



**REGULAR MEETING  
PLAN COMMISSION/ZONING BOARD OF APPEALS  
May 2, 2022 - 7:00PM  
BURR RIDGE POLICE DEPARTMENT - TRAINING ROOM**

The Plan Commission/Zoning Board of Appeals hears requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use. All Plan Commission actions are advisory and are submitted to the Board of Trustees for final action.

**I. ROLL CALL**

**II. APPROVAL OF APRIL 18, 2022 MEETING MINUTES**

**III. PUBLIC HEARINGS**

**A. Z-04-2022: 308-312 Burr Ridge Parkway (Rovito); Special Use Amendment, Special Use, and Findings of Fact [CONTINUED FROM MARCH 21, 2022]**

Requests amendment to Ordinance #A-834-10-21 to expand the subject use and a special use for a restaurant over 4,000 square feet with the sale of alcoholic beverages pursuant to section XIII.K of the Zoning Ordinance and the County Line Square Planned Unit Development (Ordinance #A-834-19-21).

**B. Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Special Uses, PUD Amendment, Variations, and Findings of Fact**

Requests to amend the Spectrum PUD Ordinance #A-834-24-15; special uses for an automobile gasoline sale station, with a convenience food store, with packaged liquor and tobacco sales, and with hours of operation exceeding 7:00 a.m. to 10:00 p.m. pursuant to section VIII.C of the Zoning Ordinance; special use for an outside sales display accessory to a special use pursuant to sections VIII.A and VIII.C of the Zoning Ordinance; variations from sections 55.06.A.1, 55.06.A.2, 55.06.A.4.a, and 55.06.A.4.b of the Sign Ordinance to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft., to permit more than one wall sign per street frontage for a total of three, to permit a free-standing gasoline pricing sign, and to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft.; conditional sign approval for a sign with five colors, exceeding the three colors permitted pursuant to Sign Ordinance section 55.06.B; and variations from Zoning Ordinance section XI.C.9.c.2 to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted.

**C. V-02-2022: 8311 Fars Cove (Panico); Variation and Findings of Fact**

Request for a variation to permit a detached accessory building (garage) within the side buildable area pursuant to Zoning Ordinance section IV.I.1.

**V. CORRESPONDENCE**

- A. Board Reports**  
April 25, 2022
- B. Building Reports**  
March 2022

**VI. OTHER CONSIDERATIONS**

**A. PC-03-2022: 16W135 Honeysuckle Rose St. (New Wave Carwash); Extraterritorial Review of a Conditional Use for a PUD and Variations**

Review of a DuPage County request for additions and remodeling of an existing car wash.

**VII. PUBLIC COMMENT**

**VIII. FUTURE MEETINGS**

**May 9, 2022 Board of Trustees**

Commissioner McCollan is the scheduled representative.

**May 16, 2022 Plan Commission**

**Z-11-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact**

Request to consider text amendments to Section XIV.B of the Zoning Ordinance to create a definition for an attached garage.

**Z-13-2022: Sign Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact**

Request to consider text amendments to Section 55.09.E of the Sign Ordinance to clarify regulations pertaining to right-of-way signs.

**Z-15-2022: 7950 Drew Avenue (Perino/Jarper Properties LLC); Special Use, PUD Amendment and Findings of Fact**

Request to consider a major change and amendment to the Cottages of Drew PUD Ordinance #A-834-16-18 in accordance with Section XIII of the Zoning Ordinance. This major change will reduce the open space in the PUD and increase the garage area for the proposed homes.

**May 23, 2022 Board of Trustees**

Commissioner Irwin is the scheduled representative.

**June 6 Plan Commission**

**Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact [CONTINUED FROM APRIL 18, 2022]**

Request to consider text amendments to Sections VIII.A, VIII.B, VIII.C, and XIV.B of the Zoning Ordinance to define "live entertainment" and permit "live entertainment" as accessory to certain uses in the Business Districts.

**Z-12-2022:** Consideration of text amendments regarding commercial vehicles in residential zoning districts.

**Z-14-2022:** Consideration of text amendments regarding short-term rentals.

**June 13 Board of Trustees**

Commissioner Parrella is the scheduled representative.

**June 20 Plan Commission**

No cases scheduled at this time. The deadline for newspaper publication is May 27, 2022.

**June 27 Board of Trustees**

Commissioner Petrich is the scheduled representative.

**IX. ADJOURNMENT**

**VILLAGE OF BURR RIDGE PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**MINUTES FOR REGULAR MEETING OF APRIL 18, 2022**

**I. ROLL CALL**

The meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Police Department Training Room, 7700 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 5 – Petrich, Broline, Stratis, Morton, and Trzupek

**ABSENT:** 3 – Irwin, Parrella, and McCollan

Trustee Guy Franzese and Community Development Director Janine Farrell were also present.

**II. APPROVAL OF PRIOR MEETING MINUTES – APRIL 4, 2022**

A **MOTION** was made by Commissioner Petrich and **SECONDED** by Commissioner Broline to approve the minutes of the April 4, 2022 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Petrich, Broline, Morton, Stratis, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

**III. PUBLIC HEARINGS**

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearings on the agenda for the meeting.

**Z-08-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact - Request to consider text amendments to Sections VIII.A, VIII.B, VIII.C, and XIV.B of the Zoning Ordinance to define "live entertainment" and permit "live entertainment" as accessory to certain uses in the Business Districts.**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-08-2022 are proposed text amendments related to live entertainment, both to define live entertainment and to permit it as accessory to a restaurant use. Currently, there is no definition for live entertainment, and live entertainment as accessory to a restaurant use requires a special use. The Village Attorney stated that any text changes regarding live entertainment would not apply to those establishments already with a special use for live entertainment or to those establishments within PUDs. For those establishments with live entertainment special uses that have specific conditions limiting the live entertainment, like County Wine Merchant and Dao, the text amendment would not apply. For the



County Line Square PUD, live entertainment for a restaurant use requires a special use. For the Village Center PUD, certain entertainment venues are permitted and a restaurant is permitted to have live entertainment or liquor service or dancing. Any text amendment to change it to a permitted use would not apply unless the petitioner requested to amend their PUD. The research into neighboring municipalities showed that about half require a special use and half permit it as accessory. Mrs. Farrell posed two questions to the Commission; if they wished to pursue a definition for live entertainment and if they wished to permit it as accessory to restaurant uses based upon the fact that it would not apply to the County Line Square or Village Center PUDs.

Chairman Trzupek asked for the definition of a restaurant. Mrs. Farrell stated that a restaurant is defined as “an establishment that serves unpackaged food and beverages in individual servings, or in nondisposable containers to customers who consume these foods while seated within the building.” Chairman Trzupek stated that a restaurant should be better defined since it was broad, particularly if live entertainment would be permitted as accessory.

Chairman Trzupek confirmed that if a text amendment were approved to permit live entertainment as accessory to a restaurant use, it would not apply to the existing PUDs. Mrs. Farrell stated that a definition of live entertainment would apply since there currently is not one in the Zoning Ordinance or in the PUDs. Mrs. Farrell presented a draft definition that was based on neighboring municipalities, and those nationwide, and from legal sites.

Chairman Trzupek stated that this text amendment precipitated from the concern about live entertainment venues as opposed to a restaurant with live entertainment. This enforces the need for a better definition of a restaurant. Chairman Trzupek stated that there is a noise ordinance in place which should help to mitigate any nuisances. Chairman Trzupek asked for comments from the Commissioners on how they would wish to proceed before opening to public comment.

Commissioner Morton was concerned about the noise ordinance language and if it was strong enough to enforce. Commissioner Morton stated that the language is not specific or technical but is vague. Chairman Trzupek and Commissioner Morton discussed the use of decibel levels and sound metering. Chairman Trzupek stated that the intent of the noise ordinance was to eliminate the decibel level measuring due to the difficulties for police officers to enforce it.

Commissioner Stratis supported keeping live entertainment as a special use since it allows for greater control. Commissioner Stratis disclosed that he and his wife own the McDonald's but he did not feel that the ownership compromised his ability to be impartial in his evaluation of these text amendments. Commissioner Stratis supported prohibiting live entertainment outside and believed that some of these text amendments are derivative of one or two issues. Commissioner Stratis supported a sliding scale for noise violation fines as a method to alter the behavior of those businesses since many are adjacent to residential or in a mixed-use environment.

Commissioner Petrich confirmed that the definition of live entertainment would be applied to all establishments.

Chairman Trzupek confirmed that if there were special regulations regarding live entertainment that conflicted with already approved special use permits, the special use would still govern those

businesses. Chairman Trzupek confirmed that the property owners would have to petition to amend their PUDs in order to change their regulations for live entertainment.

Commissioner Petrich supported the proposed definition, that live entertainment should remain a special use, it should be prohibited outdoors, and that a seating plan should be shown as part of the special use request.

Commissioner Broline supported prohibiting live entertainment outdoors. Commissioner Broline asked about the Village Center PUD with restaurants which have live entertainment or dancing or liquor service. Commissioner Broline supported keeping the special use for live entertainment.

Commissioner Morton questioned having a sliding scale for live entertainment as to whether it's a permitted or a special use. Chairman Trzupek did not support quantifying or placing limits on live entertainment since there is a noise ordinance which all must abide by, regardless of the number of musicians. Commissioner Morton recommended putting an absolute number of musicians or limiting amplification.

Commissioner Stratis stated that there is a very small number of restaurants coming forward each year for this request which does not make the special use burdensome.

Chairman Trzupek summarized that there was a support for the draft definition, to prohibit live entertainment from being outside, to keep it a special use, to create a better definition for a restaurant, and to provide a seating plan. There were concerns about how noise is measured and he asked to know how the noise ordinance enforcement is working.

Commissioner Stratis asked about hotel and office lobbies that might have live entertainment. Commissioner Petrich and Mrs. Farrell confirmed that the proposal was only for establishments within the Business Districts.

Chairman Trzupek asked for public comment.

Alice Krampits of 7515 Drew preferred to keep the live entertainment as a special use, had concerns about the seating arrangements for establishments with live entertainment, and asked about other businesses, like an art gallery, that might request live entertainment. In those instances, Ms. Krampits stated it was best to keep live entertainment as a special use. Ms. Krampits asked about the strike-out text in the report. Mrs. Farrell confirmed the redlined text reflected the proposed changes if live entertainment was permitted as accessory.

Mark Thoma of 7515 Drew asked about a permit for live entertainment for a special event. Mrs. Farrell noted the special event permit that is detailed in the noise ordinance.

**Z-09-2022: Zoning Ordinance Amendments (Village of Burr Ridge); Text Amendment and Findings of Fact Request to consider text amendments to Sections VIII.A, VIII.B, and VIII.C of the Zoning Ordinance to amend hours of operation for restaurant uses in the Business Districts.**

Chairman Trzupek asked for a summary of the petition. Mrs. Farrell stated that Z-09-2022 is regarding proposed text amendments to the hours of operation for uses in the Business Districts. Currently, any business in B-1 or B-2 is permitted to be open from 7:00a.m. to 10:00p.m. Should a business wish to operate beyond these hours, a special use is required. Restaurants with liquor could potentially be permitted to be open until midnight on Sundays, Mondays, Tuesdays, and Wednesdays, 1:00a.m. on Thursdays, and 2:00a.m. on Fridays and Saturdays with an approved special use. The Village Attorney stated that any text amendments regarding altering hours of operation would not apply to existing establishments with special uses for extended hours or those establishments governed by a PUD which has specified hours of operation. There are twelve businesses with special uses for extended hours which these changes would not apply to. The text amendment changes would not apply to County Line Square and Village Center PUDs which have specified hours of operation. Research into neighboring municipalities shows that most do not have any standardized hours of operation in their Zoning Ordinance, they default to the Liquor Ordinance which has hours of operation stipulated. If the Commission wished to pursue changing hours of operation, the hours in the Liquor Ordinance should also be evaluated.

Chairman Trzupek asked the Commission if they wished to pursue changing the standard hours of operation and the special use requirement knowing that it would not apply to most establishments.

Commissioner Stratis could not find a compelling reason to change the existing hours of operation. Commissioner Stratis stated that many people are waking up earlier and he personally has often waited for businesses to open while enroute to the airport for an early flight. Commissioner Stratis supports restaurants obtaining a special use to open earlier than 7:00a.m. since some may be located next to residential uses.

Commissioner Petrich wanted to ensure that extended hours would not apply to outdoor dining and that a restaurant kitchen should be providing full service an hour up until closing.

Commissioner Broline mentioned single-tenant buildings and keeping the special use requirement.

Commissioner Morton questioned the impact that having patrons from all restaurants with liquor leaving at one time would have.

Chairman Trzupek asked for public comment.

Alice Krampits of 7515 Drew supported keeping the existing regulations.

Chairman Trzupek polled the Commissioners to confirm if there was support to pursue amending the hours of operation.

Mrs. Farrell read back notes with items related to live entertainment that the Commissioners wished to have more information about.

Commissioners Broline and Petrich mentioned neighboring municipalities that were more similar to Burr Ridge, like Hinsdale, and that their hours of operation are not as late.

Commissioner Petrich questioned restaurants that have extended hours approved but do not fully utilize and how to potentially reduce their hours. Mrs. Farrell stated that she would need to speak with legal counsel.

Commissioner Petrich questioned outdoor dining and hours of operation. Mrs. Farrell confirmed that outdoor dining hours are to be specifically approved by the Village.

