



**REGULAR MEETING  
PLAN COMMISSION/ZONING BOARD OF APPEALS  
JUNE 20, 2022 - 7:00PM  
BURR RIDGE POLICE DEPARTMENT - TRAINING ROOM**

The Plan Commission/Zoning Board of Appeals hears requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use. All Plan Commission actions are advisory and are submitted to the Board of Trustees for final action.

**I. ROLL CALL**

**II. APPROVAL OF JUNE 6, 2022 MEETING MINUTES**

**III. PUBLIC HEARINGS**

**A. V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact**

Request for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback, from 30 ft. to 5 ft., pursuant to Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7.

**B. Z-10-2022: 9115 Kingery Highway (Thorntons LLC) AMENDED PETITION; Special Uses, PUD Amendment, Variations, and Findings of Fact [REMANDED BACK FROM MAY 23, 2022 VILLAGE BOARD MEETING]**

Requests to amend the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and for 24-hour operation which exceeds the 7:00 a.m. to 10:00 p.m. permitted pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted.

**C. Z-16-2022: 6860 North Frontage Rd. (Action Behavior Centers); Special Uses and Findings of Fact**

Requests special uses for a child care center pursuant to Zoning Ordinance section X.E.2 and for a fence in a non-residential district pursuant to section IV.J.1.

**D. Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Special Use, Variation, Planned Unit Development, and Findings of Fact**

Requests to rezone the property from O-2/Office & Hotel to R-5/Single-Family Residential, a variation for minimum area for R-5 from 80 contiguous acres to 4.876 acres, and a variation to permit a planned unit development on less than 20 acres and less than 800 ft. of lot width all as per Zoning Ordinance section VI.H, and a special use for a planned unit development pursuant to section VI.H and XIII.L.

**V. CORRESPONDENCE**

**A. Board Reports**

June 13, 2022

**B. Building Reports**

None

**VI. OTHER CONSIDERATIONS**

**VII. PUBLIC COMMENT**

**VIII. FUTURE MEETINGS**

**June 27 Board of Trustees**

Commissioner Petrich is the scheduled representative.

**July 4 Plan Commission – CANCELLED**

Meeting cancelled due to holiday.

**July 11 Board of Trustees**

Commissioner Morton is the scheduled representative.

**July 18 Plan Commission – Likely to return to Village Hall Board Room**

**A. Z-18-2022: 6880 North Frontage Rd. (Premier IL Burr Ridge LLC); Special uses and Findings of Fact**

Special use for a child care center.

**B. Z-19-2022: 595 Village Center Drive (Kastanis/Yolk); Special use and Findings of Fact**

Special use for outdoor dining.

**C. Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and**



**Findings of Fact [CONTINUED FROM APRIL 18 & JUNE 6, 2022]**

Live entertainment text amendments.

**D. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16 & JUNE 20, 2022]**

Attached garage text amendments.

**E. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16 & JUNE 20, 2022]**

Right-of-way sign text amendments.

**F. Z-12-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM JUNE 6, 2022]**

Commercial vehicles in residential districts text amendments.

**July 25 Board of Trustees**

Commissioner Broline is the scheduled representative.

**IX. ADJOURNMENT**

**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF JUNE 6, 2022**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 7 – Irwin, Broline, Stratis, Morton, McCollian, Petrich, and Trzupek

**ABSENT:** 1 – Parrella

Community Development Director Janine Farrell was also present.

**II. APPROVAL OF PRIOR MEETING MINUTES – MAY 16, 2022**

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Petrich to approve the minutes of the May 16, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Morton, Petrich, Stratis, Broline, Trzupek, and McCollian

**NAYS:** 0

**ABSTAIN:** 1 – Irwin

**MOTION CARRIED** by a vote of 6-0 with one abstention.

**III. PUBLIC HEARINGS**

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

**Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact [REMANDED BACK FROM MAY 23, 2022 VILLAGE BOARD MEETING]**

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. The petition was remanded from the May 23, 2022 Village Board meeting back to the Plan Commission.

Chairman Trzupek asked for a summary of the petition. Director Farrell clarified that a resident commented during the May 23, 2022 Village Board meeting that a statement made by one of the Commissioners on May 16, 2022 may have influenced other Commissioners' voting. The Board remanded the petition back to the Plan Commission to ensure that there was no undue influence.

Since the May 23<sup>rd</sup> meeting, updated landscape plans have been provided, including new evergreen trees on the western property line, trees have been relocated to minimize impact with the retaining walls, and the fence rail on the retaining wall was eliminated. Currently five homes are shown to have three-car garages, not six as originally submitted. The site plan now shows the open space is 84% instead of 88.5% which is a reduction of 4.5%. In 2018, the petitioner was to provide 20% stormwater retention above the ordinance regulations. It is currently slightly under 30%. The Commission may wish to move forward with the original recommendation or take a new vote on the petition.

Chairman Trzupek confirmed that the Board was concerned about landscaping and undue influence or improper proceedings which is why the petition was remanded. Chairman Trzupek stated that the Commissioner was transparent at the meeting relaying that he had a conversation with the petitioner. Director Farrell clarified that at the Board meeting, only one member of the public spoke and commented on the petition. The individual stated that Commissioner Stratis had a phone conversation with the petitioner about 18 months ago asking why the proposed homes do not have three-car garages. This was reflected in the minutes. The person at the public hearing took this to mean that Commissioner Stratis was interested in purchasing one of the homes and was the reason behind this petition coming forward again with the three-car garages as part of the proposal.

Chairman Trzupek understood the resident's concern but stated that Commissioner Stratis was very transparent. Chairman Trzupek was not clear why the petition was remanded. Director Farrell commented that the Board wanted to ensure upmost transparency to the public and that no one was influenced by any comments made.

Chairman Trzupek asked for public comment. There was none.

Nick Patera, representative for the petitioner, agreed what staff presented but clarified that they are still petitioning to have up to six of the eight homes with three-car garages, not five.

Commissioner Morton generally stands by his comments that were made May 16<sup>th</sup> and had little to add aside from the comments that were made at the Board meeting about side-load vs. front-load garages. Commissioner Morton did not find guidance or ordinance documents that said there was a requirement for front-load or side-load. He is currently satisfied and his position doesn't change.

Commissioner Irwin did not have comments or questions.

Commissioner Petrich noted that on the drawings there was a minimum distance between 20' to 22'5" with up to six three-car garages between houses. The petitioner confirmed the measurements.

Commissioner Broline stated that Commissioner Stratis was transparent and he took the comments made as if he was a potential client, not an actual customer.

Commissioner McCollan did not have comments or questions.

Commissioner Stratis stated that he made a comment, has since bought another property, and has had no conversations with the petitioner for over 18 months.

Nick Patera confirmed for Chairman Trzupek that nothing has changed for the stormwater calculations.

Commissioner Morton asked for clarification on the stormwater percentage. Bill Zalewski, representative for the petitioner, stated that the stormwater percentage is about 29.5% over the requirement.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Broline to close the public hearing for Z-15-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Irwin, Broline, McCollian, Morton, Petrich, and Trzupek  
**NAYS:** 0  
**ABSTAIN:** 1 – Stratis

**MOTION CARRIED** by a vote of 6-0 with one abstention.

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner McCollian to reaffirm the previous recommendation to approve a special use and PUD amendment request by Anthony Perino of Jarper Properties LLC for a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18, and approval of final engineering plans, landscaping plans, and building elevations, and Findings of Fact, subject to the following conditions:

1. Final plans shall substantially comply with the submitted site plans, landscape plans, and building elevations attached hereto as Exhibit A and subject to final engineering approval.
2. The Final Plat of Subdivision shall include Deck/Patio Easement Provisions to permit open decks/patios without roofs to extend no greater than 12 ft. from the rear exterior wall of the residence and shall not extend beyond the width of the residence.
3. The proposed fencing on the retaining walls shall be eliminated.
4. Tree planting in proximity to retaining walls shall be shifted to avoid concern over roots impacting wall stability.
5. The subdivision monument sign requires conditional sign approval by the Plan Commission and Village Board approval.
6. A minimum of 125% of stormwater volume detention shall be provided (25% increase in stormwater volume detention above requirements).
7. No more than six of the eight homes shall have three-car garages.

**ROLL CALL VOTE** was as follows:

**AYES:** 6 – Broline, McCollian, Morton, Petrich, Trzupek, and Irwin  
**NAYS:** 0  
**ABSTAIN:** 1 – Stratis

**MOTION CARRIED** by a vote of 6-0 with one abstention.

**Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]**

Chairman Trzupek asked for a summary of the petition. Mrs Farrell confirmed that this was first heard on April 18, 2022 at the Plan Commission meeting. The text amendment is to define live entertainment and permit live entertainment as accessory to uses within the business district. The takeaways from the April 18<sup>th</sup> meeting were as follows. There was no formal consensus to keep live entertainment as a special use, but many Commissioners favored that. Previously, the Village Attorney stated that any text amendment wouldn't apply to existing establishments or those with existing special uses, but he has relooked at this and crafted language so that the text amendment would apply to those establishments within PUDs and for those with existing special uses. The proposed definition of live entertainment is unchanged since April 18<sup>th</sup>. The Zoning Ordinance definition of a restaurant was added to the packet. A new #12 has been added within Section 8 which addresses the floorplan and applying the amendment to establishments within PUDs and with existing special uses.

Chairman Trzupek confirmed with Director Farrell that most existing establishments only offer live music as entertainment and that this text amendment would apply to establishments like Are We Live.

Chairman Trzupek asked for public comments.

Mark Thoma, 7515 Drew, stated that live entertainment should remain a special use since there are many restaurants that back up to residential areas.

Nick Esposito, representative for Capri and Are We Live, stated that he is happy with the text amendment.

Commissioner Stratis stated that 49% of floor space for live entertainment is too large and questioned if there is a better standard for size. Commissioner Stratis did not support this language applying to other businesses outside of the Business Districts like Edgewood Valley Country Club or the Marriott.

Commissioner McCollian did not support 49% floor space dedicated to live entertainment.

Commissioner Broline preferred keeping live entertainment as a special use.

Commissioner Petrich stated that live entertainment should be a special use consistent with Clarendon Hills, Hinsdale, and Western Springs. Commissioner Petrich confirmed with Director Farrell that the live entertainment amendment does not include dancing which is separate within the Zoning Ordinance and that karaoke would be included. Commissioner Petrich wanted clarification that the pre-packaged food is related only to the wine boutique and that 49% is too high.

Commissioner Irwin supports the comments from the Commissioners and did not like the first sentence of the proposed definition since that opens to other uses. Commissioner Irwin favors a special use for live entertainment.

Commissioner Morton supports keeping live entertainment as a special use. Commissioner Morton confirmed with staff the special event provision within the Noise Ordinance.

Chairman Trzupek would support making live entertainment a permitted accessory use or keep as a special use. Chairman Trzupek agreed on modifying the definition and that 49% floor space is too large since only a couple hundred square feet is needed to accommodate a stage.

Commissioner Stratis would support live entertainment as an accessory use and defining how much space should be dedicated to the live entertainment space.

Nick Esposito stated that he has a lot of performers in his family. Mr. Esposito stated that the definition could include words like theatrical or within the realm of performing arts.

Chairman Trzupek confirmed that the definition needs to be amended and the amount of floor space dedicated to the use.

There was discussion amongst the Commissioners about live entertainment floor space and that it should exclude room for dancing.

Mark Thoma stated this should be a special use because it is so difficult to determine how much space is needed.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to continue the public hearing for Z-08-2022 until July 18, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Irwin, Morton, Petrich, Broline, Stratis, McCollian, and Trzupek

**NAYS:** 0

**MOTION CARRIED** by a vote of 7-0.

### **Z-12-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact**

Chairman Trzupek asked for a summary of the petition. Director Farrell stated that this is related to commercial vehicles within residential districts. Commercial vehicles are prohibited from being parked overnight and outside. Only two commercial vehicles may be stored inside a fully enclosed building or structure for a single family detached home. Only one commercial vehicle can be stored indoors for duplexes, multifamily, or townhomes. Director Farrell stated that within

those existing regulations, there are five criteria which define a commercial vehicle. One criterion which poses a challenge is, “any vehicle with attached axillary equipment including, but not limited to, plows, equipment, rafts, storage boxes or lockers.” A storage box or locker doesn’t necessarily have to be used for commercial purposes, sometimes storage boxes are used for personal storage. There are options for the Commission to pursue including striking that provision completely, removing portions of the provision which seem to be problematic such as the racks, storage boxes or lockers, or requiring one other qualifier from that section. For example, if you have a storage box and a business logo then you are defined as a commercial vehicle.

Chairman Trzupek asked for public comment.

Alice Krampits, 7515 Drew, asked what the purpose of the amendment was and if there was a particular problem going on in the town. Director Farrell stated there was a code enforcement complaint about a pickup truck vehicle which had a storage box for personal use. Ms. Krampits stated that the rules sound like they belong in a subdivision that has a homeowner’s association and that they are extremely restricting. Ms. Krampits asked about Uber and if that would be a commercial vehicle since they have stickers in the windows. Director Farrell stated that would be considered a commercial vehicle if there was a business logo. Ms. Krampits does not think that utility boxes on the back of pick-up trucks is a big deal. Ms. Krampits stated that the regulation for vans without windows or seats is too restrictive.

Commissioner Morton also objects to vans without windows being prohibited and that he does not have an issue with pick-up trucks. He stated there are some challenges distinguishing commercial from private use and if there was a way to check registration or insurance.

Commissioner Irwin agreed to remove the storage lockers and boxes but not racks. Commissioner Irwin supported the idea to check registration.

Commissioner Petrich prefers keeping the regulation as is. Commissioner Petrich would support storage boxes or lockers that are below the sides of the truck or under the cover.

Commissioner Broline questioned if there was a way to allow plows seasonally.

Commissioner McCollan supports removing storage boxes and lockers from the definition.

Commissioner Stratis supports removing storage boxes and lockers from the definition but did not support amending the provision regarding vans.

Chairman Trzupek confirmed that RVs are classified under a different provision of the Zoning Ordinance. Chairman Trzupek supported eliminating the storage boxes and lockers.

Commissioner Morton stated that the State of Illinois recognizes vans as passenger vehicles and that the restriction is an overreach.

By a show of hands, there were only three Commissioners who were in favor of eliminating the provision about vans.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Irwin to continue the public hearing for Z-12-2022 until July 18, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Morton, Irwin, Stratis, Broline, Petrich, Trzupek, and McCollan  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

## **V. CORRESPONDENCE**

There were no comments on the May 23, 2022 Board Report or April 2022 Building Report.

## **VI. OTHER CONSIDERATIONS**

### **A. PC -02-2022: 10S381 Madison St. (Musa); Extraterritorial Review of Rezoning and Plat of Subdivision [FROM APRIL 4, 2022 MEETING BUT PETITION WAS REVISED]**

Review of a DuPage County rezoning request from R-1 Single Family to R-2 Single Family with variations for lot size on Lot 2 and Lot 3 from 40,000 sq. ft. to 36,000 sq. ft. and a proposed three-lot subdivision.

Chairman Trzupek asked for a summary of the petition. Director Farrell stated that the proposed three-lot subdivision and rezoning was on the April 4<sup>th</sup> meeting but since that time, the request was amended. The petition is now proposing R-2 instead of R-3 and variations for two lots since they do not meet the minimum 40,000 sq. ft. minimum requirement. Director Farrell read a statement from Jessica Infelise, Zoning Administration Coordinator with DuPage County Building & Zoning Department, “the petitioner stated that most of the unincorporated adjacent residential properties are R-1 single-family and that transitioning from R-1 to R-2 would make more sense than R-3 for the neighborhood and the presentation.” Director Farrell noted that was the reason for the change in the rezoning request, but that the three-lot subdivision itself is unchanged.

Chairman Trzupek understands that the area is more consistent from R-1 to R-2 but it is the same size lots which are really R-3. Chairman Trzupek did not support variations on the R-2 zoning and preferred to see proper R-3.

Commissioner Stratis agreed and questioned what the petitioner gained by rezoning to R-2.



Commissioners McCollian, Broline, Petrich, Irwin, and Morton did not have any comments.

Sherie DeDore, 10S420 Glenn Dr., lives across from the parcel. Ms. DeDore did not support R-3 since the lots could be made smaller. Ms. DeDore supports R-2 with variations since they cannot come back and re-subdivide the parcels smaller.

Chairman Trzupek clarified with Director Farrell that Lots 2 and 3 would not meet R-3 standards if they were further divided, but Lot 1 might be able to be divided to create two R-3 lots.

Chairman Trzupek prefers the R-2 with variations after the public comments which were made. The Commissioners generally agreed to submit updated comments to DuPage County to that effect.

## **VII. PUBLIC COMMENT**

Mark Thoma recommended an eyesore ordinance about commercial vehicles that are unsightly or contain construction materials.

## **VIII. FUTURE MEETINGS**

Director Farrell briefly listed the June 20 Plan Commission scheduled cases.

### **A. V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact**

Request for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback.

### **B. Z-10-2022: 9115 Kingery Highway (Thorntons LLC) AMENDED PETITION; Special Uses, PUD Amendment, Variations, and Findings of Fact [REMANDED FROM MAY 23, 2022 VILLAGE BOARD MEETING]**

Amended request for the automobile gasoline sale station to include 24-hour operation.

### **C. Z-16-2022: 6860 North Frontage Rd. (Action Behavior Centers); Special Uses and Findings of Fact**

Requests special uses for a child care center and for a fence in a non-residential district.

### **D. Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Special Use, Variation, Planned Unit Development, and Findings of Fact**

Requests to rezone the property, variations, and a PUD.

**E. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16, 2022]**

Due to case load for this agenda, staff requested that this be continued until July 18.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-11-2022 until July 18, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Irwin, McCollian, Morton, Stratis, Broline, Petrich, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

**F. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM MAY 16, 2022]**

Due to case load for this agenda, staff requested that this be continued until July 18.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner McCollian to continue the public hearing for Z-11-2022 until July 18, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Irwin, McCollian, Morton, Stratis, Broline, Petrich, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

Chairman Trzupek noted that he will be out of town on June 20<sup>th</sup>. Commissioner Petrich confirmed that he will be in attendance and acting as Chair.

Commissioner Broline asked about public notice for the commercial vehicles text amendment. Director Farrell stated that text amendment notifications are published in the newspaper and the agendas published online.

Chairman Trzupek asked about recordings of Plan Commission meetings being available online. Director Farrell stated that this is being reviewed including cost estimates solicited on the potential to film the meetings.

**IX. ADJOURNMENT**

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to

adjourn the meeting at 8:16 pm.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Irwin, Stratis, Morton, Petrich, Broline, McCollian, and Trzupsek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

**Respectfully Submitted:**

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Janine Farrell, AICP  
Community Development Director



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**V-03-2022: 10S675 Glenn Dr. (Rohan); Variation and Findings of Fact; Request for variations to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback, from 30 ft. to 5 ft., pursuant to Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7.**

**HEARING:**

June 20, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Michael Rohan

**PETITIONER STATUS:**

Property Owner

**PROPERTY OWNER:**

Michael Rohan

**EXISTING ZONING:**

R-3 Single-Family Residential

**LAND USE PLAN:**

Recommends single-family  
residential

**EXISTING LAND USE:**

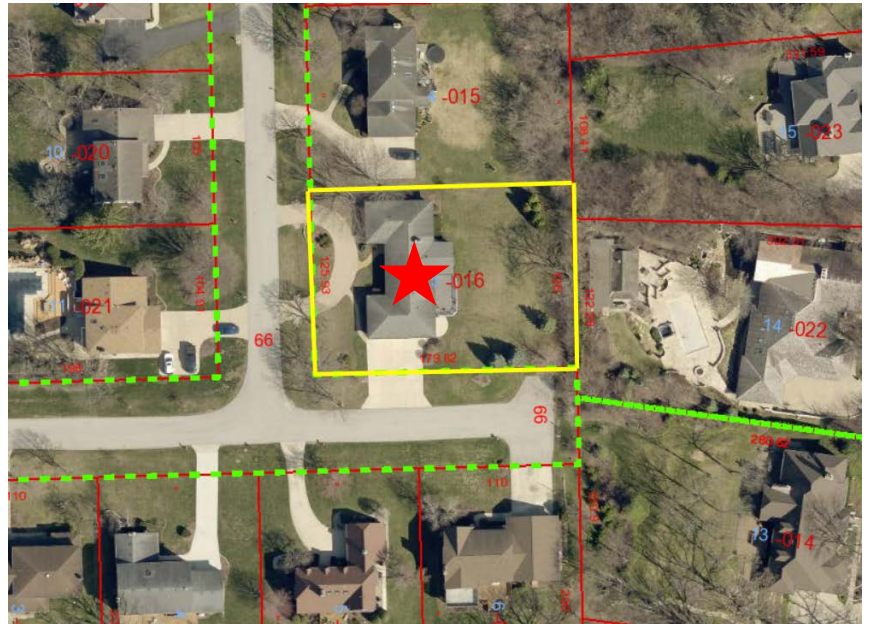
Single-family residence

**SITE AREA:**

± 22,680 sq. ft.

**SUBDIVISION:**

Space Valley Annex



The petitioner is Michael Rohan, owner of the subject property. The petitioner is requesting variations from Zoning Ordinance Sections IV.I.1, VI.F.7.a, IV.H.4, and IV.H.7 in order to permit a detached accessory building (garage) within the corner side yard area and within the corner side yard setback. The property currently contains a single-family residence with an attached garage. The petitioner would like to construct a 25 ft. x 26 ft. detached garage (650 sq. ft.). This proposed garage meets the R-3 zoning district requirements in all respects except for its location. Since this is a corner lot with frontage along Glenn Dr. and 94<sup>th</sup> Street, a minimum 30 ft. setback is required along both roads (west and south). A minimum 10 ft. setback is required along the interior side yard (north) and rear yard (east). These regulations are codified in the Zoning Ordinance sections as detailed below.

#### **Section IV.H.4 – Setback and Location of Accessory Buildings and Structures**

Accessory buildings and structures shall be setback a minimum of 10 feet from a rear lot line and shall comply with the minimum interior side and corner side yard setback of the zoning district in which the accessory building or structure is located except as may otherwise be specifically permitted in Section IV.I of this Ordinance.

#### **Section VI.F.7.a – R-3 Zoning District Yard Requirements**

	<b><u>Front Yard</u></b>	<b><u>Interior Side Yard</u></b>	<b><u>Corner Side Yard</u></b>	<b><u>Rear Yard</u></b>
(1) Single-family detached dwellings	30 feet	10 feet	30 feet	50 feet

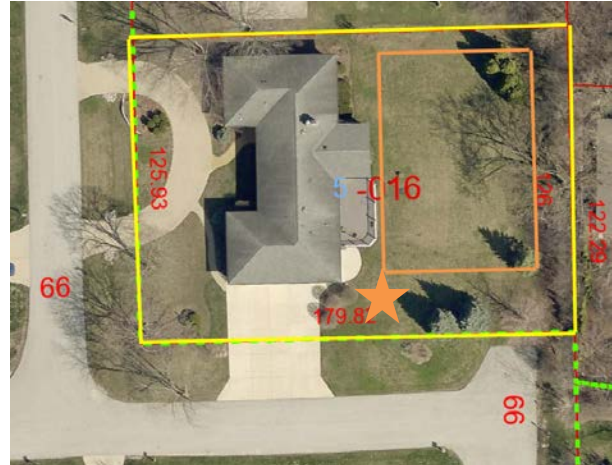
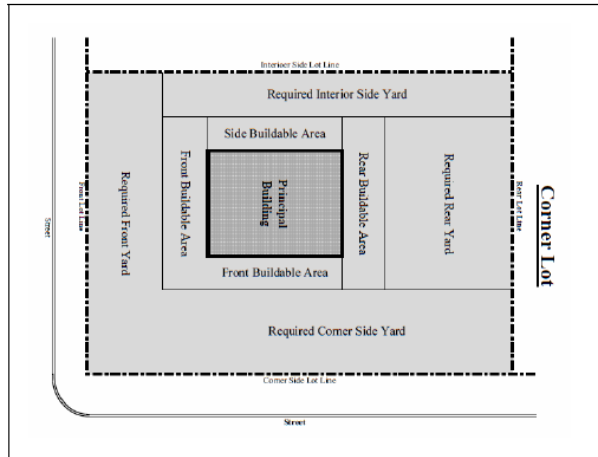
#### **Section IV.I.1 – Detached Accessory Buildings in Residential Districts**

Detached buildings accessory to permitted residential uses are permitted in the rear buildable area and may also be located in a required rear yard but not closer than 10 feet to the rear lot line. Detached buildings accessory to residential uses are also subject to the regulations in Section IV.H above.

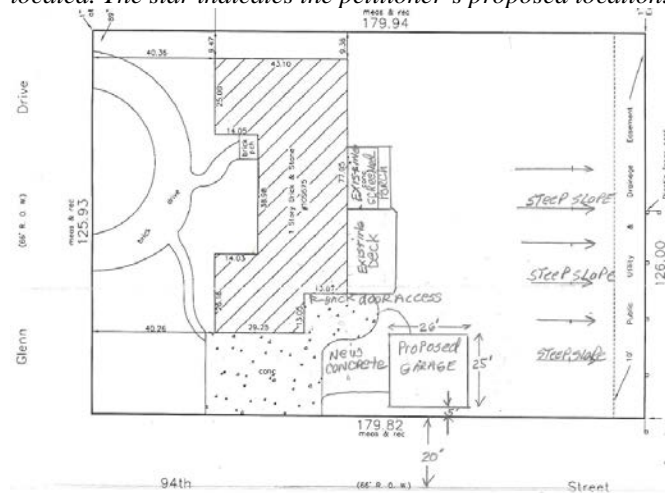
#### **Section IV.H.7 - Distance from a Corner Side Lot Line**

No detached or attached accessory building hereafter erected or altered shall project nearer to a lot line adjoining a street than the distance equivalent to the shortest distance between such lot line and the nearest wall of the principal building. *(For reference, the residence was constructed in 1973 according to the Assessor and is only about 24 ft. from the southern property line).*

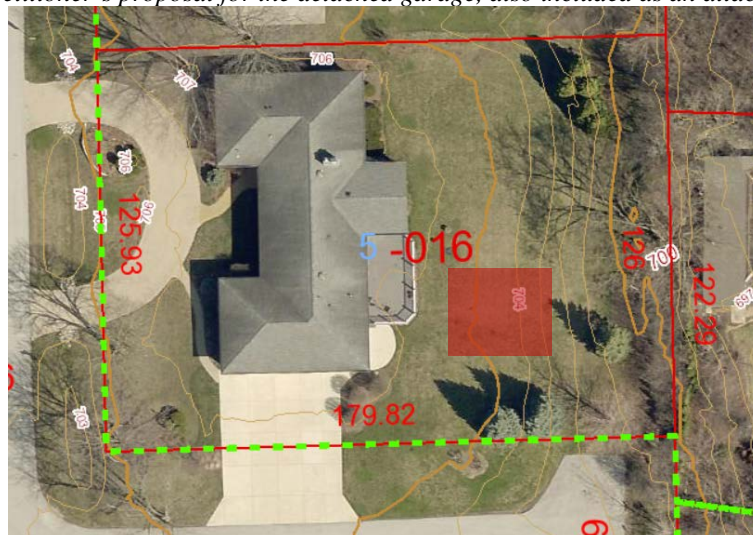
The petitioner is proposing to construct a detached garage within the corner side yard area instead of the rear yard, which is not permitted. The petitioner is also not meeting the minimum required corner side yard setback of 30 ft., only proposing a 5 ft. setback from the southern property line. In the petitioner's Findings of Fact, he states that the garage cannot be located in the rear yard due to a drastic change in elevation. A topographic map has been provided on the following page. If the garage was located within a rear yard area and meeting the minimum 30 ft. setback from 94<sup>th</sup> Street, there would be about a three to four foot grade change.



Left: Diagram illustrating buildable areas from the Zoning Ordinance for a corner lot.  
Right: Aerial image of the site with an orange box illustrating roughly the area where the detached garage can be located. The star indicates the petitioner's proposed location.



The petitioner's proposal for the detached garage, also included as an attachment.



The applicant indicated in the Findings of Fact that the garage cannot be located in the rear yard due to a drastic change in elevation. The topographic map above illustrates the grade change on the property where each orange line is a one-foot contour elevation interval. There is about a 5 ft. change from the home (706) to the rear (700). The red box indicates roughly the size of the detached garage. Depending on where it is placed on the property meeting Zoning Ordinance requirements, there could be a three- to four-foot grade change.



While architectural elevations have not been provided, the specifications from the contractor are included as an attachment. The petitioner is proposing a frame garage with the following details:

- A white, 7' tall and 16' wide garage door
- One white, vinyl slider window
- Gray architectural roofing shingles with white soffits and fascia
- Gray vinyl siding (for reference, the residence is light gray rusticated brick)



Estate Gray<sup>†</sup>



*Left: Photo of the proposed roofing shingles from Owens Corning website.  
Right: Photo of the proposed siding from PlyGem/Mastic website.*

### **Public Hearing History**

No cases on file for this property.

### **Public Comment**

One public comment was received via email and is included as an attachment.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend approval for the requested variations to construct a detached garage within the corner side yard, staff recommends that said recommendation be subject to the following condition:

1. The garage shall substantially comply with the plans submitted by the petitioner and included as Exhibit A.

### **Appendix**

#### **Exhibit A - Petitioner's Materials**

- Application
- Findings of Fact
- Proposed Site Plan
- Garage specifications

#### **Exhibit B – Public Comments**

# EXHIBIT A



## VILLAGE OF BURR RIDGE

RECEIVED

MAY 20 2022

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

VILLAGE OF BURR RIDGE

#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Michael Rohan

STATUS OF PETITIONER: Home Owner

PETITIONER'S ADDRESS: 105675 GLENN DRIVE

ADDRESS OF SUBJECT PROPERTY: 105675 GLENN DRIVE

PHONE: 708 310-8121

EMAIL: MIKEGROHAN@hotmail.com

PROPERTY OWNER: Michael Rohan

PROPERTY OWNER'S ADDRESS: 105675 GLENN Dr. PHONE: 708 310-8121

PUBLIC HEARING REQUESTED: ☐ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

Request a zoning variance to allow a 2 car garage to be built in our side yard instead of behind our house.

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 22,680 ft<sup>2</sup> EXISTING ZONING: R-3/Residential

EXISTING USE/IMPROVEMENTS: Single family residence

SUBDIVISION: Space Valley Annex

PIN(S) # 10-01-362-0100-0000 Q4

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Michael Rohan

Petitioner's Signature

5/20/22

Date of Filing





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

105675 GLENN Drive

Property Owner or Petitioner:

Michael Rohan

(Print Name)

Michael Rohan

(Signature)

Jun 3, 2022 at 3:04:46 PM  
700-728 94th St  
Burr Ridge IL 60527  
United States



Jun 3, 2022 at 3:05:40 PM  
10S676 Glenn Dr  
Burr Ridge IL 60527  
United States







Findings of Fact - Zoning Variation  
Burr Ridge Zoning Ordinance

Address:

105675 GLENN Drive

As per Section XIII.H.3 of the Village of Burr Ridge Zoning Ordinance, for a variation to be approved, the petitioner must confirm all of the following findings by providing facts supporting such findings.

- a. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out

TO BUILD THE GARAGE BEHIND THE HOUSE WOULD BE CLOSE TO IMPOSSIBLE DUE TO A DRASTIC CHANGE IN ELEVATION.

- b. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located.

IF WE BUILD THE GARAGE BEHIND THE HOUSE NEAR THE BACK LOT LINE, THE COST MAY DOUBLE DUE TO THE ELEVATION CHANGE

- c. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.

OUR PROPERTY IS ON A DEAD END STREET SO THERE ARE NO ADJACENT NEIGHBORS. NO SIDE LINES WILL BE OBSCURED. NO ADDITIONAL DRIVEWAY ENTRANCE FROM THE STREET WILL BE REQUIRED.

- d. The purpose of the variation is not based primarily upon a desire to increase financial gain.

THIS IS NOT FOR FINANCIAL GAIN. WE ARE REQUESTING THIS TO PROVIDE A CLOSER LOCATION TO OUR BACK DOOR FOR EASIER ACCESS FOR MY WIFE WHO IS IN A WHEELCHAIR.

- e. The alleged difficulty or hardship is caused by this Ordinance and has not been created by any persons presently having an interest in the property.

NOT A CHANCE. THIS CHANGE WILL ALLOW US TO HAVE EASIER ACCESS FOR OUR WHEELCHAIR.

- f. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

NO. THERE WILL BE NO INCREASE IN TRAFFIC. NO SIDEWALKS WILL BE IMPACTED. I HAVE NO NEXT DOOR NEIGHBOR TO THE EAST OF ME.

- g. The granting of the variation will not alter the essential character of the neighborhood or locality.

OUR PLAN will be to MAKE the garage LOOK LIKE OUR HOUSE. ~~@@@~~

- h. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

There will NOT be any impact to any above issues.

- i. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

yes.





(assumed)

# KABAL SURVEYING COMPANY

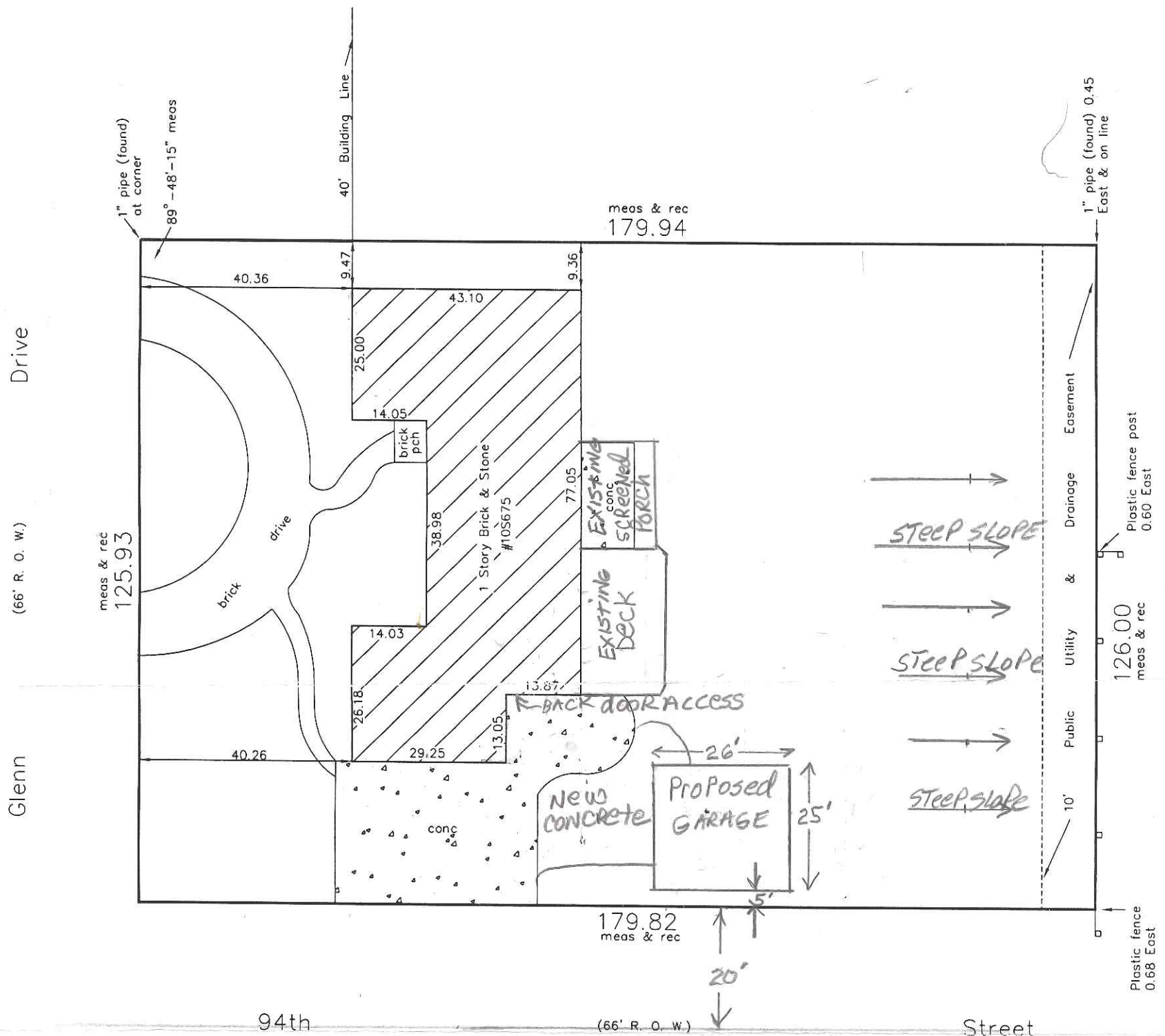
Land Surveying Services

## Plat of Survey

2411 Hawthorne Avenue  
Westchester, Illinois 60154  
(708) 562-2652  
Fax (708) 562-7314  
email: kabal-surveying@comcast.net  
website: KabalSurveyingCompany.com  
Registration No. 184-003061

Lot 5 in Space Valley Annex, a Subdivision in the Northwest quarter of the Southwest quarter of the Southwest quarter of Section 1, Township 37 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded October 21, 1969 as Document Number R69-46149, in DuPage County, Illinois.

Address: 105675 Glenn Drive, Burr Ridge



### LEGEND

meas = measured, E = East  
rec = record, S = South  
R.O.W. = right-of-way  
conc = concrete, W = West  
pch = porch, rad = radius  
N = North, OH = overhang  
pc = point of curve

Area of property is approximately 22,680 square feet

☒ "X" in box indicates that hereon drawn plat was ordered as a non-monumented survey

Please check Legal Description with Deed and report any discrepancy immediately.

Surveyed August 14, 2017

Building Located August 14, 2017

Scale: 1 inch = 25 ft.

Order No. 170883

Ordered By: Thomas J. Spahn, Attorney

This professional service conforms to the current Illinois minimum standards for a boundary survey

STATE OF ILLINOIS }  
COUNTY OF COOK } s.s.

I, STEPHEN J. BALEK, an Illinois Professional Land Surveyor, hereby certify that I have surveyed the property described above and the plat hereon drawn is a correct representation of said survey.

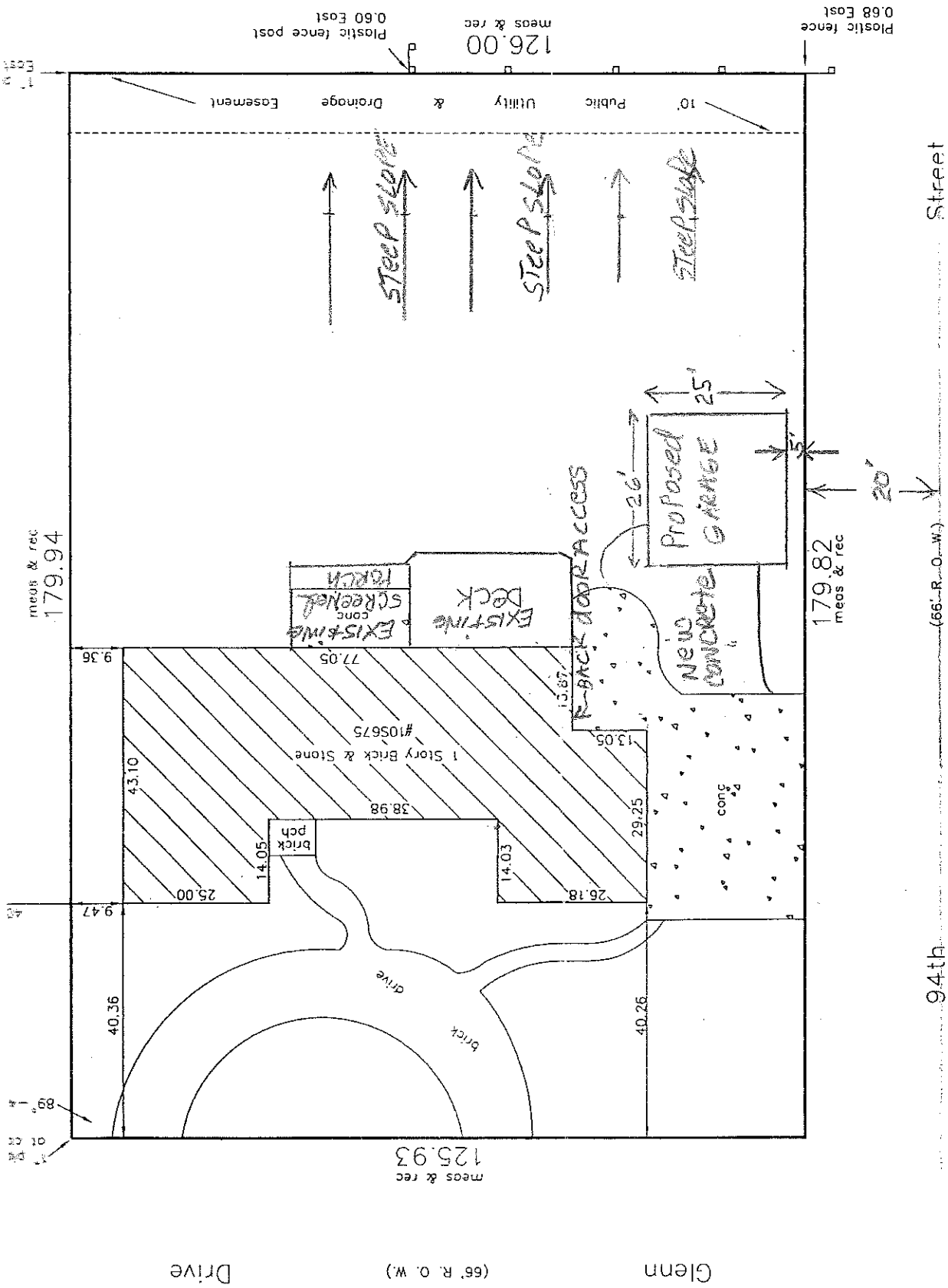
Dimensions are in feet and decimal parts thereof and are corrected to a temperature of 62 degrees Fahrenheit.



ORIGINAL SEAL IN RED

*Steph J. Balek*

Illinois Professional Land Surveyor No. 035-001712  
My license expires on November 30, 2018



Name: Mike Grohan  
 Address: 105675 Glenn Dr.  
 City: Burr Ridge State: IL Zip Code: 60527  
 Primary Ph.#: 708-310-8121 Secondary Ph. #: \_\_\_\_\_  
 E-mail: mikegrohan@hotmail.com

DEMOLITION	CONCRETE	CARPENTRY
Size: <u>x</u>	Floor: <u>24' x 24'</u>	Garage Size: <u>24' x 24'</u>
<input type="checkbox"/> Brick <input checked="" type="checkbox"/> Frame <input type="checkbox"/> Stucco	Apron: <u>24' x 3'</u>	<input checked="" type="checkbox"/> Hip <input type="checkbox"/> Gable <input type="checkbox"/> Rev Gable
Garage Must Be Empty	Ratio: <u>5" Thick</u> Walks: <u>3'x6'</u>	Roof Pitch 4/12
Tractor Out Yes / No	Driveway: <u>10084</u> Parkway:	2" x 4" x 16" O.C. Studs
Additional Debris:	Reinforcement: <input type="checkbox"/> Rebar <input checked="" type="checkbox"/> Wire Mesh <input checked="" type="checkbox"/> Fiber Mesh	2" x 8" x 16" O.C. Rafters
<u>Concrete as new</u>		With Birdsmouth Cut Design
Concrete up to 4" thick	Raised Curb 4 Sides	Interlocking Top Plates
Slab:	Anchor Bolts Around Perimeter	Triple 2"x4" Corners
Walks:	Bag Mix all <u>5"</u> Thick Floor	Wall Height 8 ft
Driveway:	Haul Dirt: <u>(Yes) / No</u>	Sheathing: <u>1/2" + Housewrap</u>
Sawcuts: <u>as new</u>	Scored Concrete: <u>(Yes) / No</u>	Crossties 2"x6"x 48" O.C.
Double Walls: Yes / <u>(No)</u>	Wheel in Concrete: <u>(Yes) / (No)</u>	Header 2-2"x12" / <u>(LVL)</u>
Tree/Bushes Removal: <u>(Yes) / No</u>	Retaining Wall: <u>(Yes) / No</u>	Treated Bottom Plate + Sill Sealer
DOORS	ROOFING	SIDING
Entry Door: Pre-Hung Insulated 36" Fiber Glass 6 Panel Door With Matching Entry & Dead Bolt Locks & Aluminum Threshold	Sheathing: <u>1/2"</u>	Vinyl: <input checked="" type="checkbox"/> D4 <input type="checkbox"/> DL4.5 <input type="checkbox"/> _____
	Shingles: Architectural Type	Manufacturer: <u>masite</u>
	Manufacturer: <u>Owens Corning</u>	Style: <u>Solar Defense</u>
	Style: <u>Oak Ridge</u>	Color: <u>Natural slate</u>
Overhead Door: Raised Steel Panel Door Finished With Heavy Baked On Paint With Rust Inhibitors & Torsion Spring Setup	Felt: <u>yes</u> Vents: <u>2</u>	<b>ELECTRIC</b>
	Eaves: <u>12"-4 sides</u>	
	Soffit - Fascia Color <u>white</u>	
	Gutters P/s Jambes + casings	
Size: <u>16' x 7'</u>	<b>WINDOWS</b>	Switches: <u>2</u> <u>(Recessed)</u>
Color: <u>white</u>	Qty: <u>1</u> Vinyl	Exterior Outlets: <u>1</u> <u>(pipes)</u>
<u>Long panel</u>	Color: <input type="checkbox"/> White <input checked="" type="checkbox"/> <u>4' x 2'</u>	Exterior Lights: <u>3</u>
<u>1</u> Chamberlain 1/2 H.P. Lift Master Door Opener with WiFi + keypad with 2 Remote Controls <u>(Yes) / No</u>	Style: <input checked="" type="checkbox"/> Slider <input type="checkbox"/> Single Hung	Exterior Light by Owner: <u>(Yes) / No</u>
<b>CLEANUP INCLUDED</b>		

NOTES: (Diamond Drive Concrete Includer sealer) (1x4 casings)

(Tax & Permit Included)

\$52,300.00

- 1500.00

\$50,800.00

(any Requirements from city will be added costs)

OFFER EXPIRES:

5/27/22

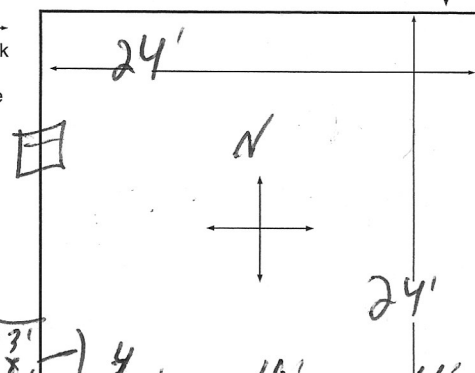
Total Price: \$

Stanley Representative:

Marty Barakat

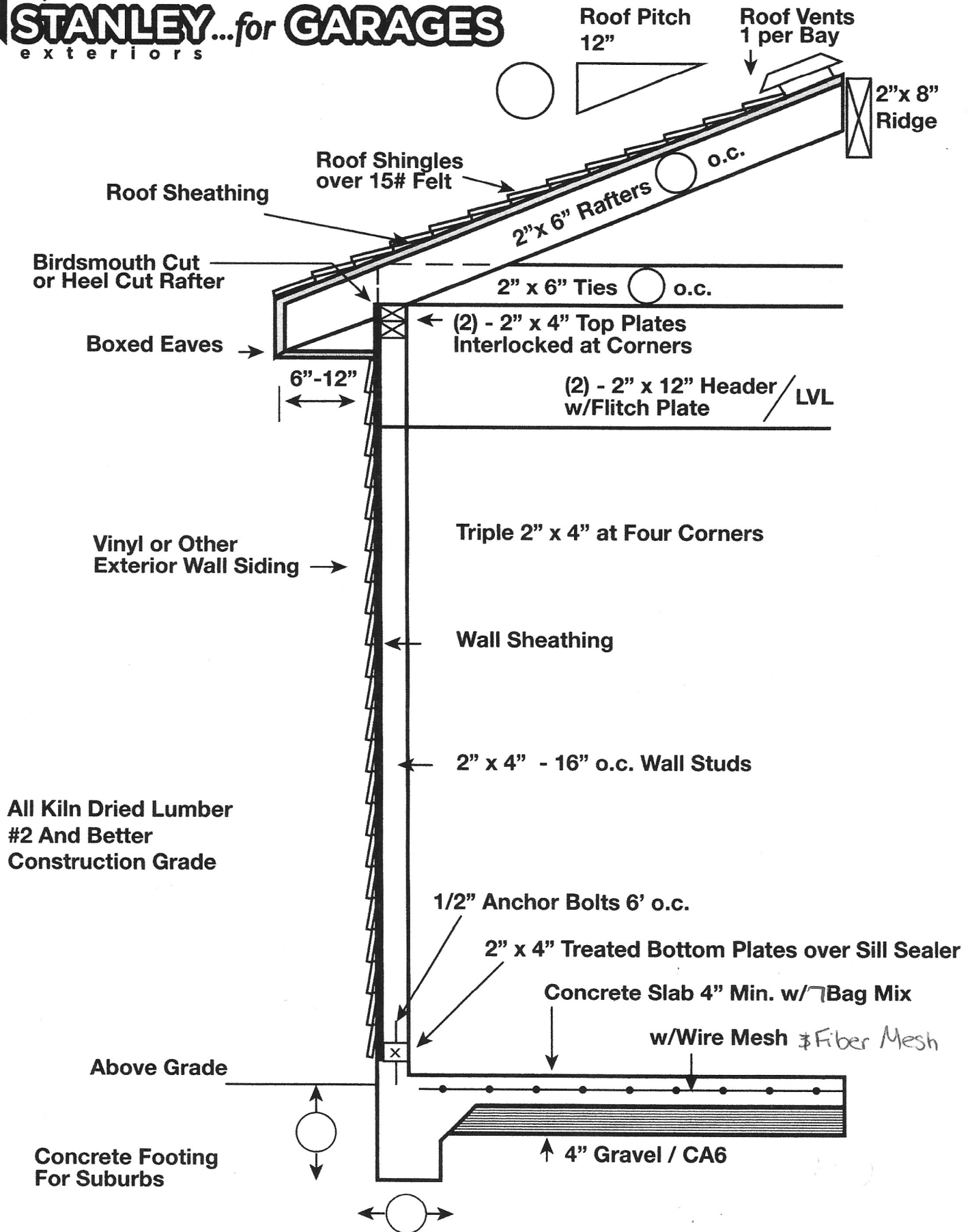
setback from lot line

setback from lot line



# STANLEY...for GARAGES

exteriors





# EXHIBIT B

**From:** [Cynthia Kessel](#)  
**To:** [Janine Farrell](#)  
**Cc:** [REDACTED]  
**Subject:** Petition V-03-2022: 10s675 Glenn Drive  
**Date:** Thursday, June 2, 2022 10:16:00 AM

---

Dear Plan Commission,

We are residents of 10s676 Glenn Drive, directly across Glenn Drive to the West of Michael Rohan's property. We would like to express our support of Mr. Rohan's request for variance.

We regret that we cannot attend the meeting in person. If you have any questions or we can further support Mr. Rohan in any way, please do not hesitate to email or contact us at the phone numbers below.

Thank you for all that you do to keep Burr Ridge a beautiful and safe community for all.

Sincerely,

Michael and Cynthia Kessel  
10s676 Glenn Drive  
Burr Ridge, IL 60527





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Requests Special Uses, PUD Amendment, Variations, and Findings of Fact** (see page 2 of report for full descriptions of requests)

**HEARINGS:**

May 2, 2022 and June 20, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Ryan Swanson of Arc Design on  
behalf of Thorntons LLC

**PETITIONER STATUS:**

Civil Engineering Consultant

**PROPERTY OWNER:**

Burr Ridge CRE LLC

**EXISTING ZONING:**

B-2 PUD Business District

**LAND USE PLAN:**

Recommends Single-family  
residential

**EXISTING LAND USE:**

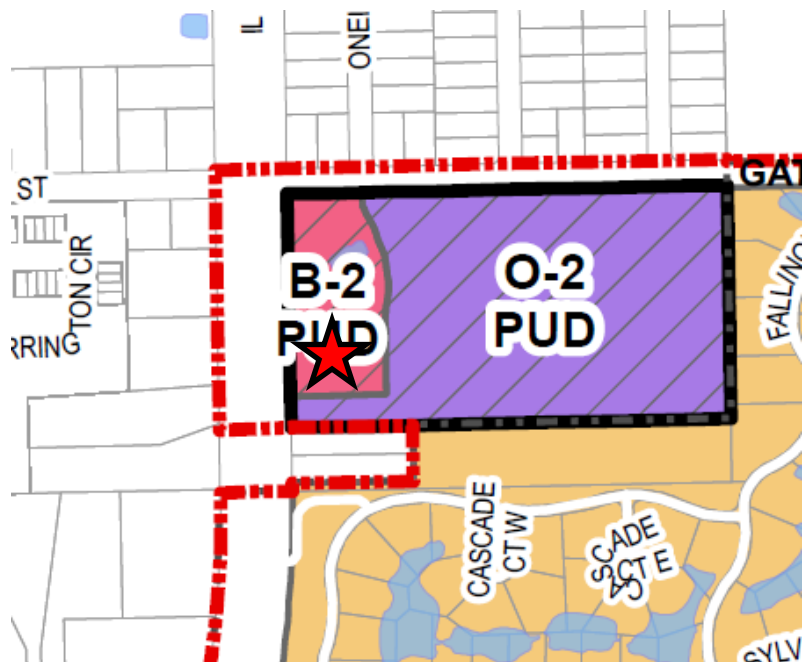
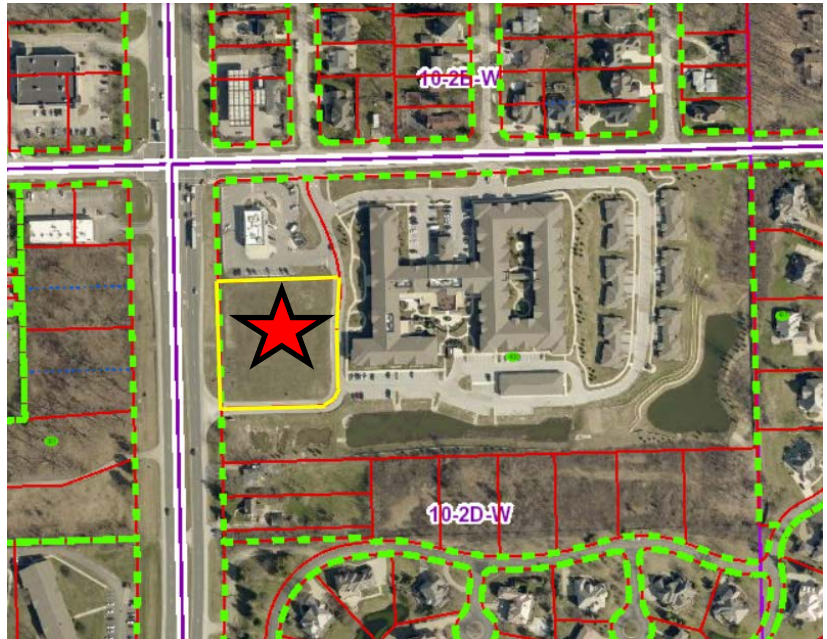
Unimproved/vacant

**SITE AREA:**

± 1.8 Acres

**SUBDIVISION:**

Spectrum Burr Ridge  
Resubdivision



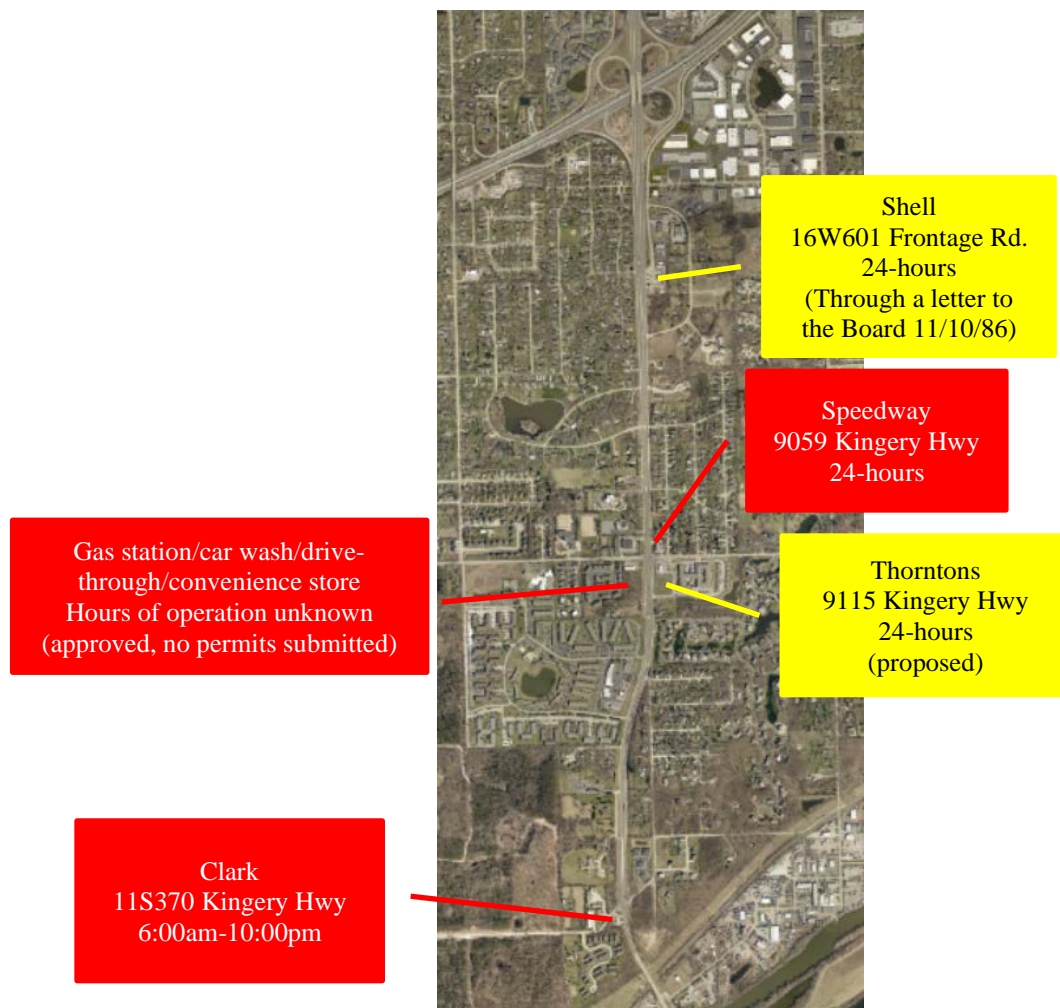
Z-10-2022 Requests as amended May 19, 2022:

1. Amend the Spectrum PUD Ordinance #A-834-24-15 to permit the proposed gas station development.
2. Special use for an automobile gasoline sale station, with a convenience food store, packaged liquor, and tobacco sales (Section VIII.C of the Zoning Ordinance)
3. Special use for hours of operation exceeding 7:00 a.m. to 10:00 p.m., permitting ~~5:00 a.m. to 11:00 p.m.~~ **24-hour operation** (Section VIII.C of the Zoning Ordinance) **AMENDED REQUEST**
4. Special use for an outside sales display accessory to a special use (Sections VIII.A and VIII.C of the Zoning Ordinance)
5. Variations to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft. (Sections 55.06.A.1 and 55.06.A.2 of the Sign Ordinance)
6. Variation to permit more than one wall sign per street frontage for a total of three (Section 55.06.A.2 of the Sign Ordinance)
7. Variation to permit a free-standing gasoline pricing sign (Section 55.06.A.4.a of the Sign Ordinance)
8. Variation to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. (Section 55.06.A.4.b of the Sign Ordinance)
9. Conditional sign approval for a sign with six colors, exceeding the three colors permitted (Section 55.06.B.5 of the Sign Ordinance)
10. Variations to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted (Section XI.C.9.c.2 of the Zoning Ordinance)

The Petitioner is Ryan Swanson of Arc Design Resources, Inc., on behalf of Thorntons LLC. This petition was originally heard at the May 2, 2022 Plan Commission meeting. At the meeting, the Commission unanimously recommended approval with ten conditions. Prior to the Village Board meeting on May 23, 2022 however, the petitioner amended the request. The Village Board remanded the request back to the Plan Commission on May 23, 2022 since the amended request required re-notification and a new public hearing.

Thorntons is proposing to develop the vacant site with a gas station and convenience store. The 4,400 sq. ft. convenience store will have packaged liquor and tobacco sales. There will not be any drive-through restaurant or establishment as part of the convenience store. Outside of the convenience store is small outdoor display area for items like firewood or propane, commonly found at gas stations. This outdoor display area requires special use approval and is illustrated on the plans provided. Ten fuel pumps (20 fueling stations) are proposed which will service personal vehicles. There will not be any pumps dedicated to or accommodating semi-truck traffic. The petitioner is requesting 24-hour operation which is beyond the 7:00 a.m. to 10:00 p.m. permitted. Previously, hours of operation from 5:00a.m. to 11:00p.m. were requested and approved. In a letter dated May 19, 2022, the petitioner amended the request for 24-hour operation.

Within a roughly 2.5-mile length of Route 83 running south of the I-55 interchange to the Des Plaines River, there are three gas stations and two more proposed (which includes Thorntons). These two proposed gas stations are located directly across the street from one another but are within different jurisdictions (Village of Burr Ridge and DuPage County). Of the three existing gas stations, only one is within the Village of Burr Ridge. The Shell located at 16W601 Frontage Rd. was approved for 24-hour operation in 1986. That approval was not through a special use request or other type of zoning action, but a letter without a formal Board vote. The owner at the time, Gas City, submitted a letter to the Board requesting the 24-hour operation which had also been requested the previous year. The minutes of that November 10, 1986 meeting state, “after discussion, a consensus of the Board indicated no objection to a 24-hour operation for the sale of all but alcoholic beverages which may be sold only during the hours provided for under their Liquor License.” For reference, Shell has a Class G liquor license which permits sales of beer and wine only 6:00 a.m. to 11:00 p.m. Monday-Saturday and 7:00 a.m. to 10:00 p.m. on Sundays. According to public testimony provided at the May 2, 2022 Plan Commission meeting, the petitioner intends to sell packaged beer, wine, and spirits which will likely fall under the Class F liquor license, subject to review by the Village Attorney and Liquor Commissioner. Those hours are the same as a Class G.



*Gas stations along Route 83, south from I-55 interchange to the Des Plaines River. Red boxes are unincorporated businesses and yellow boxes are businesses within Village of Burr Ridge.*

The petitioner is requesting several variations from the Sign Ordinance and conditional sign approval in order to install one ground sign, two wall signs on the convenience store, and one sign on the fuel canopy. Sign Plans are included in Exhibit A. The petitioner outlined the sign variation requests as part of the narrative also included in Exhibit A. 4. On May 2, 2022, the Plan Commission added a condition that the Thorntons sign on the rear (east) elevation be eliminated. This condition has been included in the Recommendation section below.

The petitioner included a Photometric Plan (Exhibit A) and is requesting a variation from the average foot candle light level amount and the uniformity ratio. The petitioner outlined the variation requests as part of the narrative also included in Exhibit A. The increased lighting is primarily due to the fact that this is a gas station with fueling pumps, requiring increased lighting in the evening. The highest footcandle amount along the southern property line, which is nearest to single-family residential uses, is only 0.1. The highest footcandle amount along the Route 83 property line is 1.0. The highest footcandle amount along the eastern property line, which is nearest to the senior living complex, is 1.5. The highest footcandle amount along the shared property line with McDonald's is 2.7.

The business plan (except for the hours of operation), submittals, plans, and other information as presented on May 2, 2022 remain unchanged and are included as Exhibit A. The minutes of the May 2, 2022 meeting have also been provided.

### **Public Hearing History**

**Z-12-2015 (Spectrum PUD):** Special use approval for a PUD. Condition B of the approved Ordinance (A-834-24-15) states that “the future preliminary and final plans for the commercial development on Lot 2 under this planned unit development shall be submitted to the Plan Commission for its review and recommendations, and then to the Board of Trustees for approval, all as required by Section XIII.L of the Burr Ridge Zoning Ordinance.” At the time, Lot 2 included both the subject parcel and the parcel now occupied by McDonald's.

**Z-10-2022 (Thorntons):** May 2, 2022 Plan Commission review and approval of the proposal, now detailed in this report as amended. The minutes of the May 2, 2022 meeting have also been provided as Exhibit E.

### **Public Comment**

Since the May 2, 2022 meeting, two new objections were received from the public and are included as Exhibit D.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. Should the Plan Commission recommend approval of the amended request, staff has updated the May 2, 2022 recommendation as follows:

Recommend to the Village Board approval of amending the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with **24-hour operation** exceeding 7:00 a.m. to 10:00 p.m.

pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted subject to four conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, photometric plan, and sign plans attached hereto as Exhibit A.
2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The outdoor sales area shall be restricted to the area shown on the plan.
4. The Thorntons sign on the rear (east) elevation shall be eliminated.

## **Appendix**

### Exhibit A - Petitioner's Materials

- Application
- Business Plan with hours of operation amended request
- Findings of Fact
- Traffic count information/comparison to previous traffic study
- Plat of Survey
- Site Plan (includes a Landscape Plan)
- Photometric Plan
- Architectural Elevations and Floor Plans
- Sign Plans

### Exhibit B – Excerpt from the Sign Ordinance for signs in the Business District

### Exhibit C – Excerpt from Zoning Ordinance for off-street parking lighting regulations

### Exhibit D – Public Comments

### Exhibit E – May 2, 2022 Plan Commission meeting minutes





# EXHIBIT A

## VILLAGE OF BURR RIDGE

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED  
MAR 28 2022  
VILLAGE OF BURR RIDGE

#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Ryan Swanson - on behalf of Thorntons LLC

STATUS OF PETITIONER: Civil Engineering Consultant

PETITIONER'S ADDRESS: 5291 Zenith Parkway, Loves Park, IL 61072

ADDRESS OF SUBJECT PROPERTY: 9115 Kingery Hwy, Burr Ridge, IL 60527

PHONE: 815-484-4300 x217

EMAIL: ryans@arcdesign.com

PROPERTY OWNER: BURR RIDGE CRE LLC

PROPERTY OWNER'S ADDRESS: 3010 HIGHLAND PKWY, UNIT 225, DOWNERS GROVE IL 60515 PHONE: \_\_\_\_\_

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

Please note, the GIS system currently lists the address for the property as 9115 Kingery Hwy, Willowbrook, IL 60527.

The subject property will have a revised address of Burr Ridge if the development is approved by the Village. The PIN is 1002400020.

See supplemental narrative outlining requested special use and variations.

