: Tuesday, August 13, 2019 8:51 AM
To: Evan Walter <EWalter@burr-ridge.gov>
Cc: Nicko Sahlas <Nicko@sahlas.com>
Subject: Re: thank you

Good morning Evan, just wondering if the amendment passed last night.
Also, we support the proposal for the address change on August 26th in our neighborhood.
Thanks
Kind Regards,

Colleen L. Sahlas, Attorney & Partner

The Law Offices of Hoy & Sahlas, LLC

1200 Harger Road, Ste. 602, Oak Brook, IL 60523

phone: 630.575.0400 fax: 630.575.0630

Colleen@Sahlas.com (Email)

www.hoyweb.com (Website)

On Thu, Aug 8, 2019, 3:48 PM Evan Walter <EWalter@burr-ridge.gov> wrote:

I really don't think there's a need to come Monday. Janine is the Plan rep for the meeting and will convey the same sentiments if need be. If I really felt there was a need, I would request you attend, but I just can't see a need to book you for another meeting.

From: [Linda Bedoe](#)
To: [Douglas Pollock](#)
Subject: Fwd: Address Change meeting
Date: Wednesday, August 14, 2019 12:35:33 PM

Sent from my iPhone

Begin forwarded message:

From: Linda Bedoe <lamb321123@gmail.com>
Date: August 14, 2019 at 12:24:19 PM CDT
To: dpollack@burr-ridge.gov
Subject: Address Change meeting

I have lived at this address: 321 73rd St. since 1975. There was never a problem with postal service, UPS, pizza delivery, police/fire dept., or visitors. I tried to use the new address a year or so after I was formally notified: 15 W 321 73rd St. Within a year, I changed back to the old address. There were many new problems with all of the above services, it was very frustrating.

One Christmas I decided to treat myself to a new mixmaster. Kohl's uses FedEx. It was determined it was an undeliverable address and sent back to shipper. I decided it wasn't worth the hassle and cancelled the order!

I wonder how many deliveries I've missed.

Please make my old address 'legal' again with the post office since I don't use the new one!

Linda Bedoe
321 W 73rd St.
Burr Ridge, IL 60527

Thank you for helping to solve this problem.

Sent from my iPhone

From: [Dale Crome](#)
To: [Douglas Pollock](#)
Subject: I like my 15w
Date: Tuesday, August 13, 2019 6:45:56 AM

I have lived at 15W381 62nd Street for 25 years. I always receive deliveries without problems.

The W, S, and N designations are not simply a DuPage county phenomenon. They exist throughout northern Illinois. Yes, they were for non-incorporated areas when adopted but have remained for many areas. I am 71 years old and was raised in Batavia, which was still a small, rural town in the day. We called the W, S, N designated addresses as farm fire-addresses when they were adopted for extensive areas around Chicago. Before they were adopted my aunts and uncles lived at RR1, RR2, etc. (rural route for the Post Office), which were okay for mail delivery but inadequate for fire departments to respond to emergencies in the country. The W, S, and N with their numbering system would designate specific spots. Our address for example means we reside 15 miles west, plus a bit, on an east-west road (15 miles west of Chicago's State Street, I think; N and S are measured from an east-west line drawn from Adams, I think).

I frequently go through Batavia and out to the little village of Lily Lake, where my parents and nephew are buried. Most addresses out of town still carry the W, N, S designations. It is in the 30s and 40s for W out there and outside of Batavia the north-south designation is S (but smaller than our 10S +); Lily Lake is N.

If we are to change addresses, maybe we could make 62nd Street Cove Creek Lane to reflect being attached to Cove Creek Court.

But I prefer to keep it as is – rather than changing my address with all the companies and friends who know to find us.

Dale Crome



16W277 83RD STREET SUITE A BURR RIDGE, IL 60527 ☎ (630) 685-5300 ☎ (630) 685-5301

August 20, 2019

Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527
Attn: Village Administrator, Mr. J. Douglas Pollock

Re: Consideration of Address Change

Dear Mr. Pollock:

The Village of Burr Ridge has notified us that they are considering modifying or changing our current address from 16W277 83rd St to 1077 83rd St.

This change would cause a tremendous burden for our company both in man hours and financial costs to make the necessary changes to our physical documents and online presence.

As a General Contractor, we are licensed in nearly a hundred Villages/Cities. In each of these Villages, we would need to inform them of our changes of address and provide them with newly issued Certificates of Insurance with corrected address as well. We would also need to obtain new Certificates of Insurances and contracts from hundreds of our subcontractors with the corrected addresses as well as updating all state and federal documents, just to list a few.

There are also the considerable financial costs involved with getting printed materials corrected such as forms, business cards, letterhead, signs, marketing materials, vehicle logos, bank checks, website, etc.

We ask that you please reconsider this change. However, if you find this change necessary, we ask that you give us 1 to 2 years notice.

Sincerely,

A handwritten signature in black ink that reads "Victor R. Postillion". The signature is written in a cursive, flowing style.

Victor R. Postillion
President

From: [Victor Postillion](#)
To: [Douglas Pollock](#)
Cc: [Bob Kuikman](#); [Carrie Mitchell](#)
Subject: Consideration of Address Change
Date: Tuesday, August 20, 2019 10:57:20 AM
Attachments: [Leads Construction - Consideration of Address Change.pdf](#)

Dear Mr. Pollock:

The Village of Burr Ridge has notified us that they are considering modifying or changing our current address from 16W277 83rd St to 1077 83rd St.

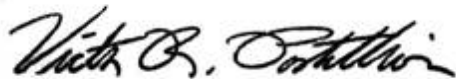
This change would cause a tremendous burden for our company both in man hours and financial costs to make the necessary changes to our physical documents and online presence.

As a General Contractor, we are licensed in nearly a hundred Villages/Cities. In each of these Villages, we would need to inform them of our changes of address and provide them with newly issued Certificates of Insurance with corrected address as well. We would also need to obtain new Certificates of Insurances and contracts from hundreds of our subcontractors with the corrected addresses as well as updating all state and federal documents, just to list a few.

There are also the considerable financial costs involved with getting printed materials corrected such as forms, business cards, letterhead, signs, marketing materials, vehicle logos, bank checks, website, etc.

We ask that you please reconsider this change. However, if you find this change necessary, we ask that you give us 1 to 2 years notice.

Sincerely,



Victor R. Postillion
President



Vic Postillion

Leads Construction Company, LLC

p: 630.685.5300

f: 630.685.5301

a: 16W277 83rd Street - Suite A Burr Ridge, IL 60527

w: leadscc.com e: vp@leadscc.com

From: [Chief Molinaro](#)
To: [Douglas Pollock](#)
Cc: michael.digiannantonio@dupageco.org; [Supervisor Bill Srejma Addison](#)
Subject: Possible Burr Ridge Address Changes
Date: Tuesday, August 13, 2019 3:08:24 PM
Attachments: [20190813150651166.pdf](#)

Doug,

Once this passes the Village Board (I'm assuming it's going to) can you please forward a spreadsheet of the old to new affected addresses to following people and Cc me?

Mike DiGiantonio is the ETSB GIS administrator.
michael.digiannantonio@dupageco.org

and

Bill Srejma from ACDC
bsrejma@addison-il.org

Thank you,

Sam Molinaro
Fire Chief
Tristate Fire Protection District
419 Plainfield Rd.
Darien, IL 60561
Office (630) 828-2201
Fax (630) 654-6450
Email smolinaro@tristatefd.com

EMAIL NOTICE: This email (and any attached files) is intended only for the designated recipient(s), and may contain information that is proprietary, privileged, confidential or protected by law. If you are not the designated recipient or if you believe you have received this email in error, please notify the sender immediately and delete all copies of the original email from your computer system. Please do not copy the email or use it for any purposes, or disclose its contents to any other party. Thank you for your cooperation.

From: [Keith Ahlborn](#)
To: [Douglas Pollock](#)
Subject: Re: Address Change
Date: Wednesday, August 14, 2019 11:09:55 AM

Doug;

This could become a very time consuming and bureaucratic process with all formal ID's, credit cards, bank statements, insurance policy's etc. Considering all this, I would NOT be supporting this idea.

What time will this subject be on the agenda list at the August 26th meeting?

Regards;
Keith Ahlborn
kahlborn@aol.com
630-235-8026

> On Aug 13, 2019, at 5:00 PM, Douglas Pollock <DPOLLOCK@BURR-RIDGE.GOV> wrote:

>

> Keith,

>

> As far as I know, you would need to change those various forms of ID and registration. I will forward your comments to the Board of Trustees for their consideration.

>

> Doug Pollock, AICP

> Village Administrator

> Village of Burr Ridge

> (630) 654-8181, Ext. 2000

>

> -----Original Message-----

> From: Keith Ahlborn [<mailto:kahlborn@aol.com>]

> Sent: Tuesday, August 13, 2019 3:04 PM

> To: Douglas Pollock <DPOLLOCK@BURR-RIDGE.GOV>

> Subject: Address Change

>

> Hi Doug;

>

> I have received your letter about dropping the 15W prefix from our address, this has been mentioned in the past but doesn't seem to ever be made official. My only concern would be would all of our ID cards, Driver License, Foid Card, Concealed Carry etc have to be changed to be legal? This could create several legal problems.

>

> Your thoughts?

>

> Regards;

> Keith Ahlborn

> 15W668 82 st.

> Burr Ridge, IL.

>

> kahlborn@aol.com

> 630-235-8026

>

From: consul45a@aol.com
To: [Douglas Pollock](#)
Subject: Response to address change
Date: Wednesday, August 21, 2019 1:37:11 PM

To Burr Ridge Board Members:

Our address is 11S010 Jackson St. and we ask that you put us as 'NO' for the address change.

CONS of your proposal : COST

A. Our custom mail box change for exactly the same with the updated new address will cost \$550

B. Our address stone plaque that was custom made cost us \$800, 18 years ago, not including the labor of putting it in. Today the cost might be 2x or 3x higher. We don't even know if we can change it as it is built in the outside wall. What will we do then if we can't replace it?

C. Stone address markers in front of people's houses. Cost unknown to us as we don't have one but from just looking at the price of our address plaque this might be into thousands,

TIME COST: Documents change like DL, ss cards, passports and so on - this will run into at least 16 hours on average for each household.

Main question is who will cover the cost of the mentioned above? Will Board members cover the costs personally since They make the decision? Will Board ask the Village of Burr Ridge to cover the cost using the residents tax money or will the Board make the residents pay directly for their decision?

Solution to your problem: Give us, the residents, the choice to change or keep the address. Those that will want to bear the cost will do it, the rest will keep what they have.