Commissioner Morton mentioned the reasoning behind the text amendment was to have a level playing field for all restaurants. Chairman Trzupek noted that was the original intent, but as the Commission found out, the text amendments would not apply to existing special uses or PUDs.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Morton to continue the public hearing for Z-08-2022 until June 6, 2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Stratis, Morton, Broline, Petrich, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

A **MOTION** was made by Commissioner Morton and **SECONDED** by Commissioner Broline to close the public hearing for Z-09-2022.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Morton, Broline, Stratis, Petrich, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Petrich to recommend that current Zoning Ordinance regulations regarding hours of operation remain unchanged.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 – Stratis, Petrich, Broline, Morton, and Trzupek  
**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

#### **IV. CORRESPONDENCE**

Chairman Trzupek asked if there were any comments on the Board or Building Reports. Commissioner Petrich asked about the proposed text amendments and if other accessory structures, like attached sports courts, could be included. Mrs. Farrell stated that the direction was specifically for attached garages but there may be other topics that arise from the discussion which could be brought forward to the Board.

#### **V. OTHER CONSIDERATIONS**

Mrs. Farrell introduced a proposal that was received from DuPage County for an existing car wash located on Route 83, south of 91<sup>st</sup> Street. The information was received after the packet was distributed. The request is for additions to an existing car wash and variations. Mrs. Farrell asked the Commissioners if they wished this to be on their next agenda for discussion.

Chairman Trzupek noted the date of the DuPage County Plan Commission meeting and if there was time to submit comments after that meeting. Mrs. Farrell confirmed that it would proceed to the County Board so there would be time.

Commissioners Morton, Petrich, and Stratis discussed the parking lot configuration and the new entrance/exit location.

Commissioners Stratis and Morton expressed concerns about the location of the new curb cut and the congestion it might cause.

Chairman Trzupek confirmed the zoning requests including the building and pavement setbacks. Chairman Trzupek requested that it be placed on the May 2, 2022 agenda so the Commission can review and provide comments.

Commissioner Stratis requested a plan for the directional signage and was concerned about the traffic flow.

#### **VI. PUBLIC COMMENT**

Alice Krampits of 7515 Drew asked if future meetings would be held at the Police Department. Mrs. Farrell confirmed that the meetings will be held at the Police Department at least through the end of May.

#### **VII. FUTURE MEETINGS**

##### **April 25, 2022 Board of Trustees**

Chairman Trzupek is the scheduled representative. Mrs. Farrell stated that she would inform him if his attendance was required.

**May 2, 2022 Plan Commission**

Z-04-2022: 308-312 Burr Ridge Parkway (continuation from March 21, 2022)

Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Special Uses, PUD Amendment, and Variations to operate a proposed gas station with convenience store.

V-02-2022: 8311 Fars Cove (Panico); Variation to permit a detached accessory building (garage) within the side buildable area.

**May 9, 2022 Board of Trustees**

Commissioner McCollan is the scheduled representative.

**May 16, 2022 Plan Commission**

Z-11-2022: Consideration of text amendments to define an “attached” garage.

Z-12-2022: Consideration of text amendments regarding commercial vehicles in residential zoning districts.

Z-13-2022: Consideration of text amendments regarding right of way signs.

**May 23, 2022 Board of Trustees**

Commissioner Irwin is the scheduled representative.

**VII. ADJOURNMENT**

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Petrich to adjourn the meeting at 8:15 pm.

**ROLL CALL VOTE** was as follows:

**AYES:** 5 –Stratis, Petrich, Morton, Broline, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 5-0.

**Respectfully Submitted:**

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Janine Farrell, AICP  
Community Development Director



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-04-2022: 308-312 Burr Ridge Parkway (Rovito); Requests an amendment to Ordinance #A-834-10-21 to expand the subject use and a special use for a restaurant over 4,000 square feet with the sale of alcoholic beverages pursuant to section XIII.K of the Zoning Ordinance and the County Line Square Planned Unit Development (Ordinance #A-834-19-21).**

**HEARINGS:**

March 21, 2022; May 2, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Filipo Rovito

**PETITIONER STATUS:**

Tenant

**PROPERTY OWNER:**

Bob Garber

**EXISTING ZONING:**

B-1 Business District

**LAND USE PLAN:**

Recommends Commercial Uses

**EXISTING LAND USE:**

Shopping Center

**SITE AREA:**

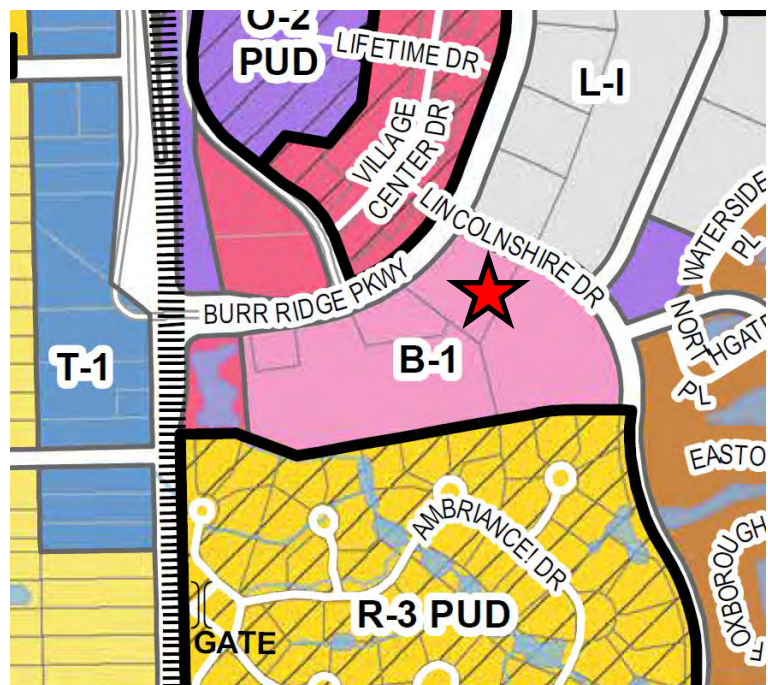
7.2 Acres

**SUBDIVISION:**

County Line Square

**PARKING AVAILABLE:**

499 Parking Spaces



On June 28, 2021, the petitioner received special use approval for a restaurant with sales of alcoholic beverages and outdoor dining (Ordinance #A-834-10-21). This special use approval was to operate Are We Live located at 310 and 312 Burr Ridge Parkway. At that time, the petitioner was also approved for a variation to permit the restaurant without the required number of parking spaces. The petitioner is now requesting to expand the existing operations into the neighboring unit addressed as 308 Burr Ridge Parkway. Should the Commission recommend approval of the requests, staff recommends including the previously approved conditions as part of this special use.

Since that special use approval, the County Line Square Planned Unit Development (PUD) was approved on November 8, 2021 (Ordinance #A-834-19-21). A restaurant over 4,000 square feet with or without the sale of alcoholic beverages requires a special use. The cumulative total of 308, 310, and 312 Burr Ridge Parkway, including the outdoor dining areas (previously approved and proposed), measures roughly 4,400 sq. ft. The interior space of 308 Burr Ridge Parkway measures 1,116 sq. ft. and the proposed outdoor dining measures roughly 300 sq. ft. The existing Are We Live operations occupies 2,400 sq. ft. of interior space and about 516 sq. ft. of outdoor dining space. The proposed expansion into 308 Burr Ridge Parkway includes additional seating for dining, two offices, a liquor room, and a storage room. The business plan and layouts are included as attachments.

The petitioner seeks to maintain the existing hours of operation, previously approved through Ordinance #A-834-10-021. Are We Live is permitted to be open until midnight every night for the interior dining and 11:00 p.m. for the outdoor dining (activity shall cease and all patrons shall vacate the premises by these times). Staff consulted with the Village Attorney to confirm that an additional special use is not required for the extended hours of operation past 10:00 p.m. The County Line Square PUD states that “any previously-approved special use shall be considered a use’s permitted hours of operation until and unless revisions are specifically made to this extent.”

Alcoholic beverages will be served, a use which is now included under the County Line Square PUD “restaurants over 4,000 square feet” special use. Outdoor dining areas accessory to any permitted or special use restaurant are now a permitted use under the County Line Square PUD. The outdoor dining area is proposed to match what was previously approved through Ordinance #A-834-10-021. The County Line Square PUD has specific guidelines for the outdoor dining area which the applicant will be required to comply with (included as an attachment).

The County Line Square PUD requires that all restaurant uses over 4,000 gross square feet must provide and continually operate a parking management plan, which shall include, at minimum, valet service to be present on Thursday-Saturday evenings after 5:00 p.m. The previously approved variation for parking also required a parking management plan that included: a commitment to provide valet parking off-site, behind the building, or at the west end of the shopping center; the reservation of four (4) parking spaces for valet parking that does not interfere with any drive aisles or fire lanes; and a commitment that employees be required to park offsite or behind the shopping center. Should the Commission recommend approval of the requests, staff recommends that this is added as a condition.

The County Line Square PUD requires one parking space be provided per 200 gross square feet of commercial space. In November of 2021, the total number of required parking at County Line Square was stated to be 462 spaces. With the addition of 308 Burr Ridge Parkway, eight parking spaces are required which brings the total to 470 parking spaces, under the 479 or 499 spaces provided on site (differing totals have been provided).



This petition was first heard on March 21, 2022. Since there was not a representative available to answer questions about the proposal, and the Plan Commission required additional information in order to evaluate the request, the petition was continued until May 2, 2022. The Commission requested an updated outdoor dining plan illustrating compliance with the PUD and Zoning Ordinance regulations and a parking plan. Staff requested those items of the Petitioner but as of the date of this report, they have not been received.

### **Public Hearing History**

Z-01-2021 (Are We Live): Special use approval for a restaurant with sales of alcoholic beverages and outdoor dining. Variation approval to permit a restaurant without the required number of parking spaces.

### **Public Comment**

Seven comments from six individuals have been received and are included as attachments to this report.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend special use amendment and special use approval for the proposed restaurant expansion, staff recommends that said recommendation be subject to the following conditions:

1. The special use shall be limited to Filippo Rovito and shall be null and void should Filippo Rovito no longer have ownership interest in the restaurant consisting of approximately 4,400 square feet commonly known as 308-312 Burr Ridge Parkway.
2. Activity in the indoor restaurant area shall cease and all patrons shall vacate the premises no later than midnight on any given day.
3. Activity in the outdoor dining area shall cease and all patrons shall vacate the premises no later than 11pm on any given day.
4. The outdoor dining area shall comply with the Burr Ridge Municipal Code and County Line Square PUD regulations in respect to ingress and egress as well as liquor control. The outdoor dining plan and any remaining details shall be approved by staff through the building permit process and prior to building permit issuance.
5. Prior to building permit issuance, the petitioner shall submit a parking management plan, subject to staff approval, that includes at a minimum:
  - a. A commitment to provide valet parking off-site, behind the building, or at the west end of the shopping center.
  - b. The reservation of four (4) parking spaces for valet parking that does not interfere with any drive aisles or fire lanes.
  - c. A commitment that employees be required to park offsite or behind the shopping center.

Staff Report and Summary

Z-04-2022: 308-312 Burr Ridge Parkway (Rovito); Special Use Amendment, Special Use, and Findings of Fact

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**Appendix**

Exhibit A - Petitioner's Materials

Exhibit B - Ordinance #A-834-10-21

Exhibit C - Ordinance #A-834-19-21

Exhibit D - Public comments



# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

FEB 16 2022

VILLAGE OF BURR RIDGE

### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Are We Live Inc. by Filippo Rovito, Jr.

STATUS OF PETITIONER: Tenant g7

PETITIONER'S ADDRESS: 308/310-312 Burr Ridge Parkway

ADDRESS OF SUBJECT PROPERTY: 308/310-312 Burr Ridge Parkway

PHONE: 630-885-2268

EMAIL: agrovito@comcast.net

PROPERTY OWNER: Bob Garber

PROPERTY OWNER'S ADDRESS: 115 Vine, Hinsdale, IL PHONE: 630-842-2506

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

### DESCRIPTION OF REQUEST:

Expand 310-312 Burr Ridge Parkway to add 308 Burr Ridge Parkway for additional customer space, including indoor expansion and outdoor dining.

### PROPERTY INFORMATION (to be completed by Village staff) g4

PROPERTY ACREAGE/SQ FOOTAGE: 7.2 acres EXISTING ZONING: B-1/Retail Business

EXISTING USE/IMPROVEMENTS: County Line Square/multi-tenant commercial

SUBDIVISION:

PIN(S) # 18-30301-0010000, 18-30-305-003-0000

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Filippo Rovito Jr  
Petitioner's Signature

2/16/2022  
Date of Filing



Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance

**Address:**

308/310-312 Burr Ridge Parkway

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.  
The small expansion will allow more room for customers and for guests to continue enjoyment of their evening.
- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.  
The establishment will be operated in a professional manner in accordance with all state and local codes.
- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.  
The small expansion will draw customers to the area and improve the value of the property and the businesses of other current tenants.
- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.  
The small expansion will enhance and compliment surrounding property and businesses.
- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.  
No additional utilities, roads, etc. will be needed for this special use.
- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.  
There are multiple points of ingress and egress in County Line Square and convenient access to existing parking.
- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.  
The proposal is consistent with the comprehensive plan of the Village as amended.
- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.  
The establishment will comply with all regulations.