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: ± 1.8 acres EXISTING ZONING: B-2 PUD

EXISTING USE/IMPROVEMENTS: vacant/unimproved

SUBDIVISION: Spectrum Burr Ridge Resubdivision

PIN(S) # 10-02-400-020

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Ryan Swanson  
Petitioner's Signature

3/25/22  
Date of Filing

March 15, 2022

From: BURR RIDGE CRE LLC  
3010 Highland Pkwy, Unit 225,  
Downers Grove, IL 60515  
Phone: 630-686-6811  
Email: tad@gaincre.com

To: Village of Burr Ridge, IL  
Community Development  
7660 County Line Road  
Burr Ridge, IL 60527  
(630)654-8181

**Re: Authorization Letter for: 9115 Kingery Hwy, Willowbrook IL 60527 (PIN 1002400020)**

To whom it may concern:

As the record owner of the above stated property, I hereby affirm that I have full legal capacity to authorize **Thorntons LLC (Todd Smutz), Arc Design Resources (Ryan Swanson and Lauren Downing), and their representatives**, to act as the owner's agent through the Community Development / Variance / Special Use / Site Plan / Engineering and Building Plan review process with the Village of Burr Ridge for said property.

Owner Name (printed): Tad Lagestee, Burr Ridge CRE LLC Title: Manager

Signature: Tad Alan Lagestee Date: 3-15-22

County of Henrico  
Commonwealth of Virginia

Subscribed and Sworn to Before Me This 15th Day Of March, 20 22.

Notary Signature [Signature]

Electronic Notary Public

Notarized online using audio-video communication



Dequan Winborne

REGISTRATION NUMBER

7940580

COMMISSION EXPIRES

June 30, 2025





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

**The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.**

Street Address of Subject Property:

9115 Kingery Hwy, Burr Ridge IL 60527

Property Owner or Petitioner:

RYAN C. SWANSON

(Print Name)

R-C Swan

(Signature)

Apr 15, 2022 at 1:26:57 PM  
10S507 Kingery Hwy  
Burr Ridge IL 60527  
United States



Apr 15, 2022 at 1:26:57 PM  
10S507 Kingery Hwy  
Burr Ridge IL 60527  
United States







May 18, 2022

To: Mayor Grasso and Board of Trustees  
Village of Burr Ridge, IL  
7660 County Line Road  
Burr Ridge, IL 60527  
(630)654-8181

**Re: Amendment to Special Use Application for 9115 Kingery Hwy, Burr Ridge, IL**

To Mayor Grasso and Board of Trustees:

As part of our previous petition for special use at 9115 Kingery Hwy we requested that the proposed hours of operation be from 5 A.M. – 11 P.M due to hour limitations currently imposed under the PUD ordinance governing this parcel. Based on further discussion internally on a corporate level, we respectfully request to amend our request to be changed to 24 hours of operation.

The 24-hour operations are necessary to provide brand consistency among other Thorntons stores which are open 24-hours. Additionally, even though it is not in the incorporated Village limits, the nearest fueling station is open 24-hours. Therefore, equivalent hours are necessary to avoid a competitive disadvantage.

We appreciate the Village considering our request to amend our previously submitted petition.

Sincerely,

*Phillip Bolduc*

Phillip A Bolduc  
Real Estate Manager  
630-674-7445  
Phillip.bolduc@mythorntons.com

## **Thorntons of Burr Ridge, IL**

Special Use and Variance Narrative  
9115 Kingery Hwy, Burr Ridge, IL 60527

### **Project Summary and Proposed Use**

Thorntons LLC is the contract purchaser of the approximately 1.8 acre vacant outlot located near the southeast corner of the intersection of IL-83 and 91<sup>st</sup> Street. Thorntons is requesting approval of a Special Use, amendment to the current PUD, and variances.

Per Village Zoning Code - Section VIII Business Districts: a special use is required for the following items proposed for the development:

- outdoor sales
- outdoor displays of merchandise
- convenience food stores
- liquor sales (packaged)
- tobacco sales
- Planned Unit developments
- Proposed hours of 5 A.M. – 11 P.M. (hours are outside 7 AM – 10 PM)

### **Scope of Work**

The proposed includes the construction of a 4,400 SF convenience store, 10 fuel pumps (20 fueling positions) under canopy, 33 parking stalls, refuse enclosure and other related site amenities.

The proposed building features Nichiha stone, brick and architectural panels. The canopy columns are upgraded to feature a wrapped façade of Nichiha stone and brick to match the proposed convenience store. The refuse enclosure is also designed with materials consistent with the convenience store and canopy.

The development will utilize existing utility connections available on or adjacent to the site. Additionally, detention has been provided for the development as part of the Spectrum PUD

### **Business Operations**

The proposed Thorntons development will include a 4,400 square foot convenience store which will serve fresh and pre-packaged food products and a variety of beverages and refreshments to the community. The proposed Thorntons store intends to sell alcohol and tobacco products. This location will employ roughly twelve community members in both part-time and full-time employment. The requested hours of the convenience store and fueling station are 5:00 A.M. to 11:00 P.M.

### **Requests for Variations**

Thorntons LLC is requesting the following variances to the requirements of the Burr Ridge Village Code , Chapter 55, Signs:

**Sec 55.06. Business District Signs A.1. Ground Sign:**

A.1 Requirement: One ground sign shall be permitted for each lot or parcel provided the lot or parcel has at least 100 feet of frontage on a public street, that the height of such sign does not exceed 8 feet, that the sign is located a minimum of 10 feet from all property lines, and that the combined area of all ground signs and wall signs shall not exceed 100 square feet.  
Requested Variation: Variance of 64 sf to the requirement that the combined area of all ground signs and wall signs shall not exceed 100 sf thereby allowing the combined area to be 164 sf.

A.2 Requirement: Wall Sign: One wall sign per street frontage shall be permitted for each lot or parcel provided that the combined area of all wall signs and ground signs shall not exceed 100 square feet. Permitted wall signs shall be mounted no higher than the height of the building wall or twenty feet (20') whichever is lower, and no lower than five feet (5') above average surrounding grade.

Requested Variation: Variance of 2 to the requirement of one wall per street sign frontage thereby allowing a total of three (3) wall signs. The requested wall signs include two (2) on the IL-83 frontage and one (1) along the shared private drive frontage.

A.4.b Requirement (Gasoline Pricing Sign): A maximum of four (4) sign faces, with a total area not to exceed forty (40) square feet, shall be permitted, provided that no single sign face shall exceed twenty (20) square feet in area;

Requested Variation: Variance of 25 square feet to the requirement of 20 square feet for a single sign face and 50 square feet to the requirement of 40 square feet for total gas pricing signs to thereby allow a total square footage of 45 square feet for gasoline pricing sign per face, and 90 square feet for the total of the two faces.

**Sec 55.11. Prohibited Signs**

P. Requirement: The following signs are hereby expressly prohibited for erection, construction, repair, alteration or relocation within the Village, except as otherwise hereinafter specifically provided: Signs with more than three colors

Requested Variation: Variance of 1 color square feet to the requirement of three colors maximum on a sign thereby allowing a total of 4 colors on the proposed ground/gas sign (blue, red, white, green).

Findings of Fact supporting the granting of the above requested variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the Sign Code.
2. The plight of the owner was not created by the owner and is due to unique circumstances
3. The variation if Granted will not alter the essential character of the locality.

**Sec 55.06. A.1: The proposed use of the property as a convenience store with fuel sales requires larger price signage to allow motorists to make timely decisions thereby allowing safe turning movement into the property.**

**Sec 55.06. A.2: The proposed use of the property as a convenience store requires identification of the use. As such, we are requesting one wall sign on the building and canopy along IL-83 in addition to one along the private drive. The private drive was developed as part of a PUD and therefore the hardship that this is a private and not a street frontage occurred prior to the proposed development.**

**Sec 55.06. A.4.b:** The proposed use of the property as a convenience store with fuel sales requires larger price signage to allow motorists to make timely decisions thereby allowing safe turning movement into the property. Legible design for the displaying of gasoline products and prices is appropriate to the type of activity and allows for vehicles reasonable time to decrease speed from the posted 55 MPH limit to safely navigate into the drive servicing the business. Per the United States Sign Council, safe reaction and maneuvering time in a 55 MPH speed zone requires visibility at 647'. The use of 16" pricing numerals allows such visibility at 640' providing a safer approach for vehicular traffic.

**Sec 55.11. P:** The standard for diesel pricing is green which adds an additional color. All signs comply with the exception of the color green due to the diesel product.

Thorntons LLC is requesting the following variances to the requirements of the Burr Ridge Village Zoning Code, Chapter XI Off-Street Parking and Off-Street Loading:

*IX.D.9.c. Lighting:*

*(2) Intensity of illumination of parking areas shall not be less or more than the following standards: Except as otherwise specifically provided elsewhere in this Ordinance, parking lot lights must be no more than 20 feet high and be limited by the following factors: an average lighting level of 1.0 foot candle with a minimum of 0.75 foot candle; a uniformity ratio of not greater than 4-to-1, and lighting distribution shall be provided by cut-off type fixtures. All such parking lot lighting shall be extinguished or reduced in intensity to not more than an average of 0.5 foot candles no later than 30 minutes after the close of business.*

IX.D.9.c (2) Requirement: an average lighting level of 1.0 foot candle

Requested Variation: Variance of 3.39 foot candles to the requirement that the average lighting level is limited to 1.0 foot candle thereby allowing an average of 4.39 foot candles.

IX.D.9.c (2) Requirement: a uniformity ratio of not greater than 4-to-1

Requested Variation: Variance of 3.39 to the requirement that the uniformity ratio is 4:1 thereby allowing a uniformity ratio of 4.39:1.

Findings of Fact supporting the granting of the above requested variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the Sign Code.
2. The plight of the owner was not created by the owner and is due to unique circumstances
3. The variation if Granted will not alter the essential character of the locality.

**IX.D.9.c (2):** The increased average lighting level and uniformity ratio are necessary due to the proposed use as a convenience store with fuel sales requires higher lighting levels than a typical parking lot. This is due the required tasks which include, dispensing flammable liquid, checking oil, cleaning windshields, filling up tires with air, manipulating the dispenser, swiping credit cards, punching in codes, and taking receipts.



Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance

**Address:**

9115 Kingery Hwy, Willowbrook IL 60527

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

The requested Special Use is for the public convenience located along the IL-83 corridor. Thorntons is proposing to build a state-of-the-art convenience store with fuel sales. The c-store is proposed to be 4,400 sf and provide many items including fresh food such as hot sandwiches, freshly crafted sandwiches, wraps and other healthy options, coffee and drinks, donuts, and more. Sales will also include typical convenience items, limited groceries, packaged liquor and tobacco. A equivalent facility is not located in the general area of the proposed development.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The requested Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare as it will be operated consistent with other businesses located along a state highway corridor.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The requested Special Use is designed to be built and operated with the applicable regulations of Burr Ridge and the B-2 PUD district requirements subject only to the variations requested herein. Given the substantial investment in improvements and conformity to local requirements, it is not anticipated to be injurious to the uses and enjoyment of other property in the immediate vicinity no substantially diminish or impair property values within the area.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed special use is located on the remaining outlot in a Business zoned PUD. Therefore the surrounding property is already developed and it will not impede development.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The proposed special use is to be located on an existing outlot. All necessary support facilities have previously been constructed.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Existing ingress and egress from public streets have been developed as part of the larger Planned Unit Development. Two driveways to private drives are proposed at locations to minimize any impact to public streets.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed special use does not conflict with the Official Comprehensive Plan of the Village of Burr Ridge as amended.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The requested Special Use is designed to be built and operated with the applicable regulations of Burr Ridge and the B-2 PUD district requirements subject only to the variations requested herein.

# Traffic Memorandum

To: Village of Burr Ridge, IL

From: Arc Design Resources, Inc.

Date: March 24, 2022

**Re: Thorntons of Burr Ridge**

The proposed development is located at an existing out lot which is part of the Spectrum PUD/subdivision. The original PUD included a Traffic Impact Study which was completed in 2015.

The previously completed TIA considered the outlots would include two 4,500 sf drive-thru restaurants in addition to a 15,000 sf pharmacy. This resulted in the following trip generation (Table 2 from Spectrum Senior Living Development TIS by Sam Schwartz Engineer):

Land Use / Size	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Spectrum Senior Living / 190 Units	20	5	25	10	20	30
Restaurant w/ Drive-Thru / 9,000 sf	210	200	410	155	140	295
Retail/Pharmacy Outlot / 15,000 sf	30	15	45	60	65	125
<b>Total</b>	<b>260</b>	<b>220</b>	<b>480</b>	<b>225</b>	<b>225</b>	<b>450</b>

The 2015 report did not account for internal trip capture or pass-by trips. This resulted in the conservative trip generation shown in Table 1 for the outlots:

Table 1: Trip Generation - 2015

Land Use / Size	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Restaurant w/Drive Thru / 9,000 sf	210	200	410	155	140	295
Retail/Pharmacy Outlot / 15,000 sf	30	15	45	60	65	125
<b>Total</b>	<b>240</b>	<b>215</b>	<b>455</b>	<b>215</b>	<b>205</b>	<b>420</b>

In 2018, the Village approved an amendment to the Spectrum PUD and granted a special use for the 3,662 sf McDonalds located at 9101 Kingery Hwy. Therefore, the McDonalds plus proposed Thorntons results in the generated trips shown in Table 2. Additionally, fuel stations and drive-thru restaurants have a significant number of pass-by trips. For this evaluation, a pass-by trip percentage of 55% was



considered for the Convenience Store/Gas Station and a pass-by trip percentage of 45% was considered for the Restaurant w/Drive-Thru. Additionally, internal trip capture could be considered between the Restaurant, Convenience Store/Gas Station, and Senior Living. However, for this memorandum, internal capture is included in the Trip Generation table.

Table 2: Trip Generation - 2022

Land Use / Size (ITE 11 <sup>th</sup> Edition)	Trips	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Restaurant w/Drive Thru / 3,662 sf (934)	New	84	80	164	63	58	121
	Pass-by (45%)	38	36	74	28	26	54
Convenience Store/Gas Station / 4,400 sf – 20 positions (945)	New	270	271	541	227	228	455
	Pass-by (55%)	149	149	298	124	125	249
<b>Total</b>		<b>167</b>	<b>166</b>	<b>333</b>	<b>138</b>	<b>135</b>	<b>273</b>

As the traffic generated is consistent with the original considerations of the 2015 Traffic Impact Study, a new traffic study is not warranted.

End of Project Memo

# Stormwater Memorandum - Detention

To: Village of Burr Ridge, IL

From: Arc Design Resources, Inc.

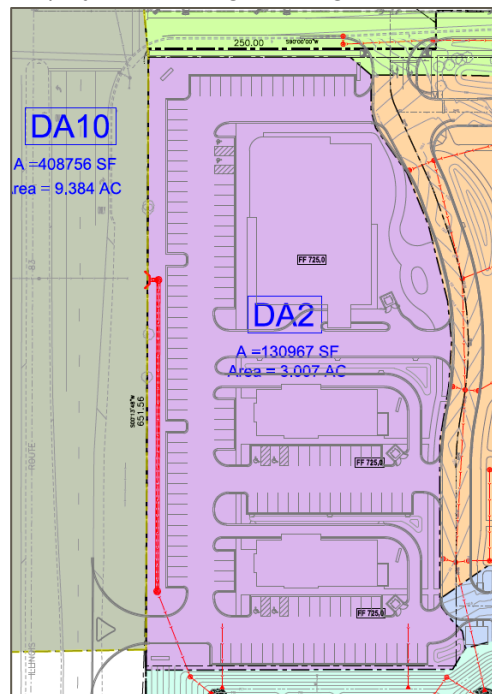
Date: March 24, 2022

**Re: Thorntons of Burr Ridge**

The proposed development is located at an existing out lot which is part of the Spectrum PUD/subdivision. The original PUD included a Stormwater Management and Wetland Study which was completed in 2016.

The previously completed stormwater management report considered the outlot to be part of Drainage Area 2 (DA2). DA2 included 3.007 acres total and included all commercial outlots to the western portion of the shared access drive. Per the Analysis, DA2 is considered to have a Runoff Coefficient of 0.912 and considered a total impervious area of 2.47 acres. Therefore, DA2 was considered to be 82% impervious.

Below is a portion of the proposed drainage map (pg 53 of 264) and proposed catchment areas (pg 54 of 226) by Cross Engineering and Associates:



SPECTRUM Senior Living - Burr Ridge, IL						
Proposed Drainage Area Subcatchment RCN Raw Calculations for EPA SWMM 5.1 Model						
Area (ac)						
Declared						
0.29	3.067457	1.714	0.979	4.707	1.845	
<b>DA1</b>	<b>DA2</b>	<b>DA3</b>	<b>DA4</b>	<b>DA5-off</b>	<b>DA5-on</b>	<b>DA6</b>
0.29	3.067457 (ac)	1.714 (ac)	0.979 (ac)	33255.28	171781.6	1.845 (ac)
				<b>0.763436</b>	<b>3.943564 (ac)</b>	
<b>Total Impervious</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>
720.8454	114854.9	19739.07	6443.191	Pervious	55440.7	21801.57
<b>0.016548 (ac)</b>	Pervious	26841.83	26968.43	1993.387	<b>83912.09</b>	44214.07
	192.3268	<b>Total Impervious</b>	Pervious	4081.351	11847.08	Pervious
	906.1867	46580.9	364.3398	90.9083	1388.981	6446.412
	3747.338	<b>1.06935 (ac)</b>	6651.072	375.6751	1460.438	<b>Total Impervious</b>
	440.2892		<b>Total Impervious</b>	2804.039	1674.963	59569.22
	1801.979		26396.21	4.9446	846	<b>1.367521 (ac)</b>
	<b>Total Impervious</b>		<b>0.605974 (ac)</b>	148.4573	1128	
	107766.8			174.8938	Pervious	
	<b>2.473985 (ac)</b>			25.8697	214.5862	
				6.3381	1901.906	
	110400.3	04/16 Adj		326.0276	<b>326.6421</b>	
	<b>2.534441 (ac)</b>	05/16 Adj		186.8113	448.1885	
				181.3282	1415.954	
	2.534441			<b>Total Impervious</b>	2087.195	
				22855.24	54242.09	
				(ac) <b>0.524684</b>	4395.904	
				<b>Total Impervious</b>	92665.79	
					<b>2.127314 (ac)</b>	

The proposed Thorntons development is located on a 1.8 acre outlot and contains 0.49 acres of pervious area and 1.31 acres of pervious area. Therefore, the Thorntons outlot is 73% impervious. As 73% impervious is less than 83% impervious, the original calculations are conservative and additional stormwater detention volume is not required for the proposed Thorntons development.

Additional stormwater calculations to address stormwater flows through the proposed storm sewers will be provided with the full engineering submittal at a future date.

End of Project Memo



SURVEYOR'S NOTES

This survey was based on a Title Commitment, provided to the surveyor, by Old Republic National Title Insurance, File No. 22146559, with a Commitment Effective Date of 12/27/2021.

TITLE COMMITMENT SCHEDULE B SECTION II DOCUMENTS:

Item 8 - The location of the right of way of Illinois Route 83 as shown on the Plat of Dedication for Public Highway filed December 11, 1931 in Book 21 of Plats, Page 39 as document 320350 is shown hereon this drawing. Note the eastern right of way line of Illinois Route 83 near the southwest corner of the surveyed property does not align with right of monuments found south of the site and there may have been additional grants of right of way in this area. See Detail at Sheet 3.

Item 9 - The location of the right of way contained in grants in favor of Northern Illinois Gas Company recorded February 25, 1958 as document numbers 871679 and 871680 is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 10 - The location of the right of way contained in grants in favor of Standard Oil Company, an Indiana corporation recorded October 21, 1959 as documents 944481 and 944482 to lay, maintain, operate, replace and remove pipeline for transportation of petroleum products, including right of access and ingress and egress thereto is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 11 - The location of the right of way contained in grants in favor of West Shore Pipeline Company, an Delaware corporation recorded October 14, 1960 as documents 983487 and 983495 to lay, maintain, operate, replace and remove pipeline for transportation of petroleum products, including right of access and ingress and egress thereto is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 12 - The surveyed property is included in the lands described in the Annexation Agreement between Burr Ridge Property Holdings, LLC, db/a Property Holdings of Burr Ridge and Village of Burr Ridge, Cook and DuPage Counties, Illinois, recorded January 22, 2016 as document R2016-06895.

Item 13 - The surveyed property is included in the lands described Ordinance No. 1156 entitled Ordinance Annexing Certain Real Estate recorded January 22, 2016 as document R2016-06686.

Item 14 - The surveyed property is included in the lands described in the Spectrum Senior Living Planned Unit Development Subdivision Improvement Completion Agreement by and between SAP Construction Management, LLC, a Colorado limited liability company, SK Burr Ridge Residential, LLC, a Delaware limited liability company and the Village of Burr Ridge recorded December 8, 2016 as document R2016-136474.

Item 15 - The easements shown on the Plat of Easement recorded November 13, 2017 as document R2017-116474 are not on and do not touch the surveyed property and are not shown hereon this drawing.

Item 16 - The portions of the Storm Sewer and Drainage Easement and Roadway Storm Sewer Easement over the Westerly 25 feet of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 17 - The portions of the Watermain Easement over a 10 foot wide strip of land across the Easterly and Southerly portion of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 18 - The portions of the Electric Easement for Monument over, upon and under the Westerly 10 feet of the land as shown on the plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 19 - The portions of the Storm Sewer and Drainage Easement over 10 foot side strip of land over the Easterly and Southerly lot lines and the Easterly and Southerly portions of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 20 - The portions of the Storm Sewer and Drainage Easement over 15 foot side strip of land over the Northerly lot line and Northerly portions of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 21 - The portions of the Sanitary Sewer Easement, Watermain Easement, Stormwater Management and Drainage Easement, Storm Sewer and Drainage Easement, IDOT Storm Sewer Easement, Monument Sign Easement, and Electric Easement for Monument Signs shown on the recorded plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 and within the scope of this survey are shown hereon this drawing.

Item 22 - The portions of the ComEd Easement provisions as disclosed on the recorded plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 and within this scope of this survey are shown hereon this drawing.

Item 23 - Easements specific to the Spectrum Senior Living PUD - Burr Ridge dated October 9, 2018 and recorded October 10, 2018 as document number R2018-095543 made by and between S-K Burr Ridge Residential, LLC, a Delaware limited liability company and S-K Burr Ridge Commercial, LLC, a Colorado limited liability company, (collectively referred to as the "Declarant") and subject to the Terms, provisions and conditions contained therein. Re-recorded October 31, 2018 as document number R2018-102038 and also re-recorded November 2, 2018 as document number R2018-102920 include the Lot 1 Cross Access Easement and the Shared Drive which are shown hereon this drawing. Temporary easements are not shown hereon this drawing.

Item 24 - Grant of Easement made by and between S-K Burr Ridge Residential, LLC Association and Comcast Illinois VI, LLC recorded June 18, 2018 as document R2018-055095, is blanket in nature over lands including the surveyed property and is not shown explicitly hereon this drawing.

2021 ALTA/NSPS LAND TITLE SURVEY TABLE A ITEMS:

- Item 1: Corner Monuments are as noted and shown hereon this survey.
- Item 2: The address of the surveyed property as listed on the DuPage County Tax Parcel GIS Viewer is: 9115 Kingery Hwy, Willowbrook, IL 60521
- Item 3: Flood Zone Data: The surveyed property is located in "Other Areas - Zone X", areas determined to be outside of 0.2% annual chance floodplain. This is based on the graphical location of the surveyed property on the Flood Insurance Rate Map for DuPage County, Illinois and Incorporated Areas, Map Number 1704-3C 02771, revision date 08.01.2019.
- Item 4: The surveyed property contains 78,576 Sq. Ft.; 1.8039 Acres.
- Item 5: Contours shown are at 1' intervals and are from ground survey and aerial Lidar. Elevation datum is NAVD88 based on RTK GPS observations at DuPage County Illinois 2006 Geodetic Monument No. DG501001
- Item 6(a): No current zoning report or letter was provided to the surveyor.
- Item 6(b): No current zoning report or letter was provided to the surveyor.
- Item 7(a): There were no buildings on the surveyed property.
- Item 8: Substantial features observed in the process of conducting the fieldwork are as shown hereon this drawing.
- Item 10: There were no division or party walls designated by the client.
- Item 11(b): Per agreement, no private utility locating service was utilized for this project. The location of utilities existing on or serving the surveyed property as determined by observed evidence, evidence from plans obtained from utility companies, or provided by the client and from markings requested pursuant to an 811 utility locate request are as shown hereon this drawing, noting that lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Also note that storm sewer structures were equipped with clean water features that prevented depth measurements.
- Item 13: The names of adjoining owners according to the current records are as shown hereon this survey.
- Item 14: The surveyed property is located 223 south of the intersection of Illinois Rt. 83 and 91st Street.
- Item 15: During this present fieldwork low altitude aerial photogrammetry (average GSD= 0.63cm/pixel), and debiased aerial LiDAR (GeoCue TrueView 515, precision specifications of this instrument can be found at manufacturer's website) were used for gathering data for the location of certain features (excluding boundaries) where ground measurements were not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary.
- Item 17: There were no proposed changes in street right of way lines made available to the surveyor. There was no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- Item 19: Evidence of Professional Liability Insurance per contract requirements are on file.

LEGAL DESCRIPTION

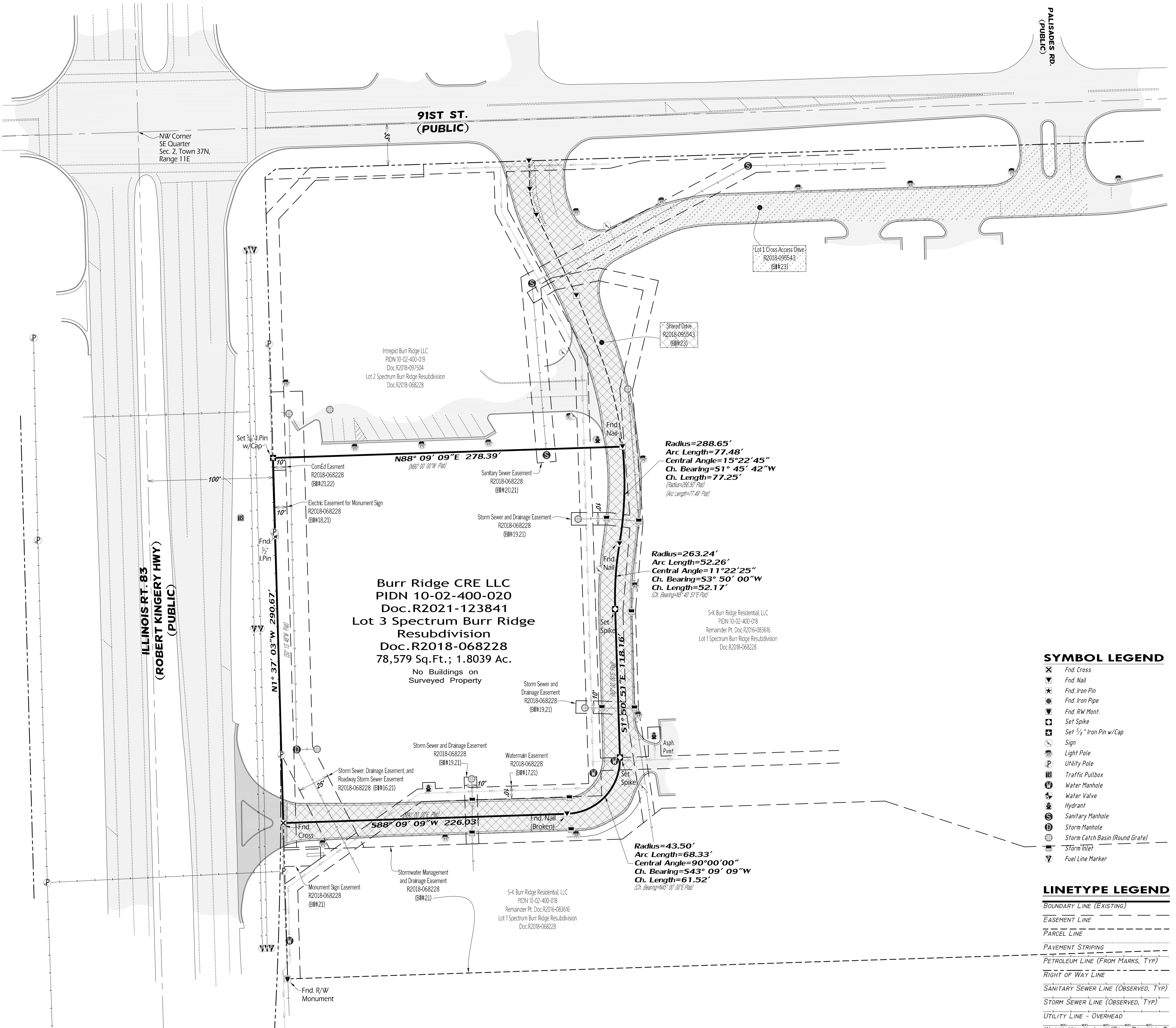
TITLE COMMITMENT SCHEDULE A NO. 5 EXHIBIT A

LOT 3, SPECTRUM BURR RIDGE RESUBDIVISION, BEING A SUBDIVISION IN PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 24, 2018 AS DOCUMENT R2018-068228, IN DUPAGE COUNTY, ILLINOIS.

LEGAL DESCRIPTION

DOCUMENT# R2021-123841

LOT 3, SPECTRUM BURR RIDGE RESUBDIVISION, BEING A SUBDIVISION IN PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 24, 2018 AS DOCUMENT R2018-068228, IN DUPAGE COUNTY, ILLINOIS.



PALISADES RD.  
(PUBLIC)

91ST ST.  
(PUBLIC)

ILLINOIS RT. 83  
(ROBERT KINGERY HWY)  
(PUBLIC)

**Burr Ridge CRE LLC**  
PIDN 10-02-400-020  
Doc. R2021-123841  
**Lot 3 Spectrum Burr Ridge**  
**Resubdivision**  
Doc. R2018-068228  
78,579 Sq. Ft.; 1.8039 Ac.  
No Buildings on  
Surveyed Property

SYMBOL LEGEND

- Find Cross
- Find Nail
- Find Iron Pin
- Find Iron Pipe
- Find Iron Mont.
- Set Spike
- Set 1/8" Iron Pin w/Cap
- Sign
- Light Pole
- Utility Pole
- Traffic Pullbox
- Water Manhole
- Water Valve
- Hydrant
- Sanitary Manhole
- Storm Manhole
- Storm Catch Basin (Round Grate)
- Storm Inlet
- Fuel Line Marker

LINETYPE LEGEND

- BOUNDARY LINE (EXISTING)
- EASEMENT LINE
- PARCEL LINE
- PAVEMENT STRIPING
- PETROLEUM LINE (FROM MARKS, TYP)
- RIGHT OF WAY LINE
- SANITARY SEWER LINE (OBSERVED, TYP)
- STORM SEWER LINE (OBSERVED, TYP)
- UTILITY LINE - OVERHEAD
- WATER UTILITY LINE (FROM RECORDS, TYP)



**BAUMANN LAND SURVEY, INC.**  
P.O. BOX 14834, CINCINNATI, OHIO 45250  
513.860.3999 WWW.BAUMANNLSI.COM

**WARNING**  
The location of all utilities and underground structures shown are approximate and are not necessarily all of the existing utilities and structures. It is the contractor's responsibility to determine the exact location and existence of all utilities and underground structures.

VICINITY MAP (N.T.S.)



SEAL

ILLINOIS CERTIFICATION

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Thomas P. Baumann, PS  
Illinois Surveyor #3768  
Expires 11/30/2022

ALTA/NSPS CERTIFICATION

To INSURED, LENDER, and Old Republic National Title Insurance: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11(b), 13, 14, 15, 17, and 19 of Table A, thereof. The fieldwork was completed on 01/17/2022. Date of Plat or Map: DRAFT

Thomas P. Baumann, PS  
Illinois Surveyor #3768  
Expires 11/30/2022

ALTA/NSPS  
LAND TITLE  
~SURVEY~

PROPOSED THORNTONS SITE

P2115

BURR RIDGE, IL

IN THE WEST HALF OF THE SOUTHEAST QUARTER OF  
SECTION 2, TOWN 37 NORTH, RANGE 11 EAST  
OF THE THIRD PRINCIPAL MERIDIAN  
DuPAGE COUNTY, ILLINOIS

PREPARED FOR THORNTONS

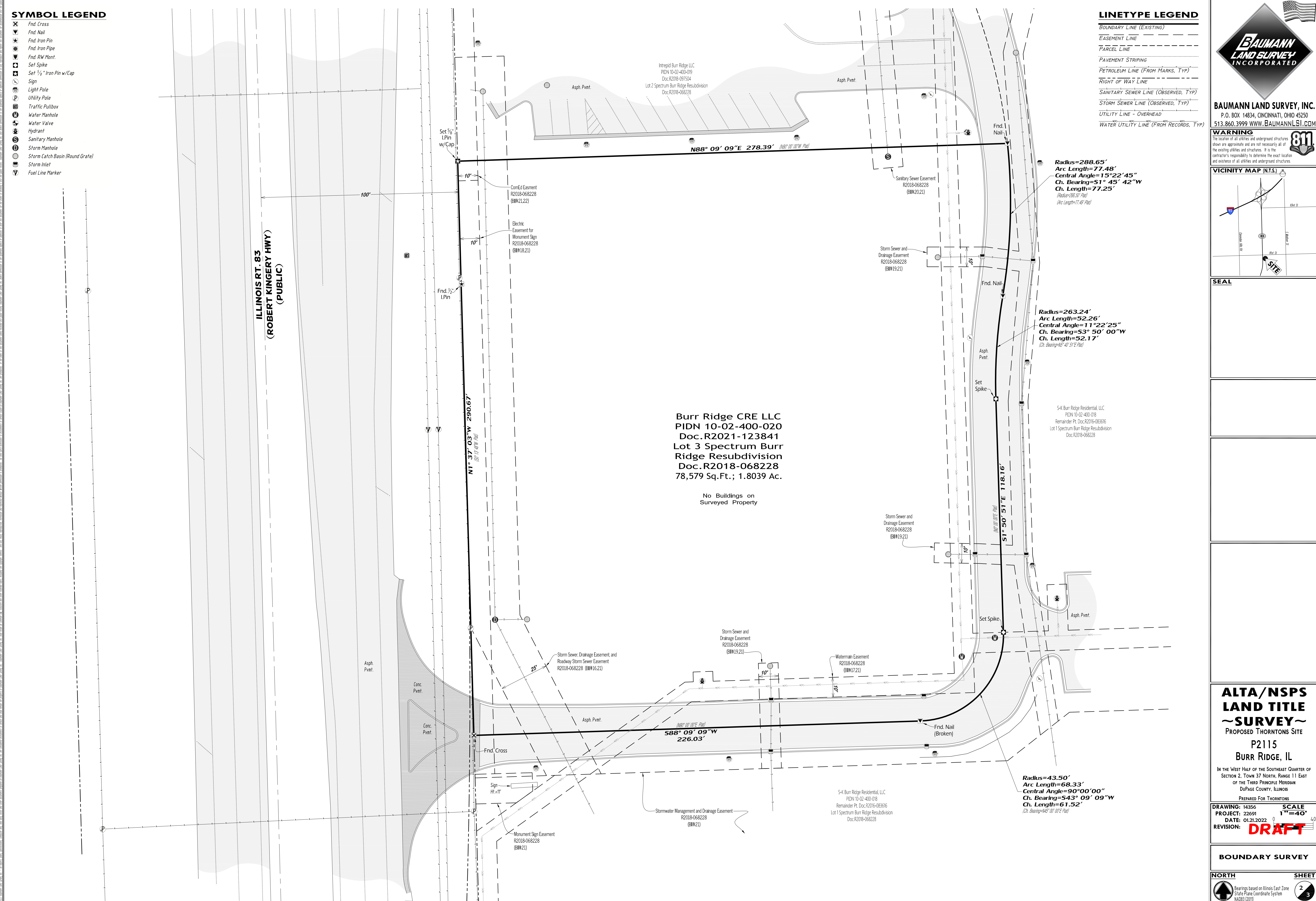
DRAWING: 14356  
PROJECT: 22691  
DATE: 01.21.2022  
REVISION: **DRAFT**

OVERALL SITE  
AND NOTES

**NORTH**  
Bearings based on Illinois East Zone  
State Plane Coordinate System  
NAD83 (2011)

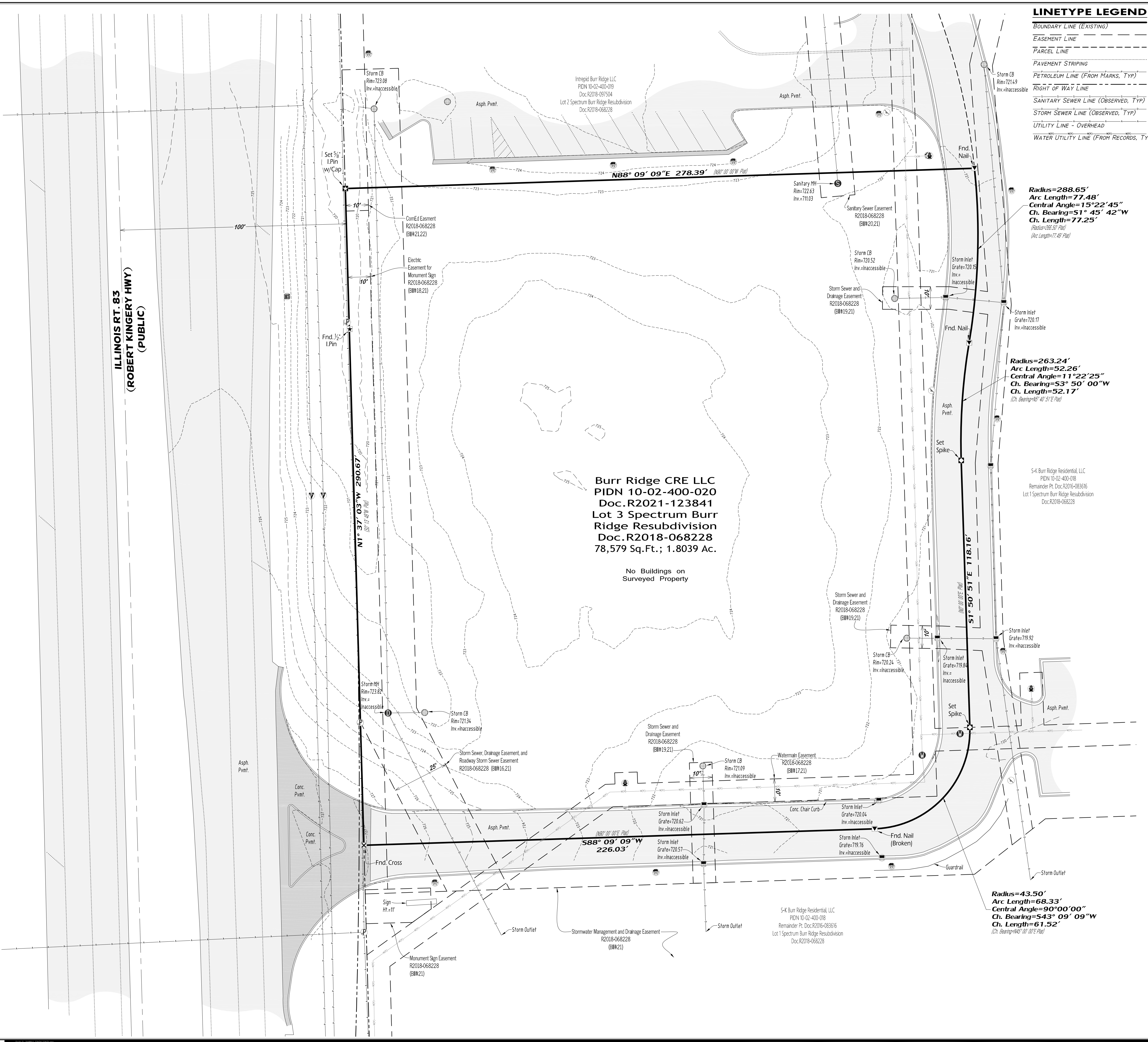
**SHEET**  
1  
3





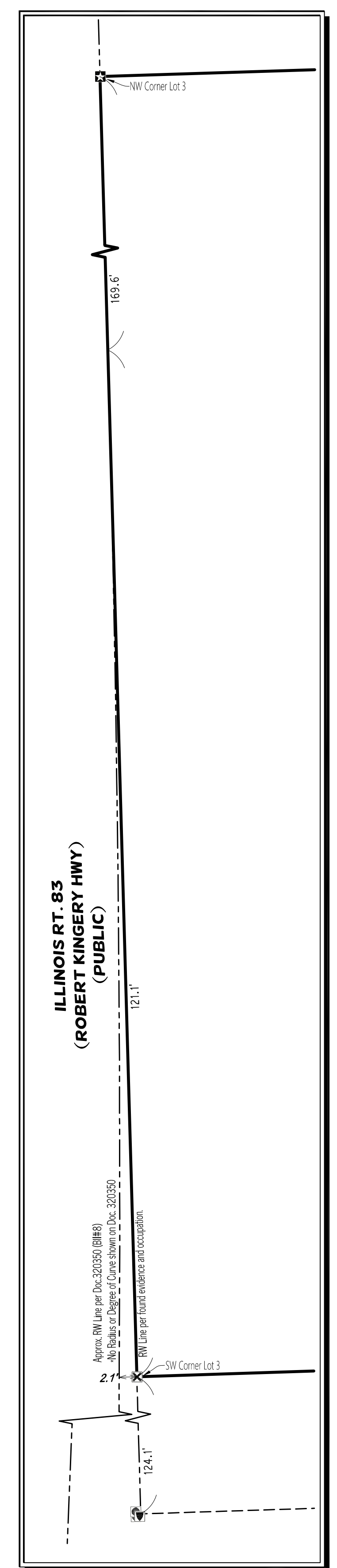


BAUMANN LAND SURVEY, INC. is not responsible for any errors or omissions in this drawing. The user of this drawing is advised to verify all data and information shown on this drawing. The user of this drawing is advised to verify all data and information shown on this drawing. The user of this drawing is advised to verify all data and information shown on this drawing.



LINETYPE LEGEND	
	BOUNDARY LINE (EXISTING)
	EASEMENT LINE
	PARCEL LINE
	PAVEMENT STRIPING
	PETROLEUM LINE (FROM MARKS, TYP)
	RIGHT OF WAY LINE
	SANITARY SEWER LINE (OBSERVED, TYP)
	STORM SEWER LINE (OBSERVED, TYP)
	UTILITY LINE - OVERHEAD
	WATER UTILITY LINE (FROM RECORDS, TYP)

SYMBOL LEGEND	
	Find Cross
	Find Nail
	Find Iron Pin
	Find Iron Pipe
	Find RW Mont.
	Set Spike
	Set 3/4" Iron Pin w/Cap
	Sign
	Light Pole
	Utility Pole
	Traffic Pullbox
	Water Manhole
	Water Valve
	Hydrant
	Sanitary Manhole
	Storm Manhole
	Storm Catch Basin (Round Grate)
	Storm Inlet
	Fuel Line Marker



**DETAIL**  
RIGHT OF WAY  
ALONG ILLINOIS RT. 83  
AT LOT 3

SCALE  
1"=10'



**BAUMANN LAND SURVEY, INC.**  
P.O. BOX 14834, CINCINNATI, OHIO 45250  
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SEAL

**ALTA/NSPS  
LAND TITLE  
~SURVEY~**  
PROPOSED THORNTONS SITE  
P2115  
BURR RIDGE, IL

IN THE WEST HALF OF THE SOUTHEAST QUARTER OF  
SECTION 2, TOWN 37 NORTH, RANGE 11 EAST  
OF THE THIRD PRINCIPLE MERIDIAN  
DUPAGE COUNTY, ILLINOIS

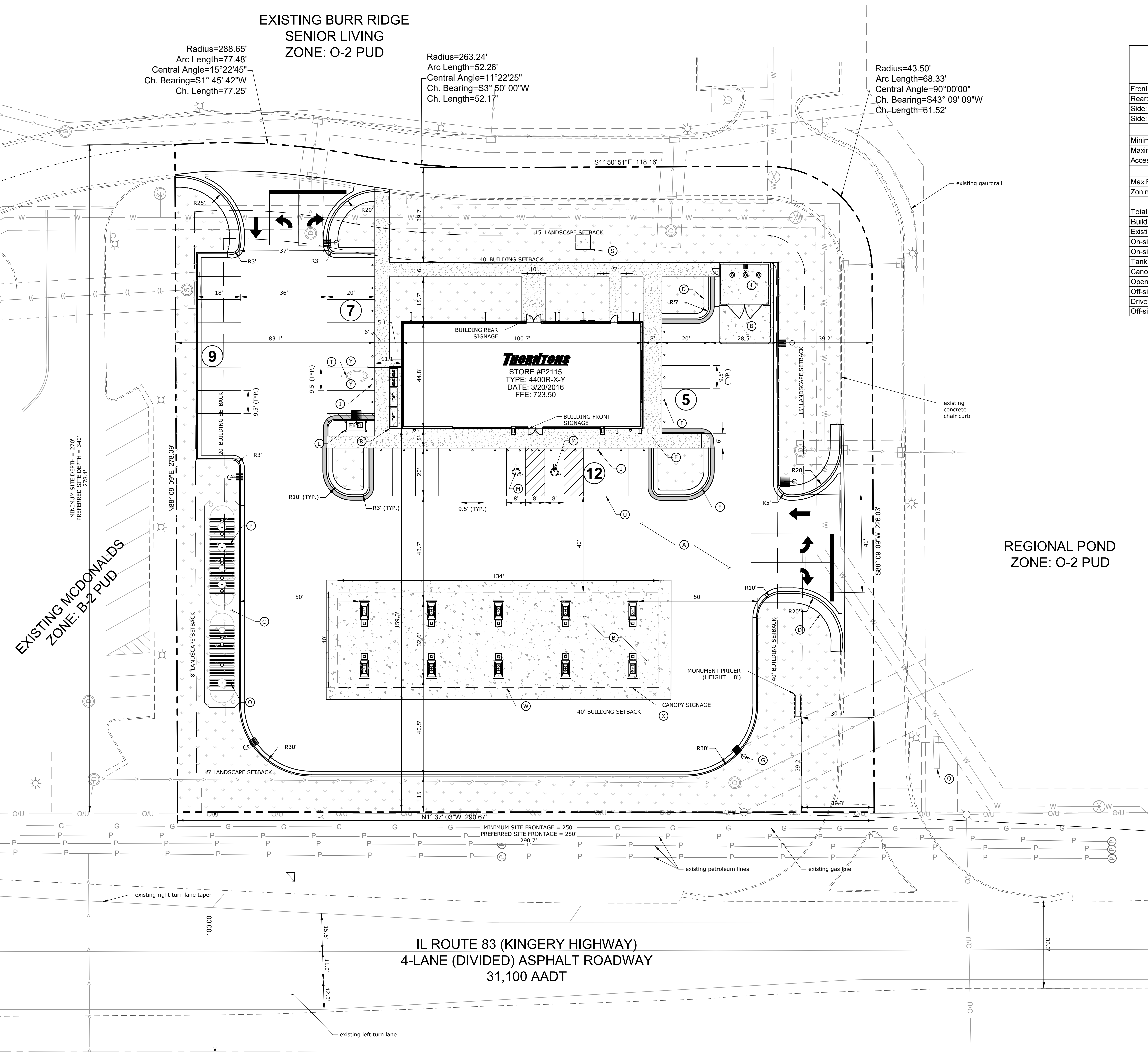
PREPARED FOR THORNTONS  
DRAWING: 14356  
PROJECT: 22691  
DATE: 01.21.2022  
REVISION: **DRAFT**

**TOPOGRAPHIC  
SURVEY AND  
RIGHT OF WAY DETAIL**

**NORTH**  
Bearings based on Illinois East Zone  
State Plane Coordinate System  
NAD83 (2011)

**SHEET**  
3  
3





Site Plan Summary Table		
	Required	Provided
Building Setbacks		
Front: South	40	150+
Rear: North	40	60+
Side: East	40	90+
Side: West	40	90+
Parking		
Minimum	38	53
Maximum	---	---
Accessible / Van Accessible	2 (1)	2 (2)
Land Use Data		
Max Building Height (Ft)	35	---
Zoning Category / Zoning Agency (City, County, etc.)	B-2 PUD - Village of Burr Ridge, DuPage County	
Total Site Area (S.F.)	78,576	
Building Area (S.F.)	4,400	
Existing Building Area (S.F.)	N/A	
On-site Vehicular Circulation (Paved) (S.F.)	38,702	
On-site Sidewalk (S.F.)	3,530	
Tank Pad Area (S.F.)	1,243	
Canopy Area (S.F.)	5360	
Open Space (S.F.)	21,361	
Off-site Sidewalk Area (New and/or Replaced) (S.F.)	0	
Driveway Apron / Turnout Areas (in Public ROW) (S.F.)	---	
Off-site Roadway Improvements (Turn Lane, etc.) (S.F.)	0	

SITE LEGEND

- A STANDARD DUTY PAVEMENT SECTION AND NOTES. SEE SHEET C7.1 - THORNTONS DETAILS.
- B HEAVY DUTY PAVEMENT SECTION AND NOTE. SEE SHEET C7.1 - THORNTONS DETAILS.
- C TANK PAD PAVING SECTION AND CONCRETE NOTES. SEE SHEET C7.1 - THORNTONS DETAILS.
- D HARDSCAPE BUFFER. SEE DETAILS SHEET C7.1 - THORNTONS DETAILS.
- E CONCRETE SIDEWALK. SEE SHEET C7.1 - THORNTONS DETAILS.
- F CONCRETE CURB. SEE SHEET C7.1 - THORNTONS DETAILS.
- G LIGHT POLE. SEE DETAILS ON SHEET C7.2 - THORNTONS DETAILS.CONFIRM LIGHT POLE FIXTURE TYPE AND ORIENTATION WITH PHOTOMETRIC PLAN.
- H NOT USED
- I PIPE BOLLARD. SEE DETAILS.
- J NOT USED
- K NOT USED
- L SERVICE ISLAND
- M ACCESSIBLE PARKING SPACE. DETAIL PER AUTHORITY HAVING JURISDICTION.
- N NOT USED
- O SINGLE COMPARTMENT TANK. REFERENCE FUEL DRAWINGS
- P THREE COMPARTMENT TANK REFERENCE FUEL DRAWINGS
- Q MONUMENT/PYLON/GROUND SIGN. REFERENCE
- R PAVILION AREA
- S PROPOSED TRANSFORMER LOCATION. COORDINATE PAD WITH COMED
- T PROPOSED GREASE TRAP LOCATION. REFERENCE MEP PLANS
- U PAINTED 4" WIDE YELLOW STRIPE.
- V WASTE ENCLOSURE. REF. ARCH. PLANS
- W PROPOSED CANOPY. REF. CANOPY PLANS
- X PROPOSED BUILDING SETBACK LINE.
- Y RESERVED FOR FUTURE EV CHARGING STATIONS.

REVISIONS	
NO.	DESCRIPTION

ARC DESIGN  
RESOURCES INC.

5291 Zenith Parkway  
Loves Park, IL 61111

REGISTRATION NUMBER:  
184001334-0010

DATE: 3-25-2022

THORNTONS BURR RIDGE, IL

DESIGN: RCS

DRAFTING: LND

SCALE: 1/20

DATE: 3-25-2022

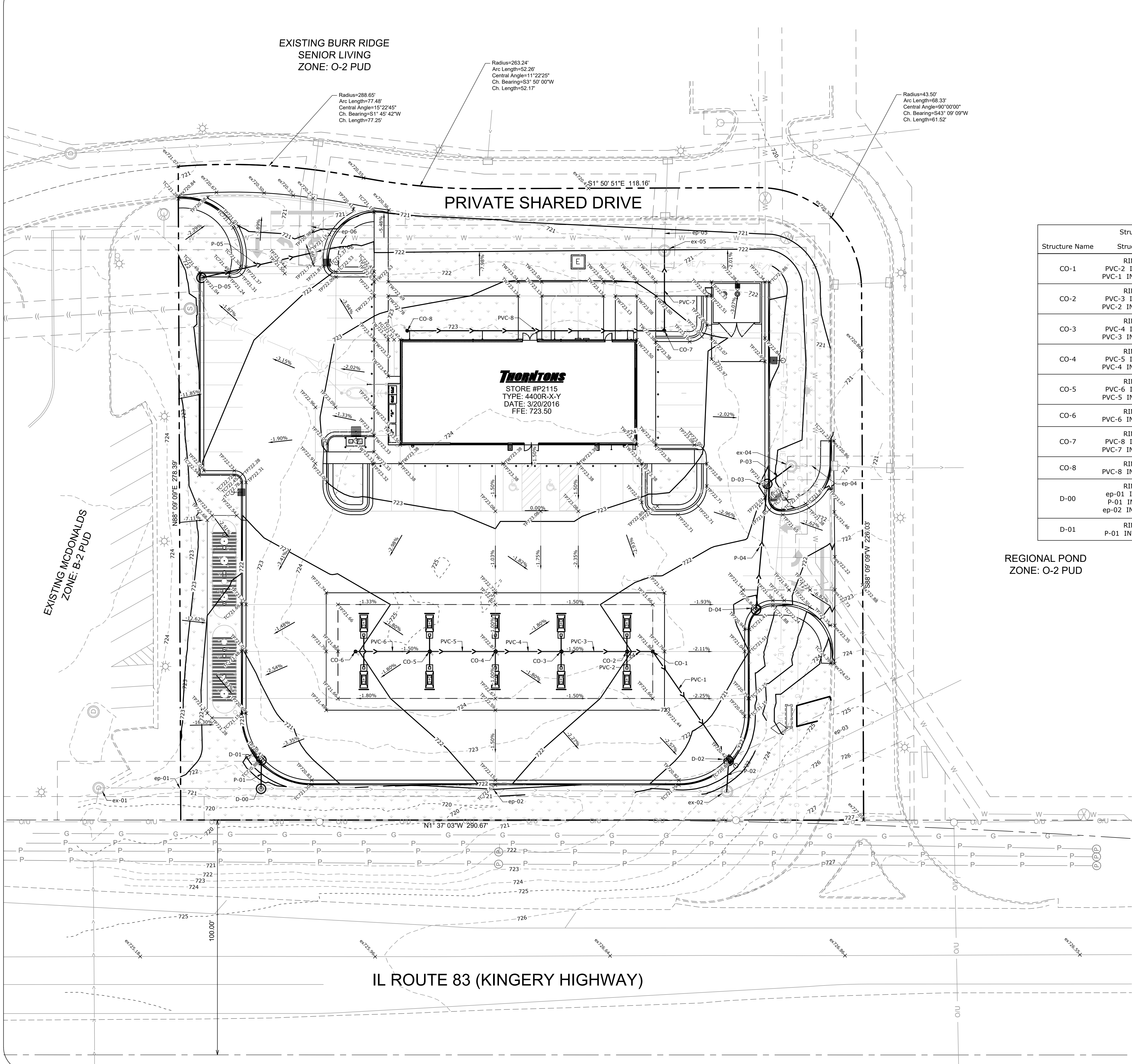
SITE PLAN

THORNTONS

9115 KINGERY HIGHWAY  
BURR RIDGE, IL 60527

C3.0





LEGEND

- X 11000.00

TOP OF WALK ELEVATION
- X 10000.00

TOP OF PAVEMENT ELEVATION
- X 10000.00

FINISHED GRADE ELEVATION
- X 10000.00

TOP OF CURB ELEVATION
- =====

EXISTING CONCRETE CURB AND GUTTER
- =====

CONCRETE CURB AND GUTTER
- 800 —

PROPOSED CONTOUR LINE
- - - 800 - - -

EXISTING CONTOUR LINE
- =====

REJECTING CONCRETE CURB AND GUTTER
- ⊙

PROPOSED GRADE BREAK LINE
- ⊙

EXISTING MANHOLE OR CATCH BASIN
- ⊙

CATCH BASIN OR MANHOLE, SEE STRUCTURE TABLE
- ⊙

CATCH BASIN OR MANHOLE, SEE STRUCTURE TABLE
- PROPOSED CLEANOUT
- 1.6%

DIRECTION OF SHEET FLOW
- ⊙

BENCHMARK
- PROPOSED STORM SEWER
- EXISTING STORM SEWER

Structure Table		
Structure Name	Structure Details	NOTES
CO-1	RIM = 721.86	CLEAN OUT
	PVC-2 INV IN = 718.25	
	PVC-1 INV OUT = 718.25	
CO-2	RIM = 722.03	CLEAN OUT
	PVC-3 INV IN = 718.44	
	PVC-2 INV OUT = 718.44	
CO-3	RIM = 722.45	CLEAN OUT
	PVC-4 INV IN = 718.93	
	PVC-3 INV OUT = 718.93	
CO-4	RIM = 722.87	CLEAN OUT
	PVC-5 INV IN = 719.42	
	PVC-4 INV OUT = 719.42	
CO-5	RIM = 722.45	CLEAN OUT
	PVC-6 INV IN = 719.91	
	PVC-5 INV OUT = 719.91	
CO-6	RIM = 721.98	CLEAN OUT
	PVC-8 INV IN = 720.46	
	PVC-6 INV OUT = 720.46	
CO-7	RIM = 723.26	CLEAN OUT
	PVC-8 INV IN = 719.26	
	PVC-7 INV OUT = 719.26	
CO-8	RIM = 723.36	CLEAN OUT
	PVC-8 INV IN = 722.00	
	PVC-7 INV OUT = 722.00	
D-00	RIM = 721.62	Manhole Type A
	ep-01 INV IN = 717.22	
	P-01 INV IN = 718.50	
D-01	RIM = 720.43	Inlet Type A
	P-01 INV IN = 719.50	
	P-01 INV OUT = 719.50	

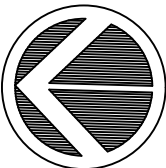
Structure Table		
Structure Name	Structure Details	NOTES
D-02	RIM = 720.42	Inlet Type B
	PVC-1 INV IN = 717.26	
	P-02 INV OUT = 717.00	
D-03	RIM = 721.92	Inlet Type B
	P-04 INV IN = 717.14	
	P-03 INV OUT = 717.10	
D-04	RIM = 720.84	Inlet Type A
	P-04 INV OUT = 718.21	
	P-05 INV OUT = 718.50	
D-05	RIM = 721.04	Inlet Type A
	P-05 INV OUT = 718.50	
	P-05 INV OUT = 718.50	
ex-01	RIM = ???	existing structure
ex-02	RIM = 723.82	existing structure CORE DRILL/CONNECT TO EXISTING STRUCTURE
	ep-02 INV IN = 715.47	
	P-02 INV IN = 716.47	
ex-04	RIM = 721.09	existing structure CORE DRILL/CONNECT TO EXISTING STRUCTURE
	P-03 INV IN = 716.84	
	ep-04 INV OUT = 716.59	
ex-05	RIM = 722.02	existing structure CORE DRILL/CONNECT TO EXISTING STRUCTURE ADJUST STRUCTURE TO FINISHED GRADE
	PVC-7 INV IN = 718.50	
	ep-05 INV OUT = 717.99	
ex-06	RIM = 721.46	existing structure CORE DRILL/CONNECT TO EXISTING STRUCTURE ADJUST STRUCTURE TO FINISHED GRADE
	P-05 INV IN = 717.87	
	ep-06 INV OUT = 717.87	

REGIONAL POND  
ZONE: O-2 PUD

Pipe Table			
Pipe Name	Size	Slope	MATERIAL/NOTES
ep-01	27.000	0.88%	existing pipe
ep-02	27.000	0.88%	existing pipe
ep-03	24.000	0.44%	existing pipe
ep-04	15.000	6.87%	existing pipe
ep-05	12.000	7.23%	existing pipe
ep-06	12.000	3.19%	existing pipe
P-01	12.000	7.81%	RCP
P-02	18.000	3.92%	RCP
P-03	12.000	1.88%	RCP
P-04	12.000	2.06%	RCP
P-05	12.000	1.35%	RCP
PVC-1	6.000	1.78%	PVC Pipe
PVC-2	6.000	1.75%	PVC Pipe
PVC-3	6.000	1.75%	PVC Pipe
PVC-4	6.000	1.75%	PVC Pipe
PVC-5	6.000	1.75%	PVC Pipe
PVC-6	6.000	1.75%	PVC Pipe
PVC-7	6.000	2.22%	PVC Pipe
PVC-8	6.000	2.50%	PVC Pipe

Critical Elevations for Canopy Design

Highest Pavement Elevation Under Canopy	722.87
Lowest Pavement Elevation Under Canopy	721.66
Minimum Vertical Clearance under Canopy shall be 17.5'	



THORNTONS BURR RIDGE, IL



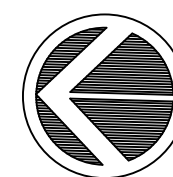
9115 KINGERY HIGHWAY  
BURR RIDGE, IL 60527

C5.0

REVISIONS		NO.		DATE	DESCRIPTION

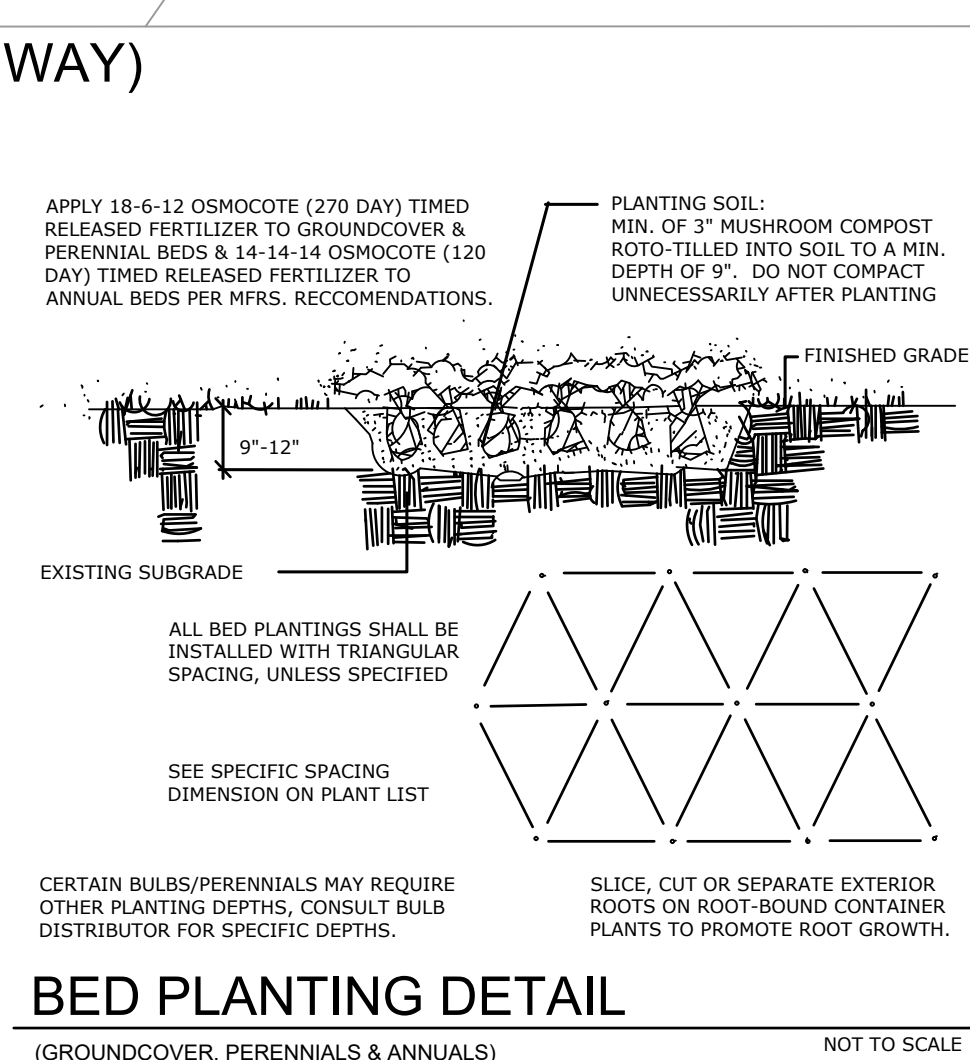
ARC DESIGN RESOURCES INC. 5291 Zenith Parkway Loves Park, IL 61111	REGISTRATION NUMBER: 184001334-0010
DRAFTING: LND	DATE: 3-25-2022
DESIGN: RCS	SCALE: 1:20
GRADING AND DRAINAGE PLAN	





C6.0

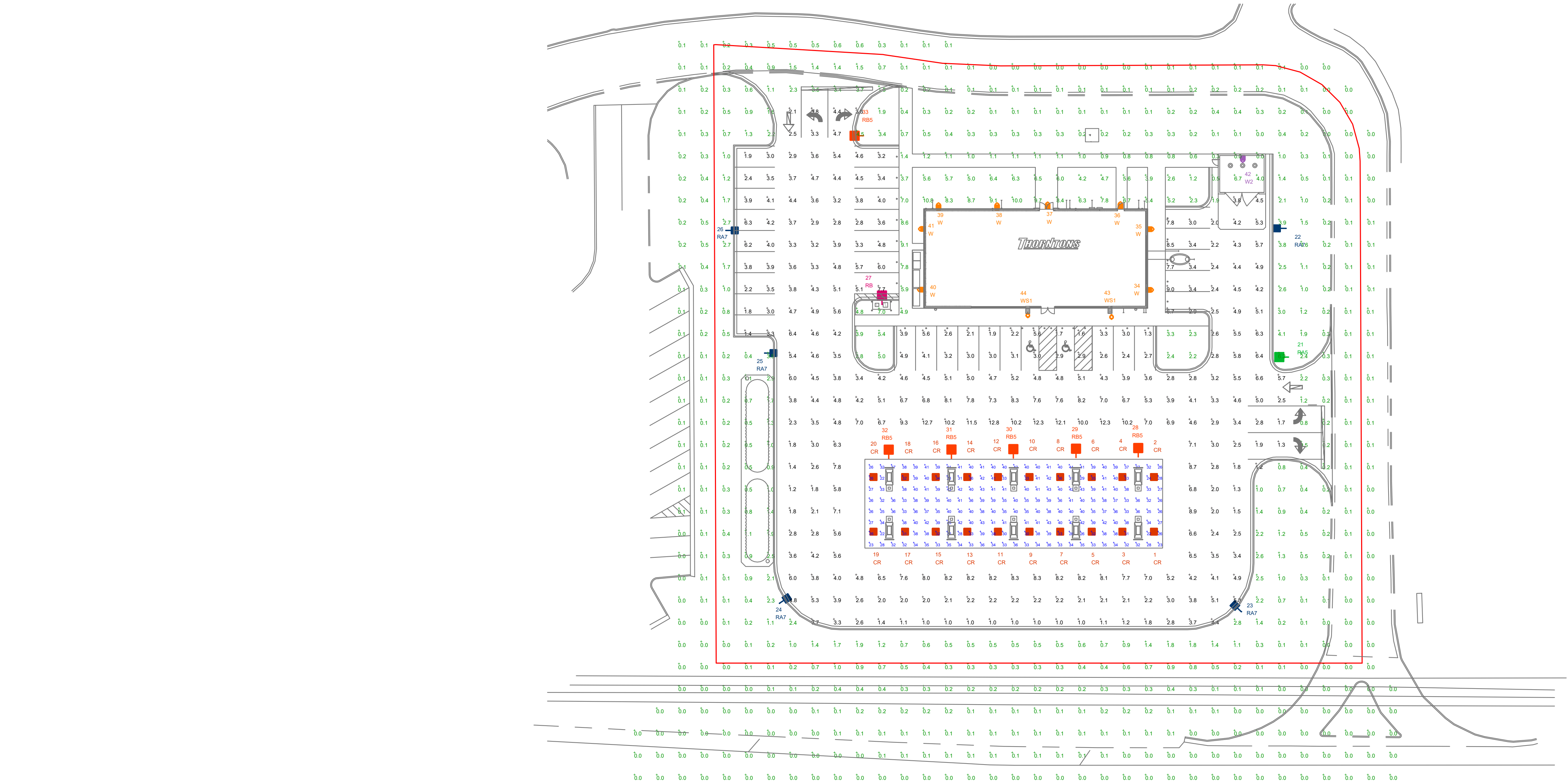




CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
PERIMETER LANDSCAPE AREA - MINIMUM SETBACKS	NORTH P.L. EAST P.L. WEST P.L. SOUTH P.L.	NORTH - 8' WIDTH (SIDE LOT) EAST - 15' WIDTH (FRONT LOT) WEST - 15' WIDTH (INTERIOR CORNER) SOUTH - 15' WIDTH (INTERIOR CORNER)	NORTH - 8' WIDTH (SIDE LOT) EAST - 15' WIDTH (FRONT LOT) WEST - 15' WIDTH (INTERIOR CORNER) SOUTH - 15' WIDTH (INTERIOR CORNER)
PERIMETER LANDSCAPE AREA - PLANTINGS	FRONT OF THE PRINCIPAL BUILDING      SIDE / REAR YARDS	FRONT: PERMANENT SCREENING OF MINIMUM 4' HEIGHT, ADJACENT TO PARKING/PAVEMENT - CONSIST OF EITHER A PLANTED BERM, DENSE EVERGREEN SHRUBS OR TREES OR COMBINATION     SIDE/REAR: PERMANENT SCREENING OF MINIMUM 5' HEIGHT, ADJACENT TO PARKING/PAVEMENT - CONSIST OF EITHER PLANTED BERM, DENSE EVERGREEN SHRUBS OR TREES, OR COMBINATION	FRONT: PERMANENT PLANTED SCREEN MIN. 4' HEIGHT (ADJACENT TO PARKING/PAVEMENT AREAS)     SIDE/REAR: PERMANENT PLANTED SCREEN MIN. 4' HEIGHT (ADJACENT TO PARKING/PAVEMENT AREAS)
PARKING LANDSCAPE (15 SPACES OR MORE)	32 PARKING SPACES	ONE (1) ISLAND FOR EACH 15 SPACES AND/OR AT THE END OF EACH PARKING ROW - MIN. 9'X18' W/ RAISED CURBING AND TREE (3")	ISLAND/PLANTING AREA AT THE END OF EACH PARKING ROW W/ MIN. AREA, RAISED CURBING AND TREE

# L1.0





NOTE:  
- POLE MOUNTED FIXTURES ARE MOUNTED ON A 20FT POLE  
ATOP A CONCRETE BASE.

