



**REGULAR MEETING
PLAN COMMISSION/ZONING BOARD OF APPEALS
MAY 16, 2022 - 7:00PM
BURR RIDGE POLICE DEPARTMENT - TRAINING ROOM**

The Plan Commission/Zoning Board of Appeals hears requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use. All Plan Commission actions are advisory and are submitted to the Board of Trustees for final action.

I. ROLL CALL

II. APPROVAL OF May 2, 2022 MEETING MINUTES

III. PUBLIC HEARINGS

A. Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Request to consider text amendments to Section XIV.B of the Zoning Ordinance to create a definition for an attached garage.

B. Z-13-2022/S-01-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Request to consider text amendments to Section 55.09.E of the Sign Ordinance to clarify regulations pertaining to right-of-way signs.

C. Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

V. CORRESPONDENCE

**A. Board Reports
May 9, 2022**

**B. Building Reports
None**

VI. OTHER CONSIDERATIONS

VII. PUBLIC COMMENT

VIII. FUTURE MEETINGS

May 23, 2022 Board of Trustees

Commissioner Irwin is the scheduled representative.

June 6 Plan Commission

Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]

Request to consider text amendments to Sections VIII.A, VIII.B, VIII.C, and XIV.B of the Zoning Ordinance to define "live entertainment" and permit "live entertainment" as accessory to certain uses in the Business Districts.

Z-12-2022: Consideration of text amendments regarding commercial vehicles in residential zoning districts.

June 13 Board of Trustees

Commissioner Parrella is the scheduled representative.

June 20 Plan Commission

Z-14-2022: Consideration of text amendments regarding short-term rentals.

June 27 Board of Trustees

Commissioner Petrich is the scheduled representative.

July 4, 2022 Plan Commission – MEETING IS CANCELLED DUE TO HOLIDAY

July 11, 2022 Board of Trustees

No Commissioners are scheduled. A volunteer may be needed.

July 18, 2022 Plan Commission

No cases scheduled at this time. The deadline for newspaper publication is July 1, 2022.

July 25, 2022 Board of Trustees

Commissioner Broline is the scheduled representative.

IX. ADJOURNMENT

VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS
MINUTES FOR REGULAR MEETING OF MAY 2, 2022

I. ROLL CALL

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 8 – Petrich, Broline, Stratis, Morton, Irwin, Parrella, McCollian, and Trzupek
ABSENT: 0

Trustee Guy Franzese and Community Development Director Janine Farrell were also present.

II. APPROVAL OF PRIOR MEETING MINUTES – APRIL 18, 2022

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Stratis to approve the minutes of the April 18, 2022 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 5 – Morton, Stratis, Petrich, Broline, and Trzupek
NAYS: 0 – None
ABSTAIN: 3 – Irwin, Parrella, and McCollian

MOTION CARRIED by a vote of 5-0 with 3 abstentions.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

Z-04-2022: 308-312 Burr Ridge Parkway (Rovito); Special Use Amendment, Special Use, and Findings of Fact [CONTINUED FROM MARCH 21, 2022]

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-04-2022 is a request to expand a restaurant use, Are We Live. The petition was continued from the March 21, 2022 meeting. At that time, there was not an individual present able to answer questions regarding the petition and the Commission requested outdoor dining and parking plans. Since March 21, no new information has been received except two new email objections, and no changes have been made to the request.

Nick Esposito, attorney for the petitioner, distributed plans that had been previously included in the staff report packet. Sandy Andrews explained that three additional tables will be added to the interior and the outdoor dining gate will extend to the end of the unit.

Chairman Trzupek stated that at the last meeting the Commission requested an outdoor dining plan. Chairman Trzupek noted the ADA ramp and planter box location may impact the outdoor dining and wished to see these items addressed on a plan.

Ms. Andrews and Chairman Trzupek discussed the locations of the existing ramp in relation to the outdoor dining plan. Ms. Andrews explained that the petitioner did not want to spend funds on architectural drawings if the request was not going to be approved. Chairman Trzupek reiterated the Commission's request for a plan to ensure that there was adequate space to accommodate the ramp and accessibility. Chairman Trzupek and Ms. Andrews discussed the need for the outdoor dining area to be accessed from the interior.

Chairman Trzupek confirmed that the outdoor dining space is calculated as part of the total restaurant square footage within the County Line Square PUD.

Chairman Trzupek asked for public comment.

Alice Krampits of 7515 Drew asked what the capacity would be for this additional unit. Ms. Andrews clarified that high tops within the existing space will be relocated to this new unit. The current capacity is about 80. Ms. Krampits questioned about rental space and the outdoor area. Ms. Andrews stated that the entire establishment would be rented. Ms. Krampits asked about happy hours. Mrs. Farrell explained that the Village Board discussed the matter but decided to not take action at this time. Ms. Krampits stated that she was opposed to the expansion since it is being marketed to a younger crowd which may be more like a nightclub which is not within the image of Burr Ridge.

Chairman Trzupek asked Mrs. Farrell about complaints. Mrs. Farrell noted that no complaints were received by the Village Hall, but there were a few complaints to the Police Department about rowdy patrons in the parking lot and a sign. The attorney for the petitioner confirmed that they are not aware of any complaints.

Richard Panico, 8311 Fars Cove, supported the request. Mr. Panico noted the small size of the expansion and that outdoor dining is very common in surrounding municipalities.

Commissioner Stratis expressed concerns about the location of the outdoor dining with the ramp. Commissioner Stratis asked the petitioner to comment on the sign which was installed and subject of the complaint. Commissioner Stratis supports first amendment rights but felt that the sign was inappropriate. Mr. Esposito stated that the matter was adjudicated and the sign was removed.

Commissioners McCollian and Broline did not have questions.

Commissioner Petrich expressed a desire to have outdoor dining and indoor seating plans in advance of the next meeting. Chairman Trzupek supported the request for an interior plan. The

petitioner and Chairman Trzupek discussed what would be shown on that plan and the costs associated with an architectural plan.

Commissioner Petrich noted that there was a space inside which was set up for a dancing area and reinforced the need for a seating plan. The petitioner stated that there is not an intent to have a dance floor inside the restaurant. Commissioner Petrich asked the petitioner to clarify the type of outdoor furniture. Ms. Andrews confirmed that the photos from the report packet were for the grand opening only and not the furniture which is intended to be there permanently.

Commissioner Parrella reiterated the need for a conceptual plan which illustrates the interior and outdoor flow of the spaces. This would be a 2-D plan, not a rendering or 3-D model, which shows connections, ingress and egress, and any safety issues.

Commissioner Irwin seconded Commissioner Parrella's comments.

Commissioner Morton requested that the relationship of the ramp with the flat area and slope be shown on the plan. Commissioner Morton also requested that the seating plan be shown to ensure wheelchair access within the spaces and around tables and chairs. Commissioner Morton did not have concerns about noise issues since the noise ordinance is in effect and the piped in music should not create problems.

Chairman Trzupek stated that there were options to continue the public hearing to obtain additional information or the hearing could be closed and a vote taken on the request.

Commissioner Broline commented that the concern about accessibility has been brought up with other establishments. Commissioner Broline did not have concerns about the expansion of the use.

Mr. Esposito requested that the Commission move the petition forward subject to receiving the plans.

Commissioner Stratis stated that he supported moving the request forward with staff and Chairman Trzupek's review and approval of the plans. Commissioner Petrich requested additional information be added about ADA and noise ordinance compliance to the conditions.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to close the public hearing for Z-04-2022.

ROLL CALL VOTE was as follows:

AYES: 8 – Stratis, Irwin, Morton, Broline, Petrich, Parrella, McCollian, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to recommend to the Village Board approval of an amendment to Ordinance #A-834-10-21 to expand the subject use and a special use for a restaurant over 4,000 square feet with indoor and outdoor dining, and with the sale of alcoholic beverages pursuant to section XIII.K of the Zoning Ordinance and the County Line Square Planned Unit Development (Ordinance #A-834-19-21) with the following conditions:

1. The special use shall be limited to Filipo Rovito and shall be null and void should Filipo Rovito no longer have ownership interest in the restaurant consisting of approximately 4,400 square feet commonly known as 308-312 Burr Ridge Parkway.
2. Activity in the indoor restaurant area shall cease and all patrons shall vacate the premises no later than midnight on any given day.
3. Activity in the outdoor dining area shall cease and all patrons shall vacate the premises no later than 11pm on any given day.
4. The outdoor dining area shall comply with the Burr Ridge Municipal Code and County Line Square PUD regulations in respect to ingress, egress, and ADA compliance, as well as liquor control and noise ordinance regulations. The outdoor dining plan and any remaining details shall be approved by staff and the Plan Commission Chairman through the building permit process and prior to building permit issuance.
5. Prior to building permit issuance, the petitioner shall submit a parking management plan, subject to staff and Plan Commission Chairman approval, that includes at a minimum:
 - a. A commitment to provide valet parking off-site, behind the building, or at the west end of the shopping center.
 - b. The reservation of four (4) parking spaces for valet parking that does not interfere with any drive aisles or fire lanes.
 - c. A commitment that employees be required to park offsite or behind the shopping center.

ROLL CALL VOTE was as follows:

AYES: 8 – Stratis, Irwin, Petrich, Broline, Morton, Parrella, McCollian, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Special Uses, PUD Amendment, Variations, and Findings of Fact

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-10-2022 is for ten requests related to a gas station development on a vacant parcel south of McDonald's. Mrs. Farrell stated that the petitioner is Ryan Swanson of Arc Design Resources, Inc., on behalf of Thorntons LLC. Thorntons is proposing to develop the vacant site with a gas station and convenience store, amending the Spectrum PUD. The 4,400 sq. ft. convenience store will have packaged liquor and tobacco sales, and extended hours of operation, 5:00 a.m. to 11:00 p.m., which

is beyond the 7:00 a.m. to 10:00 p.m. permitted. The neighboring property to the north, McDonald's, was approved for extended hours 5:00 a.m. to 11:00 p.m. Mrs. Farrell illustrated the requests on the site plan. Mrs. Farrell displayed the sign proposal and explained the four variation requests. All of the ground and walls combined exceed 100 sq. ft. of area, measuring 155 sq. ft. There are three wall signs total, two on the convenience store itself and one on the fuel canopy. The internal drive on the property is private and does not count as a road frontage. A gasoline pricing sign is required to be affixed to an existing sign, but the proposed sign is itself a free-standing sign. This sign also exceeds the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. The gasoline pricing sign contains six colors, exceeding the three colors permitted. Mrs. Farrell displayed the photometric plan and showed the footcandle amount at the property lines. The average foot candle light level is 4.39 exceeding the 1.0 permitted and the uniformity ratio is 4.39 to 1 exceeding the 4 to 1 permitted.

Chairman Trzupek confirmed that the average foot candle light level permitted is 1.0.

Ryan Swanson of Arc Design Resources introduced himself as the project manager and Todd Smutz as the representative of Thorntons. Thorntons currently has 212 stores with 10 new stores proposed and 3,000 employees. Thorntons was acquired by British Petroleum last year but permitted to keep the Thorntons banner. Mr. Smutz discussed the core values of Thorntons and the company's charitable initiatives. Mr. Smutz stated that while the pandemic shut down many businesses, Thorntons was permitted to be open and had policies which allowed them to adapt to the changing environment. Mr. Smutz stated that the proposed store will be a typical convenience store with 10 fuel stations and air service station.

Chairman Trzupek asked if the sign on the rear façade was illuminated and believed it was not necessary for identification purposes. Chairman Trzupek believed the light may negatively impact the residential use neighboring the property. Chairman Trzupek also asked about the wall packs on the rear. The petitioner displayed photometry on the screen to illustrate the real light levels. There are higher light levels under the fuel canopy due to the fueling, credit card use, and checking under the hood of automobiles.

Chairman Trzupek stated for clarification on the traffic study. Mr. Smutz confirmed that the original traffic study was modeled for uses which had a greater traffic impact than the proposed gas station, including a drive-through restaurants and a retail pharmacy.

Chairman Trzupek asked for public comment.

Richard Panico, 8311 Fars Cove, stated that this site has access to major thoroughfares which could be a target for car jackings. Mr. Panico did not see a business core value regarding safety. Mr. Panico asked if this proposal has been shown to the Police Department and what measures the petitioner will take for safety. Mr. Smutz stated that adequate lighting and security cameras are a necessity for safety. The security cameras are monitored remotely. A uniformed security guard would not be at the site since the area is safe.

Chairman Trzupek asked Mrs. Farrell to confirm if the Police Department had reviewed the request. Mrs. Farrell stated that Chief Madden was informed of the proposal and did not express concerns about extra police force being required for the operation.

Sandra Allen, a Burr Ridge resident for 44 years, expressed concern about the subdivision to the south and if this development would be a disruption.

Alice Krampits, 7515 Drew, asked if Spectrum had comments about the proposal and why there were no entrances or exits to Route 83. Mrs. Farrell stated that the entire development was planned to limit direct access to Route 83 from a safety and congestion standpoint. Route 83 is under IDOT jurisdiction and authorizes access points.

Commissioner Morton was concerned about the light levels and asked about the accuracy of the photometry illustration to real life. Mr. Smutz stated that the photometry is an accurate representation of how the real light levels will appear. Commissioner Morton asked for clarification on the number of colors for the signage. Kate Berliner with Thorntons clarified the number of colors for the gas pricing sign. There are two different reds, green, blue, black, and white. Commissioner Morton confirmed the LED digits are included in the colors. Commissioner Morton reviewed the gas pricing signage in the Village and had concerns about the size and number of colors for the proposed sign in relation to others that are existing. Commissioner Morton asked about the salt tolerance of the landscaping proposed. Mr. Swanson stated that the species are salt tolerant. Commissioner Morton asked if this is a full-service station. Ms. Berliner stated it was not, but there are help buttons on the pumps which can be pressed from inside the vehicle to request assistance. Commissioner Morton asked for the petitioner to expound on the Findings of Fact which stated that “an equivalent facility is not located in the general area of the proposed development.” Mr. Swanson stated that it was related to the amount of fuel stations, the circulation, and the modern store. Commissioner Morton asked about electronic vehicle (EV) charging. Ms. Berliner stated that Thorntons has an infrastructure plan for EV in the future.

Commissioner Irwin asked Ms. Berliner to explain further. Ms. Berliner stated that the infrastructure, the electricity, will be installed but she cannot state if the charging stations themselves will be installed at the time of development. Ms. Berliner stated that Thorntons is working with a vendor to have stations installed at multiple locations. Commissioner Irwin stated that the EV charging could contribute to the Findings for the necessity of the use. Commissioner Irwin asked about the remote monitoring. Mr. Smutz confirmed that the office is located in Louisville but the individuals monitoring the site cannot sound internal alarms. The remote office can notify local law enforcement. Commissioner Irwin asked about the red colors and if they are the same. Ms. Berliner stated they are the same tone, but two different vendors and therefore counted as two colors.

Commissioner Parrella asked if the reds will look the same. Ms. Berliner confirmed they will.

Commissioner Petrich asked about the original PUD and what was envisioned. Mrs. Farrell read Condition B of the PUD which required “the future preliminary and final plans for the commercial development on Lot 2 under this planned unit development shall be submitted to the Plan Commission for its review and recommendations, and then to the Board of Trustees for approval.” Commissioner Petrich asked about McDonald’s signage. Mrs. Farrell confirmed that McDonald’s was approved for variations related to the number of signs. Commissioner Petrich asked about the design of the proposed convenience store in relation to McDonald’s. Ms. Berliner stated that the

design was intended to complement the McDonald's with the stone. Ms. Berliner confirmed there are storefront windows. Commissioner Petrich confirmed with staff that the plans had been reviewed by the Village Engineer. Commissioner Petrich questioned how often the Route 83 entrance is used and expressed concerns about the safety of this entrance and exit. Mr. Smutz stated that the access is existing and was approved by IDOT. Commissioner Petrich confirmed the location of the underground fuel tanks. Commissioner Petrich was concerned about the amount of the variations required for signage. Commissioner Petrich confirmed with the petitioner that there was no dine-in, only carry-out.

Commissioner Broline confirmed the existing one-way exit to Route 83. Commissioner Broline asked about the size of the sign proposed and if it was similar to Speedway's. Ms. Berliner stated that the speed on the road and the 640 ft. slow down distance sets the standard for pricing digit size which dictates the overall size of the sign. Commissioner Broline asked about the foot candle amount on the east side adjacent to Spectrum. Mrs. Farrell confirmed it was 1.5 foot candles to the property line which borders the access drive.

Commissioner McCollan asked about security cameras and the need for extra security if it is deemed necessary. Ms. Berliner stated that if it is necessary, the stores can be changed over quickly. Commissioner McCollan expressed concern about the volume of traffic on 91st Street. Chairman Trzupek stated that traffic was a big issue for the McDonald's proposal and is unsure about how it is working today. Commissioner McCollan asked where the EV chargers would be located under the canopy. Ms. Berliner stated that it would be on the south side of the canopy. Mr. Smutz stated it is two dedicated triple charge stations.

Commissioner Stratis disclosed that he and his wife own McDonald's to the north. Commissioner Stratis clarified that Route 83 is a Strategic Arterial Roadway which is under IDOT jurisdiction and Spectrum was only able to receive the one access to Route 83. Commissioner Stratis asked about the fuel tanks. Mr. Smutz confirmed that they are fiberglass, double wall tanks with monitoring and two emergency shut-off buttons. Commissioner Stratis asked about the security and if there is the ability to lock the doors with a panic button. Ms. Berliner stated that there is not that option currently. Commissioner Stratis asked about ownership. Mr. Smutz confirmed that Thorntons will rent and have a 50-year lease. Commissioner Stratis asked about liquor sales. Phillip Bolove with Thorntons stated it will have beer, wine, and hard spirits. Commissioner Stratis asked how much of the interior is dedicated to liquor sales. Ms. Berliner stated that the hard liquor will fit in an 8 ft. cabinet. Commissioner Stratis asked if the lights will be dimmed when closed. Mr. Smutz stated that only four stores are not 24-hour operation so they intend to keep them on for security reasons even when closed. Commissioner Stratis confirmed with the petitioner that the light bulbs will not be exposed in the canopy. Commissioner Stratis confirmed with the petitioner that background or existing lighting is factored into the photometric plan. Commissioner Stratis noted that there was an intent to have matching lighting throughout the development but Spectrum and McDonald's do not match. The petitioner's proposed lighting will not match McDonald's. Commissioner Stratis complemented the high cleanliness standard for Thorntons and requested that outdoor sales be limited to the spot designated on the plan and not anywhere else on the site. Commissioner Stratis spoke with Evan Walter, Village Administrator, about the traffic on 91st Street shortly after McDonald's opened. Mr. Walter stated that traffic has not been a significant issue. Commissioner Stratis asked if Thorntons was going to request to be on the multi-tenant sign.

Ms. Berliner stated that they would like to, but they were not sure if that would count towards their signage calculations. There was discussion about the sign being off-site in a common area in the PUD and potentially calculated separately.

Chairman Trzupek stated that the sign package is reasonable given the use. Chairman Trzupek asked about the red illuminated band on the fuel canopy. Mrs. Farrell confirmed that it was not included in the signage calculation. Ms. Berliner confirmed that the signage calculations were for the logos only, not the red backgrounds.

Commissioner Parrella asked about the alarm system and who is notified. Ms. Berliner stated that it notifies local police and fire and the corporate office.

Commissioner Morton asked about the proposed fuel tanker truck circulation. Mr. Smutz stated that the trucks would enter the site and head east since the fueling is on the driver side. Mr. Smutz confirmed an auto-turn plan was generated to ensure access.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Morton to close the public hearing for Z-10-2022.

ROLL CALL VOTE was as follows:

AYES: 8 – Irwin, Morton, Stratis, Broline, Petrich, Parrella, McCollian, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Petrich to recommend to the Village Board approval of amending the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with hours of operation exceeding 7:00 a.m. to 10:00 p.m. pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with six colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted subject to four conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, photometric plan, and sign plans attached hereto as Exhibit A.

2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The hours of operation shall be limited to 5:00 a.m. to 11:00 p.m.
4. The outdoor sales area shall be restricted to the area shown on the plan.
5. The Thorntons sign on the rear (east) elevation shall be eliminated.

ROLL CALL VOTE was as follows:

AYES: 8 – Irwin, Petrich, Morton, Stratis, Broline, Parrella, McCollian, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

Mr. Bolove asked if the hours were restricted to 5:00 a.m. to 11:00 p.m. Chairman Trzupek confirmed. Mr. Bolove stated that he was unaware of this restriction and that the business requires 24-hour operation. Mr. Bolove asked if there was a way to amend that. Chairman Trzupek stated that there was not, that 5:00 a.m. to 11:00 p.m. was what was requested through the petition and noticed. Mr. Bolove stated that he will petition the Village Board to change the hours.

Commissioner Stratis believed that this would need to be re-noticed and questioned if Spectrum and Tad Lagestee was aware of the 24-hour request. Tad Lagestee stood in the audience and confirmed that Spectrum has reviewed and approved the proposal.

V-02-2022: 8311 Fars Cove (Panico); Variation and Findings of Fact

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-10-2022 is a request by Richard Panico, as petitioner, for a variation to permit a detached accessory building, specifically a garage, within the side buildable area pursuant to Zoning Ordinance section IV.I.1. The property is zoned R-2B. Current Zoning Ordinance regulations permit accessory structures within the rear yard only. The petitioner currently has an attached garage and detached garage on the property and wishes to build a second detached garage in the side buildable area. In 2004, the petitioner provided plans to the Village when the home was initially proposed which showed the residence with a side yard garage attached by a masonry wall. When these plans were then submitted for permit, they were rejected. The petitioner received a letter of apology from the Village acknowledging that incorrect information was provided when the original plans were shown. In 2005, the petitioner abandoned the side yard garage and continued with the residence and detached garage in the rear. In 2021, the petitioner pursued a text amendment to allow detached garages in the side buildable area which was denied by the Plan Commission and later withdrawn. The petitioner is now seeking to build this secondary garage in the side buildable area.

Chairman Trzupek clarified with the petitioner that the original drawing showed the proposed structure connected to the residence with a masonry wall. Richard Panico confirmed that the wall was to keep with the architecture of the residence and these plans were preliminary approved. Mr. Panico stated these were the plans which were then later denied. Mr. Panico then eliminated the proposed garage and moved forward with the residence and detached garage in the rear yard. Mr.

Panico now would like to build this garage and was provided advice by the Village to pursue a text amendment to allow detached garages in the side buildable area. Mr. Panico explored what it would take to attach the garage but the cost and structural requirements made it not feasible. Mr. Panico was also denied a balcony on the residence but appealed to the Board and was permitted to construct it.

Chairman Trzupsek confirmed the history and sequence of events with the petitioner.

Mr. Panico stated that in order to build a second detached garage on the property in the rear yard, a new driveway would need to be installed which would not be aesthetically pleasing and could negatively impact his neighbor's property. The proposed garage is to house a classic car collection.

Chairman Trzupsek discussed the need for a hardship with a variation request. The Chairman asked staff to discuss with the Village Attorney. The Village Attorney stated that there may be a hardship if someone purchased a property with the intent to do something and was informed that it would be allowed only to then be told it was not after the purchase. Chairman Trzupsek stated that this was not the situation in this case.

Mr. Panico would like to build a garage that is aesthetically pleasing. Mr. Panico stated that the hardship was created by misdirection provided by the authorities that are now restricting his ability to build and a lack of accountability by the Village. Mr. Panico stated that what he is proposing will not negatively impact his neighbors.

Chairman Trzupsek asked for public comment. There was none.

Commissioner Stratis felt bad that the petitioner was provided bad advice but is concerned about setting precedent. Commissioner Stratis understands the petitioner's frustration but does not believe that granting this garage now will address the previous wrongs. Mr. Panico stated that he does not believe this will create a precedent due to the documented history of this particular situation. Mr. Panico stated that there are structures in his neighborhood which are in poor condition that the Village does not address. Commissioner Stratis confirmed with the petitioner that this occurred 17 years ago and questioned why it was not addressed during that time. Mr. Panico stated that he did not have time to pursue the issue while growing his business and did not have the expansive car collection that he now does.

Chairman Trzupsek asked if the petitioner would construct the wall which was originally shown. Mr. Panico stated he would not due to the foundation disturbance, the impact to the façade of his residence, and the cost.

Commissioner McCollian did not have questions.

Commissioner Broline stated that there is a ring of a hardship in the letter of apology but struggles with it.

Commissioner Parrella asked for the rendering to be displayed on the screen. Commissioner Parrella stated that the proposed garage is not a negative or bad thing and looks better without the archway wall.

Commissioner Irwin stated that this garage looks nice and wants to find a way to approve it. Commissioner Irwin does not want the petitioner to game the system with an attached wall.

Commissioner Morton agreed the structure looks good. Commissioner Morton stated that the litany of errors set up this condition. Commissioner Morton confirmed with Chairman Trzupek the information about a hardship from the Village Attorney. Commissioner Morton stated that the hardship in this situation is different than someone building a structure that did not meet regulation and then later asked for forgiveness. Commissioner Morton asked if a similar variation had ever been requested. Chairman Trzupek said that it had not, but that hardships are typically tied to the land. Commissioner asked about pursuing a text amendment to allow for garages like this. Chairman Trzupek stated that the text amendment had been pursued but was denied because it would apply to the whole Village.

Commissioner Petrich was concerned about precedence but stated that this proposal was unique in terms of setbacks and design.

Chairman Trzupek stated that precedence is a concern but he has heard that there is also no such thing as precedence if the conditions of approval are specific enough to the site and request.

Mr. Panico asked how many requests like this have been made in the past decade. The Commissioners could not recall any such similar cases.

Chairman Trzupek was concerned that someone may challenge the hardship. Mrs. Farrell offered to obtain a more formal comment from the Village Attorney. The Commissioners agreed to make a motion and have the Village Attorney then review their findings for a hardship.

Commissioner McCollan asked for clarification on the attorney's review. The Commissioners confirmed that the Commission finds the hardship, but the attorney will review and confirm the language.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Irwin to close the public hearing for V-02-2022.

ROLL CALL VOTE was as follows:

AYES: 7 – Stratis, Irwin, Morton, Broline, Parrella, Petrich, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to recommend to the Village Board approval of a request for a variation to permit a detached accessory building (garage) within the side buildable area pursuant to Zoning Ordinance section IV.I.1 with two conditions:

1. The Village Attorney shall review the Findings of the Fact made by the Plan Commission.
2. The garage shall substantially comply with the rendering submitted by the petitioner depicting the red brick structure and included as Exhibit A.

ROLL CALL VOTE was as follows:

AYES: 7 – Irwin, Stratis, Petrich, Broline, Morton, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

IV. CORRESPONDENCE

Chairman Trzupek asked if there were any comments on the Board or Building Reports. Commissioner Petrich asked for clarification about a right-of-way permit by a concrete contractor and if it was related to a brick mailbox. Mrs. Farrell was unsure about the specific permit but stated that it was likely for a driveway.

V. OTHER CONSIDERATIONS

PC-03-2022: 16W135 Honeysuckle Rose St. (New Wave Carwash); Extraterritorial Review of a Conditional Use for a PUD and Variations

Mrs. Farrell stated that this proposal was discussed briefly at the last meeting but was not formally on the agenda. Mrs. Farrell introduced the proposal that was received from DuPage County for an expansion of an existing car wash located on Route 83, south of 91st Street. Mrs. Farrell did not have a response on the outcome of the County meeting and did not receive any extra information regarding directional signage. Mrs. Farrell stated that the Village does not have the authority to hold the proposal to their standards, but comments can be submitted.

Commissioner Stratis was unsure how the development would impact Burr Ridge which is across the highway but expressed concern about the access.

VI. PUBLIC COMMENT

There were no public comments.

VII. FUTURE MEETINGS

May 9, 2022 Board of Trustees

Commissioner McCollan is the scheduled representative.

May 16, 2022 Plan Commission

Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Request to consider text amendments to Section XIV.B of the Zoning Ordinance to create a definition for an attached garage.

The Commission agreed that this item should stay on the agenda regardless of the outcome of the variation request that was approved earlier.

Z-13-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact

Request to consider text amendments to Section 55.09.E of the Sign Ordinance to clarify regulations pertaining to right-of-way signs.

Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

Alice Krampits asked for clarification on the proposal. Mrs. Farrell clarified that three-car garages are now proposed which reduces open space. The petitioner was required to bring forward landscaping, final engineering, and elevations to the Plan Commission for final approval regardless, but now the PUD is being amended as well.

May 23, 2022 Board of Trustees

Commissioner Irwin is the scheduled representative.

June 6, 2022 Plan Commission

Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]

Request to consider text amendments to Sections VIII.A, VIII.B, VIII.C, and XIV.B of the Zoning Ordinance to define "live entertainment" and permit "live entertainment" as accessory to certain uses in the Business Districts.

Z-12-2022: Consideration of text amendments regarding commercial vehicles in residential zoning districts.

Z-14-2022: Consideration of text amendments regarding short-term rentals.

June 13, 2022 Board of Trustees

Commissioner Parrella is the scheduled representative.

June 20, 2022 Plan Commission

No cases scheduled at this time. The deadline for newspaper publication is May 27, 2022.

June 27, 2022 Board of Trustees

Commissioner Petrich is the scheduled representative.

VII. ADJOURNMENT

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Stratis to adjourn the meeting at 9:56 pm.

ROLL CALL VOTE was as follows:

AYES: 8 – Irwin, Stratis, Petrich, Morton, Broline, Parrella, McCollian, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

Respectfully Submitted:

Janine Farrell, AICP
Community Development Director



Z-11-2022: Request to consider text amendments to Section XIV.B of the Zoning Ordinance to create a definition for an attached garage.

Prepared for: Village of Burr Ridge Plan Commission/Zoning Board of Appeals
Greg Trzupek, Chairman

Petitioner: Village of Burr Ridge

Prepared by: Janine Farrell, Community Development Director

Date of Hearing: May 16, 2022

On April 11, 2022, the Board of Trustees directed the Plan Commission to hold a public hearing on potential Zoning Ordinance text amendments to define an “attached garage.” Under current Zoning Ordinance regulations, there is no definition for an attached garage. Village policy and practice has been to define an attached garage as one which shares a party or common interior wall, or one that is connected by a roof structure. The 2012 International Residential Code and Village of Burr Ridge Building Code do not define attached garages.

The Zoning Ordinance does contain definitions for an attached dwelling, a completely enclosed building, party wall, carport, and private garage all of which can help form a definition for an attached garage.

- **DWELLING, ATTACHED:** *A dwelling joined to two other dwellings by party walls, or vertical cavity walls, and above-ground physically unifying horizontal structural elements.*
- **BUILDING, COMPLETELY ENCLOSED:** *A building separated on all sides from the adjoining open spaces by a permanent roof and by exterior walls, pierced only by windows and normal entrance and exit doors; or, when adjoining another building or buildings on one or two sides, a roof and such exterior wall adjoining open space and party wall adjoining the other building.*
- **PARTY WALL:** *An interior wall of adjoining buildings extending from its footing below grade to the underside of the roof, which divides and is in common use by such adjoining buildings.*
- **CARPORT:** *A roofed automobile shelter, with at least two open sides, usually formed by extension of the roof from the side of a building.*
- **GARAGE, PRIVATE:** *A detached accessory building, structure, or portion of a main building housing the motor vehicles of the occupants of the premises and in which no occupation or business for profit is conducted.*

Staff researched Zoning Ordinance definitions for the following nearby municipalities: La Grange, Western Springs, Clarendon Hills, Hinsdale, Elmhurst, Darien, Willowbrook, and Oakbrook. None of the municipalities surveyed contained a Zoning Ordinance definition for an “attached garage.”

- La Grange defines a “detached garage” as *“a freestanding garage, or a garage that is attached to a principal structure on the lot only by a breezeway, entranceway, or other passageway or decorative structure or otherwise is not integrated into the principal structure.”*
- Elmhurst defines a "building, detached" as *“a building surrounded by open space on the same lot as another, separate building.”* A “building, attached” is defined as *“any building which is permanently connected to another building, having one or more walls in common with other buildings, other than a private garage.”*

For the Village’s definition of an attached garage, the Commission may wish to define the garage as one sharing a party wall with the principal residence or one that is connected by a horizontal roof member. Illustrations depicting these options are below.



Examples of a garage sharing a party wall with the residence.



An example of a garage attached by a horizontal structural element or roof. An internal wall or party wall is not shared.

Staff drafted definitions for Plan Commission discussion for these options illustrated above:

- **GARAGE, ATTACHED:** A garage joined to a dwelling by a party wall or walls and above-ground physically unifying horizontal structural elements.
- **GARAGE, ATTACHED:** A garage connected to a dwelling by an above-ground, unifying horizontal structural element such as a roof.

Findings of Fact

The findings of fact for a text amendment are limited to assessing whether the amendment is compatible with other standards of the Zoning Ordinance and if the amendments fulfill the purpose and intent of the Zoning Ordinance. Findings of Fact have been included as Exhibit A.

Attachments

- Exhibit A – Petitioner's Materials and Findings of Fact



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Janine Farrell, Community Development Director
Village of Burr Ridge

STATUS OF PETITIONER: Village of Burr Ridge/municipality

PETITIONER'S ADDRESS: 7660 S. County Line Road, Burr Ridge, IL 60527

ADDRESS OF SUBJECT PROPERTY: N/A

PHONE: (630) 654-8181 x. 6100

EMAIL: jfarrell@burr-ridge.gov

PROPERTY OWNER: N/A

PROPERTY OWNER'S ADDRESS: N/A PHONE: N/A

PUBLIC HEARING REQUESTED: ☐ Special Use ☐ Rezoning ☒ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

Request to amend section XIV.B of the Zoning Ordinance to create a definition for an attached garage.

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: N/A EXISTING ZONING: N/A

EXISTING USE/IMPROVEMENTS: N/A

SUBDIVISION: N/A

PIN(S) # N/A

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Janine Farrell
Petitioner's Signature

4/12/2022
Date of Filing



**FINDINGS OF FACT
FOR AN AMENDMENT TO THE
VILLAGE OF BURR RIDGE ZONING ORDINANCE**

Section XIII.J of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission determine compliance with the following findings in order to recommend a text amendment to the Zoning Ordinance. The petitioner must respond to and confirm each of the following findings by indicating the facts supporting such findings.

- a. The amendment is compatible with other standards and uses of the Zoning Ordinance;

There are many definitions within the Zoning Ordinance section XIV.B, but an "attached garage" remains undefined.

- b. The amendment fulfills the purpose and intent of the Zoning Ordinance;

Defining an "attached garage" provides clarification to the public and staff as to what is specifically considered attached. Currently an attached garage has been defined by policy, not by a specific codified definition.

(Please transcribe or attach additional pages as necessary)



Z-13-2022/S-01-2022: Request to consider text amendments to the Sign Ordinance regarding sign placement in public rights of way.

Prepared for: Village of Burr Ridge Plan Commission/Zoning Board of Appeals
Greg Trzupek, Chairman

Prepared by: Janine Farrell, Community Development Director

Date of Hearing: May 16, 2022

On June 28, 2021 the Board directed the Plan Commission to consider amendments to the Sign Ordinance related to the placement of signs in public rights of way within the Village. Amendments to the Sign Ordinance do not require a public hearing, and while the Sign Ordinance is technically part of the Municipal Code (Chapter 55), amendments to the Sign Ordinance have always been initially considered by the Plan Commission.

Section 55.09.E of the Sign Ordinance lists “Right-of-Way” signs as Temporary Signs; they do not require permission to be placed so long as they comply with the following conditions:

1. Signs must be a maximum of 3 feet in height and 4 feet per face.
2. Signs may be placed on Saturdays and Sundays only between the hours of 9:00 a.m. and 6:00 p.m.
3. That the written consent of the homeowner be obtained prior to installing signs in the public right-of-way adjoining the front, side or rear of any residential property.
4. Signs must be free standing, not attached to any utility pole or structure nor any traffic control sign and placed at least 3 feet from the curb or edge of pavement.
5. No sign shall be placed within any portion of a twenty-five (25) foot sight triangle at the intersection of two streets. The sight triangle is determined by extending the curb or edge of pavement lines to a point of intersection; then measuring back along these extended curb or edge of pavement lines for a distance of twenty-five (25) feet to two points. A line drawn connecting the above determined points completes a triangle.
6. That only one sign be permitted within 150 feet of an intersection which relates to the same topic and that the next closest sign be no closer than 150 feet. Additionally, there shall be only one sign of the same topic placed in front of a single lot.
7. No attention or attracting devices such as pennants, streamers, balloons, inflatable shapes, banners, flashing lights or other illumination shall be attached to a sign or placed in the public right-of-way.
8. Each sign must have attached an adhesive label or other means to identify the name, address and telephone number of the person responsible for the placement and removal of each sign.
9. That signs which are removed will be kept by the Village for a period of no more than three (3) weeks. In order to retrieve the signs, the fine must be paid within the three-week period of time, otherwise they will be discarded.

10. Any noncomplying sign shall be removed.

“Right-of-Way” is defined in Section 12 of the Municipal Code as follows:

“Any street, alley, other land or waterway, dedicated or commonly used for roadway or utility purposes, including utility easements in which the Village has the right and authority to authorize, regulate, or permit the location of facilities other than those of the Village. “Right-of-way” shall not include any real or personal Village property that is not specifically described above and shall not include Village buildings, fixtures, and other structures or improvements, regardless of whether they are situated in the right-of-way.”

A “Temporary Sign” is defined in Section 55.02 of the Sign Ordinance as *“Any sign constructed in accordance with the provisions of this Ordinance for a period not to exceed thirty (30) days, or as otherwise defined and permitted in Sec. 55.09 hereof.”*

Staff has encountered several limitations to this approach to regulating the proliferation of signs in rights-of-way, including:

1. The location of rights-of-way is not readily apparent to the average person or to Code Enforcement staff in the field.
2. The Village is not made aware of the homeowner’s “written consent” as stipulated in #3 of section 55.09.E. Keeping records of this written consent could also become burdensome to Village staff.
3. There exists a complicated procedure within Section 55 for enforcing fines against non-complying right-of-way signs, one which was established prior to the Village’s administrative adjudication program in 2021, as follows:
 - a. That a fine in the amount of \$50.00 will be charged to the person whose name is on the sign, if the sign is in violation of any of the above restrictions. If no names are found on the sign, the party or entity identified on the sign will be assessed the fine. Notice of each violation shall be in writing. Any person, firm or corporation charged with said violation may be issued a citation or “P” ticket. Violators issued such notices may request a hearing in the Circuit Court of DuPage County within 10 days of the date of the original violation or may settle and compromise the claim by paying to the Village the respective amounts set forth in the following schedule and within the times set forth in the following schedule: (Amended by A-923-07-02)
 - i. Payment of \$50.00 for each violation within 10 days of the date of the original violation.
 - ii. A FINAL NOTICE, which stipulates the date on which collection of the \$50.00 penalty shall be turned over to a collection agency approved by the Village for collection will be issued after 10 days.
 - iii. In the event that said payment is made after the FINAL NOTICE and prior to the collection agency taking any action to collect the penalty, \$100.00 shall be accepted as settlement.
 - iv. If the person accused of the violation does not settle the claim or request a hearing in the Circuit Court of DuPage County, he/she must request of the Chief of Police within 10 days of the date of the notice of violation that an administrative hearing be held. Upon receipt of a hearing request, the Chief

of Police of the Village, or the designee of the Chief of Police, shall conduct the hearing. The person requesting a hearing shall be notified of the time, date and place of the administrative hearing. After the person accused of a violation has had an opportunity to present his or her testimony, the Chief of Police or the designee of the Chief of Police shall advise the person of his/her findings. If the Chief of Police or the designee of the Chief of Police determines that the violation notice was valid and that an ordinance violation occurred, the \$50.00 penalty shall be due and payable within 10 days. If the offender fails to pay the fine, the claim may be turned over to a collection agency as set forth in paragraphs 2 and 3 above.

- v. In the event that actions taken by the collection agency fail to result in payment of the penalty due, a FINAL NOTICE, which stipulates the date on which filing of a complaint with the Clerk of the Circuit Court of DuPage County will be commenced, will be issued. Payment of any fine and costs shall be in such amounts as may be determined and established by the Court.

Besides using an out-of-date enforcement method, assumption of responsibilities for sign placement is often challenging to establish, as an owner of a sign is sometimes not readily apparent, therefore making it difficult to establish who specifically to begin enforcement proceedings against.

Staff has included draft language in Exhibit B to amend the Sign Ordinance and right-of-way sign regulations. The draft language removes the terminology “right-of-way,” thereby allowing temporary signs within a certain distance of the roadway on private property. The complex enforcement procedures, limitation on days of the week for posting, and other regulations have also been eliminated.

Findings of Fact and Recommendation

The findings of fact for a text amendment are limited to assessing whether the amendment is compatible with other standards of the Zoning Ordinance and if it fulfills the purpose and intent of the Zoning Ordinance, or in this case, the Sign Ordinance. Findings of Fact has been included as an attachment.

Appendix

Exhibit A – Petitioner’s Materials

Exhibit B – Draft Language, Sign Ordinance Section 55.09.E



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

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PETITIONER'S ADDRESS: 7660 S. County Line Road, Burr Ridge, IL 60527

ADDRESS OF SUBJECT PROPERTY: N/A

PHONE: (630) 654-8181 x. 6100

EMAIL: jfarrell@burr-ridge.gov

PROPERTY OWNER: N/A

PROPERTY OWNER'S ADDRESS: N/A PHONE: N/A

PUBLIC HEARING REQUESTED: ☐ Special Use ☐ Rezoning ☒ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

Request to modify section 55.09.E of the Sign Ordinance to clarify regulations pertaining to right-of-way signs.

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: N/A EXISTING ZONING: N/A

EXISTING USE/IMPROVEMENTS: N/A

SUBDIVISION: N/A

PIN(S) # N/A

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Janine Farrell
Petitioner's Signature

3/22/2002
Date of Filing



**FINDINGS OF FACT
FOR AN AMENDMENT TO THE
VILLAGE OF BURR RIDGE ZONING ORDINANCE**

Section XIII.J of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission determine compliance with the following findings in order to recommend a text amendment to the Zoning Ordinance. The petitioner must respond to and confirm each of the following findings by indicating the facts supporting such findings.

- a. The amendment is compatible with other standards and uses of the Zoning Ordinance;

Section 55.09.E of the Sign Ordinance lists "Right-of-Way" signs as Temporary Signs. Temporary signs do not require permission to be placed so long as they comply with several conditions. The conditions are difficult to quantify or verify and enforcement proceedings against signs violating the provisions is complicated. Clarifying the language will provide for better enforcement of the regulations.

- b. The amendment fulfills the purpose and intent of the Zoning Ordinance;

Section 55.09.E of the Sign Ordinance already codifies the provisions for right-of-way signs. Simplifying and clarifying the regulations pertaining to location, owner consent, and enforcement of fines will better serve the community.

(Please transcribe or attach additional pages as necessary)

Article III. Temporary, Exempt and Prohibited Signs

Sec. 55.09.

Temporary Signs

The following signs shall be permitted anywhere within the Village and shall not require a permit. Temporary signs may only be erected on private property by or with the express consent of the property owner.

- A. **Construction Work or Activity:** Not more than two (2) signs regarding construction work or activity on the property with a total combined surface area not to exceed thirty-two (32) square feet and a maximum height, to the top of each sign, of eight (8) feet. Not more than one (1) such sign, with an identical message to another, shall be permitted. The signs shall be confined to the site of construction, may be erected after a complete building permit application is submitted, and shall be removed within seven (7) days after the issuance of an occupancy permit.
- B. **Property Sale, Lease, or Rental:** Signs regarding the sale, lease, or rental of property, not exceeding a total area of twelve (12) square feet and a maximum height, to the top of each sign, of five (5) feet advertising the sale, rental or lease of all, or part, of the premises on which the signs are displayed. One such sign is permitted for each lot or parcel and such signs shall be removed within seven (7) days after the sale is closed or the lease is signed.
- C. **Non-Commercial:** Non-commercial signs, as defined herein, not exceeding sixteen (16) square feet in area for each sign. Not more than one (1) such sign, with an identical message to another, shall be permitted. Maximum height, to the top of such signs, shall be five (5) feet. ~~These signs shall be confined within private property.~~ Signs shall be removed within thirty (30) days after the conclusion of the event to which they pertain, if any, except as otherwise authorized or required by state and federal law. In no case may a temporary non-commercial sign be displayed for longer than one (1) year, except as otherwise authorized by state or federal law. Temporary non-commercial signs that do not meet the temporal requirements of this subsection shall require a permit. (Amended by Ord. A-923-04-17)
- D. **Development of Property:** Signs regarding property development not exceeding one hundred (100) square feet in area. Maximum height to the top of such signs shall be twenty (20) feet. One such sign shall be permitted for each thoroughfare or highway frontage of the development. Such signs may be erected upon approval of a preliminary plat of subdivision or upon submission of a building permit application and shall be removed within seven (7) days after the last lot or unit is sold.
- E. **Right-of-WayOther Temporary Signs:** Signs not described above may be placed on private property within the public right-of-way under the following conditions:
 - 1. Signs shall be located no closer than 20 feet from the road pavement edge or curb.
 - 2. Signs shall be permitted anywhere within 20 feet of the principal structure on a lot of record.
 - 1-3. Signs shall be a maximum of three (3) feet in height and a maximum of four (4) feet per face.
 - 2. Signs may be placed on Saturdays and Sundays only between the hours of 9:00 a.m. and 6:00 p.m.
 - 3. That the written consent of the homeowner be obtained prior to installing signs in the public right-of-way adjoining the front, side or rear of any residential property.

4. Signs must be free-standing, not attached to any utility pole or structure nor any traffic control sign and placed at least 3 feet from the curb or edge of pavement.
5. No sign shall be placed within any portion of a twenty-five (25) foot sight triangle at the intersection of two streets. The sight triangle is determined by extending the curb or edge of pavement lines to a point of intersection; then measuring back along these extended curb or edge of pavement lines for a distance of twenty-five (25) feet to two points. A line drawn connecting the above-determined points completes a triangle.
6. That only one sign be permitted within 150 feet of an intersection which relates to the same topic and that the next closest sign be no closer than 150 feet. Additionally, there shall be only one sign of the same topic placed in front of a single lot.
5.
 7. No attention or attracting devices such as pennants, streamers, balloons, inflatable shapes, banners, flashing lights or other illumination shall be attached to a sign or placed in the public right-of-way.
 8. Each sign must have attached an adhesive label or other means to identify the name, address and telephone number of the person responsible for the placement and removal of each sign.
 9. That a fine in the amount of \$5075.00 per sign will be charged to the person, company, or other party whose name or interest is on the sign, if the sign is in violation of any of the above restrictions. If no names are found on the sign, the party or entity identified on the sign will be assessed the fine. Notice of each violation shall be in writing. Any person, firm or corporation charged with said violation may be issued a citation or "P" ticket. Violators issued such notices may request a hearing in the Circuit Court of DuPage County within 10 days of the date of the original violation or may settle and compromise the claim by paying to the Village the respective amounts set forth in the following schedule and within the times set forth in the following schedule: (Section 9 Amended by A-923-07-02)
 1. Payment of \$50.00 for each violation within 10 days of the date of the original violation.
 2. A FINAL NOTICE, which stipulates the date on which collection of the \$50.00 penalty shall be turned over to a collection agency approved by the Village for collection will be issued after 10 days.
 3. In the event that said payment is made after the FINAL NOTICE and prior to the collection agency taking any action to collect the penalty, \$100.00 shall be accepted as settlement.
 4. If the person accused of the violation does not settle the claim or request a hearing in the Circuit Court of DuPage County, he/she must request of the Chief of Police within 10 days of the date of the notice of violation that an administrative hearing be held. Upon receipt of a hearing request, the Chief of Police of the Village, or the designee of the Chief of Police, shall conduct the hearing. The person requesting a hearing shall be notified of the time, date and place of the administrative hearing. After the person accused of a violation has had an opportunity to present his or her testimony, the Chief of Police or the designee of the Chief of Police shall advise the person of his/her findings. If the Chief of Police or the designee of the Chief of Police determines that the violation notice was valid and that an ordinance violation occurred, the \$50.00 penalty

shall be due and payable within 10 days. If the offender fails to pay the fine, the claim may be turned over to a collection agency as set forth in paragraphs 2 and 3 above.