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

**The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.**

Street Address of Subject Property:

308/310-312 Burr Ridge Parkway

Property Owner or Petitioner:

Are We Live Inc. by Filippo Rovito, Jr.

(Print Name)

Filippo Rovito

(Signature)

TO: Village of Burr Ridge, Illinois  
FROM: Bob Garber, 15 Vine Street, Hinsdale, IL  
RE: Petition of Are We Live Inc. to Expand and Add Unit 308 with Units  
310-312 Burr Ridge Parkway

I am owner/landlord of the property commonly known as 308 Burr Ridge Parkway, Burr Ridge, IL. Please be advised that I have been requested to and have agreed to lease 308 Burr Ridge Parkway, Burr Ridge, IL to Are We Live Inc., and to allow expansion and access between Unit 308 and Units 310-312 Burr Ridge Parkway.



Bob Garber  
630-842-2506

## **NARRATIVE OVERVIEW FOR ARE WE LIVE EXPANSION**

Address: 308 Burr ridge Parkway

Existing space ARE WE LIVE 310-312 Burr Ridge Parkway would like to expand into the 308 space

Space is approximately 1116sf

Janine,

Per the rendering, the owner would like to open up the wall in the front of the space approximately

25'x18' to expand and relocate some of the high top tables and the booths from the existing space

The back of the space will be utilized for storage, a liquor room, and 2 offices

There is an existing restroom in the space as indicated on the rendering

An opening will be created from the existing space to the new space so employees have access into the back area

There will be no new employees hired

The new space would operate with the same hours as ARE WE LIVE is presently

Tuesday-Saturday 3pm-12 midnight

Attached also is a conceptual for outdoor dining. I have attached what ARE WE IVEL has for outdoor dining

Expansion for outside would flow into the new space. Outside hours of operation Tuesday 3pm-Saturday 11pm

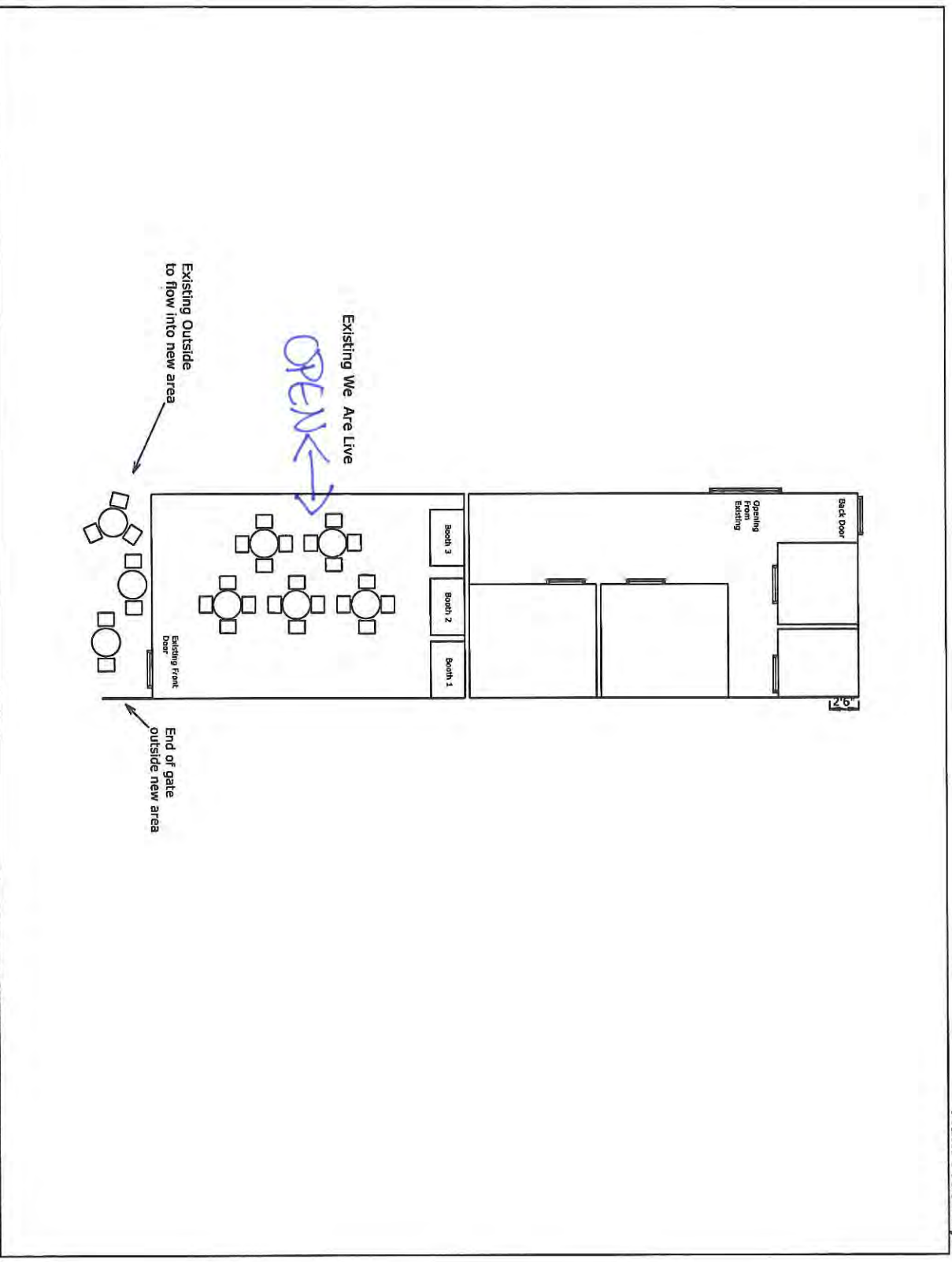
Please let me know if there is anything else you need at this time for our discussion

Regards,

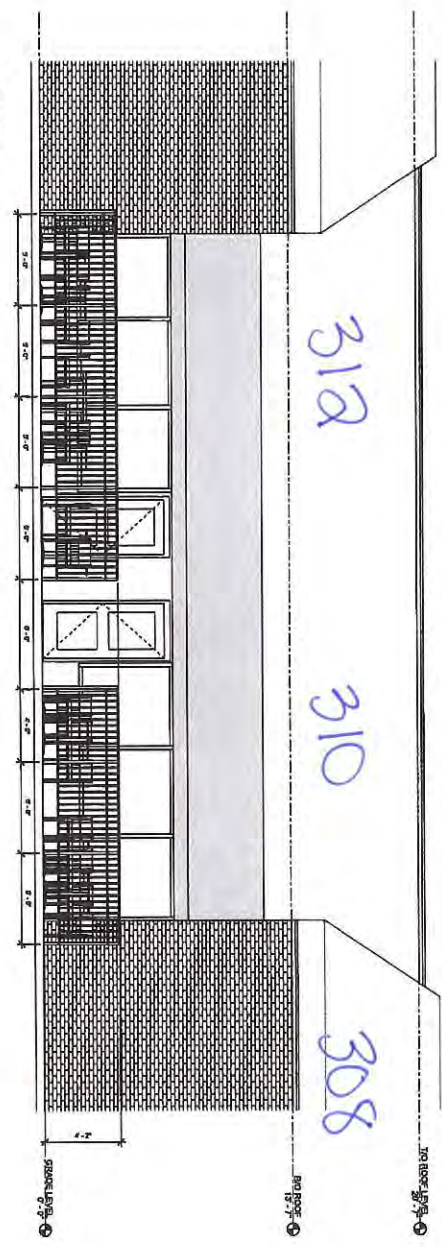
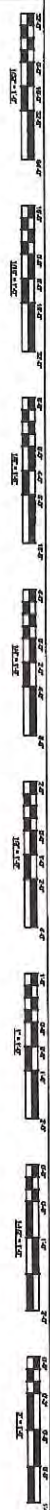
Sandy Andrews

Cell: 312-446-1857

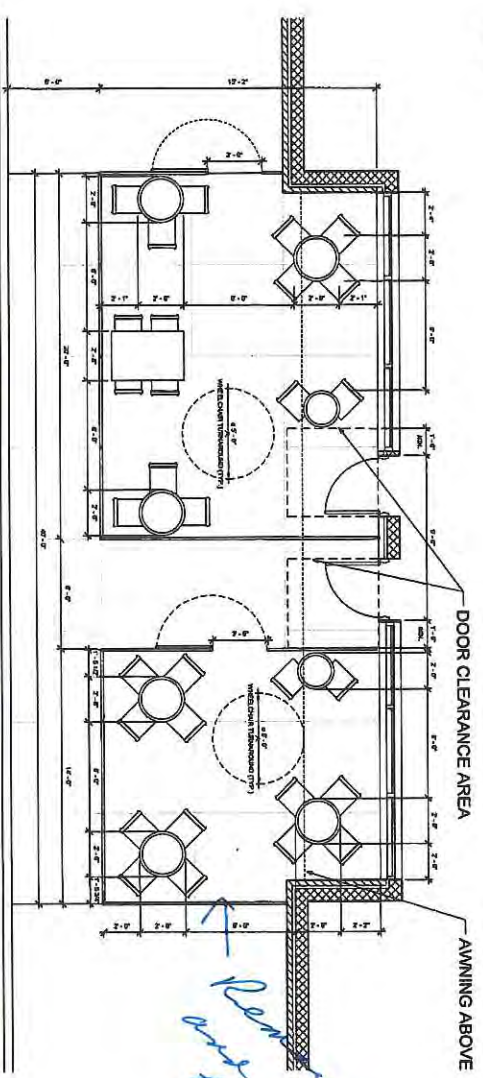
Office: 312-842-0320







③ FRONT ELEVATION  
1/8" = 1'-0"



① GRADE LEVEL  
1/8" = 1'-0"