Also, we want to remind you that only 6 people a year complain out of 700 addresses, as per info provided by Village Administrator, Douglas Pollock. Assuming those 6 people are from 6 different addresses and not the same address it is less than 1% , to be exact it is 0.0085%, that complaint each year!

On the last note - we like our unique address and will do everything possible to keep it.

Sincerely,

Mr and Mrs Krol

From: [Karen Friedman](#)
To: [Douglas Pollock](#)
Subject: Street address change proposal
Date: Tuesday, August 20, 2019 2:27:05 PM

>

> Dear Mr Pollack -

>

> I am responding to the village letter concerning the proposal to eliminate the county prefix from Burr Ridge addresses.

>

> We oppose that change. My husband (Richard Johnson) and I have lived in our home for 33 years. We have NEVER experienced any difficulty with the prefix in our address. It would be a royal pain to have to change every piece of identification, every credit card, every on-line delivery address, every bank account, every preprinted mailing address - you get the idea! Please don't do this.

>

> Karen Friedman, MD

> 630-654-8050

>

> Sent from my iPhone

From: [V. Singh](#)
To: [Douglas Pollock](#)
Cc: [V. Singh](#)
Subject: Village of Burr Ridge address change
Date: Sunday, August 18, 2019 5:15:35 PM

Hi Doug,

I am not sure if I will be able to attend the village Hall meeting on August 26th regarding issues related to village addresses with County prefixes. Here are my few thoughts in this matter, and you are free to share with others if needed:

We have been living in Burr Ridge since 1994. In 2003, I opened my office in Burr Ridge. It was then I realized that the part of Burr Ridge is still using legacy addressing system. I did ask my landlord about the wisdom of continuing to use county prefix addressing system. So far I have been told that the resultant cost of changing numbering system to each business owner is the main reason that the Village has not been able to approve and implemented the change. As a building and business owner in Burr Ridge, I am fully aware and sensitive to the cost. I am in agreement with others and not happy about the cost.

Cost start to lose its pain if one can identify the resultant benefits of the associated cost. The main purpose of a address of a building or structure is to identify its location in case someone wants to reach it. Property owner knows how to get there. Other interested parties in reaching a location falls in the category of friend, acquaintances, clients, vendors and deliver services. I have personal experience of wasting time in directing them to our office building after they find themselves totally disoriented by following the direction given by their GPS system. By the time they reach our office they have wasted theirs and our time and energy in merely finding the building. Other key user of the location identifier is Emergency-911 Dispatch System. Police, Fire, Paramedics and Sheriff are among others who need to be prompt in reaching a location. A misdirected and or delayed emergency response can be catastrophic. I am not sure if anyone can put any monetarily value on such a loss. Thus, the need to change addressing system requires business owners and Village leadership to view this decision from the prism of risk mitigation and prudence.

If the decision is made to change the current addressing system then I would hope that Village will help business owners in finding cost effective ways to implement needed changes. One of the cost would be to change building signs. I am sure, we can find a vendor who could offer that service at a reasonable cost for being a recommended vendor etc. These are few thoughts, and I am always available to have a bit deeper conversation with you or anyone else. Thanks again for all you do for our Village.

Take Care,

Vijay Singh

President

Argus Transformative Coaching& Consulting, Inc.
630-522-1100630-522-1100(PHONE)
630-522-1101(FAX)
630-673-9399(CELL)
visnu6@yahoo.com

From: Microsoft Outlook on behalf of EGGLEER LYNN
To: [Douglas Pollock](#)
Subject: Voice Mail (49 seconds)
Date: Thursday, August 15, 2019 12:43:42 PM
Attachments: [6306541563 \(49 seconds\) Voice Mail.mp3](#)

Hi good afternoon this with you about where I've already gotten a call at 30 year up there and all kill.

Calling regarding the conference number address change -- I just like to say that I'm intending over 30 years and I have not any address problem in the work 20 years -- and if you do change our address I know that that will be many problems -- so I am calling to leave a message there and also we just lock the loan thank you know we have never had a problem last 20 years of my address -- that I have to change anything at the change so many things -- driver's license and Amazon account -- if you name it it wouldn't and it was the total problem there isn't one so please don't create a problem leave it the way it is.

Thank you for taking my message and have a great day.

Preview provided by Microsoft Speech Technology. [Learn More...](#)

You received a voice mail from EGGLEER LYNN at [6306541563](#).

From: [Kathi DiNardi](#)
To: [Douglas Pollock](#)
Subject: Consideration of Address Change
Date: Thursday, August 15, 2019 11:01:45 AM
Attachments: [image001.png](#)

Good Morning,

We are a new business in Burr Ridge as of July 26th and received your letter regarding a consideration of address change for the village. Can you provide me with some background information such as if this is the first notice of this proposed change or a time line of this consideration?

Thank you for any information you may be able to provide to us.

Kathi DiNardi

Accounting & Human Resource Manager

Website: www.prairie-tech.net

Phone: 630.739.9900

Fax: 630.739-9909

We have moved! Please note our new remittance address:

Prairie Technology Solutions Group

16W235 83rd Street, Suite E

Burr Ridge, IL 60527

Woodland Park Properties
16w 347 83RD Street
Suite A
Burr Ridge, IL 60527



August 20,2018

RE: Address Change

To: Doug Pollock Village Administrator and Village Board of Trustees,

Woodland Park Properties resides at 16W 347 83rd Street Suite A in Burr Ridge. We own 10 office buildings and have leases with 46 different tenants.

Properties owned by Woodland Park Properties:

16W 215 83 rd Street	16W 285 83 rd Street
16W 235 83 rd Street	16W 289 83 rd Street
16W 273 83 rd Street	16W 343 83 rd Street
16W 277 83 rd Street	16W 345 83 rd Street
16W 281 83 rd Street	16W 347 83 rd Street

Last week we stopped by each tenant to discuss the possible address change with them. There was a resounding and unanimous no vote for this change. Below is a list of costs that would be incurred by the address change to out tenants and Landlord.

1. New stationary
2. New marketing brochures/materials
3. Business cards
4. Banking
5. Customer notification
6. Vendor notification
7. State and federal agency notification
8. Insurance
9. Changes to media
10. Lease changes
11. Building signage

The above list is just some of the changes that will be necessary to make in the event of a change in address. All of this would cost 10's of thousand of dollars to those affected by this change.

Woodland Park Properties would need to get new signage for 60 plus doors, 5 directory signs with 46 tenants, and 50 plus numerical building signs. Our cost alone would be approximately \$25,000 for these items not to mention the cost for the above items.

Instead of making wholesale changes that will most likely add to the confusion and miscommunication why don't we simply educate the homeowners and businesses that the prefix must be used in order to resolve any current and future problems or the village will be forced to make the address change.

This seems to be the simplest solution with the least amount of cost for everyone having a prefix. Let's not over think this problem. I urge the board to notify the homeowners and businesses that the prefix must be used when giving out an address.

Respectfully,

A handwritten signature in black ink, appearing to read "Bill McNaughton", with a stylized flourish at the end.

Bill McNaughton

Woodland Park Properties



To whom it may concern,

Regarding the consideration of address change:

My name is Colton Foster, I represent TRC Solutions Inc. As a business residing within the village of Burr Ridge, and an addressee that would be subject to adverse consequences by the proposed address change, I respectfully disavow the proposal. I ask that you take deep consideration of how an address change may severely encumber a local business in ways such as the following:

1. The number of unique address fields that would require amendments – as a culmination of client, vendor, contractor, employee, stationary, advertisement, media, utilities, insurance policies, corporation, financial institutions, vehicle registrations, state agencies and federal agencies and their related processes, TRC Solutions Inc. would have upwards of 2,000 unique address amendments to be completed.
2. Expenditure of resources, namely time and expenses to change all business stationary and media alone will incur hefty and unnecessary burdens on local businesses, not to mention the potential for downtime and missed opportunities for new revenue streams that may ensue during that time period.
3. Confusion and miscommunication would undoubtedly ensue an address change, thus seeming to negate the sole stated purpose of the proposed address change: resolving confusion.
4. With an address change, mailed items that returned to sender resulting from failure to update address by a client, vendor, contractor, state agency or federal agency in regards to their related processes, would cause a delay in business operations and services provided to and for clientele. Such decrease in business services has the potential to cause local businesses to incur loss of both revenue and clientele.

Wherefore I petition you on behalf of TRC Solutions Inc. as a local business, that as you serve the village and community of Burr Ridge that you take the aforementioned objections into deepest consideration and rescind the proposed address change. Thank you for your service to village of Burr Ridge, and I trust that you will make an informed decision to the best interest of the community and the local business that reside therein.

Regards,


Colton Foster, Business Manager



DENNIS A. QUINN & ASSOCIATES, LTD.
CERTIFIED PUBLIC ACCOUNTANTS

630-325-0333
FAX 630-325-0687
Quinn@daqcpa.com
Tom@daqcpa.com

16W343 83RD STREET
WOODLAND PARK - SUITE C
BURR RIDGE, ILLINOIS 60527

August 19, 2019

Dear Mr. Pollock,

Thank you for notifying us of the Village's consideration of the mass address changes, we very much appreciate being included as part of this discussion. Although we are unable to attend the meeting for public discussion, we hope this letter which details our opinion on the matter, finds you well.

The proposed address change, if implicated, will have a considerable impact on our business monetarily and logistically. The change in address will require us to update all our stationary, business cards, bank accounts and advertising agencies, along with notifying all our clients, vendors and state/federal agencies.

We experienced the hassle of such a change no more than a year ago when we moved our office to a new location, and we are still dealing with the confusion it causes from time to time. Therefore, we at Dennis A. Quinn & Associates, Ltd. reject the proposal to change the addresses in Woodland Park Burr Ridge and Woodland Park Commerce Center.

Sincerely,

A handwritten signature in black ink, appearing to be 'TR Berg', written over a horizontal line.

Thomas R. Berg, CPA.
Dennis A. Quinn, CPA.
Alex Berg



The Wellness Way
We don't guess...we test!

To whom it may concern,

As you have requested we submit this letter asking that there not be a change of address to our location of 16W343 83rd St. Suite D, Burr Ridge, IL, 60527. The cost alone to in dollars and time spent to change all of our marketing, financial, billing and office branding is not worth the hassle. We are not in agreement with this proposed request.

Sincerely,

Ross A. Skorzewski

The Wellness Way

2638 Tulip Lane

Suite B

Green Bay, WI 54313

920-370-2367

Ross@thewellnessway.com



Burr Ridge Car Care & Body Shop, Inc.
505-535 S. Frontage Road
Burr Ridge, IL 60527
630.920.1700

August 13, 2019

Village of Burr Ridge
J. Douglas Pollock, AICP
Village Administrator

Dear Mr. Pollock,

In response to your letter dated August 8th, 2019, regarding address change for my businesses I would like to voice my strong opposition to the idea.