5. In the event that actions taken by the collection agency fail to result in payment of the penalty due, a FINAL NOTICE, which stipulates the date on which filing of a complaint with the Clerk of the Circuit Court of DuPage County will be commenced, will be issued. Payment of any fine and costs shall be in such amounts as may be determined and established by the Court.

10.6. That signs which are removed will be kept by the Village for a period of no more than three (3) weeks. In order to retrieve the signs, the fine must be paid within the three-week period of time, otherwise they will be discarded.

11.7. Any noncomplying sign shall be removed.

Article III. Temporary, Exempt and Prohibited Signs

Sec. 55.09.

Temporary Signs

The following signs shall be permitted anywhere within the Village and shall not require a permit. Temporary signs may only be erected on private property by or with the express consent of the property owner.

- A. **Construction Work or Activity:** Not more than two (2) signs regarding construction work or activity on the property with a total combined surface area not to exceed thirty-two (32) square feet and a maximum height, to the top of each sign, of eight (8) feet. Not more than one (1) such sign, with an identical message to another, shall be permitted. The signs shall be confined to the site of construction, may be erected after a complete building permit application is submitted, and shall be removed within seven (7) days after the issuance of an occupancy permit.
- B. **Property Sale, Lease, or Rental:** Signs regarding the sale, lease, or rental of property, not exceeding a total area of twelve (12) square feet and a maximum height, to the top of each sign, of five (5) feet advertising the sale, rental or lease of all, or part, of the premises on which the signs are displayed. One such sign is permitted for each lot or parcel and such signs shall be removed within seven (7) days after the sale is closed or the lease is signed.
- C. **Non-Commercial:** Non-commercial signs, as defined herein, not exceeding sixteen (16) square feet in area for each sign. Not more than one (1) such sign, with an identical message to another, shall be permitted. Maximum height, to the top of such signs, shall be five (5) feet. Signs shall be removed within thirty (30) days after the conclusion of the event to which they pertain, if any, except as otherwise authorized or required by state and federal law. In no case may a temporary non-commercial sign be displayed for longer than one (1) year, except as otherwise authorized by state or federal law. Temporary non-commercial signs that do not meet the temporal requirements of this subsection shall require a permit. (Amended by Ord. A-923-04-17)
- D. **Development of Property:** Signs regarding property development not exceeding one hundred (100) square feet in area. Maximum height to the top of such signs shall be twenty (20) feet. One such sign shall be permitted for each thoroughfare or highway frontage of the development. Such signs may be erected upon approval of a preliminary plat of subdivision or upon submission of a building permit application and shall be removed within seven (7) days after the last lot or unit is sold.
- E. **Other Temporary Signs:** Signs not described above may be placed on private property under the following conditions:
 - 1. Signs shall be located no closer than 20 feet from the road pavement edge or curb.
 - 2. Signs shall be permitted anywhere within 20 feet of the principal structure on a lot of record.
 - 3. Signs shall be a maximum of three (3) feet in height and a maximum of four (4) feet per face.
 - 4. That a fine in the amount of \$75.00 per sign will be charged to the person, company, or other party whose name or interest is on the sign, if the sign is in violation of any of the above restrictions. Notice of each violation shall be in writing.

5. That signs which are removed will be kept by the Village for a period of no more than three (3) weeks. In order to retrieve the signs, the fine must be paid within the three-week period of time, otherwise they will be discarded.
6. Any noncomplying sign shall be removed.



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-15-2022: 7950 Drew (Perino/Jarper Properties LLC); Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

HEARING DATE:

May 16, 2022

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Janine Farrell, AICP
Community Development
Director

PETITIONER:

Anthony Perino, Manager of
Jarper Properties LLC

PETITIONER STATUS:

Property Owner

PROPERTY OWNER:

Anthony Perino, Manager of
Jarper Properties LLC

EXISTING ZONING:

R-3 Residential PUD

LAND USE PLAN:

Recommends Residential Uses

EXISTING LAND USE:

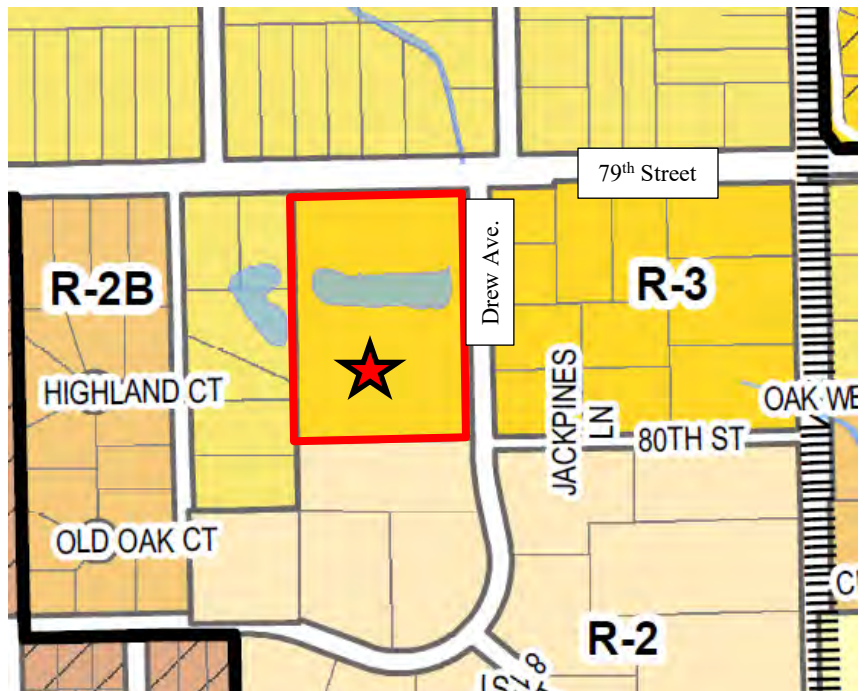
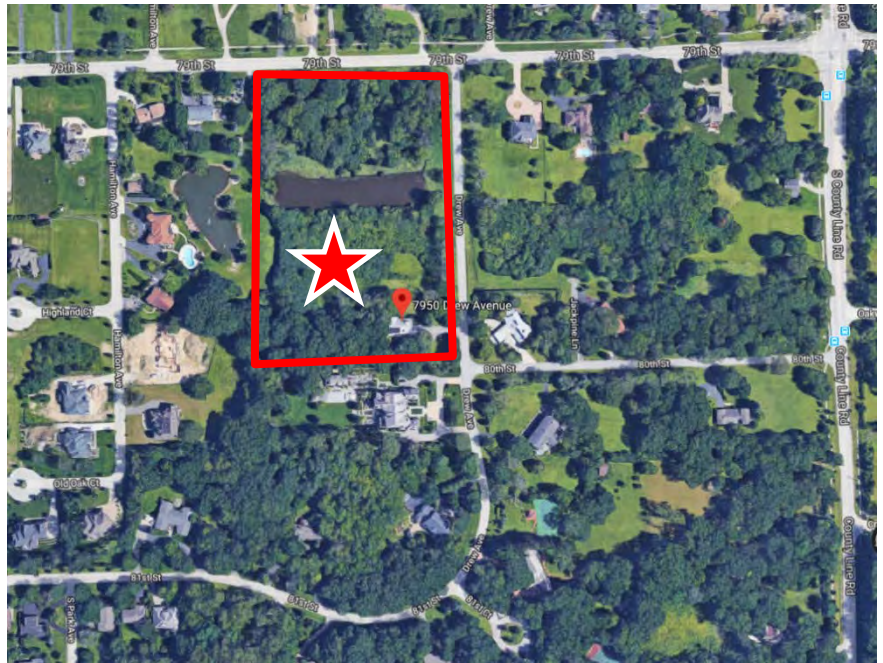
Vacant Single-Family Residential

SITE AREA:

8.87 Acres

SUBDIVISION:

Korinek's Owners



On September 10, 2018, the petitioner was approved for a Planned Unit Development and variation to construct eight homes on 8.87 acres (case #Z-04-2018, Ordinance #A-834-16-18 PUD, Ordinance #A-834-17-18 variation). The development was called the Cottages of Drew. Three of the approved conditions for the PUD stated:

1. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
2. Additional landscaping be added on the western property line.
3. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

As the petitioner was finalizing engineering, landscaping, and building elevations, the attached garage sizes were evaluated. Originally, a two-car garage was proposed, but the petitioner would now like to offer a three-car option for six of the eight homes. This increase in floorplate of the residences resulted in a reduction of open space. The open space was reduced from 88.5% to 84%. Any reduction in open space for a PUD constitutes a major change (Zoning Ordinance section XIII.L.8.a) and a public hearing must be held on the proposal. In all other respects, the PUD remains relatively unchanged from the 2018 proposal.

The petitioner is now requesting a major change to the PUD and final approval of the engineering plans, landscaping plans, and building elevations, in accordance with the 2018 approval. These documents are attached as Exhibit A. In follow-up to the 2018 conditions, some additional landscaping has been added to the western property line and the petitioner is proposing four different architectural styles for the development.

Findings of Fact and Recommendation

The petitioner has prepared Findings of Fact for the PUD which may be adopted if the Plan Commission is in agreement with those findings.

Appendix

Exhibit A – Petitioner’s Materials and Findings of Fact

- Application and Findings of Fact
- 2018 Ordinances #A-834-16-18 and #A-834-17-18
- 2018 Conceptual Site Plan (for reference)
- Comparison of 2018 and 2022 plans
- Final Plat of Subdivision
- Final Site Plans
- Landscaping Plans
- Architectural elevations
- Stormwater Report



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS



GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): JARPER PROPERTIES LLC

STATUS OF PETITIONER: ANTHONY PERINO, MANAGER

PETITIONER'S ADDRESS: 155 ANN ST., CLARENDON HILLS, IL 60514

ADDRESS OF SUBJECT PROPERTY: 7950 DREW AVE.

PHONE: 630-850-9170

EMAIL: aperino@jarperpropertiesllc.com

PROPERTY OWNER: JARPER PROPERTIES LLC

PROPERTY OWNER'S ADDRESS: 155 ANN STREET
CLARENDON HILLS, IL 60514 PHONE: 630-850-9170

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

REQUEST TO ALLOW SIX OF EIGHT HOMES TO HAVE THREE CAR GARAGES. CHANGE REQUIRES
OPEN SPACE REDUCTION OF 10% (MAJOR CHANGE IN P.U.D.) AND INCREASE OF 1.13% FOR IMPERVIOUS
COVERAGE OF HOME FOOTPRINT & DRIVEWAY FOR THIRD CAR (MINOR CHANGE IN P.U.D.)

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 8.87/386,377 EXISTING ZONING: R-3, P.U.D.

EXISTING USE/IMPROVEMENTS: VACANT

SUBDIVISION: THE COTTAGES OF DREW 7950 DREW AVE.

PIN(S) # 09-36-201-004

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

ANTHONY PERINO MANAGER

4/19/2022
Date of Filing



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

7950 DREW AVENUE

Property Owner or Petitioner:

JARPER PROPERTIES LLC - ANTHONY PERINO, MGR.
(Print Name)

[Signature] MANAGER
(Signature)





Findings of Fact
Special Use
Burr Ridge Zoning Ordinance

Address: _____

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

ORIGINAL ISSUE APRIL 2018, AMENDED APRIL 21, 2022 to allow for 6 of 8 homes to have three car garages, two homes with two car garages

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.**

Creation of a planned residential cluster development reduces disturbances to the north natural area, wetland and flood plain and provides benefit to the downstream neighbors by controlling storm water runoff that is not presently restricted.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

The benefit of a compact cluster arrangement for the proposed homes as a planned unit residential development produces 61% less square footage (19,800 sq. ft.) of home area compared to the allowable (32,000 sq. ft.) of home area on the same property of a the conventional R-3 zoning district, it is distinct and unique to this property only. The result of petitioning for a special use will allow a less intensive but high value use compared to the conventional R-3 zoning, therefore the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.**

The location of proposed planned unit development homes are specifically placed to emphasize open space and view preservation of 7.7 acres (87%) of the site. The ability to view natural areas and planned and commonly managed landscape open space area will benefit the use and enjoyment to this development and provide attractive benefit to surrounding neighbors and travelers on 79th and Drew Ave. The proposed homes and open space areas will be maintained and managed in a consistent manner as a maintenance free setting providing enhancement and to neighborhood property values. The open space will be deed restricted and provide an open space buffer to separate the proposed internal road from the

neighboring property to the south as a landscape separation and not impose a requirement for corner lot building setback imposition to the neighboring south property. (Amended, April 21, 2022, Amend open space impervious coverage from 88.5% to 84% due to addition of three car garages for 6 of the eight homes;.94% decrease in open space.)

- d. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The establishment of a special use as a planned cluster development allows for the preservation of open space natural area, wetlands, floodplain and views is specific to the 7950 Drew property. Given the unique nature of the property configuration and presence of natural areas, topography, wetland and floodplain, this petition will not act as a catalyst for other properties to justify planned unit development.

The proposed planned development will create enhanced property value and not have detrimental impact to the normal and orderly development and demonstrate an improvement to benefit the surrounding property. Management of the homes and landscape common areas will act as a positive catalyst to show property improvement in a unified, well maintained and coordinated manner.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.**

The preliminary engineering of the site as a planned development provides for comprehensive engineering design at one time providing adequate site grading, utility routing and road access that are complementary to the site and surrounding infrastructure.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

The proposed Drew Ave. access road is offset 150' north of from 80th St. to provide safe ingress and egress separation and clear sight lines. The type of proposed residential floorplan features ground floor as the primary living area intended to produce low density traffic flow to minimize congestion at a level that is suitable for Drew Ave. design capacity as a residential collector street.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.**

The proposed use respects underlying residential R-3 zoning density by producing a restrained 19,800 sq. ft. (Amended April 21, 2022 to allow 6 of 8 homes with three car garages, add 1,584 sq. ft. = 21383 sq. ft. or 66% less than comparable R-3 conventional development) (61% less) of home building area and is less than the allowable 32,000 sq. ft. allowable under conventional R-3 development. The reduced home size and reduced impervious area abides by the Comprehensive Plan recommendations allowing protection of the natural areas, wetlands and floodplain areas. The proposed plan incorporates as a coordinated theme by using native landscape, rural streetscape character and unified neighborhood identifying elements. The proposed residential cluster site plan allows homes to be compact and arranged in a group to create views, enhance natural topography, wetlands and floodplain and to preserve natural wooded and landscaped areas.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.**

The special use as a planned unit development provides flexibility that allows for a clustered arrangement of homes with reduced building square footage than otherwise attainable by conventional R-3 standards. This provision allows for compact development and results in providing a greater open area of the site to be preserved in a park like open space setting, managed and maintained in perpetuity by covenants and restrictions for the enhancement of the neighborhood.

ORDINANCE NO. A-834-16-18

AN ORDINANCE GRANTING A SPECIAL USE PURSUANT TO THE BURR RIDGE
ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT CONSISTING OF
EIGHT SINGLE-FAMILY HOMES AND COMMONLY OWNED OPEN SPACE BETWEEN
HOMES

(Z-04-2018: 7950 Drew Avenue - Patera)

WHEREAS, an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said special use on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development (PUD) consisting of eight single-family homes with commonly-owned open space between homes.
- B. That the construction of a PUD provides a public benefit to neighbors in the form of additional stormwater management and site plan optimization that is not required or feasible under standard zoning.
- C. The PUD will not be detrimental to the general welfare.
- D. The site plan will provide additional setback and stormwater management benefits to other properties in the immediate vicinity.
- E. The PUD will not impede normal and orderly development to surrounding properties.
- F. Adequate facilities will be present upon the development of the property.

- G. The traffic measures proposed by the PUD are adequate for the development's purposes.
- H. The PUD abides by the objectives of the Official Comprehensive Plan by retaining green space and building like density as is permitted under standard zoning.
- I. The PUD shall conform to all other applicable regulations in the district and in the Village.

Section 3: That special use approval as per the Burr Ridge Zoning Ordinance for a Planned Unit Development consisting of eight single-family homes with commonly-owned open space between homes *is hereby granted* for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of 09-36-201-004.

Section 4: That the approval of the Planned Unit Development shall be subject to the following conditions:

- A. This Ordinance is limited to preliminary PUD approval including approval of the preliminary site plan attached hereto as Exhibit A.
- B. Final engineering plans, landscaping plans, and building elevations shall be submitted for review by the Plan Commission and approval by the Board of Trustees. The final plan review process shall not require legal notices that would otherwise be required for a PUD or special use approval.
- C. Additional landscaping be added on the western property line.
- D. Anti-monotony standards be incorporated in terms of building elevation and garage orientation.

Section 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of September, 2018 by the Corporate

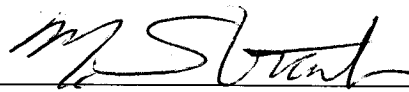
Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

NAYS: 0 - None

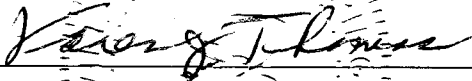
ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 10th day of September, 2018.



Village President

ATTEST:



Village Clerk



ORDINANCE NO. A-834-17-18

AN ORDINANCE GRANTING A VARIATION PURSUANT TO THE BURR RIDGE
ZONING ORDINANCE FOR A PLANNED UNIT DEVELOPMENT ON 8.87 ACRES
RATHER THAN THE REQUIRED 40 ACRES

(Z-04-2018: 7950 Drew Avenue - Patera)

WHEREAS, an application for a variation for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held a public hearing on the question of granting said variation on March 5, 2018, May 7, 2018, and August 20, 2018 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings Weekly, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a variation, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of

Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of a variation indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

Section 2: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the variation for the property located at 7950 Drew Avenue, Burr Ridge, Illinois, is Nick Patera (hereinafter "Petitioner"). The Petitioner requests a variation from Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres.
- B. That the particular physical conditions of the specific property involved present a hardship if the strict letter of the regulations were to be carried out.
- C. The property in question cannot yield a reasonable return if permitted to be used only under conditions allowed by the regulations of the zoning district.
- D. The conditions on which the application for a variation is based are unique to the property.
- E. The purpose of the variation is not based primarily on a desire to increase financial gain.
- F. The granting of the variation will not be injurious to the public welfare.
- G. The granting of the variation will not alter the essential character of the neighborhood or locality.
- H. The proposed variation will not impair natural drainage or

create drainage problems on adjacent properties.

- I. The proposed variation is consistent with the Official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

Section 3: That the variation as per Section VI.F.3.b(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres ***is hereby granted*** for the property commonly known as 7950 Drew Avenue with the Permanent Real Estate Index Number of **09-36-201-004**.

Section 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 10th day of September, 2018 by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustees Schiappa, Paveza, Mottl, Franzese, Mital, Snyder

NAYS: 0 - None

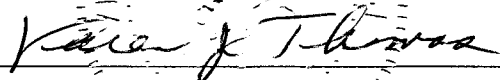
ABSENT: 0 - None

APPROVED by the President of the Village of Burr Ridge on this 10th day of September, 2018.



Village President

ATTEST:

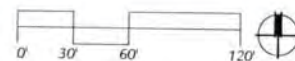


Village Clerk



8 Homes on Commonly Owned Open Space Plan
 8 Homes with 2,200 s.f. Floorplate and
 Approximately 3,500 s.f. of Primary Dwelling Area

Total Property Area = 8.87 Ac.
 Homes + Drives = 1.02 Ac. (11.5%)
 Dedicated Open Space/Common Area
 Managed by Homeowner Association
 = 7.85 Ac. (88.5%)



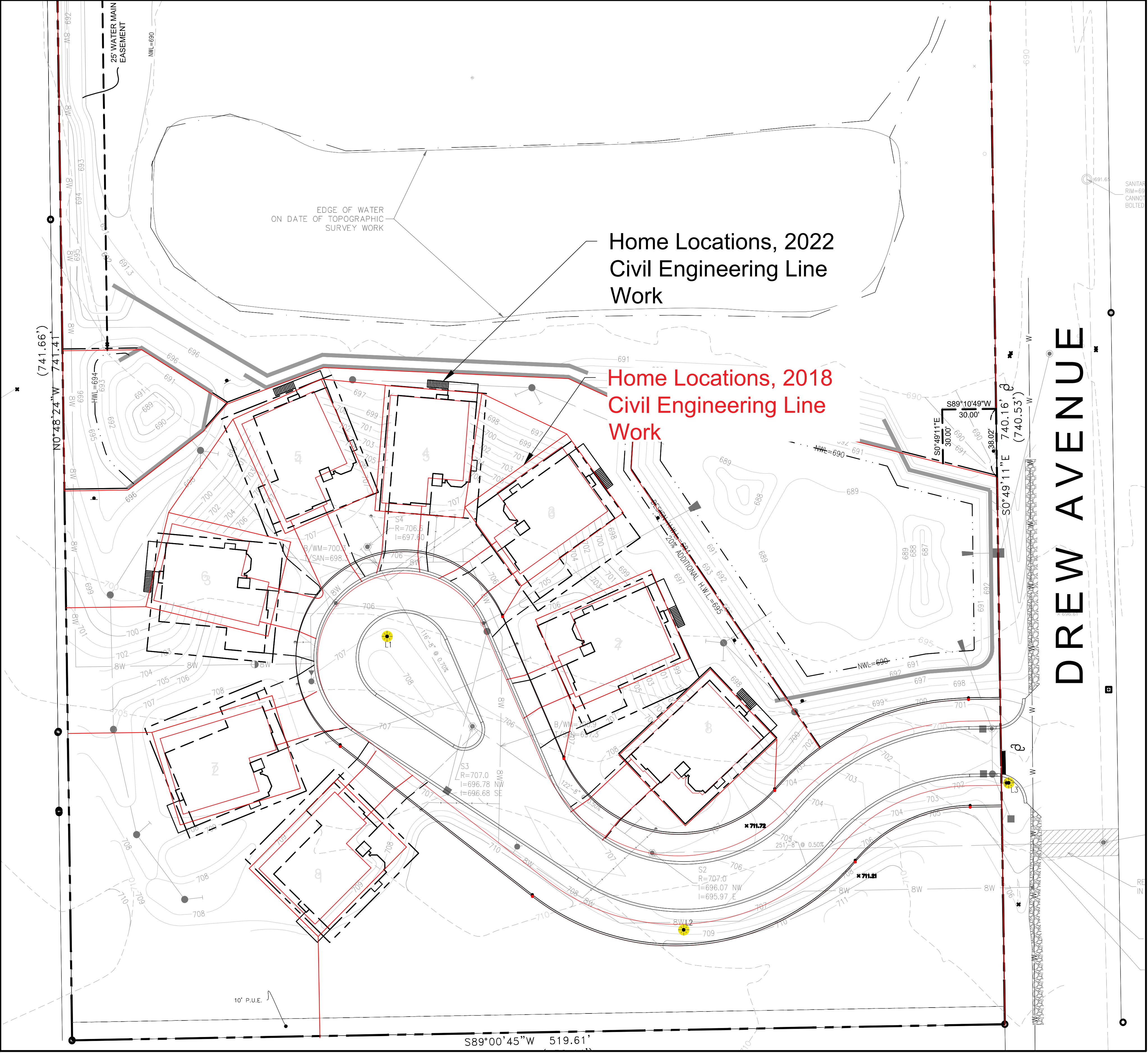
Conceptual Site Plan
 7950 Drew Avenue
 Burr Ridge, IL

SHEET L-7

JARPER PROPERTIES, LLC
 16 W. 231 S. Frontage Road #17
 Burr Ridge, IL 60527

June 22, 2018





- 2018 LOT, HOME AND DRIVEWAY CONFIGURATIONS FOR REFERENCE
- 2022 LOT, HOME AND DRIVEWAY CONFIGURATIONS FOR REFERENCE

2018 SITE COVERAGE CALCULATIONS:

EXHIBIT A - JUNE 22, 2018 - CONCEPTUAL SITE PLAN; APPROVED PER ORDINANCE

Total Property Area = 8.87 Ac.
Homes, Driveways + Road = 1.02 Ac. (11.5%)
Dedicated Open Space/Common Area
Managed by Homeowner Association = 7.85 Ac. (88.5%)

2022 SITE COVERAGE CALCULATIONS:

EXHIBIT A - APRIL 21, 2022 - CONCEPTUAL SITE PLAN

Total Property Area = 8.87 Ac.
Homes, Driveways + Road = 1.4 Ac. (13.0%)
Dedicated Open Space/Common Area
Managed by Homeowner Association = 7.47 Ac. (84%)

SUMMARY	2018	2022	
OPEN SPACE AREA	88.50%	84%	0.94% DECREASE
IMPERVIOUS AREA	11.50%	13%	1.13% INCREASE

2018 / 2022 SITE COVERAGE COMPARISON EXHIBIT

BURR RIDGE, ILLINOIS

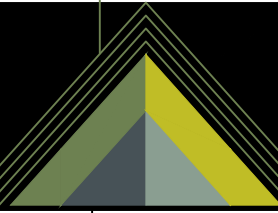
APRIL 21, 2022



627 Grove Street,
Evanston, Illinois 60201
Tel 847.869.2015
Fax 847.869.2059

NO.	DATE	REMARKS
1	3/4/19	REVISED PER VILLAGE & COUNTY
2	9/24/19	RE-USED PER CML
3	10/27/19	RE-USED PER CML
4	10/24/21	REVISED PER ARCH
5	3/15/22	REVISED PER ARCH

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847.260.4758



LANDSCAPE COMMON AREA PLANTING PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

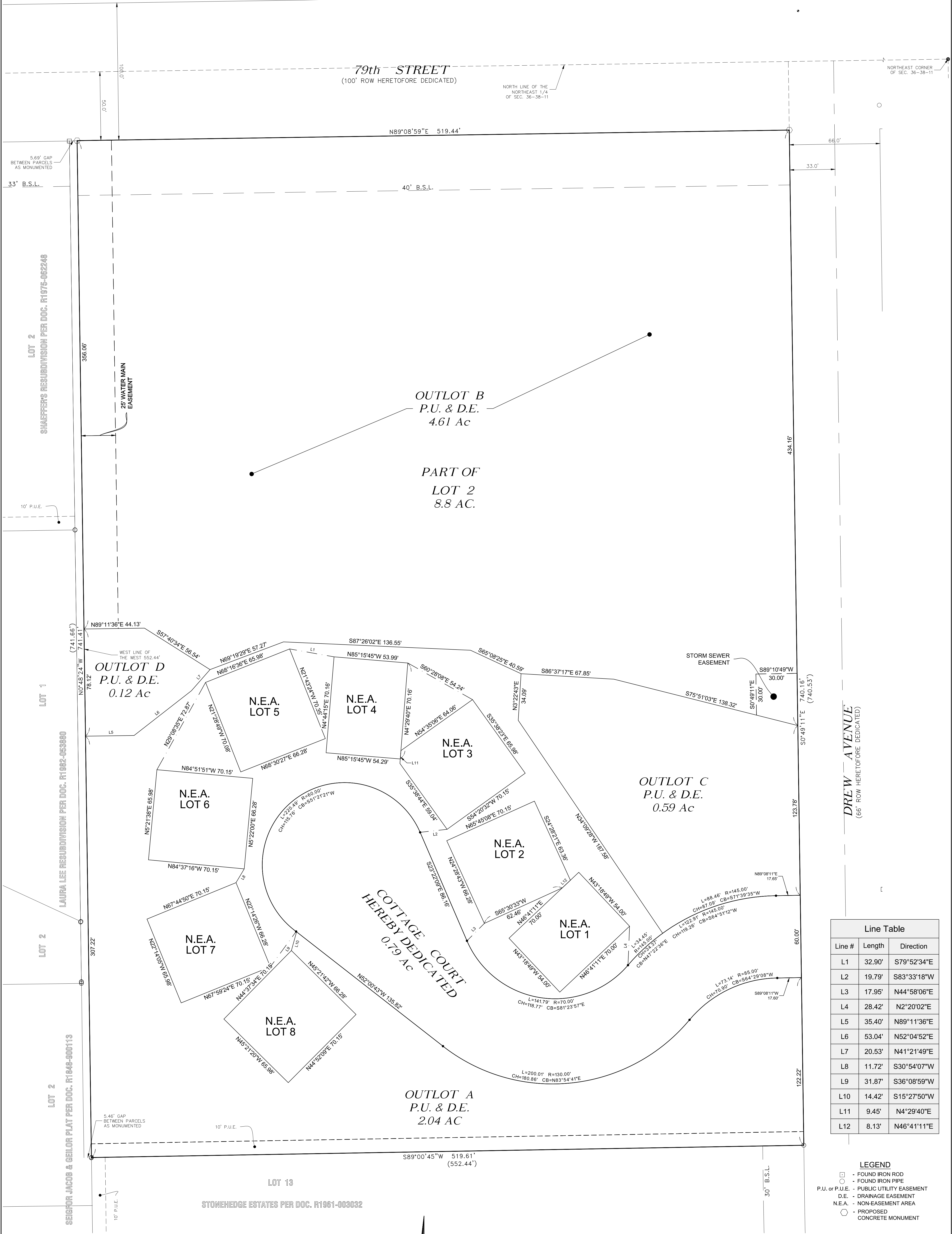
JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

MARCH 15, 2022
JOB: 16-086

SHEET:
LS1
25 OF 27

FINAL PLAT OF SUBDIVISION
FOR
THE COTTAGES OF DREW

BEING A RE-SUBDIVISION OF THE WEST 552.44 FEET OF THE NORTH 792 FEET OF LOT 2 OF THE SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1848 IN BOOK 1 OF PLATS, PAGE 13, DU PAGE COUNTY, ILLINOIS.

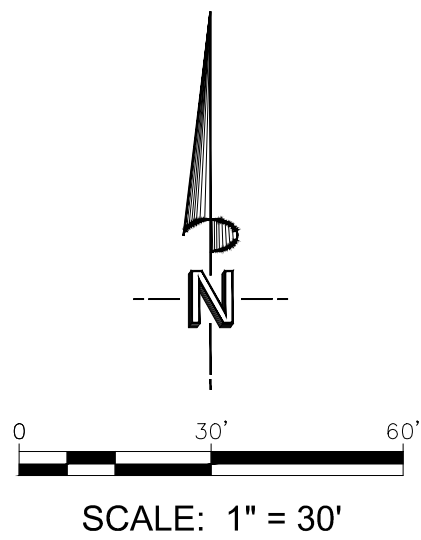


Line Table		
Line #	Length	Direction
L1	32.90'	S79°52'34"E
L2	19.79'	S83°33'18"W
L3	17.95'	N44°58'06"E
L4	28.42'	N2°20'02"E
L5	35.40'	N89°11'36"E
L6	53.04'	N52°04'52"E
L7	20.53'	N41°21'49"E
L8	11.72'	S30°54'07"W
L9	31.87'	S36°08'59"W
L10	14.42'	S15°27'50"W
L11	9.45'	N4°29'40"E
L12	8.13'	N46°41'11"E

- LEGEND
- FOUND IRON ROD
 - FOUND IRON PIPE
 - P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - N.E.A. - NON-EASEMENT AREA
 - PROPOSED CONCRETE MONUMENT

NOTE: PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED OVER ALL OF OUTLOT A, EXCEPT IN AREAS NOTED AS N.E.A. (NON-EASEMENT AREA). SEE PROVISIONS FOR DETAILS.

IN ADDITION, A PERPETUAL EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE HOMEOWNERS ASSOCIATION, AND OTHER PARTIES AS DETERMINED NECESSARY OVER THE ENTIRE EASEMENT FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MAINTENANCE AND OPERATION OF THE STORM WATER AREAS, THOSE BEING LOCATED UPON PORTIONS OF OUTLOT A, B, C, & D.



REVISIONS			MGA ² CIVIL ENGINEERING SURVEYING	
DATE	BY	DESCRIPTION		
3/15/19	RFS	ISSUED FOR REVIEW	M GINGERICH GEREAX & ASSOCIATES Professional Design Firm License # 184.005003 P. 815-478-9680 www.mg2a.com F. 815-478-9685 25620 S. GOUGAR RD MANHATTAN, IL. 60442	
3/19/19	RFS	PER VILLAGE REVIEW		
3/28/19	RFS	PER VILLAGE REVIEW		
4/2/19	BPH	GENERAL REVISIONS		
4/19/19	BPH	PER VILLAGE REVIEW		
9/05/19	BPH	PER VILLAGE REVIEW		
9/30/19	BPH	GENERAL (REM. 30x30 SS ESMT)		
10/30/19	BPH	PER VILLAGE REVIEW		
12/09/21	BPH	PER BUILDING CHANGES		
ORDERED BY: JARPER PROPERTIES			DATE ISSUED: 01-02-2019	
			DWG. BY: NIB	C.K. B. / RFS
			SUB. NO.: 16-207	PG: 1 of 2

ISSUED FOR CONSTRUCTION

FINAL SITE IMPROVEMENT PLANS

FOR

THE COTTAGES OF DREW

FOR

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

DUPAGE COUNTY SMC # SM2018-0124

TRACKING # 18-08-1024/T60746

SWPPP PERMIT # ILR10AS66

BENCHMARKS:

REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:

SITE BENCHMARK #1

FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF
79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

CALL J.U.L.I.E. 1-800-892-0123
WITH THE FOLLOWING:

COUNTY DuPAGE

CITY, TOWNSHIP BURR RIDGE, DOWNERS GROVE
SEC. & SEC. NO. SEC 36, T38N, R11E

48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS

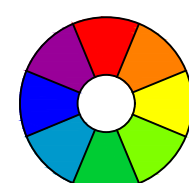
DEVELOPER/OWNER

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

ADVANTAGE NOTE

ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION. STAKING REQUESTS FIVE (5) DAYS NOTICE BETWEEN SEPTEMBER 15th AND DECEMBER 15th AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR VIEW PDF.

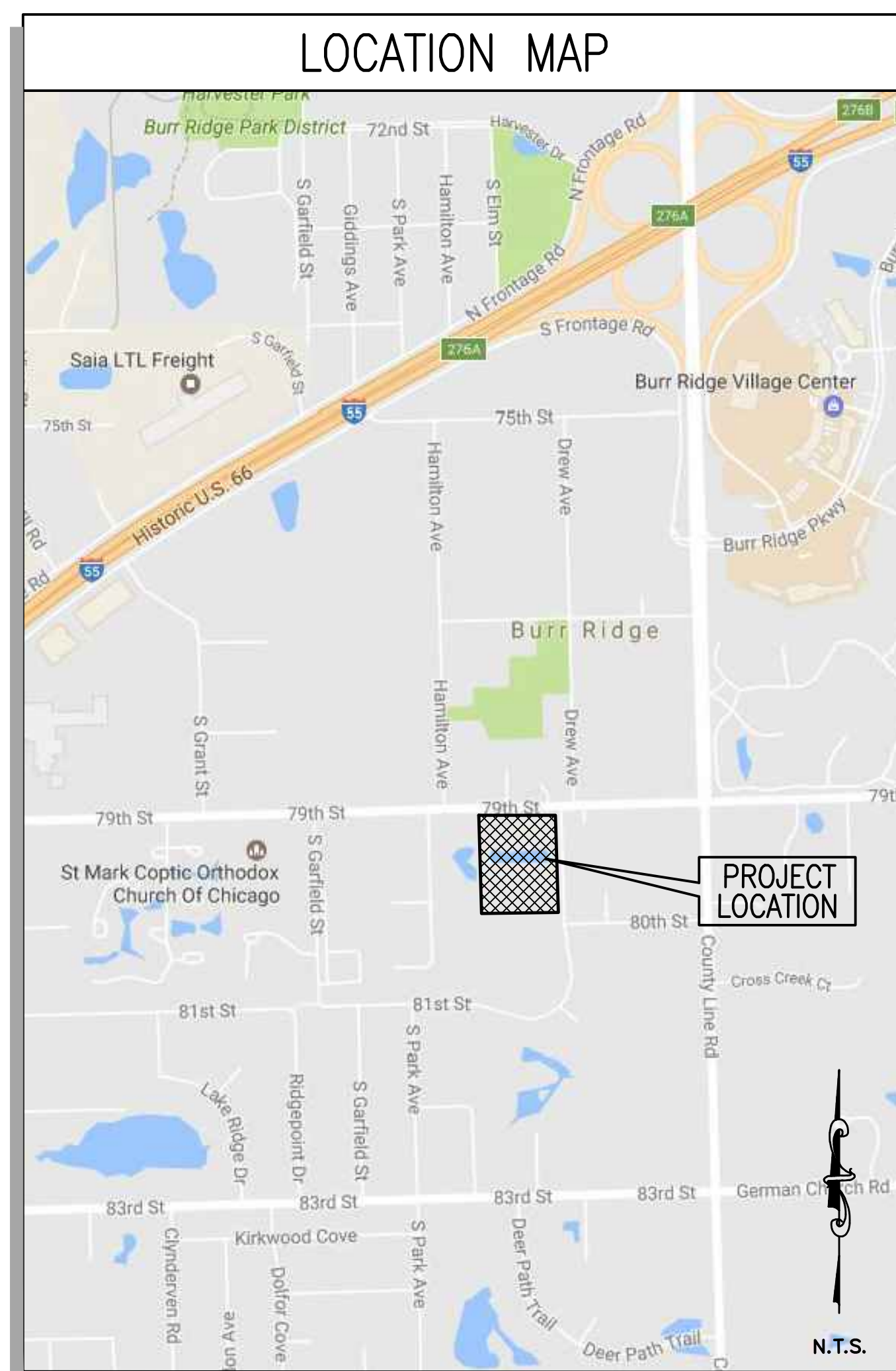


BENCHMARK

SEE ABOVE

EXISTING TOTAL SITE AREA: 8.8 ACRES
PROPOSED DISTURBED AREA: 4.1 ACRES

LOCATION MAP



INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	TS1	GENERAL NOTES AND TYPICAL SECTIONS
3-4	EX1-EX2	EXISTING CONDITIONS PLAN
5	DM1	DEMOLITION PLAN
6	L1	GEOMETRIC PLAN
7-8	G1-G2	GRADING PLAN
9-10	U1-U2	UTILITY PLAN
11	PP1	PLAN AND PROFILE
12-13	SE1-SE2	STORM WATER POLLUTION PREVENTION PLAN
14-15	SE3-SE4	SOIL EROSION AND SEDIMENT CONTROL PLAN
16-17	S1-S2	SPECIFICATIONS
18-19	D1-D2	DETAILS
20-22	XS1-XS3	CROSS SECTIONS - FLOOD PLAIN COMPENSATORY AREAS
22A	T1	TREE SURVEY
23	W1	WATER RESOURCE PLAN
24-25	B1-B2	BMP PLANTING PLAN
26	LS1	COMMON AREA PLANTING PLAN
27	LS2	COMMON AREA PLANTING DETAILS AND NOTES
28	LS3	SIGNAGE AND WALL DETAILS

REVISIONS

[illegible]

ENGINEER
WILLIAM J ZALEWSKI, P.E.
BILLZ@ACENG.US

ILLINOIS REGISTRATION NO.: 062-04612
EXPIRATION DATE: 11/30/2021

PROFESSIONAL DESIGN FIRM NO.: 184-00738
EXPIRATION DATE: 4/30/2021

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER.

DATE _____

GENERAL NOTES

1.

ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
2.

ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
3.

STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
5.

NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO OBTAIN SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
6.

NOTIFICATION OF COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
7.

ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
8.

ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
9.

THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
10.

ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
11.

ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
12.

REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
13.

ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY OWNER & MUNICIPALITY.
14.

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
15.

BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
16.

UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND & INSURANCE IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.
17.

EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, ADVANTAGE CONSULTING ENGINEERS IS RESPONSIBLE TO RESOLVE THE CONFLICT. ADVANTAGE CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
18.

OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
19.

THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
20.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS.
21.

THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. **BURNING ON THE SITE IS NOT PERMITTED.**
22.

IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR D.O.T. DREW AVENUE AND 79TH STREET SHALL REMAIN OPEN TO TWO WAY TRAFFIC AT ALL TIMES.
23.

NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
24.

ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
25.

AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
26.

TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
27.

LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
28.

ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
29.

ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
30.

ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
31.

CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
32.

TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, BUILDINGS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6.
33.

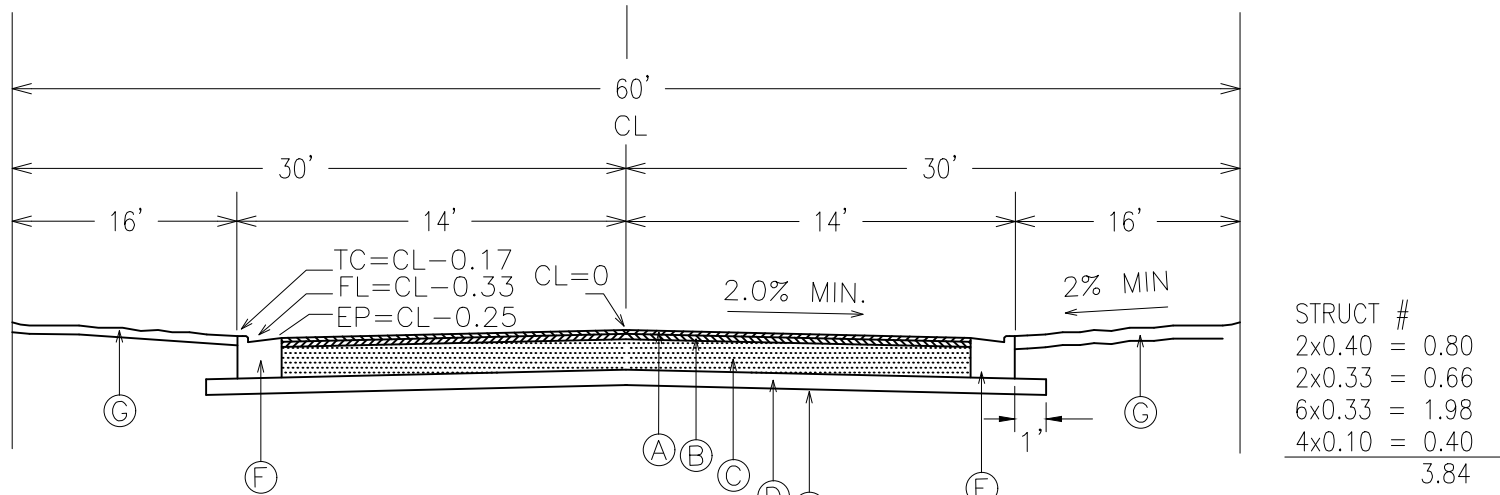
WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE.
34.

HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
35.

AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
36.

EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
37.

THE OWNER SHALL PROVIDE RECORD DRAWINGS PER MUNICIPAL REQUIREMENTS.



TYPICAL PAVEMENT SECTION
N.T.S.

- (A)

2" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, N50
- (B)

2" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, IL19, N50
- (C)

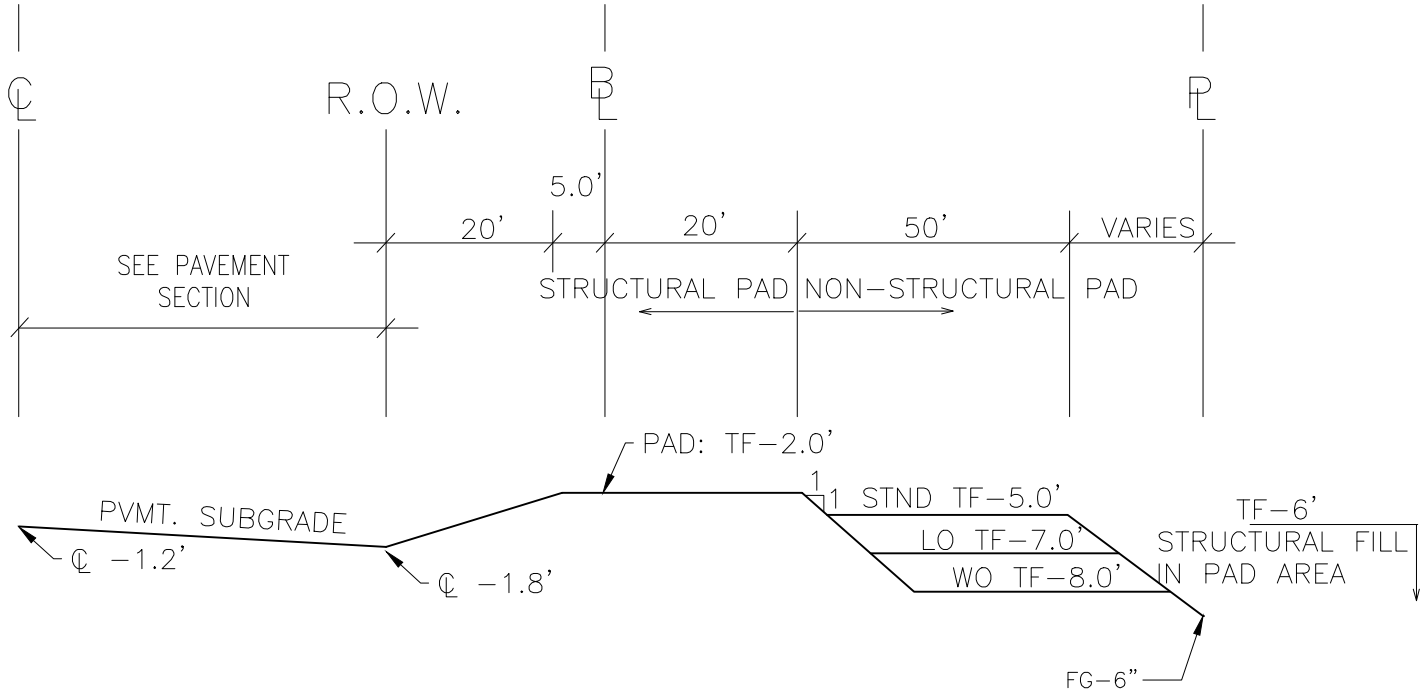
6" BITUMINOUS CONCRETE BASE COURSE, HOT MIX ASPHALT, N50
- (D)

4" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (E)

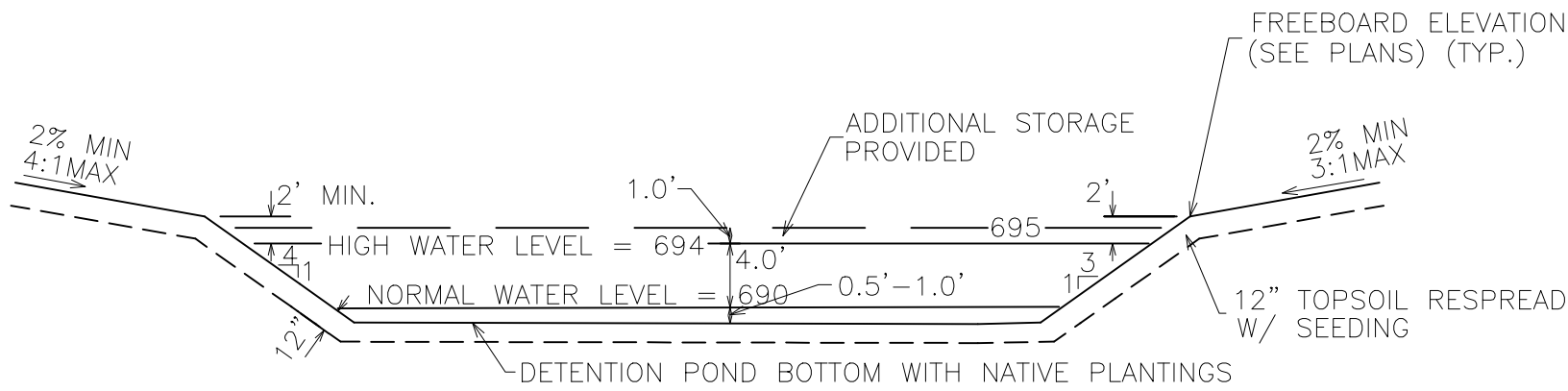
COMPACTED SUBGRADE
- (F)

COMB. CONC. CURB AND GUTTER, B-6-12
- (G)

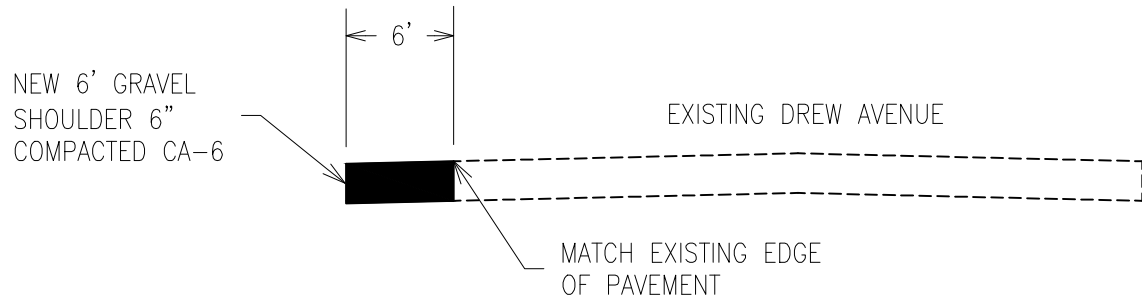
6" TOP SOIL AND SEEDING



TYPICAL HOMESITE MASS GRADE SECTION
N.T.S.