312 310 308

Remove entire space  
and to pool space

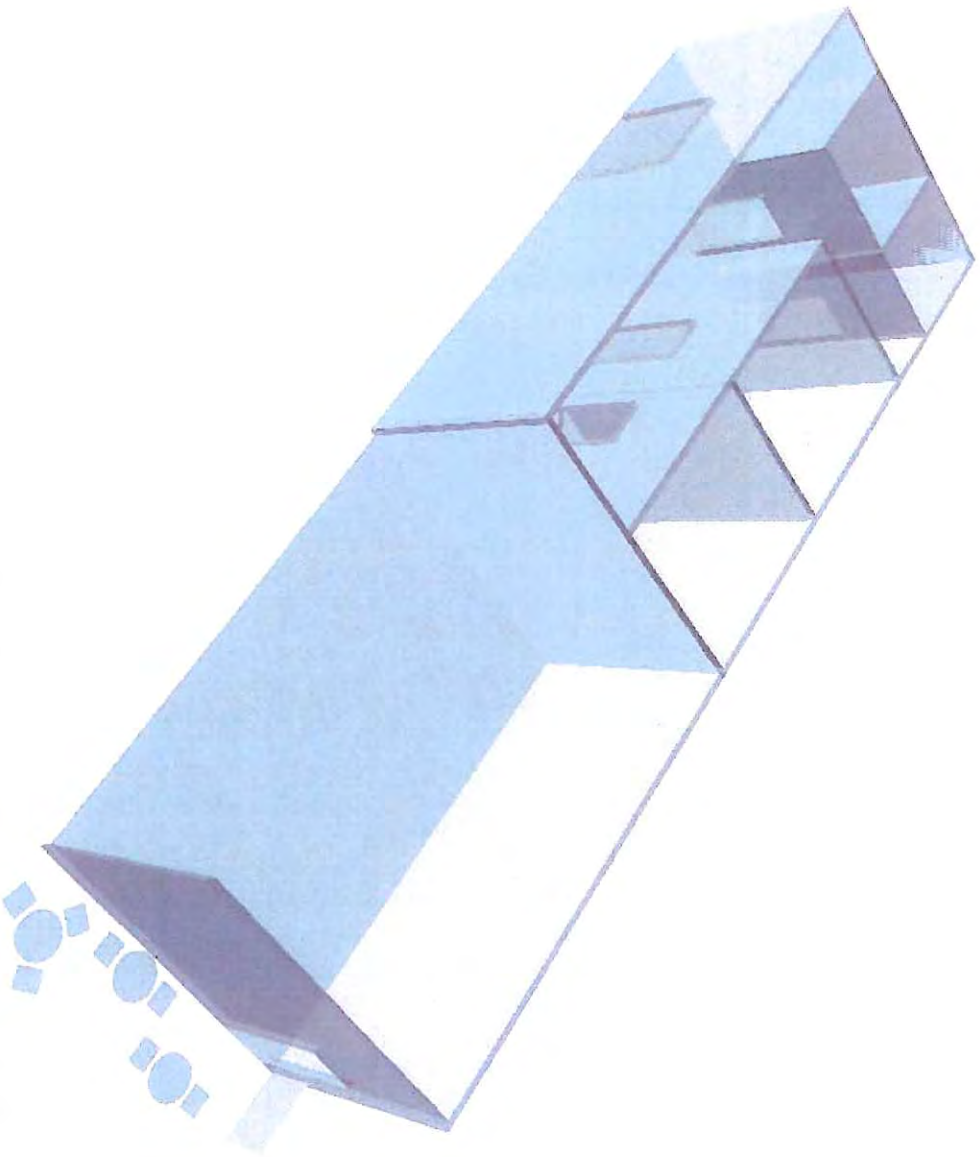
NOT FOR CONSTRUCTION

STUDIO  
ARQ

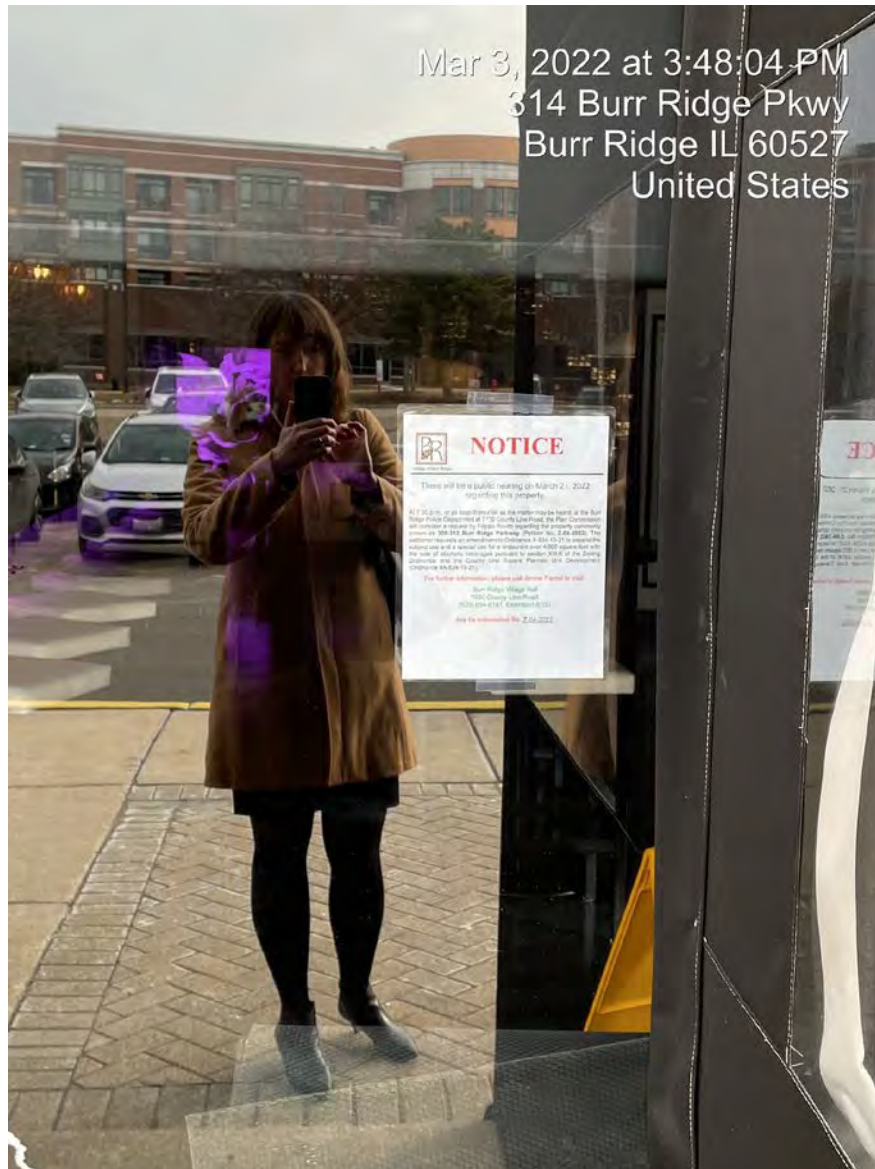
ARE WE LIVE

OUTDOOR SEATING LAYOUT  
BURR RIDGE, IL

PROJECT NO. Project Number  
TITLE  
EXISTING GRADE  
LEVEL  
Author  
Checker ASK001



Mar 3, 2022 at 3:48:04 PM  
314 Burr Ridge Pkwy  
Burr Ridge IL 60527  
United States





Mar 3, 2022 at 3:48:14 PM  
314 Burr Ridge Pkwy  
Burr Ridge IL 60527  
United States



## NOTICE

There will be a public hearing on March 21, 2022 regarding this property.

At 7:00 p.m. or as soon thereafter as the matter may be heard, of the Burr Ridge Police Department at 7700 County Line Road, the Plan Commission will consider a request by Felipe Ruelas regarding the property commonly known as 308-312 Burr Ridge Parkway (Parcel No. 2-64-2932). The subject use and a special use for a restaurant over 4,000 square feet with the sale of alcoholic beverages pursuant to section 90-9 of the Zoning Ordinance and the County Line Square Planned Unit Development Ordinance 84-934 (9-21).

For further information, please call Joanne Karmel at 630-

Burr Ridge Village Hall  
7800 County Line Road  
(630) 654-8181, Extension 6100.

Ask for Information No. Z-68-2022

Mar 3, 2022 at 3:48:29 PM  
310 Burr Ridge Pkwy  
Burr Ridge IL 60527  
United States

308



308

M



ORDINANCE NO. A-834-10-21

AN ORDINANCE GRANTING SPECIAL USE APPROVAL PURSUANT TO THE  
BURR RIDGE ZONING ORDINANCE FOR A RESTAURANT WITH SALES OF  
ALCOHOLIC BEVERAGES AND OUTDOOR DINING

(Z-01-2021: 312 Burr Ridge Parkway - Rovito/Andrews)

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WHEREAS, an application for special use approvals for certain real estate has been filed with the Village Planner of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held public hearings on the question of granting said special use approval on May 3, 2021 and June 7, 2021 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for special use approvals, including its findings and recommendations, to this Mayor and Board of

Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

**NOW THEREFORE, Be It Ordained** by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of special use approvals indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 312 Burr Ridge Parkway, Burr Ridge, Illinois, is Filippo Rovito and Sandy Andrews (hereinafter "Petitioner"). The Petitioner requests special use approval as per Section VIII.B.2.ff to permit the expansion of an existing restaurant with alcoholic beverage sales and outdoor dining.
- B. That the proposed restaurant expansion is in a shopping center with a variety of commercial tenants including other restaurants.
- C. That the subject property is appropriate for restaurants with sales of alcoholic beverages.



**Section 3:** That special use approvals for a restaurant with sales of alcoholic beverages and outdoor dining *is hereby granted* for the property commonly known as 312 Burr Ridge Parkway and identified by the Permanent Real Estate Index Numbers of **18-30-301-001; and 18-30-305-003.**

**Section 4:** That the special use is subject to the following terms and conditions:

1. The special use shall be limited to Filippo Rovito and shall be null and void should Filippo Rovito no longer have ownership interest in the restaurant consisting of approximately 2,500 square feet commonly known as 312 Burr Ridge Parkway.
2. Activity in the indoor restaurant area shall cease and all patrons shall vacate the premises no later than midnight on any given day.
3. Activity in the outdoor dining area shall cease and all patrons shall vacate the premises no later than 11pm on any given day.
4. The outdoor dining area shall comply with the Burr Ridge Municipal Code and Burr Ridge Zoning Ordinance in respect to ingress and egress as well as liquor control.
5. The outdoor dining plan and any remaining details be approved by staff.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

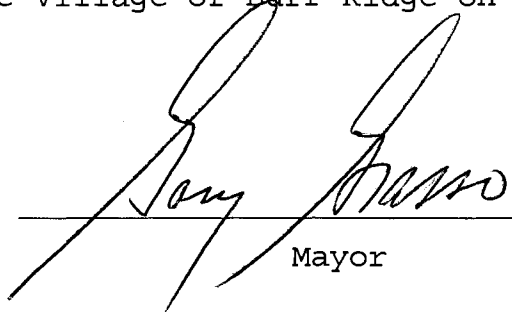
**PASSED** this 28<sup>th</sup> day of June, 2021, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES: 6 - Trustee Snyder, Smith, Franzese, Schiappa,  
Paveza, Mital

NAYS: 0 - None

ABSENT: 0 - None

APPROVED by the Mayor of the Village of Burr Ridge on this  
28<sup>th</sup> day of June, 2021.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
Village Clerk

ORDINANCE NO. A-834-19-21

AN ORDINANCE GRANTING A PLANNED UNIT DEVELOPMENT AS PER SECTION  
VIII.B.2.CC OF THE ZONING ORDINANCE FOR THE PURPOSE  
OF CREATING PARKING AND LAND USE REGULATIONS  
AT THE SUBJECT PROPERTY

(Z-08-2021: 50-124 and 200-324 Burr Ridge Parkway -  
Village of Burr Ridge)

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WHEREAS, an application for special use approval for certain real estate has been filed with the Village Administrator of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Plan Commission of this Village held public hearings on the question of granting said special use approval on July 19, 2021, August 16, 2021, September 20, 2021, and October 4, 2021 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in The Doings, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Plan Commission has made its report on the request for a PUD Amendment, including its findings and recommendations, to this Mayor and Board of Trustees, and this Mayor and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the Mayor and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This Mayor and Board of Trustees find that the granting of special use approval indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this Mayor and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 50-124 and 200-324 Burr Ridge Parkway, Burr Ridge, Illinois, is the Village of Burr Ridge (hereinafter "Petitioner"). The Petitioner requests a Planned Unit Development as per Section VIII.B.2.cc of the Zoning Ordinance for the purpose of creating parking and land use regulations at the subject property.
- B. That the shopping center is unique in its overall development pattern.
- C. That the subject property requires a PUD to ensure proper land use regulations are put in place which deliver adequate municipal control but also permit the healthy development of the subject property.

**Section 3:** That special use approval for a PUD *is hereby granted* for the property commonly known as 50-124 and 200-324 Burr Ridge Parkway and identified by the Permanent Real Estate Index Numbers of 18-30-305-003-0000; 18-30-301-001-0000; and 18-30-305-005-0000.

**Section 4:** That the PUD is subject to the following terms and conditions set forth in Exhibit A.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The

Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

**PASSED** this 8<sup>th</sup> day of November, 2021, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

**AYES:**        6 - Trustees Schiappa, Mital, Smith, Franzese, Paveza, Snyder

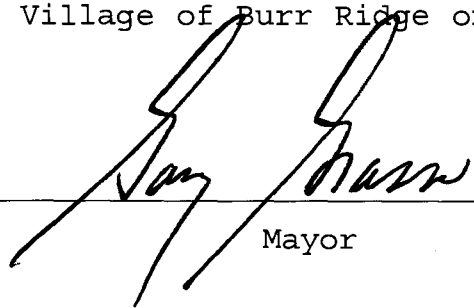
**NAYS:**        0 - None

**ABSENT:**     0 - None

**APPROVED** by the Mayor of the Village of Burr Ridge on this 8<sup>th</sup> day of November, 2021.

ATTEST:

  
Village Clerk

  
Mayor

**PLANNED UNIT DEVELOPMENT REGULATIONS RELATED TO THE  
SHOPPING CENTER AT 50-324 (EXCLUDING 150) BURR RIDGE PARKWAY**

The following regulations are intended to govern the current use, scope, as well as present and future conditions of the subject property at 50-324 (excluding 150) Burr Ridge Parkway, known at this time as “County Line Square Shopping Center”, as described in Exhibit A (Plat of Survey).

**Operation within Enclosed Buildings**

All business, service, storage, merchandise display, repair, and processing, where allowed, shall be conducted within a completely enclosed building, except as follows:

- a. Outdoor activities are permitted for uses which by definition require outdoor activities such as parking and loading areas, automobile service stations, or recreation areas for child care centers and nurseries.
- b. Outdoor activities listed as special uses may be approved by the Board of Trustees upon recommendation from the Plan Commission subject to the Zoning Ordinance.
- c. Temporary (less than or equal to 72 hours in total duration) outdoor activities may be permitted subject to written approval by the Village Administrator or their designee. Such activities shall not include any permanent improvements, buildings, or structures. Outdoor activities which may be permitted include festivals, tent sales, or seasonal sidewalk sales.

**Signs**

Building Signs located at the subject property are subject to the issuance of a sign permit by the Village. Building Signs are subject to the following regulations:

- a. Each tenant shall be permitted one Building Sign on the building façade.
- b. Each Building Sign shall not exceed one square foot for each lineal foot of the storefront or tenant space width with a minimum area allowed of 20 square feet and a maximum area allowed of 40 square feet.
- c. All tenants are permitted to affix Storefront/Window Signs, defined as any covering of the front window for advertisement purposes, without need for a sign permit and in adherence to the following regulations:
  1. The sum total of all Storefront Signs shall not exceed 30 percent of the total area of the windows in which they are located.
  2. Storefront Signs shall not have any moving parts.
  3. A series of windows that are separated by frames and supporting material of less than six inches in width shall be considered as a single window for the purpose of computation.
  4. Storefront Signs must be hung from some appurtenance of the tenant space and may not be taped or suction-cupped to the window, except if the advertisement is not related to the business' primary functions and is equal or less than 8 ½ x 11 inches in size and laminated.

Design guidelines for Building Signs shall be defined as follows:

- a. Signs are limited to trade names and logo (as identified in the lease). Listing of merchandise or descriptions of categories are not permitted. Signs may not include payment options or the terms "We Accept" in any form or variant.
- b. Iridescent and flashing signs, flashing lights, animated elements, formed plastic, injection molded plastic, and internally illuminated box signs are prohibited.
- c. Exposed raceways, exposed transformers, and visible sign company labels are not allowed. Transformers should not be visible and installed within a tenant's frontage. Animated components, formed plastic, or non-durable signs are not allowed. All signage materials shall be UL-Rated.
- d. No sign maker's labels or identifications may be visible on the exterior of the sign.
- e. No signs with a visible back are permitted and fasteners should be concealed. All supports and fasteners must be of a non-ferrous metal of a quality material and finish.
- f. Exposed neon is not permitted.
- g. All signs must include a seven-day, 24-hour clock to control illumination of storefronts.
- h. All signs must not be more than 12 inches in depth.

