



**REGULAR MEETING
PLAN COMMISSION/ZONING BOARD OF APPEALS
NOVEMBER 21, 2022 - 7:00PM
VILLAGE HALL - BOARD ROOM**

The Plan Commission/Zoning Board of Appeals hears requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use. All Plan Commission actions are advisory and are submitted to the Board of Trustees for final action.

I. ROLL CALL

II. APPROVAL OF SEPTEMBER 19, 2022 MEETING MINUTES

III. PUBLIC HEARINGS

- A. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact [CONTINUED FROM AUGUST 15, SEPTEMBER 19, AND OCTOBER 17, 2022]**

CONTINUED UNTIL DECEMBER 5, 2022 - This case was on the October 17, 2022 meeting agenda with a request by the petitioner to continue it until December 5, 2022. This agenda item serves as a reminder that the case will be next heard on December 5, 2022.

- B. Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC); Special Uses and Findings of Fact**

Request for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J. The petitioner intends to operate a Tesla Motors, Inc. auto repair center at the site.

IV. CORRESPONDENCE

- A. Board Reports**

September 26, 2022

October 10, 2022 meeting was cancelled

October 24, 2022

November 14, 2022

- B. Building Reports**

September 2022

October 2022

V. OTHER CONSIDERATIONS

A. PC-06-2022 Setting 2023 Plan Commission Meeting Dates

VI. PUBLIC COMMENT

VII. FUTURE MEETINGS

November 28 Board of Trustees – CANCELLED

December 5 Plan Commission

A. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact [CONTINUED FROM AUGUST 15, SEPTEMBER 19, AND OCTOBER 17, 2022]

Request to amend Ordinance #A-834-02-17 for a special use for final plat approval and a medical office in the T-1 Transitional District and a variation from Zoning Ordinance section XI.C.8 to permit parking in the front yard. The petitioner is requesting to reconfigure the existing parking lot and add additional spaces.

B. Z-25-2022/V-04-2022: 11731 87th Street (McNaughton); Rezoning, Special Use, Variation or Text Amendment, Planned Unit Development (PUD), Preliminary Plan approval of a PUD, and Findings of Fact

Requests to rezone the property as per section VI.E of the Zoning Ordinance from the R-1 Single-Family Residence District to the R-2B Single-Family Residence District; variations for a Planned Unit Development (PUD) on a parcel measuring 15 acres with 585.5 ft. of lot width instead of the 40 acres and 800 ft. of lot width required as per section VI.E.3.b of the Zoning Ordinance or a text amendment to section VI.E.3.b of the Zoning Ordinance to permit a PUD on parcels of land measuring 15 acres in lot area and 500 ft. of lot width; a special use for a PUD as per section VI.E.2 of the Zoning Ordinance; and Preliminary Plan approval of the PUD as per section XIII.L.2.c. The petitioner seeks to develop the site for a 20-lot single-family residential subdivision.

C. Z-26-2022: 525 Village Center Drive (AT&T); Special Use, PUD Amendment, and Findings of Fact

Request for a special use for a personal wireless facility as per section VIII.C.2 of the Zoning Ordinance and to amend Ordinance A-834-10-05 to permit alterations to the structure related to the wireless facility. The petitioner seeks to co-locate a cellular site at an existing rooftop, including installation of an antennae and support equipment.

December 12 Village Board

Commissioner Broline is the scheduled representative.

December 19 Plan Commission

There are no cases scheduled. The deadline for scheduling is November 28.

VIII. ADJOURNMENT

VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS
MINUTES FOR REGULAR MEETING OF SEPTEMBER 19, 2022

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall Board Room, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 6 – Irwin, McCollian, Petrich, Broline, Morton, and Trzupek

ABSENT: 1– Stratis

Commissioner Parella arrived at 7:03 p.m.

Community Development Director Janine Farrell was also present.

II. APPROVAL OF PRIOR MEETING MINUTES – AUGUST 15, 2022

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Petrich to approve the minutes of the August 15, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 5 – McCollian, Petrich, Broline, Morton, and Trzupek

NAYS: 0 – None

ABSTAIN: 1– Irwin

MOTION CARRIED by a vote of 5-0 with one abstention.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

A. Z-22-2022: 7600-7630 County Line Rd. (MedProperties LLC); Variation, Special Use Amendment, and Findings of Fact

Chairman Trzupek introduced the case and asked for a summary of the petition. Director Farrell stated that this case was continued from the August meeting and is a request to amend Ordinance #A-834-02-17 for a special use for final plat approval. The petitioner is requesting

to reconfigure the existing parking lot and add additional spaces. The proposal and site plan have not changed since the August meeting. Director Farrell displayed the plan on the screen and noted the proposed changes. At the August meeting, lighting, fence, the van program, trash pick-up, and stormwater were brought up and discussed. The petitioner provided an updated addendum providing responses to these items. Regarding the lighting, the petitioner has worked with the cleaning crew to change the route inside the building. The cleaning crew had been turning on all the lights in the building and working from one end of the building ending at the west end. They will now be starting at the west end and turning the lights off as they go. For the trash, SRA has worked with the company to ensure that pick up does not occur earlier than 7:00 am on Wednesdays and Thursdays for trash and recycling. It was brought up that the fence may be inadequate for blocking the headlights on the property. After consultation with the Village attorney, the fence must be altered through a separate request. The petitioner provided information about the cost to replace the fence. Regarding the stormwater concerns, the petitioner provided a revised stormwater plan which shows no impact to neighbors. The Village Engineer provided a memo with his review, distributed to the Commissioners.

Chairman Trzupek asked how the agreements about trash pick-up and the cleaning crew would be memorialized. Director Farrell stated that a condition can be added requiring the petitioner to abide by the addendum provided.

Chairman Trzupek asked if the petitioner was present and if they had anything to add.

Caitlyn Culbertson responded that they wish to be good neighbors and contact information will be provided to residents if there are any problems that persist or come up in the future.

Chairman asked if there were any public comments.

Mark Thoma, 7515 Drew, stated that the fence must be higher due to the facility's size and that it's too busy for a residential area. Mr. Thoma discussed the drain tile and dry well that are connected and stated that the high water limit will flow backwards on neighboring properties and flood yards. Mr. Thoma stated that the 12 acres which flows into the one 18" pipe will be restricted. Mr. Thoma stated that drainage has improved on his property but he is concerned that it will go backwards if the project is approved.

Chairman Trzupek believed the 18" pipe could not be changed originally because of limitations downstream. Mr. Thoma said that he doesn't recall the exact conversation.

Trudy Buehler, Mackey Consultants, stated that the drain tile comes down to the dry well and is a separate system from the onsite stormwater which flows to the detention basin. Ms. Buehler discussed infiltration and the need for soil samples to check hydrology and how the basin and dry well are connected. Ms. Buehler stated that there will be no modification to the outlet control structure so there will be no change in the volume of water coming out, only the duration.

Chairman Trzupek and Ms. Buehler discussed the dry well, detention basin, and the need to understand how it works and how the water flow will impact the system.

Caitlyn Culbertson stated that they do not want go backward or to negatively impact the neighbors.

Andy Paulius, 7523 Drew, asked about the cost of the fence and whether the petitioner wants to fix the lighting and fence.

Chairman Trzupek and Mr. Paulius discussed the separate approval that the fence would require.

Mike Trippiedi, landscape designer, spoke about the 400 linear feet of fence and its installation on the embankment of the swale. The fence cannot be retro fitted. It must be rebuilt to accommodate wind shear and load with the height addition. He said the fence would not fit on the upslope of the swale and would ultimately end up at the same elevation as it is currently.

Chairman Trzupek and Mr. Trippiedi discussed the location and retrofitting the fence.

Commissioner Irwin requested a report with the quote for the fence.

Jack Sullivan, MedProperties, stated that the price was for two different heights of fence, 8' and 10', and that it is not feasible to add on to existing fence.

Chairman Trzupek requested information on how much light goes over and how much fence is needed.

Mr. Sullivan discussed cleaning crew parking and vehicle lights. The cleaning crew is now asked to park on the north and south side of the building which will mitigate the light coming over the fence.

Ms. Culbertson provided photos of landscaping along the fence to help block lights. Ms. Culbertson stated that they followed all of the requirements when installation was done.

Mr. Sullivan noted the cleaning crew's route inside the building will change, starting on the west side, and turning off lights as they go.

Mr. Paulius stated that there are no trees that block light and showed a picture of the property lit up at night.

There was a discussion about the light source, landscaping, and it was noted that parking lot lights should be shielded.

Russ Allen, 7519 Drew, stated that he has light coming directly into his windows at night and has concerns about stormwater.

Alice Krampits, 7515 Drew, asked if only a portion of a higher fence be done.

Chairman Trzupek asked for Commissioner discussion.

Commissioner Morton stated that lights should be shielded and was concerned that the sock lining can clog draining of stormwater. Commissioner Morton asked how residents can voice concerns.

Ms. Culbertson stated that the front desk staff was advised that upper management should be alerted when a complaint comes in. SRA wants to make sure that there is a streamlined process for resident concerns.

Commissioner Morton requested that the hydrology between the dry well and detention be investigated and understood so there are assurances that drainage will not be negatively impacted.

Commissioner Broline confirmed with Ms. Buehler that soil boring test would be done to determine the connection between the dry well and basin. Commissioner Broline asked if a partial fence can be looked at.

Commissioner Petrich asked the petitioner to again confirm that the light pole near the northeast corner of the property is not being removed, since this removal is still indicated on the proposed site plan. The petitioner again confirmed no light poles are being completely eliminated, just relocated. Commissioner Petrich requested that all the drawings be updated to reflect the relocation and not removal. Commissioner Petrich asked about the use of the overflow parking at the Village Hall being increased from 10 to 30, and who will use this overflow parking. The petitioner indicated that staff currently uses this, and it will be used for overflow when construction occurs. Commissioner Petrich suggested that possibly caregivers and family who wait in a parking space during the outpatient visit use this overflow lot to open up on-site parking spaces for other unoccupied vehicles.

Commissioner Parrella requested exploratory tests for the drainage and is concerned about the aesthetics of the partial fence. Commissioner Parrella confirmed with the petitioner that mesh roller shades are on the windows.

Commissioner McCollan requested the petitioner review the dry well and the lighting.

Commissioner Irwin initially believed that this use was appropriate for the Transitional District and the approval was conditioned upon the neighboring property owners being satisfied. Commissioner Irwin requested that the issues mentioned be addressed and does not support the expanded parking into the front yard.

Chairman Trzupek understands the need for the additional parking at the front. Chairman Trzupek requested that the petitioner review how the dry well functions and that the Village Engineer reviews the information. Chairman Trzupek stated that fixing the interior lights should be easy to address but the fence and headlights along the property line are an issue. Chairman Trzupek requested that the petitioner come back with a solution and verify the exact height of the fence that is needed and where to block the lights.

Ms. Culbertson noted that amending the fence would require a new special use amendment.

Director Farrell, Commissioner Irwin, and Chairman Trzupek discussed the fence and the need for a separate petition to alter the fence by the petitioner.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to continue the public hearing for Z-22-2022 until October 17, 2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Morton, Petrich, McCollian, Parrella, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

B. PC-04-2022: 6101 County Line Road (King-Bruwaert House); Minor Change to a PUD and Findings of Fact

Chairman Trzupek asked to move this case to second on the agenda. Director Farrell stated that the petitioner is King-Bruwaert House and is requesting a minor change to the previously approved PUD for the renovation and addition. A section of Dragonfly Dr. is being proposed to be shifted five feet to the north. This request is to allow more green space and further distance from the townhome residents. Staff assessed the proposal and believed that it fit the definition of a minor change. The Plan Commission may determine that it qualifies as a major change however.

Chairman Trzupek asked if the petitioners were present and wished to speak. Cathleen Keating, attorney for the petitioner, stated that the change benefits two townhomes. One of the residents of the townhomes was new and not living in the townhome at the time of the petition and was unaware of the proposal.

Commissioner Irwin and Chairman Trzupek asked for clarification on the proposal. Ms. Keating explained that the ring road, Dragonfly Dr., was straightened due to the addition in 2020 and brought the road closer to the townhomes. The road will remain straightened but is moving further away from the townhomes. The moving will not impact the new addition due to the topography.

Commissioners McCollian and Parrella did not have comments.

Commissioner Petrich asked what sidewalk was being eliminated, as noted in the Findings of Fact item “c”, as this information may be pertinent to the Plan Commission if a change is minor or not. The petitioner was unsure but believed that there was no sidewalk eliminated and will confirm that as well as update the Findings of Fact once confirmed.

Commissioner Broline had no comments.

Commissioner Morton asked if there would be an impact to the new addition with moving Dragonfly Dr. five feet closer. The petitioner stated that due to the topography of the site, it goes higher in elevation from the road.

Chairman Trzupek confirmed with the petitioner that there was no change in retaining walls.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollan to recommend approval of PC-04-2022, a minor change to PUD Ordinance #A-834-07-20 to permit the realignment of a section of Dragonfly Drive.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollan, Morton, Parrella, Petrich, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

C. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Chairman Trzupek introduced the case and asked for a summary. Director Farrell noted that the case had been heard at multiple meetings and presented the draft definition for an attached garage based upon the comments at those meetings.

Chairman Trzupek asked for public comment.

Alice Krampits, 7515 Drew, asked for the definition of a party wall. Director Farrell read the definition, “an interior wall of adjoining buildings extending from its footing below grade to the underside of the roof, which divides and is in common use by such adjoining buildings.”

Chairman Trzupek asked for commissioner discussion.

Commissioner Morton had no comments.

Commissioner Broline confirmed that the area underneath the roof will count towards the garage square footage. Director Farrell noted that anything over 1,000 sq. ft. counts toward FAR.

Chairman Trzupek recommended removing “if fully enclosed or open on one or more sides” from the draft definition.

Commissioner Petrich originally preferred the definition of attached garage as per DuPage County, meaning detached as having open space on all sides. However, based on further

discussions, Commissioner Petrich agrees that the proposed text amendment is appropriate for Burr Ridge, with clarification that the “or” between “architectural character, or elevation” be revised to “and”.

Commissioners Parrella, McCollian, and Irwin did not have comments.

A **MOTION** was made by Commissioner McCollian and **SECONDED** by Commissioner Irwin to close the public hearing for Z-11-2022.

ROLL CALL VOTE was as follows:

AYES: 7 – McCollian, Irwin, Morton, Petrich, Parrella, Broline, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Broline to recommend approval of Z-11-2022, a text amendment to section XIV.B of the Zoning Ordinance to include the following definition of an attached garage, with Findings of Fact: *A garage connected to a principal building by a party wall or by a roof. If connected by a roof, the roof shall be of a similar pitch, architectural character, and elevation as the rest of the primary residence. The area underneath the roof shall count towards the total attached garage square footage.*

ROLL CALL VOTE was as follows:

AYES: 7 – Petrich, Broline, Morton, McCollian, Parrella, Irwin, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

D. Z-12-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Chairman Trzupek introduced the case and asked for a summary of the petition. Director Farrell noted that this case had been heard at multiple meetings and the draft language presented was the synthesis of those discussions. Director Farrell provided information from the last change from 2003 which was primarily to remove pick-up trucks as commercial vehicles, but the van provision was added at that time. The proposed change is just to ‘ii’ since that was the only change which had consensus. Director Farrell presented information for Willowbrook and LaGrange at the request of Chairman Trzupek. In Willowbrook, Class B license plate vehicles are restricted in residential areas. LaGrange classifies vehicles into different groups, with Class II vehicles not exceeding a certain size and B plate. Class II vehicles are required to be screened if on driveways. LaGrange’s regulations are similar to

Burr Ridge.

Chairman Trzupek asked for public comment.

Mark Thoma, 7515 Drew, stated that the van regulation is an over-reach and his van was never used as a commercial vehicle. Mr. Thoma researched criminal activities committed by vans and they did not reach the top ten. Mr. Thoma stated that the van is the appropriate vehicle for his hobbies.

Alice Krampits, 7515 Drew, stated that in 2003 vans appeared to be an issue in Skokie, not in Burr Ridge. Since it is not a problem in Burr Ridge, Ms. Krampits does not believe the regulation should be on the books. Ms. Krampits stated that the State of Illinois defines commercial vehicles and the Village should not supersede the State. Ms. Krampits suggested language for the regulations and that the Ordinance should focus on the use, not the type of vehicle.

Andy Paulius, 7523 Drew, asked what happens to existing vans if the regulations were changed. Chairman Trzupek clarified that the van provision is currently existing. Mr. Paulius believed that if that type of vehicle was for personal use, then it should be allowed.

Russ Allen, 7519 Drew, concurred with what Mr. Paulius stated.

Alice Krampits, 7515 Drew, discussed a painter's van in the area which had windows but had equipment which clearly made it commercial.

Chairman Trzupek asked for commissioner discussion.

Commissioner Irwin is in favor of the proposed change which had consensus.

Commissioner McCollian supported the proposed change but would have supported further changes as well.

Commissioner Parrella did not have comments.

Commissioner Petrich preferred to keep the word "equipment" in the provision and did not support snow plows being allowed for overnight parking. Commissioner Petrich prefers low profile storage boxes that are not diamond plate.

Commissioner Broline stated that snow plows are essential but should not be sitting in every driveway. Commissioner Broline questioned if small logos on vehicles should be given consideration. Commissioner Broline would like to provide individuals time to make arrangements for relocating commercial vehicles so as not to impact their businesses.

Commissioner Morton did not have issues with the proposed changes but continues to support allowing windowless vans. Commissioner Morton stated that the van language is vague. Commissioner Morton requested Director Farrell speak with the Police Department about

crime data statistics for vans and found that there was no data on that. Commissioner Morton will be a “no” vote.

Chairman Trzupek supports the proposed changes but is concerned about a personal use only snow plow since many people use them to plow other properties. Chairman Trzupek noted that it appears the windowless vans provision was added on at the end but believes it was intended for a cargo and panel van. Chairman Trzupek would support striking the van provision but understands there is not a consensus. Chairman Trzupek also did not understand the limitation on storing commercial vehicles inside garages.

Commissioner Petrich clarified that the current ordinance does not prohibit Burr Ridge residents from having snow plows, equipment, and panel type vans, but that overnight they are required to be in a garage and not parked outdoors. Commissioner Petrich does not believe residents would generally want such items to be parked next door to them. Commissioner Petrich is concerned about increasing the potential of a random panel van entering the village and legally parking overnight on a resident’s driveway, especially if a neighbor may not even be home at the time. Commissioner Petrich is open to permitting storage boxes and lockers if there was some limitation on size such as low profile and preferred not having commercial type aluminum diamond plate material.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to close the public hearing for Z-12-2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Morton, Petrich, Parrella, Broline, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to recommend approval of Z-12-2022, a text amendment to section IV.K.2.e.ii of the Zoning Ordinance to amend the definition of a commercial vehicle as follows, with Findings of Fact: *Any vehicle with attached auxiliary equipment or racks. Racks which are used for luggage or recreational equipment are not included in this definition. Snow plows for personal use are permitted during the winter season only.*

ROLL CALL VOTE was as follows:

AYES: 4 – Irwin, McCollian, Parrella, and Trzupek
NAYS: 3 – Petrich, Broline, and Morton

MOTION CARRIED by a vote of 4-3.

E. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Chairman Trzupek introduced the case and asked for a summary of the petition. Director Farrell noted that this case had been heard at multiple meetings and the proposed changes incorporate those previous discussions. Director Farrell read through the provisions which were changed, reinstated, and struck from the Sign Ordinance section.

Chairman Trzupek asked that the provision about owner permission be required to put a sign on someone's property as well as the right-of-way in front of their home.

Commissioners Morton and Broline did not have comments.

Commissioner Petrich questioned the removal of the balloons and attention getting devices provisions and confirmed with staff that the text amendment applies to directional signs such as open house or garage sales.

Commissioner Parrella did not have any comments.

Commissioner McCollan recommended revising the language for owner consent and reordering #10 and #11.

Chairman Trzupek noted that a sign cannot be within 10 feet of a curb which can limit placement in the right-of-way.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Irwin to close the public hearing for Z-13-2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Morton, Irwin, McCollan, Petrich, Parrella, Broline, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollan to recommend approval Z-13-2022/S-01-2022, a text amendment to section 55.09 of the Sign Ordinance to amend the provisions for right-of-way signs, with Findings of Fact.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollan, Petrich, Broline, Morton, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

IV. CORRESPONDENCE

Director Farrell noted that the Ordinance to approve Thorntons gas station and the Ordinance to deny the Rohan variations were approved at the September 12 Board meeting. Also at the meeting, staff was directed to prepare the Ordinance to approve the outdoor dining awning at Coopers Hawk. Director Farrell noted that the petition to rezone the property on 87th Street by McNaughton was withdrawn by the petitioner. The petitioner for the Cottages of Drew has reverted to the two-car plan instead of the three-car plan.

V. OTHER CONSIDERATIONS

A. PC-05-2022 Strategic Goals

Director Farrell stated that the Board will meet twice to review strategic goals and the Commissions and Committees were asked to review adding potential strategic goals to the list. Director Farrell listed the goals relevant to the Plan Commission: updating the Comprehensive Plan, reviewing Subdivision Ordinance regulations and fee structures, updating boundary agreements, adopting an annexation policy, and reviewing the feasibility for accessory dwelling units or ADUs. The Commission may wish to add items to the list.

The Commissioners discussed what is considered an ADU. The Commissioners discussed defunct or inactive HOAs and whether that topic should be addressed in the Subdivision Ordinance.

Director Farrell noted that the list is different than the annual zoning review which deals with smaller changes to the Ordinance.

The Commissioners had no additions to the list.

VI. PUBLIC COMMENT

There was no other public comment.

VII. FUTURE MEETINGS

Chairman Trzupek stated he is not able to attend the September 26 Board meeting and Commissioner Parrella volunteered to attend.

The Commission voted to cancel the October 3 meeting due to lack of business.

VIII. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to adjourn the meeting at 9:31 p.m.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, McCollian, Parrella, Petrich, Broline, Morton, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Respectfully Submitted:

Janine Farrell, AICP
Community Development Director



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-24-2022: 311 Shore Dr. (DP Burr Ridge, LLC); Request for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J.

HEARING:

November 21, 2022

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP
Community Development Director

PETITIONER:

DP Burr Ridge, LLC

PETITIONER STATUS:

Contract Purchaser

PROPERTY OWNER:

Zaccone Building, LLC

EXISTING ZONING:

G-I PUD/General Industrial
Planned Unit Development

LAND USE PLAN:

Recommends light industrial uses

EXISTING LAND USE:

Vacant – formerly a printing
company

SITE AREA:

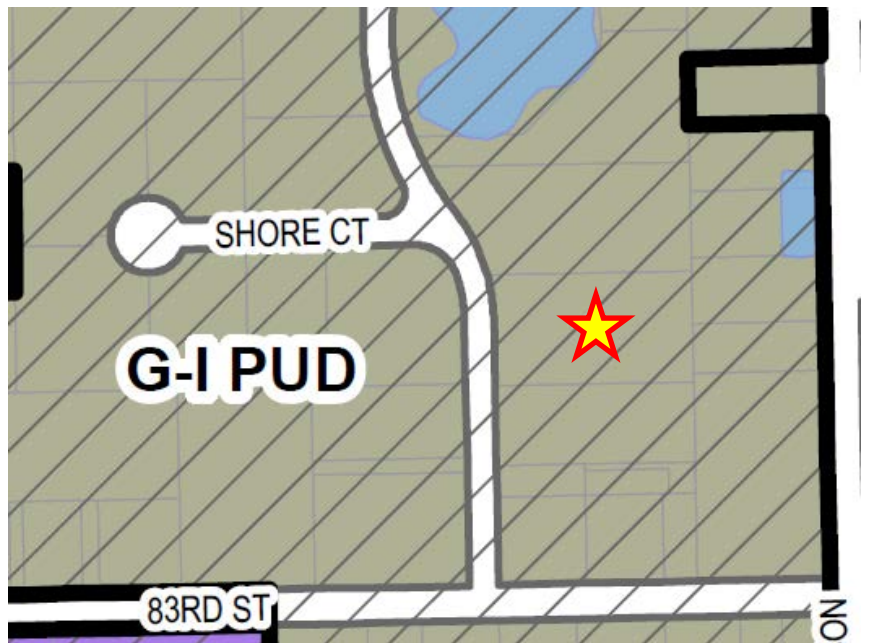
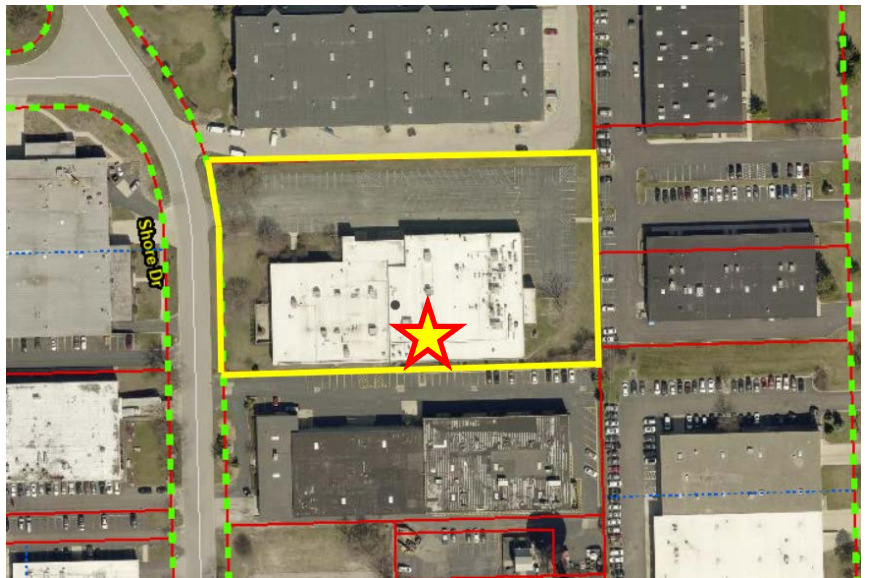
2.59 Acres

SUBDIVISION:

Hinsdale Industrial Park

PARKING:

90 Spaces (includes 2 ADA)



The petitioner, DP Burr Ridge, LLC, is the contract purchaser of the 2.59-acre site containing a parking lot and a 40,652 sq. ft. building. The petitioner would like to operate a Tesla Motors, Inc. auto repair facility at the property. The facility would service those vehicles involved in collisions and involve work on frames, body panels, and painting as opposed to more minor mechanical vehicle servicing.

The public hours of operation are proposed to be 8:00 a.m. to 7:00 p.m. Employees would work in two shifts, 6:00 a.m. to 3:00 p.m. and 3:00 p.m. to 12:00 a.m. There would be a maximum of 45 employees present. Employees would park in a proposed fenced area, reserving the front parking spaces near the main entrance for customers.

Approximately 60 to 80 vehicles a week would be serviced with the work occurring inside the building. The petitioner is requesting a special use for outdoor storage of vehicles which are either waiting for repair work (damaged) or vehicles which are completed and waiting for customer pick-up. Vehicles that are actively undergoing work will be stored indoors until completion. The vehicles stored overnight, outside would be within a proposed fenced area.

A fence in a non-residential district requires special use approval. The proposed fence is steel, solid, and 8 ft. in height. Pursuant to section IV.J, a fence in a non-residential district is held to the same standards as a residential fence in terms of location (behind rear wall of the building), height (maximum 5 ft.), design (50% open), and type (no chain link, solid, barbed wire, or electric). If the proposed fence does not comply with these standards, then it must be specifically authorized by conditions for approval of the special use. Additionally, the standards for consideration of a special use pertaining to a non-residential fence are limited to the following standards:

- i. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
- ii. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.
- iii. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- iv. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Brief summary of the proposed changes to the site:

- Building
 - Removal of an overhead door at the loading dock on the north side, filled in with EIFS and painted to match the rest of the structure.
 - Interior build-out of offices, a customer lounge, and work/vehicle repair areas.
 - Trees and shrubs in front of the building near the main entrance will be removed to provide for an accessible route. New shrubs and decorative plantings will be installed.
- Fence
 - Berridge Architectural Privacy fence proposed to be installed; there is currently not a fence on the property.
 - 8'2" in height

- Solid
 - Steel
 - Surrounds a portion of the north parking lot and the entirety of the east parking lot.
- Parking lot
 - Certain portions of the parking lot do not meet current dimensional standards but are existing and nonconforming. There are no changes to the existing nonconforming parking spaces or areas. These are within the fenced area.
 - According to the civil engineering plans, there are two ADA parking spaces and 88 regular parking spaces. Twenty-one spaces (plus two ADA) are located outside of the fenced area. Sixty-seven parking spaces are located inside the fenced area for employees and vehicles being serviced.
 - Six EV charging stations will be added within the fenced area to the rear or eastern side of the property for customer use only of cars being repaired (not publicly available charging stations).
 - The eastern cross-access walkway with the 15W770 Madison St. parking lot will be eliminated (closed off by the fence).
 - A dumpster will be added in a no-parking striped area along the northern property line within the screened/fenced area.

Public Hearing History

S-09-1997 (Ordinance A-499-02-97): Variations from the Sign Ordinance to permit a free-standing, internally illuminated sign with a translucent background and four colors. At the time, only letters were permitted to be translucent and only three colors were permitted.

Public Comment

No public comments were received.

Findings of Fact and Recommendation

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend approval of the special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for (3) a fence in a non-residential district pursuant to Zoning Ordinance section IV.J, staff recommends the following conditions:

1. The development shall substantially comply with the submitted plans, attached as Exhibit A.
2. The fence is permitted to be up to 8'2" in height, solid, and within the side yard as depicted on the plans attached as Exhibit A.

Appendix

Exhibit A – Petitioner’s Materials and Public Notifications

- Petition with business plan
- Findings of Fact
- Authorization from owner
- Plat of Survey
- Proposed site plan (with landscaping and fence details)
- Proposed interior layout plans
- Fence specifications
- Public notifications



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

SEP 30 2022

VILLAGE OF BURR RIDGE

EXHIBIT A

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): DP Burr Ridge, LLC

STATUS OF PETITIONER: Contract Purchaser

PETITIONER'S ADDRESS: 410 Daly Group, 2803 Butterfield Rd., Suite 300,
Oak Brook, IL 60523

ADDRESS OF SUBJECT PROPERTY: 311 Shore Dr., Burr Ridge, IL

PHONE: 312-795-6126

EMAIL: pdaly@thedalygroup.com

PROPERTY OWNER: Zaccone Building, LLC

PROPERTY OWNER'S ADDRESS: 5617 Barton Lane
Hinsdale, IL 60521

PHONE: _____

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

"Automobile and truck and equipment sales, rental and service."

See attached Narrative Statement.

See attached Responses to Special Use Standards

and special use for outside storage, and a fence in a non-res. district

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 2.59 ac EXISTING ZONING: G-I PUD 01

EXISTING USE/IMPROVEMENTS: Vacant industrial building

SUBDIVISION: Hinsdale Industrial Park

PIN(S) # 09-35-205-008

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

30 September 2022

Date of Filing

EXHIBIT A

LEGAL DESCRIPTION

Lot 21 in Plat of Hinsdale Industrial Park, Unit Two, being a subdivision of part of the Northeast ¼ of Section 35, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded September 19, 1969 as Document Number R69-42012, in DuPage County, Illinois.

Permanent Index Number: 09-35-205-008

Address: 311 Shore Drive
Burr Ridge, IL 60521



Operational Letter - Tesla Collision Center

Tesla Motors, Inc. is proposing to redesign and use the existing 40,650sf building located at 311 Shore Dr, Burr Ridge, IL as an auto repair service facility as defined in the local zoning code. The property is currently zoned General Industrial, which under a Special Use Permit allows "Automobile and truck and equipment sales, rental and service." The applicant is requesting that Special Use.

The proposed project consists of fully remodeling the existing building into an automotive collision repair center that will address the repair of Tesla vehicles that have been involved in a collision. The operation includes the assessment of damage and if needed, the repair or replacement of the following

- Frame
- Body Panels
- Glass
- Paint
- Mechanical and trim components to ensure the functionality and safety of the vehicle

The anticipated hours of operation will be Monday through Sunday from 8am to 7pm. During this time, approximately 35-45 employees will provide repair services for approximately 60-80 vehicles each week. There will be two shifts. First shift from 6am-3pm and a second at 3pm-12am. Each shift will have the same number of employees. All vehicles will be repaired within the 4 walls of the facility and public view will be limited. Work in progress (WIP) vehicles will be inside the building. Repairs typically take 11-16 days on average.

Prevention protocols consistent with Tesla Environmental Health & Safety operational guidelines will be used to manage hazardous waste streams, noise, and odor generated by operations. For example, various fume and dust extraction devices are used in the collision repair process and contained filtrated air systems are used for paint application process. Noise is mitigated by containing all repair work within the facility with use of air regulators for pneumatic tooling and equipment. Battery handling and storage guidelines for 12 volt and high voltage systems are provided to all employees through Tesla's service information website - <https://service.tesla.com/>. Additionally, first responder handling of battery systems is made publicly available - <https://www.tesla.com/firstresponders>.

Customers who come to the facility will primarily be by appointment only. We estimate 5 to 15 appointment customers per day. Day of customers (walk-ins) are limited, but we estimate 1 per day. Customers will either bring their car in or have a provider tow their car to our facility on the day of their appointment. After dropping off their cars, customers are eligible for a ride share voucher (e.g. Uber) to get to their next destination. When their car is complete, customers are usually dropped off by a 3rd party or walk-in after returning a rental.

The existing parking lot will be partially fenced off for public and private uses. The private use area will be screened from public view. On a typical day, we anticipate parking use to be as follows:

- Customers – 2 max at any given time
- Employees – 35 (screened/private)
- Vehicles Waiting for Repair Work to commence – 20 (screened/private)
- Repair complete vehicles waiting for customer pickup – 15

The remaining parking will be held in reserve to accommodate our staff and customers in the event Tesla elects in the future to include sales at this facility.

Thank you for your time in reviewing our project proposal. We look forward to being a part of the City of Burr Ridge and having our services be available to its community.

Sincerely,

Joanie Velazquez | Expansion Program Manager, Collision

APPLICATION OF DP BURR RIDGE, LLC – TESLA REPAIR FACILITY

SPECIAL USE STANDARDS

The responses below address the special use standards in Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance.

a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

Response: The world is transitioning toward electric vehicles. Tesla is the leading manufacturer of electric vehicles. Electric vehicles present unique repair challenges when they have been involved in collision. For this reason, Tesla is proposing a collision repair center on the subject property to provide repair and replacement services for its vehicles in the Western suburbs.

b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Response: The proposed collision repair center will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare because all repair activities will occur within a fully enclosed building, and the repair center will follow all Tesla Health and Safety operational guidelines, including guidelines for battery handling and storage.

c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

Response: The proposed repair center will not be injurious to the use and enjoyment of nearby property. The 2.59-acre subject property is located within an area of more than 90 acres of land located on the western edge of the village that is zoned General Industrial (G-I). Permitted uses in the G-I District include: "any establishment of which the principal use is manufacturing, fabricating, processing, assembling, disassembling, repairing, cleaning, servicing, testing, warehousing, shipping and storing of material, products and goods." Permitted uses also include: warehouses; pilot plants for experimentation and development of new and existing processes and products; and research laboratories for conducting experiments in scientific fields. The special use proposed by the petitioner ("automobile and truck and equipment sales, rental and service") is similar to the permitted uses in the G-I District in terms of the effect, if any, on the surrounding area. For the same reason, the proposed repair center will not diminish or impair surrounding property values.

d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Response: The proposed Tesla repair center will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the G-I District. This is because all repair activities will be conducted within the existing building under strict guidelines imposed by Tesla. In addition, the surrounding area is already built out with industrial uses. There is no vacant land available for development in the surrounding area.

e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

Response: As mentioned, Tesla will use the existing building on the property, which is served with all required utilities, roads and facilities, including drainage facilities.

f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The subject property is located within a developed industrial area that has access to public streets. The proposed repair center will not generate a large amount of traffic.

g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

Response: One of the objectives of the Comprehensive Plan is that "industrial developments should strengthen and maintain property values and provide a strong tax base for the Village." Another objective is to "maintain the existing industrial parks in the Village to appropriate standards and enhance them as a continued tax base for the Village." The proposed repair center will meet these objectives by repurposing a vacant building, which will strengthen property values in the village and enhance the tax base.

h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Response: Tesla will use the existing building, which meets all applicable regulations within the G-I Zoning District.

June 8th, 2022

Village of Burr Ridge
Zoning Board of Appeals and Plan Commission
7660 County Line Road
Burr Ridge, Illinois 60527

Re: Application for Necessary Zoning Approval regarding 311 Shore Drive, Burr Ridge, IL 60527

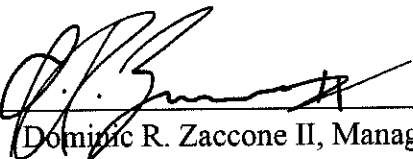
Dear Board Members:

I, Dominic R. Zaccone II, Manager of Zaccone Building, LLC, the owner of the property legally described on Exhibit A attached hereto and made a part hereof, understand that DP Burr Ridge, LLC has been identified as the Applicant for a special use and other ancillary matters.

I authorize DP Burr Ridge, LLC and its agents to file the applications referenced above.

Zaccone Building, LLC

By: _____


Dominic R. Zaccone II, Manager



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

311 Shore Drive, Burr Ridge, IL 60527

Property Owner or Petitioner:

Zaccone Building, LLC

By: Dominic R. Zaccone II, Manager

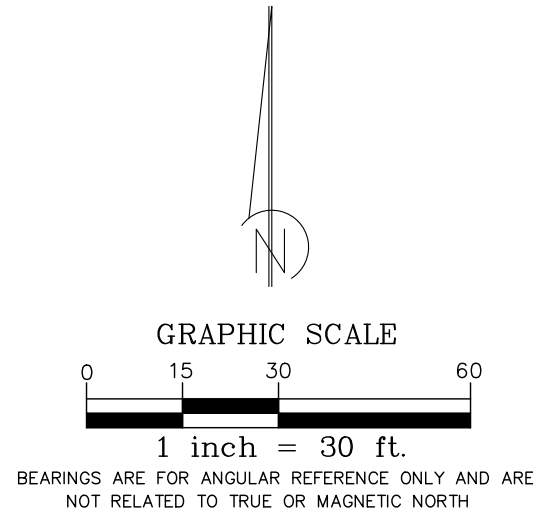
(Print Name)

(Signature)

LEGEND & ABBREVIATIONS:

UTILITY POLE	MANHOLE	P.O.C. POINT OF COMMENCEMENT
LIGHT POLE	SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
TRANSFORMER	STORM STRUCTURE (CLOSED)	' DEGREES
UTILITY PEDESTAL	STORM STRUCTURE (OPEN)	' FEET/MINUTES
TRAFFIC SIGNAL	CURB INLET	" INCHES/SECONDS
SIGNAL VAULT	VALVE VAULT	S.F. SQUARE FEET
GAS VALVE	FLARED END SECTION	(REC) RECORD BEARING/DISTANCE
WATER VALVE	WATER LINE	TF TOP OF FOUNDATION
ELECTRIC METER	TELEPHONE/CATV LINE	TF FINISHED FLOOR
GAS METER	GAS LINE	TP TOP OF PIPE
FIRE HYDRANT	ELECTRIC LINE	B.S.L. BUILDING SETBACK LINE
AUTO SPRINKLER	OVERHEAD WIRES	P.U.E. PUBLIC UTILITY EASEMENT
MONITORING WELL	STORM SEWER	D.E. DRAINAGE EASEMENT
GROUND LIGHT	SANITARY SEWER	L ARC LENGTH
BOLLARD	CHAIN LINK FENCE	R RADIUS LENGTH
B-BOX	STOCKADE FENCE	C CHORD LENGTH
SDH	GUARD RAIL	CB CHORD BEARING
FLAG POLE	CONCRETE SURFACE	CMP CORRUGATED METAL PIPE

ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP:



RECORD DESCRIPTION:

LOT 21 IN PLAT OF HINSDALE INDUSTRIAL PARK, UNIT TWO, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 19, 1969 AS DOCUMENT R69-42012, IN DUPAGE COUNTY, ILLINOIS.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. CCH12203286LD, DATED APRIL 29, 2022.

SCHEDULE B:

- 21 BUILDING LINE 40 FEET ALONG THE WESTERLY LINE AS SHOWN ON THE PLAT OF HINSDALE INDUSTRIAL PARK, UNIT 2, AFORESAID. ITEM IS SHOWN.
- 22 UTILITY EASEMENT AS SHOWN ON THE PLAT AND CONTAINED IN THE CERTIFICATE APPENDED TO THE PLAT OF HINSDALE INDUSTRIAL PARK, UNIT 2, AFORESAID, AS FOLLOWS:
ALONG THE SOUTH AND NORTH 5 FEET, THE WESTERLY 7 FEET AND THE EAST 10 FEET OF THE LAND. ITEM IS SHOWN.
- 23 EASEMENT FOR ROAD ALONG THE WEST LINE AS SHOWN ON THE PLAT OF HINSDALE INDUSTRIAL PARK, UNIT 2, AFORESAID. ITEM IS SHOWN.

SURVEYOR'S CERTIFICATE:

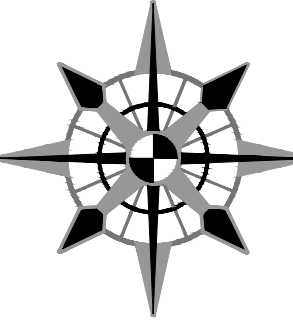
TO: DP BURR RIDGE, LLC; ZACCONE BUILDING, LLC; TDG PROPERTY GROUP, LLC AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, 7b1, 7c, 8, 9, 13, 14, 16 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 25, 2022.

James L. Harpole, PLS 09/08/2022
Illinois Professional Land Surveyor No. 035-4046
Expires 11-30-2022
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



JLH LAND SURVEYING INC.
Illinois Professional Design Firm No. 184.007120
910 Geneva Street, Shorewood, Illinois 60404
815.729.4000 www.jlhsurvey.com



SURVEY PREPARED FOR:
LAW OFFICES OF
ALAN D. PEARLMAN, LLC
2803 BUTTERFIELD RD., SUITE 300
OAK BROOK, IL 60523

DATE	REVISIONS	BY
06/08/22	FIRST DRAFT	JAH
06/09/22	REVISE CERTIFICATION	JAH

ALTA/NSPS LAND TITLE SURVEY
311 SHORE DRIVE
BURR RIDGE, ILLINOIS

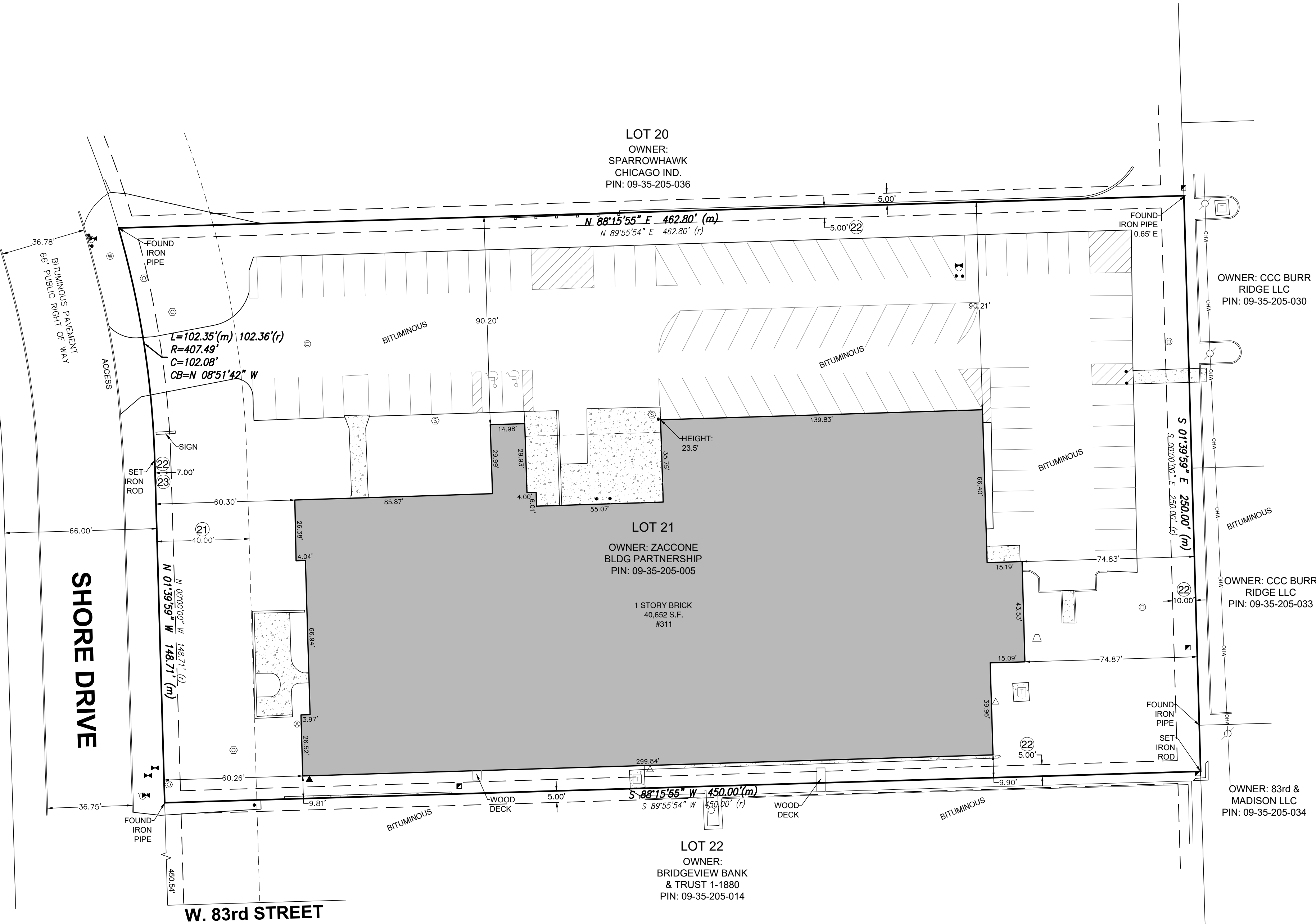
PROJ. MGR.: JLH
DRAWN BY: JAH
CHECK BY: JR
FIELD DATE: 05/25/2022
SCALE: 1"=30'

SHEET
1 OF 1
22-1091-100

MISCELLANEOUS NOTES:

1. ALL FIELD MEASUREMENTS MATCH RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS.
2. BASIS OF BEARINGS: THE EAST RIGHT OF WAY LINE OF SHORE DRIVE TO BE NORTH 01 DEGREES 39 MINUTES 54 SECONDS WEST.
3. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM SHORE DRIVE AND HURON DRIVE WHICH ARE DEDICATED PUBLIC RIGHT OF WAYS.
4. IN REGARDS TO TABLE "A" ITEM 2, AT THE TIME OF THIS SURVEY, THE ADDRESS WAS POSTED AS 311 SHORE DRIVE.
5. IN REGARDS TO TABLE "A" ITEM 16, AT THE TIME OF THIS SURVEY, THERE WAS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
6. IN REGARDS TO TABLE "A" ITEM 17, AT THE TIME OF THIS SURVEY, THERE WAS NO RECENT STREET OR SIDEWALK CONSTRUCTION OR PROPOSED RIGHT OF WAY CHANGES PROVIDED.

EXISTING PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	89
ADA	2
TOTAL	91



SIGNIFICANT OBSERVATIONS:

A NONE WERE OBSERVED.

LAND AREA:

112,928.89 SF± OR 2.59 ACRES±

FLOOD NOTE:

BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.MSC.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE (X) ON FLOOD INSURANCE RATE MAP NUMBER (17043C0277J), WHICH BEARS AN EFFECTIVE DATE OF (08/01/2019) AND (IS NOT) IN A SPECIAL FLOOD HAZARD AREA.

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

TESLA SERVICE
FACILITY, BURR
RIDGE, IL

311 SHORE DRIVE
BURR RIDGE, IL 60527
DuPAGE COUNTY
The Daly Group, LLC
2803 Butterfield Road Suit 300
Oak Brook, IL 60523
Client Phone

CONSULTANTS

ISSUED FOR

	DATE
1. CLIENT REVIEW	10/21/2022
2. AGENCY REVIEW	10/27/2022
3. ---	---
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

REVISIONS	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

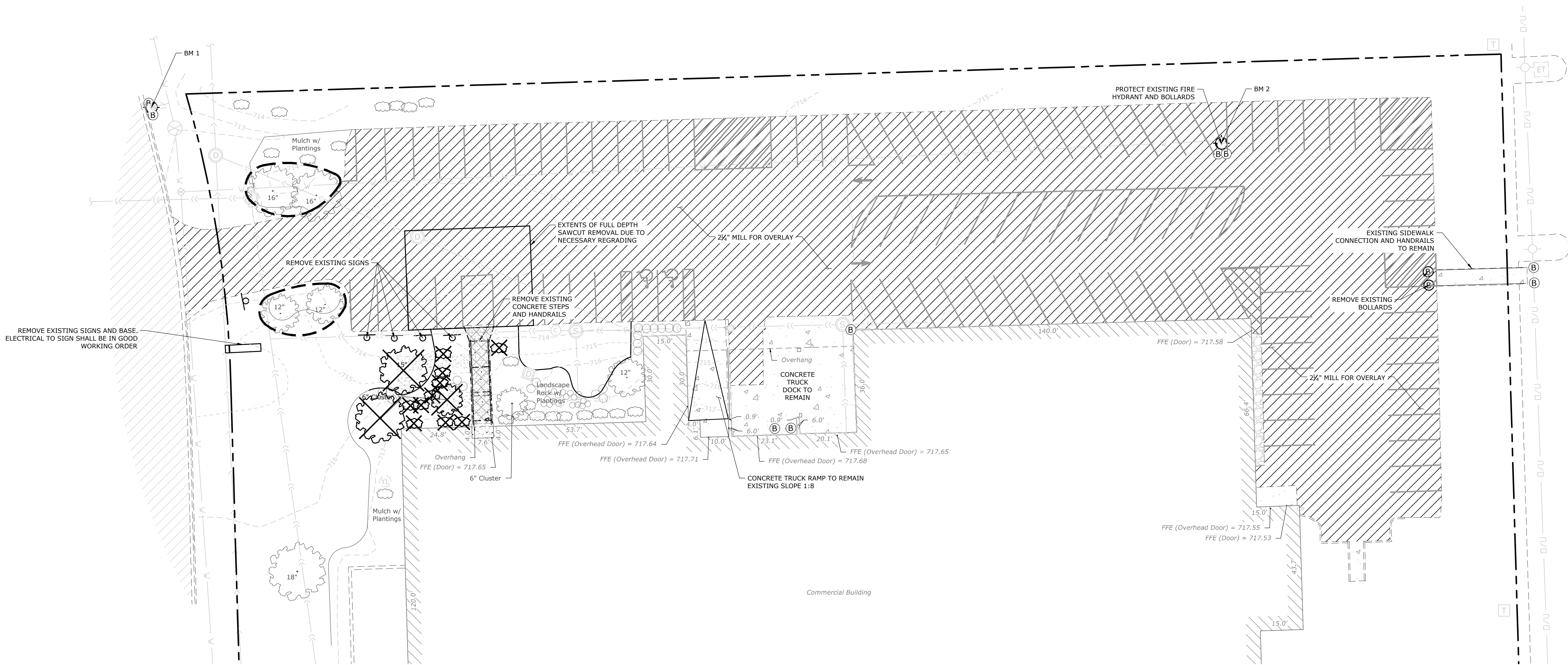
EXISTING
CONDITIONS AND
REMOVALS PLAN

DRAWN	TS
CHECKED	LD
PM	RCS

PROJECT NUMBER
SHEET NUMBER

22190

C-01



ARC DESIGN
RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

TESLA SERVICE
FACILITY, BURR
RIDGE, IL

311 SHORE DRIVE
BURR RIDGE, IL 60527
DuPAGE COUNTY

The Daly Group, LLC
2803 Butterfield Road Suit 300
Oak Brook, IL 60523
Client Phone

CONSULTANTS

ISSUED FOR

ITEM	DATE
1. CLIENT REVIEW	10/21/2022
2. AGENCY REVIEW	10/27/2022
3. ---	---
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

ITEM	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

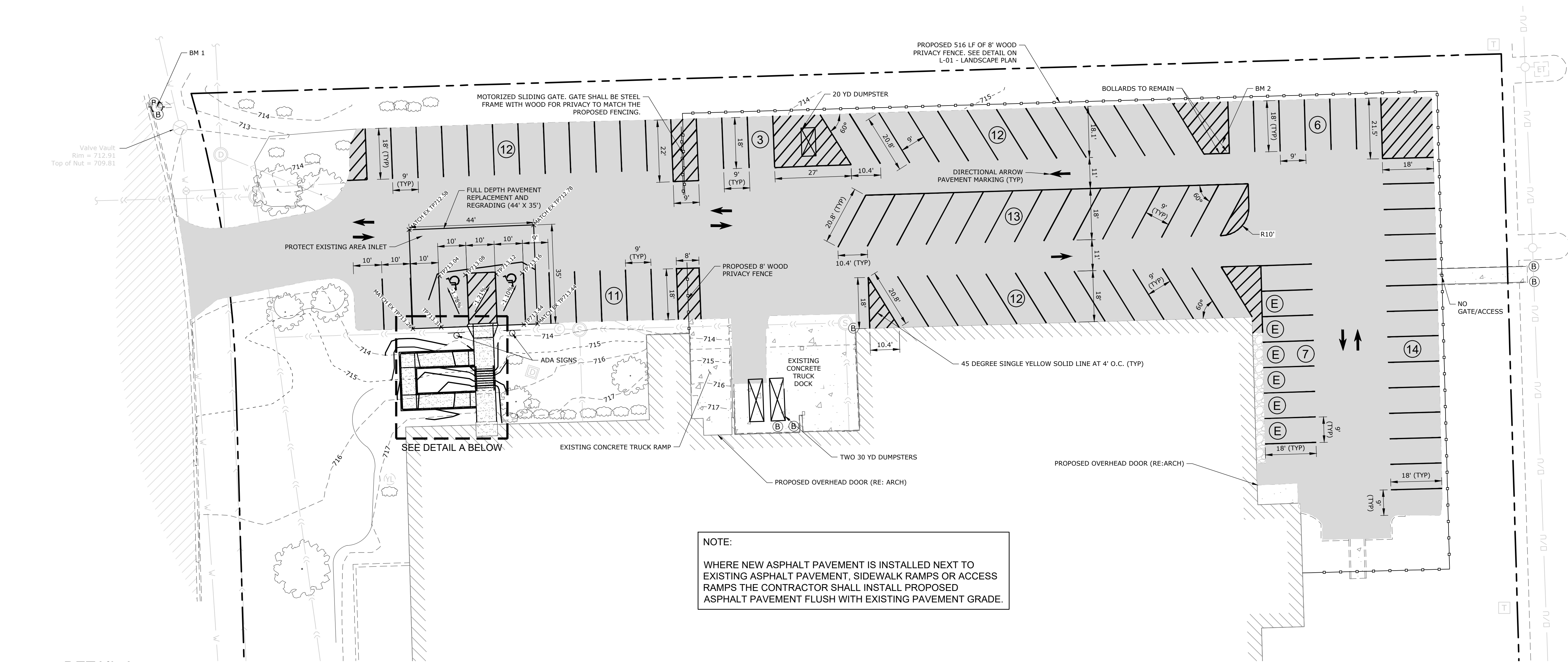
LAYOUT PLAN

DRAWN TS
CHECKED LD
PM RCS

PROJECT NUMBER
SHEET NUMBER

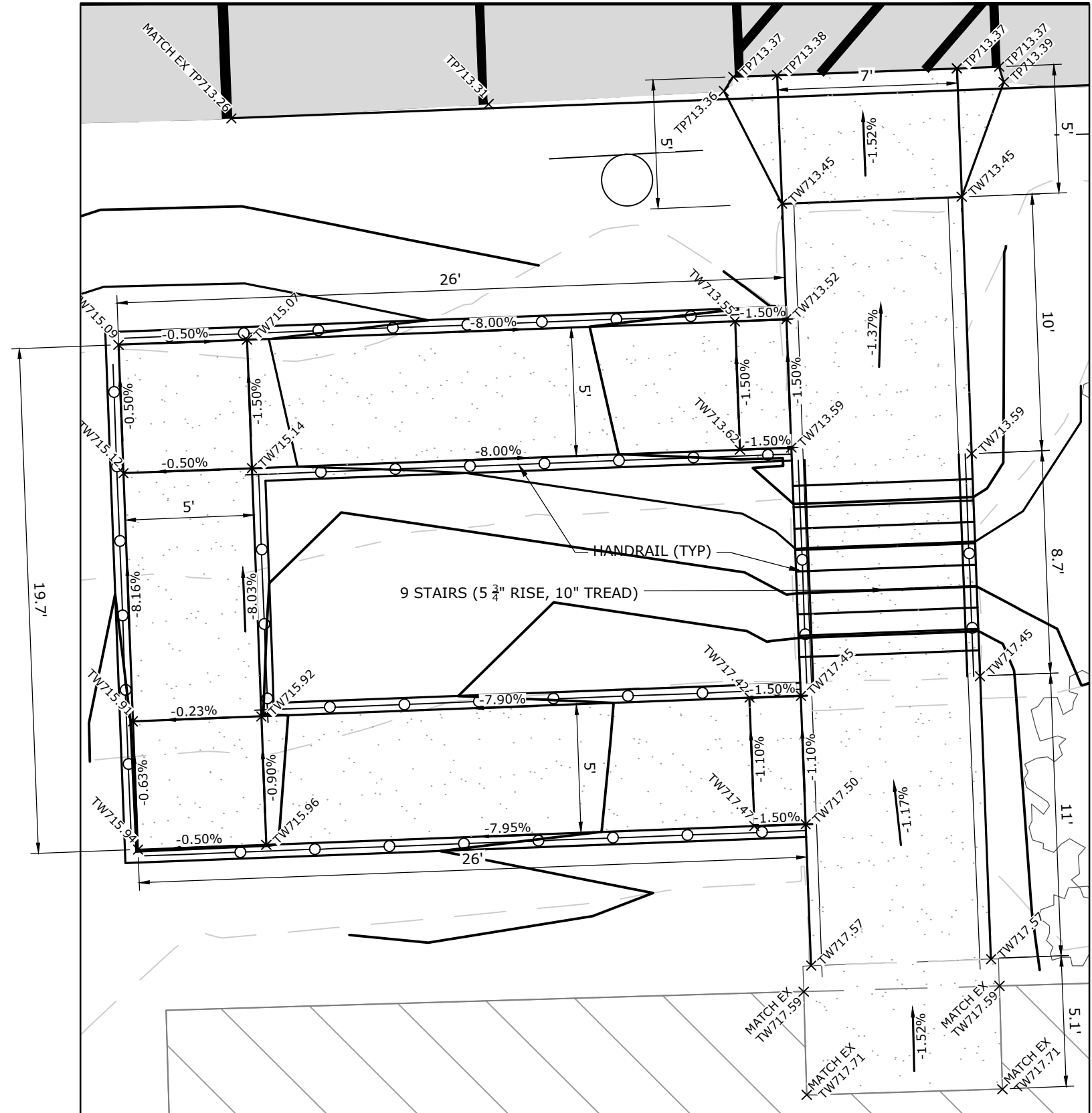
22190

C-02



NOTE:
WHERE NEW ASPHALT PAVEMENT IS INSTALLED NEXT TO EXISTING ASPHALT PAVEMENT, SIDEWALK RAMPS OR ACCESS RAMPS THE CONTRACTOR SHALL INSTALL PROPOSED ASPHALT PAVEMENT FLUSH WITH EXISTING PAVEMENT GRADE.

DETAIL A (SCALE 1:5)

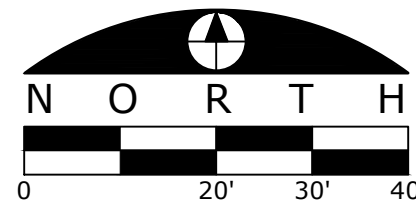


GENERAL PAVING NOTES

- ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (STANDARD SPECIFICATIONS), LATEST EDITION, INCLUDING ALL UPDATES AND STANDARDS THERETO.
 - STANDARDS AND REQUIREMENTS OF VILLAGE OF BURR RIDGE.
 - ADDITIONAL DETAILS AND REQUIREMENTS PROVIDED IN THE CONTRACT DOCUMENTS, INCLUDING THIS PLAN SET.
- ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
- THE SUBGRADE OF PAVEMENT AREAS SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF STANDARD PROCTOR DENSITY.
- THE SUBGRADE SHALL BE PROOF ROLLED, INSPECTED AND APPROVED BY THE VILLAGE OF BURR RIDGE PRIOR TO PLACING THE BASE MATERIAL. NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO FINISHED SUBGRADE PREPARATION.
- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE ROADWAY SUBGRADE, PROOF ROLLED, PLACING TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES TO FINISHED GRADE IN THE PARKWAYS AREAS ONLY, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
- THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING THE SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
- THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, PROOF ROLLING, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
- THE PROPOSED PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND CONSTRUCTED IN STRICT CONFORMANCE WITH THE PREVIOUSLY REFERENCED IDOT STANDARD SPECIFICATIONS AND VILLAGE OF BURR RIDGE.
- AREAS OF DEFICIENT PAVING, INCLUDING COMPACTION, SMOOTHNESS, THICKNESS, AND ASPHALT MIXTURE, SHALL BE DELINEATED, REMOVED, AND REPLACED IN COMPLIANCE WITH SPECIFICATIONS REQUIREMENTS UNLESS CORRECTED OTHERWISE AS DIRECTED AND APPROVED BY THE OWNER.
- FIELD QUALITY CONTROL TESTS SPECIFIED HEREIN WILL BE CONDUCTED BY THE OWNER'S INDEPENDENT TESTING LABORATORY (ITL) AT NO COST TO THE CONTRACTOR. ANY TESTING AND INSPECTION RESULTING FROM THE REQUIREMENTS OF NECESSARY PERMITS BY VILLAGE OF BURR RIDGE OR THE STATE OF ILLINOIS SHALL BE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PERFORM ADDITIONAL TESTING AS CONSIDERED NECESSARY BY THE CONTRACTOR FOR ASSURANCE OF QUALITY CONTROL. RETESTING REQUIRED AS A RESULT OF FAILED INITIAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - FIELD TESTING, FREQUENCY, AND METHODS MAY VARY AS DETERMINED BY AND BETWEEN THE OWNER, THE ITL AND VILLAGE OF BURR RIDGE.
 - TESTING SHALL BE PERFORMED ON FINISHED SURFACE OF EACH ASPHALT CONCRETE COURSE FOR SMOOTHNESS, USING 10'-0\"/>

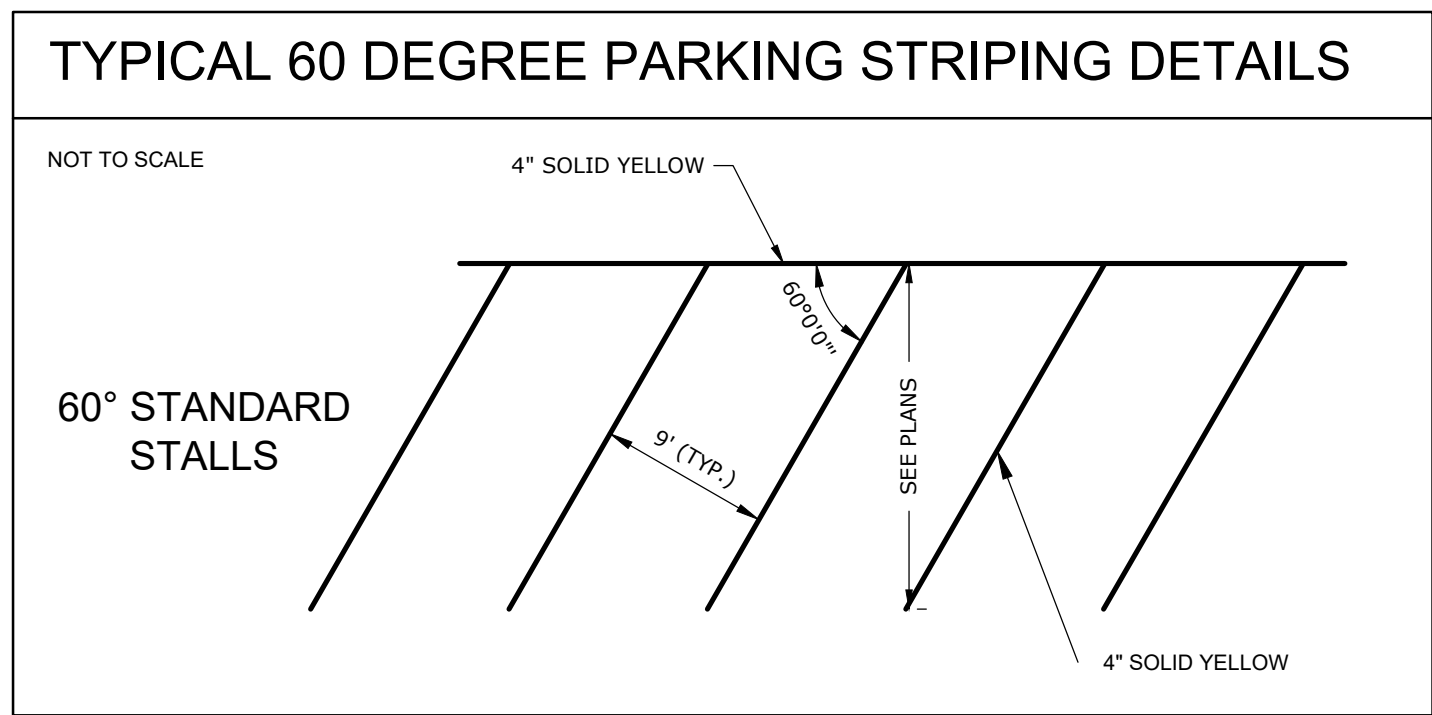
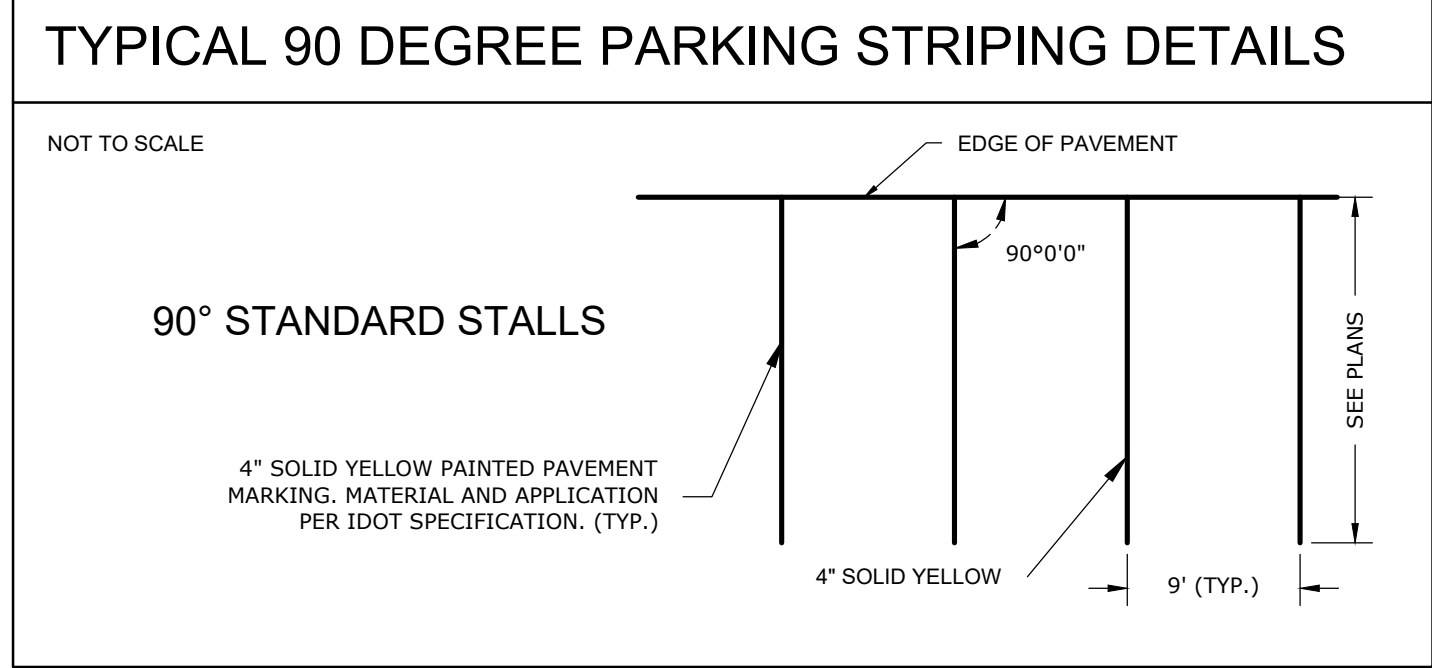
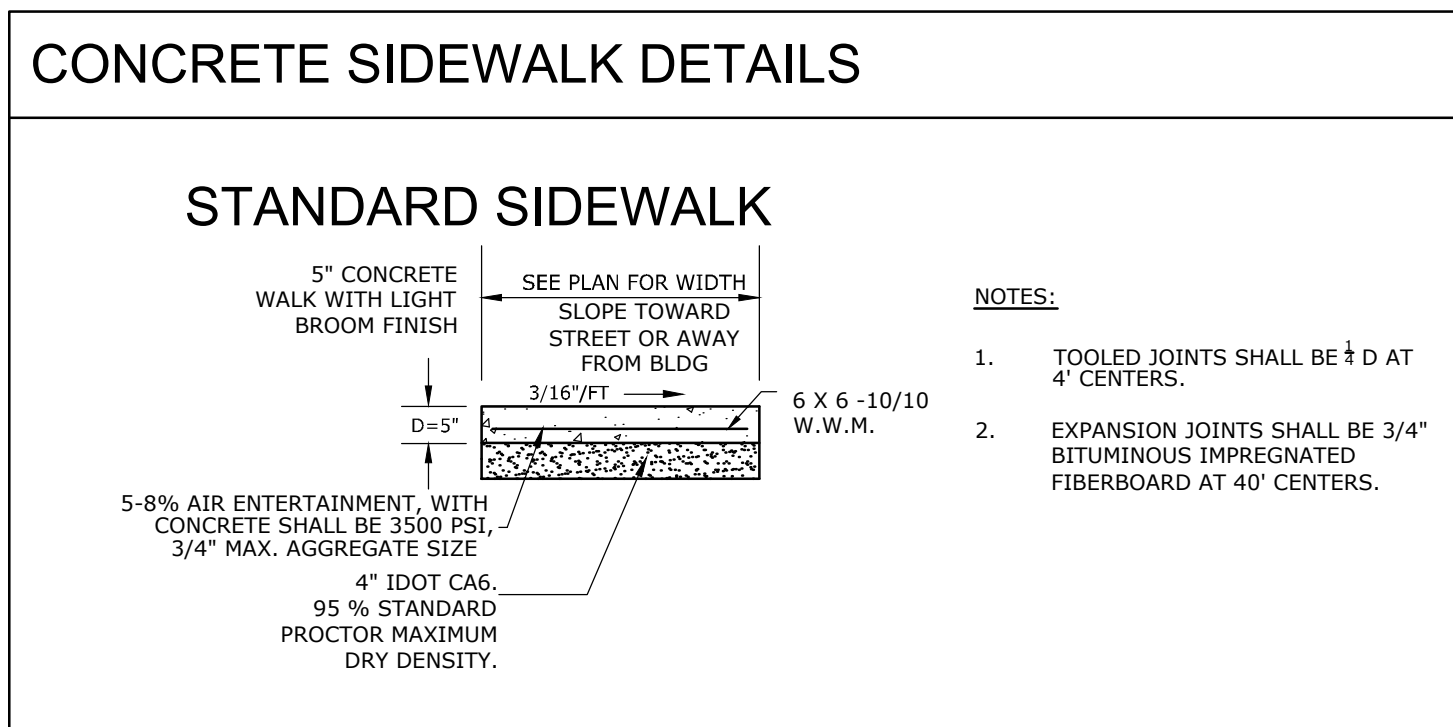
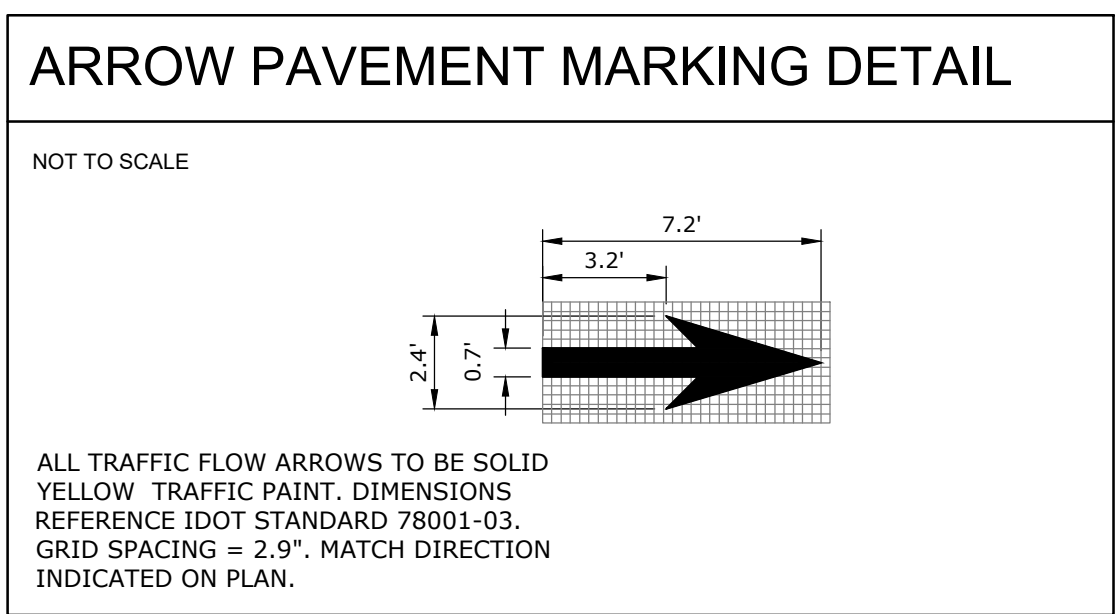
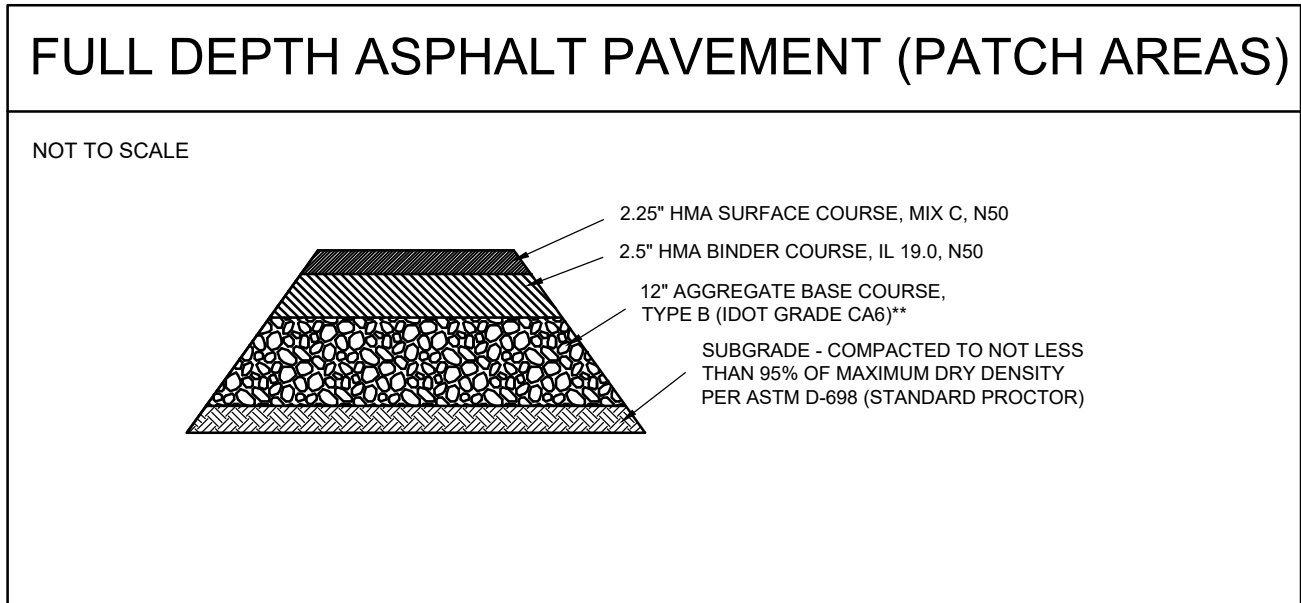
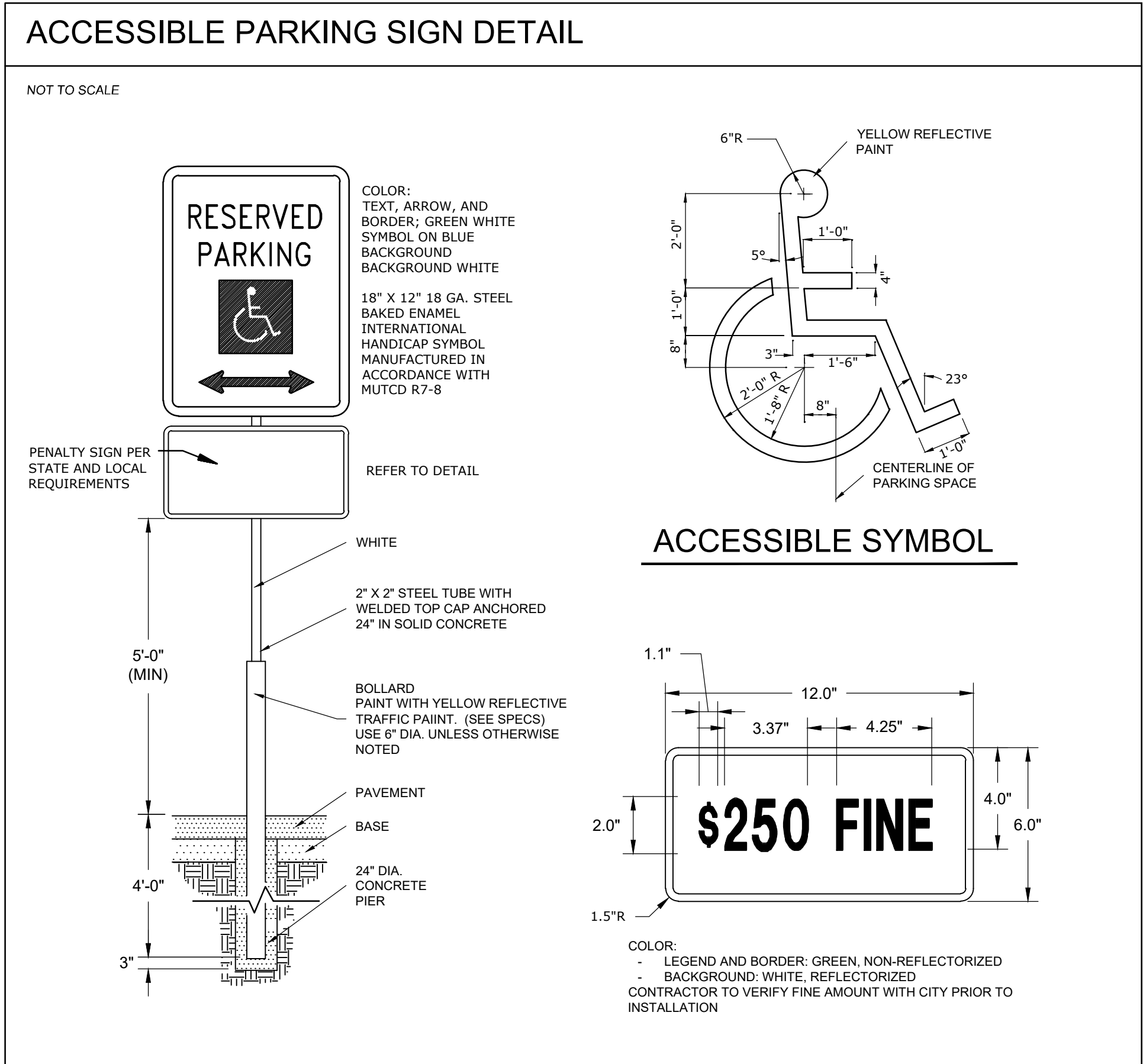
PAVEMENT MARKING NOTES

- MATERIAL DESCRIPTION: A FAST DRYING, HIGH HIDING MARKING PAINT FOR CONCRETE, BRICK, AND BITUMINOUS SURFACE, SUITABLE FOR PAINTING CENTERLINES AND EDGELINES OF HIGHWAYS, CROSSWALKS AND STOP ZONES, PARKING LOTS, TRAFFIC AISLES, ETC. DO NOT APPLY TO IN TEMPERATURES BELOW 50 °F.
- TWO COATS OF PAINT SHALL BE APPLIED.



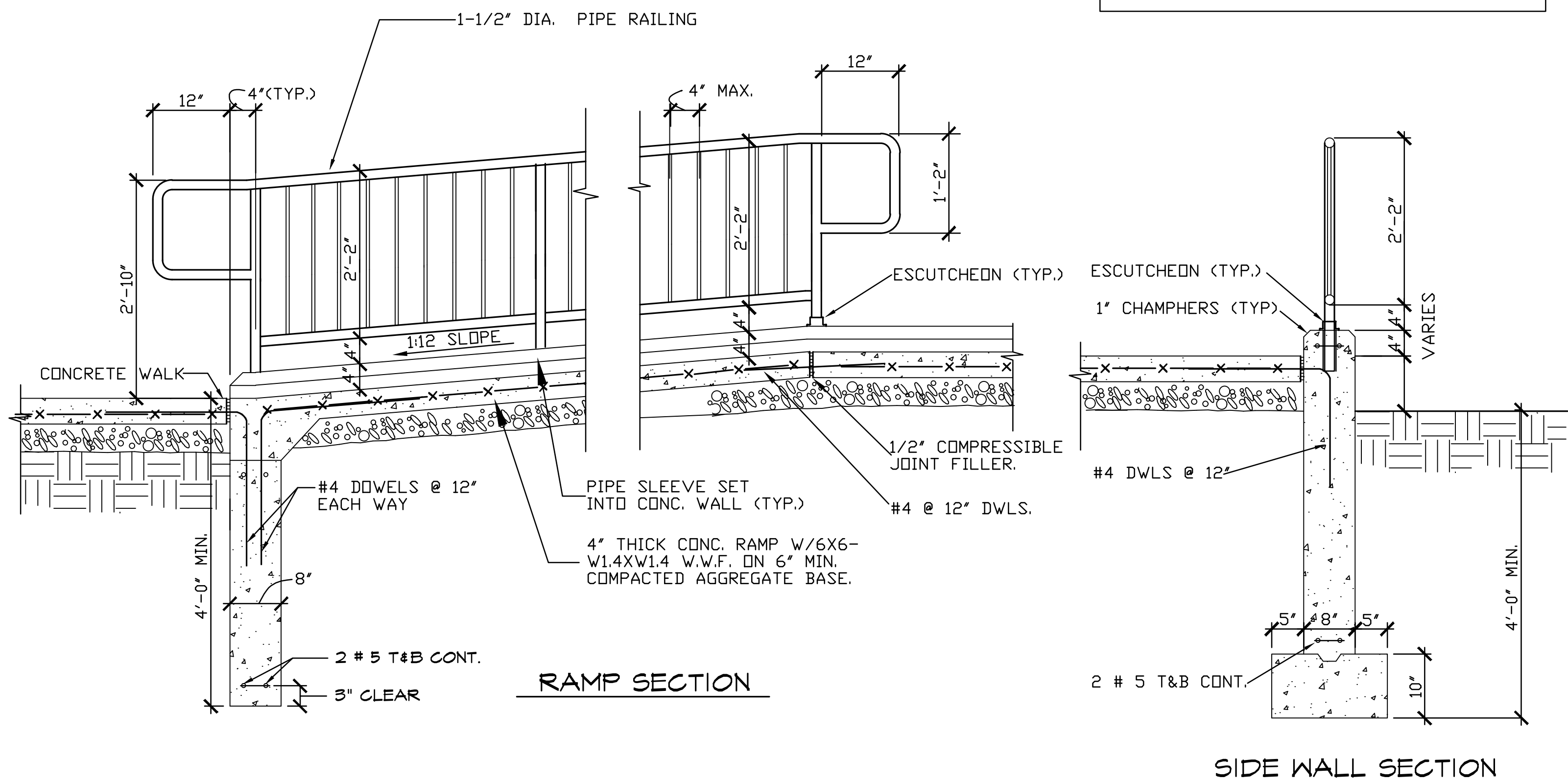
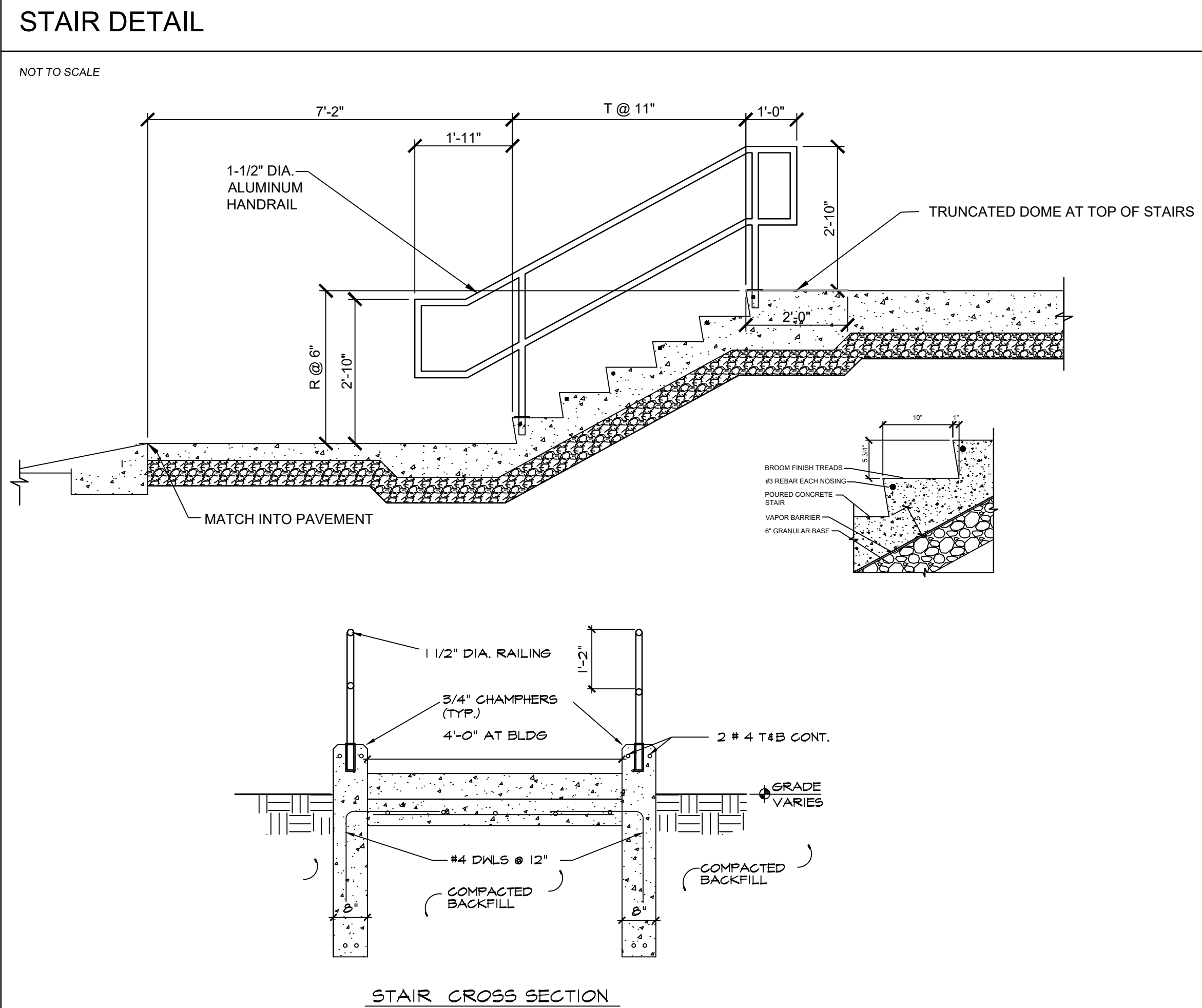
LEGEND

---	PROPERTY LINE		PROPOSED CONCRETE SIDEWALK
---	LOT LINE		PROPOSED HEAVY DUTY CONCRETE PAVEMENT
---	EXISTING RIGHT-OF-WAY		PROPOSED 2 1/4\"/>
---	EXISTING EASEMENT LINE		DIRECTION OF SHEET FLOW
---	EXISTING EDGE OF PAVEMENT		TOP OF WALK ELEVATION
---	PROPOSED EDGE OF PAVEMENT		TOP OF PAVEMENT ELEVATION
---	PROPOSED 8' CHAIN LINK FENCE WITH BLACK VINYL PRIVACY SLATS		FINISHED GRADE ELEVATION
---	PROPOSED HANDRAILS		
---	PROPOSED GRADE BREAK LINE		
---	PROPOSED ROAD STRIPING		
---	PROPOSED ADA PARKING SPACE		
---	NUMBER OF PROPOSED PARKING SPACES IN A ROW		
---	PROPOSED ELECTRIC CAR CHARGING STATIONS		



RAMP REQUIREMENTS

MINIMUM WIDTH:	48"
MAXIMUM SLOPE:	1"/FT. = 12:1
MAX. RISE WITHOUT RAILINGS:	6" AT 1"/FT.
MINIMUM LANDING LENGTH:	5'-0"



ARC DESIGN
RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

**TESLA SERVICE
FACILITY, BURR
RIDGE, IL**

311 SHORE DRIVE
BURR RIDGE, IL 60527
DuPAGE COUNTY

The Daly Group, LLC
2803 Butterfield Road Suite 300
Oak Brook, IL 60523
Client Phone

CONSULTANTS

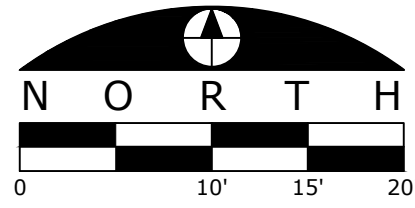
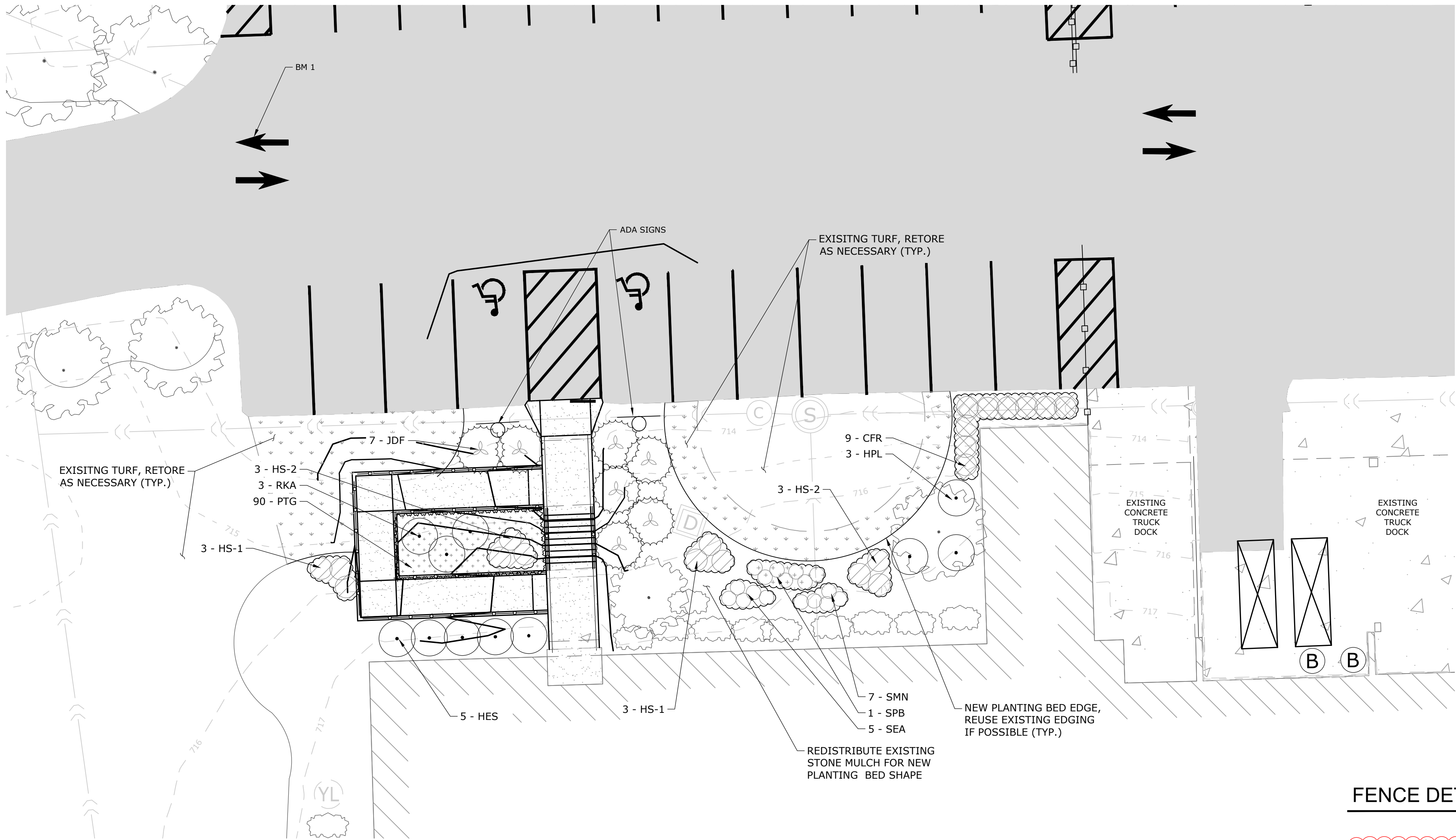
ISSUED FOR		DATE
1. CLIENT REVIEW		10/21/2022
2. AGENCY REVIEW		10/27/2022
3. ---		---
4. ---		---
5. ---		---
6. ---		---
7. ---		---
8. ---		---
9. ---		---
10. ---		---
11. ---		---
12. ---		---
REVISIONS		DATE
1. ---		---
2. ---		---
3. ---		---
4. ---		---
5. ---		---
6. ---		---

SHEET TITLE

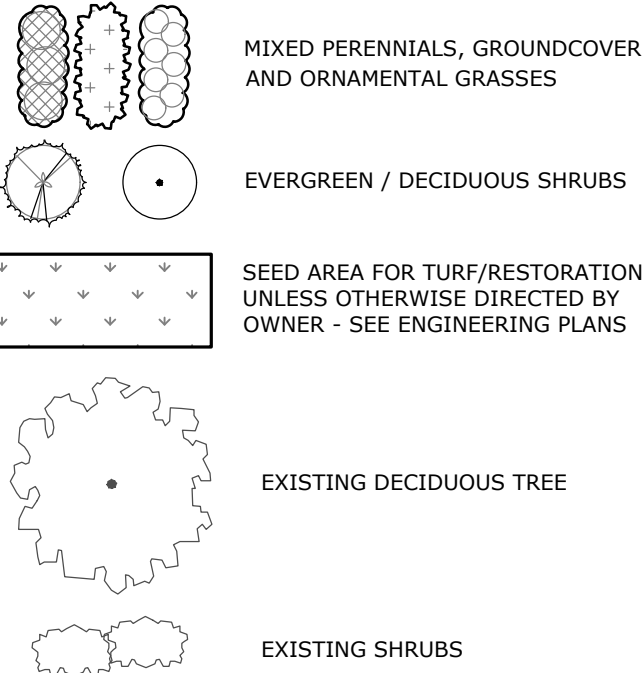
DETAILS

DRAWN	TS
CHECKED	LD
PM	RCS

PROJECT NUMBER	22190
SHEET NUMBER	C-03



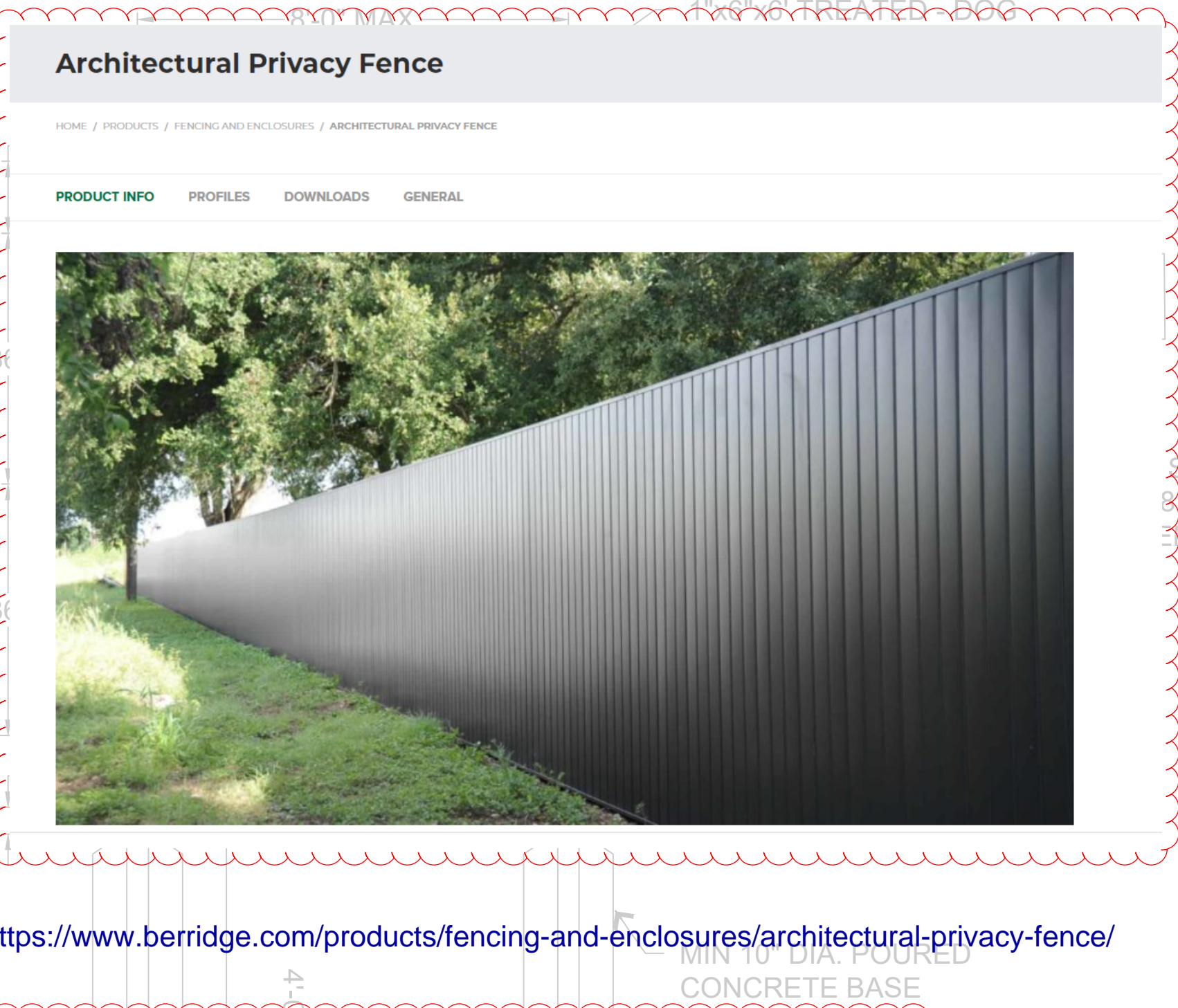
LEGEND



PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
JDF	7	Juniperus chinensis 'Daubs Frosted' DAUBS FROSTED GOLD TIP JUNIPER	5 GAL	
HES	5	Hydrangea marophylla 'Endless Summer' ENDLESS SUMMER HYDRANGEA	5 GAL	HYBRID - REBLOOMING
HPL	3	Hydrangea paniculata 'Little Quick Fire' LITTLE QUICK FIRE HYDRANGEA	5 GAL	HYBRID - REBLOOMING
RKA	3	Rhododendron x 'Karen' KAREN AZALEA	5 GAL	HYBRID - REBLOOMING
CFR	9	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
HS-1	6	Hosta x 'Frances Williams' FRANCES WILLIAMS VARIEGATED HOSTA	GAL	3'-0" O.C. - PERENNIAL
HS-2	6	Hosta x 'Halcyon' HALCYON BLUE HOSTA	GAL	3'-0" O.C. - PERENNIAL
RFG	5	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEA	5	Sedum x 'Autumn Joy' AUTUMN JOY SEDUM	GAL	2'-0" O.C. - PERENNIAL
SMN	7	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL
PTG	90	Pachysandra terminalis 'Green Carpet' JAPANESE PACHYSANDRA SPURGE	GAL	9" O.C. - GROUNDCOVER

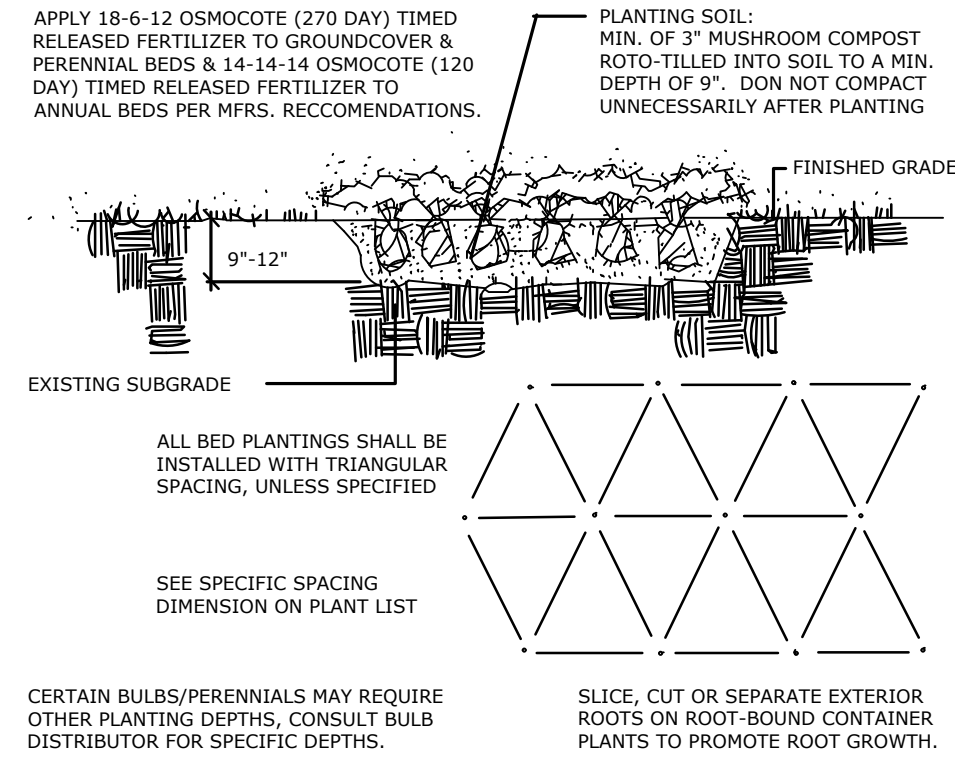
FENCE DETAIL



<https://www.berridge.com/products/fencing-and-enclosures/architectural-privacy-fence/>

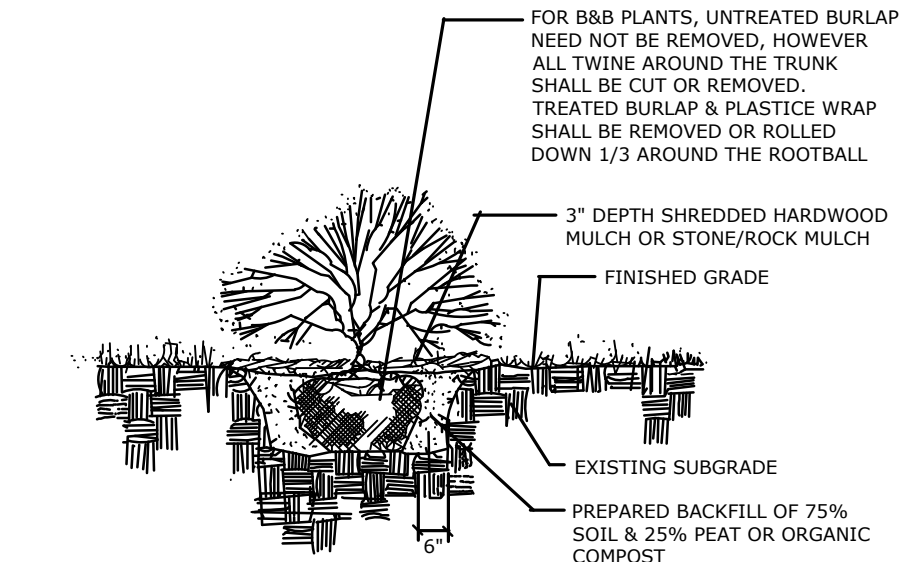
Architectural Privacy Fence
The Berridge Architectural Privacy Fencing utilizes Berridge's Spaceframe 24 gauge metal studs, track and...

www.berridge.com



BED PLANTING DETAIL

(GROUNDCOVER, PERENNIALS & ANNUALS) NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE

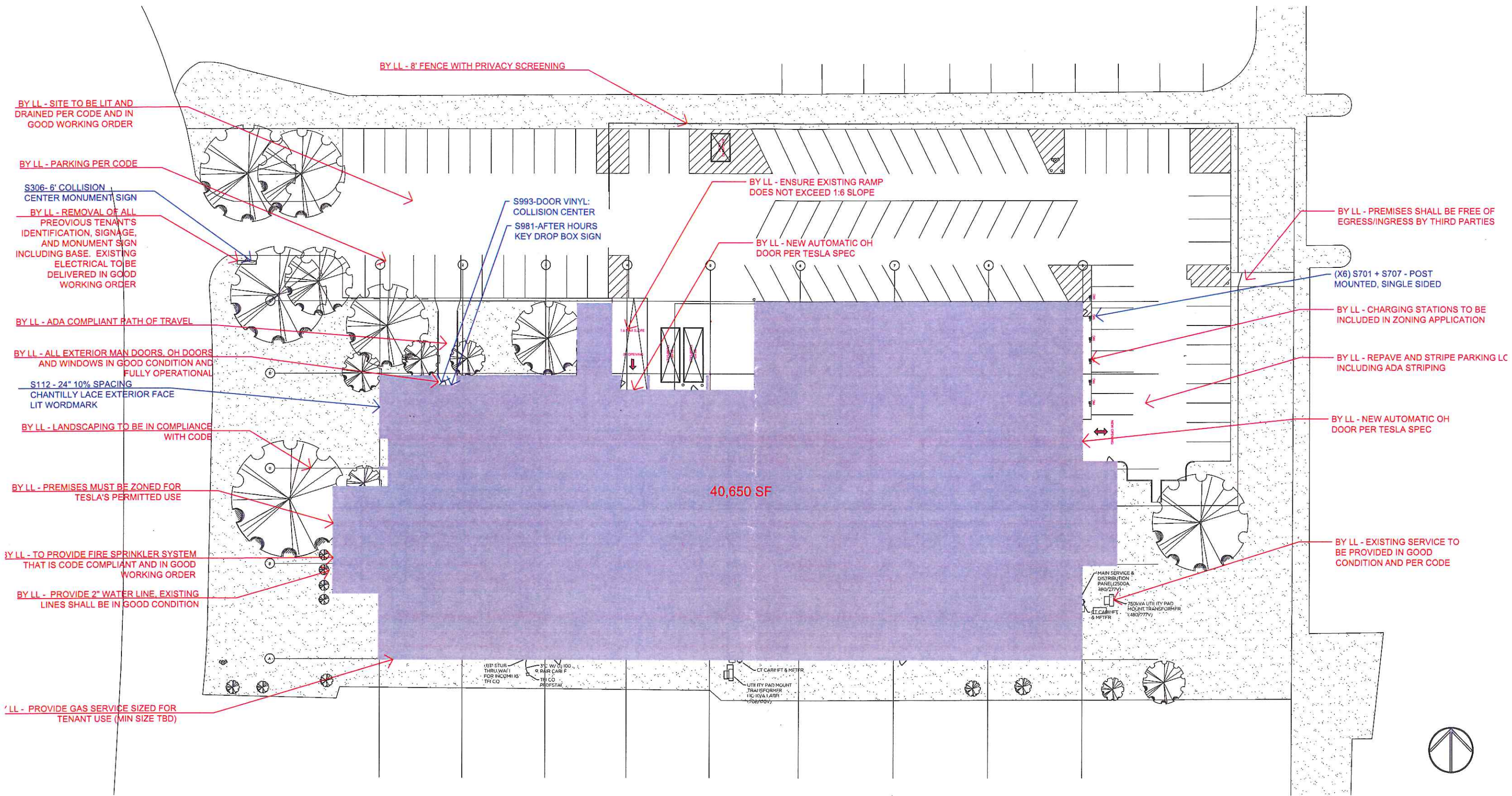
PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-till, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- All plant material, especially trees, must be sourced within a one-hundred-fifty (150) mile radius of the subject property construction site.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with a minimum 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees and multi-stemmed ornamental trees shall be mulched to outer-most branches at the time of installation.
- Where necessary per drawing, contractor to reinstall existing stone/rock mulch in a like-manner with the necessary weed barrier in planting beds that have been re-shaped.
- Unless noted, planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Where necessary, contractor to reinstall existing plastic or steel edging for containment of stone/rock mulch in existing planting bed areas, or install new edging of similar style if the existing edging is in poor condition or damaged.
- Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial rye and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scalds hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per Method 1, Section 251, of the Standard Specifications for Road and Bridge Construction.
- All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all seeded areas.
- Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

SITE PLAN
TRT ID 20157

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)



NOT TO SCALE

TESLA September 12, 2022

TRAFFIC FLOW

NA | 311 SHORE DR BURR RIDGE, IL | US

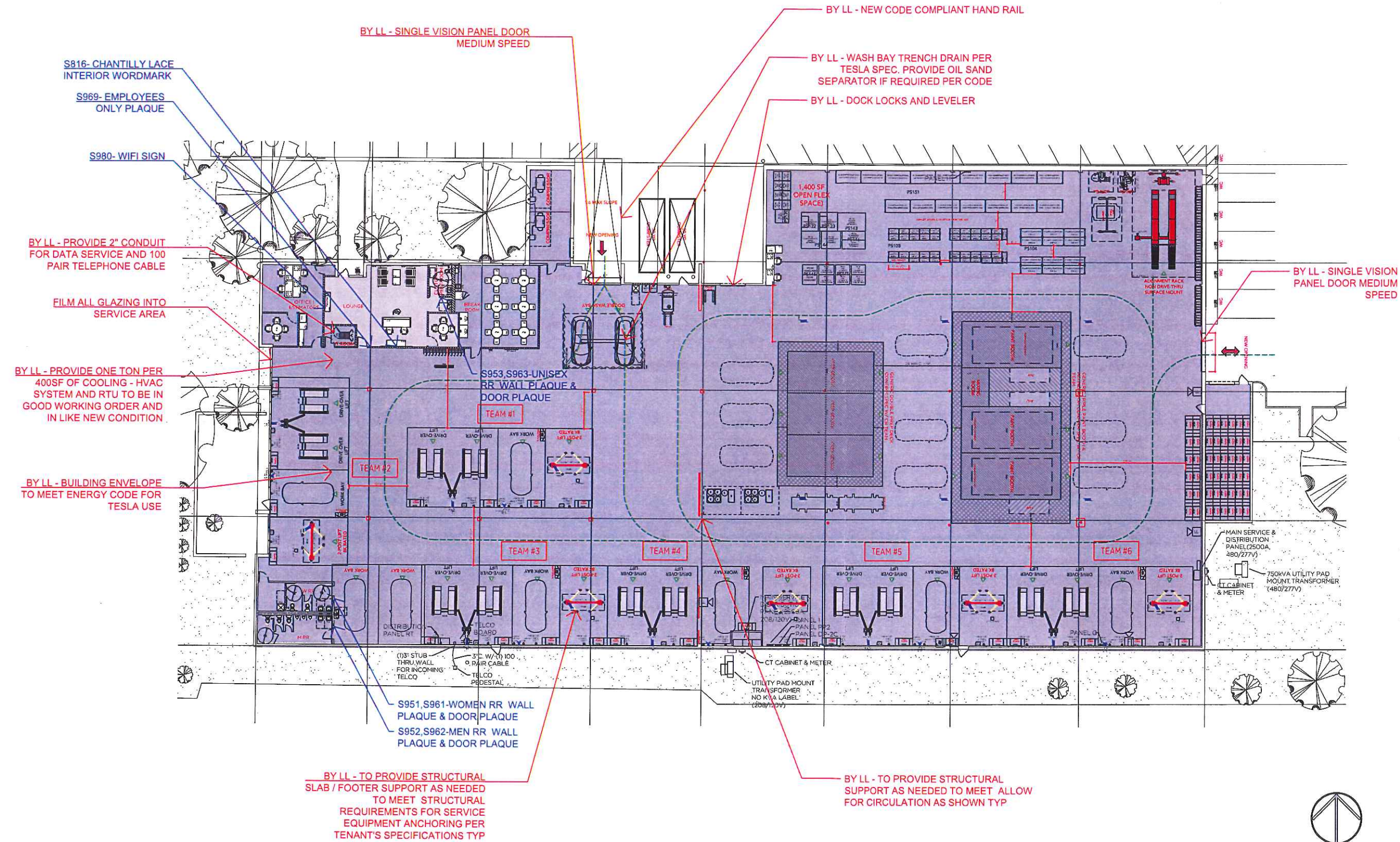
*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COSTS

CHICAGO - BURR RIDGE - COLLISION - COLD CLIMATE

CONCEPT FLOOR PLAN
TRT ID 20157

PARKING SPACES: 91 (24 PUBLIC + 67 SECURED)

Copyright 2021 Tesla Motors, Inc. All rights reserved. Reproduction and commercial distribution without permission is prohibited. CONFIDENTIAL



SPECIAL CONDITIONS:

- ZONING BY LL
- UTILITY UPGRADES BY LL

WORKBAY COUNT

2-POST LIFTS	6
FUTURE 2-POST LIFTS	0
SCISSOR LIFTS	12
OPEN BAYS (SERVICE)	8
	SUBTOTAL
	26
PDI BAYS (SALES)	0
	TOTAL
	26

AREA BREAKDOWN (SF):

GROSS TOTAL:	40,475	SF	-	%
FIRST FLOOR:	40475	SF	-	%
SECOND FLOOR:	NA	SF	-	%
NET TOTAL:	39,298	SF	100	%
SERVICE SHOP:	33081	SF	84	%
PARTS AND STORAGE:	3,998	SF	10	%
LOUNGE:	970	SF	2	%
BOH:	1,249	SF	3	%
SHOWROOM:	NA	SF	#	%
DELIVERY:	NA	SF	#	%
UNBUILT/OTHER:	NA	SF	#	%

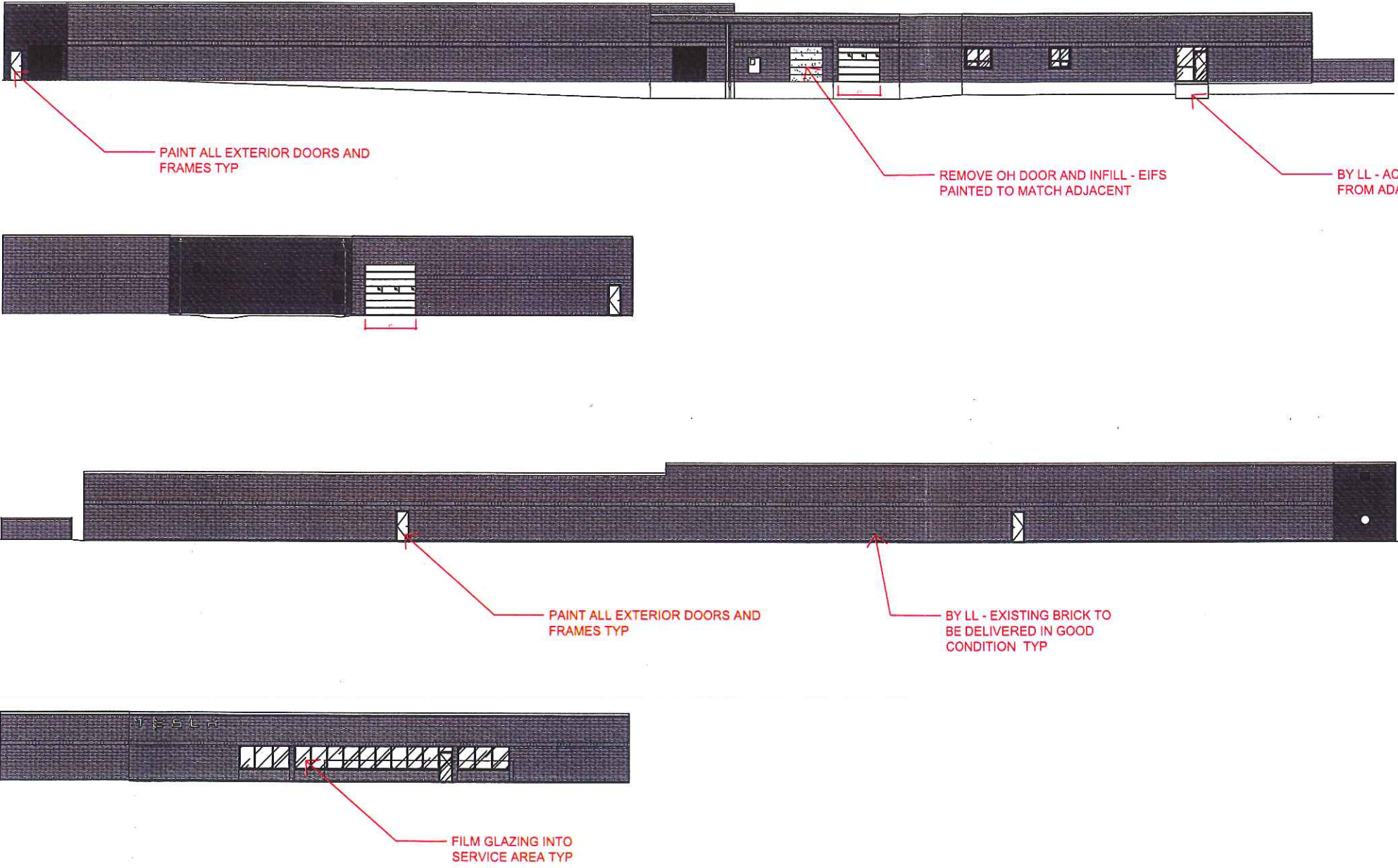
CALE: 1/32" = 1'-0"

September 12, 2022

EXISTING WALL
NEW WALL
SERVICE CIRCULATION
COLLISION REPAIR CIRCULATION
DELIVERY CIRCULATION

*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COS

NA 1 311 SHORE DR BURR RIDGE, IL 1 US



SCOPE OF WORK
TRT ID 20157

BUILDING SHELL (N) (E) FINISH:			NOTES:
PAINTING:	X	-	PAINT EXTERIOR DOORS AND FRAMES

SHOWROOM (N) (E) FINISH:			NOTES:
FLOORING:	-	TILE	-
CEILING:	-	OPEN CEILING	-
LIGHTING:	-	SUSPENDED	-
PAINTING:	-	-	-

LOUNGE (N) (E) FINISH:			NOTES:
FLOORING:	X	-	CARPET -
CEILING:	X	-	ACT -
LIGHTING:	X	-	2 X 2 DROP IN -
PAINTING:	X	-	-

SERVICE (N) (E) FINISH:			NOTES:
FLOORING:	X	-	SEALED CONCRETE -
CEILING:	X	-	OPEN CEILING -
LIGHTING:	X	-	SUSPENDED -
PAINTING:	X	-	WALLS AND CEILINGS

CUSTOMER RR (N) (E) FINISH:			NOTES:
FLOORING:	X	-	TILE -
CEILING:	X	-	GYP -
LIGHTING:	X	-	DOWNLIGHT -
PAINTING:	X	-	-

EMPLOYEE RR (N) (E) FINISH:			NOTES:
FLOORING:	X	-	VCT -
CEILING:	X	-	ACT -
LIGHTING:	X	-	2 X 2 DROP IN -
PAINTING:	X	-	-

OFFICE (N) (E) FINISH:			NOTES:
FLOORING:	X	-	CARPET -
CEILING:	X	-	ACT -
LIGHTING:	X	-	2 X 2 DROP IN -
PAINTING:	X	-	-

BRANDING	QTY	NOTES
WORD MARK - NON ILLUM	1	-
WORD MARK - ILLUM:	1	-
T-FLAG:	-	-
MONUMENT SIGN:	1	-
BLADE SIGN	-	-
SERVICE SIGN:	-	-
WAY FINDING PACKAGE	-	-

SITE WORK		NOTES
DIRECTIONAL ARROWS:	-	-
RAMPS/STAIRS:	X	BY LL
FENCING:	X	BY LL
LANDSCAPING:	X	BY LL
PARKING LOT STRIPING:	X	BY LL
DRAINAGE:	X	BY LL
TRASH ENCLOSURE:	X	BY LL - IF REQUIRED

BUILDING UPGRADES	(LL)	(T)	REPAIR	REPLACE WITH NEW	ADD NEW	NOTES
PANEL UPGRADES:	X	-	X	-	-	IF REQUIRED
RTU:	X	-	-	X	-	REFER TO BRINCO REPORT
UNIT HEATERS:	-	-	-	-	-	
HVAC:	X	-	-	X	-	
NEW TRENCH:	X	-	-	-	X	
OILSAND, WATER SEP.	X	-	-	-	X	IF REQUIRED
NEW ROLL-UP DOORS	X	-	-	-	X	SIZE: 12X12 QTY: 1 SIZE: 10X8 QTY: 1
ELEVATOR	-	-	-	-	-	



Architectural Privacy Fence

HOME / PRODUCTS / FENCING AND ENCLOSURES / **ARCHITECTURAL
PRIVACY FENCE**

PRODUCT INFO



Product Gallery



Product Information

The Berridge Architectural Privacy Fencing utilizes Berridge's Spaceframe 24 gauge metal studs, track and blocking combined with a wide selection of factory produced Berridge panels and 16 gauge posts to create maintenance-free fences that compliment and match any design.

Features:

- Fire resistant and termite proof
- High strength, all steel construction with higher wind rating than alternate products
- Permanent: will not rot, fade, crack or split
- 100% recyclable, produced from 32.9% pre-consumer and post-recyclable material
- Limited wood grain and stucco embossing available

Materials

24 Gauge Steel Spaceframe Components

16 Gauge Galvanized Steel Posts

Specifications

Uses: Fencing

Fence Heights: 4' 2", 6' 2", 8' 2" and 10' 2"

Panel Widths: Vary by panel choice. Available in seven
Berridge 24 gauge panels: Vee-Panel, Flush Seam, Thin
Line, B-6, HS-8/HS-12, or HR-16

Finishes: Vary by panel choice

Fasteners: Interlock with concealed fasteners

Installation

Posts are spaced 10' 2 1/2" O.C. for single posts or 10' 5" O.C. for double posts, in lieu of 8 feet O.C. with wood posts

Vertical interlocking panels with concealed fasteners

Can be installed on level or sloped applications

Get Started With Berridge

RESOURCE CENTER

FIND A REP

GET QUOTE

BERRIDGE MANUFACTURING CO.

Corporate & Sales Headquarters
2610 Harry Wurzbach Road
San Antonio, Texas 78209

(800) 669-0009 Toll Free
(210) 650-3050 Local Calls
(210) 650-0379 Fax

PRODUCTS	+
ARCHITECTS	+
CONTRACTORS	+
RESOURCES	+
PRIMARY NAV	+



- BERRIDGE BRANCHES
- FIND A SALES REP
- JOBS



[Home](#)

[Products](#)

[About](#)

[Blog](#)

[Jobs](#)

[Contact](#)

This Site is updated frequently without notice.

Copyright © 2022 Berridge Manufacturing Co. All rights reserved.

Website By **LEADHUB**



LEGAL NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at **7:00 p.m. on Monday, November 21, 2022**, at Village Hall, 7660 County Line Road, Burr Ridge, Illinois, 60527.

PURPOSE OF HEARING

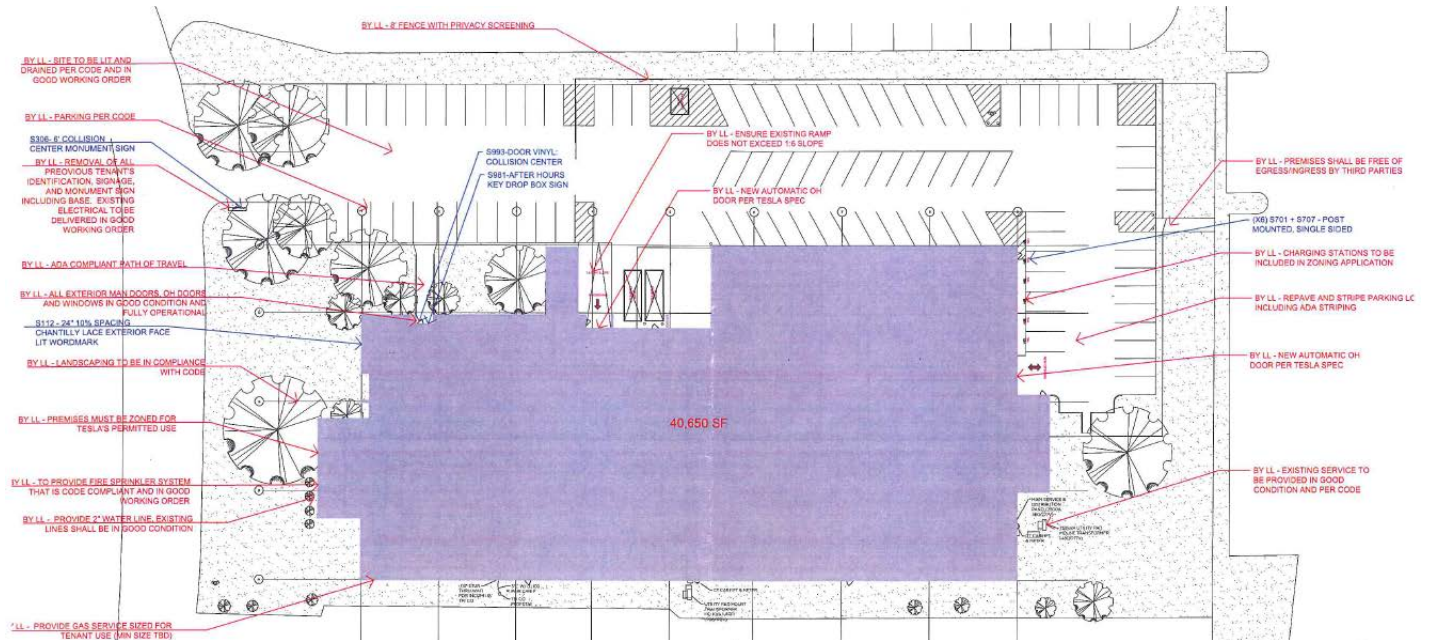
The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider requests by DP Burr Ridge, LLC for special uses for (1) automobile and equipment service and (2) outdoor storage pursuant to Zoning Ordinance section X.F.2; and a special use for a (3) fence in a non-residential district pursuant to Zoning Ordinance section IV.J. The petitioner intends to operate a Tesla Motors, Inc. auto repair center at the site. The petition number and address of this petition is **Z-24-2022: 311 Shore Dr.** and the Permanent Real Estate Index Number is **09-35-205-008-0000**.

Public comment may be provided by individuals who physically attend the meeting at 7660 County Line Road, Burr Ridge, Illinois, 60527. All written public comment wishing to appear in the Plan Commission report shall be provided no later than Tuesday, November 15, 2022. All public comment may be emailed to Community Development Director Janine Farrell (jfarrell@burr-ridge.gov) or mailed to Ms. Farrell's attention at the address above. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

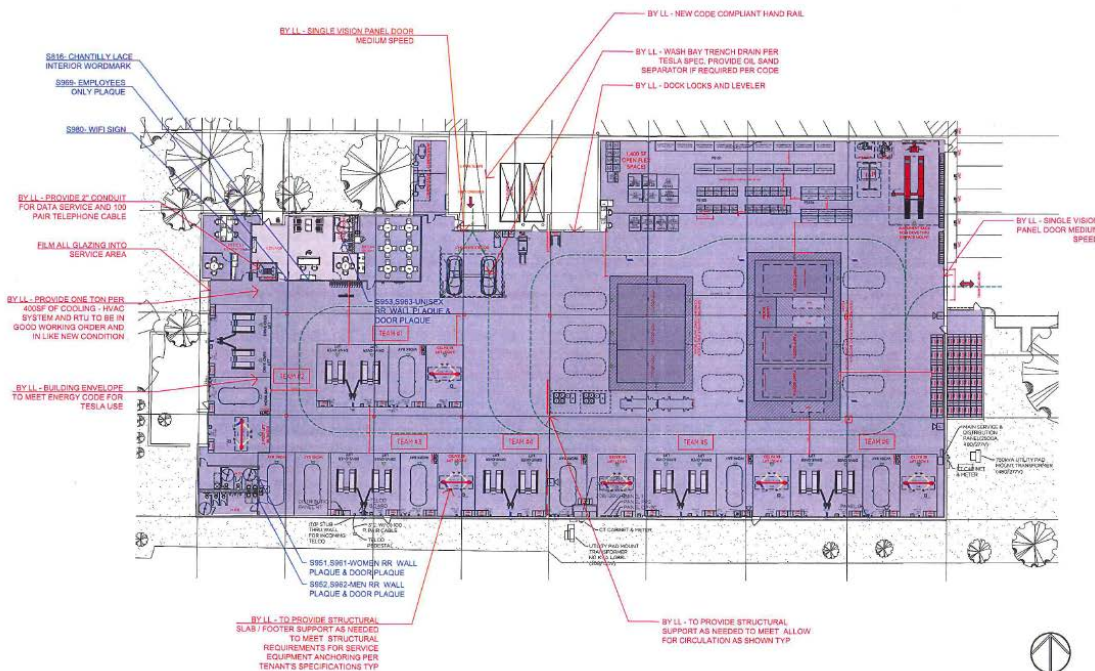
Greg Trzupek, Chairman

MEMBERS: GREG TRUZPEK, MIKE STRATIS, JIM BROLINE, BARRY IRWIN, JOSEPH PETRICH, ENZA PARRELLA, RICHARD MORTON, AND DEANNA MCCOLLIAN.



SPECIAL CONDITIONS:

- ZONING BY LL
- UTILITY UPGRADES BY LL



WORKBAY COUNT			
2-POST LIFTS	6		
FUTURE 2-POST LIFTS	0		
SCISSOR LIFTS	12		
OPEN BAYS (SERVICE)	8		
	SUBTOTAL	26	
POI BAYS (SALES)	0		
	TOTAL	26	

AREA BREAKDOWN (SF):			
GROSS TOTAL:	40,475	SF	%
FIRST FLOOR:	40,475	SF	%
SECOND FLOOR:	NA	SF	%
NET TOTAL:	39,298	SF	100 %
SERVICE SHOP:	3,308	SF	84 %
PARTS AND STORAGE:	3,998	SF	10 %
LOUNGE:	970	SF	2 %
BOH:	1,249	SF	3 %
SHOWROOM:	NA	SF	%
DELIVERY:	NA	SF	%
UNBUILT/OTHER:	NA	SF	%

8040 MADISON LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

8080 MADISON LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

83RD BURR RIDGE PARTNERS
16W030 83RD ST
BURR RIDGE, IL 60527

ALMERO PROPERTIES LLC
16W115 83RD ST
BURR RIDGE, IL 60527

BRONSON & BRATTON
240 SHORE DR
BURR RIDGE, IL 60521

BRONSON & BRATTON INC
220 SHORE DR
BURR RIDGE, IL 60521

CCC BURR RIDGE LLC
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

CHICAGO TITLE 134106
8704 JOHNSTON RD
BURR RIDGE , IL 60527

CMI GROUP LLC
1 RIDGE FARM RD
BURR RIDGE, IL 60527

COMMUNITY SUPPORT SERVICE
9021 OGDEN AVE
BROOKFIELD, IL 60513

COOK FINANCIAL LLC
5600 N RIVER RD APT. 150
ROSEMONT, IL 60018

CTLTC B7900554824
10 S LASALLE ST APT. 2750
CHICAGO, IL 60603

CTLTC BV11880
10 S LASALLE ST APT. 2750
CHICAGO, IL 60603

DAVALOS, ALVARO
9S241 MADISON ST
BURR RIDGE, IL 60527

DONNAN REAL ESTATE I LLC
224 SHORE CT
BURR RIDGE, IL 60527

EMANUELE, MARY ANN
9S201 MADISON ST
BURR RIDGE, IL 60527

FGHREALCO
7700 BRUSH HILL RD APT. 117
BURR RIDGE, IL 60527

G2K LLC
109 SHORE DR
BURR RIDGE, IL 60527

GINGER, BETSY A
15 DEER PATH TR
BURR RIDGE, IL 60527

GROZICH, PHYLLIS M
16W184 89TH ST
BURR RIDGE, IL 60527

HUGHES INVESTMENT PROPERT
16W153 83RD ST
BURR RIDGE, IL 60527

KARLYN BLDG JOINT VENTURE
9450 W BRYN MAWR APT. 550
ROSEMONT, IL 60018

L C & F ENTERPRISES INC
20 WILLOW BAY DR
S BARRINGTON, IL 60010

LA SALLE NATL 113122
3100 DUNDEE RD APT. 116
NORTHBROOK, IL 60062

LM BURR RIDGE HOLDINGS
20 DANADA SQ W APT. 274
WHEATON, IL 60189

MADISON STREET PART LLC
14497 JOHN HUMPHREY APT. 200
ORLAND PARK, IL 60462

MB FINANCIAL BANK
2727 LBJ FREEWAY APT. 806
DALLAS, TX 75234

MC NAUGHTON BUILDERS INC
347 W 83RD ST
BURR RIDGE, IL 60527

MEADEN, THOMAS
16W210 83RD ST
BURR RIDGE, IL 60527

MITCHUM, CATHY A
15W739 82ND ST
BURR RIDGE, IL 60527

MOLFESE, RONALD & SHELLEY
8301 S MADISON ST
BURR RIDGE, IL 60527

MORGAN, VENESSA & DAMIAN
15W752 83RD ST
BURR RIDGE, IL 60527

MRS TRUST
PO BOX 683
MT PROSPECT, IL 60056

ONDRA, KAREL & LETICIA C
15W740 82ND ST
BURR RIDGE, IL 60527

PAYOVICH, MS
PO BOX 3786
OAK BROOK, IL 60522

RITCHEY, RICHARD & L
15W770 82ND ST
BURR RIDGE, IL 60521

ROHNER, RANDALL W & A
15W736 83RD ST
BURR RIDGE, IL 60521

RYLANDER, CHRISTINA M
9S227 MADISON AVE
BURR RIDGE, IL 60527

SPARROWHAWK CHICAGO IND
700 COMMERCE DR APT. 450
OAK BROOK, IL 60523

THEZAN, MARCELLA
15W737 81ST ST
BURR RIDGE, IL 60527

UHLIR, VACLAV & JANA
9S271 MADISON ST
HINSDALE, IL 60521

VIP MORGAN LLC
477 W WRIGHTWOOD AVE
ELMHURST, IL 60126

VK 221 SHORE LLC
9500 BRYN MAWR AVE APT. 340
ROSEMONT, IL 60018

VOZNAK, FRANK
9S255 MADISON ST
BURR RIDGE, IL 60527

WESTINGHOUSE ELECTRIC CO
1000 WESTINGHOUSE DR
CRANBERRY TWP, PA 16066

WOOD CREEK II VENTURE LLC
9450 BRYN MAWR AVE APT. 550
ROSEMONT, IL 60018

YUAN, HE & NING LI
9S177 MADISON ST
BURR RIDGE, IL 60527

ZACCONE BUILDING LLC
535 SANCTARY DR APT. C-107
LONGBOAT KEY, FL 34228



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Janine Farrell, AICP
Community Development Director

DATE: November 21, 2022

RE: Board Report

Since the Commission last met on September 19, 2022, Board of Trustees took the following actions relative to matters forwarded from the Plan Commission on September 26, October 24, and November 14, 2022:

- **Z-21-2022: 510 Village Center Dr. (Garcia/Coopers Hawk Winery & Restaurant); Special Use, PUD Amendment, and Findings of Fact**
 - On September 26, the Board approved an Ordinance amending the outdoor dining area with the Plan Commission recommended conditions.
- **PC-04-2022: 6101 County Line Road (King-Bruwaert House); Minor Change to PUD**
 - On September 26, the Board approved an Ordinance granting the minor change to PUD Ordinance A-834-07-20 to re-align a section of Dragonfly Dr.
- **Z-15-2022: 7950 Drew Ave. (Perino/Jarper Properties)**
 - On September 26, the Board approved final engineering plans, landscaping plans, and building elevations for the Cottages of Drew PUD. The petitioner reverted back to the two-car proposal and was no longer pursuing the three-car option.
- **Z-11-2022: Attached Garage Text Amendment and Findings of Fact**
 - On October 24, the Board approved an Ordinance to define a “garage, attached.” The language was unchanged from the Plan Commission’s recommendation.
- **Z-13-2022: Right-of-Way Sign Text Amendment and Findings of Fact**
 - On November 14, the Board directed staff to prepare an Ordinance amending Sign Ordinance section 55.09 regarding temporary signs. The Board amended the recommended language by the Commission which essentially eliminated signs in the right-of-way except for those by governmental entities.
- **Z-12-2022: Commercial Vehicle Parking in Residential Districts Text Amendment and Findings of Fact**
 - On November 14, the Board directed staff to prepare an Ordinance amending section IV.K.2.e.ii of the Zoning Ordinance defining a commercial vehicle. The language was unchanged from the Plan Commission’s recommendation.

- **NOTES:**

- **10S370 Madison Street (Meier) Annexation:** Although annexations are not reviewed or approved by the Plan Commission, staff wishes to inform the Commission that the Board approved the annexation of 10S370 Madison St., a five-acre single-family residential property.



Permits Applied for September 2022

10/12/2022

Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JDS-22-314	09/15/2022	6301 Elm St	Master Guys Demo 7780 McIntosh Dr. Orland Park IL 60462	Demolition Structure
JPAT-22-302	09/07/2022	265 Lakewood Cir	Kelley Brothers Landscaping 4041 W. 106th Place Oak Lawn IL 60453	Patio
JPAT-22-306	09/01/2022	8447 Heather Ct	TNT 2539 Hawthorne Westchester IL 60154	Patio
JPAT-22-313	09/16/2022	11420 Burr Oak Ln	Beverly Companies 16504 Dixie Hwy. Markham IL 60428	Patio
JPAT-22-318	09/26/2022	11615 White Oak Ct	BMI Service Inc. 924 Central Ave Downers Grove IL 60516	Patio
JPF-22-303	09/09/2022	11204 W 73rd Pl	Illinois Fence Company 15255 94th Ave Orland Park IL 60462	Fence Permit
JPF-22-322	09/29/2022	1125 Woodview Rd	Cedar Mountain Fence Co. 23523 W. Schultz St Plainfield IL 60585	Fence Permit
JRAD-22-324	09/29/2022	7611 Hamilton Ave		Residential Addition
JRAL-22-299	09/01/2022	8312 Clyndervan Rd	Riordan & Murphy 15811 Annico Dr #2 Homer Glen IL 60491	Right-of-Way



Permits Applied for September 2022

10/12/2022

Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JCA-22-301	09/01/2022	510 Village Center Dr.	International Contractor Inc 1 Mid America Plaza 7th Fl Oak Brook Terrace IL 60181	Com Alteration
JCA-22-317	09/27/2022	563 Village Center Dr	Blackbird Construction 14400 South Humphey Blvd Orland Park IL 60462	Com Alteration
JCA-22-319	09/26/2022	16W 30 83RD ST	Clennon Electric, Inc P.O. Box 368 Wilmington IL 60481	Com Alteration
JCMSC-22-310	09/14/2022	1000 Village Center Dr.	Northside Mechanical 1155 Starwood Pass Lake In The Hills IL 60156	Commercial Miscellaneous
JCNC-22-320	09/27/2022	7500 Willow Springs Rd		Com New Construction
JCPE-22-307	09/14/2022	570 Village Center Dr.	Samuel Garland 6827 W Hobart Ave Chicago IL 60631	Com Electrical Permit
JCPP-22-311	09/14/2022	15W 122 South Frontage Rd.	Tri County Plumbing and Backflow LLC 5777 Graham Rd. Waterman IL 60556	Com Plumbing Permit
JDEK-22-312	09/14/2022	155 Pheasant Hollow Dr	LEW Construction 260 Saint Andrews Dr Bolingbrook IL 60440	Deck
JDEK-22-323	09/29/2022	8300 County Line Rd	Home For Life Advantage 769 Heartland Dr Sugar Grove IL 60554	Deck

10/12/2022

Permits Applied for September 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JRAL-22-300	09/01/2022	1000 Village Center Dr. #215	Riordan & Murphy 15811 Annico Dr #2 Homer Glen IL 60491	Residential Alteration
JRAL-22-304	09/12/2022	2 Bridget Ct	Kitchen Pros Remodeling 64 Orland Sq Dr, Suite 312 Orland Park IL 60462	Residential Alteration
JRAL-22-315	09/19/2022	ROWs Ck Cty Locations	Directional Construction Services 440 S Dartmoor Dr Crystal Lake IL 60014	Right-of-Way
JRAL-22-316	09/19/2022	ROWs DuPage Locations	Directional Construction Services 440 S Dartmoor Dr Crystal Lake IL 60014	Right-of-Way
JRAL-22-321	09/28/2022	1000 Village Center Dr.	Lakewood Paving Co. 10748 S. Central Ave. Chicago Ridge IL 60415	Right-of-Way
JRAL-22-325	09/29/2022	ROWs DuPage Locations	ComEd Engineering Dept. 1910 S. Briggs St. Joliet IL 60433	Right-of-Way
JRDB-22-305	09/09/2022	8124 Park Ave	Skik Enterprises Inc 8919 Odell Bridgeview IL 60455	Residential Detached Building
JRPE-22-308	09/13/2022	8123 Garfield Ave	Electric Work Force 5620 St. Charles Rd. Berkeley IL 60163	Res Electrical Permit
JRPP-22-309	09/15/2022	8119 Garfield Ave	The Real Seal LLC 624 Estes Ave. Schaumburg IL 60193	Res Plumbing Permit

TOTAL: 27



Permits Issued September 2022

10/17/2022

Permit Applicant	Permit Number	Date Issued	Property Address	Description	Value	Sq. Feet
Armor Construction Inc	JCMSC-22-171	09/01/2022	412 Rockwell Ct	Commercial Miscellaneous	60,000	
Pablo Peralta	JCMSC-22-173	09/16/2022	16W 30 83RD ST	Commercial Miscellaneous	1,000,000	
Murphy Construction Services	JCMSC-22-289	09/08/2022	375 83rd St	Commercial Miscellaneous	29,500	15,900
Midwest Mechanical	JCPM-22-245	09/01/2022	8300 Madison St.	Com Mechanical Permit	33,380	
MVP Fire Systems, Inc	JCPM-22-266	09/14/2022	720 Village Center Dr.	Com Mechanical Permit	62,875	
Tri County Plumbing and Backflow	JCPP-22-311	09/26/2022	15W 122 South Frontage Rd.	Com Plumbing Permit		
Dan Autullo	JDEK-22-276	09/09/2022	8750 Grant St	Deck	6,000	266
LEW Construction	JDEK-22-293	09/19/2022	181 Pheasant Hollow Dr	Deck	10,000	92
LEW Construction	JDEK-22-294	09/19/2022	179 Pheasant Hollow Dr	Deck	10,000	80
LEW Construction	JDEK-22-295	09/19/2022	173 Pheasant Hollow Dr	Deck	10,000	80
LEW Construction	JDEK-22-296	09/19/2022	175 Pheasant Hollow Dr	Deck	14,000	120
LEW Construction	JDEK-22-297	09/19/2022	165 Pheasant Hollow Dr	Deck	14,000	120
Generator Technologies	JGEN-22-247	09/28/2022	491 Leonard Ln	Generator		
Grant & Power Landscaping Inc	JPAT-19-120	06/04/2019	8219 Windsor Ct	Patio		
Celtic Development & Construction	JPAT-22-279	09/09/2022	133 Carriage Way Dr	Patio	25,000	
Vacchiano, Emanuel & Maria	JPAT-22-286	09/09/2022	8110 Woodside Ln	Patio	15,000	259
Gregorio's Landscaping, Brick Pav	JPAT-22-298	09/21/2022	1003 Kenmare Dr	Patio	5,000	
TNT	JPAT-22-306	09/21/2022	8447 Heather Ct	Patio	6,080	300
Illinois Fence Company	JPF-22-303	09/20/2022	11204 W 73rd Pl	Fence Permit	6,600	183
Premier Pools & Spas	JPPL-22-258	09/13/2022	24 Deer Path Trail	Pool	125,500	800

Square footage shown on this report reflects the total for calculating the maximum floor area permitted.

The construction value is based on an estimated value of \$150 per sq. ft. for residential new & addition construction and \$75 per sq. ft. for residential alterations.

Construction value or square footage will not be reflected for miscellaneous permits such as: decks, fences, pools, driveways, etc.

Permits Issued September 2022



10/17/2022

Permit Applicant	Permit Number	Date Issued	Property Address	Description	Value	Sq. Feet
Fox Pool Chicago	JPPL-22-270	09/13/2022	536 Conway Ct	Pool	90,000	560
Ancient City Contracting	JRAD-22-191	09/02/2022	128 W 59th ST	Residential Addition		12,936
Bradford & Kent Builders	JRAL-22-263	09/01/2022	8005 Hamilton AVE	Residential Alteration		698
Dressler Block Concrete	JRAL-22-274	09/06/2022	300 93rd Pl	Right-of-Way	14,000	1,436
ComEd	JRAL-22-275	09/02/2022	ROWs DuPage Locations	Right-of-Way		
SSE Mechanical	JRAL-22-278	09/28/2022	143 Tower Dr	Right-of-Way		
Home For Life Advantage	JRAL-22-280	09/01/2022	8300 County Line Rd	Residential Alteration	45,574	105
JBN Builders	JRAL-22-281	09/01/2022	11729 Woodside Ct	Residential Alteration		39
Bob Gedvilas	JRAL-22-282	09/02/2022	11554 Ridgewood Ln	Right-of-Way	14,000	1,335
Ubee's Brick Paving & Concrete	JRAL-22-288	09/02/2022	1 Ambriance	Right-of-Way	123,130	
Alliance Construction Services	JRAL-22-292	09/28/2022	8601 Johnston Rd	Residential Alteration		2,527
Riordan & Murphy	JRAL-22-299	09/13/2022	8312 Clyndervan Rd	Right-of-Way	16,950	
Riordan & Murphy	JRAL-22-300	09/22/2022	1000 Village Center Dr. #215	Residential Alteration		425
Kitchen Pros Remodeling	JRAL-22-304	09/14/2022	2 Bridget Ct	Residential Alteration		
Directional Construction Services	JRAL-22-315	09/22/2022	ROWs Ck Cty Locations	Right-of-Way	4,265	
Directional Construction Services	JRAL-22-316	09/22/2022	ROWs DuPage Locations	Right-of-Way		
Home Depot	JRDB-22-291	09/20/2022	11306 W 75th St	Residential Detached Building		192
Electric Work Force	JRPE-22-308	09/26/2022	8123 Garfield Ave	Res Electrical Permit		
RMD Construction	JRPF-22-283	09/09/2022	7310 Hamilton Av	Pool and Fence	86,000	480
The Real Seal LLC	JRPP-22-309	09/26/2022	8119 Garfield Ave	Res Plumbing Permit		

Square footage shown on this report reflects the total for calculating the maximum floor area permitted.

The construction value is based on an estimated value of \$150 per sq. ft. for residential new & addition construction and \$75 per sq. ft. for residential alterations.

Construction value or square footage will not be reflected for miscellaneous permits such as: decks, fences, pools, driveways, etc.



Permits Issued September 2022

10/17/2022

Permit Applicant	Permit Number	Date Issued	Property Address	Description	Value	Sq. Feet
Glenn Grozich	JRSF-22-251	09/20/2022	105 Kraml Dr	Residential New Single Family		5,071
TOTAL:	41					

Square footage shown on this report reflects the total for calculating the maximum floor area permitted.

The construction value is based on an estimated value of \$150 per sq. ft. for residential new & addition construction and \$75 per sq. ft. for residential alterations.

Construction value or square footage will not be reflected for miscellaneous permits such as: decks, fences, pools, driveways, etc.

Occupancy Certificates Issued September 2022

10/13/22

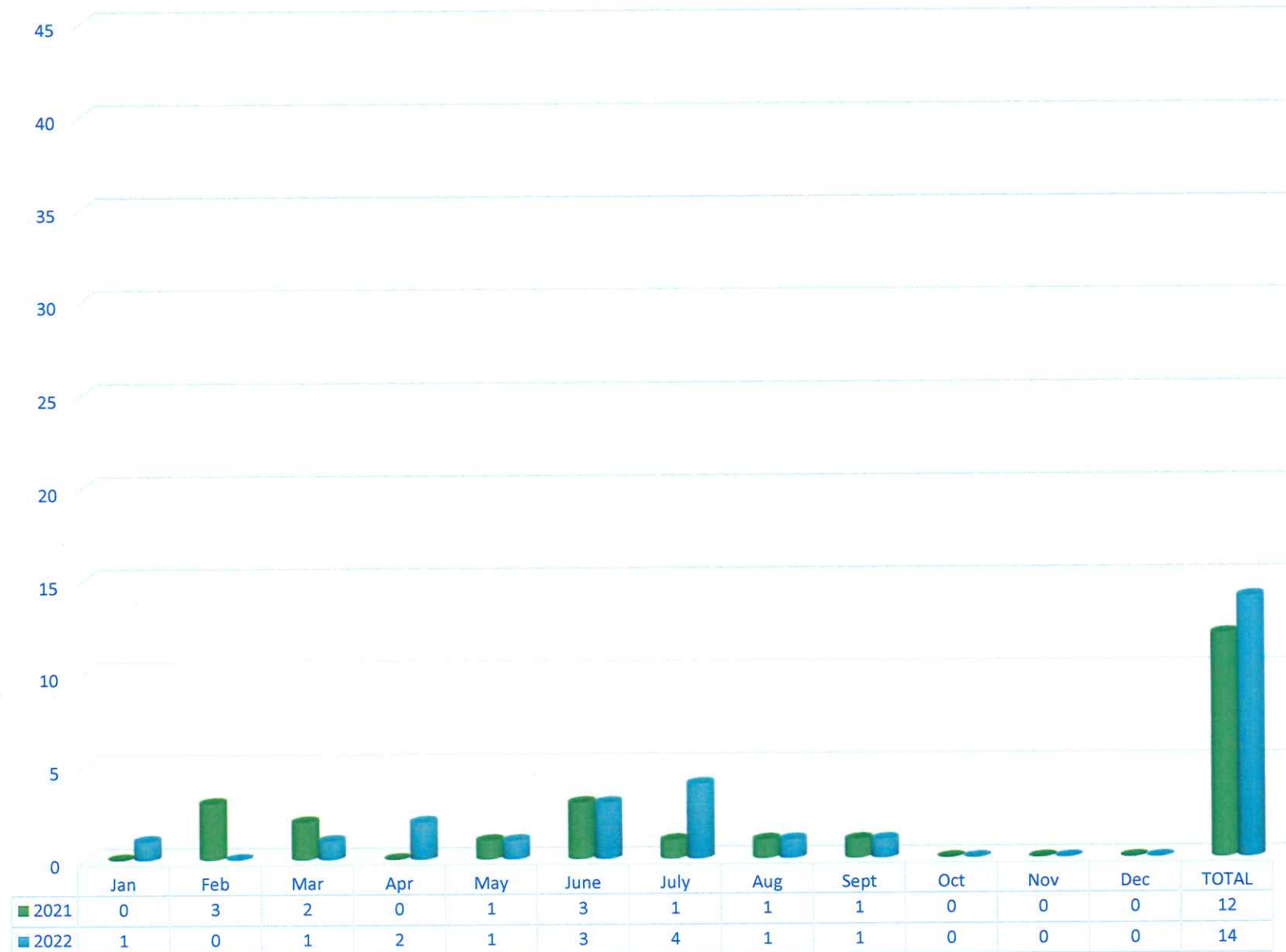
CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF22020	09/01/22	Olive Tree	503 Village Center Dr.
OF22021	09/16/22	Budz, Joe	115 Glenmora Dr

CONSTRUCTION VALUE OF BUILDING PERMITS - MONTHLY SURVEY 2022

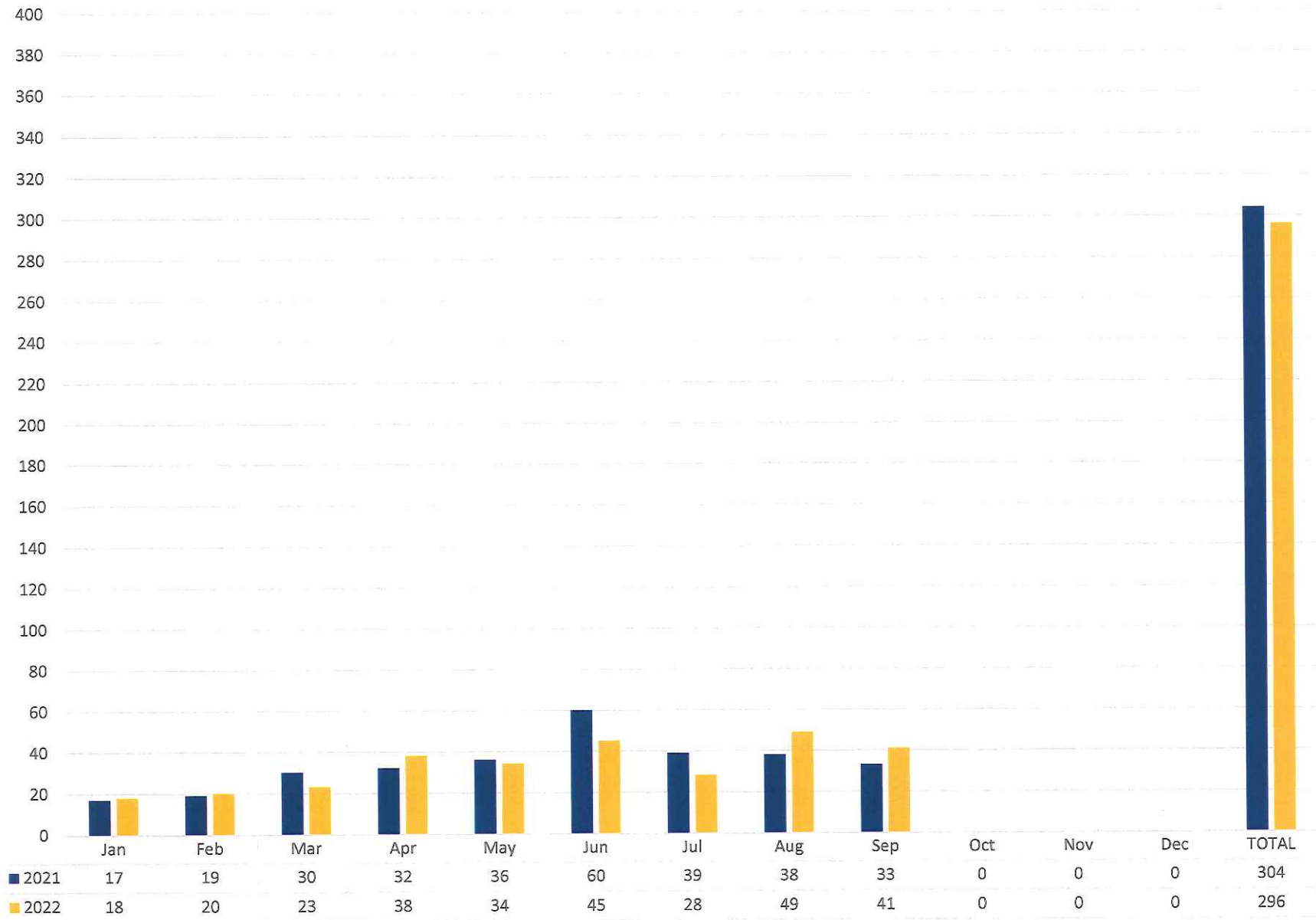
(Does not include miscellaneous Permits)

MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$607,950	\$170,800		\$488,775	\$1,267,525
	[1]	[3]		[1]	
FEBRUARY		\$366,385		\$31,501	\$397,886
		[5]		[1]	
MARCH	\$600,000	\$672,000		\$5,978,425	\$7,250,425
	[1]	[6]		[4]	
APRIL	\$2,000,000	\$109,075		\$310,000	\$2,419,075
	[2]	[5]		[2]	
MAY	\$500,000	\$53,417			\$553,417
	[1]	[2]		[]	
JUNE	\$2,850,000	\$678,530			\$3,528,530
	[3]	[6]		[1]	
JULY	\$3,971,050	\$30,675		\$85,000	\$4,086,725
	[4]	[2]		[1]	
AUGUST	\$2,000,000	\$209,800		\$40,000	\$2,249,800
	[1]	[11]		[]	
SEPTEMBER	\$700,000	\$565,000			\$1,265,000
	[1]	[7]		[]	
OCTOBER					\$0
	[]	[]		[]	
NOVEMBER					\$0
	[]	[]		[]	
DECEMBER					\$0
	[]	[]		[]	
2022 TOTAL	\$13,229,000	\$2,855,682	\$0	\$6,933,701	\$23,018,383
	[14]	[47]	[]	[10]	

Village of Burr Ridge New Housing Permits 2021 Compared to 2022



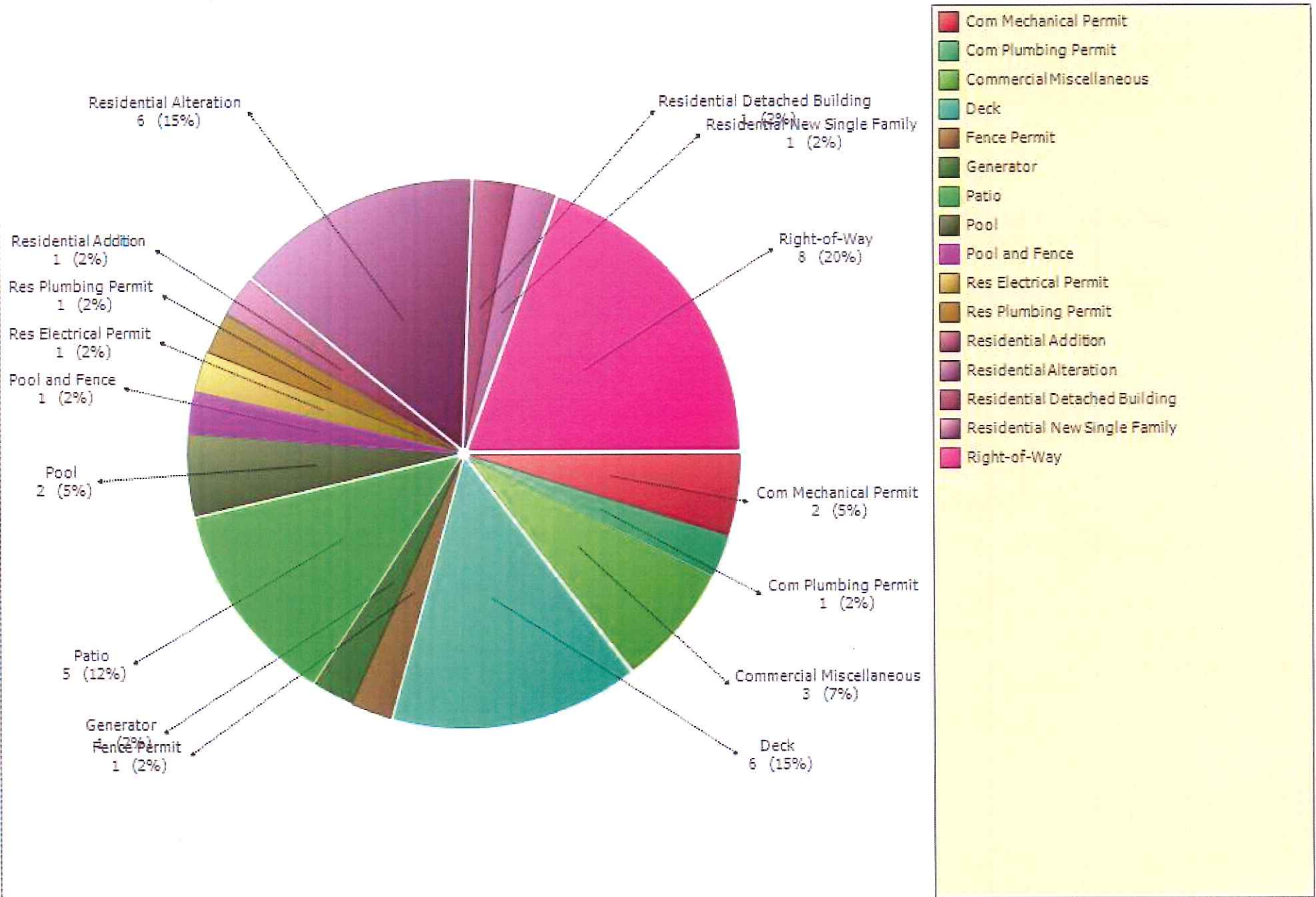
Village of Burr Ridge Building Permits Issued 2021 Compared to 2022



Breakdown of Projects by Project Type

Current Chart Filter: All Records, Permit.DateIssued Between 09/01/2022 AND 09/30/2022

Projects by Project Type



11/09/2022

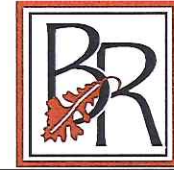
Permits Applied for October 2022



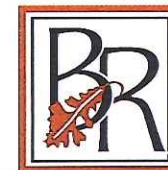
Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JCA-22-335	10/06/2022	7425 Wolf Rd	Copenhaver Construction 75 Koppie Dr. Gilberts IL 60136	Com Alteration
JCA-22-352	10/12/2022	413 Rockwell Ct	Grand Electric Sign 601 W. New York St. Aurora IL 60506	Com Alteration
JCMSC-22-337	10/06/2022	7045 High Grove Blvd	Irish Castle Paving 7701 W 99TH ST Hickory Hills IL 60457	Comm ROW
JCNC-22-343	10/10/2022	9115 Kingery Hwy	TBD	Com New Construction
JCPE-22-351	10/17/2022	345 W 81st St	Caval Electric 3530 W. 80th Pl. Chicago IL 60652	Com Electrical Permit
JDEK-22-342	10/06/2022	7661 Forest Hill Rd	Woodcare DBA Deck Tech 1615 S. 55th Ave Cicero IL 60804	Deck
JDEK-22-348	10/13/2022	161 Pheasant Hollow Dr	LEW Construction 260 Saint Andrews Dr Bolingbrook IL 60440	Deck
JDEK-22-361	10/27/2022	8473 Carlisle Ct	Pep Deck 212 Shorewood Dr. Glendale Heights IL 60139	Deck
JELV-22-360	10/25/2022	16W 485 South Frontage RD	Colley Elevator Co. 226 William St. Bensenville IL 60106	Elevator

11/09/2022

Permits Applied for October 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JPF-22-328	10/04/2022	310 Devon Dr	America's Backyard 1909 Briggs St. Joliet IL 60433	Fence Permit
JPF-22-345	10/12/2022	8461 Clynderven Rd	Illinois Fence Company 15255 94th Ave Orland Park IL 60462	Fence Permit
JPF-22-350	10/17/2022	8412 Clynderven Rd	Oak Ridge Fence and Glass Inc 2044 W. 163rd. St. Ste #112 Markham IL 60428	Fence Permit
JPF-22-353	10/20/2022	2 Hidden Lake Dr	Peerless Enterprises Inc. DBA Freeman 200 W. River Rd St. Charles IL 60174	Fence Permit
JPF-22-364	10/28/2022	11615 White Oak Ct	BMI Service Inc. 924 Central Ave Downers Grove IL 60516	Fence Permit
JRAL-22-326	10/04/2022	11420 Burr Oak Ln	John Zarenga Asphalt and Paving 535 Ashland Ave Chicago Heights IL 60411	Right-of-Way
JRAL-22-327	10/04/2022	6723 Fieldstone Dr	Red Oak Builders 594 Gray St. Geneva IL 60134	Residential Alteration
JRAL-22-329	10/04/2022	6555 Shady Lane	Bright Planet Solar 2400 Davey Rd Woodridge IL 60517	Residential Alteration
JRAL-22-330	10/04/2022	ROWs Ck Cty Locations	Talon Communications 305 Amston Ct. Oswego IL 60543	Right-of-Way



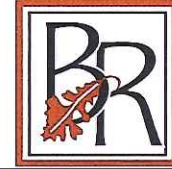
Permits Applied for October 2022

11/09/2022

Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JRAL-22-332	10/06/2022	8123 Garfield Ave		Residential Alteration
JRAL-22-336	10/06/2022	7528 Ridgewood Ln	LaMantia Design & Remodeling 20 E. Ogden Av. Hinsdale IL 60521	Residential Alteration
JRAL-22-338	10/07/2022	6805 County Line Ln	Stevan Stosic 25 Deerfield Rd. Deerfield IL 60015	Residential Alteration
JRAL-22-339	10/07/2022	11737 Woodside Ct	Shamrock Custom Builders 7S204 Wild Cherry Rd Naperville IL 60540	Residential Alteration
JRAL-22-340	10/06/2022	6000 Sedgley Ct	LaMantia Design & Remodeling 20 E. Ogden Av. Hinsdale IL 60521	Residential Alteration
JRAL-22-341	10/07/2022	ROWs Ck Cty Locations	LTS Managed Technical Services 723 N. Oaklawn Ave Elmhurst IL 60126	Right-of-Way
JRAL-22-344	10/11/2022	ROWs DuPage Locations	Directional Construction Services 440 S Dartmoor Dr Crystal Lake IL 60014	Right-of-Way
JRAL-22-346	10/11/2022	123 Kraml Dr	Wonderland Masonry 552 Lynn Ct. Glendale Heights IL 60139	Residential Alteration
JRAL-22-354	10/21/2022	6235 Grant St	Always Ready Repair 8755 W. 131st St. Palos Park IL 60464	Residential Alteration

11/09/2022

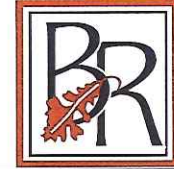
Permits Applied for October 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JRAL-22-356	10/24/2022	1469 Tomlin Dr	Dressler Block Concrete 13152 Meadow Lane Plainfield IL 60544	Right-of-Way
JRAL-22-358	10/26/2022	ROWs Ck Cty Locations	PirTano Construction Co. 1766 Armitage Ct. Addison IL 60101	Right-of-Way
JRAL-22-362	10/27/2022	7200 Fair Elms Ave	Noble Blacktop Corp 3 Grant Sq., Ste 162 Hinsdale IL 60521	Right-of-Way
JRAL-22-363	10/28/2022	8436 Clyndervan Rd	Raspante Dream Builders 12744 Berkshire Dr Mokena IL 60448	Residential Alteration
JRAL-22-365	10/31/2022	11215 W 71st St	TBD	Residential Alteration
JRPE-22-331	10/04/2022	7215 Lakeside CIR	Peter Aguilera 28W706 Ferry Road Warrenville IL 60555	Res Electrical Permit
JRPE-22-355	10/19/2022	136 Carriage Way Dr C108	Leon Electric 5518 N. Mason Ave Chicago IL 60630	Res Electrical Permit
JRPE-22-357	10/25/2022	11615 White Oak Ct	BMI Service Inc. 924 Central Ave Downers Grove IL 60516	Res Electrical Permit
JRPP-22-333	10/06/2022	1456 Garywood Dr	Roto Rooter 2300 Hammond Dr. Schaumburg IL 60173	Res Plumbing Permit

11/09/2022

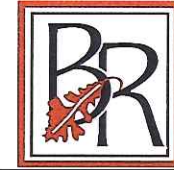
Permits Applied for October 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info	Description
JRPP-22-334	10/05/2022	46 Thornhill Ct.	Tom Callahan Plumbing Lemont IL 60439	Res Plumbing Permit
JRPP-22-359	10/25/2022	7644 Ridgewood Ln	Power Plumbing Heating & Cooling 8800 47th St. Brookfield IL 60513	Res Plumbing Permit
JRSF-22-349	10/14/2022	7 Cascade Ct W	Coyle Construction Co. 10551 Stone Hill Drive Orland Park IL 60467	Residential New Single Family
TOTAL:	39			

11/10/2022

Permits Issued October 2022



Permit Applicant	Permit Number	Date Issued	Property Address	Description	Value	Sq. Feet
TBD	JCA-22-221	10/03/2022	16W 30 83RD ST	Com Alteration	600,000	5,727
Castelli Construction, Inc.	JCA-22-238	10/10/2022	450 Village Center Dr.	Com Alteration	195,000	2,862
Construction Development Inc	JCA-22-290	10/13/2022	312 Burr Ridge Pkwy	Com Alteration	87,000	1,300
Pablo Peralta	JCA-22-319	10/05/2022	16W 30 83RD ST	Com Alteration	300,000	
Irish Castle Paving	JCMSC-22-337	10/10/2022	7045 High Grove Blvd	Comm ROW	19,950	5,700
Pepper Construction	JCNC-22-115	10/17/2022	6101 County Line Rd	Com New Construction	29,000,000	114,870
Caval Electric	JCPE-22-351	10/20/2022	345 W 81st St	Com Electrical Permit		
LEW Construction	JDEK-22-312	10/07/2022	155 Pheasant Hollow Dr	Deck	14,000	64
Home For Life Advantage	JDEK-22-323	10/11/2022	8300 County Line Rd	Deck		148
Woodcare DBA Deck Tech	JDEK-22-342	10/19/2022	7661 Forest Hill Rd	Deck	12,995	105
Colley Elevator Co.	JELV-22-360	10/28/2022	16W 485 South Frontage RD	Elevator		
K & K Design	JPAT-22-262	10/12/2022	7381 Madison St	Patio	4,782	
Beverly Companies	JPAT-22-313	10/07/2022	11420 Burr Oak Ln	Patio		
BMI Service Inc.	JPAT-22-318	10/07/2022	11615 White Oak Ct	Patio	55,350	1,800
Cedar Mountain Fence Co.	JPF-22-322	10/04/2022	1125 Woodview Rd	Fence Permit	5,092	122
Aureliusz DeSimone	JPF-22-328	10/13/2022	310 Devon Dr	Fence Permit		
Matthew Engelman	JPF-22-345	10/20/2022	8461 Clynderven Rd	Fence Permit	8,316	264
Ilea, Monica	JRAD-22-052	10/06/2022	675 82nd St	Residential Addition		4,068
Milan Vasic	JRAL-22-201	10/05/2022	124 Carriage Way Dr	Residential Alteration		96
Top Design Inc.	JRAL-22-232	10/11/2022	8497 Arrowhead Farm Dr	Right-of-Way		

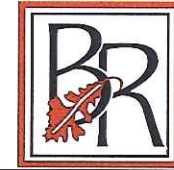
Square footage shown on this report reflects the total for calculating the maximum floor area permitted.

The construction value is based on an estimated value of \$150 per sq. ft. for residential new & addition construction and \$75 per sq. ft. for residential alterations.

Construction value or square footage will not be reflected for miscellaneous permits such as: decks, fences, pools, driveways, etc.

11/10/2022

Permits Issued October 2022



Permit Applicant	Permit Number	Date Issued	Property Address	Description	Value	Sq. Feet
Lakewood Paving Co.	JRAL-22-321	10/04/2022	1000 Village Center Dr.	Right-of-Way	39,852	13,196
Judy Rodriquez	JRAL-22-325	10/31/2022	ROWs DuPage Locations	Right-of-Way		
Red Oak Builders	JRAL-22-327	10/19/2022	6723 Fieldstone Dr	Residential Alteration		256
Julia Carter	JRAL-22-329	10/27/2022	6555 Shady Lane	Residential Alteration	70,400	
Olivia Carlin	JRAL-22-330	10/10/2022	ROWs Ck Cty Locations	Right-of-Way		
Shamrock Custom Builders	JRAL-22-339	10/28/2022	11737 Woodside Ct	Residential Alteration		45
Frank Casciaro	JRAL-22-340	10/20/2022	6000 Sedgley Ct	Residential Alteration	57,000	199
LTS Managed Technical Services	JRAL-22-341	10/12/2022	ROWs Ck Cty Locations	Right-of-Way		
Olivia Carlin	JRAL-22-344	10/13/2022	ROWs DuPage Locations	Right-of-Way		
Steven and Soma Artino	JRAL-22-346	10/25/2022	123 Kraml Dr	Residential Alteration		60
Always Ready Repair	JRAL-22-354	10/26/2022	6235 Grant St	Residential Alteration		
Skik Enterprises Inc	JRDB-22-305	10/07/2022	8124 Park Ave	Residential Detached Building	12,400	580
Leon Electric	JRPE-22-355	10/31/2022	136 Carriage Way Dr C108	Res Electrical Permit		
TOTAL:	33					

Square footage shown on this report reflects the total for calculating the maximum floor area permitted.

The construction value is based on an estimated value of \$150 per sq. ft. for residential new & addition construction and \$75 per sq. ft. for residential alterations.

Construction value or square footage will not be reflected for miscellaneous permits such as: decks, fences, pools, driveways, etc.

Occupancy Certificates Issued October 2022

11/10/22

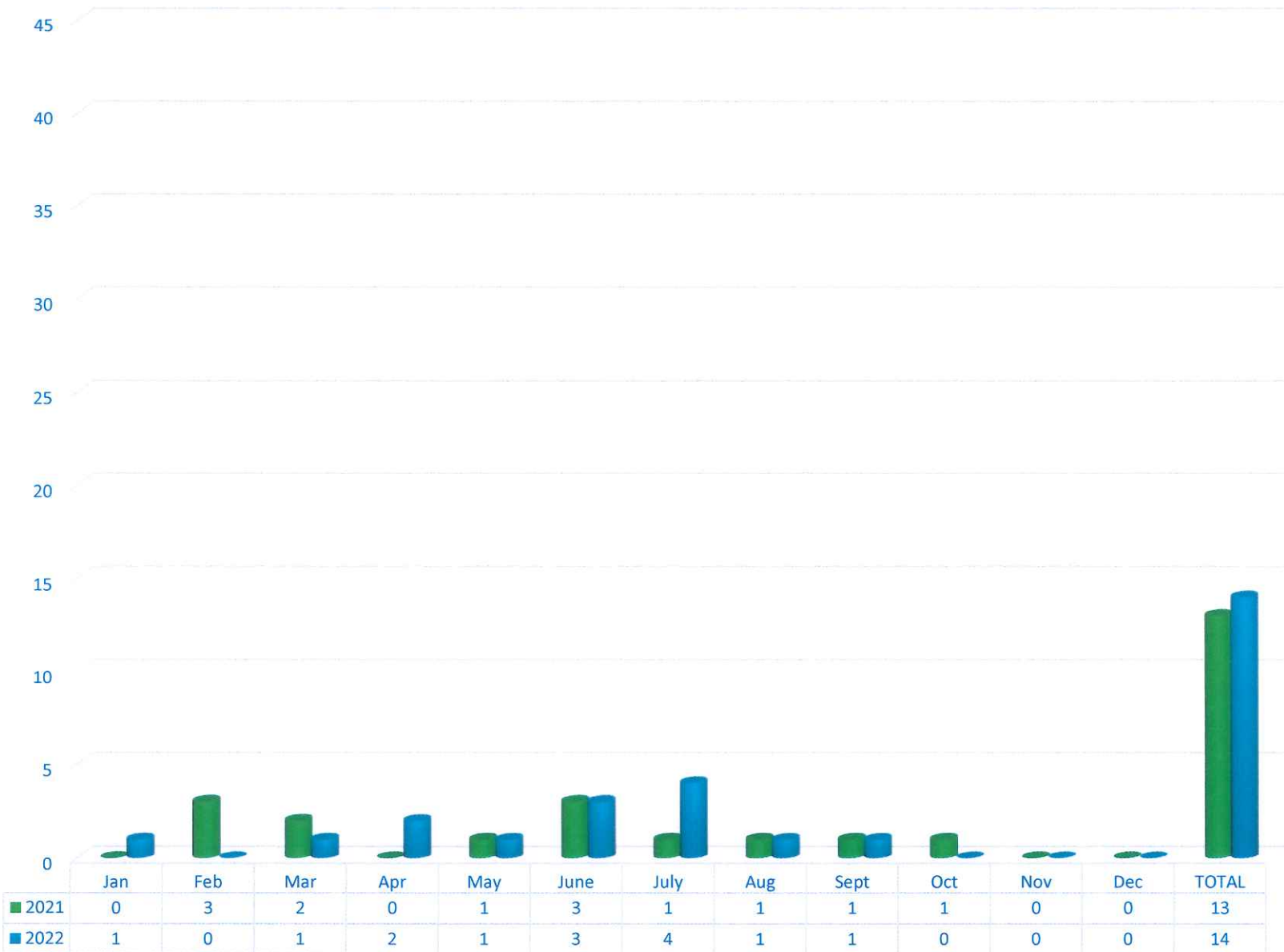
CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF22022	10/04/22	Zivadin Mihalovic	7875 Wolf RD

CONSTRUCTION VALUE OF BUILDING PERMITS - MONTHLY SURVEY 2022

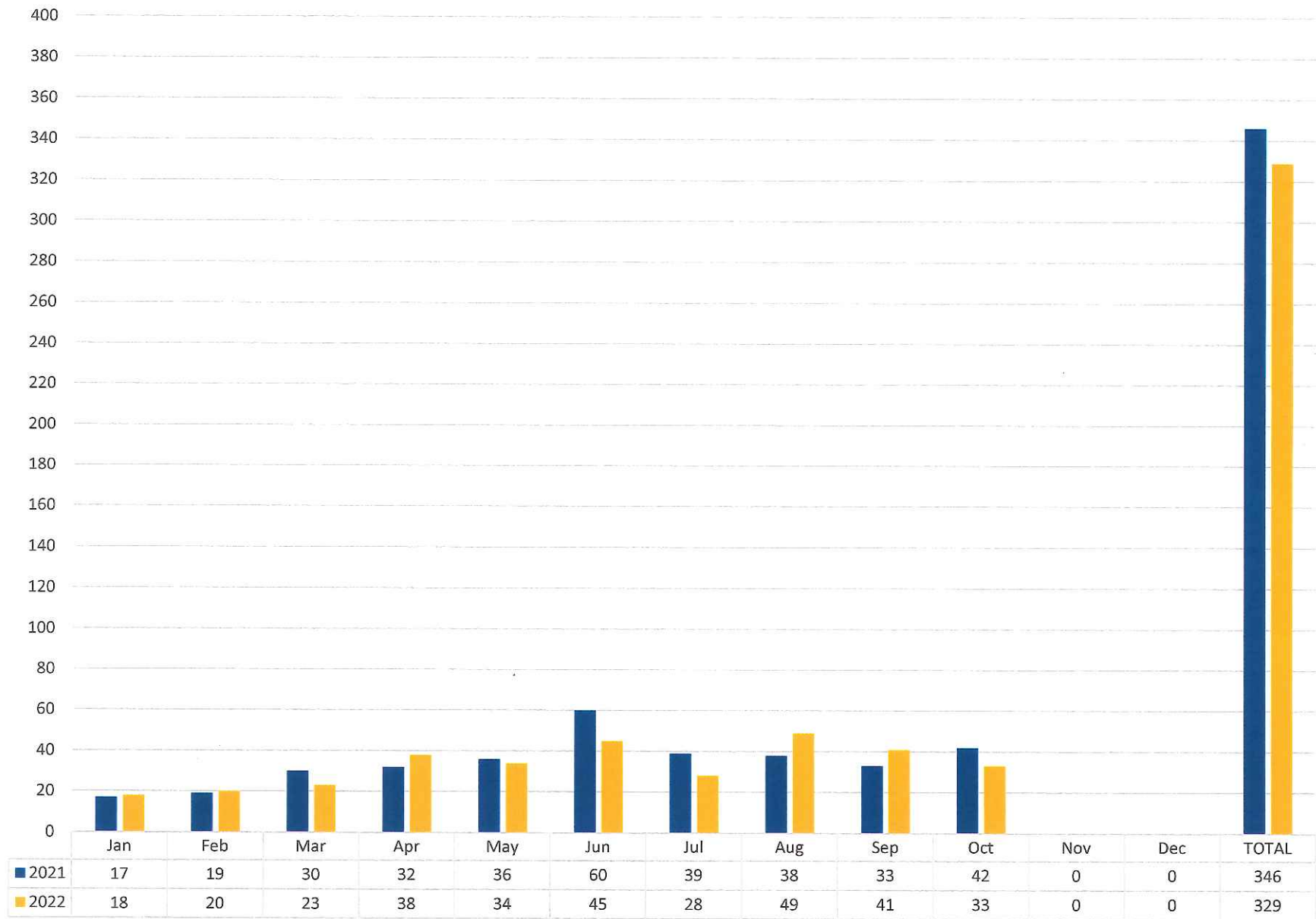
(Does not include miscellaneous Permits)

MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$607,950	\$170,800		\$488,775	\$1,267,525
	[1]	[3]		[1]	
FEBRUARY		\$366,385		\$31,501	\$397,886
		[5]		[1]	
MARCH	\$600,000	\$672,000		\$5,978,425	\$7,250,425
	[1]	[6]		[4]	
APRIL	\$2,000,000	\$109,075		\$310,000	\$2,419,075
	[2]	[5]		[2]	
MAY	\$500,000	\$53,417			\$553,417
	[1]	[2]		[]	
JUNE	\$2,850,000	\$678,530			\$3,528,530
	[3]	[6]		[1]	
JULY	\$3,971,050	\$30,675		\$85,000	\$4,086,725
	[4]	[2]		[1]	
AUGUST	\$2,000,000	\$209,800		\$40,000	\$2,249,800
	[1]	[11]		[]	
SEPTEMBER	\$700,000	\$565,000			\$1,265,000
	[1]	[7]		[]	
OCTOBER		\$479,175	\$29,000,000	\$1,182,000	\$30,661,175
	[]	[8]	[1]	[4]	
NOVEMBER					\$0
	[]	[]		[]	
DECEMBER					\$0
	[]	[]		[]	
2022 TOTAL	\$13,229,000	\$3,334,857	\$29,000,000	\$8,115,701	\$53,679,558
	[14]	[55]	[1]	[14]	

Village of Burr Ridge New Housing Permits 2021 Compared to 2022



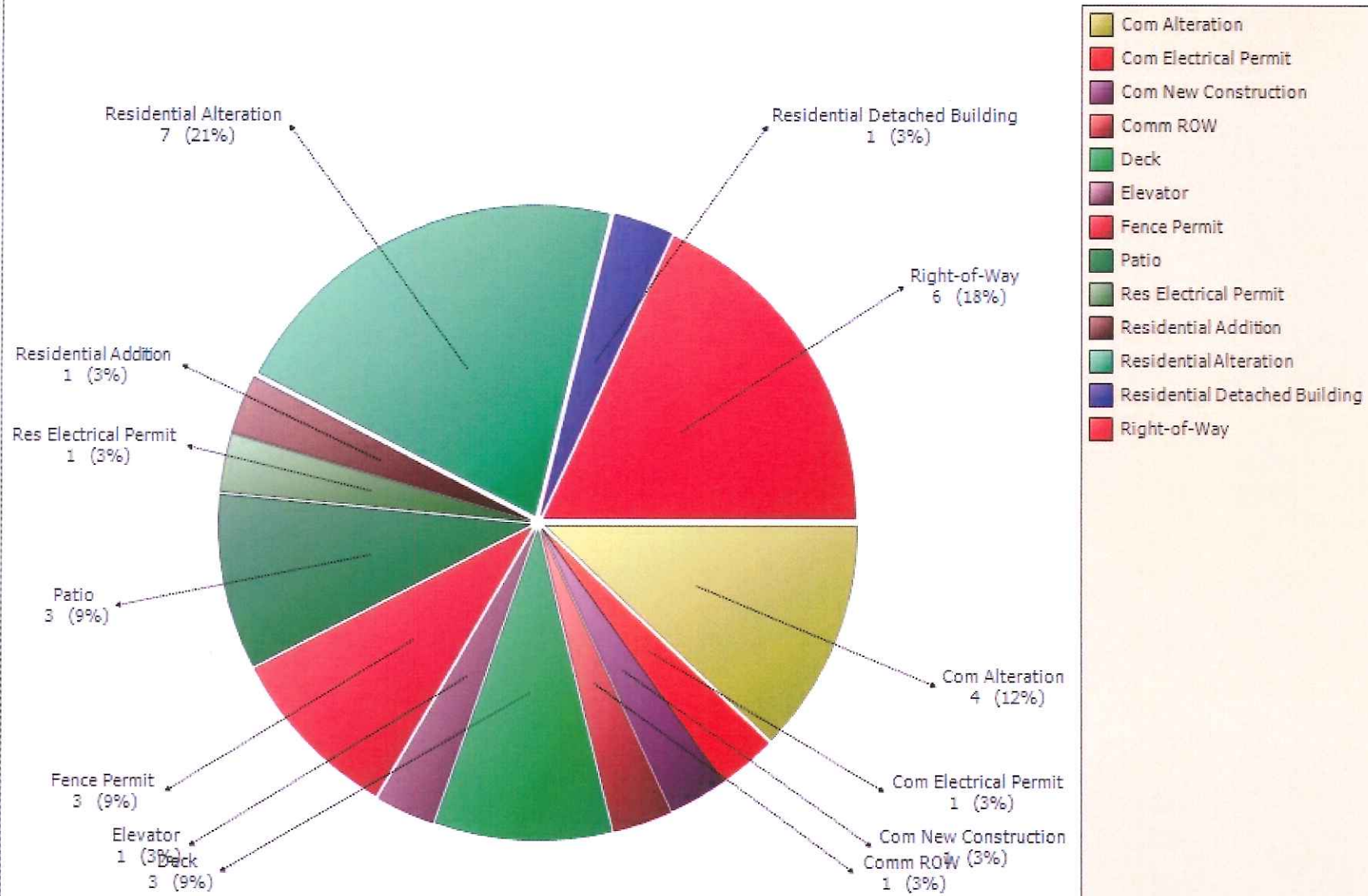
Village of Burr Ridge Building Permits Issued 2021 Compared to 2022



Breakdown of Projects by Project Type

Current Chart Filter: All Records, Permit.DateIssued Between 10/01/2022 AND 10/31/2022

Projects by Project Type





VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Janine Farrell, AICP
Community Development Director

DATE: November 21, 2022

RE: PC-06-2022 2023 Plan Commission Meeting Dates

The Plan Commission/Zoning Board of Appeals regularly meets on the first and third Monday of each month. Below is a list of proposed 2023 Regular Meeting dates of the Plan Commission/Zoning Board of Appeals for approval, noting meeting dates which will not be scheduled due to holidays. All meetings will begin at 7:00 p.m. and will be held at the Village Hall Board Room. Following this list are the proposed 2023 Board of Trustees meeting dates with Commission representatives.

January 2 (not scheduled due to holiday)
January 16
February 6
February 20
March 6
March 20
April 3 (not scheduled due to election)
April 17
May 1
May 15
June 5
June 19
July 3 (not scheduled due to holiday)
July 17
August 7
August 21
September 4 (not scheduled due to holiday)
September 18
October 2
October 16
November 6
November 20
December 4
December 18

Board of Trustees Meeting Date:	Plan Commission Representative:
January 9	Morton
January 23	Stratis
February 13	Broline
February 27	Petrich
March 13	Trzupek
March 27	Parrella
April 10	McCollian
April 24	Irwin
May 8	Morton
May 22	Stratis
June 12	Broline
June 26	Petrich
July 10	Trzupek
July 24	Parrella
August 14	McCollian
August 28	Irwin
September 11	Morton
September 25	Stratis
October 9	Broline
October 23	Petrich
November 13	Trzupek
November 27	Parrella
December 11	McCollian

Note: Going in seat order at the dais, each Commissioner is scheduled for three Board meetings with the exception of Commissioner Irwin who is scheduled for only two (December 25th Board meeting is not scheduled).