Believe me when I say that the post office has no problem finding my address when it comes to receiving bills at the end of every month. I am not aware of any critical need to change the addresses because of imminent safety concerns. Over the past 42 years the fire department and police department have had no trouble finding us when there were false alarms or other issues. I have personally never received a complaint regarding our addresses that were originally issued by the Village of Burr Ridge itself, (see attached copy of original occupancy permit). As a matter of fact, the County of DuPage sends my real estate tax bills to the 3 digit 505 and 535 addresses every year (and I get 4 separate bills like clockwork) so I do not know where this 16W county prefix comes from. Please provide a list all businesses that this address change will affect so that we may collaborate all of our concerns.

Our existing addresses have been embedded in countless numbers of records over many years and I am sure that you have considered some of the monumental effects that an address change would have on local businesses.

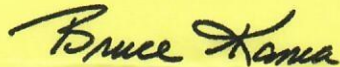
All stationary, envelopes, business cards, forms, invoices would immediately become obsolete. All means of advertisement such as key chains, pens, mailers, vehicle signage, building signage, web page information, would be negated. All vendors, government, state licensing, county, banking, insurance records all would have to be notified.

There is no guarantee that passage of this proposal will eliminate future problems with address identification. Should this proposal pass, who is going to accept responsibility for damages if the very act of changing an address becomes the root cause of confusion and results in a catastrophic event?

From my perspective, passage of this proposal is in reality an indirect tax increase and unfair since it is non uniform and singles out certain entities. There should be tax adjustments considered to offset the tremendous costs to my businesses associated with the physical and clerical changes that we would incur, not counting lost business and aggravation.

Since I may not be in town for the meeting on August 26th 2019 please present my response at the meeting.

We have worked successfully with our 3 digit village christened address for over 42 years and hope to continue in the future. Thank you for your consideration in this matter.

A handwritten signature in black ink that reads "Bruce Kania". The signature is written in a cursive, flowing style.

Bruce Kania
President

Burr Ridge Car Care, Inc.
535 S. Frontage Rd.
Burr Ridge, Illinois 60527

Burr Ridge Car Care Body Shop, Inc.
505 S. Frontage Rd.
Burr Ridge, Illinois 60527

Cc: Gary Grasso, Mayor
Michael Kite, JD

VILLAGE OF BURR RIDGE
OFFICE OF BUILDING COMMISSIONER

Certificate of Occupancy

No. 686

I hereby certify that Richard McLaughlin-Car Care, Inc., owner of
west 290' S. Frontage Rd.
building erected on Lot No. 29 Street No. 535 has complied
with all requirements of the Building, Health and Zoning Laws and
ordinances as set forth in Ord. No. 11, Ord. 12 and Ord. 25 and all amend-
ments thereto, and that said building is qualified for occupancy as a
vehicle service building.

Date Jan 25 77

C. Zissung
Building Commissioner

TUSCHALL

ENGINEERING COMPANY, INC.

15W700 79th Street, Burr Ridge, Illinois 60527-7962
630 655-9100 • FAX 630 655-9109
www.tuschalleng.com

August 13, 2019

Mr. J. Douglas Pollock
The Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527

RE: Consideration of Address Change (letter dated August 8, 2019)

Dear Mr. Pollock:

I would object to an address change. We have been at this location since 1983 and do not want the expense of reprinting all of our promotional materials. This would be a major expense.

Additionally, we have multiple daily deliveries and there has not been a problem finding our building. Moreover, the Fire Department has no problem finding us as they perform annual site inspections.

Sincerely,



James C. Tuschall
President

JCT/ gm

*Over 70 years of
Excellence*



BURR RIDGE SUBDIVISION ORDINANCE

SECTION X DEDICATION OF PARK LAND OR PAYMENT OF FEES IN LIEU THEREOF

As a condition of approval of a final plat of development, a final plat of subdivision, or a final plat of or Special Use permit for a planned unit development, each subdivider or developer will be required to dedicate land for park and recreational purposes to serve the immediate and future needs of the residents of the development, or make a cash contribution in-lieu-of actual land dedication, or a combination of both, at the option of the Village, in accordance with the following criteria and formula:

A. Criteria for Requiring Park and Recreation Land Dedication

1. Requirements and Population Ratio:

The total requirement shall be 10 acres of land per 1,000 residents, except that in any development, subdivision or planned unit development zoned R-1, R-2 or R-2A, the total requirement shall be 5.5 acres of land per 1,000 residents. Illustrated uses include:

**Table X-A
Recreation Area Sizes**

Types of Recreation Area	Size Range	Maximum Acres Per 1,000 People
(a) Play lot	Minimum 8,000 sq. ft.	Not Applicable
(b) School-park	Minimum park of 5 acres	2.25
(c) Neighborhood Park	Minimum 3-1/2 acres	1.5
(d) District-Wide Park or Play Field	Minimum 4 acres, up to 30 acres	4.0
(e) Community Wide Recreation Park	Minimum 12 acres, up to 30 acres	4.0
Total		10 acres of land per 1000 people



2. Acceptable Size

The minimum size of parcels that shall be deemed acceptable for dedication shall be based on the following criteria:

- a. Where the land is to be all useable for recreational purposes (no storm water management), the minimum size of the donation shall be three and one half (3-1/2) acres.
- b. Where the donation is to include detention or retention facilities a minimum of one and one half (1-1/2) acres of land above the high water level (HWL) shall be required. This land shall be contiguous in one location. Where the above criteria cannot be met, a cash contribution in-lieu thereof shall be required. No storm water management area shall be accepted for park purposes without the above criteria being met first.

3. Location

The comprehensive Park and Recreation Plans and/or the "Standards by Types of Recreation and Park Area" as adopted by the Burr Ridge Park District and/or the Pleasant Dale Park District shall be used as guideline in locating sites. A central location which will service equally the entire development is most desirable. In large developments these sites can be located throughout the development according to established standards for park area distances set forth in Recreation Park and Open Spaces Standards and Guidelines. Additional guidelines which shall be considered in locating sites include, but are not limited to, size of the subdivision, proximity of the site to other parks, schools and municipal services, topography and shape of the site of not less than five (5) acres shall be located adjacent to each elementary school site.

4. Credit for Private Open Spaces and Recreation Areas

Subdividers and developers may provide their own open space for recreation areas and facilities. Such open space may qualify at the option of the Village, in lieu of dedicated open space. In determining whether to allow any such open space to qualify as dedicated open space under this Ordinance, the Village will consider such factors as, but not limited to, the degree that such open space meets the needs of the residents, the degree to which the demand for public parks will be reduced, the degree to which the open space will be accessible to all residents, and the degree to which it is in conformance to the total park and recreation land requirements for the general area and the Village's Comprehensive Plan. If the open space provided by the subdivider or developer does not completely satisfy the requirements of this Ordinance, the Village may credit such subdivider or developer with such partial compliance. The subdivider or developer will then be required to contribute sufficient other land, or cash in-lieu thereof, to meet the total park and recreation land requirements of the extent of development of the facilities donated by the developer



and the extent of development of the facilities donated by the developer. The developer shall offer any and all guarantees that the village requires with respect to ongoing maintenance of dedicated areas, and the Village shall consult with the Park District in which the development is located with respect to these guarantees. Any area reserved for exclusively private use will not be deemed to meet the requirements of this Ordinance.

B. Criteria for Requiring a Contribution in-lieu-of Park Land

Where the subdivision or development is small and resulting site is, in the opinion of the Village, too small to be practical or when the available land, in the opinion of the Village, is inappropriate for park and recreational purposes, the Village shall require the subdivider or developer to pay a cash contribution in-lieu-of the land dedication required. The cash contribution in-lieu-of park and recreation land dedication shall be paid to the Village which shall then pay said contributions over to the park district and such contributions shall be held in trust by the park district in which the development is located solely for the acquisition and/or improvement of land, as herein below classified, which will be available to serve the immediate or future needs of the residents of that development, subdivision or planned unit development or for the improvement of other existing local park and recreation land which already serves such needs. In the event that the development is not located within a park district, the cash contributions in-lieu-of park and recreation land dedication shall be paid to and held in trust by the Village solely for the acquisition and/or improvement of land, as herein below classified, which will be available to serve the immediate or future needs of the residents of that development, subdivision or planned unit development or for the improvement of other existing local park and recreation land which already serves such needs. Provided, however, the Village shall hold any such funds for a development that is not in a park district in a segregated account for a minimum of three years before expending any such funds for such purposes. The Village shall have the right to request and receive from the affected park districts annual audit reports and any other information the Village may need from time to time to insure compliance with this Ordinance. If any portion of a cash contribution in-lieu-of park and recreation land dedication is not expended for the purposes set forth herein within ten (10) years from the date of receipt, the Village or park district holding the funds shall refund such contribution to the owners of record of all lots, except lots dedicated pursuant to the provisions of this Ordinance, in the development, subdivision, or planned unit development for which such contribution was made. (Amended by Ordinance A-41-2-89)

1. Acquisition Using Cash in-lieu-of Park Land Donations

- a. The term acquisition as used in this ordinance shall mean - the acquiring of land by purchase, condemnation or such other means as may be appropriate and shall be a minimum of three and one-half (3-1/2) acres in size.
- b. The acquired land shall not be for "special" use facilities (i.e. slough, river edge, remnant forest, community swimming pool, etc.)



- c. The acquired land shall support the type of facilities as defined in "Improvement" below.
- 2. Improvement Using Cash in-lieu-of Park Land Donations
 - a. Where existing park lands will serve the needs of the development, the cash contribution in-lieu-of land dedication shall be used for the following types of physical improvements:
 - (1) play lots
 - (2) hard surface courts (tennis, basketball, tetherball)
 - (3) pathways (walkways, jogging and cycle paths)
 - (4) sport fields (baseball, soccer, football)
 - (5) picnic facilities (tables, grills, etc.)
 - (6) open shelters and restroom facilities
 - (7) support facilities (i.e. parking, drinking fountains, security lighting).
 - b. The types of improvements that will not qualify for expenditure of cash-in-lieu funds shall be generally defined as those facilities "that are self-sustaining" i.e. public golf course; recreation building (indoor swimming pool, tennis, ice rink), interpretive trails and center, boat launching facilities or other such facilities for which a fee is charged for their use.