*Non-Internally Illuminated Individual Letter Signs*

- a. Dimensional letter or graphics, pin-set or otherwise applied directly to the face of storefront area with external illumination. Signage types include metal, acrylic, or wood letters.
- b. Signs shall not be placed on background material.
- c. All signs must be lit with either a concealed fixture or as a design element i.e. decorative gooseneck fixture.

*Silhouette (Halo) Reverse Channel Lettering*

- a. Background surfaces of the sign shall be opaque and not reflect the illumination of image of the neon lamps within the letters.
- b. All neon tubing must be fully concealed within the letter to not be visible to the public.
- c. The rear edge of the letter shall be approximately one inch from the background surface.
- d. Standoff brackets shall be mounted in the least visible location to support the letters.
- e. Standoff brackets and fasteners visible within the one-inch dimension between the background surface and the back of the letter shall be painted to match the background surface.
- f. P-K transformer housings shall be provided to feed the neon to each letter of the sign.
- g. Halo-type signs must have clear Lexan backing on the rear of the letters.

In all instances, signs must not exceed three total colors, including white.

*Shopping Center Ground Sign*

Shopping center signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. One shopping center ground sign may be allowed subject to the following:

- a. Shopping center ground signs shall be consistent in design and materials with wall signs.
- b. Shopping center ground signs shall be a maximum area of 100 square feet in area.
- c. Shopping center ground signs shall not exceed a maximum height of 8 feet except as allowed by paragraph e below.

- d. Shopping center ground signs shall be setback a minimum of 10 feet from all property lines except as required by paragraph e below;
- e. The height of shopping center ground signs may be increased up to 12 feet provided that the sign is setback an additional 3 feet for each 1 foot increase in height. For example, a 9 foot high sign would require a 13 foot setback from all property lines, a 10 foot high sign would require a 16 foot setback.

#### Landscaping and Buffering

Any element of the subject property which adjoins or is across the street from a Residential District, a fence or wall of architectural design approved by the Village and not less than five nor more than six feet in height, or a densely planted tree or shrub hedge, initially not less than five feet in height, shall be provided along the entire length of the property line which adjoins or is across the street from the Residential District. The proposed method of buffering shall be considered as part of the site plan review process herein set forth. The decision whether to require a wall, fence, trees, or shrub hedge shall be made by the Village based on site considerations.

#### Hours of Operation for Business Uses

- a. The hours of operation for all uses within this Ordinance shall not exceed 7 A.M. to 10 P.M. on a permitted basis.
- b. Any use may request special use approval in accordance with the procedures and requirements outlined in the Zoning Ordinance to exceed these permitted hours.
- c. Any previously-approved special use shall be considered a use's permitted hours of operation until and unless revisions are specifically made to this extent.

#### Permitted and Special Uses

##### *Permitted Uses*

No building, structure, or land shall be used and no building or structure shall be erected, altered, or enlarged which is arranged, intended, or designed for other than any of the following uses:

- a. Antique shops
- b. Art stores, including galleries, custom art studios, art supplies, and related functions
- c. Bicycle sales, including rental and repair and service functions
- d. Book, stationery, card, and related gift shops
- e. Camera and photographic supply stores
- f. Carpet and rug stores with retail component
- g. China, glassware, and household goods stores
- h. Computer, business machine, and office equipment and supply stores
- i. Dry cleaning or laundry receiving establishment (with majority of cleaning done off-site)
- j. General apparel stores, including furriers, leather shops, jewelry stores with repair services, shoe stores with repair services, tailor and dressmaking shops, and clothing rental stores
- k. Financial services offices, including financial planning, real estate, or insurance offices
- l. Florists



- m. Food stores, including grocery stores, supermarkets, bakeries, health food stores, fruit and vegetable stores, delicatessens, butchers, bulk food stores, candy stores, and other similar establishments
- n. Furniture stores
- o. Home improvement stores, including hardware stores, interior decorating stores, locksmiths, and paint and wallpaper stores
- p. Hobby shops, including toy stores, coin/philatelic stores, and craft/fabric/sewing stores
- q. Home contracting sales and services, including homebuilders
- r. Household appliance and electronics stores including repair and service functions where incidental to retail sales
- s. Medical, dental, and optical offices and clinics without ambulance or emergency services
- t. Movie and video game stores, excluding movie theaters
- u. Music stores, including the sale of music-related items and the teaching of music skills
- v. Offices for use by government agencies, except those related to the services provided by the Secretary of State's Vehicle Services Division
- w. Orthopedic and medical appliance stores
- x. Outdoor dining areas accessory to any permitted or special restaurant use subject to compliance with the regulations herein
- y. Personal improvement services, including health and fitness, barber shops and beauty and health services studio or instructional, and physical therapy offices, excluding fortune-telling or psychic and tattoo or body piercing establishments
- z. Pharmacies and drug stores
- aa. Photography and picture framing studios
- bb. Post offices or business service stores without outdoor parking or storage
- cc. Restaurants under 4,000 square feet (including specialty restaurants such as donut shops and ice cream shops), with or without sales of alcoholic beverages
- dd. Studios for teaching of art, martial arts, music, dance, gymnastics, etc.
- ee. Sporting goods stores, excluding uses whose primary functions are related to gun and ammo sales and/or shooting ranges
- ff. Temporary outside sales display accessory to a permitted or special use
- gg. Travel agencies
- hh. Tutoring centers for pre-school, primary, and secondary education
- ii. Wine shops and services without any on-site consumption except for sampling

### *Special Uses*

The following special uses may be permitted in specific situations in accordance with the procedures outlined in Section XIII of the Zoning Ordinance, as appropriate:

- a. Banks and financial institutions
- b. Banquet halls and catering establishments
- c. Child care centers and nursery schools
- d. Clubs or lodges, private, fraternal, or religious
- e. Drive through facilities accessory to a permitted or special use

- f. Dry cleaners with on-site equipment for dry cleaning
- g. Funeral parlors or crematoriums
- h. Gun and ammo sales, including shooting ranges
- i. Hours of operation exceeding 7 A.M. to 10 P.M. for any permitted or special use
- j. Liquor stores
- k. Live entertainment and dancing accessory to any permitted or special use
- l. Professional massage services
- m. Offices related to the Secretary of State's Vehicle Services Division
- n. Parking lots and structures where such uses are the principal use on a lot
- o. Pet shops and pet service stores, with or without overnight services
- p. Restaurants (including specialty restaurants such as donut shops and ice cream shops) over 4,000 square feet with or without sales of alcoholic beverages.
- q. Tobacco shops
- r. Wine boutique with ancillary service of wine and beer by the glass and with service of pre-packaged food for consumption on-site

#### Outdoor Dining Area Regulations

Restaurant outdoor dining areas shall be subject to the following:

- Dining areas must be limited to the linear frontage of the principal business to which the outdoor area is intended to serve;
- Dining areas shall be enclosed by an open fence of approved design preventing access to the outdoor dining area except by a doorway from the interior of the restaurant if table service is provided or alcohol served in the outdoor dining area;
- Door to the dining area shall be self-closing;
- Tables shall be cleaned promptly following use;
- Furniture and umbrellas shall be weighted to prevent their movement in the wind;
- Seating shall not exceed one chair for every 10 square feet devoted to outdoor dining and shall be counted in determining restroom and parking requirements;
- No outdoor dining area shall be located so as to impede pedestrian traffic or proper access to and from the restaurant, defined as being within 48" of a curblin or so as to impede the normal flow of pedestrian traffic into or from a doorway;
- Outdoor food preparation, storage or display is prohibited;
- All furniture must be stored in the rear or off-site of the subject property when not in use;
- Any and all outdoor dining areas must cease to be occupied not less than one-half hour prior to the closure of the principal business;
- Outdoor music, performances, and other such entertainment is prohibited within outdoor dining areas, except when specifically exempted by one-time permit by the Village Administrator or their designee;
- Approval of outdoor dining areas shall be subject to the Village's adopted building codes;
- Approval of outdoor dining areas may only be approved by the Village if they are also approved by the property owner;

- Outdoor dining areas must be cumulatively approved by the Village Administrator or their designee to determine final compliance with the regulations set forth herein; and
- Outdoor dining areas shall be included as part of the size calculation for restaurants.

### Parking Design Regulations

The subject property shall provide one parking space for each 200 gross square feet of commercial space available.

Every parking lot in excess of fifteen spaces shall contain planting islands for shade trees in compliance with the following standards:

- There shall be one island for every 15 parking spaces and one shade tree for each island.
- Each parking lot landscape island shall be a minimum of 9 feet wide and 18 feet in length.
- Required shade trees shall have a minimum 3 inch diameter measured two feet above ground level.
- Parking lot landscape islands generally shall be located at the ends of each row of parking (one double island to be located at the end of a double row of parking) and every 15 parking spaces within a row.
- Maintenance of Landscape Areas and Screening: All such landscaped areas and screening shall, once installed, be maintained in such manner as to retain at least the intended standards of the initial landscaping and to conform to the landscaping requirements of the Village.

### *Minimum Standards for Parking Stalls and Aisles*

Angle of Parking	45 Degrees	60 Degrees	90 Degrees
Width of Stall	9'	9'	9'
Stall Width (parallel to aisle)	12'9"	10'5"	9'
Stall Depth (perp. to aisle)	20'	21'	18'
Stall Length	19'	19'	18'
Aisle Width	13'*	17'*	24'

\*One-way aisles only

Parallel parking shall be permitted with stalls at least 24' in length with an aisle of 14'

Accessible parking areas shall be designed in accordance with State requirements

All open off-street loading berths, access drives, aisles, and maneuvering spaces shall be improved with an all-weather hard surface pavement including, at a minimum, a two inch (2") bituminous concrete surface course, with a twelve inch (12") minimum thickness aggregate base course, and six inch (6") high perimeter concrete curbing (Type B or Type B6:12) installed in accordance with Illinois Department of Transportation specifications.

### Parking and Loading Regulations

The area immediately adjacent to the curbline shall be permitted to be used as a standing and loading zone (as shown in Exhibit C in yellow), except no parking, standing, or loading areas shall

be designated near the traffic intersection (as shown in Exhibit C in red). It shall be unlawful for the driver of a vehicle to stand a passenger vehicle for a period of time longer than is necessary for the loading or unloading of passengers, groceries, or freight in any place along the curblane. It is prohibited to park a vehicle, whether occupied or not, along the curblane at the subject property. Parking or excessive standing/loading shall be defined as five (5) consecutive minutes. Signs shall be erected every 100 feet along the curblane to this effect. Additionally, restaurants may exclusively operate valet services in areas shown in Exhibit C in blue between 5:00pm-10:00pm from Thursday-Sunday if they provide written notice to the Village and the property owner. Blue-designated areas shall serve as yellow-designated standing and loading zones outside of these hours. All employees of and agents or parties directly affiliated with a business must provide or receive deliveries in the rear of the property; third party agents may provide or receive deliveries in the front of the property.

All restaurant uses over 4,000 gross square feet must provide and continually operate a parking management plan, which shall include, at minimum, valet service to be present on Thursday-Saturday evenings after 5:00pm.

Employees at all businesses shall park behind the primary building (articulated in Exhibit B), except when cases when all legally permitted spaces behind the building are occupied.

Parking of trucks in the open shall be prohibited. Trucks making deliveries to the business premises shall make deliveries only at loading docks where provided and, if there is no loading dock, such trucks may park only for such time as is necessary to complete the delivery.

## Janine Farrell

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**From:** Patricia Davis <patti@davismedpr.com>  
**Sent:** Monday, March 14, 2022 1:34 PM  
**To:** Janine Farrell  
**Cc:** gtrzupek@esadesign.com  
**Subject:** Plan Commission meeting March 21, 2022

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Dear Ms. Farrell, Chairman Trzupek, and Plan Commissioners:

I am writing in strong opposition to Mr. Rovito's petition for nearly doubling the size of his Are We Live? (AWL) lounge from approx.. 2,500 sq. ft. to "over 4,000 sq. ft.". I respectfully request that this letter and attached photos (four) be included in the agenda packet for the March 21, 2022 Plan Commission meeting.

As Yogi Berra once said, "It's like déjà vu all over again!" Do you recall...

- In 2020 this Plan Commission and the Board approved the soon-to-be-open sports bar, Jonny Cab's, in County Line Square, approx.. 4,000 sq. ft. Many residents are upset because they feel they were not adequately notified during the approval process;
- Last Spring nearly 100 residents emailed, sent letters, and appeared at meetings opposing AWL, yet this Commission and the Village Board approved its special uses over the wishes of those residents;
- During the approval process for AWL last year, this Plan Commission struggled with the parking situation in County Line Square. When Jonny Cab's opens soon, that will make seven dining/drinking establishments open in the evening at the east end of the mall.

Plan Commissioner Stratis touted petitioner Rovito as "a good citizen" (6/1/21 Plan Commission meeting minutes). Village Board trustees claimed Rovito "is an excellent restaurant operator," "a great neighbor," and "a great citizen" (6/28/21 Board meeting minutes). But this petitioner violated numerous ordinances when he erected this large, obscene LED sign ("Don't Give A F\*\*k Just Smile") outside AWL and hosted outdoor dining and drinking on the public right-of-way (see attached photos) last September. Mr. Rovito was never fined for this egregious behavior.