TYPICAL SECTION DETENTION POND
N.T.S.



TYPICAL DREW AVE. SECTION
N.T.S.

CONTACTS

ENGINEER

ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439
PHONE: (847) 260-4758
CONTACT: WILLIAM J ZALEWSKI

DEVELOPER

JASPER PROPERTIES, LLC
16W231 S FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

VILLAGE ENGINEER

DAVID PREISSIG
VILLAGE OF BURR RIDGE
DEPARTMENT OF PUBLIC WORKS
451 COMMERCE STREET
BURR RIDGE, ILLINOIS 60527
PHONE: (630) 323-4733 EXT. 6000

ADVANTAGE

CONSULTING ENGINEERS

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630-520-2467
WWW.ACEPIUS

GENERAL NOTES AND
TYPICAL SECTIONS

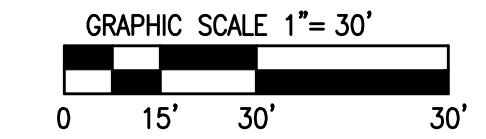
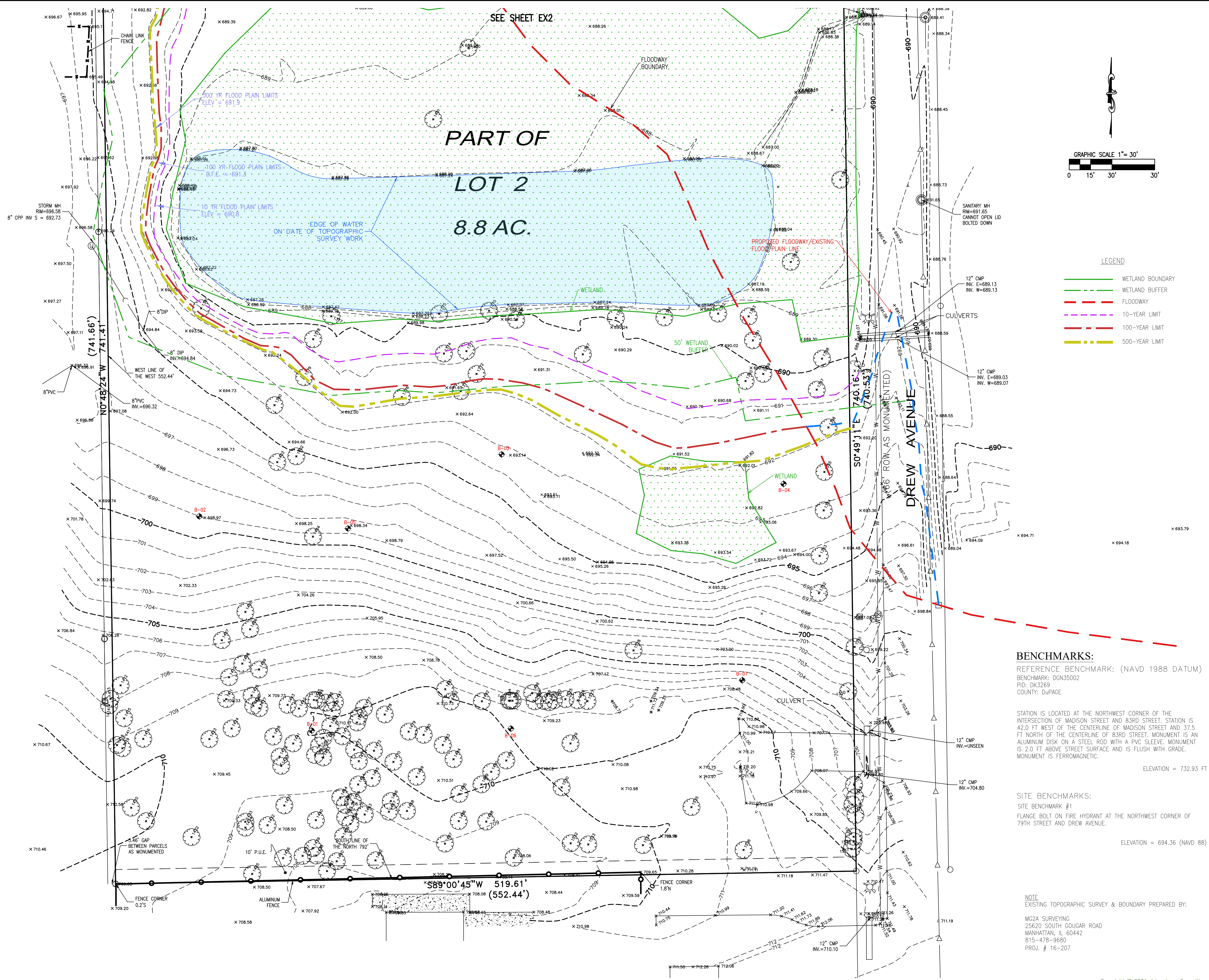
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
TS1

2 OF 28



- LEGEND
- WETLAND BOUNDARY
 - WETLAND BUFFER
 - FLOODWAY
 - 10-YEAR LIMIT
 - 100-YEAR LIMIT
 - 500-YEAR LIMIT

BENCHMARKS:
REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DuPAGE

STATION IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MADISON STREET AND 83RD STREET. STATION IS 42.0 FT WEST OF THE CENTERLINE OF MADISON STREET AND 37.5 FT NORTH OF THE CENTERLINE OF 83RD STREET. MONUMENT IS AN ALUMINUM DISK ON A STEEL ROD WITH A PVC SLEEVE. MONUMENT IS 2.0 FT ABOVE STREET SURFACE AND IS FLUSH WITH GRADE. MONUMENT IS FERROMAGNETIC.

ELEVATION = 732.93 FT

SITE BENCHMARKS:
SITE BENCHMARK #1
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

ELEVATION = 694.36 (NAVD 88)

NOTE
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:
MC2A SURVEYING
25620 SOUTH GOUGAR ROAD
MANHATTAN, IL 60442
815-478-9680
PROJ. # 16-207

REMARKS	
DATE	REVISED PER VILLAGE & COUNTY
NO.	REVISED PER VILLAGE & COUNTY
1	3/18/19
2	4/18/19
3	08/24/19
4	10/16/19
5	

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
630-520-2467
WWW.ACEPULUS

EXISTING CONDITIONS

THE COTTAGES OF DREW

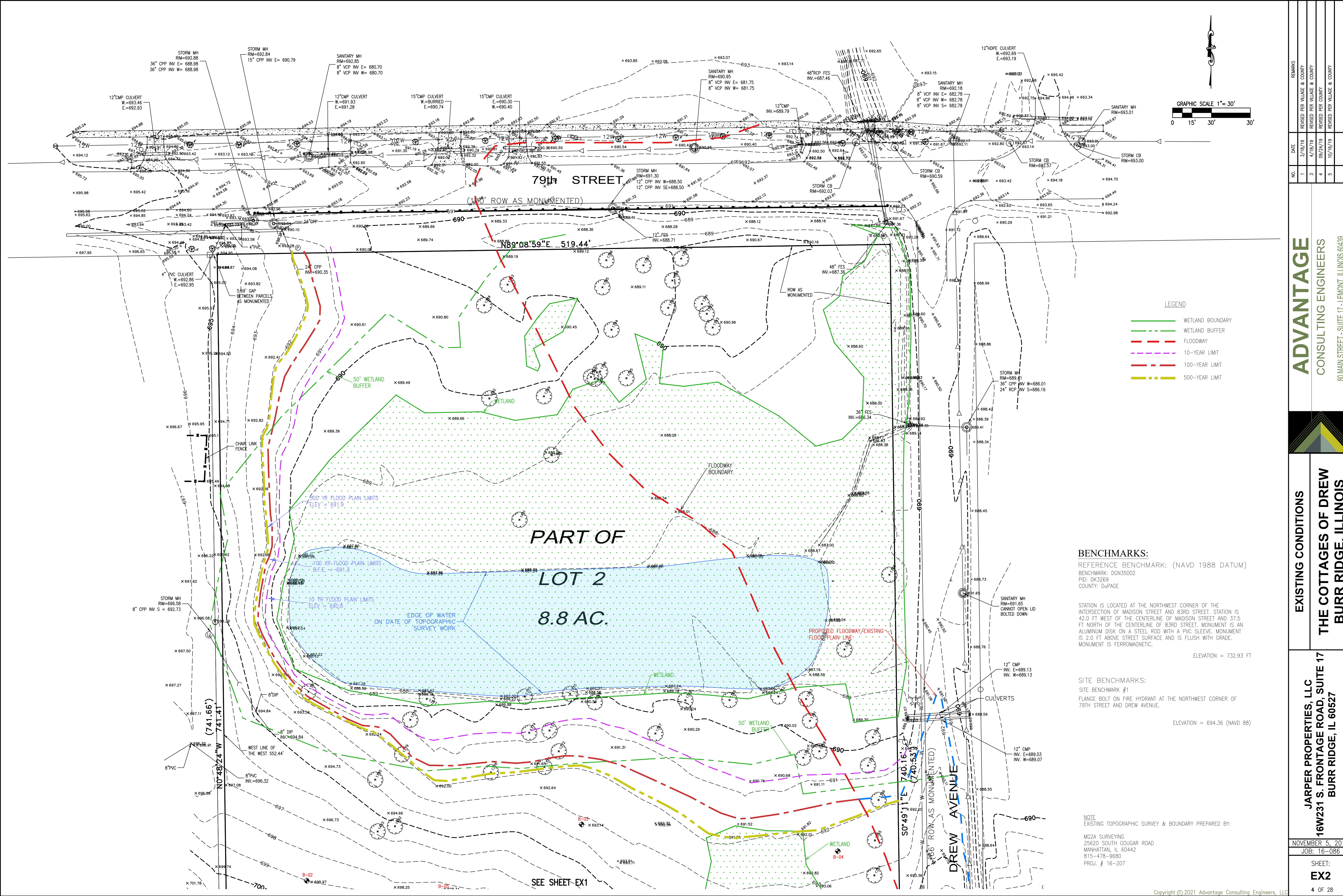
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
EX1
3 OF 28



ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEWISTON, ILLINOIS 60439
630-520-2467
WWW.ADVANTAGE-ILL.COM

EXISTING CONDITIONS
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
EX2
4 OF 28

BENCHMARKS:
REFERENCE BENCHMARK: (NAVD 1988 DATUM)
BENCHMARK: DGN35002
PID: DK3269
COUNTY: DU PAGE

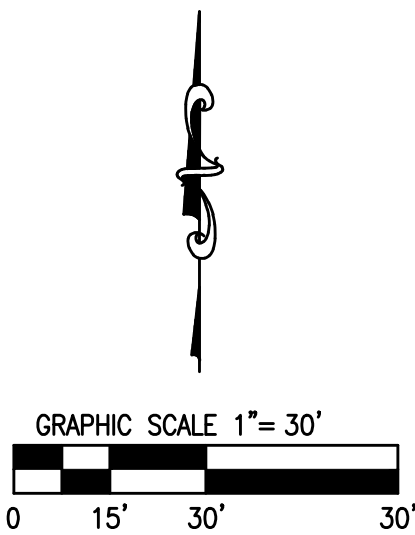
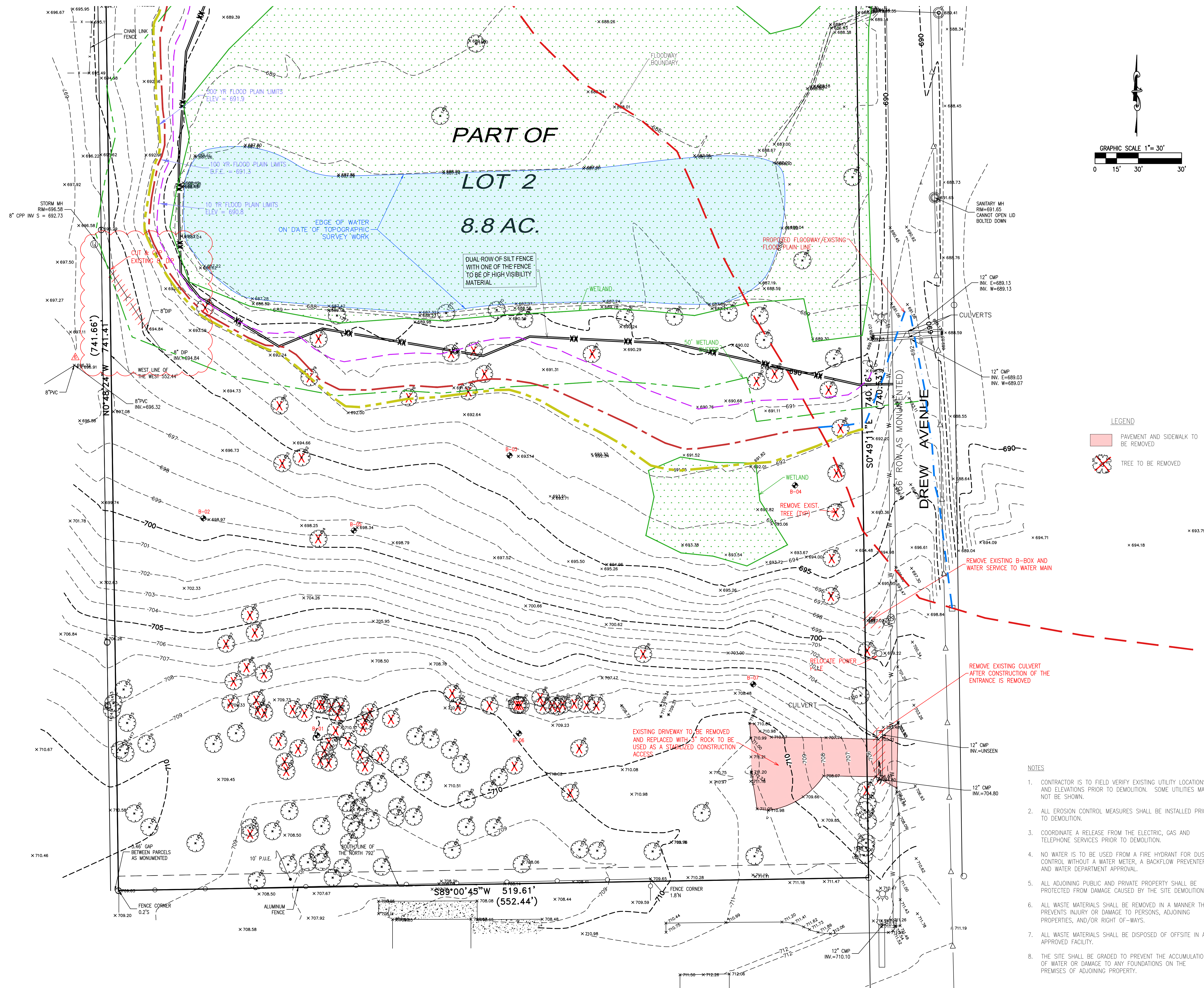
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SITE BENCHMARKS:
SITE BENCHMARK #1
FLANGE BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF 79TH STREET AND DREW AVENUE.

ELEVATION = 732.93 FT

ELEVATION = 694.36 (NAVD 88)

NOTE
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:
MG2A SURVEYING
25620 SOUTH GOUGAR ROAD
MANHATTAN, IL 60442
615-478-9680
PROJ. # 16-207



- LEGEND
- PAVEMENT AND SIDEWALK TO BE REMOVED
 - TREE TO BE REMOVED

- NOTES
- CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
 - COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION.
 - NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
 - ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
 - ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT OF-WAYS.
 - ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
 - THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.

REMARKS	
DATE	REVISED PER VILLAGE & COUNTY
NO.	REVISED PER VILLAGE & COUNTY
1	3/18/19
2	4/18/19
3	08/24/19
4	10/16/19
5	10/16/19
6	10/31/19

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
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DEMOLITION PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

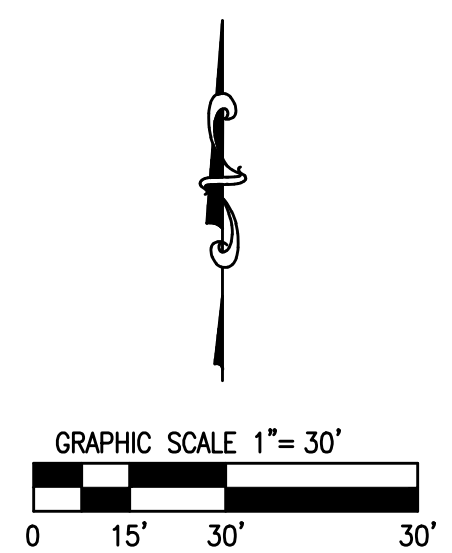
JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086
SHEET:
DM1
5 OF 28



- NOTES:
1. ALL STREETS SHALL BE 28' B-B UNLESS NOTED OTHERWISE.
 2. SEE SHEET TS1 FOR TYPICAL PAVEMENT SECTION AND TYPE OF C&G.
 3. ALL CURB RADII AT INTERSECTIONS TO BE 25' UNLESS NOTED OTHERWISE.
 4. ALL STREET DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
 5. ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.

- SIGN LEGEND:
- ① NO MOWING SIGN
 - ② STOP SIGN & STREET NAME SIGN



REMARKS		DATE	
1	REVISED PER VILLAGE & COUNTY	3/18/19	
3	REVISED PER VILLAGE & COUNTY	4/18/19	
4	REVISED PER COUNTY	09/24/19	
5	REVISED PER VILLAGE & COUNTY	10/16/19	
7	REVISED PER VILLAGE	08/11/21	

ADVANTAGE
CONSULTING ENGINEERS

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630-520-2467
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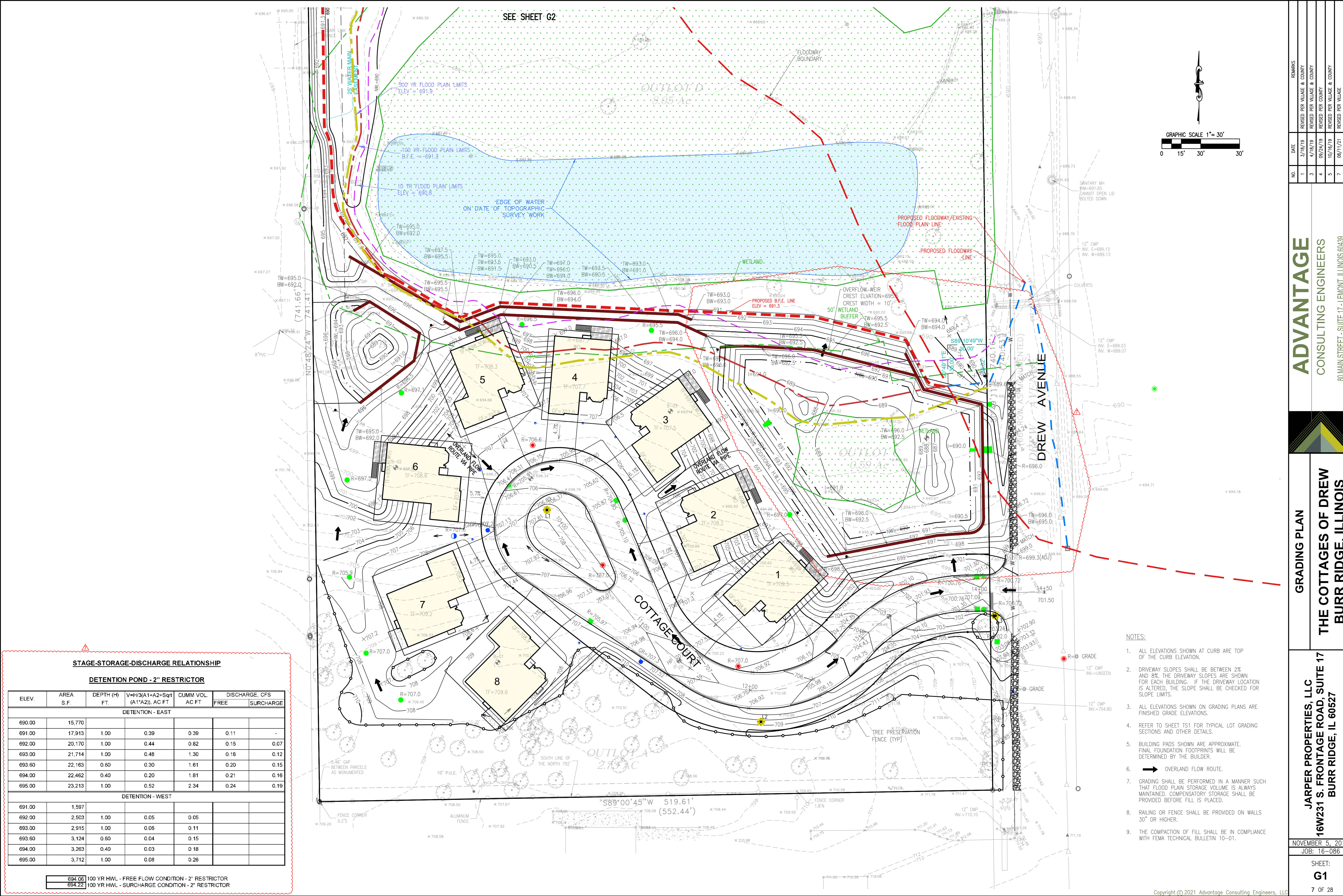
GEOMETRIC PLAN

THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
L1
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STAGE-STORAGE-DISCHARGE RELATIONSHIP						
DETENTION POND - 2" RESTRICTOR						
ELEV.	AREA S.F.	DEPTH (H) FT.	V=H ³ (A1+A2+Sqrt(A1*A2)), AC FT	CUMM VOL AC FT	DISCHARGE CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.08

100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR

694.22

100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

REMARKS

NO.	DATE	REVISED PER VILLAGE & COUNTY
1	3/18/19	
3	4/18/19	
4	09/24/19	
5	10/16/19	
7	08/11/21	

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439

630-520-2467

WWW.A2E2015.US

GRADING PLAN

THE COTTAGES OF DREW

BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC

16W231 S. FRONTAGE ROAD, SUITE 17

BURR RIDGE, IL 60527

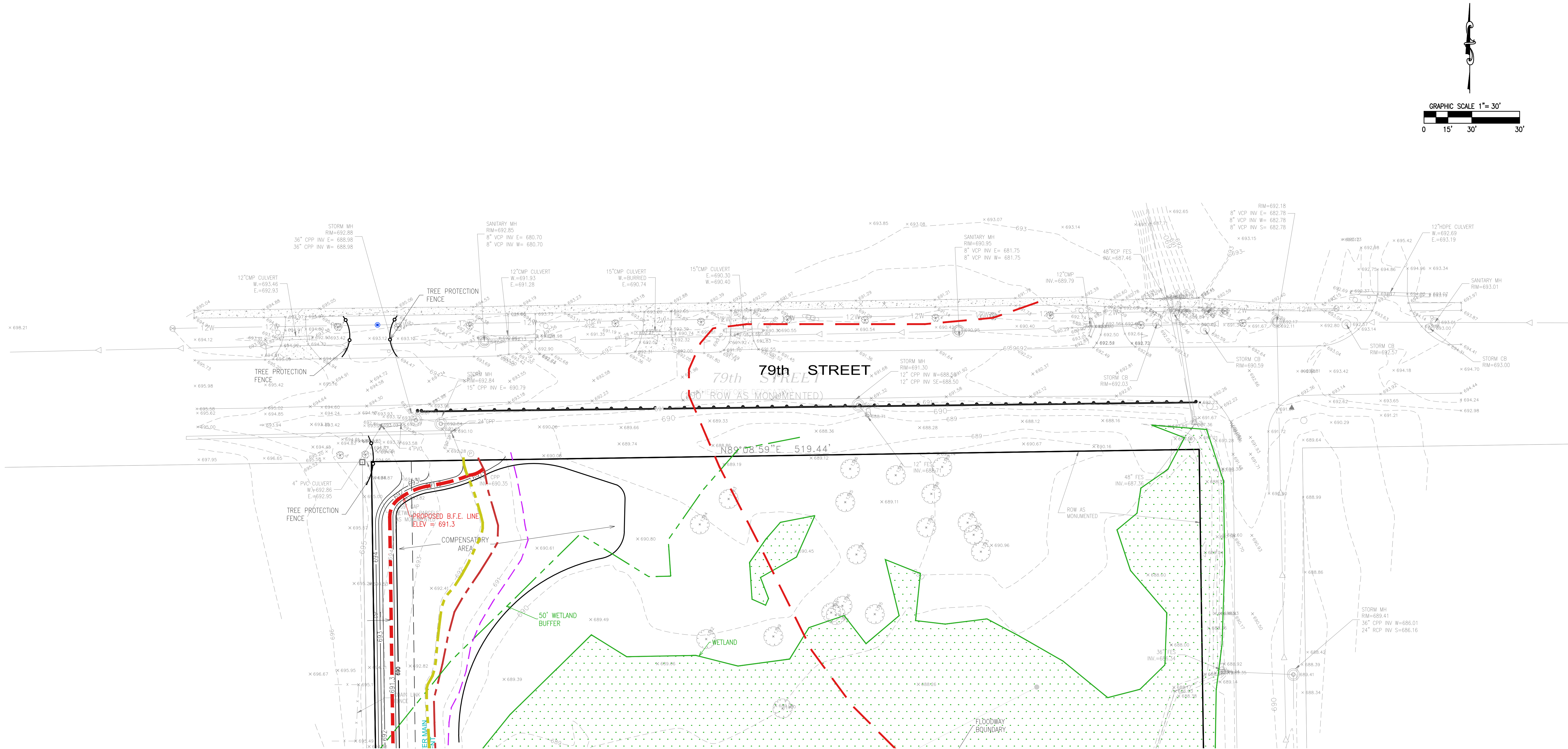
NOVEMBER 5, 2018

JOB: 16-086

SHEET: 01


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- NOTES:
- ALL ELEVATIONS SHOWN AT CURB ARE TOP OF THE CURB ELEVATION.
 - DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 8%. THE DRIVEWAY SLOPES ARE SHOWN FOR EACH BUILDING. IF THE DRIVEWAY LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
 - ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
 - REFER TO SHEET TS1 FOR TYPICAL LOT GRADING SECTIONS AND OTHER DETAILS.
 - BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
 - OVERLAND FLOW ROUTE.
 - GRADING SHALL BE PERFORMED IN A MANNER SUCH THAT FLOOD PLAN STORAGE VOLUME IS ALWAYS MAINTAINED. COMPENSATORY STORAGE SHALL BE PROVIDED BEFORE FILL IS PLACED.
 - RAILING OR FENCE SHALL BE PROVIDED ON WALLS 30" OR HIGHER.
 - THE COMPACTION OF FILL SHALL BE IN COMPLIANCE WITH FEMA TECHNICAL BULLETIN 10-01.



SEE SHEET G1

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NO.	DATE	REMARKS	
		REVISED PER VILLAGE & COUNTY	REVISED PER VILLAGE & COUNTY
		3	4/18/19
		4	09/24/19

ADVANTAGE

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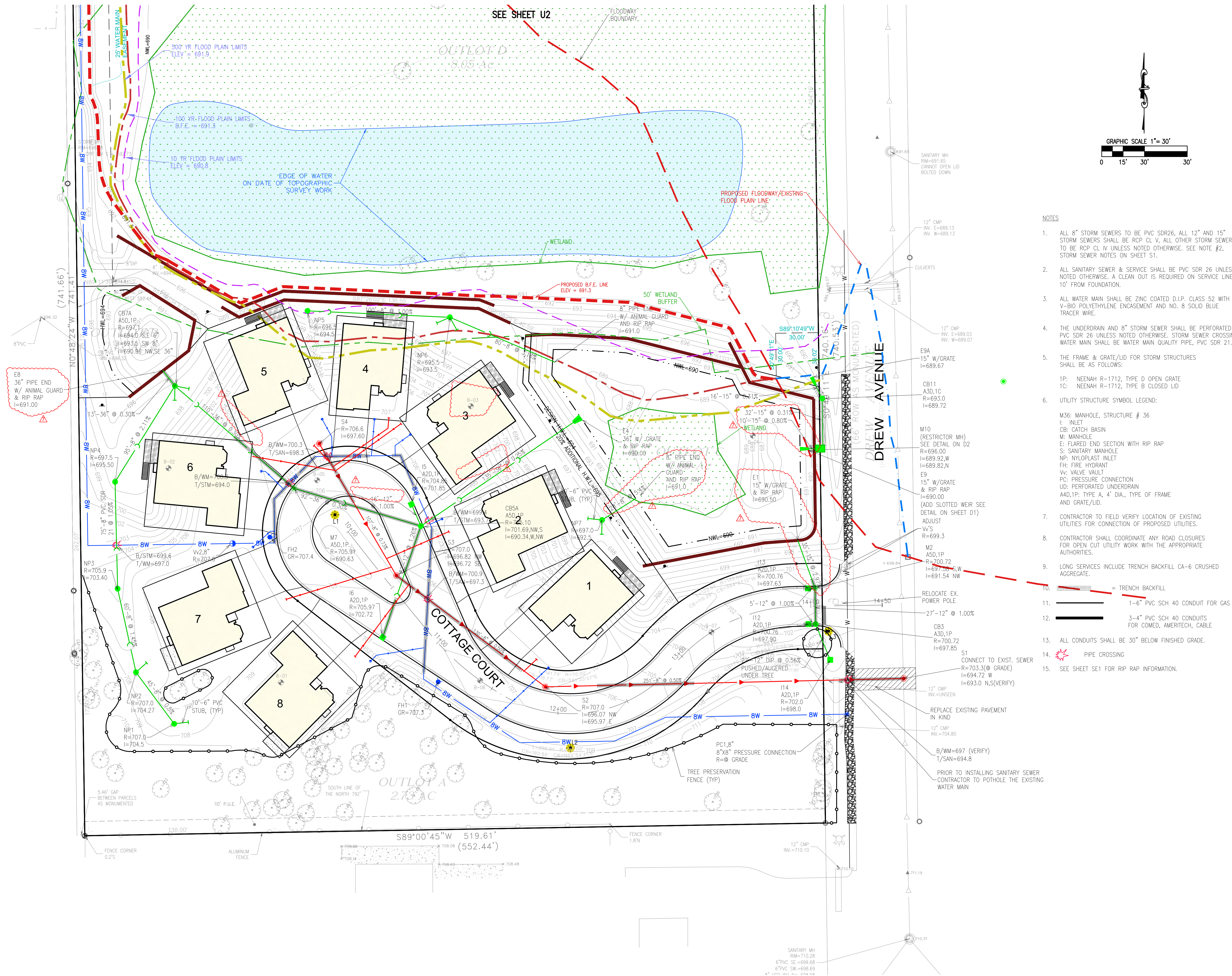
NOVEMBER 5, 2018

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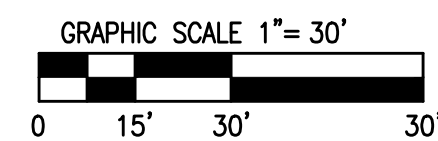


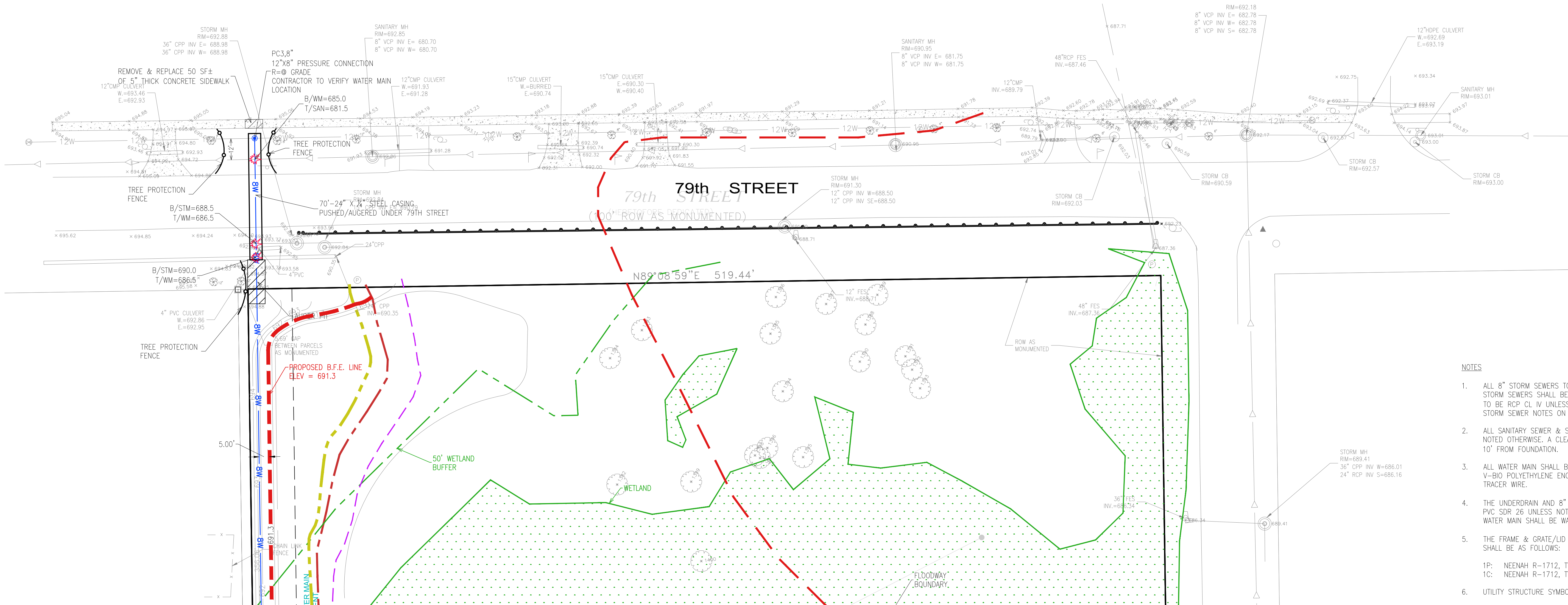
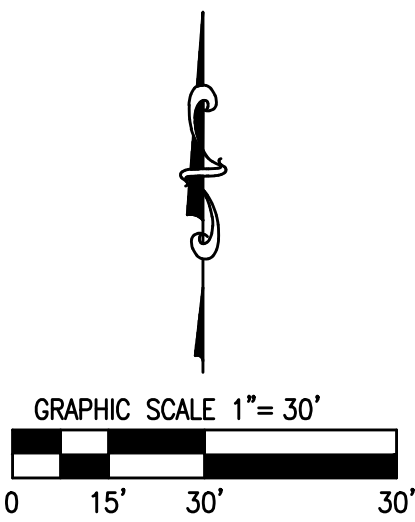
REMARKS	DATE	NO.
REVISED PER VILLAGE & COUNTY	3/16/19	1
REVISED PER COUNTY PUBLIC WORKS	3/26/19	2
REVISED PER VILLAGE & COUNTY	4/16/19	3
REVISED PER VILLAGE & COUNTY	9/24/19	4
REVISED PER VILLAGE & COUNTY	10/16/19	5
REVISED PER VILLAGE & COUNTY	08/11/21	7

NOTES

- ALL 8" STORM SEWERS TO BE PVC SDR26, ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE. SEE NOTE #2, STORM SEWER NOTES ON SHEET S1.
- ALL SANITARY SEWER & SERVICE SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE. A CLEAN OUT IS REQUIRED ON SERVICE LINE, 10' FROM FOUNDATION.
- ALL WATER MAIN SHALL BE ZINC COATED D.I.P. CLASS 52 WITH V-BIO POLYETHYLENE ENCASEMENT AND NO. 8 SOLID BLUE TRACER WIRE.
- THE UNDERDRAIN AND 8" STORM SEWER SHALL BE PERFORMED PVC SDR 26 UNLESS NOTED OTHERWISE. STORM SEWER CROSSING WATER MAIN SHALL BE WATER MAIN QUALITY PIPE, PVC SDR 21.
- THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:
1P: NEENAH R-1712, TYPE D OPEN GRADE
1C: NEENAH R-1712, TYPE B CLOSED LID
- UTILITY STRUCTURE SYMBOL LEGEND:

- M36: MANHOLE, STRUCTURE # 36
I: INLET
CB: CATCH BASIN
M: MANHOLE
E: FLARED END SECTION WITH RIP RAP
S: SANITARY MANHOLE
NP: NYLOPLAST INLET
FH: FIRE HYDRANT
V: VALVE VAULT
PC: PRESSURE CONNECTION
UD: PERFORATED UNDERDRAIN
A4D,1P: TYPE A, 4' DIA., TYPE OF FRAME AND GRATE/LID.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL COORDINATE ANY ROAD CLOSURES FOR OPEN CUT UTILITY WORK WITH THE APPROPRIATE AUTHORITIES.
 - LONG SERVICES INCLUDE TRENCH BACKFILL CA-6 CRUSHED AGGREGATE.
 - TRENCH BACKFILL
 - 1-6" PVC SCH 40 CONDUIT FOR GAS
 - 3-4" PVC SCH 40 CONDUITS FOR COMED, AMERITECH, CABLE
 - ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
 - PIPE CROSSING
 - SEE SHEET SE1 FOR RIP RAP INFORMATION.





SEE SHEET U1

NOTES

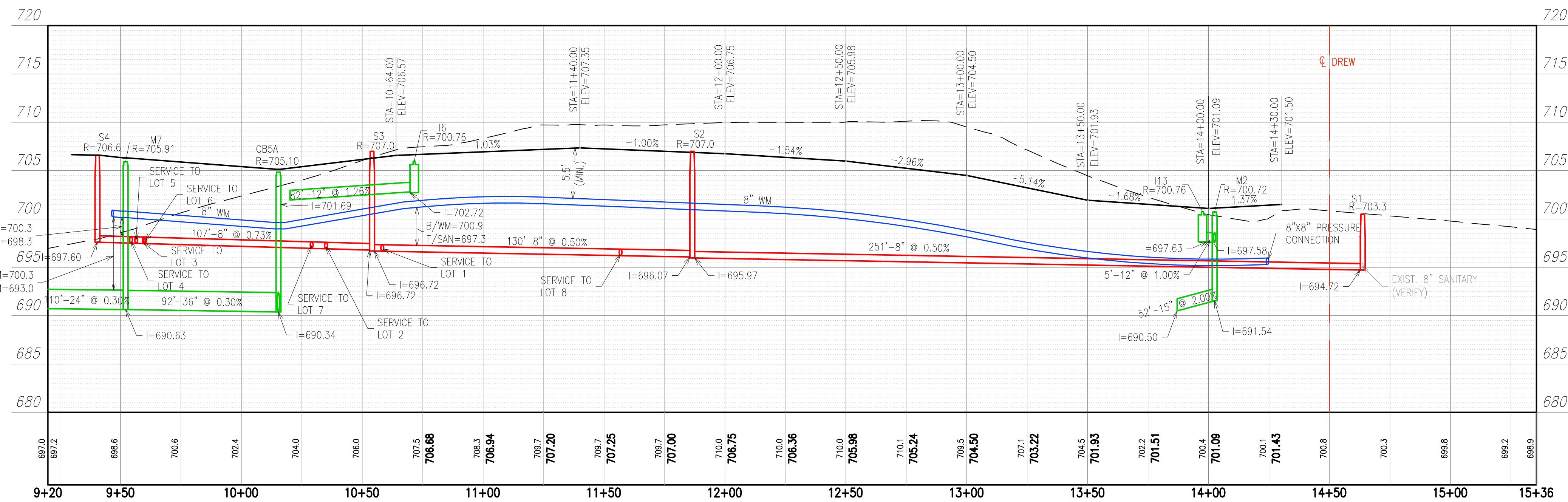
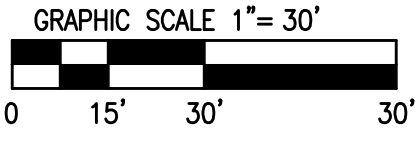
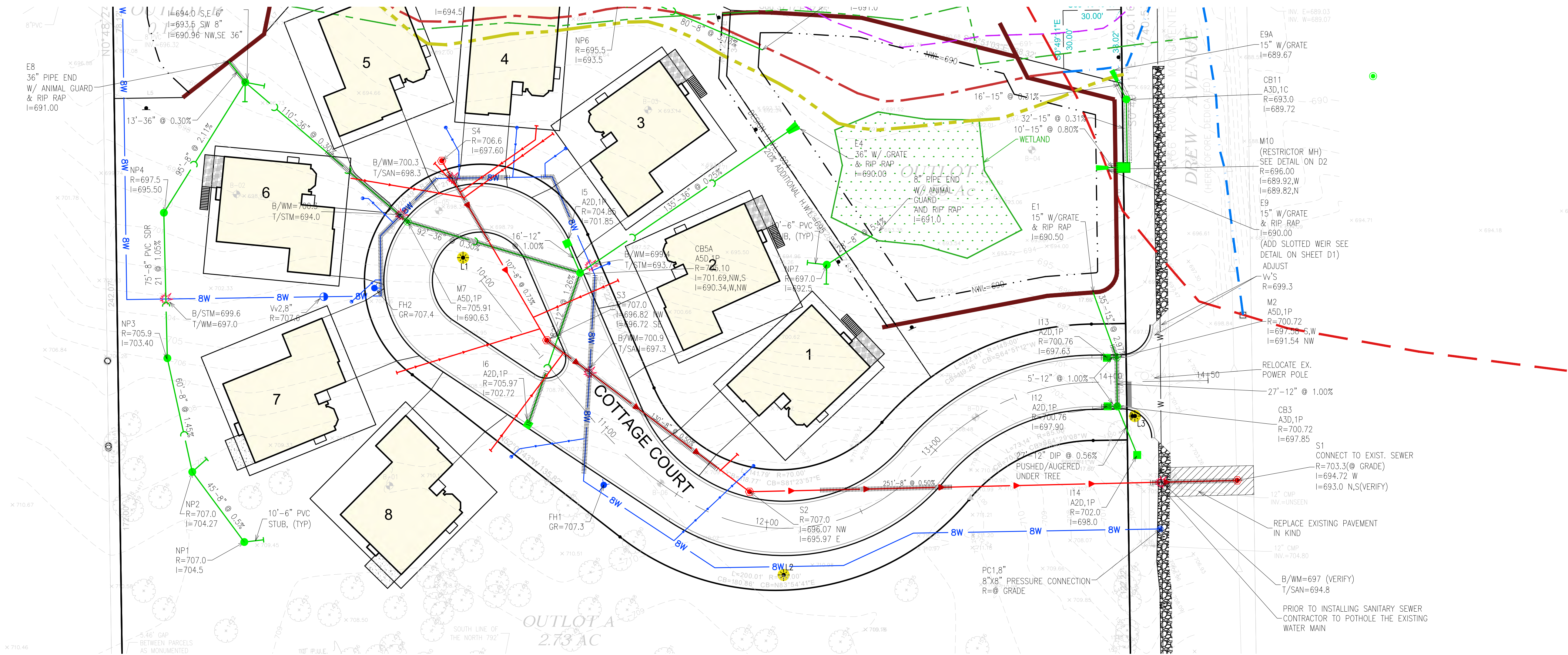
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UTILITY PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527
NOVEMBER 5, 2018
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REMARKS	DATE	NO.	ADVANTAGE CONSULTING ENGINEERS 80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 630-520-2467 WWW.ACEENGINEERS.COM	
	1	3/18/19		1
	2	3/26/19		2
	3	4/16/19		3
	4	09/24/19		4
5	10/16/19	5		
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527				
NOVEMBER 5, 2018 JOB: 16-086				
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CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMIT	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING		TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SO	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING		CO	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.	X		N/A
	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X		REAPPLY EVERY 1 1/2 MONTHS.
	AGGREGATE COVER		AO	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PO	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
DIVERSIONS	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.		X	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED DRAINAGE	STORM SEWER	X	STW	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
	UNDER DRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SOIL STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DRAINER SEDIMENT BASINS.		X	N/A
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SP	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	DROP INLET PIPE SPILLWAY		DIP	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY	X	W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BIW	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		X	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.		X	REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED.
	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT BASINS	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X		CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SILT FENCE		SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
SEDIMENT FILTERS	VEGETATIVE FILTER		VF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.		X	REDO ANY FAILING AREAS.
	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X		SCRAPE MUD AND REPLACE STONE AS NEEDED.
EROSION CONTROL	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X		RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET		EB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.	X	X	REPLACE AS NEEDED.
	TURF REINFORCEMENT MAT		TM	REINFORCES TURF IN CHANNELS AND SHORELINES.	X	X	REPLACE AS NEEDED.
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.	X	X	REPLACE AS NEEDED.
SEDIMENT CONTROL	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.		X	REPLACE AS NEEDED.
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.	X	X	REPLACE AS NEEDED.
	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.		X	REPLACE AS NEEDED.
	INLET PROTECTION	X	IF	USED FOR PROTECTION OF INLETS.		X	REPLACE OR CLEAN WHEN CLOGGED.
SEDIMENT CONTROL	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.	X	X	CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK		DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.	X		CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG	X	FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.	X		REPLACE WHEN HALF DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.		X	REPLACE WHEN FABRIC IS TORN OR HOLES BEGON TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.	X		REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGON TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.	X		CLEAN OUT WHEN HALF-FULL. CLEAN WASHOUT GRAVEL AREA AS NEEDED.
	STREET SWEEPING		SS	USED TO PREVENT SILT BUILD UP IN STREETS.	X		CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.

RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON Ld (FT)	MEDIAN RIP-RAP SIZE C (IN)	WIDTH OF APRON D/S FACE W1 (FT)	WIDTH OF APRON U/S FACE W2 (FT)	DEPTH OF RIP-RAP d (IN)	AREA OF RIP-RAP (SQ.YDS.)	VOLUME OF RIP-RAP (CU.YDS.)
ALL	8/12		10	6	3.00	13.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

CONSTRUCTION SCHEDULE-2019-20

DESCRIPTION	MON-1	MON-2	MON-3	MON-4	MON-5	MON-6	MON-7	MON-8	MON-9
EROSION CONTROL									
SITE CLEARING									
MASS GRADING									
UTILITIES									
PAVING									
SITE STABILIZATION									

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES AND SOIL EROSION AND SEDIMENT CONTROL ORDINANCE FOR THE COUNTY.