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS  
REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	CR	15
2	CR	15
3	CR	15
4	CR	15
5	CR	15
6	CR	15
7	CR	15
8	CR	15
9	CR	15
10	CR	15
11	CR	15
12	CR	15
13	CR	15
14	CR	15
15	CR	15
16	CR	15
17	CR	15
18	CR	15
19	CR	15
20	CR	15
21	RA5	20
22	RA7	20
23	RA7	20
24	RA7	20
25	RA7	20
26	RA7	20
27	RB	20
28	RB	20
29	RB	20
30	RB	20
31	RB	20
32	RB	20
33	RB	20
34	W	10
35	W	10
36	W	10
37	W	10
38	W	10
39	W	10
40	W	10
41	W	10
42	W2	6
43	WS1	10
44	WS1	10

## IL ROUTE 83 (KINGERY HIGHWAY)

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	35.79	43	22	1.63	1.95
PAVED AREA	4.39	12.8	1.0	4.39	12.80
UNDEFIND AREA	0.81	10.8	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURE
	20	CR	SINGLE	13251	1.000	B3-U0-G1	134	2680	CREE, INC.
	1	RA5	SINGLE	12699	1.000	B2-U0-G2	104	104	Cree Inc
	5	RA7	Single	8274	1.000	B1-U0-G2	73	365	Cree Inc
	1	RB	SINGLE	16098	1.000	B3-U0-G3	104	104	Cree Inc
	6	RB5	SINGLE	12349	1.000	B2-U0-G2	104	624	Cree Inc
	8	W	SINGLE	5893	1.000	B2-U0-G2	68	544	CREE, INC.
	1	W2	SINGLE	2490	1.000	B1-U0-G1	19	19	Cree Inc
	2	WS1	SINGLE	1980	1.000	N.A.	27.7	55.4	CREE
DESCRIPTION									
CAN-304-SL-RS-06-E-UL-WH-700-57K									
OSQ-MIL-DA-XX + OSQM-B-16L-57K7-3M-UL-XX-Q9 + OSQ0BLSMF									
OSQ-MIL-DA-XX + OSQM-B-16L-57K7-3M-UL-XX-Q3 + OSQ0BLSMF									
OSQ-MIL-DA-XX + OSQM-B-16L-57K7-4M-UL-XX-Q9									
OSQ-MIL-DA-XX + OSQM-B-16L-57K7-4M-UL-XX-Q9 + OSQ-BLSMF									
SEC-EDG-3M-WM-04-E-UL-XX-525-57K									
XSPW-B-WM-3ME-2L-57K-UL-XX									
CL-P6642-31-30K + CL-P8798-31									

REV.	BY	DATE	DESCRIPTION
R1	TAS	3/25/22	LOWERED POLE HEIGHTS
-	-	-	-
-	-	-	-
-	-	-	-

DISCLAIMER  
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SCALE:  
1" = 30'  
DWG SIZE:  
D

LAYOUT BY:  
TAS  
DATE:  
3/22/22

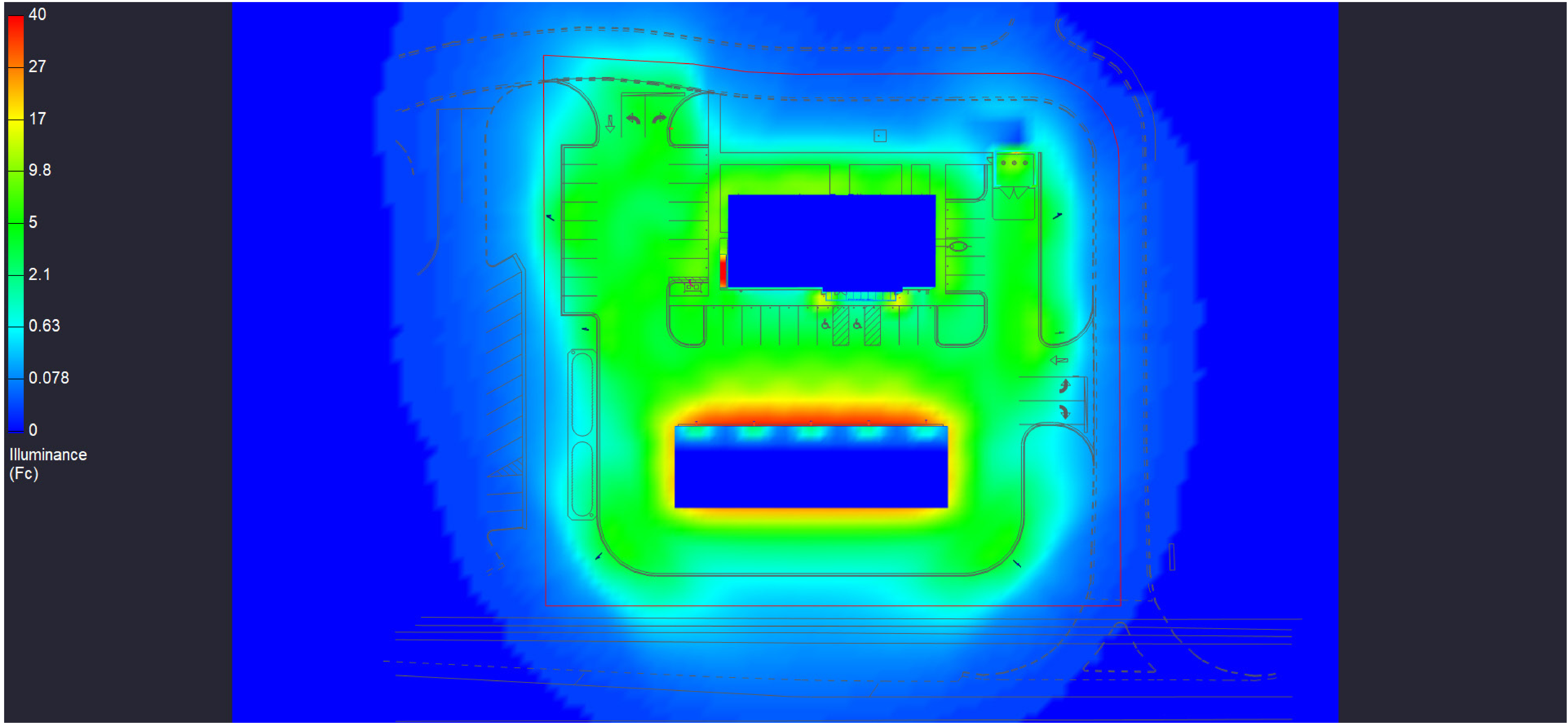
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**THORNTONS P2115**  
**BURR RIDGE, IL**  
DRAWING NUMBER:  
**RL-7953-S1-R1**

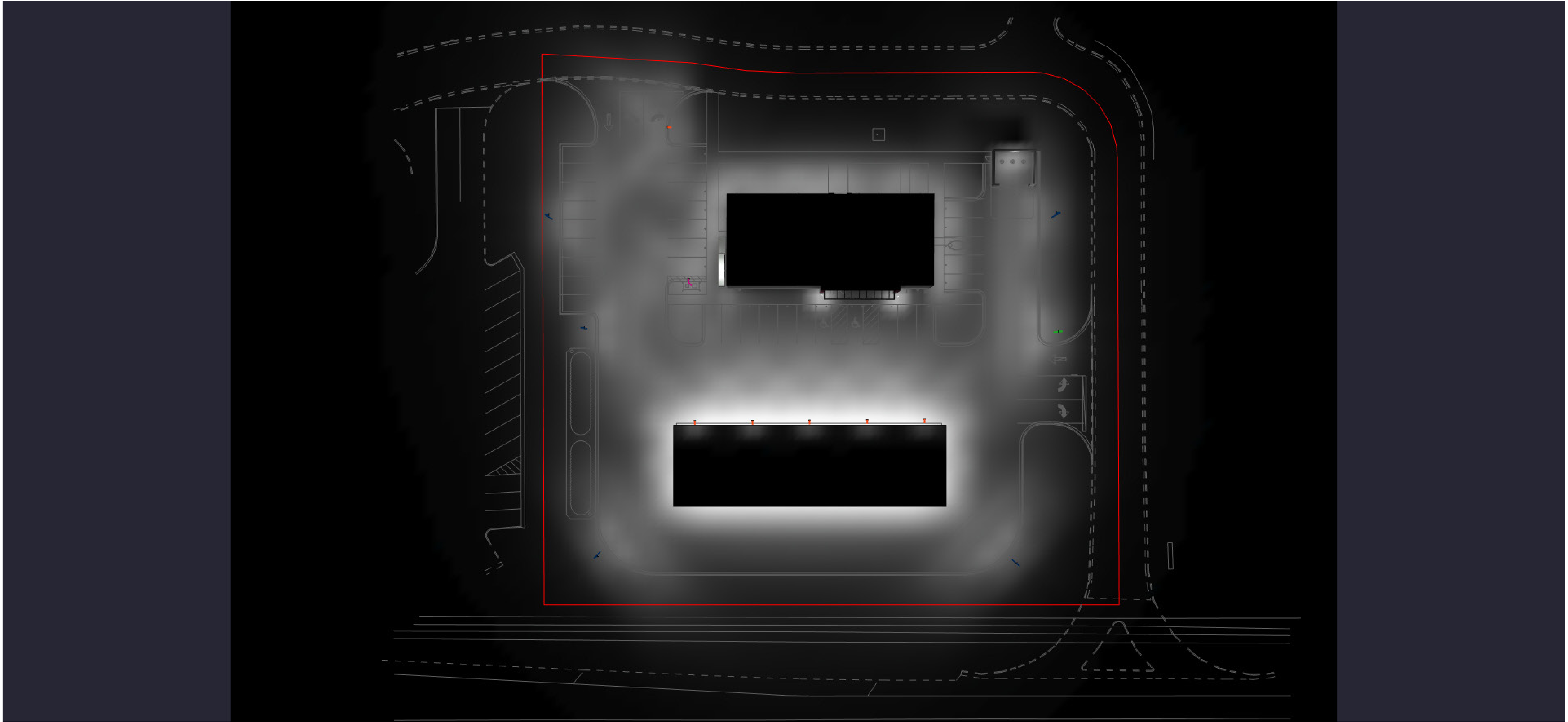


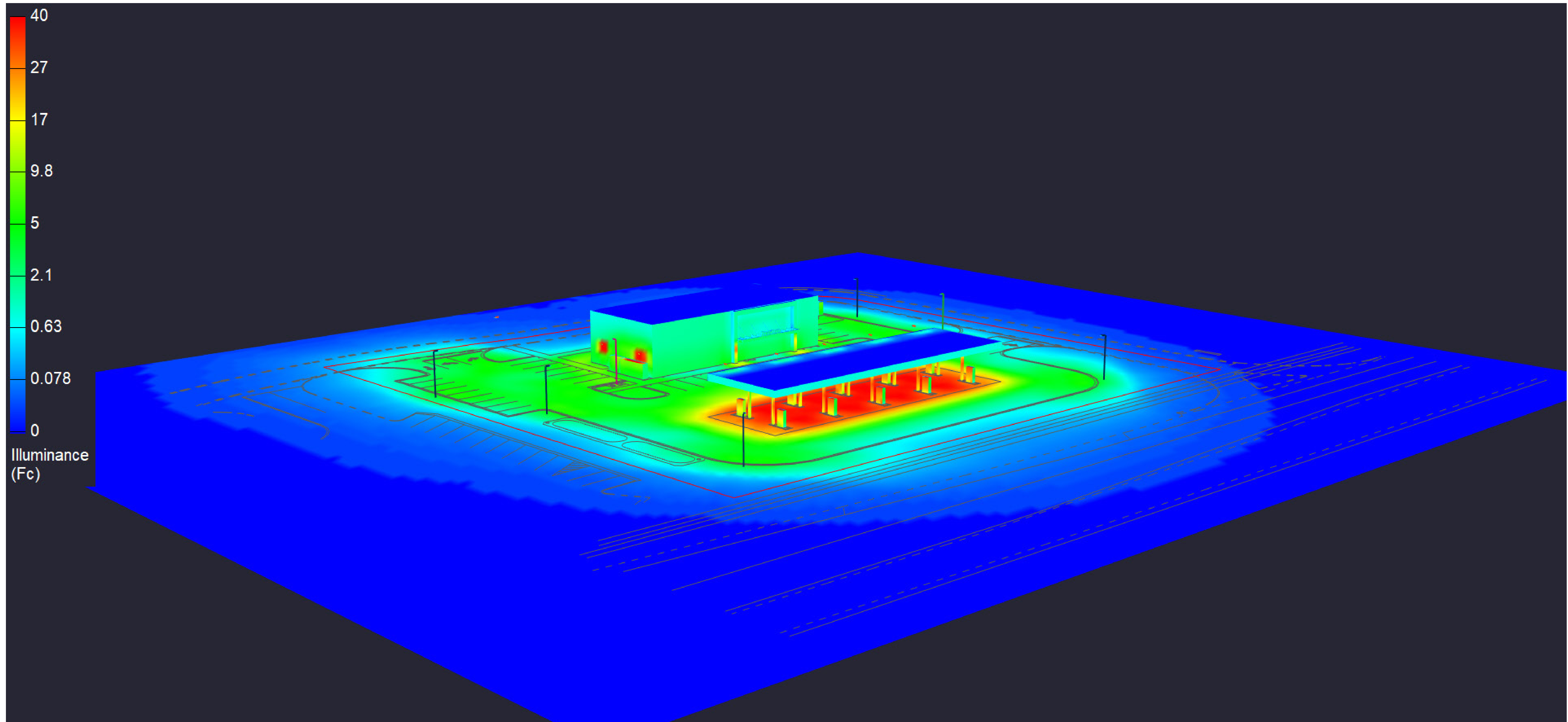




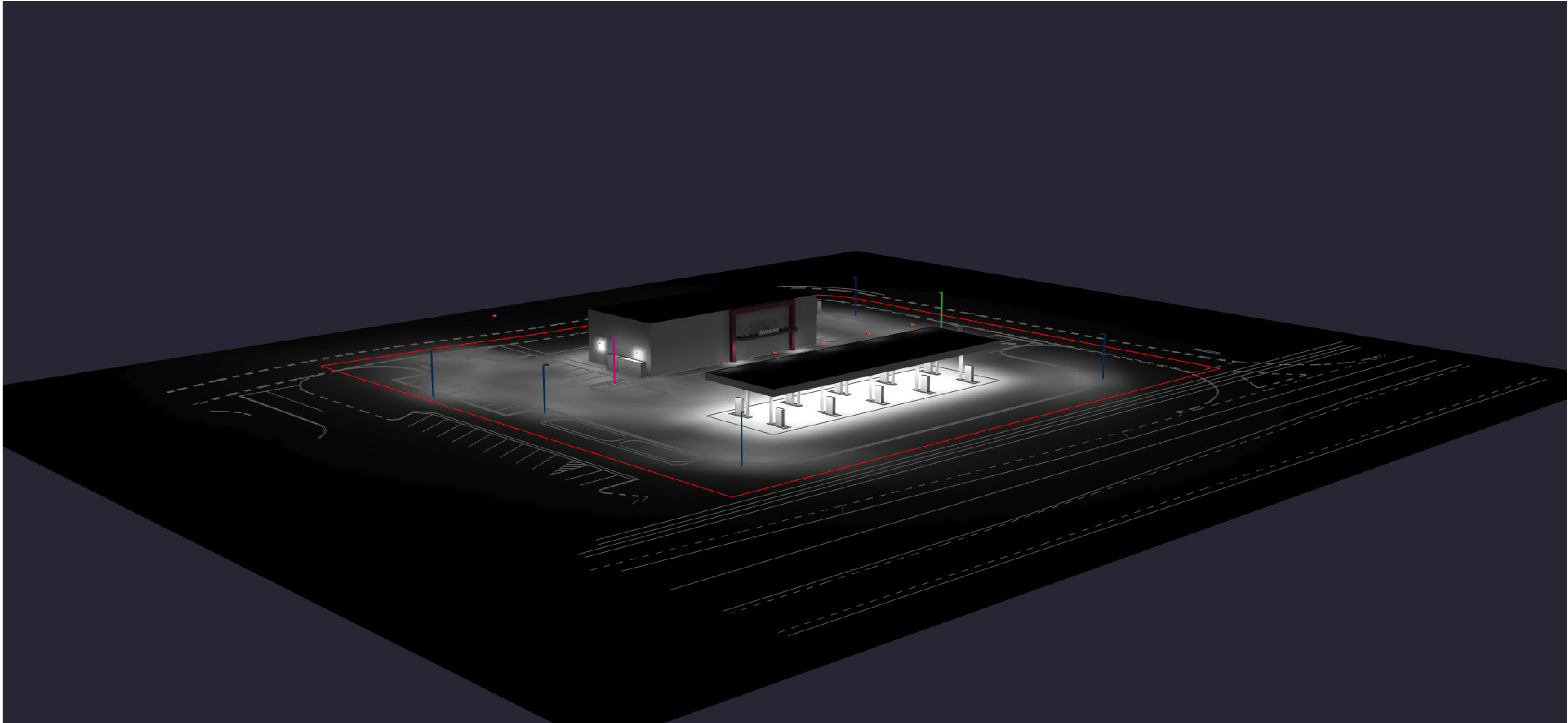








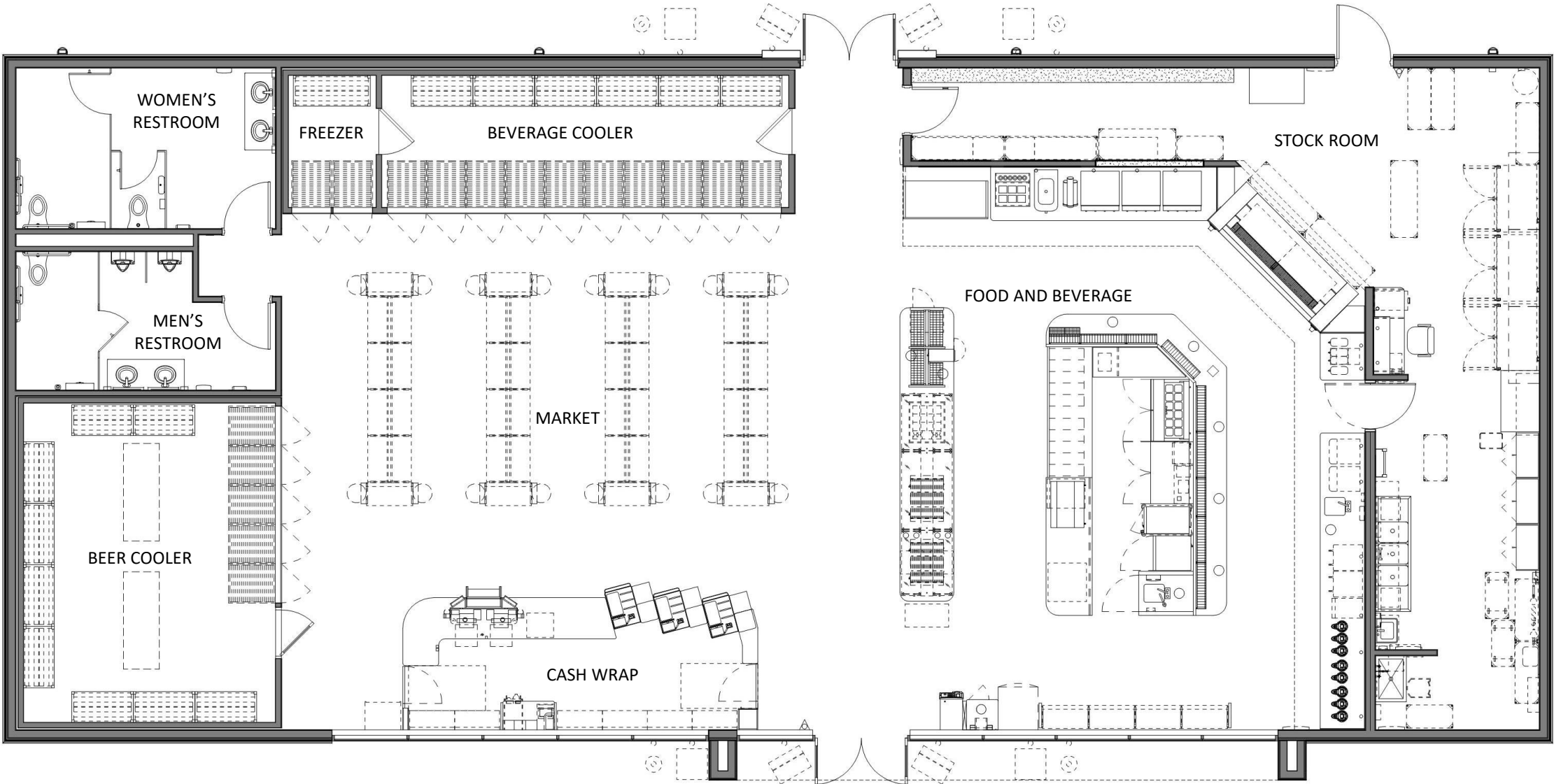






# ***BURR RIDGE, ILLINOIS***

4400 Square Foot  
Convenience Store  
Prototype



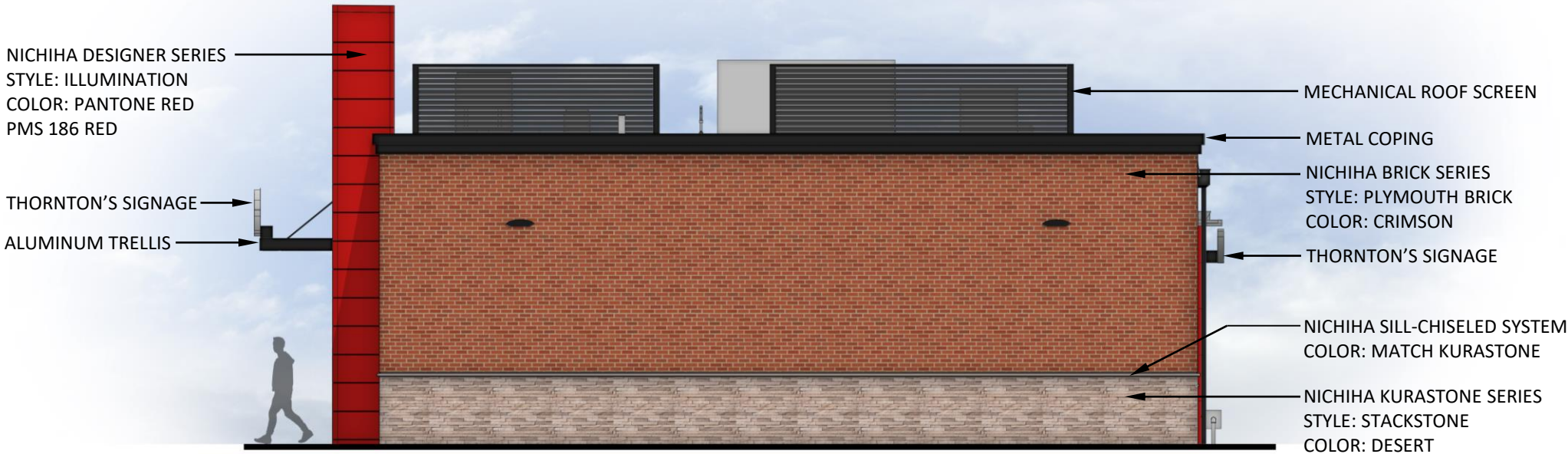


FRONT ELEVATION





REAR ELEVATION

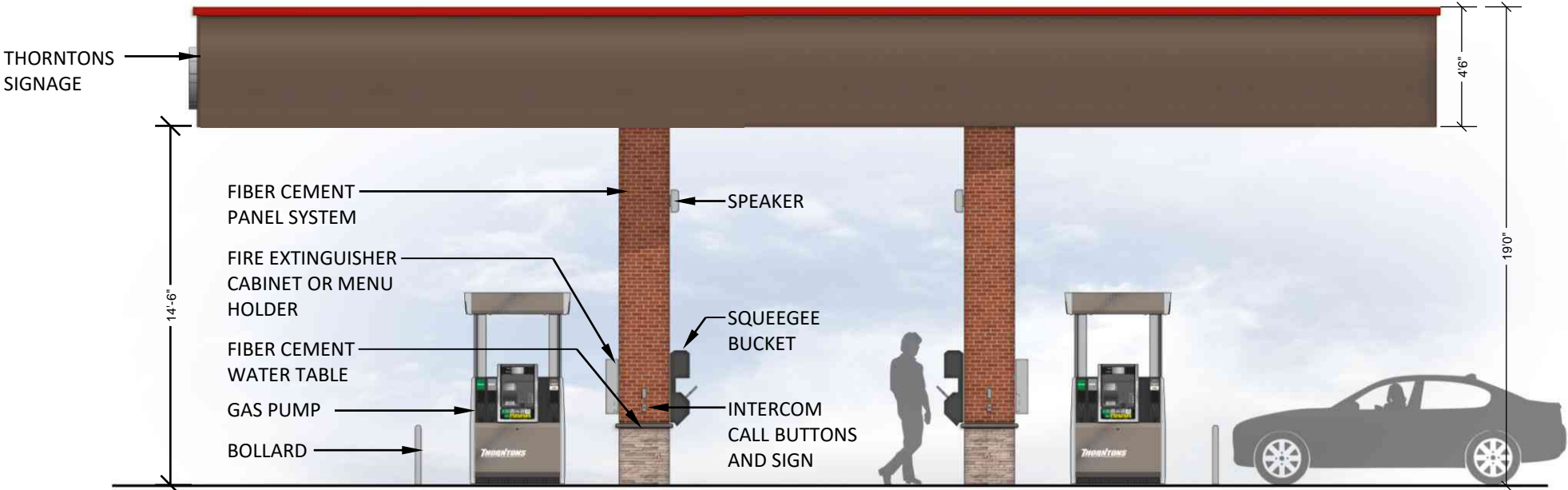


SIDE ELEVATION

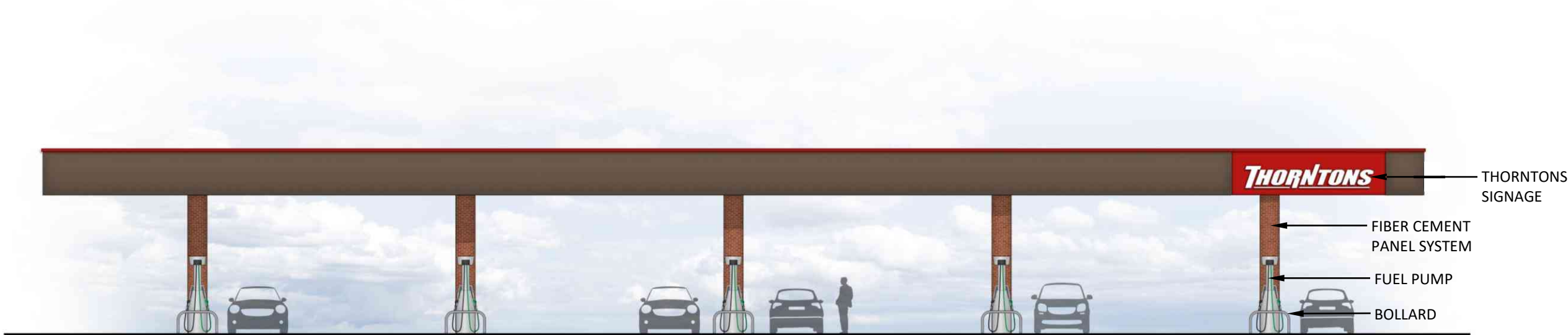




SIDE ELEVATION

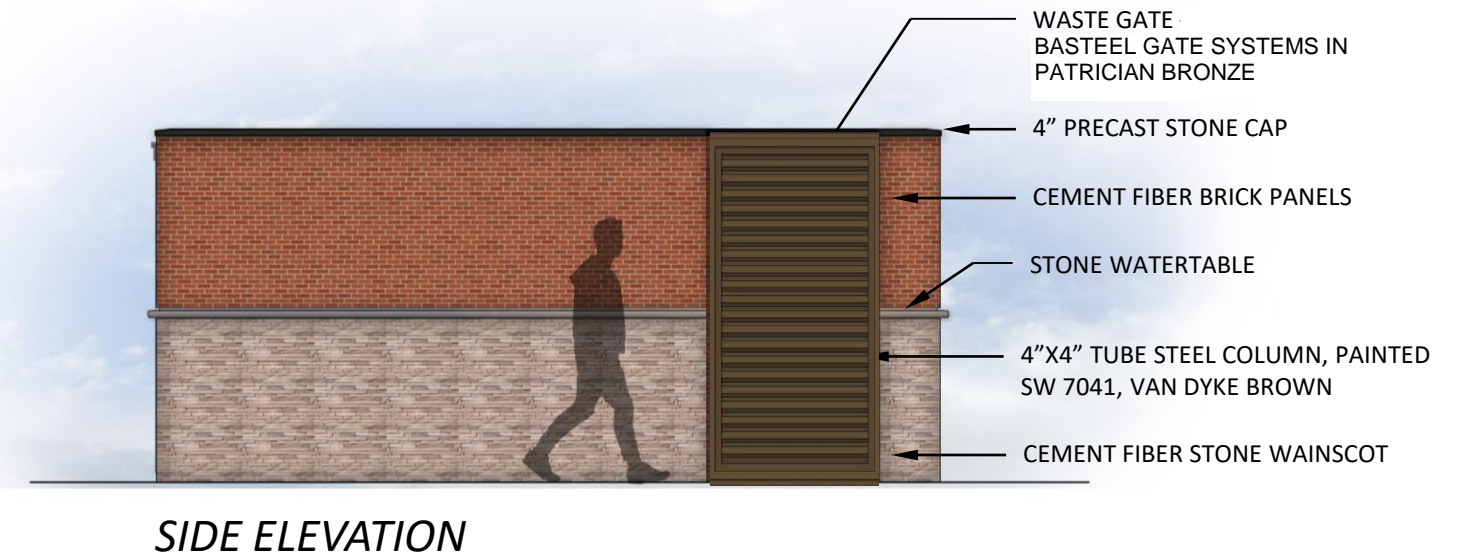
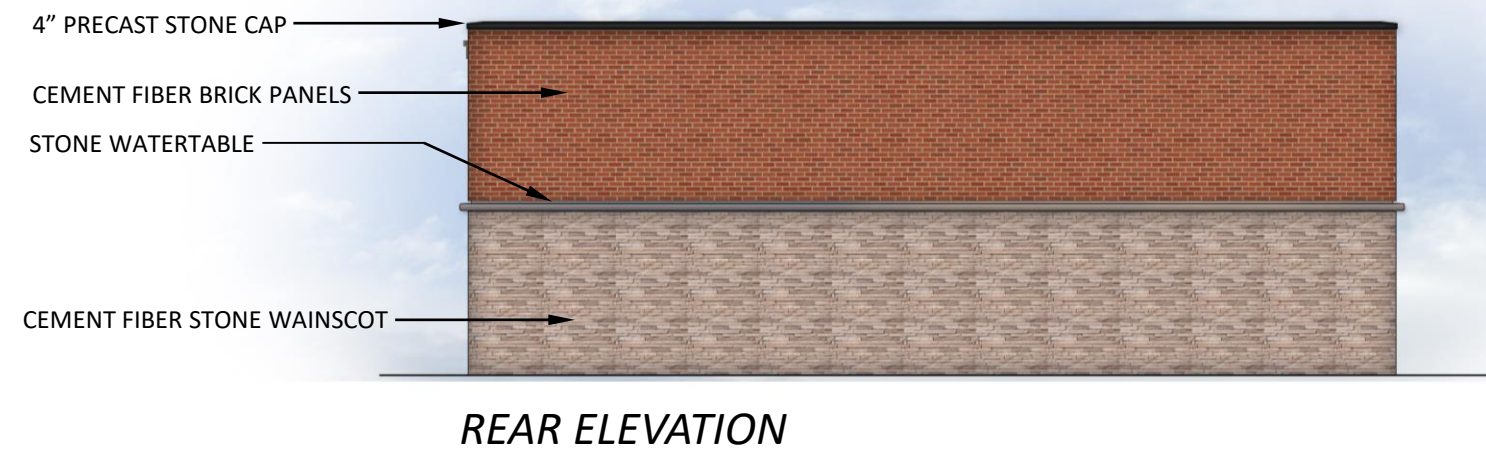
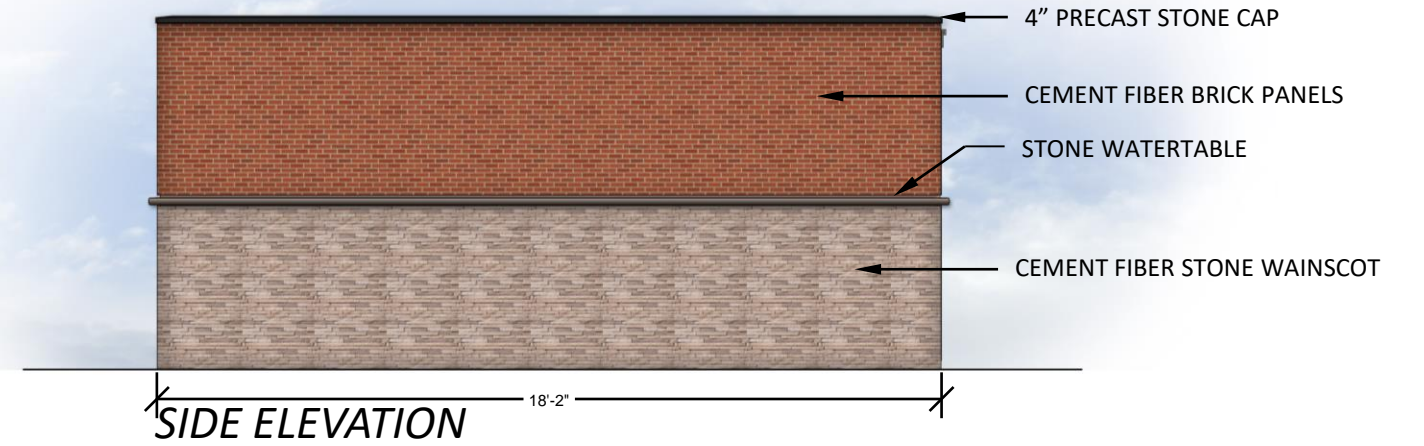
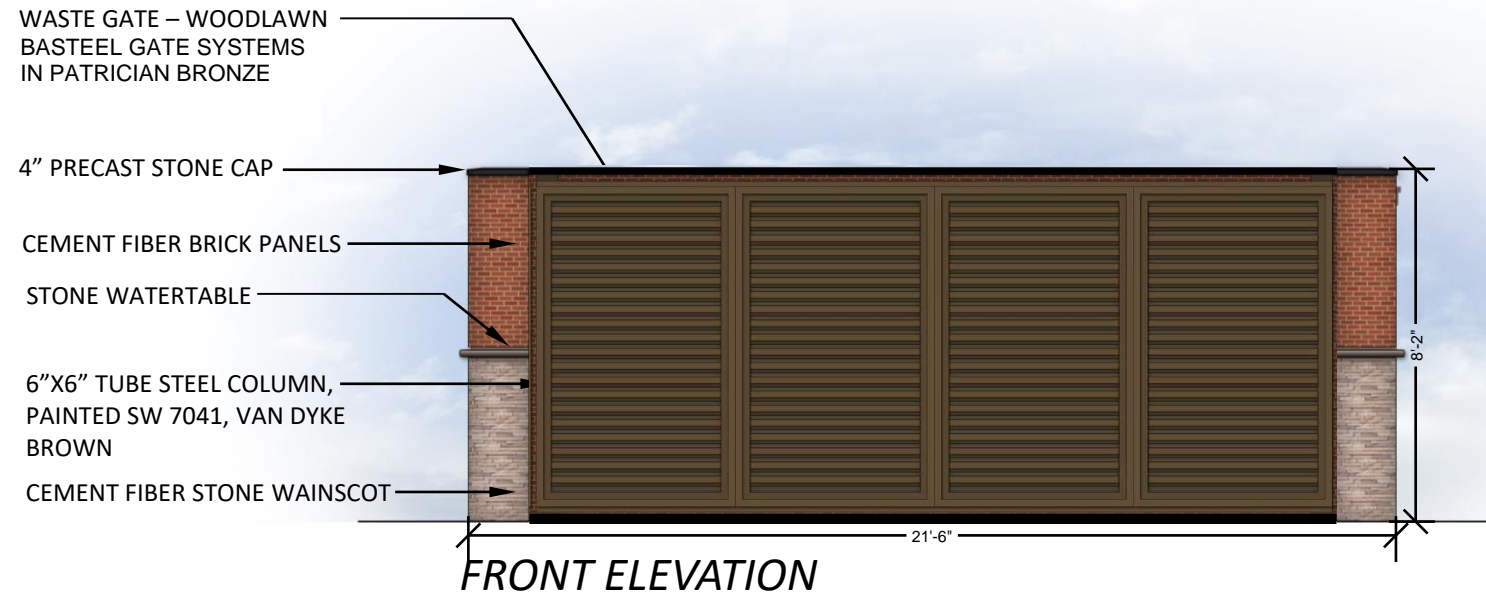


SIDE ELEVATION



FRONT ELEVATION





# Stratus™

stratusunlimited.com

888.503.1569

## LOCATION NUMBER:

P2115

## SITE ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

### SIGN CODE:

Sign Code info: No code information at this time.  
Building Signage: N/A

Freestanding Signs: N/A

Directional Signs: N/A  
Gas Canopy Signs: N/A

### Summary:

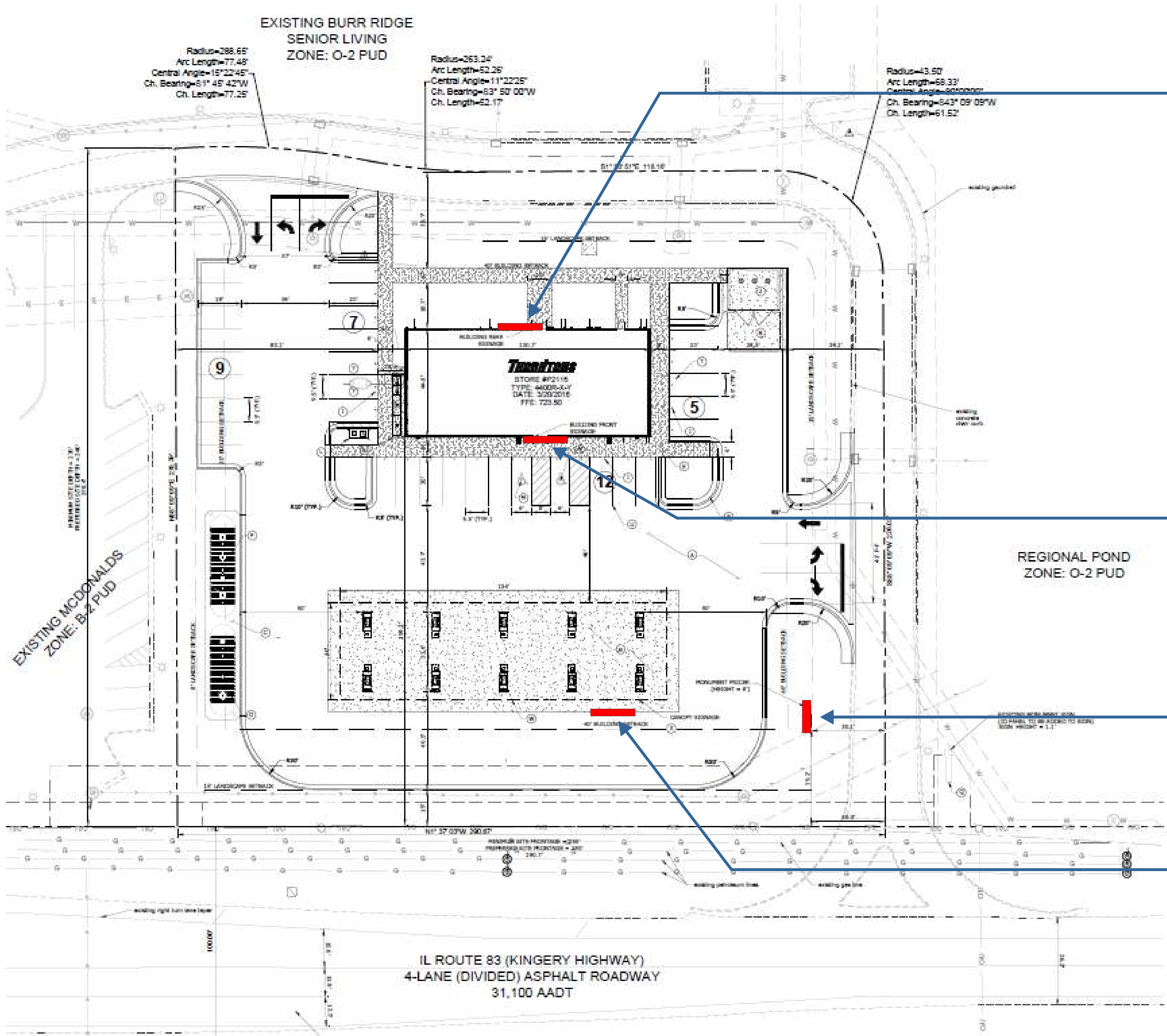
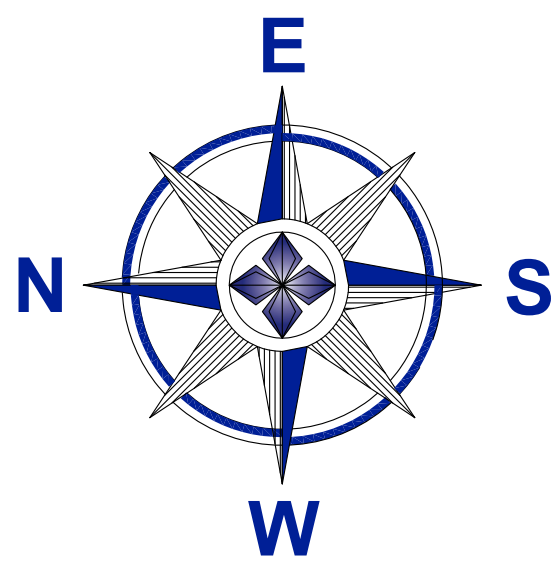
Qty (1) 31" letterset @ 46.1 SF- Front of building  
Qty (1) 20" letterset @ 17' SF- Rear of building  
Qty (1) 31" lettersets @ 46.1' SF each – Canopy  
Qty (1) Monument Signs @ 49.8 SF

Additional Notes:  
None

# *THORNTONS*

Infinite possibilities, ideal solutions.





**BUILDING**  
*20" THORNTONS*  
17 SQ FT

**BUILDING**  
*31" THORNTONS*  
46.1 SQ FT

**D/F MONUMENT**  
49.8 SQ FT

**CANOPY**  
*31" THORNTONS*  
41.3 quare feet

**Stratus**<sup>TM</sup>

stratusunlimited.com  
8959 Tyler Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT:  
*THORNTONS*

ADDRESS:  
9115 Kingery Hwy  
Burr Ridge, IL 60527

PAGE NO.:  
**2**

ORDER NUMBER:  
1172331

SITE NUMBER:  
P2115

ELECTRONIC FILE NAME:  
G:\ACCOUNTS\T\THORNTON'S\2022\IL\P2115\_Burr Ridge

PROJECT NUMBER:  
83164

PROJECT MANAGER:  
KEVIN HORNE

Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW	
REV 1	376863	04/06/22 CA	UPDATED SITE PLAN

Rev #	Req #	Date/Artist	Description



TYPICAL ELEVATIONS SHOWN FOR VIEWING PURPOSES:  
ACTUAL ELEVATIONS TO BE PROVIDED



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PROJECT NUMBER:

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PROJECT MANAGER:

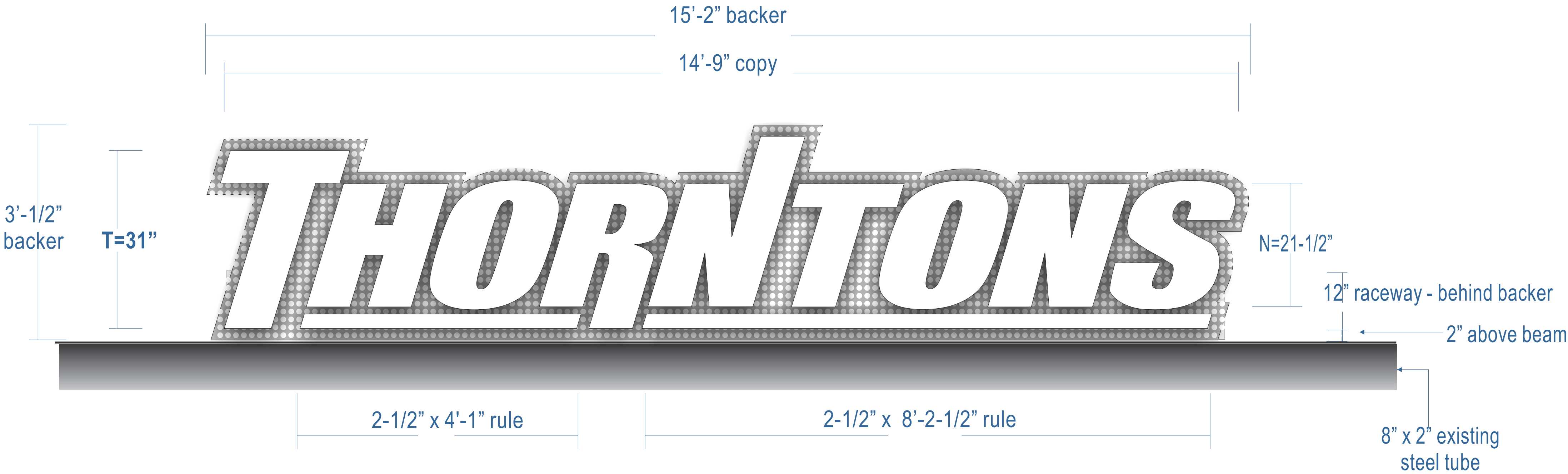
KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA					



ELECTRICAL NOTE:

ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code



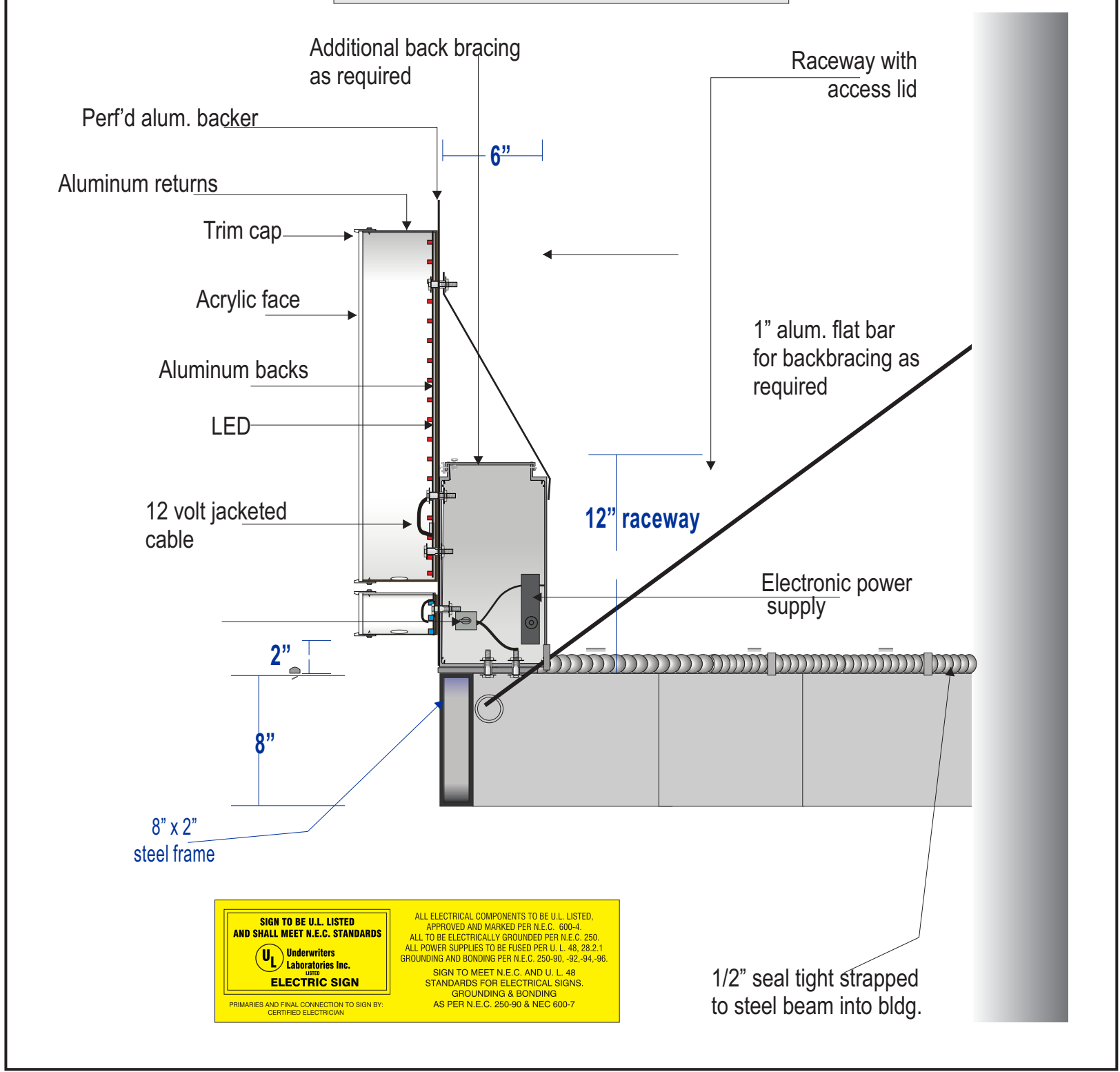
- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY**
- BACKER:** .080 perforated alum. screen backer; Holes to be .50" diameter and are 11/16" on centers to allow for 48% visibility; Backer painted Metallic Silver front & back; Backer to be mounted behind letters & will help to conceal raceway
- INSTALL:** Custom 12" high x 6" deep alum. raceway to house all electrical - Painted Black - all sides; Raceway mounted to 1/4" steel plate shelf provided at top edge of steel tube using stainless steel fasteners as required; 1" alum. flat bar to be used for back bracing as necessary - painted Black to match raceway
- QUANTITY:** (1) One channel letterset required for storefront elevation
- CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC;
- MANUFACTURER NOTES:** SIGNAGE MUST BE 3 WIRE

COLOR PALETTE

- White  
#7328 White Acrylic
- Raceway  
Black
- Metallic Silver  
MP 33172 Silver Surfer

ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!

SECTION DETAIL:



CLIENT:

THORNTONS

ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

PAGE NO.:

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SITE NUMBER:

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PROJECT NUMBER:

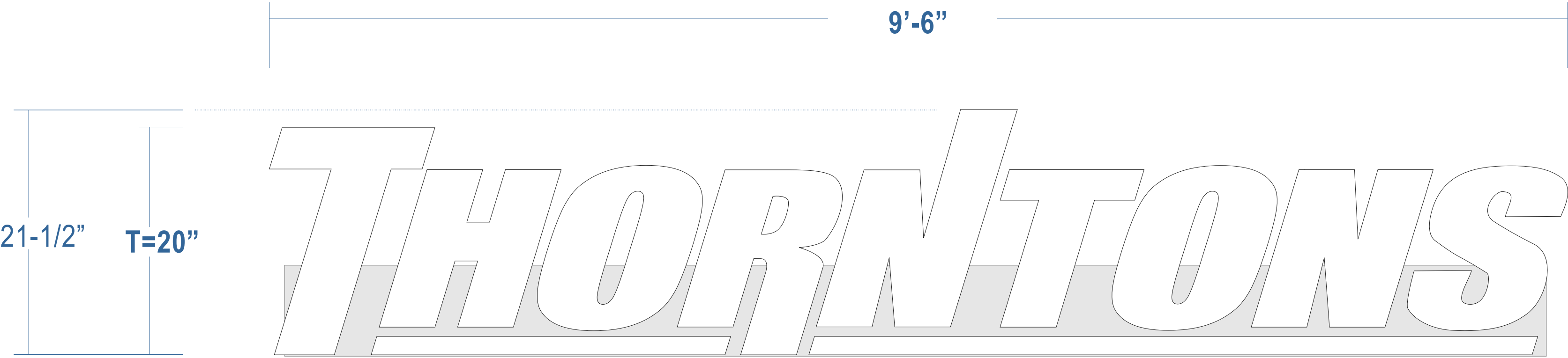
83164

PROJECT MANAGER:

KEVIN HORNE

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REV 1	376863	04/06/22 CA					





- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer;  
**Whips to be a minimum of 6'-0" in length;**  
**POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY**
- INSTALL:** Standard 8" high x 8" deep alum. raceway to house all electrical -  
Painted to Grip Flex 585 Flame Red match wall surface  
Raceway to be thru bolted into 2" alum. framework -  
framework provided by others
- QUANTITY:** (1) One Channel letterset required for rear elevation

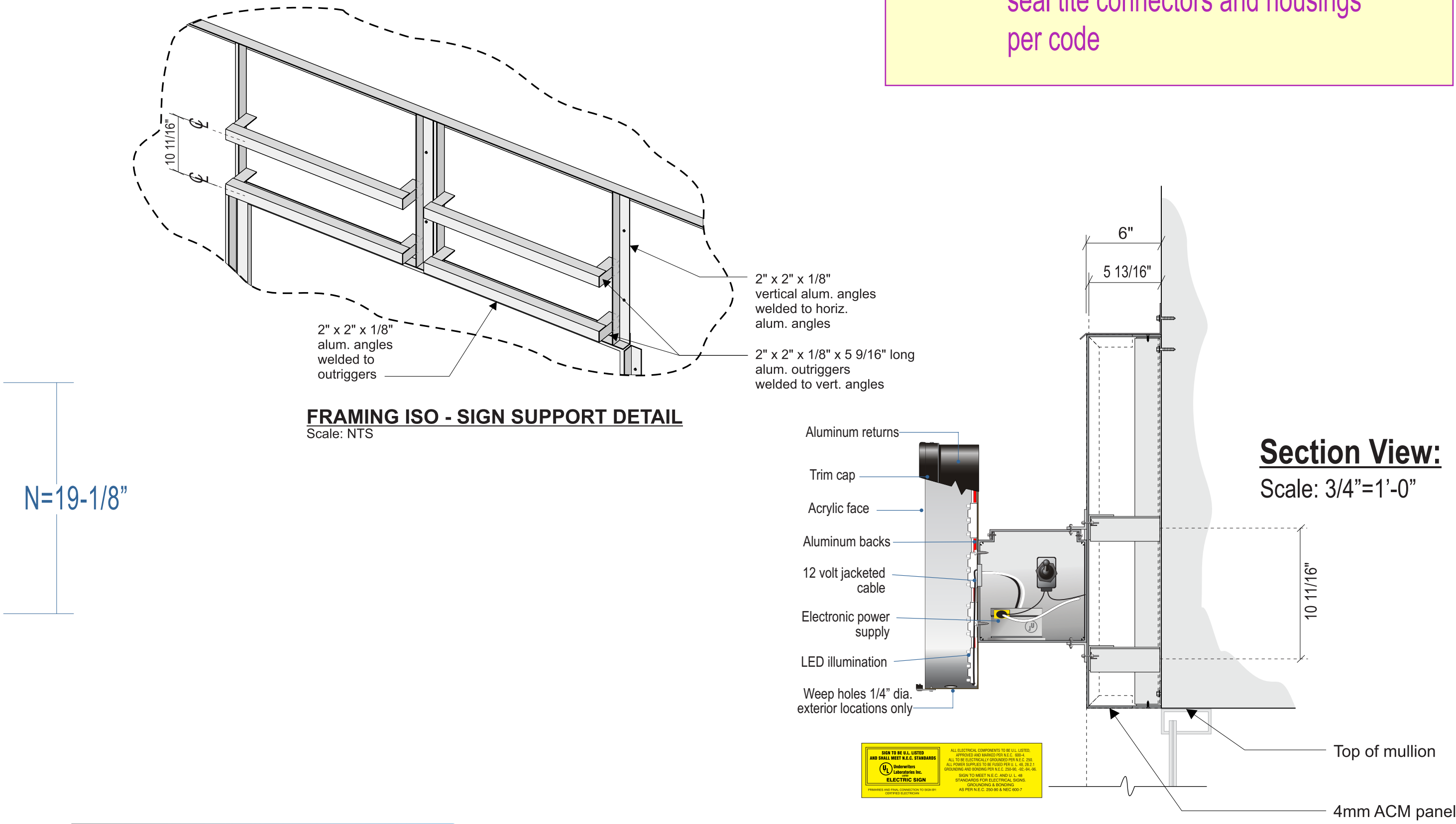
- CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC
- MANUFACTURER NOTES:** SIGNAGE MUST BE 3 WIRE

**COLOR PALETTE**

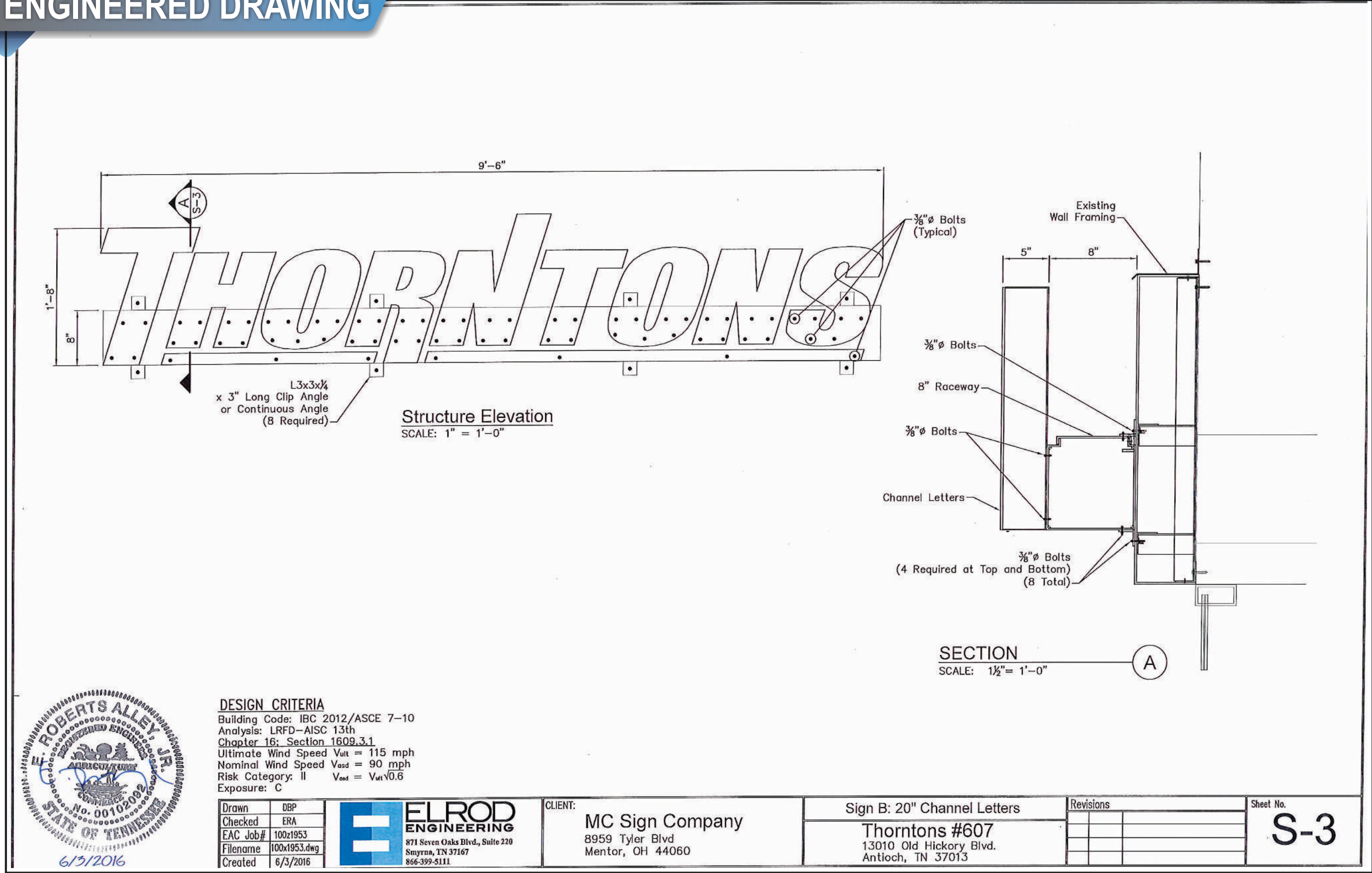
White  
#7328 White Acrylic

Raceway  
Gripflex 585 Red

ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!