Mr. Rovito and his lounge do not merit additional trust and expansion when petitioner has a documented history of violating Village ordinances:

- AWL erected its outdoor signage six months before receiving approval to operate;

- AWL was approved for 310-312 Burr Ridge Parkway, but has already expanded into #308 and is now just asking for permission after the fact;
- AWL has advertised and hosted “Happy Hours” in violation of current municipal code;
- AWL has featured “live entertainment” (DJ, live music, etc.) despite not having an approved special use. In fact, its approved petition specifically stated, “There will be no live entertainment at Are We Live. The only music that there will be is what is piped in through the speakers.”

Ask yourselves: does Are We Live really need an expansion if it’s now closed on Sundays and Mondays (pared-back days since its initial approval)?

Let’s see how the parking situation plays out in a few weeks when Jonny Cab’s opens. And demand Mr. Rovito prove to residents he can follow the rules for AWL’s permitted outdoor dining BEFORE granting any indoor expansion. Thank you.

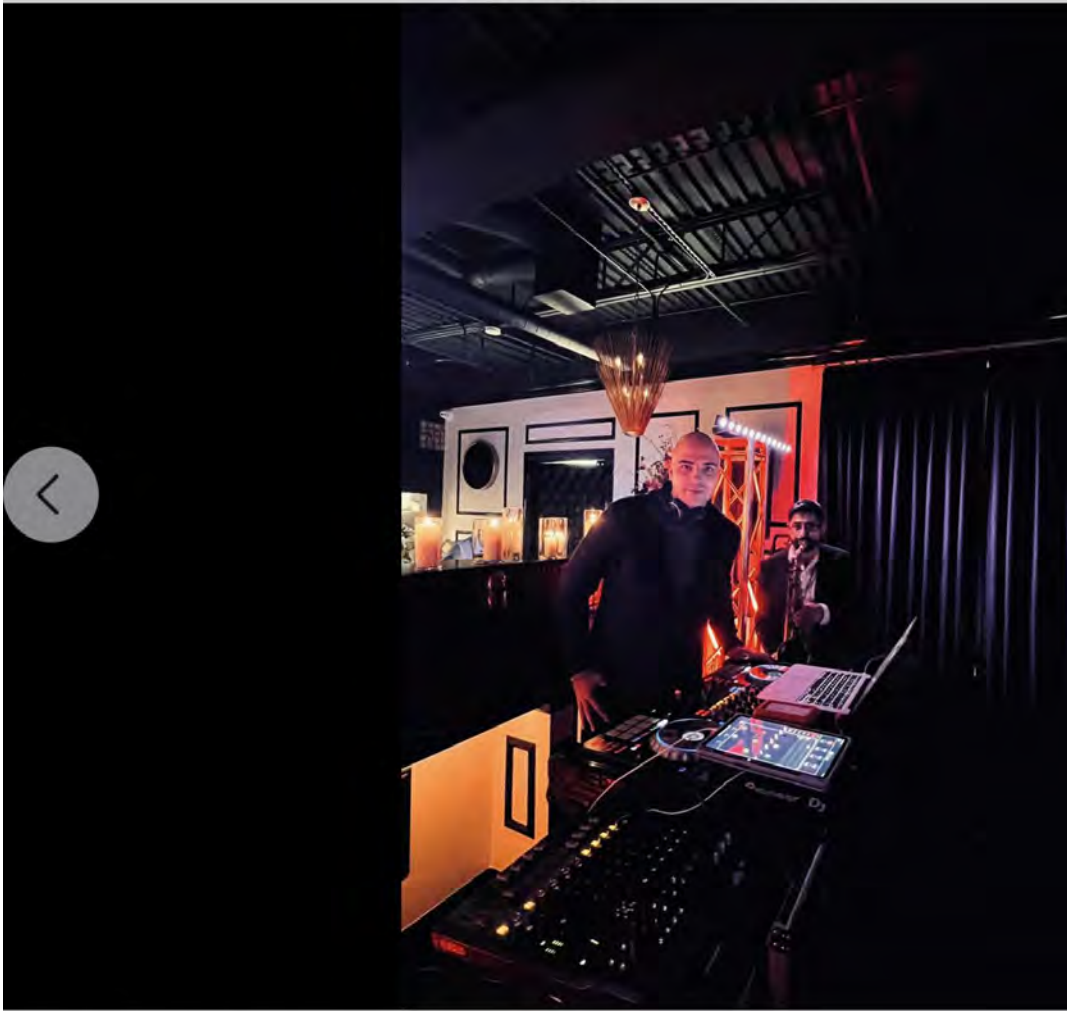
Respectfully submitted,  
Patricia A. Davis  
Burr Ridge resident











**i Donatas DJ**

November 21 at 3:20 PM · Burr Ridge, IL · 🌐

— at Are We Live?



Are We Live

3h · 🌐



NEW [#HappyHour](#) Wednesday-Friday from 4-6pm at [#AreWeLive!](#)  
Stop by after work or shopping for \$4 [#Beers](#), \$6 Glasses of [#Wine](#)  
& [#7](#) [#Martinis](#)! (ask your server or bartender for today's selections)  
[#CapriByGigi](#)



## Janine Farrell

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**From:** Patricia Davis <patti@davismedpr.com>  
**Sent:** Tuesday, April 26, 2022 12:55 PM  
**To:** Janine Farrell; gtrzupek@esadesign.com  
**Subject:** Comments for May 2 Plan Commission meeting

Dear Ms. Farrell, Chairman Trzupek, and Plan Commissioners:

I am writing in strong opposition to Mr. Rovito's petition for nearly doubling the size of his Are We Live? (AWL) lounge from approx.. 2,500 sq. ft. to "over 4,000 sq. ft.". I respectfully request that this letter and attached photos (six) be included in the agenda packet for the May 2, 2022 Plan Commission meeting. My comments are slightly different than what I presented to the Commission for its March 21 meeting on this subject.

- In 2020 the Plan Commission and the Board approved the soon-to-be-open sports bar, Jonny Cab's, in County Line Square, approx.. 4,000 sq. ft. Many residents are upset because they feel they were not adequately notified during the approval process;
- Last Spring nearly 100 residents emailed, sent letters, and appeared at meetings opposing AWL, yet this Commission and the Village Board approved its special uses over the wishes of those residents;
- During the approval process for AWL last Spring, this Plan Commission struggled with the parking situation in County Line Square. When Jonny Cab's opens soon, that will make **seven dining/drinking establishments open in the evening at the east end of the mall;**
- During that AWL approval process last Spring, this Plan Commission heard repeated assurances from the Mr. Rovito and his contractor, Sandy Andrews, that "there will be no live entertainment at AWL. The only music that there will be is what is piped in through the speakers." (See photo.) Now Rovito/Andrews are asking for "live entertainment" and AWL will therefore be a "night club," contrary to what this Commission approved and contrary to Mr. Rovito's/Ms. Andrews' and Mayor Grasso's many assurances to the Village that AWL "is not a nightclub." (See for ex.: <https://patch.com/illinois/burridge/facts-are-we-live-have-been-distorted-nodx>)

Plan Commissioner Stratis touted petitioner Rovito as "a good citizen" (6/1/21 Plan Commission meeting minutes). Village Board trustees claimed Rovito "is an excellent restaurant operator," "a great neighbor," and "a great citizen" (6/28/21 Board meeting minutes). But this petitioner violated numerous ordinances when he erected this large, obscene LED sign ("Don't Give A F\*\*k Just Smile") outside AWL and hosted outdoor dining and drinking on the public right-of-way last September. (See photos.) Mr. Rovito was never fined for this egregious behavior.

Why would you permit AWL expansion when Mr. Rovito a documented history of violating Village ordinances:

- AWL erected its outdoor signage six months before receiving approval to operate (<https://patch.com/illinois/burrridge/burr-ridge-wants-nightclub-sign-down>);
- AWL has advertised and hosted “Happy Hours” in violation of current municipal code; and
- AWL has featured “live entertainment” (DJ, live music, singers, etc.) on multiple occasions despite not having an approved special use. (See photos.)

AWL was approved to operate at 310-312 Burr Ridge Parkway, but since last August Mr. Rovito has been renting not only #308 (ostensibly for “storage”) but also spaces #302, # 304 and #306 Burr Ridge Parkway. (See Garber rent rolls attached, some are marked “Are We Live Expansion.”) Seems he has had thoughts of expansion for some time.

Since its approval, AWL has reduced the number of operating days to just five. Why does it seek expansion other than to compete with the larger Jonny Cab’s?

I urge the Commission to see how the parking situation plays out in a few weeks when Jonny Cab’s opens. And demand Mr. Rovito prove to residents he can follow the rules for AWL’s permitted outdoor dining BEFORE granting any indoor or outdoor expansion. Thank you.

Respectfully submitted,  
Patricia A. Davis  
Burr Ridge resident

From: [Patricia Davis](#)  
To: [John Lavelle](#), [sandy@burr-ridge.com](#)  
Subject: Comments for May 2 Plan Commission meeting  
Date: Tuesday, April 26, 2022 12:55:08 PM

Dear Ms. Farrell, Chairman Trzupek, and Plan Commissioners:

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Since its approval, AWL has reduced the number of operating days to just five. Why does it seek expansion other than to compete with the larger Jonny Cab's?

I urge the Commission to see how the parking situation plays out in a few weeks when Jonny Cab's opens. And demand Mr. Rovito prove to residents he can follow the rules for AWL's permitted outdoor dining BEFORE granting any indoor or outdoor expansion. Thank you.

Respectfully submitted,  
Patricia A. Davis  
Burr Ridge resident

From: [Sandy Andrews](#)  
To: [Douglas Pollock](#)  
Subject: Re: 312 Burr Ridge Parkway Public Hearing  
Date: Sunday, April 25, 2021 2:23:15 PM

Doug,

There will be no live entertainment at Are We Live. The only music that there will be is what is piped in through the speakers.

Let me know if there is anything else that you need.

Regards,

Sandy Andrews

Sent from my iPhone

On Apr 25, 2021, at 2:11 PM, Douglas Pollock <DPOLLOCK@burr-ridge.gov> wrote:

Sandy,

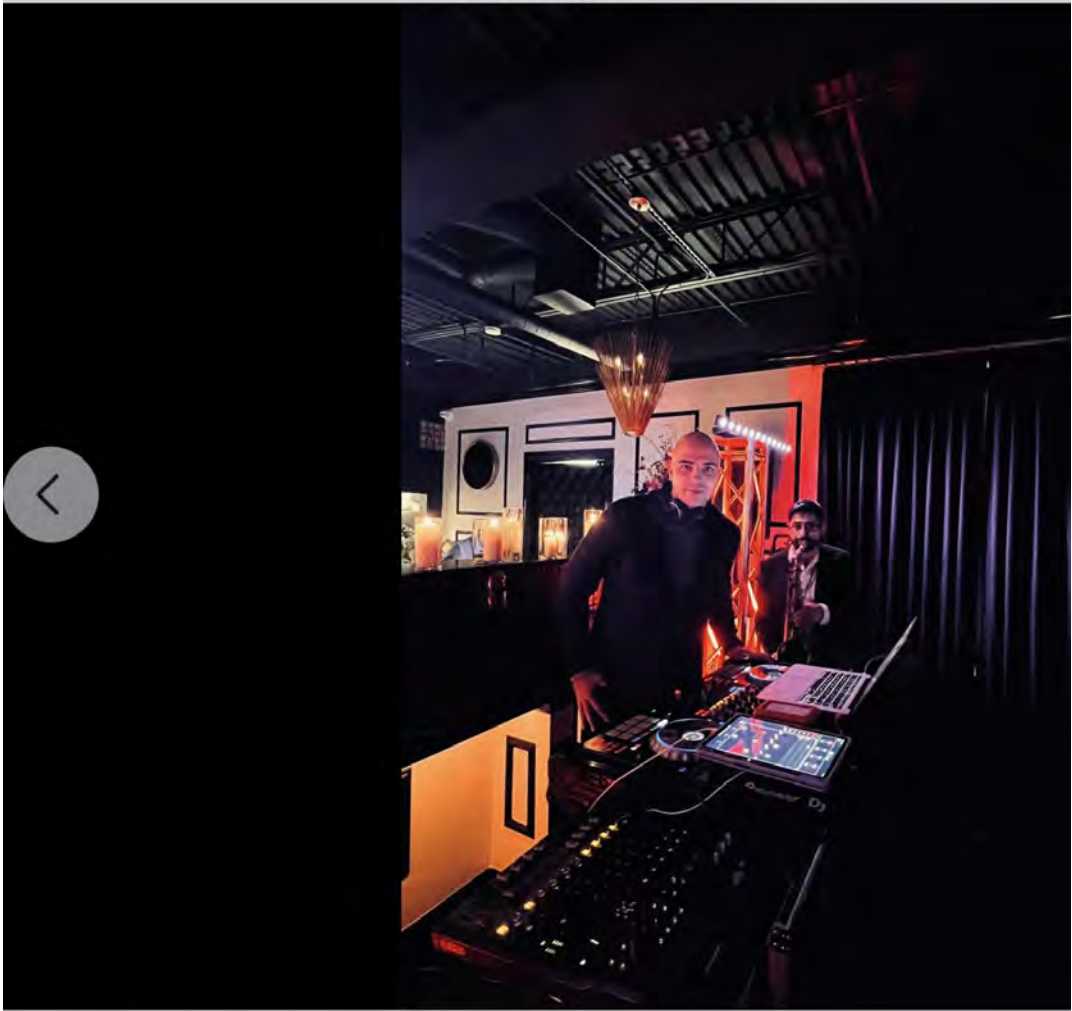
I apologize as I should have thought to ask this before; please provide a description of the live entertainment. For example, are there performances by musical groups of 3 or more people? Or is limited to karaoke only? Single performers, piano bar, etc...