1. SITE DESCRIPTION.

- THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY FOLLOWING MASS GRADING WHICH IS THE SUBJECT OF THIS PLAN:

THE PROPOSED DEVELOPMENT CONSISTS OF CONSTRUCTION OF THE COTTAGES OF DREW DEVELOPMENT
THE CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENTS INCLUDE:

A. MASS GRADING
B. PAVEMENT CONSTRUCTION
C. INSTALLATION OF UTILITIES INCLUDING STORM SEWERS
D. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, AS A MINIMUM.

THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE, SUCH AS GRUBBING, EXCAVATION, AND GRADING:

THE SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:

A. INSTALL SILT FILTER FENCE AND STABILIZED CONSTRUCTION ENTRANCE
B. MASS GRADING
C. UNDERGROUND UTILITIES INSTALLATION
D. FINE GRADING IN PAVEMENT AREA
E. PAVEMENT CONSTRUCTION

THE SOIL EROSION AND SEDIMENTATION CONTROL ITEMS WILL BE INSTALLED FIRST AND AS NEEDED DURING THE ABOVE CONSTRUCTION ACTIVITIES.

THE TOTAL ESTIMATED AREA OF THE SITE IS 8.8 ACRES.
THE TOTAL ESTIMATED AREA OF THE SITE TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS 4.06 ACRES.

THE ESTIMATED RUNOFF COEFFICIENTS OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORM WATER MANAGEMENT FOR THE COTTAGES ON DREW.
PREPARED BY ADVANTAGE CONSULTING ENGINEERS WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.

THE ESTIMATED PROPOSED OVERALL SITE RUNOFF COEFFICIENT IS 0.65
EXISTING DATA DESCRIBING SOILS IS INCLUDED IN SOILS REPORT _____ OR NOT AVAILABLE

NAME OF RECEIVING WATER(S) EXISTING AREA TO NORTH
NAME OF ULTIMATE RECEIVING WATER(S) Z9TH STREET DITCH
WETLAND ACREAGE 2.68 ACRES.
- POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH CONSTRUCTION ACTIVITY MAY INCLUDE:

A. SEDIMENT FROM DISTURBED SOILS
B. PORTABLE SANITARY STATIONS
C. FUEL TANKS
D. STAGING AREAS
E. WASTE CONTAINERS
F. CHEMICAL STORAGE AREAS
G. OIL OR OTHER PETROLEUM PRODUCTS
H. ADHESIVES
I. TAR
J. SOLVENTS
K. DETERGENTS
L. FERTILIZERS
M. RAW MATERIALS (E.G., BAGGED PORTLAND CEMENT)
N. CONSTRUCTION DEBRIS
O. LANDSCAPE WASTE
P. CONCRETE AND CONCRETE TRUCKS
Q. LITTER

- THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1 ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTORS WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR HAS SIGNED THE REQUIRED CERTIFICATION ON FORMS WHICH ARE INCLUDED AS A PART OF THIS PLAN.

EROSION AND SEDIMENT CONTROLS.

STABILIZATION PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. EXCEPT AS PROVIDED IN 2, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED ON ALL DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 21 OR MORE CALENDAR DAYS.

WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECEDDED BY SNOW COVER, STABILIZATION MEASURES SHALL BY INITIATED AS SOON AS PRACTICABLE THEREAFTER.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:

A. PERMANENT SEEDING
B. SILT FILTER FENCE
C. VEGETATIVE FILTER
D. STABILIZED CONSTRUCTION ENTRANCE

STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:

A. PERMANENT SEEDING
B. SILT FILTER FENCE
C. VEGETATIVE FILTER
D. STABILIZED CONSTRUCTION ENTRANCE

DUST CONTROL- DUST CONTROL SHALL BE PROVIDED PER STANDARD 825 OF ILLINOIS URBAN MANUAL. THE FOLLOWING METHODS FOR THE DUST CONTROL CAN BE USED.

A. IRRIGATION
B. SPRAY ON ADHESIVE
C. VEGETATIVE COVER
D. MULCHING

STORM WATER MANAGEMENT.

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.

THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:

A. BARRIER FILTERS
B. STORM SEWERS
C. RETENTION/DETENTION PONDS
D. PERMANENT SEEDING
E. OUTLET PROTECTION

VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).

STORM WATER MANAGEMENT CONTROL INCLUDES:

A. RIP-RAP FOR OUTLET PROTECTION (SEE RIP RAP TABLE FOR QUANTITY)
B. INLET PROTECTION

APPROVED STATE OR LOCAL PLANS.

THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND THE MUNICIPAL SUBDIVISION ORDINANCE. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS OR SITE PERMITS OR STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

- WASTE MANAGEMENT

SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF SITE BY THE CONTRACTORS. THE CONTRACTORS ARE RESPONSIBLE TO ACQUIRE THE PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE TO THE WASTES BEING DISCARDED. NO WASTES SHOULD BE PLACED IN OR NEAR DRAINAGE AREAS, DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE. IF NECESSARY, CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ON SITE. WASTE DISPOSAL SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

ON-SITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.

CONCRETE WASTE MANAGEMENT

CONCRETE WASTE OR WASHOUT IS NOT ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. WHEN PRACTICABLE, A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE, AND SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB. IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD, A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.

THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 60% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AND USED AGAIN ON SITE (AS APPROVED BY THE ENGINEER) OR HAULED OFF SITE TO AN APPROPRIATE LANDFILL.

CONCRETE CUTTING

CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE NEAR A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DEPOSITED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.

VEHICLE STORAGE AND MAINTENANCE

WHEN NOT IN USE, CONSTRUCTION VEHICLES SHOULD BE STORED IN A DESIGNATED AREA(S) OUTSIDE OF THE REGULATORY FLOOD-PLAN, AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. CONTROLS SHOULD BE INSTALLED TO MINIMIZE THE POTENTIAL OF RUNOFF FROM THE STORAGE AREA(S) FROM REACHING STORM DRAINS OR WATER COURSES. VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN A DESIGNATED AREA(S) TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ABSORBENT PADS SHOULD BE USED FOR ALL VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSE OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER VEHICLE-RELATED CHEMICALS IN ACCORDANCE WITH UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) AND EPA REGULATIONS AND PER MATERIAL SAFETY DATA SHEET (MSDS) AND/OR MANUFACTURER INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE PRIMARY CONTACT.
- MATERIAL STORAGE AND GOOD HOUSEKEEPING

MATERIALS AND/OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ON-SITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ON SITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. HERMID-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE FOR REFERENCING CLEAN-UP PROCEDURES. ANY RELEASE OF CHEMICALS/CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE PRIMARY CONTACT, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT. AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT. PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. SUBSTANCES SHOULD NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MANAGEMENT OF PORTABLE SANITARY STATIONS

TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (E.G., GRAVEL-BAG BERM). THE CONTRACTOR SHOULD PREVENT/AVOID UNSANITARY CONDITIONS. SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATIONS.
- SPILL PREVENTION AND CLEAN-UP PROCEDURES

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL SHOULD BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, STAIN PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- DE-WATERING OPERATIONS

DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQUATE EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY. STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER.
- OFF-SITE VEHICLE TRACKING

THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. STREETS SHOULD BE SWEEP AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE, REMOVE AND REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.
- TOPSOIL STOCKPILE MANAGEMENT

IF TOPSOIL IS TO BE STOCKPILED AT THE SITE, SELECT A LOCATION SO THAT IT WILL NOT ERODE, BLOCK DRAINAGE, OR INTERFERE WITH WORK ON SITE. TOPSOIL STOCKPILES SHALL NOT BE LOCATED IN THE 100-YEAR FLOODPLAIN OR DESIGNATED BUTTER PROTECTING WATERS OF THE STATE. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHOULD BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. PERMITTER CONTROLS, SUCH AS SILT FENCE, SHOULD BE PLACED AROUND THE STOCKPILE IMMEDIATELY. STABILIZATION OF THE STOCKPILE SHOULD BE COMPLETED IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS.

- MAINTENANCE

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES TO WILL BE USED TO MAINTAIN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.

A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONE, REMOVE AND REPLACE TOP LAYER OF STONE OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.

B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODDING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC. SHALL BE MAINTAINED. PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.

C. SEDIMENTATION BASINS/TRAPS: SEDIMENTS SHALL BE REMOVED WHEN 40-50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OBTAINED BY SEDIMENT. IN NO CASE SHALL SEDIMENT BE ALLOWED TO BUILD UP TO MORE THAN 1 FOOT BELOW THE CREST ELEVATION. AT THIS STAGE, THE BASIN SHALL BE CLEANED OUT TO RESTORE ITS ORIGINAL VOLUME.

D. SILT FILTER FENCE: ANY DAMAGED SILT FILTER FENCE SHALL BE RESTORED TO MEET THE STANDARDS OR REMOVED AND REPLACED AS NEEDED

E. RIP-RAP OUTLET PROTECTION: INSPECTED SHALL OCCUR AFTER HIGH FLOWS FOR ANY SCOUR BENEATH THE RIP-RAP OR FOR STONE THAT HAVE BEEN DISLODGED. DISTURBED RIP RAP SHALL BE REPAIRED IMMEDIATELY.

F. DUST CONTROL: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

4. INSPECTIONS

- THE OWNER, OR OWNER'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT THE DISTURBED AREAS OF THE SITE UNDER CONSTRUCTION WHICH HAVE NOT BEEN STABILIZED, ALL STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4. SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH APPLICABLE PART OF THE GENERAL PERMIT.
- IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (NON) REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. C OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

ALL PACKAGES:
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
DIVISION OF WATER POLLUTION CONTROL
ATTN: COMPLIANCE ASSURANCE SECTION
1024 NORTH GRAND AVENUE, EAST
SPRINGFIELD, IL 62794

ALL LETTERS
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
DIVISION OF WATER POLLUTION CONTROL
ATTN: COMPLIANCE ASSURANCE SECTION
POST OFFICE BOX 19276
SPRINGFIELD, IL 62794-9276

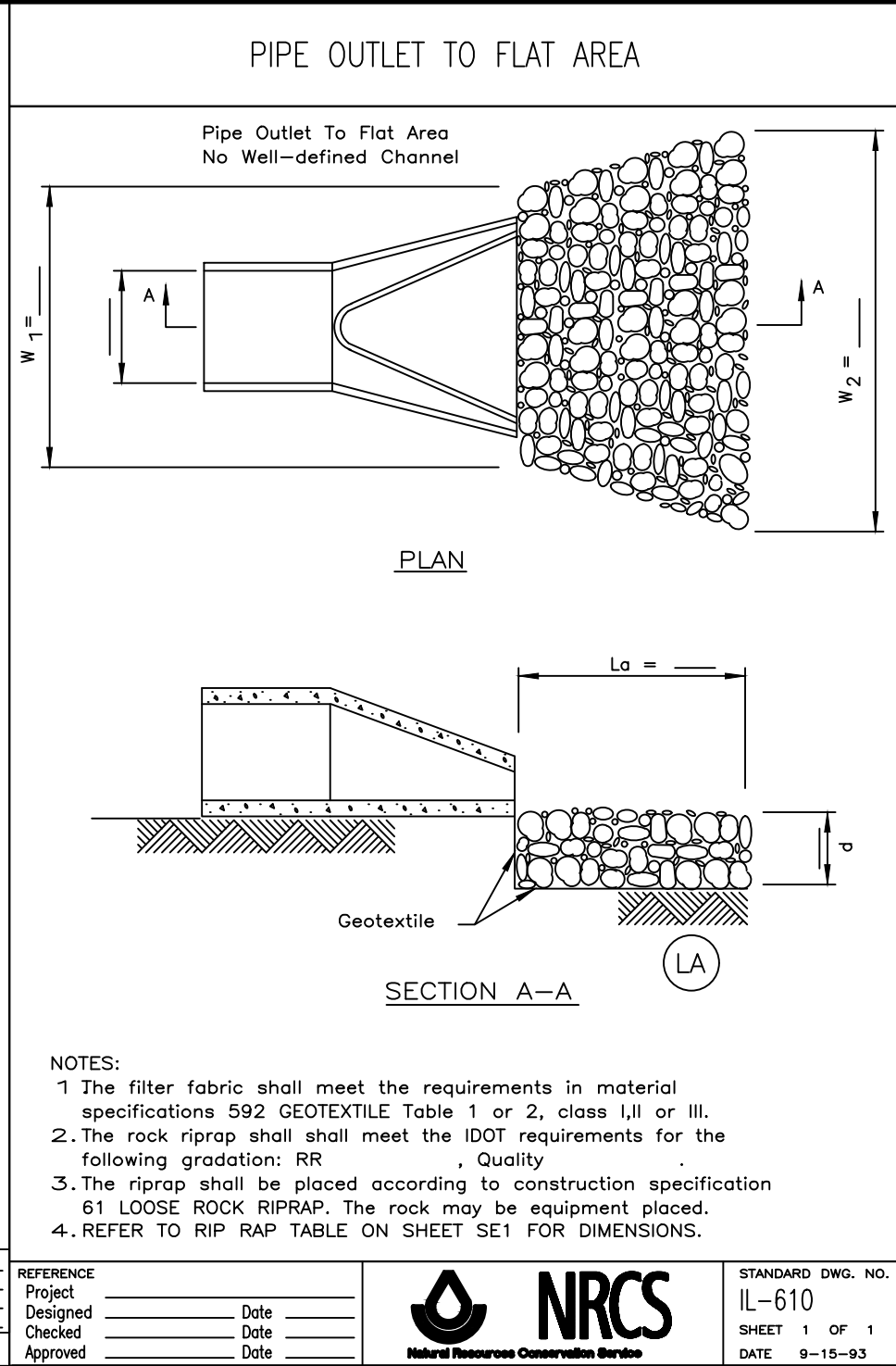
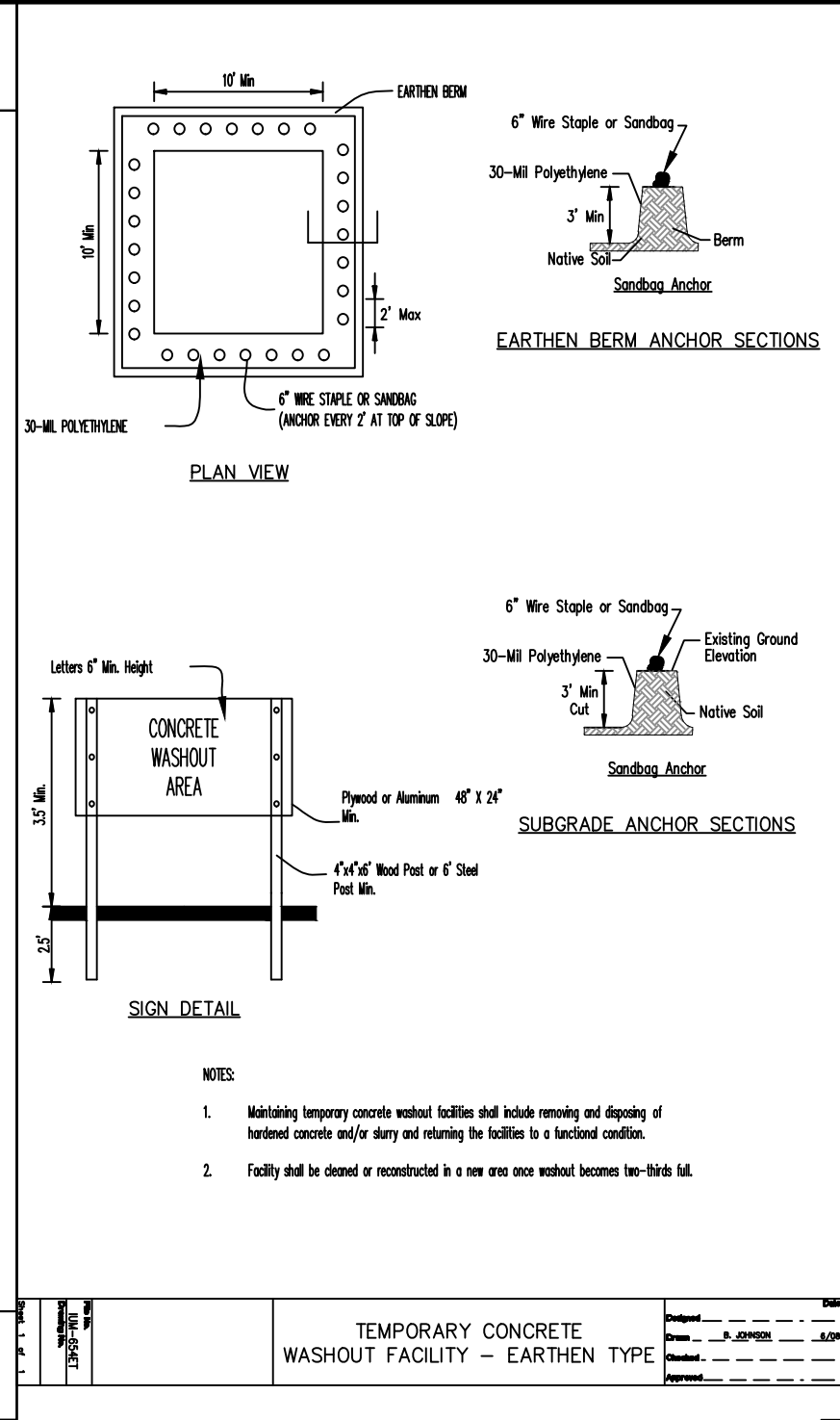
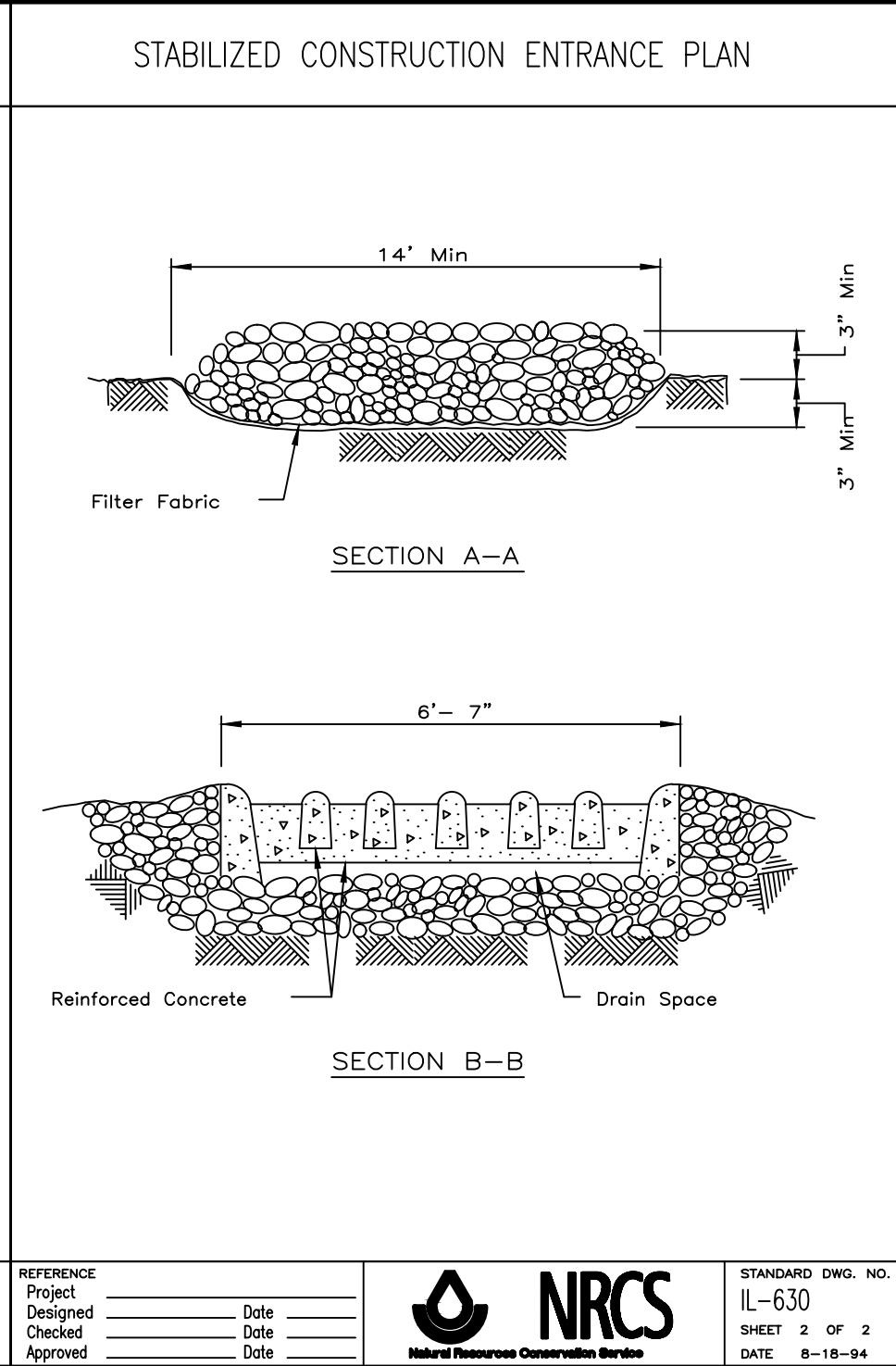
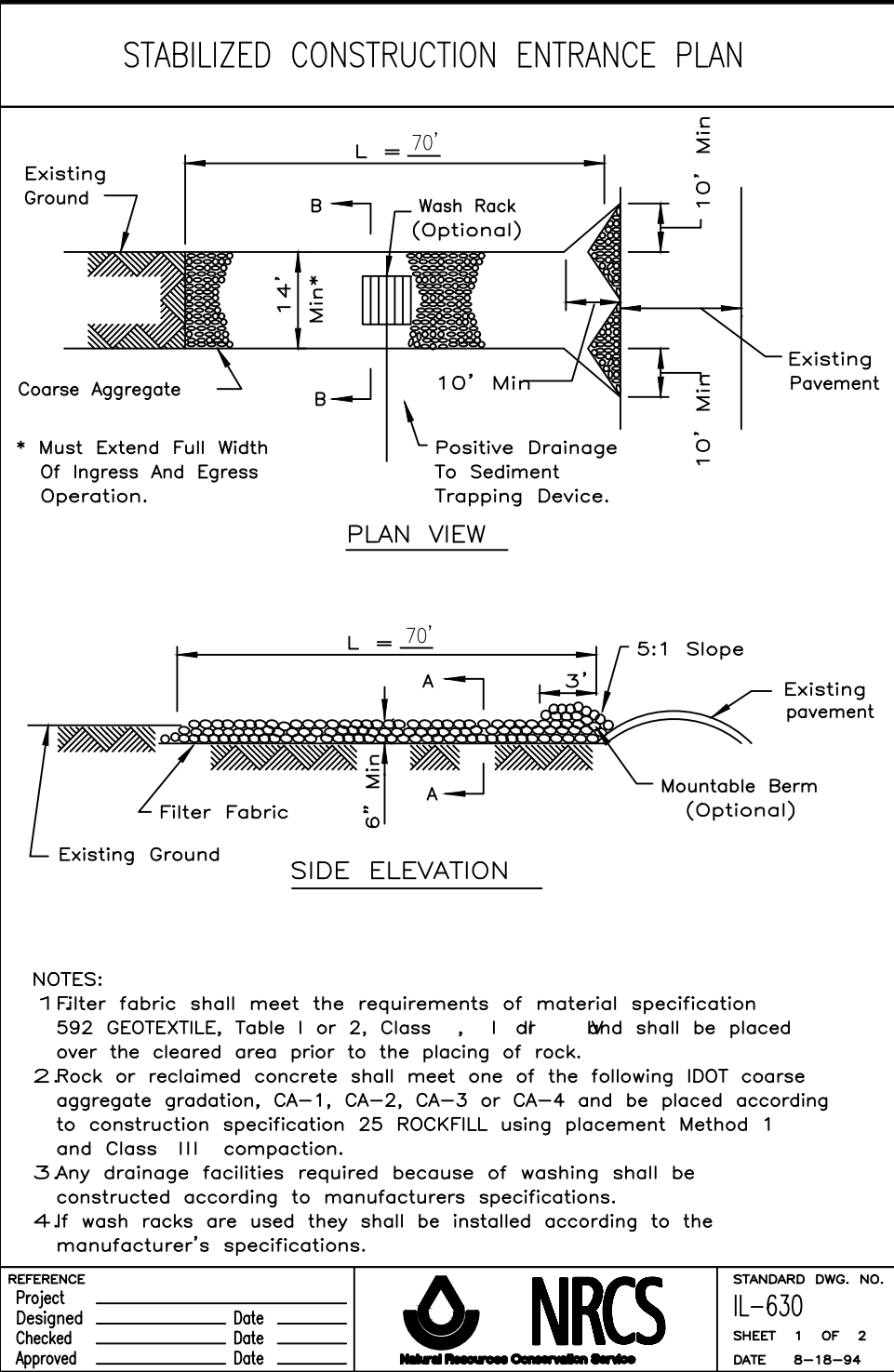
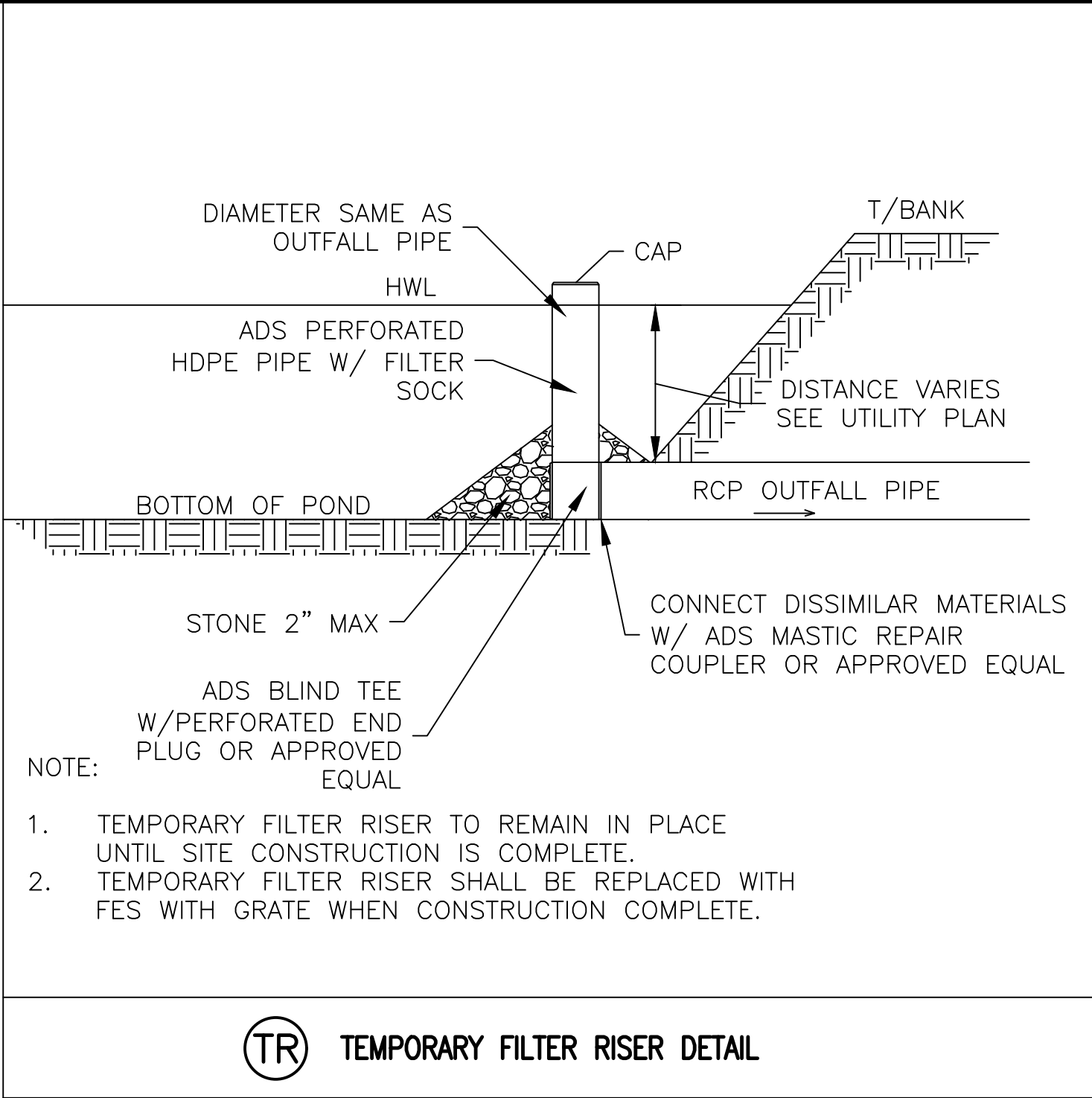
5. NON-STORM WATER DISCHARGES

- EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, POSSIBLE SOURCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH THE PROPOSED ACTIVITY, ARE DESCRIBED BELOW:
- FIRE FIGHTING ACTIVITIES
 - FIRE HYDRANT FLUSHINGS
 - WATER USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED
 - WATER USED TO CONTROL DUST
 - POTABLE WATER SOURCES INCLUDING UNCONTAMINATED WATERLINE FLUSHINGS
 - LANDSCAPE IRRIGATION DRAINAGES
 - ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS
 - PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED) AND WHERE DETERGENTS HAVE NOT BEEN USED. UNCONTAMINATED AIR CONDITIONING CONDENSATE
 - SPRINGS
 - IRRIGATION DITCHES
 - UNCONTAMINATED GROUND WATER
 - FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS

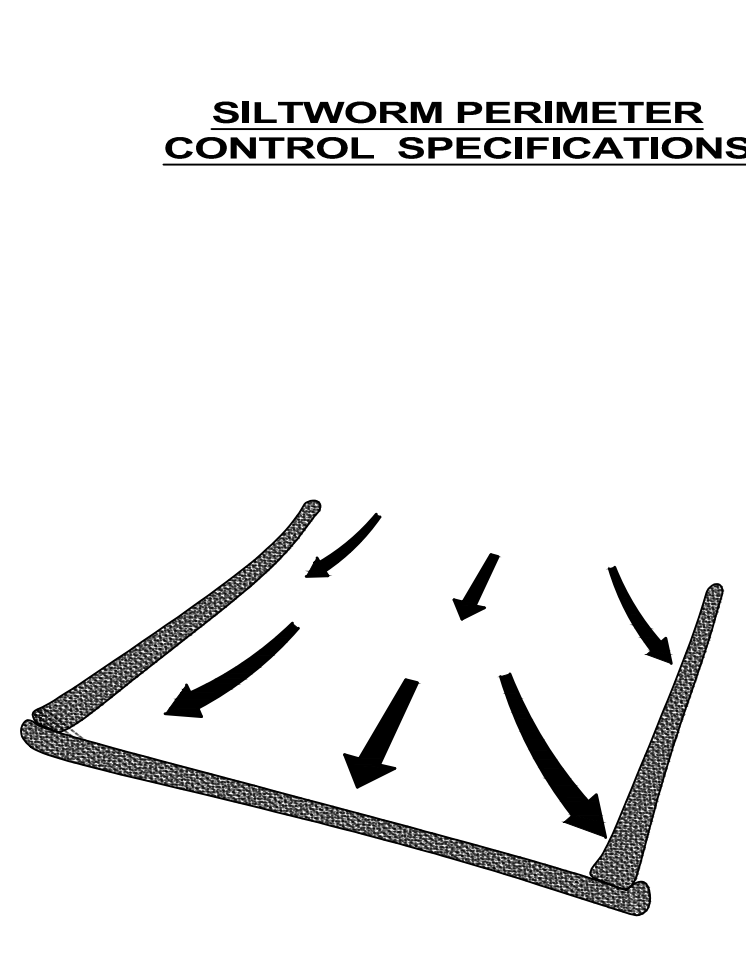
6. PROHIBITED NON-STORMWATER DISCHARGES

- CONCRETE AND WASTEWATER FROM WASHOUT OF CONCRETE (UNLESS MANAGED BY AN APPROPRIATE CONTROL)
- DRYWALL COMPOUND
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT
- FORM RELEASE OILS
- CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE OR EQUIPMENT OPERATION AND MAINTENANCE
- SOAPS, SOLVENTS, OR DETERGENTS
- TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE
- ANY OTHER POLLUTANT THAT COULD CAUSE OR TEND TO CAUSE WATER POLLUTION

NPDES CONTRACTOR CERTIFICATE



1. THE FOLLOWING KDSWCD STANDARD NOTES SHOULD BE INCORPORATED INTO THE PLANS:
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL LATEST EDITION.
 - THE KANE-DUPAGE SOIL AND WATER CONSERVATION DISTRICT (KDSWCD) MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
 - A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 - PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY THE KDSWCD.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE KDSWCD.
 - DURING DEWATERING OPERATIONS, WATER WILL BE FILTERED OR PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FILED TILES OR STORM WATER STRUCTURES IS PROHIBITED.
 - IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND ASSURE COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. THE CONDITION OF THE JURISDICTIONAL WETLAND SHALL BE A PRIORITY FOR ALL SOIL EROSION AND SEDIMENT CONTROL INSPECTIONS. IF ANY MEASURES ARE FAILING TO PROTECT THE AREA, THEN IMMEDIATE CORRECTONAL MEASURES SHALL BE TAKEN.
3. THE EFFECTIVENESS OF ANY PROPOSED 'SILT WORM' BEING USED AS A DOWNSTREAM PROTECTION MECHANISM FOR THE JURISDICTIONAL WETLAND WILL BE A PRIORITY FOR EACH WEEKLY AND POST STORM INSPECTION.
4. THE ESTABLISHMENT AND STABILIZATION OF THE SITE STORM WATER BASINS SHALL BE A PRIORITY UPON THE COMMENCEMENT OF EARTH WORK.
5. THE TOTAL AMOUNT OF EXPOSED SOILS FROM ANY WETLAND PROTECTION MECHANISM WILL BE TAKEN INTO CONSIDERATION AND COMPARED WITH THE GUIDELINES OF THE ILLINOIS URBAN MANUAL.
6. IN THE EVENT OF OUTLOT C OVERTOPPING, THE PATHWAY OF CONVEYANCE BEYOND THE OVERTLOW WEIR WILL BE ACCESSED AND GIVEN ADDITIONAL STABILIZATION/VELOCITY DISSIPATION MEASURES.
7. SHORT TERM WEATHER PROJECTIONS WILL BE UTILIZED FOR INITIATING STABILIZATION MEASURES.
8. IMMEDIATE STABILIZATION MEASURES SHALL BE PUT INTO PLACE FOLLOWING THE INSTALLATION OF THE WATERMAN.
9. ALL INLETS SURROUNDING THE SITE WITH POTENTIAL OF BEING IMPACTED FROM CONSTRUCTION SHALL RECEIVE ADEQUATE INLET PROTECTION.



PERIMETER CONTROL:

PLACE SILT WORM DIRECTLY ON TOP OF GRADE, AND OVERLAP ENDS A MINIMUM OF 6\"/>

SILT WORM INSTALLATION SPECIFICATIONS

SILT WORM HEIGHTS INSTALLED		
NOMINAL DIAMETER, D	INSTALLED HEIGHT OF SINGLE SILT WORM	INSTALLED HEIGHT OF STACKED SILT WORM
9"	7.5"	15"
12"	9.5"	19"
18"	14.5"	29"
24"	19"	38"

MINIMUM SPECIFICATION FOR SILT WORM			
PROPERTY	UNITS	RANGE	
PH	PH	5.0-8.5	
MOISTURE CONTENT	% WET WEIGHT BASIS	<20	
PARTICLE SIZE	% PASSING SELECTED MESH SIZE, DRY WEIGHT BASIS	1 1/2" - 2" - 90% FINES = 10% MAX. PARTICLE SIZE 2"	

SILT WORM CAN BE PLACED IN DITCHES OR AT THE TOP, ON THE FACE, OR AT THE TOE OF A SLOPE AS SEDIMENT TRAPPING DEVICE. SILT WORM CAN ALSO SERVE TO REMOVE SEDIMENT FROM RUNOFF AND RELEASE FILTERED WATER AS SHEET FLOW.

SILT WORM INSTALLATION ON A SLOPE SHALL BE PLACED ALONG OR ON THE GROUND CONTOUR, WHERE POSSIBLE. SILT WORM APPLIED TO THE TOE OF A SLOPE SHOULD BE PLACED 10 FEET AWAY FROM THE TOE IN ORDER TO PROVIDE SPACE FOR SEDIMENT STORAGE. MAXIMUM DRAINAGE AREA SHALL BE 1/2 ACRE PER 100 LF OF SILT WORM.

FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 15 ACRES, AT SITES WHICH OUTFALL TO EXCEPTIONAL WATER OR SEDIMENT-IMPAIRED STREAMS, THE MAXIMUM DRAINAGE AREA SHALL BE LIMITED TO 10 ACRES.

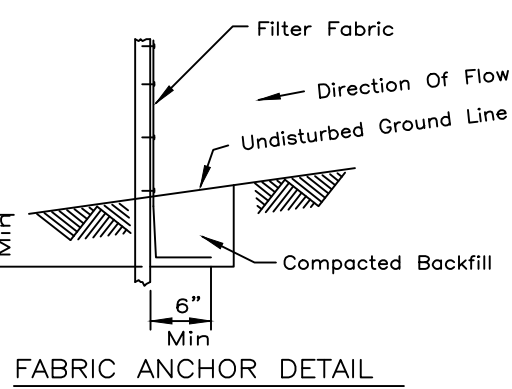
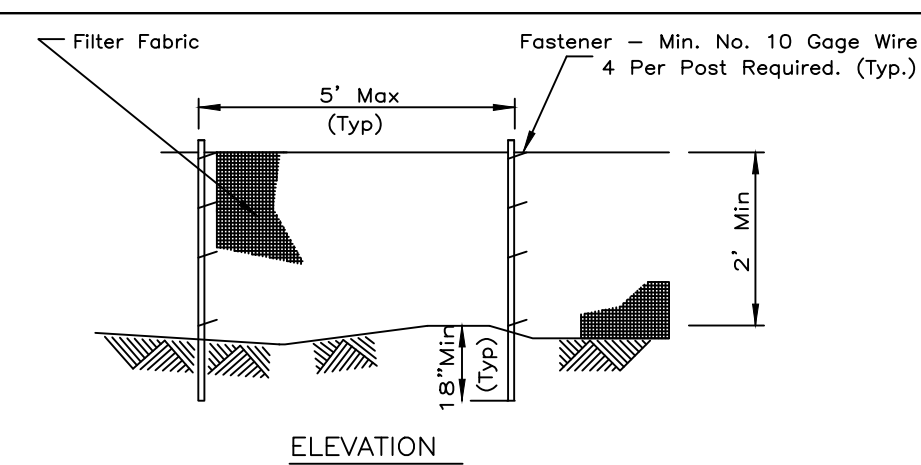
SILT WORM SHALL BE PLACED PERPENDICULAR TO THE FLOW OF WATER. SILT WORM SHALL CONTINUE UP THE SIDE SLOPES TO THE UP OF BANK OR A MAXIMUM OF 3 FEET ABOVE THE INSTALLED HEIGHT. SILT WORM SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS ARE PERMANENTLY STABILIZED.

SILT WORM IS SUPPLIED AND INSTALLED IN DIAMETERS OF 9", 12", 18" OR 24" DIAMETER TOLERANCES ARE 2". SILT WORM WILL FLATTEN OUT TO AN OVAL WHEN IN PLACE, THUS THE INSTALLED HEIGHT WILL BE LESS THAN NOMINAL DIAMETER.

SILT WORM SHALL BE INSPECTED AFTER EACH RUNOFF EVENT AND SHALL BE REMOVED AND REPLACED IF SIGNS OF UNDERCUTTING OR DOWNSTREAM SPACING RILLS ARE OBSERVED.

SILT WORM SHOULD BE REMOVED FROM SLOPES AFTER STABILIZATION IS COMPLETE. THIS MAY BE ACCOMPLISHED BY CUTTING THE SILT WORM OPEN AND SPREADING THE FILL MATERIAL ON THE SITE. SILT WORM APPLIED IN DITCH SHALL BE COMPLETELY REMOVED.

SILT FENCE PLAN



NOTES:

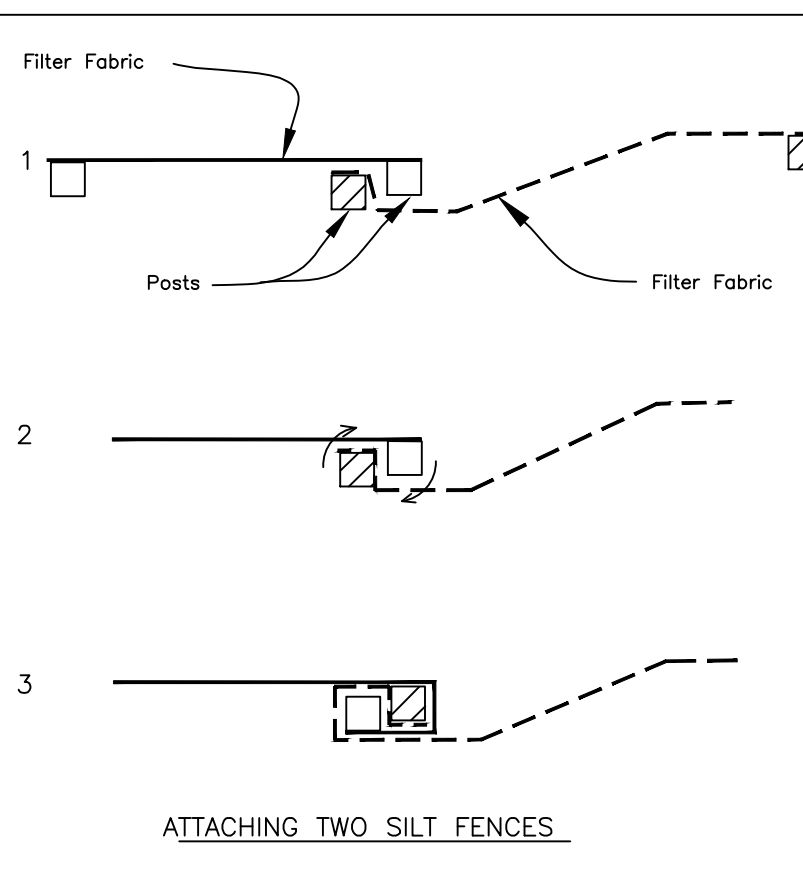
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	Project	Date
Designed	Date	
Checked	Date	
Approved	Date	



STANDARD DWG. NO.	IL-620
SHEET	1 OF 2
DATE	11-20-01

SILT FENCE



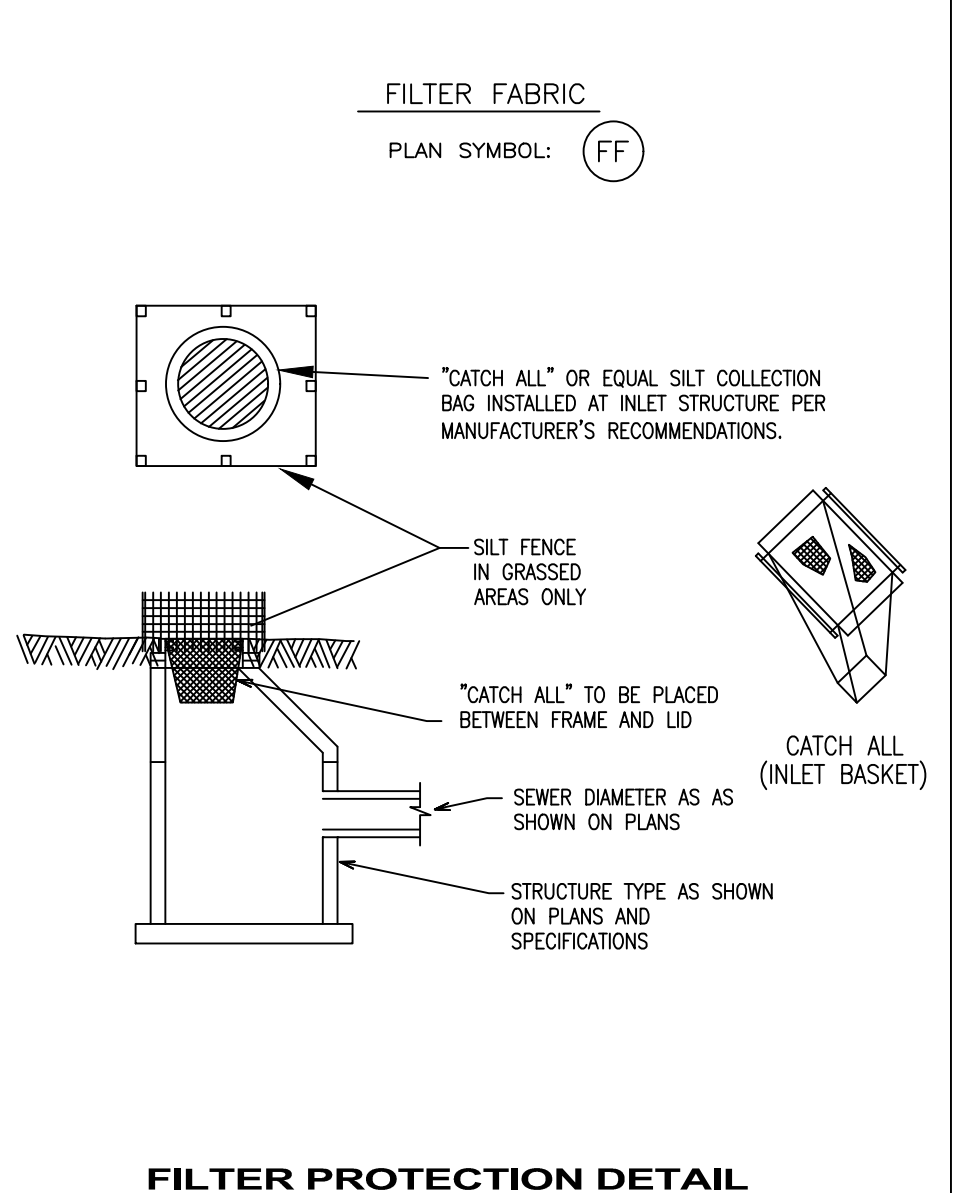
NOTES:

- Place the end post of the second fence inside the end post of the first fence.
- Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
- Drive both posts a minimum of 18 inches into the ground and bury the flap.

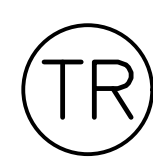
REFERENCE	Project	Date
Designed	Date	
Checked	Date	
Approved	Date	



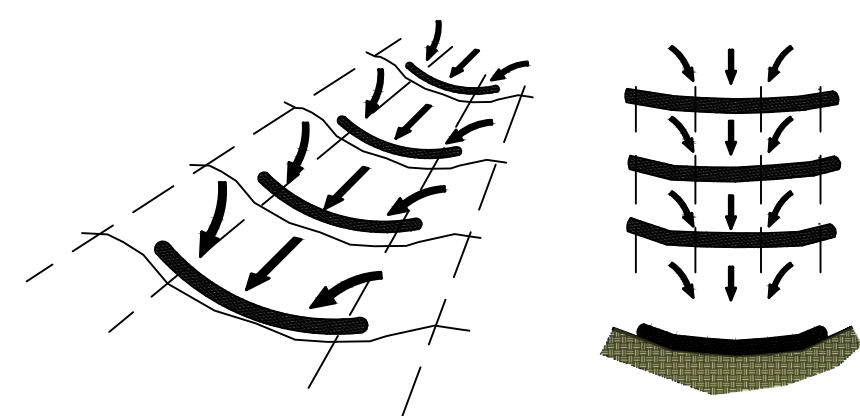
STANDARD DWG. NO.	IL-620(W)
SHEET	2 OF 2
DATE	1-29-99



FILTER PROTECTION DETAIL



PLAN SYMBOL: DC



DITCH CHECK:

PLACE SILT WORM PERPENDICULAR TO CONCENTRATED FLOW. STAKE THE SILT WORM EVERY 4' AND OVERLAP THE ENDS BY 2' INSTALLED WITH A SLIGHT SADDLING, AND STAKE EVERY 4'.

SILT WORM SPACING FOR DITCH APPLICATION	
DITCH SLOPE	MAXIMUM SILT WORM SPACING
2%	80'
3%	80'
4%	50'
5%	30'
6%	20'
GREATER THAN 6%	20'

BASED ON INSTALLED HEIGHT OF 19". SEE TABLE ON EC-SIA-6 FOR OTHER HEIGHTS

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STORM WATER POLLUTION PREVENTION PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

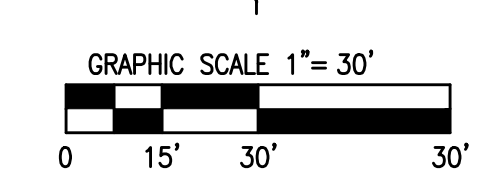
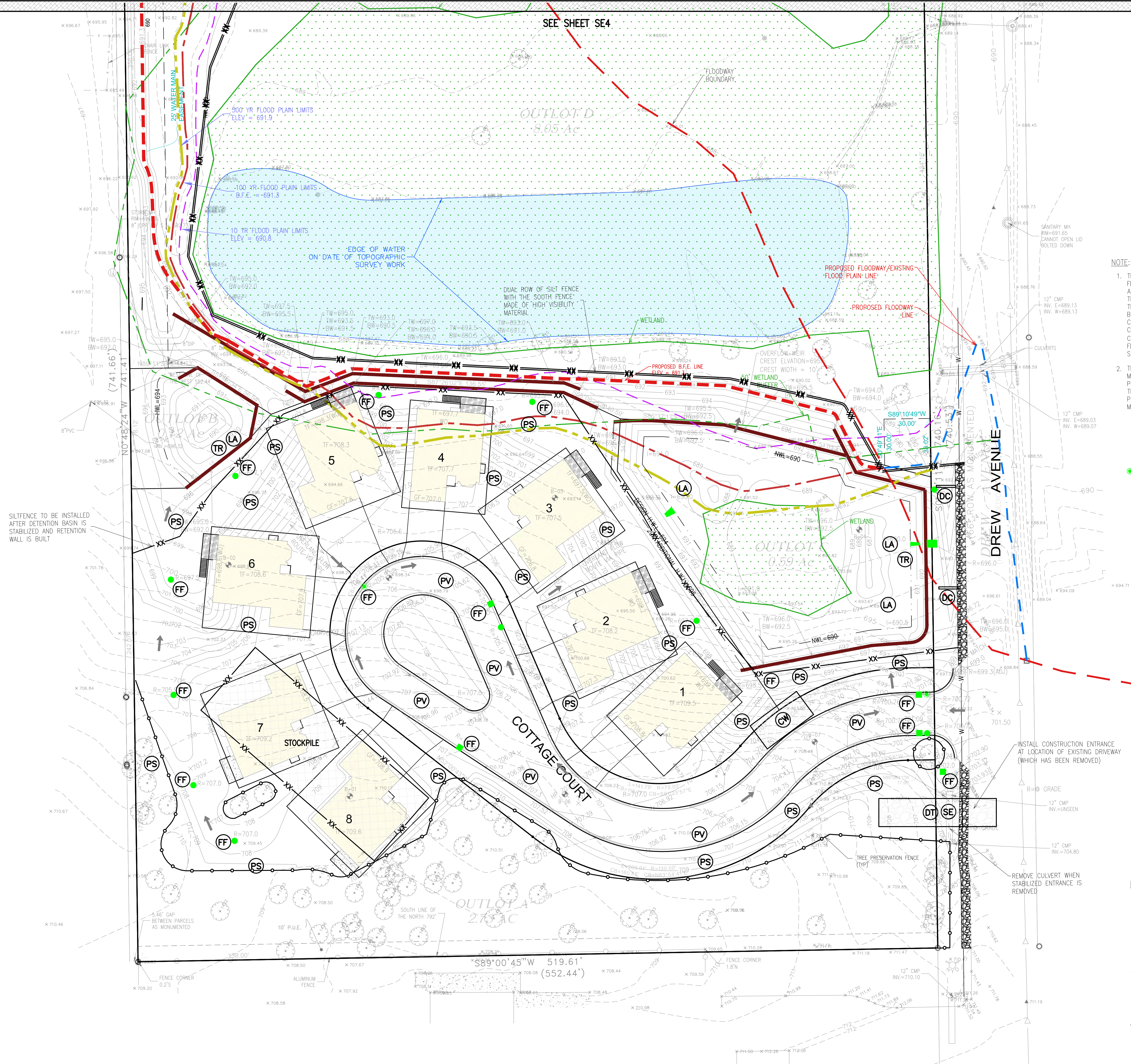
REMARKS
REVISED PER VILLAGE & COUNTY
REVISED PER VILLAGE & COUNTY

DATE
3/18/19
4/18/19

NO.
1
3

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
SE2
13 OF 28



EROSION CONTROL LEGEND

- TEMPORARY FILTER RISER
- STABILIZED CONSTRUCTION ENTRANCE (REMOVE EXIST. DRIVEWAY & INSTALL 3" ROCKS PER DETAIL.)
- DUST CONTROL
- PAVING
- PERMANENT SEEDING
- CONCRETE WASHOUT
- INLET PROTECTION
- LINED APRON
- EROSION CONTROL BLANKET
- DITCH CHECK
- SILT FENCE OR SILT WORM
- TREE PRESERVATION FENCE

- STOCKPILE/MATERIAL STORAGE NOTES:
- NO MATERIAL STORAGE OR STOCKPILES SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.

- NOTES:
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION INCLUDING EXCAVATION OF THE 3 SEDIMENT BASINS.
 - EARTHWORK CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
 - EARTHWORK CONTRACTOR RESPONSIBLE FOR DUST CONTROL.
 - EARTHWORK CONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
 - OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
 - NO MATERIAL STORAGE OR STOCK PILE SHALL BE PLACED WITHIN FLOOD PLAIN LIMITS.
 - FLOC LOG MAY BE REQUIRED BY VILLAGE ENGINEER TO PROTECT WETLANDS FROM SEDIMENT TRANSPORT.

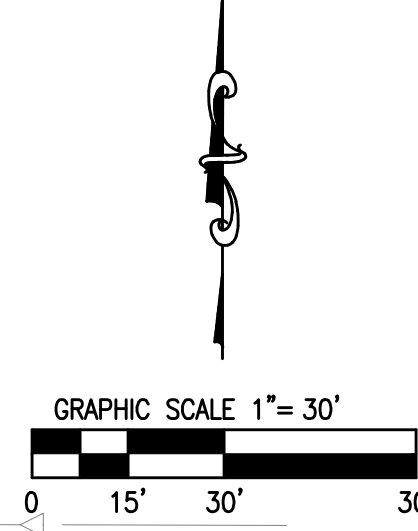
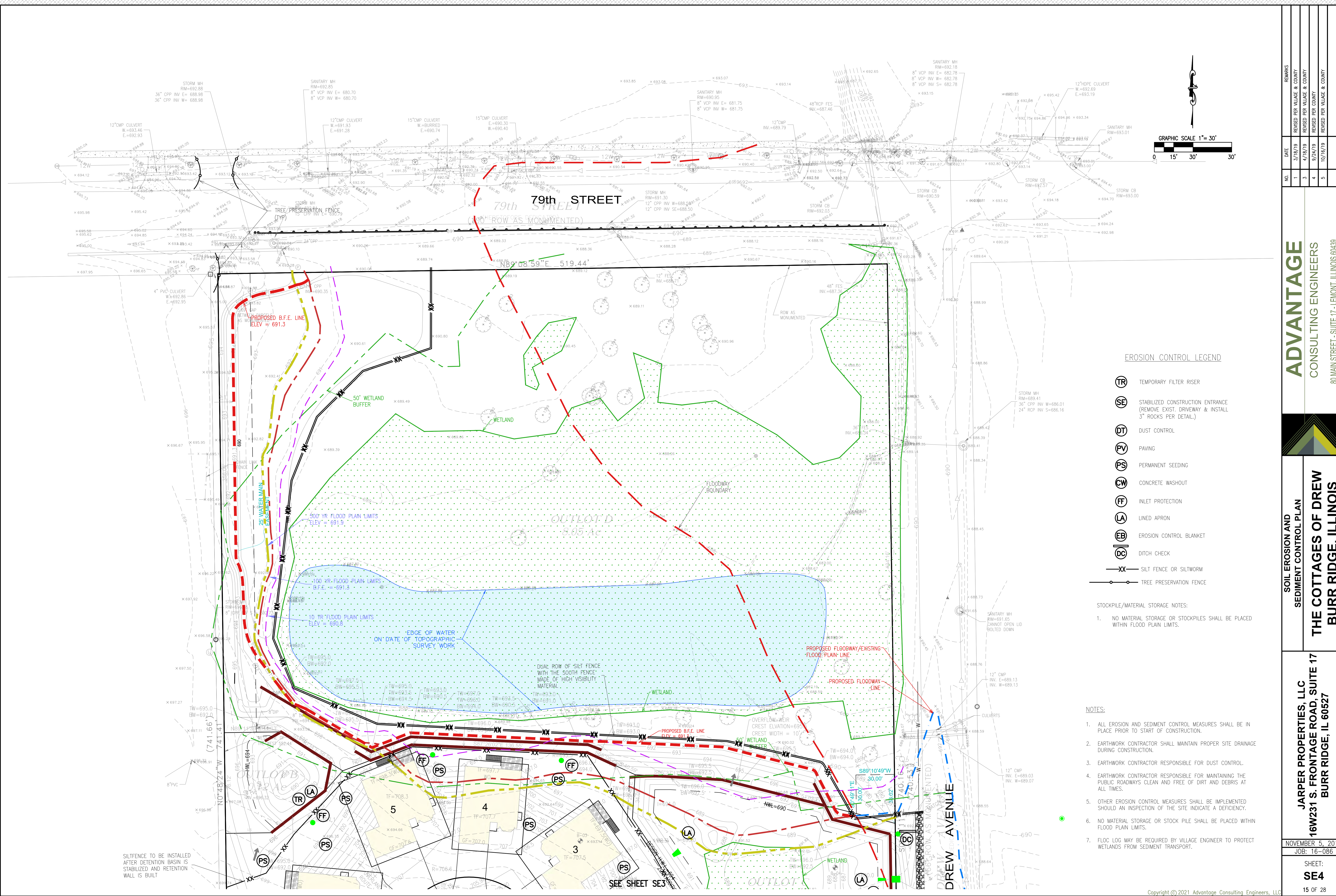
REMARKS	DATE	NO.	1	2	3	4	5
REVISED PER VILLAGE & COUNTY	3/18/19	1					
REVISED PER VILLAGE & COUNTY	4/18/19	2					
REVISED PER COUNTY	5/24/19	3					
REVISED PER VILLAGE & COUNTY	10/16/19	4					

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SOIL EROSION AND SEDIMENT CONTROL PLAN
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

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SE3
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EROSION CONTROL LEGEND

- TR** TEMPORARY FILTER RISER
- SE** STABILIZED CONSTRUCTION ENTRANCE
(REMOVE EXIST. DRIVEWAY & INSTALL
3" ROCKS PER DETAIL.)
- DT** DUST CONTROL
- PV** PAVING
- PS** PERMANENT SEEDING
- CW** CONCRETE WASHOUT
- FF** INLET PROTECTION
- LA** LINED APRON
- EB** EROSION CONTROL BLANKET
- BC** DITCH CHECK
- XX** SILT FENCE OR SILTWORM
- TREE PRESERVATION FENCE

STOCKPILE/MATERIAL STORAGE NOTES:
1. NO MATERIAL STORAGE OR STOCKPILES SHALL BE PLACED
WITHIN FLOOD PLAIN LIMITS.

- NOTES:
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
 - EARTHWORK CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
 - EARTHWORK CONTRACTOR RESPONSIBLE FOR DUST CONTROL.
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REMARKS	
1	REVISED PER VILLAGE & COUNTY
2	REVISED PER VILLAGE & COUNTY
3	REVISED PER VILLAGE & COUNTY
4	REVISED PER VILLAGE & COUNTY
5	REVISED PER VILLAGE & COUNTY

DATE	NO.
3/18/19	1
4/18/19	2
5/24/19	3
10/16/19	4

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SOIL EROSION AND
SEDIMENT CONTROL PLAN

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NOVEMBER 5, 2018
JOB: 16-086

SHEET:
SE4
15 OF 28

[illegible]

PRESSURE CONNECTION TO EXISTING WATER MAIN W/ 12"x12" MECHANICAL JOINT TAPPING SLEEVE

DESCRIPTION: THIS WORK SHALL CONSIST OF ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED TO CONNECT THE PROPOSED WATER MAIN TO THE EXISTING MAIN WITH A PRESSURE CONNECTION AT LOCATIONS INDICATED ON THE PLANS AND AS SHOWN ON THE DETAILS AND IN ACCORDANCE WITH THE ILLINOIS WATER & SEWER SPECIFICATIONS. THIS ITEM OF WORK SHALL INCLUDE TAPPING SLEEVE, TAPPING MACHINE, TAPPING VALVE AND MAKING A PRESSURE TAP TO CONNECT TO AN EXISTING WATER MAIN. TAPPING SLEEVE SHALL BE OF CAST IRON MATERIAL.

MATERIALS: WATER MAIN AND AUXILIARY VALVES SHALL BE A RESILIENT WEDGE GATE VALVE RATED FOR 250 P.S.I.G. COLD WATER WORKING PRESSURE. HAVE A DUCTILE IRON BODY WITH A MODIFIED WEDGE DISC. HAVE MECHANICAL JOINT ENDS, UNLESS OTHERWISE SPECIFIED, AND BE A NON-RISING STEM TYPE VALVE. THE VALVE SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C515, BOTH MECHANICAL JOINT ENDS SHALL COMPLY WITH AWWA STANDARD C1111 AND ANSI STANDARD A21.11 SPECIFICATIONS. FLANGED ENDS SHALL COMPLY WITH ANSI/AWWA C110/A21.10. GATE VALVES SHALL BE EPOXY COATED ACCORDING TO AWWA C550. VALVES 14 INCH AND LARGER SHALL HAVE AN ENCLOSED GEAR CASE. DESIGN SHALL BE OF THE BEVEL GEAR TYPE (HORIZONTAL INSTALLATION) OR AS SPECIFIED ON THE PLANS.

THE TAPPING SLEEVE SHALL BE MUELLER CAST IRON MJ #H615, AMERICAN FLOW CONTROL DUCTILE IRON SERIES 2800, TYLER/UNION DUCTILE IRON, U.S. PIPE DUCTILE IRON T-9, OR APPROVED EQUAL. THE NECK AND BODY SHALL BE 3/8" STEEL PLATE PER AWWA C-200 SPECIFICATIONS.

BOLTS AND NUTS SHALL BE GRADE 304L STAINLESS STEEL, ANNEALED.

SHOP DRAWINGS, SHOP DRAWINGS OF ALL ITEMS RELATED TO THE MANUFACTURER AND INSTALLATION OF THE TAPPING VALVE AND SLEEVE SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO DELIVERY TO THE JOB SITE.

GENERAL: TAPPING VALVES SHALL BE PROVIDED WITH A FLANGED END FOR ATTACHMENT TO THE FLANGE OF THE TAPPING SLEEVE AND WITH A MECHANICAL JOINT END THAT IS SUITABLE FOR ATTACHMENT TO A DRILLING MACHINE. WITH THE EXCEPTION OF VALVE ENDS AND OVERSIZED SEAT RINGS TO PERMIT ENTRY OF THE DRILLING MACHINE CUTTERS, THE TAPPING VALVE SHALL BE OF THE RESILIENT WEDGE, GATE VALVE TYPE AS PREVIOUSLY SPECIFIED IN THE SPECIAL PROVISION FOR GATES VALVES.

PRIOR TO MOUNTING THE TAPPING MACHINE, ALL COMPONENTS OF THE TAPPING VALVE, SLEEVE, AND TAPPING MACHINE SHALL BE DISINFECTED. THE ENGINEER SHALL WITNESS CLEANING, PREPARATION, AND DISINFECTION OF THE PORTION OF THE EXISTING WATER MAIN THAT THE FITTING AND VALVE ASSEMBLY WILL BE MOUNTED ON.

THE FOLLOWING IS THE SUGGESTED SEQUENCE OF THE TAPPING PROCESS:

- 1.INSTALL FITTING AND VALVE TO THE EXISTING PIPELINE.
- 2.INSTALL TAPPING MACHINE TO THE OUTLET FLANGE OF THE TAPPING VALVE, MAKING A PRESSURE TIGHT CONNECTION.
- 3.PERFORM HOT TAP THROUGH THE OPEN VALVE, RETAINING THE 'COUPON' CUTOUT REMOVED DURING THE HOT TAP OPERATION.
- 4.INSTALLATION SHALL BE PRESSURE TESTED IN ACCORDANCE WITH SECTION 46-6 OF THE WATER AND SEWER SPECIFICATIONS.
- 5.RETRACT CUTTER ASSEMBLY.
- 6.CLOSE HOT TAPPING VALVE.
- 7.REMOVE HOT TAP MACHINE TO ALLOW FOR CONNECTION TO NEW PIPE.

BASIS OF PAYMENT. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR PRESSURE CONNECTION TO EXISTING WATER MAIN W/ 12"x12" MECHANICAL JOINT TAPPING SLEEVE, WITH TAPPING VALVE, WHICH SHALL BE PAYMENT IN FULL FOR ALL LABOR, EQUIPMENT, MATERIALS, AND ALL OTHER WORK REQUIRED TO COMPLETE THE INSTALLATION OF THE WATER MAIN CONNECTION INCLUDING THE TAPPING VALVE, PIPE, FITTINGS, SOLID SLEEVE / FLEXIBLE COUPLING, INSTALLATION AND PRESSURE CAPS, THRUST BLOCKS, POLYETHYLENE ENCASEMENT, EXCAVATION, TRENCH BACKFILL AND LEGAL DISPOSAL OF ALL EXCESS MATERIAL.

METALLIC ZINC COATED DUCTILE IRON WATER MAIN ENCASED IN V-BIO® ENHANCED POLYETHYLENE PLASTIC

DESCRIPTION: THIS ITEM CONSISTS OF FURNISHING AND INSTALLING METALLIC ZINC COATED DUCTILE IRON PIPE WITH V-BIO® ENHANCED POLYETHYLENE ENCASEMENT WITH TRACER WIRE AND WARNING TAPE IN OPEN TRENCH, FITTINGS, JOINT MATERIALS, TESTING AND FLUSHING THE NEW MAIN, TAKING AND TRANSPORTING WATER SAMPLES FOR BACTERIOLOGICAL ANALYSIS, AND ALL OTHER WORK AS MAY BE NECESSARY FOR A COMPLETE INSTALLATION.

THIS WORK SHALL BE IN ACCORDANCE WITH APPLICABLE PARAGRAPHS OF SECTIONS 208, 561, AND 1000 OF THE STANDARD SPECIFICATIONS, APPLICABLE SECTIONS OF STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, APPLICABLE SECTIONS OF AWWA STANDARDS, PLAN DETAILS AND AS REVISED OR AMENDED IN THIS SPECIAL PROVISION AS FOLLOWS:

GENERAL DESCRIPTION OF WORK AND PROCEDURES.

A.TRENCH EXCAVATION

DURING ANY ONE WORKING DAY, THE CONTRACTOR SHALL EXCAVATE SUCH TRENCHES THAT WILL HAVE THE WATER MAIN INSTALLED AND BACKFILLED BY THE END OF THE DAY. THE TRENCHES SHALL BE EXCAVATED TO THE DEPTH REQUIRED. THE TRENCH, IT SHALL BE TEMPORARILY BACKFILLED UNTIL CONSTRUCTION RESUMES. IMMEDIATELY FOLLOWING THE BACKFILLING OF TRENCHES, ALL EXCAVATION MATERIAL SHALL BE HAULED OFF THE JOB SITE AND DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE.

B.POLYETHYLENE ENCASEMENT

TO PROTECT DUCTILE IRON PIPE FROM THE CORROSIVE SOIL, ALL PIPE SHALL BE WRAPPED WITH V-BIO® ENHANCED POLYETHYLENE ENCASEMENT. POLYETHYLENE ENCASEMENT FOR USE WITH DUCTILE IRON PIPE SHALL MEET ALL THE REQUIREMENTS FOR ANSI/ AWWA C105/A21.5, POLYETHYLENE ENCASEMENT FOR DUCTILE IRON PIPE SYSTEMS.

IN ADDITION, POLYETHYLENE ENCASEMENT FOR USE WITH DUCTILE IRON PIPE SYSTEMS SHALL CONSIST OF THREE LAYERS OF CO-EXTRUDED LINEAR LOW DENSITY POLYETHYLENE (LLD PE), FUSED INTO A SINGLE THICKNESS OF NOT LESS THAN 8 MILS.

THE INSIDE SURFACE OF THE POLYETHYLENE WRAP TO BE IN CONTACT WITH THE PIPE EXTERIOR SHALL BE INFUSED WITH A BLEND OF ANTI-MICROBIAL BIOCIDES TO MITIGATE MICROBIOLOGICALLY INFLUENCED CORROSION AND A VOLATILE CORROSION INHIBITOR TO CONTROL GALVANIC CORROSION. THE POLYETHYLENE ENCASEMENT SHALL BE APPLIED TO THE DUCTILE IRON PIPE AND THE POLYETHYLENE ENCASEMENT USED TO PROTECT IT SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C660 AND ANSI/ AWWA C105/ A21.5 AND ALSO IN ACCORDANCE WITH ALL RECOMMENDATIONS, AND PRACTICES OF THE AWWA MANUAL OF WATER SUPPLY PRACTICES. DUCTILE IRON PIPE AND FITTINGS, SPECIFICALLY, THE WRAP SHALL BE OVERLAPPED ONE FOOT IN EACH DIRECTION AT JOINTS AND SECURED IN PLACE AROUND THE PIPE AND ANY WRAP AT TAP LOCATIONS SHALL BE TAPED TIGHTLY PRIOR TO TAPPING AND INSPECTED FOR ANY NEEDED REPAIRS FOLLOWING THE TAP.

ALL INSTALLATIONS SHALL BE CARRIED OUT BY PERSONNEL TRAINED AND EQUIPPED TO MEET THESE VARIOUS REQUIREMENTS:

- 1.PICK UP THE PIPE WITH A SLING OR PIPE TONGS. SUE A POLYETHYLENE TUBE WHICH IS APPROXIMATELY TWO FEET LONGER THAN THE PIPE OVER THE PLAIN END AND LEAVE IT BUNCHED UP ACCORDION STYLE.
- 2.LOWER THE PIPE INTO THE TRENCH AND MAKE UP THE JOINT WITH THE PRECEDING PIPE. SHALLOW BELT HOLES ARE REQUIRED TO ALLOW OVERLAP OF THE TUBE AT THE JOINTS.
- 3.REMOVE THE SLING OR TONGS FROM THE CENTER OF THE PIPE. RAISE THE BELL A FEW INCHES AND SLIP THE POLYETHYLENE TUBE ALONG THE PIPE BARREL, LEAVING APPROXIMATELY ONE FOOT OF THE TUBE BUNCHED UP AT EACH END OF THE PIPE FOR WRAPPING THE JOINTS.
- 4.OVERLAP EACH JOINT BY FIRST PULLING ONE BUNCHED-UP TUBE OVER THE BELL, FOLDING IT AROUND THE ADJACENT PLAIN END AND SECURING IT IN PLACE WITH TWO OR THREE WRAPS OF THE POLYETHYLENE ADHESIVE TAPE. COMPLETE THE OVERLAP BY REPEATING THE SAME PROCEDURE WITH THE BUNCHED-UP TUBE ON THE ADJACENT PIPE.
- 5.TAKE UP THE SLACK TUBE ALONG THE PIPE BARREL BY FOLDING IT OVER THE TOP OF THE PIPE HOLDING THE FOLD IN PLACE WITH POLYETHYLENE ADHESIVE TAPE.
- 6.REPAIR ANY PIPS, PUNCTURES OR OTHER DAMAGE TO THE POLYETHYLENE WITH TAPE OR BY CUTTING OPEN A SHORT LENGTH OF TUBE, WRAPPING IT AROUND THE PIPE AND SECURING WITH POLYETHYLENE TAPE.

INSTALLATION OF POLYETHYLENE OVER FITTINGS, VALVES, AND PIPING SPECIALTIES:

FIT BENDS, REDUCERS AND OFFSETS WITH POLYETHYLENE TUBE IN THE SAME MANNER DESCRIBED ABOVE FOR PIPE. WRAP VALVES, TEES, CROSSES AND SPECIALTY ITEMS WITH A FLAT SHEET OBTAINED BY SPLITTING OPEN A LENGTH OF POLYETHYLENE TUBE. PASS THE SHEET UNDER THE VALVE OR FITTING AND BRING IT UP AROUND THE BODY. JOIN THE SEAMS BY BRINGING THE EDGES TOGETHER, FOLDING OVER TWICE AND SECURING IN PLACE WITH POLYETHYLENE TAPE.

C.DUCTILE IRON PIPE AND FITTINGS

COATING

THE EXTERIOR OF DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ARC-SPRAYED ZINC PER ISO 8179. THE MASS OF THE ZINC APPLIED SHALL BE 200 G/M² OF PIPE SURFACE AREA. A FINISHING LAYER TOPCOAT SHALL BE APPLIED TO THE ZINC. THE COATING SYSTEM SHALL CONFORM IN EVERY RESPECT TO ISO 8179-1. DUCTILE IRON PIPES - EXTERNAL ZINC-BASED COATING - PART 1: METALLIC ZINC WITH FINISHING LAYER. SECOND EDITION 2004-06-01."

INSTALLATION OF DUCTILE IRON PIPE AND FITTINGS

ALL DUCTILE IRON WATERMAIN PIPE SHALL CONFORM TO THE DIMENSION, WEIGHT, CHARACTER OF MATERIALS, ALLOWABLE VARIATIONS IN DIMENSIONS, MANUFACTURING METHOD OF MANUFACTURING, MARKING AND COATING TO ANSI/AWWA-C151/A21.1. THE THICKNESS OF THE PIPES SHALL HAVE A CLASS 52 STANDARD WALL THICKNESS IN ACCORDANCE WITH ANSI/AWWA-C151/A21.51.

ALL JOINTS SHALL BE SUPER BELL-TITE PUSH-ON JOINTS AND MEET THE REQUIREMENTS OF ANSI/AWWA-C111/A21.11. ALL FITTINGS SHALL BE FULL BOLT DUCTILE IRON MECHANICAL JOINT FITTINGS AND MEET ANSI-C110 AND SHALL HAVE A 250-PSI PRESSURE RATING. FITTINGS NOT INCLUDED IN AWWA C110 SHALL BE APPROVED BY THE ENGINEER. ALL DUCTILE IRON WATERMAIN PIPE SHALL HAVE A CEMENT MORTAR LINING WITH A BITUMINOUS SEAL COAT IN ACCORDANCE WITH ANSI/AWWA C111/A21.11. STANDARD CEMENT LINING SHALL BE NO LESS THAN 1/16-INCH ON ALL PIPE UP TO 12-INCH DIAMETER, AND 3/16-INCH THICK ON ALL PIPE 14-INCH THROUGH 24-INCH DIAMETER. EXTERIOR OF PIPE AND FITTINGS USED IN SUBMERGED OR BURIED APPLICATIONS SHALL BE SHOP COATED WITH A BITUMINOUS COATING NOT LESS THAN 1.0 MIL THICK.

FITTINGS SHALL BE A-304 STAINLESS STEEL ASTM F 593 AND F 594 BOLTS, NUTS, WASHERS, AND TIE RODS. (ADDED BY ORDINANCE A-894-03-08)

THE WATERMAIN SHALL BE LAID ON A WELL COMPACTED FLAT BOTTOM TRENCH, TRUE AND EVEN, SO THAT THE BARREL OF THE PIPE WILL HAVE A BEARING FOR ITS FULL LENGTH, UNLESS OTHERWISE DIRECTED. WATERMAIN PIPE SHALL BE LAID WITH THE BELL ENDS BEARING FOR THE DIRECTION OF LAYING. WHEN THE GRADE EXCEEDS 2- FEET OF RISE PER 100- FEET OF TRENCH, THE BELLS SHALL FACE UP- GRADE. BEFORE EXCAVATION OF ALL JOINTS AND FITTINGS, THE 4-INCHES IN DEPTH AND EXTEND 6-INCHES IN FRONT OF THE FACE OF THE BELL. ANY PART OF THE TRENCH EXCAVATED BELOW GRADE SHALL BE CORRECTED WITH GRANULAR MATERIAL AND THOROUGHLY COMPACTED. THE MINIMUM COVER OF THE PIPE SHALL BE FIVE (5) FEET.

AT ALL TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY A WATER-TIGHT PLUG OR BY OTHER MEANS APPROVED BY THE ENGINEER. IF THERE IS WATER IN THE TRENCH, THE SEAL SHALL REMAIN IN PLACE UNTIL THE TRENCH IS PUMPED COMPLETELY DRY. NO PIPE SHALL BE LAID IN WATER OR WHEN, IN THE OPINION OF THE ENGINEER, TRENCH CONDITIONS ARE NOT SUITABLE.

WHENEVER IT BECOMES NECESSARY TO LAY A MAIN OVER, UNDER OR AROUND A KNOWN OBSTRUCTION, THE CONTRACTOR WILL FURNISH AND INSTALL THE REQUIRED FITTINGS. THE LAYING OF SUCH FITTINGS SHALL BE INCLUDED IN THE UNIT PRICE. BUT FOR THE SIZE OF WATER MAIN, NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY EXPENSES INCURRED BECAUSE OF SUCH OBSTRUCTION.

REMOVAL AND DISPOSAL OF ANY KNOWN ABANDONED UNDERGROUND UTILITIES AS SHOWN ON PLANS WILL BE CONSIDERED INCIDENTAL TO THE INSTALLATION OF THE WATER MAIN. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY EXPENSES INCURRED BECAUSE OF SUCH WORK.

ALL BENDS, CAPS, TEES, PLUGS, VALVES, FITTINGS AND HYDRANTS AT A POINT IN THE PIPELINE WHERE THERE IS A CHANGE IN DIRECTION OR AT A DEAD END SHALL BE THRUST BLOCKED OR RESTRAINED BY THE USE OF MEGA LUGS. THRUST BLOCKING SHALL BE POURED PORTLAND CEMENT CONCRETE A MINIMUM OF 2-INCHES THICK, AND BE POURED AGAINST FIRM MATERIAL DURING. THEY SHALL BE FORMED SO THAT THE PIPE JOINTS ARE KEPT FREE FROM CONCRETE.

FOR WATER MAIN APPROACHING OR EXITING ANY HORIZONTAL OR VERTICAL BEND FITTING, ALL PUSH-ON JOINTS SHALL HAVE FIELD LOK GASKETS. THE PLACEMENT OF FIELD LOK GASKETS SHALL BE:

GASKETS SHALL BE AS SPECIFIED UNDER FIELD LOK GASKETS FOR DI WATER MAIN, OF THE DIAMETER SPECIFIED, OF THESE SPECIAL PROVISIONS.

THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE VILLAGE'S WATER AND SEWER SUPERINTENDENT FOR A REQUEST FOR A WATER SHUT-OFF SO THAT THE CUSTOMERS CAN BE NOTIFIED BY THE VILLAGE WATER DEPARTMENT OF ANY SERVICE INTERRUPTION. THE VILLAGE'S WATER AND SEWER SUPERINTENDENT SHALL DETERMINE THE TIME AND DURATION OF THE SHUT-OFF. THE CONTRACTOR SHALL CONTINUE THE WORK TO COMPLETION, AND RESTORE SERVICE TO THE INTERRUPTED MAIN. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR OVERTIME DUE TO THE HOURS OF SHUT-OFF.

A.TRACER WIRE AND WARNING TAPE

TRACER WIRE AND WARNING TAPE WILL BE REQUIRED TO ASSIST WITH WATER MAIN LOCATING. WARNING TAPE SHALL BE 2" WIDE BLUE PLASTIC WARNING TAPE. TRACER WIRE SHALL BE #8 SOLID GAUGE TRACER WIRE WITH BLUE INSULATION. (ADDED BY ORDINANCE A-894-03-08)

B.BACKFILLING

THE BEDDING, HAUNCHING AND BACKFILLING FOR PIPE INSTALLATION SHALL BE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED IN SECTION 20 OF THE WATER AND SEWER SPECIFICATIONS EXCEPT AS MODIFIED IN THESE SPECIAL PROVISIONS. BEDDING, HAUNCHING, AND INITIAL BACKFILL WILL NOT BE ELIGIBLE FOR PAYMENT BUT SHALL BE CONSIDERED INCLUDED IN THE COST OF DUCTILE IRON WATER MAIN, OF THE DIAMETER SPECIFIED.

BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL CONSIST OF CA-7 COURSE AGGREGATE. GRADATION, BEDDING SHALL CONSIST OF 6" COMPACTED GRANULAR BEDDING BENEATH THE PIPE. HAUNCHING SHALL CONSIST OF THE BACKFILL FROM THE BOTTOM OF THE PIPE TO THE SPRING LINE (CENTERLINE) OF THE PIPE. INITIAL BACKFILL INCLUDES GRANULAR BACKFILL FROM THE SPRING LINE TO THE TOP OF THE PIPE. INITIAL BACKFILL AND HAUNCHING SHALL BE PLACED IN 6-INCH MAXIMUM LAYERS WITH THE BACKFILL COMPACTED BY MECHANICAL MEANS.

THE PLACEMENT AND COMPACTION OF GRANULAR BACKFILL MATERIAL (CA-6) WHEN REQUIRED SHALL BE AS SPECIFIED UNDER TRENCH BACKFILL OF THESE SPECIAL PROVISIONS. BEDDING SHALL BE PLACED IN 6-INCH MAXIMUM LAYERS OF THE SPECIFIED MATERIALS AS SHOWN ON THE DRAWINGS AND COMPACTED BY MECHANICAL MEANS.

C.HYDROSTATIC TESTING

PRESSURE TESTING OF DISTRIBUTION WATER MAINS SHALL BE PERFORMED BY CONTRACTOR IN ACCORDANCE WITH AWWA C-600 AND WITNESSED BY THE ENGINEER. NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, THEN A TAP SHOULD BE MADE ON THE WATER MAIN / SERVICE OF 150 PSI FOR A MINIMUM OF 2 HOURS. THE PRESSURE DURING THE TWO-HOUR TEST CANNOT VARY BY MORE THAN ±5 PSI FOR THE DURATION OF THE TEST. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE OR ANY VALVED SECTION THEREOF TO MAINTAIN PRESSURE WITHIN 5 PSI OF THE SPECIFIED TEST PRESSURE AFTER THE WATER MAIN / SERVICE HAS BEEN FILLED WITH WATER AND THE AIR HAS BEEN EXPELLED. THE WATER

NECESSARY TO BRING THE PRESSURE UP TO 150 PSI FROM A MEASURED CONTAINER SHALL BE THE AMOUNT OF LEAKAGE. A FIRE SERVICE LINE MUST BE TESTED AT 200 PSI AS OUTLINED IN THE NFPA 24: STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES.

NOTE: IF AT ANY TIME AFTER THE TEST BEGINS A DROP OF 5 PSI OR GREATER IS RECORDED, THE TEST IS COMPLETE WITH A FAILING RESULT REGARDLESS OF THE ALLOWABLE MAKE-UP.

G.FLUSHING AND DISINFECTION

ANY OF THE METHODS STATED IN AWWA STANDARD C651-92 ARE ACCEPTED AS A MEANS OF DISINFECTION OF WATER MAINS.

SECTIONS OF PIPE TO BE DISINFECTED SHALL FIRST BE FLUSH TO REMOVE ANY SOLID OR CONTAMINATION MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE. IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, THEN A TAP SHOULD BE PROVIDED LARGE ENOUGH TO DEVELOP A VELOCITY OF AT LEAST 2.5- FEET PER SECOND IN THE MAIN. ONE (1) 2-1/2-INCH HYDRANT OPENING WILL, UNDER NORMAL PRESSURES, PROVIDE THIS VELOCITY IN PIPE SIZES UP TO AND INCLUDING 12- INCHES.

WATER MAINS SHALL BE STERILIZED BY OR UNDER THE DIRECTION OF AN EXPERIENCED PROFESSIONAL CHLORINATION TECHNICIAN RETAINED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE ENGINEER AND THE STATE DEPARTMENT OF HEALTH. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) MG/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) MG/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.

AFTER THE STERILIZATION PROCESS, WATER SAMPLES SHALL BE COLLECTED AT STRATEGIC LOCATIONS THROUGHOUT THE SYSTEM EQUAL TO ONE (1) IN EVERY 1000- FEET OF NEW PIPE WITH NO LESS THAN TWO (2) SAMPLES TOTAL AND SUBMITTED TO AN INDEPENDENT LABORATORY APPROVED BY THE ENGINEER FOR BACTERIOLOGICAL EXAMINATION ON TWO SEPARATE DATES.

FOLLOWING CHLORINATION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE NEWLY LAID PIPE AT ITS EXTREMITY UNTIL THE REPLACEMENT WATER THROUGHOUT ITS LENGTHS SHOWS UPON TEST, CHLORINE RESIDUAL NOT IN EXCESS OF THAT CARRIED IN THE SYSTEM (0.8 TO 1.0 MG/L).

METHOD OF MEASUREMENT AND BASIS OF PAYMENT.

THIS WORK SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR "ZINC COATED DUCTILE IRON WATER MAIN ENCASED IN V-BIO® ENHANCED

POLYETHYLENE PLASTIC, OF THE SIZE INDICATED ON DUE CONTRACT DRAWINGS MEASURED FOR PAYMENT IN ACCORDANCE WITH THE PAY LIMITS SHOWN ON THE PLANS. THIS PRICE SHALL INCLUDE THE COST OF ALL MATERIALS, LABOR AND EQUIPMENT FOR A COMPLETE INSTALLATION INCLUDING THE PRESSURE TESTING AND STERILIZATION. THIS ITEM SHALL ALSO INCLUDE ANY AND ALL ITEMS SUCH AS WATER PUMPS, GAUGES, METERS, CAPS, CORPORATION STOPS, COPPER WHIPS, TEMPORARY BLIND FLANGES (REQUIRED FOR TESTING), LABORATORY TEST COSTS, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THIS WORK AS SPECIFIED. TEES, CROSSES, REDUCERS, BEND, PLUGS, SLEEVES, WEDGES, AND POLYETHYLENE TUBE ARE PART OF THIS ITEM AND WILL NOT BE PAID FOR SEPARATELY. FIELD LOK GASKETS WILL BE PAID FOR SEPARATELY.

DUCTILE IRON PIPE INSTALLED IN STEEL CASING, 12" / PVC PIPE INSTALLED IN STEEL CASING, 12"

DESCRIPTION. THIS WORK SHALL BE IN CONFORMANCE WITH SECTION 20-2.19 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, EXCEPT AS MODIFIED HEREIN. ENCASEMENTS FOR PIPES UNDER HIGHWAYS OR RAILROADS SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE, OR THE OWNER OF THE HIGHWAY OR RAILROAD.

MATERIALS. MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 561.02 OF THESE SPECIAL PROVISIONS.

ALL JOINTS LOCATED INSIDE OF STEEL CASING SHALL BE RESTRAINED WITH FIELD-LOK BY U.S. PIPE, MEGA LUGS BY EBAA IRON, OR APPROVED EQUAL.

THE CARRIER PIPE SHALL BE SUPPORTED FOR ITS ENTIRE LENGTH INSIDE THE CASING PIPE BY MEANS OF CASING SPACERS, SIZED PRECISELY TO PREVENT SHIFTING OR FLOTATION. CASING SPACERS SHALL BE STAINLESS STEEL OF TYPE 304 STAINLESS STEEL. POLYETHYLENE ENCASEMENT SHALL BE USED TO PROTECT THE CARRIER PIPE FROM THE EXISTING WATER MAIN. LUGS AND LOCK NUTS AS MANUFACTURED BY CASCADE MODEL CSS. SPACERS SHALL BE PLACED AT A MAXIMUM DISTANCE OF 10- FEET ON CENTER, WITH A MINIMUM OF THREE (3) SPACERS PER PIPE LENGTH, WITH ONE (1) SPACER WITHIN TWO (2) FEET FROM ANY END.

STEEL CASING PIPE ENDS SHALL BE SEALED WITH RUBBER END SEALS CASCADE MODEL CCEs OR APPROVED EQUAL.

THE CARRIER PIPE SHALL BE ADJUSTED SO THAT THE END EXTENDS PAST THE END OF THE CASING PIPE BY APPROXIMATELY 12 TO 18 INCHES. CARRIER PIPE FOR WATER MAIN SHALL BE HYDROSTATICALLY PRESSURE TESTED PRIOR TO SEALING THE ANNULAR SPACE.

THE ANNULAR SPACE SHALL BE FILLED WITH PEA GRAVEL, LOW-STRENGTH GROUT, OR CELLULAR FOAM CONCRETE AND PROVISIONS SHALL BE MADE SO THAT NO VOIDS ARE LEFT. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE A VILLAGE REPRESENTATIVE WITNESS THE ANNULAR SPACING FILLING OPERATIONS.

BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR DUCTILE IRON OR PVC PIPE INSTALLED IN STEEL CASING, 12", WHICH PRICE SHALL INCLUDE ALL PIPE, FITTINGS, JOINT RESTRAINTS; "FIELD LOK GASKETS"; THRUST BLOCKS; POLYETHYLENE ENCASEMENT; TESTING AND DISINFECTION, (INCLUDING FITTINGS, METERS, PUMPS, GAUGES, LABORATORY FEES); LABOR; EQUIPMENT; EXCAVATION; FILLING THE ANNULAR SPACE, CASING SPACERS, AND END SEALS REQUIRED TO COMPLETE THE WORK AS SPECIFIED HEREIN.

CUT AND INSTALL ENDCAPS

DESCRIPTION. THIS WORK SHALL CONSIST OF THE INSTALLATION OF A CAP ON AN EXISTING WATER MAIN THAT IS TO BE ABANDONED AT LOCATIONS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER. THIS WORK SHALL INCLUDE FULL DEPTH SAWCUTTING OF THE EXISTING PAVEMENT, PAVEMENT REMOVAL, EXCAVATION, DISPOSAL OF ALL UNSUITABLE MATERIAL, CAPPING BOTH ENDS OF THE EXISTING WATER MAIN, AND FURNISHING, PLACING, AND COMPACTING TRENCH BACKFILL IN AN APPROVED MANNER.

MATERIALS. THE CAP(S) AND OR PLUG(S) SHALL BE OF AN APPROVED MATERIAL WITH A MECHANICAL JOINT AND GASKET AND SHALL BE SECURED IN PLACE WITH MEGA LUGS. PREFORMED PORTLAND CEMENT CONCRETE BLOCKS SHALL ALSO BE USED TO FURTHER BRACE THE CAP.

CONSTRUCTION REQUIREMENTS. THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE VILLAGE'S WATER AND SEWER DEPARTMENT FOR A REQUEST FOR A WATER SHUT- OFF SO THAT THE CUSTOMERS CAN BE NOTIFIED BY THE VILLAGE WATER DEPARTMENT OF ANY SERVICE INTERRUPTION. THE VILLAGE'S WATER AND SEWER DEPARTMENT SHALL DETERMINE THE TIME AND DURATION OF THE SHUT-OFF. THE CONTRACTOR SHALL CONTINUE THE WORK TO COMPLETE AND RESTORE SERVICE TO THE INTERRUPTED MAIN. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR OVERTIME DUE TO THE HOURS OF SHUT-OFF.

THE CONTRACTOR SHALL EXCAVATE THE AREA WHERE THE CAP IS TO BE INSERTED AND EXPOSE THE EXISTING CONNECTION. ALL MATERIALS NECESSARY TO CUT AND INSTALL ENDCAPS AND TO INSTALL THE CAP SHALL BE ON THE JOB SITE PRIOR TO DOING THE WORK. ONCE IT IS DETERMINED THAT ALL NECESSARY EQUIPMENT AND MATERIALS ARE AVAILABLE, THE CONTRACTOR MAY PROCEED WITH SHUTTING DOWN THE MAIN AND PERFORMING THE WORK.

METHOD OF MEASUREMENT, AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR CUT AND INSTALL ENDCAPS, OF ANY DIAMETER, WHICH PRICE SHALL INCLUDE ALL LABOR, EQUIPMENT AND MATERIAL NECESSARY FOR A COMPLETE INSTALLATION AS SPECIFIED HEREIN.

CUT-IN CONNECTIONS

DESCRIPTION. THIS WORK SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO CONNECT THE NEW WATER MAIN TO EXISTING WATER MAIN. THE CONTRACTOR SHALL EXCAVATE THE EXISTING WATER MAIN TO THE DEPTH OF THE EXISTING WATER MAIN. NECESSARY TO REMOVE OLD FITTINGS, THE REMOVAL OF EXISTING CONNECTION FITTINGS AND PIPE (TEE, CROSS, SLEEVES , VALVES, VALVE VAULTS, ETC.), AND ALL BACKFILL NECESSARY TO RESTORE EXCAVATED AREA TO PREVIOUS GRADE.

WORK SHALL BE STAGED IN SUCH A WAY AS TO MAXIMIZE THE NUMBER OF CUT-IN CONNECTIONS THAT CAN BE PERFORMED PER EACH SHUTDOWN OF AN EXISTING WATER MAIN. NO SHUTDOWNS OF WATER MAIN WILL BE ALLOWED ON FRIDAYS OR MONDAYS WITHOUT PRIOR APPROVAL BY THE ENGINEER.

METHOD OF MEASUREMENT. MEASUREMENT FOR THIS ITEM SHALL BE ON AN EACH BASIS PER LOCATION OF CONNECTION. BASIS OF PAYMENT. THIS ITEM SHALL BE PAID FOR PER EACH FOR CUT-IN CONNECTIONS, REGARDLESS OF SIZE, WHICH PRICE SHALL INCLUDE ANY AND ALL MATERIALS NECESSARY TO CUT AND INSTALL FITTINGS AND REMOVAL OF FITTINGS AND PIPE, CLEANING AND PREPPING PIPE FOR CONNECTION, AND ALL BACKFILL NECESSARY TO BRING HOLE TO ORIGINAL GRADE.

GATE VALVES, 12"

DESCRIPTION. WATER VALVES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF SECTION 561 OF THE STANDARD SPECIFICATIONS AND WITH THE APPLICABLE PORTIONS OF SECTION 41 OF THE WATER AND SEWER SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.

MATERIALS. WATER VALVES 16" AND SMALLER SHALL BE OF THE RESILIENT WEDGE GATE VALVE TYPE SUITABLE FOR ORDINARY WATER-WORKS SERVICE, INTENDED TO BE INSTALLED IN A NORMAL POSITION ON BURIED PIPE LINES FOR WATER DISTRIBUTION SYSTEMS. VALVES 18" AND LARGER SHALL BE OF THE STEEL WEDGE GATE VALVE TYPE. VALVES SHALL MEET THE STANDARDS OF THE LATEST AWWA C515 AND AWWA C509 AND BE RATED FOR 250 PSI WORKING PRESSURE. VALVES LARGER THAN 16" SHALL BE BUTTERFLY STYLE.

FURTHER DETAILS AND NOTES ON MATERIALS AND INSTALLATION ARE PROVIDED ON THE PLANS. ALL MATERIALS USED IN THE MANUFACTURE OF WATERWORKS GATE VALVES AND BUTTERFLY VALVES SHALL CONFORM TO THE AWWA STANDARDS DESIGNED FOR EACH MATERIAL LISTED.

MANUFACTURER AND MARKING - THE GATE VALVES SHALL BE STANDARD PATTERN AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY. GATE VALVES SHALL BE MUELLER OR APPROVED EQUAL. THE BUTTERFLY VALVES SHALL BE STANDARD PATTERN AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY.

1.TYPE AND MOUNTING - THE VALVE BODIES SHALL BE MOUNTED WITH APPROVED NONCORROSIVE METALS. ALL WEARING SURFACES SHALL BE BRONZE OR OTHER APPROVED NONCORROSIVE MATERIAL AND THERE SHALL BE NO MOVING BEARING OR CONTACT SURFACES OF IRON IN CONTACT WITH IRON. CONTACT SURFACES SHALL BE MACHINED AND FINISHED IN THE BEST WORKMANLIKE MANNER AND ALL WEARING SURFACES SHALL BE EASILY RENEWABLE. ALL TRIM BOLTS SHALL BE 304 SERIES STAINLESS STEEL.

THE RESILIENT-SEATED DISC WEDGE SHALL BE OF THE RESILIENT WEDGE FULLY-SUPPORTED TYPE. SOLID GUIDE LUGS SHALL TRAVEL WITH CHANNELS IN THE BODY OF THE VALVE. THE DISC AND GUIDE LUGS SHALL BE FULLY 100% ENCAPSULATED IN SSR (STYRENE BUTADIENE) RUBBER.

DISC WEDGES THAT ARE NOT 100% FULLY ENCAPSULATED SHALL NOT BE NOT BE ACCEPTABLE. GUIDE CAPS OF AN ACTUAL COPOLYMER OF POLYETHYLENE SHALL BE PROVIDED TO PROTECT THE RUBBER-ENCAPSULATED SOLID GUIDE LUGS FROM ABRASION FOR LONG LIFE AND EASE OF OPERATION.

ALL INTERNAL AND EXTERNAL EXPOSED FERROUS SURFACES OF THE GATE VALVE AND THE BUTTERFLY VALVE SHALL BE COATED WITH A FLUORID BONDED, THERMOSETTING POWDER EPOXY COATING CONFORMING TO AWWA C550 AND CERTIFIED TO NSF 61. COATING SHALL BE NON-TOXIC AND SHALL IMPART NO TASTE TO WATER. COATING THICKNESS SHALL BE NOMINAL 10 MILS.

THE STEM SHALL BE OF HIGH TENSILE STRENGTH BRONZE OR OTHER APPROVED NON-CORROSIVE METAL, PROVIDING 70,000 PSI TENSILE STRENGTH WITH 15% ELONGATION AND A YIELD STRENGTH OF 30,000 PSI. ALL NONFERROUS BUSHINGS SHALL BE OF SUBSTANTIAL THICKNESS, TIGHTLY FITTED AND PRESSED INTO MACHINE SEATS. ALL VALVES SHALL OPEN BY TURNING TO THE LEFT (COUNTERCLOCKWISE), UNLESS OTHERWISE SPECIFIED.

BUTTERFLY STYLE VALVES SHALL BE SUPPLIED WITH 2" OPERATING NUT.

2.END CONNECTIONS - END CONNECTIONS OF GATE VALVES SHALL CONSIST OF MECHANICAL JOINTS.

ALL GATE VALVES AND BUTTERFLY VALVES ARE TO BE INSTALLED IN CONCRETE VALVE VAULTS AS DETAILED IN THE PLAN. VALVE VAULTS SHALL BE CONSTRUCTED WITH PRECAST CONCRETE. VALVE VAULTS SHALL BE CONSTRUCTED WITH DUCTILE IRON WATER MAIN, INCLUDED ELSEWHERE HEREIN. VALVES SHALL BE INSTALLED USING STAINLESS STEEL BOLTS.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR GATE VALVES, OF THE SIZE SPECIFIED. THIS PRICE SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE VALVE IN A VALVE VAULT AS DETAILED IN THE PLANS AND TO THE SATISFACTION OF THE ENGINEER. THE VALVE VAULT WILL BE PAID FOR SEPARATELY.

FIRE HYDRANTS WITH AUXILIARY VALVE AND VALVE BOX

DESCRIPTION. THIS WORK CONSISTS OF FURNISHING AND INSTALLING A FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX AT LOCATIONS SHOWN IN THE PLANS. AS A MINIMUM, THE DESIGN, MATERIALS AND WORKMANSHIP OF ALL FIRE HYDRANTS SHALL CONFORM TO THE APPLICABLE PORTIONS OF AWWA C502 AS WELL AS SECTION 45.5 OF THE WATER AND SEWER SPECIFICATIONS. THE DETAILS AND NOTES FOR MATERIALS AND INSTALLATION ARE PROVIDED ON THE PLANS.

MATERIALS. ALL FIRE HYDRANTS SHALL BE MUELLER CENTURION OR EAST JORDAN, COMPLYING WITH AWWA C-502 AND HAVING BREAKABLE SAFETY FLANGES, AS CURRENTLY INSTALLED IN THE VILLAGE.

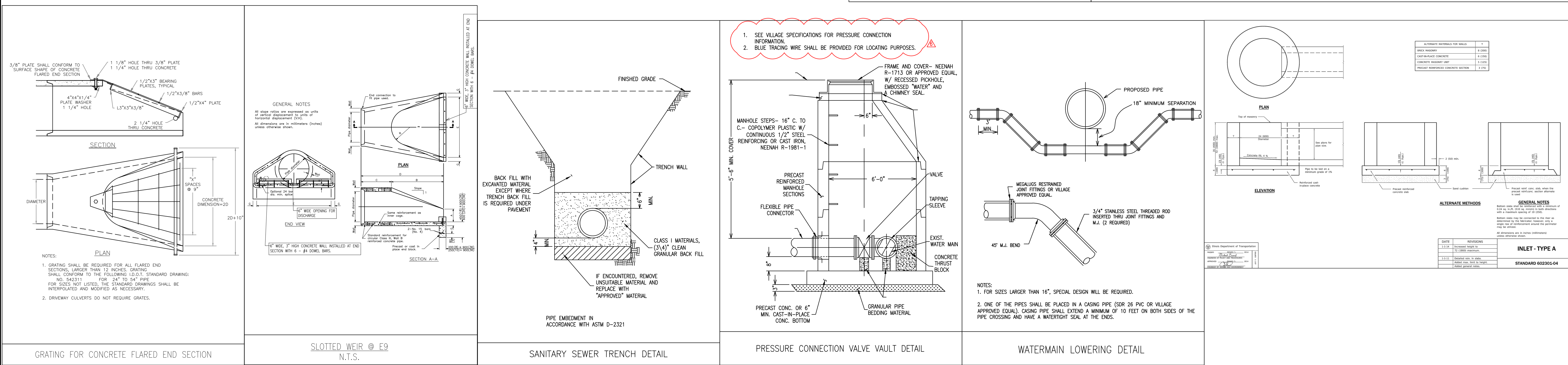
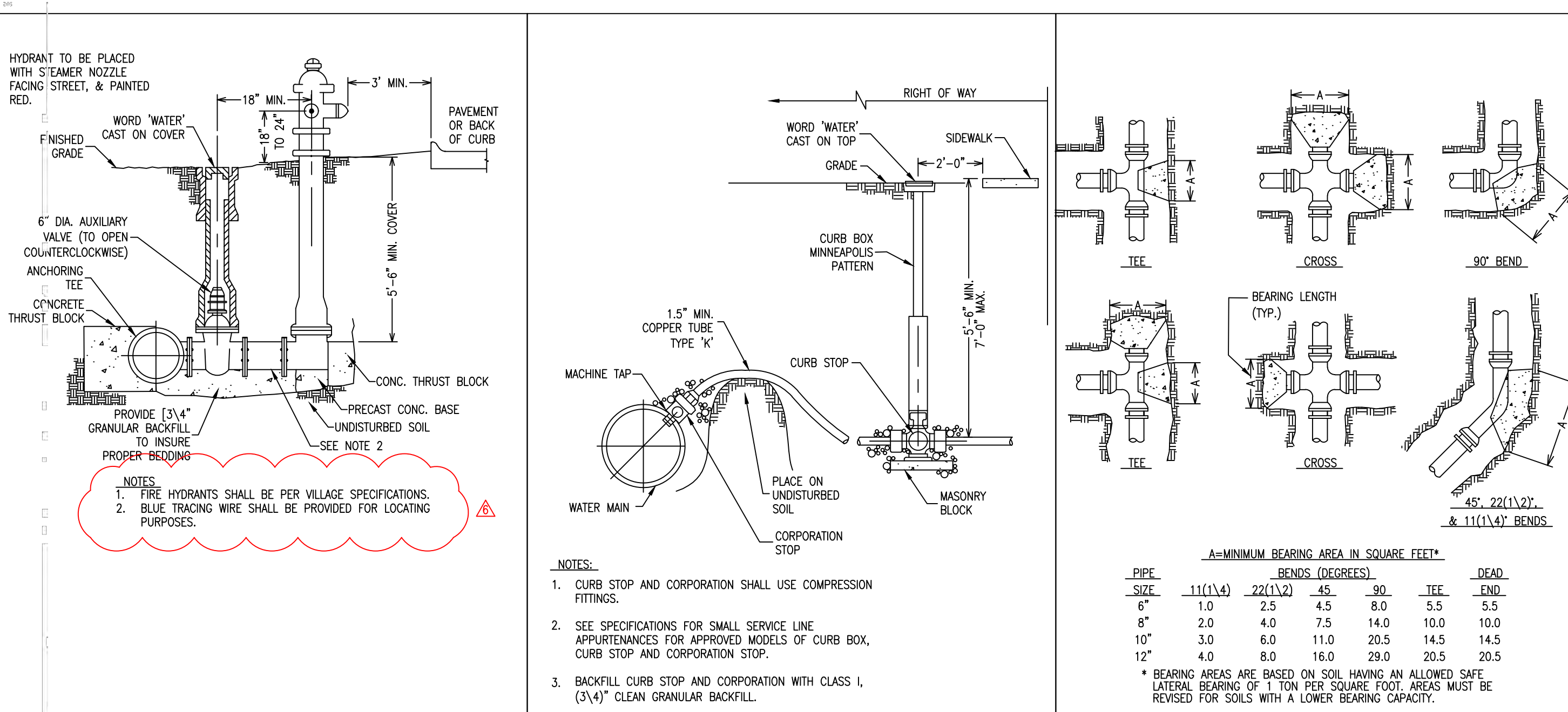
FIRE HYDRANTS SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 350 FEET IN A DIRECT LINE IN THE PARKWAY. THE HYDRANTS SHALL HAVE A MINIMUM OF A SEVEN (7") INCH BARREL AND TWO, TWO AND ONE-HALF (2 1/2") INCH HOSE CONNECTIONS. THE HYDRANTS SHALL BE INSTALLED WITH A 1 1/2" INCH STEAMER CONNECTION AND AN INDIVIDUAL INSULATING VALVE OF THE SIZE REQUIRED BY THE APPROPRIATE FIRE PROTECTION DISTRICT. FIRE HYDRANTS SHALL BE MUELLER CENTURION OR EAST JORDAN, DEPENDING UPON WHICH FIRE HYDRANT IS PREDOMINANT IN THE VICINITY. FIRE HYDRANTS SHALL BE EQUIPPED WITH A 6" AUXILIARY VALVE AND VALVE BOX. THE MAIN TRAVEL VALVE SHALL CONNECT TO THE FIRE HYDRANT WITH A FLANGE FITTING. (ADDED BY ORDINANCE A-894-03- 08). HYDRANTS SHALL HAVE NATIONAL STANDARD THREADS AND SHALL BE PAINTED THE VILLAGE STANDARD COLOR.

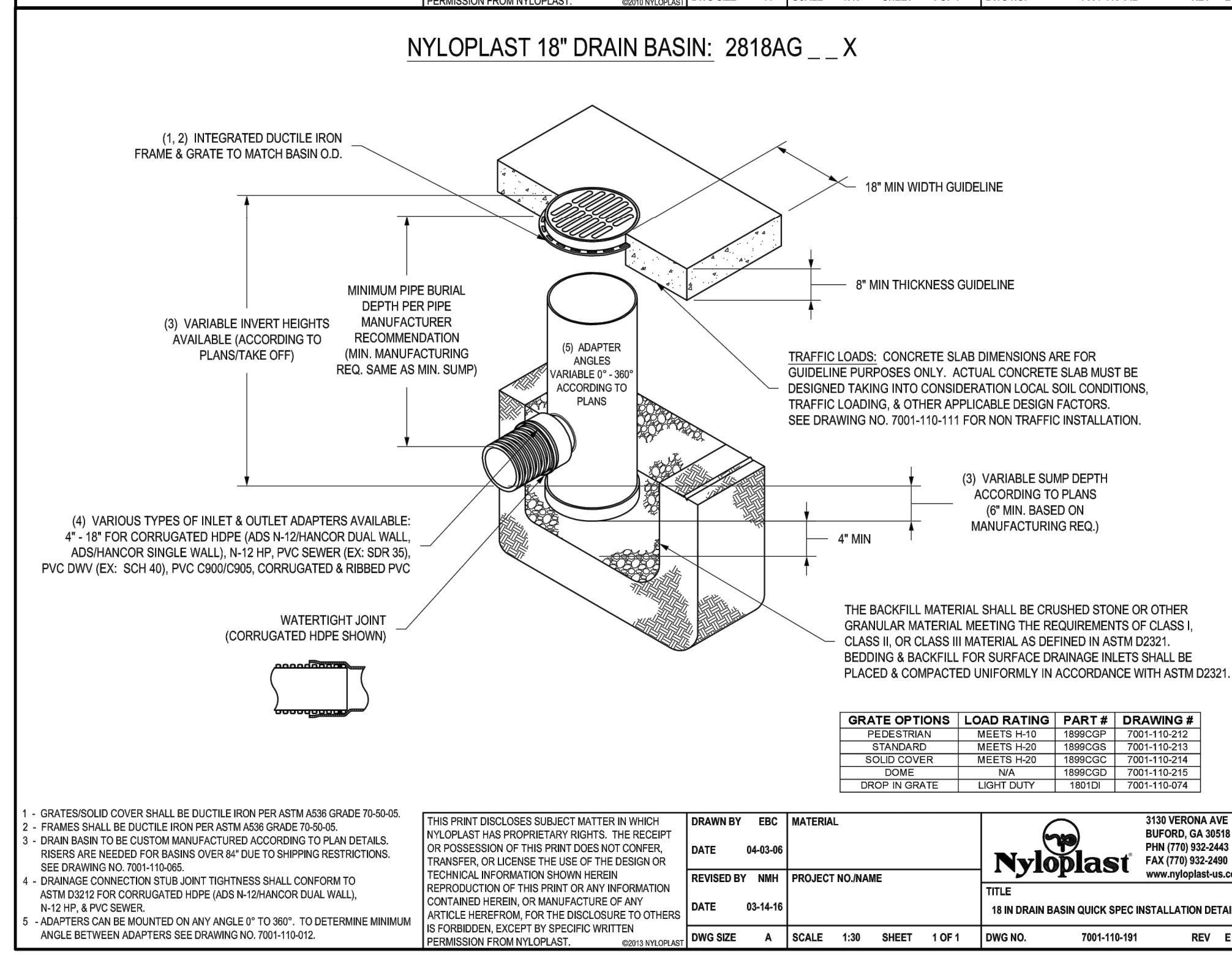
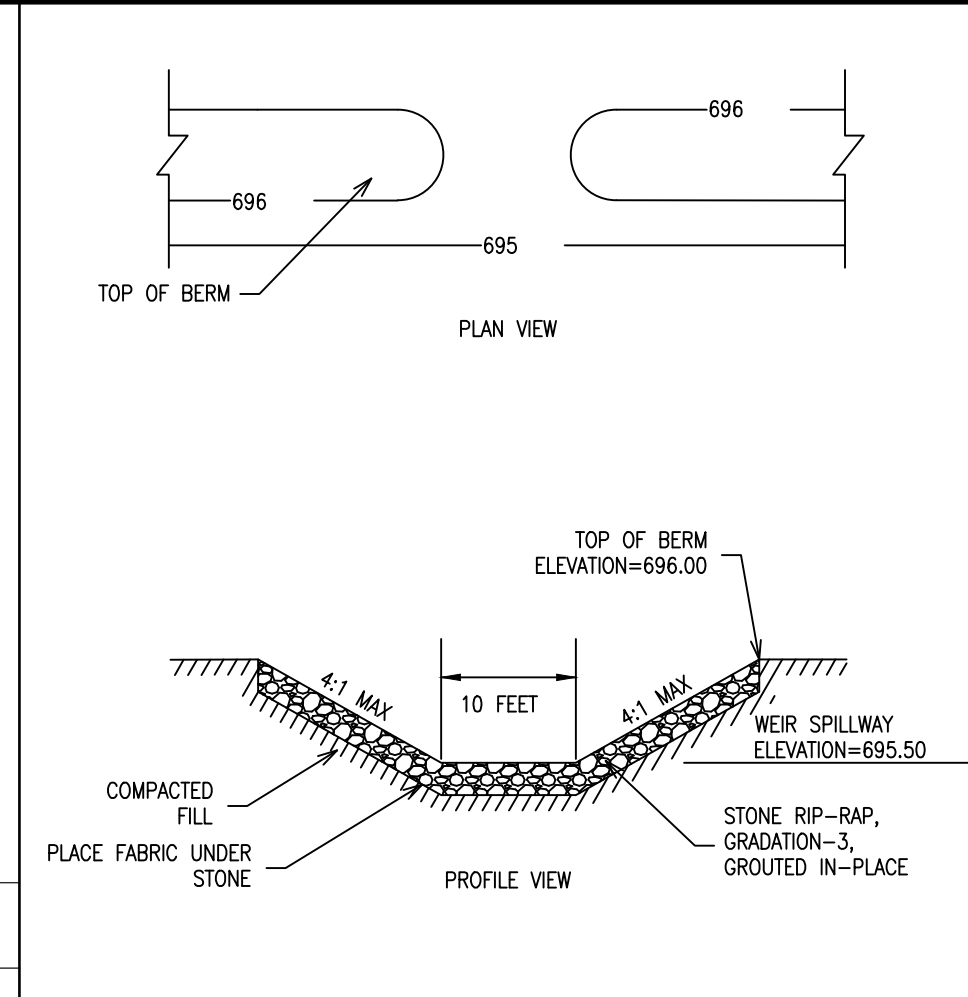
HYDRANT SHALL BE INSTALLED AT FINISHED GRADE. THE DEPTH OF BURY ON ALL HYDRANTS SHALL BE AS REQUIRED TO AVOID VERTICAL BENDS IN THE HYDRANT LEAD, AND 5.6" MINIMUM WHEN POSSIBLE. ANY VERTICAL ADJUSTMENT NECESSARY TO MEET THIS REQUIREMENT SHALL BE MADE BY THE CONTRACTOR. THE HYDRANT SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND WITH THE APPLICABLE PORTIONS OF SECTION 41 OF THE WATER AND SEWER SPECIFICATIONS. THE HYDRANT SHALL BE INSTALLED ON A CONCRETE PAD TO INSURE FIRM BEARING FOR THE HYDRANT BASE. ALL FIRE HYDRANTS WILL BE INSPECTED BY THE ENGINEER PRIOR TO ANY BACKFILLING.

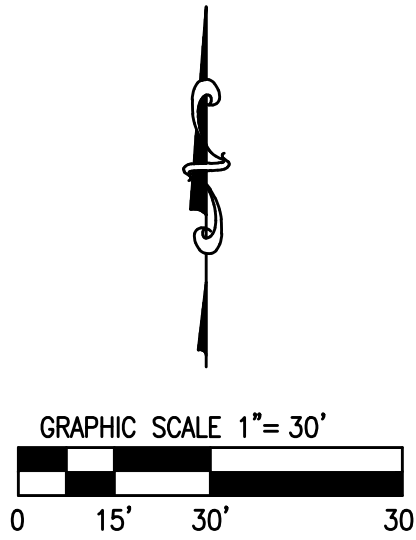
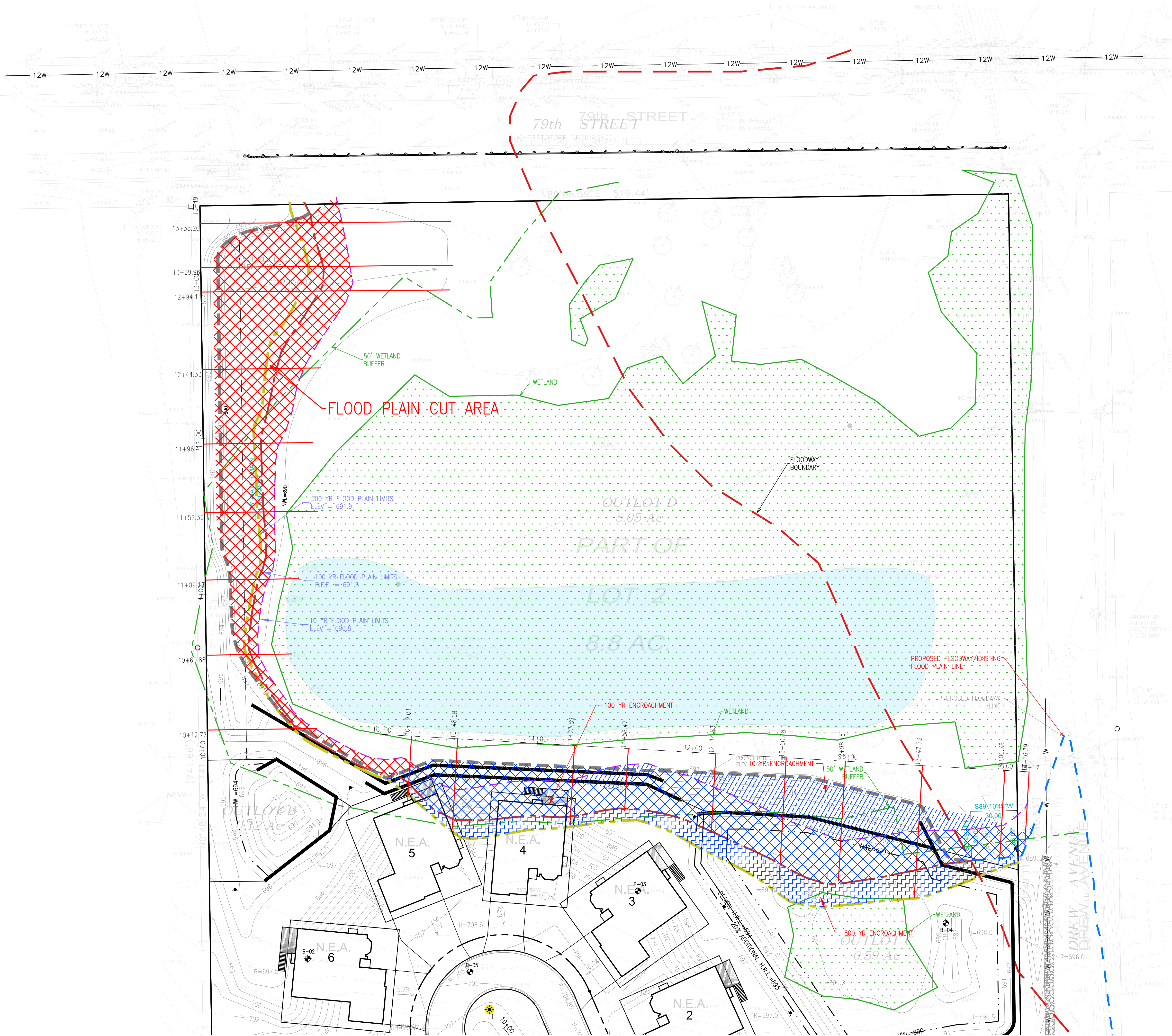
GENERAL. FIRE HYDRANTS SHALL BE PLACED AT THE LOCATIONS AS SHOWN ON THE PLANS OR AS OTHERWISE DIRECTED BY THE ENGINEER. FIRE HYDRANTS SHALL BE INSTALLED AS SHOWN ON THE DETAILS INCLUDED IN THE PLANS. A MINIMUM OF 0.5 CUBIC YARD OF COARSE AGGREGATE SHALL BE PLACED AT AND AROUND THE BASE OF THE HYDRANT TO INSURE PROPER DRAINAGE OF THE HYDRANT AFTER USE. THE HYDRANT SHALL BE SET ON A CONCRETE PAD TO INSURE FIRM BEARING FOR THE HYDRANT BASE. ALL FIRE HYDRANTS WILL BE INSPECTED BY THE ENGINEER PRIOR TO ANY BACKFILLING.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR FIRE HYDRANTS WITH AUXILIARY VALVE AND VALVE BOX, WHICH PRICE SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX. TEE OR LOCKING HYDRANT SHALL BE USED FOR FLUSHING, PRESSURE TESTING, AND DISINFECTION. THE HYDRANT SHALL BE CONNECTED TO THE WATER MAIN, AS DETAILED IN THE PLANS, THE FOREGOING SPECIFICATIONS AND TO THE SATISFACTION OF THE ENGINEER. ANY VERTICAL ADJUSTMENT NECESSARY TO INSTALL THE HYDRANT

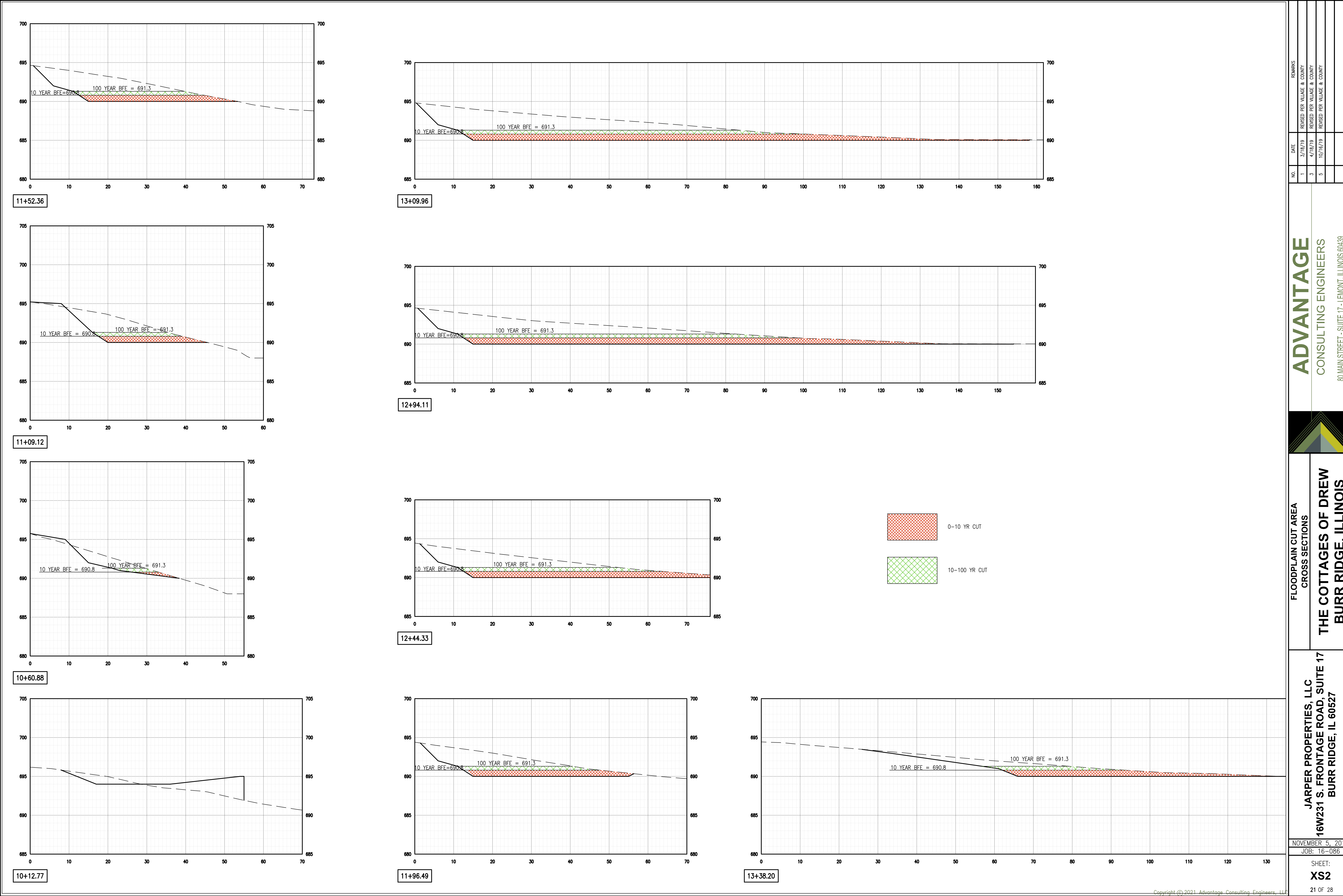
AND HYDRANTS SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE AND LEAKAGE TEST OF 150 PSI AFTER INSTALLATION. EACH SECTION OF WATER MAIN AND CONNECTION TO BE PRESSURE TESTED SHALL BE CAREFULLY FILLED WITH WATER TO EXPEL ALL ENTRAPPED AIR, AND THE TEST PRESSURE SHALL BE APPLIED BY USE OF A PUMP CONNECTED TO A TAP IN THE PIPE. COPPER WHIP SHALL BE USED FOR FLUSHING, PRESSURE TESTING, AND DISINFECTION. SHALL BE CONSIDERED INCLUDED IN THE COST OF THE DUCTILE IRON WATER MAIN. DURATION OF EACH PRESSURE TEST SHALL BE FOR A PERIOD OF NOT LESS THAN TWO (2) HOURS' MAXIMUM LOSS (LEAKAGE, AS PER "STATE STANDARDS"). ALL TESTING PROCEDURES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND IN ADDITION TO THOSE ALREADY LISTED, THE TAP CORPORATION STOPS, AND COPPER PIPE WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCLUDED IN THE COST OF THE DUCTILE IRON WATER MAIN.







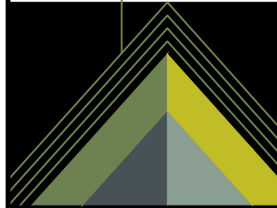
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CROSS SECTION LOCATIONS			
THE COTTAGES OF DREW BURR RIDGE, ILLINOIS			
JARPER PROPERTIES, LLC 16W231 S. FRONTAGE ROAD, SUITE 17 BURR RIDGE, IL 60527			
NOVEMBER 5, 2018			
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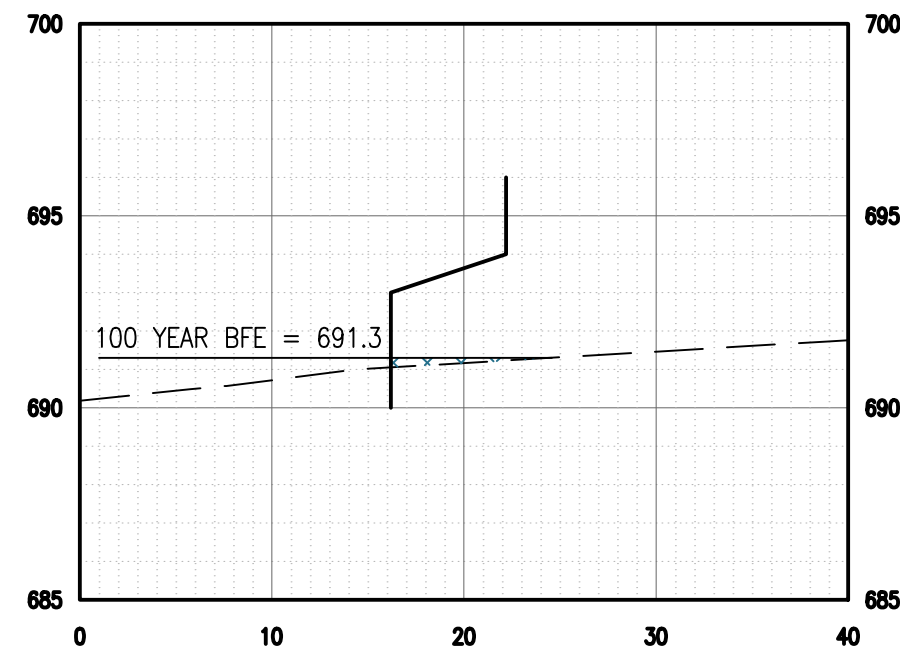
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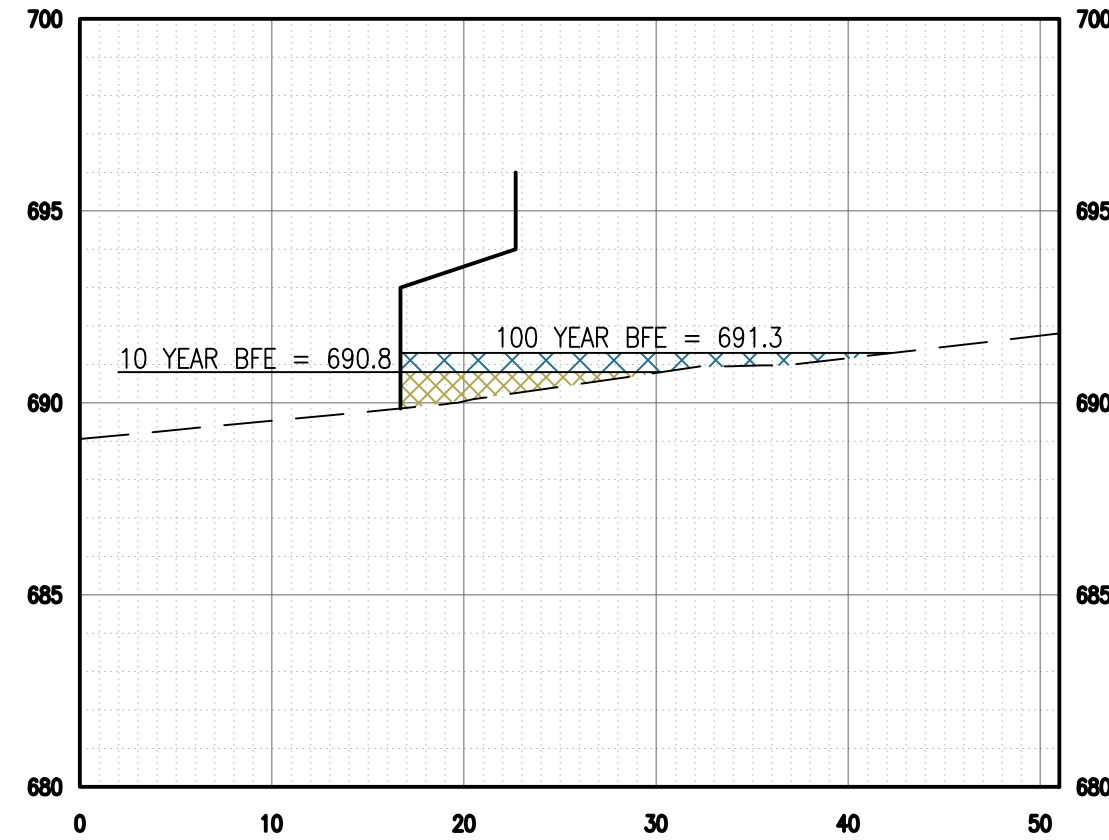


FLOODPLAIN CUT AREA CROSS SECTIONS
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

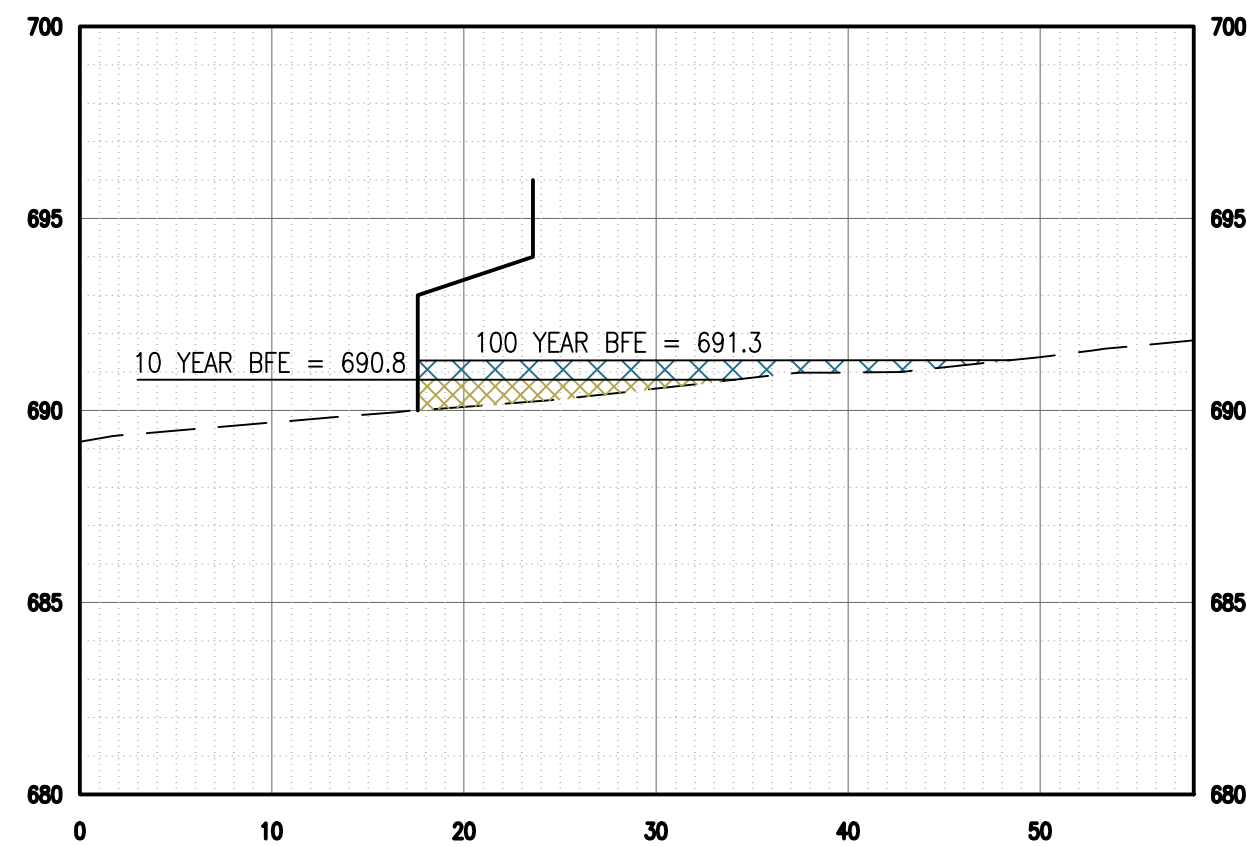
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BURR RIDGE, IL 60527
NOVEMBER 5, 2018
JOB: 16-086
SHEET:
XS2
21 OF 28



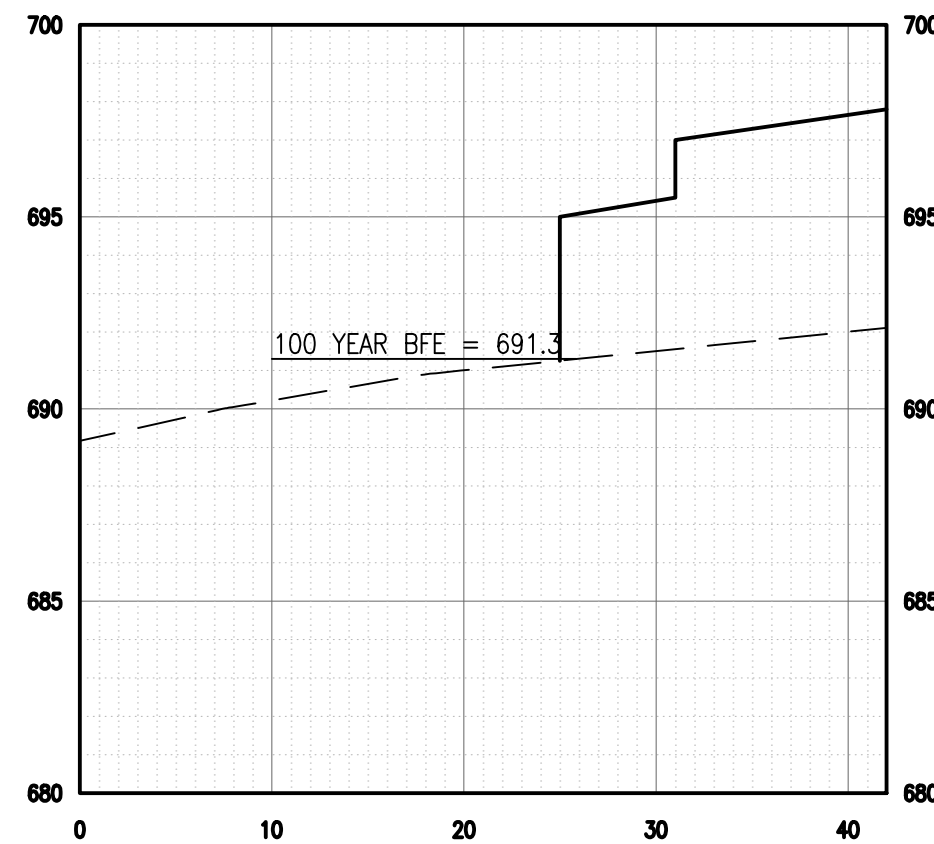
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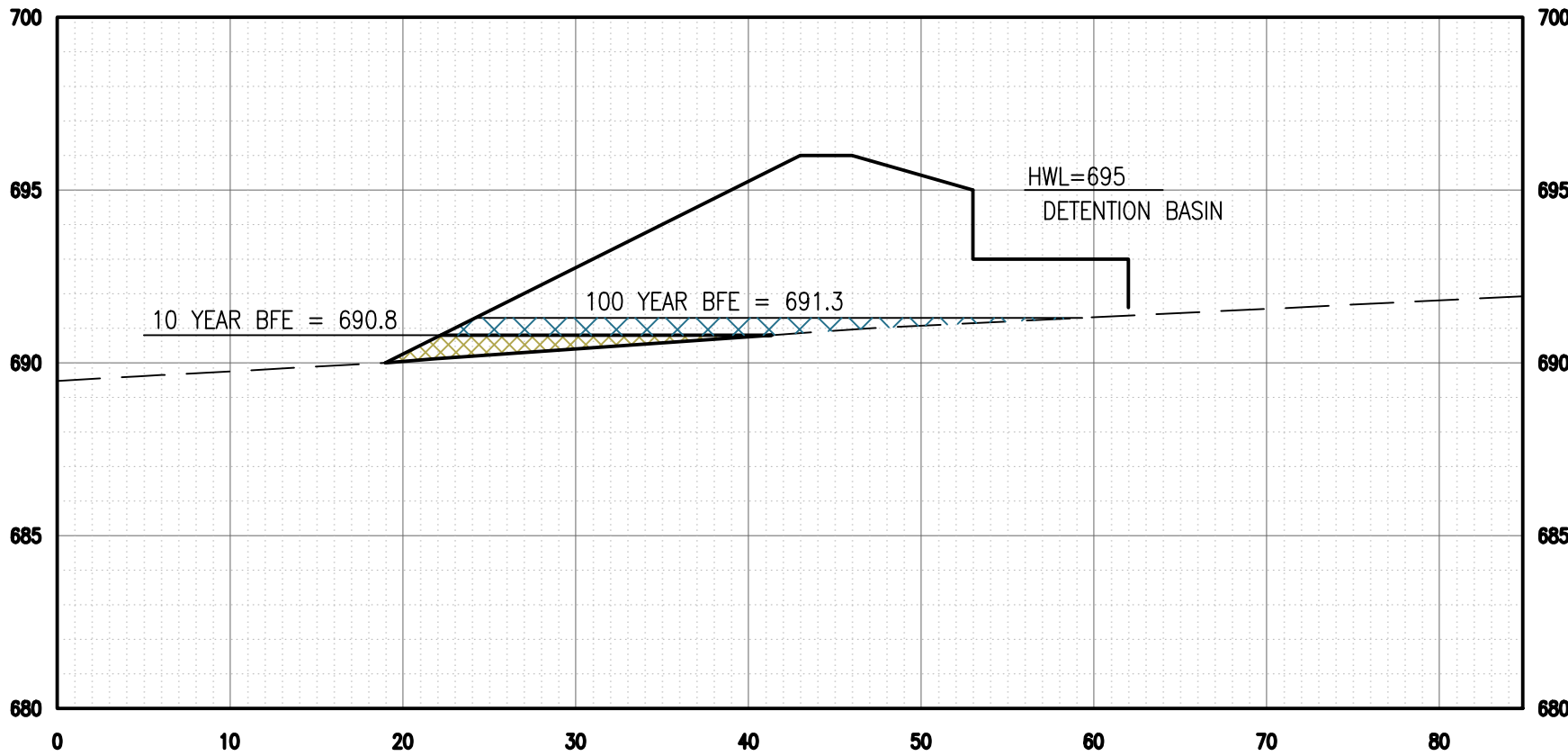
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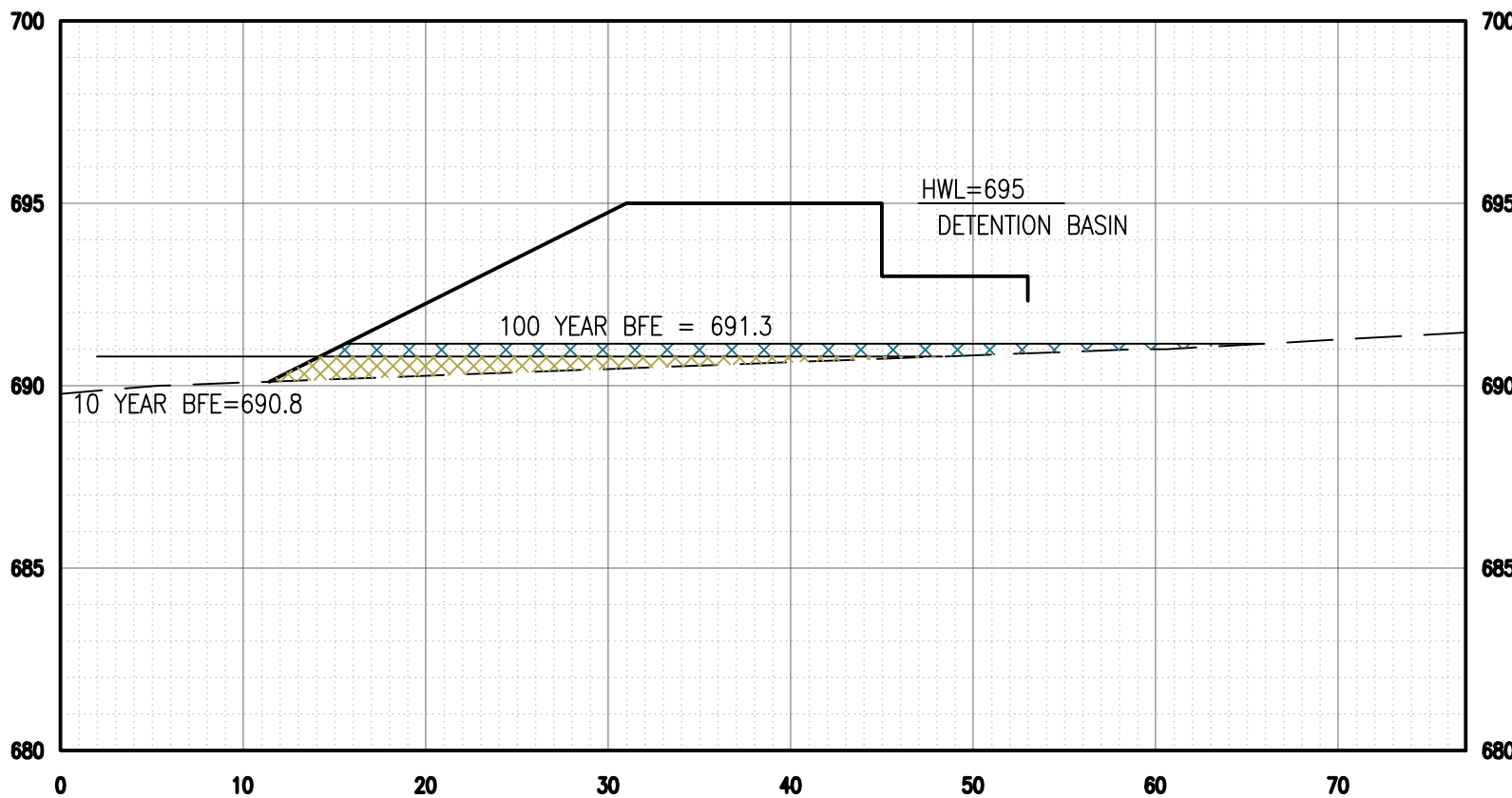
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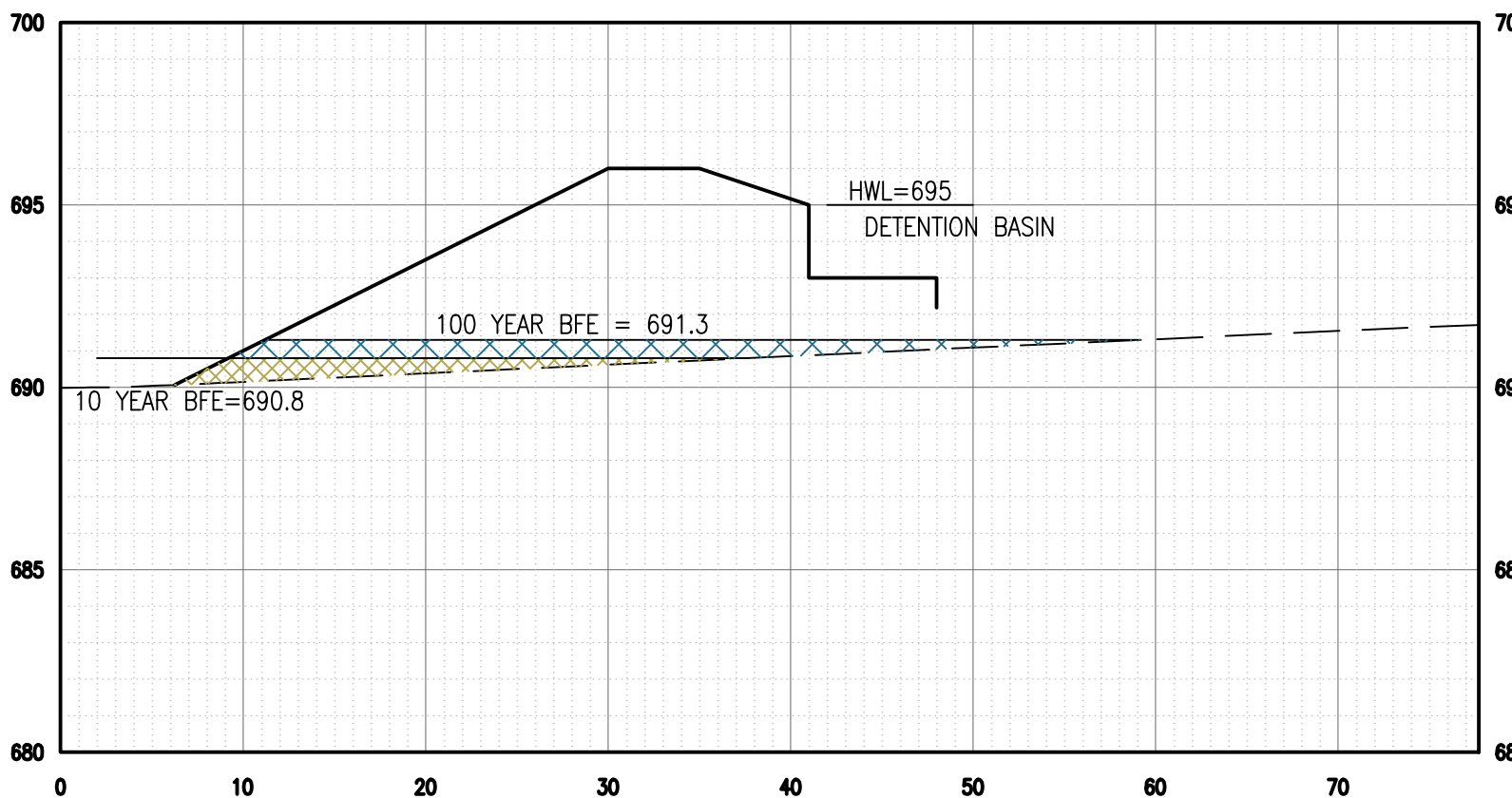
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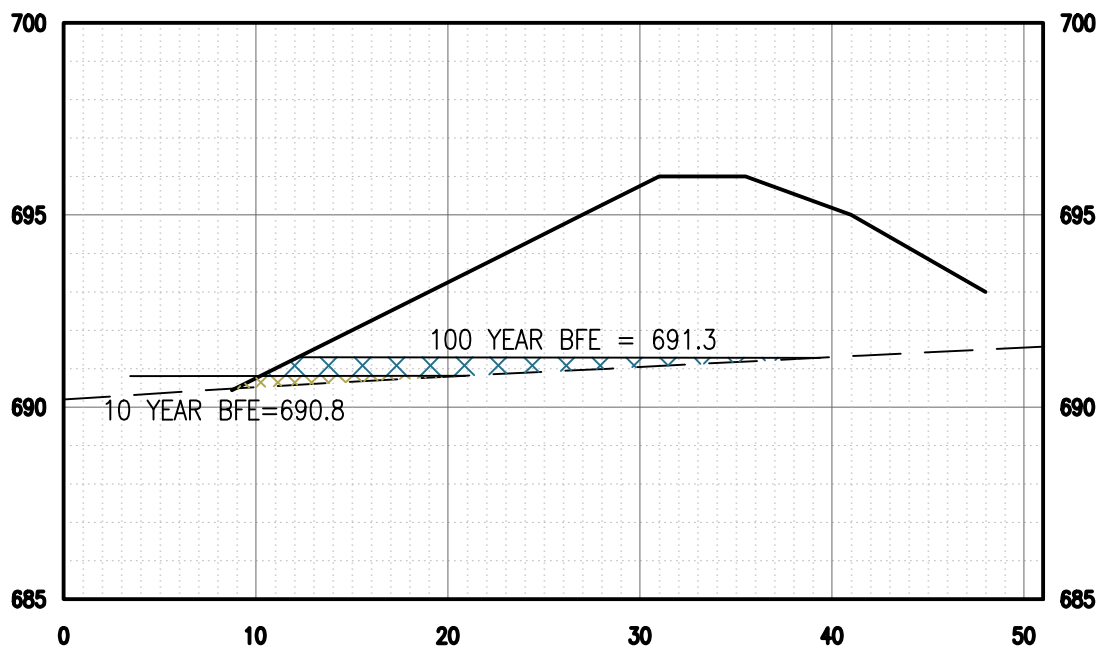
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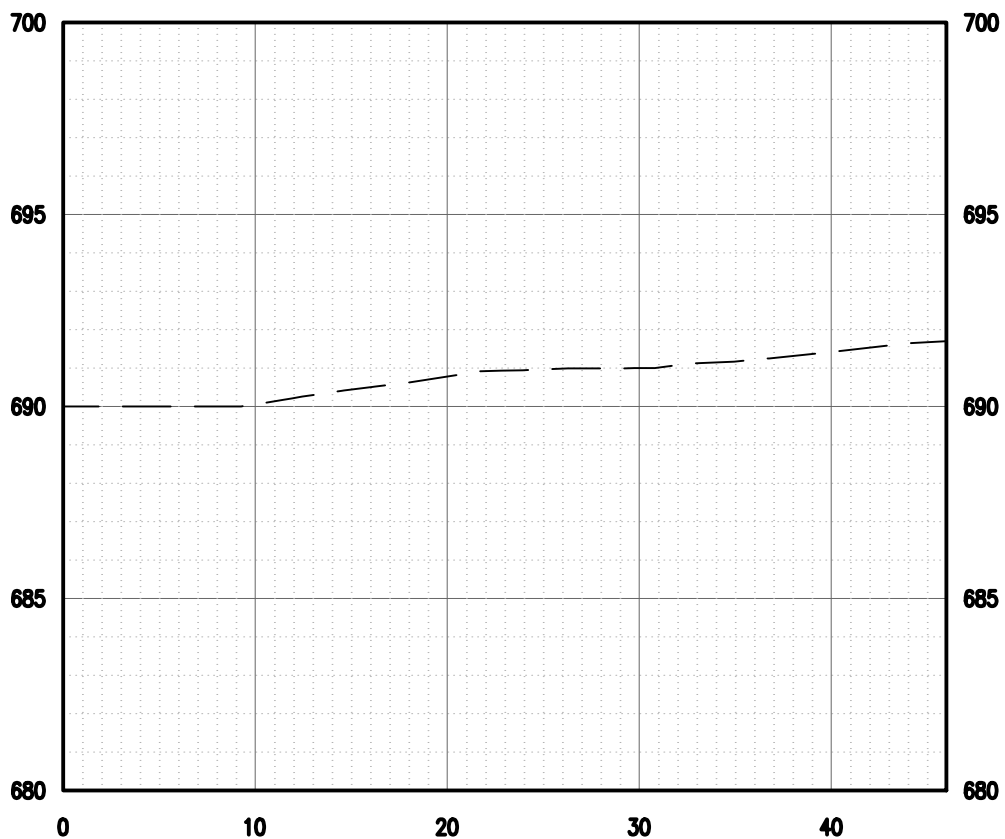
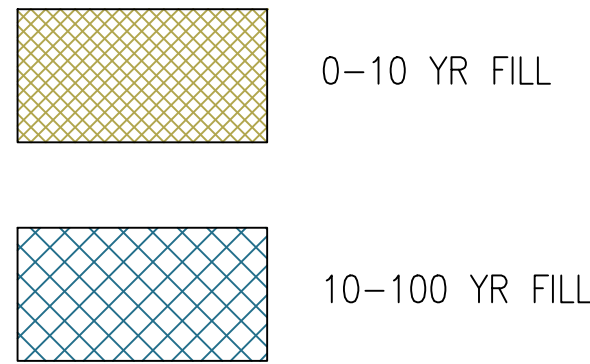
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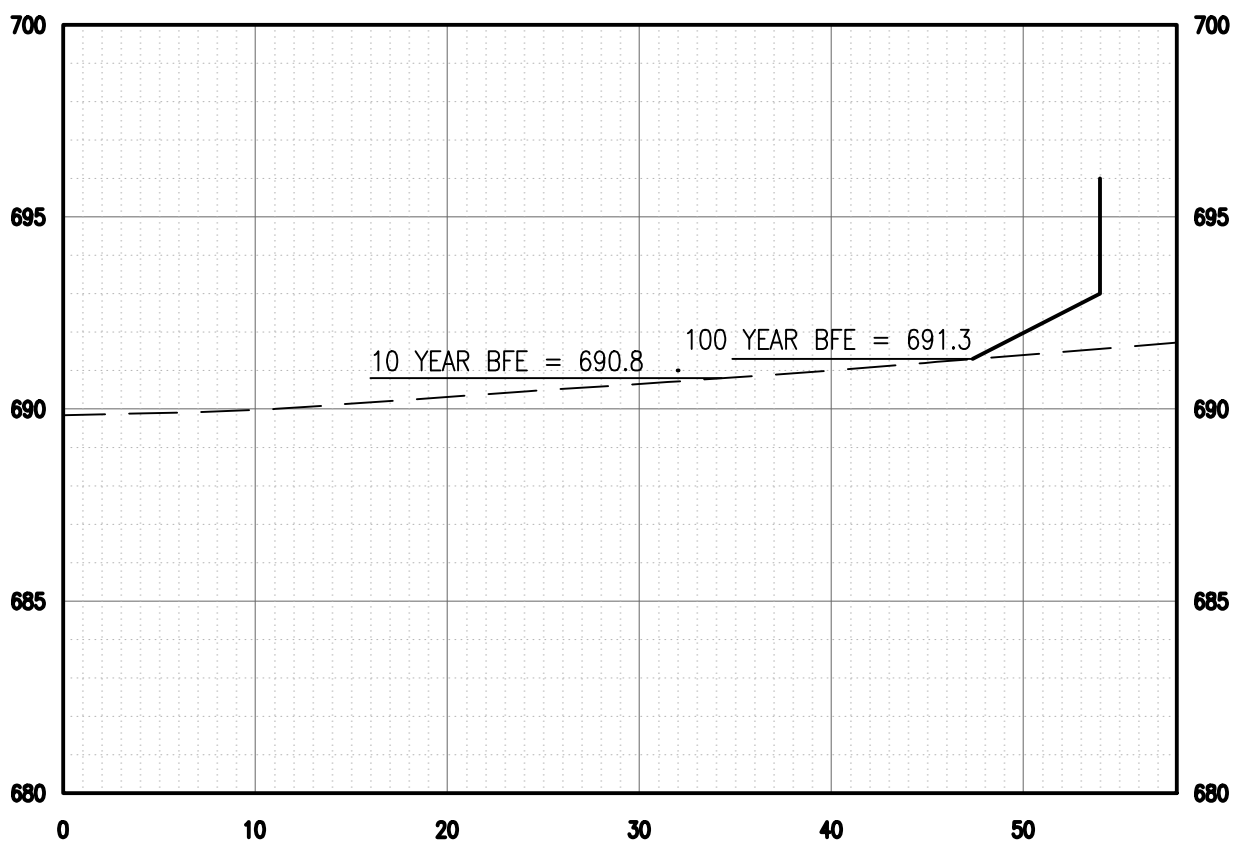
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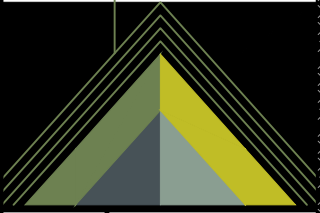
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14+00.76

REMARKS		
NO.	DATE	REVISED PER VILLAGE & COUNTY
1	3/18/19	
3	4/18/19	
5	10/16/19	

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
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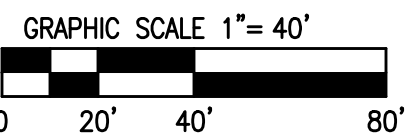
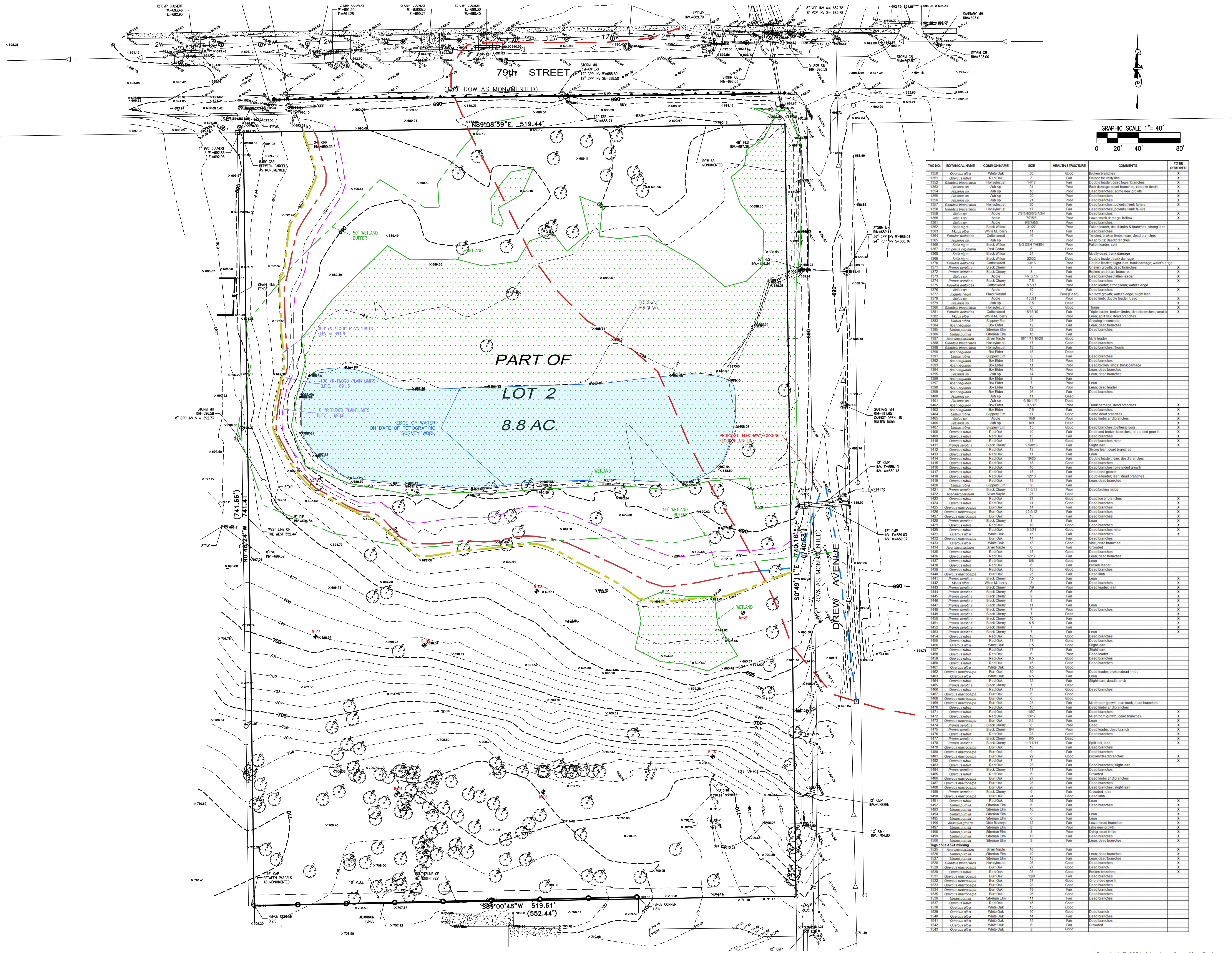
FLOODPLAIN FILL AREA
CROSS SECTIONS
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

NOVEMBER 5, 2018
JOB: 16-086

SHEET:
XS3

22 OF 28



TAG NO.	BOTANICAL NAME	COMMON NAME	SIZE	HEALTH/STRUCTURE	COMMENTS	TO BE REMOVED
1301	Quercus alba	White Oak	30	Good	Broken branches	X
1302	Quercus alba	White Oak	8	Fair	Plum for utility line	X
1303	Quercus macrocarpa	Horsechestnut	14/17	Poor	Double leader, dead lower branches	X
1304	Fraxinus sp.	Ash sp.	24	Poor	Bad damage, dead branches, close to death	X
1305	Fraxinus sp.	Ash sp.	16	Poor	Dead branches, some new growth	X
1306	Fraxinus sp.	Ash sp.	20	Poor	Dead branches	X
1307	Fraxinus sp.	Ash sp.	21	Poor	Dead branches	X
1308	Quercus macrocarpa	Horsechestnut	17	Fair	Dead branches, potential limb failure	X
1309	Alnus sp.	Alnus	7/8/4/3/5/5/3/4	Fair	Dead branches	X
1310	Alnus sp.	Alnus	7/7/5	Poor	Lower trunk damage, hollow	X
1311	Alnus sp.	Alnus	8/8/7/5/5	Poor	Dead branches	X
1312	Salix nigra	Black Willow	3/2/2	Poor	Fallen leader, dead limbs & branches, strong lean	X
1313	Myrica alba	White Mulberry	11	Fair	Dead branches	X
1314	Populus deltoides	Cottonwood	46	Fair	Twisted broken limbs, lean, dead branches	X
1315	Fraxinus sp.	Ash sp.	23	Poor	Resprouts, dead branches	X
1316	Salix nigra	Black Willow	NO DBH TAREN	Good	Fallen leader, split	X
1317	Salix nigra	Black Willow	24	Poor	Mostly dead, trunk damage	X
1318	Salix nigra	Black Willow	24	Poor	Double leader, trunk damage	X
1319	Populus deltoides	Cottonwood	13/18	Poor	Double leader, slight lean, trunk damage, water's edge	X
1320	Prunus serotina	Black Cherry	7	Fair	Uneven growth, dead branches	X
1321	Prunus serotina	Black Cherry	7	Fair	Broken and dead branches	X
1322	Alnus sp.	Alnus	4/7/3/3	Fair	Dead branches, fallen leader	X
1323	Prunus serotina	Black Cherry	7/5	Fair	Dead branches	X
1324	Prunus serotina	Black Cherry	8/5/7	Poor	Dead leader, strong lean, water's edge	X
1325	Myrica alba	White Mulberry	10	Fair	Dead branches	X
1326	Juglans nigra	Black Walnut	12	Poor (Dead)	No new growth, water's edge, slight lean	X
1327	Alnus sp.	Alnus	4/5/6	Good	Dead limb, double leader, trunk	X
1328	Fraxinus sp.	Ash sp.	7/5	Fair	Dead	X
1329	Quercus macrocarpa	Horsechestnut	16/15/10	Good	Thorns	X
1330	Populus deltoides	Cottonwood	16/15/10	Fair	Trunk leader, broken limbs, dead branches, weak	X
1331	Myrica alba	White Mulberry	20	Poor	Lean, split risk, dead branches	X
1332	Ulmus americana	Siberian Elm	25	Fair	Lean, dead branches	X
1333	Acer negundo	Box Elder	12	Fair	Lean, dead branches	X
1334	Acer negundo	Box Elder	12	Fair	Lean, dead branches	X
1335	Ulmus americana	Siberian Elm	16	Fair	Dead branches	X
1336	Acer negundo	Box Elder	10/11/14/16/20	Good	Multi-leader	X
1337	Quercus macrocarpa	Horsechestnut	17	Good	Dead branches	X
1338	Quercus macrocarpa	Horsechestnut	18	Fair	Dead branches, thorns	X
1339	Acer negundo	Box Elder	15	Dead	Dead branches	X
1340	Ulmus americana	Siberian Elm	11	Fair	Dead branches	X
1341	Ulmus americana	Siberian Elm	11	Fair	Dead branches	X
1342	Acer negundo	Box Elder	11	Poor	Dead/broken limbs, trunk damage	X
1343	Acer negundo	Box Elder	14	Poor	Lean, dead branches	X
1344	Fraxinus sp.	Ash sp.	16	Fair	Lean, dead branches	X
1345	Acer negundo	Box Elder	8	Poor	Lean, dead branches	X
1346	Acer negundo	Box Elder	7	Poor	Lean	X
1347	Acer negundo	Box Elder	12	Poor	Lean, dead leader	X
1348	Acer negundo	Box Elder	16	Poor	Dead branches	X
1349	Fraxinus sp.	Ash sp.	11	Dead	Dead branches	X
1350	Fraxinus sp.	Ash sp.	2/10/11/11	Poor	Trunk damage, dead branches	X
1351	Acer negundo	Box Elder	9/15	Fair	Dead branches	X
1352	Acer negundo	Box Elder	7/5	Fair	Dead branches	X
1353	Ulmus americana	Siberian Elm	11	Good	Some dead branches	X
1354	Alnus sp.	Alnus	10/9	Poor	Dead limbs and branches	X
1355	Ulmus americana	Siberian Elm	16	Good	Dead branches, buttress roots	X
1356	Ulmus americana	Siberian Elm	15	Good	Dead branches, buttress roots	X
1357	Quercus rubra	Red Oak	10	Fair	Dead and broken branches, one-sided growth	X
1358	Quercus rubra	Red Oak	13	Good	Dead branches	X
1359	Quercus rubra	Red Oak	13	Good	Dead branches, vine	X
1360	Prunus serotina	Black Cherry	9/16/10	Fair	Split limb	X
1361	Quercus rubra	Red Oak	11	Fair	Strong lean, dead branches	X
1362	Quercus rubra	Red Oak	11	Fair	Dead branches	X
1363	Quercus rubra	Red Oak	19/20	Fair	Double leader, lean, dead branches	X
1364	Quercus rubra	Red Oak	16	Good	Dead branches	X
1365	Quercus rubra	Red Oak	15	Fair	Dead branches, one-sided growth	X
1366	Quercus rubra	Red Oak	15	Fair	One-sided growth	X
1367	Quercus rubra	Red Oak	15/16	Fair	Double leader, lean, dead branches	X
1368	Quercus rubra	Red Oak	19	Fair	Lean, dead branches	X
1369	Ulmus americana	Siberian Elm	9	Fair	Dead branches	X
1370	Prunus serotina	Black Cherry	11/5/11	Poor	Dead/broken limbs	X
1371	Acer negundo	Box Elder	2/2	Good	Dead branches	X
1372	Quercus rubra	Red Oak	27	Good	Dead lower branches	X
1373	Quercus rubra	Red Oak	14	Good	Dead branches	X
1374	Quercus macrocarpa	Burr Oak	14	Fair	Dead branches	X
1375	Quercus macrocarpa	Burr Oak	12/12	Fair	Dead branches	X
1376	Quercus macrocarpa	Burr Oak	15	Fair	Dead branches	X
1377	Prunus serotina	Black Cherry	8	Fair	Lean	X
1378	Quercus rubra	Red Oak	16	Good	Dead branches	X
1379	Quercus rubra	Red Oak	5/5/1	Good	Dead branches, vine	X
1380	Quercus rubra	Red Oak	15	Fair	Dead branches	X
1381	Quercus macrocarpa	Burr Oak	14	Fair	Dead branches	X
1382	Quercus alba	White Oak	13	Good	Vine, dead branches	X
1383	Acer saccharinum	Silver Maple	6	Fair	Good	X
1384	Quercus rubra	Red Oak	6	Good	Dead branches	X
1385	Quercus rubra	Red Oak	11/17	Good	Lean, dead branches	X
1386	Quercus rubra	Red Oak	8/8	Good	Lean	X
1387	Quercus rubra	Red Oak	6	Fair	Broken leader	X
1388	Quercus rubra	Red Oak	15	Good	Dead branches	X
1389	Quercus rubra	Red Oak	25	Fair	Dead limb	X
1390	Prunus serotina	Black Cherry	7/5	Fair	Dead branches	X
1391	Myrica alba	White Mulberry	8	Fair	Dead branches	X
1392	Prunus serotina	Black Cherry	18	Fair	Dead leader, lean	X
1393	Prunus serotina	Black Cherry	6	Fair	Dead branches	X
1394	Prunus serotina	Black Cherry	6	Fair	Dead branches	X
1395	Prunus serotina	Black Cherry	7	Poor	Dead branches	X
1396	Prunus serotina	Black Cherry	11	Fair	Lean	X
1397	Prunus serotina	Black Cherry	7	Poor	Dead branches	X
1398	Prunus serotina	Black Cherry	7	Dead	Dead branches	X
1399	Prunus serotina	Black Cherry	10	Fair	Dead branches	X
1400	Prunus serotina	Black Cherry	8/5	Fair	Dead branches	X
1401	Prunus serotina	Black Cherry	7	Fair	Lean	X
1402	Prunus serotina	Black Cherry	7	Fair	Lean	X
1403	Quercus rubra	Red Oak	18	Good	Dead branches	X
1404	Quercus rubra	Red Oak	13	Good	Dead branches	X
1405	Quercus alba	White Oak	7/5	Fair	Slight lean	X
1406	Quercus rubra	Red Oak	17	Fair	Slight lean	X
1407	Quercus rubra	Red Oak	6	Poor	Dead leader	X
1408	Quercus rubra	Red Oak	6/5	Good	Dead branches	X
1409	Quercus rubra	Red Oak	15	Good	Dead branches	X
1410	Quercus macrocarpa	Burr Oak	30	Poor	Dead leader, dead/broken limbs	X
1411	Quercus alba	White Oak	6/5	Good	Dead branches	X
1412	Quercus macrocarpa	Burr Oak	6/5	Poor	Dead leader, dead/broken limbs	X
1413	Quercus alba	White Oak	12	Fair	Lean	X
1414	Quercus rubra	Red Oak	12	Fair	Slight lean, dead branch	X
1415	Prunus serotina	Black Cherry	7	Dead	Dead branches	X
1416	Quercus rubra	Red Oak	17	Good	Dead branches	X
1417	Quercus macrocarpa	Burr Oak	6	Good	Dead branches	X
1418	Quercus macrocarpa	Burr Oak	23	Fair	Dead branches	X
1419	Quercus rubra	Red Oak	0	Good	Mushroom growth, near trunk, dead branches	X
1420	Quercus rubra	Red Oak	23	Fair	Dead limbs and branches	X
1421	Quercus rubra	Red Oak	13/17	Fair	Dead branches	X
1422	Quercus macrocarpa	Burr Oak	4/4	Poor	Dead	X
1423	Prunus serotina	Black Cherry	8	Poor	Dead	X
1424	Prunus serotina	Black Cherry	8/4	Poor	Dead leader, dead branch	X
1425	Quercus rubra	Red Oak	23	Good	Dead branches	X
1426	Prunus serotina	Black Cherry	8/5	Dead	Dead branches	X
1427	Prunus serotina	Black Cherry	11/11/11	Fair	Split risk, lean	X
1428	Quercus macrocarpa	Burr Oak	10	Fair	Dead branches	X
1429	Quercus macrocarpa	Burr Oak	22	Good	Broken/dead branches	X
1430	Quercus rubra	Red Oak	7	Fair	Dead branches	X
1431	Quercus rubra	Red Oak	23	Fair	Dead branches	X
1432	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1433	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
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1477	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
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1503	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1504	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1505	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1506	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1507	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1508	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1509	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1510	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1511	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1512	Prunus serotina	Black Cherry	23	Fair	Dead branches	X
1513	Prunus serotina	Black Cherry	23	Fair		



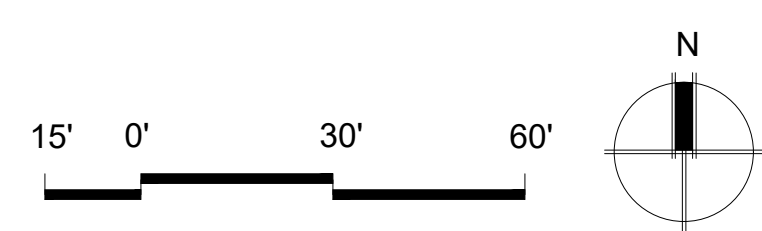
LANDSCAPE COMMON AREA PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Betula nigra / River Birch	B & B	6'-8" ht, multi-stem	5
	Fagus grandifolia / American Beech	B & B	2.5" cal.	4
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	B & B	3" cal.	4
	Quercus bicolor / Swamp White Oak	B & B	2.5" cal.	-4 2
	Quercus macrocarpa / Burr Oak	B & B	2.5" cal.	2
	Quercus rubra / Red Oak	B & B	2.5" cal.	-6 5
	Tilia cordata 'Glenleven' / Glenleven Littleleaf Linden	B & B	2.5" cal.	8
	Ulmus x 'Frontier' / Frontier American Elm	B & B	2.5" cal.	7
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper	B & B	4'-6" ht	-4 2
	Juniperus virginiana 'Canaerti' / Canaerti Juniper	B & B	4'-6" ht	4
	Picea omorika / Serbian Spruce	B & B	6'-8" ht	7
	Picea pungens / Colorado Spruce	B & B	10-12' ht	2
	Pinus flexilis / Limber Pine	B & B	6'-8" ht	8
	Pseudotsuga menziesii / Douglas Fir	B & B	4'-6" ht	-12 10
	Thuja occidentalis 'Nigra' / Nigra Arborviate	B & B	4'-6" ht	4
	Tsuga canadensis / Canadian Hemlock	B & B	4'-6" ht	3
ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	4'-6" ht, multi-stem	-5 8
	Amelanchier x grandiflora 'Forest Prince' / Forest Prince Serviceberry	B & B	4'-6" ht	3
	Cercis canadensis / Eastern Redbud	B & B	4'-6" ht, multi-stem	4
	Crataegus crus-galli inermis TM / Thornless Cocksaur Hawthorn	B & B	4'-6" ht, multi-stem	6
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Carpinus caroliniana 'JN Strain' TM / American Hornbeam	B & B	4'-6" ht, multi-stem	3
	Ostrya virginiana / American Hophornbeam	B & B	2.5" cal.	4
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT		QTY
	Seed Lawn / IDOT Class 1B Low Maintenance Lawn Mixture	seed		111,341 sf
	Fine Leaf Turf-Type Fescue	150 lbs. / acre		
	Perennial Ryegrass	20 lbs. / acre		
	Red Top	10 lbs. / acre		
	Creeping Red Fescue	20 lbs. / acre		
	Total = 200 lbs. / acre			

MONUMENT SIGN PLANT SCHEDULE

ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Crataegus crus-galli inermis TM / Thornless Cocksaur Hawthorn	B & B	4'-6" ht, multi-stem	2
SHRUBS	BOTANICAL NAME / COMMON NAME		SIZE	QTY
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea		36"h	1
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea		24"h	5
GROUND COVERS & PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Geranium x 'Rozanne' / Rozanne Cranesbill	2.25" pot	18" o.c.	88 sf
	Hosta fortunei 'Frances' / Fortune's Hosta	flat	36" o.c.	35 sf
	Liriope spicata / Creeping Lily Turf	2.25" pot	12" o.c.	104 sf
	Aster novi-belgii 'Woods Purple' / Woods Purple Aster	2.25" pot	12" o.c.	52 sf

NOTE:
- Street trees along Cottage Court spaced at 40' o.c. per Village Code.
- See CE Plans for Fence Locations



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Fax 847.869.2059

REVISIONS

NO.	DATE	DESCRIPTION
1	3/4/19	REVISED PER VILLAGE & COUNTY
2	9/24/19	REVISED PER CIVIL
3	10/21/19	REVISED PER CIVIL
4	10/24/21	REVISED PER ARCH
5	3/15/22	REVISED PER ARCH

ADVANTAGE
CONSULTING ENGINEERS

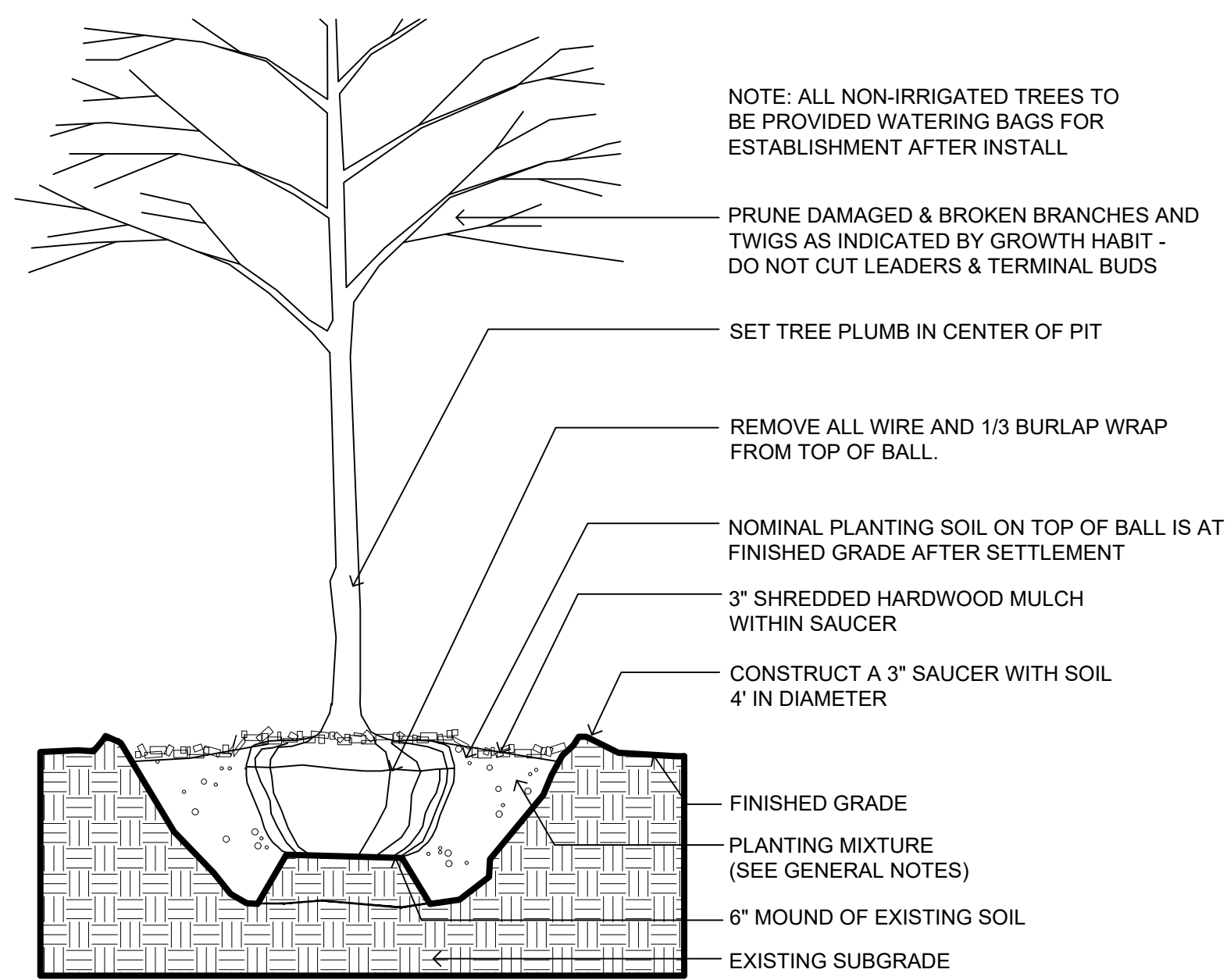
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847.260.4758

LANDSCAPE COMMON AREA PLANTING PLAN

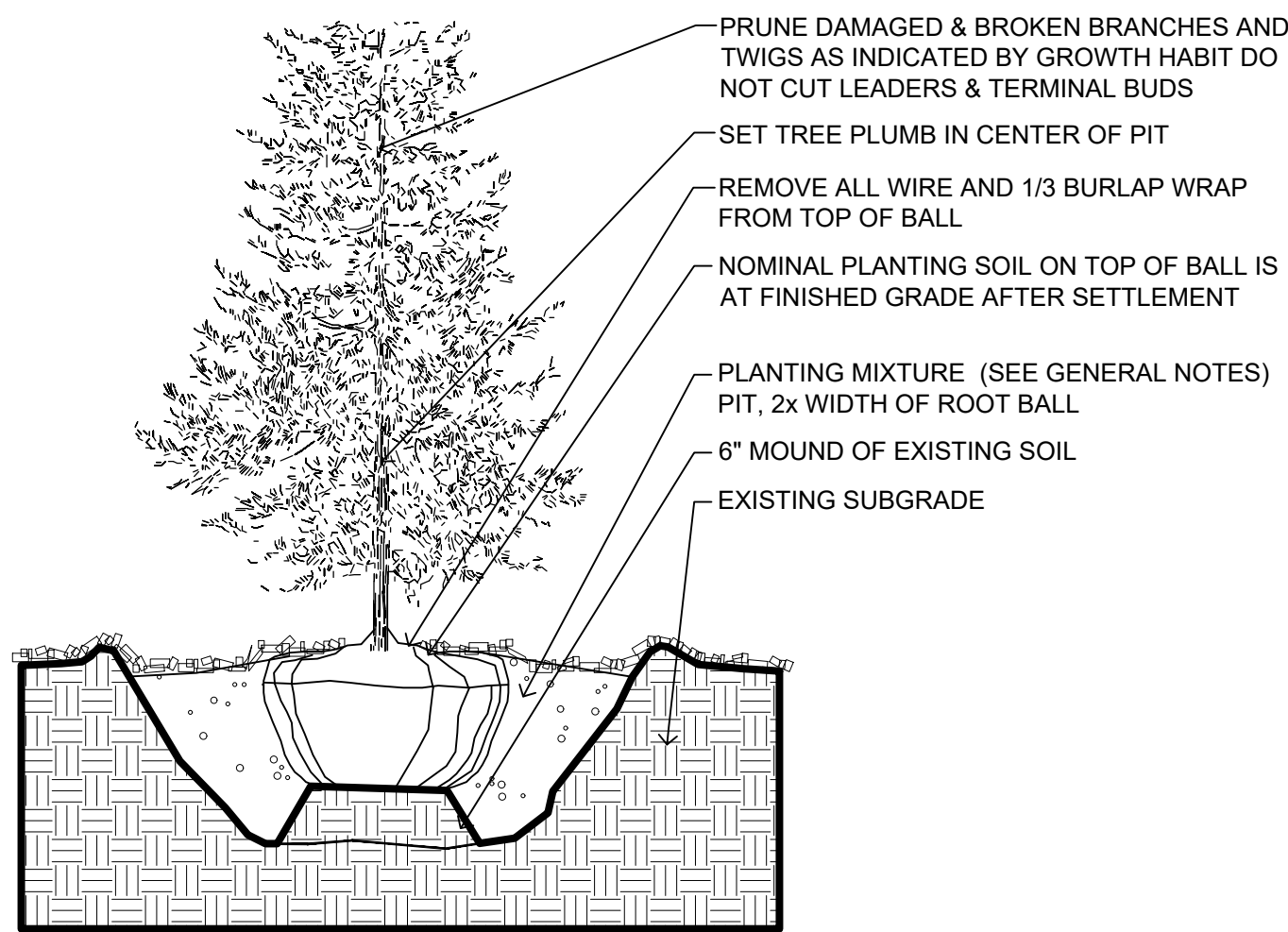
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

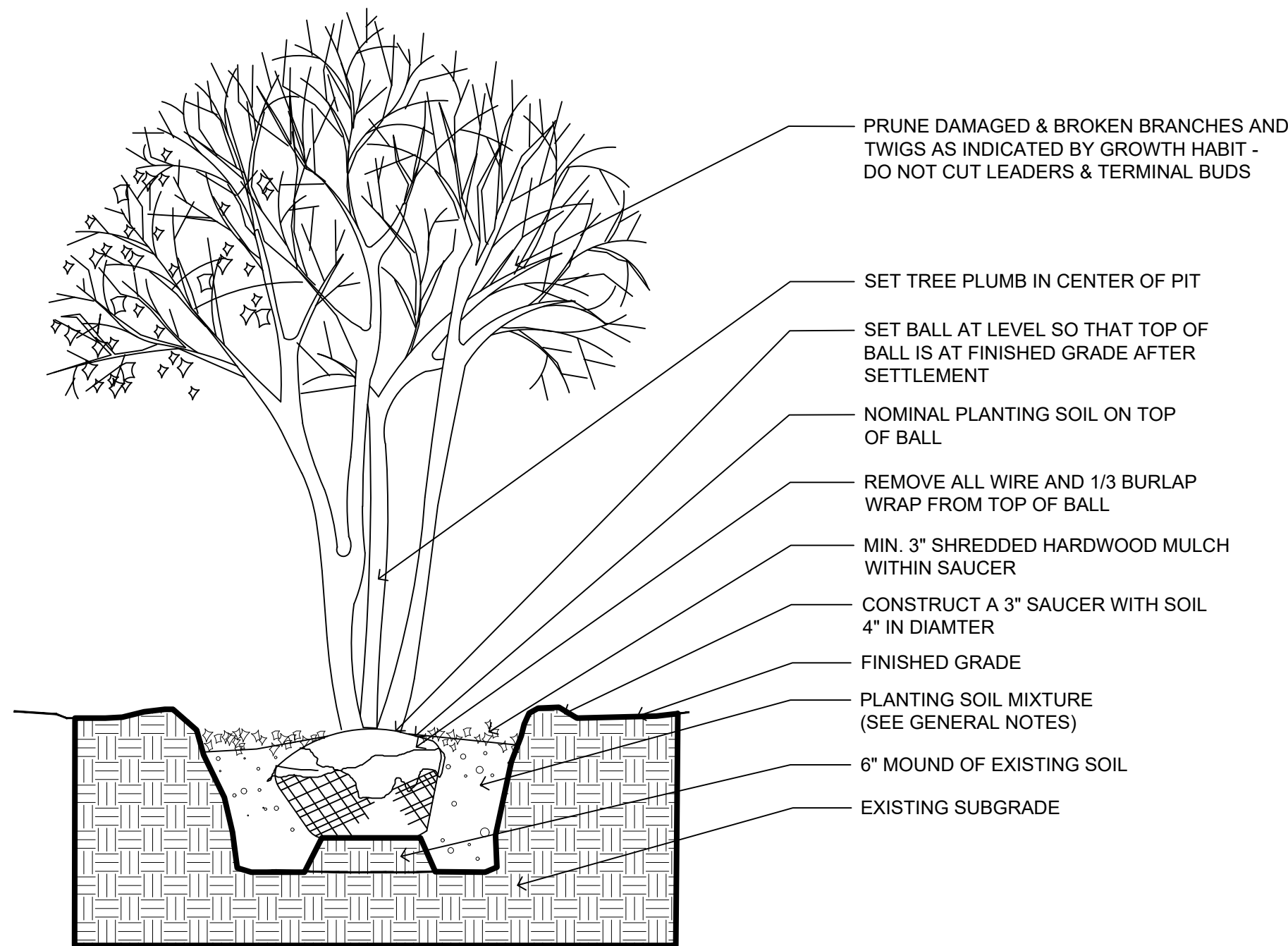
MARCH 15, 2022
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SHEET:
L01
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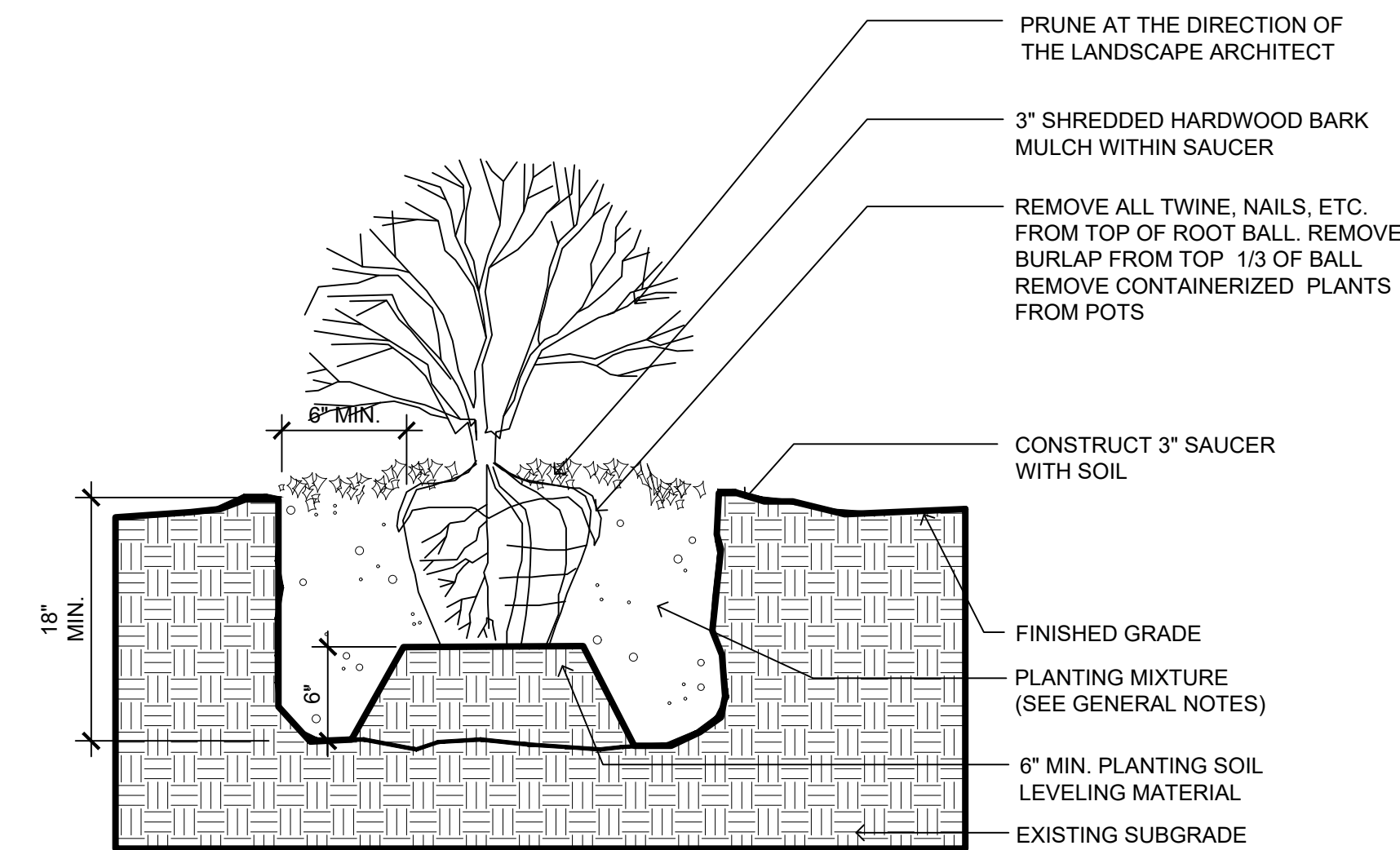
A SHADE TREE PLANTING DETAIL
SCALE: NOT TO SCALE



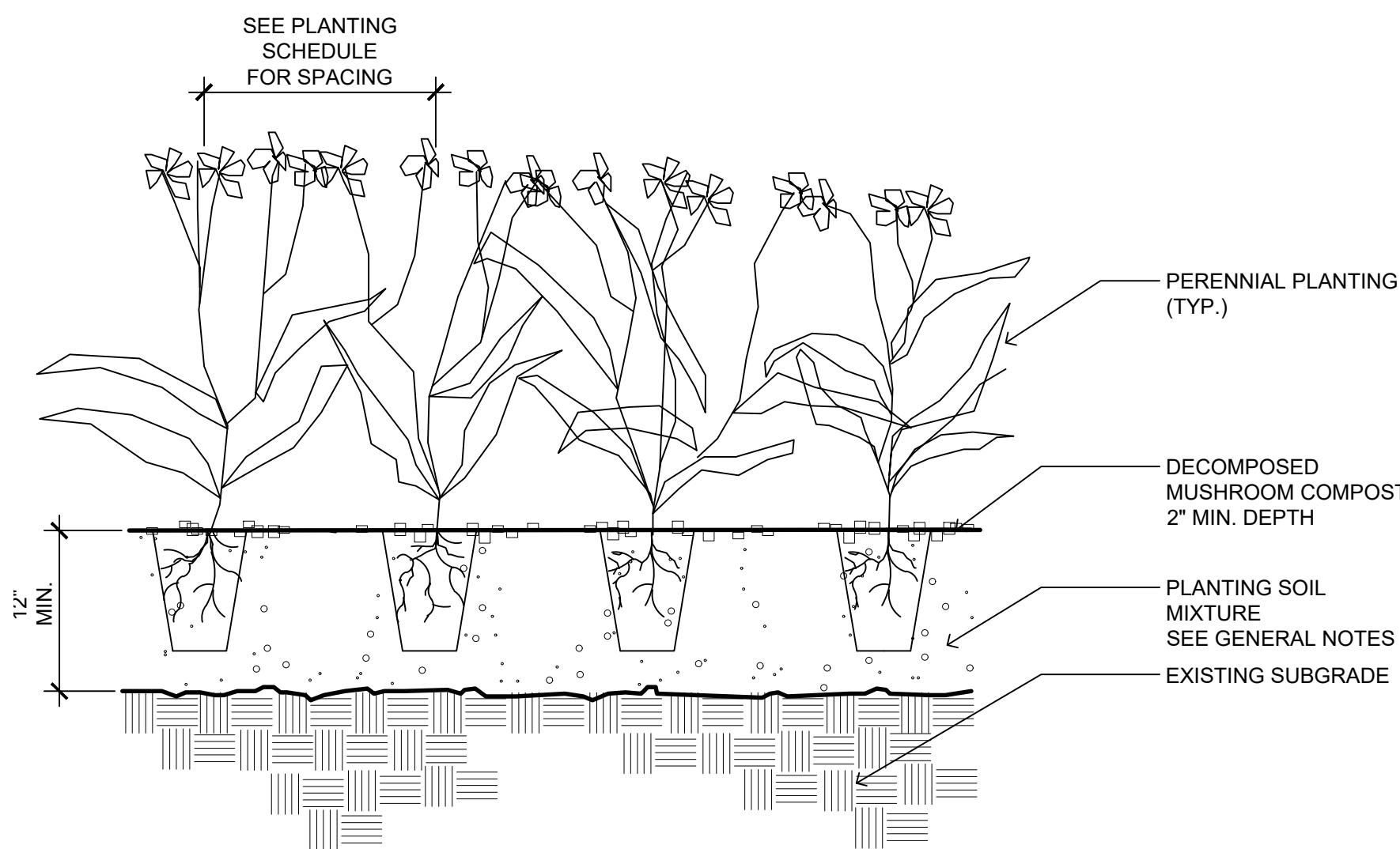
B EVERGREEN TREE PLANTING DETAIL
SCALE: NOT TO SCALE



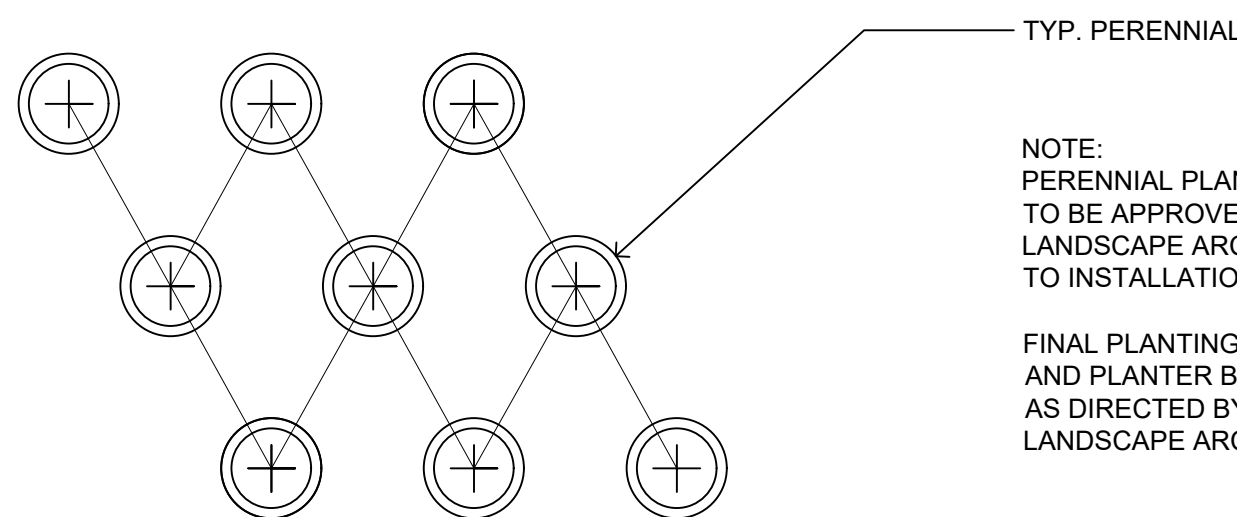
C ORNAMENTAL / UNDERSTORY TREE PLANTING DETAIL
SCALE: NOT TO SCALE



D SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



E PERENNIAL PLANTING DETAIL
SCALE: NOT TO SCALE



LANDSCAPE GENERAL NOTES:

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE ACCEPTED.
5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)
7. IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.
8. ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.
10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).
12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/Form OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT PRACTICE' TECHNIQUES.
13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUNDCOVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.
14. ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.
15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.
16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
18. GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.
19. EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.

BID OPTION:

20. UPON AWARD OF BID, IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN SHOWING COMPLETE HEAD, LINE AND VALVE LAYOUT FOR AN AUTOMATIC UNDERGROUND SYSTEM.
21. COORDINATE IRRIGATION INSTALLATION WITH LANDSCAPE PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
22. THE IRRIGATION CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN.



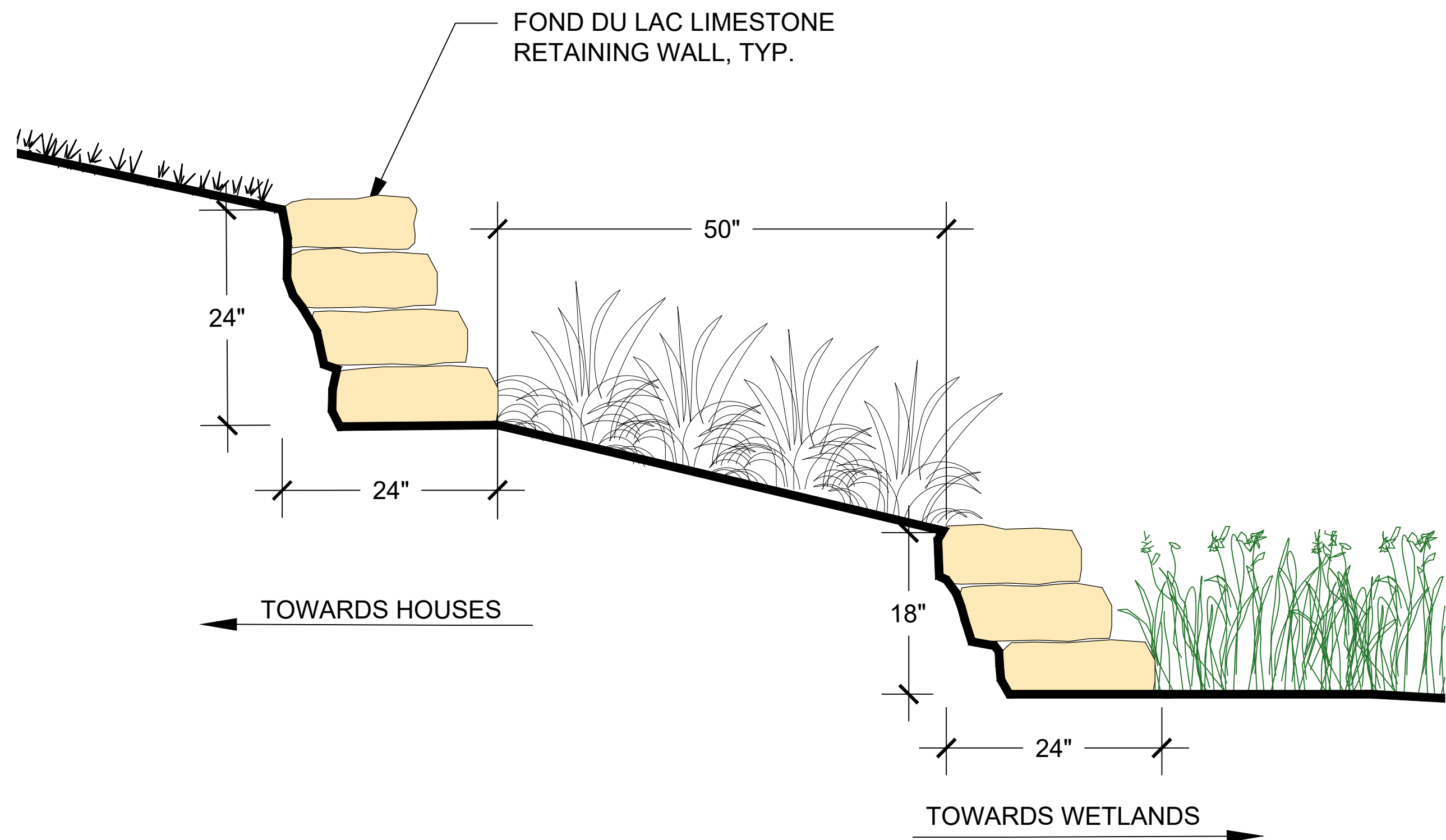
NO.	DATE	REMARKS	
		REVISED PER VILLAGE & COUNTY	REVISED PER OWNER
		REVISED PER OWNER	REVISED PER ARCH
		REVISED PER ARCH	REVISED PER ARCH
		REVISED PER ARCH	REVISED PER ARCH
1	3/1/19		
2	9/24/19		
3	10/27/19		
4	10/24/21		
5	3/15/22		

ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847-260-4758

LANDSCAPE PLANTING DETAILS & NOTES
THE COTTAGES OF DREW
BURR RIDGE, ILLINOIS

JARPER PROPERTIES, LLC
16W231 S. FRONTAGE ROAD, SUITE 17
BURR RIDGE, IL 60527

MARCH 15, 2022
JOB: 16-086
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L02
26 OF 27



F WALL SECTION A - A'
1"=1'-0"

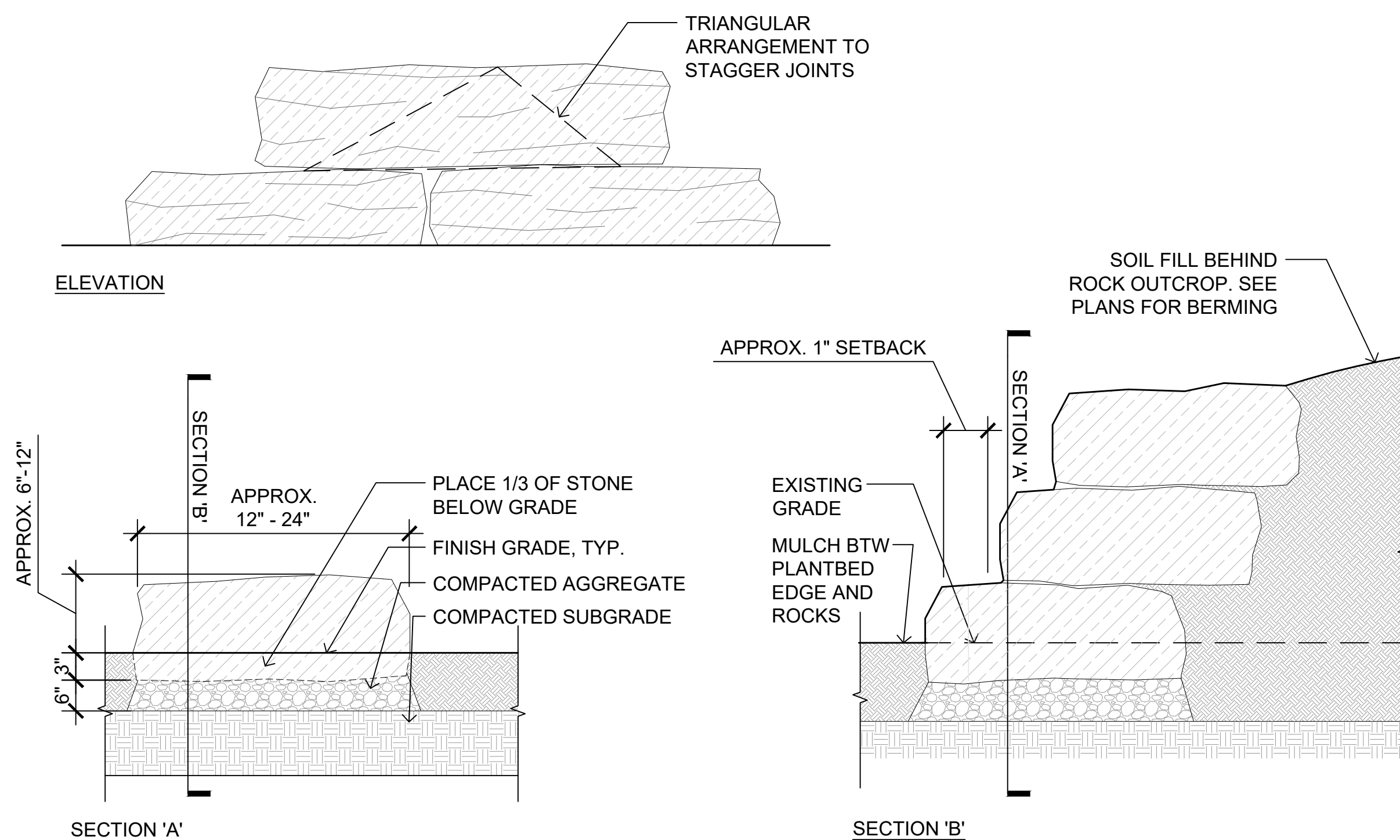


NOTES:

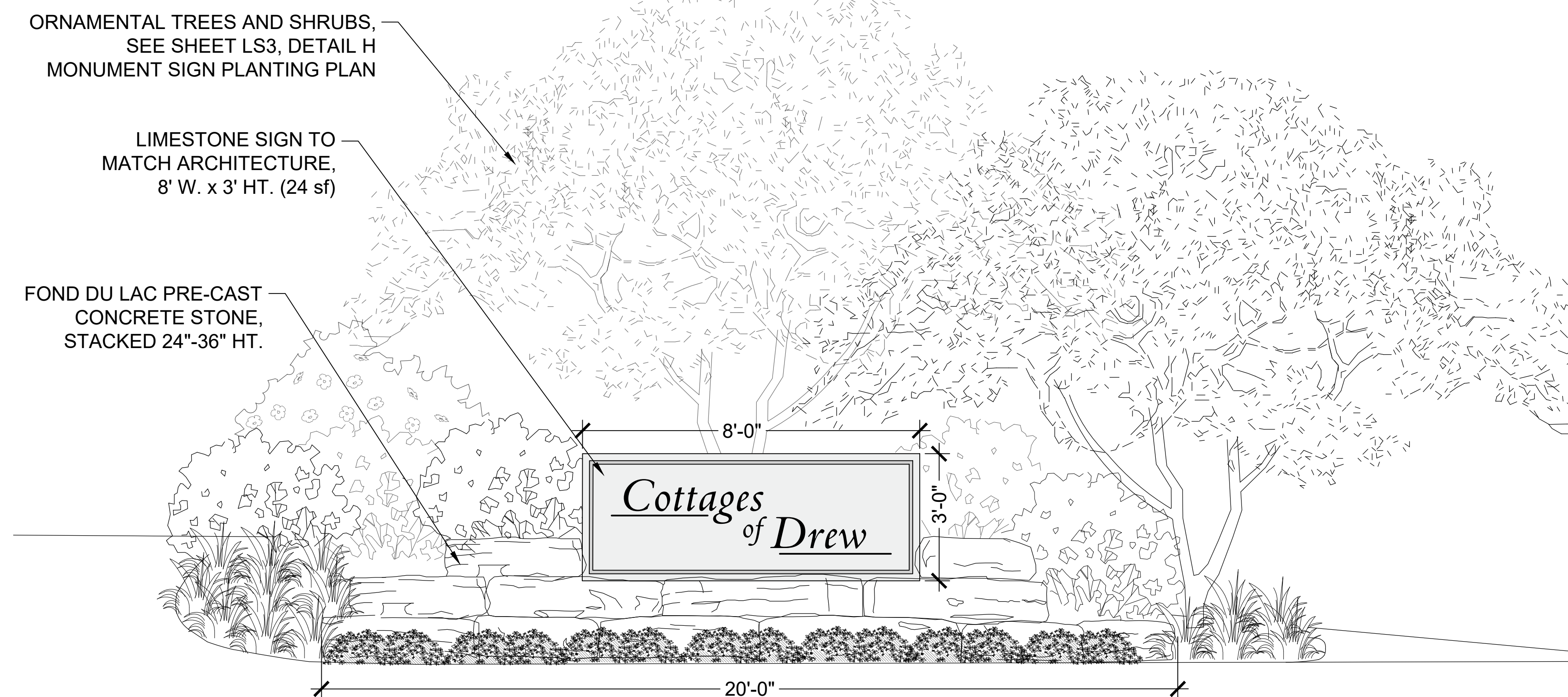
DO NOT PLACE STONES OF THE SAME HEIGHT, SHAPE, OR MASS NEXT TO EACH OTHER.

ARRANGE STONES IN TRIANGULAR, STACKED GROUPINGS, LEVEL FLAT AND SHIMMED TO PREVENT ROCKING.

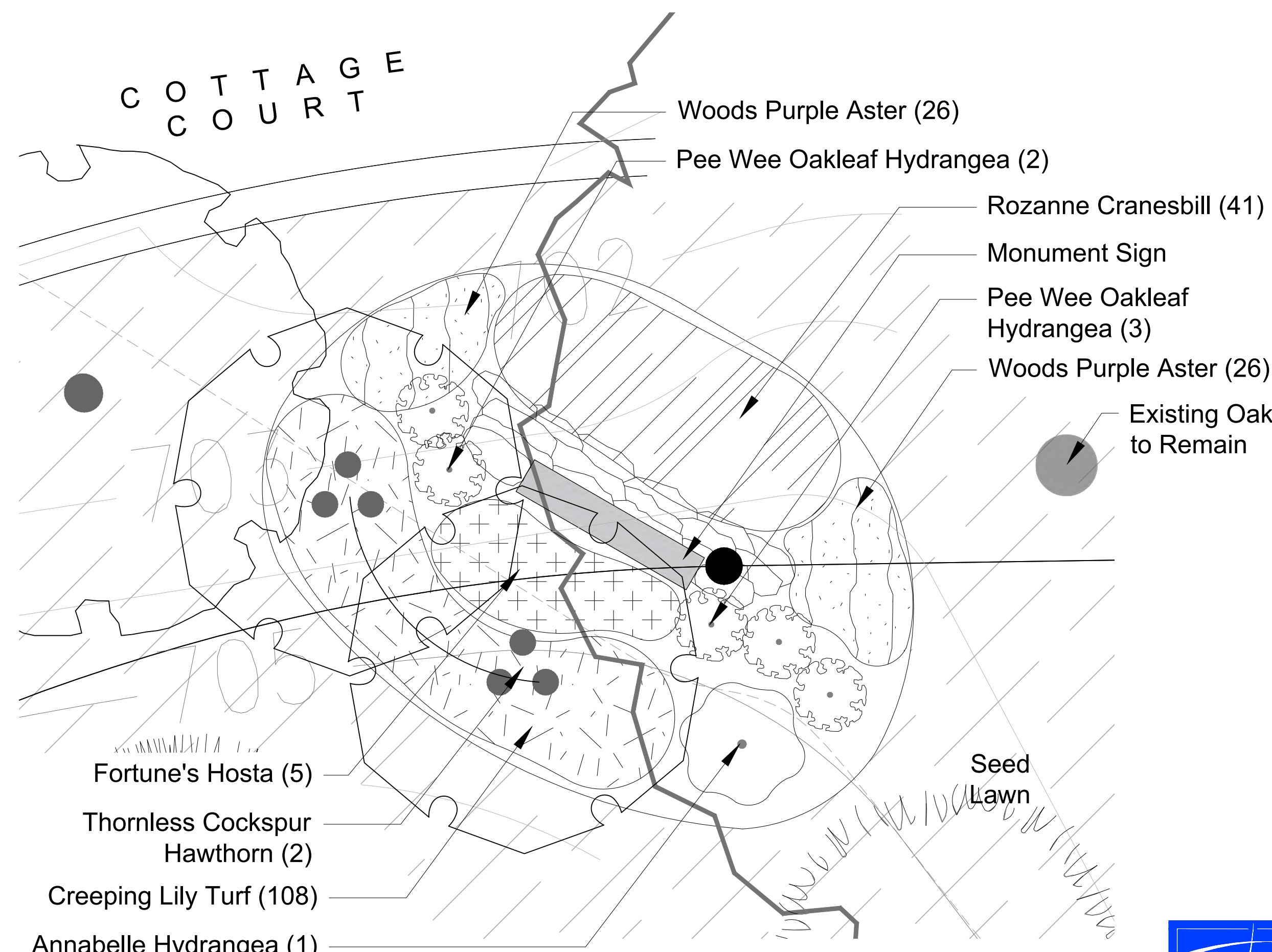
ARRANGE STONES IN ODD NUMBERED GROUPS OF THREE, FIVE OR SEVEN. FINAL PLACEMENT OF STONES TO BE APPROVED BY L.A.



G WALL DETAIL - FOND DU LAC LIMESTONE OUTCROPPING RETAINING WALL
NOT TO SCALE



H MONUMENT SIGN DETAIL
1/2" = 1'-0"



I MONUMENT SIGN PLANTING PLAN
1/4" = 1'-0"



FRONT ELEVATION B - 2 CAR
SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR
SCALE: 1/4" = 1'-0"

DATE:		REVISIONS:	
1/11/19		PRELIMINARY DESIGN	
3/25/19		ISSUED FOR BID	

COTTAGES AT THE DREW
PLAN 2 RESIDENCE

LOT 1 -
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HOMES

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BURR RIDGE, IL 60527
PHONE: 630.323.7600
FAX: 630.650.9171

434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone



JOB NO. 00119

DATE: JANUARY 11, 2019



FRONT ELEVATION A - 2 CAR

SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR

SCALE: 1/4" = 1'-0"

DATE:	REVISIONS:	
	PRELIMINARY DESIGN	ISSUED FOR BID
1/11/19		
3/25/19		

COTTAGES AT THE DREW
PLAN 1 RESIDENCE

LOT 1 -
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La Grange Park, Illinois 60526
708.352.0446 phone



JOB NO. 00119

DATE: JANUARY 11, 2019



FRONT ELEVATION B - 2 CAR
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 3 - 3 CAR
SCALE: 1/4" = 1'-0"

DATE:	REVISIONS:	
	DATE	DESCRIPTION
1/11/19		PRELIMINARY DESIGN
3/25/19		ISSUED FOR BID

COTTAGES AT THE DREW
PLAN 1 RESIDENCE

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708.352.0446 phone



JOB NO. 00119

DATE: JANUARY 11, 2019



FRONT ELEVATION A - 2 CAR
SCALE: 1/4" = 1'-0"



FRONT ELEVATION A - 3 CAR
SCALE: 1/4" = 1'-0"

DATE:		REVISIONS:	
1/11/19		PRELIMINARY DESIGN	
3/25/19		ISSUED FOR BID	

COTTAGES AT THE DREW
PLAN 2 RESIDENCE
LOT 1 -
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La Grange Park, Illinois 60526
708.352.0446 phone



JOB NO. 00119
DATE: JANUARY 11, 2019



ADVANTAGE

CONSULTING ENGINEERS

Revised Detention Calculations

For

The Cottages at Drew

Burr Ridge, Illinois

By

Jasper Properties, LLC

Date: November 2, 2018

Last Revised: August 11, 2021

William J Zalewski, P.E.
Illinois Registered Professional Engineer
No. 062-046121
Expires 11/30/2021

80 MAIN STREET • SUITE 17 • LEMONT, ILLINOIS 60439

847-260-4758

NARRATIVE

Jasper Properties, LLC is proposing to build proposed single-family residential subdivision on 4.1 acres area of the 8.8-acre parcel located at southwest corner of 79th Street and Drew Avenue in Burr Ridge, Illinois.

EXISTING CONDITIONS

The project area is located at southwest corner of 79th Street and Drew Avenue in Burr Ridge in DuPage County. There was an existing single-family residential building on the parcel.

Based on regulatory FEMA maps, FIS and flood profile, there are floodplain, and floodway areas located on the site and are shown on the site improvement plans. The regulatory maps are restrictive maps for this site.

Gary R Weber Associates have performed wetland study for the project area. The wetland limits and buffer limits are shown on plans.

PROPOSED CONDITIONS

The proposed project site area is 8.8 acres and the disturbed area will be 4.1 acres. The proposed improvements will consist of building construction with street, detention basin, PCBMP areas, flood plain compensatory area.

Detention volume has been provided per DuPage County Storm Water Management ordinance with Bulletin 75 rainfall data. The basin is analyzed for free flow condition and surcharge conditions. The controlling condition is surcharge condition. The detention required for surcharge condition is 1.99-acre feet and 2.59-acre feet volume is provided in basins. We have provided 30% more volume than required per Village request.

PCBMP

The project area will be routed through detention basin planted with naturalized plantings. The naturalized detention basin will satisfy the PCBMP requirement of the ordinance.

Flood Plain Compensatory Volume

Since the project area will require fill of flood plain area, flood plain compensatory volume will be excavated at northwest corner of the site.

Flood plain cut and fill volumes are shown under Tab 3.

The proposed cut is at least at 1:1 ratio for 0-10 year and 10-100 Year. The overall cut is more than required cut volume of 1.5:1.

Wetland and Buffers

There are proposed wetland impacts proposed for the project. Wetland buffers also will be impacted. GRWA has addressed the wetland, buffer and riparian impacts and their findings are included in Tabs 4 and 5.

GENERAL STATEMENT

In our opinion, the proposed storm water management meets or exceeds the minimum requirements of the DuPage County Storm Water Management Ordinance.



ADVANTAGE CONSULTING ENGINEERS, LLC

80 Main Street - Suite 17 - Lemont, Illinois 60439
847-260-4758

THE COTTAGES ON DREW

BURR RIDGE, IL, Illinois

Project No. 16-086

November 2, 2018

September 24, 2019

TPP

STAGE-STORAGE-DISCHARGE RELATIONSHIP

DETENTION POND - 2" RESTRICTOR

ELEV.	AREA S.F.	DEPTH (H) FT.	V=H/3(A1+A2+Sqrt (A1*A2)), AC FT	CUMM VOL. AC FT	DISCHARGE, CFS	
					FREE	SURCHARGE
DETENTION - EAST						
690.00	15,770					
691.00	17,913	1.00	0.39	0.39	0.11	-
692.00	20,170	1.00	0.44	0.82	0.15	0.07
693.00	21,714	1.00	0.48	1.30	0.18	0.12
693.60	22,163	0.60	0.30	1.61	0.20	0.15
694.00	22,462	0.40	0.20	1.81	0.21	0.16
695.00	23,213	1.00	0.52	2.34	0.24	0.19
DETENTION - WEST						
691.00	1,597					
692.00	2,503	1.00	0.05	0.05		
693.00	2,915	1.00	0.06	0.11		
693.60	3,124	0.60	0.04	0.15		
694.00	3,263	0.40	0.03	0.18		
695.00	3,712	1.00	0.08	0.26		

694.06	100 YR HWL - FREE FLOW CONDITION - 2" RESTRICTOR
694.22	100 YR HWL - SURCHARGE CONDITION - 2" RESTRICTOR

*****80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY*****

JOB TR-20		SUMMARY									
TITLE		BURR RIDGE SITE, BURR RIDGE, ILLINOIS									
TITLE		DEFENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT									
5	RAINF 1	0.00	0.05	0.33	0.43	0.52					
8		0.16		0.71	0.75	0.79					
8		0.60	0.66	0.84	0.88	0.90					
8		0.82	0.84	0.86	0.88	0.90					
8		0.92	0.94	0.96	0.97	0.98					
8		1.00	1.00	1.00	1.00	1.00					
9	ENDTBL										
5	RAINF 2	0.00	0.05	0.08	0.12	0.16					
8		0.22	0.29	0.39	0.51	0.62					
8		0.70	0.76	0.81	0.85	0.88					
8		0.91	0.93	0.95	0.97	0.98					
8		1.00	1.00	1.00	1.00	1.00					
9	ENDTBL										
5	RAINF 3	0.00	0.05	0.06	0.09	0.12					
8		0.15	0.19	0.23	0.27	0.32					
8		0.38	0.45	0.57	0.70	0.79					
8		0.85	0.89	0.92	0.95	0.97					
8		1.00	1.00	1.00	1.00	1.00					
9	ENDTBL										
5	RAINF 4	0.00	0.05	0.05	0.08	0.10					
8		0.13	0.16	0.19	0.22	0.25					
8		0.28	0.32	0.35	0.39	0.45					
8		0.51	0.59	0.72	0.84	0.92					
8		1.00	1.00	1.00	1.00	1.00					
9	ENDTBL										
3	STRUCT	01									
8		690.0	0.00	0.00	0.00						
8		691.0	0.11		0.39						
8		692.0	0.15		0.87						
8		693.0	0.18		1.41						
8		694.0	0.21		1.99						
8		695.0	0.24		2.59						
9	ENDTBL										
3	STRUCT	02									
8		690.0	0.00	0.00	0.00						
8		691.0	0.01		0.39						
8		692.0	0.07		0.87						
8		693.0	0.12		1.41						

8	694.0	0.16	1.99
8	695.0	0.19	2.59
1			

*****80-80 LIST OF INPUT DATA (CONTINUED)*****

9 ENDTBL
6 RUNOFF 1 050 7 0.0063 85. 0.25 1 SITE
6 RESVOR 2 01 7 6 690.0 1 FREE
6 RUNOFF 1 051 5 0.0063 85. 0.25 1 SITE
6 RESVOR 2 02 5 6 690.0 1 1 1 SURCH
ENDATA
7 INCREM 6 1.0
7 COMPUT 7 050 02 0.0 8.57 24.0 3 2 24 99YR 24HR
ENDCMP 1
ENDJOB 2
*****END OF 80-80 LIST*****

EXECUTIVE CONTROL OPERATION INCREM	MAIN TIME INCREMENT = 1.00 HOURS	RECORD ID
+		

EXECUTIVE CONTROL OPERATION COMPUT	FROM XSECTION 50	TO STRUCTURE 2	RECORD ID R 24HR
+			
STARTING TIME = .00	RAIN DEPTH = 8.57	RAIN DURATION= 24.00	RAIN TABLE NO.= 3
ALTERNATE NO.=24	STORM NO.=99	MAIN TIME INCREMENT = 1.00 HOURS	ANT. MOIST. COND= 2

OPERATION RUNOFF	CROSS SECTION 50	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
		14.76	3.54

OPERATION RESVOR STRUCTURE 1
*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .21 CFS.

PEAK TIME(HRS)	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
25.00	.21	694.06

OPERATION RUNOFF	CROSS SECTION 51	PEAK DISCHARGE(CFS)	PEAK ELEVATION(FEET)
		14.76	3.54

TR20 XEQ 08-11-21 08:48
REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS
DEFENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT

JOB 1 PASS 1
PAGE 1

OPERATION RESVOR STRUCTURE 2

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .17 CFS.

TIME(HRS)	PEAK TIME(HRS)	PEAK DISCHARGE(CFS)			PEAK ELEVATION(FEET)		
		25.00	.17	.17	694.22		
		FIRST HYDROGRAPH POINT = .00 HOURS			TIME INCREMENT = 1.00 HOURS		
.00	DISCHG	.00	.00	.00	.00	.00	.01
.00	ELEV	690.00	690.00	690.00	690.00	690.00	.01
10.00	DISCHG	.01	.02	.03	.05	.10	.15
10.00	ELEV	690.93	691.16	691.39	691.67	693.01	.15
20.00	DISCHG	.15	.16	.16	.17	.17	.16
20.00	ELEV	693.85	693.95	694.03	694.10	694.19	.16
30.00	DISCHG	.16	.16	.16	.16	.16	.16
30.00	ELEV	694.10	694.08	694.06	694.04	693.99	.16
40.00	DISCHG	.16	.15	.15	.15	.15	.15
40.00	ELEV	693.88	693.86	693.84	693.81	693.75	.15
50.00	DISCHG	.15	.15	.14	.14	.14	.14
50.00	ELEV	693.66	693.64	693.62	693.58	693.54	.14
60.00	DISCHG	.14	.14	.14	.13	.13	.13
60.00	ELEV	693.46	693.44	693.42	693.38	693.35	.13
70.00	DISCHG	.13	.13	.13	.13	.13	.12
70.00	ELEV	693.27	693.25	693.23	693.21	693.18	.12
80.00	DISCHG	.12	.12	.12	.12	.12	.12
80.00	ELEV	693.09	693.07	693.05	693.04	692.98	.12
90.00	DISCHG	.12	.11	.11	.11	.11	.11
90.00	ELEV	692.91	692.89	692.88	692.86	692.81	.11
100.00	DISCHG	.11	.11	.11	.10	.10	.10
100.00	ELEV	692.74	692.73	692.71	692.69	692.65	.10
110.00	DISCHG	.10	.10	.10	.10	.09	.09
110.00	ELEV	692.57	692.57	692.55	692.54	692.49	.09
120.00	DISCHG	.09	.09	.09	.09	.09	.09
120.00	ELEV	692.44	692.42	692.41	692.40	692.36	.08
130.00	DISCHG	.09	.08	.08	.08	.08	.08
130.00	ELEV	692.30	692.29	692.28	692.26	692.23	.07
140.00	DISCHG	.08	.08	.08	.08	.08	.07
140.00	ELEV	692.18	692.17	692.15	692.14	692.11	.07
150.00	DISCHG	.07	.07	.07	.07	.07	.07
150.00	ELEV	692.06	692.05	692.04	692.03	691.99	.07

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED
(A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH
A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION			RUNOFF AMOUNT (IN)	PEAK DISCHARGE				
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)	
ALTERNATE 24 STORM 99														
+														
XSECTION	50	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	----	14.76	3.54	562.3
STRUCTURE	1	RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.63	694.06	25.00?	.21?	33.6
XSECTION	51	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	----	14.76	3.54	562.3
STRUCTURE	2	RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.43	694.22	25.00?	.17?	26.4
1														

100 hwl/release rate - 2" restrictor

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BURR RIDGE SITE, BURR RIDGE, ILLINOIS
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION - 2 IN RESTRICT

JOB 1 SUMMARY
PAGE 4

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS.....
99		
0 STRUCTURE 2		
	.01	
+		
ALTERNATE 24		
	.01	.17
0 STRUCTURE 1		
	.01	
+		
ALTERNATE 24		
	.01	.21
0 XSECTION 50		
	.01	
+		
ALTERNATE 24		
	.01	3.54
0 XSECTION 51		
	.01	
+		
ALTERNATE 24		
		3.54
1END OF 1 JOBS IN THIS RUN		

*****80-80 LIST OF INPUT DATA (CONTINUED)*****

6 RESVOR 2 01 7 6 690.0 1 FREE
6 RUNOFF 1 051 5 0.0063 85. 0.25 1 SITE
6 RESVOR 2 02 5 6 690.0 1 1 1 SURCH
ENDATA
7 INCREM 6 1.0
7 COMPUT 7 050 02 0.0 8.57 24.0 3 2 24 99YR 24HR
ENDCMP 1
ENDJOB 2
0*****END OF 80-80 LIST*****

EXECUTIVE CONTROL OPERATION INCREM
+ MAIN TIME INCREMENT = 1.00 HOURS
RECORD ID

EXECUTIVE CONTROL OPERATION COMPUT
+ FROM XSECTION 50 TO STRUCTURE 2
+ STARTING TIME = .00 RAIN DEPTH = 8.57 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2
ALTERNATE NO.=24 STORM NO.=99 MAIN TIME INCREMENT = 1.00 HOURS
RECORD ID R 24HR

OPERATION RUNOFF CROSS SECTION 50
PEAK TIME(HRS) 14.76
PEAK DISCHARGE(CFS) 3.54
PEAK ELEVATION(FEET) (RUNOFF)

OPERATION RESVOR STRUCTURE 1
*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .41 CFS.
PEAK TIME(HRS) 25.00
PEAK DISCHARGE(CFS) .41
PEAK ELEVATION(FEET) 693.65

OPERATION RUNOFF CROSS SECTION 51
PEAK TIME(HRS) 14.76
PEAK DISCHARGE(CFS) 3.54
PEAK ELEVATION(FEET) (RUNOFF)

OPERATION RESVOR STRUCTURE 2
*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .34 CFS.
PEAK TIME(HRS) 25.00
PEAK DISCHARGE(CFS) .34
PEAK ELEVATION(FEET) 693.97

TIME(HRS) FIRST HYDROGRAPH POINT = .00 HOURS
TIME INCREMENT = 1.00 HOURS
DRAINAGE AREA = .01 SQ.MI.

.00	DISCHG	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.00	.01
.00	ELEV	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.00	690.72
10.00	DISCHG	.01	.03	.06	.10	.15	.20	.26	.28	.30	.31	.32	.33	.34	.35	.36	.37	.31
10.00	ELEV	690.93	691.15	691.39	691.66	692.05	692.54	692.96	693.25	693.47	693.63	693.72	693.79	693.85	693.89	693.92	693.96	693.63
20.00	DISCHG	.32	.32	.33	.33	.33	.34	.33	.33	.33	.33	.33	.33	.33	.33	.33	.33	.32
20.00	ELEV	693.72	693.79	693.85	693.89	693.96	693.97	693.97	693.97	693.97	693.97	693.97	693.97	693.97	693.97	693.97	693.97	693.78
30.00	DISCHG	.32	.32	.31	.31	.30	.30	.30	.29	.29	.29	.29	.29	.29	.29	.29	.29	.29
30.00	ELEV	693.74	693.69	693.65	693.60	693.56	693.52	693.47	693.43	693.39	693.35	693.35	693.35	693.35	693.35	693.35	693.35	693.35
40.00	DISCHG	.28	.28	.28	.28	.27	.27	.27	.26	.26	.26	.26	.26	.26	.26	.26	.26	.25
40.00	ELEV	693.31	693.27	693.23	693.19	693.15	693.11	693.07	693.03	693.00	692.96	692.96	692.96	692.96	692.96	692.96	692.96	692.96
50.00	DISCHG	.25	.25	.24	.24	.23	.23	.22	.22	.22	.22	.22	.22	.22	.22	.22	.22	.21

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50.00	ELEV	692.92	692.88	692.84	692.81	692.77	692.74	692.70	692.67	692.63	692.60
60.00	DISCHG	.21	.20	.20	.20	.19	.19	.19	.18	.18	.18
60.00	ELEV	692.57	692.54	692.51	692.48	692.45	692.42	692.39	692.36	692.33	692.30
70.00	DISCHG	.17	.17	.17	.16	.16	.16	.16	.15	.15	.15
70.00	ELEV	692.28	692.25	692.23	692.20	692.18	692.15	692.13	692.10	692.08	692.06
80.00	DISCHG	.14	.14	.14	.14	.13	.13	.13	.12	.12	.12
80.00	ELEV	692.04	692.01	691.99	691.97	691.94	691.92	691.90	691.88	691.86	691.84
90.00	DISCHG	.12	.11	.11	.11	.11	.10	.10	.10	.10	.09
90.00	ELEV	691.82	691.80	691.78	691.76	691.74	691.72	691.70	691.69	691.67	691.65
100.00	DISCHG	.09	.09	.09	.09	.08	.08	.08	.08	.08	.08
100.00	ELEV	691.64	691.62	691.61	691.59	691.58	691.56	691.55	691.53	691.52	691.51
110.00	DISCHG	.07	.07	.07	.07	.07	.07	.06	.06	.06	.06
110.00	ELEV	691.49	691.48	691.47	691.46	691.44	691.43	691.42	691.41	691.40	691.39
120.00	DISCHG	.06	.06	.06	.06	.05	.05	.05	.05	.05	.05
120.00	ELEV	691.38	691.37	691.36	691.35	691.34	691.33	691.32	691.31	691.30	691.30
130.00	DISCHG	.05	.05	.05	.04	.04	.04	.04	.04	.04	.04
130.00	ELEV	691.29	691.28	691.27	691.26	691.26	691.25	691.24	691.23	691.23	691.22
140.00	DISCHG	.04	.04	.04	.04	.03	.03	.03	.03	.03	.03
140.00	ELEV	691.21	691.21	691.20	691.20	691.19	691.18	691.18	691.17	691.17	691.16
150.00	DISCHG	.03	.03	.03	.03	.03	.03	.03	.03	.03	.02
150.00	ELEV	691.16	691.15	691.15	691.14	691.14	691.13	691.13	691.12	691.12	691.11
160.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
160.00	ELEV	691.11	691.11	691.10	691.10	691.09	691.09	691.09	691.08	691.08	691.08
170.00	DISCHG	.02	.02	.02	.02	.02	.02	.02	.02	.02	.02
170.00	ELEV	691.07	691.07	691.07	691.06	691.06	691.06	691.05	691.05	691.05	691.04
180.00	DISCHG	.02	.02	.01	.01	.01	.01	.01	.01	.01	.01
180.00	ELEV	691.04	691.04	691.04	691.03	691.03	691.03	691.03	691.02	691.02	691.02
190.00	DISCHG	.01	.01	.01	.01	.01	.01	.01	.01	.01	.01
190.00	ELEV	691.02	691.02	691.01	691.01	691.01	691.01	691.01	691.00	691.00	691.00
200.00	DISCHG	.01	.01								
200.00	ELEV	691.00	691.00								

TR20 XEQ 08-11-21 00:00
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BURR RIDGE SITE, BURR RIDGE, ILLINOIS
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED
(A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH
A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION			PEAK DISCHARGE				
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)	RUNOFF AMOUNT (IN)	ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)
ALTERNATE 24 STORM 99													
+													
XSECTION 50	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE 1	RESVOR	.01	3	2	1.00	.0	8.57	24.00	6.69	693.65	25.00?	.41?	65.5
XSECTION 51	RUNOFF	.01	3	2	1.00	.0	8.57	24.00	6.64	---	14.76	3.54	562.3
STRUCTURE 2	RESVOR	.01	3	2	1.00	.0	8.57	24.00	5.58	693.97	25.00?	.34?	53.6
1													

TR20 XEQ 08-11-21 00:00
REV PC 09/83(.2)

BURR RIDGE SITE, BURR RIDGE, ILLINOIS
DETENTION CALCULATIONS - FREE FLOW/SURCHARGE CONDITION

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS..... 99
0 STRUCTURE 2 .01		
+		
ALTERNATE 24 .34		
0 STRUCTURE 1 .01		
+		
ALTERNATE 24 .41		
0 XSECTION 50 .01		
+		
ALTERNATE 24 3.54		

100 yr hwl/release rate -
allowable release rate

Ø XSECTION	51	.01
<hr/>		
ALTERNATE	24	
<hr/>		
1END OF 1 JOBS IN THIS RUN		

3.54



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Janine Farrell, AICP
Community Development Director

DATE: May 16, 2022

RE: Board Report

At their May 9, 2022 meeting, the Board of Trustees took the following actions relative to matters forwarded from the Plan Commission:

- **Z-09-2022 Text Amendment for restaurant hours of operation in the Business districts:** After the April 18, 2022 Plan Commission meeting, the Village Attorney re-reviewed regulations and provided a revised opinion related to this petition, stating that the Village would indeed be able to amend the hours of operation for restaurant uses with liquor licenses to automatically grant such uses a midnight closing time from Sunday-Wednesday, and a 1:00am closing time on Thursday, Friday, and Saturday. These hours would apply both to permitted uses as well as to those establishments with special uses or within PUDs. These hours would be permitted by right with no special use required. The Board directed staff to prepare an Ordinance for their May 23 meeting. The Board directed the Plan Commission to review outdoor dining regulations, specifically the operating hours for outdoor dining areas. Staff will schedule this text amendment for a future meeting, likely on June 20.
- **Z-04-2022 Special Use and Special Use Amendment for the expansion of Are We Live, 308-312 Burr Ridge Parkway (Rovito):** The Board directed staff to prepare an Ordinance for the request for their May 23 meeting. The Board removed condition #2 which limited the hours of operation to midnight, bringing the request in line with the hours of operation text amendment (Z-09-2022).
- **V-02-2022 Variation to permit a detached garage in the side buildable area at 8311 Fars Cove (Panico):** The Board directed staff to prepare an Ordinance for the request for their May 23 meeting.

Note: Z-10-2022 (Thorntons) is currently on hold pending receipt of written confirmation that the petitioner wishes to amend their request to include 24-hour operation.