3. Fair Market Value

The cash contribution in lieu of land shall be based on the sum of the fair market value of a vacant, unimproved, and unsubdivided acre of land in the Village and the estimate of the Village Engineer as to the cost of improving such land with electrical utilities, water, sewer, and streets, including enclosed drainage and curbs and gutters, and all other improvements required under this Subdivision Regulations Ordinance. All cash contribution calculations shall be made by the Village, and the affected park districts shall refer all developers to the Village for such calculations. It has been determined that the fair market value of a vacant, unsubdivided acre of land in and surrounding the Village is \$105,000 as of April 26, 2004; increasing to \$155,000 for all plats approved on or after May 1, 2005; and increasing to \$239,000 for all plats approved on or after January 1, 2006. The estimate of the Village Engineer as to the cost of improvements is \$45,000, for a combined total of \$150,000 as of April 26, 2004; increasing to \$200,000 on May 1, 2005, and increasing to \$284,000 on January 1, 2006; and such figure of \$150,000, \$200,000, and \$284,000 respectively, shall be used in making any calculation herein unless the subdivider, developer, or the park district files a written objection thereto. In the event of any such objection, the



developer shall, at his cost and by a Member of Appraisal Institute (M.A.I.), submit an appraisal showing the "fair market value" of the land in the development or other evidence thereof and final determination of said "fair market value" per acre of such vacant, unimproved, unsubdivided land shall be made by the Village Board based upon such information submitted by the subdivider or developer and from other sources which may be submitted to the Village Board by the Burr Ridge Park District or the Pleasant Dale Park District or others. The Village on its own motion or at the request of the Burr Ridge Park District and/or the Pleasant Dale Park District may from time to time amend this provision to provide for different fair market value for parcels that are deemed by the Burr Ridge Park District and/or Pleasant Dale Park District and the Village to be of greater or lesser value. Refer to Appendices VIII-A to VIII-I.

(Amended by Ord. 894-01-04; further amended by Ord. A-894-01-05)

Cash contributions shall be paid at the time set forth in Section IXA, J Below; provided, however, an owner may, on written request to the Village submitted at the time of application for approval of final plat pay one half of the required contribution at the time of final plat approval with the balance to be paid six months after the date of final plat approval provided the balance due is secured by an irrevocable letter of credit in a form and from an issuer approved by the Village at the time of final plat approval. If the developer so chooses to pay the required contribution in two installments, the amount of the second installment shall be based on the then current price per acre of land and Engineer's estimate of the cost of improvements as computed hereunder (for example, if the figure is \$114,600 at the time of final plat approval but is changed within the next six months to \$120,000, the second installment shall be determined by re-computing the entire contribution on the basis of \$120,000 per acre and then dividing that amount by two). (Amended by Ordinance A-41-2-89)

4. Criteria for Requiring Dedication and a Fee

There may be situations when both a land dedication and a cash contribution are necessary. These occasions may arise, among others, when:

- a. If it is determined by the Village that the land to be dedicated for a park site within a development contains fewer acres than the amount called for by this ordinance, a cash contribution shall be required for the difference between the amount of land called for by this ordinance and the amount of land which is actually to be dedicated.
- b. If a major part of a local park or recreation site has already been acquired and only a small portion of land is needed for the development to complete the site, the remaining portions shall be required by dedication, and a cash contribution for the difference shall be required.



C. Density Formula for Park Donation

Table X-B, Population Density, is generally indicative of current and short range projected trends in family size for a new construction and shall be used in calculating the amount of required dedication of acres of land or the cash contribution in-lieu-of unless a written objection is filed thereto by the subdivider or developer:

1. Objections to Density Formula

In the event a subdivider or developer files a written objection to the Table of Estimated Ultimate Population listed herein and submits his own demographic study showing the estimated additional population to be generated from the subdivision or planned unit development, a final determination of the density formula to be used in such calculations shall be made by the Village Board based upon such demographic information as the Village shall require. It is recognized that population density, age distribution and local conditions change over the years, and the specific formula for the dedication of land, or the payment of fees in-lieu-of, as stated herein, is subject to periodic review and amendment if necessary.

TABLE X-B
ESTIMATED ULTIMATE POPULATION PER DWELLING UNIT*

CHILDREN PER UNIT							
Type of Unit	Pre-School	Elementary	Junior High		High School		Total Per Unit
Grades		K-5	6-8	K-8	9-12	Adults	
Age	0-4	5-10	11-13	5-13	14-17	18-up	
Detached Single Family:							
2 Bedrooms	.102	.122	.041	.163	.020	1.694	1.979
3 Bedrooms	.256	.358	.143	.501	.146	1.962	2.865
4 Bedrooms	.413	.474	.303	.777	.307	2.176	3.673
5 or More Bedrooms	.231	.317	.231	.548	.212	2.606	3.597



Section X
Dedication of Park Land or Payment of Fees in lieu Thereof

Attached Single-Family (Townhouse, Rowhouse, Qualriplex, etc.)							
1 Bedroom	0	0	0	0	0	1.068	1.068
2 Bedrooms	.091	.094	.077	.171	.037	1.775	2.074
3 Bedrooms	.229	.212	.063	.275	.067	1.808	2.380
4 Bedrooms	.346	.321	.169	.490	.183	2.317	3.336
Apartments:							
Efficiency	0	0	0	0	0	1.360	1.360
1 Bedroom	0	0	0	0	0	1.734	1.734
2 Bedrooms	.041	.080	.039	.119	.038	1.554	1.752
3 Bedrooms	.063	.203	.117	.320	.093	2.310	2.786

*This table was compiled by the Illinois School Consulting Services, Naperville, Illinois, 1989.

2. Presumed Density Formula

In applying the above table of population density to a subdivision for which the types of units and number of bedrooms cannot reasonably be determined from the data on file with the Village at the time the application for final plat approval is complete, the following types of units and bedroom data shall be used unless written objection is filed thereto by the subdivider or developer:

Detached Single Family: Four Bedroom unit per lot.

Attached Single Family: Equal mix of two and three bedroom units at maximum unit density permitted by applicable zoning.

Low Density Apartment: Equal mix of two and three bedroom units at maximum unit density permitted by applicable zoning.

High Density Apartment: Equal mix of one and two bedroom units at maximum unit density permitted by applicable zoning.

D. Reservation of Additional Land

Where the comprehensive plan of the Village calls for a larger amount of park and recreational land in a particular proposed development, subdivision or planned unit

Section X
Dedication of Park Land or Payment of Fees in lieu Thereof



development than the developer is required to dedicate, the land needed beyond the developer's contribution shall, if so determined by the Village Board, be designated by the Village provided that such acquisition is made within one year for the date of approval of the final plat.

E. Combining with Adjoining Developments

Where the subdivision or planned unit development is less than forty (40) acres, public open space which is to be dedicated should, where possible, be combined with dedications for adjoining developments in order to produce sale recreation areas in park sites without hardship on a particular developer.

F. Topography and Grading

The slope, topography and geology of the dedicated site as well as its surroundings must be suitable for its intended purposes. Grading on sites dedicated for park and recreational uses shall not differ greatly from surrounding land and shall be as outlined in the "Public Park Site Standards" attached hereto and made a part hereof as Exhibit A.

G. Improved Sites

All sites shall be dedicated in a condition ready for full service of electrical, water, sewer and streets (including enclosed drainage and curbs and gutter) as applicable to the location of the site, or acceptable provision made therefor.

H. Title to Sites

All sites to be dedicated shall be conveyed to the Village either by warranty or trustee's deed, or such form of conveyance as the Village shall require. The subdivider or developer shall be responsible for conveying good, merchantable title to such sites, and shall be responsible for payment of all real estate taxes to the date of conveyance, including any agricultural roll back taxes which might be extended or levied against such sites. In the discretion of the Village, a commitment for title insurance issued by a company authorized to do business in Illinois may be required as evidence of clear title. Conveyance shall occur only after or simultaneously with the passage of an ordinance by the Park District in which the development is located (or by the Village if the development is not located within a Park District), in which it indicates that the property will be accepted by the Park District or Village for park purposes. Immediately thereafter, the Village shall convey such property to the Park District in which the property is located, if any.

I. Time for Dedication or Payment of Fees in-lieu Thereof

The dedication of park lands or payments of fees in lieu thereof shall be made by the owner of land within ten days after the land is annexed to the Village or prior to or at the time of the approval of the final plat of subdivision or in a final plat of planned unit development, whichever is first to occur, except as otherwise provided in Section XA-B-3 hereof.



J. Expenditure of Cash Contributions

Any cash contributions received by Park District hereunder must be spent solely for land or other improvements to be located entirely within the corporate limits of the Village of Burr Ridge. (Lettered per Ordinance A-4-2-89)

K. Indemnification

Except as otherwise provided below, the affected Park Districts shall be required, as a condition of receiving the donations hereunder, to indemnify and hold harmless the Village of Burr Ridge from any loss, claims and causes of actions of every kind incurred by the Village as a result, either directly or indirectly, of the passage of this Ordinance, or the administration or enforcement thereof, including any so incurred as a result of a lawsuit brought or threatened by the affected Park Districts. If the Village is sued by any subdivider or developer as a result, directly or indirectly, of the passage of this Ordinance, the Village may, at its option, undertake the defense thereof but all costs and expenses of such defense, including attorneys' fees, shall be immediately reimbursed by the affected Park District. The Village may withhold delivery of any contribution to a Park District pending compliance with these indemnity provisions. (Lettered per Ordinance A-4-2-89)

1. Where the Village receives land or fees in-lieu-thereof and fails to convey property to the affected Park District or expends funds for Village use (i.e., police car, water well) and suit is filed, the Village shall defend against such suit and pay for all costs and expenses incurred from such suit, including attorneys' fees. (Numbered per Ordinance A-4-2-89)
2. Where Park Districts improperly use funds or fail to use funds and do not return same as specified in this Ordinance, the Village may sue the affected Park District and shall be entitled to recover as part of the judgement therein, or any settlement thereof, all costs and expenses, including attorneys' fees, incurred by the Village. (Numbered per Ordinance A-41-2-89)
3. Unless otherwise specifically provided, the above indemnification provisions shall be an implied condition of every intergovernmental contract entered into pursuant to this Ordinance. (Numbered per Ordinance A-41-2-89)

L. Covenant Not to Sue

The affected Park Districts covenant and agree, in addition to the indemnification provided in Section 5 of this Ordinance, not to sue the Village for any claim arising, directly or indirectly, out of the passage of this Ordinance, or the administration or enforcement thereof, except for a violation covered by Subsection A of Section 5. (Lettered per Ordinance A-41-2-89)



Kramer Tree Specialists, Inc.