Doug Pollock, AICP  
Planner  
Village of Burr Ridge  
(630) 654-8181, extension 3000









**i Donatas DJ**

November 21 at 3:20 PM · Burr Ridge, IL · 🌐

— at Are We Live?

302	Gig's Kitchen/Banquet	2,470	2.8%	Aug-2021	Sep-2022
304	Are We Live Expansion	1,309	1.5%	Aug-2021	Sep-2022
308	Are We Live Expansion	1,309	1.5%	Aug-2021	Sep-2022
310-12	Are We Live	2,420	2.7%	Oct-2021	Sep-2022

Source: Sean Mason, Chicago Real Estate Resources, Chicago, IL, "Garber Portfolio Rent Roll"



**From:** [Elena Galinski](#)  
**To:** [Janine Farrell](#)  
**Subject:** Against Petition Z-04-2022:308-312 Burr Ridge Parkway  
**Date:** Tuesday, March 15, 2022 8:02:24 AM

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Dear Plan Commission:

As a citizen of Burr Ridge who has been disturbed to hear of several egregious violations of our ordinances by this petitioner Filippo Rovino, and specifically with regards to the subject property "Are We Live?" I request that you not amend the ordinance to allow the expansion of the special use. The petitioner has made improvements in spite of not having the appropriate permits and not waiting for them, violated signage ordinances, had live outdoor music at this location when it was specifically not allowed in the prior special use, and shown a general disregard for the ordinances and legal processes of Burr Ridge. These are not the actions of a good neighbor; these are not actions that should be rewarded by allowing expansion of a business, hours, and usage. Please consider this and do not amend the ordinance to allow this expansion.

Best regards,

Elena Galinski  
Burr Ridge Taxpayer and Citizen

**From:** [Judy Raica](#)  
**To:** [Janine Farrell](#)  
**Subject:** Expansion of Are We Live  
**Date:** Sunday, March 13, 2022 1:49:40 PM

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I am strongly opposed to any expansion of the Are We Live venue in Burr Ridge. I am out of town and unable to attend the meeting concerning this. I am most concerned about the Village's apparent change from a restaurant focused area to a "bar" scene. Does the Village Board truly understand what that will do to the environment and "flavor" of our neighborhood? Is the plan for Burr Ridge to be a destination for "nightclubbers?" That's not compatible to a family friendly community. Isn't that what Burr Ridge has been for years?

I feel the Board was not transparent from the beginning with the changes made to the Fred Astaire location to a bar. This was done without adequate input from the community. Now it is made worse by the continual addition to locations that are not restaurant focused but "bar" focused.

I live in Chasemoor directly on Chasemoor Drive and I am most concerned my property values will be negatively impacted because of the increased traffic and issues related to having so many location to what you are proposing.

Judy Raica  
160 Easton Place  
Burr Ridge, IL 60527

**From:** [Lynn Sellers](#)  
**To:** [Janine Farrell](#)  
**Subject:** Burr Ridge Bars  
**Date:** Saturday, March 5, 2022 6:45:31 AM

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Ms. Farrell,

As a 16 year resident of Chasemoor in Burr Ridge, I am disappointed to see the change in the culture of the community with bars and entertainment venues. Before "Are We Live" even opened, the loud music from County Wine Merchant could be heard in my home, even with the windows closed! It is disappointing that the beautiful, quiet community I moved into is changing so drastically.

Please count me as one who is strongly opposed to the turn in the nature of my community.

Lynn Sellers

**From:** [PJ Rojakovick](#)  
**To:** [Janine Farrell](#)  
**Subject:** Are We Live  
**Date:** Monday, March 21, 2022 2:29:53 PM

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As a long time resident of Burr Ridge and Chasemoor I would like to declare my opposition to the Are We Live expansion and the changes to it's original permits and licensing.

The Burr Ridge Board must be mindful of the residents of Chasemoor and very careful of what these changes can mean for their property values.

Patricia Rojakovick

**From:** [Ellen Raymond](#)  
**To:** [Janine Farrell](#)  
**Subject:** Z-04-2022; 308-312 Burr Ridge Parkway (Rovito); please confirm receipt  
**Date:** Tuesday, April 26, 2022 1:10:14 PM

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To: Burr Ridge Land Planner Ms. Janine Farrell, BR Plan/Zoning  
Commission Chairman Greg Trzupek, and BR Plan/Zoning Commissioners:

Re: Z-04-2022; 308-312 Burr Ridge Parkway (Rovito)

Hearing Date: 5/2/22

For submission to the BR P & Z for inclusion in the packet for the May 2, 2022  
continued hearing for the above referenced matter and to be read into the record.

I was told by staff that today, 4/26/22, was the deadline for residents' comments to be included in the packet provided by staff to the BR Plan Commission. As of 1:00 pm, today, 4/26/22, neither the BR Village Manager nor the BR Land Planner have provided the proposed parking plan and outdoor seating plan in response to my emailed requests. Such plans were requested by the Commissioners at the 3/21/22 hearing. Accordingly, since such plans are not available for the residents to review in a timely fashion to submit comments for the packet, I request that the hearing be again continued or the request be denied for lack of the petitioner's preparedness.

Further, as the Commission recognized on 3/21/22, this hearing is not the first time the AWL venue has been presented. As the request for the special use and variances for AWL was met with opposition by the residents during the 6/7/21 hearing, any request for expansion should be denied.

I direct the Commissioners' attention to the over "70 letters" written by residents as referenced in the 6/7/21 Plan Commission/Zoning Board Minutes, the petitions opposing the special use, the statements by residents at the 6/7/21 hearing, the legal testimony of Neal Smith, an attorney hired by a residents' group, and the expert testimony of Mike Mallon of Mallon & Associates, Wheaton, all presented at the 6/7/21 hearing. I request such testimony and minutes be incorporated by reference as a part of this hearing.

Can the residents afford the legal help, the planning experts, the time and attention to this matter over and over again--absolutely not. And, therein, lies the unfairness of this hearing being held if the record made on 6/7/21 is ignored and not a matter of record for the 5/2/22 hearing.

Thank you for your attention to the residents' concerns regarding the creation and now expansion of this "high-end lounge" as characterized by its owner in the 6/7/21 meeting minutes.

Ellen K. Raymond

11538 Ridgewood



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-10-2022: 9115 Kingery Highway (Thorntons LLC); Requests Special Uses, PUD Amendment, Variations, and Findings of Fact** (see page 2 of report for full descriptions of requests)

**HEARING:**

May 2, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Ryan Swanson of Arc Design on  
behalf of Thorntons LLC

**PETITIONER STATUS:**

Civil Engineering Consultant

**PROPERTY OWNER:**

Burr Ridge CRE LLC

**EXISTING ZONING:**

B-2 PUD Business District

**LAND USE PLAN:**

Recommends Single-family  
residential

**EXISTING LAND USE:**

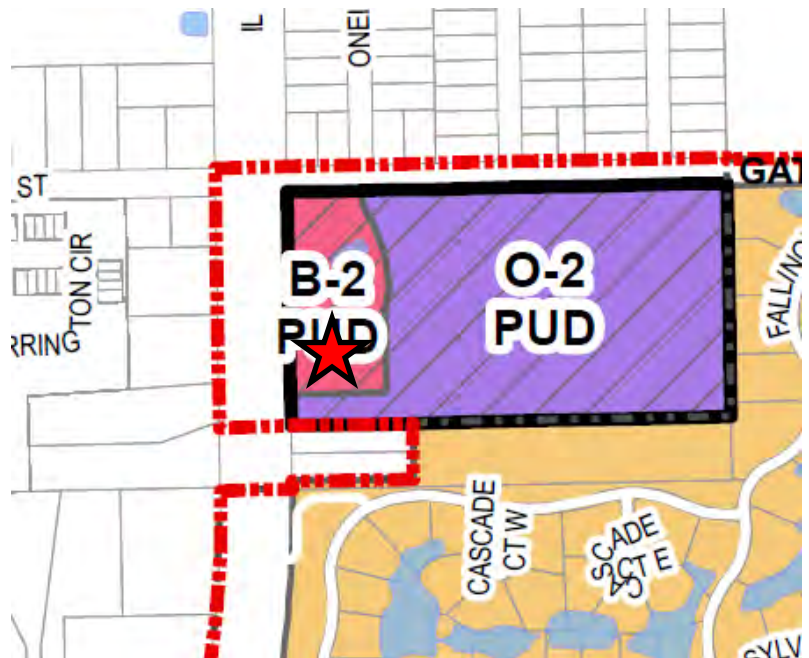
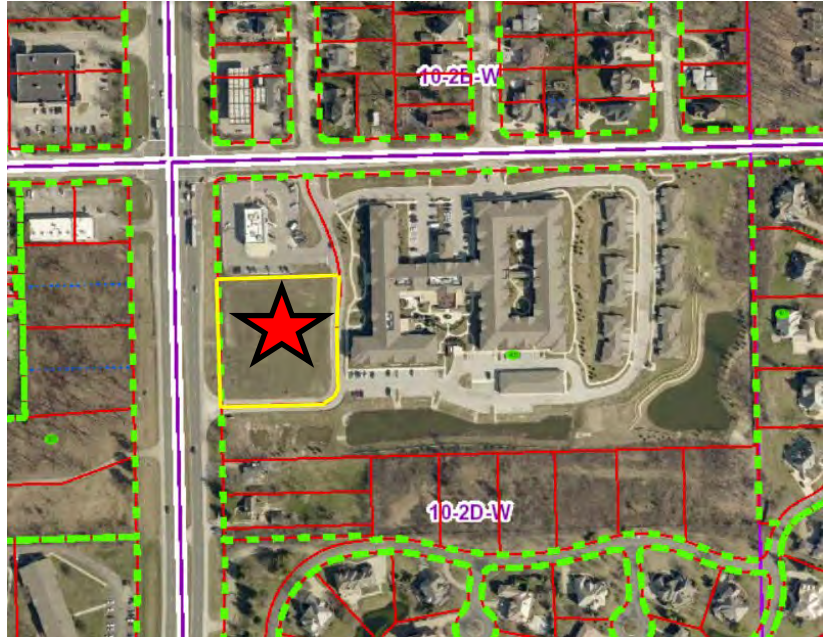
Unimproved/vacant

**SITE AREA:**

± 1.8 Acres

**SUBDIVISION:**

Spectrum Burr Ridge  
Resubdivision





Z-10-2022 Requests:

1. Amend the Spectrum PUD Ordinance #A-834-24-15 to permit the proposed gas station development.
2. Special use for an automobile gasoline sale station, with a convenience food store, packaged liquor, and tobacco sales (Section VIII.C of the Zoning Ordinance)
3. Special use for hours of operation exceeding 7:00 a.m. to 10:00 p.m., permitting 5:00 a.m. to 11:00 p.m. (Section VIII.C of the Zoning Ordinance)
4. Special use for an outside sales display accessory to a special use (Sections VIII.A and VIII.C of the Zoning Ordinance)
5. Variations to permit ground and walls signs in excess of 100 sq. ft. of area measuring 155 sq. ft. (Sections 55.06.A.1 and 55.06.A.2 of the Sign Ordinance)
6. Variation to permit more than one wall sign per street frontage for a total of three (Section 55.06.A.2 of the Sign Ordinance)
7. Variation to permit a free-standing gasoline pricing sign (Section 55.06.A.4.a of the Sign Ordinance)
8. Variation to exceed the maximum sign face square footage for a gasoline pricing sign from 20 sq. ft. to 49.8 sq. ft. and 40 sq. ft. to 99.6 sq. ft. (Section 55.06.A.4.b of the Sign Ordinance)
9. Conditional sign approval for a sign with five colors, exceeding the three colors permitted (Section 55.06.B.5 of the Sign Ordinance)
10. Variations to permit an average foot candle light level of 4.39 exceeding the 1.0 permitted and a uniformity ratio of 4.39 to 1 exceeding the 4 to 1 permitted (Section XI.C.9.c.2 of the Zoning Ordinance)

The Petitioner is Ryan Swanson of Arc Design Resources, Inc., on behalf of Thorntons LLC. Thorntons is proposing to develop the vacant site with a gas station and convenience store. The 4,400 sq. ft. convenience store will have packaged liquor and tobacco sales. There will not be any drive-through restaurant or establishment as part of the convenience store. Outside of the convenience store is small outdoor display area for items like firewood or propane, commonly found at gas stations. This outdoor display area requires special use approval and is illustrated on the plans provided. Ten fuel pumps (20 fueling stations) are proposed which will service personal vehicles. There will not be any pumps dedicated to or accommodating semi-truck traffic. The petitioner is requesting extended hours of operation, 5:00 a.m. to 11:00 p.m., which is beyond the 7:00 a.m. to 10:00 p.m. permitted. The neighboring property to the north, McDonald's, was approved for extended hours 5:00 a.m. to 11:00 p.m. in 2018 (Ordinance A-834-09-18). The petitioner provided a detailed business plan, site plan, architectural elevations, and Findings of Fact all included as Exhibit A. Exhibit A also includes a comparison of the proposed development with a previous traffic study performed.

The petitioner is requesting several variations from the Sign Ordinance and conditional sign approval in order to install one ground sign, two wall signs on the convenience store, and one sign on the fuel canopy. Sign Plans are included in Exhibit A. The petitioner outlined the sign variation requests as part of the narrative also included in Exhibit A.

The petitioner included a Photometric Plan (Exhibit A) and is requesting a variation from the average foot candle light level amount and the uniformity ratio. The petitioner outlined the variation requests as part of the narrative also included in Exhibit A. The increased lighting is primarily due to the fact that this is a gas station with fueling pumps, requiring increased lighting

in the evening. The highest footcandle amount along the southern property line, which is nearest to single-family residential uses, is only 0.1. The highest footcandle amount along the Route 83 property line is 1.0. The highest footcandle amount along the eastern property line, which is nearest to the senior living complex, is 1.5. The highest footcandle amount along the shared property line with McDonald's is 2.7.

### **Public Hearing History**

Z-12-2015 (Spectrum PUD): Special use approval for a PUD. Condition B of the approved Ordinance (A-834-24-15) states that "the future preliminary and final plans for the commercial development on Lot 2 under this planned unit development shall be submitted to the Plan Commission for its review and recommendations, and then to the Board of Trustees for approval, all as required by Section XIII.L of the Burr Ridge Zoning Ordinance." At the time, Lot 2 included both the subject parcel and the parcel now occupied by McDonald's.

### **Public Comment**

Staff received several inquiries from the public regarding this request, but no formal comments. One objection was received but later withdrawn after the individual was informed that this property is on the east side of Route 83, not the west side.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings. If the Plan Commission chooses to recommend special use approval for the proposed gas station, staff recommends that said recommendation be subject to the following conditions:

1. Final plans shall substantially comply with the submitted business plan, site plan, landscape plan, building elevations, photometric plan, and sign plans attached hereto as Exhibit A.
2. The special uses shall be limited to Thorntons LLC or a designated franchisee in a manner consistent with the submitted business plan and shall expire if Thorntons LLC or a designated franchisee no longer operates the business at 9115 Kingery Highway.
3. The hours of operation shall be limited to 5:00 a.m. to 11:00 p.m.

**Appendix**

Exhibit A - Petitioner's Materials

- Application
- Business Plan
- Findings of Fact
- Traffic count information/comparison to previous traffic study
- Plat of Survey
- Site Plan (includes a Landscape Plan)
- Photometric Plan
- Architectural Elevations and Floor Plans
- Sign Plans

Exhibit B – Excerpt from the Sign Ordinance for signs in the Business District

Exhibit C – Excerpt from Zoning Ordinance for off-street parking lighting regulations



# EXHIBIT A

## VILLAGE OF BURR RIDGE

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED  
MAR 28 2022  
VILLAGE OF BURR RIDGE

#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Ryan Swanson - on behalf of Thorntons LLC

STATUS OF PETITIONER: Civil Engineering Consultant

PETITIONER'S ADDRESS: 5291 Zenith Parkway, Loves Park, IL 61072

ADDRESS OF SUBJECT PROPERTY: 9115 Kingery Hwy, Burr Ridge, IL 60527

PHONE: 815-484-4300 x217

EMAIL: ryans@arcdesign.com

PROPERTY OWNER: BURR RIDGE CRE LLC

PROPERTY OWNER'S ADDRESS: 3010 HIGHLAND PKWY, UNIT 225, DOWNERS GROVE IL 60515 PHONE: \_\_\_\_\_

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

Please note, the GIS system currently lists the address for the property as 9115 Kingery Hwy, Willowbrook, IL 60527.

The subject property will have a revised address of Burr Ridge if the development is approved by the Village. The PIN is 1002400020.

See supplemental narrative outlining requested special use and variations.

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: ± 1.8 acres EXISTING ZONING: B-2 PUD

EXISTING USE/IMPROVEMENTS: vacant/unimproved

SUBDIVISION: Spectrum Burr Ridge Resubdivision

PIN(S) # 10-02-400-020

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Ryan Swanson  
Petitioner's Signature

3/25/22  
Date of Filing



March 15, 2022

From: BURR RIDGE CRE LLC  
3010 Highland Pkwy, Unit 225,  
Downers Grove, IL 60515  
Phone: 630-686-6811  
Email: tad@gaincre.com

To: Village of Burr Ridge, IL  
Community Development  
7660 County Line Road  
Burr Ridge, IL 60527  
(630)654-8181

**Re: Authorization Letter for: 9115 Kingery Hwy, Willowbrook IL 60527 (PIN 1002400020)**

To whom it may concern:

As the record owner of the above stated property, I hereby affirm that I have full legal capacity to authorize **Thorntons LLC (Todd Smutz), Arc Design Resources (Ryan Swanson and Lauren Downing), and their representatives**, to act as the owner's agent through the Community Development / Variance / Special Use / Site Plan / Engineering and Building Plan review process with the Village of Burr Ridge for said property.

Owner Name (printed): Tad Lagestee, Burr Ridge CRE LLC Title: Manager

Signature: Tad Alan Lagestee Date: 3-15-22

County of Henrico  
Commonwealth of Virginia

Subscribed and Sworn to Before Me This 15th Day Of March, 20 22.

Notary Signature 

Electronic Notary Public

Notarized online using audio-video communication



Dequan Winborne

REGISTRATION NUMBER

7940580

COMMISSION EXPIRES

June 30, 2025



**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

9115 Kingery Hwy, Burr Ridge IL 60527

Property Owner or Petitioner:

RYAN C. SWANSON

(Print Name)

R-C Swanson

(Signature)

## **Thorntons of Burr Ridge, IL**

Special Use and Variance Narrative  
9115 Kingery Hwy, Burr Ridge, IL 60527

### **Project Summary and Proposed Use**

Thorntons LLC is the contract purchaser of the approximately 1.8 acre vacant outlot located near the southeast corner of the intersection of IL-83 and 91<sup>st</sup> Street. Thorntons is requesting approval of a Special Use, amendment to the current PUD, and variances.

Per Village Zoning Code - Section VIII Business Districts: a special use is required for the following items proposed for the development:

- outdoor sales
- outdoor displays of merchandise
- convenience food stores
- liquor sales (packaged)
- tobacco sales
- Planned Unit developments
- Proposed hours of 5 A.M. – 11 P.M. (hours are outside 7 AM – 10 PM)

### **Scope of Work**

The proposed includes the construction of a 4,400 SF convenience store, 10 fuel pumps (20 fueling positions) under canopy, 33 parking stalls, refuse enclosure and other related site amenities.

The proposed building features Nichiha stone, brick and architectural panels. The canopy columns are upgraded to feature a wrapped façade of Nichiha stone and brick to match the proposed convenience store. The refuse enclosure is also designed with materials consistent with the convenience store and canopy.

The development will utilize existing utility connections available on or adjacent to the site. Additionally, detention has been provided for the development as part of the Spectrum PUD

### **Business Operations**

The proposed Thorntons development will include a 4,400 square foot convenience store which will serve fresh and pre-packaged food products and a variety of beverages and refreshments to the community. The proposed Thorntons store intends to sell alcohol and tobacco products. This location will employ roughly twelve community members in both part-time and full-time employment. The requested hours of the convenience store and fueling station are 5:00 A.M. to 11:00 P.M.

### **Requests for Variations**

Thorntons LLC is requesting the following variances to the requirements of the Burr Ridge Village Code , Chapter 55, Signs:



**Sec 55.06. Business District Signs A.1. Ground Sign:**

A.1 Requirement: One ground sign shall be permitted for each lot or parcel provided the lot or parcel has at least 100 feet of frontage on a public street, that the height of such sign does not exceed 8 feet, that the sign is located a minimum of 10 feet from all property lines, and that the combined area of all ground signs and wall signs shall not exceed 100 square feet.  
Requested Variation: Variance of 64 sf to the requirement that the combined area of all ground signs and wall signs shall not exceed 100 sf thereby allowing the combined area to be 164 sf.

A.2 Requirement: Wall Sign: One wall sign per street frontage shall be permitted for each lot or parcel provided that the combined area of all wall signs and ground signs shall not exceed 100 square feet. Permitted wall signs shall be mounted no higher than the height of the building wall or twenty feet (20') whichever is lower, and no lower than five feet (5') above average surrounding grade.

Requested Variation: Variance of 2 to the requirement of one wall per street sign frontage thereby allowing a total of three (3) wall signs. The requested wall signs include two (2) on the IL-83 frontage and one (1) along the shared private drive frontage.

A.4.b Requirement (Gasoline Pricing Sign): A maximum of four (4) sign faces, with a total area not to exceed forty (40) square feet, shall be permitted, provided that no single sign face shall exceed twenty (20) square feet in area;

Requested Variation: Variance of 25 square feet to the requirement of 20 square feet for a single sign face and 50 square feet to the requirement of 40 square feet for total gas pricing signs to thereby allow a total square footage of 45 square feet for gasoline pricing sign per face, and 90 square feet for the total of the two faces.

**Sec 55.11. Prohibited Signs**

P. Requirement: The following signs are hereby expressly prohibited for erection, construction, repair, alteration or relocation within the Village, except as otherwise hereinafter specifically provided: Signs with more than three colors

Requested Variation: Variance of 1 color square feet to the requirement of three colors maximum on a sign thereby allowing a total of 4 colors on the proposed ground/gas sign (blue, red, white, green).

Findings of Fact supporting the granting of the above requested variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the Sign Code.
2. The plight of the owner was not created by the owner and is due to unique circumstances
3. The variation if Granted will not alter the essential character of the locality.

**Sec 55.06. A.1: The proposed use of the property as a convenience store with fuel sales requires larger price signage to allow motorists to make timely decisions thereby allowing safe turning movement into the property.**

**Sec 55.06. A.2: The proposed use of the property as a convenience store requires identification of the use. As such, we are requesting one wall sign on the building and canopy along IL-83 in addition to one along the private drive. The private drive was developed as part of a PUD and therefore the hardship that this is a private and not a street frontage occurred prior to the proposed development.**

**Sec 55.06. A.4.b:** The proposed use of the property as a convenience store with fuel sales requires larger price signage to allow motorists to make timely decisions thereby allowing safe turning movement into the property. Legible design for the displaying of gasoline products and prices is appropriate to the type of activity and allows for vehicles reasonable time to decrease speed from the posted 55 MPH limit to safely navigate into the drive servicing the business. Per the United States Sign Council, safe reaction and maneuvering time in a 55 MPH speed zone requires visibility at 647'. The use of 16" pricing numerals allows such visibility at 640' providing a safer approach for vehicular traffic.

**Sec 55.11. P:** The standard for diesel pricing is green which adds an additional color. All signs comply with the exception of the color green due to the diesel product.

Thorntons LLC is requesting the following variances to the requirements of the Burr Ridge Village Zoning Code, Chapter XI Off-Street Parking and Off-Street Loading:

*IX.D.9.c. Lighting:*

*(2) Intensity of illumination of parking areas shall not be less or more than the following standards: Except as otherwise specifically provided elsewhere in this Ordinance, parking lot lights must be no more than 20 feet high and be limited by the following factors: an average lighting level of 1.0 foot candle with a minimum of 0.75 foot candle; a uniformity ratio of not greater than 4-to-1, and lighting distribution shall be provided by cut-off type fixtures. All such parking lot lighting shall be extinguished or reduced in intensity to not more than an average of 0.5 foot candles no later than 30 minutes after the close of business.*

IX.D.9.c (2) Requirement: an average lighting level of 1.0 foot candle

Requested Variation: Variance of 3.39 foot candles to the requirement that the average lighting level is limited to 1.0 foot candle thereby allowing an average of 4.39 foot candles.

IX.D.9.c (2) Requirement: a uniformity ratio of not greater than 4-to-1

Requested Variation: Variance of 3.39 to the requirement that the uniformity ratio is 4:1 thereby allowing a uniformity ratio of 4.39:1.

Findings of Fact supporting the granting of the above requested variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the Sign Code.
2. The plight of the owner was not created by the owner and is due to unique circumstances
3. The variation if Granted will not alter the essential character of the locality.

**IX.D.9.c (2):** The increased average lighting level and uniformity ratio are necessary due to the proposed use as a convenience store with fuel sales requires higher lighting levels than a typical parking lot. This is due the required tasks which include, dispensing flammable liquid, checking oil, cleaning windshields, filling up tires with air, manipulating the dispenser, swiping credit cards, punching in codes, and taking receipts.



Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance

**Address:**

9115 Kingery Hwy, Willowbrook IL 60527

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

The requested Special Use is for the public convenience located along the IL-83 corridor. Thorntons is proposing to build a state-of-the-art convenience store with fuel sales. The c-store is proposed to be 4,400 sf and provide many items including fresh food such as hot sandwiches, freshly crafted sandwiches, wraps and other healthy options, coffee and drinks, donuts, and more. Sales will also include typical convenience items, limited groceries, packaged liquor and tobacco. A equivalent facility is not located in the general area of the proposed development.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The requested Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare as it will be operated consistent with other businesses located along a state highway corridor.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The requested Special Use is designed to be built and operated with the applicable regulations of Burr Ridge and the B-2 PUD district requirements subject only to the variations requested herein. Given the substantial investment in improvements and conformity to local requirements, it is not anticipated to be injurious to the uses and enjoyment of other property in the immediate vicinity no substantially diminish or impair property values within the area.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed special use is located on the remaining outlot in a Business zoned PUD. