

REGULAR MEETING PLAN COMMISSION/ZONING BOARD OF APPEALS FEBRUARY 6, 2023 - 7:00PM VILLAGE HALL - BOARD ROOM

The Plan Commission/Zoning Board of Appeals hears requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use. All Plan Commission actions are advisory and are submitted to the Board of Trustees for final action.

- I. ROLL CALL
- II. APPROVAL OF JANUARY 16, 2023 MEETING MINUTES
- III. APPROVAL OF DECEMBER 5, 2022 MEETING MINUTES AS AMENDED (page 5 only)
- IV. PUBLIC HEARINGS
 - A. Z-26-2022: 525 Village Center Drive (AT&T); Special Use, PUD Amendment, and Findings of Fact [CONTINUED FROM DECEMBER 5, 2022 AND JANUARY 16, 2023]

Request for a special use for a personal wireless facility as per section VIII.C.2 of the Zoning Ordinance and to amend Ordinance A-834-10-05 to permit alterations to the structure related to the wireless facility. The petitioner seeks to co-locate a cellular site at an existing rooftop, including installation of an antennae and support equipment.

B. Z-01-2023: Zoning Ordinance Amendments for Outdoor Dining (Village of Burr Ridge); Text Amendment and Findings of Fact

Request to consider text amendments to Section VIII of the Zoning Ordinance to amend outdoor dining regulations for restaurant uses in the Business Districts.

V. CORRESPONDENCE

- A. Board Reports
 January 23, 2023
- B. <u>Building Reports</u> December 2022

VI. OTHER CONSIDERATIONS

A. PC-01-2023 10S630 Garfield Ave. (Aliyeva); Extraterritorial Review of a Variation [CONTINUED FROM JANUARY 16, 2023]

Review of a DuPage County request for a variation for lot width from 165 ft. to 143.55 ft. in order to divide a parcel into two lots.

B. PC-02-2023 Annual Zoning Review [CONTINUED FROM JANUARY 16, 2023]

VII. PUBLIC COMMENT

VIII. FUTURE MEETINGS

February 13 Village Board

Commissioner Broline is the scheduled representative.

February 20 Plan Commission

A. Z-02-2023: 60 Shore Drive (Naddaf – Coda Motors); Special Use Amendment, Special Use, and Findings of Fact

Request to amend Ordinance #A-834-02-19, a special use for automobile sales, to include an additional special use for outdoor, overnight storage of retail vehicles ancillary to a special use in accordance with Zoning Ordinance section X.F.

February 27 Village Board

Commissioner Petrich is the scheduled representative.

March 6 Plan Commission

No cases currently scheduled.

March 13 Village Board

Chairman Trzupek is the scheduled representative.

March 20 Plan Commission

No cases currently scheduled.

March 27 Village Board

Commissioner Parrella is the scheduled representative.

IX. ADJOURNMENT

<u>VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS</u> MINUTES FOR REGULAR MEETING OF JANAURY 16, 2023

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Vice-Chair Morton.

ROLL CALL was noted as follows:

PRESENT: 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton

ABSENT: 2 – Parrella and Trzupek

Community Development Director Janine Farrell was present.

II. APPROVAL OF PRIOR MEETING MINUTES – DECEMBER 19, 2022

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Broline to approve the minutes of the December 19, 2022, Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton,

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

Commissioner Irwin stated that he would like to have the December 5, 2022 meeting minutes amended. Commissioner Irwin wanted to clarify his comments regarding endorsements and payments and stated that his objection was to undisclosed payments and endorsements by political lobbyists. Vice-Chair Morton stated that he was not sure if approved minutes could be amended and that this needs to be confirmed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to amend the minutes of the December 5, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, Petrich, McCollian, Broline, Stratis, and Morton

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

III. PUBLIC HEARINGS

Vice-Chair Morton conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

A. Z-26-2022: 525 Village Center Dr.; AT&T Special Uses; PUD Amendment and Findings of Fact

Vice-Chair introduced the case and noted that the petitioner requested it be continued until February 6, 2023.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue Z-26-2022 to the February 6, 2023 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

B. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact

Vice-Chair Morton introduced the case and asked Director Farrell for a summary. Director Farrell presented the changes that occurred since the last meeting. The proposal to reconfigure the parking lot and add parking spaces to the north including five spaces in the front yard setback is unchanged. For stormwater, the petitioner submitted a revised Stormwater Management Report. The petitioner also presented at the Stormwater Management Committee meeting in November and received a recommendation of approval. For preventing lighting glare and spillover, the petitioner installed parking lot light shields, installed roller shades on interior windows, and proposes to plant evergreens along the fence line to the west.

Vice-Chair Morton asked if the petitioner was present and if they wished to add anything.

Petitioner Caitlyn Culbertson of Elrod Friedman LLP stated that they listened to the Commissioners and resident concerns and have addressed them. Ms. Culbertson stated that they have an updated landscape plan and a plan to address lighting in the parking lot. Ms. Culbertson stated that they are communicating with the cleaning company to adjust the timing and route of cleaning so that the interior lighting is no longer an issue. Ms. Culbertson stated that they attended the Stormwater Committee meeting and received a recommendation of approval.

Petitioner Trudy Buehler of Mackie Consultants discussed the connection of the dry well to the residential properties to the west. Ms. Buehler detailed the specific water flow direction and rates.

Petitioner Mike Trippiedi of Trippiedi Design discussed the fence elevation in relation to the grade and how the fence becomes shorter with the grade change from south to north. Mr. Trippiedi discussed the installation of the evergreen hedge row and explained that the fence elevation is effective at the southern end and then becomes deficient towards the northern end where the land begins to slope. The evergreens will provide screening in this area. Mr. Trippiedi is proposing to install the evergreens at 5 ft. tall, planted 5 ft. on center, with an initial 18" gap between them. The trees will fill in within 2-3 years.

Vice-Chair Morton asked for public comments.

Mark Thoma, 7515 Drew, presented slides and discussed the farmers drain tile that runs to SRA from the residential properties. Mr. Thoma spoke with the original engineer from Manhard Engineering who stated that there is a connection between the dry well and detention basin. Mr. Thoma is concerned that stormwater will back up onto his property. Mr. Thoma questioned why the detention structure was built in its location if it did not have a connection to the dry well. Mr. Thoma discussed the soil samples taken in 2017 which indicated fill on the property.

Commissioner Stratis asked Mr. Thoma if he spoke with the Village Engineer or the petitioner's engineer. Mr. Thoma said that he had not.

Mr. Thoma stated that he did not like the trees proposed along the fence line and doesn't believe it is enough coverage.

Commissioner Broline asked if Mr. Thoma believed that the information in the Stormwater Report was incorrect. Mr. Thoma stated yes.

Ms. Culbertson confirmed that the fence will remain on the property and that the plantings are concentrated along the properties where the headlights are an issue. Ms. Culbertson stated that the Village Engineer reviewed the plans and everything will be subject to final engineering approval.

Ms. Buehler was not involved in 2017 and is quoting from the Soil Boring Report done at the time. Ms. Buehler stated that the stormwater management section of the Soil Boring Report states that the soils are practically impervious. Commissioner Irwin asked for clarification on fill. Ms. Buehler stated that fill can mean the soil was moved from one location to another, or has gravel, or sand. Ms. Buehler cannot say for sure what the soils are between the dry well and the detention pond unless it is dug up.

Vice-Chair Morton asked if there is a connection between the dry well and detention pond. Ms. Buehler illustrated on the plans that the drain tile comes into the dry well very low and there is a second, emergency relief coming out of the dry well. Vice-Chair Morton confirmed with Ms. Buehler that if the dry well and detention pond are connected, the backyard will still drain, but there might be a temporary increase in a higher water level that can take a few hours to drain, depending on conditions.

Commissioner McCollian confirmed with Mr. Thoma that these were all prior conversations with someone at Manhard Engineering.

Commissioner Petrich questioned Mr. Thoma if he believes that the system is not working as it was designed. Mr. Thoma stated that it is working as designed but there is a passive connection between the dry well and detention pond. Ms. Buehler stated that she does not see anything in the design documents showing these two systems are connected and that the Village Engineer confirms. Commissioner Petrich stated that it cannot be proven they are connected.

Commissioners Irwin and Stratis stated that there has not been an analysis or tests done on the system since it was constructed so this is all speculative.

Commissioner Stratis asked if Mr. Thoma had any evidence that these systems are connected. Mr. Thoma stated that he was told in a meeting that they were connected.

Commissioners Petrich and Stratis confirmed with the petitioner that the soils report was done before construction.

Mr. Thoma asked why the dry well is located close to the detention pond. Ms. Buehler stated she believes that since the drain tile is so low, they tried to pick it up and then add the emergency release which sends water south.

The Commissioners, petitioner, and Mr. Thoma discussed of the location of the 24" drain tile.

Russell Allen, 7519 Drew, wanted to ensure that the care and maintenance of the trees be placed in the Ordinance and confirmed with the petitioner that the trees will be 5 ft. apart on center.

Alice Krampits, 7515 Drew, stated that parking was questioned heavily when the development was first proposed. The bus program played a role in the initial decision about parking requirements, and then the program was eliminated. Ms. Krampits is opposed to more impervious surface and parking in the front yard which makes it look like a B-1 zoning district not a Transitional District. Ms. Krampits recommended that a better solution to the parking issue should be found and there are no aesthetics since everything is concrete and asphalt. Commissioner Stratis asked what Ms. Krampits would like to see. Ms. Krampits stated more greenery and parking islands.

There was no additional public comment. Vice-Chair Morton asked for Commissioner discussion.

Commissioner Irwin reviewed the previous request and special use findings and stated that not much has changed. Commissioner Irwin stated that lighting and other issues have been addressed, so he does not see why the approval should be changed from before. Commissioner Irwin did not see the hardship for the five extra spots and supports approval of the special use but not the variation.

Commissioner McCollian is concerned about the stormwater and questioned what the resolution would be if they are wrong. Commissioner McCollian supported the parking variation.

Commissioner Stratis agreed with Commissioner Irwin on the special use and is not concerned about the parking variation as long as green space requirements are met. Director Farrell confirmed that they were. Commissioner Stratis requested something else provided for the trees like mats to prevent wood chips washing away. Mr. Trippiedi stated that there will be oak sedge groundcover to maintain the slope, confirmed that it will stay in place year-round, and that it is shown on the landscape plan. Commissioner Stratis discussed the care of arborvitae. Commissioner Stratis stated that he is proud of SRA, that it is a beautiful addition to the community, and appreciated their responses to the issues. Commissioner Stratis has faith in staff and their review of the submissions and data. Commissioner Stratis did not hear any actionable data and only conjecture about what could be happening regarding stormwater. Commissioner Stratis supported both requests.

Commissioner Broline looks at inputs and givens and is focused in on the facts as an engineer. Commissioner Broline stated that the system was likely redesigned to reduce costs. Commissioner Broline did not support the parking in the front since this is a Transitional District and should be viewed as such from the front and back. Commissioner Broline preferred to have someone take soil samples.

Commissioner Petrich stated that since the five spaces are in the front, and that they are permitted in the Business District, he supports the request. Commissioner Petrich stated that the stormwater is designed to be separate, and it cannot be proven otherwise unless the engineers do a project to challenge it. Commissioner Petrich stated that everyone has reviewed and agreed to the information and has no issue with the stormwater.

Vice-Chair Morton agrees with Commissioner Stratis. Vice-Chair Morton stated that he is not sure if the petitioner has met the hardship standard for the variation. Vice-Chair Morton stated that the van program was a great amenity to the community and hopes that it is reconsidered to bring it back. Vice-Chair Morton stated that parking in that area is difficult and there may be a future tenant requesting a variation. Vice-Chair Morton stated that only four full spaces are in the setback and only a small portion of the fifth. Vice-Chair Morton appreciated the responsiveness of SRA.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to close the public hearing for Z-22-2022.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, Petrich, McCollian, Broline, Stratis, and Morton

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to recommend approval of Z-22-2022, a request by MedProperties, LLC to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District, with Findings of Fact, and with the following conditions:

- 1. The development shall comply with the submitted site plan, subject to final engineering approval, attached as Exhibit A.
- 2. The development shall comply with the submitted landscape plan, subject to staff review and approval, attached as Exhibit A.
- 3. The petitioner, owner, tenant, or occupant shall maintain the landscaping including but not limited to the prompt replacement of any diseased or dead material.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, Stratis, McCollian, Petrich, Broline, and Morton

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Stratis to recommend approval of Z-22-2022, a request by MedProperties, LLC for a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard, with Findings of Fact.

ROLL CALL VOTE was as follows:

AYES: 3 – Petrich, Stratis, and Morton

NAYS: 2 - Irwin and Broline

MOTION FAILED by a vote of 3-2.

V. CORRESPONDENCE

A. Board Reports

There were no comments on the Board Report.

B. Building Reports

There was no building report and no comments.

VI. OTHER CONSIDERATIONS

A. PC-01-2023 10S630 Garfield Ave. (Aliyeva); Extraterritorial Review of a Variation

Vice-Chair Morton introduced the case and asked for a summary. Director Farrell stated that this is an extraterritorial review of a variation request located in unincorporated DuPage County. The parcel is south of Oak Creek Club, east of the Oak Ridge Creek Subdivision, and to the west of Rustic Acres, the former Village Public Works facility. The property is accessed through a private road easement located on Oak Creek Club property. The petitioner proposes to divide the property into two lots. Staff reviewed the request and had a concern about the easement on Oak Creek Club's property. Staff was unable to find a copy of the easement and does not know if it will permit this new lot access. Staff requested a copy of the easement through the County and was informed that the DuPage County State's Attorney reviewed the easement and stated that the new lot should be able to use it. Staff also requested verification from DuPage County that the Oak Creek Club HOA was notified.

Vice-Chair Morton asked what actions the Commission could take on this proposal. Director Farrell stated that there is no formal Plat of Subdivision review or approval required since the division is exempt under the Plat Act. The Commission's comments are limited to concerns about the lot width and easement access.

Vice-Chair Morton confirmed with Director Farrell that Oak Creek Club can comment on the petition through the public hearing.

Commissioner Stratis was concerned about the legal review of the easement performed by DuPage County and does not believe that the new lot would necessarily be granted access.

The Commissioners discussed if notification was provided to Oak Creek Club. The Commissioners also questioned the possibility of forcibly annexing the property and that the proposed division would not be approved under Village codes and ordinances.

The Commissioners directed staff to submit comments to DuPage County requesting a delay in the vote until more information is provided about the easement and to mention that the proposed division would not be approved under Village codes.

B. PC-02-2023 Annual Zoning Review

Vice-Chair Morton polled the Commissioners to see if they preferred to hold the discussion on the annual zoning review until Chairman Trzupek is present. The Commissioners agreed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue PC-02-2023 until February 6, 2023.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, McCollian, Petrich, Broline, Stratis, and Morton

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

VII. PUBLIC COMMENT

Mark Thoma, 7515 Drew, asked how to prove to staff that additional water is on his property. Mr. Thoma stated that the functioning of the system was explained to him by Manhard Engineering when the development was originally planned, that he had to hire an engineer, and had to inform the engineers that there is a watershed in the area.

VIII. FUTURE MEETINGS

Vice-Chair Morton noted the future Village Board and Plan Commission meetings and the cases scheduled.

IX. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 8:52 p.m.

ROLL CALL VOTE was as follows:

AYES: 6 – Irwin, Stratis, McCollian, Petrich, Broline, and Morton

NAYS: 0 - None

MOTION CARRIED by a vote of 6-0.

Respectfully Submitted:	
	Janine Farrell, AICP
	Community Development Director

<u>VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS</u> MINUTES FOR REGULAR MEETING OF DECEMBER 5, 2022

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 8 – Irwin, McCollian, Parrella, Petrich, Broline, Stratis, Morton, and Trzupek

ABSENT: 0

Village Administrator Evan Walter, Community Development Director Janine Farrell, Village Attorney Brian Bough, Trustee Guy Franzese, and Trustee Al Paveza were also present.

II. APPROVAL OF PRIOR MEETING MINUTES – NOVEMBER 21, 2022

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Irwin to approve the minutes of the November 21, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 7 – Morton, Irwin, Parrella, Petrich, Broline, Stratis, and Trzupek

NAYS: 0 – None ABSTAIN: 1 – McCollian

MOTION CARRIED by a vote of 7-0 with one abstention.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

A. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact

The petitioner requested that this case be continued until January 16, 2023. Director Farrell noted that the petitioner is still working with neighbors to address the fence.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Petrich to continue the public hearing for Z-22-2022 until January 16, 2023.

ROLL CALL VOTE was as follows:

AYES: 8 – Stratis, Petrich, Irwin, McCollian, Parrella, Broline, Morton, and Trzupek

NAYS: 0 - None

MOTION CARRIED by a vote of 8-0.

B. Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC); Special Uses and Findings of Fact

The petitioner requested that this case be continued until December 19, 2022. Director Farrell noted that the petitioner was unable to meet the submittal deadline for the December 5th meeting due to the Thanksgiving holiday.

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Parrella to continue the public hearing for Z-24-2022 to December 19, 2022.

ROLL CALL VOTE was as follows:

AYES: 8 – McCollian, Parrella, Irwin, Petrich, Broline, Stratis, Morton, and Trzupek

NAYS: 0 - None

MOTION CARRIED by a vote of 8-0.

C. Z-25-2022/V-04-2022: 11731 87th Street (McNaughton); Rezoning, Special Use, Variation, Planned Unit Development (PUD), Preliminary Plan approval of a PUD, and Findings of Fact

Chairman Trzupek introduced the case and asked for a summary. Director Farrell reviewed the four requests as part of the petition, a rezoning from R-1 to R-2B, variations to allow a Planned Unit Development (PUD) on the property since the lot does not meet the minimum size standards for a PUD, a special use for a PUD, and Preliminary Plan approval of the PUD. The nearest R-2B zoning districts are to the north at Greystone Rd. and to the south of 91st St. The lot is within the German Church Road Subarea which recommends 30,000+ square foot lots. The proposed gross density is 33,165 sq. ft., net density is 24,725 sq. ft., and individual lot area is 4,560 sq. ft. each. There are deviations from the Subdivision and Zoning Ordinances including setbacks, road width, and lot depth which can be varied as part of the PUD.

Chairman Trzupek stated that the Commission is aware that the petitioner offered gift cards to individuals to speak in favor of the petition.

John Barry of McNaughton Development, Randy Metz of Metz & Associates, Scott Schreiner of DesignTek Engineering, Michael Werthmann of KLOA, and George Kisiel of Okrent Kisiel & Associates presented on behalf of the petition. Mr. Barry discussed the company's profile, architectural options, market analysis, and financial impacts of the proposed development. Mr. Metz discussed site planning and landscaping. Mr. Schreiner discussed utilities and site engineering. Mr. Werthmann discussed the traffic report and traffic impact. Mr. Kisiel discussed the zoning relief requested. The information presented had been provided in the report packet. Chairman Trzupek asked for public comment.

Patricia Davis requested that the number of trees to be removed be corrected in the staff report to reflect that 549 will be removed. Ms. Davis was concerned about the number of trees being removed and that the petitioner offered gift cards as an enticement in exchange for positive comments.

Jim Olguin, Buikema Law Group, attorney for the petitioner, stated that there was no ill intent in offering gift cards. Mr. Olguin stated that it was a thank you to people for showing support and that it was a marketing item.

Beatrice Mologousis, Highland Fields HOA Board member, stated that the need for variations is extremely difficult to prove and that nothing of substance changed in the petition from before. Ms. Mologousis played a voicemail from Todd Paulson of McNaughton Development offering a gift of appreciation for sending a letter of support for the proposal. Ms. Mologousis stated that a petition to support the proposal was circulated to Village Center businesses. Ms. Mologousis stated that former Mayor Mickey Straub is also involved in the petition.

Chairman Trzupek stated that traffic engineers or other consultants can be paid to assist in a petition. Chairman Trzupek acknowledged that Mickey Straub had contacted him about the petition.

Reno Burdi, a resident of Highland Fields, was concerned about the location of the homes in relation to Highland Fields and the impact it will have on their property values.

Frank Hojjat, a resident of Highland Fields, asked how the properties adjacent will benefit from the subdivision and that the proposal needs to be evaluated on how it impacts neighbors.

Raj, a member of Highland Fields HOA, stated that Highland Fields has homes over 8,000 sq. ft. on larger lots and they will be impacted by the proposal.

Mike Hurtuk, a resident of Highland Fields, stated that he lives across the street from the entrance and is concerned about privacy. Mr. Hurtuk would not have purchased his home if he knew this was to be built.

Marc Pilipuf, a resident of Highland Fields, was concerned about widening the roadway, tree preservation, and the lighting on the entry monument.

Dr. Abdal Arrif, a resident of Highland Fields, was concerned about the density, the low quality and high volume of the homes. Dr. Arrif was also concerned about traffic.

Brad Bryndal, a resident of the Oak Knoll Subdivision and manager of the HOA, stated that there are traffic safety issues with the traffic circle currently and it will become worse with the addition of the homes.

An Oak Knoll resident (a name was not provided) stated that there are younger residents in the area with children. The resident stated that this development looks like something in the cornfields in the western suburbs and would ruin Burr Ridge's character.

Dr. Mubarak Mirjat, a resident of Highland Fields, stated that the roads and roundabout are broken. Dr. Mirjat stated that if there were larger homes, they could be incorporated into solving the roundabout issues.

Steve Artino and his family own the southern addition of Highland Fields, 11 vacant lots. Mr. Artino stated that his family was forced to comply with Village requirements and go into the Highland Fields HOA. Mr. Artino stated that it wouldn't be fair if the petitioner didn't have to comply with the same standards and be incorporated into the Highland Fields HOA. Mr. Artino has seen these types of cluster homes before in North Carolina and believes they will affect property values. Mr. Artino asked what would prevent them from coming back in the future and expanding the development with more homes.

Chairman Trzupek stated that he has not seen a petitioner come back to alter a PUD to that extent.

Tom Rediehs asked why the road access had to come from 87th St.

Char, a resident of Highland Fields, read the vision statement of the Village found on the website and stated that the proposal is contradictory to the vision.

Paul Peterson, a resident of Lakeside Pointe Subdivision, stated that he and his wife are happy living in the subdivision.

Vlad Popovski stated that the proposal doesn't make sense.

Mario Martini, a resident of Highland Fields, did not support the proposal.

Mark Maharab stated that the information provided was misleading and that the proposal is not Fieldstone. Mr. Maharab stated that everyone pays taxes which is not a public benefit.

Omar Gwedari, a resident of Highland Fields, stated that is a beautiful plan but not for this area and that it is too dense.

Ben Shipper lives across County Line Rd. and moved to Burr Ridge to live in an area with larger lots and larger homes. Mr. Shipper is concerned with traffic and stated that the proposal needs to be consistent with the area.

Ellen Raymond stated that she does not live close to the site but that this affects everyone in the Village and could set a trend. Ms. Raymond questioned the purpose of the cluster homes if the trees are not being saved. Ms. Raymond stated that the gift card incentive made a mockery of the public hearing.

Joe Parente, 8734 Johnston, stated that without a variation, the proposal fails. Mr. Parente questioned the fiscal impact information provided and did not believe the development was appropriate for the area. Mr. Parente stated that the petitioner is creating their own necessity for a variation by putting too many homes on the lot.

Zafia, a resident of Oak Knoll, stated that this is a beautiful, natural area and the dynamic will change. The resident was concerned about property values, traffic, and the safety of children taking buses to school.

There was no additional public comment and Chairman Trzupek asked for Plan Commission comment.

Commissioner Irwin stated that the development is too dense, the lots are too small, did not appreciate the trend of submitting repeat petitions, the lot is too small for a PUD, and too many trees are being removed which is inconsistent with the Comprehensive Plan. Commissioner Irwin relies on community input and has an issue with undisclosed payments and endorsements by political lobbyists.

Commissioner McCollian thanked everyone for coming out and stated that public comment is important. Commissioner McCollian stated that offering compensation undermines the entire process and puts motives into the question. Commissioner McCollian stated that the density is too much, and the variance requirements are not met.

Commissioner Parrella thanked everyone for coming out and McNaughton for the presentation and research. Commissioner Parrella agreed some of the community is aging and may look for an alternative, but the development is too dense. Commissioner Parrella stated that it was bad form to be giving out gift cards and even marketing has some rules.

Commissioner Petrich believed that R-2A was more appropriate and was in line with Highland Fields and Arrowhead Farms. Commissioner Petrich stated that the illustrative concept plan is more appropriate for the area.

Commissioner Broline does not see how the development was designed for the benefit of the Burr Ridge community and that the development is for economic interest. Commissioner Broline questioned where the benefit was for a PUD and that additional stormwater detention is not a benefit but a statement of design. The Commission rejected R-3 and the plan is exactly the same. Commissioner Broline stated that not a single parameter matches R-2B.

Commissioner Stratis agrees with other Commissioners and questioned the appraisal and comps due to the unusual times in real estate with COVID. Commissioner Stratis does not see a hardship for a variance. Topography to the petitioner is a problem, but Commissioner Stratis believes it could be a benefit. Commissioner Stratis believes R-2A is more appropriate. Commissioner Stratis believes that there is demand for the use but the Cottages of Drew which is similar still has not sold any lots and he is not convinced on the need. Commissioner Stratis has attended many public hearings and has never seen someone offering cards. Commissioner Stratis stated it was bad judgement. Commissioner Stratis did not believe that the letters of support were real and believes it was in bad taste and compromised the application.

Commissioner Morton echoed the gift card comments and that they were inappropriate. Commissioner Morton stated that the message months ago was that it was too dense and now it is as dense as before. Commissioner Morton stated the development does not conform to R-2B

and is closer to R-3. Commissioner Morton stated that the animated fly-over shows a tight and compact development with a lack of off-street parking. Commissioner Morton did not support Heritage Drive left as a dead-end without a cul-de-sac.

Joe Parente stated that nothing has changed in the proposal and there should be a clear message that another submission which is the same is not acceptable.

Chairman Trzupek stated that he was contacted by petitioner beforehand asking for his opinion and he had a meeting with staff about what he sees as issues which included the former Mayor. Chairman Trzupek stated that he saw density, traffic, and zoning as issues, with the proposal potentially different as an empty-nester development. Chairman Trzupek stated that about a dozen lots could be built at R-2A with bigger homes, a different price-point, and different market. This would require clear cutting of trees for larger lots and larger houses, which serves as his comparison to the proposal. Chairman Trzupek believes the property should be R-2A. Chairman Trzupek stated that density, the location of houses, and more variances needed for the PUD becomes a problem.

Two unidentified members of the public questioned the integrity of the future information provided if the case was continued and what would happen during development.

Mrs. Artino stated that she never saw so many people come out in opposition to a project which should speak volumes to the petitioner. Mrs. Artino stated it is a great project but does not belong in Highland Fields where it can affect other homes.

Mr. Barry appreciated the comments and requested a continuance due to the volume of information provided. Chairman Trzupek asked what the petitioner would come back with. Mr. Barry stated he needed time to process the comments.

A **MOTION** was made by Commissioner Stratis to continue the public hearing for Z-25-2022 until December 19, 2022. The motion failed for lack of a second.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to close the public hearing for Z-25-2022.

ROLL CALL VOTE was as follows:

AYES: 8 – McCollian, Parrella, Irwin, Petrich, Broline, Stratis, Morton, and Trzupek

NAYS: 0 - None

MOTION CARRIED by a vote of 8-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to recommend denial of Z-25-2022, requests to rezone the property as per section VI.E of the Zoning Ordinance from the R-1 Single-Family Residence District to the R-2B Single-Family Residence District; variations for a Planned Unit Development (PUD) on a parcel measuring 15 acres with 585.5 ft. of lot width instead of the 40 acres and 800 ft. of lot width required as per section VI.E.3.b

of the Zoning Ordinance; a special use for a PUD as per section VI.E.2 of the Zoning Ordinance; and Preliminary Plan approval of the PUD as per section XIII.L.2.c.

ROLL CALL VOTE was as follows:

AYES: 8 – Stratis, Irwin, McCollian, Parrella, Petrich, Broline, Morton, and Trzupek

NAYS: 0 - None

MOTION CARRIED by a vote of 8-0.

D. Z-26-2022: 525 Village Center Drive (AT&T); Special Use, PUD Amendment, and Findings of Fact

Chairman Trzupek introduced the case and asked for a summary. Director Farrell stated that the request was for a special use for a personal wireless facility and to amend the PUD for the Village Center. The parking garage will house the equipment where the HVAC equipment is now located. The antennae will go on top of the stairwell to the parking garage. Elevations of the façade and renderings were requested to see the screen wall and how it matched the rest of the façade but were not received. The antennae cannot exceed 10 ft. above the structure. In one area, it is 10 ft. and in the other it is 14 ft. which needs to be specifically approved as part of the special use.

The petitioner, Julie Baniqued with LCC Telecom Services, introduced herself and Andrew Flowers, real estate manager with AT&T, and Jim Lehy with LCC Telecom Services. Ms. Baniqued stated that the site was chosen for its location and height to provide effective services. The antennae are 6 ft. tall with 12 panels, 55 ft. above ground level. The screen wall of fiberglass will allow the service to move through the screen and will match the facade of the building. The equipment and generator will be in the garage inside the HVAC enclosure. The site will be owned and maintained by Nexius Solutions on behalf of the carrier, AT&T. Mr. Flowers stated the screen wall will have the same texture and material as the building and is difficult to bring in but can be made to look like anything. The antennae will provide 360-degree coverage from I-55 out into the community, a 1.5 to 2-mile area where there are connectivity issues.

Chairman Trzupek asked for public comment. There were no public comments. Chairman Trzupek asked for Commissioner discussion.

Commissioner Morton stated that the tower will be visible to anyone driving into Burr Ridge Parkway and the feeder street and is concerned about how the additional height will affect building proportions. Commissioner Morton hoped that carbon monoxide concerns have been addressed and asked what "G" the service was. Mr. Flowers stated it is 5G. Commissioner Morton stated that the public should be aware of this since it was not specified in the packet. Mr. Flowers stated that they are required to meet FCC standards.

Commissioner Stratis questioned what the screen wall was going to look like which was missing from the large set of information provided. Mr. Flowers stated that the Village Center ownership was concerned about appearances. Commissioner Stratis requested to see and touch the screen wall material.

Commissioner Broline confirmed the structural design loads with the petitioner and that the screening will be subject to the same loads.

Commissioner Petrich asked where the other locations are. Mr. Flowers stated the water tower, CNH, on 91st Street, and along I-55. Mr. Flowers stated that the site is meant to improve coverage and the bank building, Marriott, and Village Hall had turned them down. Commissioner Petrich stated that this is the primary intersection for the Village and is concerned about the appearance. Mr. Flowers stated that false windows could be put in. Commissioner Petrich stated that there should be a parapet or coping at the top.

Commissioner Parrella would like to see the materials and asked about the hazards. Mr. Flowers stated that they are regulated by the FCC and if they exceed thresholds, they can get fined. Commissioner Parrella requested safety information, screen wall material information, and renderings.

Commissioner McCollian seconded the previous comments.

Commissioner Irwin seconded the previous comments.

Commissioner Petrich is a structural engineer and did not see anything about snow loads and drifts on the screen wall. Mr. Flowers stated that he can update the packet with that information.

Chairman Trzupek asked how the steel beam on top of the parapet is tied back to the building. Mr. Flowers believed it was tied back to the building. Chairman Trzupek did not advise to sit a beam on top of the stone parapet since the stone needs to be maintained. Chairman Trzupek recommended that the screen wall sit back to maintain the parapet wall since the color will not be matched and decorative elements will be buried. Chairman Trzupek questioned if a neutral color would be better instead of having two colors. Mr. Flowers will also investigate the opportunity to reduce the height of the screen wall and confirmed the RF panels are solid, not louvered. Chairman Trzupek requested photos of other installations and was concerned about the joints in the panels which will be visible.

Commissioner Petrich confirmed with the petitioner that the generator was emergency use only.

The Commissioners requested information on the screen wall including photos of existing installations as examples and a photo rendering.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Irwin to continue the public hearing for Z-26-2022 to January 16, 2023.

ROLL CALL VOTE was as follows:

AYES: 8 – Morton, Irwin, McCollian, Parrella, Petrich, Broline, Stratis, and Trzupek

NAYS: 0 - None

MOTION CARRIED by a vote of 8-0.

IV. CORRESPONDENCE

There were no reports and no comments.

V. OTHER CONSIDERATIONS

A. PC-07-2022 Election of Vice-Chair

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to recommend that Commissioner Morton serve as the Vice Chairperson for the 2023 calendar year.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Petrich, McCollian, Parrella, Broline, Stratis, and Trzupek

NAYS: 0 - None**ABSTAIN**: 1 - Morton

MOTION CARRIED by a vote of 7-0 with one abstention.

VI. PUBLIC COMMENT

There was no other public comment.

VII. FUTURE MEETINGS

Director Farrell listed the cases scheduled for the December 19th and January 16th Plan Commission meetings and those representatives scheduled for December 12th and January 9th Board of Trustees meetings.

VIII. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Broline to adjourn the meeting at 10:03 p.m.

ROLL CALL VOTE was as follows:

AYES: 8 – Irwin, Broline, McCollian, Parrella, Petrich, Stratis, Morton, and Trzupek

NAYS: 0 - None

MOTION CARRIED by a vote of 8-0.

Respectfully Submitted:	
	Janine Farrell, AICP
	Community Development Director



Z-26-2022: 525 Village Center Drive (AT&T); Request for a special use for a personal wireless facility as per section VIII.C.2 of the Zoning Ordinance and to amend Ordinance A-834-10-05 to permit alterations to the structure related to the wireless facility.

HEARINGS:

December 5, 2022 and February 6, 2023

TO:

Plan Commission Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP Community Development Director

PETITIONER:

Nexius Solutions, Inc. on behalf of AT&T Mobility Corporation

PETITIONER STATUS:

Leaseholder

PROPERTY OWNER:

BRVC Owner, LLC

EXISTING ZONING:

B-2 Business Planned Unit Development (PUD)

LAND USE PLAN:

Recommends Mixed Uses

EXISTING LAND USE:

Mixed-Use Center

SITE AREA:

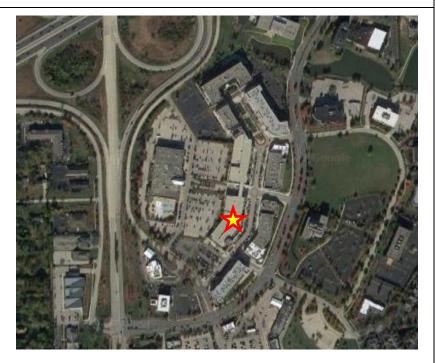
20 Acres

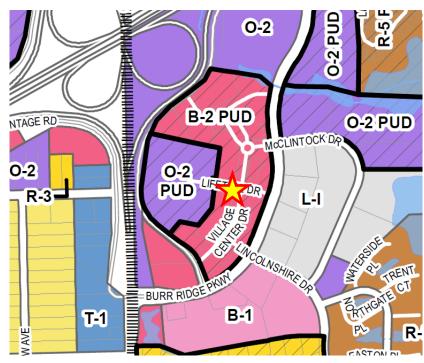
SUBDIVISION:

Burr Ridge Village Center

PARKING:

1,145 Spaces





Z-26-2022: 525 Village Center Drive (AT&T); Special Use, PUD Amendment, and Findings of Fact

The petitioner, Nexius Solutions, Inc. on behalf of AT&T Mobility Corporation, is requesting a special use for a personal wireless facility to be located on the rooftop of a parking garage structure at 525 Village Center Dr. Julie Baniqued with LCC Telecom Services is acting as the agent for the case.

The personal wireless facility will consist of installing antennae and support equipment. The support equipment (cabinets, conduit, generator, and racks) will be located inside of the parking garage adjacent to existing HVAC equipment, within a 14' by 15'10" leased area. The antennae will be mounted on top of the building, extending 12' and 10' above the existing structure. This results in an overall maximum height of 59'8"; the current building height is 49'8" and 46'. The antennae will be screened by a "new RF transparent screen wall enclosure to match building sections below." At the December 5, 2023 public hearing, the Plan Commission requested additional information, including renderings and a material sample, of the screen wall. Renderings are included as an attachment and a material sample will be brought to the February 6, 2023 meeting.

Zoning Ordinance section IV.V details the regulations for personal wireless facilities. The proposal's compliance with these regulations is detailed below:

- IV.V.1.b: The location attached to an existing structure within a non-residential is permitted but requires a special use in the B-2 district (section VIII.C.2).
- IV.V.2.b: The maximum height permitted cannot exceed 10 ft. above the height of the existing structure unless specifically approved by a special use. The petitioner is proposing the antennae to extend 12 ft. above the structure. The original proposal was up to 14 ft. above the structure. Should the Commission recommend approval, a condition has been added to permit the additional height.
- IV.V.4.a: Personal wireless facilities attached to the roof of a structure are required to blend into the architecture of the building. While a screen wall is proposed, there are insufficient details to determine if it blends into the architecture of the building at this time.
- IV.V.6.a-b: The petitioner has provided structural specifications on the antennae and states that the facility will meet FCC regulations.
- IV.V.7: The location of personal wireless facilities on existing structures is preferred.

Public Hearing History

For this specific address at the Village Center, for the parking garage and rooftop, no previous zoning cases were found since the original construction of the building.

Public Comment

One public comment was received and is included as an attachment.

Staff Report and Summary

Z-26-2022: 525 Village Center Drive (AT&T); Special Use, PUD Amendment, and Findings of Fact

Findings of Fact and Recommendation

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend approval of the request for a special use for a personal wireless facility as per section VIII.C.2 of the Zoning Ordinance and to amend Ordinance A-834-10-05 to permit alterations to the structure related to the wireless facility, staff recommends the following conditions:

- 1. The development shall substantially comply with the submitted plans, attached as Exhibit A.
- 2. The maximum height permitted is up to 12 ft. above the height of the existing structure.

Appendix

Exhibit A – Petitioner's Materials and Public Notifications

- Petition with narrative
- Authorization from owner
- Compliance with Zoning Ordinance standards and Findings of Fact
- Public Notifications
- Renderings
- Plans

Exhibit B – Public Comment





VILLAGE OF BURR RIDGE



PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

GENERAL INFORMATION (to be completed by Petitioner)		
PETITIONER (All correspondence will be directed to the Petitioner):Julie Baniqued		
STATUS OF PETITIONER: Authorized Representative		
PETITIONER'S ADRESS: 10700 W. Higgins Road, Suite 240, Rosemont, IL 60018		
ADDRESS OF SUBJECT PROPERTY: 525 Village Center Drive, Burr Ridge, IL 60527		
PHONE: (580) 352-2718		
EMAIL: jbaniqued@lcctelecom.com		
PROPERTY OWNER: BRVC Owner LLC		
PROPERTY OWNER'S ADDRESS: 525 Village Center Drive, Burr Ridge, IL PHONE: (580) 352-2718		
PUBLIC HEARING REQUESTED: Special Use Rezoning Text Amendment Variation(s)		
DESCRIPTION OF REQUEST:		
Application for Special Use approval for the proposed co-location of a personal wireless service facility on the		
roof of an existing building at the above referenced address.		
Amending PuD Ordinance A-834-10-05 gg		
PROPERTY INFORMATION (to be completed by Village staff)		
PROPERTY ACREAGE/SQ FOOTAGE: 7-20 acres Existing zoning: B-2 PUD		
EXISTING USE/IMPROVEMENTS: MIXED-USO COMPONENT		
SUBDIVISION: Burr Ridge Village Center PUD-Burr Ridge Corporate Park		
PIN(S) # 18-30-300-032-0000		
A second		
The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.		
10/21/2022 Petitioner's Signature Date of Filing		

Site Data Sheet

Applicant: Nexius Solutions, Inc.

2051 Midway Road Lewisville, TX 75056

AT&T Mobility Corporation 930 National Parkway Schaumburg, IL 60173

Agent: Julie Baniqued

LCC Telecom Services 10700 Higgins Road

Suite 240

Rosemont, IL 60018

Personal Wireless Nexius

Facility Owner: 2051 Midway Road

Lewisville, TX 75056

Applicant's Interest in the

Property:

Leasehold

Property Owner: BRVC Owner LLC

525 Village Center Drive Burr Ridge, IL 60527

Address of Property: 525 Village Center Drive

Burr Ridge, IL 60527

Parcel Number: 18303000320000

Request: Application for a special use permit and any other approvals or

permits necessary to co-locate a personal wireless service facility within a 14'-0" x 15'-0" lease area on the rooftop of an

existing building.

Narrative Overview

Nexius Solutions, Inc. ("Nexius") on behalf of AT&T Mobility Corporation ("AT&T") seeks approval of a special use permit and any other permits or approvals necessary in order to install a personal wireless service facility on an existing structure located at 525 Village Center Drive, Burr Ridge, IL 60527. Nexius has an agreement with AT&T to develop this site on its behalf. AT&T has acquired the necessary licenses from the Federal Communications Commission ("FCC") to provide Personal Communications Services ("PCS") coverage throughout the United States. These licenses include Burr Ridge, Illinois.

The proposed site is located in the General Business District (B-2). Pursuant to Section IV(V) (Regulations for Personal Wireless Service Facilities) of the Burr Ridge Zoning Ordinance, personal wireless service facilities are allowed to be attached on existing structures in non-residential zoning districts with special use approval.

The personal wireless service facility Nexius is proposing to install on the property for AT&T is necessary to provide uninterrupted PCS services to the residents of Burr Ridge, including wireless telephone service, voice paging, messaging and wireless internet, and broadband data transmission. All registered wireless provider's technology operates at various radio frequency bands allocated by the FCC as part of their license.

Personal wireless service systems operate on a grid system where overlapping cells mesh together, forming a seamless network. No single site can function as a stand-alone entity as each site is interconnected, forming the network. The technical criteria for establishing cell sites are very exacting as to the location and height. The proposed site at 525 Village Center Drive is within the geographic area deemed necessary for AT&T to deliver uninterrupted services.

In accordance with the Burr Ridge Zoning Ordinance, Nexius and AT&T have made application to co-locate a personal wireless service facility. The proposed personal wireless service facility will consist of installing antennae and supportive equipment within a 14'-0" x 15'-0" lease area on the roof of an existing building.

The facility is unstaffed and will require service technicians, in a pick-up/van sized vehicle, to visit the site approximately once per month. The site is entirely self-monitored through a

sophisticated alarm system which is connected to a main switch station. The system alerts personnel to any equipment malfunction or breach of security. There is no need for additional police or fire support. Additionally, there is no impact on the village's utilities such as water, sanitation as they are not used. The only utilities used in connection with the personal wireless service facility are power and land-line telephone.

In accordance with FCC regulations, the personal wireless service facility will not interfere with any form of communications, including but not limited to, land-line phones, cable and satellite television and radio broadcasts. PCS technology has become a vital part of emergency services, aiding local residents and motorists in a variety of situations, thus helping to protect the general public's health, safety and welfare. The proposed wireless telecommunications facility at this site will further enhance goals of providing the most reliable network possible in this area.

The proposed personal wireless service facility will be designed and constructed to meet all applicable governmental and industry safety standards. Specifically, Nexius and AT&T will comply with all FCC and FAA rules and regulations regarding construction requirements and technical standards. Any and all RF emissions are subject to the exclusive jurisdiction of the FCC. Any height, lighting or marking issues are subject to the exclusive jurisdiction of the FAA.

LCC Telecom Services, on behalf of Nexius and AT&T, looks forward to working with Burr Ridge to bring the benefits of the proposed service to the area. The addition of the facility will ensure the best uninterrupted wireless services for the village. This application addresses all standards and satisfies the requirements of the Burr Ridge Zoning Ordinance.

October 6, 2022

Community Development Village of Burr Ridge 7660 County Line Road Burr Ridge, IL 60527

RE: 525 Village Center Drive - AT&T – IL4218

Please be advised that LCC Telecom Services on behalf of AT&T Mobility are authorized to apply, pay for, and secure any and all permits, approvals, or other governmental authorizations for AT&T Mobility's proposed cellular site located at 525 Village Center Drive on behalf of the deeded owner, BRVC Owner LLC.

Sincerely,

Name

WARRER

Title

Personal Wireless Service Facility Standards

The proposed site also meets the requirements of Chapter 4(V) - Regulations for Personal Wireless Service facilities. The following are requirements that apply to rooftop facilities.

Permitted Locations

- 1. A special use is required and may be requested for any public utility service use that satisfies the definition of personal wireless service facility, as defined herein, provided that the proposed location satisfies any one of the criteria listed below.
 - The proposed location of the Personal Wireless Service Facilities is attached to an existing building or structure within a non-residential district.
 - The proposed location of the Personal Wireless Service Facilities is within a manufacturing district and is not within 1000 feet of a residential district or is separated from residential districts by a freeway or principal arterial as defined by the Village of Burr Ridge Comprehensive Plan.
 - The proposed location of the Personal Wireless Service Facilities is located on a property owned by or used for municipal services.

The proposed personal wireless service facility will be located on an existing building within a non-residential district, General Business (B-2).

Maximum Height for Personal Wireless Service Facilities

- 1. An applicant for approval of a Personal Wireless Facility shall demonstrate that the Personal Wireless Facilities do not exceed the minimum height required to function satisfactorily. Under any circumstances, Personal Wireless Facilities shall not exceed the following height restrictions unless otherwise specifically approved by grant of a special use permit as per Section IV.V.3, herein:
 - If mounted on the roof of an existing building or structure, the height of an antenna shall not exceed 10 feet above the height of the existing structure.
 - An antenna attached to the side of a building, structure, or tower, shall not extend above the roof of the building, structure, or tower.

The proposed personal wireless service facility will not exceed the height restrictions outlined above.

Screening and Site Location for Personal Wireless Service Facilities Attached to Existing Buildings or Structures

1. Personal Wireless Facilities may be attached to the wall or roof of a building subject to height restrictions herein. Such Facilities shall not be attached to the front wall of a building unless it can be shown that other locations are not feasible and that the Facilities shall be made to effectively blend into the architecture of the building.

The proposed personal wireless service facility will be located on the roof of an existing building, and therefore not on the front wall of the building.

 Personal Wireless Facilities and their support structures attached to an existing building or structure shall be of a color identical to the building or that maximizes the blending of the Facilities and support structures into the architecture of the building or structure.

The proposed facility includes a new RF transparent screen that is intended to look like the surrounding building design.

Personal Wireless Facilities and their support structures attached to an existing building or structure shall not extend more than 24 inches beyond the wall of such building or structure.

The proposed facility will not extend past 24 inches beyond the building wall as restricted in the Burr Ridge Zoning Ordinance.

Compliance with Governmental and other Safety Regulations

1. The applicant shall demonstrate that the proposed antennas and support structures are safe and that surrounding areas will not be negatively affected by support structure failure, falling ice, or other debris. All support structures shall be fitted with anti-climbing devices, as approved by the manufacturers.

A structural analysis and stealth design calculations demonstrating the safety of the proposed personal wireless service facility design were submitted as part of this application.

 All towers and antennas shall comply with the current standards and regulations of the Federal Communications Commission, the Federal Aviation Administration, and any other agency of the federal government with the authority to regulate towers and antennas.

The proposed personal wireless service facility will comply with all current standards and regulations of the FCC and FAA.

Address:

525 Village Center Drive, Burr Ridge, IL 60527

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

Personal wireless service systems operate on a grid system where overlapping cells mesh together, forming a seamless network. No single site can function as a stand-alone entity as each site is interconnected, forming the network. The technical criteria for establishing cell sites are very exacting as to the location and height. The proposed site at 525 Village Center Drive is within the geographic area deemed necessary for AT&T and various other wireless telecommunications providers to deliver uninterrupted services. The proposed site will particularly provide improved voice and data services to businesses and visitors to the Burr Ridge Center complex. This improved service will benefit Burr Ridge and its residents.

b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The proposed personal wireless service facility will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Wireless facilities provide an alternate communication system which has repeatedly proven its effectiveness in emergency situations and is commonly being used by police and fire departments to protect the general public's health, safety, and welfare. Also, wireless facilities do not interfere with any other form of communications whether public or private, or in any way endanger the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors. Lastly, all personal wireless service facilities are governed by FCC and FAA regulations. As such, all spectrum used to provide a wireless signal are allocated by the FCC which has deemed the signals will not cause any healthrelated affects.

c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The proposed personal wireless service facility will be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used, enjoyed, and developed as zoned. The facility will be situated on a portion of the existing structure roof which will minimize the visual impact from ground level. The site does not generate noise or traffic which would be detrimental to surrounding properties. The proposed facility also will not impair an adequate supply of light and air to adjacent property, increase the danger of fire, nor will it substantially diminish or impair property values within the General Business District. Overall, the improved wireless signal aims to enhance the usage and development of the surrounding properties.

d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The operation of the proposed personal wireless service facility will not impede on normal and orderly development and improvement of surrounding properties due to its diminutive size, discreet location on the roof of an existing building, and being unstaffed.

e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

No access road or drainage is necessary for the proposed co-location of a personal wireless service facility. The facility will only use power and fiber utilities that are already existing on site.

f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The proposed personal wireless service facility will use the existing roof access for the building. This facility is unstaffed and will be visited approximately once per month by a technician in a van sized vehicle. There will be no traffic congestion in the public streets as a result of the installation at this property.

g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed personal wireless service facility will align with the general spirit and objectives of the Official Comprehensive Plan of the Village of Burr Ridge.

h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The proposed personal wireless service facility is permitted as a special use in the B-2, General Business District. The proposed use will comply with all appropriate regulations and conditions of the Burr Ridge Zoning Ordinance.

Special Use Permit Standards

For each application for a Special Use Permit, the Community Development Director verifies if the application is complete, and then forwards the complete applications to the Plan Commission who reports to the Village Board of Trustees its findings and recommendations. The findings and recommendations from the Plan Commission include any stipulations of additional conditions and guarantees that such conditions will be complied with when they are deemed necessary for the protection of the public interest. The Plan Commission will not recommend a special use approval to the Village Board of Trustees unless the following standards are met.

- 1. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.
 - Personal wireless service systems operate on a grid system where overlapping cells mesh together, forming a seamless network. No single site can function as a standalone entity as each site is interconnected, forming the network. The technical criteria for establishing cell sites are very exacting as to the location and height. The proposed site at 525 Village Center Drive is within the geographic area deemed necessary for AT&T and various other wireless telecommunications providers to deliver uninterrupted services. The proposed site will particularly provide improved voice and data services to businesses and visitors to the Burr Ridge Center complex. This improved service will benefit Burr Ridge and its residents.
- 2. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
 - The proposed personal wireless service facility will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. To the contrary, enhanced wireless telecommunications will be beneficial to the health, safety, morals, comfort, and welfare of the area. Wireless facilities provide an alternate communication system which has repeatedly proven its effectiveness in emergency situations and is commonly being used by police and fire departments to protect the general public's health, safety, and welfare. Also, the location on an existing structure and due to the diminutive size of the proposed equipment and lease area, the proposed site will not have an adverse effect on the surrounding properties nor the character of the area. Wireless facilities do not interfere with any other form of communications whether public or private, or in any way endanger the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors. Lastly, all personal wireless service facilities are governed by FCC and FAA regulations. As such, all spectrum

used to provide a wireless signal are allocated by the FCC which has deemed the signals will not cause any health-related affects.

3. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The proposed personal wireless service facility will be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used, enjoyed, and developed as zoned. The facility will be situated on a portion of the existing structure roof which will minimize the visual impact from ground level. The site does not generate noise or traffic which would be detrimental to surrounding properties. The proposed facility also will not impair an adequate supply of light and air to adjacent property, increase the danger of fire, nor will it substantially diminish or impair property values within the General Business District. Overall, the improved wireless signal aims to enhance the usage and development of the surrounding properties.

4. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The operation of the proposed personal wireless service facility will not impede on normal and orderly development and improvement of surrounding properties due to its diminutive size, discreet location on the roof of an existing building, and being unstaffed.

5. Adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.

No access road or drainage is necessary for the proposed co-location of a personal wireless service facility. The facility will only use power and fiber utilities that are already existing on site.

6. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The proposed personal wireless service facility will use the existing roof access for the building. This facility is unstaffed and will be visited approximately once per month by a technician in a van sized vehicle. There will be no traffic congestion in the public streets as a result of the installation at this property.

7. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed personal wireless service facility will align with the general spirit and objectives of the Official Comprehensive Plan of the Village of Burr Ridge.

8. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The proposed personal wireless service facility is permitted as a special use in the B-2, General Business District. The proposed use will comply with all appropriate regulations and conditions of the Burr Ridge Zoning Ordinance.

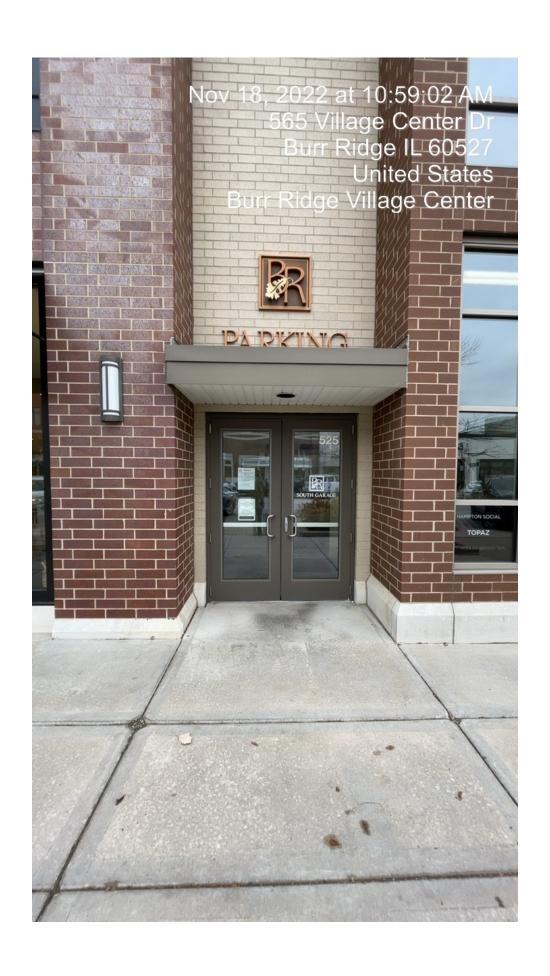


VILLAGE OF BURR RIDGE PLAN COMMISSION AND ZONING BOARD OF APPEALS

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:	525 Village Center Drive, Burr Ridge, IL 60527
Property Owner or Petitioner:	Julie Baniqued (Print Name)
	Juli Baniques



565 Village Center Dr Burr Ridge IL 60527 United States Burr Ridge Village Center







MAYOR
GARY GRASSO
VILLAGE CLERK
SUE SCHAUS
VILLAGE
ADMINISTRATOR
EVAN WALTER

LEGAL NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at 7:00 p.m. on Monday, December 5, 2022, at Village Hall, 7660 County Line Road, Burr Ridge, Illinois, 60527.

PURPOSE OF HEARING

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider requests by Nexius Solutions, Inc. on behalf of AT&T Mobility Corporation for a special use for a personal wireless facility as per section VIII.C.2 of the Zoning Ordinance and to amend Ordinance A-834-10-05 to permit alterations to the structure related to the wireless facility. The petitioner seeks to co-locate a cellular site at an existing rooftop, including installation of an antennae and support equipment. The petition number and address of this petition is Z-26-2022: 525 Village Center Drive and the Permanent Real Estate Index Number is 18-30-300-032-0000.

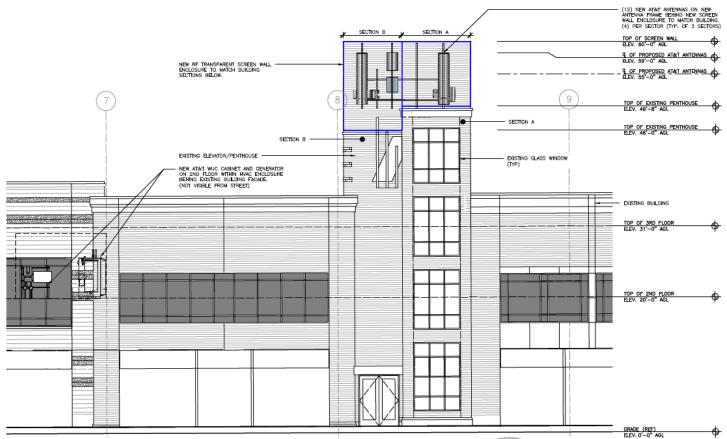
Public comment may be provided by individuals who physically attend the meeting at 7660 County Line Road, Burr Ridge, Illinois, 60527. All written public comment wishing to appear in the Plan Commission report shall be provided no later than Tuesday, November 29, 2022. All public comment may be emailed to Community Development Director Janine Farrell (jfarrell@burr-ridge.gov) or mailed to Ms. Farrell's attention at the address above. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

Greg Trzupek, Chairman

MEMBERS: GREG TRUZPEK, MIKE STRATIS, JIM BROLINE, BARRY IRWIN, JOSEPH PETRICH, ENZA PARRELLA, RICHARD MORTON, AND DEANNA MCCOLLIAN.





5260

Easy Peel Address Labels Bend along line to expose Pop-up Edge

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18-30-300-056-1001 James Glimco 450 Village Center Drive #201 Burr Ridge, IL 60527

18-30-300-056-1004 Joan Sikora 450 Village Center Drive #204 Burr Ridge, IL 60527

18-30-300-056-1007 **Nancy Tameling** 450 Village Center Drive #207 Burr Ridge, IL 60527

18-30-300-056-1009 Michael J. Criscione 450 Village Center Drive #209 Burr Ridge, IL 60527

18-30-300-056-1012 Kevin Kopp 450 Village Center Drive #212 Burr Ridge, IL 60527

18-30-300-056-1015 Presidio Capital LLC 3 Grant Street, Suite 415 Hinsdale, IL 60521

18-30-300-056-1018 Christopher S Cole 450 Village Center Drive #301 Burr Ridge, IL 60527

18-30-300-056-1021 Geno Napolitano 450 Village Center Drive #304 Burr Ridge, IL 60527

18-30-300-056-1024 Linnette Bullock 450 Village Center Drive #307 Burr Ridge, IL 60527

18-30-300-056-1027 Patricia Gould and Nicole Gould 450 Village Center Drive #310 Burr Ridge, IL 60527

18-30-300-056-1002 Elizabeth Levy 450 Village Center Drive #202 Burr Ridge, IL 60527

18-30-300-056-1005 Phillip Timyan 450 Village Center Drive #205 Burr Ridge, IL 60527

18-30-300-056-1008 Daniel Dabros 450 Village Center Drive #208 Burr Ridge, IL 60527

18-30-300-056-1010 Dariusz Wida 450 Village Center Drive #210 Burr Ridge, IL 60527

18-30-300-056-1013 Bejan Fakouri 450 Village Center Drive #213 Burr Ridge, IL 60527

18-30-300-056-1016 Alexander Thomas and Ellie Homan 450 Village Center Drive #216 Burr Ridge, IL 60527

18-30-300-056-1019 Demetrio G Vea 2 Saddle Court Burr Ridge, IL 60527

18-30-300-056-1022 Filip Traikov 450 Village Center Drive #305 Burr Ridge, IL 60527

18-30-300-056-1025 Steven Jiotis 450 Village Center Drive #308 Burr Ridge, IL 60527

18-30-300-056-1028 Jerry Lee 450 Village Center Drive #311 Burr Ridge, IL 60527

18-30-300-056-1003 Kristin A Burka 450 Village Center Drive #203 Burr Ridge, IL 60527

18-30-300-056-1006 Nicholas Lykouretzos 450 Village Center Drive #206 Burr Ridge, IL 60527

18-30-300-056-1011 Thomas Murray 450 Village Center Drive #211 Burr Ridge, IL 60527

18-30-300-056-1014 Mona Mekhail 450 Village Center Drive #214 Burr Ridge, IL 60527

Jennifer Fox 450 Village Center Drive #217 Burr Ridge, IL 60527

18-30-300-056-1017

18-30-300-056-1020 Lorriance Bilthuis 450 Village Center Drive #303 Burr Ridge, IL 60527

18-30-300-056-1023 Cynthia Millinowisch 450 Village Center Drive #306 Burr Ridge, IL 60527

18-30-300-056-1026 Shirley A Strzyz 450 Village Center Drive #309 Burr Ridge, IL 60527

18-30-300-056-1029 **Guy Santillo** 450 Village Center Drive #312 Burr Ridge, IL 60527

Étiquettes d'adresse Easy Peel' pliez à la hachure afin de révéler le rébord Pop-up 18-30-300-056-1030 Martin Rola 450 Village Center Drive #313 Burr Ridge, IL 60527

18-30-300-056-1033 Kerry Murphy 450 Village Center Drive #316 Burr Ridge, IL 60527

18-30-300-056-1036 Mr. and Mrs. Caveney 450 Village Center Drive #402 Burr Ridge, IL 60527

18-30-300-056-1040 Stillman Chang 9550 Pacific Court Burr Ridge, IL 60527

18-30-300-056-1043 Jennifer Ryan 450 Village Center Drive #410 Burr Ridge, IL 60527

18-30-300-056-1046 Murray Homestead, L.L.C. 450 Village Center Drive #413 Burr Ridge, IL 60527

18-30-300-056-1049
David Arnold and George Izzo
450 Village Center Drive #416
Burr Ridge, IL 6527

18-30-300-056-1031 Jean M Randolph 450 Village Center Drive #314 Burr Ridge, IL 60527

18-30-300-056-1034 Donna Grabowski 450 Village Center Drive #317 Burr Ridge, IL 60527

18-30-300-056-1037 David Jelinek 450 Village Center Drive #403 Burr Ridge, IL 60527

18-30-300-056-1041 Ahmed & Khadija Shakir 450 Village Center Drive #408 Burr Ridge, IL 60527

18-30-300-056-1045 Maihlaqa and Heena Alavi 450 Village Center Drive #411 Burr Ridge, IL 60527

18-30-300-056-1047 Thomas Toellner 450 Village Center Drive #414 Burr Ridge, IL 60527

18-30-300-056-1050 Susan M Broucek 450 Village Center Drive #417 Burr Ridge, IL 60527 18-30-300-056-1032 Thomas and Judith Rediehs 450 Village Center Drive #315 Burr Ridge, IL 60527

18-30-300-056-1035 David A Cales 450 Village Center Drive #401 Burr Ridge, IL 60527

18-30-300-056-1038 Juanito Bartolome 450 Village Center Drive #404 Burr Ridge, IL 60527

18-30-300-056-1042 Artur Miller 450 Village Center Drive #409 Burr Ridge, IL 60527

18-30-300-056-1046 John Phelps 450 Village Center Drive #412 Burr Ridge, IL 60527

18-30-300-056-1048 Thomas F. Hurka 450 Village Center Drive #415 Burr Ridge, IL 60527

18-30-300-056-1039 Mr. Dean Henning 450 Village Center Drive #405 Burr Ridge, IL 60527 18-30-300-057-1001 Iyda Ghuneim 801 Village Center Drive, Unit 201 Burr Ridge, Illinois 60527

18-30-300-057-1002 Ms. Erin Holec 801 Village Center Drive, Unit 202 Burr Ridge, Illinois 60527 18-30-300-057-1003 Mr. and Mrs. Keefe 801 Village Center Drive, Unit 203 Burr Ridge, Illinois 60527

18-30-300-057-1004 Resident 801 Village Center Drive, Unit 204 Burr Ridge, Illinois 60527 18-30-300-057-1004 Mr. Raghuvansh Kumar 8161 Ridge Pointe Burr Ridge, Illinois 60527 18-30-300-057-1005 Rita D Stoss-Michaels 801 Village Center Drive, Unit 205 Burr Ridge, Illinois 60527

18-30-300-057-1006 Resident 801 Village Center Drive, Unit 206 Burr Ridge, Illinois 60527 18-30-300-057-1006 Alka Srivastava 9 Lake Ridge Court Burr Ridge, Illinois 60527

18-30-300-057-1007 Shafout J. Kahn 801 Village Center Drive, Unit 207 Burr Ridge, Illinois 60527 18-30-300-057-1008 Mr. Nicholas Meyers 801 Village Center Drive, Unit 208 Burr Ridge, Illinois 60527 18-30-300-057-1009 Sarla Gupta 801 Village Center Drive, Unit 301 Burr Ridge, Illinois 60527

18-30-300-057-1010 Ms. Carol Zapka 801 Village Center Drive, Unit 302 Burr Ridge, Illinois 60527 18-30-300-057-1011 Nancy Rizzuto 801 Village Center Drive, Unit 303 Burr Ridge, Illinois 60527

18-30-300-057-1012 Mr. Dominic Fava 801 Village Center Drive, Unit 304 Burr Ridge, Illinois 60527 18-30-300-057-1013 Mr. and Mrs. Paul Bellisario 801 Village Center Drive, Unit 305 Burr Ridge, Illinois 60527 18-30-300-057-1014 Abdul IIah Touleimat 801 Village Center Drive, Unit 306 Burr Ridge, Illinois 60527

18-30-300-057-1015 Mr. William Dillard 801 Village Center Drive, Unit 307 Burr Ridge, Illinois 60527 18-30-300-057-1022 Cartus Financial Corp 40 Apple Ridge Road Danbury CT 06810

18-30-300-057-1016 Ms. Maureen Denard 801 Village Center Drive, Unit 308 Burr Ridge, Illinois 60527

18-30-300-057-1017 Resident 801 Village Center Drive, Unit 401 Burr Ridge, Illinois 60527 18-30-300-057-1017 Davindra L. Sharma 6652 Manor Drive Burr Ridge, Illinois 60527 18-30-300-057-1018 Ms. Sandra Otto 801 Village Center Drive, Unit 402 Burr Ridge, Illinois 60527

18-30-300-057-1019 Debra Sutkowski-Markmann 801 Village Center Drive, Unit 403 Burr Ridge, Illinois 60527 18-30-300-057-1020 Resident 801 Village Center Drive, Unit 404 Burr Ridge, Illinois 60527 18-30-300-057-1020 Mr. Larry Edwards Siebs 34770 N. Los Reales Carefree, AZ 85377

18-30-300-057-1021 Resident 801 Village Center Drive, Unit 405 Burr Ridge, Illinois 60527

18-30-300-057-1021 Ms. Asha Sarode 502 Ambriance Drive Burr Ridge, IL 60527 18-30-300-057-1022 Resident 801 Village Center Drive, Unit 406 Burr Ridge, Illinois 60527 18-30-300-057-1023 Mr. and Mrs. Harbour 801 Village Center Drive, Units 407 Burr Ridge, IL 60527 18-30-300-054-1001 Resident 850 Village Center Drive, Unit 201 Burr Ridge, IL 60527

18-30-300-054-1001 Mr. and Mrs. Walk 36 S. Old Mill Lane Burr Ridge, IL 60527

18-30-300-054-1002 Mr. and Mrs. Kyksta 850 Village Center Drive, Unit 202 Burr Ridge, IL 60527

18-30-300-054-1003 Mr. Vincenzo Marino 850 Village Center Drive, Unit 203 Burr Ridge, IL 60527

18-30-300-054-1004 Resident 850 Village Center Drive, Unit 204 Burr Ridge, IL 60527 18-30-300-054-1004 Armarjit Singh 51 Ashton Court Burr Ridge, IL 60527 18-30-300-054-1005 Mr. Michael Simmons 850 Village Center Drive, Unit 205 Burr Ridge, IL 60527

18-30-300-054-1006 Mr. Michael Yost 850 Village Center Drive, Unit 206 Burr Ridge, IL 60527 18-30-300-054-1007 Vida Jankauskiene 850 Village Center Drive, Unit 207 Burr Ridge, IL 60527

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18-30-300-054-1012 Resident 850 Village Center Drive, Unit 212 Burr Ridge, IL 60527

18-30-300-054-1012 Elham Abboud 1241 Ashbury Court Libertyville, IL 60048 18-30-300-054-1013 Eloise Carnevale 850 Village Center Drive, Unit 213 Burr Ridge, IL 60527

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18-30-300-054-1017 Kil Nam and Hee Ja Kim 850 Village Center Drive, Unit 217 Burr Ridge, Illinois 60527 18-30-300-054-1018 Colette Rennie 850 Village Center Drive, Unit 218 Burr Ridge, Illinois 60527 18-30-300-057-1024 Mr. and Mrs. Wasz 801 Village Center Drive, Units 408 Burr Ridge, IL 60527

18-30-300-054-1019 Sylvia Lee 850 Village Center Drive, Unit 219 Burr Ridge, Illinois 60527 18-30-300-054-1020 Altobelli 850 Village Center Drive, Unit 220 Burr Ridge, Illinois 60527 18-30-300-054-1021 Alice Martin 850 Village Center Drive, Unit 221 Burr Ridge, Illinois 60527

18-30-300-054-1022 Ashok Kothari 850 Village Center Drive, Unit 301 Burr Ridge, Illinois 60527 18-30-300-054-1023 Sheela Singh 850 Village Center Drive, Unit 302 Burr Ridge, Illinois 60527 18-30-300-054-1024 Resident 850 Village Center Drive, Unit 304 Burr Ridge, Illinois 60527 Easy Peel Address Labels
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850 Village Center Drive, Unit 305

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18-30-300-054-1024 Francisco & Laura Cervantes 7619 Drew Avenue Burr Ridge, Illinois 60527

ge, Illinois 60527 Burr Ridge, Illinois 60527

18-30-300-054-1025 Devindra and Usha Sharma 6652 Manor Drive Burr Ridge, IL 60527

18-30-300-054-1026 Kaleinkovas Vitalijus 850 Village Center Drive, Unit 306 Burr Ridge, Illinois 60527 18-30-300-054-1027 Suryakant Patel 6816 Fieldstone Drive Burr Ridge, Illinois 60527

18-30-300-054-1025

Resident

18-30-300-054-1028 Philip Jepsen 850 Village Center Drive, Unit 308 Burr Ridge, Illinois 60527

18-30-300-054-1029 Resident 850 Village Center Drive, Unit 309 Burr Ridge, Illinois 60527 18-30-300-054-1029 Diane and Kemenko Jovic 7920 Deer View Court Burr Ridge, IL 60527

18-30-300-054-1031

Wesley Tate

18-30-300-054-1032 Catharine Danly 850 Village Center Drive, Unit 312 Burr Ridge, Illinois 60527

18-30-300-054-1030 James Kuksta 850 Village Center Drive, Unit 310 Burr Ridge, Illinois 60527

850 Village Center Drive, Unit 311 Burr Ridge, Illinois 60527

18-30-300-054-1035 David Atkenson 850 Village Center Drive, Unit 315 Burr Ridge, Illinois 60527

18-30-300-054-1033 Anthony Formato 850 Village Center Drive, Unit 313 Burr Ridge, Illinois 60527 18-30-300-054-1034 Mary Llsnich 850 Village Center Drive, Unit 314 Burr Ridge, Illinois 60527

> 18-30-300-054-1037 Resident 850 Village Center Drive, Unit 317 Burr Ridge, Illinois 60527

18-30-300-054-1036 Jason Nash 850 Village Center Drive, Unit 316 Burr Ridge, Illinois 60527

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 18-30-300-054-1038

 Ann L. Vaughan
 Mutie Naim Sughayer

 940 S. Vine Street
 850 Village Center Drive, Unit 318

 Hinsdale, IL 60521
 Burr Ridge, Illinois 60527

Hinsdale, IL 60521 Burr Ridge, Illinois 60527

18-30-300-054-1039 18-30-30

18-30-300-054-1040 Rishi Sharma 850 Village Center Drive, Unit 320 Burr Ridge, Illinois 60527

Kathleen Jaszka 850 Village Center Drive, Unit 319 Burr Ridge, Illinois 60527

> 18-30-300-054-1042 Lali Singh 850 Village Center Drive, Unit 401 Burr Ridge, Illinois 60527

18-30-300-054-1043 Robert & Marie Zumstein 850 Village Center Drive, Unit 402 Burr Ridge, Illinois 60527

18-30-300-054-1041 Patel 850 Village Center Drive, Unit 321 Burr Ridge, Illinois 60527

> 18-30-300-054-1045 Amy Seus 850 Village Center Drive, Unit 405 Burr Ridge, Illinois 60527

18-30-300-054-1046 Allan Thom 850 Village Center Drive, Unit 406 Burr Ridge, Illinois 60527

18-30-300-054-1044 James Chesniak 850 Village Center Drive, Unit 404 Burr Ridge, Illinois 60527

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18-30-300-054-1047 850 BR Condo LLC 850 Village Center Drive, Unit 407 Burr Ridge, Illinois 60527

18-30-300-054-1048 Gerald Cronk 850 Village Center Drive, Unit 408 Burr Ridge, Illinois 60527

Mr. Edmundo Sanchez 850 Village Center Drive, Unit 410 Burr Ridge, Illinois 60527

18-30-300-054-1049

18-30-300-054-1052 Mr. and Mrs. Kalnes 850 Village Center Drive, Unit 413 Burr Ridge, Illinois 60527 Mary Okolisam Samuel Basillious 850 Village Center Drive, Unit 411 Burr Ridge, Illinois 60527 18-30-300-054-1051 Gregory Shultz 850 Village Center Drive, Unit 412 Burr Ridge, Illinois 60527

18-30-300-054-1055 Resident 850 Village Center Drive, Unit 416 Burr Ridge, Illinois 60527 18-30-300-054-1053 Rick Michalak 850 Village Center Drive, Unit 414 Burr Ridge, Illinois 60527

18-30-300-054-1054 Diane Vivo 850 Village Center Drive, Unit 415 Burr Ridge, Illinois 60527

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Kumad Barman 850 Village Center Drive, Unit 419 Burr Ridge, Illinois 60527

18-30-300-058-1059 Jay Christopher 1000 Village Center Drive, Unit 416 Burr Ridge, Illinois 60527 18-30-300-054-1060 James O'Brien 850 Village Center Drive, Unit 421 Burr Ridge, Illinois 60527 18-30-300-058-1058 William Petty 1000 Village Center Drive, Unit 414 Burr Ridge, Illinois 60527

18-30-300-054-1047 850 BR Condo LLC 160 Green Tree Drive, Suite 101 Dover, Delaware 19904 18-30-300-058-1030 John Forkan 1000 Village Center Drive, Unit 214 Burr Ridge, Illinois 60527

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18-30-300-058-1036 Denise Lehnert 1000 Village Center Drive, Unit 304 Burr Ridge, Illinois 60527

18-30-300-058-1037 Claudia Navarro 1000 Village Center Drive, Unit 305 Burr Ridge, Illinois 60527 18-30-300-058-1038 Kathleen Becker 1000 Village Center Drive, Unit 306 Burr Ridge, Illinois 60527

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18-30-300-058-1044 Jean Rudolph 1000 Village Center Drive, Unit 312 Burr Ridge, Illinois 60527 18-30-300-058-1044 Mr. and Mrs. Pierre Wakim 107 Oak Ridge Drive Burr Ridge, IL 60527 18-30-300-058-1045 Dejan Derikonjie 1000 Village Center Drive, Unit 313 Burr Ridge, Illinois 60527

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18-30-300-058-1004 Atlagic Zeliko 1000 Village Center Drive, Unit 104 Burr Ridge, Illinois 60527 18-30-300-058-1005 Dhaliwal Tehsel Singh 1000 Village Center Drive, Unit 105 Burr Ridge, Illinois 60527 18-30-300-058-1006 Lynn Rebello 1000 Village Center Drive, Unit 106 Burr Ridge, Illinois 60527

18-30-300-058-1007 Joe Canfora 1000 Village Center Drive, Unit 107 Burr Ridge, Illinois 60527 18-30-300-058-1008 Edward Dobrotka 1000 Village Center Drive, Unit 108 Burr Ridge, Illinois 60527

18-30-300-058-1009 Ahmad Zuhaib 1000 Village Center Drive, Unit 109 Burr Ridge, Illinois 60527

18-30-300-058-1011

Burr Ridge, Illinois 60527

Burr Ridge, Illinois 60527

Kerry Postillion

18-30-300-058-1010 Mohammed Daaif & Ghussoun Kassam 1000 Village Center Drive, Unit 110 Burr Ridge, Illinois 60527

18-30-300-058-1013 Dean Norman

1000 Village Center Drive, Unit 113

Burr Ridge, Illinois 60527

18-30-300-058-1014 Marcia Miller 1000 Village Center Drive, Unit 114

1000 Village Center Drive, Unit 111

18-30-300-058-1012 Dennis Quinn 1000 Village Center Drive, Unit 112 Burr Ridge, Illinois 60527

> 18-30-300-058-1016 Yan Zhao 1000 Village Center Drive, Unit 116 Burr Ridge, Illinois 60527

18-30-300-058-1017 Ruthann McCarty 1000 Village Center Drive, Unit 201 Burr Ridge, Illinois 60527

18-30-300-058-1015 Ruth Lognman 1000 Village Center Drive, Unit 115 Burr Ridge, Illinois 60527

Scott Golchert & Jennifer Turano

1000 Village Center Drive, Unit 202

18-30-300-058-1018

Burr Ridge, Illinois 60527

Burr Ridge, Illinois 60527

18-30-300-058-1019 Thomas Simunek 1000 Village Center Drive, Unit 203 Burr Ridge, Illinois 60527

18-30-300-058-1020 Jason Chen 1000 Village Center Drive, Unit 204 Burr Ridge, Illinois 60527

18-30-300-058-1021 Pervez & Frances Altaf 1000 Village Center Drive, Unit 205

18-30-300-058-1022 Marriane Mangan 1000 Village Center Drive, Unit 206 Burr Ridge, Illinois 60527 18-30-300-058-1023 Philip Trabaris 1000 Village Center Drive, Unit 207 Burr Ridge, Illinois 60527

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18-30-300-058-1027 John O'Connor 1000 Village Center Drive, Unit 211 Burr Ridge, Illinois 60527 18-30-300-058-1028 Paul Van Huben 1000 Village Center Drive, Unit 212 Burr Ridge, Illinois 60527 18-30-300-058-1029 Mr. and Mrs. Allenson 1000 Village Center Drive, Unit 213 Burr Ridge, Illinois 60527 THOMAS J MURPHY 1000 VILLAGE CENTER DR Burr Ridge, IL 60527 ABDUL ILAH TOULEIMAT 801 VILLAGE CTR DR 306 Burr Ridge, IL 60527 JEFFREY R HARDER 850 VILLAGE CENTER DR Burr Ridge, IL 60527

SPASOV ESTATE LLC 7350 W 103RD ST Bridgeview, IL 60455 MONA B GHOBRIAL 1004 LYONS HEAD Virginia Beach, VA 23452 JON A SKULBORSTAD 1 GREY WING PT Naples, FL 34113

Burr Deed LLC 10350 Bren Road West Minnetonka, MN 55343 Doug Young 18267 Casey Rd Grayslake, IL 60030 Harris Na Cre Po Box 755 Chicago, IL 60690

Inter Contl Burr Ridge 108 Burr Ridge Rd Essex, IL 60935 Lifetime Fitness 130 2902 Corporate Pl Chanhassen, MN 55317 Local 731 Ps & Gp 1000 Burr Ridge Pkwy Burr Ridge, IL 60527

Reegs Properties Po Box 639 Hinsdale, IL 60522 Owner 101 Burr Ridge Pkwy Burr Ridge, IL 60527 TCF National Bank 1405 Xenium Lane North Plymouth, MN 55441

Burr Ridge Village Center 701 Village Center Dr. Burr Ridge, IL 60527 450 Village Center Drive Condo Assn Attn: David Jelinek, President 450 Village Center Dr. Burr Ridge, IL 60527

450 Village Center Drive Condo Assn Attn: David Arnold, Treasurer 450 Village Center Dr. Burr Ridge, IL 60527

450 Village Center Drive Condo Assn Chicagoland Management Janet Monahan 111 E. Wacker Dr., #1412 Chicago, IL 60601

Nexius/AT&T IL4218 / FA#15515920 / MRCHI058280 525 Village Center Dr Burr Ridge, IL 60527

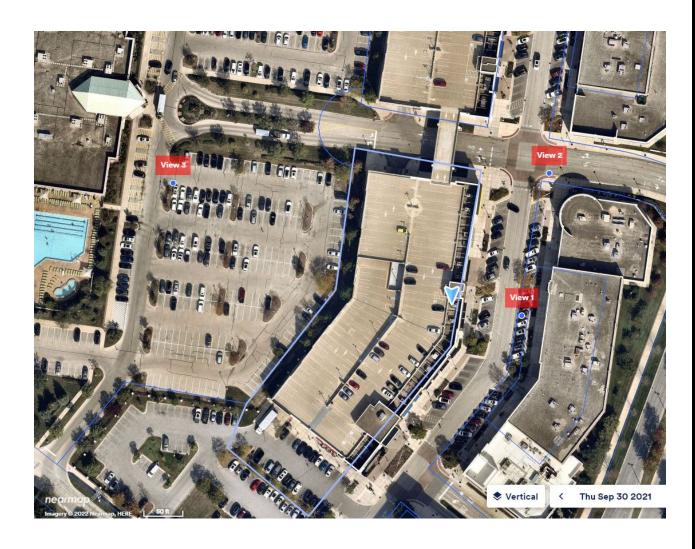


Photo Simulations 01/20/2023



AT&T IL4218 View 1 - Before

WESTCHESTER SERVICES L.L.C. ♦604 FOX GLEN BARRINGTON, ILLINOIS 60010 847/277-0070 Main \$47/277-0080 Facsimile \$e-mail: ae@westchesterservices.com



AT&T IL4218 View 1 - After

WESTCHESTER SERVICES L.L.C. ♦604 FOX GLEN ♦BARRINGTON, ILLINOIS 60010 847/277-0070 Main ♦847/277-0080 Facsimile ♦e-mail: ae@westchesterservices.com



AT&T IL4218 View 2 - Before



AT&T IL4218 View 2 - After



AT&T IL4218 View 3 - Before



AT&T IL4218 View 3 - After

SITE PHOTO



NSB PROJECT: SITE #: **IL4218**

FA #: 15515920

3301A0YCJ5 **PTN #:** PACE #: MRCHI058280

JURISDICTION: VILLAGE OF BURR RIDGE

SITE NAME: ILL04218

ADDRESS: 525 VILLAGE CENTER DRIVE

BURR RIDGE, IL 60527



DRAWING INDEX

NOTES & SPECIFICATIONS

NOTES & SPECIFICATIONS

NOTES & SPECIFICATIONS

TITLE SHEET

T1

SP1

SP2

SP3

SP4

A1

A2

A3

A4

A5

A6

A6.1

AT&T **MOBILITY**

CONTRACTOR SHALL CONTACT LANDLORD PRIOR TO CONSTRUCTION TO CONFIRM IF ROOF VENDOR OR WARRANTY IS IN PLACE. ALL WORK WILL BE COORDINATED WITH LANDLORD ROOFER FOR REPAIRS.

2011 EDITION

PROJECT INFORMATION

SITE NAME: ADDRESS:

LATITUDE:

525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

41° 45' 9.468" N (41.7526300°)

ZONING DISTRICT: SITE NUMBER: PTN #:

IL4218 15515920 3301A0YCJ5 MRCHI058280 PACE: USID:

87° 54' 44.748" W (-87.9124300') LONGITUDE: PROPERTY OWNER:

POWER COMPANY: COMED

PHONE (800) 334-7661

FIRER VENDOR:

PHONE (888) 901-2779

APPLICANT: AT&T WIRELESS 95 W. ALGONQUIN ROAD,

ARLINGTON HEIGHTS, IL 60005

EQUIPMENT LEASE AREA: 210 SQ FT ANTENNAS LEASE AREAS: TOTAL LEASE AREAS: 380 SQ FT 590 SQ FT

PROJECT CONSULTANTS

MANAGEMENT: EMAIL:

CONTACT: KRISTEN WEISS KRISTEN.WEISS@NEXIUS.COM PHONE: (412) 443-1985

ARCHITECTURE & **ENGINEERING:**

JOHN M BANKS 604 FOX GLEN BARRINGTON, IL 60010 PHONE: (847)-277-0070

SITE ACQUISITION:

LCC TELECOM SERVICE 10700 WEST HIGGINS RD., SUITE 240 ROSEMONT, IL 60018 CONTACT: MARK KORSO

PHONE: (847)380-2484 EMAIL: MKORSO@LCCTELECOM.COM

AT&T CONSTRUCTION MANAGER.

IFEY ONUA

PHONE: (847) 330-3471 EMAIL: IO1826@ATT.COM

SCOPE OF WORK

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

INSTALL (12) PROPOSED AT&T PANEL ANTENNAS (4) PER SECTOR (TYP. OF 3 SECTORS), INSTALL (15) PROPOSED AT&T RRUS (5) PER SECTOR (TYP. OF 3 SECTORS), INSTALL PROPOSED AT&T WUC, PPC AND GENERATOR ON PLATFORM. INSTALL (6) PROPOSED AT&T DC TRUNK LINES, INSTALL PROPOSED AT&T CIENA & ELECTRIC PANEL ON HANDRAIL, INSTALL (2) PROPOSED AT&T 24 PAIR FIBER LINES, INSTALL PROPOSED DC/FIBER JUMPERS.

VICINITY MAP LOCAL MAP O Keema Salon der 😝 Burr Ridge NORTH NOT TO SCALE NORTH NOT TO SCALE

SCAN FOR DRIVING DIRECTIONS



NOTES & SPECIFICATIONS SITE PLAN COMPOUND PLAN & LEGEND **BUILDING ELEVATIONS** ANTENNA PLAN SCHEDULE & CABLE NOTES ANTENNA. RRH. RRUS. RAYCAP DETAILS ANTENNA, RRH, RRUS, RAYCAP DETAILS **EQUIPMENT DETAILS**

A7. A7.1 **A8** CABLE TRAY DETAILS E1 UTILITY PLAN AND DETAILS E2 ELECTRICAL PANEL SCHEDULE E3 SHELTER GROUNDING PLAN & DETAILS TIA/EIA-222-H GENERIC ANTENNA CABLING DIAGRAM

E4 E5. E6 GROUNDING DETAILS RF RFDS PLUMBING DIAGRAM SIGNAGE SIGNAGE REQUIREMENTS

EQUIPMENT PLATFORM STRUCTURAL DETAILS S1 S2 EQUIPMENT PLATFORM STRUCTURAL DETAILS S3 EQUIPMENT PLATFORM STRUCTURAL DETAILS S4, S5 ANTENNAS FRAME STRUCTURAL DETAILS

> RAYCAP FINAL ENGINEERING DRAWINGS BY VECTOR ENGINEERS, DATED 06/22/2022

SPECIAL NOTES

- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH CURRENT AT&T CONSTRUCTION INSTALLATION GUIDE. EXISTING CONDITIONS WILL BE CHANGED & VERIFIED IN FIELD. IF SIGNIFICANT DEVIATIONS OR DETERIORATION ARE ENCOUNTERED AT THE TIME OF CONSTRUCTION, A REPAIR PERMIT WILL BE OBTAINED & CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- THESE DRAWINGS ARE FULL SIZE & SCALEABLE ON 11"X17" SHEET SIZE.
- STATEMENT THAT COMPLIANCE WITH THE ENERGY CODE IS NOT REQUIRED. —SCOPE OF WORK DOES NOT INVOLVE MODIFICATIONS TO EXTERIOR ENVELOPE OF BUILDING, HVAC SYSTEMS OR ELECTRICAL LIGHTING.

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



DANIEL KALINA SITE ACQUISITION SPECIALIST PHONE: 630-946-7741 DANIEL.KALINA@NEXIUS.COM



JOHN M. BANKS **ARCHITECT**

604 FOX GLEN BARRINGTON, IL 60010 TELEPHONE: 847-277-0070 847-277-0080 ibanks@westchesterservices.com

15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

REV.	DATE	DESCRIPTION	INITIALS
2	01/25/23	PERMIT/CONSTRUCTION	DWM
1	11/29/22	PERMIT/CONSTRUCTION	DWM
0	07/05/22	PERMIT/CONSTRUCTION	CG
Α	06/09/22	PRELIMINARY CD	DS

EMPLOATE 1/30/24
HEREBY CERTIFY THAT THESE PARS WERE
EPARED BY ME OR UNDER MY DIREST SUPERVISION
D THAT TOMA, A DULLY REGISTERED WACHTECT UNDER
THE LAWS OF THE STATE OF ILLINOIS"

TITLE SHEET

SHEET TITLE

SHEET NUMBER

TO OBTAIN LOCATION OF PARTICIPANTS

DU DIG IN ILLINOIS, CALL ILLINOIS ON

TOLL FREE: 1-800-892-0123 OR

www.illinois1call.com

ow what's below.

Call before you dig.

REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

CODE COMPLIANCE

REFERENCE MATERIALS

CONTRACTOR TO USE LATEST VERSION OF THE RFDS DATED 05/03/22 WITH THE CD's PER SCOPE OF

2012 INTERNATIONAL BUILDING CODE (IBC)

NFPA 70, NATIONAL ELECTRIC CODE (NEC),

2015 INTERNATIONAL ENERGY CODE

Know what's below.

CONTRACTOR / CM - NEXIUS SUB-CONTRACTOR - PER TRADE OWNER - AT&T WIRELESS

- SITE WORK (IF APPLICABLE) SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
- 3. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO DEPICT THE DESIGN INTENT OF THE INSTALLATION.
- 4. ANY MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- 6. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL DOCUMENT & PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
- CONTRACTOR / SUBCONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.
- 3. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ANY UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION AND COORDINATE ANY REPAIRS WITH UTILITY COMPANY.
- 9. N /A
- 10. N/A
- 11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.

SITE PREPARATION:

SUB-CONTRACTOR'S SCOPE OF WORK

- 1. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING
- MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.

 2. CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES, AND SITE IMPROVEMENTS.
- TOPSOIL STRIPPING AND STOCKPILING.
- TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS, AND MONUMENTS.

SUB-CONTRACTORS QUALITY ASSURANCE

- 1. SUB-CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION ON SITE, ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE SUB-CONTRACTOR AT NO EXPENSE TO THE OWNER.
- 2. SUB—CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE WILL BE THE RESPONSIBILITY OF THE SUB—CONTRACTOR AND COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE SUB—CONTRACTORS EXPENSE.

SITE WORK:

EARTHWORK AND DRAINAGE

PART 1 - GENERAL

- WORK INCLUDED: SEE SITE PLAN.
- 2. DESCRIPTIONS

ACCESS DRIVE W/ TURNAROUND AREA, LEASE AREA, AND IF APPLICABLE UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

3. QUALITY ASSURANCE

- A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
- B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
- C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.

4. SEQUENCING

- A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION
- B. COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, (IF APPLICABLE) AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
- C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
- D. BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.

 E. APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS.
- E. APPLY SOIL STERILIZER FROM TO PLACING BASE MATERIALS.

 F. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
- G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
 H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE

5. SUBMITTALS

SURFACES.

A. BEFORE CONSTRUCTION IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD (REFER TO PLANS FOR LANDSCAPING REQUIREMENTS).

- **B. AFTER CONSTRUCTION**
- 1. MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
- 2. MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER
- 3. LANDSCAPING WARRANTY STATEMENT.

6. WARRANTY

- A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AN SURROUNDINGS.
- B. SOIL STERILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
 C. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO
- D. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

PART 2 - PRODUCTS

1. MATERIALS

A. SOIL STERILIZER SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID:

TOTAL KILL PRODUCT 910 EPA 10292-7
PHASAR CORPORATION P.O. BOX 5123 DEARBORN, MI 48128 (313) 563-8000
AMBUSH HERBICIDE EPA REGISTERED
FRAMAR INDUSTRIAL PRODUCTS 1435 MORRIS AVE. UNION, NJ 07083 (800)
526-4924

B. ROAD AND SITE MATERIALS SHALL CONFORM TO TDOT SPECIFICATIONS FILL MATERIAL (UNLESS OTHERWISE NOTED) — ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.

C. SOIL STABILIZER FABRIC SHALL BE MIRAFI - 500X.

PART 3 - EXECUTION

1. INSPECTIONS

LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.

2. PREPARATION

A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURN-AROUND AND UNDER GROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION. B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. UNLESS OTHERWISE INSTRUCTED BY AT&T, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL. D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.

3. INSTALLATION

A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB—BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES. B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNILESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.

C. BRING THE ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE. D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.

E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS

OTHERWISE INDICATED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE

G. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT REFORE PLACING NEXT LIFT

H. THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.

I. APPLY RIPRAP TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.

J. APPLY RIPRAP TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
K. RIPRAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.

L. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAPPED.

M. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.

N. IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAT 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.

O. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.

P. SOW SEED IN TWO DIRECTIONS IN TW.U.C.E THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.







JOHN M. BANKS ARCHITECT

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jbanks@westchesterservices.com

15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

REVISIONS					
REV.	DATE	DESCRIPTION	INITIALS		
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0	07/05/22	PERMIT/CONSTRUCTION	CG		
A	06/09/22	PRELIMINARY CD	DS		
NOT		RUCTION UNLESS LABELE	D AS		

01/20/25 001-014586 00

NOTES & SPECIFICATIONS

SHEET TITLE

SHEET NUMBER

SP1

4. FIELD QUALITY CONTROL

COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.

A. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE. B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" X 2" X 4'-0" WOODEN STAKES EXTENDING TWO-FEET INTO THE GROUND ON FOUR SIDES OF THE

C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS. WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

TRENCHING:

MATERIALS SUB-CONTRACTOR SHALL:

FILL MATERIAL SHALL BE OBTAINED TO THE MAXIMUM EXTENT POSSIBLE FROM EXCAVATIONS ON SITE. THE STRUCTURAL FILL SHOULD BE SAND AND SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTION AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL, ROCKS, OR OBJECTIONABLE MATERIALS AND/OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE EPA. THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL. BACKFILL OR BORROW SOIL SHALL BE PLACED IN 6" LOOSE

PIPE DETECTION AND IDENTIFICATION SUB-CONTRACTOR SHALL:

UTILIZE WARNING TAPE. ALL UTILITY SERVICE TRENCHES SHALL BE MARKED WITH WARNING TAPE.

TRENCH EXCAVATION SUB-CONTRACTOR SHALL:

- 1. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE CONSTRUCTION MANAGER. 2. TRENCH LENGTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY
- CONSTRUCTION AND INSPECTION OF THE PROJECT WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.
- 3. DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY AS DIRECTED BY THE CONSTRUCTION MANAGER.
 4. USE HAND TRENCHING METHODS FOR EXCAVATION THAT CANNOT BE

ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES AND OTHER FACILITIES.

TRENCH PROTECTION SUB-CONTRACTOR SHALL:

- 1. PROVIDE MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES.
- 2. SHEETING AND BRACING TO MEET OR EXCEED OSHA REQUIREMENTS.

BACKFILLING SUB-CONTRACTOR SHALL:

- 1. NOTIFY THE CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF BACKFILLING.
- 2. BACKFILL TRENCH WITH LIFTS UP TO 6" LOOSE MEASURE.
- 3. PROTECT CONDUIT FROM LATERAL MOVEMENT AND DAMAGE FROM IMPACT OR UNBALANCED LOADING TO AVOID DISPLACEMENT OF CONDUIT AND/OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LÉAST 6" OF COVER IS OVER CONDUIT.

COMPACTION SUB-CONTRACTOR SHALL:

COMPACT BACKFILL TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 WITH PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT. 2. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RE-COMPACT AS SPECIFIED.

3. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING THE MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL PROMPTLY CORRECTED.

FENCING AND GATE(S)

PART 1 - GENERAL

WORK INCLUDED SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S). 2. QUALITY ASSURANCE ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT—DIPPED IN GRADE 'E' ZINC, 18 OUNCES PER SQUARE FOOT.

3. SEQUENCING IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.

4.SUBMITTALS

A. MANUFACTURER'S DESCRIPTIVE LITERATURE.

B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 - PRODUCTS

1. FENCE MATERIAL

A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.

B. FABRIC SHALL BE SIX-FOOT HIGH TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.

C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12-1/2 GAUGE TWISTED WIRE, WITH 14-GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE-INCH CENTERS.
D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-128 AND OF THE FOLLOWING DIAMETER POST 2" SCHEDULE 40 (2 3/8" O.D.) CORNER 3" SCHEDULE 40 (3 1/2" O.D.) GATE 3" SCHEDULE 40 (3 1/2" O.D.)

E. GATE POSTS SHALL BE EXTENDED 12 INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.

F. ALL TOP AND BRACE RAILS SHALL BE $1\frac{1}{2}$ DIAMETER SCHEDULE - 40 MECHANICAL-SERVICE PIPE.

G. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL—SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
H. GATE FRAMES SHALL HAVE A FULL—HEIGHT VERTICAL BRACE, AND A
FULL—WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS

I. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 188-DEGREE ATTACHMENT.

J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL.

K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE INACTIVE

LEAF OF ALL DOUBLE GATE INSTALLATIONS. M. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN

M. ALL STOPS STALE TIME THE DEED AT THE OPEN POSITION
N. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE
FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS. ATOP EACH LINE/CORNER POST.

O. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE PÓSTS.

P. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.

Q. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH

R. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP. S. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO TIE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.

T. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS. . BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET

BOLT AND LOCK WIRE IN THE ARM. V. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.

W. WHERE THE USE OF CONCERTINA HAS BEEN SPECIFIED. 24-INCH DIAMETERS COIL. BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G8P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX(6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

PART 3 - EXECUTION

1. INSPECTION

TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.

2. INSTALLATION

A. FOUNDATIONS SHALL HAVE A MINIMUM SIX (6) INCH CONCRETE COVER UNDER POST. B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB; ONE QUARTER (1/4) INCH C. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN(15) INCH

D. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.

E. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO (2) FOOT INTERVALS.

F. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN TIE CHAIN LINE FABRIC

AND THE FINAL GRADE.

G. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
H. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL

I. CONCRETE TO BE A MINIMUM OF 3,000 PSI.

UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.

APPLICABLE STANDARDS

SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC ASTM-A120

COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY

ASTM-A123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL

ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON

AND STEEL HARDWARE. ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE

SPECIFICATION FOR ALUMINUM—COATED STEEL CHAIN LINK FENCE STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED FABRIC. ASTM-A491 FABRIC ASTM-A525

(GALVANIZED) BY THE HOT-DIPPED PROCESS ASTM-A570 SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.

ASTM-A535 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE.

FEDERAL SPECIFICATION RR-F-191- FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)

METALS

PART 1 - GENERAL

SECTION INCLUDES:

STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, THREADED STRUCTURAL FASTENERS, ANTENNA SUPPORT ASSEMBLIES, GRATING, STEEL PLATFORMS AND PEDESTAL SUPPORTS, AND GROUTING UNDER BASE PLATES.

QUALITY ASSURANCE

FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF **STRUCTURAL**

PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL

STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

1. MATERIALS:

A. STRUCTURAL STEEL MEMBERS: ASTM A572, GRADE 50

B. STRUCTURAL TUBING: ASTM A500, GRADE B C. PIPF:

ASTM A53, TYPE E OR S, GRADE B ASTM A325 D. BOLTS, NUTS, AND WASHERS:

E. ANCHOR BOLTS: ASTM A307

F. WELDING MATERIALS:

AWS D1.1, TYPE REQUIRED FOR MATERIALS BEING WELDED



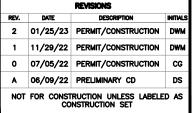




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NOTES & **SPECIFICATIONS**

SHEET TITLE

SHEET NUMBER

NON-SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIER ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 psi AT 28 DAYS.

H. SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE

I. TOUCH-UP PRIMER FOR GALV. SURFACES: ZINC RICH TYPE

CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH. 2. FABRICATION:

3. FINISH:

PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH SSPC SP-1 TO SP-10 PROCEDURES

B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED

PART 3 - EXECUTION

EXAMINATION AND PREPARATION:

1. VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE TO PERFORM THE WORK.

ERECTION:

ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING

2. NO UNAUTHORIZED WELDING SHALL BE PERFORMED ON CROWN CASTLE USA, INC TOWERS. ALL OTHER WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY AWS 01.1 STRUCTURAL STEEL WELDING CODE—STEEL WELD ELECTRODES SHALL BE E70XX. 3. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE

4. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRIMED OR GALVANIZED WITH ZINC RICH PAINT (ALL EXISTING AND NEW AREAS).

FIELD QUALITY CONTROL:

1. FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS AND BOLT $\!\!\!/$ NUT TORQUE .

CONCRETE:

PART 1 - GENERAL

WORK INCLUDES FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.

2. INSPECTIONS

- A. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR THE SCOPE OF WORK BEING PERFORMED.
- B. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE AT&TWIRELESS CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.
- C. THE AT&TWIRELESS CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.
- QUALITY ASSURANCE
- A. CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 318.
- B. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.
- C. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.
- 4. SUBMITTALS

SUBMIT CONCRETE MIX DESIGN AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY AT&TWIRELESS CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWINGS SHALL BE SUBMITTED IN EH FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL. PART 2 - PRODUCTS

1. REINFORCEMENT MATERIALS

A. REINFORCEMENT STEEL, ASTM A615, 60KSI YIELD GRADE, REINFORCING STEEL RODS, PLAIN FINISH.

B. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE, IN FLAT SHEETS, PLAIN

C. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS, SIZED AND SHAPED FOR SUPPORTS OF REINFORCING.

D. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, AND ACI 318, AND ASTM A184.

2. CONCRETE MATERIALS

A. CEMENT: ASTM C150, PORTLAND TYPE.

B. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED ONE (1) INCH SIZE SUTABLE FOR INSTALLATION METHOS UTILIZED FOR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.

C. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE.

D. AIR ENTRAINING ADMIZTURE: ASTM C260.

E. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.

F. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICISING AGENTS.

3. CONCRETE MIX

A. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.

B. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT, 3.

C. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER F4 SHALL BE SATASFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:

1. COMPRESSIVE STRENGTH 4000 PSI AT 28 DAYS. 2. SLUMP: 3 INCHES.

EXECUTION:

1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS

- A. THE CONTRACTOR SHALL COORDINATE AND CROSS CHECK ARCHITECTURAL, BUILDING AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL_ RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
- B. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDED IN AND PASSING THROUGH CONCRETE MEMBERS.
- C. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENINGS, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
- D. INSTALL CONCRETE ACCESSORIES STRAIGHT, LEVEL ND PLUMB.
- 2. REINFORCEMENT PLACEMENT
- A. PLACE REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.
- B. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS
- C. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- D. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES UNLESS NOTED
- E. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES OR BE LESS THAN 2 INCHES.

3. PLACING CONCRETE

A. VIBRATE ALL CONCRETE.

B. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCEDURES IF SEASONAL CONDITIONS APPLY.

4. CURING

A. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.

B. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSISTENT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.

5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTIACAL FORMED CONCRETE SURFACES.

6. FIELD QUALITY CONTROL

- A. SUBMIT THREE (3) CONCRETE TEST CYLINDERS TAKEN EVERY 15 CUBIC YARDS OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE TO ASTM C-31 AND C-39.
- B. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER THE SAME CONDITIONS AS THE CONCRETE
- C. SUBMIT ONE (1) SLUMP TEST TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.

MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED SPECIFICATIONS, DETAILS OR ELEVATIONS AS DIRECTED BY THE AT&TWIRELESS CONSTRUCTION MANAGER.

GENERAL ELECTRICAL NOTES:

- 1. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH AT&TWIRELESS SPECIFICATIONS.
- 2. CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- 3. ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND 'UL' LISTED.
- 4. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED PER THE NEC, AND ALL APPLICABLE LOCAL CODES.
- 5. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING OF 42,000 AIC.
- 6. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY AT&TWIRELESS FOR BTS CABINET.
- 7. PATCH, REPAIR, AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF
- PROVIDE AT&TWIRELESS WITH ONE SET OF COMPLETE ELECTRICAL 'AS-BUILT' DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING
- ALL SINGLE-PHASE SELF CONTAINED METER CONNECTION DEVICES MUST INCLUDE 9. HORN TYPE BY-PASS PROVISION SO THAT SERVICES WILL NOT BE INTERRUPTED HEN A METER IS REMOVED FROM THE SOCKET.
- ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE RODENT PROOFED WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR AS
- 11. NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
- 12. CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER ONE TO IDENTIFY 'AT&TWIRELESS DISCONNECT' AND THE OTHER TO GIVE THE SITE ADDRESS.
- 13. ALL CONTRACTOR FURNISHED MATERIALS AND EQUIPMENT SPECIFIED ON THE PROJECT SHALL BE NEW AND UNUSED, OF CURRENT MANUFACTURE AND OF THE HIGHEST GRADE.







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KEVISIUMS					
REV.	DATE	DESCRIPTION	INITIALS		
2	01/25/23	PERMIT/CONSTRUCTION	DWM		
1	11/29/22	PERMIT/CONSTRUCTION	DWM		
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NOTES & **SPECIFICATIONS**

SHEET TITLE

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- 15. ALL ELECTRICAL ITEMS BOTH CONTRACTOR AND OWNER FURNISHED SHALL BE CHECKED FOR AGREEMENT WITH THE PROJECT DRAWINGS AND SPECIFICATIONS AND SHALL BE VISUALLY INSPECTED TO ENSURE THAT EQUIPMENT IS UNDAMAGED AND IS IN PROPER ALIGNMENT, INSTALLED PER MANUFACTURER'S INSTRUCTIONS, ELECTRICAL CONNECTIONS ARE TIGHT AND PROPERLY INSULATED WHERE REQUIRED. FUSES ARE OF THE PROPER TYPE AND SIZE, AND ELECTRICAL ENCLOSURES ARE OF THE
- 16. NOTIFY OWNER IN WRITING OF ALL DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS AND FIELD INSTALLATIONS, OR IF THE VISUAL INSPECTIONS SHOW DAMAGE OR IMPROPER INSTALLATION
- 17. THE EQUIPMENT AND MATERIALS SHALL BE FURNISHED AND INSTALLED TO OPERATE SAFELY AND CONTINUOUSLY WITH NO PROTECTION FROM THE WEATHER.
- ELECTRICAL WORK REPRESENTED ON THE PROJECT DRAWINGS IS SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS AND ELEVATIONS OF ELECTRICAL EQUIPMENT SHALL BE DETERMINED IN THE FIELD AND VERIFIED WITH THE OWNER'S
- 19. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF TEMPORARY, IF REQUIRED, AND PERMANENT POWER WITH THE LOCAL UTILITY COMPANY. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
- 20. PROVIDE MOLDED CASE, BOLT ON, THERMAL MAGNETIC TRIP, SINGLE TWO OR THREE POLE CIRCUIT BREAKERS. MULTIPLE POLE CIRCUIT BREAKERS SHALL BE SINGLE HANDLE COMMON TRIP. SHORT CIRCUIT INTERRUPTING RATING SHALL BE AS REQUIRED FOR AVAILABLE FAULT CURRENTS. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A SHORT CIRCUIT INTERRUPTING RATING EQUAL TO OR GREATER THAN THAT SHOWN ON THE PROJECT DRAWINGS.
- CONTRACTOR SHALL PERFORM ALL EXCAVATION, TRENCHING, BACKFILLING, AND REMOVAL OF DEBRIS IN CONNECTION WITH THE ELECTRICAL WORK IN ACCORDANCE WITH THE PROJECT DRAWINGS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UNDERGROUND UTILITIES AND GROUND WITH THE FOUNDATION INSTALLATION. HAND DIGGING WILL BE REQUIRED IN THE COMPOUND ONLY.
- 22. CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS FOR EQUIPMENT INSTALLED AS PART OF THIS PROJECT. SUPPORTS SHALL CONSIST OF GALVANIZED STEEL FRAMES, PLATES, BRACKETS, RACKS AND OTHER SHAPES OF ADEQUATE SIZE AND FASTENED WITH BOLTS, SCREWS OR BY WELDING TO PROVIDE RIGID SUPPORT.
- 23. CONTRACTOR SHALL CALL THE APPROPRIATE UTILITIES PROTECTION SERVICE BEFORE ANY UNDERGROUND WORK IS PERFORMED, SUCH AS TRENCHING, EXCAVATING, AND DRIVING GROUNDING RODS.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY ENGRAVED LAMINATED PHENOLIC NAMEPLATES. (MINIMUM LETTER HEIGHT SHALL BE 1/2") NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS AND AS PER AT&TWIRELESS SPECIFICATIONS.

GENERAL RACEWAY NOTES:

- CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
- A. RIGID STEEL CONDUIT SHALL CONFORM TO ANSI C801 AND REQUIREMENTS OF NEC. PARAGRAPH 346 AND BE STANDARD WEIGHT, MILD RIGID STEEL, HOT DIP GALVANIZED WITH INSIDE AND OUTSIDE FINISHED WITH A PROTECTIVE ZINC COATING. COUPLING ELBOWS AND BENDS SHALL MEET THESE SAME REQUIREMENTS. FITTINGS SHALL BE OF THE GALVANIZED IRON OR STEEL THREADED TYPE.
- B. PVC CONDUIT SHALL CONFORM TO UL STANDARD 651-89 AND THE REQUIREMENTS OF NEC, PARAGRAPH 347. CONDUIT SHALL BE HEAVY WALL TYPE, SCHEDULE 40 OR 80, AND SUNLIGHT RESISTANT. FITTINGS SHALL BE OF THE UNTHREADED SOLVENT CEMENT TYPE.
- C. EMT CONDUIT (FOR USE BEHIND WALLS OR ABOVE SUSPENDED CEILINGS ONLY). ELECTRIC METALLIC TUBING SHALL CONFORM TO ANSI C803 AND THE REQUIREMENTS OF NEC, PARAGRAPH 348 AND BE PROTECTED ON EXTERIOR WITH A ZINC COATING AND ON INTERIOR SURFACES WITH EITHER A ZINC COATING OR LACQUER ENAMEL. FITTINGS SHALL BE ZINC COATED STEEL.
- 2. MINIMUM CONDUIT SIZE SHALL BE 3/4", SIZES NOT SHOWN ON DRAWINGS SHALL BE PER NEC.

- 3. ALL SPARE CONDUITS SHALL HAVE A METALLIC PULL WIRE.
- 4. CONDUIT SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH THE NEC.
- 5. UNDERGROUND CONDUITS.
- A. INSTALL A WARNING TAPE TWELVE INCHES ABOVE EACH CONDUIT OR SET OF CONDUITS.
- B. IDENTIFY EACH CONDUIT AT BOTH ENDS. INSTALL MINIMUM OF 3'-0" BELOW THE FINISHED GRADE, OR DEEPER IF NOTED ON PLAN DRAWINGS.
- C. SLOPE A MINIMUM OF 4" PER 100'-0" TO DRAIN AWAY FROM BUILDINGS AND EQUIPMENT.
- D. USE MANUFACTURED ELECTRICAL ELBOWS AND FITTINGS FOR BELOW GRADE
- E. MAKE JOINTS AND FITTINGS WATERTIGHT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- F. INSTALL A COUPLING BEFORE EACH WALL PENETRATION.
- G. RESTORE SURFACE FEATURES DISTURBED BY EXCAVATION (AND TRENCHING) IN ALL AREAS.

GENERAL CONDUCTOR NOTES:

- ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA-WC, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE
 - A. SERVICE ENTRANCE CONDUCTORS SHALL BE COPPER, 600 VOLT, SUNLIGHT RESISTANT, SUITABLE FOR WET LOCATIONS, TYPE USE-2. THE GROUNDED NEUTRAL CONDUCTOR SHALL BE IDENTIFIED WITH A WHITE MARKING AT EACH
 - B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER 600 VOLT, TYPE THHN / THWN WITH A MINIMUM SIZE OF #12 AWG.
- 2. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING MATERIALS, SUPPORT GRIPS, MARKER AND CABLE TIES SHALL BE FURNISHED AND INSTALLED SUPPLIER'S INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES. THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE
- . WHERE POSSIBLE, NO. 6 AWG AND SMALLER WIRE SHALL BE COLORED CODED BY THE COLOR OF THE INSULATION COVERING. COLOR CODING OF WIRE LARGER THAN NO. 6 AWG MAY BE BY MEANS OF SELF-ADHESIVE WRAP AROUND TYPE MARKERS, PER NEC.
- 4. TERMINAL CONNECTOR FOR CONDUCTORS 8 AWG AND LARGER SHALL BE PRESSURE OR BOLTED CLAMP TYPE BURNDY QUIKLUG, VARILUG OR ACCEPTABLE EQUAL: OR COMPRESSION TYPE, BURNDY TYPE YAV OR YA (LONG BARREL), PANDUIT TYPE LCA OR LCC, OR ACCEPTABLE EQUAL. ACCEPTABLE CONNECTORS INCLUDED WITH COMPANY-FURNISHED EQUIPMENT MAY BE USED.
- 5. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED 100 AMPERES OR LESS OR MARKED FOR NOS. 14 THROUGH 1 CONDUCTORS. SHALL BE USED ONLY FOR CONDUCTORS RATED 66°C (140°F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OR THE CONDUCTOR SIZE USED.
- 6. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED OVER 100 AMPERES, OR MARKED FOR CONDUCTORS LARGER THAN NO.1 SHALL BE USED ONLY FOR CONDUCTORS RATED 75°C (167°F) CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED UPON THE 75°C (167°F) AMPACITY OF THE CONDUCTOR SIZE USED.
- 7. ALL 600 VOLT OR LESS WIRING, WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE TURN OF 'SCOTCHFILL' ELECTRICAL INSULATING PUTTY AND THEN COVERED WITH TWO HALF TURNS OF TAPE SIMILAR TO 3M COMPANY'S '33 PLUS (33+) PLASTIC TAPE OR 88 OUTDOOR TAPE.
- 8. TERMINAL CONNECTORS FOR CONDUCTORS SMALLER THAN 8 AWG SHALL BE COMPRESSION TYPE CONNECTORS SIZED FOR THE CONDUCTOR AND THE TERMINAL. THE CONNECTORS SHALL BE CONSTRUCTED OF FINE GRADE HIGH CONDUCTIVITY COPPER IN ACCORDANCE WITH QQ-C-516 AND SHALL BE TIN-PLATED IN ACCORDANCE WITH MIL-T-10727. THE INTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE SERRATED AND THE EXTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALE BE PROVIDED WITH CRIMP GUIDES.

GENERAL GROUNDING NOTES:

- ALL WORK SHALL COMPLY WITH THE LATEST AT&TWIRELESS GROUNDING SPECIFICATIONS AND REQUIREMENTS.
- 2. ALL METALLIC COMPONENTS ON THE SITE MUST BE GROUNDED TO THE GROUND RING. THIS INCLUDES STEEL CONDUITS USED TO DELIVER THE TELCO AND POWER UTILITY LINES TO THE SITE OR USED TO PROVIDE ACCESS BY UTILITIES OR CONTRACTORS TO THE VARIOUS CABINETS.
- 3. ALL GROUND LEADS ABOVE GRADE SHALL BE INSTALLED IN 1/2" SEAL TIGHT.
- 4. WHEN EARTH RESISTANCE TEST INDICATES THAT THE SOIL IS ABOVE MINIMUM ALLOWABLE RESISTANCE, THAN THE CONTRACTOR SHALL ESTIMATE THE TYPE, NUMBER AND ARRANGEMENT OF EARTH ELECTRODES. CONTRACTOR SHALL ALSO CONSIDER COMPANY'S SITE SPECIFIC APPROACHES FOR IMPROVING EARTH RESISTANCE AT THE SITE BY METHODS INDICATED BELOW:

- A. USE MULTIPLE RODS
- B. LENGTHEN THE EARTH ELECTRODE
- C. TREAT THE SOIL
- D. USE CHEMICAL RODS
- 5. THE CONTRACTOR MUST VERIFY THAT NEW GROUNDING SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS PER AT&TWIRELESS SPECIFICATIONS.
- 6. RUN ALL GROUND WIRES IN AN ORGANIZED MANNER, AVOID CROSSING OF WIRES WHEREVER POSSIBLE. DO NOT RUN WIRES OVER CONCRETE SLAB.
- INSTALL ALL GROUND WIRES IN A DOWNWARD SLOPE FOR MAXIMUM LIGHTNING
- 8. MAINTAIN ALL MINIMUM BENDING RADII OF THE GROUNDING WIRES.
- DO NOT REMOVE MORE INSULATION FROM THE GROUND WIRES THAN NECESSARY 9. WHEN CADWELDING OR CRIMPING IF EXCESS INSULATION IS REMOVED, THE CONNECTION WILL BE CONSIDERED UNACCEPTABLE AND WILL BE CORRECTED PER THE AT&TWIRELESS REPRESENTATIVES'S DIRECTION.
- 10. DOWN LEAD FOR ANTENNA SECTORS MUST BE CONNECTED DIRECTLY TO THE GROUND
- ALL BASE TRANSCEIVER SITE EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE INTERNATIONAL ELECTRICAL CODE (NEC), AND THE LATEST EDITION OF LIGHTNING PROTECTION CODE NFPA 780 AND AT&TWIRELESS STANDARDS.
- 12. THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRIC CODE, 19. IN ACCORDANCE WITH ANY LOCAL CODE.
- 13. ALL UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE BY THE CADWELD PROCESS (MECHANICAL LUG ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL INCLUDE ALL CABLE SPLICES (TEES, X'S, ETC.) ALL CABLE CONNECTIONS TO GROUND RODS, GROUND ROD SPLICES, AND LIGHTING PROTECTION SYSTEM AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METALS, TOOLS, ETC.) SHALL BE BY CADWELD AND INSTALLED PER MANUFACTURERS RECOMMENDATION AND PROCEDURES.
- 14. ALL GROUNDING AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE INTERIOR TO A BUILDING SHALL BE CONNECTED USING TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTORS FOR #2 AND #6 AWG INSULATED COPPER CONDUCTOR.
- 15. ALL GROUNDING CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THIS DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND, THE ANTI-OXIDATION COMPOUND SHALL BE 'THOMAS AND BETTS' KOPR-SHIELD (TIM OF JET LUBE, INC.) THERE IS NO EQUIVALENT FOR THIS PRODUCT: NO OTHER COMPOUND WILL BE ACCEPTED. COAT ALL WIRES BEFORE LUGGING. COAT ALL SURFACES BEFORE CONNECTING.
- 16. ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT PRIOR TO CADWELD, GALVANIZING SHALL BE REMOVED BY GRINDING SURFACE TO BARE METAL 'SLAG' FROM CADWELD MUST BE REMOVED AND WELD SHALL BE SPRAYED WITH COLD GALVANIZE AFTER COMPLETION.

GENERAL GROUNDING NOTES CONTINUED:

- 17. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES MAY BE USED TO SUPPORT GROUNDING CONDUCTORS.
 - PLASTIC CLIPS
- · STAINLESS STEEL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR
- FERROUS METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
- ALL BELOW GRADE GROUNDING CONDUCTORS SHALL BE BARE SOLID COPPER WIRE. ABOVE-GRADE GROUNDING CONDUCTORS MAY BE EITHER OR AS INDICATED ON THE DRAWINGS:
 - BARE TINNED SOLID COPPER WIRE
 - THWN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
 - THWN-INSULATED, CONTINUOUS GREEN COLOR STRANDED COPPER WIRE
 - A. THE UNDERGROUND GROUND RING SHALL HAVE A #2 AWG BARE TINNED SOLID COPPER WIRE.
 - B. #2 THWN SHALL BE STRANDED COPPER WITH GREEN THWN INSULATION SUITABLE FOR WET INSTALLATION (OR SOME ABOVE GROUND APPLICATIONS, I.E. INDOOR GROUNDING RING)
 - C. #2 BARE TINNED COPPER SHALL BE SOLID. ÄLL BURIED WIRE SHALL MEET THIS CRITERIA INCLUDING CABLE TRAY GROUNDING WIRES AND WIRES INDICATED ON THE DRAWINGS.

(THE MINIMUM BEND RADIUS IS 8" FOR #6 AWG AND SMALLER, AND 12 INCHES FOR WIRE LARGER THAN #6 AWG)

- ALL HARDWARE, BOLTS, NUTS, WASHERS, AND LOCK WASHERS SHALL BE 18-8 STAINLESS STEEL, EVERY CONNECTION SHALL BE (BOLT-FLATWASHER-BUSS-LUG-FLATWASHER-LOCKWASHER-NUT), IN THAT EXACT ORDER WITH NUT FACING OUTWARD, BACK TO BACK LUGGING SHALL BE
- (BOLT-FLATWASHER-LUG-FLATWASHER-LUG ` -BUSS-LUG-FLATWASHER-LOCK WASHER-NUT) IN THAT EXACT ORDER IS ACCEPTED WHERE NECESSARY TO CONNECT MANY LUGS TO A BUSS BAR. STACKING OF LUGS, BUS-LUG-LUG, IS NOT ACCEPTABLE.
- 20. THE COMPRESSION GROUND LUG FOR #2 AWG BARE SOLID GROUNDING CONDUCTORS SHALL BE BURNDY TYPE YA3C-2TC.
- 21. THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUS AT THE LOWEST POINT OF THE VERTICAL RUN. THE ANTENNA CABLE SHELD SHALL BE GROUNDED JUST BEFORE ENTERING THE BTS. GROUNDING KITS ON COAX CABLE SHALL HAVE A MINIMUM BEND OF 6" AND SHALL BE KEPT AS CLOSE TO VERTICAL AS POSSIBLE, FLAT WASHER SUPPLIED WITH GROUND KITS MUST BE REPLACED WITH SMALLER STAINLESS STEEL FLAT WASHERS, WASHERS MUST REMAIN FLAT AGAINST GROUND BAR, ALL FASTENERS MUST BE STAINLESS STEEL AND KOPR-SHIELD MUST BE USED ON BOTH SIDES OF THE GROUND BAR.







JOHN M. BANKS ARCHITECT

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15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527



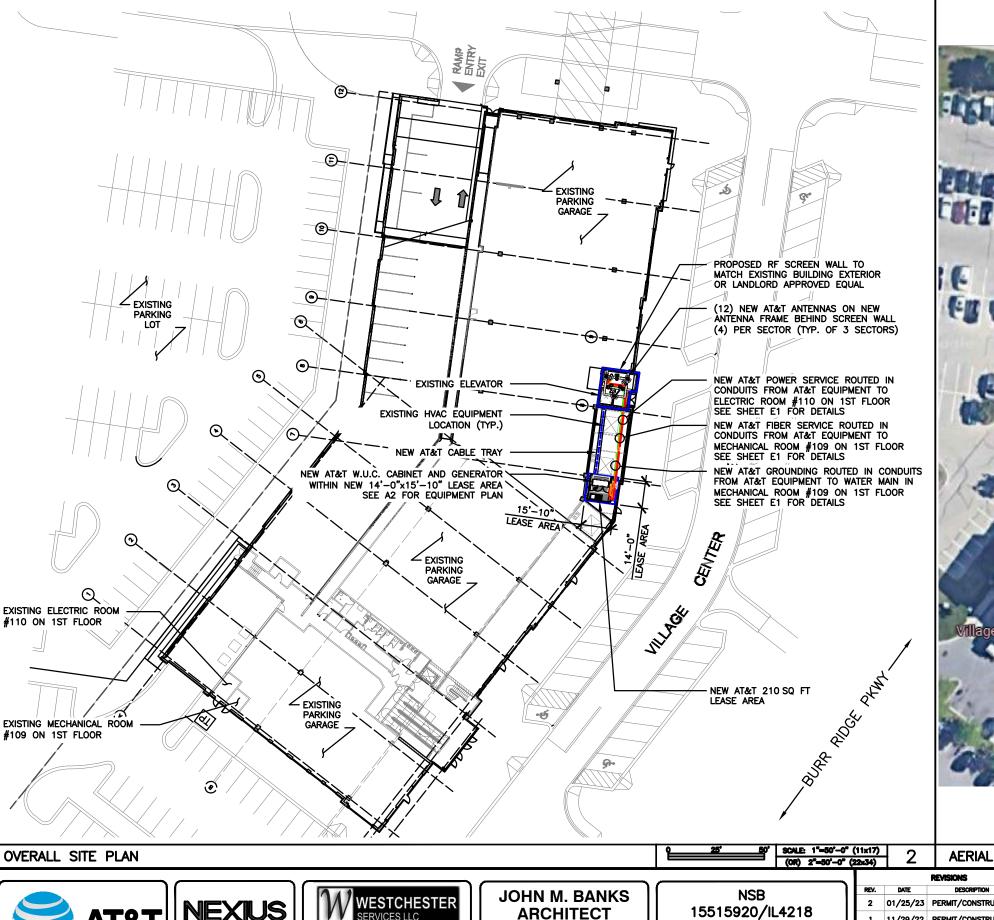


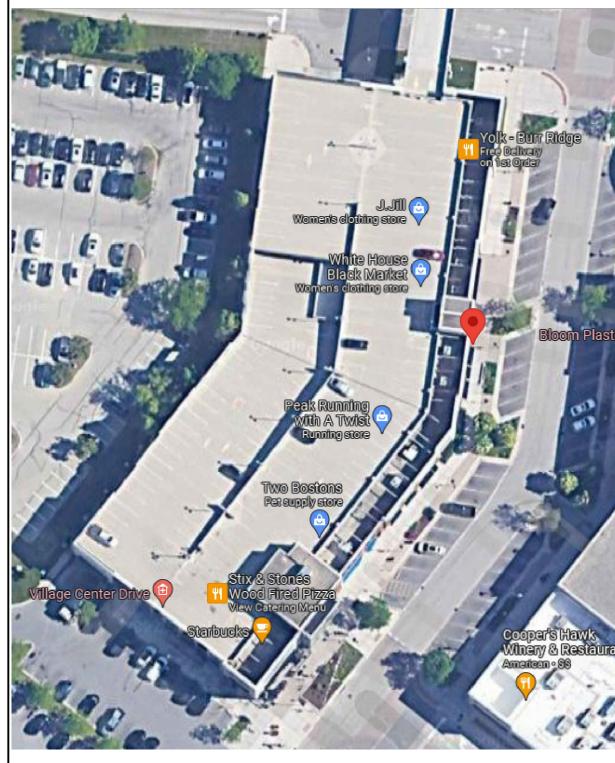
NOTES &

SHEET TITLE

SPECIFICATIONS

SHEET NUMBER







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FAX: 847-277-0080 FAX: 847-277-0080 jbanks@westchesterservices.com 2 01/25/23 PERMIT/CONSTRUCTION DV 11/29/22 PERMIT/CONSTRUCTION 0 07/05/22 PERMIT/CONSTRUCTION CG NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE

SITE PLAN

A1

SCALE

N.T.S.

SHEET NUMBER

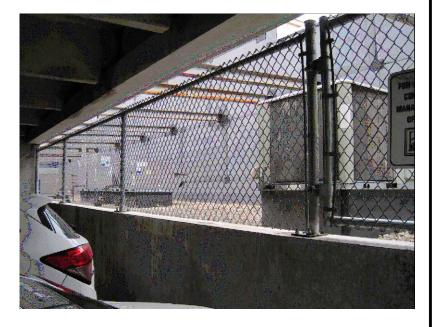




ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

"I HEREST DERTIFY THAT THESE FANS WERE PREPARED BY ME OR ON DOOR OF THE SUPERVISION AND THAT THE LAWS OF THE STATE OF ILLINOIS"

SEE S-1 FOR DIMENSIONAL LOCATIONS OF EQUIPMENT AND ANTENNA MOUNTS.



ELEVATIONS ARE ABOVE MEAN SEA LEVEL. 2. DO NOT SCALE DIMENSIONS FROM THIS DRAWING.
3. ALL EXISTING RECORDED EASEMENTS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE PER VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM AT&T WIRELESS.

4. REFER TO SP1 AND SP2 FOR EROSION CONTROL AND SOIL STABILIZATION METHODS IF NECESSARY.

GENERAL NOTES

LATITUDE: LONGITUDE:

3

BASE OF BUILDING

LOCATION: **ELEVATION:**

TBD' A.M.S.L. (BASE BUILDING) 41° 45' 9.468" 41.7526300 -87° 54' 44.748" -87.9124300

HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88

SURVEY BENCHMARK/PROJECT DATUM



COMPOUND PLAN





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REVISIONS				
REV.	DATE	DESCRIPTION	INITIALS	
2	01/25/23	PERMIT/CONSTRUCTION	DWM	
1	11/29/22	PERMIT/CONSTRUCTION	DWM	1
0	07/05/22	PERMIT/CONSTRUCTION	CG	
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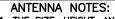
SCALE: 1/4"=1;-0" (\$1x17) (OR) 1/2"=1:-0" (22x34)

COMPOUND PLAN & LEGEND

SHEET TITLE

SHEET NUMBER

A2



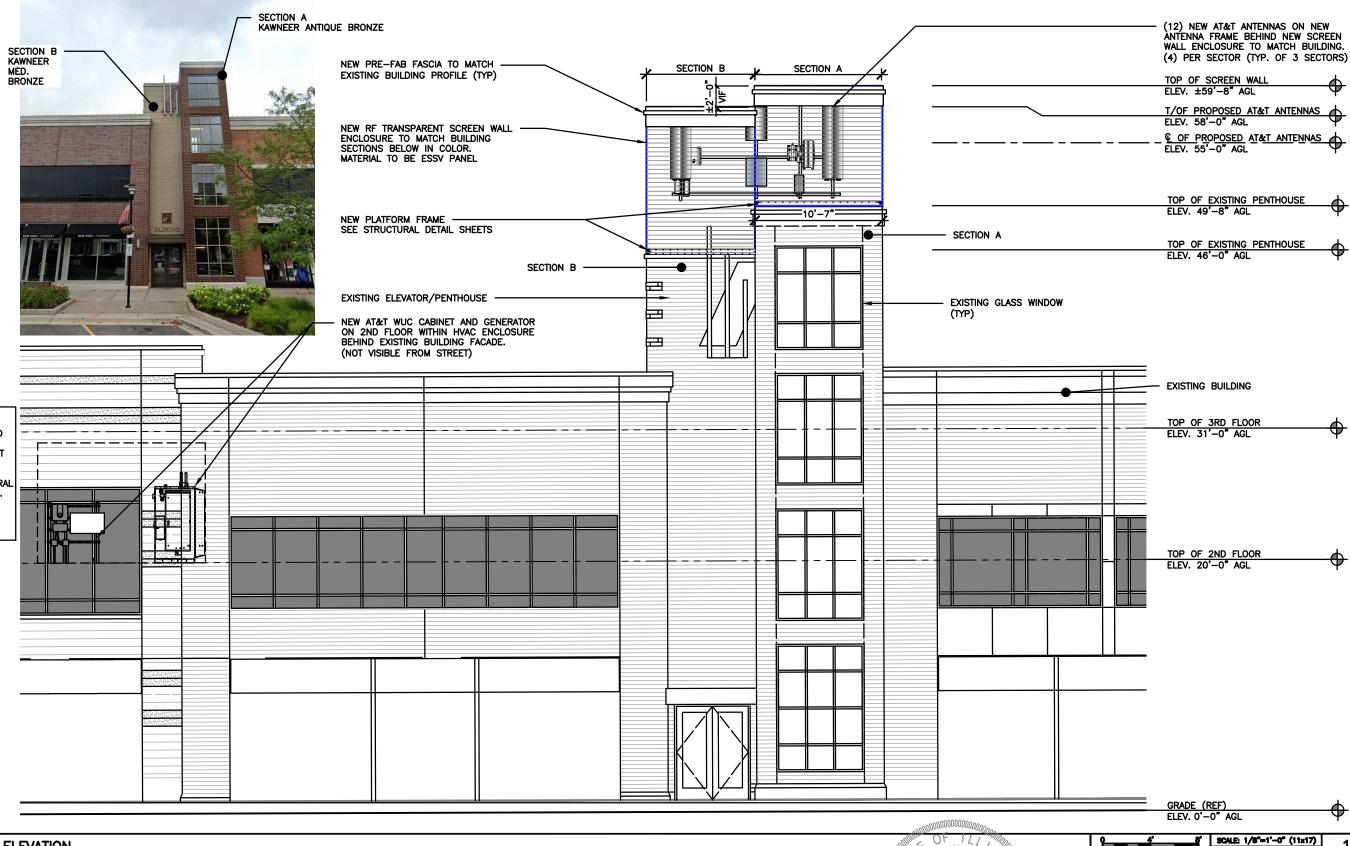
1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO ACHIEVE THE AZIMUTHS SPECIFIED AND LIMIT SHADOWING AND TO MEET THE SYSTEM REQUIREMENTS.

- 2. CONTRACTOR SHALL VERIFY HEIGHT OF THE ANTENNA WITH THE AT&T WIRELESS PROJECT MANAGER.
- 3. VERIFY TYPE AND SIZE OF TOWER LEG PRIOR TO ORDERING ANY ANTENNA MOUNT.
- 4. UNLESS NOTED OTHERWISE THE CONTRACTOR MUST PROVIDE ALL MATERIAL NECESSARY.
- 5. ANTENNA AZIMUTHS ARE DEGREES OFF OF TRUE NORTH, BEARING CLOCKWISE, IN WHICH ANTENNA FACE IS DIRECTED. ALL ANTENNAS (AND SUPPORTING STRUCTURES AS PRACTICAL) SHALL BE ACCURATELY ORIENTED IN THE SPECIFIED DIRECTION.
- CONTRACTOR SHALL VERIFY ALL RF INFORMATION PRIOR TO CONSTRUCTION.
- 7. SWEEP TEST SHALL BE PERFORMED BY GENERAL CONTRACTOR AND SUBMITTED TO AT&T WIRELESS CONSTRUCTION SPECIALIST. TEST SHALL BE PERFORMED PER AT&T WIRELESS STANDARDS.

STRUCTURAL NOTES:

- STRUCTURAL CALCULATIONS PREPARED BY JOHN M BANKS ARCHITECT. CONTRACTOR TO VERIFY WITH PROJECT MANAGER TO OBTAIN A COPY.
- CONTRACTOR TO REFER TO STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS.

 NO ERECTION OR MODIFICATION OF BUILDING SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.



PROPOSED EAST BUILDING ELEVATION







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NEVISIONS					
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2	01/25/23	PERMIT/CONSTRUCTION	DWM		
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0	07/05/22	PERMIT/CONSTRUCTION	CG		
Α	06/09/22	PRELIMINARY CD	DS		
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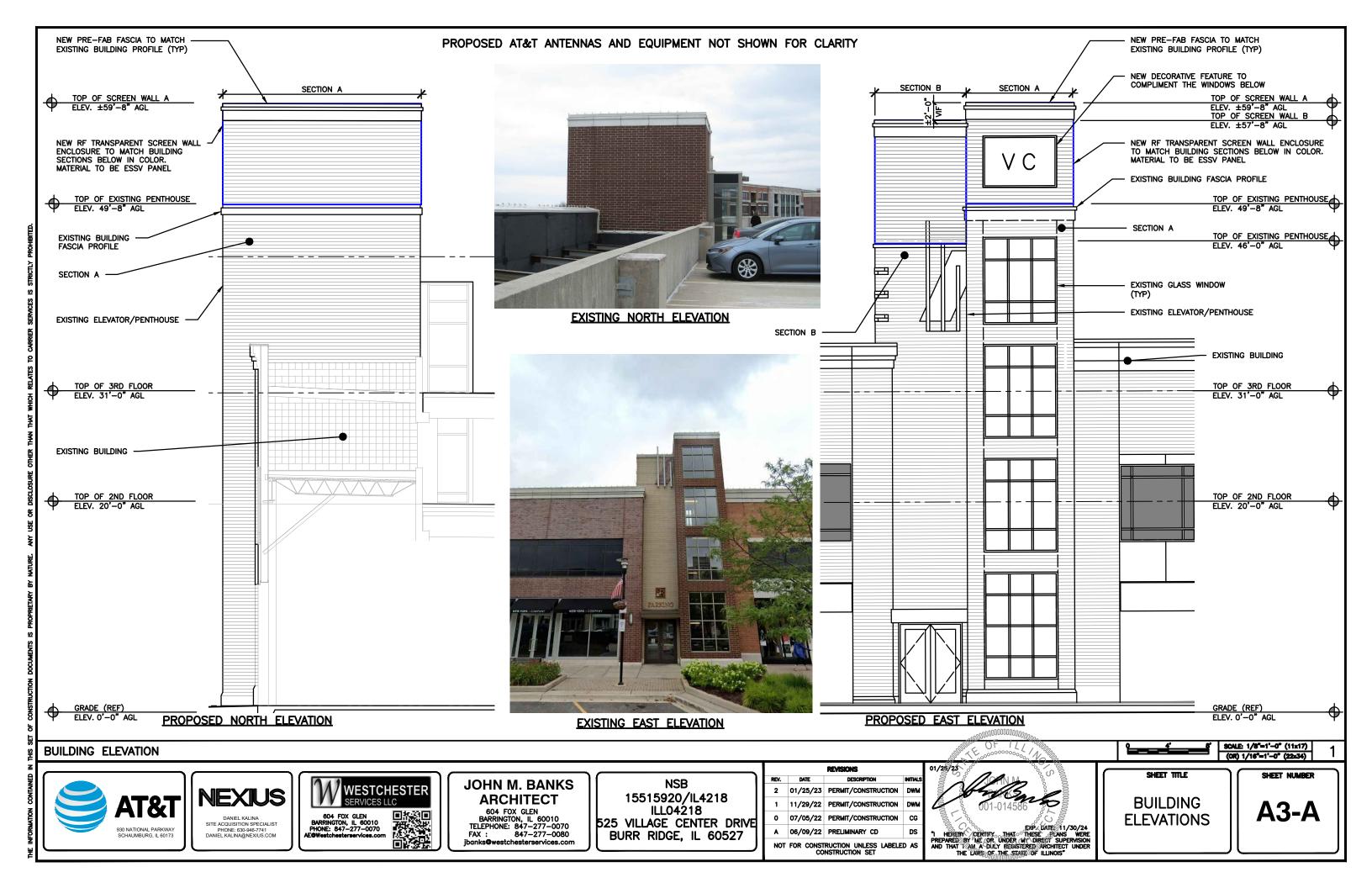
BUILDING **ELEVATIONS**

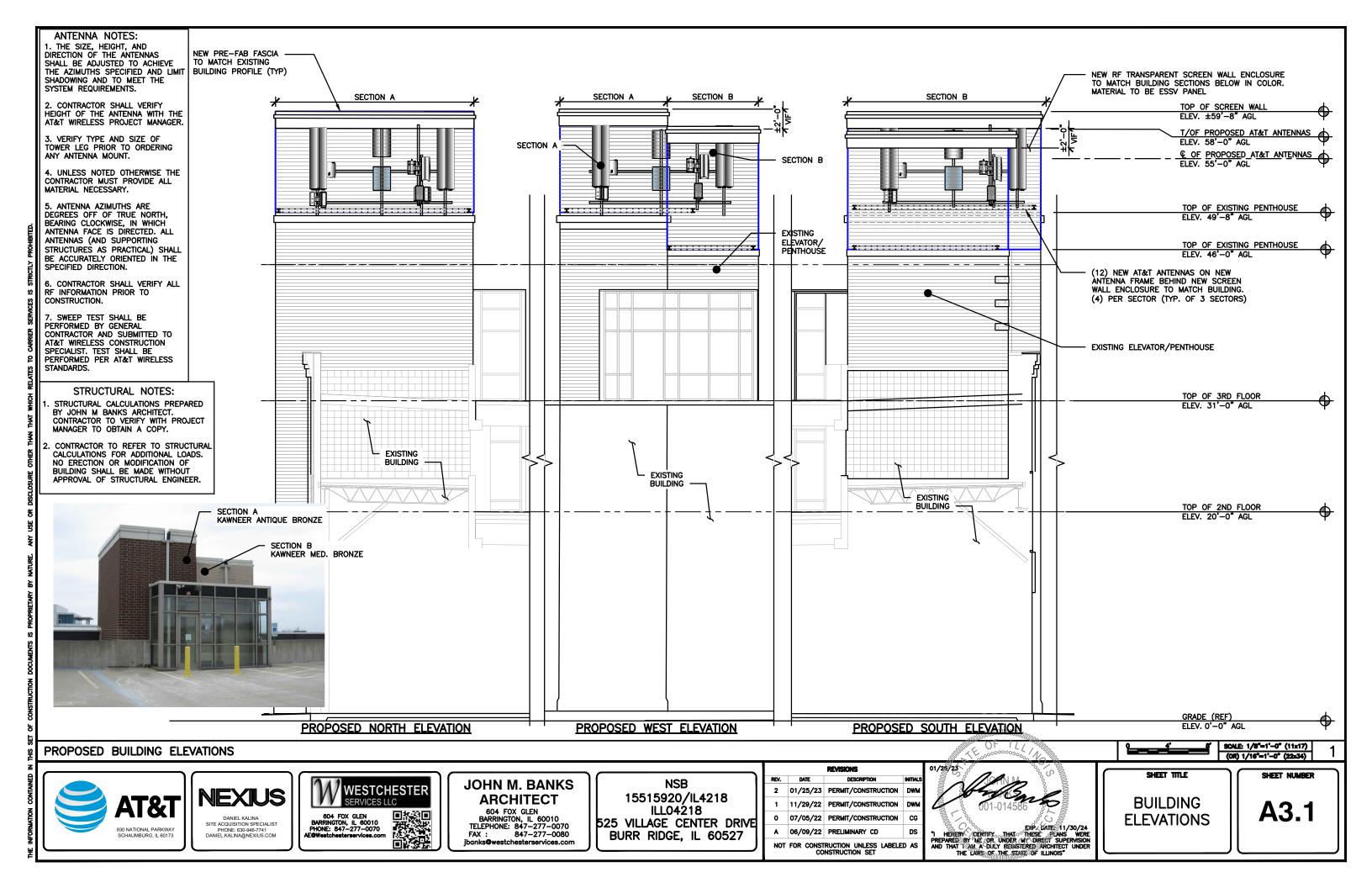
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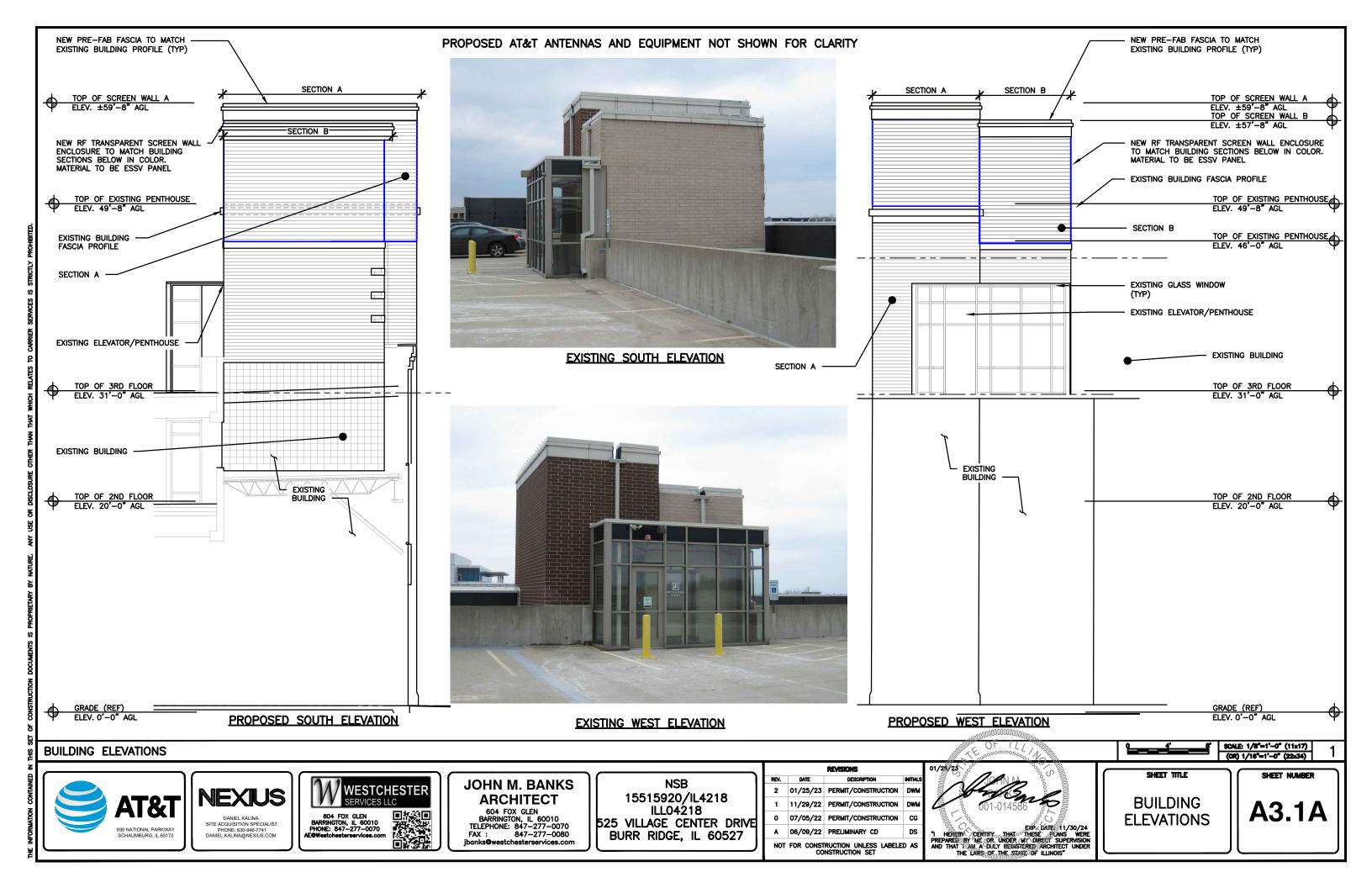
SHEET NUMBER

A3

(OR) 1/16"=1'-0" (22x34)

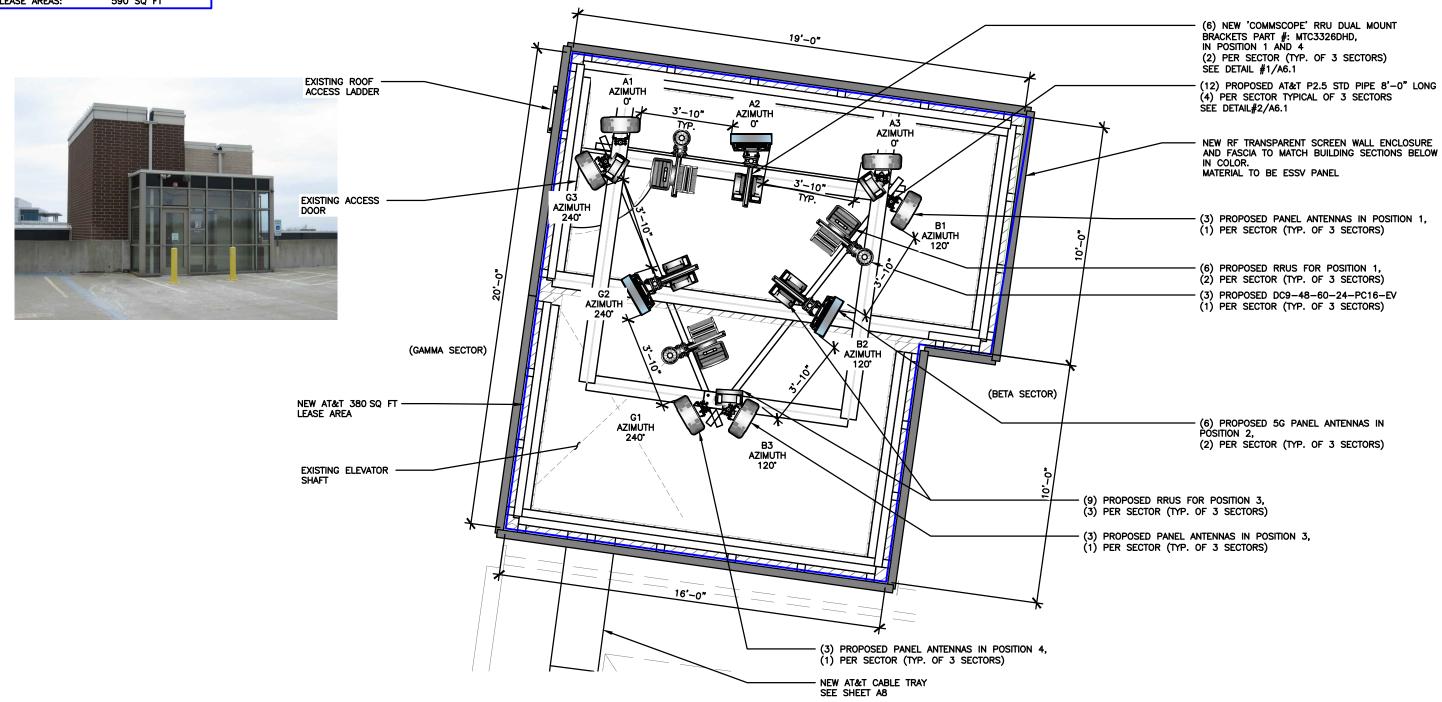






(ALPHA SECTOR)

EQUIPMENT LEASE AREA: 210 SQ FT ANTENNAS LEASE AREAS: 380 SQ FT TOTAL LEASE AREAS: 590 SQ FT











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REVISIONS					
REV.	DATE	DESCRIPTION	INITIALS		
2	01/25/23	PERMIT/CONSTRUCTION	DWM		
1	11/29/22	PERMIT/CONSTRUCTION	DWM		
0	07/05/22	PERMIT/CONSTRUCTION	CG		
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SHEET TITLE

ANTENNA PLAN

SHEET NUMBER

SCALE: 1/4"=1"-0" (11x17) (OR) 1/2"=1"-0" (22x34) NORTH

A4

THE INFORMATION CONTAINED IN THIS SE

- CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON THE DESIGN DRAWING. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION
- CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).

	SCALE	
NOTES	SCALE	- ス
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	CABLE MARKING LOCATIONS TABLE
NO	LOCATIONS
1	EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
2	EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP—JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
3	CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
4	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.
5	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.

- THE ANTENNA SYSTEM COAX SHALL BE LABELED WITH VINYL TAPE.
- THE STANDARD IS BASED ON EIGHT COLORED TAPES-RED, BLUE, GREEN, YELLOW, ORANGE, BROWN, WHITE, AND VIOLET. THESE TAPES MUST BE 3/4" WIDE & UV RESISTANT SUCH AS SCOTCH 35 VINYL ELECTRICAL COLOR CODING TAPE AND SHOULD BE READILY AVAILABLE TO THE ELECTRICIAN OR CONTRACTOR ON SITE. ALL TAPE SHALL BE INSTALLED USING A MINIMUM OF (3) THREE WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
- USING COLOR BANDS ON THE CABLES, MARK ALL RF CABLE BY SECTOR AND CABLE NUMBER AS SHOWN ON "CABLE COLOR CHART".
- WHEN AN EXISTING COAXIAL LINE THAT IS INTENDED TO BE A SHARED LINE BETWEEN TECHNOLOGIES IS ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE EXISTING COLOR CODING SCHEME AND REPLACE IT WITH THE COLOR CODING STANDARD. IN THE ABSENCE OF AN EXISTING COLOR CODING AND TAGGING SCHEME, OR WHEN INSTALLING PROPOSED COAXIAL CABLES, THIS GUIDELINE SHALL BE IMPLEMENTED AT THAT SITE REGARDLESS OF TECHNOLOGY.
- ALL COLOR BANDS INSTALLED AT THE TOP OF THE TOWER SHALL BE A MINIMUM OF 3" WIDE, AND SHALL HAVE A MINIMUM OF 3/4" OF SPACE BETWEEN EACH COLOR.
- ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.
- IF EXISTING CABLES AT THE SITE ALREADY HAVE A COLOR CODING SCHEME AND THEY ARE NOT INTENDED TO BE REUSED OR SHARED WITH THE NEW TECHNOLOGY, THE EXISTING COLOR CODING SCHEME SHALL REMAIN UNTOUCHED.

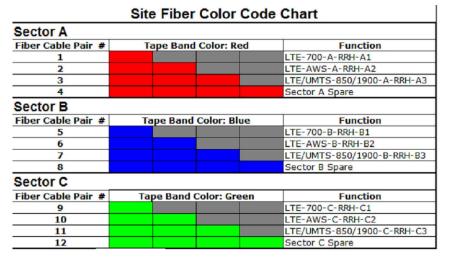
DANIEL KALINA

SITE ACQUISITION SPECIALIST

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PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE BASED ON RFDS DATES 05/03/22										
SECTOR	POS	TECH	ANTENNA	ANTENNA & HEIGHT	AZ	TMA/RRU	DC SURGE AND DISTRIBUTION	CABLE TYPE	CABLE LENGTH	DOWN TILTS
	1	LTE 700 5G 850 LTE 1900 LTE AWS 5G AWS	NNH4-65B-R6H4 (N)		0*	(1) RRH 4449 B5/B12 (N) (1) RRH 8843 B2/B66A (N)		(2) DC TRUNK (N) (1) 24 PAIR FIBER (N)		0
A	2	5G CBAND 5G DoD	AIR6449 B77D AIR6419 B77G	55'-0" AGL	0°		(1) DC9-48-60-24-PC16-EV (N)	DC (SHARED WITH A1) FIBER (SHARED WITH A1)	130'	
	3	LTE 700 LTE 1900 5G 1900 LTE WCS	NNH4-65B-R6H4 (N)		o	(1) RRH 4478 B14 (N) (1) RRH 4415 B25 (N) (1) RRH 4415 B30 (N)		DC (SHARED WITH A1) FIBER (SHARED WITH A1)		0
	1	LTE 700 5G 850 LTE 1900 LTE AWS 5G AWS	NNH4-65B-R6H4 (N)		120°	4449 B5/B12 (N) 4415 B30 (N)		(2) DC TRUNK (N) (1) 24 PAIR FIBER (N)		0
В	2	5G CBAND 5G DoD	AIR6449 B77D AIR6419 B77G	55'-0" AGL	120°		(1) DC9-48-60-24-PC16-EV (N)	DC (SHARED WITH B1) FIBER (SHARED WITH B1)	130'	
	3	LTE 700 LTE 1900 5G 1900 LTE WCS	NNH4-65B-R6H4 (N)		120°	4478 B14 (N) 8843 B2/B66A (N)		DC (SHARED WITH B1) FIBER (SHARED WITH B1)		0
	1	LTE 700 5G 850 LTE 1900 LTE AWS 5G AWS	NNH4-65B-R6H4 (N)		240°	4449 B5/B12 (N) 4415 B30 (N)		(2) DC TRUNK (N) (1) 24 PAIR FIBER (N)		0
С	2	5G CBAND 5G DoD	AIR6449 B77D AIR6419 B77G	55'-0" AGL	240°		(1) DC9-48-60-24-PC16-EV (N)	DC (SHARED WITH C1) FIBER (SHARED WITH C1)	130'	
	3	LTE 700 LTE 1900 5G 1900 LTE WCS	NNH4-65B-R6H4 (N)		240°	4478 B14 (N) 8843 B2/B66A (N)		DC (SHARED WITH C1) FIBER (SHARED WITH C1)		0

·		CABLE MAR	KING COLO	R CONVEN	TION TABLE			
	A1-1	A1-2	A2-1	A2-2	A3-1	A3-2	A4-1	A4-2
ALPHA, A, X, #1	+45	-45	+45	-45	+45	-45	+45	-45
Sector	RED	RED	RED	RED	RED	RED	RED	RED
Antenna	WHITE	WHITE	ORANGE	ORANGE	BROWN	BROWN	VIOLET	VIOLET
Port (+/-)	SLATE	BROWN	SLATE	BROWN	SLATE	BROWN	SLATE	BROWN
BAND (Low/Hi)	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE
*See notes 13 and	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET
BEAM (Left/Right)	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/
*See note 14 below	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW
	B1-1	B1-2	B2-1	B2-2	B3-1	B3-2	B4-1	B4-2
BETA, B, Y, #2	+45	-45	+45	-45	+45	-45	+45	-45
Sector	BLUE	BLUE	BLUE	BLUE	BLUE	BLUE	BLUE	BLUE
Antenna	WHITE	WHITE	ORANGE	ORANGE	BROWN	BROWN	VIOLET	VIOLET
Port	SLATE	BROWN	SLATE	BROWN	SLATE	BROWN	SLATE	BROWN
BAND (Low/Hi)	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE
*See notes 13 and	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET
BEAM (Left/Right)	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/
*See note 14 below	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW
	C1-1	C1-2	C2-1	C2-2	C3-1	C3-2	C4-1	C4-2
GAMMA, C, Z, #3	+45	-45	+45	-45	+45	-45	+45	-45
Sector	GREEN	GREEN	GREEN	GREEN	GREEN	GREEN	GREEN	GREEN
Antenna	WHITE	WHITE	ORANGE	ORANGE	BROWN	BROWN	VIOLET	VIOLET
Port	SLATE	BROWN	SLATE	BROWN	SLATE	BROWN	SLATE	BROWN
BAND (Low/Hi)	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE/	ORANGE,
*See notes 13 and	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET	VIOLET
BEAM (Left/Right)	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/	SLATE/
*See note 14 below	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW	YELLOW



* INCLUDES SAFETY FACTOR OF 20' FT. (10 FT. AT BOTH ENDS OF CABLE RUN). CONTRACTOR TO VERIFY RF CONSTRUCTION MANAGER AND/OR RF ENGINEER PRIOR TO INSTALLATION

(N) = NEW(X) = EXISTING(XR) = EXISTING/RELOCATED

(E) = ELECTRICAL (M) = MECHANICAL

= No Tape Band

ANTENNA AND CABLING INFORMATION

SCALE

SCHEDULE

WESTCHESTER

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JOHN M. BANKS **ARCHITECT**

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15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

REVISIONS					
REV.	DATE	DESCRIPTION	INITIALS		
2	01/25/23	PERMIT/CONSTRUCTION	DWM		
1	11/29/22	PERMIT/CONSTRUCTION	DWM		
0	07/05/22	PERMIT/CONSTRUCTION	CG		
Α	06/09/22	PRELIMINARY CD	DS		
NOT	FOR CONST	RUCTION UNLESS LABELE	ED AS		

"I HEREST DERTIFY THAT THESE FANS WERE PREPARED BY ME OR ON DOOR OF THE SUPERVISION AND THAT THE LAWS OF THE STATE OF ILLINOIS"

SCHEDULE & CABLE NOTES

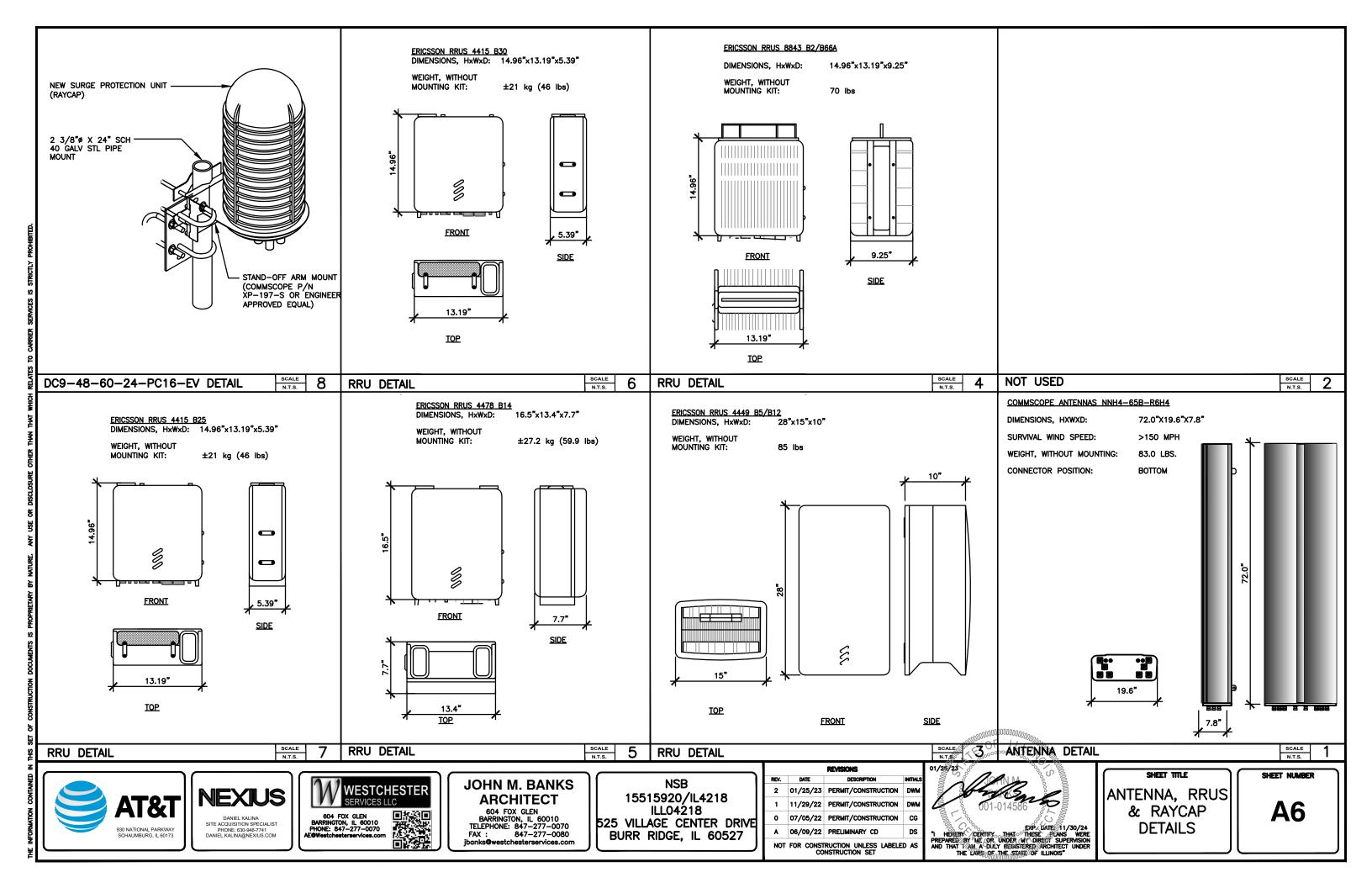
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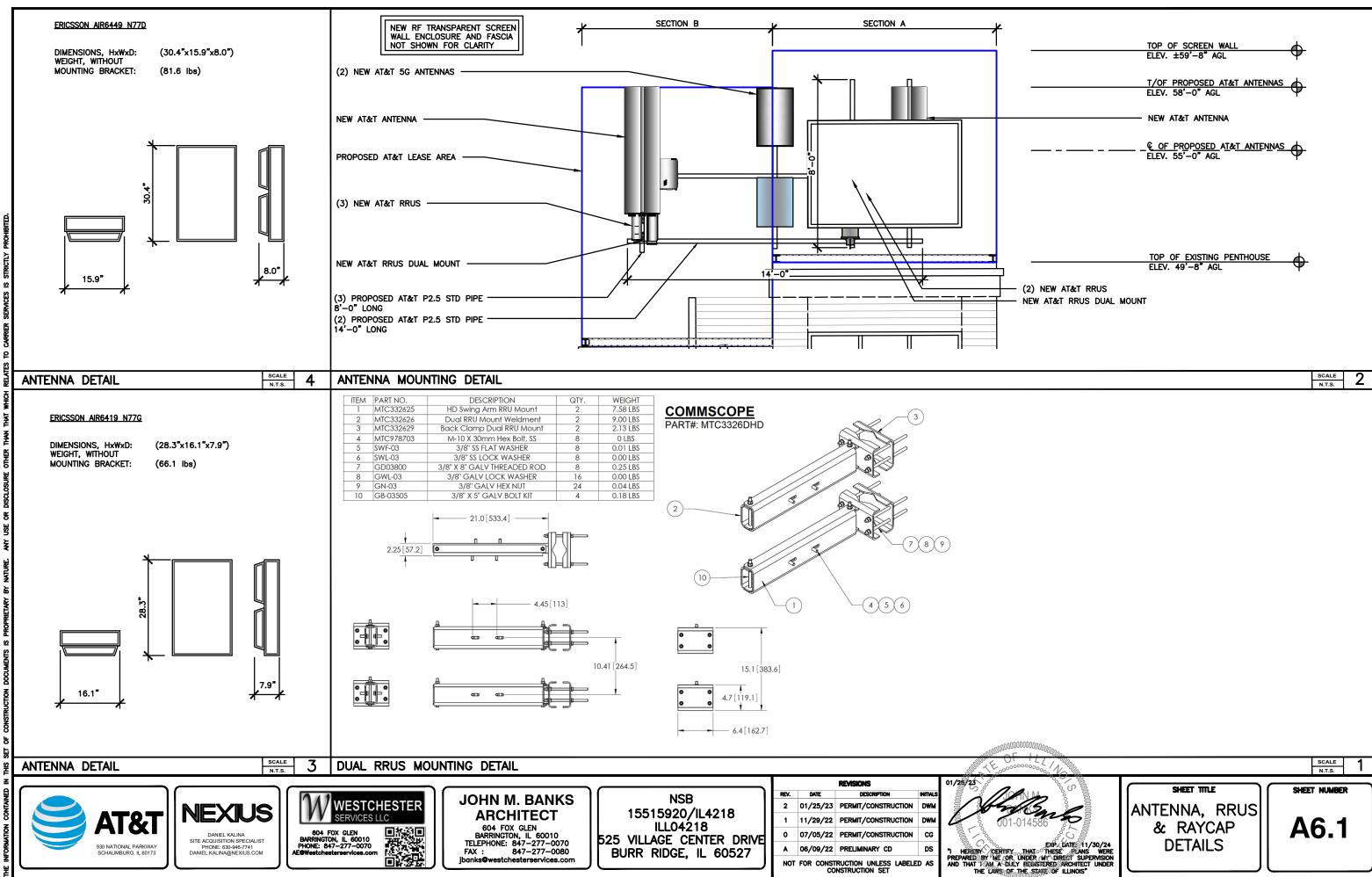
N.T.S. SHEET NUMBER

SCALE

A5

AT&T





BURR RIDGE, IL 60527

FAX: 847-277-0080 ibanks@westchesterservices.com

A 06/09/22 PRELIMINARY CD

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

DATA SHEET STEALTH Concealment Solutions STEALTHSKIN V ESSV Panel

DESCRIPTION Through testing and the experience of thousands of concealment sites constructed, Raycap has determined that the type and placement of materials used for screening antennas play a vital role in their performance. All our concealment panels allow for superior antenna signal transmission compared to fiberglass without the durability problems of fiber blooming or cracking over time. Panels are engineered and manufactured to become part of the existing structure and withstand extreme weather conditions while maintaining their original

APPLICATIONS ESSV panels are generally specified for dark color and desert climate applications. ESSV panels can be used to manufacture a variety of rooftop and tower-type concealment products including screenwalls, wall replacements, side-mounted boxes, clock towers and bell towers. The panel can be factory textured to match most existing architectural appearances such as brick, stucco, aggregate and split face block as well as custom applications.

RECOMMENDED FREQUENCIES Raycap generally recommends ESSV panels for frequencies up to 3GHz. We have testing currently in process for higher frequency applications and have insertion loss lab testing for most panel and texture combinations up to 100 GHz at multiple incidence angles. Please contact us to help select the best concealment panel for your site.

SIZES AND STYLES AVAILABLE ESSV panels are available in 4' x 8' and 4' x 10', and 4' x 12' standard sizes. Custom sizes are available upon request. Nominal panel thickness is 2.1875". Panel weight is 1.5 lb/sf for a smooth/painted texture.

PHYSICAL PROPERTIES ESSV panels are manufactured with sandwich panel geometry. FRP (fiberglass reinforced plastic) skins are laminated to an extruded polystyrene core using an ICBO approved adhesive. Physical performance properties of the skins and core are listed to the right.

PHYSICAL PERFORMANCE PROPERTIES OF FRP SKINS							
PROPERTY UNITS TEST RESULTS METHOD							
Coefficient of Linear Thermal Expansion	10 ⁵ /IN/IN/°C	ASTM D-696	3.46				
Water Absorption (24 hours)	%	ASTM D-570	0.17%				
Tensile Modulus	psi x 10 ²	ASTM D-638	9.43 x 10 ⁵				
Tensile Strength, Yield	psi	ASTM D-638	8,000				
Elongation, Yield	%	ASTM D-638	1.20%				
Flexural Modulus	psi x 10 ²	ASTM D-790	6.0 x 10 ⁵				
Flexural Strength	psi	ASTM D-790	17,000				
Compressive Strength	psi	ASTM D-695	18043/13042 Transverse				
Compressive Modulus	psi x 10 ²	ASTM D-695	0.783/0.508 Transverse				
IZOD Impact	F 0 lbs. Inch Notch	ASTM D-256	7.0				

PHYSICAL PERFORMANCE PROPERTIES OF EXTRUDED POLYSTYRENE CORE						
PROPERTY	UNITS	TEST METHOD	RESULTS			
Density	Lb/ft ³	ASTM D-1622	1.5			
Compressive Strength	Lb/in ²	ASTM D-1621 (vertical)	20			
Tensile Strength	Lb/in ²	ASTM D-1623 (vertical)	50			
Shear Strength	Lb/in ²	ASTM C-273	25			
Shear Modulus	Lb/in ²	ASTM C-273	330			
Flexural Strength	Lb/in ²	ASTM C-203	50			
Flexural Modulus	Lb/in ²	ASTM-203	1,600			
Water Absorption	% by volume	ASTM C-272	0.5			
R-Value per inch	F ft² h/Btu	ASTM C-518	5.0			
Surface Burning Characteristics (Flame Spread / Smoke Developed)	-	ASTM E84	15/165			

FABRICATION/INSTALLATION ESSV panels can be fabricated into various sizes and bent into corner panels and other shapes including radius applications. Due to the critical design aspects of many of its applications. We recommend that qualified designers or consultants design a total concealment system to support the panels.

AVAILABILITY Raycap maintains limited inventory of ESSV panels and has custom manufacturing capability in its facilities in South Carolina. Please contact us at 843-207-8000 or toll free at 800-755-0689 for sales information.

TECHNICAL SERVICES Raycap can provide technical information and support to address questions when using ESSV panels.

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G34-00-013 221027

Raycap

www.raycap.com

ESSV PANEL INFORMATION W.U.C. ELEVATIONS

AT&T





JOHN M. BANKS ARCHITECT

604 FOX GLEN BARRINGTON, IL 60010 TELEPHONE: 847-277-0070 847-277-0080 ibanks@westchesterservices.com

15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

DATE	DESCRIPTION	INITIALS
01/25/23	PERMIT/CONSTRUCTION	DWM
11/29/22	PERMIT/CONSTRUCTION	DWM
07/05/22	PERMIT/CONSTRUCTION	CG
06/09/22	PRELIMINARY CD	DS
	01/25/23 11/29/22 07/05/22	01/25/23 PERMIT/CONSTRUCTION 11/29/22 PERMIT/CONSTRUCTION 07/05/22 PERMIT/CONSTRUCTION 06/09/22 PRELIMINARY CD



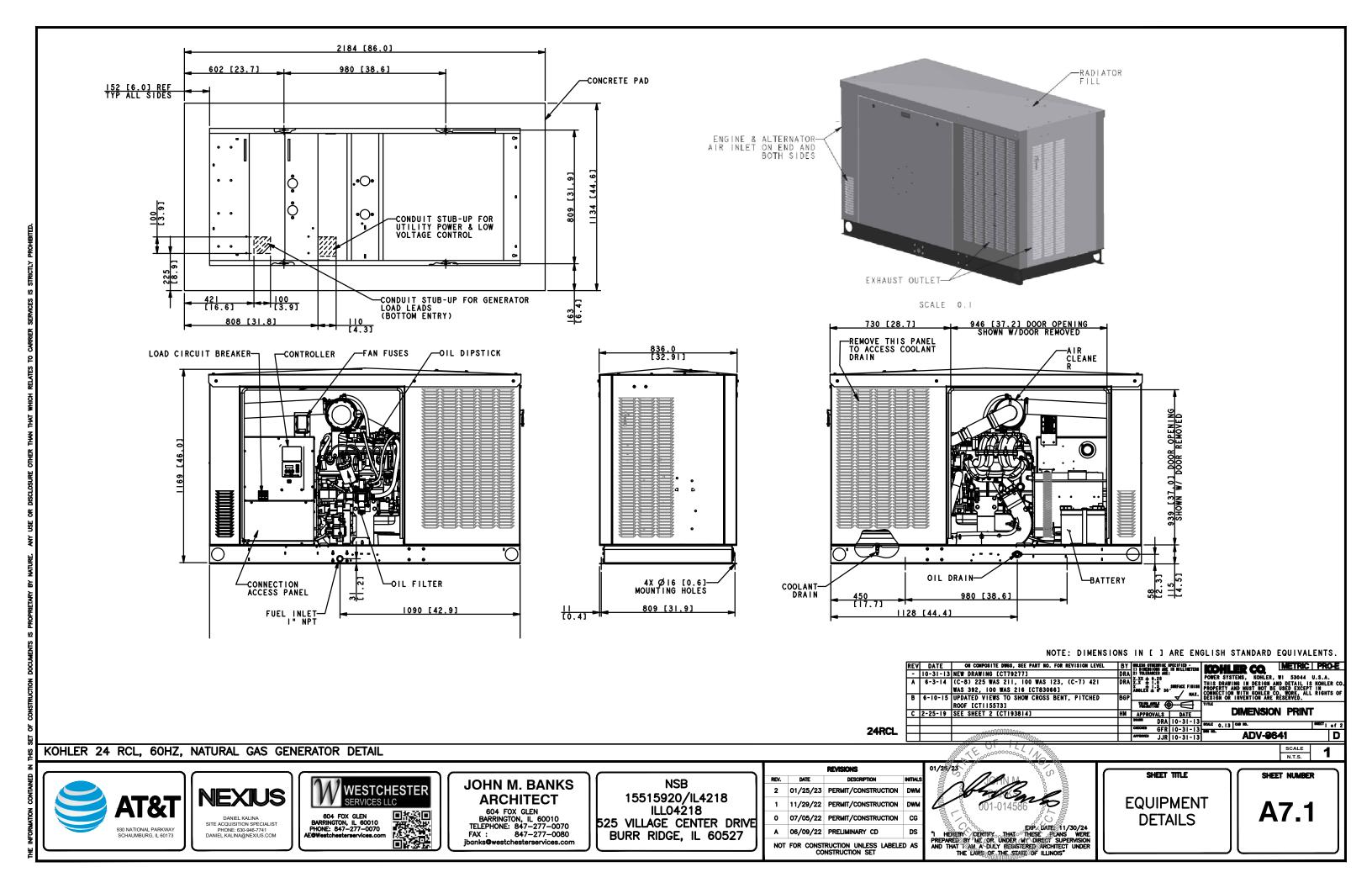
EQUIPMENT DETAILS

SHEET TITLE

A7

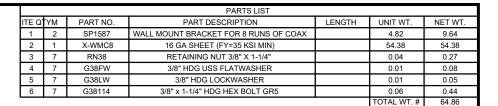
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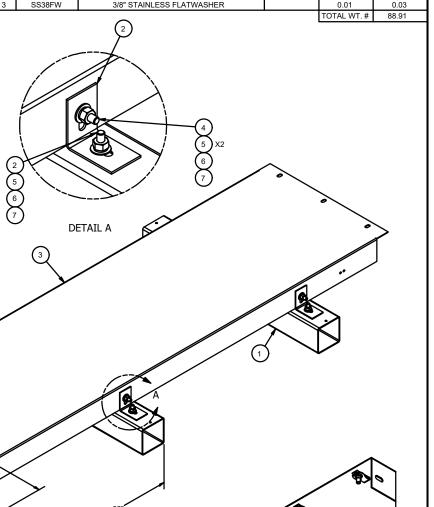
SCALE N.T.S.

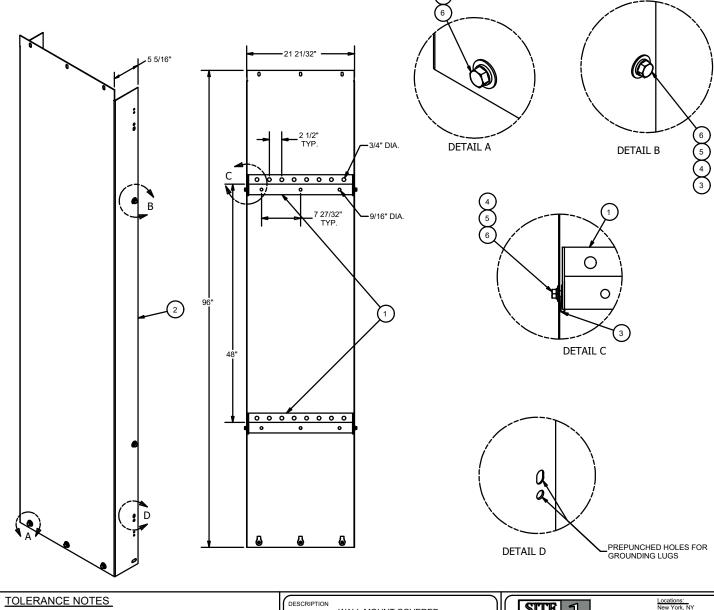














NOTE: PROVIDE 20 LBS OF BALLAST FOR EVERY 10FT OF CABLE TRAY

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES (± 0.030") DRILLED AND GAS CUT HOLES (± 0.030") - NO CONING OF HOLES LASER CUT EDGES AND HOLES (± 0.010") - NO CONING OF HOLES BENDS ARE ± 1/2 DEGREE

ALL OTHER MACHINING (± 0.030") ALL OTHER ASSEMBLY (± 0.060") PROPRIETARY NOTE:

THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT
WATHER AND TOMISIDENED A TRADE SECRET, ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF DESCRIPTION

CEK 8/30/2011

CUSTOMER

ROOFTOP COAX KITS FOR 8 RUNS OF COAX

BMC 9/2/2011

SP1543

SP1543

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES (± 0.030*) DRILLED AND GAS CUT HOLES (\pm 0.030") - NO CONING OF HOLES LASER CUT EDGES AND HOLES (\pm 0.010") - NO CONING OF HOLES BENDS ARE ± 1/2 DEGREE ALL OTHER MACHINING (± 0.030") ALL OTHER ASSEMBLY (± 0.060")

IQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT SIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF

VERTICAL CABLE TRAY DETAIL

WALL MOUNT COVERED COAX KIT 8 RUNS

BMC 9/6/2011

▲ valmont ❤ என்ன

WMC8 WMC8

HORIZONTAL ROOFTOP CABLE TRAY DETAIL

DANIEL KALINA SITE ACQUISITION SPECIALIST PHONE: 630-946-7741 DANIEL.KALINA@NEXIUS.COM



81 01

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FAX: 847–277–0080 847-277-0080 ibanks@westchesterservices.com

NSB 15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

SCALE

N.T.S.

L	REV.	DATE	DESCRIPTION	INITIALS
ı	2	01/25/23	PERMIT/CONSTRUCTION	DWM
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I	0	07/05/22	PERMIT/CONSTRUCTION	CG
ı	A	06/09/22	PRELIMINARY CD	DS



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CEK 8/31/2011

MOGUSTOMER

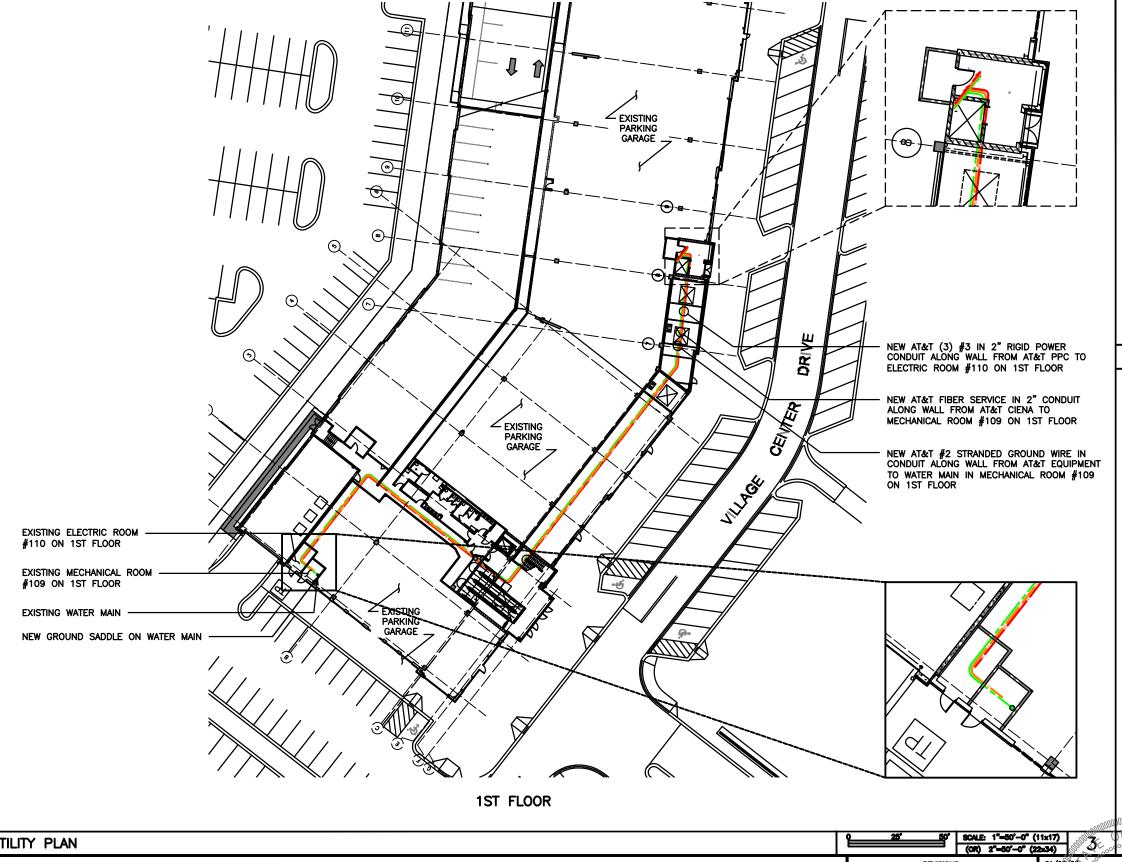
CABLE TRAY **DETAILS**

SHEET TITLE

SHEET NUMBER

A8





EXISTING OVERHEAD POWER EXISTING UNDERGROUND POWER EXISTING OVERHEAD UTILITIES **NEW UNDERGROUND POWER NEW UNDERGROUND FIBER**

1. ALL UNDERGROUND CONDUITS SHALL BE SCH 40 PVC. EXCEPT THAT ELBOWS AND RISERS SHALL BE RMC ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS. 2'-0" MINIMUM SHALL BE REQUIRED.

2. THE FIBER CABLES SHOULD BE INSTALLED IN RIGID METAL CONDUIT, (10'-0")
TEN FEET IN LENGTH BEFORE ENTERING A SHELTER OR BUILDING PER AT&T STANDARD ATT-TP 26416.

STANDARD ATT—TP 26416.

TWO CONDUITS ARE SHOWN IN DETAIL 2, ALTHOUGH MULTIPLE CONDUITS CAN BE PLACED IN THE SAME TRENCH. A MINIMUM SEPARATION IS REQUIRED PER THE LOCAL JURISDICTIONS AND UTILITY COMPANIES. IN ALL OTHER CASES, USE THE CONDUIT SPACING SCHEDULE TO MAINTAIN MINIMUM SPACING BETWEEN THE EXTERIOR WALL TO EXTERIOR WALL SEPARATION OF CONDUITS.

CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY STRUCK OF SEPARATION OF SEPARA

EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR

CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.

5. TRENCHING SAFETY; INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA TRENCHING AND EXCAVATION SAFETY STANDARDS.

6. ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION.

N.T.S.

SCALE **LEGEND** 2

UTILITY PLAN N.T.S.







JOHN M. BANKS ARCHITECT

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15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

		REVISIONS	
REV.	DATE	DESCRIPTION	INITIALS
2	01/25/23	PERMIT/CONSTRUCTION	DWM
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0	07/05/22	PERMIT/CONSTRUCTION	CG
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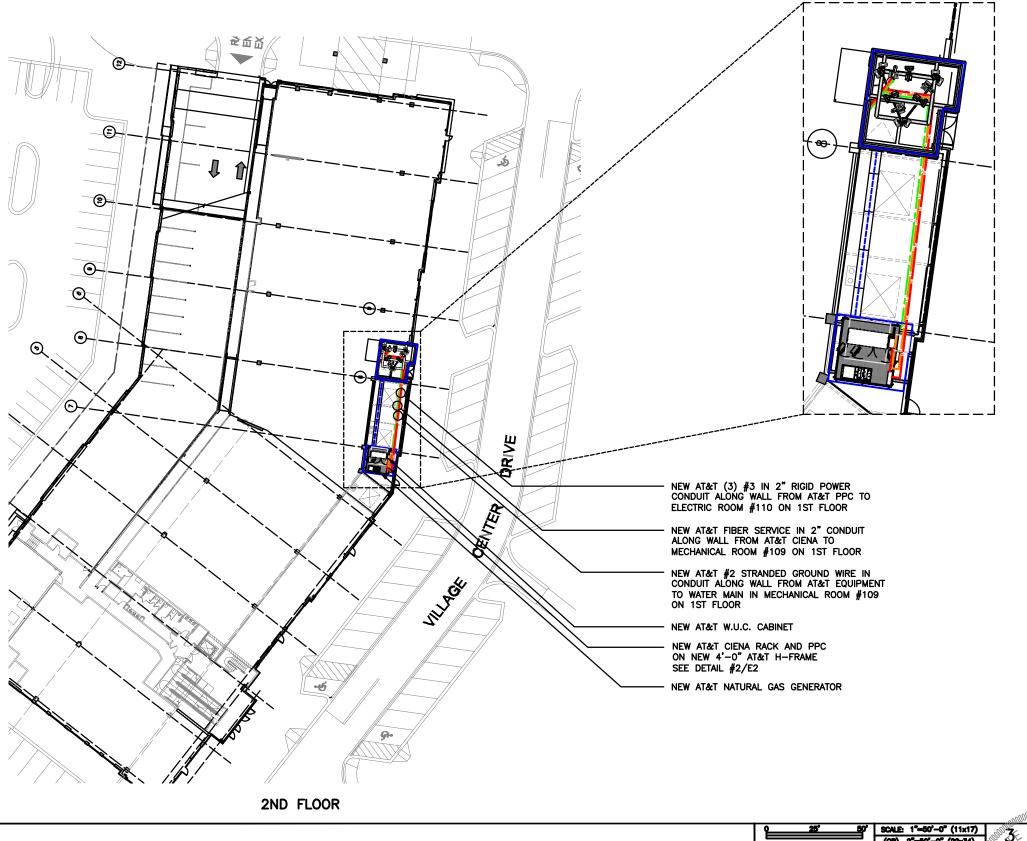
"HERESY CERTIFY THAT THESE DANS WERE PREPARED BY THE CON UNDER MY DIRECT SUPERVISION AND THAT TO ME CONTROL OF THE LAWS OF THE STATE OF ILLINOIS"

SHEET TITLE

UTILITY PLAN AND DETAILS

E1

SHEET NUMBER



EXISTING OVERHEAD POWER **EXISTING UNDERGROUND POWER** EXISTING OVERHEAD UTILITIES **NEW UNDERGROUND POWER NEW UNDERGROUND FIBER**

1. ALL UNDERGROUND CONDUITS SHALL BE SCH 40 PVC. EXCEPT THAT ELBOWS AND RISERS SHALL BE RMC ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS. 2'-0" MINIMUM SHALL BE REQUIRED.

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3. TWO CONDUITS ARE SHOWN IN DETAIL 2, ALTHOUGH MULTIPLE CONDUITS CAN BE PLACED IN THE SAME TRENCH. A MINIMUM SEPARATION IS REQUIRED PER THE LOCAL JURISDICTIONS AND UTILITY COMPANIES. IN ALL OTHER CASES, USE THE CONDUIT SPACING SCHEDULE TO MAINTAIN MINIMUM SPACING BETWEEN THE EXTERIOR WALL TO EXTERIOR WALL SEPARATION OF CONDUITS.

4. CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY

EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR

CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.

5. TRENCHING SAFETY; INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA TRENCHING AND EXCAVATION SAFETY STANDARDS.

6. ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION.

N.T.S.

SCALE LEGEND 2

SCALE: 1"=50'-0" (11x17) (OR) 2"=50'-0" (22x34) UTILITY PLAN N.T.S.







JOHN M. BANKS ARCHITECT

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15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

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0	07/05/22	PERMIT/CONSTRUCTION	CG
A	06/09/22	PRELIMINARY CD	DS
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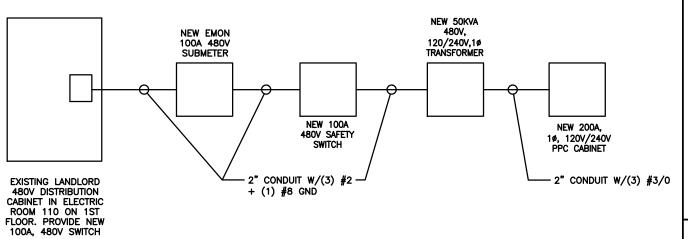
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UTILITY PLAN AND DETAILS

SHEET TITLE

SHEET NUMBER

E1.1



											RATI	ED	LO	AD											
	LOAD			LOAD PER	PHASE (VA)	8.	Si	Snon	П	Щ	Ş ^M			오ዞ	بيا	日	nons	SD	OR.	LOAD PER	PHASE (VA)			LOAD	
	DESCRIPTION	QTY.	UNIT	PH	ASE	E COLOR	LOADS	CONTIN	LOADS SUB-PANEL	WIRE SIZE	GROUNDING WIRE SIZE	퉴	TRIP	GROUNDING WIRE SIZE	WIRE SIZE	LOADS B-PAN	LOADS NON-CONTINUOUS	LOADS	E COLOR	PH	ASE	UNIT	QTY.	DESCRIPTION	
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1	RECTIFIER #1	1	1400	1400		BLK	x			8	(10)	40	40	(10)	8			x	BLK	1400		1400	1	RECTIFIER #5	2
3	RECHIER #1	1	1400		1400	RED	Ĺ			Ľ	(10)		L	(10)	Ľ				RED		1400	1400	1	KEOTHER #5	4
5	RECTIFIER #2	1	1400	1400	$\times\!\!\times\!\!\times$	BLK	l x			8	(10)	40	40	(10)	8			x	BLK	1400	$\times\!\!\times\!\!\times$	1400	1	RECTIFIER #6	6
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9	RECTIFIER #3	1	1400	1400		BLK	x			8	(10)	40	40	(10)	8			x	BLK	1400		1400	1	Rectifier #7	10
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19					* * * * *	RED	x			12	12	20							RED		* * * *				20
21	GFCI RECEPTACLES	2	180	360		BLK	х			12	(12)	20							BLK	~~~					22
23	OPTIONAL FIBER BOX RECEPTACLE	1	180	$\times\!\!\times\!\!\times$	180	RED	х			12	12	20							RED	$\times\!\!\times\!\!\times$	· × × × ×				24
25	BATTERY CHARGER	1	240	240		BLK	Х			12	12	20							BLK						26
27	BLOCK HEATER	1	1500	$\times\!\!\times\!\!\times$	1500	RED	Х			12	12	20							RED		X X X X .				28
29	OIL HEATER	1	180	180		BLK	Х			12	12	20							BLK			CURTO	[TOTAL 10/4	30
		CON	IBTOTAL ITINUOUS IBTOTAL	6,380	7,280 _															5,600	5,600	SUBTO CONTINU SUBTO	IOUS Tal	TOTAL KVA CONTINUOUS x 1.25	31.075
		NON-C	IBTOTAL CONTINUOUS IBTOTAL 3-PANEL	_	-																	SUBTO NON-CONT SUBTO SUB-PA		TOTAL KVA NON-CONTINUOUS TOTAL KVA	-
PANE	EL DESIGNATION:ELECTRICAL PA			l																		SUB-PA	WEL	SUB-PANEL	-
	I LUGS:N/A MAIN BREA		AMP					\perp										ІСН В	REAKE	R TYPESIEM	ENS - BL			TOTAL KVA	31.075
VOLT	TAGE: 120/240 CYCL	E: 60		PHASE: 1	WIR	ES:	3	MAIN	COPP	er bu	JS: 200) AMP	S	NEU	TRAL:2	OO AMI	PS							TOTAL AMPS	129.48

PANEL SCHEDULE 2

SINGLE LINE DIAGRAM

604 FOX GLEN BARRINGTON, IL 60010 PHONE: 847-277-0070

DANIEL KALINA SITE ACQUISITION SPECIALIST PHONE: 630-946-7741 DANIEL.KALINA@NEXIUS.COM

JOHN M. BANKS **ARCHITECT**

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TELEPHONE: 847-277-0070
FAX: 847-277-0080
jbanks@westchesterservices.com

15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

	ł		REVISIONS	
ı	REV.	DATE	DESCRIPTION	INITIALS
	2	01/25/23	PERMIT/CONSTRUCTION	DWM
	1	11/29/22	PERMIT/CONSTRUCTION	DWM
	0	07/05/22	PERMIT/CONSTRUCTION	CG
	А	06/09/22	PRELIMINARY CD	DS
)	NOT		TRUCTION UNLESS LABELE	D AS

"I HEREBY OF THAT THESE TANS WERE PREPARED BY ME OR OF OFFICE WAS WERE AND THAT OF THE STATE OF ILLINOIS"

SHEET TITLE **ELECTRICAL PANEL SCHEDULE**

SHEET NUMBER

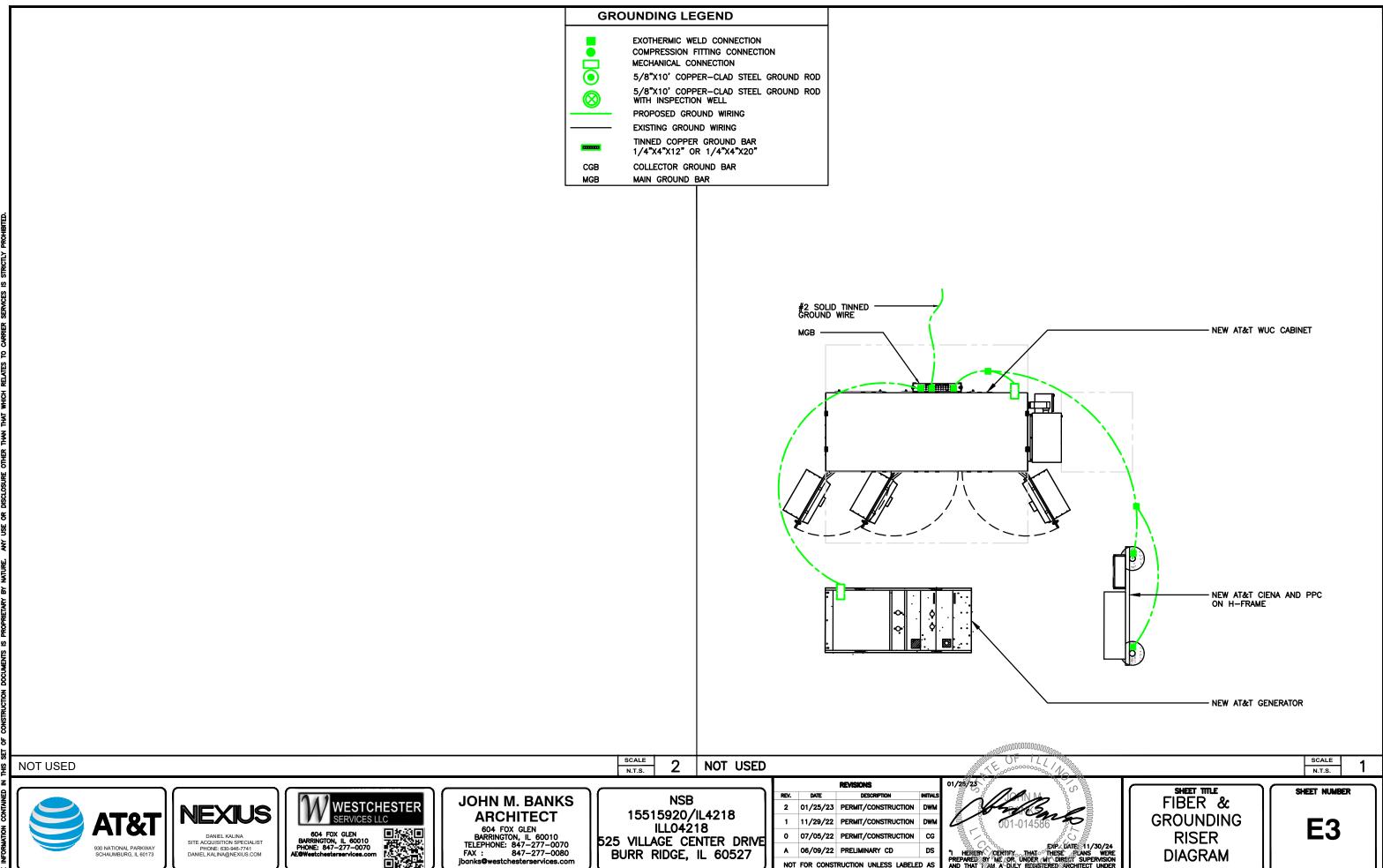
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E2

AT&T

WESTCHESTER SERVICES LLC

NOT USED



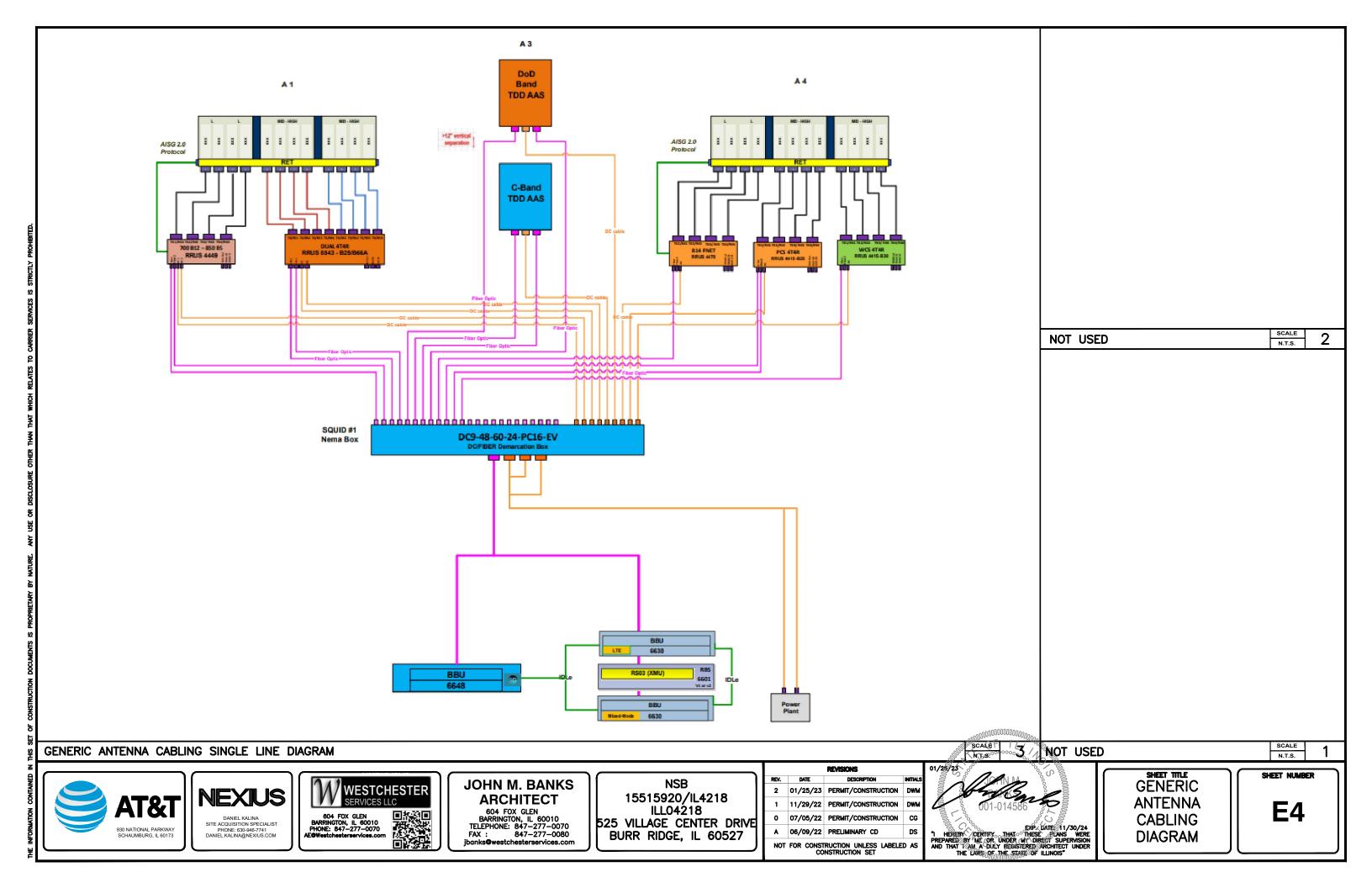
BURR RIDGE, IL 60527

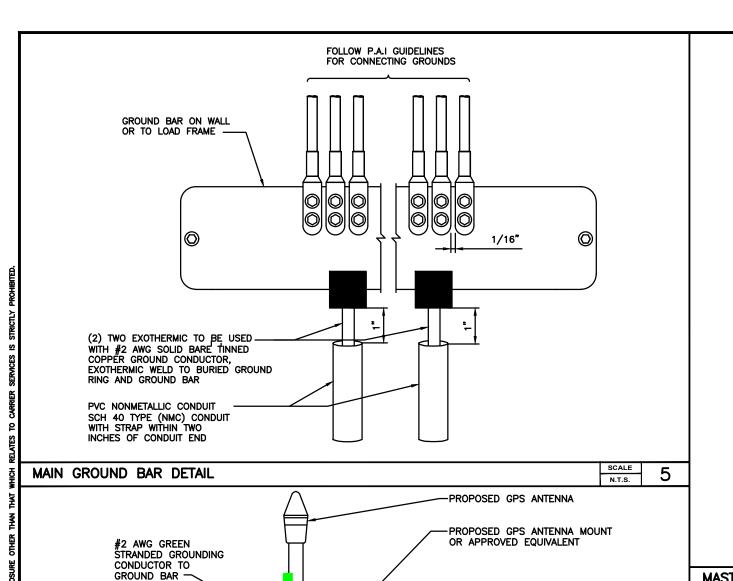
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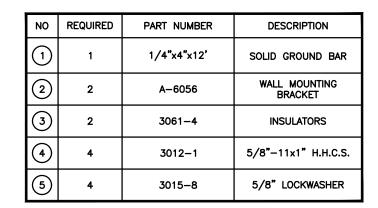
DIAGRAM

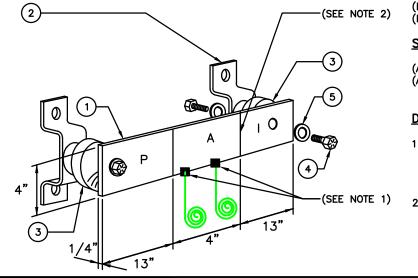
A 06/09/22 PRELIMINARY CD

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET









EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS **ORIGIN AND DESTINATION**

SECTION "P" - SURGE PROTECTORS

- (EC) CELL REFERENCE GROUND BAR (IF COLLOCATED)
- (EC) GENERATOR FRAMEWORK (IF AVAILABLE) (#2 AWG)
- TELCO GROUND BAR (#2 AWG)
- (EC) COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (3/0)
- (EC) FIBER GROUND BAR (#2 AWG)
- (EC) POWER ROOM REFERENCE GROUND BAR (#2 AWG)

(AT&T) RECTIFIER FRAMES

SECTION "A" - SURGE ABSORBERS

- (EC) INTERIOR GROUND RING (#2 AWG)
- (EC) EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2
- (EC) METALLIC COLD WATER PIPE (IF AVAILABLE) (1/0 AWG) (EC) BUILDING STEEL (IF AVAILABLE) (1/0 AWG)

SECTION "I" - ISOLATED GROUND ZONE

(AT&T) ALL ISOLATED GROUND REFERENCE (AT&T) GROUND WINDOW BAR

DETAIL NOTES:

- EXOTHERMICALLY WELD #2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- 2. THE INSTALLER SHALL USE PERMANENT MARKER TO DRAW THE LIKE BETWEEN SECTION AND LABEL EACH SECTION ("P", "A", "I" WITH 1" HIGH

MASTER GROUND BAR DETAIL

STAINLESS STEEL 3/8" ANGLE ADAPTER

SITEPRO 1 P/N: ADAP WUC PLATFORM MEMBER EMI PART #W-000-954 FILLISTER **FASTENER** STAINLESS STEEL 3/8" ANGLE ADAPTER SITEPRO 1 P/N: ADAP **INSULATOR** NEW MASTER GROUND BAR

ANTENNA COAX CABLE WEATHERPROOFING KIT ONLY AT STRAIGHT COAX RUNS CABLE GROUND KIT 6 AWG STRANDED COPPER CONDUCTOR WITH GREEN, 600V, THWN-2 INSULATION GROUNDED TO GROUND BAR-COAX JUMPER CABLE

GPS	ANTFNNA	GROUNDING
UI U		CINCUIDING

#2 AWG BARE TINNED COPPER—

OUTSIDE GROUNDING BUS BAR ~

。。。∟

EXOTHERMIC

CONNECTION

TO GROUND RING

604 FOX GLEN BARRINGTON, IL 60010 PHONE: 847-277-0070 DANIEL KALINA SITE ACQUISITION SPECIALIST PHONE: 630-946-7741 DANIEL.KALINA@NEXIUS.COM

WESTCHESTER

PROPOSED STRUCTURE

1/2" COAX CABLE 8" MINIMUM BENDING RADIUS PER CABLE

MANUFACTURER'S SPECIFICATIONS

SECURE TO WALL

USING (4) BOLTS

604 FOX GLEN BARRINGTON, IL 60010 TELEPHONE: 847-277-0070 847-277-0080 ibanks@westchesterservices.com

15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

ANGLE ADAPTER DETAIL

REV.	DATE	DESCRIPTION	INITIALS
2	01/25/23	PERMIT/CONSTRUCTION	DWM
1	11/29/22	PERMIT/CONSTRUCTION	DWM
0	07/05/22	PERMIT/CONSTRUCTION	CG
A	06/09/22	PRELIMINARY CD	DS

"I HEREST DERTIFY THAT THESE TANS WERE PREPARED BY ME OR NOBER MY DIRECT SUPERVISION AND THAT THE LAWS OF THE STATE OF ILLINOIS"

ICOAX GROUND KIT DETAIL

GROUNDING DETAILS

SHEET TITLE

SHEET NUMBER

SCALE

N.T.S.

SCALE

N.T.S.

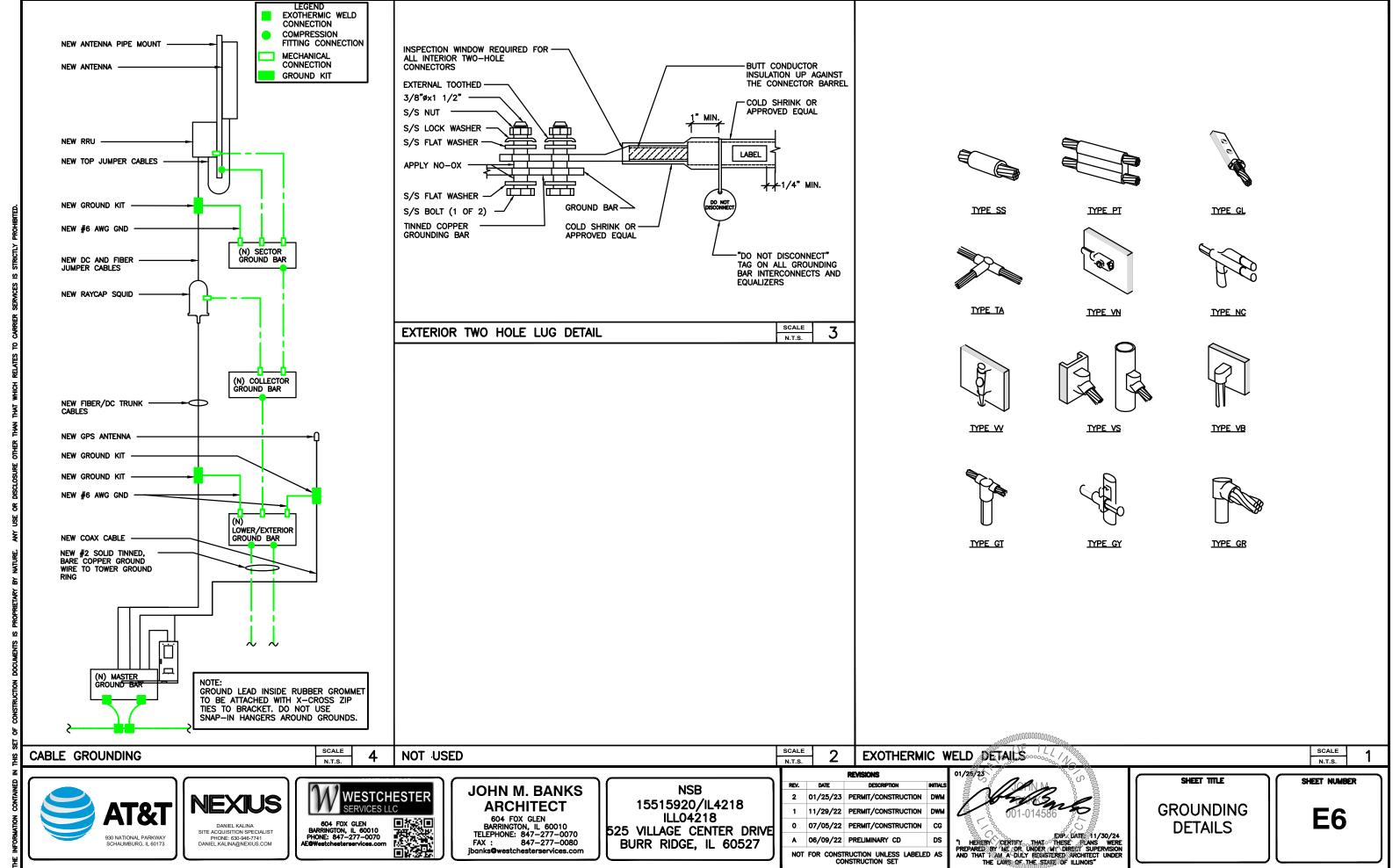
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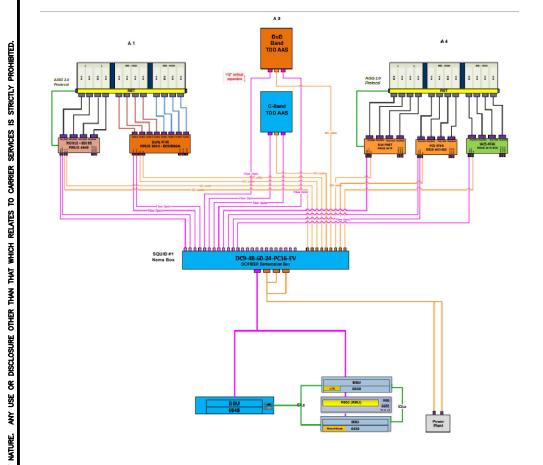
E5

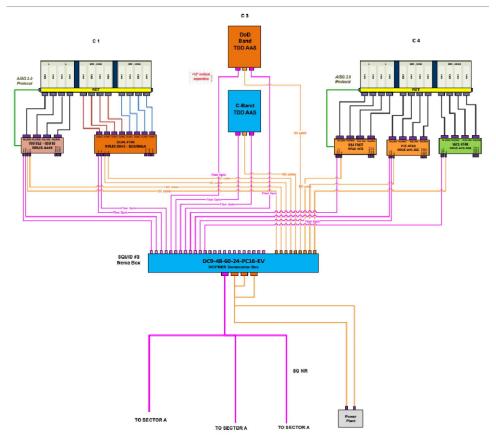
AT&T

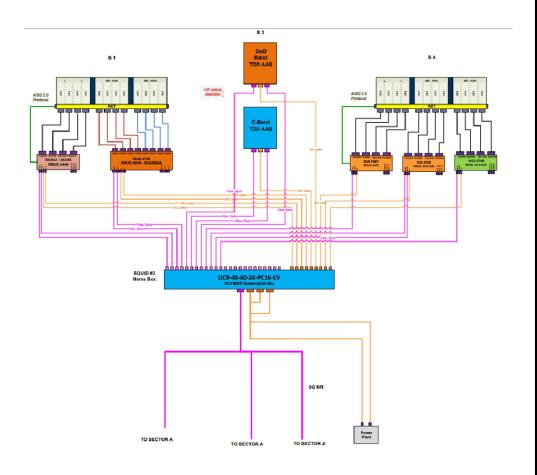
JOHN M. BANKS **ARCHITECT**

N.T.S.













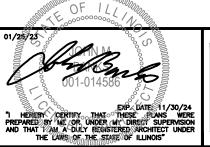


JOHN M. BANKS ARCHITECT 604 FOX GLEN

604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
FAX: 847-277-0080
jbanks@westchesterservices.com

NSB 15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

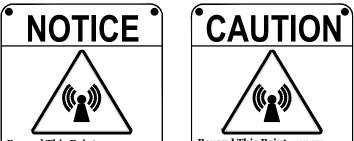
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REV.	DATE	DESCRIPTION	INITIALS
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0	07/05/22	PERMIT/CONSTRUCTION	CG
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SHEET TITLE

LEGEND AND DETAILS

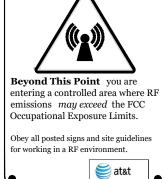
RF



Bevond This Point you are entering a controlled area where RF emissions may exceed the FCC General Population Exposure Limits

Follow all posted signs and site guidelines for working in a RF environment.

ĕ at&t Ref: 47CFR 1.1307(b)



ALERTING SIGNS

WARNING! DANGER DO NOT TOUCH TOWER! SERIOUS "RF" BURN HAZARD! MAINTAIN AN ADEQUATE CLEARANCE BETWEEN TOWER SUPPORTS AND GUY WIRES

at&t PROPERTY OF AT&T **AUTHORIZED** PERSONNEL ONLY

IN CASE OF EMERGENCY, OR PRIOR TO PERFORMING MAINTENANCE ON THIS SITE, CALL 800-638-2822 AND REFERENCE CELL SITE NUMBER

ALERTING SIGN

at&t

INFORMATION

Contact AT&T at _____ prior to performing any maintenance or repairs near AT&T antennas. This is

INFORMACION

€ at&t

INFO SIGN #1



INFO SIGN #5

INFORMATION

ACTIVE ANTENNAS ARE MOUNTE BEHIND THIS PANEL ON THIS STRUCTURE STAY BACK A MINIMUM OF 3 FEET FROM THESE ANTENNAS

€ at&t INFO SIGN #2



(FOR CELL SITE BATTERIES)

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ALERTING SIGN (FOR DIESEL FUEL)



ALERTING SIGN (FOR PROPANE)

GENERAL SIGNAGE GUIDELINES

INFO SIGN#1	INFO SIGN #2	INFO SIGN #3	INFO SIGN #4	Striping	NOTICE SIGN	CAUTION SIGN
entrance gates, shelter doors OR on the outdoor cabinets	climbing side of the Tower	On backside of Antennas	entrance gates, shelter doors OR on the outdoor cabinets			At the height of the first climbing step, min. 9ft above ground
entrance gates, shelter doors OR on the outdoor cabinets	climbing side of the Tower	On backside of Antennas	entrance gates, shelter doors OR on the outdoor cabinets			At the height of th first climbing step min. 9ft above ground
entrance gates, shelter doors OR on the outdoor cabinets	on the pole, no less than 3ft below the Antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the outdoor cabinets			
entrance gates, shelter doors OR on the outdoor cabinets	on the pole, no less than 3ft below the Antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the outdoor cabinets		is: 0-99%: Notic Caution sign at no	MPE at antenna leve ce sign; over 99%: b less than 3ft below 9ft above ground
entrance gates, shelter doors OR on the outdoor cabinets	on the pole, no less than 3ft below the Antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the outdoor cabinets		9ft above ground: exceeds 90% of exposure at 6ft	sign at no less thar only if the exposur f the General Public above ground or at of adjacent buildings
X			Х			
Х		Χ	Х			
Х	X		Х			
X	X		X			
X	X		Х			
X	adjacent to each antenna		X		either Notice or Ca	aution sign (based o
x	adjacent to each antenna		x	diagonal, yellow striping as to Roofview graph	Roofview results) at antennas/barrie
Access to steeple	adjacent to antennas if antennas are concealed	On backside of Antennas	Access to steeple			Caution sign at the antennas
	adjacent to antennas if	On backside of				Caution sign besid
	entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets X X X X X X X X X X X X X	entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets entrance gates, shelter doors OR on the outdoor cabinets 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Notes for Roofton sites:

- 1. Either NOTICE or CAUTION signs need to be posted at each sector as close as possible to: the outer edge of the striped off area or the outer antennas of the sector
- 2. If Roofview shows: only blue = Notice Sign, blue and yellow = Caution Sign, only yellow = Caution Sign to be installed.
- 3. Should the required striping area interfere with any structures or equipment (A/C, vents, roof hatch, doors, other antennas, dishes, etc.),
- please notify AT&T to modify the striping area, prior to starting the work

SIGNAGE GUIDELINES CHART INFO SIGN #3





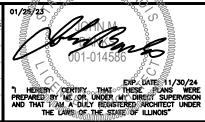


JOHN M. BANKS ARCHITECT

604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
FAX: 847-277-0080
jbanks@westchesterservices.com

15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

REV.	DATE	DESCRIPTION	INITIALS
2	01/25/23	PERMIT/CONSTRUCTION	DWM
1	11/29/22	PERMIT/CONSTRUCTION	DWM
0	07/05/22	PERMIT/CONSTRUCTION	CG
Α	06/09/22	PRELIMINARY CD	DS
NOT		RUCTION UNLESS LABELE	D AS



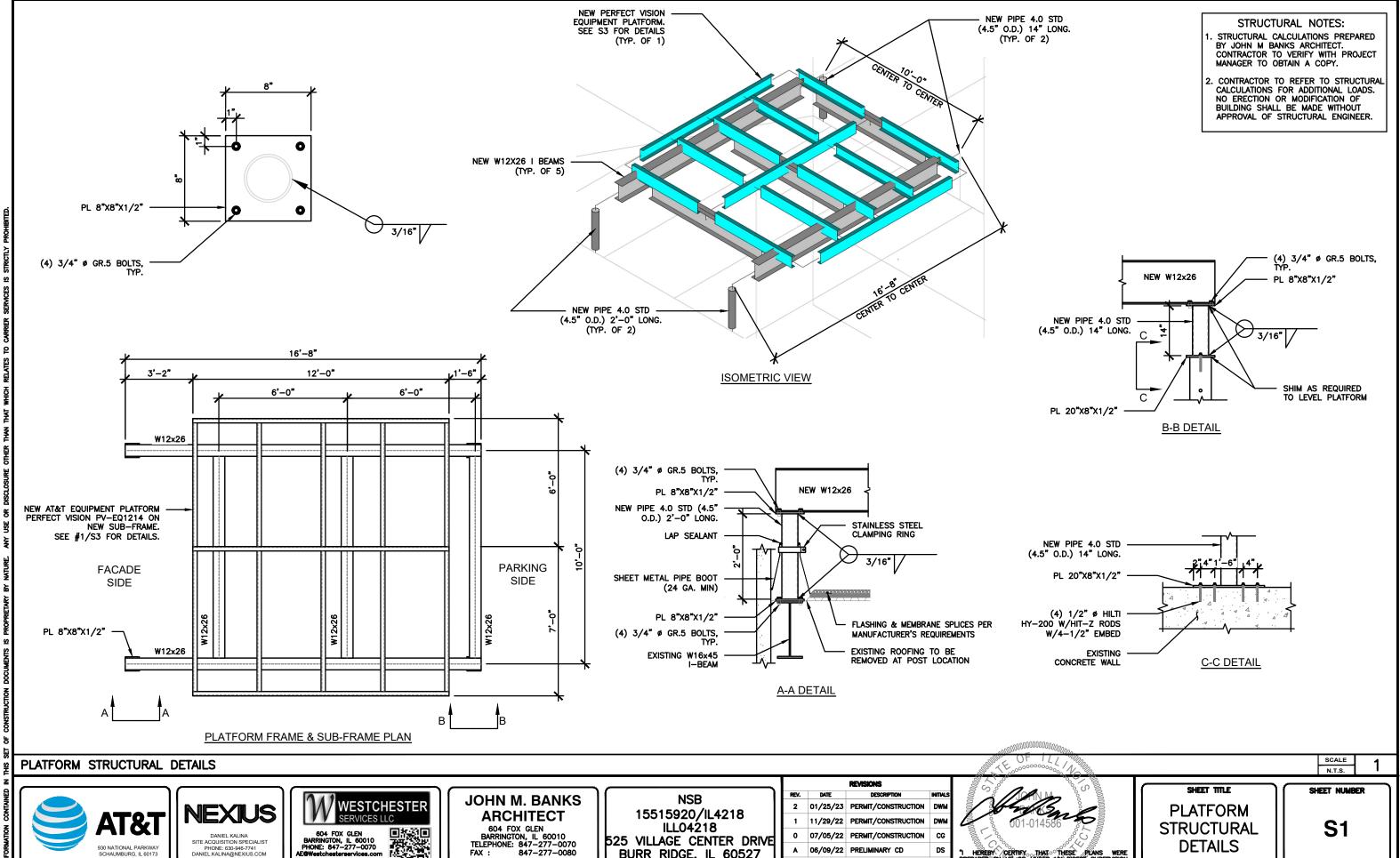
SHEET TITLE

LEGEND AND **DETAILS**

SIGNAGE

SHEET NUMBER

WESTCHESTER



BURR RIDGE, IL 60527

847-277-0080

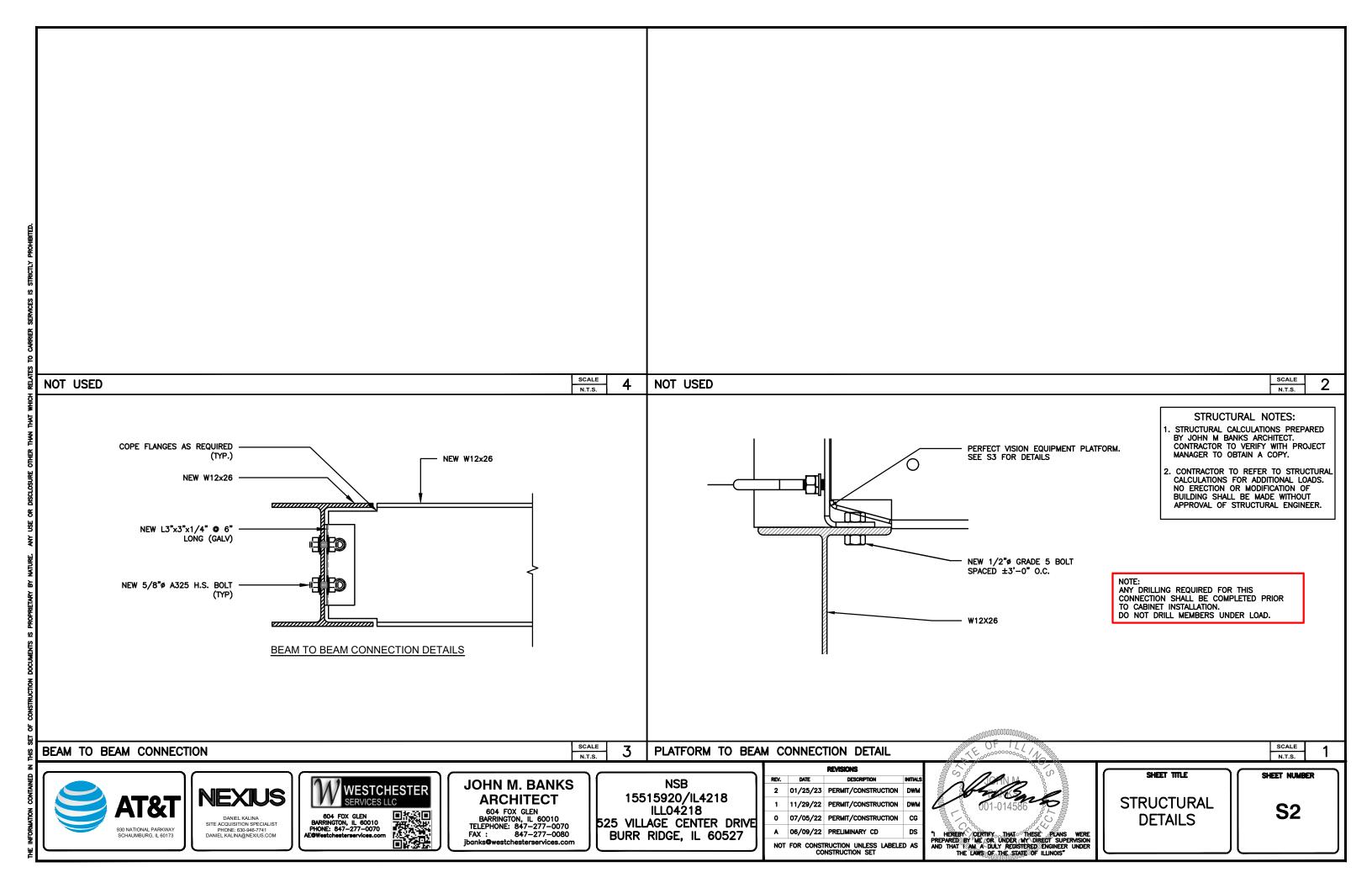
ibanks@westchesterservices.com

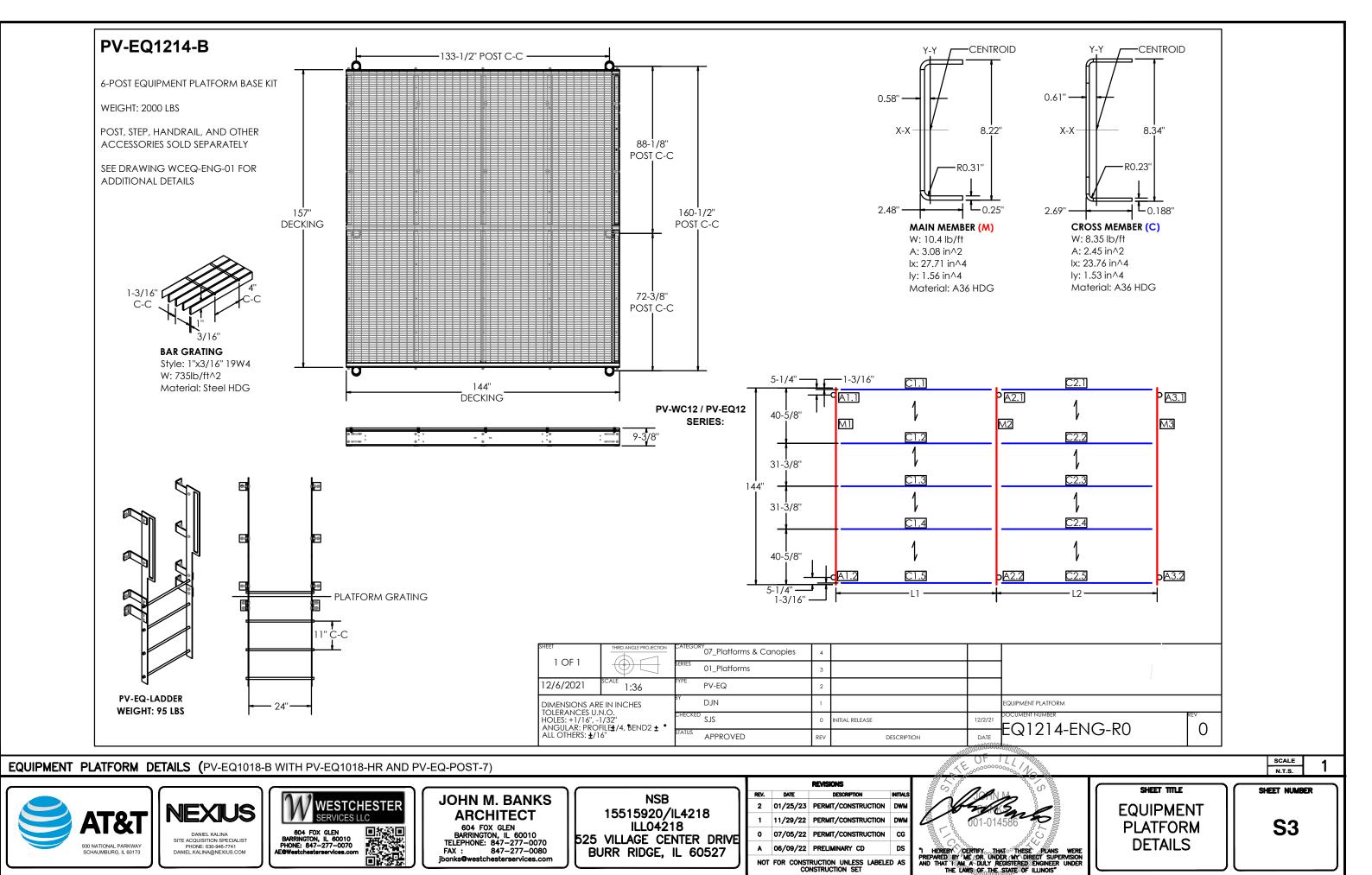
A 06/09/22 PRELIMINARY CD

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

DETAILS

"I HEREBY DERTIFY THAT THESE PLANS WERE PREPARED BY ME OR, UNDER MY DIRECT SUPERVISION AND THAT WAS A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS"



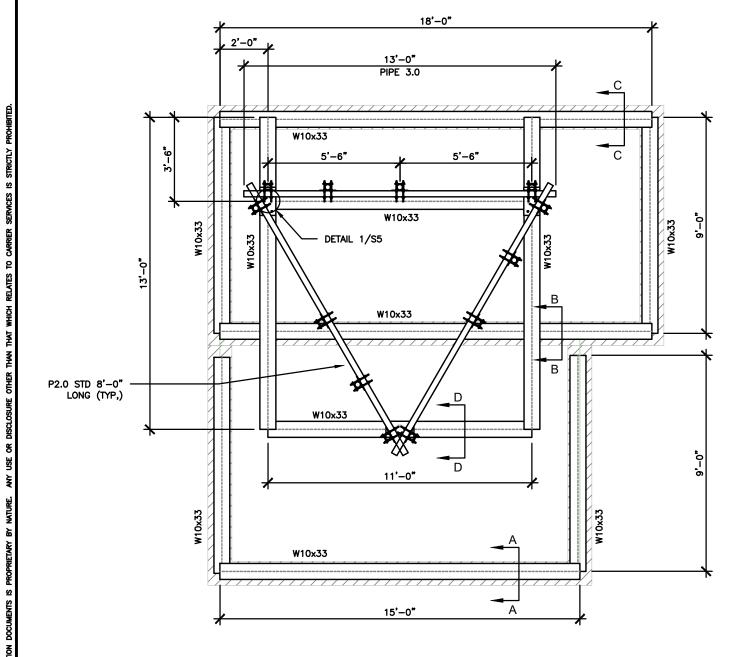


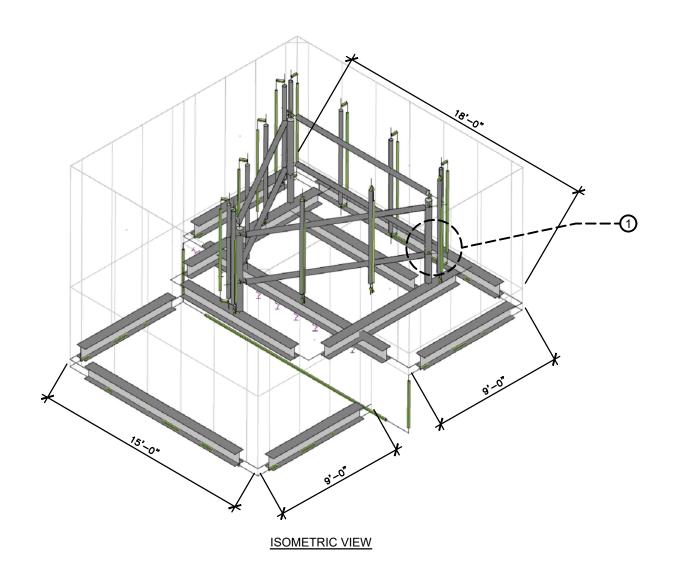
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

STRUCTURAL NOTES:
SEE S5 FOR DETAILS OF THE
ANTENNAS FRAME & SUB-FRAME

STRUCTURAL NOTES:

- STRUCTURAL CALCULATIONS PREPARED BY JOHN M BANKS ARCHITECT. CONTRACTOR TO VERIFY WITH PROJECT MANAGER TO OBTAIN A COPY.
- 2. CONTRACTOR TO REFER TO STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF BUILDING SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.





ANTENNAS FRAME & SUB-FRAME PLAN

ANTENNA FRAME STRUCTURAL DETAILS

AT&T
930 NATIONAL PARKWAY
SCHAUMBURG, IL 60173





JOHN M. BANKS ARCHITECT

604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
FAX: 847-277-0080
jbanks@westchesterservices.com

NSB 15515920/IL4218 ILL04218 525 VILLAGE CENTER DRIVE BURR RIDGE, IL 60527

R	EV.	DATE	DESCRIPTION	INITIALS
ı	2	01/25/23	PERMIT/CONSTRUCTION	DWM
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	A	06/09/22	PRELIMINARY CD	DS



"I HEREBY DERTIFY THAT THESE PLANS WERE PREPARED BY MA OF UNITY ACCIONED ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS"

SHEET TITLE

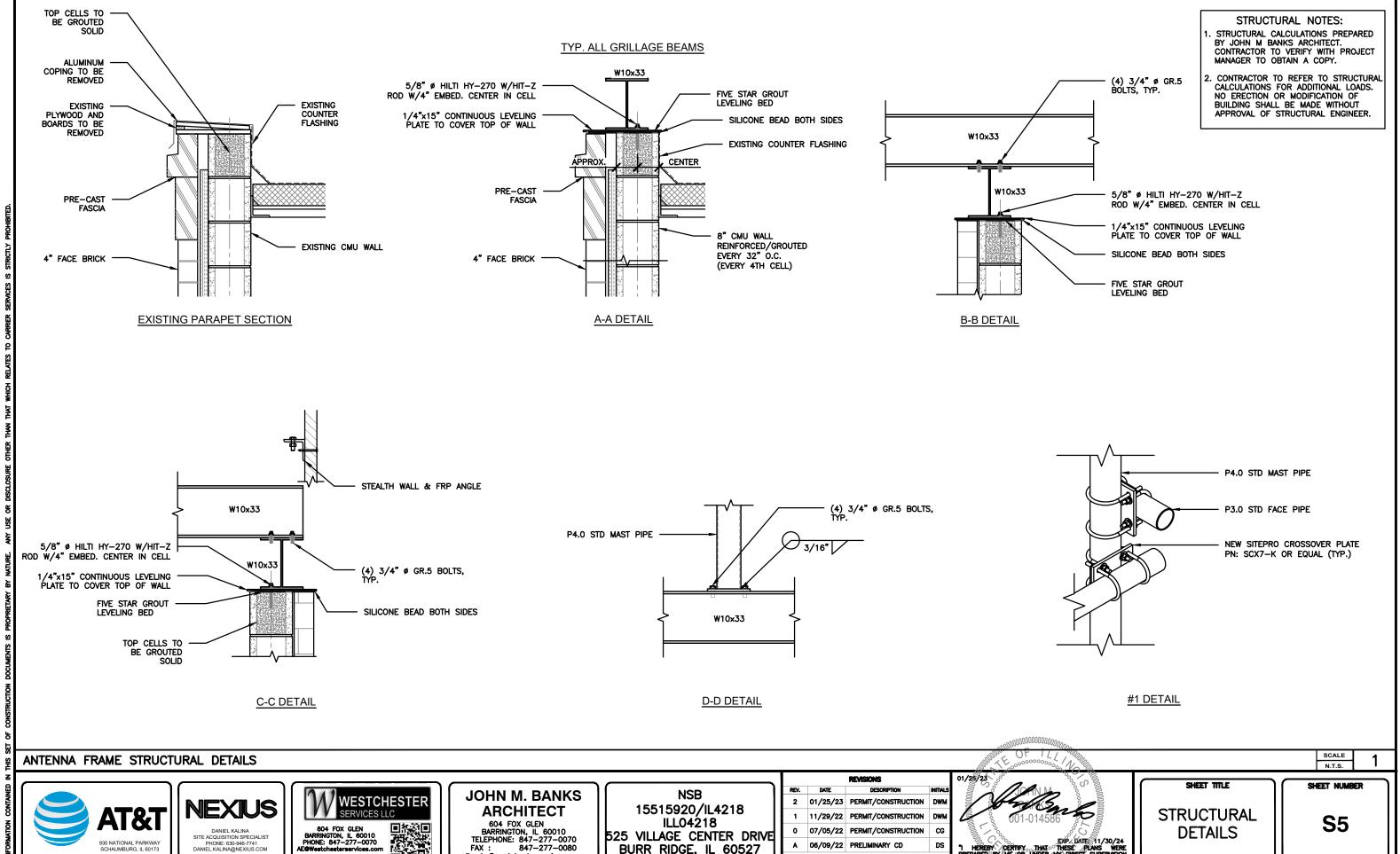
STRUCTURAL DETAILS

N.T.S.

SHEET NUMBER

SCALE

S4



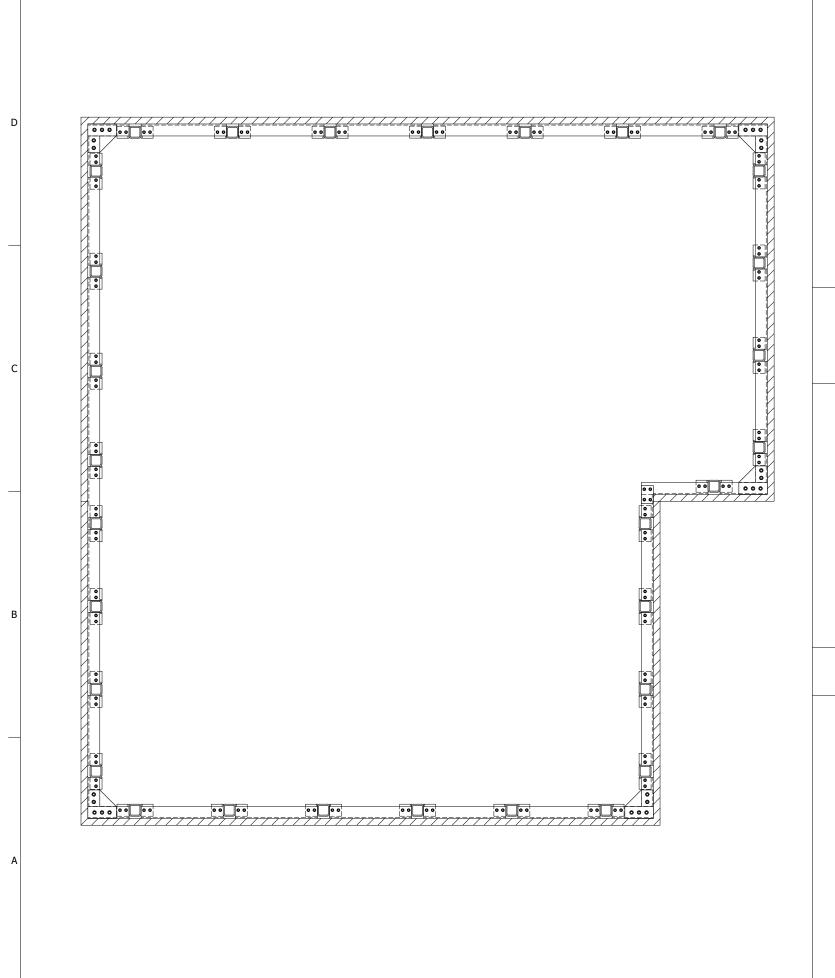
BURR RIDGE, IL 60527

FAX: 847-277-0080 ibanks@westchesterservices.com

"I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT TO ME A MULTI REGISTERINE NEW MERCHANDER UNDER THE LAWS OF THE STATE OF ILLINOIS"

A 06/09/22 PRELIMINARY CD

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET





7555-A PALMETTO COMMERCE PARKWAY

NORTH CHARLESTON, SC 29420 USA

P: (800)-755-0689 / F: (843)-207-0207

WWW.RAYCAP.COM

PROJECT MANAGER: GEOFF WALKER; (843)-473-6562

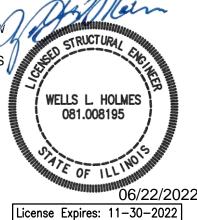
FINAL ENGINEERING

WESTCHESTER SERVICES, LLC
SITE #: IL4218; BURR RIDGE
525 VILLAGE CENTER DRIVE
BURR RIDGE, IL 60527
MRCHI058280

JOB#: AT22-00921H-35R0

DRAWING INDEX

T1 TITLE SHEET
N1-N2 NOTES & SPECIFICATIONS
S1 BUILDING ELEVATION VIEW
S2 PLAN VIEW
S3 SECTION VIEWS & DETAILS
S4 DETAILS



2 ED TOR 651 W. GALENA PARK BLVD., SUITE 101 DRAPER, UT 84020 P: (801) 990-1775 F: (801) 990-1776 VECTOR PROJECT: U0142-1464-221 II. FIRM LICENSE #: 184 005810 . COA

T1
6/21/22 A

3 4 5

PANEL FASTENERS TO BE SPACED 12" O.C. MAX. AND LOCATED 6" MAX. HORIZONTALLY FROM EACH EDGE AT TOP AND BOTTOM OF PANEL, UNLESS NOTED OTHERWISE. MAINTAIN 1 1/2" MIN. EDGE DISTANCE FROM ALL EDGES. 4' WIDE PANELS REQUIRE (4) FASTENERS TOP AND BOTTOM. 5' WIDE PANELS REQUIRE (5)

FASTENERS TOP AND BOTTOM. WHEN FASTENER BOLT HEAD OR NUT BEARS DIRECTLY ON SURFACE OF STEALTHSKIN PANEL, TIGHTEN PANEL BOLTS ONLY ½ TURN PAST SNUG. APPLY THREAD LOCK COMPOUND TO THE THREADS OF METAL BOLTS. USE THIN BEAD OF EPOXY TO LOCK THE NUTS OF FRP BOLTS AND STEALTH) STAINLESS STEEL

PANEL BOLTS. USE WASHER OR FLANGED HEAD BOLT, OR FASTENER WITH LARGE BEARING SURFACE. PANELS WILL EXPAND AND CONTRACT DUE TO TEMPERATURE. WHEN INSTALLING PANELS IN COLD TEMPERATURES, EVENLY SPACE PANELS ALONG LENGTH OF SCREEN WALL WITH EQUAL GAPS BETWEEN PANELS TO ALLOW FOR EXPANSION DURING WARM TEMPERATURES.

ADJACENT FLAT PANELS ARE JOINED BY A VERTICAL FOAM SPLINE THAT IS INSERTED INTO GROOVES CUT INTO THE SIDE OF EACH PANEL. DO NOT LIFT PANELS BY GROOVES. PANELS MUST BE LIFTED WITH FORCE DIRECTED ONTO PANEL SURFACE

ADJACENT RADIUS PANELS ARE JOINED BY A VERTICAL H-CHANNEL. INSERT PANELS INTO EACH SIDE OF H-CHANNEL

RADIUS PANELS MUST BE EVENLY SPACED ALONG RADIUS SUPPORT. CONTRACTOR TO MEASURE LENGTH OF RADIUS SUPPORT AND DIVIDE BY THE NUMBER OF RADIUS PANELS TO DETERMINE PROPER SPACING. H-CHANNEL CONNECTORS ARE USED TO COVER THE GAP BETWEEN PANELS AND TO ALLOW FOR PANEL

SURFACES OF PANELS SHALL BE COATED WITH SUITABLE PAINT FOR UV PROTECTION. TOP EDGE OF PANEL MUST BE COVERED TO PREVENT WATER TRAVEL BETWEEN PANELS. USE SHERWIN WILLIAMS "COROTHANE II" OR PRE APPROVED EQUIVALENT

EXPOSED TOP AND SIDE FOAM EDGES OF PANELS MUST BE COVERED OR COATED FOR UV PROTECTION. RAYCAP INC. WILL PROVIDE PANEL EDGE CAPS (VERTICAL AND HORIZONTAL) TO BE FIELD APPLIED FOR THIS PURPOSE FOR MOST APPLICATIONS. HORIZONTAL AND VERTICAL PANEL EDGE CAPS TO BE SECURED TO THE EXPOSED EDGES OF THE PANELS WITH PROVIDED TEK SCREWS INSTALLED @ 12" MAXIMUM SPACING ON THE INSIDE FACE OF THE PANEL. IN RESENSITIVE LOCATIONS CONTRACTOR WILL APPLY (2) BEADS OF ADHESIVE TO EACH INSIDE CORNER OF THE EDGE CAP AND SECURE CAP TO PANEL WITH TAPE

AT CORNER APPLICATIONS, VERTICAL PANEL EDGE CAPS ARE TO BE USED TO CAP BOTH EXPOSED EDGES (1 PER CUT EDGE OF PANELS). THESE EDGE CAPS ARE TO BE CUT 1" SHORTER THAN THE PANEL AND LEAVE 1" GAP AT THE TOP TO ALLOW ROOM FOR THE THE HORIZONTAL PANEL EDGE CAP AT THE TOP. CONTRACTOR TO APPLY (2) BEADS OF ADHESIVE TO EACH EDGE CAP (INSIDE CORNERS OF CAP), AND SECURE WITH TAPE AND/OR PROVIDED SCREWS (16 TOTAL PER CORNER) WHILE THE ADHESIVE CURES. IF CORNERS ARE IN NON-RF AREAS, EDGE CAP SCREWS CAN BE LEFT IN PLACE.

AT CORNER APPLICATIONS WITH SSV PANEL ONLY, CORNER CHANNELS ARE TO BE USED TO JOIN PANELS TOGETHER. BOTH ADJOINING PANELS WILL BE INSERTED INTO THE CORNER CHANNEL AND SECURED USING PROVIDED NYLON PUSHPINS. THE PUSHPINS ARE TO BE PLACED ON THE INSIDE OF ONE OF THE PANELS ONLY @ 12" MAXIMUM SPACING.

SPECIAL INSPECTIONS & STRUCTURAL OBSERVATION

STEEL FABRICATION SHALL BE DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED AS REQUIRED BY THE BUILDING CODE TO PERFORM SLICH WORK WITHOUT SPECIAL INSPECTION ALTERNATIVELY SPECIAL INSPECTION OF MATERIALS, WELDING, AND FABRICATION PROCEDURES SHALL BE REQUIRED FOR FABRICATION BY AN UNAPPROVED FABRICATOR.

NO FIELD WELDING SHALL BE PERMITTED

THE FOLLOWING SPECIAL INSPECTIONS (WHERE APPLICABLE) SHALL BE REQUIRED PER CHAPTER 17 OF THE

SPECIAL INSPECTION OF HIGH-STRENGTH BOLTING (WHEN APPLICABLE)

 PERIODIC SPECIAL INSPECTION IF BOLTS ARE PRETENSIONED WITH MATCH-MARKING TECHNIQUES. CONTINUOUS SPECIAL INSPECTION OF ALL OTHER HIGH-STRENGTH BOLTING

SPECIAL INSPECTION IS NOT REQUIRED FOR WORK OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL. THUS, SPECIAL INSPECTION ITEMS ABOVE MAY BE WAIVED AS DEEMED APPROPRIATE BY THE BUILDING OFFICIAL

NO STRUCTURAL OBSERVATION IS REQUIRED

STRUCTURAL STEEL AND ALUMINUM

- THIS PRODUCT IS SOLD PURSUANT TO RAYCAP, INC. TERMS AND CONDITIONS, WHICH ARE INCORPORATED HEREIN
- THESE SHALL APPLY FOR ALL CASES UNLESS NOTED OTHERWISE (U.N.O.) ANY ITEMS REFERENCED AS BEING ON "HOLD" ARE TO BE INCLUDED IN THE WORK AS SHOWN. HOWEVER,
- CONSTRUCTION OR FABRICATION IS NOT TO BEGIN UNTIL THE "HOLD" REFERENCE IS REMOVED IN THE CASE WHERE DIMENSIONS CONTAINED WITHIN ARE LABELED TO BE VERIFIED IN FIELD (V.I.F.), THEY MUST BE FIELD VERIFIED AND/OR CUSTOMER APPROVED PRIOR TO FABRICATION OF MATERIALS.
- IN THE CASE THAT THE PROPOSED IS TO BE PLACED ON AN EXISTING STRUCTURE. THE MODIFICATIONS DEPICTED. IN THESE DRAWINGS ARE INTENDED TO PROVIDE STRUCTURAL SUPPORT FOR THE ADDITION OF THE TELECOM STRUCTURE OUTLINED WITHIN. THE EXISTING STRUCTURE, WHETHER IT BE A FOUNDATION, POLE, OR BUILDING (IF APPLICABLE) SHALL BE ANALYZED AND RETROFITTED AS REQUIRED. BY OTHERS. TO WITHSTAND THE LOADS IMPOSED BY THE NEW RAYCAP STRUCTURE SHOWN ON THE DRAWINGS.
- TELECOM PRODUCTS SHALL BE INSTALLED BY A CONTRACTOR EXPERIENCED IN SIMILAR WORK. CARE SHALL BE TAKEN IN THE INSTALLATION OF ANY AND ALL MEMBERS IN ACCORDANCE WITH RECOGNIZED INDUSTRY STANDARDS AND PROCEDURES. ALL APPLICABLE OSHA SAFETY GUIDELINES ARE TO BE FOLLOWED. RAYCAP IS NOT PROVIDING FIELD INSTALLATION SUPERVISION.
- NOTES FOR CONTRACTOR/INSTALLER: ALL BIDS FOR THE INSTALLATION/ERECTION OF THIS PRODUCT SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING MINIMUM REQUIRED TRADES: RIGGING, STEEL ERECTION, STEEL FABRICATION/MODIFICATION, WELDING, ELECTRICAL, CONCRETE, EXCAVATION AND WATERPROOFING. CONTRACTOR MAY, IN CONTRACTOR'S SOLE AND ABSOLUTE DISCRETION, DETERMINE ADDITIONAL TRADES ARE NECESSARY TO INSTALL/ERECT THE PRODUCT.
- THESE DRAWINGS INDICATE THE MAJOR OPERATIONS TO BE PERFORMED, BUT DO NOT SHOW EVERY FIELD CONDITION THAT MAY BE ENCOUNTERED. THEREFORE, PRIOR TO BEGINNING OF WORK THE CONTRACTOR SHOULD SURVEY THE JOB SITE THOROUGHLY TO MINIMIZE FIELD PROBLEMS.
- PROTECTION OF EXISTING STRUCTURES DURING THE COURSE OF THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE STRUCTURAL INTEGRITY OF THIS STRUCTURE IS DESIGNED TO BE ATTAINED IN ITS COMPLETED STATE. WHILE UNDER CONSTRUCTION ANY TEMPORARY BRACING OR SHORING WHICH MAY BE REQUIRED TO MAINTAIN STABILITY PRIOR TO COMPLETION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE PLANS AND DETAILS WITHIN DO NOT INCLUDE DETAILS OR DESIGN FOR DRAINAGE FROM OR WATERPROOFING OF EXTERIOR OR INTERIOR SURFACES OF THE STRUCTURE. THESE DETAILS MUST BE
- CONTRACTOR TO SHIM BASE PLATES AND MATING FLANGES AS REQUIRED TO ENSURE LEVEL SURFACE.

DESIGN NOTES

STRUCTURAL DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE, 2021 EDITION & THE ASCE 7-16 STANDARD

DESIGN LOADS

BASIC WIND SPEED: 107 MPH (3-SEC GUST) PER ASCE 7-16 STANDARD RISK CATEGORY: II EXPOSURE: C WIND PRESSURE: 19.0 psf (0.6W) IMPORTANCE FACTOR: 1.00 RISK CATEGORY: II

MAPPED SPECTRAL RESPONSE ACCELERATIONS: Ss = 0.129g, $S_1 = 0.066g$ SITE CLASS: D SPECTRAL RESPONSE COEFFICIENTS: $S_{DS} = 0.138g,$ S_{D1} = 0.106g SEISMIC DESIGN CATEGORY: B

DESIGN REACTIONS (ASD) $P_1 = 230 \text{ lb}$ $V_4 = 800 \text{ lb}$

 $P_2 = 300 \text{ lb}$ = 800 lb $M_2 = 7,400 \text{ ft-lb}$

 $M_4 = 4.200 \text{ ft-lb}$

APPROXIMATE WEIGHT OF SCREENWALLS (EXCLUDING ANTENNA AND MOUNTS): 5.3 k

THE DESIGN REACTIONS ARE TYPICAL AT EACH COLUMN. THE DESIGN REACTIONS 'M' & 'V' ARE CONSIDERED TO ACT IN ANY HORIZONTAL DIRECTION. THE CONNECTION OF THE BASEPLATE TO THE EXISTING STRUCTURE TO BE BY OTHERS FOR THE DESIGN REACTIONS LISTED ABOVE. THE ADEQUACY OF THE EXISTING STRUCTURE TO SUPPORT THE DESIGN REACTIONS TO BE DETERMINED BY OTHERS

DISCLAIMERS

- ALL STRUCTURAL COMPONENTS TO BE CONNECTED TOGETHER SHALL BE COMPLETELY FIT UP ON THE GROUND OR OTHERWISE VERIFIED FOR COMPATIBILITY PRIOR TO LIFTING ANY COMPONENT INTO PLACE. REPAIRS REQUIRED DUE TO FIT-UP OR CONNECTION COMPATIBILITY PROBLEMS AFTER PARTIAL ERECTION ARE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR
- SOME TELECOMMUNICATION STRUCTURES ARE SUSCEPTIBLE TO WIND-INDUCED OSCILLATIONS. OSCILLATIONS MAY OCCUR AT LOW OR MODERATE WIND SPEEDS AND MAY CAUSE STRUCTURAL DAMAGE. TIA PROVIDES NO PRACTICAL ANALYTICAL METHOD TO PREDICT AND PREVENT WIND-INDUCED STRUCTURAL OSCILLATIONS. RAYCAP, INC. RECOMMENDS FREQUENT MONITORING TO IDENTIFY WIND-INDUCED OSCILLATION AND REGULAR CONDITION ASSESSMENTS TO IDENTIFY FATIGUE CRACKING, LOOSE OR MISSING BOLTS, AND ANY OTHER STRUCTURAL DEFECTS. ANY OSCILLATION OR DEFECTS OBSERVED SHALL BE IMMEDIATELY REPORTED TO RAYCAP, INC. FOR FURTHER EVALUATION AND POSSIBLE REPAIRS OR MODIFICATIONS WHICH MAY BE REQUIRED AT THE OWNERS EXPENSE.
- WHERE EFFECTIVE PROJECTED AREAS (EPA) ARE USED, IT IS THE RESPONSIBILITY OF OTHERS TO VERIFY INSTALLED EQUIPMENT DOES NOT EXCEED LISTED EPA

- STEEL FABRICATION AND INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL AND SPECIFICATIONS
- STEEL I-SHAPE, ANGLE, CHANNEL, AND MISCELLANEOUS MEMBERS SHALL CONFORM TO ASTM A36 (36 KSI MIN YIELD STRENGTH) STEEL SPECIFICATIONS, U.N.O.
- STEEL PLATE MEMBERS SHALL CONFORM TO MINIMUM ASTM A36 (36 KSI MIN. YIELD STRENGTH) STEEL SPECIFICATIONS U.N.O.
- STEEL PIPE AND ROUND TUBE MEMBERS SHALL CONFORM TO ASTM A500 GRADE B (42 KSI MIN. YIELD STRENGTH) STEEL SPECIFICATIONS U.N.O.
- STEEL RECTANGULAR AND SQUARE TUBE MEMBERS SHALL CONFORM TO ASTM A500 GRADE B (46 KSI MIN. YIELD STRENGTH) STEEL SPECIFICATIONS, U.N.O.
- STEEL WIDEFLANGE MEMBERS SHALL CONFORM TO ASTM A992 (50 KSI MIN, YIELD STRENGTH) STEEL SPECIFICATIONS U.N.O
- STEEL TAPERED POLES SHALL CONFORM TO ASTM A572 GR50 FOR 11 GA AND ASTM A572 GR65 FOR .188" and .25" WALL THICKNESS
- ALUMINUM PLATE MEMBERS SHALL BE GRADE 5052-H34. EXCEPTION FOR %" OR THICKER UNBENT MEMBERS TO BE
- ALUMINUM PIPE TO BE GRADE 6061-T6
- ALUMINUM TAPERED POLES TO BE GRADE 6063-T6
- ALL STRUCTURAL BOLTS SHALL CONFORM TO ASTM F3125 GRADE A325 SPECIFICATIONS, U.N.O. A325N AND A325X ALLOWED. ALL BOLTS ARE RECOMMENDED TO BE ORIENTED WITH THREADS UP AND OUT UNLESS SITE SPECIFIC CONDITIONS WARRANT OTHERWISE
- STRUCTURAL BOLTS SHALL BE TIGHTENED PER THE "TURN OF THE NUT" METHOD
- STRUCTURAL BOLT HOLE EDGE DISTANCES SHALL BE PER AISC SECTION J3
- ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AND PROCEDURES OF THE AMERICAN WELDING SOCIETY (AWS) BY CERTIFIED WELDERS PER AWS D1.1 FOR STEEL AND AWS D1.2 FOR ALUMINUM. ALL WELDING SHALL BE PERFORMED IN A SHOP APPROVED BY THE BUILDING OFFICIAL. STEEL WELDS SHALL BE PERFORMED WITH MINIMUM E70XX LOW-HYDROGEN ELECTRODE EXCEPT WHERE HIGHER STRENGTH ELECTRODE IS REQUIRED BY AWS D1.1. ALUMINUM WELDS SHALL UTILIZE 4043 FILLER OR APPROVED ALTERNATIVES. VERIFY FILLER MATERIAL IS COMPATIBLE WITH BASE METAL FOR EACH WELDED JOINT
- UNCOATED STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123 SPECIFICATIONS AFTER FABRICATION OR PAINTED WITH RUST INHIBITIVE PRIMER.
- STEEL HARDWARE SHALL BE HOT DIP GALVANIZED PER ASTM F2329, U.N.O.
- AFTER ANY FIELD HOLE PUNCHING / DRILLING OR CUTTING HAS BEEN COMPLETED, OR FOR ANY DAMAGED STRUCTURAL MEMBER, THE GALVANIZING MUST BE REPAIRED ACCORDING TO ASTM A780.
- ALL WELDED STEEL ASSEMBLIES AND INDIVIDUAL STEEL PARTS SHOULD HAVE THE PART NUMBER WELDED OR TAGGED ONTO THE PART OR ASSEMBLY. IF WELDED, THE PART NUMBERS SHOULD BE LOCATED CONSISTENTLY AND AWAY FROM ANY CONNECTION POINT TO AVOID ANY INTERFERENCE ISSUES WITH THE WELD
- DISSIMILAR METALS IN CONTACT SHALL BE INSULATED WITH PAINT OR OTHER APPROVED COATING TO PREVENT GALVANIC CORROSION.

FRP

- FRP STRUCTURAL SHAPES SHALL BE BEDFORD FRP SERIES 1525, MANUFACTURED USING THE PULTRUSION **PROCESS**
- IF PREFABRICATED MEMBERS DO NOT ASSEMBLE PER PLAN, CONTACT RAYCAP, INC. BEFORE CUTTING OR ALTERING FABRICATED MEMBERS
- FRP STRUCTURAL MEMBERS SHALL BE FABRICATED AND ASSEMBLED AS INDICATED ON THE DRAWINGS
- THE CONTRACTOR SHALL PROTECT THE FRP STRUCTURAL MEMBERS FROM ABUSE TO PREVENT BREAKAGE, NICKS, GOUGES, ETC. DURING FABRICATION, HANDLING, AND INSTALLATION.
- FRP BOLTS SHOULD BE TIGHTENED 1/2 TURN PAST SNUG AND LOCKED WITH EPOXY. FRP OR STEEL BOLTS THROUGH FRP MEMBERS SHALL MEET THE FOLLOWING SPACING AND EDGE DISTANCE
- REQUIREMENTS, MEASURED FROM BOLT CENTERS:

MIN BOLT SPACING = 4 TIMES BOLT DIA

MIN. EDGE DIST = 3 TIMES BOLT DIA. IN DIRECTION OF PULTRUSION MIN. EDGE DIST = 2 TIMES BOLT DIA. PERPENDICULAR TO DIRECTION OF PULTRUSION

DESIGN

ENGINEERING AND DESIGN CALCULATIONS FOR RAYCAP, INC ® POLE AND TOWER PRODUCTS ARE PREPARED IN ACCORDANCE WITH ADOPTED TIA STANDARDS. OTHER STRUCTURES ARE DESIGNED IN ACCORDANCE WITH APPLICABLE LOCAL OR NATIONAL STANDARDS AND PER CLIENT INPUT.

BALLASTED CONCEALMENTS

- ROOF MUST BE CLEAN AND FREE OF DEBRIS.
- THE BALLAST FRAME IS TO BEAR ON A NEOPRENE PAD PROVIDED BY OTHERS
- DESIGN ASSUMES CONTRACTOR IS RESPONSIBLE FOR LEVELING THE PLATE OF THE APPROPRIATE SHIM METHOD IF ROOF IS SLOPED.

STRUCTURAL WELLS L. HOLMES 081.008195 ATE OF ILLING 06/22/2022 License Expires: 11-30-2022

DRAPER UT 84020

P: (801) 990-1775 F: (801) 990-1776 VECTOR PROJECT: U0142-1464-22 IL FIRM LICENSE #: 184.005810 - COA

DRAWN **RIS-VSE DESIGNED** RIS-VSE 7555-A PALMETTO COMMERCE PARKWAY NORTH

REVISED DRAWING NOT TO SCALE.
ALL DIMENSIONS ARE IN INCHES LINEESS OTHERWISE SPECIFIED

TOLERANCES: FRACTIONAL DECIMAL: ± 0.1 X/X ± 1/16 .X ± 0.1 .XX ±0.03

ANGLES ±.5° ALL BENDING TOLERANCES: ± 1.0° THIRD ANGLE PROJECTION

JOB#: AT22-00921H-35R0

NOTES & SPECIFICATIONS

DATE: 6/21/22

SHEET #

REVISION

PROPRIETARY INFORMATION: THE INFORMATION CONTAINED WITHIN THIS DRAWING SET IS PROPRIETARY & CONFIDENTIAL BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO RAYCAP, INC. IS STRICTLY PROHIBITED. COPYRIGHT 2022 RAYCAP INC. ALL RIGHTS RESERVED

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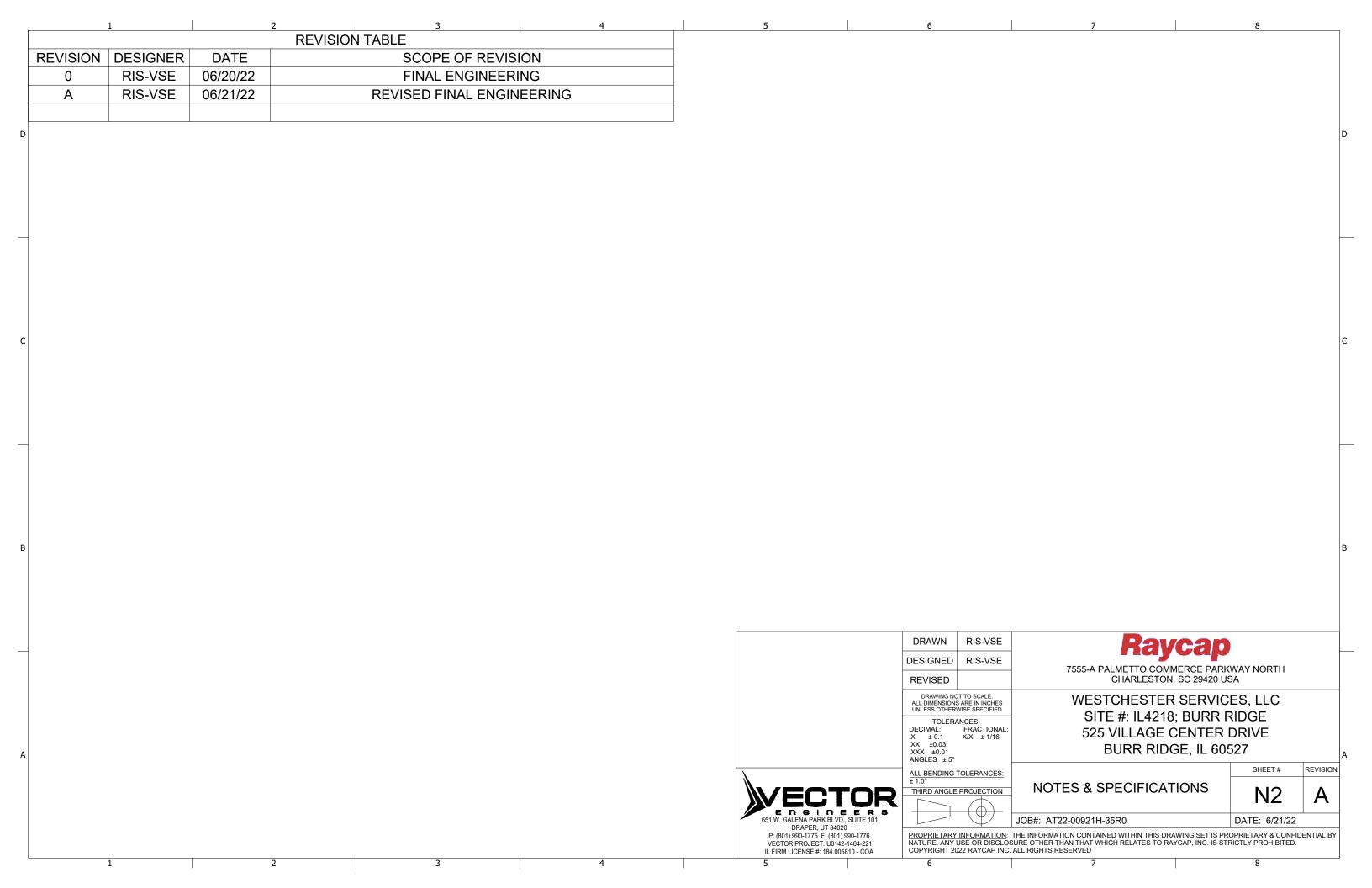
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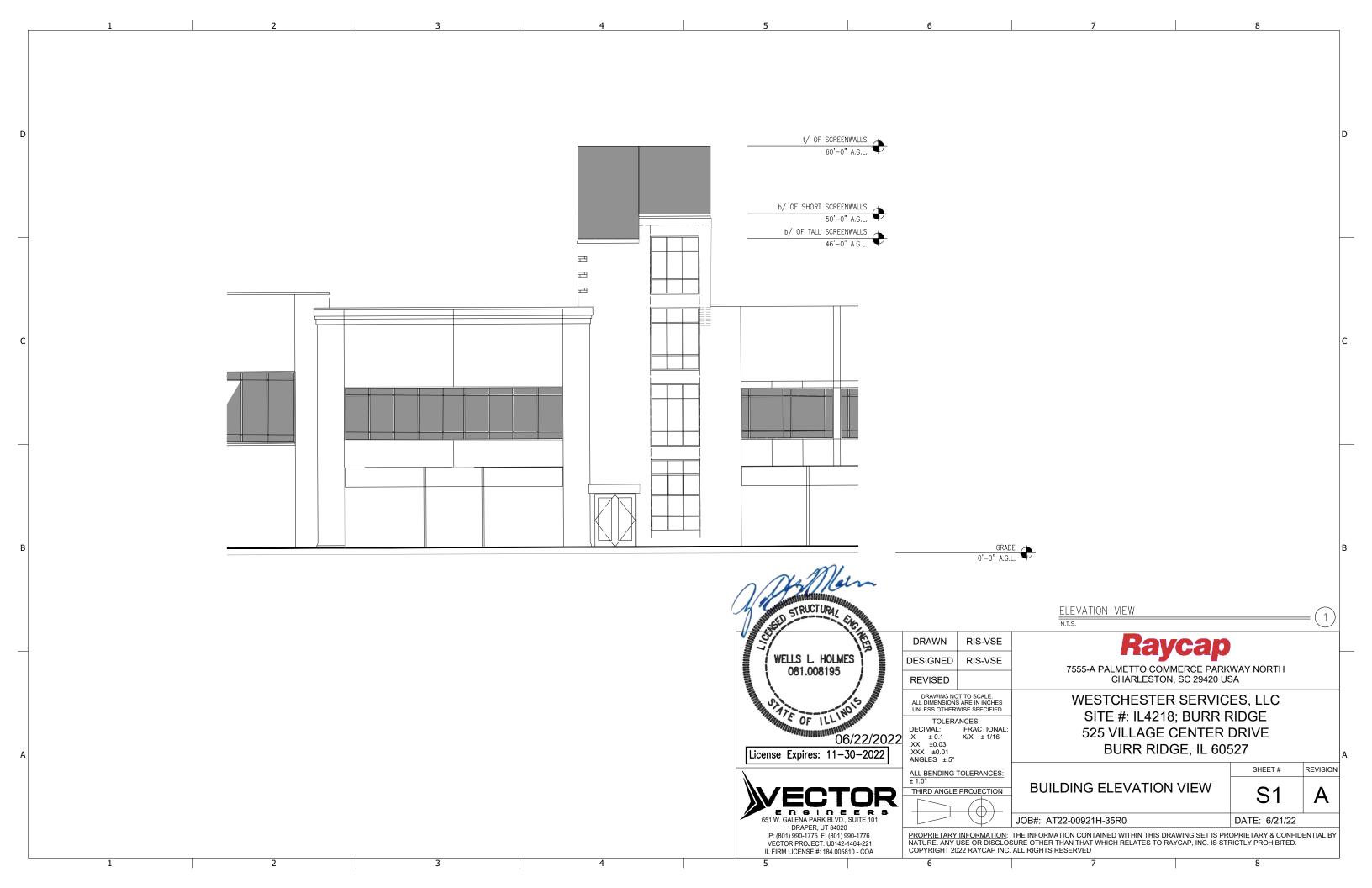
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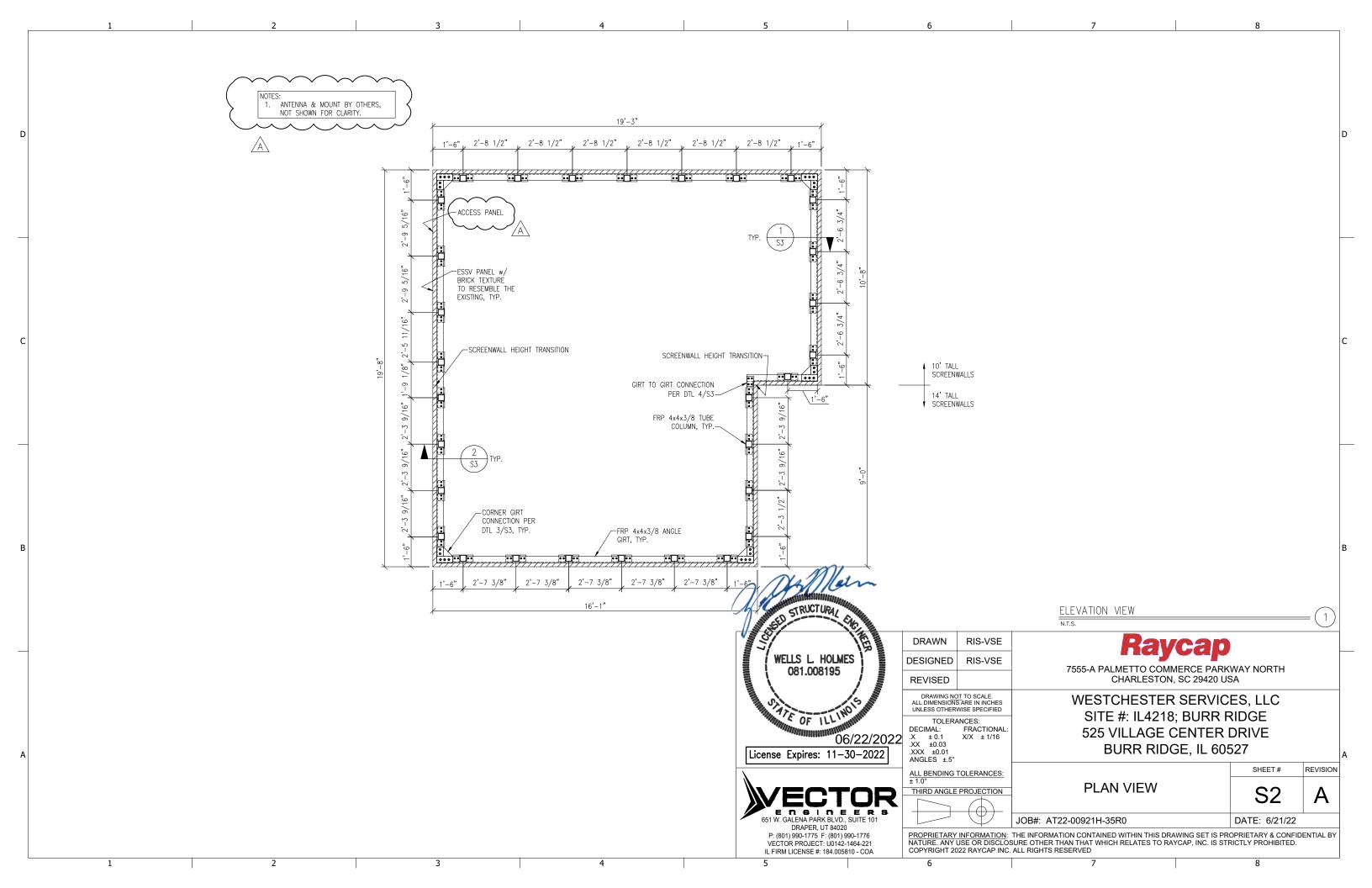
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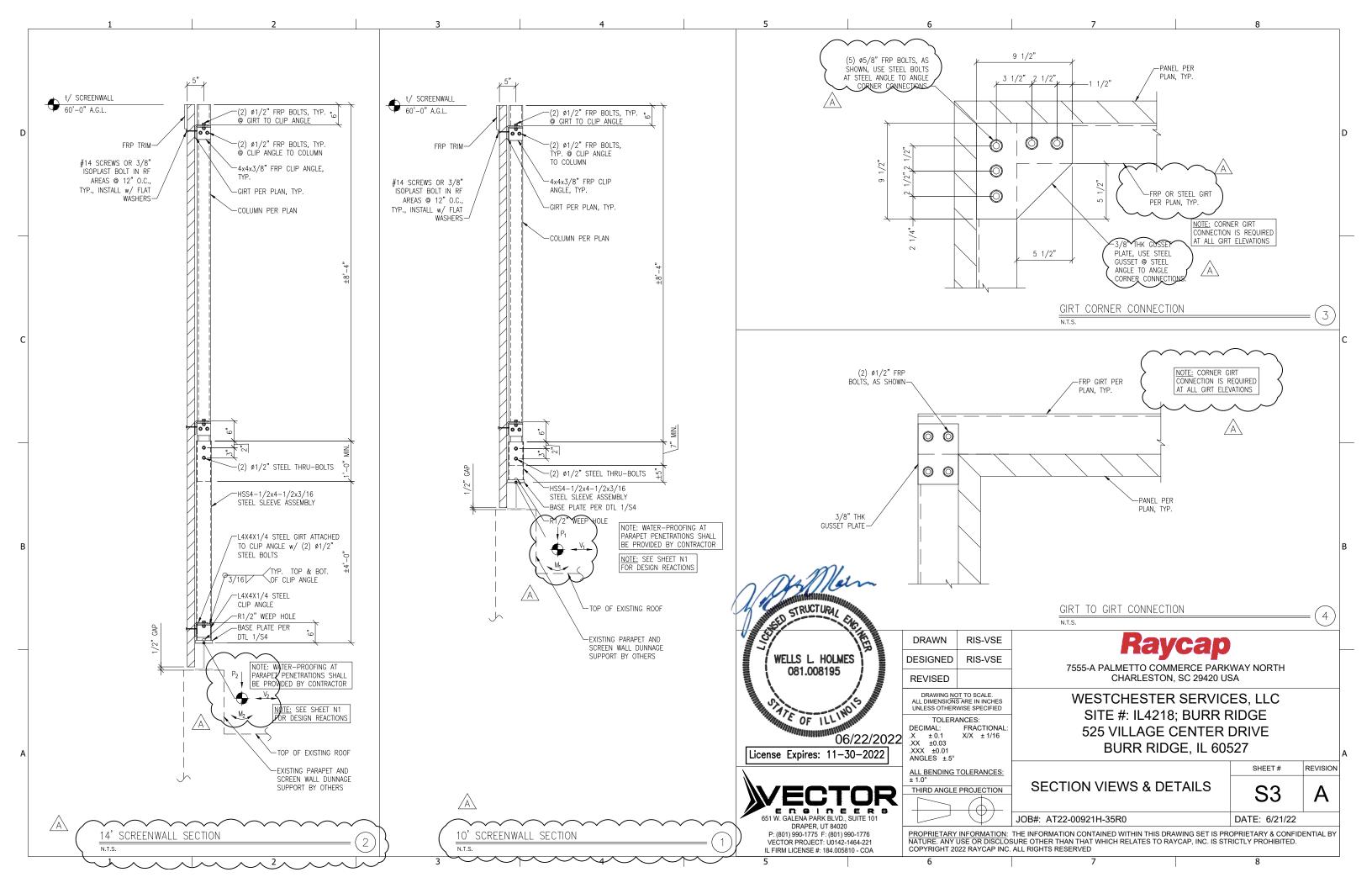
525 VILLAGE CENTER DRIVE

BURR RIDGE, IL 60527









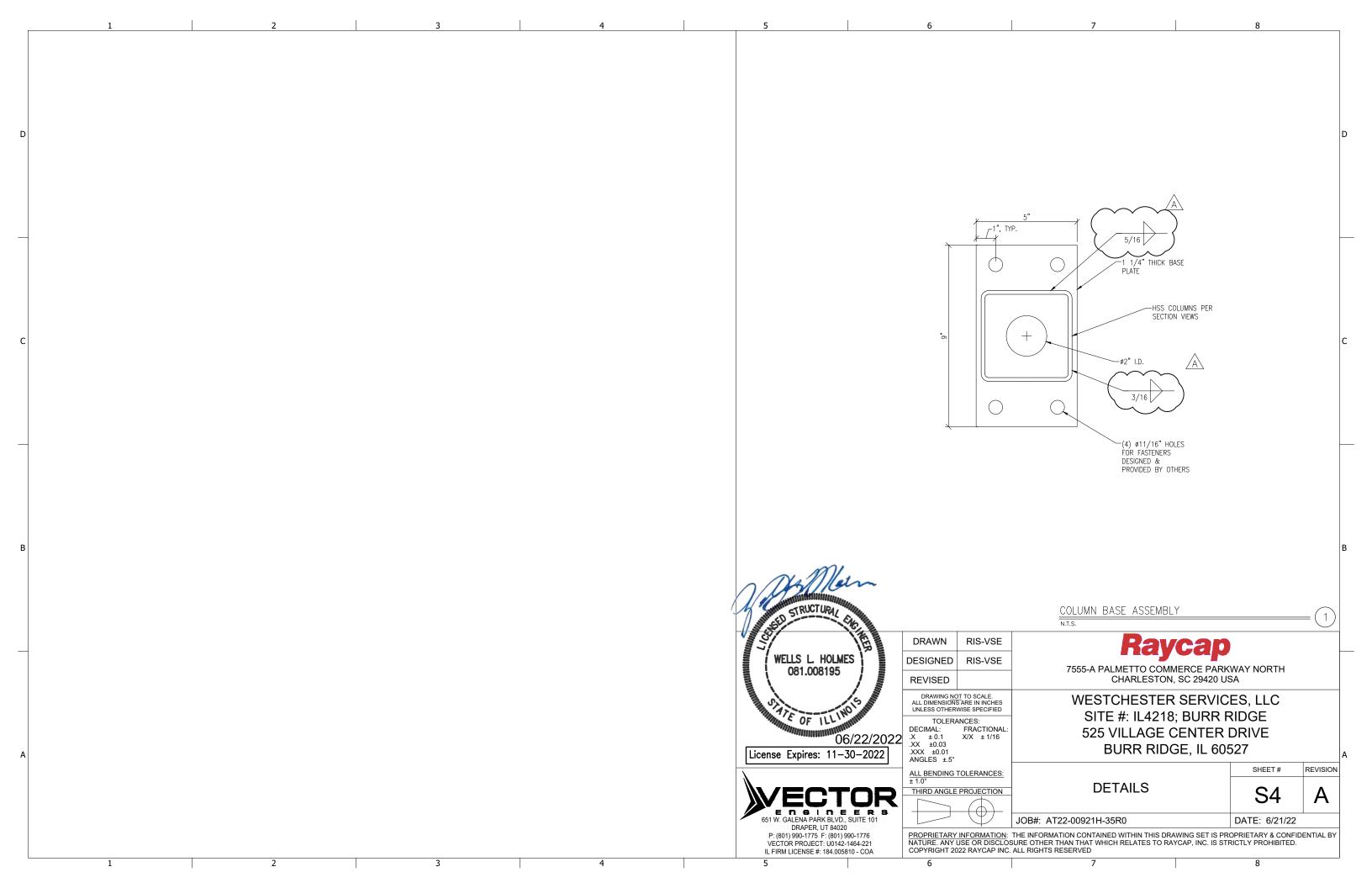


EXHIBIT B

From: <u>Harbour, Robert</u>
To: <u>Janine Farrell</u>

Subject: Plan Commission/Zoning Board of Appeals - Nexius AT&T Mobility Corp. Special Request

Date: Monday, December 5, 2022 6:37:33 PM

Janine,

I apologize for my late email. I was planning to attend the Plan Commission meeting this evening, but unfortunately my flight from Los Angeles is delayed, I don't arrive in Chicago until 9:00pm this evening.

Regarding the Nexus request for a special use permit, I strongly ask that you denied their request <u>in</u> <u>is current form</u>.

- Their proposal to add an 11-foot building addition on top of the existing tall, well-planned and balanced architectural building element is not compatible with the existing architectural design of buildings in the center.
- In addition, the fact that they are asking to attach antennae and support equipment facing the street scape will create an unsightly condition.

I don't have a problem with the use, I would ask that the Nexius reorientate the cell paddles and support equipment to the back side of the complex.

Your consideration of request would be greatly appreciated.

Regards,	
Bob	
Robert Harbour	
CenterPoint Properties	
Senior Advisor, Infrastructure & Tran	sportation
direct	cell



Z-01-2023: Request to consider text amendments to Section VIII of the Zoning Ordinance to amend outdoor dining regulations for restaurant uses in the Business Districts.

Prepared for: Village of Burr Ridge Plan Commission/Zoning Board of Appeals Greg Trzupek, Chairman

Petitioner: Village of Burr Ridge

Prepared by: Janine Farrell, Community Development Director

Date of Hearing: February 6, 2023

On May 23, 2022, the Board of Trustees directed the Plan Commission to hold a public hearing on potential Zoning Ordinance text amendments regarding outdoor dining. This was in response to the recent amendments to the same Zoning Ordinance section for restaurant hours of operation and live entertainment. The Board wanted to ensure that there were no conflicts between provisions and that the regulations were updated to capture all requirements.

Regarding live entertainment: No conflict.

- Live entertainment is prohibited from being conducted or broadcast outdoors. (Live Entertainment regulations in Zoning Ordinance Section VIII)
- Outdoor music, performances, and other such entertainment is prohibited within outdoor dining areas, except when specifically exempted by one-time permit by the Village Administrator or their designee. (*Proposed language*)

Regarding hours of operation: Potential conflict needing to be addressed.

- Hours of operation of an outdoor dining area shall be as specifically approved by the Village. (Zoning Ordinance existing language)
 - o For many approved special uses, the closing time for outdoor dining was 11:00 p.m.
- Any and all outdoor dining areas must cease to be occupied not less than one-half hour prior to the closure of the principal business. (*County Line Square PUD*)
 - o Restaurants without liquor licenses can close at 10:00 p.m. This means that outdoor dining could be open until 9:30 p.m.
 - o Restaurants with liquor licenses can close at midnight Sunday through Wednesday and 1:00 a.m. Thursday through Saturday. This means that outdoor dining could be open until 11:30 a.m. and 12:30 a.m.
- For outdoor dining facilities, the closing time for restaurants with liquor licenses shall be those as specified as a condition of the special use permit issued for outdoor dining at each such establishment. (Hours of Operation regulations in Zoning Ordinance Section VIII)

Z-01-2023: Zoning Ordinance Amendments; Text Amendment and Findings of Fact Page 2 of 2

Under current Zoning Ordinance regulations, outdoor dining accessory to restaurant uses in the B-1 and B-2 zoning districts requires a special use permit. In the County Line Square Planned Unit Development (PUD), adopted in 2021, outdoor dining areas are calculated as part of the total size of the restaurant and may be permitted by right. In the Village Center, the entertainment district (Buildings 4 and 5) is proposed to have outdoor dining (Ordinance A-834-15-20), but the specifics on the final streetscape design, materials, furniture, etc. have not been submitted to the Plan Commission for approval.

There are fourteen restaurants in the Village which have approved outdoor dining areas accessory to the restaurant use, although some outdoor dining areas may not yet have been constructed. An asterisk (*) indicates restaurants with liquor service. Only one of these restaurants, Capri Express, does not have a fenced enclosure for their outdoor dining area.

- Are We Live Ordinance A834-06-22 (2022)*
- Capri Ordinance A-834-15-18 (2018)*
- Capri Express Ordinance A-834-17-21 (2021)
- Cooper's Hawk Ordinance A-834-16-22 (2022)*
- Dao Sushi and Thai Ordinance A-834-08-12 (2012)*
- Falco's Ordinance A-834-08-20 (2020)*
- Jonny Cab's Ordinance A-834-02-21 (2021)*
- La Cabanita Ordinance A-834-27-11 (2011)*
- Pella Ordinance A-834-14-21 (2021)*
- Starbuck's Ordinance A-834-10-12 (2012)
- Stix & Stones Ordinance A-834-07-15 (2015)*
- Topaz Ordinance A-834-14-12 (2012)*
- Wok n Fire Ordinance A-834-28-13 (2013)*
- Yolk Ordinance A-834-12-22 (2022)

Findings of Fact

The findings of fact for a text amendment are limited to assessing whether the amendment is compatible with other standards of the Zoning Ordinance and if the amendments fulfill the purpose and intent of the Zoning Ordinance.

Attachments

- Exhibit A Petitioner's Materials and Findings of Fact
- Exhibit B Current Zoning Ordinance regulations for outdoor dining, hours of operation, and live entertainment
- Exhibit C Draft Zoning Ordinance regulations for outdoor dining
- Exhibit D Excerpt of outdoor dining regulations from County Line Square PUD



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

GENERAL INFORMATION (to be completed by Petitioner)
PETITIONER (All correspondence will be directed to the Petitioner): Janine Farrell, Community Development Director
Village of Burr Ridge STATUS OF PETITIONER: Village of Burr Ridge/municipality
PETITIONER'S ADRESS: 7660 S. County Line Road, Burr Ridge, IL 60527
ADDRESS OF SUBJECT PROPERTY: N/A
PHONE: (630) 654-8181 x. 6100
EMAIL: jfarrell@burr-ridge.gov
PROPERTY OWNER: N/A
PROPERTY OWNER'S ADDRESS: N/A PHONE: N/A
PUBLIC HEARING REQUESTED: Special Use RezoningX Text Amendment Variation(s)
DESCRIPTION OF REQUEST:
Request to amend the outdoor dining regulations in section VIII of the Zoning Ordinance.
PROPERTY INFORMATION (to be completed by Village staff)
PROPERTY ACREAGE/SQ FOOTAGE: N/A EXISTING ZONING: N/A
EXISTING USE/IMPROVEMENTS: N/A
SUBDIVISION: N/A
PIN(S) # N/A
Ι 11 ((3) π
The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.
7 Y- 00
Petitioner's Signature Date of Filing



FINDINGS OF FACT FOR AN AMENDMENT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE

Section XIII.J of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission determine compliance with the following findings in order to recommend a text amendment to the Zoning Ordinance. The petitioner must respond to and confirm each of the following findings by indicating the facts supporting such findings.

a. The amendment is compatible with other standards and uses of the Zoning Ordinance;

Section VIII of the Zoning Ordinance details the outdoor dining regulations for restaurant uses in the Business Districts. This section of the Zoning Ordinance also includes restaurant hours of operation and live entertainment regulations, recently amended in 2022. With that recent update, the outdoor dining regulations should be reviewed and potentially updated to ensure that there is no conflict.

b. The amendment fulfills the purpose and intent of the Zoning Ordinance;

The Zoning Ordinance currently contains regulations for outdoor dining. The proposed amendment is to review these existing regulations, ensure that there are no conflicts, that all rules are specified, and that they are satisfactory clear for enforcement.

(Please transcribe or attach additional pages as necessary)

EXHIBIT B

Existing Zoning Ordinance Language for Outdoor Dining, Hours of Operation, and Live Entertainment

Outdoor Dining

Restaurant outdoor dining areas, when permitted as a special use, shall be subject, at a minimum, to the following:

- 1. The dining area shall be enclosed by an open fence of approved design preventing access to the outdoor dining area except by a doorway from the interior of the restaurant;
- 2. Door to the dining area shall be self-closing;
- 3. Tables shall be cleaned promptly following use;
- 4. Furniture and umbrellas shall be weighted to prevent their movement in the wind;
- 5. Seating shall not exceed one chair for every 10 square feet devoted to outdoor dining and shall be counted in determining restroom and parking requirements;
- 6. No outdoor dining area shall be located so as to impede pedestrian traffic or proper access to and from the restaurant;
- 7. No public sidewalks or public area may be used for a private restaurant's outdoor dining unless specifically approved by the Village;
- 8. Outdoor food preparation, storage or display is prohibited;
- 9. Hours of operation of an outdoor dining area shall be as specifically approved by the Village.

Hours of Operation for Business Uses

- 1. The hours of operation for all uses within the B-1 and B-2 Districts, except for restaurants with liquor licenses, shall not exceed 7 A.M. to 10 P.M., except as otherwise allowed herein.
- 2. The hours of operation for restaurants with liquor licenses shall be as follows and shall be subject to the terms and conditions as follows:
 - a) For indoor dining facilities, the permitted closing time for restaurants with liquor licenses shall be no later than 12:00 Midnight on Sundays, Mondays, Tuesdays, and Wednesdays, and no later than 1:00 A.M. on Thursdays, Fridays and Saturdays (i.e., Friday, Saturday and Sunday at 1:00 AM), except that on December 31 of each year, the permitted closing time shall be extended to 2:00 A.M., regardless of the day of the week (i.e., 2:00 A.M. on January 1). For outdoor dining facilities, the closing time for restaurants with liquor licenses shall be those as specified as a condition of the special use permit issued for outdoor dining at each such establishment.
 - b) Restaurants with liquor licenses shall be required to provide service of food prepared onsite up to a minimum of one hour before closing.
 - c) Nothing herein shall supersede the requirements for such uses to obtain special use approval as required by Sections VIII.B.2 and VIII.C.2, herein. (Amended by Ordinance A-834-03-12).
 - d) The closing times for indoor dining specified in subparagraph 1) for restaurants with liquor licenses shall be permitted for all existing restaurants with liquor licenses located within a B-1 or B-2 District, regardless whether the ordinance approving any such special use specified an earlier closing time.
- 3. Any business use in the B-1 or B-2 District may request special use approval in accordance with the procedures and requirements outlined in Section XIII of this Ordinance.

Live Entertainment

Existing Zoning Ordinance Language for Outdoor Dining, Hours of Operation, and Live Entertainment

- 1. Live entertainment shall be a permitted accessory use for all restaurants and for all wine boutiques with ancillary service of wine and beer by the glass and with service of pre-packaged food for consumption on-site, located within a B1 or B2 District, including all existing restaurants or wine boutiques which have been approved by special use or PUD, regardless of whether the ordinance approving such special use or PUS specified differently.
- 2. Live entertainment is prohibited from occurring within outdoor areas or from being broadcast to outdoor areas.
- 3. Live entertainment shall comply with Zoning Ordinance Section IV, Noise Regulations.
- 4. A floor plan which illustrates both seating and the space dedicated to the live entertainment area shall be provided to the Community Development Director for review and approval before live entertainment is authorized. The live entertainment area cannot occupy greater than 10% or 100 sq. ft. of the total space dedicated to patrons, whichever is less.

Proposed Zoning Ordinance Language for Outdoor Dining

The following proposed, draft language incorporates the regulations from the County Line Square PUD and from approved special uses of the restaurants with approved outdoor dining. Words in red are new additions.

Outdoor Dining

Restaurant outdoor dining areas are areas set up adjacent to the exterior wall of a commercial structure with tables, chairs, or other such furnishings, for the purpose of serving food and/or beverages by an adjoining restaurant in which the same food and beverages are offered for sale, sold, and served. Outdoor dining areas when permitted as a special use, shall be subject, at a minimum, to the following:

- 1. Dining areas must be limited to the linear frontage of the principal business to which the outdoor area is intended to serve;
- 2. No outdoor dining area shall be located so as to impede pedestrian traffic or proper access to and from the restaurant;
- 3. No public sidewalks or public area may be used for a private restaurant's outdoor dining unless specifically approved by the Village;
- 4. The dining area shall be enclosed by an open fence of approved design preventing access to the outdoor dining area except by a doorway from the interior of the restaurant;
- 5. All fences surrounding the outdoor seating area shall have matching elevations and colors.
- 6. Door to the dining area shall be self-closing;
- 7. The area may be covered by an awning protruding from the exterior wall of the adjacent building, provided the awning is properly anchored.
- 8. Wall enclosures, whether permanent or temporary, are prohibited unless specifically approved through a special use.
- 9. Seating shall not exceed one chair for every 10 square feet devoted to outdoor dining and shall be counted in determining restroom and parking requirements;
- 10. Furniture and umbrellas shall be weighted to prevent their movement in the wind;
- 11. Portable heating lamps and similar devices are prohibited.
- 12. There shall be no advertising, signs, logos, or leaflets on the tables, chairs, fences, umbrellas or railings.
- 13. All furniture shall be removed during the winter season, November 1 through March 1. All furniture must be stored in the rear or off-site of the subject property when not in use;
- 14. Tables shall be cleaned promptly following use;
- 15. Outdoor food preparation, storage or display is prohibited;
- 16. The concrete floor of the outdoor seating area shall be treated and cleaned before and after each season to ensure the removal of all food stains and return it to a state consistent with other concrete sidewalks within the Village Center.
- 17. Hours of operation of an outdoor dining area shall be as specifically approved by the Village. Any and all outdoor dining areas must cease to be occupied by 11:00 p.m. or not less than one-half hour prior to the closure of the principal business, whichever is earlier;
- 18. Outdoor music, performances, and other such entertainment is prohibited within outdoor dining areas, except when specifically exempted by one-time permit by the Village Administrator or their designee;
- 19. Approval of outdoor dining areas shall be subject to the Village's adopted Building Codes;

EXHIBIT C

Proposed Zoning Ordinance Language for Outdoor Dining

- 20. Approval of outdoor dining areas may only be approved by the Village if they are also approved by the property owner;
- 21. Outdoor dining areas must be cumulatively approved by the Community Development Director or their designee to determine final compliance with the regulations set forth herein;

- f. Dry cleaners with on-site equipment for dry cleaning
- g. Funeral parlors or crematoriums
- h. Gun and ammo sales, including shooting ranges
- i. Hours of operation exceeding 7 A.M. to 10 P.M. for any permitted or special use
- j. Liquor stores
- k. Live entertainment and dancing accessory to any permitted or special use
- 1. Professional massage services
- m. Offices related to the Secretary of State's Vehicle Services Division
- n. Parking lots and structures where such uses are the principal use on a lot
- o. Pet shops and pet service stores, with or without overnight services
- p. Restaurants (including specialty restaurants such as donut shops and ice cream shops) over 4,000 square feet with or without sales of alcoholic beverages.
- q. Tobacco shops
- r. Wine boutique with ancillary service of wine and beer by the glass and with service of prepackaged food for consumption on-site

Outdoor Dining Area Regulations

Restaurant outdoor dining areas shall be subject to the following:

- Dining areas must be limited to the linear frontage of the principal business to which the outdoor area is intended to serve;
- Dining areas shall be enclosed by an open fence of approved design preventing access to the outdoor dining area except by a doorway from the interior of the restaurant if table service is provided or alcohol served in the outdoor dining area;
- Door to the dining area shall be self-closing;
- Tables shall be cleaned promptly following use;
- Furniture and umbrellas shall be weighted to prevent their movement in the wind;
- Seating shall not exceed one chair for every 10 square feet devoted to outdoor dining and shall be counted in determining restroom and parking requirements;
- No outdoor dining area shall be located so as to impede pedestrian traffic or proper access to and from the restaurant, defined as being within 60" of a curbline or so as to impede the normal flow of pedestrian traffic into or from a doorway;
- Outdoor food preparation, storage or display is prohibited;
- All furniture must be stored in the rear or off-site of the subject property when not in use;
- Any and all outdoor dining areas must cease to be occupied not less than one-half hour prior to the closure of the principal business;
- Outdoor music, performances, and other such entertainment is prohibited within outdoor dining areas, except when specifically exempted by one-time permit by the Village Administrator or their designee;
- Approval of outdoor dining areas shall be subject to the Village's adopted building codes;
- Approval of outdoor dining areas may only be approved by the Village if they are also approved by the property owner;

- Outdoor dining areas must be cumulatively approved by the Village Administrator or their designee to determine final compliance with the regulations set forth herein; and
- Outdoor dining areas shall be included as part of the size calculation for restaurants.

Parking Design Regulations

The subject property shall provide one parking space for each 200 gross square feet of commercial space available.

Every parking lot in excess of fifteen spaces shall contain planting islands for shade trees in compliance with the following standards:

- a. There shall be one island for every 15 parking spaces and one shade tree for each island.
- b. Each parking lot landscape island shall be a minimum of 9 feet wide and 18 feet in length.
- c. Required shade trees shall have a minimum 3 inch diameter measured two feet above ground level.
- d. Parking lot landscape islands generally shall be located at the ends of each row of parking (one double island to be located at the end of a double row of parking) and every 15 parking spaces within a row.
- e. Maintenance of Landscape Areas and Screening: All such landscaped areas and screening shall, once installed, be maintained in such manner as to retain at least the intended standards of the initial landscaping and to conform to the landscaping requirements of the Village.

Minimum Standards for Parking Stalls and Aisles

Angle of Parking	45 Degrees	60 Degrees	90 Degrees
Width of Stall	9'	9'	9'
Stall Width (parallel	12'9"	10'5"	9'
to aisle)			
Stall Depth (perp. to	20'	21'	18'
aisle)			
Stall Length	19'	19'	18'
Aisle Width	13'*	17**	24'

^{*}One-way aisles only

Parallel parking shall be permitted with stalls at least 24' in length with an aisle of 14' Accessible parking areas shall be designed in accordance with State requirements

All open off-street loading berths, access drives, aisles, and maneuvering spaces shall be improved with an all-weather hard surface pavement including, at a minimum, a two inch (2") bituminous concrete surface course, with a twelve inch (12") minimum thickness aggregate base course, and six inch (6") high perimeter concrete curbing (Type B or Type B6:12) installed in accordance with Illinois Department of Transportation specifications.

Parking and Loading Regulations

The area immediately adjacent to the curbline shall be permitted to be used as a standing and loading zone (as shown in Exhibit C in yellow), except no parking, standing, or loading areas shall



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission

Greg Trzupek, Chairman

FROM: Janine Farrell, AICP

Community Development Director

DATE: February 6, 2023

RE: Board Report

The Board of Trustees took the following actions relative to matters forwarded from the Plan Commission on January 23, 2023:

• Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC)

o The Board approved an Ordinance approving three special use requests for automobile and equipment service, outdoor storage, and a fence in a non-residential district for Tesla Motors, Inc. The proposed conditions of approval were unchanged from the Plan Commission's recommendation.

• Z-22-2022: 7600-7630 County Line Road (MedProperties LLC)

o The Board directed staff to prepare an Ordinance approving the special use amendment to reconfigure the parking lot, with the Commission's recommended conditions. The Board directed staff to prepare an Ordinance denying a variation for parking in the front yard. The Commission had provided no recommendation on the variation with a vote of 3 to 2 (4 affirmative votes are needed to approve).

Permits Applied for December 2022

01/13/2023

Permit Number Date Applied		Property Address	Applicant Name & Contact Info	Description
JCA-22-380	12/01/2022	770 Village Center Dr.		Com Alteration
JCNC-22-381	12/08/2022	7500 Willow Springs Rd	TBD	Com New Construction
JCPM-22-387	12/12/2022	7600 County Line Rd	Martin Petersen Company Inc 9800 55th St. Kenosha WI 53144	Com Mechanical Permit
JDEK-22-388	12/16/2022	103 Buttercup Bank	CEW Construction 260 Saint Andrews Dr Bolingbrook IL 60440	Deck
JPF-22-389	12/16/2022	8497 Arrowhead Farm Dr	MaBo Remodeling and Construction 10062 Huntington Ct. Orland Park IL 60462	Fence Permit
JPS-22-382	12/01/2022	430 Village Center Dr.	Neon Art Sign 4752 N. Avers Chicago IL 60625	Sign
JPS-22-383	12/01/2022	318 Burr Ridge Pkwy	Landmark Visibility Solutions 1051 Main St. #101 East Dundee IL 60118	Sign
JPS-22-384	12/01/2022	318 Burr Ridge Pkwy	Landmark Visibility Solutions 1051 Main St. #101 East Dundee IL 60118	Sign
JRAL-22-386	12/08/2022	120 74th St	A+Presidential Plumbing and Sewer 9001 Southview Ave Brookfield IL 60513	Right-of-Way



Permits Applied for December 2022



01/13/2023

Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JRAL-22-391	12/21/2022	7 N Old Mill LN	Synergy Builders, Inc. 850 Meadowview Crossing #13 West Chicago IL 60527	Residential Alteration
JRAL-22-392	12/21/2022	5 Ridge Farm Rd	Synergy Builders, Inc. 850 Meadowview Crossing #13 West Chicago IL 60527	Residential Alteration
JRAL-22-394	12/21/2022	ROWs Ck Cty Locations	HBK Engineerig 616 Enterprise Dr Oak Brook IL 60523	Right-of-Way
JRAL-22-395	12/28/2022	8600 Oak Knoll Dr	Freedom Forever 1000 Remington Rd. Schaumburg IL 60173	Residential Alteration
JRES-22-385	12/05/2022	460 60th P1	Kapital Electric, Inc. 1240 Mark St. Bensenville IL 60106	Residential Miscellaneous
JRSF-22-390	12/21/2022	140 Glenmora Dr	Siena Custom Builders 409 Bayberry Lane Naperville IL 60563	Residential New Single Family

TOTAL:

15



Permits Issued December 2022

01/13/2023

Permit Applicant	Permit Number	Date Issued	Property Address	Description	Value	Sq. Feet
Grand Electric Sign	JCA-22-352	12/08/2022	413 Rockwell Ct	Com Alteration	30,000	
Bullseye	JCA-22-380	12/13/2022	770 Village Center Dr.	Com Alteration	10,000	
Edgewood Valley Country Club	JCNC-22-381	12/21/2022	7500 Willow Springs Rd	Com New Construction	50,000	
Mega Consulting Sales	JPS-22-373	12/21/2022	770 Village Center Dr.	Sign		
Eric Zwintscher	JRAD-22-324	12/02/2022	7611 Hamilton Ave	Residential Addition	175,125	2,335
Clint Sheufelt	JRAD-22-375	12/21/2022	10S 666 S Oak Hill Ct	Residential Addition	50,175	143
Frank Casciaro	JRAL-22-336	12/22/2022	7528 Ridgewood Ln	Residential Alteration	93,000	241
Danka Djordjevic	JRAL-22-338	12/22/2022	6805 County Line Ln	Residential Alteration	178,425	2,379
Jamal Flowers	JRAL-22-374	12/06/2022	2 Hidden Lake Dr	Residential Alteration	279,225	3,723
Husain Koita	JRAL-22-376	12/08/2022	15W 440 63rd St	Residential Alteration	145,425	1,939
A+Presidential Plumbing and Se	w€JRAL-22-386	12/19/2022	120 74th St	Right-of-Way		
Michael Criscione	JRDB-22-371	12/12/2022	7800 Drew Ave	Residential Detached Building	84,375	1,125
Village Square Electric Inc	JRPE-22-347	12/07/2022	114 Northgate Pl	Res Electrical Permit	1,700	
Power Plumbing Heating & Coo	linJRPP-22-359	12/19/2022	7644 Ridgewood Ln	Res Plumbing Permit		

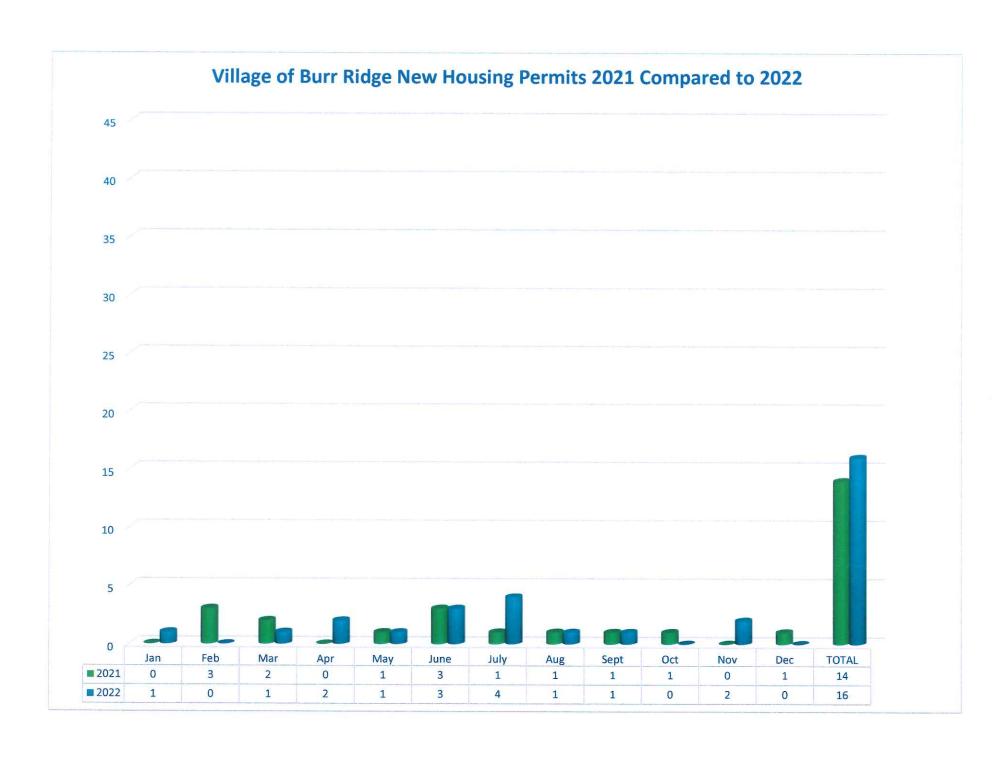
TOTAL: 14

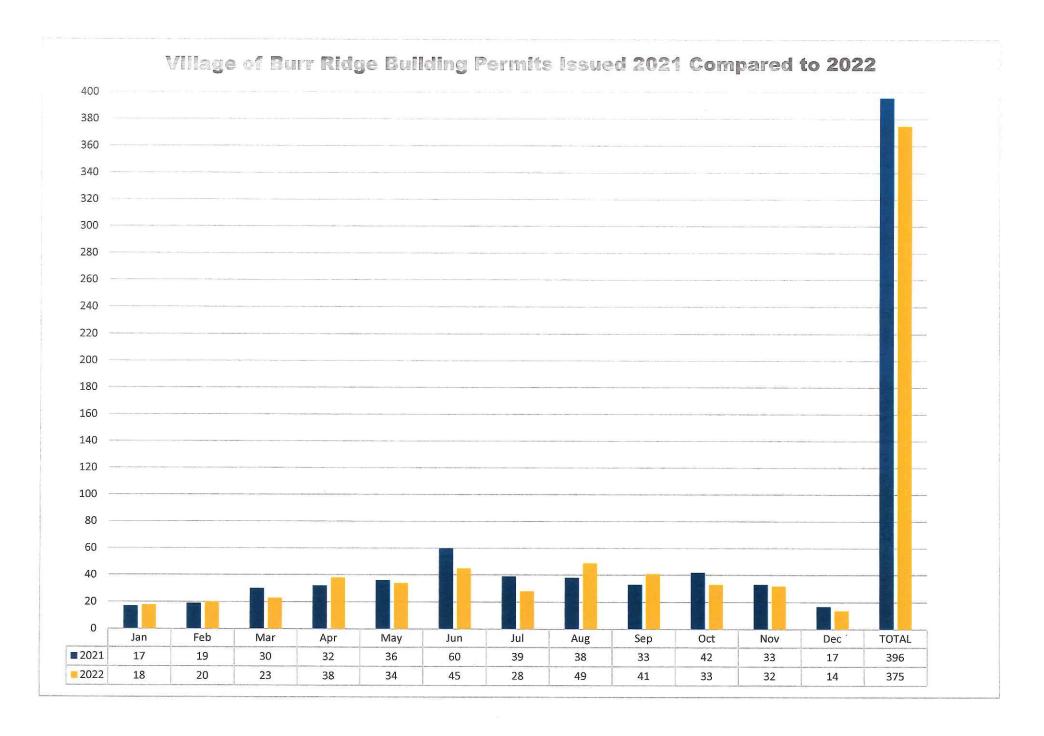
Occupancy Certificates Issued December 2022

01/13/23

Record Address
220 Forest Edge Ct
770 Village Center Dr.

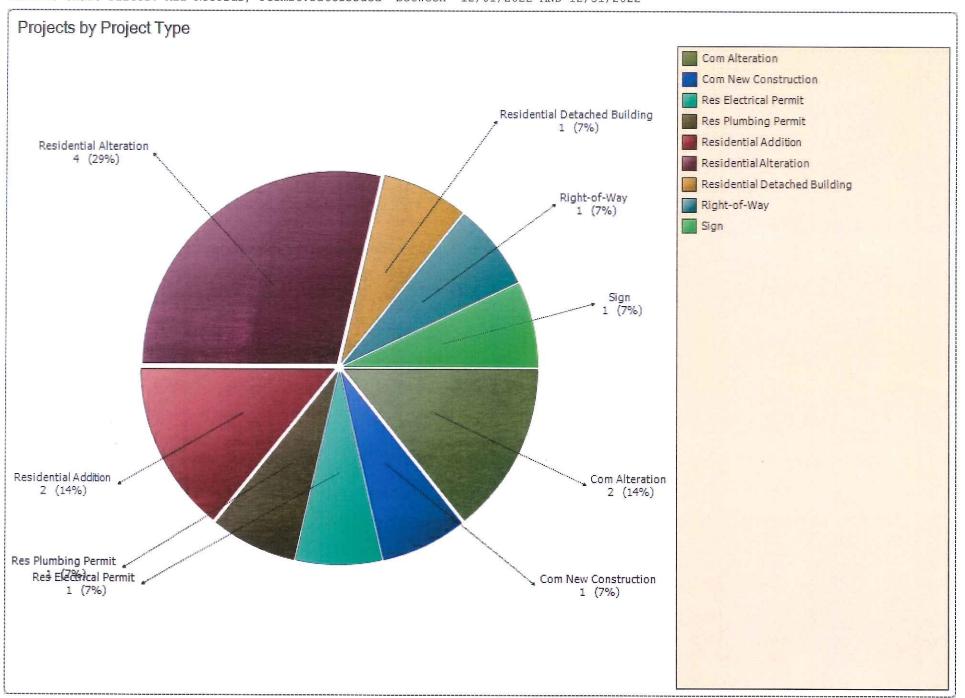
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	1								
JANUARY	[1]	\$607,950	[3]	\$170,800			[1]	\$488,775	\$1,267,525
FEBRUARY	[1]			\$366,385				\$31,501	\$397,886
MARCH	+	\$600,000	[5]	\$672,000			[1]	\$5,978,425	\$7,250,425
	[1]		[6]				[4]		
APRIL	[2]	\$2,000,000	[5]	\$109,075			[2]	\$310,000	\$2,419,075
MAY		\$500,000		\$53,417					\$553,417
JUNE	[1]	\$2,850,000	[2]	\$678,530			[]		\$3,528,530
	[3]		[6]				[1]		
JULY	[4]	\$3,971,050	[2]	\$30,675			[1]	\$85,000	\$4,086,725
AUGUST		\$2,000,000		\$209,800				\$40,000	\$2,249,800
SEPTEMBER	[1]	\$700,000	[11]	\$565,000			[]		\$1,265,000
OCTOBER	[1]		[7]	4470477		400 000 000	[]	*	
OCTOBER			8]	\$479,175	[1]	\$29,000,000	[4]	\$1,182,000	\$30,661,175
NOVEMBER		\$2,800,000		\$287,700				\$321,066	\$3,408,766
DECEMBER	[2]		[5]	\$1,005,750		\$50,000	[2]	\$40,000	\$1,095,750
	[]		[7]		[1]	*	[2]		
2022 TOTAL	[4.5]	\$16,029,000	[c=]	\$4,628,307	.	\$29,050,000		\$8,476,767	\$58,184,074
	[16]	l	[67]		[2]		[18]		





Breakdown of Projects by Project Type

Current Chart Filter: All Records, Permit.DateIssued Between 12/01/2022 AND 12/31/2022





VILLAGE OF BURR RIDGE MEMORANDUM

TO: Village of Burr Ridge Plan Commission

Greg Trzupek, Chairman

FROM: Janine Farrell, Community Development Director

DATE: February 6, 2023 (continued from January 16, 2023)

RE: Extraterritorial Review of 10S630 Garfield Ave. Variation Request

The Village received notification of a variation request for the property located at 10S630 Garfield Ave. This property, located in unincorporated DuPage County, is located south of the Oak Creek Club Subdivision, to the east of the Oak Ridge Creek Subdivision, to the west of Rustic Acres (former Village Public Works facility), and north of the railroad tracks. Within this area, there are four residentially zoned properties which access Garfield Ave. through a private road, also called Garfield Ave. The private road is an easement through the Oak Creek Club Subdivision. Three of the four properties contain single-family residences and the fourth is unimproved.

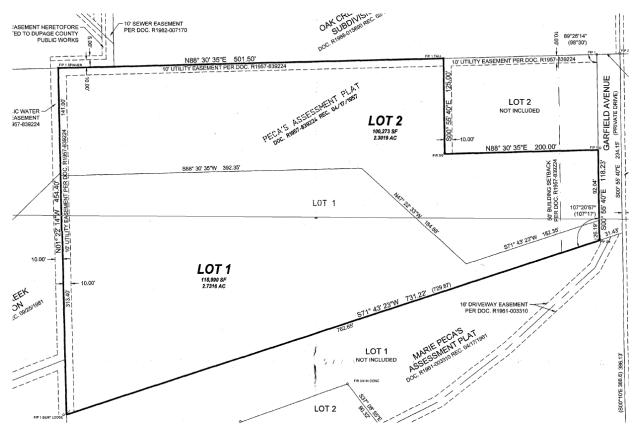


Aerial map of the site with the property outlined in yellow.

Private road access is outlined in blue.

The petitioner, Kamalya Aliyeva, is requesting a variation for lot width in order to divide the 4.99-acre property into two lots. The northern lot is proposed to be 2.3 acres and the southern lot is proposed to be 2.7 acres. This land division is exempt from following the DuPage County's Subdivision Ordinance due to the size of the parcels and an exemption under the Illinois Plat Act. This means that a formal "Plat of Subdivision" and associated review and approval are not

required. The two proposed lots meet the minimum lot size requirement for the R-1/Single-Family Residence District of 100,000 sq. ft. or 2.3 acres, but one lot does not meet the minimum lot width requirement of 165 ft. DuPage County measures lot width at intervals along the depth of the parcel and averages the number. The lots are currently served by well and septic; the new lot will also be served by well and septic. For reference, the property is surrounded by Village of Burr Ridge R-1 (minimum 5-acre lot area/220 ft. lot width), R-3 PUD (townhomes), and R-2A (minimum 40,000 sq. ft./130 ft. lot width) zoning districts.



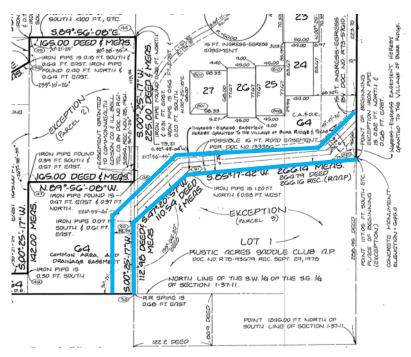
Plat showing the division of the parcel into two lots.

Legal Authority for Review and Evaluation

According to the State of Illinois, the Village is notified of certain zoning actions and may have the legal authority to review certain zoning actions or subdivision proposals up to 1.5 miles outside of its boundaries. Since there is not a rezoning request and no Plat of Subdivision requiring the Village's signature, review of the request is limited to the variation of lot width. In this instance, the parcel is currently land-locked and will remain so through the division. The parcel is not surrounded on three sides by the Village, only on the north and west, so forced annexation is not possible.

The Plan Commission first reviewed this request at their January 16, 2023 meeting. The Plan Commission directed staff to send a letter to DuPage County for the public hearing which occurred on January 18. This letter, included as an attachment, noted the Commission's concerns about the access easement, questioned if Oak Creek Club was notified, and stated that this division would not be authorized under the Village Codes and Ordinances. The January 18 meeting at DuPage County was continued until February 8.

Since the meeting, staff spoke with Ken Curelo, president of the Oak Creek Club HOA, to confirm that the HOA was notified of the variation request. Mr. Curelo stated that he or another HOA representative would attend the January 18 meeting and was going to have their legal counsel review the easement. Staff also received information from DuPage County staff regarding the easement, stating that it has been in place from at least 1918 and was reaffirmed in the 1970s with the construction of the Oak Creek Club and recordation of the Plat of Subdivision. This information is included as an attachment.

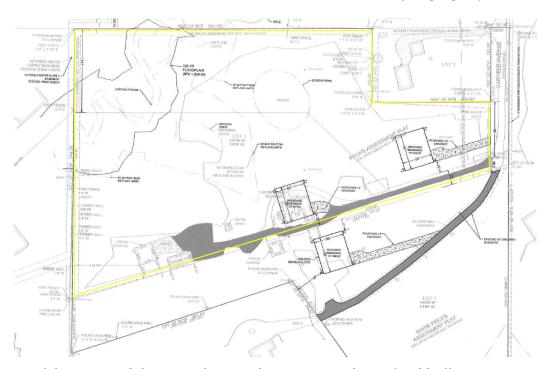


An excerpt of the Oak Creek Club Plat of Subdivision illustrating the "Road Easement" on the southern portion, providing access to 10S630 Garfield Ave., traced in blue lines.

At the previous public hearing, staff also questioned the proposed locations of the new homes since there are wetlands and a floodplain on the property. A wetland report prepared by V3 Companies was received and is available upon request. There were four areas identified, with three on the property and one on the neighboring property. On 10S630 Garfield Ave., Area 3 was determined to be under the jurisdiction of the Army Corps of Engineers. Areas 2 and 4 and were determined to be an isolated wetland and a man-made pond under the jurisdiction of DuPage County. Under both jurisdictions, there are separation distances or "buffer" requirements for the structures to remain a certain distance away from the sensitive areas. Should the variation be approved, and the property be divided into two lots, two new homes will be built. A conceptual site plan was submitted showing the homes meeting the buffer requirements.



Wetland delineation with Areas 2, 3, and 4 on the subject property.



Locations of the proposed three new homes, shown to meet the wetland buffer requirements. One home will replace an existing one and two new ones will be constructed (one on the new lot and one on the currently vacant lot).

Attachments

Exhibit A – Petition Materials from DuPage County

Exhibit B - Letter dated January 17, 2023 sent to DuPage County on behalf of the Plan Commission

Exhibit C – Information received from DuPage County regarding the easement on Oak Creek Club property



Building Division

Zoning & Planning Division

Environmental Division

BUILDING & ZONING DEPARTMENT

630-407-6700 Fax: 630-407-6702

www.dupageco.org/building

DU PAGE COUNTY ZONING HEARING OFFICER PROGRAM Zoning Petition ZONING-22-000065 Aliyeva

Please review the information herein and return with your comments to:

Jessica Infelise, DuPage County Building and Zoning Department, 421 North County Farm Road, Wheaton, Illinois 60187; or via email at Jessica.Infelise@dupageco.org or via facsimile at 630-407-6702 by **JANUARY 17, 2023.**

	COMMENT SECTION:						
: OUR OFFICE HAS NO JURISDICTION IN THIS MATTER							
: NO OBJECTION/CONCERNS WITH THE PETITION							
	: NO OBJECTION/CONCERNS WITH THE CONCEPT OF THE PETITION. ADDITIONAL INFORMATION MAY BE REQUIRED AT TIME OF PERMIT APPLICATION						
	CERNS WITH THE PETITION.	THUE OF TERMIT ATTLICATION					
COMMENTS:							
SIGNATURE:	Т	DATE:					
	HIP/AGENCY/DEPARTMENT						
GENE	ERAL ZONING CASE INI	FORMATION					
CASE #/PETITIONER	ZONING-22-000065 Aliyev						
ZONING REQUEST	·	uired lot width from required 165					
	feet to approximately 143.5						
OWNER	KAMALYA ALIYEVA, 2						
	CLARENDON HILLS, IL						
	· · · · · · · · · · · · · · · · · · ·	YNE GILLIAN), 7325 JANES					
	AVENUE #100, WOODR	, ,					
ADDRESS/LOCATION		NUE, BURR RIDGE, IL 60527					
PIN	10-01-303-012/ 10-01-303	, ,					
TWSP./CTY. BD. DIST.	DOWNERS GROVE	DISTRICT 3					
ZONING/LUP		0-5 DU AC					
AREA	4.99 ACRES (217,364 SQ.						
UTILITIES	WELL/ SEPTIC						
PUBLICATION DATE	Daily Herald: JANUARY	3 2023					
PUBLIC HEARING	-	•					
I ODLIC HEARING	RING WEDNESDAY, JANUARY 18, 2023						

PLEASE NOTE: FILING OF THIS FORM DOES NOT SUBSTITUTE FOR A FORMAL OBJECTION PURSUANT TO THE ILLINOIS STATE STATUTES.



Building

Zoning &

Planning Division

Environmental

BUILDING & ZONING DEPARTMENT

630-407-6700 Fax: 630-407-6702

www.dupageco.org/building

DU PAGE COUNTY ZONING HEARING OFFICER JACK T. KNUEPFER ADMINISTRATION BUILDING 421 NORTH COUNTY FARM ROAD WHEATON, ILLINOIS 60187/630-407-6700

Zoning Petition ZONING-22-000065 Aliyeva

The DuPage County Zoning Hearing Officer will conduct the following public hearing:

<u>PUBLIC HEARING</u>: 2:30 p.m. **WEDNESDAY, JANUARY 18, 2023**, Building and Zoning Conference Room, JACK T. KNUEPFER ADMINISTRATION BUILDING 421 NORTH COUNTY FARM ROAD WHEATON, ILLINOIS 60187

If you would like to attend the hearing via Zoom, please contact Jessica Infelise at <u>Jessica.Infelise@dupageco.org</u> or 630-514-0624 to receive the Zoom call-in/ video conferencing information.

PETITIONER: KAMALYA ALIYEVA, 299 COLUMBINE DRIVE, CLARENDON HILLS, IL 60514/ AGENT: V3 COMPANIES (C/O DWAYNE GILLIAN), 7325 JANES AVENUE #100, WOODRIDGE, IL 60517

REQUEST: Variation to reduce the required lot width from required 165 feet to approximately 143.55 feet for Lot 2.

ADDRESS OR GENERAL LOCATION: 10S630 GARFIELD AVENUE, BURR RIDGE, IL 60527

<u>LEGAL DESCRIPTION</u>: LOT 1 IN MARIE PECA'S ASSESSMENT PLAT OF PAR TOF LOT 25 IN THE ASSESSOR'S DIVISION OF SECTION 1, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ACCORDING TO THE PLAT OF SAID PECA'S ASSESSMENT PLAT RECORDED APRIL 17, 1961 AS DOCUMENT R61-3310, IN DUPAGE COUNTY, ILLINOIS.

Respectfully Submitted, ROBERT J. KARTHOLL, CHAIRMAN, DUPAGE COUNTY ZONING BOARD OF APPEALS

Notice of this hearing is being sent to property owners within 300 feet of the subject property and as one of them you are invited to attend the meeting and comment on the petition. A reduced scaled sketch or drawing of the petitioner's request is included for your review. If you have any questions or require a full-scale version of the site plan, please contact the Zoning Division at (630) 407-6700.

Please be advised that access to the 421 JACK T. KNUEPFER ADMINISTRATION BUILDING is limited to the main entrance located in the center on the east side of the building.

If you would like to attend the hearing via Zoom, please contact Jessica Infelise at <u>Jessica.Infelise@dupageco.org</u> or 630-514-0624 to receive the Zoom call-in/video conferencing information.

2



BUILDING & ZONING DEPARTMENT

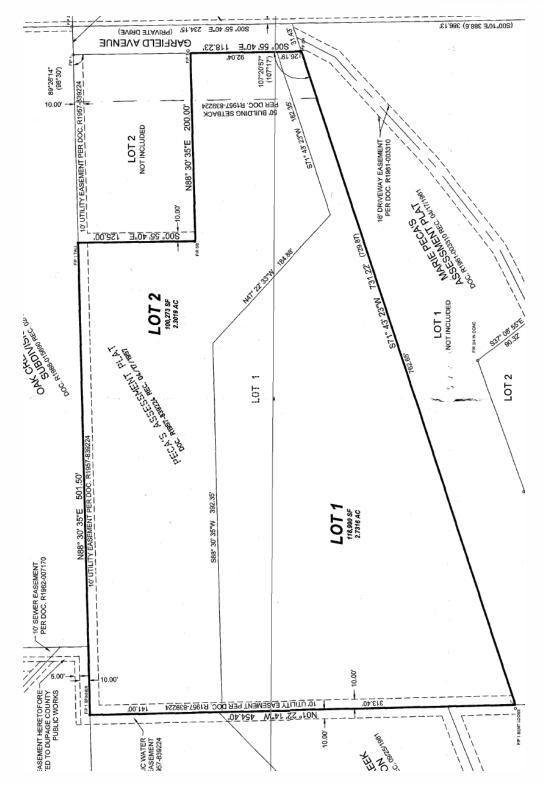
630-407-6700 Fax: 630-407-6702

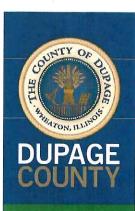
www.dupageco.org/building

Building Division

Zoning & Planning Division

Environmental Division





Building Division

Zoning & Planning Division

Environmental Division

BUILDING & ZONING DEPARTMENT

630-407-6700 Fax: 630-407-6702

www.dupageco.org/building

DU PAGE COUNTY ZONING HEARING OFFICER PROGRAM Zoning Petition ZONING-22-000065 Aliyeva

Please review the information herein and return with your comments to:

Jessica Infelise, DuPage County Building and Zoning Department, 421 North County Farm Road, Wheaton, Illinois 60187; or via email at Jessica.Infelise@dupageco.org or via facsimile at 630-407-6702 by JANUARY 17, 2023.

	COMMENT SECTION:					
: OUR OFFICE HAS NO JURISDICTION IN THIS MATTER						
: NO OBJECTION/CONCERNS WITH THE PETITION						
	CERNS WITH THE CONCEPT OF SATION MAY BE REQUIRED AT	THE PETITION. TIME OF PERMIT APPLICATION				
: I OBJECT/ HAVE CON	CERNS WITH THE PETITION.	Time of Texinit Affection				
COMMENTS: PLUS	see attached					
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SIGNATURE MM		DATE: 117/2023				
MUNICIPALITY/TOWNSH	HIP/AGENCY/DEPARTMENT:					
Village of E	our Ridor					
GENE	CRAL ZONING CASE INF	FORMATION				
CASE #/PETITIONER	ZONING-22-000065 Aliyeva					
ZONING REQUEST	Variation to reduce the required lot width from required 165					
	feet to approximately 143.5	55 feet for Lot 2.				
OWNER	KAMALYA ALIYEVA, 299 COLUMBINE DRIVE,					
	CLARENDON HILLS, IL	60514/ AGENT: V3				
	COMPANIES (C/O DWA)	YNE GILLIAN), 7325 JANES				
	AVENUE #100, WOODRI	DGE, IL 60517				
ADDRESS/LOCATION	10S630 GARFIELD AVEN	NUE, BURR RIDGE, IL 60527				
PIN	10-01-303-012/10-01-303-	-009				
TWSP./CTY. BD. DIST.	DOWNERS GROVE	DISTRICT 3				
ZONING/LUP	R-1 SF RES	0-5 DU AC				
AREA	4.99 ACRES (217,364 SQ.	FT.)				
UTILITIES	WELL/ SEPTIC					
PUBLICATION DATE	Daily Herald: JANUARY 3	3, 2023				
PUBLIC HEARING	WEDNESDAY, JANUAR					
DI EACE NOTE, EU INC OFT	***************************************	AND THE RESIDENCE OF THE PROPERTY OF THE PROPE				

PLEASE NOTE: FILING OF THIS FORM DOES NOT SUBSTITUTE FOR A FORMAL OBJECTION PURSUANT TO THE ILLINOIS STATE STATUTES.

VILLAGE OF **BURR RIDGE** 7660 COUNTY LINE ROAD BURR RIDGE IL 60527



MAYOR
GARY GRASSO
VILLAGE CLERK
SUE SCHAUS
VILLAGE
ADMINISTRATOR
EVAN WALTER

January 17, 2023

Jessica Infelise DuPage County Building and Zoning Department 421 North County Farm Rd. Wheaton, IL 60187

Via email to lessica.infelise@dupageco.org

Re: Zoning Petition ZONING-22-000065 Aliyeva Variation

Dear Ms. Infelise,

On January 16, 2023, the Village of Burr Ridge Plan Commission/Zoning Board of Appeals performed an extraterritorial review of the variation for lot width request to divide a lot located at 10S630 Garfield Ave. This property is surrounded to the north and west by the Village of Burr Ridge. After an initial review, it was determined that this proposed division and associated request for lot width variation would not be authorized under the Village of Burr Ridge Subdivision and Zoning Ordinances.

The Commission also expressed concern about the private road easement which is located on Oak Creek Club property. Since the proposed lot would utilize this easement, the Village requested a copy of the document (No. 1333386) from DuPage County staff but has not received it as of the date of this letter. The Village would like to verify that the easement permits an additional property/residence to have access. The Village also requests confirmation that the Oak Creek Club HOA has been notified of the zoning action and proposed division.

The Village respectfully requests that the matter be continued until such time that the Village has received the easement for review and confirmation that the Oak Creek Club has been notified of the request.

Should you have any questions, please do not hesitate to contact me directly at <u>ifarrell@burr-ridge.gov</u> or (630) 654-8181 x 6100.

Sincerely,

Janine Farrell, AICP

yanme tourell

Community Development Director

EXHIBIT C

From: Infelise, Jessica
To: Janine Farrell

Cc: <u>Hoss, Paul; Infelise, Jessica; Dwayne Gillian</u>
Subject: Aliyeva Easements

Date: Thursday, January 26, 2023 5:12:13 PM

Attachments: image001.png

R1918-133386.pdf R1978-093679.pdf R1973-057610 (1).pdf R1974-011624.pdf R1961-003310 (2).pdf R1957-839224 (1).pdf R1988-015690.pdf

Importance: High

Hi Janine,

The Recorder's office and I found the document for the easement that was located on the Oak Creek Club Plat R1988-015690 (attached).

R1918-133386 (attached), which connects Lot 25 (which is now 10-01-303-010, 10-01-303-009, 10-01-303-012, 10-01-303-011) via "This agreement, made and entered into this twenty-fourth day of May A.D. 1918 by and between John Mosny and Anna Mosny, his wife party of the first part, of the Town of Hinsdale DuPage County and the State of Illinois, and Louis Peca and Mary Peca, his wife, party of the second part, witneeseth:-

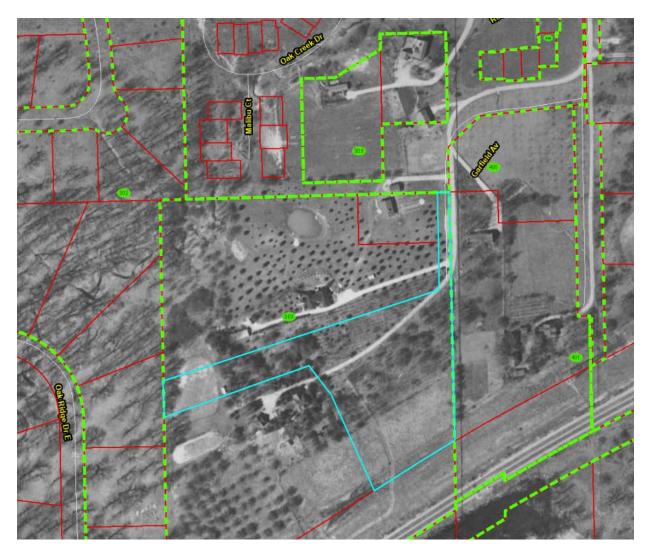
For and in consideration of the sum of Two Hundred Twenty Five (\$225.00) dollars, the said party of the second part can have for themselves; their heirs or assigns forever, the use of a parcel or piece of land for a road, to have free access to their farm; said road to be about sixteen (16) feet wide and to run from the northeast corner of Lot Twenty Five (25), easterly to the private road of John and Anna Mosny, and thence northerly on said private road to the main road"

In addition, The Oak Creek Club Plat references R1978-093679, which is based on R1973-057610, then rerecorded as R1974-011624, for access to 91st Street. And Easement Plat R1961-003310, which gives 10S700 Garfield access to the private road.

The easement documents connect Garfield Road which is located on the petitioner's property at 10-01-303-012 to 91st Street.

Since at least the 1950s (see below), this private street (Garfield) has had access to 91st Street and gives access to the houses at: 10S700 Garfield Avenue, 10S630 Garfield Avenue, and 10S610 Garfield Avenue. Official easement doc Marie Peca's Assessment Plat 1961-003310 confirms this.

See below of earliest County aerial image from 1956.



Jessica Infelise

Zoning Administration Coordinator DuPage County Building & Zoning Dept. 421 N. County Farm Road Wheaton, IL 60187

Office: (630) 407-6752 Cell: (630) 514-0624

Jessica.Infelise@dupageco.org

AGREEMENT:

THIS AGREEMENT, made and entered into this <u>Twenty-forth</u> day of May A. D. 1918 by and between John Mosny and Anna Mosny, his wife party of the first part, of the Town of Hinsdale Du Page County and the State of Illinois, and Louis Peca and Mary Peca, his wife, party of the second part, witnesseth:-

For and in consideration of the sum of Two Hundred Twenty Five (\$235.00) dollars, the said party of the second part can have for themselves; their heirs or assigns forever,

MISCELLANEOUS RECORD 10

the use of a parcel or piece of land for a road, to have free access to their farm;

Said road to be about sixteen (16) feet wide and to run from the North East corner of Lot Twenty Five (35), easterly to the private road of John and Anna Mosny, and thence northerly on said private road to the main road.

The said Lot Twenty Five (25) being now owned by the said Louis and Mary Peca, his wife and is more fully described as follows to wit:-

Lot Twenty Five (35), of the plat of the assessment Division of the South half (S.2.) of Section One (1) and Two (3), and all of Sections Eleven (11) and Twelve (12), lying north of the Sanitary District of Chicago, Illinois, in Township Thirty Seven (37), North Range Eleven (11), East of the Third (3rd) Principal Meridian, said lot being situated upon a part of the South East quarter (S. E.1.) of the South East quarter (S. E.1.) of Section One (1), aforesaid in Du Page County, Illinois, excepting and reserving half (2) acres on which school house stands, the same being heretofore conveyed and also excepting the strip of land, Sixty Six (66) feet wide running diagonally, across said lot Twenty Five (25), the same being heretofore, conveyed to the Chicago St. Louis and Western, Railroad Company.

The above mentioned main road runs East and West on the North end of the land owned by said John and Anna Mosny, his wife.

IN WITNESS WHEREOF, the party of the first part have hereunto set their hands and seals the day and year first above written.

WITNESS

John Mosny

(SEAL)

Anna Mosny

(SEAL)

10° 8

State of Illinois (ss. County of Cook (ss.

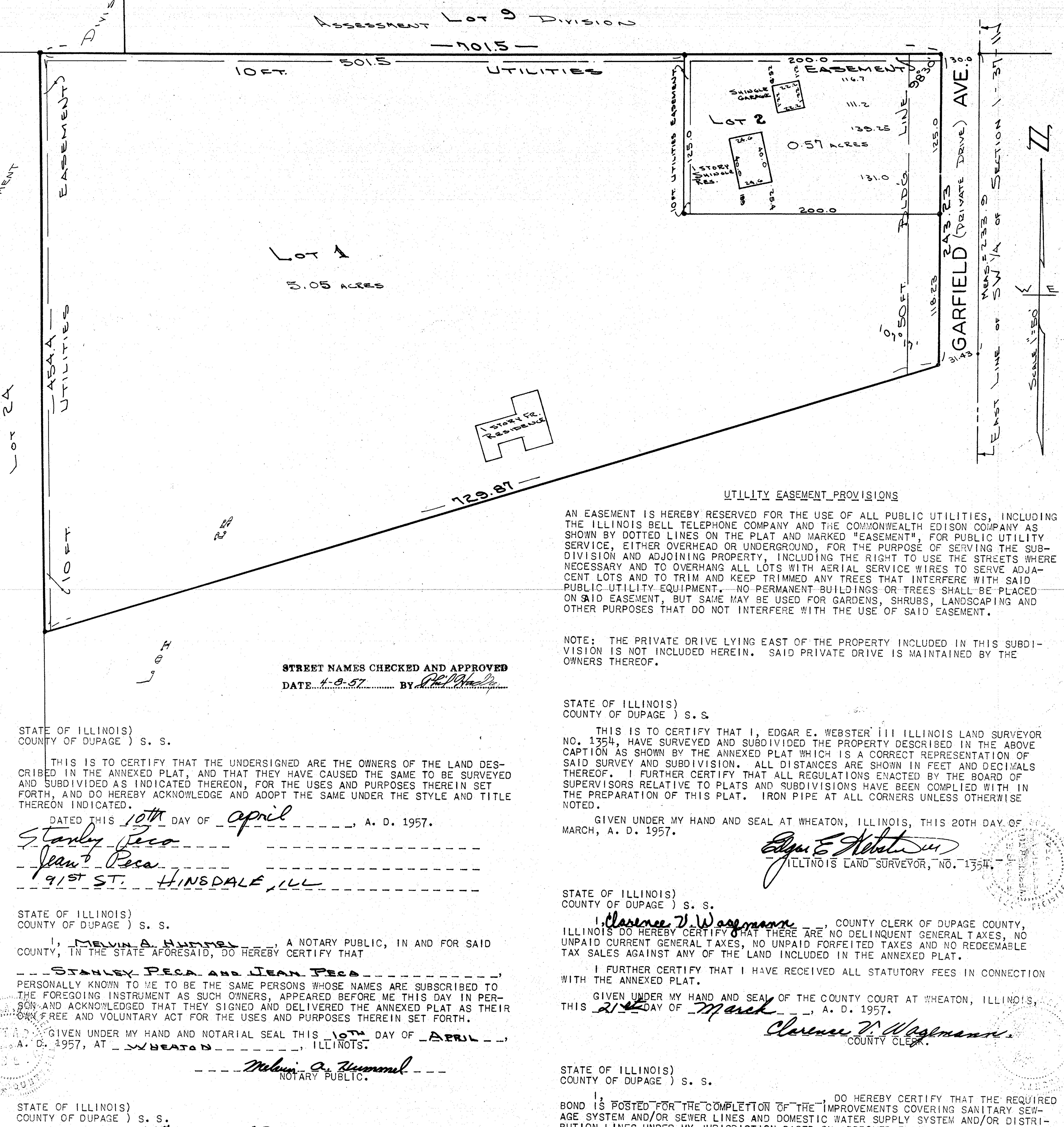
Subscribed and sworn to before me this 24th day of May A. D. 1918.

 Henry B. Koller, Notary Public.

No. 133386 - Filed for Record June 5th, A. D. 1918 at 2 o'clock P. M. - Lewis Ellsworth, 'Recorder.

OF THAT PART OF LOT 25 OF THE ASSESSOR'S DIVISION OF SECTION 1, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY BEGINNING AT A POINT IN THE NORTH LINE OF SAID LOT, 30.0 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID LOT 243.23 FEET; THENCE SOUTH 720 17' WEST 729.87 FEET TO THE WEST LINE OF SAID LOT; THENCE NORTH ALONG THE WEST LINE OF SAID LOT, 454.4 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE EAST 701.5 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS

REDUCED 10%



COUNTY OF DUPAGE) S. S. APPROVED THIS 15th DAY OF APRIL ___, A. D. 1957.

DUPAGE COUNTY ZONING AND PLAT COMMITTEE.

STATE OF ILLINOIS)

COUNTY OF DUPAGE) S. S.

STATE OF ILLINOIS)

DUPAGE COUNTY HEALTH DEPARTMENT.

No bond required.

BUTION LINES UNDER MY JURISDICTION BASED ON APPROVED ENGINEERS PLANS AND SPECI-

NOTE: ADEQUATE FACILITIES FOR SEWAGE DISPOSAL AND WATER SUPPLY MUST BE ASSURED FOR EACH LOT. PLANS FOR THOSE FACILITIES MUST BE APPROVED BY THE DUPAGE COUNTY BUILDING DEPARTMENT BEFORE A BUILDING PERMIT WILL BE ISSUED.

COUNTY OF DUPAGE) S. S. WAS FILED FOR RECORD IN THE RECOR-DER'S OFFICE OF DUPAGE COUNTY, TLLINOIS, THIS 17TH DAY OF APRIL A. D. 1957, AT /:35__ O'CLOCK P.M.

Dac. #839224

R61- 3310 FILED FOR RECORD IN RECORDERS OFFICE OF DUPAGE COUNTY, ILLINOIS

	FPR 1 1961 AT -1 10PM
PLAT	Phoebe H. Duthler
TITLE Marie Teca's C	
DESCRIPTION R Lot 25	Assessor's Dir.
Section	7Range//
PLAT RECORD BOOK #/	PAGE 4-/
DATE OF INSTRUMENT /2/30./60	FEE 9 Pd. Bee
CHARGE	
MAIL TO Webster, Mey	er & assoc

MARIE PEGASIASSESSMENT OF THAT PART OF LOT 25 IN THE ASSESSOR'S DIVISION OF SECTION 1. TOWNSHIP 37 MANGE 11
EAST OF THE THIRD PRINCIPAL MERIDIAN. LYING NORTHERLY OF THE RIGHT OF WAY OF THE PUBLIC Book Hills SERVICE COMMY OF NORTHERN ILLINOIS MOLYING SOUTH -- THE BAST OF THE PECALS SUB-DIVISION OF PART OF SAID LOT 25, ACCORDING TO THE PLAT. THEREOF RECORDED APRIL 17, 1957
AS DOMMENT 839224, IN DU PAGE COUNTY, ILLINOIS. DE CORNER OF STATE OF ILLINOIS ... COUNTY OF SESS THIS IS TO CERTIFY THAT THE UNDERSIGNED ARE THE OWNERS OF THE LAND d10151010 DESCRIBED IN THE ANNEXED PLAT, AND THAT THEY HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THERE IN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. DATEDITHIS ADDRESS ADDRESS STATE OF ILLINOIS) A NOTARY PUBLICS IN AND FOR THE VAND STATE AFORESATO DO HEREBY CERTIFY THAT TERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE 3.7.31 Ac. ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED SAID INSTRUMENT AS THE ROWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF NOTARY PUBLIC STATE OF ILLINOIS) 38 COUNTY OF DU PAGE) APPROVED THIS / DAY OF LEEZE T QU PAGE DOUNTY ZONING AND PLAT COMMITTEE Stand Co. A bandoned , Chicken hove CHAIRMAN STATE OF ILLINOIS) SS THIS S TO CERTIFY THAT IS EDGAR E. WEBSTER, III, ILLINOIS LAND SURVEYOR NO. 1354, HAVE SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION OF AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT AND TRUE REPRESENTATION OF 4.689 SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DEGIMALS THEREOF. IRON STAKES AT ALL LOT CORNERS UNLESS OTHERWISE NOTED. GIVAN UNDER MY HAND AND SEAL AT WHEATON, FILLINGIS THIS 30, LOAY OF WEESTER, WEYER AND ASSOCIATES. PHONE: MONTROSE 8-7603 STATE OF ILLINOIS) COUNTY OF DU PAGE) ILLINOIS DO HEREBY CERT HY THAT THERE ARE NO DELINQUENT GENERAL TAXES, COUNTY CLERK OF DU PAGE COUNTY, NO UNPATO CURRENT GENERAL TAXES, NO UNPATO FORFETTED TAXES AND NO RE-DEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. A FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CON-NECTION WITH THE ANNEXED PLATE GIVEN UNDER MY HAND AND SEAL OF THE COUNTY COURT AT WHEATON, Church Village mann STATE OF ILLINOIS) SS COUNTY OF DU PAGE SS APPROVED AND ACCEPTED THIS 12 BAY OF LIPLE - - A.D. 1961. BOARD OF SUPERVISORS OF DU PAGE STATE OF ILLINOIS Le COUNTY OF OU PAGE) THIS INSTRUMENT NO. 261.3310 WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF BU PAGE COUNTY AFORESATO, ON THE 27 9 DAY OF ZA.O. 1961. AT 1.70 OCLOCK Z.N. Dele Blutchez

an

EASEMENT

INDENTURE, made the 22nd day of MAY, 1973, between WILLIAM M. ZIPPERMAN, and IRENE C. ZIPPERMAN, his wife, Grantors, and RUSTIC ACRES SADDLE CLUB CORPORATION, Grantee.

WHEREAS, the Grantors are seised of an estate in fee simple of a parcel of land in DuPage County, Illinois, across which there runs a private road which road opens into 91st Street, and

WHEREAS, the Grantee is seised in fee simple of two

(2) parcels of land near and adjoining the Grantors' land,

described herein on Exhibit "A" attached hereto and made a

part hereof; and

WHEREAS, the Grantors have agreed for and in consideration of the sum of \$1.00, to grant to the Grantee an easement of right of way over the said private road.

WITNESSETH

NOW THEREFORE, in pursuance of the said agreement and in consideration of the sum of \$1.00, paid by the Grantee to the Grantors, receipt of which is hereby acknowledged, the Grantors hereby grant to the Grantee, or its assigns:

Full and free right and liberty for it, its tenants,

DU PAGE COLUMN

R73-57610

PAGE ONE.

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Jenn Frank

servants, visitors, and licensees, in common with all others having the like right, at all times hereafter, with or without vehicles of any description, for all purposes connected with the use and enjoyment of the said land of the Grantee, to pass and repass along the said private road for the purposes of going from the said 91st Street, or vice versa.

To have and to hold the easement or right of way hereby granted unto the Grantee, or its assigns, as appurtenant to the said land of the Grantee, as described herein as Exhibit "B", and made a part hereof.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands and seals the day and year first above written.

WILLIAM MAZIPHERMAN.

IRENE C. ZIPPERMAN.

STATE OF ILLINOIS

SS:

COUNTY OF C O O K

I, GERALDINE BROOKS, a Notary Public in and for said County, the State aforesaid, do hereby certify that WILLIAM M. ZIPPERMAN and IRENE C. ZIPPERMAN, his wife, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 22nd/day of MAY, 1973.

NOTARY PUBLIC.

PAGE TWO.

PARCEL 1: That part of Section 1, Township 37 North, Range 11 East of the Third Principal Meridian, described as commencing at the center of said Section 1, and running thence North 89 degrees 19 minutes East along the quarter section line, 345.84 feet; thence South parallel with the North and South Quarter Section line, 1217.05 feet to a point 1533.95 feet North of the South line of said Section said point also being the point of beginning; thence continuing South on the aforementioned line 288.95 feet to a point; thence 89 degrees and 10 minutes West to a point 122.2 feet East of the West line of the Southeast & of said Section; thence North 80.9 feet to the North line of the Southwest & of the Southeast & of said section; thence West along the North line of the South 1/2 of the South 7/2 by of said section to the West line of the East by of the Northeast by of the Southwest % of said Section; thence North on said West line 112.98 feet to a point; thence 110.54 feet Northeast along a line which makes an angle of 133 degrees 4 minutes 20 seconds as measured from South to Northeast from the last described line; thence 264.79 feet Northeasterly to the point of beginning.

ALSO

PARCEL 2: The West 1.87 chains of the South 20 chains (except that part of the North 80.9 feet thereof, lying East of the West 122.2 feet thereof and except a 100 ft. right of way conveyed to Atchison, Topeka & Santa Fe R.R. Co., by document 63437, and except that strip of land North and adjoining said railroad right of way conveyed to John H. Gulick by deed recorded as Document 207707 of Lot 8 in County Clerks Assessment Division of the South 1/2 of Sections 1 and 2 and all of Sections 11 and 12, lying North of the Sanitary District of Chicago, all in Township 37 North, Range 11, East of the Third Principal Meridian, IN DU PAGE COUNTY, ILLINOIS.

EASEMENT FOR INGRESS AND EGRESS

A strip of land 15 feet in width in the Southeast Quarter of Section 1, Township 37 North, Range ll East of the Third Principal Meridian, the center line of said easement described as follows: Beginning at a point on the East-West center line of said section, 338.34 feet East of the North-South center line of said section; thence South along a line parallel to said North-South center line a distance of 1,167 feet; thence Southwest at an angle of 45 degrees with the south extension of said line to a point on a line 17.5 feet North of and parallel to the Northeasterly and Northwesterly lines of Parcel One; thence Southwest along said lines to a point on the North-South center line of said Section 1, Township 37 North, Range 11 East of the Third Principal Meridian (excepting therefrom that part falling in 91st Street).

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Full and free right and liberty for it, its tenants,

DU PAGE COURT

R73- 57611

PAGE ONE

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George Frankl

UPAGE CO. DIVISION 502

CHARGE

RECORDED

DU PAGE COUNTY

R74-11624

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servants, visitors, and licensees, in common with all others having the like right, at all times hereafter, with or without vehicles of any description, for all purposes connected with the use and enjoyment of the said land of the Grantee, to pass and repass along the said private road for the purposes of going from the said 91st Street, or vice versa.

To have and to hold the easement or right of way hereby granted unto the Grantee, or its assigns, as appurtenant to the said land of the Grantee, as described herein as Exhibit "B", and made a part hereof.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands and seals the day and year first above written.

WILLIAM M. ZIPEERMAN.

IRENE C. ZIPPERMAN.

STATE OF ILLINOIS) SS:

COUNTY OF C O O K

I, GERALDINE BROOKS, a Notary Public in and for said County, the State aforesaid, do hereby certify that WILLIAM M. ZIPPERMAN and IRENE C. ZIPPERMAN, his wife, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 22nd/day of MAY, 1973.

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PAGE TWO

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ALSO

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	IN THE CIRCUIT COURT OF	COUNTY, ILLINOIS
x 44.84.84	MAIL TO Home Federal Savings and Loan Association of Chicago Autority STATE STREET CHICAGO TLL REMESONT REMESONT	R73-57610

FORM 700 WP 10-78

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PLAT

Date.

TEMPORARY RECEIPT GEORGE R. RUDOLPH

RECEIVED FROM COUNTY Wheater, Illinois

TITLE Printic Gene Sobble Club Corporation assessment Plat.

DESCRIPTION

DATE OF INSTRUMENT June 10, 1978

MAIL TO Source Var Houter

Copies Certified

CHARGE

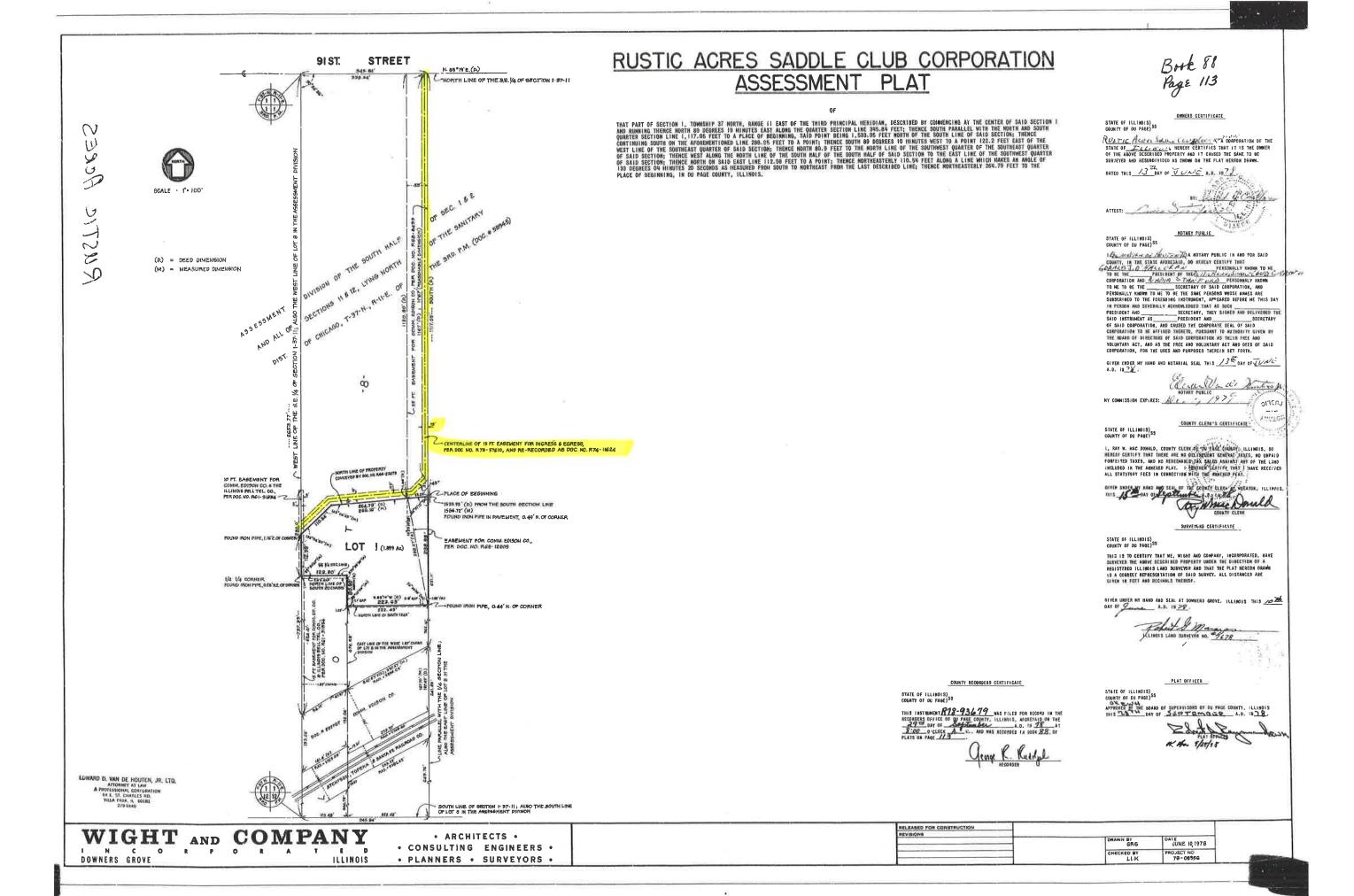
RECORDER

DU PAGE COUNTY

1978 SEP 29 AM 8 00

ROOK 1/3

Received—Map & Zoning Dept.



PLAT

J. P. "RICK" CARNEY

Recorder Du Page County Wheaton, Illinois

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DESCRIPTION PBRT 0/		
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DATE OF INSTRUMENT _//-/2-87		
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ccompanying Papers		
131 (2)	R88-015890	60 FEB 17 /// 11:30
AGE145	RECORDER DU PAGE COUNTY	Blency
Received - Map & Zoning Dept.		

By._____
Date.____

10-00-303-006 10-01-400-005 PROVENCAL BUILDERS INC.

LEMONIT, ILLINOIS GO439

SCHOOL CORNER, RTE 05 ¢ 171

PECPARED BY & RETURN TO: ce Pecore Village Clerk age of Burr Ridge AC S. County Line Road Ridge, Illinois 60521

IN DUFAGE COUNTY, ILLINOIS.


being a subdivision of part of the south half of section i,

TOWNSHIP 37 NORTH, RANGE II EAST OF THE THIRD PRINCIPAL MERIDIAN,

1300K 131

PACE 145

R88-15690



PREPARED BY & RETURN TO:
Patrice Pecora, Village Clark
Village of Burr Ricige
7500 S. County Line Road
Burr Ricige, Illinois 60521

JAK CREEK CLUB

BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION I,
TOWNSHIP 37 NORTH, RANGE II EAST OF THE THEP PRINCIPAL MERIDIAN.
IN DUPAGE COUNTY, ILLINOIS.

Construction of the second sec

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS) SS

WE WEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE ILLINOIS PLAT ACT, RLL. REV. STAT., CH. 109, SEC. 1 ER SEQ., AS NOW OF HEREFFTER AMENDED, HAVE BEEN THED WITH THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DU PAGE COUNTIES, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON

DAYLO THIS ZO DAY OF NOVEMBER. 19 85

DESTSTERED PROTESSIONAL ENGINEER,
ETCENSE NO.

WITH ATT BUSY

STORM WATER DRAINAGE AND DETENTION RESTRICTIONS AND EASEMENTS OVER LOT 64 COMMON AREA

TOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BEMEFIT OF THE SUBDIVISION AND PUBLIC GEMERALLY, THE FOLLOWING EASTMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO PUN WITH . HE LAND AND BE BINDING UPON THE OWNER OF THE SUBDIVISION AND ITS SUCCESSORS, MEIRS, EXECUTORS AND ASSIGNS:

A PERPETUAL CASEMENT FOR STORM WATER DETENTION AND DRAINAGE PURPOSES IS HEREDY GRANTED IN THE VILLAGE OF BURR RIDGE, AND THE PUBLIC GENERALLY, IN. OVER, UNDER, THROUGH AND

DIMINISH STORM WATER DRAINAGE OR DETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS. AS A MATTER OF PIGHT, BUT NOT DUTY, THE VILLAGE OF BURK RIDGE IS MERELY GRANTED A PERFETUAL EASEMENT IN, OVER, UNDER, THROUGH AND UPON SAID PERPETUAL CASEMENT AREAS, TOGETHER WITH REASONABLE ACCESS THERETO, TO REMOVE ANY UNLAWFUL OBSTRUCTION, OR CORRECT ANY UNLAWFUL ALTERATION, AND ANY EXPENSES INCURRED BY THE

... I THE EXERCISE OF SAID RIGHT SHALL PE A LIEN UPON THE PROPERTY WHEREIN SUCH

COUNTY MENT OF PAPTAENT CERTIFICATE

ENVIRONMENTAL ENGINEER OF SUPAGE COUNTY BEALTH LINATIAL CONTROLL THAT THE SUBDIVISION SHOWN ON THE PLAT COMPTER WITH ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE COUNTY IN ALL THE WATER AND SAUTTARY SEWAGE REQUIREMENTS OF DUPAGE REQUIRE

MAYON WHEATON MUNICIS, THIS 13 DAY OF LICE WISEK, 1987.

VILLAGE EMUINCER'S CERTIFICATE

COUNTY OF JULIAGE:

1. Jannes L. VILI

1. LYNOIS, PEREBY CENTIFY THAT THE PUBLIC IN

1. LYNOIS, NO SPECIFICATIONS THEREFORE, MEE

ILLINOIS, HEREBY CEPTIFY THAT THE PUBLIC IMPROVEMENTS IN THIS SUBDIVISION, AS SHOWN BY
LIC PLAYS AND SPECIFICATIONS THEREFORE, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND
HAVE SEEN APPRIVED BY ALL PUBLIC AUTHORITIES FAVING JURISDICTION THEREOF.

DAYED AT BYRR RIDGE, BU PAGE COUNTY, ILLINOIS 1415 195 DAY OF FEFTURE, 19 F

CI FINGINFELD 62-31190

CERTIFICATE AS TO SPECIAL ASSESSMENTS

COUNTY OF SECONDINES SS

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COUNTY THAT CONFIRMED THE SPECIAL ASSESSMENT.

DATED AT BUPK RIDGE. DESTANCE COUNTY, ILLINOIS, THIS 1.5 DAY OF

· "RUL" N WAS PLACED OR SUCH ALTERATION OCCURRED.

VILLAGE CLERK'S CERTIFICATE

VILLAGE OF THE VILLAGE OF THE RIDGE OF THE VILLAGE OF THE RIDGE OF THE RESOLUTION OF THE BOARD OF TRUSTEFS OF SAID VILLAGE AT ITS MEETING HELD ON 19 OF THE REQUIRED COMP OR OTHER GUARANTEE HAS BEEN TO SEE TO THE REQUIRED BY REGULATIONS OF SAID VILLAGE.

WITHEST WHEREOUR F HAVE HERETO SET MY HAND AND SETE OF THE VIL AGE OF BUAR RIDGE,

COUNTY DEPARTMENT OF PUBLIC WORKS CERTIFICATE

STATE OF THE THE TOTAL SUPERINTENDENT FOR THE COUNTY COUNTY OF PATHENT OF PUBLIC WORKS OF HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND PECIFICATIONS FOR THE IMPROVEMENTS THEREOF, HEEF THE REQUIREMENTS OF THE PUBLIC WORKS OF PATHMENT OF COUNTY

TEN A DIVINE DAY OF NOISE 22 1987.

"FASEMENT PROYISIONS"

A NOW-EXCLUSIVE PERPATUAL EASEMENT IS HERFEY RESERVED AND GRANTED TO THE VILLAGE OF BURR

BUPR RIDGE. INCLUDING BUT NOT LIGHTED TO, COMMONWEALTH EDISGN. ILLINOIS BELL TELEPHONE

AND AUTHORITY TO CONSTRUCT, RECOMSTRUCT, REPAIL. INSPLCT, MAINTAIN AND OPERATE JARIOUS

RIDGE AND TO THOSE PUCLIC STILITY COMPANIES OF EXATING UNDER FRANCHISE FROM THE VILLAGE OF

COMPANY, NORTHERN ILLINOIS GAS CUMPANY, DUPLIE DELARTMENT OF PUBLIC WORKS, CABLE TELEVISION

COMPANIES, AND THEIR SUCCESSORS AND ASSIGNS OVER LCT 64 FOR THE PERPETUAL RIGHT, PRIVILEGE

UTICITY TRANSMISSION AND DISTRICUTION SYSTEMS, INCLUDING, BUT NOT LIMITED TO, WATER LINES

CONNECTIONS, APPLIANCES AND DIVER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED MESESSARY

ACCINS ACROSS THE SUBULVISION. FOR NECESLARY HEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

STRUCTURES OR OTHER IMPACVEMENTS ON THE EASEMENT THAT INTERFERE WITH THE CAERATION OF THE

MAY BE USED FOR GARDENS, SKRUBY, LANDSCAPING, DETENTION AND OTHER PURPOSES THAT DO NOT THEN

WATER LINES, SEWERS OR OTHER WILLITIES. AD BUILDING SHALL BE PLACED ON LOT 64, BUT SAME

OR LAYER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE ANY AREA WITHIN THE EASEMENT

I' USI'D BOTH FOR WATER AND/OR SEWER AND OTHER UTILITIES. THE OTHER UTILITY INSTALLATION

SHALL LE SUBJECT TO THE APPROVAL OF THE VILLAGE AS TO DESIGN AND LOCATION. ALL INSTALL

A PERPENDAL EASEMENT IS MIRTIER HEREBY RESERVED AND GRANTED TO THE VILLAGE OF BURR RIDGE,

PURPOSIS AND MAINTERANCE, AND EMET'ENCY AND ROUTINE POLICE, FIRE AND OTHER PUBLIC SAFETY-

KLIAIED SERVICES; PROVIDED, HOWEVER, THE VILLAGE SHALL HAVE NO DUTIES WITH RESPECT TO ANY

STORM SEWERS WHICH ARE TO BE CONSTRUCTED IN THE SUDDIVISION AND WHICH SHALL BE MAINTAINED

THE LREAS DEPICTED AS PRIVATE STREETS ON THIS PLAT OF SUBDIVISION ARE APPROXIMATEL LOCATED.

WHICH AGRECMENT WILL BE RECORDED AFTER THE PECONDING OF THIS PLAT. THE VILLAGE HAS NO DUTY

PROPERTY WITHIN THIS SUBDIVISION. A PERPETUAL CASEMENT FOR THE CENEFIT OF THE LOT OWNERS

AND FOR THE OWNERS OF EXCLUSED PARCELS 2 AND 5 FOR INGRESS AND EGRESS ACROSS LOT 64 IS

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TO MAINTAIN THE PRIVATE STREETS AND SUCH MAINTENANCE IS TO BE PEPFORMED BY THE OWNERS OF THE

THE PRIVATE STREETS ARE TO BE TASTALLED BY OWNER IN ACCORDANCE WITH THE IMPROVEMENT COMPLETION

AGREEMENT BETHEEN THE OWNER AND THE VILLAGE OF BURR RIGGE, COOK AND DO PAGE COUNTIES, ILLINOIS

OTHER GOVERNMENTAL AUTHORITIES HAVE JURISDICTION OF THE LAND SUBDIVICED THEREBY, AND THE

CAR CREEK CLUB TOWNHOME ASSOCIATION MEMBERS OVER THE ENTIRE LAT 64 FOR INGRESS, EGRESS,

AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING, BUT NOT

LIMITED TO. WATER, STORM AND SANIJARY SERVICE AND MAINTENANCE, CRAINAGE AND DETENTION

PRIVATE STREETS, DRAINAGE AND DETENTION IMPROVEMENTS, LANDSCAPING, SANITARY SEWERS AND

BY AN OWNERS ASSOCIATION AUD/OR THE OWNERS OF LOTS IN THE SUBDIVISION AND, AS TO THE

it said village, over, upga, algag, under and through said lor 64 logether with right of

THE RIGHT IS ALSO GRANTED TO CUT COWN, TRIM OR REMOVE, WITHOUT OBLIGATION TO RESTORE OF

REPLACE, ANY RESTRUCTION, INCLUDING BUT LOT LIMITED TO, TREE, SHRUDS, CTHER PLANTS,

ATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF BURR RIDGE.

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HEREBY GRANTED.

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AND STORM AND/OR SANITARY SERERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS,

SUPERINIENDEN Parling

COUNTY CLERK CERTIFICATE

COUNTY OF BUPAGE) SS

COUNTY OF BUPAGE

COUNTY OF BUPAGE

COUNTY OF BUPAGE COUNTY, ILLINOIS, DO

COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO

COUNTY OF BUPAGE COUNTY OF BUPAGE COUNTY, ILLINOIS, DO

COUNTY OF BUPAGE CO

COVITY CLERK

AND TITLE THEKEON INDICATED:

OWNER'S CERTIFICATE

SIATE OF HILINOIS) SS

THIS IS TO CERTIFY THAT THE FIRST ILLINOIS BANK OF LA GRANGE, FORMERLY KNOWN AS LA GRANGE BANK AND TRUST COMPANY, AS TRUSTLE UNDER TRUST AGREEMENT DATED AUGUST 7, 1986 AS TRUST NO. 8445, IS THE SOLE OWNER OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HAS CAUSED THE SAME TO BE SURFEYED AND SUBDIVIDED, AS SHOWN ON THIS PLAT OF SUBDIVISION, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES MEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE

MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, THENCE NOO"-21'-28"E ALONG THE MOST EASTERLY LIME

OF SAID DEVON RIDGE TOGETHER WITH THE MORTHERLY PROLONGATION OF SAID MOST EASTERLY LINE

O, DEVON RIUGE A DISTANCE OF 1326.00 TO SAID EAST-WEST CENTERLINE OF SECTION 1; THENCE

1.90 OO'LOO'L ALONG THE LAST DESCRIBED LINE TO SAID POINT OF BEGINNING, EXCEPTING

THE FERROM THE FOLLOWING FIVE PESCRIBED PARCELS OF LAND:

PAPER 1: THE NORTH 555.00 FEET OF THE WEST 367.00 FEET THEREOF, ALSO;

PARCEL 2: THE MORTH 225.00 FEET OF THE SOUTH 400.07 FEET OF THE EAST 165.00 OF THE NORTH-EAST QUARTER OF THE COUTHWEST QUARTER OF SAID SECTION 1, AUSO:

PARCEL 3. THAT PART OF SAID SECTION 1 DESCR'BED AS FOLLOWS.

COMMERCING AT SAID CENTER OF SECTION; THENCE N90°-10' OC'T ALONG SAID EAST-WEST CENTERLINE A DISTANCE OF 345.84 FEET; THENCE SGO°-25'-18"M ALONG A LIME PARALLEL WITH SAID NORTH-SOUTH CENTERLINE A DISTANCE OF 1,117.05 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOO°-25'-18" ALONG SAID LAST DESCRIBED PARALLEL LINE A DISTANCE OF 288.95 FEET TO SAID POINT 1245.00 FEET NOR'H OF THE SOUTH LINE OF SECTION 1; THENCE S89°-35'-18"M TO A POINT 122.20 FEET EAST OF SAID NORTH-SOUTH CENTERLINE; THENCE NOO°-25'-18'E ALONG A LINE PARALLEL WITH SAID NORTH-SOUTH

CENTERLINE A DISTANCE OF 80.90 FEET TO SAID NOPTHALINE OF THE SCUTHWEST QUARTER

OF THE SOUTHEAST QUARTER; THENCE WESTERLY TO SAID NORTH-SCUTH CENTERLINE; THENCE

NOOY -2: " ""E ALONG THE LAST CESCR" BED LINE A DISTANCE OF 112.74 FEET; THENCE

TO A POINT OF THE EAST LINE OF SAID TRACT WHICH IS 361.85 FEET NORTH OF THE

BOILBY FLET NORTH OF HE SOUTHEAST CORNER THUREOF AND LYING HORTH OF THE SOUTH

NATO-20 _ A DISTANCE OF 110.54 FELT; THENCE N85°-17'-42"E A DISTANCE OF 266.14 F'ET TO SAID POINT OF BEHINNING, ALSO,

HARCEL 4: THAT PART OF THE WES' 200.00 FEET OF THE EAST 365.00 FFET OF THE SOUTH 400.00 FEET OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER LYING SOUTH OF A LINE DRAWN FROM A POINT ON THE WEST LINE OF SAID TRACT WHICH IS 293.75 FEET NORTH OF THE SOUTHWEST CORNER THERLOF, PERPENDICULAR TO SAID WEST LINE, TO A POINT ON THE WEST LINE OF SAID TRACT WHICH IS 243.75 FEET NORTH OF "AID SOUTHWEST CORNER THERLOF"

PARCLE 5: THAT PART OF SAID WEST 200.00 FEET OF THE EAST 365.00 FEFT OF THE SOUTH 400.00 FEET OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER LYING SOUTH OF A LINE DRAWN FROM A POINT ON THE WEST LINE OF SAID TRACT WHICH IS 243.75 FEET NORTH OF THE SOUTHWEST CORNER ***SREOF TO A POINT ON THE EAST LINE OF SAID TRACT WHICH IS

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE. THE LANDS SHOWN ON THIS PLAT, INCLUDING BUT NOT LIMITED TO, THROUGHFAPES, STREETS, ALLEYS, WALKWAYS AND PUBLIC SERVICES; GRANTS TO THE TELEPHONE, GAS, ELECTRIC AND ANY OTHER PUBLIC OR PRIVATE UTILITY EASEMENTS AS STATED AND SHOWN ON THIS PLAT. AND GRANTS AND DECLARES THE STURN WATER DEALNAGE AND DETENTION RESTRICTIONS AND EASEMENTS AS STATED AND SHOWN ON THIS PLAT.

THE UNDERSIGNED FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED INSTALLMENTS OF OUTSTANDING UNFAID SPECIAL ASSESSMENTS AFFECTING THE LAND DESCRIBED AND SHOWN ON THIS SUB-

DIVISION PLAYOR. IF ANY OF SAID INSTALLMENTS ARE NOT PAID, THEN SUCH INSTALLMENTS HAVE

THE SPECIAL ASSESSMENT AND THE PROPER COLLECTOR OF ANY SUCH SPECIAL ASSESSMENT HAS SO

BEEN DIVIDED IN ACCORDANCE WITH THE SUBDIVISION AND APPROVED BY THE COURT WHICH CONFIRMED

THE FIRST ILLINOIS BANK OF LA BRANGE, AS FRUSTEE

DITEC THIS BOTH DAY OF NOUCHASTA. 1. D., 19 87

CERTIFIED SUCH DIVISION ON THE FACE OF THE SUBDIVISION FLAT.

ATTEST: NOTE OF THE PROPERTY

(OUNTY OF SECOND) SS

ADDRESS:

AFORESATE, DO HEREBY CERTIFY THAT ROTAL 2010 AND SOSTEM OF LOCALLY OF THE PELTIVELY, THE LAND TRUST SERVED KNOWN TO ME TO BE THE SAME FERSONS WHOLL NAMES ARE SUBSCRIBLE TO THIS SUPPLYISION PLAT AS OWNERS, AS SUCH LAND TRUST SERVED AND PROSEST OF AND PROSEST OF SUBSCRIBLE TO THIS SUPPLYISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT, AND IS THE FREE AND VOLUNTARY ACT, AND IS THE FREE AND VOLUNTARY ACT, AND IS THE FREE AND VOLUNTARY ACT,

GIVEN UNDER MY HAND AND NOTARIAL SEAL PHY. 2070 DAY OF NOTARIAL. 19 87.

Christian - Roge & Ribando

LOT CT 'S ALSO HEREBY GRANTED AT A DRAINAGE EASEMENT

STATE OF HELIVOIS) SS

FOLLOWING DESCRIBED PARCEL OF LAND: 'LL THAT PART OF SECTION 1, TOWNSHIP 37 MORTH, RANGE 13 CAST OF THE CHIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: PERINNING AT THE CENTER OF SAID SECTION 1; THENCE NOO"-00"- ALONG THE EAST-WEST CENTURLINE OF SAID SECTION A DISTINCE OF 345.84 FEET; THENCE SOO"-25"-18"W ALONG & LINE PARALLEL WITH THE NORTH-SOUTH CENTERLINE OF SAID SECTION A DISTANCE OF 1496.00 FEET 10 A POINT 1245.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION; THEMOF S89"-35"-18" Y TO A POINT 122,20 FEET EAST OF SAID NORTH-SOUTH CENTERLINE; THENCE NOOT-25'-18'E ALONG A LINE PARALLE, WITH SALD NORTH-SOUTH CENTERLINE A DISTANCE OF 80 90 FEET TO THE MORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 1; THENCE WESTERLY ALONG THE LAST DESCRIBED LINE TOGETHER WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION I TO THE SOUTHELST CORNER OF DEVON RIDGE, A SURDIVISION OF LOT 10 LIXCEPT THE MORTH 535.00 FEET OF THE EAST 142.00 FEET THEREOF ALL OF LOTS 17, 12, AND 13 IN THE ASSESSMENT DIVISION OF THE SOUTH HALF OF SECTIONS 1 AND 2 AND ALL OF SCCIIONS II AND 12 LYING NORTH OF THE SANITARY DISTRICT OF CHICAGO, SAID LOTS BEING IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 37 RORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS; THENCE NOO"-21'-28"E ALONG THE MOST EASTERLY LINE OF SAID DEVON RIDGE TOGETHER WITH THE NORTHERLY PROLONGATION OF SAID MOST EASTERLY LINF OF DEVOK RICTS A DISTANCE OF 1326.00 TO SAID EAST-WEST CENTERLIKE OF SECTION 1; THEMCE

LE CIRISTIAN-ROCE & RIBANDO, DO MEREBY CERTITY THAT WE PARE PARE PARE SURVEYED AND SUBDIVIDED THE

PARCEL 1: THE NORTH 585.00 FEFT OF THE WEST 367.00 FEET THEREOF, LSO;

PARCEL 2: THE HORTH 225.00 FEET OF THE SOUTH 400.00 FEET OF THE EAST 107.00 THE NORTH-EAST QUAPTER OF THE SOUTHWEST QUARTER OF SAID SECTION 1, ALSO;

NOO"-OO' -OO"E ALONG THE LAST DESCRIBED LINE TO SAID POINT OF BEGINNING, EXCEPTING

COMMENCING AT SAID SECTION 1 DESCRIBED AS FOLLOWS:

COMMENCING AT SAID CENTER OF SECTION; THENCE NOO-00'-00" ALONG SAID EAST-HEST CENTERLING A DISTANCE OF 345.84 FEET; THENCE SOO-25'-18"W ALONG A LIME PARALLEL WITH SAID NORTH-SOUTH CENTERLINE A DISTANCE OF 1,117.05 FEET TO THE POI'' OF BECTINNING, THENCE CONTINUING SOO-25'-13" ALONG SAID LAST DESCRIBED PARALLEL LIRE A DISTANCE OF 288.95 FEET TO SAID POINT 1243.00 FEET FURTH OF THE STUTH LINE OF SECTION 1; THENCE S89-35'-18"W TG A POINT 122.20 FEET EAST OF SAID NORTH-SOUTH CENTERLINE; THENCE NOO-25'-18"E ALONG A LINE PARALLEL TITH SAID NORTH-SOUTH CENTERLINE A DISTANCE OF 80.90 FEET TO SAID NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE WESTERLY TO SAID NORTH-SOUTH CENTERLINE; THENCE NOO-25'-17"E ALONG THE LAST DESCRIBED LINE A DISTANCE OF 112.98 FEET; THENCE NOO-25'-57"E A DISTANCE OF 110.54 FEET; THENCE M85'-17'-42"E A DISTANCE OF 266.14 FEET TO SAID POINT OF BEGINNING, ALSO;

FAMORE 4 FIAT PART OF THE WEST 200.00 FEET OF THE EAST 265.00 FEET OF THE SOUTH 400.00 FEET OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER FYING SOUTH OF A LINE DRAWN TROM A POINT ON THE WEST LINE OF SAID TRACT WHICH AS 293.75 FEET NORTH OF THE SOUTHWEST CORNER THEREOF, PERPENDICULAR TO SAID WEST LINE, TO A FOINT ON THE WEST LINE OF SAID TRACT AND LYING NORTH OF A LINE DRAWN FROM A FOINT ON THE WEST LINE OF SAID TRACT WHICH IS 361.85 FEET NORTH OF THE SOUTHWEST CORNER THEREOF TO A POINT ON THE EAST LINE OF SAID TRACT WHICH IS 361.85 FEET NORTH OF THE SOUTHWEST CORNER THEREOF. ALSO:

PARCE: 5. THAN PART CO SAID WEST 200.00 FEFT OF THE EAST 365.00 FEET OF THE SUITH #00.00 FEET OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER LYING SCUTH OF A LINE CHANN FROM A POINT ON THE WEST LINE OF SAID TRACT WHICH IS 243.75 FEET NORTH OF THE SOUTHWEST CURNEP THEREOF TO A POINT ON THE EAST LINE OF SAID TRACT WHICH IS 3ml.25 FEET NORTH OF THE SOUTHFAST CORNER THEREOF AND LYING NORTH OF THE LIUTH 33.00 FEET THEREOF.

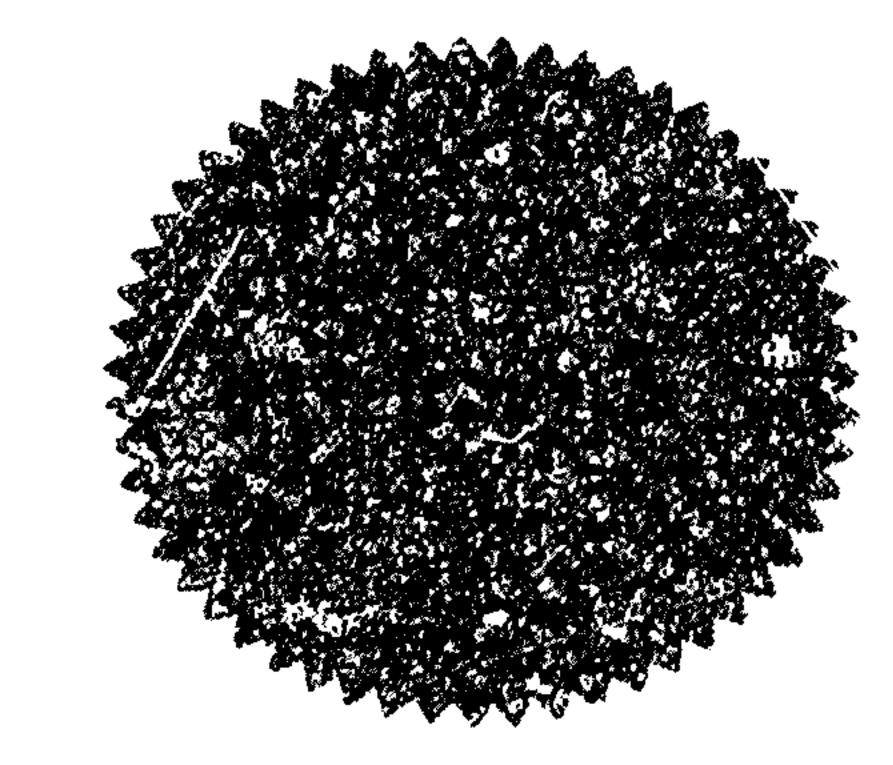
A, CHOKH ON THIS SUBGIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND TOBLIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. I FURTHER CERTLY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, RELATIVE TO PLATS AND SUBBIVISIONS HAVE BEEN COMPLIED WITH. IN THE PREPARATION OF THIS PLAT.

I FURTHER CEPTIFY THAT NO PART OF THE PROPERTY COVERED BY THIS PLAT OF SUBDIVISION IS LOCALLO WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT ACTION AND THAT NO PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY PUBLIC WATERS IN WHICH THE STATE OF HILINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY INTERESTS.

I FORTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF APTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR WEREAFTER AMENDED.

SIVEN UNDER MY HAND AND SEAL AT WOODRIDGE, ILLINOIS, THIS 1214. DAY OF

TETTINITY RICISIER. NIND SURVEYOR HOT 15-2176



DATE OF PREPARATION: 10/24/86



VILLAGE OF BURR RIDGE MEMORANDUM

TO: Village of Burr Ridge Plan Commission

Greg Trzupek, Chairman

FROM: Janine Farrell, AICP

Community Development Director

DATE: February 6, 2023

RE: PC-02-2023; Annual Zoning Review

Listed below are summaries of all actions considered by the Plan Commission in 2022. Staff is presenting this information for the annual Zoning Ordinance review. The annual zoning review is an opportunity to identify areas where the Zoning Ordinance may need to be updated to remain consistent with the Village's Comprehensive Plan, to keep up with property trends, to resolve conflicts, or address unintended consequences of zoning regulations.

	Zoning Cases (ZC)						
Petition	Address	Type	Use	Result	Plan	Board	
Z-03-2022	15W776 North	Spec.	Truck and	App	4-1	App	
	Frontage Road	Uses (2)	equipment sales,		App		
			rental, and service				
			use and outdoor,		3-2		
			overnight storage of		N/R		
			retail vehicles				
Specia	al uses to continue the	operation of	M&T Truck Sales on a	a permane	nt basis.		
		_					
Z-04-2022	308-312 Burr	Spec. Use	Restaurant with	App	App	App	
	Ridge Parkway	Amend.,	alcoholic beverages				
		Spec. Use	_				
Expansio	n of Are We Live, a r	estaurant ove	r 4,000 square feet witl	n the sale	of alcoho	olic	
		beve	rages.				
			-				
Z-05-2022	100, 130, 800 and	Rezoning	L-I to B-2	App	App	App	
	900 Burr Ridge						
	Parkway						
Rezone t	he properties from the	L-I Light In	dustrial District to the I	3-2 Gener	al Busin	ess	
		Dis	trict.				

Z-06-2022	745 McClintock Drive	Rezoning	L-1 to O-2	App	App	App		
Rezone the p	property from the L-I	Light Industr	rial District to the O-2 (Office and	Hotel D	istrict.		
Z-07-2022	835 McClintock Drive	Rezoning	L-I to O-2	App	App	App		
Rezone the p	property from the L-I	Light Industr	rial District to the O-2 (Office and	Hotel D	istrict.		
Z-08-2022	N/A	Text Amend.	Live entertainment	App	App	App		
Text amendn			and permit "live enter Business Districts."	tainment"	as acces	sory to		
		T			T			
Z-09-2022	N/A	Text Amend.	Restaurant hours of operation	App	App	App		
Text amen	dments to amend hou	rs of operation	on for restaurant uses in	the Busin	ess Dist	ricts.		
Z-10-2022	9115 Kingery Highway	Spec. Uses (3), PUD Amend., Variations (5), cond.	Ten requests for the development of a gas station	App	App	App		
		sign app						
		ration, and ou	a gasoline station with outside display. Variation to lighting.					
Z-11-2022	N/A	Text Amend.	Attached garage	App	App	App		
	Text amendments	to create a de	efinition for an attached	l garage.	•			
Z-13-2022/ S-01-2022	N/A	Text Amend.	Right-of-Way signs	App	App	App		
Text amendments to the Sign Ordinance to clarify regulations pertaining to right-of-way signs.								
Z-15-2022	7950 Drew	Spec.	Increase attached	W/D	App	W/D		
	Avenue	Use, PUD Amend.	garage size					
A major change and amendment to the Cottages of Drew PUD to increase the garage area for the proposed homes.								
Z-16-2022	6860 North Frontage Rd.	Spec. Uses (2)	Child care center and fence	App	App	App		
Requests by	Requests by Action Behavior Centers, a child care center, and for a fence in a non-residential district.							

Z-17-2022	Vacant/901 McClintock Dr.	Rezoning, Spec. Use, Variation,	Village Center Townhomes	W/D	W/D	W/D	
	D . 1 . 1	PUD	1 200 1 1				
	Requests related	to a 30-unit	townhome PUD develo	pment.			
Z-18-2022	6880 North Frontage Rd	Spec. Use	Child care center	App	App	App	
Request by		e, LLC to tak	e over the Grand Aven	ue Presch	ool & D	aycare	
			al use.			_	
		Г		Г		ı	
Z-19-2022	595 Village Center Drive	Spec. Use	Outdoor dining	App	App	App	
	Special use for ou	tdoor dining	at a permitted restaurar	nt, Yolk.			
Z-20-2022	11731 87th Street	Rezoning	R-1 to R-3	W/D	Deny	W/D	
2 20 2022			he site for a 20-lot subo		Beny	1172	
	1	•					
Z-21-2022	510 Village Center Dr.	Amend PUD &	Outdoor dining	App	App	App	
D	1 '.' '1	Spec. Use	•	• ,•		•	
Request to a			a new awning over an & Restaurant.	existing p	oatio at C	oopers	
Z-22-2022	7600 7620 County	Cnoo Haa	Doubing lot	In-	6-0	In-	
Z-22-2022	7600-7630 County Line Rd.	Spec. Use Amend.,	Parking lot expansion	prog.	App	prog.	
		Variation			3-2 N/R		
Shirley Ry	yan AbilityLab reques	t to reconfigu	are the existing parking	lot and a		onal	
			ces.				
Z-24-2022	311 Shore Dr.	Spec. Uses (3)	Automobile service, outdoor storage, fence	App	App	App	
	Requests related to operating a Tesla auto repair center.						
Z-25-2022/ V-04-2022	11731 87th Street	Rezoning, Spec. Use, Variation, PUD,	The Enclave of Highland Fields	W/D	Deny	W/D	
		Prelim.					

		Plan					
		approval					
	Requests related to a 20-lot single-family residential subdivision.						
Z-26-2022	525 Village Center	Spec. Use	Personal wireless	In-			
	Drive	-	facility	prog.			
Co-location of a cellular site at an existing rooftop, including installation of an antennae and							
	support equipment.						

Variations (V)										
Petition	Address	Type	Use	Result	Plan	Board				
V-02-2022	8311 Fars Cove	Var.	Location	App	App	App				
Permitting a detached accessory building (garage) within the side buildable area.										
V-03-2022	10S675 Glenn Dr.	Var.	Location and	Deny	Deny	Deny				
			setback 30 ft. to 5 ft.							
Permitting a detached accessory building (garage) within the corner side yard area and within										
the corner side yard setback, from 30 ft. to 5 ft.										

Plan Commission misc. (PC)											
Petition	Address	Type	Use	Result	Plan	Board					
PC-02-2022	10S381 Madison	1.5-mile	Subdivision	Comments sent		N/A					
	St.										
DuPage County rezoning request from R-1 Single Family to R-3 Single Family and a proposed											
three-lot subdivision.											
PC-03-2022	16W135	1.5-mile	Rezoning, PUD,	Comments sent		N/A					
	Honeysuckle Rose		Variations								
New Wave Car Wash conditional use (special use) approval for a Planned Unit Development											
for remodeling and additions to an existing car wash with three exceptions (variations) for											
setbacks.											
PC-04-2022	6101 County Line	Minor	Realign road	App	App	App					
	Road	Change									
		PUD									
King-Bruwaert House request to modify the alignment of a section of Dragonfly Drive.											

Throughout 2022, the Board of Trustees and Plan Commission requested several items be brought forward again at the 2023 annual zoning review for further consideration and direction. Staff has also identified several matters requiring additional Plan Commission consideration.

Short-Term Rentals

At the August 5, 2019 meeting, the Plan Commission considered a text amendment to the Zoning Ordinance related to short-term home rentals (Z-10-2019). At that time, the Plan Commission opted to explore the topic at a later date. At the November 22, 2021 Village Board meeting, the Board directed the Plan Commission to hold a public hearing to consider amendments to the Zoning Ordinance regulating short-term residential rentals.

Under current Zoning Ordinance regulations, the use of single-family residential homes as short-term rentals does not qualify as a "home occupation" and the "short-term home rental" use is not specifically defined. It is not uncommon for a property owner to rent their home to a tenant for a one-year term, although this use of the property is not legally distinct from a one-night rental under the current language of the Zoning Ordinance. Staff believes that additional clarification as to the definition of "short-term home rental" will be beneficial to both staff and property owners, who would then have a clear and common understanding as to if and when such a use is permitted or prohibited, as well as if any additional zoning regulations are necessary to mitigate the impact of these uses if they are desired.

Outdoor Dining

At the May 23, 2022 meeting, the Board directed the Plan Commission to review and update the regulations for outdoor dining. Many restaurants have special uses for outdoor dining with conditions that may vary slightly from location to location. There is consensus amongst the Plan Commission and Board to ensure that the regulations are clear and apply to all locations. This item is on the February 6, 2023 agenda to begin discussions.

Mobile Storage Units

There are currently no regulations regarding the temporary use of mobile storage units or PODs on properties. This has posed an enforcement issue where these structures are placed for long durations on residential driveways.

Public Hearing Notices

The Commission has discussed potentially expanding the notices sent for zoning action. Currently for variations, special uses, PUDs, and rezonings, mailed notice is provided to neighboring residents within a 700 ft. or 800 ft. radius of the site. There is a newspaper publication at least 15-days before the hearing and a sign or signs are placed on the property. For text amendments, since it is not site specific, only a newspaper notice is required and provided in accordance with state statute.

Notice about all upcoming zoning action is typically posted a month in advance on the website or when received by the petitioners. The official agenda packet is posted on the website the Wednesday or Thursday prior to the meeting.

Applications

The Commission may wish to review the application for zoning action and update so that all members of the project team are identified (owner, contract purchaser, architect, engineer, etc.). The Commission may also wish to create a disclosure form so the petitioner can disclosure if they solicited any support for their proposal.

Trucking Company Offices

In certain zoning districts, offices are a permitted use. This poses a challenge with trucking or logistics company uses whose employees are driving and parking commercial vehicles in office districts. These vehicles have posed an enforcement challenge for the Police Department. The Commission may evaluate these specific types of office uses and determine a special use should be required.

Fence Requirements for Pools

Under the Building Code, a fence is required for swimming pools, but this requirement is absent within the Zoning Ordinance. The Commission may wish to amend the Zoning Ordinance to include this requirement.