300 Charles Court

West Chicago, IL 60185

Office: (630) 293-5444 www.kramertree.com Fax: (630) 293-7667



Page 1

Commercial Proposal Tree Maintenance

January 2, 2019

Proposal For:

Nick Just
Village of Burr Ridge
451 Commerce Street
Burr Ridge, IL 60527

Home:

Office: 654-8181

Mobile: 280-5065

Fax: 323-4798

njust@burr-ridge.gov

Proposal #: 393445

Customer #: 29298

Proposal Date: 9/4/2018

Proposal Status: Issued

KTS Certified Arborist:

Tim Rickerson
twrickerson@kramertree.com

Cell Phone: 630-440-3908

Payment Terms: Net 30

Village of Burr Ridge



Municipal Curb-Side Brush Pick-up 2019



Tim Rickerson
630.293.5444
www.kramertree.com



Thank You For Considering Kramer Tree Specialists, Inc.
Our Company WILL Exceed Your Expectations





Please initial the box next to the line item you wish to Authorize, then return All pages of the signed Proposal via Email or Fax.

Item #	Plant Species	Qty	Service Recommended	Condition	DBH	Item Charge
<input type="checkbox"/> 1	Materials Landscape		Municipal Brush Removal			\$24,115.00

Notes: 2019 Total Cost for (1) Fall pick-up...= \$24,115
October 2019 (exact dates to be determined in 2019)

Service: Fall Pick-up - 2019

2019 Total Cost for (1) Fall pick-up...= \$24,115

Remove, haul brush from residential curb sides in Village Limits.

Grapple-loader method for removal of curbside brush from Village residential streets is safer, quieter, faster, cleaner and an overall a more efficient method of a municipal brush removal program. All material gets recycled into landscape mulch

Payment Due In Full within 30 days of receipt of Invoice

Payment via cash, check or credit card accepted



To Authorize this Proposal...
So that we may schedule this work, please return a signed copy of this Proposal via mail or fax, or you may email your Certified Arborist with your authorization.

This Proposal is valid for 30 days.

Authorized By: _____ Date: _____ Proposal #: 393445

By accepting this proposal, I acknowledge that I am accepting responsibility for late fees and finance charges, as well as any costs to collect payment including, but not limited to, cost of a third party.

This proposal includes only a visual inspection of accessible components of the trees to determine the scope of the work requested, and shall not be considered a tree risk evaluation.

Kramer Tree Specialists can not be responsible for unmarked underground utilities, structures, sprinkler systems, etc. that may be damaged in the work process. Above listed work includes all hauling, disposal, and rake clean-up of debris-unless otherwise noted.

Certificate of Insurance available upon request



Davis Concrete Construction Co.
 11244 W MANHATTAN MONEE RD
 MONEE, IL 60449
 Phone: 708.388.1100 Fax: 708.388.9642

PROPOSAL AND CONTRACT

PROPOSAL SUBMITTED TO:

Village of Burr Ridge
 ATTN: James Miedema
 Phone: 630-323-4733
 E-mail: jmiedema@burr-ridge.gov

DATE: August 16, 2019

PROJECT NAME: Burr Ridge 2019 Sidewalk Repairs
 PROJECT LOCATION: Various Locations
 Burr Ridge, IL

We hereby submit specifications and estimates for:

2019 Sidewalk Repairs - Approx. 33 panels
Burr Ridge, IL *ALL 1 SUBDIVISION*

DESCRIPTION OF WORK	ESTIMATED QUANTITY	UNIT PRICE	AMOUNT
1. PCC Sidewalk Removal	825.00 SF	\$3.95	\$3,258.75
2. PCC Sidewalk Replacement 5"	825.00 SF	\$7.25	\$5,981.25
3. Topsoil & Seed Restoration	825.00 SF	\$0.25	\$206.25
4. Traffic Control/Barricades	1.00 L SUM	\$750.00	\$750.00
Bid Total:			\$10,196.25

NOTES:

TO BE DONE IN CONJUNCTION WITH COUNTY LINE ROAD
UNIT PRICE CONTRACT

We hereby propose to furnish labor and materials - complete in accordance with the above specifications, for the sum of:

Actual Quantity x Unit Price.
 Net 30 days.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature: 

NOTE: This proposal may be withdrawn by us if not accepted in 30 days.

Acceptance of Proposal

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Accepted:

Date: _____

Signature: _____

Signature: _____



Ship To
Village of Burr Ridge Attn:Nick Just 451 Commerce St Burr Ridge, IL 60527

Total	\$5,900.00
-------	------------

Signature _____



VILLAGE OF BURR RIDGE
 7660 County Line Road
 Burr Ridge, IL 60527
 (630) 654-8181

APPLICATION FOR RAFFLE LICENSE

1. Name of Organization: Hope's Front Door

2. Address: 1047 Curtiss Street, Bldg 10, Downers Grove, IL 60515

3. Mailing Address if Different From Above: _____

4. Type of Organization (please attach documentary evidence):

☐ Religious
 ☒ Charitable
 ☐ Business
 ☐ Labor
☐ Fraternal
 ☐ Educational
 ☐ Veterans

5. Length of Time Organization Has Been in Existence: 19 years

6. Place and Date of Incorporation: 2001 (November), Downers Grove

7. Number of Members in Good Standing: 12 Board Members

8. President/Chairperson: James Gaw

8738 Aintree Lane Burr Ridge, IL
 Address Telephone

9. Raffle Manager: Janell Robinson

1047 Curtiss Street Downers Grove, IL 60515
 Address Telephone

10. Designated Organization Member(s) Who Will Be Responsible for Conduct and Operation of Raffles (attach additional sheet if necessary):

Janell Robinson, Executive Director
 Name

1047 Curtiss Street Downers Grove, IL 630-241-0787
 Address Telephone

11. Date(s) For Raffle Ticket Sales: Sept. 14, 2019 August - Sept 14, 2019

12. Location of Raffle Ticket Sales (license will be limited to sales in the specified areas within the Village of Burr Ridge):

13. Date(s) and Time for Determining Raffle Winners: Sept. 14, 2019

14. Location for Determining Raffle Winners (if location is a rented premises, the organization from which the premises is rented must also be licensed pursuant to the Burr Ridge Municipal Code and State Law (230 ILCS 15/4(a)(4):

Location
8738 Aintree Lane Burr Ridge 680-321-9032
Address: Telephone

15. Total Retail Value of ALL Prizes Awarded in Raffle: \$ 3900.

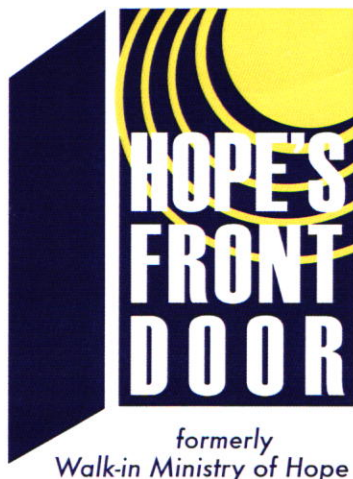
16. Maximum Retail Value of EACH Prize Awarded in Raffle: \$ 400 for each silent auction, 100 Grand Raffle

17. Maximum Price Charged for Each Chance Sold: \$ ~~25.00~~ 25.00

18. ATTESTATION:

"The undersigned attests, under penalty of perjury, that the above-named organization is a not-for-profit organization under the laws of the State of Illinois and has been continuously in existence for a period of 5 years preceding the date of this application, and that during the entire 5 year period preceding the date of this application it has maintained a bona fide membership actively engaged in carrying out its objectives. The undersigned further states, under penalty of perjury, that all statements in the foregoing application are true and correct, and that the officers, operators and workers of the raffle are all bona fide members of the sponsoring organization, are of good moral character, have not been convicted of a felony, and are otherwise eligible to receive a license pursuant to the Burr Ridge Municipal Code and the laws of the State of Illinois. If a license is granted hereunder, the undersigned will be responsible for the conduct of the games in accordance with the provisions of the laws of the State of Illinois, including the Raffles Act (230 ILCS 15/0.01 et seq.) and this jurisdiction governing the conduct of such games."

Hope's Front Door
Name of Organization
James B. Law
Presiding Officer
Don Ritzel
Secretary



Solutions Start When You Walk-In

August 5, 2019

Dear Karen Thomas,

HOPE'S FRONT DOOR will be holding **Cocktails for a Cause** 20th Anniversary Kick-Off Event on Saturday, September 14, 2019. James Gaw, HOPE'S FRONT DOOR Board President, and Rhonda Gaw will be hosting the event at 8738 Aintree Lane, Burr Ridge.

There will be raffles, silent auction, and other giveaways. This event will support the upcoming 20th Anniversary activities as well as our new programs helping families achieve more household stability and self-sufficiency.

We are requesting the fidelity bond be waived by the Village. Please contact me with any questions at janell.robinson@hopesfrontdoor.org or 630.241.0187.

Sincerely,

Janell Robinson
Executive Director

HOPE'S FRONT DOOR, a 501(c)3 non-profit charitable organization has been proudly assisting the most vulnerable members of our community - the unemployed, underemployed, homeless, seniors and disabled for the past 19 years. These community members need immediate access to the basic essentials like food vouchers, transportation vouchers, prescription drugs, medical supplies, oral health care, eye glasses/exams, financial literacy, employment services, and health and wellness resources. By ENGAGING, EDUCATING and EMPOWERING our clients, we help them transition from their crisis-to-crisis mode of surviving to maintaining a stable lifestyle.

501(c)3 Not.for.Profit Organization

1047 Curtiss Street • Downers Grove, IL 60515 • 630-241-0187 • fax 630-241-3224 • www.hopesfrontdoor.org

8J



**VILLAGE OF BURR RIDGE
QUESTIONNAIRE for VOLUNTEERS
for VILLAGE BOARDS & COMMISSIONS**

DATE: 8/8/19NAME: Ramzi HassanADDRESS: 14400 S. John Humphrey Suite 200Oakland Park, IL 60446-21DAYTIME PHONE: 708-923-6312EVENING PHONE: [REDACTED]CELL PHONE: [REDACTED] EMAIL ADDRESS: ramzi.edwardsrealtys.com1st Choice Commission/Committee you are applying for: Economic Development Committee
(Also, if interested in more than one, please mark list below)NUMBER OF YEARS AS A BURR RIDGE RESIDENT: 0**EDUCATION**COLLEGE or OTHER: DuPaul UniversityMAJOR: FinanceDEGREE OR CERTIFICATIONS: Bachelors in Finance
Managing Real Estate Broker**UNDER-****GRADUATE****GRADUATE**_____ X

PROFESSIONAL

Please list the last 2 positions held, starting with the most recent, and briefly describe your responsibilities/experience.

COMPANY: Edwards Realty Company / Owner Burr Ridge Village CenterNUMBER OF YEARS EMPLOYED: 15TITLE: President

RESPONSIBILITIES/EXPERIENCE: _____

COMPANY: _____

NUMBER OF YEARS EMPLOYED: _____

TITLE: _____

RESPONSIBILITIES/EXPERIENCE: _____

PARTICIPATION IN OTHER BURR RIDGE AREA ORGANIZATIONS (Please list and describe)

ORGANIZATION: _____

#OF YEARS: _____

DESCRIPTION: _____

ORGANIZATION: _____

#OF YEARS: _____

DESCRIPTION: _____

PLEASE RANK 3-5 OF THE FOLLOWING IN THE ORDER OF YOUR INTEREST:

	Board of Fire & Police Commissioners
<u>1</u>	Economic Development Committee
	Pathway Commission
	Plan Commission/Zoning Board of Appeals
	Police Pension Board
	I & M Canal Nat'l Heritage Corridor Rep
	Stormwater Management Committee
	Environmental Quality Commission
	Other _____

OPTIONAL

Include resume or letter of interest with completed questionnaire.

VILLAGE OF BURR RIDGE

8K

ACCOUNTS PAYABLE APPROVAL REPORT

BOARD DATE: 08/26/19

PAYMENT DATE: 08/27/19

FISCAL 19-20

FUND	FUND NAME	PAYABLE	TOTAL AMOUNT
10	General Fund	74,860.17	74,860.17
23	Hotel/Motel Tax Fund	42,560.96	42,560.96
32	Sidewalk/Pathway Fund	20,128.74	20,128.74
51	Water Fund	505,079.86	505,079.86
52	Sewer Fund	1,400.35	1,400.35
61	Information Technology	9,577.51	9,577.51
	TOTAL ALL FUNDS	<u>\$ 653,607.59</u>	<u>\$ 653,607.59</u>

PAYROLL

PAY PERIOD ENDING August 10, 2019

	TOTAL
	PAYROLL
Board	2,400.00
Administration	18,253.24
Finance	7,654.84
Police	107,905.29
Public Works	22,406.29
Water	25,757.73
Sewer	7,747.58
Information Technology	864.00
TOTAL	192,988.97
GRAND TOTAL	<u>\$ 846,596.56</u>

08/21/2019 02:22 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/26/2019 - 08/26/2019
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 1/7

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 0300 Revenues					
10-0300-30-3030	Sales Rebate Jun19	Oremus Materials, LLC	07/20/19	June 2019	197.00
Total For Dept 0300 Revenues					197.00
Dept 1010 Boards & Commissions					
10-1010-40-4042	Lunch w/ Mayor Grasso's Assistan	Village of Burr Ridge	08/20/19	8/20/19	40.04
10-1010-40-4042	Mileage to deliver Police Pensio	Village of Burr Ridge	08/20/19	8/20/19	11.78
10-1010-50-5010	Legal Services Labor/General Jul	Clark Baird Smith LLP	07/31/19	11557	1,275.00
10-1010-50-5040	Business Cards Walter, E Jul19	Grasso Graphics	07/18/19	30324	164.39
10-1010-80-8025	Police Testing Jul19	Crowne Plaza Chicago SW-Bu	07/27/19	31065	962.58
10-1010-80-8025	Oral Interview Development Aug19	Industrial/Organizational	08/16/19	C45782A	2,630.00
Total For Dept 1010 Boards & Commissions					5,083.79
Dept 2010 Administration					
10-2010-40-4042	Mileage to DuPage County/Walter,	Village of Burr Ridge	08/20/19	8/20/19	29.00
10-2010-40-4042	Meals related to Village Busines	Village of Burr Ridge	08/20/19	8/20/19	20.38
10-2010-40-4042	Mileage to DuPage County/Walter,	Village of Burr Ridge	08/20/19	8/20/19	29.00
10-2010-50-5035	Public Hearing Notices Jul19	Chicago Tribune	07/18/19	008370137000	69.89
10-2010-50-5075	Plan Review Permit #19-193 Aug19	B & F Construction Code Se	08/08/19	51894	608.56
10-2010-50-5075	Inspections Jul19	B & F Construction Code Se	08/12/19	11651	34,555.84
10-2010-50-5075	Building Examinations Jul19	Don Morris Architects P.C.	07/31/19	July 2019	3,375.00
10-2010-50-5075	Inspections Jul19	Don Morris Architects P.C.	07/31/19	July 2019	4,460.00
Total For Dept 2010 Administration					43,147.67
Dept 4010 Finance					
10-4010-60-6010	Clorox/Cleaning Supplies Jun19	Village of Burr Ridge	08/20/19	8/20/19	8.54
Total For Dept 4010 Finance					8.54
Dept 4020 Central Services					
10-4020-50-5081	Insurance FSA Jul19	Discovery Benefits, Inc.	07/31/19	0001040015-IN	83.00
10-4020-60-6000	SWI-09901 Swingline Stapler	Runco Office Supply	08/14/19	757163-0	9.99
10-4020-60-6000	KMW 62081 Copy Holder	Runco Office Supply	08/14/19	757163-0	8.99
10-4020-60-6000	MMM-686-ALYR 2" Post It Tabs	Runco Office Supply	08/14/19	757163-0	2.49
10-4020-60-6000	MMM-683-4 Post It Small Flags	Runco Office Supply	08/14/19	757163-0	3.79
10-4020-60-6000	UNV 11204 Pink Paper	Runco Office Supply	08/14/19	757163-0	4.99
10-4020-60-6000	TOM 68762 Correction Tape 4 Pak	Runco Office Supply	08/14/19	757163-0	6.20
10-4020-60-6000	MMM-145-6 Packing Tape w/ Dispen	Runco Office Supply	08/14/19	757163-0	12.99
10-4020-60-6000	MMM 810P10K	Runco Office Supply	08/14/19	757163-0	18.99
10-4020-60-6000	BIC-WOFQD324 White Out 3 Pak	Runco Office Supply	08/14/19	757163-0	3.69
10-4020-60-6000	UNV-00119 size 19 rubber band 1#	Runco Office Supply	08/14/19	757163-0	2.99
10-4020-60-6000	UNV-11124 Medium binder clips	Runco Office Supply	08/14/19	757163-0	7.96
10-4020-60-6000	UNV-72210 No 1 paper clips	Runco Office Supply	08/14/19	757163-0	1.89
10-4020-60-6000	UNV-16113 Ltr manila 1/3 Asst	Runco Office Supply	08/14/19	757163-0	14.99
10-4020-60-6010	Kitchen Coffee Supplies PD Aug19	Commercial Coffee Service,	08/07/19	154659	71.60
10-4020-60-6010	Kitchen Coffee Supplies PW Aug19	Commercial Coffee Service,	08/09/19	154680	68.00
10-4020-60-6010	DAX 2863U2X Frame 24x36	Runco Office Supply	08/14/19	757163-0	29.99
Total For Dept 4020 Central Services					352.54
Dept 5010 Police					
10-5010-40-4032	Shirt Blue Add Zipper Glosky, M	Ray O'Herron Co., Inc.	08/09/19	1943782-IN	123.90
10-5010-40-4040	ILEAS 2019 Annual Membership	Illinois Law Enforcement	7/07/01/19	DUES8693	120.00
10-5010-40-4040	CourtSmart Publications/Online A	Law Enforcement Training I	08/15/19	INV-0148	1,300.00
10-5010-40-4042	LE Admin Prof Training Pavelchik	Fox Valley Technical Colle	07/15/19	700220501 Pavelchik	249.00
10-5010-40-4042	Admin Bosses Day Luncheon Madden	Illinois LEAP	08/20/19	August 20/ 2019	78.00

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 08/26/2019 - 08/26/2019
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 5010 Police					
10-5010-40-4042	Illinois Tactical Officers Train Illinois Tactical Officers		08/13/19	12373367	325.00
10-5010-40-4042	Mileage Reimbursement/Police Aca Justin Vandenburg		08/20/19	08/20/2019	229.16
10-5010-50-5020	Municipal Contributions/Childrens DuPage County Children's C		08/09/19	BR001 FY19-20	3,000.00
10-5010-50-5040	6 lots of Business Cards (250 ea Grasso Graphics		08/19/19	30383	281.15
10-5010-50-5050	Squad 1711 Lube Oil & Filter Jun B & E Auto Repair Service		06/17/19	134967	24.95
10-5010-50-5050	Monthly Maintenance Radio Equipm J&L Electronic Service, Ir		09/01/19	1002321	37.90
10-5010-50-5050	Squad 1602 Repair Printer Jul19 Public Safety Direct, Inc		07/12/19	94379	313.99
10-5010-50-5051	Squad 1705 Oil Change Aug19 B & E Auto Repair Service		08/16/19	135285	27.95
10-5010-50-5051	Squad 1602 Oil & Filter Aug19 B & E Auto Repair Service		08/17/19	135289	44.82
10-5010-50-5051	Squad 1416 Mount & Balance Apr19 B & E Auto Repair Service		04/16/19	134634	83.60
10-5010-50-5051	Squad 1706 Oil Change/Tire Rotat B & E Auto Repair Service		04/16/19	134639	47.95
10-5010-50-5051	Squad 1711 Lube Oil & Filter May B & E Auto Repair Service		05/07/19	134748	24.95
10-5010-50-5051	Squad 1602 Mount & Balance Jun19 B & E Auto Repair Service		06/20/19	134991	83.60
10-5010-50-5051	Squad 1703 Tire Repair Apr19 B & E Auto Repair Service		04/27/19	134698	33.00
10-5010-50-5051	Squad 1612 Wiper Blades Apr19 B & E Auto Repair Service		04/27/19	134699	32.84
10-5010-50-5051	Squad 1602 Lube Oil & Filter Mar B & E Auto Repair Service		03/08/19	134466	24.95
10-5010-50-5051	Squad 1817 Oil Change/Tire Rotat Willowbrook Ford		08/12/19	6305730/3	68.95
10-5010-50-5051	Squad 1711 Brakes/Rotors Aug19 Willowbrook Ford		08/12/19	6305741/1	484.22
10-5010-50-5051	Squad 1707 Replace Smart Link Willowbrook Ford		08/13/19	6305883/1	250.05
10-5010-50-5095	Random Drug Test PD Helms, J First Advantage Occupatio		07/31/19	2516031907	38.21
10-5010-50-5095	(2) Monthly Local Use Rate Aug19 Motorola Solutions - STARC		08/01/19	43780712019	68.00
10-5010-60-6000	46808 Top Receipt Book 3pt, Runco Office Supply		08/07/19	756163-0	91.50
10-5010-60-6000	OFX70019 Starlight mints Runco Office Supply		08/07/19	756163-0	9.95
10-5010-60-6000	UNV11201 Paper-Xerox 20# ltr, ca Runco Office Supply		08/20/19	758049-0	5.99
10-5010-60-6000	UNV11204 Paper-Xeros 20# ltr. Pn Runco Office Supply		08/20/19	758049-0	5.99
10-5010-60-6000	QUA37855 Envelope,Clasp 6x9 28# Runco Office Supply		08/20/19	758049-0	9.99
10-5010-60-6000	654YW 3x3 Post It Notes - Yellow Runco Office Supply		08/20/19	758049-0	11.99
10-5010-60-6010	Resin Ribbon 4.33" wide x 244' 1 Porter Lee Corporation		08/05/19	22599	100.00
10-5010-60-6010	Shipping Porter Lee Corporation		08/05/19	22599	10.10
10-5010-60-6010	SKU: KCP247C 3 ml Sterile Water Sirchie Fingerprint Labs		08/12/19	0411370-IN	36.00
10-5010-60-6010	SKU: CP100 Cap-Shure Sterile Sw Sirchie Fingerprint Labs		08/12/19	0411370-IN	99.40
10-5010-60-6010	Shipping & Handling Sirchie Fingerprint Labs		08/12/19	0411370-IN	21.69
Total For Dept 5010 Police					7,798.74
Dept 6010 Public Works					
10-6010-40-4032	Safety Glasses Aug Alexander Equipment Co.		08/05/19	157327	29.00
10-6010-40-4032	Uniform rentals/cleaning Aug19 Breens Inc.		08/20/19	384783	70.09
10-6010-40-4032	Uniform rentals/cleaning Aug19 Breens Inc.		08/06/19	384481	74.60
10-6010-40-4032	Uniform rentals/cleaning Aug19 Breens Inc.		08/13/19	384634	74.60
10-6010-40-4032	PW Embroidery on Jackets Aug19 Specialty Stitches		08/02/19	12273	30.00
10-6010-50-5050	580 Case brake failure & repair McCann Industries, Inc.		02/20/19	755300	922.50
10-6010-50-5051	Ford Expedition Tow Jul19 Bristol Transport & Towing		07/30/19	214978	175.00
10-6010-50-5051	Ford Expedition Electrical Repai Burr Ridge Car Care, Inc.		08/05/19	WO 52,173	839.99
10-6010-50-5051	Car Wash PW Jul19 Fuller's Car Wash		08/01/19	08/01/2019	29.00
10-6010-50-5053	Guardrail Repair on 77th @ Fores Northern Contracting, Inc.		07/08/19	7994	430.75
10-6010-50-5053	Guardrail Repair at Frontage Roa Northern Contracting, Inc.		07/22/19	8039	102.02
10-6010-50-5053	Guardrail Repair at Frontage Roa Northern Contracting, Inc.		08/13/19	8001	25.73
10-6010-50-5053	N. Frontage Rd Guardrail Rep. (R Northern Contracting, Inc.		08/13/19	7995	843.60
10-6010-50-5055	Madison St RR Crossing Aug19 COMED		08/05/19	3699071070 Aug19	37.86
10-6010-50-5055	Railroad Horn Madison & 97th St Meade Electric Company, Ir		08/01/19	689239	147.91
10-6010-50-5065	Village Street Lights Jul19 Dynegy Energy Services, LI		08/07/19	196015419071	2,882.13
10-6010-50-5085	Shop Towel rentals Aug19 Breens Inc.		08/20/19	384783	4.50

08/21/2019 02:22 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/26/2019 - 08/26/2019
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 3/7

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 10 General Fund					
Dept 6010 Public Works					
10-6010-50-5085	Shop Towel Rentals Aug19	Breens Inc.	08/06/19	384481	4.50
10-6010-50-5085	Shop Towel rentals Aug19	Breens Inc.	08/13/19	384634	4.50
10-6010-50-5095	Random Drug PW Hovorka/Wernimont	First Advantage Occupatio	07/31/19	2516031907	61.22
10-6010-50-5096	Mailbox Reimbursement Aug19	Stanley Mical	08/06/19	08/6/2019	75.00
10-6010-60-6010	Sludge Reducer/Algae Blocks Aug1	Menards - Hodgkins	08/08/19	31112	34.95
10-6010-60-6040	Chainsaw Chain Aug19	Alexander Equipment Co.	08/05/19	157327	73.30
10-6010-60-6041	Filters for Fleet Misc. Service	Westown Auto Supply Co. Ir	07/31/19	83129	260.29
Total For Dept 6010 Public Works					7,233.04
Dept 6020 Buildings & Grounds					
10-6020-50-5052	Qtrly alarm monitoring - PD Sept Alarm Detection Systems,		108/04/19	156405-1032	294.78
10-6020-50-5052	Lighting & Circuit Repairs at PD Design Electrical Services		07/16/19	3347	255.00
10-6020-50-5052	Power Washing Condensor Coils Ju Dynamic Heating & Piping C		07/11/19	203231	977.00
10-6020-50-5052	Emergency A/C Service at PD Jul1	Trane U.S. Inc.	07/18/19	310081658	2,576.27
10-6020-50-5052	General Treatment at Police Stat	U.S. Pest Control	07/12/19	4100	335.00
10-6020-50-5052	General Treatment at Village Hal	U.S. Pest Control	07/12/19	4100	305.00
10-6020-50-5052	General Treatment at Public Work	U.S. Pest Control	07/12/19	4100	235.00
10-6020-50-5052	General & Wasp Treatment @ two t	U.S. Pest Control	07/12/19	4100	150.00
10-6020-50-5052	Wasp Treatment at Rustic Acres	U.S. Pest Control	07/12/19	4100	225.00
10-6020-50-5052	Multiple Building Discount	U.S. Pest Control	07/12/19	4100	(200.00)
10-6020-50-5057	Added Areas Jun19	Desiderio Landscaping LLC	08/01/19	9800	238.76
10-6020-50-5057	Turf Weed Control and Fertilizer	Desiderio Landscaping LLC	08/01/19	9800	36.29
10-6020-50-5057	Utility and Park Sites Jun19	Desiderio Landscaping LLC	08/01/19	9800	124.45
10-6020-50-5057	Aquatic Weed Control	Innovative Water Care, LLC	07/18/19	94312530	2,900.00
10-6020-50-5058	Mat rentals/PD Aug19	Breens Inc.	08/20/19	384778	6.00
10-6020-50-5058	Mat rentals/VH & PW Aug19	Breens Inc.	08/20/19	384778	20.50
10-6020-50-5058	Mat rentals/PD Aug19	Breens Inc.	08/06/19	384476	6.00
10-6020-50-5058	Mat rentals/VH & PW Aug19	Breens Inc.	08/06/19	384476	20.50
10-6020-50-5058	Mat rentals/PD Aug19	Breens Inc.	08/13/19	384629	6.00
10-6020-50-5058	Mat rentals/VH & PW Aug19	Breens Inc.	08/13/19	384629	20.50
10-6020-50-5058	Janitorial Services - PD Jul19	Eco-Clean Maintenance, Inc	08/02/19	8060	840.24
10-6020-50-5058	Janitorial Services - VH Jul19	Eco-Clean Maintenance, Inc	08/02/19	8060	661.83
10-6020-50-5058	Janitorial Services - PW Jul19	Eco-Clean Maintenance, Inc	08/02/19	8060	394.19
10-6020-50-5080	Utilities Windsor Aerator Aug19	COMED	08/05/19	9342034001 Aug19	114.54
10-6020-50-5080	Utilities Lakewood Aerator Aug19	COMED	08/05/19	9258507004 Aug19	213.67
10-6020-50-5080	Utilities Village Hall Jul19	NICOR Gas	08/15/19	4702570000 7 Jul19	109.22
10-6020-50-5080	Utilities PW Jul19	NICOR Gas	08/09/19	2294440000 5 Jul19	111.56
10-6020-50-5080	Utilities Rustic Acres Jul19	NICOR Gas	08/15/19	8111073241 9 Jul19	34.99
10-6020-60-6010	Drill Bit Set/Stove Bolt Aug19	Menards - Hodgkins	08/08/19	31109	26.56
Total For Dept 6020 Buildings & Grounds					11,038.85
Total For Fund 10 General Fund					74,860.17
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5069	Municipal Campus Jun19	Desiderio Landscaping LLC	08/01/19	9800	4,019.37
23-7030-50-5069	Medians and Gateways Jun19	Desiderio Landscaping LLC	08/01/19	9800	4,148.33
23-7030-50-5069	County Line Rd at I-55 Jun19	Desiderio Landscaping LLC	08/01/19	9800	1,003.81
23-7030-50-5069	Spring & Fall Cleanup Jun19	Desiderio Landscaping LLC	08/01/19	9800	609.60
23-7030-50-5069	Turf Weed Control andFertilizer	Desiderio Landscaping LLC	08/01/19	9800	1,402.08
23-7030-50-5069	Added Areas Jun19	Desiderio Landscaping LLC	08/01/19	9800	1,081.53
23-7030-50-5069	Service Requests & Contract Adju	Desiderio Landscaping LLC	08/01/19	9800	115.00
23-7030-50-5069	Utility and Park Sites Jun19	Desiderio Landscaping LLC	08/01/19	9800	753.85

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 23 Hotel/Motel Tax Fund					
Dept 7030 Special Revenue Hotel/Motel					
23-7030-50-5069	Roadside Mowing Jun19	Desiderio Landscaping LLC	08/01/19	9800	1,038.86
23-7030-50-5069	Landscape Maintenance at Vet. Me	Premier Landscape Contract	08/01/19	85665	352.00
23-7030-50-5069	Replace Broken Nipples Aug19	TCS Irrigation, Inc.	08/15/19	42235	77.50
23-7030-50-5069	Replace Broken Rotors Aug19	TCS Irrigation, Inc.	08/15/19	42227	95.75
23-7030-50-5075	Entryway Sign Aug19	COMED	08/06/19	2257153023 Aug19	33.05
23-7030-50-5075	Median Lighting Aug19	COMED	08/05/19	1319028022 Aug19	79.91
23-7030-50-5075	Gateway Sign Aug19	COMED	08/02/19	115316807 Aug19	21.82
23-7030-80-8012	Secretary of State Aug19	Bannerville USA	08/14/19	27663	40.00
23-7030-80-8012	Jingle Mingle Ad Jul19	Rock Valley Publishing, LI	08/03/19	16698 Jul19	495.00
23-7030-80-8012	DJ/MC Car Show Jun19	Sparkles Entertainment, Ir	06/09/19	June 9, 2019	600.00
23-7030-80-8012	Double sided type 3 NO lights	Trafic Services, Inc.	06/30/19	81153	1,576.00
23-7030-80-8012	Delivery charge	Trafic Services, Inc.	06/30/19	81153	40.00
23-7030-80-8012	System & Engineer Sepcial Events	United Audio Productions	07/29/19	898	1,500.00
23-7030-80-8012	System & Engineer Special Events	United Audio Productions	07/01/19	897	1,500.00
23-7030-80-8050	FY20 Annual Municipality Dues	DuPage Convention & Visits	07/10/19	4123	20,312.50
23-7030-80-8050	Hinsdale South Fall/Winter Progr	Royal Publishing, Inc.	05/24/19	7960775	1,665.00
Total For Dept 7030 Special Revenue Hotel/Motel					42,560.96
Total For Fund 23 Hotel/Motel Tax Fund					42,560.96
Fund 32 Sidewalks/Pathway Fund					
Dept 8020 Sidewalks/Pathway					
32-8020-70-7052	County Line Road Sidewalk Improv	Burns & McDonnell	08/12/19	117628-1	11,085.49
32-8020-70-7052	Garfield Ave Sidewalk Reconstruc	Christopher B. Burke Engir	08/08/19	152347	9,043.25
Total For Dept 8020 Sidewalks/Pathway					20,128.74
Total For Fund 32 Sidewalks/Pathway Fund					20,128.74
Fund 51 Water Fund					
Dept 0000 Assets, Liabilities, Fund Bal					
51-0000-22-2200	Hydrant Meter Refund Aug19	Peter Schwade, Inc.	08/12/19	08/12/19	93.26
Total For Dept 0000 Assets, Liabilities, Fund Ba.					93.26
Dept 6030 Water Operations					
51-6030-40-4032	Uniform rentals/cleaning Aug19	Breens Inc.	08/20/19	384783	76.93
51-6030-40-4032	Uniform rentals/cleaning Aug19	Breens Inc.	08/06/19	384481	81.88
51-6030-40-4032	Uniform rentals/cleaning Aug19	Breens Inc.	08/13/19	384634	81.88
51-6030-50-5020	Labor-Program Gen PLC & ReplTran	Automatic Control Services	07/31/19	4429	764.75
51-6030-50-5020	0-100 psi Transducer (0.3MG Wate	Automatic Control Services	07/31/19	4429	415.00
51-6030-50-5020	(13) Coliform Samples Aug19	Envirotest Perry Laborato	08/02/19	19-133969	117.00
51-6030-50-5040	Water Main Replacement Notice Ju	Shaw Media	07/31/19	10074573 Jul19	121.58
51-6030-50-5052	Utility and Park Sites Jun19	Desiderio Landscaping LLC	08/01/19	9800	390.30
51-6030-50-5052	Turf Weed Control and Fertilizer	Desiderio Landscaping LLC	08/01/19	9800	36.29
51-6030-50-5067	Emergency Water Main Break Repai	Unique Plumbing Company	07/30/19	20190865	4,996.00
51-6030-50-5067	Water Main Repair; Plainfield &	Vian Construction Co., Inc	07/27/19	007026A0019-A	8,676.00
51-6030-50-5080	Utilities Well #4 Aug19	COMED	08/15/19	0029127044 Aug19	392.70
51-6030-50-5080	Utilities Well #1 Aug19	COMED	08/06/19	0793668005 Aug19	31.99
51-6030-50-5080	Utilities Well #5 Aug19	COMED	08/05/19	4497129061 Aug19	322.50
51-6030-50-5080	Utilities Bedford Park Sump Pump	COMED	08/07/19	9179647001 Aug19	4.94
51-6030-50-5080	Utilities 2 M Tank Aug19	COMED	08/05/19	9256332027	135.24
51-6030-50-5080	Utilities Pump Center Aug19	Dynegy Energy Services, LI	08/08/19	310428719081	6,404.66
51-6030-50-5080	Utilities Pump Center Jul19	NICOR Gas	08/09/19	4791570000 0 Jul19	37.68
51-6030-50-5095	Backup Alarm System, Water SCADA	Sensaphone	08/07/19	30090 Aug19	240.00

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
 POST DATES 08/26/2019 - 08/26/2019
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 51 Water Fund					
Dept 6030 Water Operations					
51-6030-50-5095	Utility Billing Past Due Notices Third Millennium Assoc. Ir		08/09/19	23781	290.18
51-6030-60-6000	Seal, Mail, 1"D, PRT/WO, WHT Aug	Runco Office Supply	08/01/19	755195-0	47.92
51-6030-60-6000	Envelopes/Laser Labels Aug19	Runco Office Supply	08/08/19	756399-0	40.98
51-6030-60-6010	1020H UND 2" Adjustment Ring, 22 EJ USA, Inc		08/13/19	110190064489	290.00
51-6030-60-6010	1020H UND 3" Adjustment Ring, 22 EJ USA, Inc		08/13/19	110190064489	147.53
51-6030-60-6010	1020H UND 4" Adjustment Ring, 22 EJ USA, Inc		08/13/19	110190064489	161.43
51-6030-60-6010	Freight Charge	EJ USA, Inc	08/13/19	110190064489	50.00
51-6030-60-6010	Batteries PW Aug19	Grainger	08/02/19	9251376670	173.46
51-6030-60-6010	Ball Valve/Padlock/Abrasive Roll	Grainger	07/25/19	9243597458	140.30
51-6030-60-6010	4' Insulated Probe Aug19	USA Blue Book	08/02/19	969814	190.78
51-6030-60-6010	Ice Purchased for Water Sampling	Village of Burr Ridge	08/20/19	8/20/19	2.00
51-6030-60-6040	EJ Hydarnt Assembly w/Valve, Com	EJ USA, Inc	08/13/19	110190064490	2,776.00
51-6030-60-6040	8" x 30" All SS Repair Clamp, Ro	Underground Pipe & Valve C	08/09/19	037316-01	695.00
51-6030-60-6040	5 1/4 Medallion Upper Valve Plat	Underground Pipe & Valve C	08/16/19	037542	447.00
51-6030-60-6040	5 1/4 Medallion P#21 Main Valve	Underground Pipe & Valve C	08/16/19	037542	79.00
51-6030-60-6040	6' Bury Medallion Lower Stem, Al	Underground Pipe & Valve C	08/16/19	037542	218.00
51-6030-60-6040	4' - 5" Medallion Stem Coupling,	Underground Pipe & Valve C	08/16/19	037542	61.00
51-6030-60-6040	4' - 5" Medallion Safety Couplin	Underground Pipe & Valve C	08/16/19	037542	10.00
51-6030-60-6040	4' - 5" Medallion Safety Coupl C	Underground Pipe & Valve C	08/16/19	037542	2.00
51-6030-60-6040	10"x 24" All SS Repair Clamp, Ro	Underground Pipe & Valve C	08/06/19	037316	645.00
51-6030-60-6070	Water Purchases Jul19	Village of Bedford Park	08/05/19	0020060000 Jul19	473,415.00
51-6030-60-6070	5905 S. Grant Water Jul19	Village of Hinsdale	08/02/19	3108560 Jul19	184.27
51-6030-60-6070	5885 S. Giddings Ave Water Jul19	Village of Hinsdale	08/02/19	3107810 Jul19	398.77
51-6030-60-6070	224 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3108363 Jul19	52.27
51-6030-60-6070	216 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3101225 Jul19	167.77
51-6030-60-6070	208 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3101237	101.77
51-6030-60-6070	204 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3108351 Jul19	324.52
51-6030-60-6070	134 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	318531 Jul19	151.27
51-6030-60-6070	126 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3108511 Jul19	60.52
51-6030-60-6070	120 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3108540 Jul19	110.02
51-6030-60-6070	116 W. 59th Street Water Jul19	Village of Hinsdale	08/02/19	3108491 Jul19	225.52
Total For Dept 6030 Water Operations					504,986.60
Total For Fund 51 Water Fund					505,079.86
Fund 52 Sewer Fund					
Dept 6040 Sewer Operations					
52-6040-40-4032	Uniform rentals/cleaning Aug19	Breens Inc.	08/20/19	384783	23.93
52-6040-40-4032	Uniform rentals/cleaning Aug19	Breens Inc.	08/06/19	384481	25.47
52-6040-40-4032	Uniform rentals/cleaning Aug19	Breens Inc.	08/13/19	384634	25.47
52-6040-50-5068	Maintenace - Three lift stations	Metropolitan Industries, I	07/26/19	INV007957	811.00
52-6040-50-5080	Utilities Chasemoor Lift Statio	COMED	08/05/19	0356595009 Aug19	217.52
52-6040-50-5080	Utilities Highland Fields Lift S	COMED	08/06/19	0099002061 Aug19	43.74
52-6040-50-5080	Utilities Arrowhead Lift Station	COMED	08/06/19	7076690006 Aug19	253.22
Total For Dept 6040 Sewer Operations					1,400.35
Total For Fund 52 Sewer Fund					1,400.35
Fund 61 Information Technology Fund					
Dept 4040 Information Technology					
61-4040-40-4042	BS& A Training Asst Fin Dir Jul1	BS&A Software	08/09/19	124202	2,685.00
61-4040-50-5020	It Services Onsite & Remote Aug1	Orbis Solutions	08/20/19	5569294	1,525.00
61-4040-50-5061	Data Collection of Manholes Jul1	Cloudpoint Geographics, Ir	07/31/19	002450	4,945.00

08/21/2019 02:22 PM

User: asullivan

DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/26/2019 - 08/26/2019
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

Page: 6/7

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
Fund 61 Information Technology Fund					
Dept 4040 Information Technology					
61-4040-60-6010	Batteries Video Camera Jun19	Village of Burr Ridge	08/20/19	8/20/19	12.04
61-4040-60-6010	CE403YC - Magenta cartridge	Warehouse Direct, Inc.	08/01/19	4371035-0	152.50
61-4040-60-6010	CC530A - Black cartridge	Warehouse Direct, Inc.	08/01/19	4371035-0	171.98
61-4040-60-6010	CC531A - Cyan cartridge	Warehouse Direct, Inc.	08/01/19	4371035-0	85.99
Total For Dept 4040 Information Technology					9,577.51
Total For Fund 61 Information Technology Fund					9,577.51

08/21/2019 02:22 PM
User: asullivan
DB: BURR RIDGE

INVOICE GL DISTRIBUTION REPORT FOR VILLAGE OF BURR RIDGE
POST DATES 08/26/2019 - 08/26/2019
BOTH JOURNALIZED AND UNJOURNALIZED
BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Date	Invoice	Amount
<hr/>					
Fund Totals:					
Fund 10 General Fund					74,860.17
Fund 23 Hotel/Motel Tax Fund					42,560.96
Fund 32 Sidewalks/Pathway Fund					20,128.74
Fund 51 Water Fund					505,079.86
Fund 52 Sewer Fund					1,400.35
Fund 61 Information Technology F					9,577.51
Total For All Funds:					<hr/> 653,607.59