ENGINEERED DRAWING



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PROJECT NUMBER:

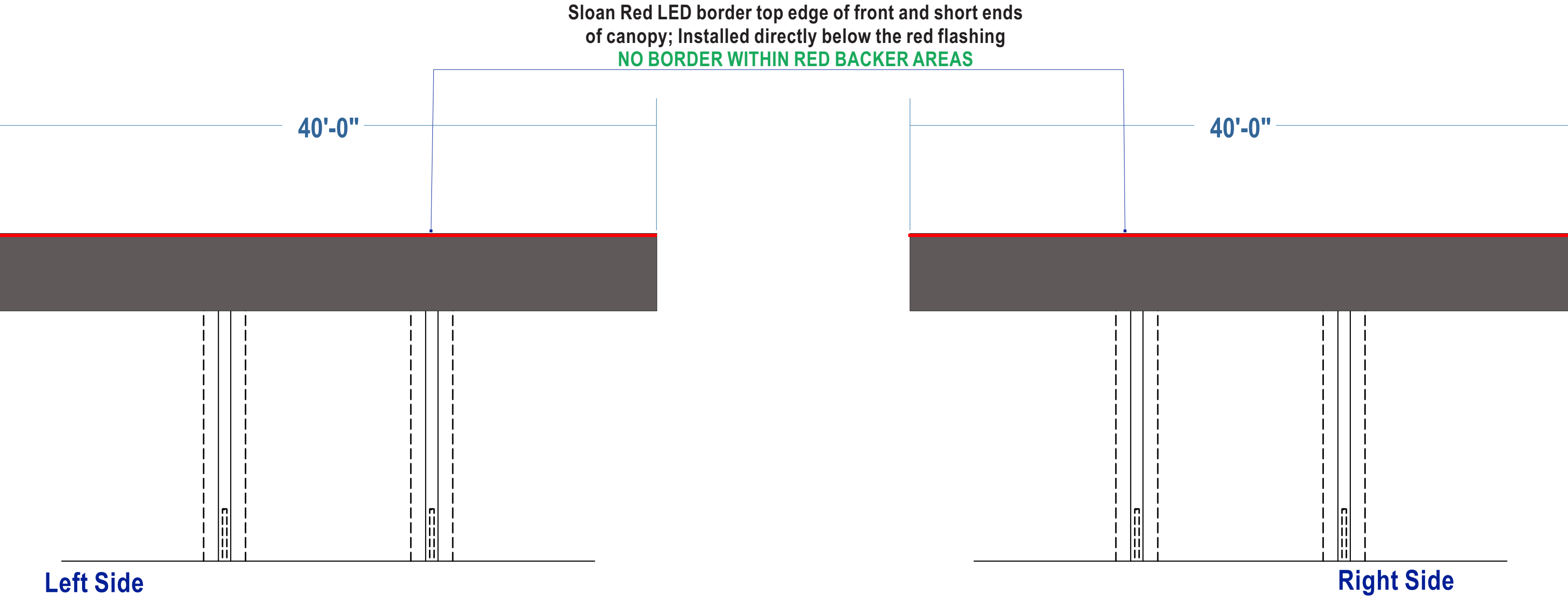
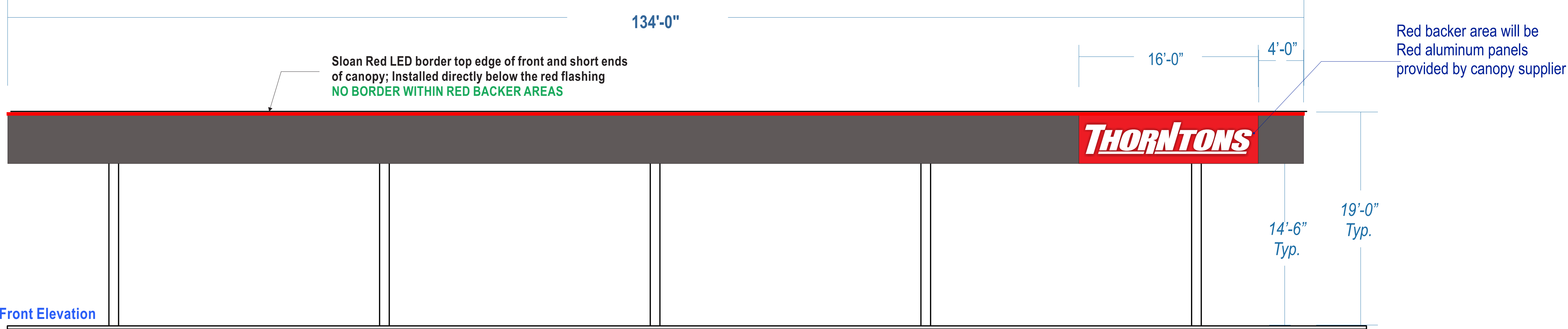
83164

PROJECT MANAGER:

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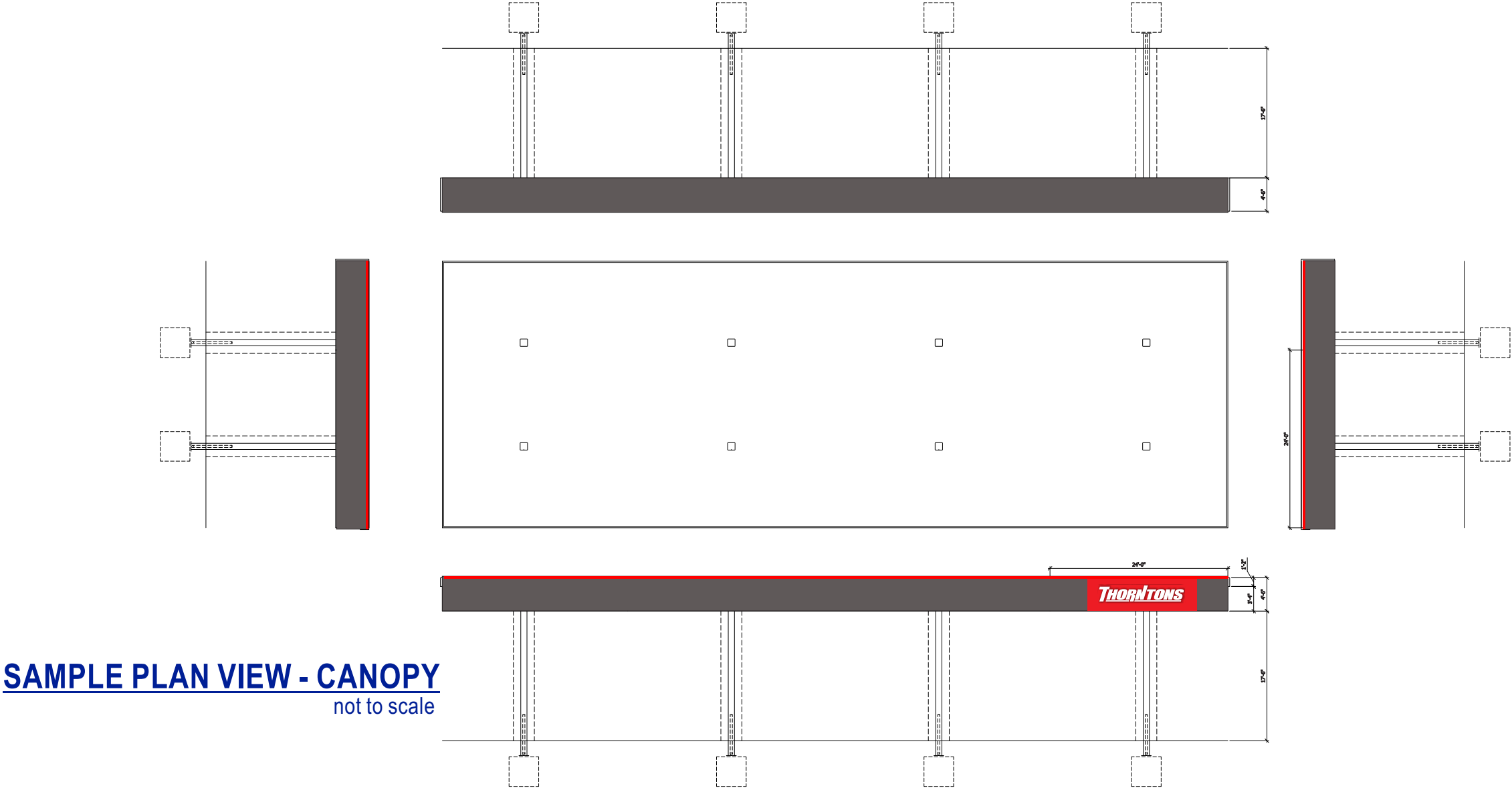




COLOR PALETTE

 Pantone 8600 C  
Gray

ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!



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ELECTRICAL NOTE:

ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code



- FACES:

3/16" #7328 White acrylic
- TRIMCAP:

1" White jewelite
- LETTER BACKS:

.063 alum. - prefinish White all sides
- RETURNS:

5" deep .040 alum. returns painted GG White
- ILLUM. :

White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES HOUSED BEHIND CANOPY FASCIA**
- INSTALL:

Thru bolted flush to canopy fascia using all thread into blocking as required  
12" standard length of threaded rod will be supplied unless otherwise noted  
1/4" -3/8" threaded rod into blocking or Stratus approved equivalent
- QUANTITY:

(1) One required
- CONSTRUCTION NOTES:

ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC
- MANUFACTURER NOTES:

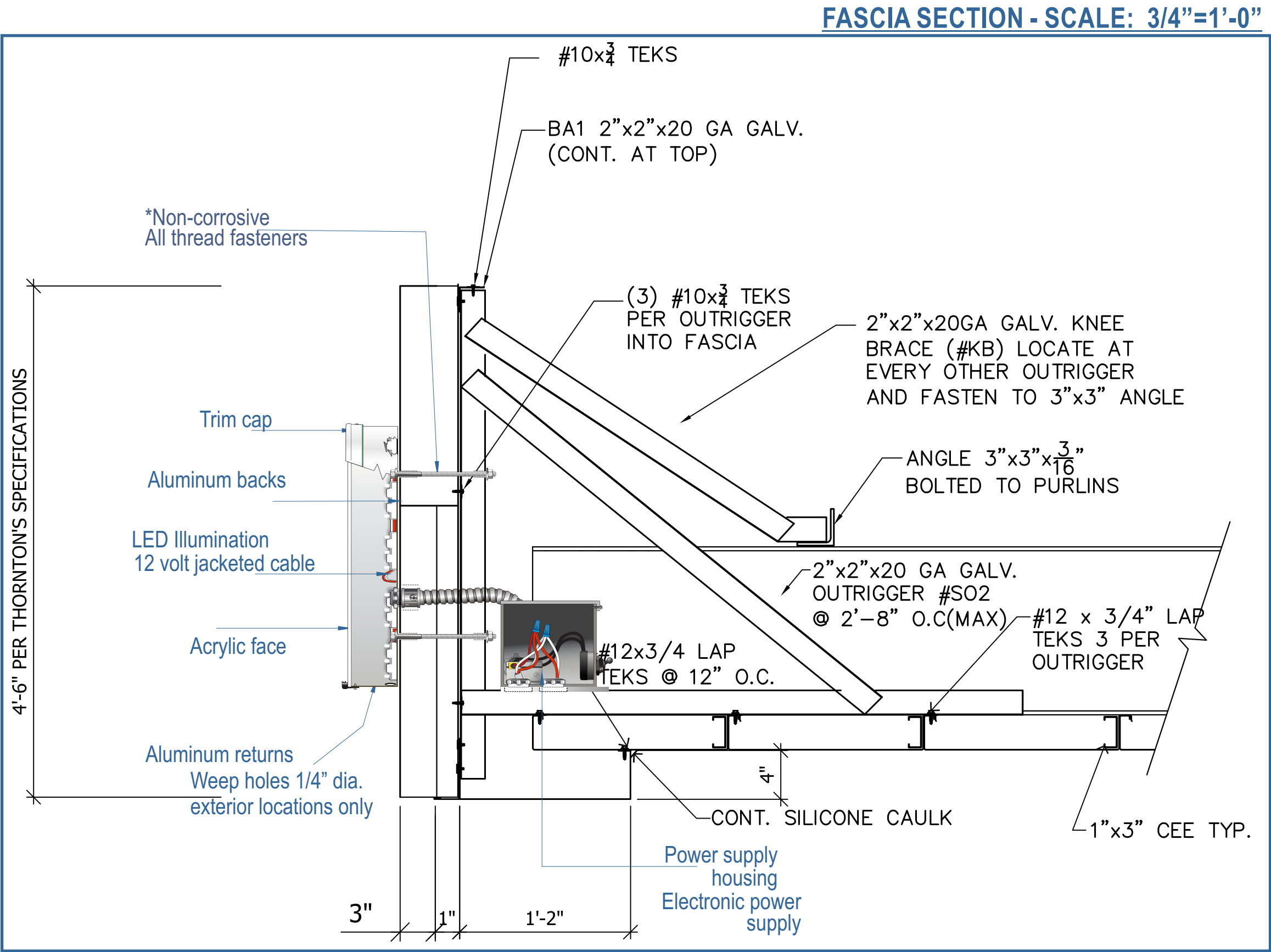
SIGNAGE MUST BE 3 WIRE  
ELECTRIC FEEDS NEED TO BE IN CENTER OF LETTERS

COLOR PALETTE

White

#7328 White Acrylic

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



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D/F ILLUM. MONUMENT

Scale: 3/4"=1'-0"

49.8 Square Feet

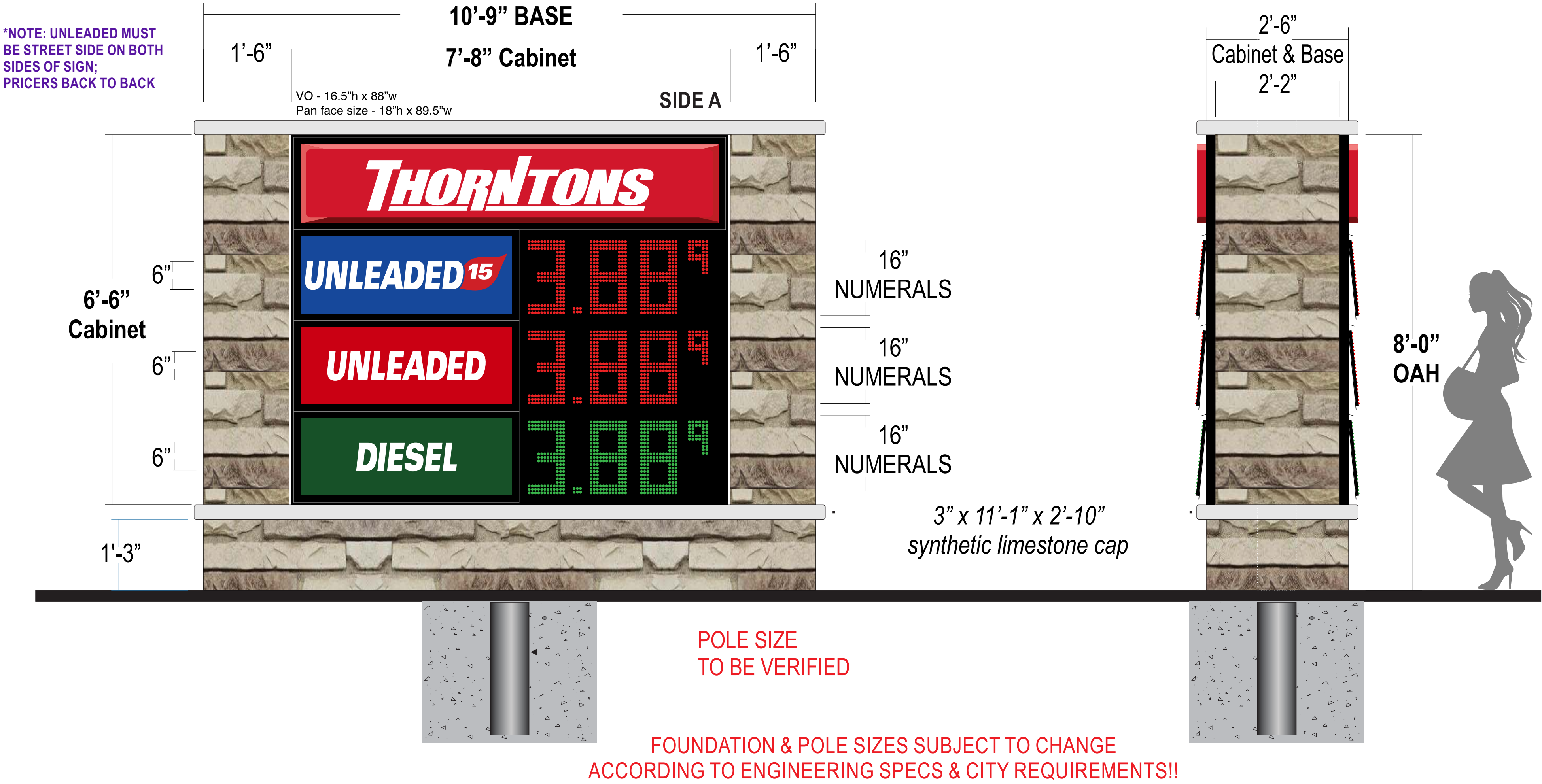
CABINET NOTE:  
CABINET MUST INCLUDE LOCKING EXTERNAL DISCONNECT SWITCH  
IN ILLINOIS & FLORIDA DUE TO CODE REQUIREMENTS

CABINET: 30" deep Fab'd alum. construction with 2" retainers- All painted Black; Cabinet to sleeve ovetop internal support pole & saddle weld into place as required  
Sign cabinet provided to Thorntons by Sunshine Electronic Displays

HEADER FACE: (2) Two gloss panned polycarbonate faces with reverse sprayed graphics to match colors shown; *Provided by Stratus*

ILLUM.: Internal White Sunshine LED lightstrips;  
Power supplies to be housed within cabinet

PRICING UNIT: Sunshine double pricer unit - 30" deep  
Character height = 16"; Red & Green LED digit colors;  
Commodity panels are flat white polycarbonate panels w/ reverse weeded copy to match colors shown



BASE & COLUMNS: Fab'd aluminum framework for sign base w/ 3/4" treated plywood overlay  
*Stratus to furnish the alum. fab'd frame and plywood wrap the frame*  
Nichiha Desert Stone veneer installed over framework  
Stone thickness is approx. 3/4" provided and installed by others;  
*Stone veneer provided & installed by others*

CAPS: (2) Two 3" Synthetic limestone cap for top of base  
*Provided and installed by others following cabinet install;*  
*All Electrical to be done by others* - to be connected and tested  
Installer to connect primary if accessible at time of install

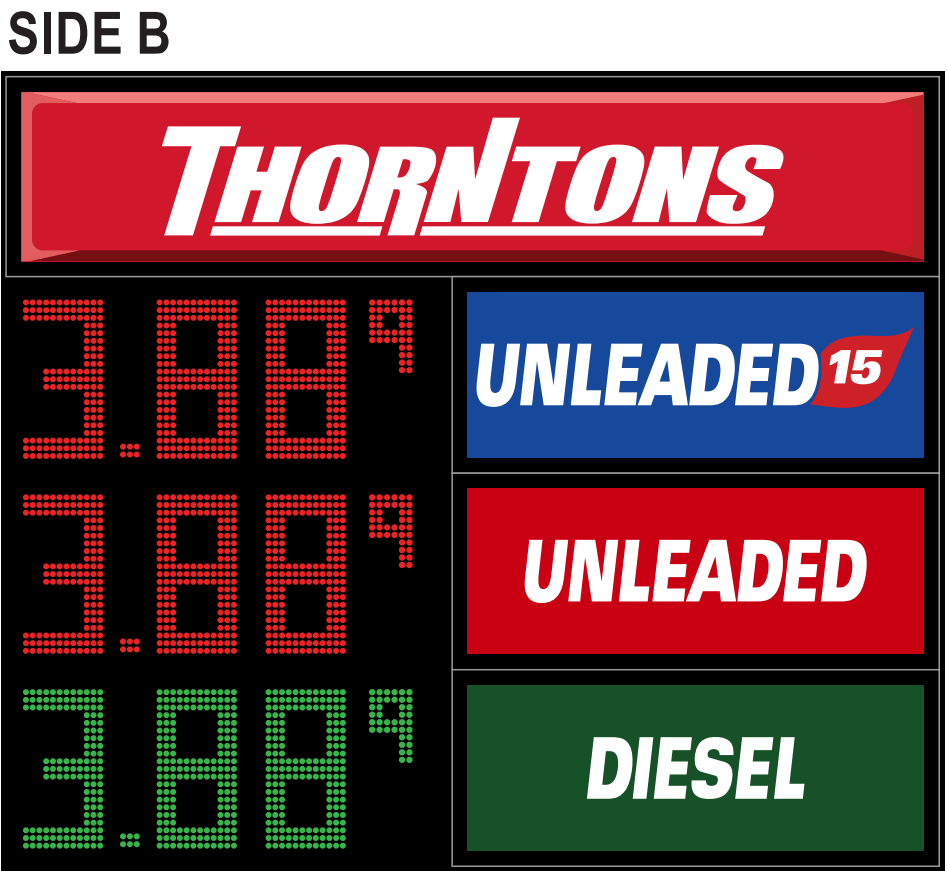
SUPPORT: Cabinet to sleeve ovetop internal support;  
Direct burial installation as required by city requirements & engineering specs  
*ADDITIONAL FOOTER DETAILS AND POLE SIZE TO FOLLOW*

JOB NOTES: GC responsible to layout the sign location based on setback information provided by *Stratus* in advance of Sign Spot. Thornton's determines final placement. Sign Spot schedule TBD. Installer to be on site and set up a minimum of (30) thirty minutes prior to scheduled spot. Spot with 4' x 8' plywood piece.

Installer to pour the footer and set the pole immediately following sign spot, within reason.

GC and EC responsible to stub conduit and provide electrical to pricer \ Ensure next to the pole and tall enough to go into the sign following the setting of the footer and pole

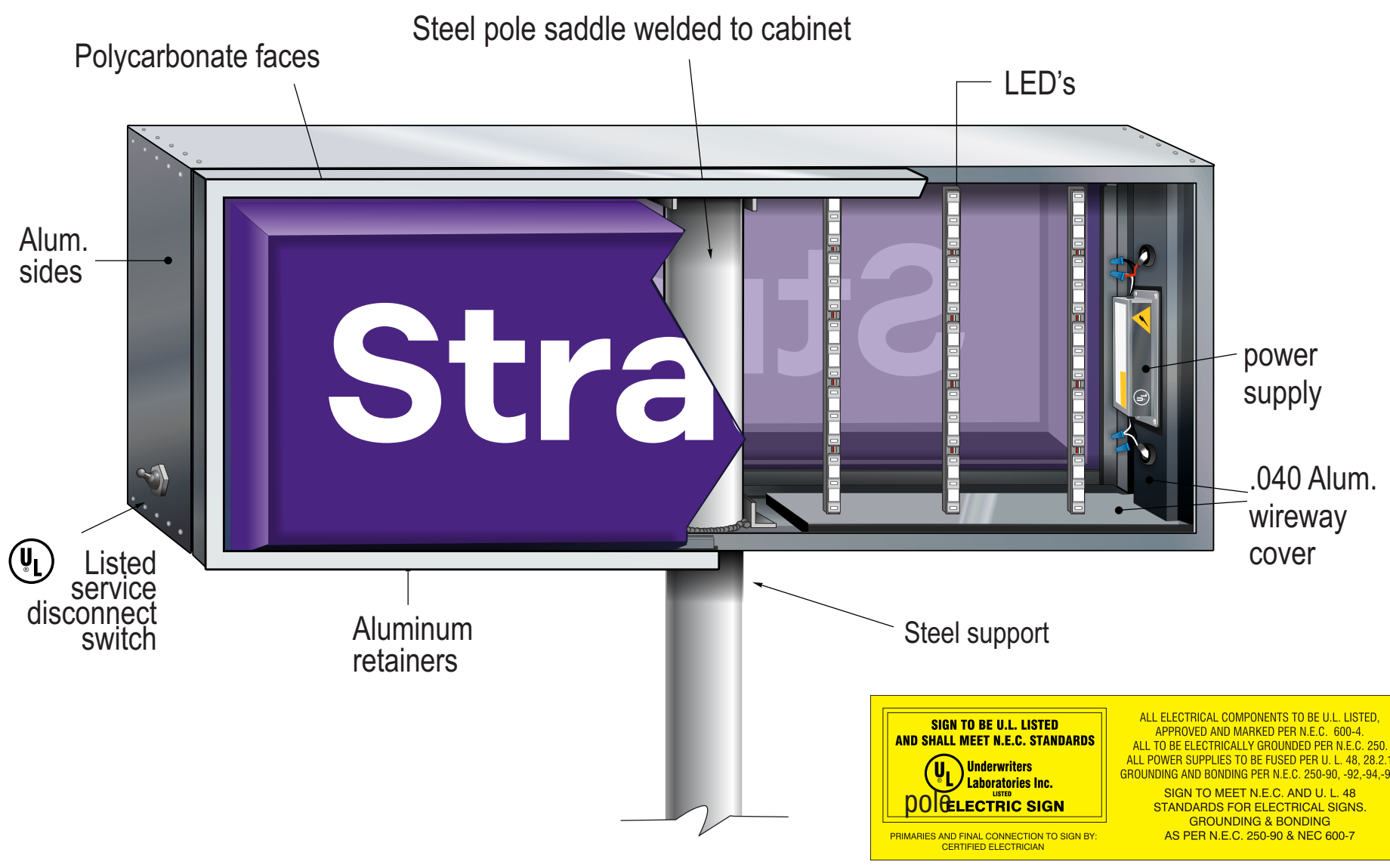
Frame and plywood overlay to be installed by installer within a few days of pole setting



COLOR PALETTE

- Black
- UNLEADED 15: 3M 3630-97 Bristol Blue
- UNL 15 & UNL: 3M 3630-33 Red
- DIESEL: 3M 3630-76 Holly Green
- Gripflex 585 Flame Red
- ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

D/F LED ILLUM CABINET | PAN POLY FACES | SLEEVED



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PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

# EXHIBIT B

2. Exempt Signs as per Section 55.10, herein.

B. **Conditional Signs:** The following signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. Unless specifically stated otherwise, a sign permit is required prior to erection of a Conditional Sign in a Transitional District.

1. Subdivision Entryway Sign(s): A maximum of one sign per entryway may be allowed provided each sign shall not exceed 50 square feet in area and four feet in height. The text of all subdivision entryway signs shall include the words "Burr Ridge" as for example, "Oak Subdivision of Burr Ridge". The lettering for "Burr Ridge" may be in smaller font but must be legible. (amended by A-923-08-02)
2. Ground Sign(s): One sign may be allowed for each multi-family residential or non-residential lot or parcel provided it does not exceed 16 square feet in area, is located 10 feet from all lot lines and does not exceed 8 feet in height.
3. Wall Sign(s): One sign may be allowed for each multi-family residential or non-residential lot or parcel provided it does not exceed 16 square feet in area

## Sec. 55.06.

### Business District Signs

This section shall apply to all districts designated by the Zoning Ordinance as a Business District. Business Districts include the B-1 and B-2 Districts.

A. **Permitted Signs:** The following signs are permitted in all business districts. Unless specifically stated otherwise, permitted signs require issuance of a sign permit prior to construction.

1. Ground Sign: One ground sign shall be permitted for each lot or parcel provided the lot or parcel has at least 100 feet of frontage on a public street, that the height of such sign does not exceed 8 feet, that the sign is located a minimum of 10 feet from all property lines, and that the combined area of all ground signs and wall signs shall not exceed 100 square feet.
2. Wall Sign: One wall sign per street frontage shall be permitted for each lot or parcel provided that the combined area of all wall signs and ground signs shall not exceed 100 square feet. Permitted wall signs shall be mounted no higher than the height of the building wall or twenty feet (20') whichever is lower, and no lower than five feet (5') above average surrounding grade.
3. Where the building frontage is on more than one street, the area of the signs facing each street shall be computed on the basis of the building frontage for the street they face, as provided above, but in no case shall the total sign area exceed the maximum provided above.
4. Gasoline pricing signs shall be permitted for gasoline sales stations subject to the following regulations:
  - a. Gasoline pricing signs shall not be independently free-standing, but must be permanently attached below a pre-existing free-standing sign, to a gasoline pump island canopy support or, to a building;
  - b. A maximum of four (4) sign faces, with a total area not to exceed forty (40) square feet, shall be permitted, provided that no single sign face shall exceed twenty (20) square feet in area;



- c. Such signs shall in no case exceed a height, to the top of the sign, of eight feet (8') above ground level.
- 5. Window signs shall be permitted subject to the standards listed below. Window signs do not require a sign permit.
  - a. The sum total of all window signs shall not exceed 40 percent of the total area of the windows in which they are located.
  - b. Window signs shall not have any moving parts.
  - c. A series of windows that are separated by frames and supporting material of less than six inches in width shall be considered as a single window for the purpose of computation.
  - d. Window signs may include the use of neon lighting. Neon window signs shall not exceed 16 square feet or 30 percent of the area of a window whichever is less and shall be counted toward the total area permitted for window signs. Calculation of the area of neon window signs, for purposes of compliance with the maximum 40 percent area as permitted herein, shall be based on the perimeter dimensions of said neon lighting.
- 6. Temporary Signs as per Section 55.09, herein.
- 7. Exempt Signs as per Section 55.10, herein.
- B. **Conditional Signs:** The following signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. Unless specifically stated otherwise, conditional signs require issuance of a sign permit prior to construction.
  - 1. Shopping Center Wall Signs: One sign per tenant space within a shopping center may be allowed subject to the following:
    - a. A comprehensive package of standards for wall signs shall be provided that includes consistent materials, colors, lighting, and placement for all wall signs within a shopping center. Upon approval of the comprehensive sign package, all subsequent signs that comply with the approved standards shall be considered permitted signs.
    - b. Each wall sign shall not exceed one square foot for each lineal foot of the storefront or tenant space width with a minimum area allowed of 25 square feet and a maximum area allowed of 50 square feet with the exception that allowable sign area for one to three designated anchor tenants may be increased by transferring sign area to the anchor tenant(s) from other tenants.
  - 2. Shopping Center Ground Sign: One shopping center ground sign may be allowed subject to the following:
    - a. Shopping center ground signs shall be consistent in design, materials, and colors with the wall signs.

- b. Shopping center ground signs shall be a maximum area of 100 square feet in area (to be calculated independent of the size of wall signs).
  - c. Shopping center ground signs shall not exceed a maximum height of 8 feet except as allowed by paragraph e below.
  - d. Shopping center ground signs shall be setback a minimum of 10 feet from all property lines except as required by paragraph e below;
  - e. The height of shopping center ground signs may be increased up to 12 feet provided that the sign is setback an additional 3 feet for each 1 foot increase in height. For example, a 9 foot high sign would require a 13 foot setback from all property lines, a 10 foot high sign would require a 16 foot setback.
- 3. Light Pole Banners: Banners affixed to light poles and announcing a federal, state or local holiday, a business anniversary, or a similar event but not advertising any specific products or services offered, may be allowed for a limited time not to exceed 90 days in any one calendar year. Light pole banners do not require issuance of a sign permit.
  - 4. Subdivision Entryway Sign(s): A maximum of one sign per entryway may be allowed provided each sign shall not exceed 50 square feet in area and four feet in height. The text of all subdivision entryway signs shall include the words "Burr Ridge" as for example, "Oak Subdivision of Burr Ridge". The lettering for "Burr Ridge" may be in smaller font but must be legible. A subdivision entryway sign shall not be allowed in conjunction with a shopping center sign. (A-923-08-02)
  - 1. Signs with more than Three Colors: Signs otherwise prohibited by Section 55.11.Q herein may be allowed.
  - 6. Wall Signs mounted more than 20 feet above grade: Wall signs that do not exceed the height of the building wall but mounted more than 20 feet above the surrounding grade and meeting all other standards herein, may be allowed. (Amended by Ordinance A-923-01-06)

**Sec. 55.07.**

**Manufacturing District Signs (Amended by Ordinance A-923-02-19)**

This section shall apply to all districts designated by the Zoning Ordinance as Manufacturing Districts. Manufacturing Districts include the RA, LI, and GI Districts.

- A. **Permitted Signs:** Unless specifically stated otherwise, a sign permit is required for all Permitted Signs in Manufacturing Districts. The following signs shall be permitted in all Manufacturing Districts:
  - 1. For buildings of less than 100,000 square feet, each tenant is permitted one wall sign, up to three wall signs, subject to the following conditions:
    - a. The gross square footage of each wall sign shall not exceed the linear street frontage of the subject property divided by three. The permitted gross surface area of each wall sign shall be a minimum of 50 square feet but shall not exceed 75 square feet.





**8. In Yards**

- a. Off-street parking spaces, open to the sky, may be located in required interior side yards and rear yards subject to compliance with the landscaping and setback requirements contained in Section XI.C.11, herein.
- b. In Business Districts, parking in the front and corner side yards shall be allowed in accordance with the specific parking regulations set forth in the Business District regulations.
- c. In no event shall parking be permitted in the Manufacturing, Office, and Transitional Districts anywhere in front of the building, whether in the front yard, the interior side yard, side yard adjoining the street or any buildable area in front of the building, nor anywhere in the side yard adjoining a street.

**9. Design and Maintenance**

**a. Open and Enclosed Parking Spaces**

- (1) Accessory off-street parking spaces located on the same lot as occupied by the use served may be open to the sky or enclosed in a building or structure.
- (2) Accessory off-street parking spaces that may be permitted in a location other than on the same lot occupied by the use shall be open to the sky except when an off-site storage garage or parking building or structure is approved for such required parking.
- (3) Required open parking spaces in residential areas must be located in special parking bays or in parking areas serving two (2) or more dwelling units. Spaces provided merely in the street right-of-way shall not be counted in determining the number of parking spaces being provided.

**b. Surfacing**

- (1) All open off-street parking areas and driveways for all uses except single-family residences shall be improved with an all-weather hard surface pavement including, at a minimum, a two inch (2") bituminous concrete surface course, with a twelve inch (12") minimum thickness aggregate base course, and six inch (6") high perimeter concrete curbing (Type B or Type B6:12) installed in accordance with Illinois Department of Transportation specifications.
- (2) All parking and driving areas for attached and detached single-family residences shall be improved with an all-weather hard surface (perimeter curbing shall not be required). (Amended by Ordinance A-834-9-01)

**c. Lighting**

- (1) Illumination of an off-street parking area shall be arranged so as not to reflect direct rays of light or glare into adjacent residential districts and streets.
- (2) Intensity of illumination of parking areas shall not be less or more than the following standards: Except as otherwise specifically provided elsewhere in this Ordinance, parking lot lights must be no more than 20 feet high and be limited by the following factors: an



average lighting level of 1.0 foot candle with a minimum of 0.75 foot candle; a uniformity ratio of not greater than 4-to-1, and lighting distribution shall be provided by cut-off type fixtures. All such parking lot lighting shall be extinguished or reduced in intensity to not more than an average of 0.5 foot candles no later than 30 minutes after the close of business.

- (3) **Amortization:** Lighting for accessory off-street parking areas regulated by this Section XI.C.9.c in existence on the effective date of this Ordinance and which is not in compliance with this Section XI.C.9.c, shall be regarded as non-conforming parking lot lighting. Such non-conforming parking lot lighting may be continued for a period of one (1) year from the effective date of this Ordinance if properly repaired and maintained as provided herein and as provided by other ordinances of the Village of Burr Ridge.

At the end of this one (1) year period, all such non-conforming parking lot lighting shall thereafter comply with the requirements of Section XI.C.9.c.

**d. Repair and Service**

No motor vehicle repair work of any kind shall be permitted in off-street parking areas. No gasoline or motor oil shall be sold in conjunction with any accessory parking facilities.

**10. Location**

After the effective date of this Ordinance, required accessory off-street parking spaces shall be located on the same lot as the principal building or use served, except upon approval of a special use as per Section XIII.K, herein, authorizing all or a part of the required off-street parking spaces to be located on a lot that does not contain the building or use served.

Unless such permitted off-site parking spaces are shared with and located on the same property as another use, they shall be located in a district where parking lots or storage garages are allowable principal uses. However, off-site parking areas shall comply with the regulations of Section XI.C.2 of this Ordinance for required accessory parking spaces not located on the same lot as the building or use served.

**11. Landscaping**

All portions of a lot not parked or built upon or used for an accessory use shall be maintained in landscaping. In addition to and exclusive of driveways and aisles, open areas shall be provided within and around the perimeter of parking and loading areas to accommodate trees, shrubs and other landscape materials. The dimensions of required landscape areas shall be measured from the back of curb of the parking area. Required landscape areas shall be provided as required herein.

**a. Perimeter Landscape Areas**

- (1) **Residential Uses** - A landscape area at least 8 feet wide shall be provided along each side of the parking area of a lot used for multiple-family residences.
- (2) **Non-residential uses:** Parking lot setbacks and landscape areas shall be provided along each side of a parking area in compliance with the following:

# EXHIBIT D

**From:** [M.E](#)  
**To:** [Janine Farrell](#)  
**Subject:** New Gas Station  
**Date:** Thursday, May 5, 2022 2:16:49 PM

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I say No to the new Gas Station At 91st and Rt. 83 there is a gas station just across the street. Why do you need another one right there?? also they will be selling liquor and smoking paraphernalia. that will bring in more riff raff into the area. I say No.. other neighbors That I talked to feel the same way..  
Thank you and enjoy your day..



**From:** [Pam Vicks](#)  
**To:** [Janine Farrell](#)  
**Subject:** Property on RT 83  
**Date:** Tuesday, May 3, 2022 12:28:10 AM

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As a property owner in Oak Hills, I strongly urge you and others on the board, to reject the attentive plans for a Thorton gas station in this area. There are all ready three gas stations from Archer Ave. and I55, which, I believe, is an area of approximately five miles.

Thank you.

Pam Vicks  
16w330 94th Place  
Burr Ridge,Il.

# EXHIBIT E

## **VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS** **MINUTES FOR REGULAR MEETING OF MAY 2, 2022**

### **I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 8 – Petrich, Broline, Stratis, Morton, Irwin, Parrella, McCollian, and Trzupek  
**ABSENT:** 0

Trustee Guy Franzese and Community Development Director Janine Farrell were also present.

### **II. APPROVAL OF PRIOR MEETING MINUTES – APRIL 18, 2022**

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Stratis to approve the minutes of the April 18, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Morton, Stratis, Petrich, Broline, and Trzupek  
**NAYS:** 0 – None  
**ABSTAIN:** 3 – Irwin, Parrella, and McCollian

**MOTION CARRIED** by a vote of 5-0 with 3 abstentions.

### **III. PUBLIC HEARINGS**

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

#### **Z-04-2022: 308-312 Burr Ridge Parkway (Rovito); Special Use Amendment, Special Use, and Findings of Fact [CONTINUED FROM MARCH 21, 2022]**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-04-2022 is a request to expand a restaurant use, Are We Live. The petition was continued from the March 21, 2022 meeting. At that time, there was not an individual present able to answer questions regarding the petition and the Commission requested outdoor dining and parking plans. Since March 21, no new information has been received except two new email objections, and no changes have been made to the request.

Nick Esposito, attorney for the petitioner, distributed plans that had been previously included in the staff report packet. Sandy Andrews explained that three additional tables will be added to the interior and the outdoor dining area will extend to the end of the unit.

Chairman Trzupek stated that at the last meeting the Commission requested an outdoor dining plan. Chairman Trzupek noted the ADA ramp and planter box location may impact the outdoor dining and wished to see these items addressed on a plan.

Ms. Andrews and Chairman Trzupek discussed the locations of the existing ramp in relation to the outdoor dining plan. Ms. Andrews explained that the petitioner did not want to spend funds on architectural drawings if the request was not going to be approved. Chairman Trzupek reiterated the Commission's request for a plan to ensure that there was adequate space to accommodate the ramp and accessibility. Chairman Trzupek and Ms. Andrews discussed the need for the outdoor dining area to be accessed from the interior.

Chairman Trzupek confirmed that the outdoor dining space is calculated as part of the total restaurant square footage within the County Line Square PUD.

Chairman Trzupek asked for public comment.

Alice Krampits of 7515 Drew asked what the capacity would be for this additional unit. Ms. Andrews clarified that high tops within the existing space will be relocated to this new unit. The current capacity is about 80. Ms. Krampits questioned about rental space and the outdoor area. Ms. Andrews stated that the entire establishment would be rented. Ms. Krampits asked about happy hours. Mrs. Farrell explained that the Village Board discussed the matter but decided to not take action at this time. Ms. Krampits stated that she was opposed to the expansion since it is being marketed to a younger crowd which may be more like a nightclub which is not within the image of Burr Ridge.

Chairman Trzupek asked Mrs. Farrell about complaints. Mrs. Farrell noted that no complaints were received by the Village Hall, but there were a few complaints to the Police Department about rowdy patrons in the parking lot and a sign. The attorney for the petitioner confirmed that they are not aware of any complaints.

Richard Panico, 8311 Fars Cove, supported the request. Mr. Panico noted the small size of the expansion and that outdoor dining is very common in surrounding municipalities.

Commissioner Stratis expressed concerns about the location of the outdoor dining with the ramp. Commissioner Stratis asked the petitioner to comment on the sign which was installed and subject of the complaint. Commissioner Stratis supports first amendment rights but felt that the sign was inappropriate. Mr. Esposito stated that the matter was adjudicated and the sign was removed.

Commissioners McCollian and Broline did not have questions.

Commissioner Petrich expressed a desire to have outdoor dining and indoor seating plans in advance of the next meeting. Chairman Trzupek supported the request for an interior plan. The



petitioner and Chairman Trzupek discussed what would be shown on that plan and the costs associated with an architectural plan.

Commissioner Petrich noted that there was a space inside which was set up for a dancing area and reinforced the need for a seating plan. The petitioner stated that there is not an intent to have a dance floor inside the restaurant. Commissioner Petrich asked the petitioner to clarify the type of outdoor furniture. Ms. Andrews confirmed that the photos from the report packet were for the grand opening only and not the furniture which is intended to be there permanently.

Commissioner Parrella reiterated the need for a conceptual plan which illustrates the interior and outdoor flow of the spaces. This would be a 2-D plan, not a rendering or 3-D model, which shows connections, ingress and egress, and any safety issues.

Commissioner Irwin seconded Commissioner Parrella's comments.

Commissioner Morton requested that the relationship of the ramp with the flat area and slope be shown on the plan. Commissioner Morton also requested that the seating plan be shown to ensure wheelchair access within the spaces and around tables and chairs. Commissioner Morton did not have concerns about noise issues since the noise ordinance is in effect and the piped in music should not create problems.

Chairman Trzupek stated that there were options to continue the public hearing to obtain additional information or the hearing could be closed and a vote taken on the request.

Commissioner Broline commented that the concern about accessibility has been brought up with other establishments. Commissioner Broline did not have concerns about the expansion of the use.

Mr. Esposito requested that the Commission move the petition forward subject to receiving the plans.

Commissioner Stratis stated that he supported moving the request forward with staff and Chairman Trzupek's review and approval of the plans. Commissioner Morton requested additional information be added about ADA and noise ordinance compliance to the conditions.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to close the public hearing for Z-04-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Stratis, Irwin, Morton, Broline, Petrich, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to recommend to the Village Board approval of an amendment to Ordinance #A-834-10-21 to expand the subject use and a special use for a restaurant over 4,000 square feet with indoor and outdoor dining, and with the sale of alcoholic beverages pursuant to section XIII.K of the Zoning Ordinance and the County Line Square Planned Unit Development (Ordinance #A-834-19-21) with the following conditions:

1. The special use shall be limited to Filipino Rovito and shall be null and void should Filipino Rovito no longer have ownership interest in the restaurant consisting of approximately 4,400 square feet commonly known as 308-312 Burr Ridge Parkway.
2. Activity in the indoor restaurant area shall cease and all patrons shall vacate the premises no later than midnight on any given day.
3. Activity in the outdoor dining area shall cease and all patrons shall vacate the premises no later than 11pm on any given day.
4. The outdoor dining area shall comply with the Burr Ridge Municipal Code and County Line Square PUD regulations in respect to ingress, egress, and ADA compliance, as well as liquor control and noise ordinance regulations. The outdoor dining plan and any remaining details shall be approved by staff and the Plan Commission Chairman through the building permit process and prior to building permit issuance.
5. Prior to building permit issuance, the petitioner shall submit a parking management plan, subject to staff and Plan Commission Chairman approval, that includes at a minimum:
  - a. A commitment to provide valet parking off-site, behind the building, or at the west end of the shopping center.
  - b. The reservation of four (4) parking spaces for valet parking that does not interfere with any drive aisles or fire lanes.
  - c. A commitment that employees be required to park offsite or behind the shopping center.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Stratis, Irwin, Petrich, Broline, Morton, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Special Uses, PUD Amendment, Variations, and Findings of Fact**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-10-2022 is for ten requests related to a gas station development on a vacant parcel south of McDonald's. Mrs. Farrell stated that the petitioner is Ryan Swanson of Arc Design Resources, Inc., on behalf of Thorntons LLC. Thorntons is proposing to develop the vacant site with a gas station and convenience store, amending the Spectrum PUD. The 4,400 sq. ft. convenience store will have packaged liquor and tobacco sales, and extended hours of operation, 5:00 a.m. to 11:00 p.m., which

is beyond the 7:00 a.m. to 10:00 p.m. permitted. The neighboring property to the north, McDonald's, was approved for extended hours 5:00 a.m. to 11:00 p.m. Mrs. Farrell illustrated the requests on the site plan. Mrs. Farrell displayed the sign proposal and explained the four variation requests. All of the ground and walls combined exceed 100 sq. ft. of area, measuring 155 sq. ft. There are three wall signs total, two on the convenience store itself and one on the fuel canopy. The internal drive on the property is private and does not count as a road frontage. A gasoline pricing sign is required to be affixed to an existing sign, but the proposed sign is itself a free-standing sign. This sign also exceeds the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. The gasoline pricing sign contains six colors, exceeding the three colors permitted. Mrs. Farrell displayed the photometric plan and showed the footcandle amount at the property lines. The average foot candle light level is 4.39 exceeding the 1.0 permitted and the uniformity ratio is 4.39 to 1 exceeding the 4 to 1 permitted.

Chairman Trzupek confirmed that the average foot candle light level permitted is 1.0.

Ryan Swanson of Arc Design Resources introduced himself as the project manager and Todd Smutz as the representative of Thorntons. Thorntons currently has 212 stores with 10 new stores proposed and 3,000 employees. Thorntons was acquired by British Petroleum last year but permitted to keep the Thorntons banner. Mr. Smutz discussed the core values of Thorntons and the company's charitable initiatives. Mr. Smutz stated that while the pandemic shut down many businesses, Thorntons was permitted to be open and had policies which allowed them to adapt to the changing environment. Mr. Smutz stated that the proposed store will be a typical convenience store with 10 fuel stations and air service station.

Chairman Trzupek asked if the sign on the rear façade was illuminated and believed it was not necessary for identification purposes. Chairman Trzupek believed the light may negatively impact the residential use neighboring the property. Chairman Trzupek also asked about the wall packs on the rear. The petitioner displayed photometry on the screen to illustrate the real light levels. There are higher light levels under the fuel canopy due to the fueling, credit card use, and checking under the hood of automobiles.

Chairman Trzupek stated for clarification on the traffic study. Mr. Smutz confirmed that the original traffic study was modeled for uses which had a greater traffic impact than the proposed gas station, including a drive-through restaurants and a retail pharmacy.

Chairman Trzupek asked for public comment.

Richard Panico, 8311 Fars Cove, stated that this site has access to major thoroughfares which could be a target for car jackings. Mr. Panico did not see a business core value regarding safety. Mr. Panico asked if this proposal has been shown to the Police Department and what measures the petitioner will take for safety. Mr. Smutz stated that adequate lighting and security cameras are a necessity for safety. The security cameras are monitored remotely. A uniformed security guard would not be at the site since the area is safe.

Chairman Trzupek asked Mrs. Farrell to confirm if the Police Department had reviewed the request. Mrs. Farrell stated that Chief Madden was informed of the proposal and did not express concerns about extra police force being required for the operation.



Sandra Allen, a Burr Ridge resident for 44 years, expressed concern about the subdivision to the south and if this development would be a disruption.

Alice Krampits, 7515 Drew, asked if Spectrum had comments about the proposal and why there were no entrances or exits to Route 83. Mrs. Farrell stated that the entire development was planned to limit direct access to Route 83 from a safety and congestion standpoint. Route 83 is under IDOT jurisdiction and authorizes access points.

Commissioner Morton was concerned about the light levels and asked about the accuracy of the photometry illustration to real life. Mr. Smutz stated that the photometry is an accurate representation of how the real light levels will appear. Commissioner Morton asked for clarification on the number of colors for the signage. Kate Berliner with Thorntons clarified the number of colors for the gas pricing sign. There are two different reds, green, blue, black, and white. Commissioner Morton confirmed the LED digits are included in the colors. Commissioner Morton reviewed the gas pricing signage in the Village and had concerns about the size and number of colors for the proposed sign in relation to others that are existing. Commissioner Morton asked about the salt tolerance of the landscaping proposed. Mr. Swanson stated that the species are salt tolerant. Commissioner Morton asked if this is a full-service station. Ms. Berliner stated it was not, but there are help buttons on the pumps which can be pressed from inside the vehicle to request assistance. Commissioner Morton asked for the petitioner to expound on the Findings of Fact which stated that "an equivalent facility is not located in the general area of the proposed development." Mr. Swanson stated that it was related to the amount of fuel stations, the circulation, and the modern store. Commissioner Morton asked about electronic vehicle (EV) charging. Ms. Berliner stated that Thorntons has an infrastructure plan for EV in the future.

Commissioner Irwin asked Ms. Berliner to explain further. Ms. Berliner stated that the infrastructure, the electricity, will be installed but she cannot state if the charging stations themselves will be installed at the time of development. Ms. Berliner stated that Thorntons is working with a vendor to have stations installed at multiple locations. Commissioner Irwin stated that the EV charging could contribute to the Findings for the necessity of the use. Commissioner Irwin asked about the remote monitoring. Mr. Smutz confirmed that the office is located in Louisville but the individuals monitoring the site cannot sound internal alarms. The remote office can notify local law enforcement. Commissioner Irwin asked about the red colors and if they are the same. Ms. Berliner stated they are the same tone, but two different vendors and therefore counted as two colors.

Commissioner Parrella asked if the reds will look the same. Ms. Berliner confirmed they will.

Commissioner Petrich asked about the original PUD and what was envisioned. Mrs. Farrell read Condition B of the PUD which required "the future preliminary and final plans for the commercial development on Lot 2 under this planned unit development shall be submitted to the Plan Commission for its review and recommendations, and then to the Board of Trustees for approval." Commissioner Petrich asked about McDonald's signage. Mrs. Farrell confirmed that McDonald's was approved for variations related to the number of signs. Commissioner Petrich asked about the design of the proposed convenience store in relation to McDonald's. Ms. Berliner stated that the

design was intended to complement the McDonald's with the stone. Ms. Berliner confirmed there are storefront windows. Commissioner Petrich confirmed with staff that the plans had been reviewed by the Village Engineer. Commissioner Petrich questioned how often the Route 83 entrance is used and expressed concerns about the safety of this entrance and exit. Mr. Smutz stated that the access is existing and was approved by IDOT. Commissioner Petrich confirmed the location of the underground fuel tanks. Commissioner Petrich was concerned about the amount of the variations required for signage. Commissioner Petrich confirmed with the petitioner that there was no dine-in, only carry-out.

Commissioner Broline confirmed the existing one-way exit to Route 83. Commissioner Broline asked about the size of the sign proposed and if it was similar to Speedway's. Ms. Berliner stated that the speed on the road and the 640 ft. slow down distance sets the standard for pricing digit size which dictates the overall size of the sign. Commissioner Broline asked about the foot candle amount on the east side adjacent to Spectrum. Mrs. Farrell confirmed it was 1.5 foot candles to the property line which borders the access drive.

Commissioner McCollian asked about security cameras and the need for extra security if it is deemed necessary. Ms. Berliner stated that if it is necessary, the stores can be changed over quickly. Commissioner McCollian expressed concern about the volume of traffic on 91<sup>st</sup> Street. Chairman Trzupsek stated that traffic was a big issue for the McDonald's proposal and is unsure about how it is working today. Commissioner McCollian asked where the EV chargers would be located under the canopy. Ms. Berliner stated that it would be on the south side of the canopy. Mr. Smutz stated it is two dedicated triple charge stations.

Commissioner Stratis disclosed that he and his wife own McDonald's to the north. Commissioner Stratis clarified that Route 83 is a Strategic Arterial Roadway which is under IDOT jurisdiction and Spectrum was only able to receive the one access to Route 83. Commissioner Stratis asked about the fuel tanks. Mr. Smutz confirmed that they are fiberglass, double wall tanks with monitoring and two emergency shut-off buttons. Commissioner Stratis asked about the security and if there is the ability to lock the doors with a panic button. Ms. Berliner stated that there is not that option currently. Commissioner Stratis asked about ownership. Mr. Smutz confirmed that Thorntons will rent and have a 50-year lease. Commissioner Stratis asked about liquor sales. Phillip Bolove with Thorntons stated it will have beer, wine, and hard spirits. Commissioner Stratis asked how much of the interior is dedicated to liquor sales. Ms. Berliner stated that the hard liquor will fit in an 8 ft. cabinet. Commissioner Stratis asked if the lights will be dimmed when closed. Mr. Smutz stated that only four stores are not 24-hour operation so they intend to keep them on for security reasons even when closed. Commissioner Stratis confirmed with the petitioner that the light bulbs will not be exposed in the canopy. Commissioner Stratis confirmed with the petitioner that background or existing lighting is factored into the photometric plan. Commissioner Stratis noted that there was an intent to have matching lighting throughout the development but Spectrum and McDonald's do not match. The petitioner's proposed lighting will not match McDonald's. Commissioner Stratis complemented the high cleanliness standard for Thorntons and requested that outdoor sales be limited to the spot designated on the plan and not anywhere else on the site. Commissioner Stratis spoke with Evan Walter, Village Administrator, about the traffic on 91<sup>st</sup> Street shortly after McDonald's opened. Mr. Walter stated that traffic has not been a significant issue. Commissioner Stratis asked if Thorntons was going to request to be on the multi-tenant sign.

Ms. Berliner stated that they would like to, but they were not sure if that would count towards their signage calculations. There was discussion about the sign being off-site in a common area in the PUD and potentially calculated separately.

Chairman Trzupek stated that the sign package is reasonable given the use. Chairman Trzupek asked about the red illuminated band on the fuel canopy. Mrs. Farrell confirmed that it was not included in the signage calculation. Ms. Berliner confirmed that the signage calculations were for the logos only, not the red backgrounds.

Commissioner Parrella asked about the alarm system and who is notified. Ms. Berliner stated that it notifies local police and fire and the corporate office.

Commissioner Morton asked about the proposed fuel tanker truck circulation. Mr. Smutz stated that the trucks would enter the site and head east since the fueling is on the driver side. Mr. Smutz confirmed an auto-turn plan was generated to ensure access.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to close the public hearing for Z-10-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Morton, Stratis, Broline, Petrich, Parrella, McCollan, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to recommend to the Village Board approval of amending the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with hours of operation exceeding 7:00 a.m. to 10:00 p.m. pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted subject to four conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, photometric plan, and sign plans attached hereto as Exhibit A.



2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The hours of operation shall be limited to 5:00 a.m. to 11:00 p.m.
4. The outdoor sales area shall be restricted to the area shown on the plan.
5. The Thorntons sign on the rear (east) elevation shall be eliminated.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Petrich, Morton, Stratis, Broline, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

Mr. Bolove asked if the hours were restricted to 5:00 a.m. to 11:00 p.m. Chairman Trzupek confirmed. Mr. Bolove stated that he was unaware of this restriction and that the business requires 24-hour operation. Mr. Bolove asked if there was a way to amend that. Chairman Trzupek stated that there was not, that 5:00 a.m. to 11:00 p.m. was what was requested through the petition and noticed. Mr. Bolove stated that he will petition the Village Board to change the hours.

Commissioner Stratis believed that this would need to be re-noticed and questioned if Spectrum and Tad Lagestee was aware of the 24-hour request. Tad Lagestee stood in the audience and confirmed that Spectrum has reviewed and approved the proposal.

**V-02-2022: 8311 Fars Cove (Panico); Variation and Findings of Fact**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-10-2022 is a request by Richard Panico, as petitioner, for a variation to permit a detached accessory building, specifically a garage, within the side buildable area pursuant to Zoning Ordinance section IV.I.1. The property is zoned R-2B. Current Zoning Ordinance regulations permit accessory structures within the rear yard only. The petitioner currently has an attached garage and detached garage on the property and wishes to build a second detached garage in the side buildable area. In 2004, the petitioner provided plans to the Village when the home was initially proposed which showed the residence with a side yard garage attached by a masonry wall. When these plans were then submitted for permit, they were rejected. The petitioner received a letter of apology from the Village acknowledging that incorrect information was provided when the original plans were shown. In 2005, the petitioner abandoned the side yard garage and continued with the residence and detached garage in the rear. In 2021, the petitioner pursued a text amendment to allow detached garages in the side buildable area which was denied by the Plan Commission and later withdrawn. The petitioner is now seeking to build this secondary garage in the side buildable area.

Chairman Trzupek clarified with the petitioner that the original drawing showed the proposed structure connected to the residence with a masonry wall. Richard Panico confirmed that the wall was to keep with the architecture of the residence and these plans were preliminary approved. Mr. Panico stated these were the plans which were then later denied. Mr. Panico then eliminated the proposed garage and moved forward with the residence and detached garage in the rear yard. Mr.

Panico now would like to build this garage and was provided advice by the Village to pursue a text amendment to allow detached garages in the side buildable area. Mr. Panico explored what it would take to attach the garage but the cost and structural requirements made it not feasible. Mr. Panico was also denied a balcony on the residence but appealed to the Board and was permitted to construct it.

Chairman Trzupek confirmed the history and sequence of events with the petitioner.

Mr. Panico stated that in order to build a second detached garage on the property in the rear yard, a new driveway would need to be installed which would not be aesthetically pleasing and could negatively impact his neighbor's property. The proposed garage is to house a classic car collection.

Chairman Trzupek discussed the need for a hardship with a variation request. The Chairman asked staff to discuss with the Village Attorney. The Village Attorney stated that there may be a hardship if someone purchased a property with the intent to do something and was informed that it would be allowed only to then be told it was not after the purchase. Chairman Trzupek stated that this was not the situation in this case.

Mr. Panico would like to build a garage that is aesthetically pleasing. Mr. Panico stated that the hardship was created by misdirection provided by the authorities that are now restricting his ability to build and a lack of accountability by the Village. Mr. Panico stated that what he is proposing will not negatively impact his neighbors.

Chairman Trzupek asked for public comment. There was none.

Commissioner Stratis felt bad that the petitioner was provided bad advice but is concerned about setting precedent. Commissioner Stratis understands the petitioner's frustration but does not believe that granting this garage now will address the previous wrongs. Mr. Panico stated that he does not believe this will create a precedent due to the documented history of this particular situation. Mr. Panico stated that there are structures in his neighborhood which are in poor condition that the Village does not address. Commissioner Stratis confirmed with the petitioner that this occurred 17 years ago and questioned why it was not addressed during that time. Mr. Panico stated that he did not have time to pursue the issue while growing his business and did not have the expansive car collection that he now does.

Chairman Trzupek asked if the petitioner would construct the wall which was originally shown. Mr. Panico stated he would not due to the foundation disturbance, the impact to the façade of his residence, and the cost.

Commissioner McCollian did not have questions.

Commissioner Broline stated that there is a ring of a hardship in the letter of apology but struggles with it.

Commissioner Parrella asked for the rendering to be displayed on the screen. Commissioner Parrella stated that the proposed garage is not a negative or bad thing and looks better without the archway wall.

Commissioner Irwin stated that this garage looks nice and wants to find a way to approve it. Commissioner Irwin does not want the petitioner to game the system with an attached wall.

Commissioner Morton agreed the structure looks good. Commissioner Morton stated that the litany of errors set up this condition. Commissioner Morton confirmed with Chairman Trzupek the information about a hardship from the Village Attorney. Commissioner Morton stated that the hardship in this situation is different than someone building a structure that did not meet regulation and then later asked for forgiveness. Commissioner Morton asked if a similar variation had ever been requested. Chairman Trzupek said that it had not, but that hardships are typically tied to the land. Commissioner asked about pursuing a text amendment to allow for garages like this. Chairman Trzupek stated that the text amendment had been pursued but was denied because it would apply to the whole Village.

Commissioner Petrich was concerned about precedence but stated that this proposal was unique in terms of setbacks and design.

Chairman Trzupek stated that precedence is a concern but he has heard that there is also no such thing as precedence if the conditions of approval are specific enough to the site and request.

Mr. Panico asked how many requests like this have been made in the past decade. The Commissioners could not recall any such similar cases.

Chairman Trzupek was concerned that someone may challenge the hardship. Mrs. Farrell offered to obtain a more formal comment from the Village Attorney. The Commissioners agreed to make a motion and have the Village Attorney then review their findings for a hardship.

Commissioner McCollian asked for clarification on the attorney's review. The Commissioners confirmed that the Commission finds the hardship, but the attorney will review and confirm the language.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to close the public hearing for V-02-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Stratis, Irwin, Morton, Broline, Parrella, Petrich, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to recommend to the Village Board approval of a request for a variation to permit a detached accessory building (garage) within the side buildable area pursuant to Zoning Ordinance section IV.I.1 with two conditions:



1. The Village Attorney shall review the Findings of the Fact made by the Plan Commission.
2. The garage shall substantially comply with the rendering submitted by the petitioner depicting the red brick structure and included as Exhibit A.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Irwin, Stratis, Petrich, Broline, Morton, Parrella, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

#### **IV. CORRESPONDENCE**

Chairman Trzupek asked if there were any comments on the Board or Building Reports. Commissioner Petrich asked for clarification about a right-of-way permit by a concrete contractor and if it was related to a brick mailbox. Mrs. Farrell was unsure about the specific permit but stated that it was likely for a driveway.

#### **V. OTHER CONSIDERATIONS**

##### **PC-03-2022: 16W135 Honeysuckle Rose St. (New Wave Carwash); Extraterritorial Review of a Conditional Use for a PUD and Variations**

Mrs. Farrell stated that this proposal was discussed briefly at the last meeting but was not formally on the agenda. Mrs. Farrell introduced the proposal that was received from DuPage County for an expansion of an existing car wash located on Route 83, south of 91<sup>st</sup> Street. Mrs. Farrell did not have a response on the outcome of the County meeting and did not receive any extra information regarding directional signage. Mrs. Farrell stated that the Village does not have the authority to hold the proposal to their standards, but comments can be submitted.

Commissioner Stratis was unsure how the development would impact Burr Ridge which is across the highway but expressed concern about the access.

#### **VI. PUBLIC COMMENT**

There were no public comments.

#### **VII. FUTURE MEETINGS**

##### **May 9, 2022 Board of Trustees**

Commissioner McCollan is the scheduled representative.

##### **May 16, 2022 Plan Commission**

**Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact**

Request to consider text amendments to Section XIV.B of the Zoning Ordinance to create a definition for an attached garage.

The Commission agreed that this item should stay on the agenda regardless of the outcome of the variation request that was approved earlier.

**Z-13-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact**

Request to consider text amendments to Section 55.09.E of the Sign Ordinance to clarify regulations pertaining to right-of-way signs.

**Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact**

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

Alice Krampits asked for clarification on the proposal. Mrs. Farrell clarified that three-car garages are now proposed which reduces open space. The petitioner was required to bring forward landscaping, final engineering, and elevations to the Plan Commission for final approval regardless, but now the PUD is being amended as well.

**May 23, 2022 Board of Trustees**

Commissioner Irwin is the scheduled representative.

**June 6, 2022 Plan Commission**

**Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]**

Request to consider text amendments to Sections VIII.A, VIII.B, VIII.C, and XIV.B of the Zoning Ordinance to define "live entertainment" and permit "live entertainment" as accessory to certain uses in the Business Districts.

**Z-12-2022:** Consideration of text amendments regarding commercial vehicles in residential zoning districts.

**Z-14-2022:** Consideration of text amendments regarding short-term rentals.

**June 13, 2022 Board of Trustees**

Commissioner Parrella is the scheduled representative.

**June 20, 2022 Plan Commission**

No cases scheduled at this time. The deadline for newspaper publication is May 27, 2022.

**June 27, 2022 Board of Trustees**

Commissioner Petrich is the scheduled representative.

**VII. ADJOURNMENT**

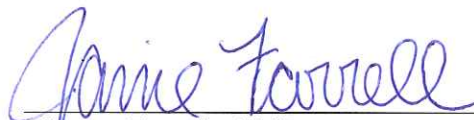
A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 9:56 pm.

**ROLL CALL VOTE** was as follows:

**AYES:** 8 – Irwin, Stratis, Petrich, Morton, Broline, Parrella, McCollian, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 8-0.

**Respectfully Submitted:**



Janine Farrell, AICP  
Community Development Director





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-16-2022: 6860 North Frontage Road (Action Behavior Centers); Requests special uses for a child care center pursuant to Zoning Ordinance section X.E.2 and for a fence in a non-residential district pursuant to section IV.J.1.**

**HEARING:**

June 20, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell  
Community Development Director

**PETITIONER:**

Action Behavior Centers, LLC

**PETITIONER STATUS:**

Tenant

**PROPERTY OWNER:**

White Lotus Group, LLC

**EXISTING ZONING:**

L-I Light Industrial

**LAND USE PLAN:**

Recommends Light Industrial Uses

**EXISTING LAND USE:**

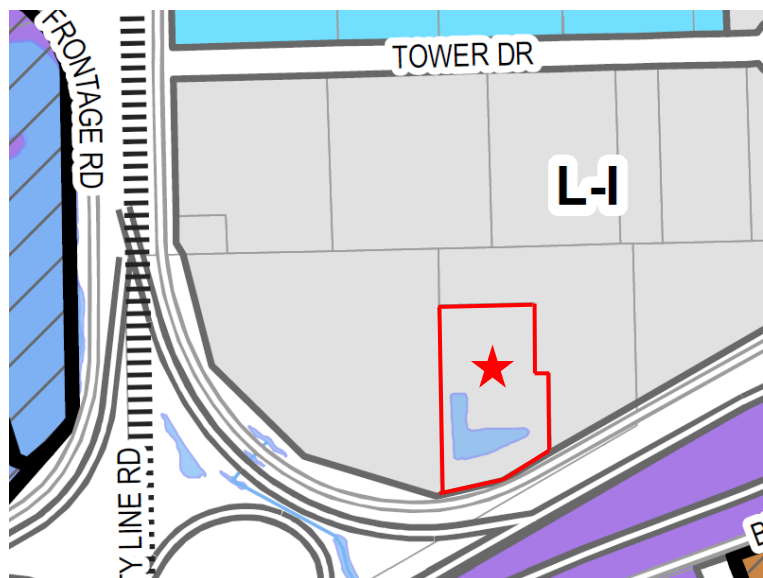
Multi-tenant Building

**SITE AREA:**

2.643 Acres

**SUBDIVISION:**

High Ridge



## Staff Report and Summary

Z-16-2022: 6860 North Frontage Road (Action Behavior Centers); Special Uses and Findings of Fact

The petitioner is Angie Menendez of Action Behavior Centers, LLC. The petitioner requests a special use for a “Child Care Center” per Zoning Ordinance Section X.E.2 and for a fence in a non-residential district pursuant to Section IV.J.1 of the Zoning Ordinance. The fence is in relation to a proposed outdoor play area for the use.

Action Behavior Centers, LLC provides ABA (Applied Behavior Analysis) Therapy to children ages two to seven years old. The business would operate from 8:00a.m to 5:00p.m, Monday through Friday, and on Saturdays at its discretion. At total capacity, there would be 38 children and 42 staff present. There would be staggered pick-up and drop-off times with four designated parking spaces. The hours would be between 8:00a.m-8:45a.m and 4:00p.m-5:00p.m. The outdoor, fenced space would be a sensory play area with a sandbox, swing, and picnic table. Full details on the business and the site plans are included as Exhibit A.

Staff has classified the use as a type of specialized “Child Care Center” since the therapy is between 20 to 40 hours per week for the child. The hours per week and supervision of the children is more comparable to that of a child care center than a visit to a medical office. A “Medical Clinic” also requires a special use in the L-I Light Industrial District.

### **Land Use and Site Plan**

The subject property is 2.6 acres in size and includes one multi-tenant building with parking located to the north and east of the building. The parcel is Lot 2 in High Ridge with Lot 1 to the east as part of the whole complex. Lot 1 is addressed as 6880 North Frontage Rd. Both lots are zoned L-I Light Industrial and are surrounded by like zoning on all sides. Lot 2 shares a driveway with Lot 1 to access North Frontage Rd. There are two other schools or child care centers within this complex, Vine Academy and Grand Avenue (proposed to be Premier IL Burr Ridge). These two establishments were approved in 2019 and 2020 respectively and include fenced play areas within the parking lot. Action Behavior Centers is proposing a fenced play area to the west of the building which is currently a grassed area. Pursuant to Zoning Ordinance section IV.J.1, fences in non-residential districts require a special use permit but are only held to the following standards or Findings:

1. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
2. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.
3. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
4. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The fence must comply with the regulations for fences in residential districts except as may be specifically authorized by conditions for approval of the special use. The regulations for fences are below with notes about the proposed fence’s compliance:

## Staff Report and Summary

Z-16-2022: 6860 North Frontage Road (Action Behavior Centers); Special Uses and Findings of Fact

- Must be located behind the rear wall of the building. *Proposed fence is in the interior side yard. Since it does not comply, it must be authorized as a condition of approval. The fence is located approximately 19 ft. from the west side property line and is located within drainage and utilities easement. While locating a fence within an easement is discouraged, it is not prohibited.*
- All fence posts and all supports must face the interior of the property on which it is located. *Proposed fence complies.*
- Maximum of 5 ft. in height. *Proposed fence is 4 ft. and complies.*
- Chain link, solid, barbed wire and fences which are electrically charged are specifically prohibited. *Proposed fence is aluminum and complies.*
- Open fences only permitted (at least 50 percent of the surface area open). *Proposed fence complies.*
- No spike tops. *Proposed fence complies.*

For Suite A and the other tenants within the building, there are no assigned or allotted parking spaces. Staff counted 142 parking spaces located on Lot 2 of High Ridge (not including accessible spaces). Action Behavior Centers requires 42 staff parking spaces and has four drop-off/pick-up spaces for a total of 46. The other tenants in the building include medical office uses which require six spaces for each doctor. It is unknown how many doctors total work in the units, but with the 96 spaces remaining, this would equate to 16 doctors.

### **Public Hearing History**

For the two lots within High Ridge, the public hearing history relevant to this petition is below:

- **Z-01-2018 and Z-07-2018 (6860 North Frontage Rd.):** Special uses for medical clinics (Ordinances A-834-01-18 and A-834-05-18).
- **Z-06-2019 (6880 North Frontage Rd.):** Special use for a private school (Ordinance A-834-08-19).
- **Z-03-2020 (6880 North Frontage Rd.):** Special use for a child care center (Ordinance A-834-02-20).

### **Public Comment**

No public comment was received regarding this petition.

### **Findings of Fact and Recommendation**

The petitioner has provided Findings of Fact, which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission chooses to recommend approval of requests for special uses for a child care center pursuant and for a fence in a non-residential district, staff recommends the following conditions:

1. The special use permit shall be limited to Action Behavior Centers, LLC in a manner consistent with the submitted business plan. The special use shall expire at such time that Action Behavior Centers, LLC no longer occupies the space at 6860 North Frontage Rd. or at which time there is an assignment or termination of the lease for the space at 6860 North Frontage Rd.



Staff Report and Summary

Z-16-2022: 6860 North Frontage Road (Action Behavior Centers); Special Uses and Findings of Fact

2. The special use shall be limited to Suite A and the outside area as depicted on the plans at 6860 North Frontage Rd.
3. The capacity of the special use shall be limited to 40 children on the premises at any particular time.
4. The fence shall be permitted to be located within the interior side yard as depicted on the plans.

**Appendix**

Exhibit A – Petitioner’s Materials

**VILLAGE OF BURR RIDGE**
**PETITION FOR PUBLIC HEARING  
 PLAN COMMISSION/ZONING BOARD OF  
 APPEALS**
**RECEIVED****MAY 23 2022****VILLAGE OF BURR RIDGE****GENERAL INFORMATION (to be completed by Petitioner)**
 PETITIONER (All correspondence will be directed to the Petitioner): Action Behavior Centers, LLC

 STATUS OF PETITIONER: Existing Tenant

 PETITIONER'S ADDRESS: 1601 South Mopac Expy, Suite C-300 Austin, TX 78746

 ADDRESS OF SUBJECT PROPERTY: 6860 N Frontage Rd, Suite A, Burr Ridge IL 60527

 PHONE: 7 0 3 8 6 3 5 6 8 5

 EMAIL: angie.menendez@actionbehavior.com

 PROPERTY OWNER: Burr Ridge White Lotus Group, LL

 PROPERTY OWNER'S ADDRESS: 10404 Essex Crt Ste 101 Omaha, NE 68114 PHONE: 402-408-0005

 PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)
**DESCRIPTION OF REQUEST:**

Action Behavior Centers offers ABA Therapy for kids on the Autism Spectrum from 2 - 7 years of age. We use outdoor activities during our daily

therapy sessions for motor skills, and socialization. We are requesting a change in our use classification in order to put in a fence in the outdoor

 area behind our section of the building. **Note: The original fence application was for a 6' black wrought iron fence, but we propose a 4' ft. fence**
**PROPERTY INFORMATION (to be completed by Village staff)**
 PROPERTY ACREAGE/SQ FOOTAGE: +/- 2.643 acres EXISTING ZONING: L-1/Light Industrial

 EXISTING USE/IMPROVEMENTS: Multi-tenant building

 SUBDIVISION: High Ridge

 PIN(S) # 18-30-100-092-0000

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

*Angie Menendez*

Petitioner's Signature

4/25/2022

Date of Filing



May 04, 2022

**Burr Ridge WLG, LLC**

10404 Essex Court, Suite 101  
Omaha, NE 68114

**The Village of Burr Ridge Planning Commission and Zoning Board**

7660 County Line Road  
Burr Ridge, IL 60527

RE: Special Use Classification for Action Behavior Centers (Tenant) - 6860 N Frontage Rd, Suite A, Burr Ridge, IL 60527

To Whom It May Concern,

On behalf of the owner, Burr Ridge WLG, LLC, we hereby support our tenant, Action Behavior Centers, with their request to be classified as "special use." Action Behavior Centers ("Tenant") provides ABA Therapy to children (ages 18 mo. to 7 yrs) who are on the autism spectrum. Our tenant is requesting this modification to be able to install a 4' black wrought iron fence behind the building. This enclosed space will be utilized to provide environmental, socialization, and mobility therapies throughout the day.

We hereby authorize Angie Menendez, Project Manager for Action Behavior Centers, to petition for the special use classification for the property located at 6860 N Frontage Rd, Suite A, Burr Ridge, IL 60527.

Please see the attached exhibit A for the agreed upon location of the fence.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Tanner Ertan", with a long horizontal flourish extending to the right.

Tanner Ertan  
Senior Commercial Property Manager  
(402) 408.0005 (o) | (402) 344-2861 (f)  
[TErtan@whitelotusgroup.com](mailto:TErtan@whitelotusgroup.com)





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

**The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.**

Street Address of Subject Property:

6860 N Frontage Rd, Suite A, Burr Ridge IL 60527

Property Owner or Petitioner:

Angie Menendez

(Print Name)

Angie Menendez

(Signature)

Jun 3, 2022 at 2:52:16 PM  
6860 N Frontage Rd  
Burr Ridge IL 60527  
United States





Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance

**Address:**

6860 N Frontage Rd, Suite A, Burr Ridge IL 60527

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

Correct, we provide ABA Therapy for kids on the Autism Spectrum.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Action Behavior Centers upholds the highest level of safety measures with our unique one on one approach to therapy, the kids always have a therapist within arms reach. This offers ABA Therapy to the families of the village, whose children are on the autism spectrum.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

Action Behavior Centers upholds the highest level of safety and morals geared towards the benefit of the parents and the autistic children.  
We follow all OSHA/HIPAA regulations and evaluate our centers on a monthly basis for safety protocols.

- d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Action Behavior Centers maintains professional and orderly daily processes that will not impede the normal development of the surrounding properties.  
The proposed site also provides more than ample space for the pick up and drop off of clients without impediment to traffic flow of any surrounding streets.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

Easy access and easements to the property allow for proper traffic flow for pick up and drop off. The property will have adequate restroom facilities and plumbing necessary to operate a clean learning environment.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Action Behavior Centers will not block any ingress or egress within the public streets.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

Correct.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Correct.



## Detailed Description of Special Use: Action Behavior Centers

**Business name:** Action Behavior Centers, LLC

**Business Type:** Action Behavior Centers provides full time ABA Therapy for Autistic kids ages 2-7 years old.

**Hours of Operations:** 8:00 am – 5:00 pm M-F.

**Business History:** Five short years ago, we started off with one center in Austin, one BCBA, and big aspirations. After observing the lack of quality options for children with Autism, we set out to create Action Behavior Centers with a vision of transforming the lives of children with Autism and the clinicians who support them.

In our quest to create something special, we ignited a movement.

Today, with centers in Texas, Arizona, Colorado, and Illinois, we're well on our way to accomplishing our mission. Through our community of more than 3000 autism professionals, we serve thousands of children and families with Autism.

**Size:** Action Behavior Centers has a total capacity of 38 kids, but we are currently operating with only 5 kids. Our approximate staff capacity is 42. Our staff includes, Registered Behavioral Therapists, Board Certified Behavioral Analysts, and 3 Office Administrators.

**Parking/Pick up and Drop off:** Action Behavior Centers has four designated spots for staggered drop off and pick up times, between 8:00-8:45 am, and 4:00 – 5:00 pm. There is more than enough parking in this complex and there will be no lines of cars at any time within our property.

**Outdoor Space:** In the proposed space, Action Behavior Centers plans to install a black 4ft wrought iron fence with 2 gates for Autistic Environmental Therapy. Enclosed in the fence area will be a small play toys for sensory play such as a sandbox, small swing and picnic table.

**Population:** Action Behavior Centers only offers therapy for children on the spectrum ages 2-7 years old.

**Our passion:** Our kids are at the core of what we do. They are what matters. Everything we do is focused on embracing their world, understanding them and achieving their greatest potential. ABC doesn't take a "one size fits all" approach and treats each child as an individual. Our goal is to celebrate each child's unique gifts while helping them develop tools that serve them later in life.

## **Who We Are**

Action Behavior Centers ("ABC") is an organization committed to the treatment of children using empirically validated methods and strategies in order to assist each child in reaching his or her greatest potential and improving their quality of life.

At ABC, we cherish every child as an individual. In addition to behavioral and educational programming, we focus on the needs of the family and its fundamental role in the success of our behavioral and educational programming.

We are dedicated to providing each family with customized support and training using the principles and techniques of Applied Behavior Analysis while following the ethical guidelines set forth by the Behavior Analysis Certification Board ("BACB"). The average child age is between 2 – 7 years of age.

## **What is ABA?**

Applied Behavior Analysis("ABA") is a research-based, scientific method that began with the work of Professor B.F. Skinner of Harvard. The science measures observable behavior. It looks at what occurs before a behavior (antecedent) and what happens after a behavior

(consequence). In Addition, the methods of ABA are applied by breaking down skills into simple steps and teaching each step in succession. Skills are taught with the use of prompting to assist learning. A correct response is followed by positive reinforcement which increases the likelihood that a behavior or response will occur more often in the future. ABC uses errorless learning in order to decrease frustration and make teaching and learning a fun activity.

ABA is the study of the functional relationship between one's behaviors and their environment. Data is collected on the stimuli that elicits, increases, decreases, or maintains the child's behavior. The data is analyzed and a treatment plan or an individualized ABA program is implemented. As the child's treatment progresses, data is collected and analyzed again to determine treatment effectiveness. The goal of a behavior analyst is to utilize behavioral contingencies to help the child learn more functional skills that can replace undesirable behaviors and improve quality of life. ABC seeks to produce significant results enabling the child to adapt to their environment thus preparing them for a brighter future.

ABA-based intervention is validated for Autism Spectrum Disorder ("ASD") and is also applicable to children with other developmental disabilities. It is a set of principles and

guidelines upon which educational programs are based and should not be used synonymously with a specific program. An ABA program targets specific developmental areas such as:

- Attending skills
- Imitative skills
- Fine motor and gross motor skills
- Language skills
- Conversation skills
- Functional play
- Functional skills/self-help skills
- Social skills
- Theory of Mind/Social Cognition
- Toileting skills
- Problem Behaviors

Other names encountered within the field of ABA are: Verbal Behavior (VB), Discrete Trial Teaching (DTT), Natural Environment Teaching (NET), Pivotal Response Training (PRT) and Fluency-based instruction. Each uses a specific method of instruction and are all based on the principles of ABA.

### **How does ABA work?**

- Provides individualized learning objectives
- Provides one-on-one therapy
- Involves an intensive treatment program, between 20 and 40 hours of therapy per week
- Provides continual support to parents

The Philosophy of ABA is Determinism: all behavior is governed by the laws of behavior and therefore there is a reason for all behavior. We can predict and control behavior when we discover the variables governing a particular behavior.



### **Therapy Hours**

ABCs provides therapy from 8am to 5pm Monday through Friday. ABC may provide therapy on Saturdays at its sole discretion. Children are dropped off between 8:00 – 8:45 a.m. and picked up between 4:00 – 5:00 p.m. The drop off and pick up times are based on therapy scheduling.

### **Parking**

ABCs offers 4 designated parking spaces for the parents to park while bringing in or picking up their child. Many of the parents also have handicap parking tags and utilize the handicap spaces as well. For the safety of the children, we require spaces as near to the premise entrance as possible. (see the enclosed Site Plan for designated parking spaces)

### **Capacity**

ABC anticipates a maximum client capacity of 38. At full capacity we will have approximately 42 staff members.

Vacant Property  
8760 North Frontage Road

# FINAL PLAT OF SUBDIVISION

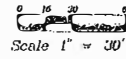
## HIGH RIDGE

BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 30,  
TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.L.N. 18-30-100-010

0418918125  
2-P

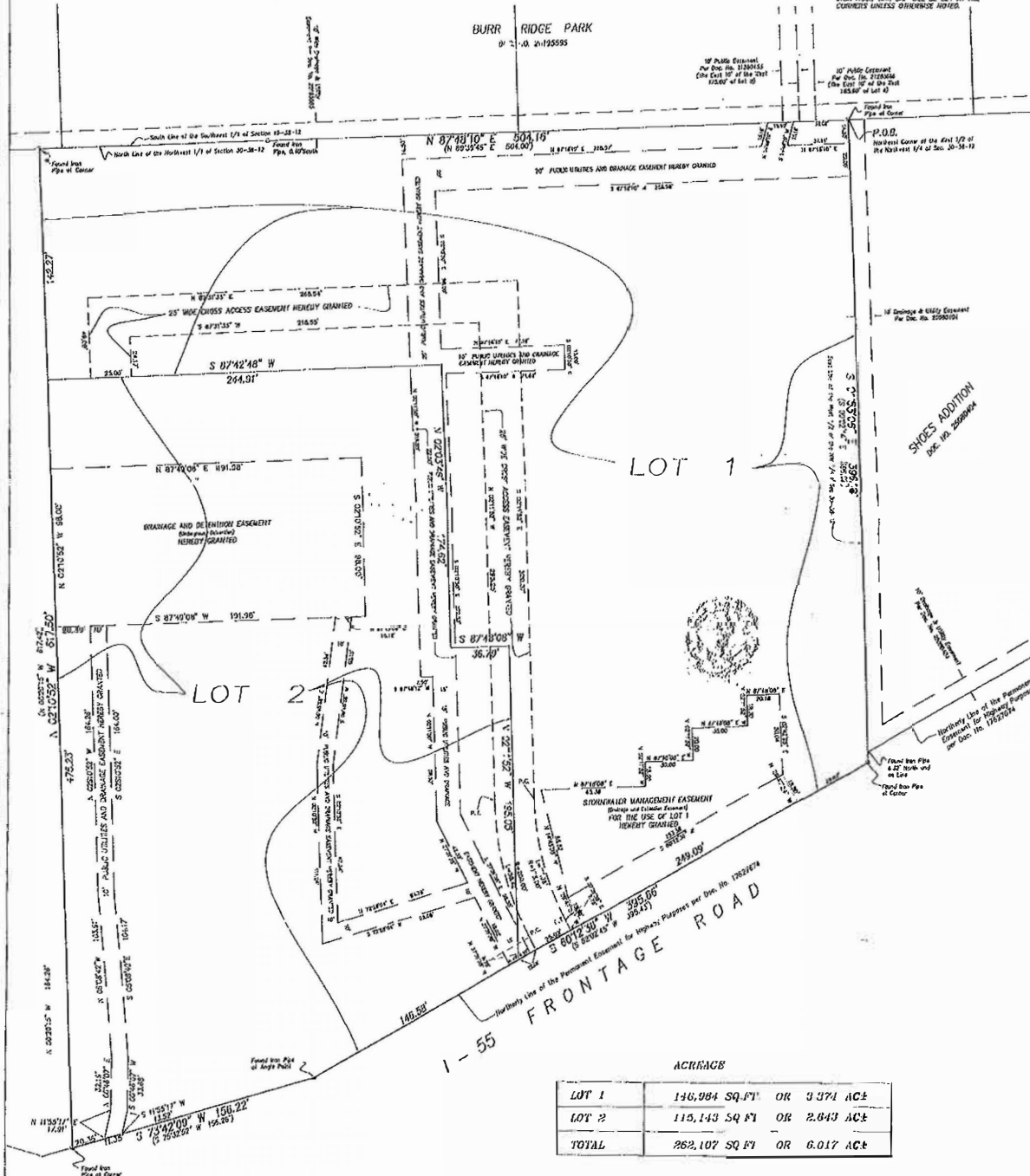
PREPARED & SUBMITTED BY &  
RETURN TO:  
Karen Thomas, Village Clerk  
Village of Burr Ridge  
7600 S. County Line Road  
Burr Ridge, Illinois 60527



Scale 1" = 30'

LEGAL DESCRIPTION PER ALTA/ACSM LAND, PLE SURVEY  
BY EDWARD J. HOLLEY & ASSOCIATES, L.P.  
DATED MAY 5, 2008, ORDER NO. 2001-0152

(100.00) DECIMETRE RECORD INFORMATION  
100.00 DECIMETRE MEASURED INFORMATION  
SHOW ROADS WITH CAP SHL BE SET AT ALL  
CORNERS UNLESS OTHERWISE NOTED.



ACRRAGE		
LOT 1	146,984 SQ. FT.	OR 3.371 AC±
LOT 2	115,143 SQ. FT.	OR 2.643 AC±
TOTAL	262,127 SQ. FT.	OR 6.017 AC±

Survey No.: C071c  
Ordered By: Timothy Morgan Associates  
Description: PLAT OF SUBDIVISION  
Date Prepared: March 10, 2008  
Scale: 1" = 30'

REVISED 09-28-04 - Public Utilities & Drainage Easmt. Change  
REVISED 05-01-04

Sheet 1 of 2

Mail Future Tax Bills to:  
Thomas P. Murphy  
4810 N. Frontage Road #200  
Burr Ridge, IL 60527

MAIL TO  
RECORDERS BOX 324 DS

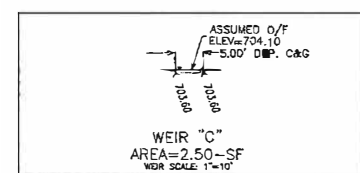
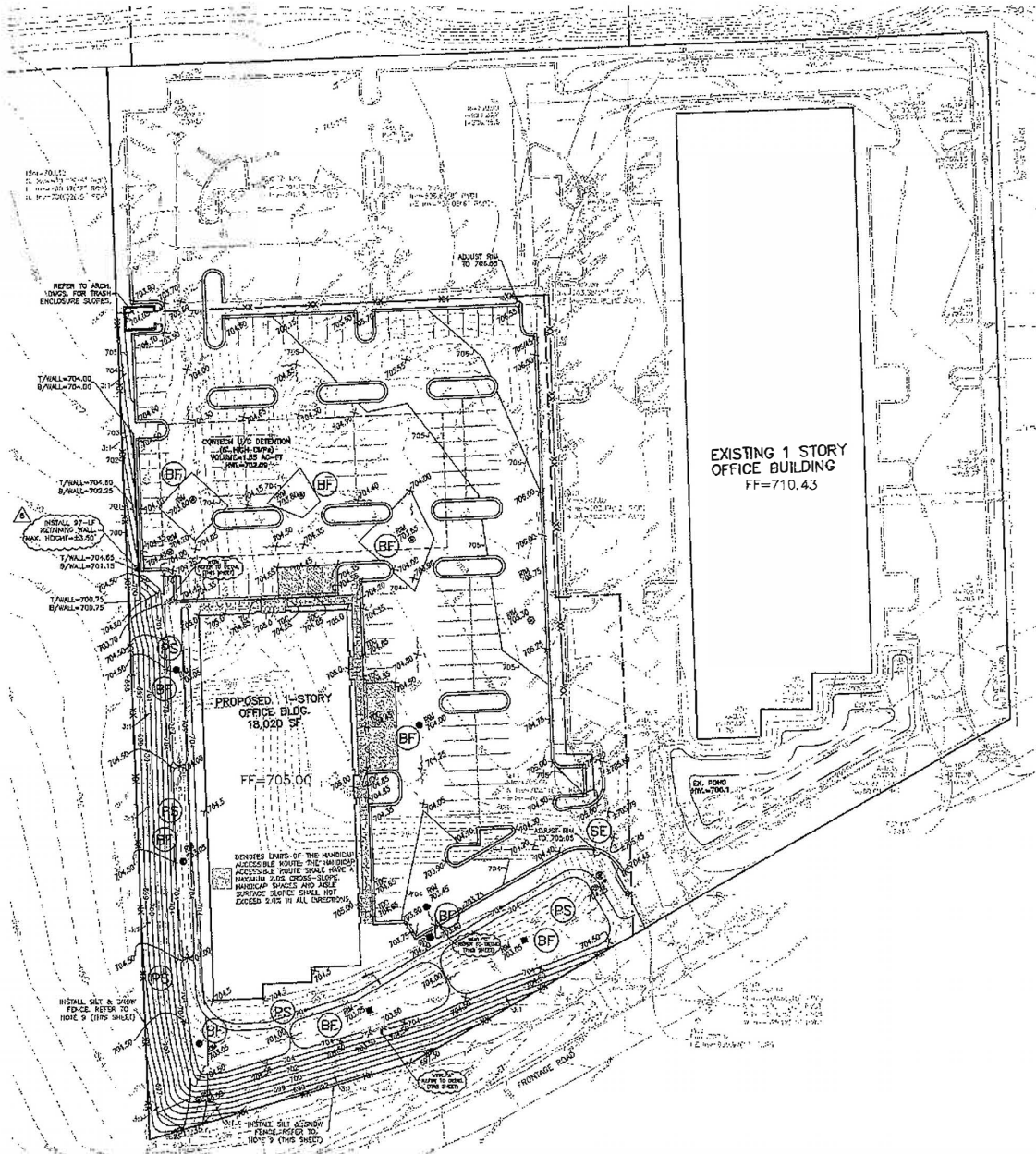
MAIL TO  
RECORDERS BOX 324 DS


EDWARD J. HOLLEY & ASSOCIATES, P.C.  
SURVEYORS & ENGINEERS  
700 Westmont Dr., Suite 100  
Glen Ellyn, IL 60137  
630-916-9000 FAX 630-916-1771






A000



- WORKS:**
1. ALL EXISTING DRAINAGE TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR RE-ROUTED AS NECESSARY AND RESTORED TO PROPER OPERATING CONDITIONS.
  2. ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 6 INCHES OF TOPSOIL AND SEEDS.
  3. ALL SPOIL ELEVATIONS ARE TOP OF PAVEMENT ELEVATIONS OR TOP OF FINISHED GRADE ELEVATIONS IN GREEN AREAS.
  4. THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADWAYS CLEAN OF ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM CONSTRUCTION OPERATIONS.
  5. CALL 411/1-800-892-0123 BEFORE ANY AND ALL DIGGING IS STARTED.
  6. DEPRESSURED CURBS & GUTTER DENOTED BY (SEE COMMENTS).
  7. EXISTING CONDITIONS WERE TAKEN FROM A TOPOGRAPHIC SURVEY BY JACOB AND HERNER ASSOCIATES, DATED 4/1/03, AND/OR AS-BUILT SURVEYS FOR PHASE I, DATED 8/1/02.
  8. REFER TO THE SHOW/MATERIAL MGMT. REPORT FOR OVERFLOW HIGHLIGHTS.
  9. PRIOR TO THE START OF CONSTRUCTION, A SECURED/PROTECTED SLOPE SHIELD SHALL BE INSTALLED AROUND THE EXPOSED PERIMETER OF THE WORK AREA ON THE LOT. IN ADDITION, A SLOPE SHIELD SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE LOT. A SIGN ON THE SLOPE SHIELD SHALL BE PLACED OUTSIDE (NOT REFER TO SLOPE FACE DETAIL SHEET C) FAILURE TO INSTALL AND PROPERLY MAINTAIN THESE MEASURES WILL RESULT IN A STOP WORK ORDER BY THE VILLAGE.
-  (C) ALL GREEN AREAS EXCEEDING A 4:1 SLOPE SHALL BE PLANTED WITH NO-NOW

[illegible]

(XX) REFER TO SHEET CS FOR EROSION CONTROL DETAILS

1" = 30'	 <p>JACOB &amp; HEFNER ASSOCIATES, P.C. ENGINEERS • SURVEYORS 700 ROBERTSON ROAD, SUITE 100 CHICAGO, ILLINOIS 60610 CLIENT: BURR RIDGE PROJECT: BURR RIDGE DATE: 08-17-74</p>	GRADING AND EROSION CONTROL PLAN	
C671C		TIMOTHY MORGAN ASSOCIATES HIGH RIDGE - PHASE II BURR RIDGE, ILLINOIS	
C3		2 REMOVED PER OWNER & TRD 4/1/76	
		3 REMOVED PER OWNER & TRD 4/2/76	
		4 REMOVED PER OWNER & TRD 4/2/76	
		5 REMOVED PER OWNER & TRD 4/2/76	
		6 REMOVED PER OWNER & TRD 4/2/76	
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		8 REMOVED PER OWNER & TRD 4/2/76	
		9 REMOVED PER OWNER & TRD 4/2/76	
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		352 PROGRESS SET 2/1/64	





Grand Avenue  
Preschool & Daycare

Vir

No additional shrubs  
proposed - plenty of  
coverage already

Proposed  
Fence  
area

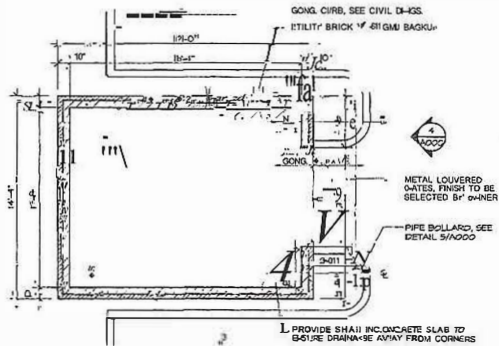
occupancy

Burt and Will  
Plastic Surgery an

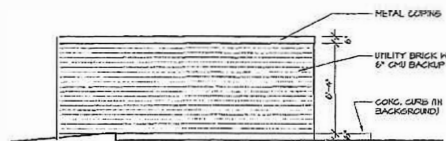
Drop-off /  
Pick-up  
Parking (4  
spcs)

Parents have 4 designated spaces to dropoff/pickup their child.  
They always come inside the facility to dropoff & pickup.  
They drop off between 8 - 8:45 and pickup between 4:30 - 5:00.  
Other parking is available if they need it and some parents have handicap stickers to utilize  
the handicap parking.

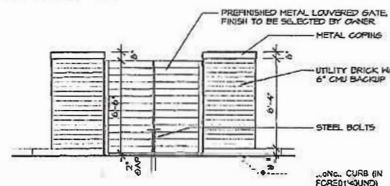




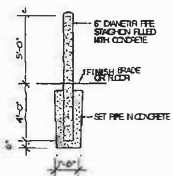
2 TRASH ENCLOSURE PLAN  
Scale: 1/4" = 1'-0"



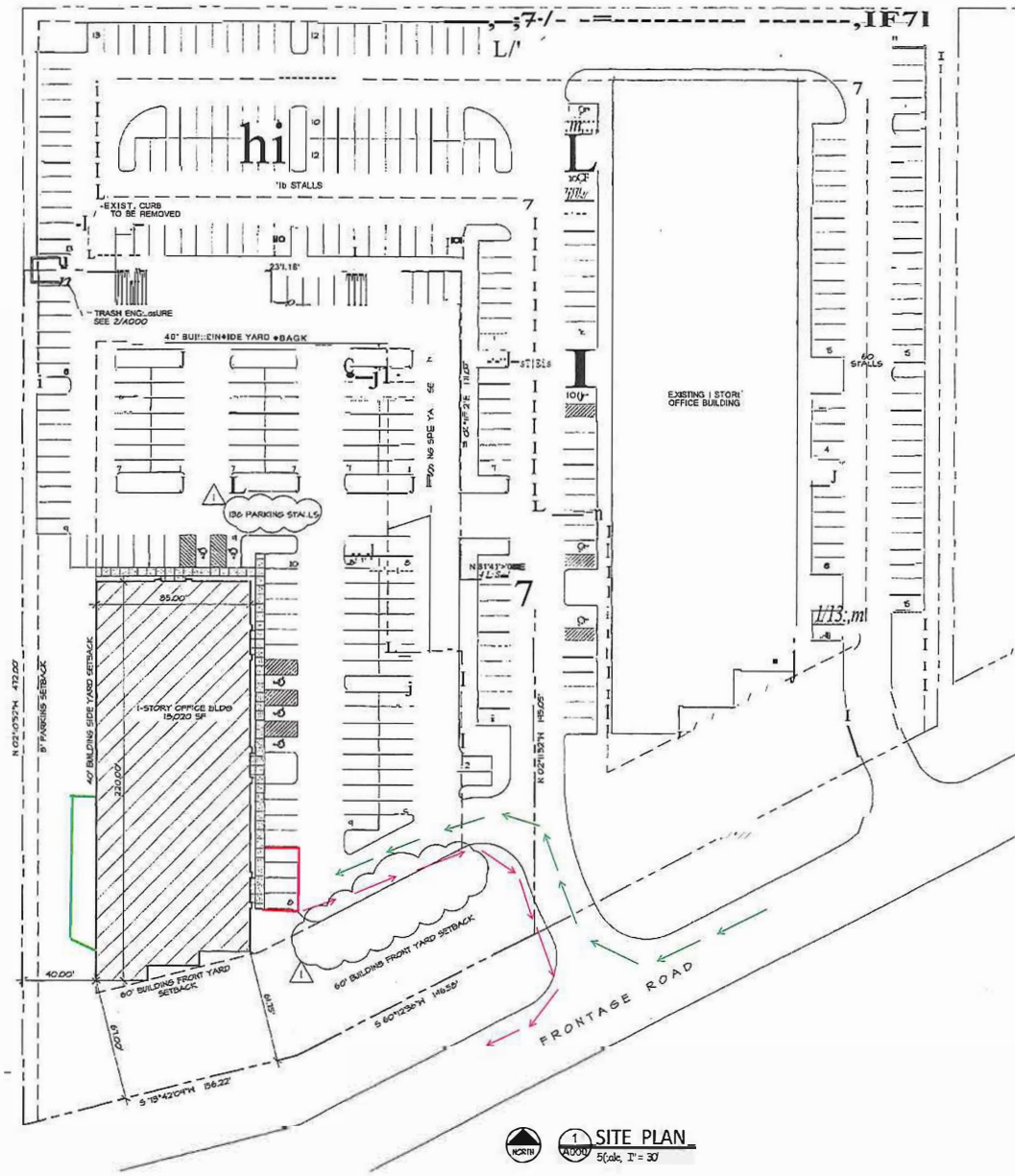
3 TRASH ENCLOSURE ELEVATION  
Scale: 1/4" = 1'-0"



4 TRASH ENCLOSURE ELEVATION  
Scale: 1/4" = 1'-0"



5 BOLLARD DETAIL  
Scale: 1/4" = 1'-0"



1 SITE PLAN  
Scale: 1" = 30'

**TMA**

Architects & Planners  
Trinity Morgan Associates

200 Tri-State International Center  
Suite 100  
Uniondale, Illinois 60009  
630-340-0000  
630-374-0007 FAX

1811  
18 E. 42nd Street  
Suite 400  
New York, New York 10011  
212-681-6741 phone  
212-681-6742 fax

CONSTRUCTION: The project is a new building to be constructed on the site of the existing building. The building is to be constructed in accordance with the requirements of the City of Chicago. The building is to be constructed in accordance with the requirements of the City of Chicago. The building is to be constructed in accordance with the requirements of the City of Chicago.

NO.	DATE	DESCRIPTION
1	03/03/04	ISSUED FOR PERMIT
2	03/03/04	ISSUED FOR PERMIT
3	03/03/04	ISSUED FOR PERMIT
4	03/03/04	ISSUED FOR PERMIT
5	03/03/04	ISSUED FOR PERMIT
6	03/03/04	ISSUED FOR PERMIT
7	03/03/04	ISSUED FOR PERMIT
8	03/03/04	ISSUED FOR PERMIT
9	03/03/04	ISSUED FOR PERMIT
10	03/03/04	ISSUED FOR PERMIT

PO BOX 1000  
115 S. W. 1st St.  
HIGH RIDGE PHASE II  
6880 NORTH FRONTAGE RD.  
BURR RIDGE, IL 60527

SITE PLAN  
TRASH ENCLOSURE DTLS.

03-032  
03/01/04

A000



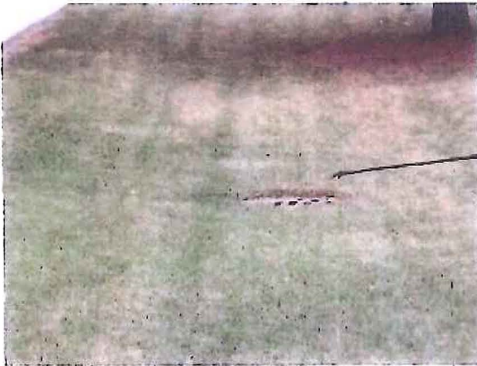


Exhibit A

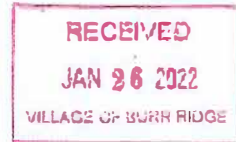




22-021 6860 7-7 coverage #



SEWER GOES TO  
PARKING LOT



12-5-21

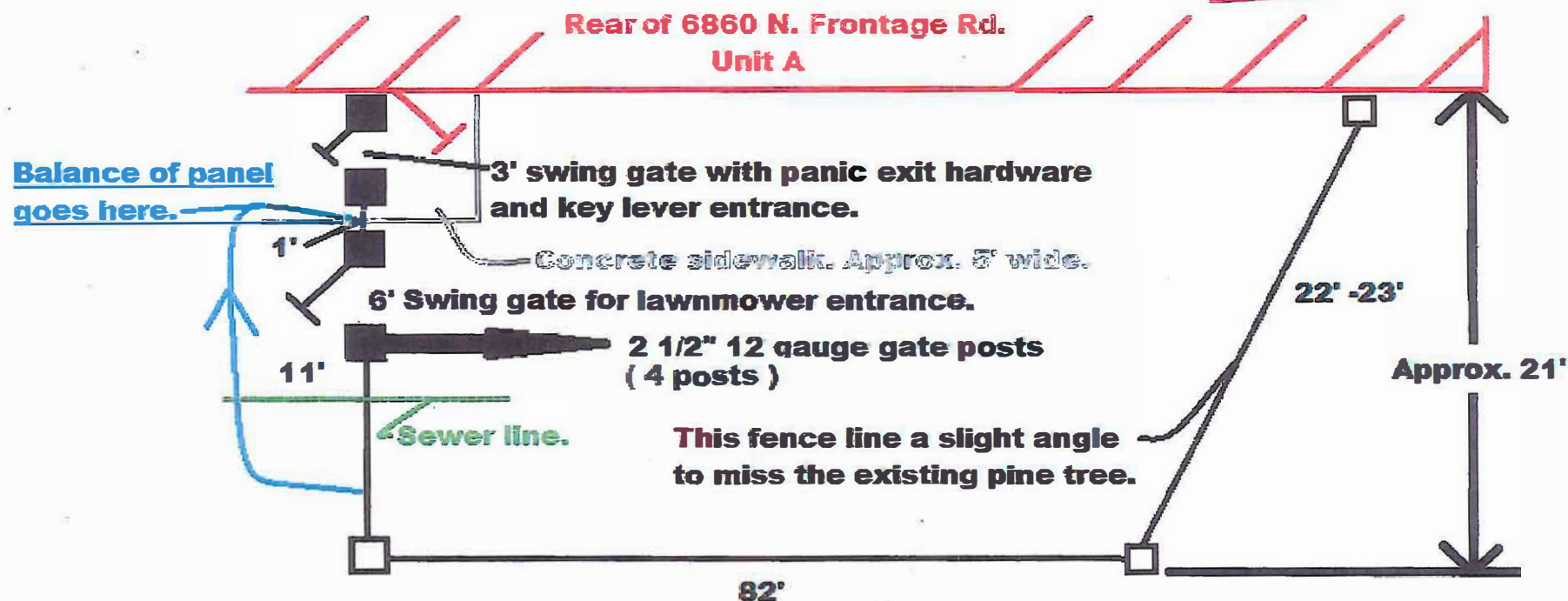
Not drawn to any scale:

Date: 01-25-2022-2021

Salesman: Ken Kolar (630) 743-8006

Job Number: 2228940

22-021



Name: Action Behavior Center	First Fence Inc.
Site address: 6860 N. Frontage Road	4900 Harrison Street
City: Burr Ridge, IL 60527	Hillside, IL. 60162
Phone: (703) 863-5685 Angie	Office Phone: (708) 547-7555

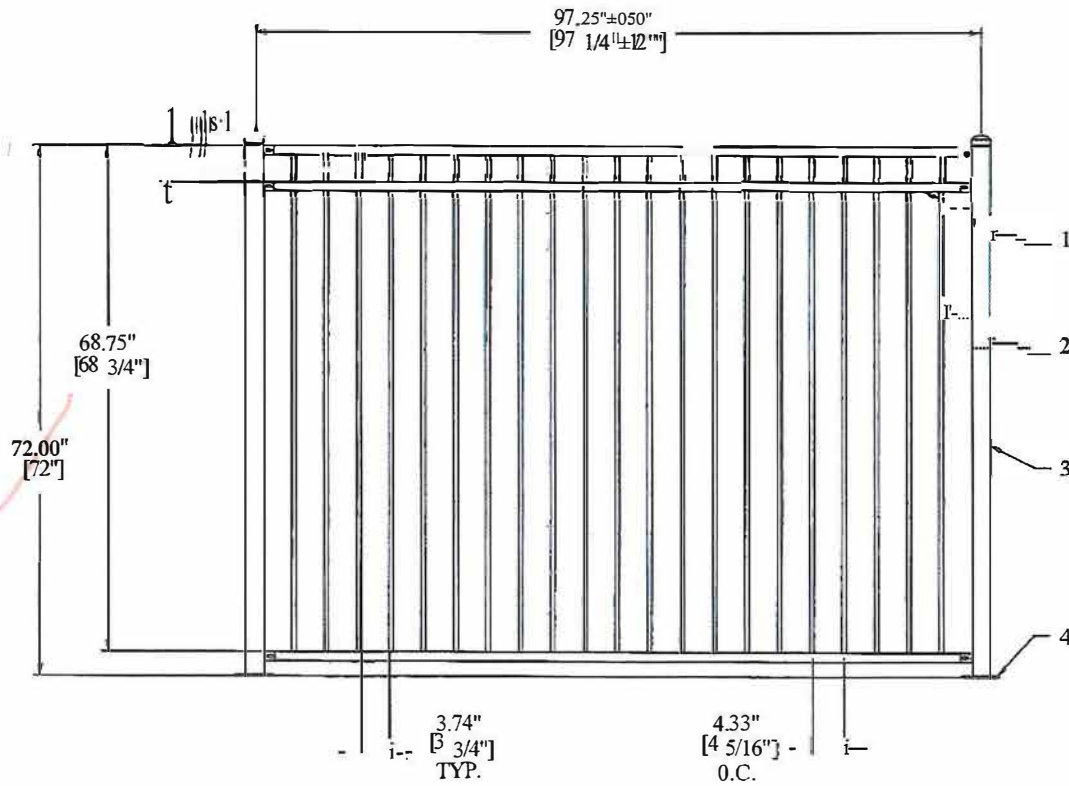
22-021 6860 N. Frontage Rd

#	DESCRIPTION
1	15/16" x 1 1/4" x 14ga CHANNEL RAIL
2	5/8" SQ x 18ga PICKET
3	2 SQ POST
4	BRACKET# BX104

TOP VIEW

JAN 26 2022

'VIILAQI; OF BURR RIDGE



ELEVATION VIEW

SIDE VIEW

UNIFORM PROLOG CODES				PROPERTARY INFORMATION				IIA MERISTAR <sup>®</sup>			
a. Date	b. Drawn by	c. Checked by	d. Discussed by	This drawing is the property of company of IIA MERISTAR, Inc. and is not to be reproduced or used in whole or in part for the making of copies, or for any other purpose without the written consent of IIA MERISTAR, Inc. No part of this drawing is to be reproduced without the written consent of IIA MERISTAR, Inc.				Macro City 116			
NOT TO SCALE CIVIL DRAWING Angle = 0.5				REVISION HISTORY				TITLE: MONTAGE RESIDENTIAL STEEL PANEL			
#F-I	#C-I	#A-I	#T-I	REVISION		DESCRIPTION		DATE: 02/11/16		SHEET: 1 OF 1	
C		LM	CITY LIM	IN WALL				ORN BY: VM		REV: D	
C								DRAWING NO: RMD378F			





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Requests to rezone the property from O-2/Office & Hotel to R-5/Single-Family Residential, a variation for minimum area for R-5 from 80 contiguous acres to 4.876 acres, and a variation to permit a planned unit development on less than 20 acres and less than 800 ft. of lot width all as per Zoning Ordinance section VI.H, and a special use for a planned unit development pursuant to section VI.H and XIII.L.**

**HEARING:**

June 20, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell  
Community Development Director

**PETITIONER:**

David Schwartz of Cornersite, LLC

**PETITIONER STATUS:**

Contract purchaser

**PROPERTY OWNER:**

Metro Infectious Disease Consultants  
(MIDC)

**EXISTING ZONING:**

O-2 PUD/Office & Hotel

**LAND USE PLAN:**

Recommends Office/Hotel uses

**EXISTING LAND USE:**

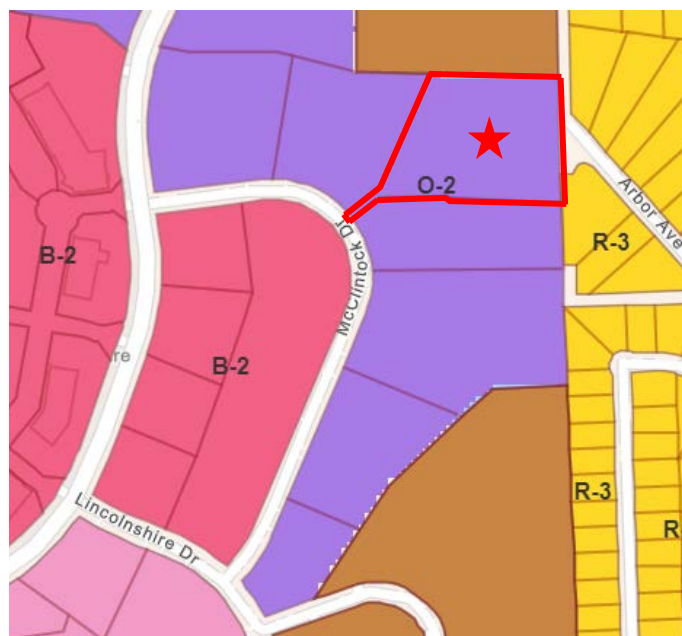
Vacant/unimproved

**SITE AREA:**

4.876 Acres

**SUBDIVISION:**

I.R.E.A.D



## Staff Report and Summary

Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Variations, Special Use for a PUD, and Findings of Fact

The petitioner is David Schwartz of Cornersite, LLC. The petitioner requests to rezone the property and a special use for a Planned Unit Development (PUD), with associated variations to permit the PUD, to construct a 30-unit townhome development called the Village Center Townhomes.

## **REZONING**

### ***Rezoning with Variations***

The property is currently zoned O-2 Office & Hotel and is part of a Planned Unit Development (PUD) with the neighboring property to the south, also addressed as 901 McClintock. Within the Zoning Ordinance, townhomes or single-family attached dwellings are only permitted within the R-5 zoning district. Townhomes may be permitted within other zoning districts through a Planned Unit Development, much like condos are permitted along with commercial uses in the Village Center PUD, zoned B-2. Since townhomes are the principal use of the land with no other non-residential use proposed, the underlying zoning district should reflect the primary use.

Pursuant to section VI.H.3, the minimum area to which the R-5 classification may be applied is 80 contiguous acres. Additionally, a PUD in R-5 cannot be on less than 20 acres nor on a parcel with less than 800 ft. of lot width. The site is less than 5 acres and only has 37.66 ft. of width along McClintock Dr. Variations from the 80-acre and 20-acre minimums are required for the petitioner to pursue a PUD for townhomes on the site.

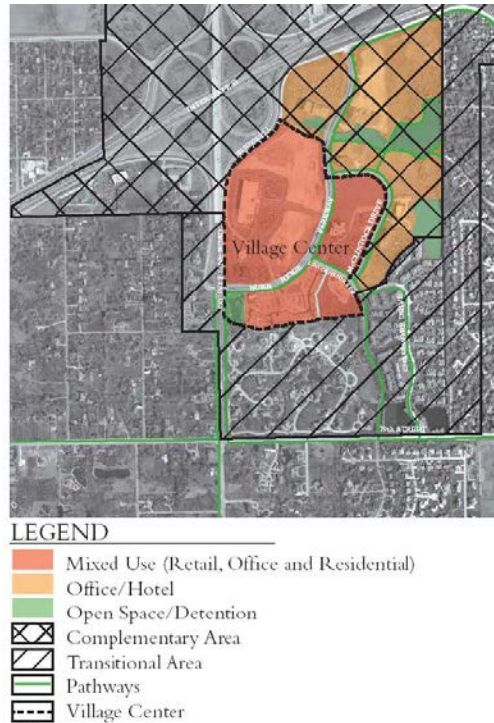
### ***Compliance with the Comprehensive Plan***

Adopted in 2005, the Comprehensive Plan's Burr Ridge Park Subarea Land Use Plan designates this site as "Office/Hotel" along with the other properties along McClintock Dr. The Comprehensive Plan states that "the development of the areas within the Burr Ridge Park but outside the four-block Village Center should remain used or planned for office development. Additional small office buildings that are three stories in height, as permitted under the existing O-2 District zoning, are the preferred use for these properties." The Burr Ridge Park Subarea portion of the Comprehensive Plan is included as Exhibit B.

The property is also located within the Downtown Business District, adopted in 2021.

## Staff Report and Summary

Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Variations, Special Use for a PUD, and Findings of Fact



*Land Use Plan for the Burr Ridge Park Subarea from the Comprehensive Plan.*

### ***Compatibility with Surrounding Zoning and Development***

In addition to the Comprehensive Plan, a key factor in determining zoning for a property is the surrounding pattern of zoning and development. The properties along McClintock Drive to the south and west of the site are zoned O-2 Office & Hotel. To the east is the R-3 Single-Family Residential District. To the west is B-2 General Business District. To the north is R-5 Residential District (Lakeside Pointe Subdivision). Other R-5 properties within the vicinity include the Chasemoor Subdivision, located about 650 ft. due south of the site.



*Zoning map of the vicinity with a red star marking the site.*



## Staff Report and Summary

Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Variations, Special Use for a PUD, and Findings of Fact

The trend in development in the area has been towards office, commercial (such as retail and restaurants), and residential uses. The site was originally planned for and approved for an office use in 2008 (Ordinance A-834-27-08). The most recent large-scale development in this vicinity is the Lakeside Pointe Subdivision to the north, approved in 2017. Lakeside Pointe is also zoned R-5 and received a variation to construct a PUD on less than 20 acres (19.76 acres). The property was rezoned to R-5 in 2016.

### **PLANNED UNIT DEVELOPMENT (PUD)**

The property is currently within an approved PUD (Ordinance A-834-03-06). This PUD approved two, three-story office buildings with off-street parking on the 901 McClintock Dr. sites which includes this parcel and the parcel to the south. This PUD was then amended in 2008 by Ordinance A-834-27-08. The existing building to the south, occupied by Metro Infectious Disease Consultants (MIDC), and the walking trail along the detention were part of Phase 1 and were constructed. Phase 2 was a planned 45,000 sq. ft., three-story office building with parking planned for this property, which is still vacant. The approving Ordinance and plans are included as Exhibit C.

Full details and plans are provided as Exhibit A, but in summary, the petitioner is proposing a PUD for this site to construct 30 townhome units, six blocks of five units each. The proposed structures are 35 ft. in height and will range from 1,830 sq. ft. to 2,000 sq. ft., each containing three bedrooms. There will be 12 guest parking spaces provided throughout the site. The proposed density is 6.15 dwelling units per acre when 4.2 is the maximum permitted. For reference, the Chasemoor Subdivision, also a townhome development zoned R-5 and within the vicinity, is approximately 4.5 dwelling units per acre. This calculation includes 13 detached residences. The development will share access from McClintock Dr. with MIDC to the south. The internal roads will be private.

### ***Variations or Exceptions***

A comparison of the R-5 zoning district and other applicable regulations is detailed below. Items highlighted in yellow do not meet the minimum requirements but would be varied as part of the PUD.

<b>Regulation</b>	<b>Requirement</b>	<b>Proposed</b>
Minimum lot size	20 acres	4.876 acres
Minimum lot width	800 ft.	37.66 ft.
Building height	30 ft.	35 ft.
Minimum ground floor area per dwelling unit	1,600 sq. ft.	713-884 sq. ft.
Density	4.2 dwelling units per acre	6.15 dwelling units per acre
Front yard setback	30 ft.	42 ft. to centerline of private road

## Staff Report and Summary

Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Variations, Special Use for a PUD, and Findings of Fact

Interior side yard setback	15 ft.	At a minimum 15 ft.
Rear yard setback	30 ft.	50 ft.
Minimum open space	1.0 times floor area of dwellings; also 60% 54,900 to 60,000 sq. ft.; 127,443 sq ft.	73,482 sq. ft.
Off street parking	2 spaces per unit; 60 spaces	72
FAR	0.5	0.35

### ***PUD Guidance***

Zoning Ordinance Section XIII.L outlines the procedures and guidelines for PUDs. In general, the planned unit development provisions of this Ordinance are intended to provide the following:

- A. A choice in the type of environment available to the public by allowing development that would not be possible under the strict application of other sections of this Ordinance.
- B. Development and/or permanent reservation of open space, recreational areas and facilities.
- C. A land use plan which permits preservation of green space, natural vegetation, topographic and geological features and historic resources.
- D. A creative approach to the use of land and related physical facilities which results in better urban design, higher quality construction and the provision of aesthetic amenities.
- E. The efficient use of land, so as to promote economies in the provision of utilities, streets, schools, public grounds and buildings, and other facilities.
- F. Innovations in development so that the growing needs and demands of the population may be met by a greater variety in type, design, and layout of buildings and structures, and by conservation and more efficient use of open space ancillary to said buildings and structures, all in a manner so as to be consistent with the character of the zoning district in which the planned unit development is located.
- G. A land use which promotes the public health, safety, comfort, morals and welfare.

### **Public Hearing History**

**Z-03-2006:** Special use for a PUD for a two-lot office building development.

**Z-20-2008:** Amended the previous 2006 special use for a PUD (Ordinance A-834-27-08 included as Exhibit C).

### **Public Comment**

While several questions were received regarding this petition, no formal public comment was received to provide in the report.

## Staff Report and Summary

Z-17-2022: Vacant/901 McClintock Dr./PIN 18-30-303-019-0000 (Cornersite, LLC); Rezoning, Variations, Special Use for a PUD, and Findings of Fact

### **Findings of Fact and Recommendation**

The petitioner has provided Findings of Fact, which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission chooses to recommend approval of requests for rezoning, variations, and a special use for a PUD, staff recommends the following conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, and photometric plan attached hereto as Exhibit A.
2. The special use shall be limited to Cornersite, LLC and shall expire if Cornersite, LLC no longer owns the property located at Vacant/901 McClintock Dr./PIN 18-30-303-019-0000.

### **Appendix**

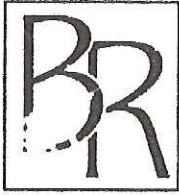
#### Exhibit A – Petitioner’s Materials

- Petition
- Project summary
- Plat of Survey
- Site Plan
- Floor Plans
- Building elevations
- Landscape Plan
- Photometric Plan
- Renderings
- Preliminary material board
- Draft Village Center Townhomes by-laws

#### Exhibit B – The Burr Ridge Park Subarea Comprehensive Plan excerpt

#### Exhibit C – Ordinance A-834-27-08





# EXHIBIT A

## VILLAGE OF BURR RIDGE

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

MAY 23 2022

VILLAGE OF BURR RIDGE

PETITIONER (All correspondence will be directed to the Petitioner): Cornersite, LLC  
STATUS OF PETITIONER: Contract Purchaser  
PETITIONER'S ADDRESS: 3190 Doolittle Dr. Northbrook, IL 60062  
ADDRESS OF SUBJECT PROPERTY: 901 McClintock Dr. Burr Ridge, 60527  
PHONE: 312-543-2558  
EMAIL: Schwartz@cornersite.com  
PROPERTY OWNER: Metro Infectious Disease Consultants 97  
PROPERTY OWNER'S ADDRESS: 901 McClintock Dr PHONE: \_\_\_\_\_  
PUBLIC HEARING REQUESTED: ☒ Special Use ☒ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

See attached

PROPERTY ACREAGE/SQ FOOTAGE: 4.876 Acres EXISTING ZONING: O-2  
EXISTING USE/IMPROVEMENTS: Vacant Land  
SUBDIVISION: I.R.E.A.D.  
PIN(S) # 18-30-303-019-0000

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

Date of Filing

**901 McClintock**  
**DESCRIPTION OF REQUEST**

We are applying for a zoning map amendment to change the designation from the existing O-2 to a PUD with an underlying zoning of R-5 and a variation to increase the amount of dwelling units per acre from 4.2 to 6.15 dwelling units per acre. Please note requirements, including, setbacks, building height and FAR, will conform with R-5 zoning.



May 23, 2022

Janine Farrell

Community Development Director

Village of Burr Ridge

7660 County Line Road

Burr Ridge, IL 60527

RE: 901 McClintock Drive

Dear Ms Farrell,

This letter is to serve as formal acknowledgement that Cornersite, LLC (the "Developer") is the contract purchaser of the above referenced property currently owned by Metro Infections Disease Consultants, LLC (the "Seller"). Seller authorizes Developer to apply for any zoning map amendments, variations, special use permits and/or any other zoning relief as may be necessary to approve a project proposed by Developer and approved by the Plan Commission and the Village Board of Trustees.

Thank you in advance for your assistance in this matter.

A handwritten signature in black ink, appearing to read "Russell M Petrak", is written over a large, stylized circular flourish.

Russell M Petrak, MD

Managing Senior Partner





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

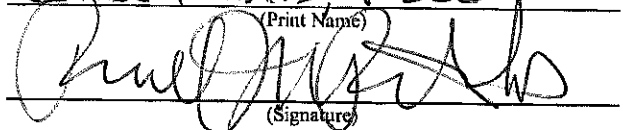
**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

901 McClintock Drive

Property Owner or Petitioner:

METRO INFECTIOUS DISEASE  
CONSULTANTS, PLLC  
(Print Name)  
  
(Signature)

Jun 3, 2022 at 2:41:04 PM  
792-806 McClintock Dr  
Burr Ridge IL 60527  
United States

**901 McClintock**  
**Findings of Fact – Map Amendment**

**a. Existing uses of property within the general area of the property in question.**

There is a newly completed development of single-family homes, Lakeside Circle, directly to the north. To the south, there is a parking lot of the adjacent office building, a small water feature, then the R-5 zoned Chasemoor Townhome development.

**b. The zoning classification(s) of the property within the general are of the property in question.**

The Lakeside Circle single family homes are zoned PUD (as requested) while the Chasemoor Townhomes are zoned R-5.

**c. The suitability of the property in question to the uses permitted under the existing zoning classification.**

While the property was intended for office use in accordance with its zoning, there is not adequate demand for additional office space as evidenced by its failure to attract a user or developer over the course of the past fifteen years.

**d. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification;**

The trend of development has been, and continues to move towards increased residential development in and around the Village Center, as evidenced by the recently completed Lakeside Circle development.

**e. The impact upon the objectives of the Official Comprehensive Plan of the Village of Burr Ridge, as amended.**

The 1999 Village of Burr Ridge Comprehensive Plan is currently under review and being updated as of July 1, 2018.



**901 McClintock**  
**Findings of Fact – Zoning Variation**

- a. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.**

901 McClintock is a unique property, bounded by an office building and its parking lot to the south and west, a small lake with a walking trail to the north and a single-family community to the east. The zoning variation requested provides the scall to allow for the property to be developed for medium density multifamily rather than the property remaining vacant due to lack of demand for additional office space. Requiring existing ownership to continue to market the property to no avail constitutes a particular hardship.

- b. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located.**

After being marketed for office development on and off for fifteen years with very little interest, it is reasonable to conclude that, without zoning variations, the property cannot yield a reasonable return for its current ownership.

- c. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally t, to other property within the same zoning classification.**

As one of the last remaining undeveloped parcels adjacent to the Burr Ridge Village Center and its positioning between the single-family communities to the east and the commercial properties to the west, the vacant parcel at 901 McClintock is in a unique position and requires a development approach that would not be applicable to other O-2 zoned properties.

- d. The purpose of the variation is not based primarily upon a desire to increase financial gain.**

The variation request to increase the total dwelling units allowed per acre is primarily to add enough scale to the project to allow it to be constructed and operated in a first-class manner befitting its location. Smaller projects tend to be confined to less professional contractors and operators.

- e. The alleged difficulty or hardship is caused by this Ordinance and has not be created by any persons presently having an interest in the property.**

The market conditions and size of the property has caused the difficulty or hardship. Current ownership has continuously maintained the vacant site and has done nothing to adversely affect its development potential.

- f. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.**

The project at its proposed density will not be detrimental or injurious to the public welfare or other property or improvements. Rather, its complimentary use will expand the customer and client base for nearby commercial properties.

- g. The granting of the variation will not alter the essential character of the neighborhood or locality.**

The neighborhood already consists of a mix of retail, office and residential uses (including townhomes), so the proposal will not alter the essential character of the neighborhood.

- h. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets or increases the danger of fire or impair the natural drainage or create drainage problems on adjacent properties or endanger the public safety or substantially diminish or impair property values within the neighborhood.**

The proposed use and density will not impair light and air, increase congestion, increase danger of fire or public safety. Drainage and utility installation will be engineered to ensure the development doesn't create any drainage problems and the overall design of the project is intended to create a transition between existing residential and commercial uses.

- i. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes in the Village.**

The 1999 Village of Burr Ridge Comprehensive Plan is currently under review and being updated as of July 1, 2018. The plan will be largely consistent with the bulk and density of the R-5 Zoning Designation.

**901 McClintock**  
**Findings of Fact – Special Use**

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.**

There is strong demand for upscale residential housing near the Burr Ridge Village Center as evidenced by the rapid absorption of the recently completed 40 single family home development known as Lakeside Circle, just to the north of the subject property.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

The property will be professionally managed by ownership and/or a homeowners association to ensure it will not be detrimental to or endanger the public health etc.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.**

The proposed townhome development will generate only modest traffic and is considered less intense than the current office and hotel zoning would allow and will not be injurious to the use and enjoyment of the surrounding commercial uses nor to the nearby residential uses.

- d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The proposed development will be accessed solely through the existing driveway at 901 McClintock and all development will be contained within the subject property.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.**

All of the above are adequately provided at the site.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

Access provided directly onto McClintock Dr. will work well within the existing traffic patterns.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.**

The 1999 Village of Burr Ridge Comprehensive Plan is currently under review and being updated as of July 1, 2018.



- h. **The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.**

Accept as modified in accordance with our request for Special Use, the proposed project shall conform to all applicable regulations.

# Village Center Townhomes

## PROJECT SUMMARY

Cornersite, LLC is the contract purchaser of the property located at 901 McClintock Dr, located on the east side of McClintock between the owner-occupied office building which shares its address and 999 McClintock Dr., just east of the Village Center. The 4.876-acre property is on the south side of the small lake, just across from the newly constructed single-family homes at Lakeside Pointe. Approximately 2 acres of the property are part of the lake and park, leaving an approximately 2.8-acre vacant site bounded by the lakeside trail, the parking lot of 901 McClintock to the south and the single-family residential neighborhood on Arbor Avenue to the east. The vacant property has been marketed for office development since 2008, with market conditions remaining consistently unfavorable to that approach. Our proposal entails a revision to the PUD with an effective underlying zoning roughly equivalent to R-5 to allow for an upscale, 30-unit townhome community to be called "The Village Center Townhomes."

The proposal consists of six 5-unit buildings divided by a central drive isle. Each 2-story unit with a maximum height of 35' will feature a 2-car attached garage, open first floor living space, 3 bedrooms and a 2<sup>nd</sup> floor loft perfect for a home office or workout space. Unit sizes will range from 1830 to 2000 square feet, exclusive of the garage. There will be 132 total parking spaces including the 2-car garages, 2 parking spots in the driveway of each unit and 12 guest parking spaces.

Our intent is to provide a transition between the single-family community to the east and the commercial activity of the Village Center to the west. The project will complement the recently developed Lakeside Pointe to the north and bring in new, upscale rooftops to help enliven nearby commercial uses.

## Zoning Analysis

The Property is currently zoned O-2 Office and Hotel District, which is intended to provide higher density office and hotel uses. The maximum allowable height is 40' and it carries a 25% maximum floor area ratio with the potential to increase it 60% within a PUD.

We are requesting a PUD within the O-2 district with the intent to largely conform to the bulk and density standards of the R-5 Zoning District, which would require the following requests for zoning variations and relief:

- Map amendment from O-2 to PUD
- Minimum lot area per unit from 4.2 dwelling units per acre to 6.15 dwelling units per acre.

It's important to note that R-5 also indicates a minimum lot area per dwelling unit of 3,000 while our proposal requests one unit for every 7,080 of lot area. All other requirements of the R-5 zoning designation will be met.

# Village Center Townhomes

Several easements on the property are currently in place to ensure adequate distance from both public walking path surrounding the lake to the north and the residential neighborhood to the east. Our site plan works within those boundaries, respecting public space and retaining the significant landscape buffer.

The Village Center is a thriving mixed-use community where office, retail and mixed-use retail and residential properties co-exist to create a vibrant community. Along the eastern edge, residential uses currently exist in the form of the newly completed Lakeside Circle development to the north and the Chasemoor Townhomes to the south. The Village Center Townhomes would create an uninterrupted residential corridor and enhance the overall vitality of the area.

## Design Intent

Our architects and designers carefully crafted the exterior architectural style in a modern farmhouse vernacular to complement the recently completed single family homes at Lakeside Circle. Some additional modern touches were incorporated to help provide a transition between the residential community to the east and the largely 3-story office uses adjacent to the property.

All units will feature modern, open floorplans adjacent to private outdoor space designed to maximize views and natural light. Each 2-story floorplan features 3 bedrooms and 2 full baths upstairs, plus an open loft to add to flexibility to accommodate families from young to older. Private driveways leading to individual garages provide convenient excess parking. Finished basements, providing increase storage and living space, will be offered as an option.

Half of the 30 proposed units will have rear patios opening onto the Lakeside Trail, while the remaining units will feature landscaped private patio areas with privacy fencing. The entire site will be extensively landscaped, designed to enhance the existing landscape. Interior sidewalks are carefully integrated with the adjacent park.

## Pre-Application Process

Throughout our initial due diligence and evaluation of the property, we actively consulted with the Village Manager and the Village Planner. Additionally, we had discussions with the Department of Public Works regarding the feasibility of the project as it pertains to existing easements and utilities.



# Village Center Townhomes

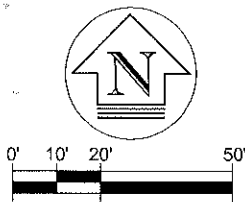
## **Market Position**

While there has been a steady pipeline of new, luxury apartment projects and, more recently, increased infill single family development throughout suburban Cook & Dupage Counties, most have either been studio, one and two-bedroom apartments in podium style buildings or high-end single family homes. There has been a scarcity of new, large, family style homes that can be purchased for under \$750,000.

The Village Center Townhomes will provide an alternative housing choice for young families moving to Burr Ridge as well as young empty-nesters looking to downsize and remain in the community.

Pricing is estimated to start in the range of \$550,000 - \$650,000. Pending market conditions, a rental option would be considered, with rents starting at \$4,000 - \$4,500 per month.

This project would fill an unmet demand in the marketplace and will be a valuable addition to the community. Critically, this proposal would finally activate this long-vacant property and enhance the vitality of the surrounding area. When combined with future development currently (or shortly to be) proposed at the nearby



UNITED SURVEY SERVICE, LLC  
CONSTRUCTION AND LAND SURVEYORS  
7710 CENTRAL AVENUE, RIVER FOREST, IL 60305  
TEL.: (847) 299-1010 FAX: (847) 239-5587  
E-MAIL: USURVEY@USANDCS.COM

# ALTA / NSPS LAND TITLE SURVEY

OF

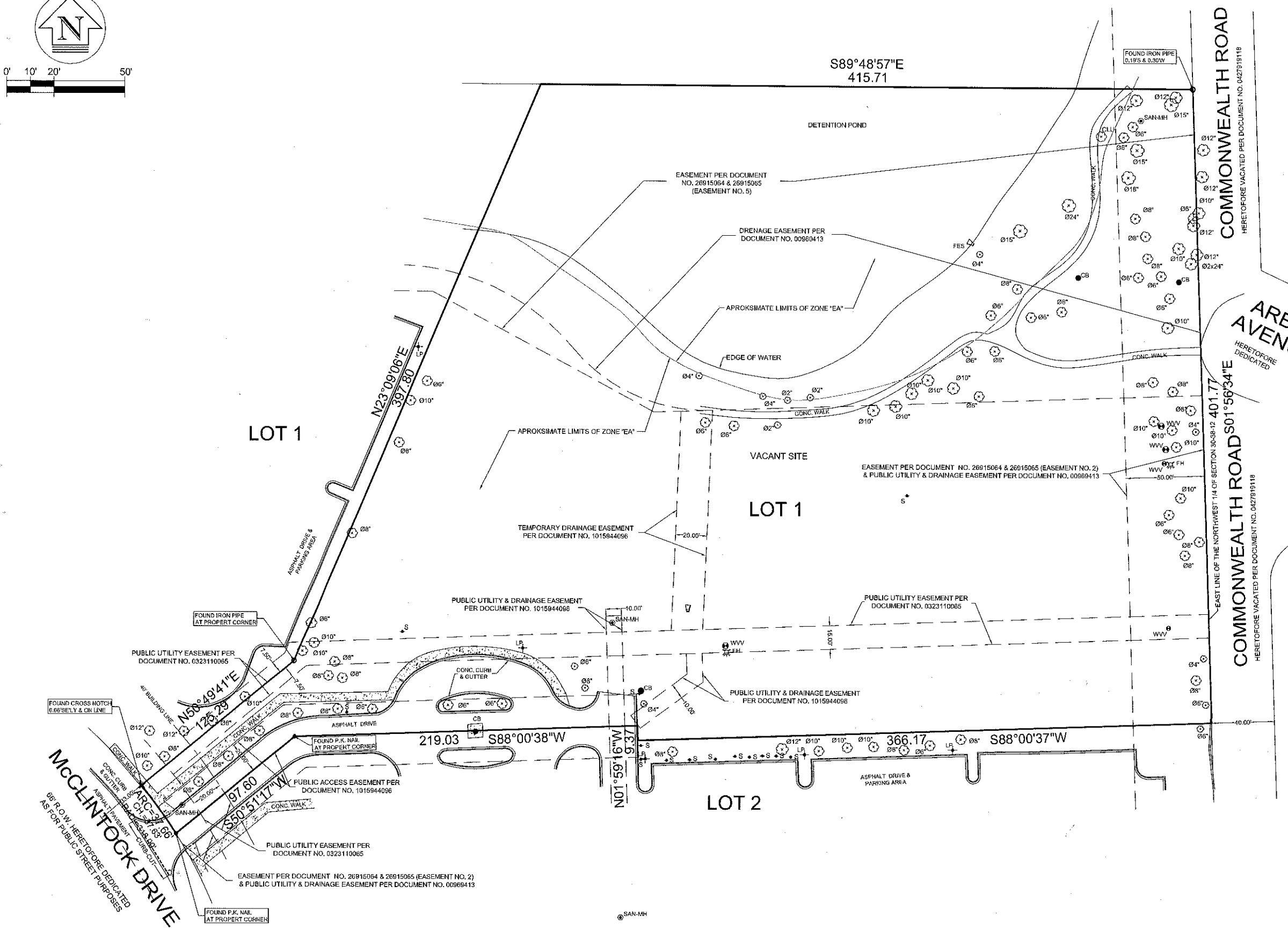
LOT 1 IN I.R.E.A.D. PLAT OF RESUBDIVISION, BEING A RESUBDIVISION OF LOT 2 IN THE PLAT OF RESUBDIVISION OF LOT 2 IN BURR RIDGE ASSOCIATES SUBDIVISION, BEING A RESUBDIVISION IN THE WEST 1/2 OF SECTION 30, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 2003 AS DOCUMENT NUMBER 0323110065, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED JUNE 8, 2010 AS DOCUMENT 1015944096 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

KNOWN AS: 901 McCLINTOCK DRIVE, BURR RIDGE, ILLINOIS, 60527.

PERMANENT INDEX NUMBERS: 18 - 30 - 303 - 019 - 0000

TOTAL AREA=212,405 SQ. FT. OR 4.876 ACRES

NOTE:  
THIS LEGAL DESCRIPTION DESCRIBES THE SAME  
PROPERTY AS INSURED IN THE TITLE COMMITMENT  
AND ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.



ORDERED BY:	
DAVID SCHWARTZ	
SCALE: 1" = 30'	
DATE: FEBRUARY 19, 2022	
FILE NO.:	
2022 - 29845	
DATE	REVISION

STATE OF ILLINOIS )  
COUNTY OF COOK )

I, ROY G. LAWNICZAK, A REGISTERED LAND SURVEYOR, LICENSE NO. 35-2290, IN AND FOR THE STATE OF ILLINOIS AND LEGALLY DOING BUSINESS IN COOK COUNTY, DO HEREBY CERTIFY TO:

- RCSI LLC, AN ILLINOIS LIMITED LIABILITY COMPANY

- CHICAGO TITLE INSURANCE COMPANY

AND TO THEIR SUCCESSORS AND ASSIGNS, THAT:

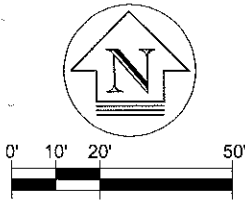
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 19, 2022.

DATE OF PLAT: MARCH 22, 2022.

BY: ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2290  
LICENSE EXPIRES: NOVEMBER 30, 2022  
PROFESSIONAL DESIGN FIRM LICENSE NO.: 184-004576  
LICENSE EXPIRES: APRIL 30, 2023





CHICAGO TITLE INSURANCE COMPANY  
5 WESTBROOK CORPORATE CENTER, SUITE 100 WESTCHESTER, IL 60164

COMMITMENT NO.: 225100107VC  
EFFECTIVE DATE: DECEMBER 30, 2021

ITEMS CORRESPONDING TO SCHEDULE B - PART II:

PART TWO:  
ITEMS 1 - 15.  
NOT SURVEY RELATED.

ITEM N 16  
MEMORANDUM OF DEVELOPMENT AGREEMENT RECORDED AUGUST 9, 2008 AS DOCUMENT 0622134121 PURSUANT TO DEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF BURR RIDGE AND OFUS NORTH CORPORATION  
ORDINANCE PROVIDING FOR RECAPTURE FEES RECORDED OCTOBER 17, 2006 AS DOCUMENT 0628022117  
(NOT SURVEY RELATED)

ITEM O 17  
THE PLAT OF RESUBDIVISION OF LOT 2 OF THE BURR RIDGE ASSOCIATES SUBDIVISION RECORDED AS DOCUMENT NO. 0323110665 IS DEFECTIVE IN THAT PAGE 2 OF THE PLAT WAS NOT RECORDED.  
(AFFECTS UNDERLYING LAND)

ITEM P 18  
DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR BURR RIDGE PARK MADE BETWEEN AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED JANUARY 3, 1980 A KNOWN AS TRUST NUMBER 45739 (DECLARANT), AND ENRO LAND COMPANY, A DELAWARE CORPORATION (DEVELOPER), RECORDED JANUARY 3, 1984 AS DOCUMENT 26915661, AND AS AMENDED BY FIRST AMENDMENT TO DECLARATION RECORDED MARCH 19, 1985 AS DOCUMENT 27478261, SECOND AMENDMENT TO DECLARATION RECORDED NOVEMBER 22, 1988 AS DOCUMENT 88638724 AND THIRD AMENDMENT TO SAID DECLARATION RECORDED SEPTEMBER 3, 1998 AS DOCUMENT 98766691.  
(AFFECTS UNDERLYING LAND)

ITEM Q 19  
COVENANTS AND RESTRICTIONS (BUT OMITTING ANY SUCH COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILY STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS), CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR BURR RIDGE OWNERS ASSOCIATION MADE BETWEEN AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED JANUARY 3, 1980 A KNOWN AS TRUST NUMBER 45739 (DECLARANT), AND ENRO LAND COMPANY, A DELAWARE CORPORATION (DEVELOPER), RECORDED APRIL 12, 1984 AS DOCUMENT 27042767 AS AMENDED BY DOCUMENTS 27478261, 88301697, 88307123, 90073172, 932224621 AND 980303530.  
NOTE: SAID INSTRUMENT CONTAINS NO PROVISION FOR A FORTFEITURE OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION.  
(AFFECTS UNDERLYING LAND)

ITEM R 20  
GRANT OF EASEMENT AND AGREEMENT DATED OCTOBER 24, 1983 AND RECORDED JANUARY 3, 1984 AS DOCUMENT 26915665 AS AMENDED BY DOCUMENT 27478262 MADE BY AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED JANUARY 3, 1980 AND KNOWN AS TRUST NUMBER 48738 AND THE VILLAGE OF BURR RIDGE, AS FOLLOWS:  
(A) EASEMENTS FOR CONSTRUCTION, INSTALLATION, INSPECTION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF SANITARY SEWER MAINS, WATER MAINS, LAKES AND APPURTENANCES.  
(B) FOR THE BENEFIT OF THE PUBLIC, FOR THE PURPOSE OF INSPECTING, INSTALLING, OPERATING, MAINTAINING, REPAIRING AND REPLACING UNDERGROUND SANITARY SEWER MAINS AND WATER MAINS AND APPURTENANCES: PERPETUAL NON-EXCLUSIVE EASEMENTS (THE "SEWER AND WATER EASEMENTS") IN, OVER, THROUGH AND UNDER PORTIONS OF THE PROPERTY.  
(C) FOR THE PURPOSE OF GRADING, PREPARING, INSPECTING, INSTALLING, MAINTAINING, REPAIRING, AND REPLACING CERTAIN MAN-MADE LAKES, DRAINAGE SYSTEMS, HARD SURFACE PATHWAYS AND APPURTENANCES THERE TO, NON-EXCLUSIVE EASEMENTS (THE "LAKE AND DRAINAGE EASEMENTS") IN, OVER, THROUGH AND UNDER THE PORTIONS OF THE PROPERTY.  
(D) GRANTOR MAY CAUSE ANY PORTION OF THE EASEMENT PREMISES TO BE EXPANDED, ENLARGED, CONTRACTED OR MODIFIED (WHICH SHALL BE REFERRED TO HEREIN AS "ALTERATIONS"). NO ALTERATION WHICH REDUCES ANY PORTION OF THE AREA OR NARROWS THE SHAPE OF THE EASEMENTS, RELOCATES AN EASEMENT SO THAT IT WOULD NO LONGER ADJOIN A RIGHT OF WAY OF LOT LINE, REDUCES THE STORM WATER DRAINAGE OR CAPACITY OF THE LAKE AND DRAINAGE EASEMENTS OR SUBSTANTIALLY ALTERS THE HARD SURFACE PATHWAYS PREVIOUSLY APPROVED BY GRANTEE SHALL BE EFFECTIVE UNLESS APPROVED BY GRANTEE WITH SUCH APPROVAL NOTED ON THE RECORDED INSTRUMENTS OF AMENDMENT. EACH DEED, MORTGAGE OR OTHER INSTRUMENT WHICH CONCERNS ANY PORTION OF THE PROPERTY, AND THE ACCEPTANCE THEREOF, SHALL BE DEEMED A GRANT OF SUCH POWER TO SAID ATTORNEY-IN-FACT, AND ACKNOWLEDGEMENT OF AND CONSENT TO SUCH POWER, AND SHALL BE DEEMED TO RESERVE TO SAID ATTORNEY-IN-FACT THE POWER TO AMEND THIS GRANT, THE RIGHT OF THE GRANTEE TO ACT PURSUANT TO RIGHTS RESERVED OR GRANTED UNDER THIS POWER SHALL TERMINATE AT SUCH TIME AS GRANTEE OR NO LONGER HOLDS TITLE TO ANY PORTION OF THE PROPERTY; PROVIDED, HOWEVER, THAT WITH GRANTOR TO ACT PURSUANT TO RIGHTS RESERVED OR GRANTED UNDER THIS POWER SHALL TERMINATE AT SUCH TIME AS GRANTEE NO LONGER HOLDS TITLE TO ANY PORTION OF THE PROPERTY WHICH ADJOINS THE LAKE EASEMENT PREMISES.  
(E) IT IS FURTHER AGREED THAT THE OFFICERS, AGENTS OR EMPLOYEES OF THE GRANTEE, WHENEVER ELECTED, APPOINTED OR HIRED, MAY GO IN, OVER, THROUGH AND UNDER THE EASEMENT PREMISES IN ORDER TO PERFORM ANY AND ALL ACTS NECESSARY OR CONVENIENT TO ACCOMPLISH THE PURPOSES FOR WHICH THE EASEMENTS ARE GRANTED, AND THAT THE GRANTEE SHALL NOT IN ANY MANNER INTERFERE WITH THE ACCOMPLISHMENT OF SAID PURPOSES; PROVIDED, HOWEVER, THAT THE GRANTEE RESERVES THE RIGHT TO MAKE ANY USE OF THE EASEMENT PREMISES WHETHER ON, ABOVE OR BELOW ITS SURFACE, FOR ANY LAWFUL PURPOSE WHICH WILL NOT INTERFERE WITH THE RIGHTS HEREBY GRANTED TO GRANTEE, INCLUDING THE INSTALLATION OF BERMS, LANDSCAPING, FOOTPATHS AND LAKES, EXCEPT THAT THE GRANTEE SHALL NOT CONSTRUCT ANY PERMANENT BUILDINGS OR STRUCTURES ON THE EASEMENT PREMISES WITHOUT THE PRIOR WRITTEN CONSENT OF THE GRANTEE.  
(F) NON-EXCLUSIVE EASEMENTS FOR SERVING THE PROPERTY, INCLUDING THE PROPERTY SHOWN ON THE SUBDIVISION PLAT AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATIONS SERVICE ARE HEREBY RESERVED FOR AND GRANTED TO THE COMMONWEALTH EDISON COMPANY AND THE ILLINOIS BELL TELEPHONE COMPANY, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, (UTILITY GRANTEE) JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS IN, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN ON THE EASEMENT PLAT TOGETHER WITH THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREBY GIVEN, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES; OBSTRUCTION SHALL NOT BE PLACED OVER UTILITY GRANTEE'S FACILITIES OR IN, UPON OR OVER THE EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF UTILITY GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE EASEMENT SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.  
(G) NON-EXCLUSIVE EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SAs FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING THE PROPERTY AS WELL AS OTHER PROPERTY WHETHER OR NOT CONTIGUOUS THERETO, NO BUILDING OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH EASEMENT AREAS, NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.  
(H) THE EASEMENTS HEREBY GRANTED AND RESERVED SHALL RUN WITH THE LAND, AND THE COVENANTS, AGREEMENTS, TERMS, CONDITIONS, OBLIGATIONS, RIGHTS AND INTERESTS HEREIN CONTAINED, INCLUDING GRANTOR'S POWER TO AMEND THIS GRANT AS PROVIDED AS AMENDED FROM TIME TO TIME.  
NOTE: DEFECTED ON THE BURR RIDGE ASSOCIATES SUBDIVISION, AS EASEMENT NO. 2, AFFECTING A NORTHERLY PORTION OF THE LAND, (SEE PLAT FOR EXACT LOCATION)  
(AFFECTS UNDERLYING LAND)

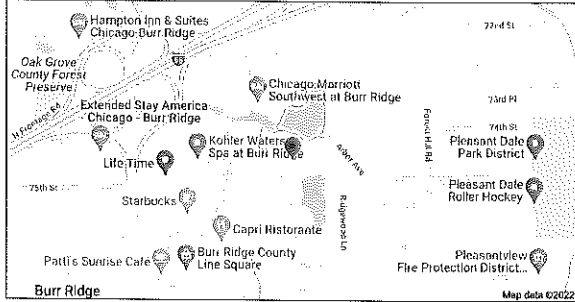
ITEM S 21  
ANNEXATION AND DEVELOPMENT AGREEMENT MADE BETWEEN THE VILLAGE OF BURR RIDGE (VILLAGE), METROPOLITAN LIFE INSURANCE COMPANY (METROPOLITAN), AND BAY STREET NUMBER ELEVEN LIMITED (BAY STREET) RECORDED JUNE 29, 1992 AS DOCUMENT 26747890 AS AMENDED FROM TIME TO TIME.  
(AFFECTS UNDERLYING LAND)

ITEM T 22  
RIGHTS OF THE PUBLIC AND THE VILLAGE OF BURR RIDGE, IN AND TO THAT PART OF THE 5 FOOT ASPHALT PATH WHICH FALLS OUTSIDE OF THE EASEMENT AREAS AS DEFINED IN THE DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS FOR BURR RIDGE PARK RECORDED AS DOCUMENT NUMBER 26915663.  
(AFFECTS UNDERLYING LAND)

ITEM U 23  
RIGHTS OF OWNERS OF LAND BORDERING ON LAKE NO. 2 RELATIVE TO SAID BODY OF WATER  
(AFFECTS UNDERLYING LAND)

ITEM V 24  
DRAINAGE EASEMENT AS CREATED BY DOCUMENTS 26915664 AND 26915665 AND AS SHOWN AND SET FORTH ON THE PLAT OF BURR RIDGE ASSOCIATES SUBDIVISION, AND AS SHOWN ON THE PLAT OF RESUBDIVISION OF LOT 2 OF THE BURR RIDGE ASSOCIATES SUBDIVISION, AS FOLLOWS:  
THE NORTHERLY PORTION OF LOTS 1 AND 2 (SEE PLAT FOR EXACT LOCATION)  
(AFFECTS UNDERLYING LAND)

LOCATION MAP



ITEM W 25  
BUILDING LINE AS SHOWN ON PLAT OF BURR RIDGE ASSOCIATES SUBDIVISION, AS FOLLOWS 40 FEET ALONG THE SOUTHWESTERLY CURVED LINE OF LOT 2.  
(AFFECTS THE SOUTHWESTERLY 40 FEET OF LOTS 1 AND 2 UNDERLYING LAND)

ITEM X 26  
PUBLIC UTILITY EASEMENT AS SHOWN ON THE PLAT OF RESUBDIVISION OF LOT 2 OF THE BURR RIDGE ASSOCIATES SUBDIVISION.  
NOTE: SEE PLAT FOR EXACT LOCATION AND SIZE OF EASEMENTS  
(AFFECTS LOTS 1 AND 2 UNDERLYING LAND)

ITEM Y 27  
THE FOLLOWING NOTES ARE APPENDED TO THE PLAT OF SUBDIVISION AS FOLLOWS:  
(A) THE LAND DESCRIBED HEREIN THE LOTS CREATED BY THIS PLAT ARE EXPRESSLY SUBJECT TO THAT CERTAIN PLANNED UNIT DEVELOPMENT ORDINANCE A-834-15-02 DATED AUGUST 28, 2002 AND APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF BURR RIDGE.  
(B) THE LAND DESCRIBED HEREIN AND THE LOTS CREATED BY THIS PLAT ARE ALSO EXPRESSLY SUBJECT TO THAT CERTAIN DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE BURR RIDGE ASSOCIATES SUBDIVISION FILED OF RECORD WITH THE RECORDER OF DEEDS OF COOK COUNTY, ILLINOIS, CONTEMPORANEOUS HEREWIT ORDINANCE A-834-15-02.  
(AFFECTS UNDERLYING LAND)

ITEM Z 28  
THE FOLLOWING NOTE IS APPENDED TO THE SURVEYOR'S CERTIFICATE AS FOLLOWS:  
BASED ON A REVIEW OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 17031C0468F AND 17031C0469F, WITH AN EFFECTIVE DATE OF NOVEMBER 8, 2000, PORTIONS OF THIS LAND LIES WITHIN ZONE "A" (AREA OF 100 YEAR FLOOD: BASE FLOOD ELEVATION AND FLOOD HAZARD FACTOR DETERMINED AS 1.98' BELOW A DECLINING PLANE HAVING AN APPROXIMATE ELEVATION OF 874 AT THE WEST PROPERTY LINE AND DECLINING THROUGH THE LAND SURVEYED TO AN APPROXIMATE ELEVATION OF 865 AT THE EAST PROPERTY LINE) AND THAT THE BALANCE OF THE PROPERTY IS NOT SUBJECT TO FLOOD RISKS AND FALLS IN ZONE "C" (AREA OF MINIMAL FLOODING).  
(AFFECTS UNDERLYING LAND)

ITEM AA 29  
TERMS AND PROVISIONS AS CONTAINED IN PLAT OF RESUBDIVISION OF LOT 2 OF THE BURR RIDGE ASSOCIATES SUBDIVISION IMPROVEMENT AGREEMENT RECORDED AS DOCUMENT NO. 0318945045.  
(AFFECTS UNDERLYING LAND)

ITEM AB 30  
BUILDING LINE AS DISCLOSED BY PLAT OF I.R.E.A.D. RESUBDIVISION RECORDED JUNE 8, 2010 AS DOCUMENT 1015944096 DESCRIBED AS FOLLOWS:  
10 FEET OVER THE WEST LINE OF LOT 1 & 2

ITEM AC 31  
PUBLIC UTILITY AND DRAINAGE EASEMENT AS DISCLOSED BY PLAT OF I.R.E.A.D. RESUBDIVISION RECORDED JUNE 8, 2010 AS DOCUMENT 1015944096 DESCRIBED AS FOLLOWS:  
20 FEET OVER THE WEST LINE, 15 FEET OVER THE SOUTH LINE AND 50 FEET OVER THE EAST LINE 10 FEET LOCATED APPROXIMATE 227.53 FEET EAST OF THE WEST LINE; THENCE RUNNING NORTH APPROXIMATE 121.35 FEET; THENCE WESTERLY APPROXIMATE 40.98 FEET TO THE NORTH LINE OF LOT 2 (SEE PLAT)

ITEM AD 32  
A 40 FOOT ACCESS EASEMENT IS HEREBY RESERVED AND GRANTED TO THE PUBLIC AND THE VILLAGE OF BURR RIDGE, AND ANY OTHER GOVERNMENTAL AUTHORITY HAVING JURISDICTION FOR ACCESS OVER AND ACROSS ALL OF THE AREA MARKED "PUBLIC ACCESS EASEMENT" ON THE PLAT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS THE OWNERS OF LOTS 1 AND 2 SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE PRIVATE STREETS, SIDEWALKS, STORM SEWER AND APPURTENANCES THERETO WITHIN SUCH EASEMENT AREAS. NO PERMANENT BUILDINGS SHALL BE PLACED ON THE SAID EASEMENT AREAS AND SHALL NOT BE CLOSED FOR ANY REASON EXCEPT EMERGENCY REPAIRS. THE VILLAGE SHALL HAVE THE RIGHT TO PERFORM ANY MAINTENANCE OF SAID AREAS WHICH THE OWNER HAS FAILED TO PERFORM. IF SUCH FAILURE CONTINUES FOR THIRTY (30) DAYS AFTER WRITTEN NOTICE FROM THE VILLAGE OF SUCH FAILURE THE VILLAGE MAY ENTER UPON THE PROPERTY AND PERFORM SUCH WORK AS SHOULD HAVE BEEN UNDERTAKEN BY OWNER WITHOUT NOTICE TO OWNER IN AN EMERGENCY (E.G. WHERE PERSONAL INJURY OR MATERIAL DAMAGE TO PROPERTY MAY BE IMMINENT). THE OWNERS OF LOTS 1 AND 2 SHALL BE LIABLE FOR THE COST OF ANY MAINTENANCE SO PERFORMED BY THE VILLAGE AND SHALL PROMPTLY REIMBURSE THE VILLAGE FOR SUCH COSTS. UPON RECORDED BY THE VILLAGE OF A NOTICE OF CLAIM FOR REIMBURSEMENT, THE VILLAGE SHALL HAVE A FORECLOSEABLE LIEN UPON THE PROPERTY TO SECURE REIMBURSEMENT SUCH LIEN SHALL HAVE A PRIORITY AS OF THE DATE OF RECORDED OF THE NOTICE OF CLAIM.

ITEM AE 33  
EASEMENT IN FAVOR OF THE COMMONWEALTH EDISON COMPANY, SRC AND NICOR GAS, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO CONTAINED IN THE PLAT RECORDED FILED AS DOCUMENT NO. 018944096 DESCRIBED AS FOLLOWS:  
10 FEET OVER THE WEST LINE, 15 FEET OVER THE SOUTH LINE AND 50 FEET OVER THE EAST LINE 10 FEET LOCATED APPROXIMATE 227.53 FEET EAST OF THE WEST LINE; THENCE RUNNING NORTH APPROXIMATE 121.35 FEET; THENCE WESTERLY APPROXIMATE 40.98 FEET TO THE NORTH LINE OF LOT 2 (SEE PLAT)

ITEM AF 34  
THE PLAT OF I.R.E.A.D. RESUBDIVISION RECORDED JUNE 8, 2010 AS DOCUMENT 1015944096 INCLUDES A CERTIFICATION BY THE SURVEYOR THAT THE LAND IS LOCATED WITHIN A ZONE "X" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ITEM AG 35  
PUBLIC UTILITIES AND DRAINAGE EASEMENT AS SHOWN ON THE PLAT OF I.R.E.A.D. PLAT OF RESUBDIVISION RECORDED AS DOCUMENT 1015944096.  
(SEE THE PLAT FOR THE EXACT LOCATION AND SIZE OF THE EASEMENT)

ITEM AH 36  
PUBLIC ACCESS EASEMENT AS SHOWN ON THE PLAT OF I.R.E.A.D. PLAT OF RESUBDIVISION RECORDED AS DOCUMENT 1015944096.  
(SEE THE PLAT FOR THE EXACT LOCATION AND SIZE OF THE EASEMENT)

ITEM AI 37  
A TEMPORARY DRAINAGE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF BURR RIDGE AND TO ITS SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "TEMPORARY DRAINAGE EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING AND MAINTAINING STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION FACILITIES, SUBSURFACE DRAINAGE SYSTEMS AND APPURTENANCES AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, INLETS, OUTFALLS AND WITHOUT LIMITATIONS, SUCH OTHER INSTALLATIONS, AS THE GRANTEE MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK. THE TEMPORARY DRAINAGE EASEMENT TO EXIST UPON COMPLETION OF IMPROVEMENTS OVER LOT 1 AND ACCEPTANCE FROM THE VILLAGE OF BURR RIDGE.  
(AFFECTS LOTS 1 & 2 SEE PLAT FOR THE EXACT LOCATION OF SAID EASEMENT)

ITEMS 38 - 39.  
NOT SURVEY RELATED.

NOTES:

- THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREET KNOWN AS MCCLINTOCK DRIVE.
- THE SURVEY AND THE INFORMATION, COUNSELS AND DISTANCES SHOWN THEREON ARE CORRECT.
- THE TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME.
- THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS.
- ELECTRIC, GAS, TELEPHONE AND WATER UTILITY AND STORM AND SANITARY SEWER SYSTEMS ACCESS THE PROPERTY IN LEGALLY DEDICATED RIGHTS OF WAY THAT BENEFIT THE PROPERTY.
- THERE ARE NO VISIBLE EVIDENCE OF CEMETERIES, GRAVE SITES OR BURIAL GROUNDS LOCATED ON THE PROPERTY.
- ITEM # 8 FROM TABLE A  
ALL SUBSTANTIAL FEATURES OBSERVED ON THE PROPERTY HAVE BEEN PLOTTED.
- ITEM # 9 FROM TABLE A  
THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- ITEM # 10 FROM TABLE A  
THERE ARE NO PARTY WALLS (ALL WALLS ARE INDEPENDENT).
- ITEM # 11 FROM TABLE A  
ALL VISIBLE UTILITIES ARE PLOTTED.
- ITEM # 16 FROM TABLE A  
AT THE TIME OF THIS SURVEY, NO VISIBLE RECENT EARTH-MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS WERE NOTED.
- ITEM # 17 FROM TABLE A  
AT THE TIME OF THIS SURVEY, THERE IS NO EVIDENCE OF CHANGES IN RIGHT OF WAY EITHER COMPLETED OR PROPOSED AND RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- ITEM # 18 OF TABLE A  
NO OFFSITE BENEFICIAL EASEMENTS ARE REFLECTED IN TITLE.
- ITEM # 19 FROM TABLE A  
RELATING TO PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$ 1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

UNITED SURVEY SERVICE, LLC  
CONSTRUCTION AND LAND SURVEYORS  
7710 CENTRAL AVENUE, RIVER FOREST, IL 60305  
TEL.: (847) 299-1010 FAX: (847) 299-5887  
E-MAIL: USURVEY@USANDCS.COM  
ALTA / NSPS  
LAND TITLE SURVEY  
OF

LOT 1 IN I.R.E.A.D. PLAT OF RESUBDIVISION, BEING A RESUBDIVISION OF LOT 2 IN THE PLAT OF RESUBDIVISION OF LOT 2 IN BURR RIDGE ASSOCIATES SUBDIVISION, BEING A RESUBDIVISION IN THE WEST 1/2 OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 2003 AS DOCUMENT NUMBER 0323110665, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED JUNE 8, 2010 AS DOCUMENT 1015944096 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

KNOWN AS: 901 MCCLINTOCK DRIVE, BURR RIDGE, ILLINOIS, 60527.

PERMANENT INDEX NUMBERS: 18 - 30 - 303 - 019 - 0000

TOTAL AREA=212,405 SQ. FT. OR 4.876 ACRES

NOTE:  
THIS LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT AND ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.

VILLAGE OF BURR RIDGE  
7660 COUNTY LINE ROAD,  
BURR RIDGE, IL 60527  
PHONE: (630) 654-8181  
ZONING CLASSIFICATION:  
O-2 = OFFICE & HOTEL  
(PLANNED UNIT DEVELOPMENT)

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, ROY G. LAWNICZAK, A REGISTERED LAND SURVEYOR, LICENSE NO. 35-2250, IN AND FOR THE STATE OF ILLINOIS AND LEGALLY DOING BUSINESS IN COOK COUNTY, DO HEREBY CERTIFY TO:

-METRO INFECTIOUS DISEASE CONSULTANTS, LLC  
-CHICAGO TITLE INSURANCE COMPANY

AND TO THEIR SUCCESSORS AND ASSIGNS, THAT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 19, 2022.

DATE OF PLAT: MARCH 22, 2022.

BY:  
ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2250  
LICENSE EXPIRES: NOVEMBER 30, 2022  
PROFESSIONAL DESIGN FIRM LICENSE NO.: 184-004576  
LICENSE EXPIRES: APRIL 30, 2023



ORDERED BY:	
DAVID SCHWARTZ	
SCALE : 1" = 30'	
DATE : FEBRUARY 19, 2022	
FILE No.:	
2022 - 29845	
DATE	REVISION

LEGEND	ABBREVIATIONS
	CULVERT
	COMBINATION MANHOLE
	CATCH BASIN
	TREE
	WATER VALVE VAULT
	FIRE HYDRANT
	LIGHT POLE
	SIGN

FLOOD STATEMENT:

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP 17031 C 0468 J, WITH A DATE OF IDENTIFICATION OF AUGUST 19, 2008, FOR COMMUNITY NUMBER 170071 0468 J, IN COOK COUNTY, STATE OF ILLINOIS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.





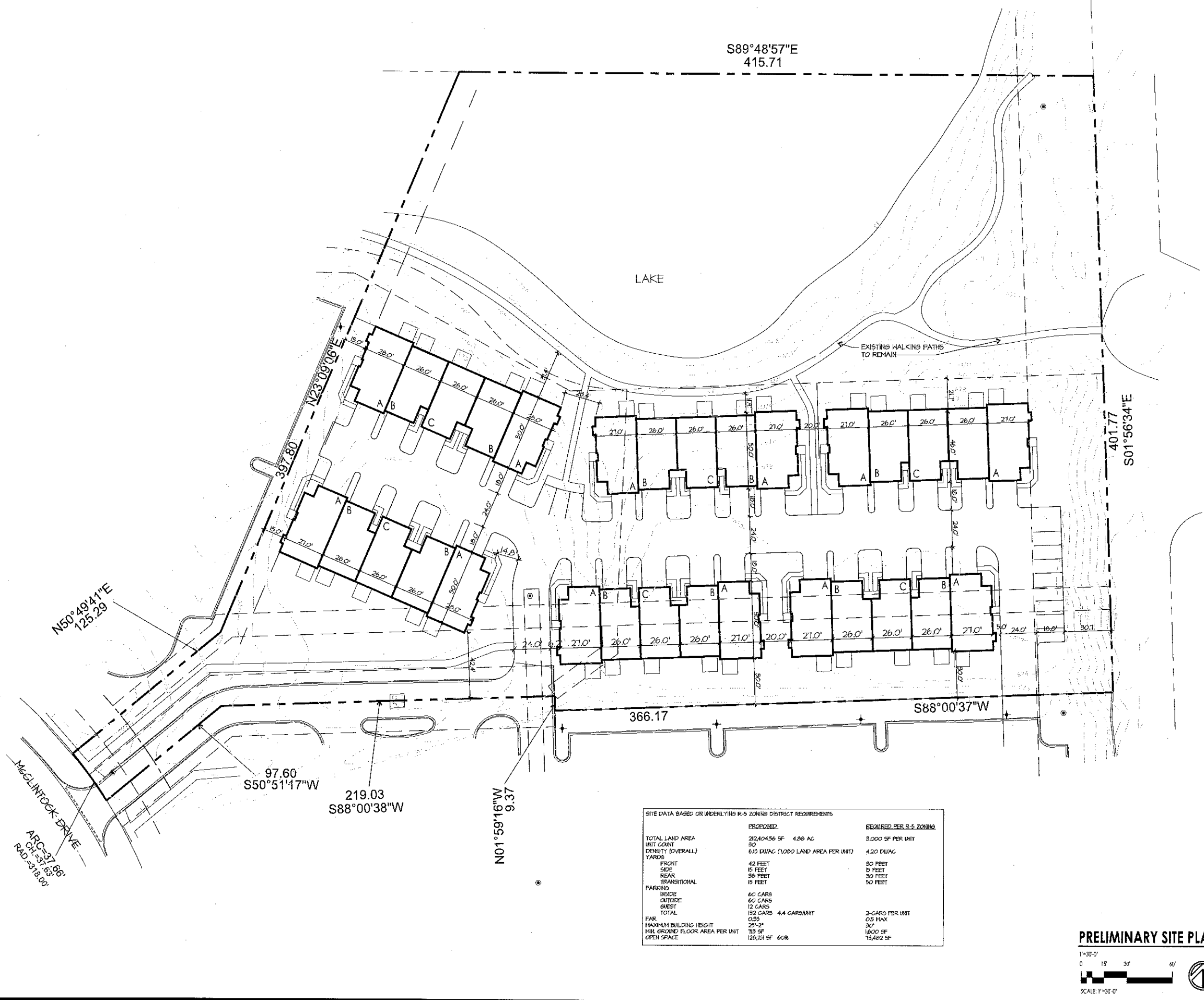
ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

PROPOSED  
**TOWNHOMES**  
901 McClintock Drive, Burr Ridge, Illinois

DRAWN BY: SF  
DATE: 4/1/2022  
PROJECT NUMBER: 2022-0027  
DATE: 4-1-2022  
DRAWN BY: SF  
FINAL REVIEW

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SHEET NAME  
**S-1.0**  
SHEET



PRELIMINARY SITE PLAN  
1"=30'-0"  
0 15 30 60  
SCALE: 1"=30'-0"



**PROPOSED**  
**VILLAGE CENTER TOWNHOMES**  
901 McClintock Drive, Burr Ridge, Illinois

**Journal of Management Education** 36(8)br/>DOI: 10.1177/0095691512459111  
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UNIT - A  
FLOOR PLANS

SHEET NAME

# A-1A

SIZE





ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

PROPOSED  
**VILLAGE CENTER TOWNHOMES**  
901 McClintock Drive, Burr Ridge, Illinois

DATE	DESCRIPTION
4-20-2022	OWNER REVISIONS
5-20-2022	DESIGN PACKAGE

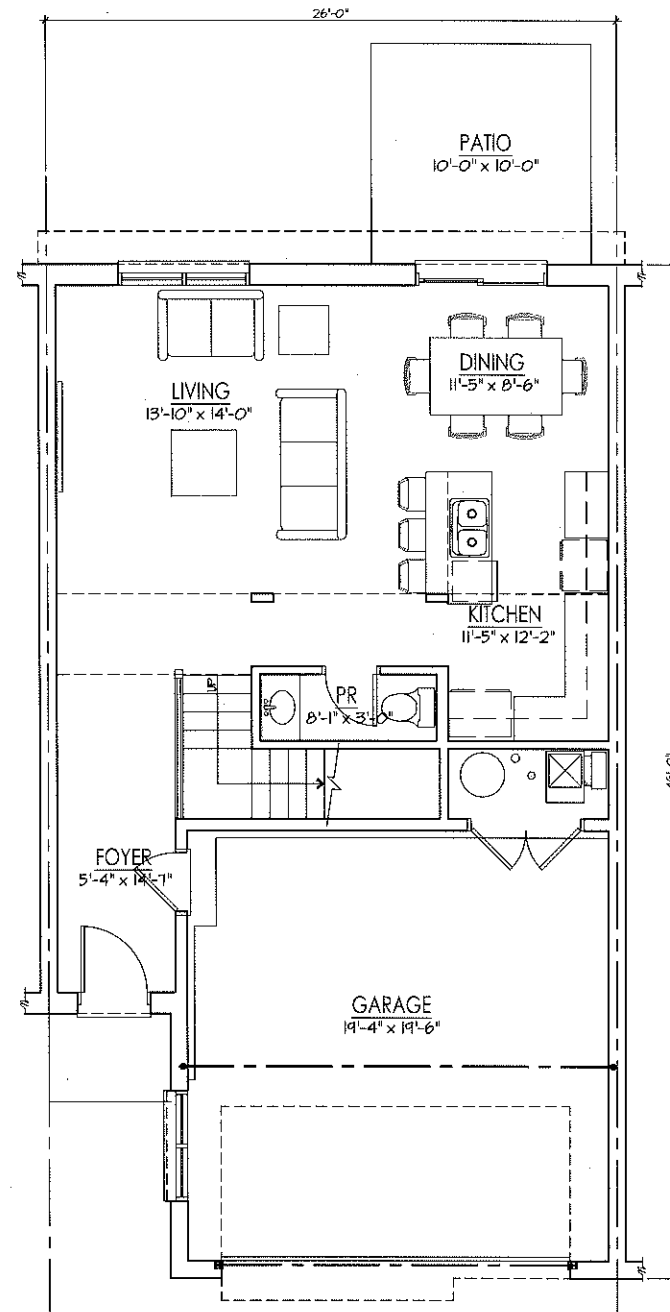
2022-0027  
PROJECT NUMBER  
4-1-2022  
DATE

SF  
DRAWN BY  
FINAL REVIEW

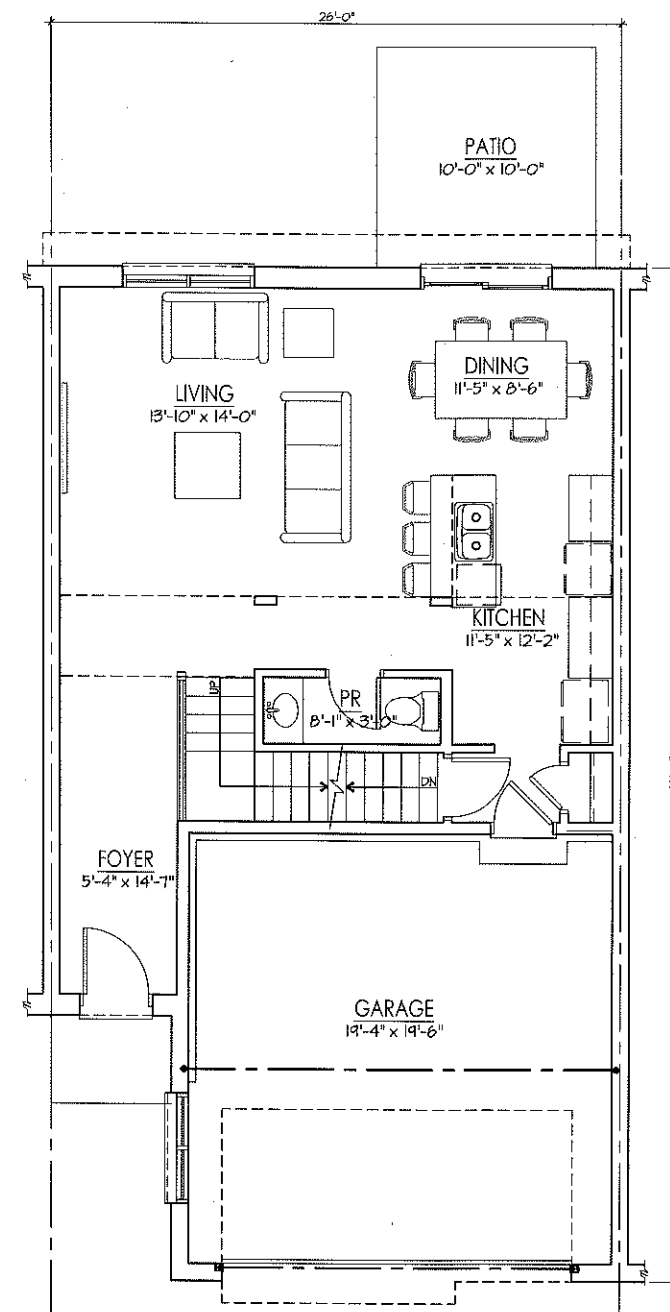
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UNIT - B  
FLOOR PLANS

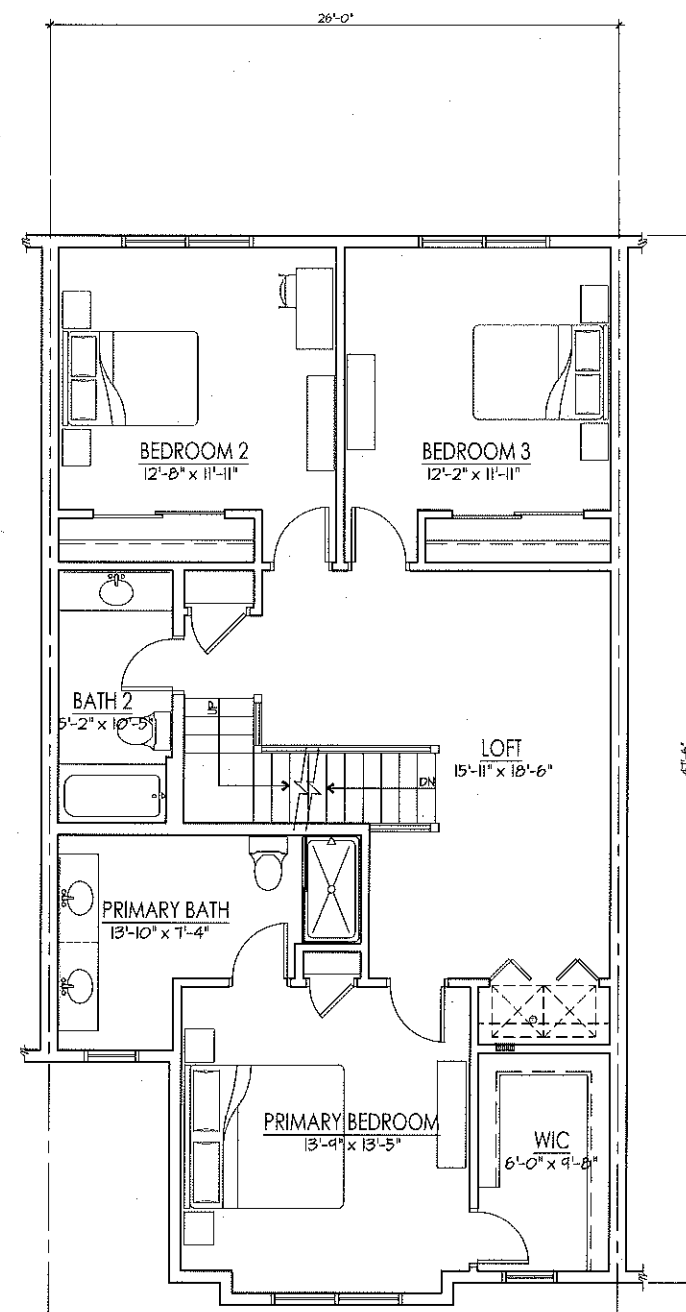
SHEET NAME  
**A-1B**  
SHEET



**FIRST FLOOR PLAN @ SLAB CONDITION**  
1/4" = 1'-0" 713 SF



**FIRST FLOOR PLAN @ BASEMENT CONDITION**  
1/4" = 1'-0" 713 SF



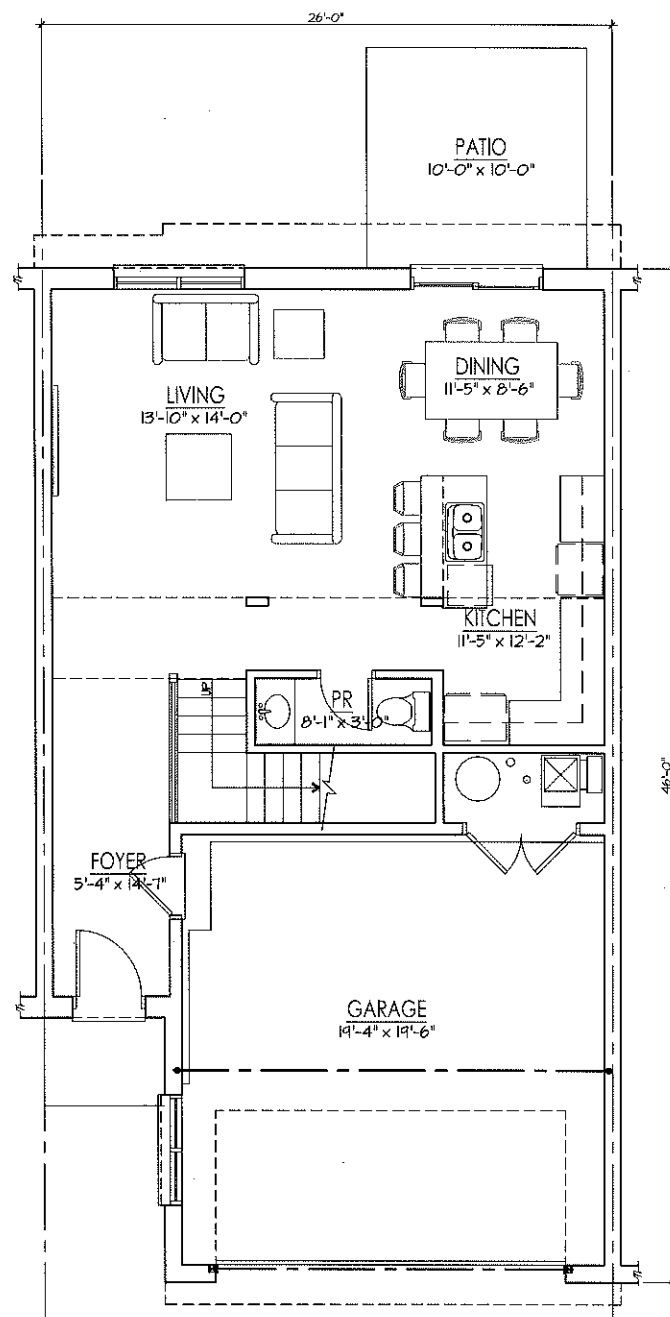
**SECOND FLOOR PLAN**  
1/4" = 1'-0" 1,141 SF



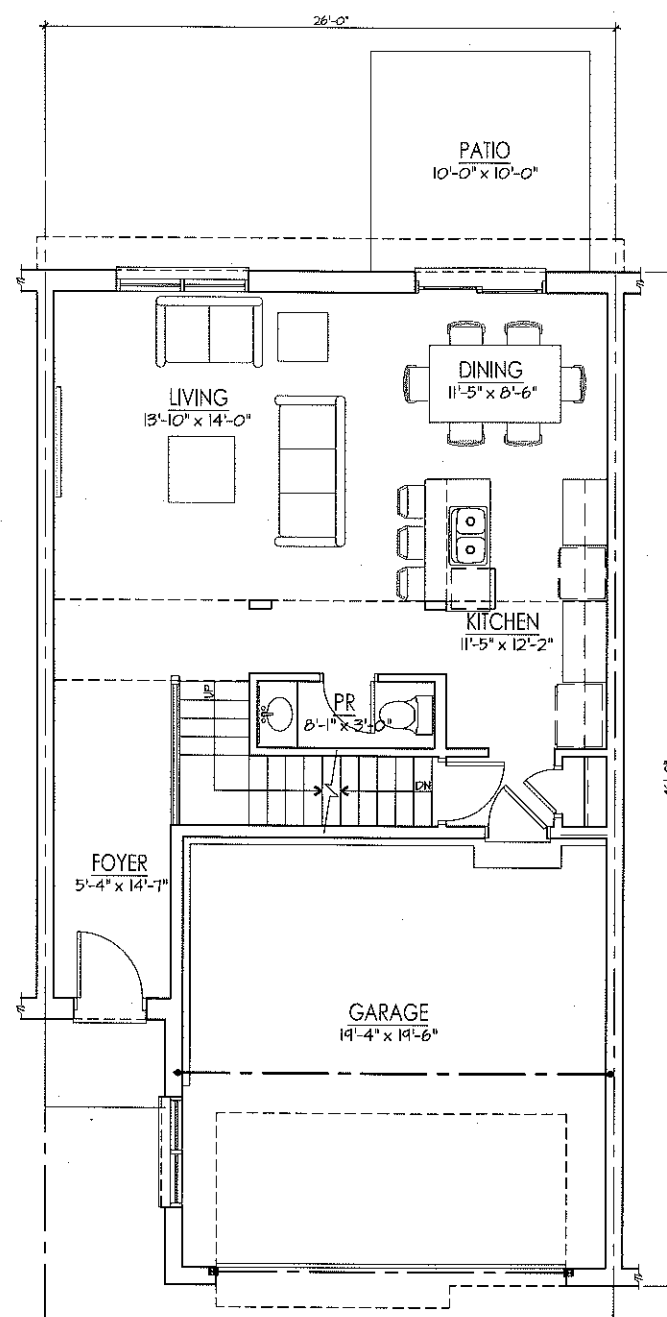


ARCHITECTURE  
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INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
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ORLAND PARK, ILLINOIS 60467  
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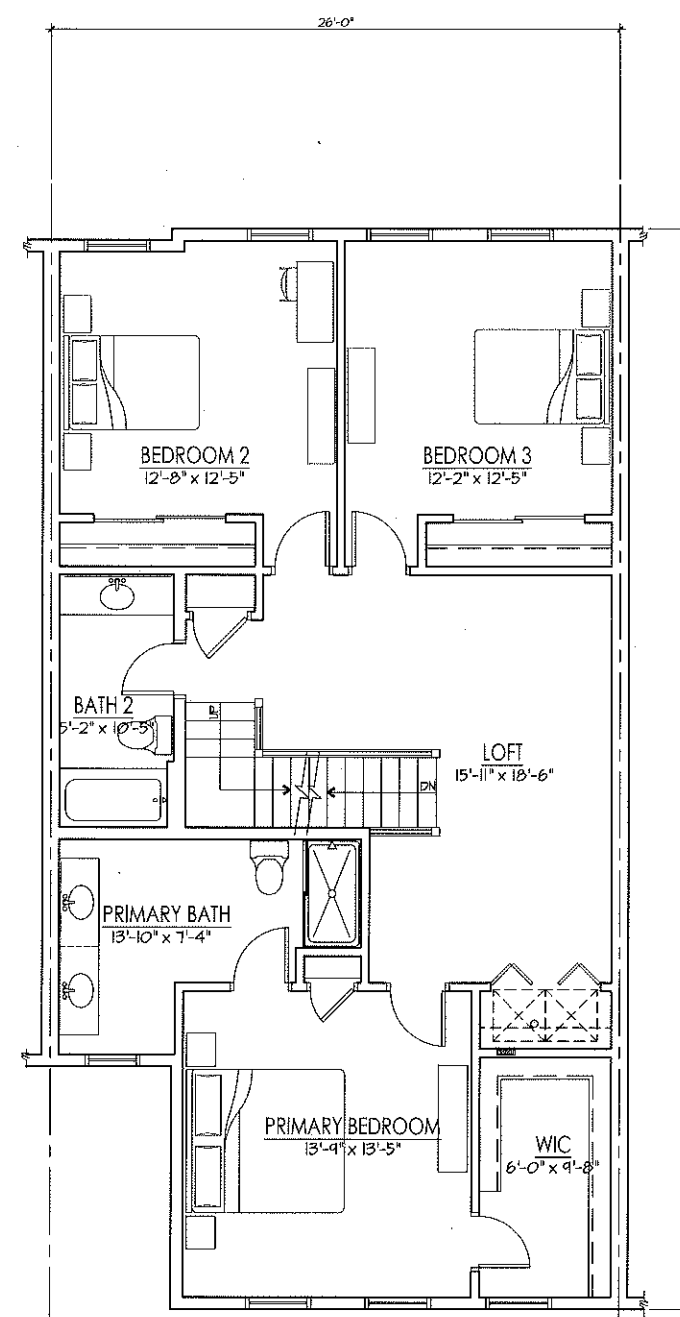
PROPOSED  
**VILLAGE CENTER TOWNHOMES**  
901 McClintock Drive, Burr Ridge, Illinois



**FIRST FLOOR PLAN @ SLAB CONDITION**  
1/4" = 1'-0" 713 SF



**FIRST FLOOR PLAN @ BASEMENT CONDITION**  
1/4" = 1'-0" 713 SF



**SECOND FLOOR PLAN**  
1/4" = 1'-0" 1211 SF

DATE 4-01-2022  
DRAWN BY SF  
OWNER REVISIONS  
DESIGN PACKAGE

2022-0027  
PROJECT NUMBER

4-1-2022  
DATE

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UNIT - C  
FLOOR PLANS

SHEET NAME

**A-1C**

SHEET



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ORLAND PARK, ILLINOIS 60467  
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PROPOSED  
**VILLAGE CENTER TOWNHOMES**  
901 McClintock Drive, Burr Ridge, Illinois

DATE 4-20-2022  
DRAWN BY SF  
DESCRIPTION OWNER REVISIONS  
DESIGN PACKAGE

2022-0027  
PROJECT NUMBER  
4-1-2022  
DATE

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5-UNIT  
COMBINATION

SHEET NAME  
**A-4.0**  
SHEET



**UNIT A RIGHT SIDE ELEVATION**

1/8" = 1'-0"



**FIVE UNIT FRONT ELEVATION**

1/8" = 1'-0"

C:\Users\james.lindengroup\OneDrive\Documents\2022\0027\_Village Center\A-4.0.dwg 5/12/2022 10:42 PM 2022 A-4.0



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
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PROPOSED  
**VILLAGE CENTER TOWNHOMES**  
901 McClintock Drive, Burr Ridge, Illinois



**UNIT A LEFT SIDE ELEVATION**

1/8" = 1'-0"



**FIVE UNIT REAR ELEVATION**

1/8" = 1'-0"

DATE	DRAWN	DESCRIPTION
4-20-2022	SF	OWNER REVISIONS
5-20-2022	SF	DESIGN PACKAGE

**2022-0027**  
PROJECT NUMBER  
**4-1-2022**  
DATE

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**5-UNIT  
COMBINATION**

SHEET NAME  
**A-4.1**  
SHEET

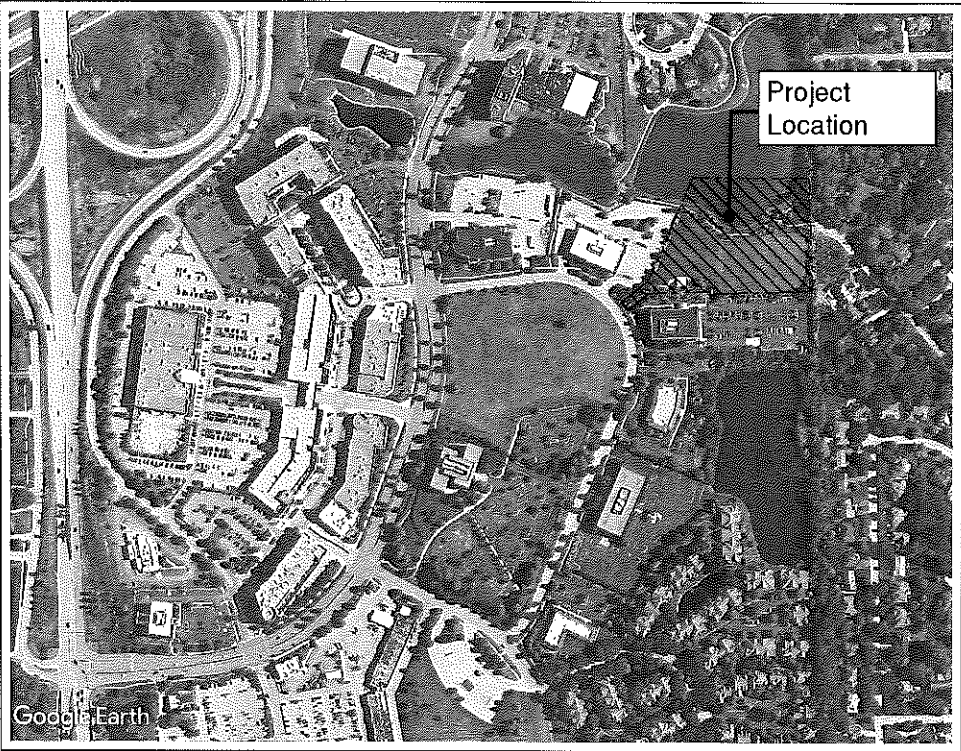


PRELIMINARY LANDSCAPE PLAN FOR:

# TOWNHOMES of TOWN CENTER

BURR RIDGE, IL

Site Location Map



Architect:  
Linden Group Architects  
10100 Orland Parkway, Suite 110  
Orland Park, IL 60467  
708.799.4400

Landscape Architect:  
Metz & Company  
826 E. Maple Street  
Lombard, IL 60148  
630.561.3903

## SHEET INDEX

SHEET	DESCRIPTION
L-0.0	COVER SHEET
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE PLAN
L-3.0	LANDSCAPE SPECIFICATIONS
TP-1.0	TREE PRESERVATION PLAN



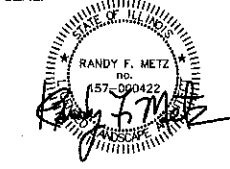
Know what's below.  
Call before you dig.


REVISIONS


TOWNHOMES of TOWN CENTER

BURR RIDGE, ILLINOIS

SEAL:





METZ & COMPANY  
LANDSCAPE ARCHITECTURE/SITE PLANNING

826 East Maple Street  
Lombard, Illinois 60148  
PH: 630.561.3903  
www.metz-company.com

TITLE

COVER SHEET

PROJECT NO.:

22-193

DATE:

05-18-2022

SCALE:

1"=20'

SHEET

L-0.0

GENERAL NOTES:

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consist of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with a two inch (2") layer of southern pine bark fines mulch.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

Mulch beds at the time of planting shall extend a minimum of two feet (2') beyond the center of a shrub.

All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Sod shall be mineral base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/TYPE
DECIDUOUS SHADE TREES				
GPS	2	Ginkgo b. 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5' BB
GTD	4	Gleditsia li. 'Draves'	Street Keeper Honeylocust	2.5' BB
QI	2	Quercus imbricaria	Shingle Oak	2.5' BB
TCG	4	Tilia c. 'Greenspire'	Greenspire Littleleaf Linden	2.5' BB
UNH	4	Ulmus a. 'New Harmony'	New Harmony Elm	2.5' BB

EVERGREEN TREES

AC	4	Abies concolor	White Fir	8' BB
PP	5	Picea pungens	Colorado Green Spruce	8' BB
PS	8	Pinus strobus	Eastern White Pine	8' BB
PM	8	Pseudotsuga menziesii	Douglas Fir	8' BB

DECIDUOUS ORNAMENTAL TREES

CER	1	Cercis canadensis	Eastern Redbud	6' BBcl.
CA	2	Comus alternifolia	Pagoda Dogwood	6' BBcl.
MJ	2	Magnolia x 'Jane'	Jane Magnolia	6' BBcl.
MRS	2	Magnolia stellata	Royal Star Magnolia	6' BBcl.
MRJ	2	Malus 'Red Jewel'	Red Jewel Crabapple	2.0' BB
MSF	6	Malus s. 'Select A'	Sargent Firebird Crabapple	2.0' BB
PCJ	2	Pyrus c. 'Jacquie'	Jack Pear	3.0' BB
VP	5	Viburnum prunifolium	Blackhaw Viburnum (tree form)	6' BBcl.

DECIDUOUS SHRUBS & SHRUB ROSES

ASO	4	Amelanchier a. 'Obelisk'	Standing Ovation Serviceberry	#630"
ALSH	38	Alnus m. 'UGONNAMI06'	Low Shrub Hedge Chokeberry	#316"
CSC	6	Clematis a. 'Swireen Candles'	Swireen Candles Summerweet	#524"
CR	14	Cornus racemosa	Grey Dogwood	3' BB
CAH	11	Corylus americana	American Hazelnut	3' BB
DKR	54	Dienella a. 'G2X865411'	Red Kodak Dianella	#318"
EAC	3	Eucymnus a. 'Compactus'	Compact Burning Bush	#630"
HAI	17	Hydrangea a. 'Abeho'	Incrediball Hydrangea	#624"
HAR	3	Hydrangea a. 'NCHA3'	Invincibelle Ruby Hydrangea	#524"
HB	23	Hydrangea p. 'L.VOR0'	Bobo Hydrangea	#318"
HFL	3	Hydrangea p. 'SMHFFL'	Fire Light Hydrangea	#524"
HLL	24	Hydrangea p. 'Jesse'	Little Lime Hydrangea	#524"
HGF	4	Hydrangea p. 'Bull'	Quick Fire Hydrangea	#524"
HTS	22	Hydrangea s. 'MAG20'	Tuff Stuff Hydrangea	#316"
PGW	4	Physocarpus o. 'Ginger Wine'	Ginger Wine Ninebark	#524"
RDR	18	Rosa 'Weigaplo'	Red Drift Rose	#318"
REK	27	Rosa 'Balmir'	Easy Elegance Kashmir Rose	#318"
RMG	33	Rosa 'Balgir'	Easy Elegance My Girl	#318"
RCS	30	Rosa 'Radesun'	Celestial Sunshine Shrub Rose	#318"
SBT	30	Spiraea heliophila 'Tor'	Bronze Leaf Spiraea	#524"
SF	18	Spiraea b. 'Froebel'	Froebel Spiraea	#524"
SDBB	24	Spiraea j. 'Tracy'	Double Play Big Bang Spiraea	#318"
SDPL	56	Spiraea j. 'Munip'	Painted Lady Double Play Spiraea	#318"
SMK	7	Syringa p. 'Miss Kim'	Miss Kim lilac	#524"
VB	12	Viburnum d. 'Christom'	Blue Mufin Arrowwood Viburnum	#630"
WSP	12	Weigela 'Bokrasopin'	Pink Sonic Bloom Weigela	#524"

EVERGREEN SHRUBS

JKC	55	Juniperus c. 'Kaileys'	Kaileys Compact Juniper	#524"
PAE	6	Picea a. 'Elegans'	Elegans Dwarf Norway Spruce	#5
PVC	6	Pinus m. 'Valley Cushion'	Mugo Pine	#5
TMD	84	Taxus m. 'Densiformis'	Dense Yew	24' BB
TMI	4	Taxus m. 'Hicksii'	Hicks Yew	38' BB
TOH	8	Thuja o. 'Holmskup'	Holmskup Arborvitae	38' #7
TOL	4	Thuja o. 'Linesville'	Linesville Arborvitae	#5

BROADLEAF EVERGREENS

BMW	24	Buxus m var. 'Kortana 'Wintergreen'	Wintergreen Boxwood	#5
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ORNAMENTAL GRASS

CKF	45	Calamagrostis a. 'Karl Foerster'	Feather Reed Grass	#1
CL	10	Chasmodon liliifolium	Northern Sea Oats	#1
DPF	18	Deschampsia c. 'Pride Fountain'	Pride Fountain Tufted Hair Grass	#1
HAG	6	Hakonechloa m. 'All Gold'	Japanese Forest Grass	#1
MSV	10	Miscanthus s. 'Variegatus'	Variegated Silver Grass	#1
PHH	12	Panicum v. 'Haense Herms'	Haense Herms Switch Grass	#1
PHM	8	Panicum v. 'Heavy Metal'	Heavy Metal Switch Grass	#1
PNW	8	Panicum v. 'Northwind'	Northwind Switch Grass	#1
SPB	6	Schizachyrium s. 'Prairie Blues'	Prairie Blues Little Bluestem	#1
RSC	15	Schizachyrium s. 'Carouse'	Carouse Little Bluestem	#1
SA	2	Sesleria autumnalis	Autumn Moor Grass	#1

PERENNIALS

AMSS	7	Achillea m. 'Strawberry Seduction'	Strawberry Seduction Yarrow	#1
CMW	20	Calamintha n. 'Montrose White'	Calaminth	#1
ECB	32	Echinacea 'Cisoparis'	Butterfly Cisoparis Coneflower	#1
EPS	60	Echinacea p. 'Pieris Splendor'	Pieris Splendor Coneflower	#1
EPH	4	Echinacea c. 'OBG Cone 2'	Pride Meadow Coneflower	#1
ESR	22	Echinacea 'Balsomised'	Salvia Red Coneflower	#1
GR	10	Geranium 'Gerwat'	Rozanne Geranium	#1
GMF	19	Geranium s. 'Max Frie'	Max Frie Geranium	#1
HGB	45	Hemerocallis 'Going Bananas'	Going Bananas Daylily	#1
HRR	35	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1
HSDO	102	Hemerocallis 'Stella-da-Oro'	Stella-da-Oro Daylily	#1
HGP	10	Heuchera 'Georgia Peach'	Georgia Peach Alumroot	#1
HPP	42	Heuchera 'Purple Petticoats'	Purple Petticoats Coralbells	#1
HAM	30	Hosta 'August Moon'	August Moon Hosta	#1
HIB	138	Hosta 'Island Breeze'	Island Breeze Hosta	#1
NBW	134	Nepela r. 'Blue Wonder'	Blue Wonder Catmint	#1
NCM	98	Nepela x f. 'Cats Meow'	Cats Meow Catmint	#1
RVLS	40	Rudbeckia h. 'Vette's Little Suzy'	Little Suzy Black-eyed Susan	#1

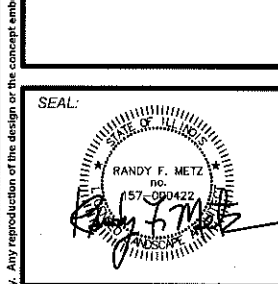
GROUNDCOVERS & VINES

ABB	12	Ajuga r. 'Bronze Beauty'	Carpenter Bugleweed (288 plants)	from 24 flt
GCB	5	Geranium x c. 'Blokovo'	Biokovo Geranium (50 plants)	from 10 flt
LMV	6	Liriope m. 'Variegata'	Variegated Liriope (80 plants)	from 10 flt
LS	18	Liriope spicata	Creeping Liriope (160 plants)	from 10 flt
SK	9	Sedum kentschalcum	Russian Sedum (216 plants)	from 24 flt
VM	12	Vinca m. 'Bowles'	Periwinkle (228 plants)	from 24 flt

REVISIONS

NO.	DESCRIPTION

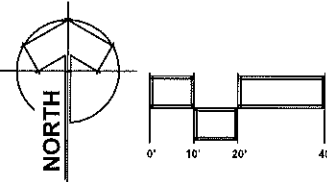
TOWNHOMES of TOWN CENTER  
BURR RIDGE, ILLINOIS

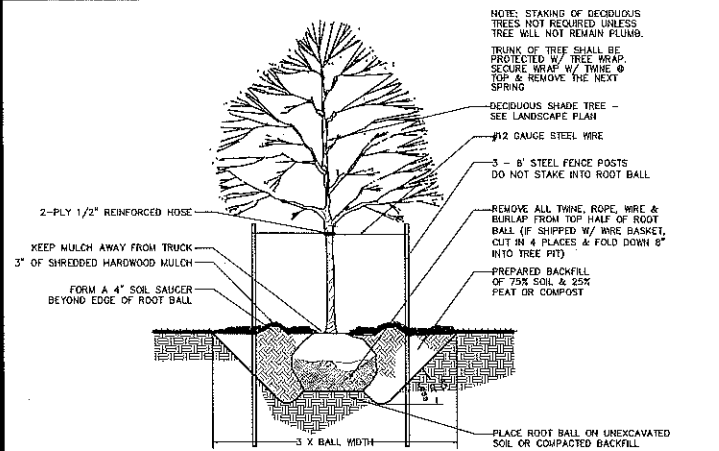


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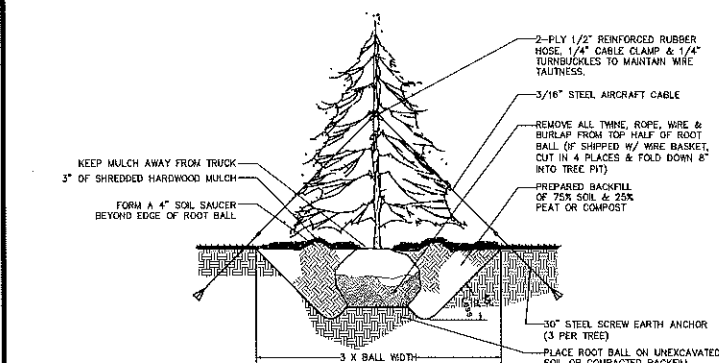
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DATE: 05-18-2022  
SCALE: 1"=20'

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L-1.0

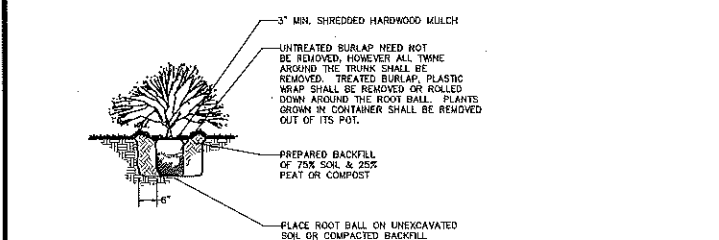




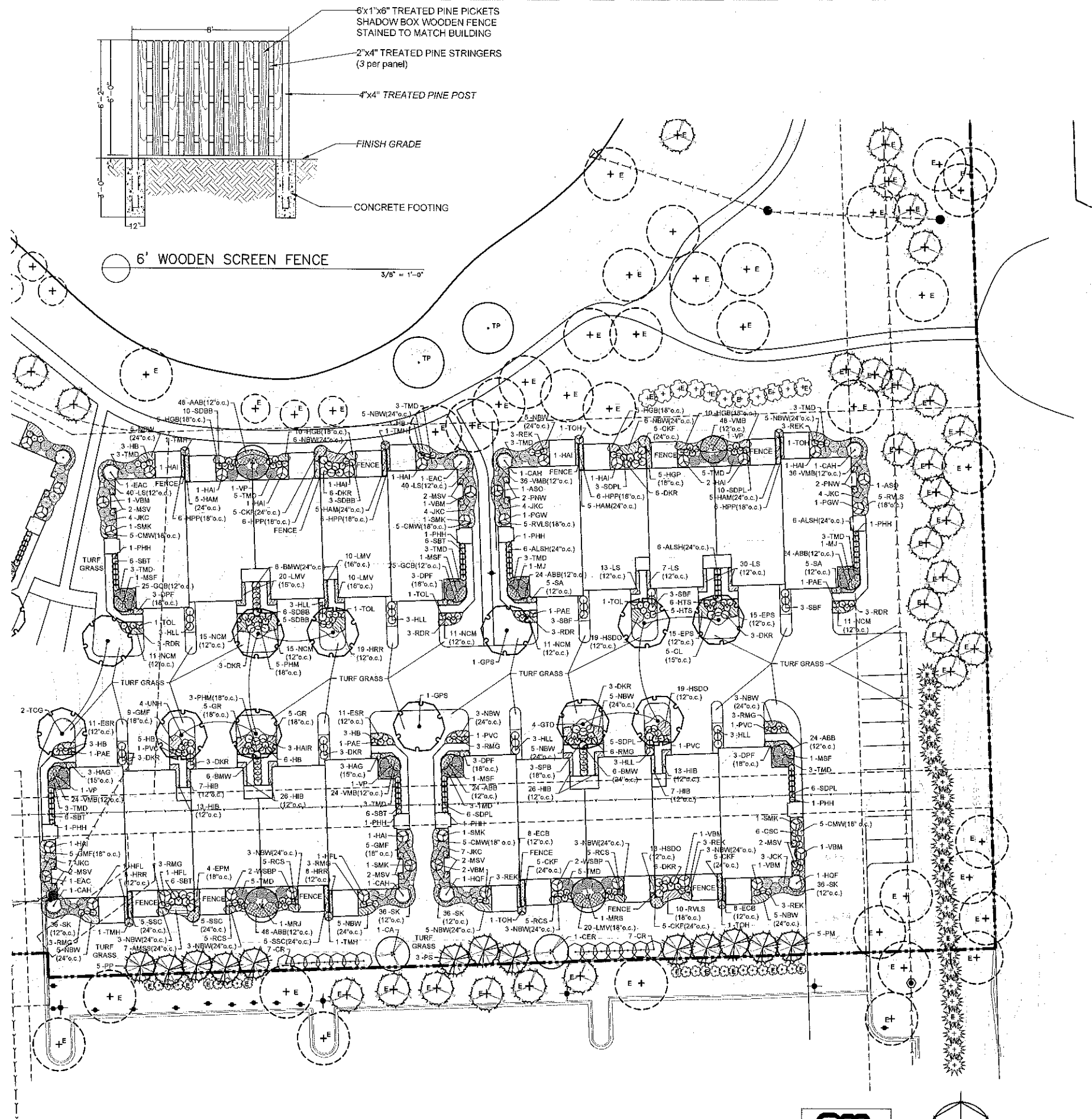
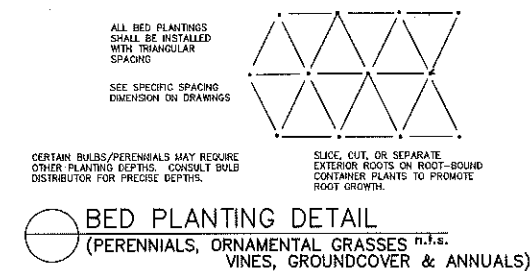
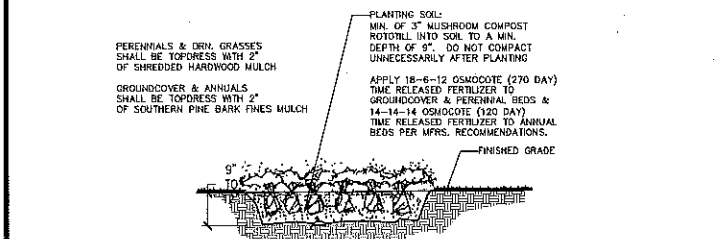
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EVERGREEN TREE n.t.s.



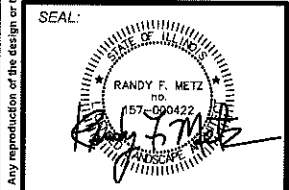
SHRUBS n.t.s.



REVISIONS	

# TOWNHOMES of TOWN CENTER

## BURR RIDGE, ILLINOIS



**METZ & COMPANY**  
LANDSCAPE ARCHITECTS/DESIGNERS/PLANNERS

826 East Maple Street  
Lombard, Illinois 60148  
PH: 630.581.3903  
www.metz-company.com

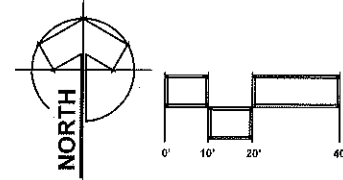
TITLE  
**LANDSCAPE PLAN**

PROJECT NO.:  
**22-193**

DATE: **05-18-2022**

SCALE: **1"=20'**

SHEET  
**L-2.0**





PLANT MATERIAL

PART 1 - GENERAL

1.1 SCOPE OF WORK

The work includes furnishing of all materials, and the performance of all operation in connection with the planting of deciduous & evergreen trees, deciduous & evergreen shrubs, shrub roses, perennials, ornamental grasses, groundcover, bulbs (if any) and annual flowers (if any) in strict conformance with the project specifications and applicable drawings which are subject to the terms and conditions of the Contract.

1.2 GENERAL REQUIREMENTS

All plant material shall comply with the State of ILLINOIS and FEDERAL laws with respect to inspection for plant diseases and insect infestation. An inspection certificate required by law to this effect shall accompany each shipment. The Landscape Architect reserves the right to inspect the plant material at the place of growth but such inspection shall not preclude the right of rejection at the site.

1.3 APPLICABLE STANDARDS

- American National Standards for Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036.
- American Standard for Nursery Stock, ANSI Z60.1, American Nursery & Landscape Association, 1000 Vermont Avenue NW, Suite 300, Washington, D.C. 20005.
- Hortus Third, The Staff of the L.J. Bailey Hortorium, 1976, MacMillan Publishing Co., New York.
- All standards shall include the latest additions and amendments as of the stated date advertisement for bids.

PART 2 - MATERIALS

2.1 GENERAL

The Landscape Architect reserves the right to tag or inspect plants at the nursery but such inspection shall not preclude the right of rejection at the site. Contractor shall furnish and install all plants as shown on the drawings and in the quantities as actually designated on the drawings. The quantities shown on the plant list are included for convenience purposes only.

2.2 NOMENCLATURE

The names of the plants indicated on the drawings conform generally with those accepted in the nursery trade.

2.3 QUALITY AND SIZE

Plants shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous, and free from insect pests, their eggs or larvae, plant diseases, and injuries. All plants shall be nursery grown under climatic conditions similar to those which exist in the locality of the site for at least two (2) years and equal or exceed the measurements specified in the plant list. They shall be measured before pruning with branches in normal position. All necessary pruning shall be performed only at the time of planting. Trees will not be accepted which have their leaders cut or which have their leaders damaged so that cutting is necessary. Plants larger in size than specified may be used with the approval of the Landscape Architect but the use of larger plants will make no change in the contract price. Requirements for the measurement, branching, quality, baling, and burlapping of plants on the plant list shall follow the Code of Standards (2001, most current edition) by the AMERICAN NURSERY & LANDSCAPE ASSOCIATION, formerly known as the AMERICAN ASSOCIATION OF NURSERYMEN, INC. All plant material with shrivelled dry roots or which does not comply with the specifications will be rejected. All shrubs shall be at least twice transplanted and must have a fully developed fibrous root system typical of the stated species. All shrubs must be freshly dug immediately before shipping unless they are containerized. Pre-dug, health-in plants may be considered only in special cases involving planting during the hot months between the spring and fall planting seasons. Use of such material will be allowed only upon the approval of the Landscape Architect and is subject to his inspection prior to said approval.

2.4 DELIVERIES

The Contractor shall take all precautions that are demanded by good trade practice to insure arrival of the plant material at the stated delivery point in good condition and without injury of any nature. Plants shall be covered properly to prevent drying, fungal disease, or injury.

2.5 TEMPORARY STORAGE

Insofar as it is possible, plant material shall be planted on the day of delivery. In the event this is not possible, the Contractor shall protect the unplanted stock from sun and drying winds at all times. All balled and burlapped plants shall be shaded from the sun, have their ball set off the ground and balled in with sawdust, peat, soil or other moisture-holding material and shall be kept moist. Plants should not remain unplanted for longer than three (3) days if in ball. On-site storage shall be only in areas designated by the Owner.

2.6 SUBSTITUTIONS

Substitutions may be permitted only upon submission of written proof that the specified plant is not obtainable locally. Such substitution may be made only upon authorization by the Landscape Architect.

2.7 SELECTION

All plants shall be obtained from nurseries licensed by the State of Illinois and approved by the Landscape Architect. The Landscape Architect reserves the right to accompany the Contractor to the nurseries for the purpose of selecting (tagging) material. Plant sources located outside the State of Illinois must be approved by the Landscape Architect.

2.8 TOPSOIL

Topsoil if needed shall be imported. All imported topsoil, used for any portion of the work, shall be fertile, friable, material from containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.

The soil, to be acceptable topsoil, shall meet the following criteria:

- ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent.
- pH: No lower than 5.0 nor higher than 8.0.
- TEXTURE: No more than 25 percent clay.
- SOLUBLE SALT: No more than 1000 ppm.
- CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxics or chemical residue which could result in any form of plant growth damage.

The Contractor shall provide a soil analysis report submitted containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and blo assay.

2.9 MULCH

Mulch shall consist of the following:

A. MUSHROOM COMPOST

Mushroom compost shall be composed of well-sieved cattle or stable manure with an admixture of 15-30% topsoil and shall have been used for the commercial growing of at least one (1) crop of mushrooms.

B. SHREDDED HARDWOOD BARK (general mulching)

Shredded hardwood bark shall consist of finely shredded hardwood bark, free of sticks and leaves.

2.10 FERTILIZER & NUTRIENTS

Fertilizer shall be commercial fertilizer which shall be a complete fertilizer with the following approximate analysis:

- Shrubs
- Windans (14-3-3) slow-release fertilizers or acceptable equivalent approved by Landscape Architect.
1. Woodland (14-3-3) slow-release fertilizers
2. Superphosphate liquid or acceptable equivalent approved by Landscape Architect.
- Perennials, Groundcovers, Ornamental Grasses & Vines
- Osmondo (18-6-12) 8-9 month controlled release, or acceptable equivalent approved by the Landscape Architect.
- Annual Flowers
- Osmondo (14-14-14) 3-4 month controlled release or acceptable equivalent approved by the Landscape Architect.
- Bulbs
- Holland Bulb Booster (9-9-6) or acceptable equivalent approved by the Landscape Architect.
- Deciduous & Evergreen Trees
- No fertilizer required

2.11 TREE WRAPPING MATERIAL

- Wrap shall be - Breathable synthetic fabric tree wrap. White in color, delivered in 75' x 3" x 1/2" rolls. Specifically manufactured for tree wrapping. Tree wrap shall be "Breathable Fabric Tree Wrap" as manufactured by the Dowell Company, Inc., Skaneateles, MO, or approved equal. Submit manufacturer literature for approval.
- Type for securing the wrap shall be biodegradable tape suitable for nursery use and which is expected to degrade in sunlight in less than two (2) years after installation.

2.12 WATER

Potable water shall be supplied by the Owner at no cost to the Contractor by way of an irrigation system, quick coupler system, hose bibs, hydrant meter or a designated fire hydrant on site.

PART 3 - EXECUTION

Planting operations shall be conducted under favorable weather conditions during the season stated in the Contract. Before excavations are made the surrounding turf (if existing) shall be covered to a depth that will satisfactorily protect all turf areas that are to be trucked or hauled over and upon which soil is to be temporarily stocked. The Contractor shall be responsible for the restoration of all damaged existing turf. All restoration shall be sodded.

3.1 TIME SCHEDULE OF PLANTING OPERATION

Landscape shall be performed during the season or seasons which are normal for such work as determined by weather conditions and by accepted practice. Planting may be performed under unreasonable conditions without additional compensation, but such work must have the prior approval of the Landscape Architect and/or Owner in writing as to the time of work and methods of operations. Approval to plant under such conditions shall in no way relieve the Contractor from the guarantee provisions of these specifications.

PLANTING SEASON ACCEPTABLE TIME PERIOD

- SPRING a. From time soil is workable to June 15 with the following exception:
  - Bare root materials (if any) shall cease on May 31
- FALL a. Sept. 1 to Nov. 15 with the following exceptions:
  - Evergreen Shrub planting to cease Oct. 31
  - Evergreen Tree planting to cease Oct. 15
  - Perennial & Ornamental Grass planting to cease Oct. 15

3.2 WATERING

All plants shall receive a thorough watering immediately after installation. During times of extreme heat, all evergreen and deciduous trees shall receive a minimum of 10 gallons of water per tree per watering up to two (2) additional waterings shall be performed as needed. The use of drip irrigation tree bags are encouraged (e.g., gatorbags). All additional waterings will be performed by the Owner or in accordance with a Change Order per the Supplemental Bid prices for additional watering.

3.3 MAINTENANCE

Maintenance shall be performed by the Contractor as follows:

- TEMPORARY MAINTENANCE The Contractor shall be responsible for the total maintenance of all plant material until such a date as all landscape operations have received Preliminary Acceptance. Temporary maintenance shall begin immediately after each plant is installed and shall include up to three (3) waterings, and all necessary cultivation, weeding, pruning, disease and insect pest control, protective spraying, rescuing of plants to proper grades or upright position, restoration of damaged planting sources, and any other procedure consistent with good horticultural practice necessary to insure normal, vigorous, and healthy growth of all work under this Contract. Upon the Preliminary Acceptance of all planted areas, the responsibility for plant maintenance rests solely with the Owner, with the following exceptions:
  - CONTINUED MAINTENANCE For the duration of the guarantee period the Contractor shall be responsible for the resetting of settled plants, the straightening of plants which are not straight and the lightening of tree tops (if warranted). All other maintenance is the responsibility of the Owner. However, it is the Contractor's responsibility to continuously inspect the quality of the Owner's maintenance.

3.4 ACCEPTANCE

- PRELIMINARY PLANTING ACCEPTANCE Preliminary planting acceptance shall be given for completed planting operations for the purpose of the Contractor becoming eligible for payment for this portion of the Contract work. In order to obtain Preliminary Acceptance, the Contractor shall notify the Owner and/or Owner's Representative by phone or in writing of the conclusion of all planting operations so that preliminary acceptability by way of a field inspection can be performed. In order for an area to be accepted on a preliminary basis, it shall conform to the following:
  - All plant material shall be in conformance with the Drawings with respect to quality, size, species and location, except those items accepted or rejected in the field by the Landscape Architect.
  - All plant material shall be in a healthy condition, as defined under the guarantee requirements stated below in Section 3.14
- FINAL PLANTING ACCEPTANCE Final planting acceptance shall be granted after the completion of all replacement operations required fulfilling the guarantee stated below. On or about the expiration of the one-year (1 year) guarantee, a follow-up inspection will be made by the Owner and/or Owner's Representative to determine replacements required to be made by the Contractor in accordance with the provisions of these specifications. The Inspector will document his/her findings in a field report. Upon completion of the replacement program, the Owner and/or Owner's Representative shall conduct an inspection to determine the acceptability of the required replacements. If all is found to be acceptable as defined by Item A above, the Contractor and the General Contractor shall be notified in writing of his final acceptance of work.

3.5 GUARANTEE

The Contractor shall guarantee for a period of one (1) year the replacement of any perennials plant which has died, or is in a dying condition, or which has failed in growth in such a manner that its usefulness or appearance has been impaired. Any loss with a dead main leader or with a crown which is twenty-five percent (25%) or more dead shall be replaced. Two guarantees shall be in accordance with the following:

- ONE YEAR PERIOD The one (1) year period shall begin on the date of Preliminary Acceptance of all plant material.
- REPLACEMENTS & DAMAGES The decisions of the Owner and/or Owner's Representative for required replacements shall be conclusive and binding upon the Contractor. The Contractor shall also be responsible for repairing damage to persons and property also caused by defective workmanship and/or materials.
- EXCLUSIONS The Contractor shall not be liable for the replacement of plants which have been damaged by animals, by defoliating compounds, herbicides, pesticides or other materials not specified by the Contract documents or not applied by him under his supervision, by reworking or removal by others, by Acts of God, by vandalism or by terrorism.
- GUARANTEE PERIOD INSPECTION During the guarantee period, the Contractor shall, from time to time, inspect the watering, cultivation, and other maintenance operations carried on by the Owner with respect to such work, and promptly report to the Owner any methods, practices or operations which he considers unsatisfactory, and not in accord with his standards or good horticultural practices. The failure of the Contractor to so inspect or report shall be construed as an acceptance by him of the Owner's maintenance operations, and he shall not thereafter claim or assert that any defects which may later develop are the result of such methods or practices or operations.

TURF GRASS

PART 1 - GENERAL

1.1 SCOPE OF WORK

The work includes final grading, furnishing fertilizer, seed and/or sod as specified and performance of all operations in connection with seeding and/or sodding in strict accordance with the applicable Drawings and subject to the terms and conditions of the Contract.

1.2 EQUIPMENT

The Contractor shall provide and maintain equipment suitable for the execution and completion of the work specified in accordance with (DOT) Standard Specifications. All equipment shall be operated by personnel trained in the operation of such equipment.

PART 2 - PRODUCTS

2.1 TOPSOIL

Topsoil for planting operations shall be obtained from on-site stockpiles generated from site striping. In the event that none is available, imported topsoil shall be imported from an off-site source. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural from containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.

The soil, to be acceptable topsoil, shall meet the following criteria:

- ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent.
- pH: No lower than 5.0 nor higher than 8.0.
- TEXTURE: No more than 25 percent clay.
- SOLUBLE SALT: No more than 1000 ppm.
- CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxics or chemical residue which could result in any form of plant growth damage.

The Contractor shall provide a soil analysis report submitted containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and blo assay.

2.2 COMMERCIAL FERTILIZER AND DELIVERY

Fertilizer shall be delivered to the site in unopened, original containers, each bearing name and address of the manufacturer, name brand, or trademark, and manufacturer's guaranteed analysis. Any fertilizer which becomes caked or otherwise damaged, making it unsuitable to use, will not be accepted. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery until used. It shall be completely protected at all times and shall not be stored in direct contact with the ground.

A. FERTILIZER STRENGTH

- PRIOR TO SEEDING AND/OR SODDING 6-24-24 Nitrogen..... 6% Phosphorus..... 24% Potash..... 24%
- AFTER SEEDING AND/OR SODDING 18-5-9 Nitrogen..... 18% Phosphorus..... 5% Potash..... 9%
  - One-quarter of the nitrogen shall be in the form of nitrate, one-quarter in the form of ammoniac salts, and one-half in the form of organic nitrogen.
  - Available phosphoric acid shall be derived from super-phosphate having a minimum guaranteed analysis of 20% of available phosphate.
  - The potash shall be in the form of sulphate of potash.

The balance of the fertilizer shall be made up of materials usually present in such a product. It shall be free from dust, sticks, sand, stone, or other debris.

2.3 GRASS SEED (if specified)

Grass seed shall be reclaimed seed of the previous season's seed crops. All seed shall meet requirements established by the State and Federal Seed and Weed Control Laws. The grass seed mixture shall be composed of the following grass seeds mixed in proportions by weight and shall meet or exceed the minimum percentages of purity and germination as indicated:

PROPORTION BY WEIGHT	TYPE OF GRASS
1. CONVENTIONAL TURF GRASS MIX (if specified)	
85% .....	KENTUCKY BLUEGRASS (blend of 3 cultivars)
10% .....	PERENNIAL RYEGRASS (blend of 2 cultivars)
5% .....	CREeping RED FESCUE
(Apply at 7 lbs./1,000 S.F. for mechanical seeding)	
2. SALT TOLERANT MIX (if specified)	
40% .....	FULTS' ALKALI GRASS (PUCCINELLIA DISTANS)
30% .....	CREeping RED FESCUE
20% .....	KENTUCKY BLUEGRASS
10% .....	PERENNIAL RYEGRASS
(Apply at 8 lbs./1,000 S.F. for mechanical seeding)	

The percentage of hard seed included as a part of the germination percentage of any lot of seed, shall not exceed twenty. Kentucky bluegrass seed shall weigh a minimum of 28 pounds to the nearest measured bushel. Weed seed content shall not exceed 0.25%.

1. PACKING AND MARKETING

All seeds shall be delivered in suitable bags in accordance with standard commercial practice. Each bag shall be tagged or labeled as required by the law of the STATE OF ILLINOIS. The vendor's name shall show on or be attached to each bag together with a statement signed by the vendor showing: a) the kind of seed contained, b) the percentage of purity and germination, c) the percentage of hard seed, if any, d) a statement conforming to the laws of the STATE OF ILLINOIS hereinbefore mentioned showing percentage of weed seeds, if any. Seed which has become wet, moldy, or otherwise damaged will be rejected.

24 EROSION CONTROL BLANKET

- STRAW BLANKET (if specified)
  - 5-75 Straw Blanket (North American Green)
  - AEO Premier Straw Blanket (American Excelsior Company)
  - c. or equivalent
- STRAW/COCONUT BLANKET (if specified)
  - 50-150 Straw/Coconut Blanket (North American Green)
  - AEO Premier Straw/Coconut Blanket (American Excelsior Company)
  - c. or equivalent

25 HYDROMULCH (if specified)

SoilCover Hydraulic Wood Mulch by Profile distributed by ERO-TEK (866)437-4829

26 SOD (if specified)

Sod shall comply with State and Federal laws with respect to inspection for plant diseases and insect infestation. It shall be fresh cut, live, nursery grown sod, not less than one and one half (1 1/2) inches thick having well-matted roots. The root zone shall be of good, fertile, natural mineral soil free from stones and debris. Peat sod will not be acceptable. The turf shall contain no bent or quack grass nor any other noxious weed growth. It shall be of firm tough texture having a compact growth of grass. The sod sections shall be standard in size (24 inches wide x 3 feet in length) and each section shall be strong enough to support its own weight and retain its size and shape when suspended vertically from a firm grasp on the upper ten (10%) percent of the section.

Before being cut and lifted, the sod shall have been mowed at least twice with a lawn mower and the final mowing not more than seven days before the sod is cut. Sod which is not placed within 48 hours of cutting shall not be used without the approval of the Owner and/or Landscape Architect.

The Owner and/or Landscape Architect, reserves the right to inspect the sod at the source before cutting and areas that fail to meet with his approval shall not be cut for the purpose of supplying material under the contract. The Owner and/or Landscape Architect shall be permitted to take such samples as he may select. All sod shall be fresh and green when placed. Any sod that is dried out, burned, inferior in quality to said samples, or in any way failing to meet the requirements of these specifications will be rejected and the Contractor shall immediately remove such rejected material from the premises of the project and supply suitable material in its place.

- BLUEGRASS SOD shall be a blend of at least three (3) cultivars of Kentucky bluegrasses grown on a mineral base.
- SALT SOD (if specified) shall be a blend of Kentucky Bluegrass, Fults' Alkali Grass (Puccinellia distans), Perennial Ryegrass and other types as approved by the Landscape Architect grown on a mineral base.

2.7 WATER

The Owner shall provide at no cost, sufficient water for the Contractor to maintain plant materials and seeded and sodded areas in accordance with the requirements of the applicable technical specifications. Potable water shall be supplied by the Owner by way of a permanent underground irrigation system, quick coupler system, hose bibs, fire hydrants or a designated fill-up source for mobile tanks. When water is provided by way of fire hydrants, it shall be the Contractor's responsibility to be completely familiar with all local ordinances concerning the use of this water source. If a meter is required, it is the Contractor's responsibility to obtain, store and return the meter. All fees incurred by the Contractor in obtaining the meter and installing the water supply will be reimbursed to him by the Owner.

In the event that the on-site water supply is curtailed or terminated by the Owner or by ordinance during the period the Contract is in effect, or that there is no on-site sources of water, the Contractor shall supply water from off-site in sufficient quantities to complete the job. Compensation for this additional item will be in accordance with a solicited price quote. If authorization to supply off-site water is not given to the Contractor by the Owner, when the Owner is unable to supply the water in sufficient quantities, the Contractor shall not be held responsible for damage to new plantings (plant materials & sod) or failure of seed to germinate and grow caused a direct result of an inadequate water supply.

PART 3 - EXECUTION

3.1 SEED - The accepted seasons for sowing seed in lawn areas shall be defined as follows:

PLANTING SEASONS	SPRING	FALL
Turf grass	April 1 to May 31	Aug. 15 to Sept. 30
* or as soon as the soil is free of frost and in a workable condition.		

Seeding during other time periods shall require the approval of the Owner and/or Landscape Architect. All sowing of seed shall be completed after all trees and shrubs have been installed, if any.

3.2 SOD - The accepted seasons for laying sod shall be as follows:

- SPRING SODDING shall be performed from the time the soil becomes workable and unfrozen sod becomes available to June 15.
- FALL SODDING shall be performed from August 15 to October 31.

Sodding during the summer season, defined as June 16 to August 14, will be acceptable if the area is served by an operational irrigation system. Sodding after November 1 shall be considered unseasonable and will require the approval of the Landscape Architect or Owner.

3.3 REQUIRED MAINTENANCE

The Contractor shall be responsible for maintaining all newly seeded and sodded areas until such a time as these areas are granted acceptance by the Owner and/or Landscape Architect. Maintenance during this time period shall consist of watering, mowing, fertilization and herbicide application, as well as any other horticultural practices necessary to establish an acceptable stand of grass.

A. WATERING

- The Contractor shall water all newly seeded areas once immediately upon completion. Additional watering shall be performed as needed in the absence of adequate rainfall. All water should be applied as a spray or dispersion to prevent runoff or damage. The Contractor shall be responsible for watering until turf is established and accepted. If the Owner supplies an in-ground irrigation system, the Contractor shall be responsible for monitoring the effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids whose alternate watering prices shall be quoted. If this work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided.
- The Contractor shall water all newly seeded areas immediately. The Contractor shall remain responsible for watering through three (3) applications. If the Owner supplies an in-ground irrigation system included in the scope of these requirements, the Contractor shall be responsible for monitoring the effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids whose alternate watering prices shall be quoted. If this work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided. Watering after the required three (3) waterings shall be the responsibility of the Owner, or in accordance with authorized supplemental watering.

B. MOWING

- The Contractor shall mow all seeded areas three (3) times. The three (3) mowings shall be performed once the turf has reached a height of three inches (3") and shall maintain the turf at 2-2 1/2". At no time shall more than 1/3 of the leaf blade be removed by any mowing.
- The Contractor shall mow all sodded areas once. The one (1) mowing shall be performed once the turf has reached a height of three inches (3"). At no time shall more than 1/3 of the leaf blade be removed by any mowing.

C. FERTILIZATION

- Seeded areas after completion of the required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per 1,000 square feet (650 lbs/acre) to all turf areas using a mechanical spreader and by making two passes at right angles to each other.
- Sodded areas after completion of the required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per square foot (650 lbs/acre) to all turf areas using a mechanical spreader and by making two passes at right angles to each other.

D. HERBICIDE

The Contractor shall be responsible for one (1) application of a weed control product no sooner than the second mowing with the areas seeded. The product shall reflect the specific weed problem which may exist.

3.4 ACCEPTANCE

Acceptance of seeded areas will be determined by the Owner and/or Landscape Architect. Acceptance shall be granted upon conformance with the following:

- Grass shall display a reasonably uniform distribution of grass plants.
- Grass shall display vigorous growth and be green and healthy in appearance.
- Grass shall have received the required mowings, fertilization and herbicide application.

The Contractor shall not be held liable for damage caused by the seed areas caused by defoliating compounds, toxic substances, herbicides, pesticides and other materials not specified or not applied by him or under his supervision, nor those damages caused by vandalism or acts of nature.

2.5 GUARANTEE

The Contractor shall guarantee the provision of a green, healthy relatively weed free turf at the time of acceptance.

TEMPORARY WATERING

Temporary watering shall be performed by a temporary above ground irrigation system from the building water supply and/or from water trucks.

A. Kentucky Bluegrass Sod

1. Immediately subsequent to sod installation all areas shall be watered to a depth of one (1) inch. Additional watering shall be performed to a total of fifteen (15) times approximately every other day for a minimum of one (1) month period. During extremely hot periods, often between June 15th and August 31st, watering daily may be required.

2. Newly laid sod must be kept moist, but not water logged. The moisture should extend into the soil below the sod to encourage root development. A general rule-of-thumb is to apply one (1) inch of water every other day in the absence of adequate rainfall. Early morning watering is preferred and should not be performed after 1:00 PM. Watering personnel shall routinely probe the sodded areas in multiple locations to determine moisture levels and the watering program should be adjusted as needed. Newly laid sod should not be allowed to dry out as during the initial 2-3 weeks subsequent to laying, dryness will cause shrinkage leaving unwanted open gaps between bales.

3. Depending on conditions, sod may take 1-3 weeks to root into the soil. Once the sod takes root, watering frequency can be gradually reduced. One (1) inch of water applied once a week is generally acceptable except during hot periods.

B. Seed Mixes with Straw Blanket (if any)

1. Immediately after the completion of seeding operations, all seed & blanket areas shall be watered to a depth of two (2) inches. Additional watering shall be performed to a total of fifteen (15) times.

2. During the seed germination period, seeded areas shall be kept moist in the absence of adequate rainfall to a depth of one (1) inch. A fine spray should be utilized to avoid seed bed disturbance/erosion. Watering personnel shall routinely probe the seeded areas in multiple locations to determine moisture levels and the watering program should be adjusted accordingly. A five to ten (5-10) minute watering duration is generally adequate. During the germination period, daily watering may be required during extremely hot periods.

3. Once the seed has fully germinated (not just the cover crop) the watering shall be increased to a two (2) inch depth. The soil should be allowed to dry out between waterings and generally every other day watering during this stage is adequate, depending on rainfall.

C. Plant Material Watering

1. All plants shall receive a thorough watering immediately subsequent to installation including a minimum of four (4) additional waterings when needed.

2. During times of extreme heat, all evergreen and deciduous trees shall receive a minimum of ten (10) gallons of water per tree per watering. Hand injection probe watering or slow release watering bags are the preferred methods for effectively applying water to trees. The use of 20-gallon slow-release irrigation tree bags is highly encouraged and may be substituted for the above mentioned injection waterings. Such watering bags shall be kept operational for a minimum of five (5) continuous days. If this watering method is used in lieu of injection waterings, they shall be provided, as weather conditions dictate, for three (3) watering periods of five (5) continuous days each.

REVISIONS


2. Newly laid sod must be kept moist, but not water logged. The moisture should extend into the soil below the sod to encourage root development. A general rule-of-thumb is to apply one (1) inch of water every other day in the absence of adequate rainfall. Early morning watering is preferred and should not be performed after 1:00 PM. Watering personnel shall routinely probe the sodded areas in multiple locations to determine moisture levels and the watering program should be adjusted as needed. Newly laid sod should not be allowed to dry out as during the initial 2-3 weeks subsequent to laying, dryness will cause shrinkage leaving unwanted open gaps between bales.

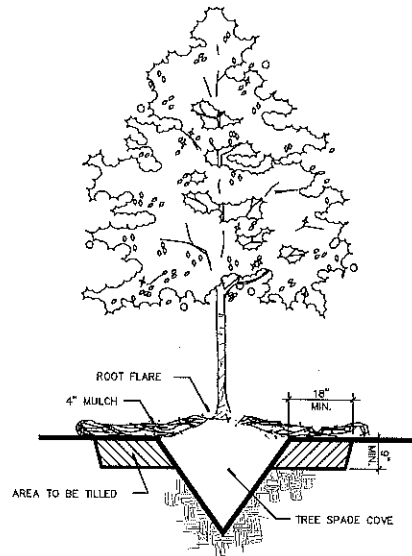
3. Depending on conditions, sod may take 1-3 weeks to root into the soil. Once the sod takes root, watering frequency can be gradually reduced. One (1) inch of water applied once a week is generally acceptable except during hot periods.

B. Seed Mixes with Straw Blanket (if any)

1. Immediately after the completion of seeding operations, all seed & blanket areas shall be watered to a depth of two (2) inches. Additional watering shall be performed to a total of fifteen (15) times.

TREE ACTION PLAN/TREE SURVEY

Tree Number	Scientific Name	Common Name	SIZE	Remain	Remove	Transplant
1	Picea abies	Norway Spruce	10 inch	YES		
2	Celtis occidentalis	Hickberry	8 inch	YES		
3	Picea abies	Norway Spruce	12 inch	YES		
4	Tilia americana	American Linden	12 inch	YES		
5	Picea abies	Norway Spruce	8 inch	YES		
6	Tilia americana	American Linden	10 inch	YES		
7	Tilia cordata	Littleleaf Linden	8 inch	YES		
8	Tilia cordata	Littleleaf Linden	8 inch	YES		
9	Tilia cordata	Littleleaf Linden	8 inch	YES		
10	Tilia cordata	Littleleaf Linden	8 inch	YES		
11	Tilia cordata	Littleleaf Linden	8 inch	YES		
12	Tilia cordata	Littleleaf Linden	6 inch	YES		
13	Celtis occidentalis	Hickberry	8 inch	YES		
14	Picea abies	Norway Spruce	10 inch	YES		
15	Picea abies	Norway Spruce	10 inch	YES		
16	Pinus nigra	Austrian Pine	8 inch	YES		
17	Pinus nigra	Austrian Pine	8 inch	YES		
18	Pinus nigra	Austrian Pine	8 inch	YES		
19	Acer freemanii	Freeman Maple	6 inch	YES		
20	Acer freemanii	Freeman Maple	6 inch	YES		
21	Acer freemanii	Freeman Maple	6 inch	YES		
22	Acer freemanii	Freeman Maple	8 inch	YES		
23	Gymnocladus dioica	Kentucky Coffeetree	4 inch			YES
24	Ulmus species	Hybrid Elm	8 inch	YES		
25	Ulmus species	Hybrid Elm	12 inch	YES		
26	Picea pungens	Colorado Spruce	10 inch	YES		
27	Picea pungens	Colorado Spruce	10 inch	YES		
28	Picea pungens	Colorado Spruce	10 inch	YES		
29	Picea pungens	Colorado Spruce	8 inch	YES		
30	Picea pungens	Colorado Spruce	6 inch	YES		
31	Picea pungens	Colorado Spruce	8 inch	YES		
32	Ulmus species	Hybrid Elm	14 inch	YES		
33	Ulmus species	Hybrid Elm	12 inch		YES	
34	Ulmus species	Hybrid Elm	10 inch	YES		
35	Ulmus species	Hybrid Elm	6 inch	YES		
36	Acer rubrum	Red Maple	6 inch	YES		
37	Acer glabrum	Amar Maple	12 foot		YES	
38	Acer glabrum	Amar Maple	12 foot		YES	
39	Picea abies	Norway Spruce	8 inch	YES		
40	Picea abies	Norway Spruce	8 inch	YES		
41	Picea pungens	Colorado Spruce	6 inch	YES		
42	Picea pungens	Colorado Spruce	6 inch	YES		
43	Picea pungens	Colorado Spruce	10 inch	YES		
44	Picea pungens	Colorado Spruce	8 foot	YES		
45	Picea pungens	Colorado Spruce	8 foot	YES		
46	Picea pungens	Colorado Spruce	10 inch	YES		
47	Picea pungens	Colorado Spruce	10 inch	YES		
48	Picea pungens	Colorado Spruce	10 inch	YES		
49	Acer rubrum	Red Maple	4 inch	YES		
50	Picea pungens	Colorado Spruce	8 inch	YES		
51	Picea pungens	Colorado Spruce	8 inch	YES		
52	Picea pungens	Colorado Spruce	8 inch	YES		
53	Picea pungens	Colorado Spruce	8 inch	YES		
54	Picea pungens	Colorado Spruce	8 inch	YES		
55	Quercus muhlenbergii	Chinkapin Oak	8 inch	YES		
56	Quercus muhlenbergii	Chinkapin Oak	10 inch	YES		
57	Acer freemanii	Freeman Maple	clump	YES		
58	Acer freemanii	Freeman Maple	8 inch	YES		
59	Acer freemanii	Freeman Maple	6 inch	YES		
60	Acer freemanii	Freeman Maple	8 inch	YES		
61	Acer freemanii	Freeman Maple	6 inch	YES		
62	Acer freemanii	Freeman Maple	6 inch	YES		
63	Acer freemanii	Freeman Maple	6 inch	YES		
64	Acer freemanii	Freeman Maple	6 inch	YES		
65	Taxodium distichum	Bald Cypress	10 inch	YES		
66	Taxodium distichum	Bald Cypress	10 inch	YES		
67	Taxodium distichum	Bald Cypress	10 inch	YES		
68	Taxodium distichum	Bald Cypress	10 inch	YES		
69	Taxodium distichum	Bald Cypress	10 inch	YES		
70	Molus species	Craapple	2 inch	YES		
71	Molus species	Craapple	2 inch	YES		
72	Molus species	Craapple	4 inch	YES		
73	Celtis occidentalis	Hickberry	2 inch	YES		YES
74	Acer freemanii	Freeman Maple	6 inch		YES	
75	Celtis occidentalis	Hickberry	6 inch		YES	
76	Celtis occidentalis	Hickberry	4 inch	YES		
77	Pinus strobus	White Pine	6 inch	YES		
78	Pinus nigra	Austrian Pine	8 inch	YES		
79	Quercus muhlenbergii	Chinkapin Oak	6 inch	YES		
80	Betula nigra	River Birch	10 - 12 foot clump	YES		
81	Betula nigra	River Birch	10 - 12 foot clump	YES		
82	Betula nigra	River Birch	10 - 12 foot clump	YES		
83	Betula nigra	River Birch	10 - 12 foot clump	YES		
84	Betula nigra	River Birch	10 - 12 foot clump	YES		
85	Viburnum pauciflorum	Blackhaw Viburnum	(13) 10 foot clumps	YES		
86	Quercus muhlenbergii	Chinkapin Oak	6 inch	YES		
87	Molus species	Craapple	6 foot clump	YES		
88	Molus species	Craapple	6 foot clump	YES		
89	Abies concolor	White Fir	6 inch		YES	
90	Celtis occidentalis	Hickberry	10 inch	YES		
91	Molus species	Craapple	12 foot clump	YES		
92	Abies concolor	White Fir	8 inch	YES		
93	Molus species	Craapple	12 foot clump	YES		
94	Molus species	Craapple	10 foot clump	YES		
95	Celtis occidentalis	Hickberry	8 inch	YES		
96	Molus species	Craapple	10 foot clump	YES		
97	Molus species	Craapple	12 foot clump	YES		
98	Celtis occidentalis	Hickberry	8 inch	YES		

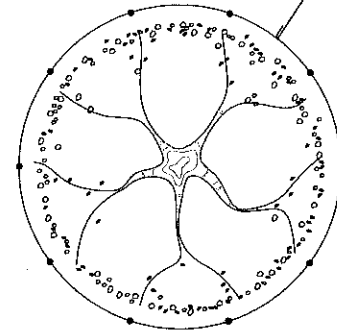


TREE SPADE RELOCATION DETAIL

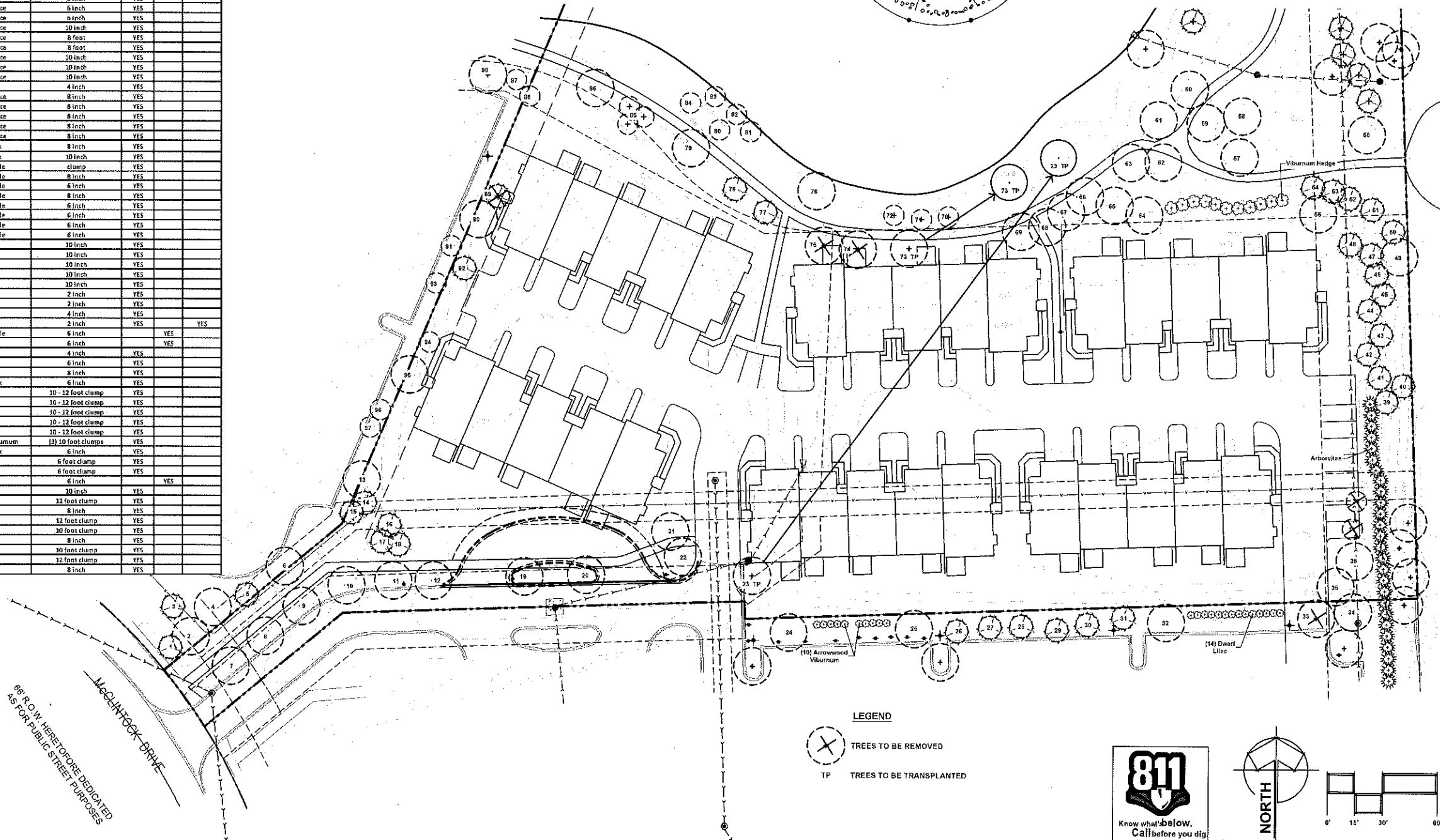
ALL EXISTING LANDSCAPING NOTED FOR PRESERVATION, SHALL BE PROTECTED DURING CONSTRUCTION VIA PLASTIC SAFETY FENCING. FENCING SHALL BE 4' HIGH AND ATTACHED TO STEEL DRIVEN POSTS SET NO FARTHER THAN 8' O.C. IT SHALL BE INSTALLED AT THE PERIPHERY OF THE DRIP LINE OF EXISTING PLANT MATERIAL OR BEYOND TO PREVENT STORAGE OF VEHICLES OR MATERIALS AND THE ENCROACHMENT OF GRADING AND CONSTRUCTION EQUIPMENT.

CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES PREVENTING COMPACTION OF ROOT SYSTEMS OF EXISTING TREES AND SHRUBS. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.

ORANGE POLYETHYLENE SAFETY FENCING  
PLACED AT OR BEYOND DRIP-LINE

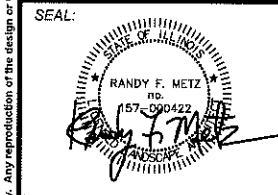


TREE PRESERVATION DETAIL



REVISIONS


# TOWNHOMES of TOWN CENTER BURR RIDGE, ILLINOIS



TITLE  
**TREE  
PRESERVATION  
PLAN**

PROJECT NO.:  
**22-193**

DATE: **05-18-2022**

SCALE: **1"=30'**

SHEET  
**TP-1.0**



The Lighting Analysis, Etc., Report, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting, Inc. ("RAB") is for the sole use of the client and is not to be distributed, copied, reproduced, or used for any other purpose without the written consent of RAB. RAB makes no warranty, either implied or stated, with regard to the actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design. RAB's Lighting Design is a computer-generated simulation and is not intended for construction nor as being part of a project's construction documentation package.

PROJECT # 195174

Scale: as noted

Job Name:

Casey Electric Sales, Inc.  
1001 Industrial Drive  
Bensenville, IL 60106  
Tel: 630-860-8600



CASE # 879152

Date: 6/10/2022

Lighting Layout  
Version A


Filename: 901 McClintock Drive 879152A.AGI

Drawn By: dvento  
McClintock Drive 879152A.AGI





Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpcTb	Meter Type
SITE	Illuminance	Fc	0.43	4.3	0.0	N.A.	N.A.	Readings taken at grade	10	10	Horizontal
PARKING LOT	Illuminance	Fc	2.30	4.3	0.9	2.56	4.78	Readings taken at grade			

Luminaire Schedule			All quotes/orders generated from this layout must be forwarded to the Local Rep Agency					
Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating	Lum Lumens
	14	A	A17-5T70N	Single	1.000	POLE MOUNT	B3-U0-G3	9352

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	1100317.654	1853460.291	20	336.801	0
2	A	1100351.342	1853467.325	20	248.552	0
3	A	1100382.745	1853424.639	20	65.556	0
4	A	1100441.158	1853428.409	20	242.103	0
5	A	1100499	1853386.8	20	90	0
6	A	1100546	1853416.2	20	270	0
7	A	1100596	1853390.8	20	90	0
8	A	1100645	1853417.2	20	270	0
9	A	1100683	1853391.8	20	90	0
10	A	1100724	1853421.2	20	270	0
11	A	1100756.8	1853389	20	0	0
12	A	1100803.2	1853420	20	180	0
13	A	1100804.2	1853357	20	180	0
14	A	1100440.8	1853346	20	0	0
Total Quantity: 14						

NOTES:

\* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

\* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

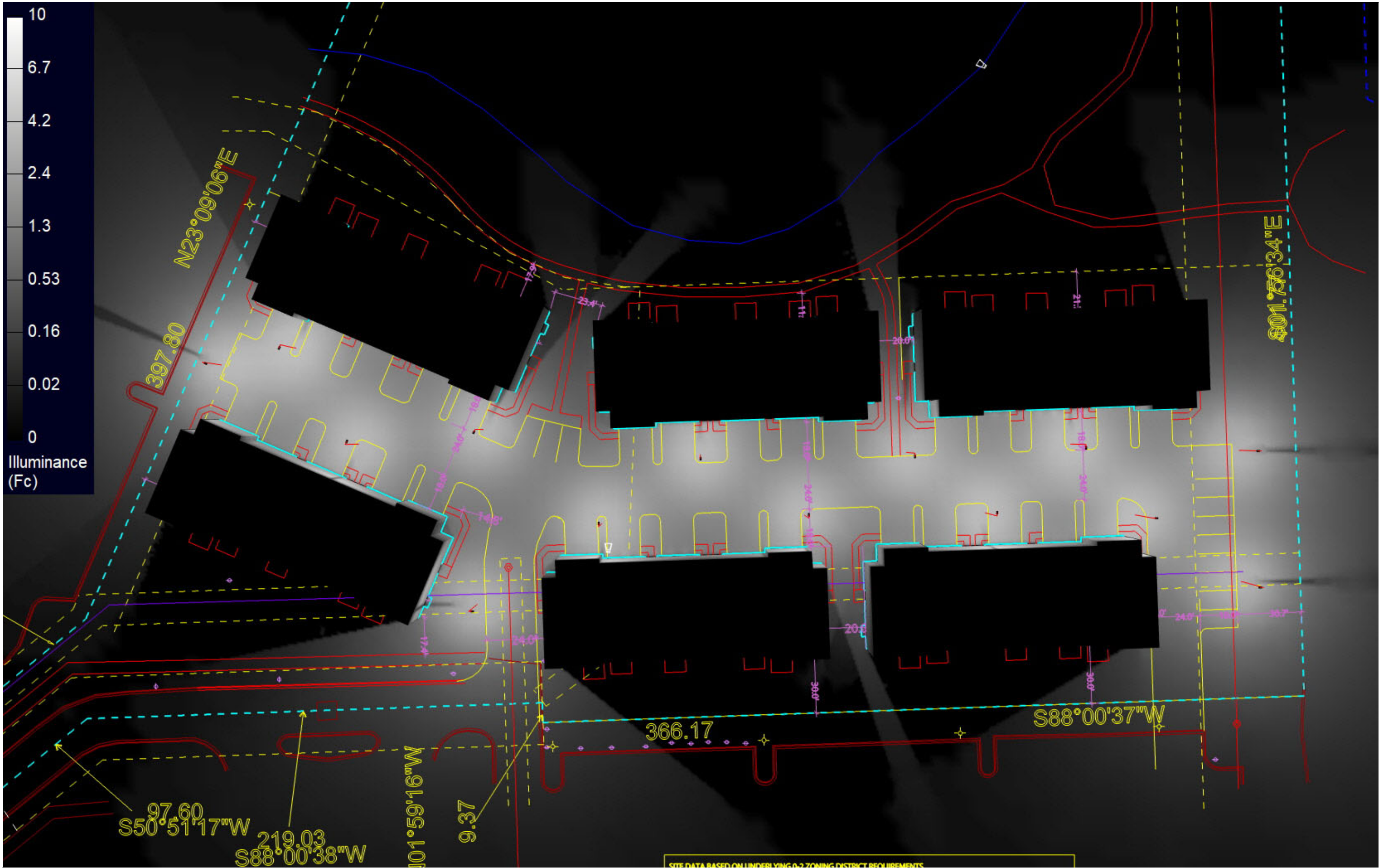
\* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

\* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

\* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

\* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

\* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



The Lighting Analysis, site layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of system performance based on the design parameters and information supplied by others. These design parameters and information have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation. RAB neither warrants, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design insofar as it complies with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and provided by RAB. RAB Lighting Inc. and its affiliates accept no liability for construction or other purposes and is not intended for construction nor as being part of a project's construction documentation package.

Prepared For: Casey Electric Sales, Inc. 1001 Industrial Drive Bensenville, IL 60106 Tel: 630-860-3600	Job Name: 901 McClintock Drive Burr Ridge, IL		Scale: as noted	PROJECT # 195174
	Lighting Layout Version A		Date:6/10/2022	CASE # 879152
	Filename: 901 McClintock Drive 879152A.AGI			
	Drawn By: dvento			
Filepath: Z:\Job Files\Casey Electric Sales\Constant Electric Supply\Bartlett 105062\901 McClintock Drive\Working Files\AGI\901 McClintock Drive 879152A.AGI				

Prepared For:

Casey Electric Sales, Inc.  
1001 Industrial Drive  
Bensenville, IL 60106  
Tel: 630-860-3600



170 Ludlow Avenue, Northvale, NJ 07647  
888 722-1000 • rablighting.com





Color: Bronze

Weight: 10.8 lbs

Project:

Type:

Prepared By:

Date:

**Driver Info**

Type	Constant Current
120V	0.70A
208V	0.40A
240V	0.35A
277V	0.30A
Input Watts	70.81W

**LED Info**

Watts	70W
Color Temp	4000K (Neutral)
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	9,496
Efficacy	134.1 lm/W

**Technical Specifications****Compliance****UL Listed:**

Suitable for wet locations

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**DLC Listed:**

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PLG66ZKF19WX

**Electrical****Driver:**

Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 0.70A, 208V: 0.40A, 240V: 0.35A, 277V: 0.30A

**Dimming Driver:**

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

**THD:**

3.17% at 120V, 13.23% at 277V

**Power Factor:**

99.5 % at 120V, 91.7 % at 277V

**Surge Protection:**

10kV

**Performance****Lifespan:**

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**Construction****IES Classification:**

The Type V distribution produces light in a wide and uniform 360° pattern that is perfect for large outdoor areas such as parking lots, corporate parks and retail settings

**Cold Weather Starting:**

The minimum starting temperature is -40°C (-40°F)

**Maximum Ambient Temperature:**

Suitable for use in up to 40°C (104°F)

**Lens:**

Polycarbonate lens

**Housing:**

Die-cast aluminum housing, lens frame and mounting arm

## Technical Specifications (continued)

### Construction

#### IP Rating:

Ingress protection rating of IP65 for dust and water

#### Vibration Rating:

3G vibration rating per ANSI C136.31

#### EPA:

- 1 Fixture: 0.46
- 2 Fixtures at 90°: 0.60
- 2 Fixtures at 180°: 0.93
- 3 Fixtures at 90°: 0.93
- 4 Fixtures at 90°: 0.93

#### EPA with Slipfitter & Adjustable Arm Mounting Accessories (Sold Separately)

- 1 Fixture: 0.66
- 2 Fixtures at 90°: 0.80
- 2 Fixtures at 180°: 1.32
- 3 Fixtures at 90°: 1.32
- 4 Fixtures at 90°: 1.32

#### Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

### Finish:

Formulated for high durability and long-lasting color

### Green Technology:

Mercury and UV free. RoHS-compliant components.

### LED Characteristics

#### LEDs:

Long-life, high-efficiency, surface-mount LEDs

#### Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

### Other

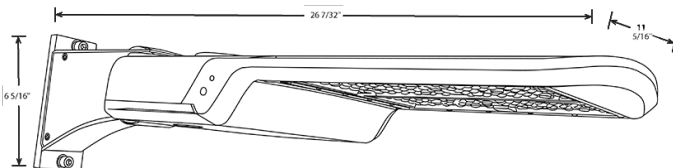
#### 5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

#### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

## Dimensions



## Features

- 0-10V Dimming, standard
- 100,000-hour LED lifespan
- 5-Year, Limited Warranty



## Ordering Matrix

Family	Distribution	Wattage/Lumens	Mounting	Color Temp	Driver	Options
A17	–	5T	70	N		
	3T = Type III 4T = Type IV 5T = Type V	70 = 70W/10,000LM 100 = 100W/15,000LM 150 = 150W/22,500LM 200 = 200W/30,000LM 240 = 240W/36,000LM 300 = 300W/45,000LM 375 = 375W/51,800LM	Blank = Universal Pole Mount SF = Slipfitter (Factory installed SF available in 150W)	Blank = 5000K Cool N = 4000K Neutral	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming <sup>1</sup>	Blank = No Option /3PRS = 3-pin Receptacle and Shorting Cap /7PRS = 7-pin Receptacle and Shorting Cap /MVS = Microwave Motion Sensor /LC = Lightcloud® Controller

<sup>1</sup> 480V driver available standard on 150W and 300W and by special order on 100, 240 and 375W. Not available on 70W or 200W models.

Type II distribution available as special order

Wall mount and adjustable universal pole mount available as optional field-installed accessories



Color: Bronze

Weight: 117.3 lbs

Project:

Type:

Prepared By:

Date:

## Technical Specifications

### Compliance

#### CSA Listed:

Suitable for wet locations

### Construction

#### Description:

Steel pole 4" round 11 gauge 20 foot drilled two sides square base

#### Shaft:

46,000 p.s.i. minimum yield.

#### Hand Holes:

Reinforced with grounding lug and removable cover

#### Base Plates:

Slotted base plates 36,000 p.s.i.

#### Color:

Bronze powder coating

#### Height:

20 FT

#### Gauge:

11

#### Wall Thickness:

1/8"

#### Shaft Size:

4"

### Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

### Max EPA's/Max Weights:

70MPH 7.4 ft./500 lb.  
80MPH 5.5 ft./460 lb.  
90MPH 3.3 ft./430 lb.  
100MPH 2.1 ft./320 lb.  
110MPH 1.1 ft./200 lb.  
120MPH 0.5 ft./110lb

### Accessories:

Base/Cap: [BCK-R4](#)Anchor Bolts: [BOLT4/11](#)

### Other

### Terms of Sale:

Pole Terms of Sale is available [online](#).

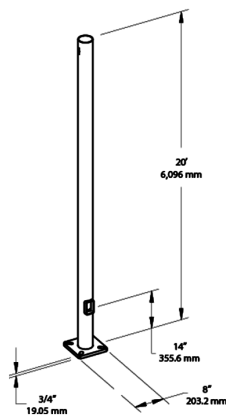
Technical Specifications (continued)

Other

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Pole caps, base covers & bolts are sold separately
- Custom manufactured for each application

Ordering Matrix

Family	Shape	Size	Gauge	Height	Drilled/Welded Tenon
P	R	4	11	20	D2
R = Round		4 = 4"	7 = 7	10 = 10'	D2 = Drilled
TR = Taped Round		5 = 5"	11 = 11	15 = 15'	WT = Welded Tenon
		6 = 6"		20 = 20'	
		7 = 7"		25 = 25'	
		8 = 8"		30 = 30'	













CERTAIBED  
XT 25 SHINGLES ROOF  
MOIRE BLACK



VINYL WINDOWS  
BLACK



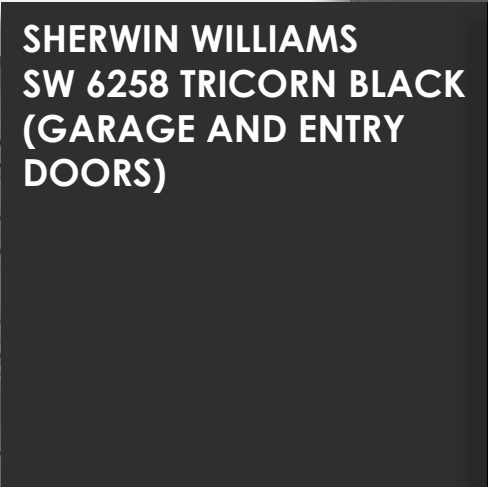
JAMESHARDIE  
HARDIE PANEL PRIMARY  
SIDING SMOOTH  
ARCTIC WHITE



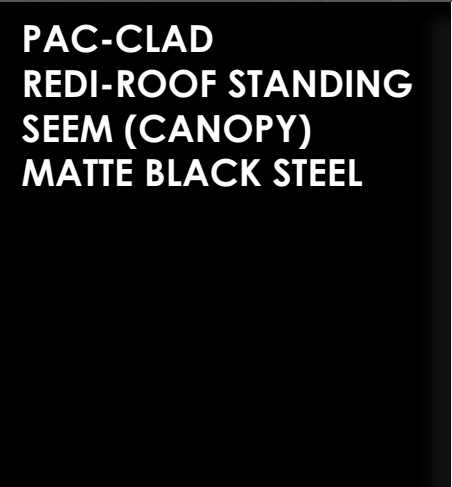
JAMESHARDIE PANEL  
BOARD AND BATTEN  
ACCENT SIDING  
NIGHT GREY



CULTURED STONE  
PROFIT LEDGESTONE  
PLATINUM



SHERWIN WILLIAMS  
SW 6258 TRICORN BLACK  
(GARAGE AND ENTRY  
DOORS)



PAC-CLAD  
REDI-ROOF STANDING  
SEEM (CANOPY)  
MATTE BLACK STEEL



TRIM & FACIA  
SW 7005 PURE WHITE



TRIM BOARD  
SHERWIN WILLIAMS PAINT  
MATCH WITH HARDIE  
NIGHT GREY



**BY-LAWS OF  
THE VILLAGE CENTER TOWNHOME'S ASSOCIATION**  
(An Illinois Not For Profit Corporation)

**ARTICLE I**

**Offices**

SECTION 1. The Corporation shall continuously maintain in the State of Illinois a registered office and a registered agent whose business office is identical with such registered office and may have other offices within or without the state.

**ARTICLE II**

**Members**

SECTION 1. CLASSES OF MEMBERS. The Corporation shall have one class of membership. The rights of membership shall be vested in the legal title holder(s) of the Lot, or in the event legal title is held by a land trust, the beneficial owners of the land trust, or in the event of a purchase under a contract for purchase, the buyer unless the seller expressly retains in writing any of all said rights (hereinafter referred to as the "Owner"). Membership shall be appurtenant to and shall not be separate from ownership of a Lot. Any attempt to separate or otherwise transfer membership or the rights of membership from ownership of a Lot shall be void and of no effect. Every Owner shall be a member of the Association.

SECTION 2. PASSING OF MEMBERSHIP. Membership shall pass with the title or beneficial interest or execution of an installment contract to purchase to each Lot without further action.

SECTION 3. VOTING RIGHTS. There shall be one vote per Lot. If there is more than one (1) Owner of a Lot and only one (1) Owner thereof present at a meeting, that Owner is entitled to cast the entire vote of the Lot. If more than one (1) Owner thereof is present, then the entire vote of the Lot shall be cast in accordance with the majority in interest of the multiple Owners.

SECTION 4. TERMINATION OF MEMBERSHIP. Membership shall terminate with the passing of legal title to a Lot, or in the case of legal title being held by a land trust, with the passing of the beneficial interest in the land trust, or execution of installment contract for purchase, or as otherwise provided herein.

SECTION 5. TRANSFER OF MEMBERSHIP. Membership in this Corporation is not transferable or assignable, save as provided herein when title or beneficial interest is passed or installment contract for purchase executed.

SECTION 6. NO MEMBERSHIP CERTIFICATES. No membership certificates of the Corporation shall be required.

SECTION 7. DISPUTE OWNERSHIP. In the event ownership of a Lot and thereby membership, or the exercise of any right, privilege, or duty, of membership is disputed or contested by another person or entity claiming that same particular membership in legal proceedings previously initiated (by way of illustration and not limitation, a suit to quiet title or probate proceedings), none of the contesting parties may vote on any issue unless the Board of Directors, at a regular or special meeting, determines otherwise.

Should the Board of Directors refuse to recognize all claimants or contestants to a particular Lot, it shall not be counted in determining quorums or majorities, notwithstanding any other provision of these By-laws. By way of illustration and not of limitation, should there normally be sixteen (16) votes one (1) for each Lot and ownership of one Lot be disputed, there would be deemed to be only fifteen (15) votes or Lots in determining quorums or majorities if the Board of Directors does not recognize a claimant or contestant. The Board of Directors shall not be liable to the Owners or disputants, for its decision. By their acceptance of title to a Lot or beneficial interest in a land trust holding title, or claim thereto, Owners and disputing parties agree to not contest the Board's decisions and to acquiesce in said decision and the disputing person or entity shall indemnify and hold harmless the company and the Board of Directors and its Officers of and from all acts and omissions arising.

Any claim disputing ownership shall be in writing, specify the grounds thereof, and shall attach a copy of the complaint or claim previously filed in a court of appropriate jurisdiction.

SECTION 8. VOTING POWERS. Any action may be taken by the Owners at any meeting at which a quorum is present as provided in these By-laws upon an affirmative vote of a majority of the votes represented at the meetings, except as otherwise provided by the Declaration of Covenants, Conditions, Easements and Restrictions for The Village Center Homeowner's Association ("Declaration"), recorded by the Cook County Recorder of Deeds, and these By-laws, or as otherwise provided by law. In such an event, the supermajority required by such shall be required.

### **ARTICLE III**

#### **Meetings of Members**

SECTION 1. ANNUAL MEETING. An annual meeting of the Owners shall be held on the third Wednesday of June of each year for the purpose of electing Directors and for the transaction of such other business as may come before the meeting. If such day be a legal holiday, the meeting shall be held at the same hour on the next succeeding business day. To insure a quorum of Owners the Board of Directors may change the date of a specific annual meeting by simple resolution to a date with in thirty (30) days before or after the third Wednesday of June.

SECTION 2. SPECIAL MEETING. Special meetings of the Owners may be called either by the president or the Board of Directors, or Owners representing twenty percent (20%) or more of the Lots, for the purpose or purpose stated in the call of the meeting.

SECTION 3. PLACE OF MEETING. The Board of Directors may designate any place as the place of meeting for any annual meeting or for any special meeting called by the Board of Directors. If no designation is made or if a special meeting be otherwise called, the place of meeting shall be the registered office of the Corporation in the State of Illinois. The meeting shall be conducted in accordance with Roberts Rules of Order.

SECTION 4. NOTICE OF MEETINGS OF OWNERS. Written notice stating the place, date, and hour of any meeting of Owners shall be delivered to each Owner entitled to vote at such meeting not less than then (10) nor more than thirty (30) before the date of such meeting. An agenda of the meeting or the purpose for which the meeting is called shall be stated in the notice. If mailed, the notice of a meeting shall be deemed delivered when deposited in the United States mail addressed to the member at his or her address as it appears on the records of the Corporation, with first class postage thereon prepaid. When a meeting is adjourned to another time or place, notice need not be given of the adjourned meeting if the

time and place thereof are announced at the meeting at which the adjournment is taken. Notice given to one (1) co-owner of a Lot shall be notice to all other co-owners for all purposes.

Each Owner of a Lot shall receive, at least thirty (30) days prior to the adoption thereof by the Board of Directors, a copy of the proposed annual budget together with an indication of which portions are intended for reserves, capital expenditures or repairs, or payment of real estate taxes. A notice of the date, times and location of the meeting of the Board of Directors during which the annual budget is to be adopted shall accompany the same.

Each Owner of a Lot shall receive notice and agenda of a Board of Directors meeting at least thirty (30) days prior to a meeting of the Board to Directors where the Board of Directors shall consider the adoption of the proposed annual budget and regular assessments pursuant thereto or to adopt a separate, special assessment.

Save in the case of an emergency where an adopted budget or separate assessment would result in the sum of all regular and separate assessments payable in the current fiscal year exceeds one hundred fifteen percent (115%) of all regular and separate assessments payable during the previous fiscal year, the Board of Directors upon written petition delivered within fourteen (14) days of the Board's action by Owners representing a majority interest in each of at least twenty percent (20%) of the Lots, shall call a meeting of Owners to be held within thirty (30) days of the date of delivery of the petition to consider the budget assessment. Unless the Owners representing a majority interest in each of a majority of the Lots vote to reject the budget or assessment, it is ratified.

**SECTION 5. QUORUM.** The Owners representing a majority in interest of a majority of Lots, in person or by proxy, shall constitute a quorum for consideration of such matter at any meeting of Owners; provided that if less than a majority of Lots are represented at said meeting, a majority of the Lots so represented may adjourn the meeting at any time without further notice. If a quorum is present, the affirmative vote of the Owners representing a majority interest of a majority of Lots represented at the meeting shall be the act of the Owners, unless the vote of a greater number or voting by classes is required by the Articles of Incorporation, the Declaration of Covenants, Conditions, Easements and Restrictions for The Lakewood Court Homeowner's Association ("Declaration"), or these By-laws.

At any adjourned meeting at which a quorum shall be present, any business may be transacted which might have been transacted at the original meeting. Withdrawal of Owners from any meeting shall not cause failure of duly constituted quorum at that meeting.

**SECTION 6. VOTING BY BALLOT.** Voting on any question or in any election may be by voice unless the chairman of the meeting shall order or any Owners shall demand that voting be by secret ballot. If ballots are used in an election, the candidates or their representatives shall have the right to be present at the counting of the ballots. Ballots shall show the percentage interest in a Lot and may be cast only by the Owners of that particular percentage interest or his proxy. Ballots may not be mailed in, but must be voted in person or by attending proxy.

**SECTION 7. PROXIES.** Owners may vote by proxy and Owners may designate a person to vote for their Lot by proxy. No proxy, or vote or designation hereunder, shall be recognized or allowed, however, unless it:

- (i) is in writing and is executed by the Owners or his duly authorized attorney in fact:
- (ii) provides on its face the date of its expiration if the date of its expiration is to be other than eleven (11) months after execution. Any proxy without such a date shall expire and be invalid eleven (11) months after its execution.
- (iii) is dated by the Owners or his duly authorized attorney in fact with the date of



execution.

Owners may terminate a proxy prior to the stated or implied expiration of the proxy in a writing delivered to the Board which shall take effect upon such delivery, but such termination shall not invalidate acts taken while the proxy was valid.

## **ARTICLE IV**

### **Board of Directors**

SECTION 1. GENERAL POWERS. The affairs of the Corporation shall be managed by or under the direction of its Board of Directors.

SECTION 2. NUMBER, TENURE AND QUALIFICATIONS. The number of Directors shall be three (3). Each Director shall hold office until the next Owners meeting for the election of Directors following his or her election. Directors need not be residents of Illinois. The number of Directors may be decreased to not fewer than three (3) or increased to any number from time to time by amendment of this Article, unless the Articles of Incorporation provide that a change in the number of Directors shall be made only by amendment of the Articles of Incorporation. No decrease shall have the effect of shortening the term of an incumbent Director. Directors must be Owners or, if nominated by a Corporation, its agent, and if there are multiple owners of a single Lot, only one (1) of the Owners shall be eligible to serve as a member of the board at any one time. Election of Directors shall occur at the annual meeting of the Owners.

Board members may succeed themselves and hold office more than twice, but shall not hold office for more than two (2) terms consecutively.

SECTION 3. REGULAR MEETINGS. A regular annual meeting of the Board of Directors shall be held without other notice than provided by these By-laws, immediately after, and at the same place as, the annual meeting of Owners. The Board of Directors may provide, by resolution, the time and place for holding of additional regular meetings of the board without other notice than such resolution.

The Board of Directors shall meet at least four (4) times a year. No more than one hundred twenty (120) days may pass between board meetings. Failure to hold a meeting of the Board of Directors within one hundred twenty (120) days of a prior board meeting shall constitute cause for removal of the Board of Directors by the Owners.

SECTION 4. SPECIAL MEETINGS. Subject to the notice provision in Section 5 below, special meetings of the Board of Directors may be called by or at the written request of the president or any two Directors. The person or persons authorized to call special meetings of the board may fix any place as the place for holding any special meeting of the board called by them.

SECTION 5. NOTICE. Notice of any regular or special meeting of the Board of Directors shall be given at least forty-eight (48) hours previous thereto by written notice to each Director at his or her address as shown by the records of the Corporation except that no special meeting of directors may remove a Director unless written notice of the proposed removal is delivered to all Directors and at least twenty (20) days prior to such meeting. If mailed, such notice shall be deemed to be delivered when deposited in the United States mail in a sealed envelope so addressed, with first class postage thereon prepaid, if not delivered in person. Notice of any regular or special meeting of the Board of Directors may be waived in writing signed by the person or persons entitled to the notice either before or after the time of the meeting. The attendance of a Director at any meeting shall constitute a waiver of notice of such meeting, except where a Director attends a meeting for the express purpose of objecting to the transaction of any

business because the meeting is not lawfully called or convened. Neither the business to be transacted at, nor the purpose of, any regular or special meeting of the board need be specified in the notice or waiver of notice of such meeting, unless specifically required by law or by these By-laws.

Notice of any regular special meeting of the Board of Directors shall be given at least forty-eight (48) hours previous thereto by written notice to each Owner, or in the case of co-owners of a Lot, to at least one (1) of them. Notice shall be deemed given when mailed, or delivered in person unless a written waiver of such notice is executed by the Owner or Owners entitled to notice pursuant to statute, the Declaration of , or these By-laws.

Additionally, notice of the Owners of a regular or special meeting of the Board of Directors shall be posted in a conspicuous place designated by the board no less than forty-eight (48) hours before the meeting.

**SECTION 6. QUORUM.** A majority of the Board of Directors shall constitute a quorum for the transaction of business at any meeting of the Board of Directors, provided that if less than a majority of the Directors are present at said meeting, a majority of the Directors present may adjourn the meeting to another time without further notice.

**SECTION 7. MANNER OF ACTING.** The act of a majority of the Directors present at a meeting at which a quorum is present shall be the act of the Board of Directors, unless the act of a greater number is required by statute, these By-laws, or the Articles of Incorporation. No Director may act by proxy on any matter.

**SECTION 8. VACANCIES.** Any vacancy occurring in the Board of Directors or any directorship to be filled by reason of an increase in the number of Directors shall be filled by a two-thirds (2/3) vote of the remaining Board of Directors unless the Articles of Incorporation, a statute, or these By-laws provide that a vacancy or a directorship so created shall be filled in some other manner, in which case such provision shall control. A Director elected or appointed, as the case may be, to fill a vacancy shall be elected for the unexpired term of his or her predecessor in office or until the next annual meeting, whichever occurs first.

In the event the Owners of twenty percent (20%) or more of the votes of the Corporation executed a written petition for an Owners meeting to fill a vacancy on the board, the remaining board members may fill a vacancy on the board for a period not to exceed thirty (30) days. An Owners meeting to fill the vacancy on the Board of Directors shall be called no later than thirty (30) days following the filing of the Owners petition with the board.

**SECTION 9. RESIGNATION AND REMOVAL OF DIRECTORS.** A Director may resign at any time upon written notice to the Board of Directors. A Director may be removed with or without cause, as specified by statute. Should a Director cease to be an Owner of a Lot or if the agent of an Owner, the Owner ceases to have an ownership interest in a Lot, the Director shall be deemed to have resigned in writing as of the date they or their principal ceased to be an Owner, the transfer of title being their resignation.

**SECTION 10. INFORMAL ACTION BY DIRECTORS.** The authority of the Board of Directors may be exercised without a meeting if a consent in writing, setting forth the action taken, is signed by all of the Directors entitled to vote.

**SECTION 11. COMPENSATION.** The Board of Directors shall not be compensated, save for their direct expenses incurred in carrying out the board's business. Compensation for expenses incurred may be predicated on sufficient proofs of expense. Compensation may be advanced on such terms as the board may require.

SECTION 12. PRESUMPTION OF ASSENT. A Director of the Corporation who is present at a meeting of the Board of Directors at which action on any corporate matter is taken shall be conclusively presumed to have assented to the action taken unless his or her dissent shall be entered in the minutes of the meeting or unless he or she shall file his or her written dissent to such action with the person acting as the secretary of the meeting before the adjournment thereof or shall forward such dissent by registered or certified mail to the secretary of the Corporation immediately after the adjournment of the meeting. Such right to dissent shall not apply to a Director who voted in favor of such action.

SECTION 13. ENGAGEMENT OR MANAGER. The Board of Directors may, but is not required to, engage the services of a manager or managing agent for the Corporation.

SECTION 14. BUDGET. Each year, from and after the Turnover Date, on or before November 1, the Board will estimate the total amount of maintenance expenses necessary to pay the cost wages, materials, taxes, insurance, services and supplies which will be required during the ensuing calendar year (January 1 – December 31) for the rendering of all services authorized by the Board, together with a reasonable amount considered by the Board to be necessary for the Contingency and Replacement Reserve, and shall, on or before November 15, notify each Owner in writing as to the amount of such estimate ("Estimated Cash Requirement"), with reasonable itemization thereof. The Estimated Cash Requirement shall be assessed equally among all of the Owners. On or before January 1 of the fiscal year, each Owner shall be obligated to pay to the Board, or as it may direct, the monthly assessment made pursuant to this Section. On or before the date of the annual meeting of each calendar year, the Board shall supply to all the Owners an itemized accounting of the maintenance expenses for the preceding fiscal year actually incurred and paid, together with a tabulation of the amounts collected from the Owner, pursuant to assessments made during such year, and showing the net amount over or short of the actual expenditure, plus reserves. The Board shall, upon demand at any time, furnish a certificate in writing signed by an officer or agent of the Association setting forth whether the assessments on a specified Lot have been paid. Such certificates shall be conclusive evidence of payment of any assessment therein.

SECTION 15. OPEN MEETINGS OF THE BOARD. The meetings of the Board of Directors shall be open to any Owner, except for that portion of a meeting held to discuss:

- (i) actual or threatened litigation in a court or administrative tribunal:
  - (ii) information regarding the appointment, employment, or dismissal of an employee,
- or:
- (iii) violations of rules or regulations of the Association or an Owner's unpaid share of common expenses.

Any vote on these matters, however, shall occur in a meeting or portion thereof open to any Owner.

Any Owner may, by tape, film, or other means, record the meetings or portions thereof of the Board of Directors that are open to the Owners. The Board of Directors may, by resolution, prescribe rules or regulations for the making of such recordings.

SECTION 16. CANDIDATES FOR THE BOARD. The Board of Directors may disseminate to Owners biographical and background information about candidates for election to the board if reasonable efforts to identify all candidates has been made and the candidates are given the opportunity to include biographical and background information in the information to be disseminated. The board shall not express a preference for the one candidate over another.

SECTION 17. PROXIES DISTRIBUTED BY THE BOARD. Any proxy for voting in board elections, if any, give by the board shall permit the Owners to: designate any person as the representative for that Lot's vote; express their preference for any of the known candidates, and: write in a name for election.



## **ARTICLE V**

### **Officers**

SECTION 1. OFFICERS. The Officers of the Corporation shall be a president, one or more vice presidents (the existence and number thereof to be and such determined by the Board of Directors), a Treasurer, a secretary, and such other Officers as may be elected or appointed by the Board of Directors. The president, secretary and Treasurer shall be elected from among the Directors.

Officers whose authority and duties are not prescribed in there By-laws shall have the authority and perform the duties prescribed, from time to time, by the Board of Directors. No person may hold two or more offices.

SECTION 2. ELECTION AND TERM OF OFFICE. The Officers of the Corporation shall be elected annually by the Board of Directors at the regular annual meeting of the Board of Directors for a period not to exceed holding of the next regular annual meeting of the Board of Directors. If the election of Officers shall not be held as such meeting, such election shall be held as soon thereafter as conveniently may be. Vacancies may be filled or new offices created and filled at any meeting of the Board of Directors. Each Officer shall hold office until his or her successor shall have been duly elected and qualified, or until he or she shall resign or be removed in the manner hereinafter provided. Election of an Officer shall not in of itself created contract rights.

Officers may succeed themselves but shall not remain in the same office for more than two (2) successive terms.

Officers must be Owners or in the event an Owner is not a person or the beneficiary of an Illinois land trust, the agent of the Owner with their agency designated in writing.

No two (2) Officers may be Owners of the same Lot.

SECTION 3. REMOVAL. Any Officer elected or appointed by the Board of Directors may be removed by the Board of Directors whenever in its judgment the best interests of the Corporation would be served thereby, but such removal shall be without prejudice to the contract rights, if any, of the person so removed.

SECTIONS 4. PRESIDENT. The president shall be the principal executive officer of the Corporation. Subject to the direction and control of the Board of Directors, he or she shall be in charge of the business and affairs of the Corporation; he or she shall see that the resolutions and directives of the Board of Directors are carried into effect except in those instances in which that responsibility is assigned to some other person by the Board of Directors; and, in general, he or she shall discharge all duties incident to the office of president and such other duties as may be prescribed by the Board of Directors. He or she shall preside at all meetings of the members and of the Board of Directors. Except in those instances in which the authority to execute is expressly delegated to another Officer or agent of the Corporation or a different mode of execution is expressly prescribed by the Board of Directors or these By-laws, he or she may execute for the Corporation any contracts, deeds, mortgages, bonds, or other instruments which the Board of Directors has authorized to be executed, and he or she may accomplish such execution either under or without the seal of the Corporation and either individually or with the Secretary, any assistant Secretary, or any other Officer thereunto authorized by the Board of Directors, according to the requirements of the form of the instrument. He or she may vote all securities which the Corporation is

entitled to vote except as and to the extent such authority shall be vested in a different Officer or agent of the Corporation by the Board of Directors.

SECTION 5. VICE PRESIDENT. The Vice-President, should the office be created (or in the event there be more than one Vice-President, each of the Vice-Presidents) shall assist the president in the discharge of his or her duties as the president may direct and shall perform such other duties as from time to time may be assigned to him or her by the president of the Board of Directors. In the absence of the president or in the event of his or her inability or refusal to act, the Vice-President (or in the event there be more than one Vice-President, the Vice-Presidents, in the order designated by the Board of Directors, or by the president if the Board of Directors has not made such a designation, or in the absence of any designation, then in the order of their seniority of tenure) shall perform the duties of the president and when so acting, shall have all the powers of and be subject to all the restrictions upon the president. Except in those instances in which the authority to execute is expressly delegated to another Officer or agent of the Corporation or a different mode of execution is expressly prescribed by the Board of Directors or these By-laws, the Vice-President (or any of them if there are more than one) may execute for the Corporation any contracts, deeds, mortgage, bonds or other instruments which the Board of Directors has authorized to be executed, and he or she may accomplish such execution either under or without the seal of the Corporation and either individually or with the Secretary, any assistant Secretary, or any other Officer thereunto authorized by the Board of Directors, according to the requirements of the form of the instrument.

SECTION 6. TREASURER. The Treasurer shall be the principal accounting and financial officer of the Corporation. He or she shall:

- (a) have charge of and be responsible for the maintenance of adequate books of account for the Corporation;
- (b) have charge and custody of all funds and securities of the Corporation, and be responsible therefor, and for the receipt and disbursement thereof; and;
- (C) perform all the duties incident to the office of Treasurer and such other duties as from time to time may be assigned to him or her by the president or by the Board of Directors.

If required by the Board of Directors, the Treasurer shall give a bond for the faithful discharge of his or her duties in such sum and with such surety or sureties as the Board of Directors shall determine.

SECTION 7. SECRETARY. The Secretary shall:

- (i) record the minutes of the meetings of the Owners and the Board of Directors in one or more books provided for that purpose;
- (ii) see that all notices are duly given in accordance with the provisions of these By-laws or as required by law;
- (iii) be a custodian of the corporate records and of the seal of the Corporation;
- (iv) keep register of the post office address of each Owner which shall be furnished to the secretary by such Owner;
- (v) mail and receive all notices and execute amendments to association instruments as provided therein, and;
- (vi) perform all duties incident to the office of secretary and such other duties as from time to time may be designated to him or her by the president or by the Board of Directors.

SECTION 8. ASSISTANT TREASURERS AND ASSISTANT SECRETARIES. The assistant Treasurers and assistant secretaries shall perform such duties as shall be assigned to them by the Treasurer or the secretary, respectively, or by the president or the Board of Directors. If required by the Board of Directors,

the assistant Treasurers shall give bonds for the faithful discharge of their duties in such sums and with such sureties as the Board of Directors shall determine.

## **ARTICLE VI**

### **Committees, Commissions and Advisory Boards**

SECTION 1. COMMITTEES. The Board of Directors, by resolution adopted by a majority of the Directors in office, may designate one or more committees each of which will consist of two (2) or more Directors and such other persons as the Board of Directors designates provided that a majority of each committee's membership are Directors. The committees, to the extent provided in said resolution and not restricted by law, shall have and exercise the authority of the Board of Directors in the management of the Corporation; but the designation of such committees and the delegation thereto of authority shall not operate to relieve the Board of Directors, or any individual Director, of any responsibility imposed upon it, him or her by law.

SECTION 2. COMMISSIONS OR ADVISORY BODIES. Commissions or advisory bodies not having and exercising the authority of the Board of Directors in the Corporation may be designated or created by the Board of Directors and shall consist of such persons as the Board of Directors designates. A commission or advisory body may or may not have Directors as members, as the Board of Directors determines. The commission or advisory body may not act on behalf of the Corporation or bind it to any actions but may make recommendations to the Board of Directors or to the Officers of the Corporation.

SECTION 3. TERM OF OFFICE. Each member of a committee, advisory board or commission shall continue as such until the next annual meeting of the members of the Corporation and until his or her successor is appointed, unless the committee, advisory board or commission shall be sooner terminated, or unless such member be removed from such committee, advisory board or commission by the Board of Directors, or unless such member shall cease to qualify as a member thereof.

SECTION 4. CHAIRMAN. One member of each committee, advisory board or commission shall be appointed chairman.

SECTION 5. VACANCIES. Vacancies in the membership of any committee, advisory board or commission may be filled by appointments made in the same manner as provided in the case of the original appointments.

SECTION 6. QUORUM. Unless otherwise provided in the resolution of the Board of Directors designating a committee, advisory board or commission, a majority of the whole committee, advisory board or commission shall constitute a quorum and the act of a majority of the members present at a meeting at which a quorum is present shall be the act of the committee, advisory board or commission.

SECTION 7. RULES. Each committee, advisory board or commission may adopt rules for its own government not inconsistent with these By-laws or with rules adopted by the Board of Directors.

SECTION 8. INFORMAL ACTION. The authority of a committee may be exercised without a meeting if a consent writing, setting forth the action taken, is signed by all of the members entitled to vote.

SECTION 9. MASTER METERING PERMITTED. The Board of Directors may establish and maintain a system of master metering of public utility services and collect payments therewith, subject to the requirements of the Illinois Tenant Utility Payment Disclosure Act, as amended.



## **ARTICLE VII**

### **Contracts, Checks, Deposits and Funds**

SECTION 1. CONTRACTS. The Board of Directors may authorize any Officer or Officers, agent or agents of the Corporation, in addition to the Officers so authorized by these By-laws, to enter into any contract or execute and deliver any instrument in the name of and on behalf of the Corporation and such authority may be general or confined to specific instances.

SECTION 2. PROHIBITED CONTRACT PARTIES. The Board of Directors shall not enter into any contract with a current board member or with a Corporation or partnership in which a twenty-five percent (25%) or greater interest is held by: a board member or one (1) or more of a current board member's immediate family without the approval of the Owners as set forth below. Such persons and entities shall be known as "Prohibited Contract Parties."

The Board of Directors may enter into a contract with a Prohibited Contract Party only if:

- (i) written notice is given to the Owners within twenty (20) days after a decision is made to enter into such a contract;
- (ii) the Owners are given twenty (20) days after the date of notice to file a petition executed by Owner representing twenty percent (20%) of the votes of the Corporation for an election to approve or disapprove the contract, and;
- (iii) such an election is held within thirty (30) days after the filing of the petition.

For the purposes of this section, the term "immediate family" means the spouse, parents and children of the board member.

SECTION 3. RESERVES. The Board shall build up and maintain adequate reserves for the replacement of capital improvements, other authorized capital expenditures, and for unforeseen expenditures. Capital improvements and expenditures that may become necessary during the year shall be charged first to said reserves. Any expenditure from the reserves having a total cost in excess of Five Thousand Dollars 00/100 (\$5,000.00) shall require the prior approval of the Members representing a majority interest in each of two-thirds (2/3) of the Lots.

Should the reserves prove inadequate for any reason, including nonpayment of any Owner's assessment, the board may at any time, levy a special assessment assessed equally among the Lots. The board shall serve notice of a special assessment of all Lots by a statement in writing giving the amount and reasons therefore, and such special assessment shall become effective and fully payable ten (10) days after the delivery or mailing of such notice of assessment.

SECTION 4. CHECKS, DRAFTS, ETC. All checks, drafts or other orders for the payment of money, notes or other evidences of indebtedness issued in the name of the Corporation shall be signed by such Officer or Officers, agent or agents of the Corporation and in such manner as shall from time to time be determined by resolution of the Board of Directors. In the absence of such determination by the Board of Directors, such instruments shall be signed by the Treasurer or an assistant Treasurer and countersigned by the president or a Vice-President of the Corporation.

SECTION 5. DEPOSITS. All funds of the Corporation shall be deposited from time to time to the credit of the Corporation in such banks, trust companies, or other depositories as the Board of Directors may select.

SECTION 6. GIFTS. The Board of Directors may accept on behalf of the Corporation any contribution, gift, bequest or devise for the general purposes or of any special purpose of the Corporation.

SECTION 7. PREMISES LIABILITY INSURANCE. The Corporation shall maintain, in its own name or as an additional insured under the name of another, premises liability insurance in an amount of at least one million dollars (\$1,000,000).

SECTION 8. DIRECTOR AND OFFICER AND OTHER FORMS OF LIABILITY INSURANCE. The Corporation shall maintain, in its own name or as an additional insured under the name of another, Director and Officer liability insurance in an amount of at least one million dollars (\$1,000,000). It may, at the discretion of the Directors, engage such other insurance coverage as it deems prudent.

## **ARTICLE VIII**

### **Maintenance, Repair and Replacement of Easement Areas**

SECTION 1. ESTIMATES. The Board of Directors shall where practicable obtain three (3) estimates for any maintenance, repair or replacement of Easement Areas, as defined in Article III of the Declaration, not otherwise provided for in any contract or agreement with The Lakewood Court Homeowner's Association.

SECTION 2. VOUCHER APPROVAL. All vouchers for payment of expenses for any maintenance, repair or replacement of Easement Areas not otherwise provided for in any contract or agreement with The Lakewood Court Homeowner's Association shall be presented to the Board of Directors for approval prior to disbursement.

SECTION 3. EASEMENT AREA INSURANCE. The Corporation shall maintain, in its own name or as an additional insured under the name of another, insurance for damage by or to the Easement Areas of the Association.

Having and maintaining such insurance shall not limit or waive the requirement in these By-laws that the Board of Directors set and maintain a reserve for capital expenditures, repair and improvement.

## **ARTICLE IX**

### **Books and Records**

The Corporation shall keep correct and complete books and records of account and shall also keep minutes of the proceedings of its members, Board of Directors, and committees having any of the authority of the Board of Directors, and shall keep at the registered or principal office a record giving the names and addresses of the members entitled to vote. All books and records of the Corporation may be inspected by any member, or his or her agent or attorney for any proper purpose at any reasonable time.

## **ARTICLE X**

### **Fiscal Year**

The fiscal year of the Corporation shall be from January 1 to December 31 unless fixed otherwise by resolution of the Board of Directors.

## **ARTICLE XI**

### **Dues, Fees and Assessments**

SECTION 1. MANNER OF ASSESSING. The Board of Directors shall assess all dues, fees, levies, assessments and special assessments in equal portions to each Lot, save for fines and levies penalizing the acts or omissions of a particular Owner, which shall be assessed solely against that Owner's Lot.

SECTION 2. PAYMENT. Payment by the Owners of each Lot of dues, fees, assessments, special assessments, levies and fines shall be in accordance with the notice of the same or the Declaration or these By-laws, or as otherwise provided by law.

SECTION 3. DEFAULT. When any Owner fails to pay all or any part of any dues, fees, assessments, special assessments, levies or fines, the Board may authorize imposing liens on title to the Lot, or actions at law, equity or otherwise against the Owner or the Lot. The Owner shall be liable to the Corporation for all reasonable attorney's fees and costs and court costs incurred in the prosecution or defense of a suit at law, equity or otherwise regarding the same.

SECTION 4. FOREBEARANCE. The Corporation shall have no authority to forebear the payment of any assessment or levy.

## **ARTICLE XII**

### **Seal**

The corporate seal shall have inscribed thereon the name of the Corporation and the words "Corporate Seal, Illinois". The seal may be used by causing it or a facsimile thereof to be impress or affixed or in any other manner reproduced, provided that the affixing of the corporate seal to an instrument shall not give the instrument additional force or effect, or change the construction thereof, and the use of the corporate seal is not mandatory.

## **ARTICLE XIII**

### **Waiver of Notice**

Whenever any notice is required to be given under the provisions of the Illinois General Not-For-Profit Corporation Act of 1986, as amended, or under the provisions of the Articles of Incorporation or the By-laws of the Corporation, a waiver thereof in writing, signed by the person or persons entitled to such notice, whether before or after the time stated therein, shall be deemed equivalent to the giving of such notice. Attendance at any meeting shall constitute waiver of notice thereof unless the person at the meeting objects to the holding of the meeting because proper notice was not given.

## **ARTICLE XIV**



## **Indemnification**

### **SECTION 1. INDEMNIFICATION IN ACTIONS OTHER THAN BY OR IN THE RIGHT OF THE CORPORATION.**

The Corporation may indemnify any person who was or is a party, or is threatened to be made a party to any threatened, pending or completed action, suit or proceeding, whether civil, criminal, administrative or investigative (other than an action by or in the right of the Corporation) by reason of the fact that he or she is or was a Director, Officer, employee or agent of another Corporation, or is or was serving at the request of the Corporation as a Director, Officer, employee or agent of another Corporation, partnership, joint venture, trust or other enterprise, against expenses (including attorneys' fees), judgments, fines and amounts paid in settlement actually and reasonably incurred by such person in connection with such action suit or proceeding, if such person acted in good faith and in a manner he or she reasonably believed to be in, or not opposed to, the best interests of the Corporation, and, with respect to any criminal action or proceeding, had no reasonable cause to believe his or her conduct was unlawful. The termination of any action, suit or proceeding by judgment, order, settlement, conviction, or upon a plea of *nolo contendere* or its equivalent, shall not, of itself, create a presumption that the person did not act in good faith and in a manner which he or she reasonably believed to be in or not opposed to the best interests of the Corporation or, with respect to any criminal action or proceeding, that the person had reasonable cause to believe that his or her conduct was unlawful.

### **SECTION 2. INDEMNIFICATION IN ACTIONS BY OR IN THE RIGHT OF THE CORPORATION.**

The Corporation may indemnify any person who was or is a party, or is threatened to be made a party to any threatened, pending or completed action or suit by or in the right of the Corporation to procure a judgment in its favor by reason of the fact that such person is or was a Director, Officer, employee or agent of the Corporation, or is or was serving at the request of the Corporation as a Director, Officer, employee or agent of another Corporation, partnership, joint venture, trust or other enterprise, against expenses (including attorneys' fees) actually and reasonably incurred by such person in connection with the defense or settlement of such action or suit, if such person acted in good faith and in a manner he or she reasonably believed to be in, or not opposed to, the best interests of the Corporation, provided that no indemnification shall be made in respect of any claim, issue or matter as to which such person shall have been adjudged to be liable for negligence or misconduct in the performance of his or her duty to the Corporation, unless, and only to the extent that the court in which such action or suit was brought shall determine upon application that despite the adjudication of liability, but in view of all the circumstances of the case, such person is fairly and reasonably entitled to indemnity for such expenses as the court shall deem proper.

**SECTION 3. RIGHT TO PAYMENT OF EXPENSES.** To the extent that a Director, Officer, employee or agent of the Corporation has been successful, on the merits or otherwise, in the defense of any action, suit or proceeding referred to in Sections 1 and 2 of this Article, or in defense of any claim, issue or matter therein, such person shall be indemnified against expenses (including attorneys' fees) actually and reasonably incurred by such person in connection therewith. The procurement of insurance covering said expenses by this Corporation, in amounts deemed reasonable by the Board of Directors, shall constitute compliance with and discharge of, the obligations arising under this section.

**SECTION 4. DETERMINATION OF CONDUCT.** Any indemnification under Sections 1 and 2 of the Article (unless ordered by a court) shall be made by the Corporation only as authorized in the specific case, upon a determination that indemnification of the Director, Officer, employee or agent is proper in the circumstances because he or she has met the applicable standard of conduct set forth in Sections 1 or 2 of this Article. Such determination shall be made:

- (a) by the Board of Directors by a majority vote of a quorum consisting of Directors who were not parties to such action, suit or proceeding, or;
- (b) if such a quorum is not obtainable, or even if obtainable, if a quorum of disinterested

- Directors so directs, by independent legal counsel in a written opinion, or;
- (c) by the members entitled to vote, if any.

SECTION 5. PAYMENT OF EXPENSES IN ADVANCE. Expenses incurred in defending a civil or criminal action, suit or proceeding may be paid by the Corporation in advance of the final disposition of such action, suit or proceeding, as authorized by the Board of Directors in the specific case, upon receipt of an undertaking by or on behalf of the Director, Officer, employee or agent to repay such amount, unless it shall ultimately be determined that he or she is not entitled to be indemnified by the Corporation as authorized in this Article.

SECTION 6. INDEMNIFICATION NOT EXCLUSIVE. The indemnification not provided by this Article shall not be deemed exclusive of any other rights to which those seeking indemnification may be entitled under any by-law, agreement, vote of members or disinterested Directors, or otherwise, both as to action in his or her official capacity and as to action in another capacity while holding such office, and shall continue as to a person who has ceased to be a Director, Officer, employee or agent, and shall inure to the benefit of the heirs, executors and administrators of such a person.

SECTION 7. INSURANCE. The Corporation shall purchase and maintain insurance on behalf of any person who is or was a Director, Officer, employee or agent of the Corporation, or who is or was serving at the request of the Corporation as a Director, Officer, employee or agent of another Corporation, partnership, joint venture, trust or other enterprise, against any liability asserted against such person and incurred by such person in any such capacity, or arising out of his her status as such, whether or not the Corporation would have the power to indemnify such person against such liability under the provisions of the Article. The insurance shall be in the face value of a minimum of one million dollars (\$1,000,000) and shall cover both acts and omissions.

SECTION 8. NOTICE TO MEMBERS. If the Corporation has paid indemnity or has advanced expenses under this Article to a Director, Officer, employee or agent, the Corporation shall report the indemnification or advance in writing to any Owners entitled to vote with or before the notice of the next meeting of the members entitled to vote.

SECTION 9. REFERENCES TO CORPORATION. For purposes of this Article, references to "the Corporation" shall include, in addition to the surviving Corporation, any merging Corporation (including any Corporation having merged with a merging Corporation) absorbed in a merger which, if its separated existence had continued, would have had the power and authority to indemnify its Directors, Officers, employees, or agents, so that any person who was a Director, Officer, employee or agent of such merging Corporation, or was serving at the request of such merging Corporation as a Director, Officer, employee or agent of another Corporation, partnership, joint venture, trust or other enterprise, shall stand in the same position under the provisions of the Article with respect to the surviving Corporation as such person would have with respect to such merging Corporation if its separate existence had continued.

SECTION 10. OTHER REFERENCES. For purposes of this Article, references to "other enterprises" shall include employee benefit plans; references to "fines" shall include any excise taxes assessed on a person with respect to an employee benefit plan; and references to "serving at the request of the Corporation" shall include any service as a Director, Officer, employee or agent of the Corporation which imposes duties on, or involves services by such Director, Officer, employee, or agent with respect to an employee benefit plan, its participants, or beneficiaries. A person who acted in good faith and in a manner he or she reasonably believed to be in the best interests of the participants and beneficiaries of an employee benefit plan shall be deemed to have acted in a manner "not opposed to the best interests of the Corporation" as referred to in this Article.

## **ARTICLE XV**

### **Amendments**

SECTION 1. POWER TO AMEND. The powers to alter, amend, or repeal the By-laws or adopt new By-laws shall be vested in the Board of Directors unless other wise provided in the Declaration, Articles of Incorporation or these By-laws. Such action may be taken at a regular to special meeting for which written notice of the purpose shall be given. The By-laws may contain any provisions for the regulation and management of the affairs of the Corporation not inconsistent with law, the Articles of Incorporation or the Declaration. If there is any inconsistency or conflict between these By-laws and the aforesaid Declaration, the provisions of the Declaration shall control.

SECTION 2. RECORDING OF AMENDMENTS. Any amendment to these By-laws, together with a fully executed copy of the resolution of the Board of Directors approving said amendment, shall be recorded with the Recorder of Deeds of Cook County, Illinois.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2004 in Chicago, Cook County, Illinois:

\_\_\_\_\_  
\_\_\_\_\_

**Association**

\_\_\_\_\_

**Being all the Directors of  
The Village Center Townhomes Homeowner's**



# EXHIBIT B

## 5.1 THE BURR RIDGE PARK SUBAREA

The Burr Ridge Corporate Park occupies one of the most prominent locations in Burr Ridge as evidenced by its location halfway between the north and south boundaries of the Village and at the primary entryway to the Village – the intersection of Interstate 55 and County Line Road. Its location makes it the most accessible location in the Village for residents, businesses, and visitors. Its location and development opportunities also make it the best location for the development of a Village Center or what may be more commonly described as “Downtown Burr Ridge.” Finally, its location is such that potential negative impacts on existing residential districts will be minimal or non-existent.

The Village Center is a unique district separate and distinct from the Village’s residential and business districts and which may be described as:

**A mixed use district that serves as the primary place of economic and social interaction within the community; where people shop, live, socialize, and work, and which is easily identified as unique within the community. The wide array of land uses and activities in the Village Center contributes to the creation of a unique place characterized by diverse and high quality physical, social, and economic interactions.**

In pursuit of this vision for the Village Center, this sub-area plan includes the following policies and policy goals for the Burr Ridge Park Sub-Area:

- Preferred land uses within the Burr Ridge Park are designated by the attached land use map entitled Figure 5: Land Use Plan – Burr Ridge Park Sub Area and as further described by the policies herein.
- The development of a Village Center should include and be limited to the four blocks designated in Figure 5 as the Village Center and listed on the attached Table 5.1. In regards to each of these four blocks, the following policy statements are provided:
  - LifeTime Fitness/Opus Block: A town center development including 20 of the block’s 30 acres is pending before the Village concurrent with this Comprehensive Plan Amendment. The proposed town center project will create the “Main Street” for the Village Center. Further sub-area planning will need to address how the LifeTime Fitness portion of the block may complement the physical character of the Village Center.
  - TCF Bank Block: It is recognized that the owner of this 9 acre property has the right under existing zoning to construct additional office space. It is anticipated that the creation of a Village Center will enhance the value of this property and create additional development opportunities for this property. This property may also be key to maintaining the viability of the Village Center over time as new retail formats seek to locate in the Village Center. The continued sub-area planning recommended

herein should further address appropriate land uses and the physical character of this block.

- County Line Square/Pace Block: The 1999 Burr Ridge Comprehensive Plan recommended the conversion of County Line Square into a pedestrian oriented town center. This amendment endorses that concept and suggests that such re-development would be complementary to the proposed Village Center.
  - Harris Bank Block: This block consists of only two buildings, and it is unlikely to see any dramatic changes in land use or physical character. The importance of the block relative to the Village Center lies in its location at the gateway to the Village Center. The continued sub-area planning should focus on the physical characteristics of this block relative to its gateway features and the need for physical connections to the remainder of the Village Center.
- The Village Center should be a retail environment with shops, restaurants, entertainment, and businesses that provide commercial services for Burr Ridge residents, businesses, and visitors but may also include a variety of uses including offices, multiple-family residences in mixed use buildings or in mixed use environments, and if possible, civic or governmental uses.
  - Residential uses are to be in mixed use environments and complementary to the commercial environment of the Village Center rather than representing the primary land use character of the Village Center.
  - Architecture, streets, landscaping, building configuration, and the general physical environment of the Village Center should primarily be oriented toward the comfort and safety of pedestrians while ensuring ease of circulation and parking for motorists.
  - Multi-story buildings are preferred within the Village Center for their contributions to the creation of enclosed spaces and for opportunities for a mixture of activities.
  - While the primary means of access to the Village Center should remain from County Line Road, an improved means of vehicular access to the Village Center should be provided from Wolf Road in a manner that reduces the impact on the adjacent residential areas.
  - Development within the Village Center at the south end of the TCF Block and the east end of the County Line Square/Pace Block should be designed to minimize negative impacts and to complement the adjacent Chasemoor townhomes.
  - The development of the areas within the Burr Ridge Park but outside the four-block Village Center should remain used or planned for office development. Additional small office buildings that are three stories in height, as permitted under the existing O-2 District zoning, are the preferred use for these properties.

- Pedestrian connections within the Village Center and between the Village Center and surrounding areas should be strengthened and further enhanced.

This amendment to the Village of Burr Ridge Comprehensive Plan is intended to establish general goals and policies for the creation of a Village Center. Upon adoption of this amendment, a detailed sub-area plan should be developed by the Village that further considers means for implementation of these goals and policies and provides greater detail about the preferred mix of land uses, the enhancement of a pedestrian environment, and land use and appropriate development policies for the adjacent areas within and adjacent to the Burr Ridge Park.

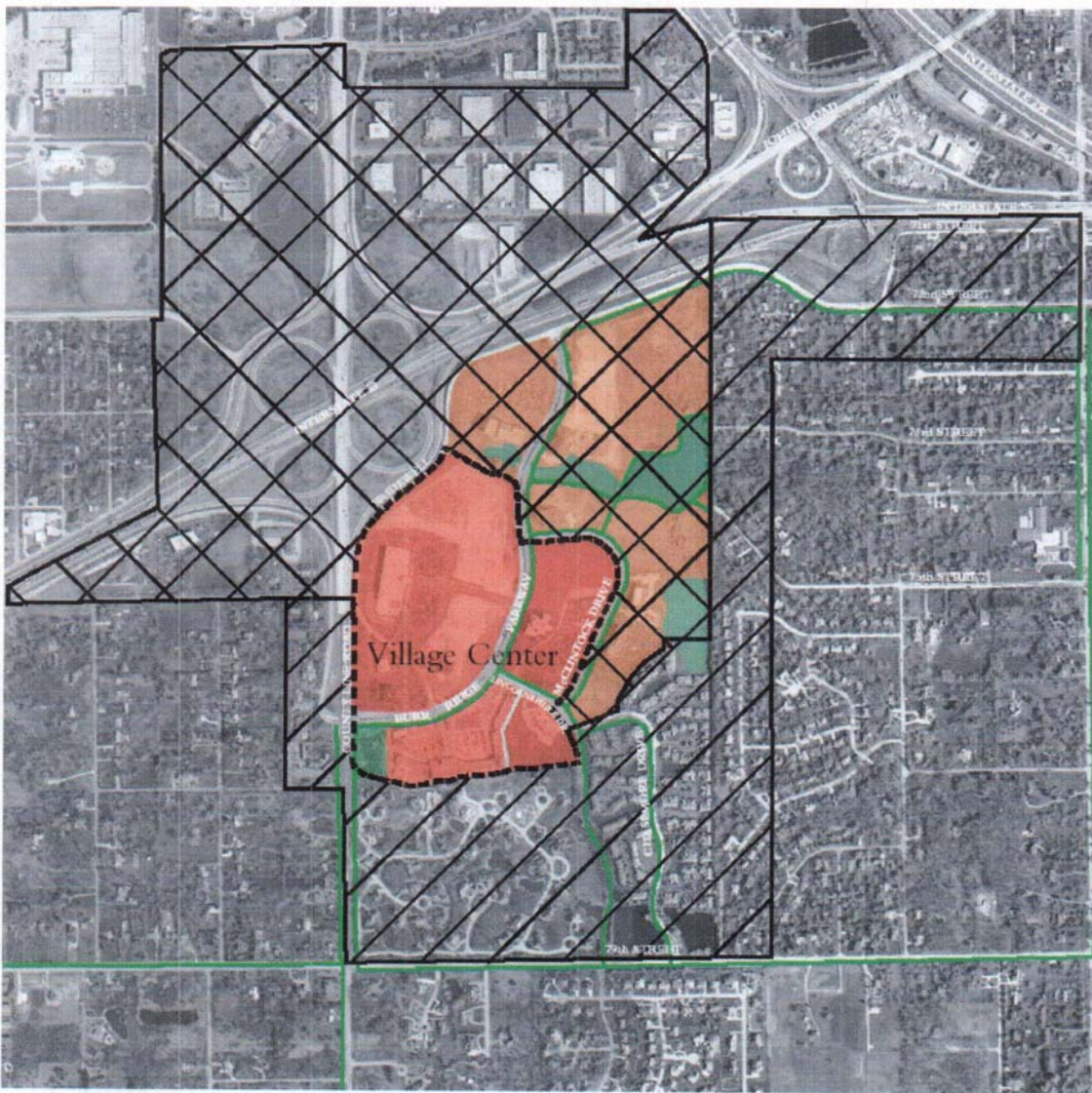


**Table 5.1 List of Blocks and Properties in the Village Center**

<b>Address of Property</b>	<b>Owner; Occupant; or Name</b>	<b>Site Area</b>	<b>Zoning</b>	<b>PIN No.</b>	<b>Description</b>
<b>Burr Ridge Village Center: LifeTime/Opus Block</b>					
501-1201 Burr Ridge Parkway	Opus North on behalf of Avgeris and Associates	21 Acres	O-2 Office and Hotel	18-30-300-028	Vacant Land – Town Center Proposed
601 Burr Ridge Parkway	LifeTime Fitness	10 Acres	O-2 Office and Hotel	18-30-300-029	108,000 square foot Private Health and Fitness Club
<b>Burr Ridge Village Center: TCF Block</b>					
700 McClintock Drive	TCF Bank	5 Acres	L-I; Light Industrial	12-30-302-001 12-30-302-002	6-story 75,000 sq. ft. office building
800 McClintock Drive	TCF Bank	4 Acres	L-I; Light Industrial	18-30-302-004 18-30-302-026	Vacant
<b>Burr Ridge Village Center: County Line Square Block</b>					
20-324 Burr Ridge Parkway	County Line Square Shopping Center	7.2 Acres	B-1 Retail Business	12-30-305-003 12-30-301-001	100,931 square foot strip retail center
50 Burr Ridge Parkway	County Line Square Outlot	0.5 Acres	B-1 Retail Business	12-30-305-003	3,100 square foot office building
350 Burr Ridge Parkway	County Line Square Outlot	2.5 Acres	B-1 Retail Business	18-30-305-004	Vacant
7650 Lincolnshire Dr.	Pace Park and Ride	4.4 Acres	B-1 Retail Business	12-30-301-002	165 space Park and Ride Lot
<b>Burr Ridge Village Center: Harris Bank Block</b>					
101 Burr Ridge Parkway	Harris Bank and Offices	1.8 Acres	B-2 General Business	12-30-304-004	3-story; 26,000 square feet – retail bank and offices
201 Bridewell Drive	Max'n Erma's	1.8 Acres	B-2 General Business	12-30-304-003	7,312 square foot restaurant

# LAND USE PLAN

Burr Ridge Park Subarea – Burr Ridge, Illinois



## LEGEND

- Mixed Use (Retail, Office and Residential)
- Office/Hotel
- Open Space/Detention
- Complementary Area
- Transitional Area
- Pathways
- Village Center



	<b>THOMPSON DYKE &amp; ASSOCIATES, LTD.</b>		
	<i>Land Planning</i>	211 W. Jackson Blvd., Suite 500	Chicago, Illinois 60604-3136
	<i>Landscape Architecture</i>	Telephone: 312.644.6500	Fax: 312.644.6501
	<i>Urban Planning</i>	E-Mail: <a href="mailto:info@tda.com">info@tda.com</a>	Fax: 312.644.6501

FEBRUARY 2005

# EXHIBIT C

## ORDINANCE NO. A-834-27-08

### AN ORDINANCE AMENDING PLANNED UNIT DEVELOPMENT

#### ORDINANCE NO. A-834-03-06

#### PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE (Z-20-2008: 901 McClintock Drive - Schultz)

**WHEREAS**, an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

**WHEREAS**, said Plan Commission of this Village held a public hearing on the question of granting said special use on November 17, 2008 at the Burr Ridge Village Hall at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in the Suburban Life, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

**WHEREAS**, the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

**NOW THEREFORE, Be It Ordained** by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public

hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 901 McClintock Drive is G. Schultz & Associates (hereinafter "Petitioner"). The Petitioner requests special use approval for an amendment to Planned Unit Development Ordinance No. A-834-03-06 and seeks final Planned Unit Development approval to permit two 3-story office buildings with associated off-street parking areas, final building elevations, and final landscaping plan.
- B. That the special use does not materially impact the character or intent of the Planned Unit Development as it represents only a change in the configuration of the building floor area and not a change in the overall amount of floor area or a change in land use.
- C. That the buildings and landscaping and other site improvements are consistent in design and character to the original PUD Ordinance.

**Section 3:** That Special Use approval for an amendment to Planned Unit Development Ordinance No. A-834-03-06 and for approval of final plans to permit two 3-story office buildings with associated off-street parking areas, final building elevations, and final landscaping plan ***is hereby granted*** for the property commonly known as 901 McClintock Drive and legally described as follows:



Lot Two (2) in the Plat of Resubdivision of Lot 2 in the Burr Ridge Associates Subdivision, Being a Resubdivision in the West Half of Section 30, Township 38 North, Range 12, East of the Third Principal Meridian, According to the Plat Recorded June 18<sup>th</sup>, 2003 A.D., as Document No. 0316945066, in Cook County, Illinois

**PERMANENT REAL ESTATE INDEX NUMBER: 18-30-303-018**

**Section 4:** That the approval of this special use is subject to compliance with the following conditions:

- A. All improvements shall comply with the site plan attached hereto as **Exhibit A.**
- B. Landscaping shall comply with the landscaping plan attached hereto as **Exhibit B** except that the final landscaping plan shall be subject to review and approval by Village staff and shall be modified as follows:
  - 1. Additional plant materials may be required along the east lot line to provide a year round screening of the parking lot from the adjacent residential area;
  - 2. A minimum of 12 more shade trees shall be provided in the area between the lake and pathway. The type, size, and location of these trees shall be subject to staff approval.
  - 3. The berm along the east lot line shall be extended to wrap around the northeast corner of the parking lot to provide additional screening of the parking lot from the residential area.
  - 4. The existing large stones located on the property shall be re-located and utilized as outcroppings in the final landscaping plan.
  - 5. In addition to the two benches and trash receptacles shown on the plan, two additional benches and trash receptacles shall be provided on the edge of the lake. These lakeside seating areas shall be landscaped subject to the approval of the Village staff.
- C. The exterior of the building shall comply with the building elevations attached hereto as **Exhibit C** including but not limited to colors, materials, and the provision of roof top screening.

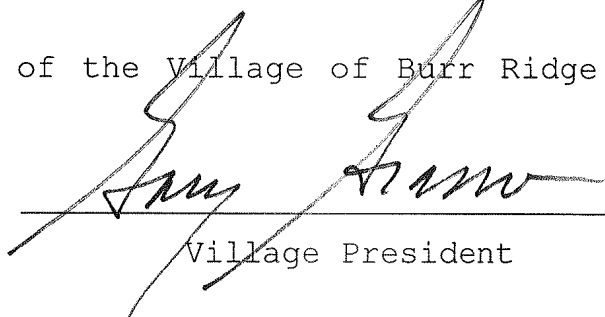
- D. The existing asphalt sidewalk adjacent to McClintock Drive shall be replaced with a concrete sidewalk and the pathway adjacent to the lake shall be replaced with a concrete sidewalk including but not limited to the extension of the pathway to Arbor Drive; the lakeside pathway shall also be extended to the north property line as per the approved site plan; and all sidewalks shall be built in compliance with the Village's Subdivision Ordinance regulations.
- E. The pathway replacement extending to Arbor Drive shall be re-configured to allow sight lines from Arbor Drive to the lakefront area.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

**PASSED** this 8<sup>th</sup> day of December, 2008, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

<b>AYES:</b>	<b>6</b>	<b>-</b>	<b>Trustees Paveza, Wott, Sodikoff, Allen, Grela, DeClouette</b>
<b>NAYS:</b>	<b>0</b>	<b>-</b>	<b>None</b>
<b>ABSENT:</b>	<b>0</b>	<b>-</b>	<b>None</b>

**APPROVED** by the President of the Village of Burr Ridge on this 8<sup>th</sup> day of December, 2008.

  
\_\_\_\_\_  
Village President

ATTEST:

  
\_\_\_\_\_  
Village Clerk

# PROPOSED SITE PLAN FOR OFFICE DEVELOPMENT

SITE AREA (4.915 AC) 1347,381 S.F.

## OFFICE BUILDING (3 STORY)

LOT 2A 4.8765 ACRES

BUILDING AREA: 45,000 S.F.

PARKING REQUIRED: 180 CARS

OFFICE (4 PER 1000 S.F. REQUIRED)

PARKING PROVIDED: 174 CARS

HANDICAP STALLS 8 CARS

TOTAL PARKING 180 CARS

## OFFICE BUILDING (3 STORY)

LOT 2B 3.0984 ACRES

BUILDING AREA: 48,000 S.F.

PARKING REQUIRED: 182 CARS

OFFICE (4 PER 1000 S.F. REQUIRED)

PARKING PROVIDED: 186 CARS

HANDICAP STALLS 8 CARS

TOTAL PARKING 192 CARS

EXTERIOR LOADING AREA 1

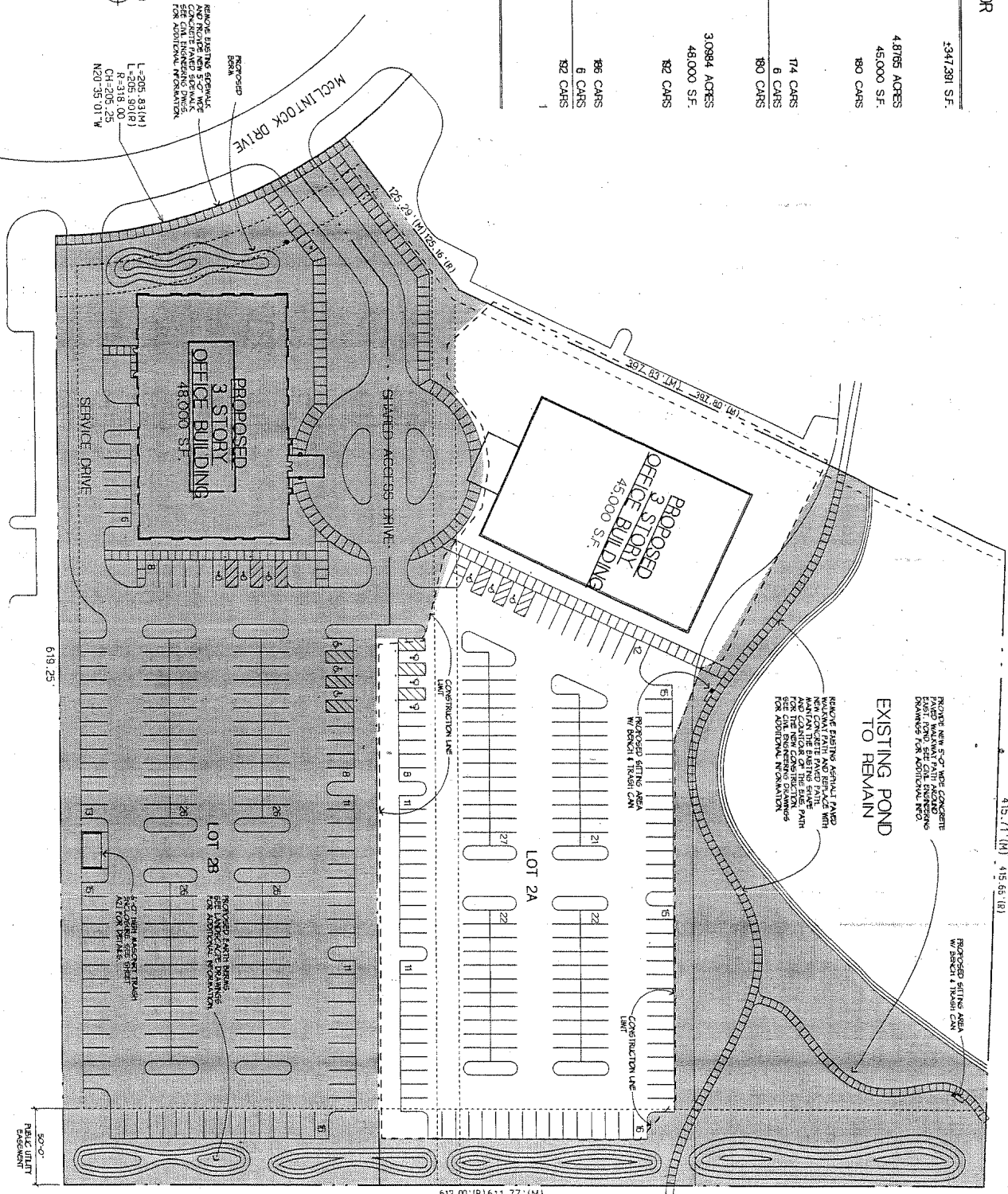
## CONSTRUCTION PHASES

PHASE 1

PHASE 2

**SITE PLAN**  
SCALE: 1"=30'-0"  
NORTH

REPROPOSED  
EXISTING  
AND NEW 5'-0" WIDE  
CONCRETE PAVED DRIVEWAY  
CONCRETE PAVED DRIVEWAY  
FOR ADDITIONAL INFORMATION



415.71' (M) 415.66' (M)

PROPOSED SETBACK AREA  
IN PERMITS & TYPICAL CAN

REMOVE NEW 5'-0" WIDE CONCRETE  
PAVED DRIVEWAY AND SETBACK  
DIMENSIONS FOR ADDITIONAL INFO

REMOVE EXISTING ASPHALT PAVED  
DRIVEWAY AND SETBACK WITH  
NEW CONCRETE PAVED DRIVEWAY  
AND SETBACK DIMENSIONS  
FOR THE NEW CONCRETE DRIVEWAY  
FOR ADDITIONAL INFORMATION

REMOVED SETBACK AREA  
IN PERMITS & TYPICAL CAN

LOT 2A

612.00' (P) 611.77' (M)

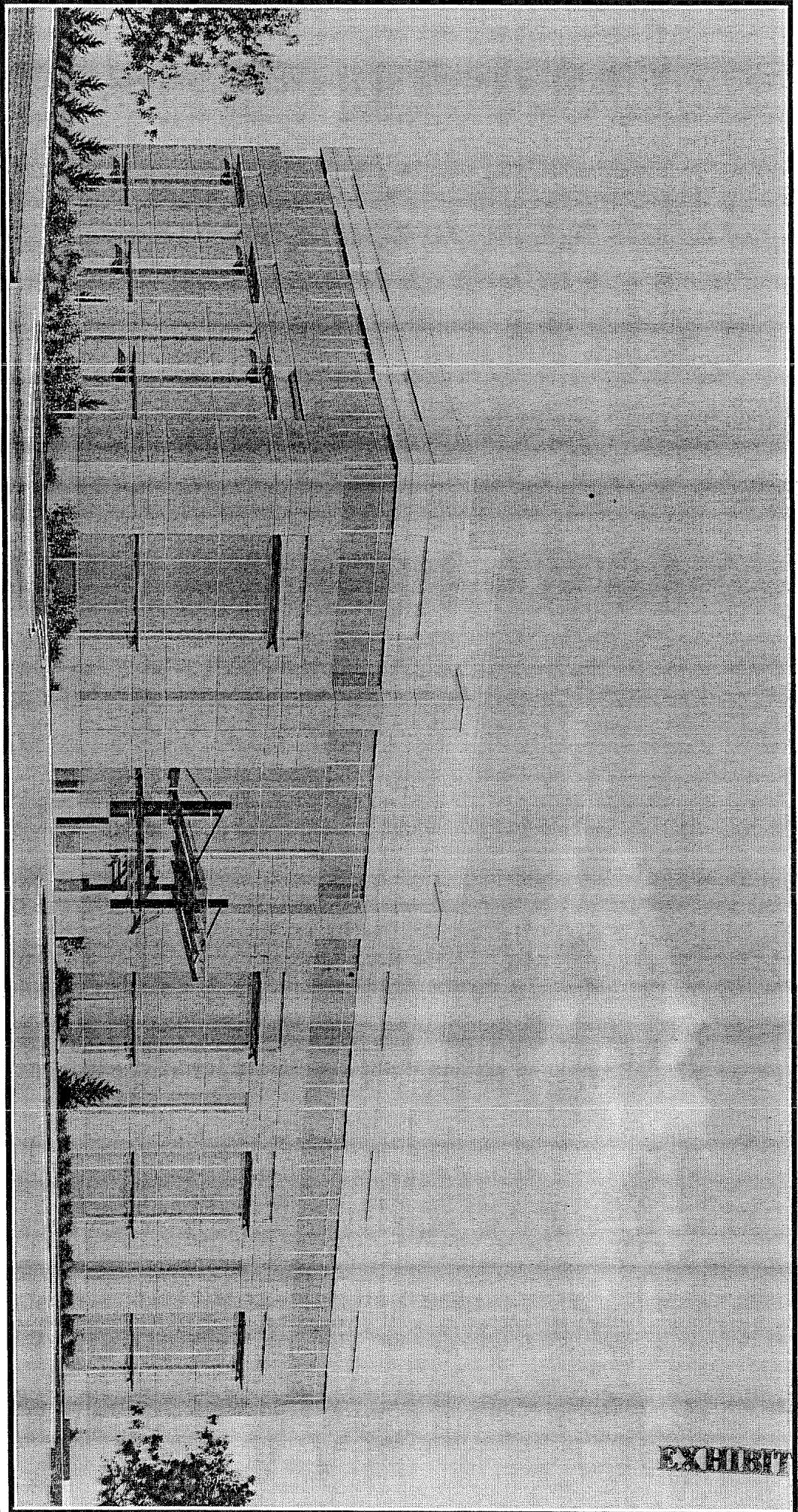
619.25'

30'-0"  
FIELD UNIT  
DIMENSION

SHEET NO. <b>A1.2</b> 3 OF 3 SHEETS	PROJECT NO. 20245 DRAWN BY: D.K. DATE: 12/06/2008	ISSUED FOR VILLAGE REVIEW RE-ISSUED FOR VILLAGE REVIEW 1-29-08 1-2-08	NEW 3-STORY 48,000 S.F. OFFICE BUILDING <b>METRO PROFESSIONAL CENTER</b> 901 MCCLINTOCK DR. VILLAGE OF BURR RIDGE, ILLINOIS	<b>EXHIBIT</b> HARRIS ARCHITECTS, INC. 805 DARTMOUTH AVE. SUITE 200, CHICAGO, IL 60610-1100 312.330.1105
	1-29-08 1-2-08			<b>A</b>





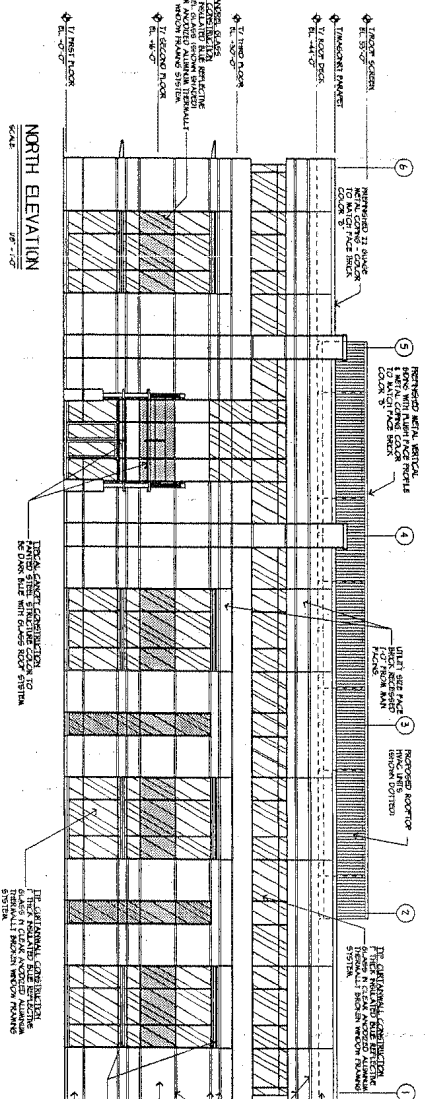


EXHIBIT

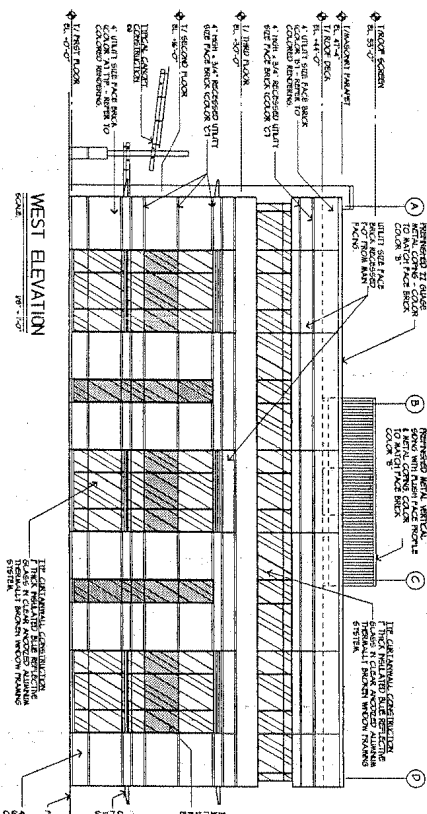
METRO PROFESSIONAL CENTER  
BURR RIDGE, ILLINOIS  
11-10-08



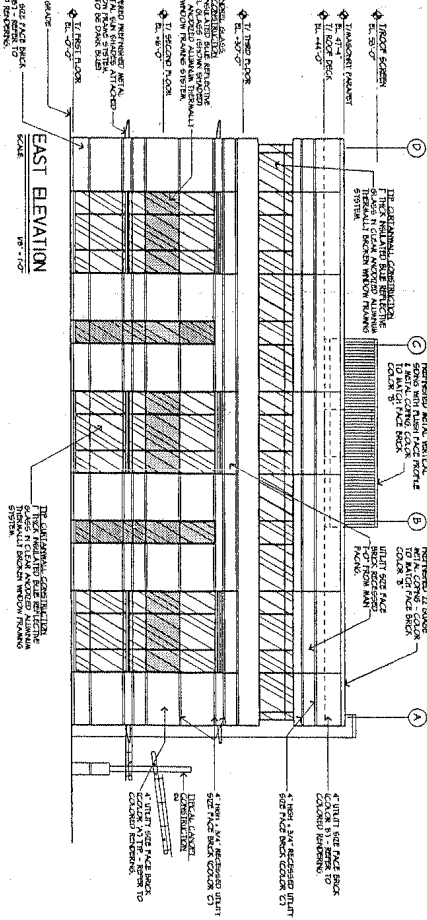
HARRIS ARCHITECTS INC.



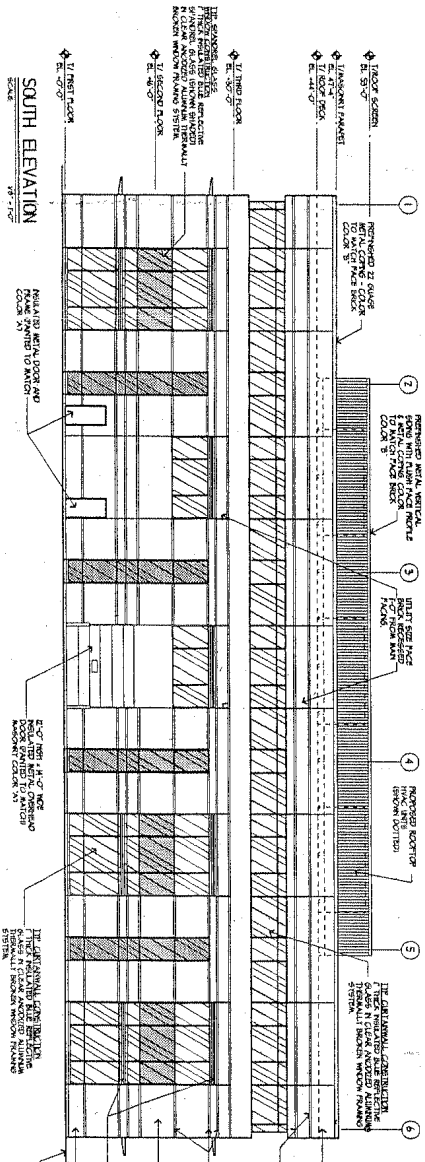
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

STATE OF ILLINOIS )  
COUNTY OF C O O K ) SS.  
COUNTY OF DU PAGE )

**CLERK'S CERTIFICATE**

I, KAREN J. THOMAS, the duly elected, qualified, and acting Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, do hereby certify that attached hereto is a true and correct copy of that Ordinance now on file in my office, entitled:

**ORDINANCE NO. A-834-27-08**

**AN ORDINANCE AMENDING PLANNED UNIT DEVELOPMENT**

**ORDINANCE NO. A-834-03-06**

**PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE**

**(Z-20-2008: 901 McClintock Drive - Schultz)**

which Ordinance was passed by the Board of Trustees of the Village of Burr Ridge at a regular meeting held on the 8<sup>th</sup> day of December, 2008, which meeting a quorum was present, and approved by the President of the Village of Burr Ridge on the 8th day of December, 2008.

I further certify that the vote on the question of the passage of the said Ordinance by the Board of Trustees of the Village of Burr Ridge was taken by the Ayes and Nays and recorded in the Journal of Proceedings of the Board of Trustees of the Village of Burr Ridge, and that the result of said vote was as follows, to-wit:

<b>AYES:</b>	<b>6</b>	<b>-</b>	<b>Trustees Paveza, Wott, Sodikoff, Allen, Grela, DeClouette</b>
<b>NAYS:</b>	<b>0</b>	<b>-</b>	<b>None</b>
<b>ABSENT:</b>	<b>0</b>	<b>-</b>	<b>None</b>

I do further certify that the original Ordinance, of which the attached is a true copy, is entrusted to my care for safekeeping and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Burr Ridge, this 8<sup>th</sup> day of December, 2008.

  
Village Clerk

PAMPHLET

FRONT OF PAMPHLET

ORDINANCE NO. A-834-27-08

AN ORDINANCE AMENDING PLANNED UNIT DEVELOPMENT  
ORDINANCE NO. A-834-03-06

PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE  
(Z-20-2008: 901 McClintock Drive - Schultz)

Published in pamphlet form this 8<sup>th</sup> day of December, 2008, by  
Order of the Corporate Authorities of the Village of Burr Ridge,  
Cook and DuPage Counties, Illinois.

  
\_\_\_\_\_  
Village Clerk



PAMPHLET  
BACK OF PAMPHLET

ORDINANCE NO. A-834-27-08

AN ORDINANCE AMENDING PLANNED UNIT DEVELOPMENT  
ORDINANCE NO. A-834-03-06  
PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE  
(Z-20-2008: 901 McClintock Drive - Schultz)

Published in pamphlet form by Order of the Corporate Authorities  
of the Village of Burr Ridge, DuPage and Cook Counties, Illinois.



## VILLAGE OF BURR RIDGE

### MEMORANDUM

**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupek, Chairman

**FROM:** Janine Farrell, AICP  
Community Development Director

**DATE:** June 20, 2022

**RE:** Board Report

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At their June 13, 2022 meeting, the Board of Trustees took the following actions relative to matters forwarded from the Plan Commission:

- **Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact:** The Board tabled the discussion to the July 11, 2022 meeting due to the absence of a Trustee and inclement weather curtailing the length of the discussion.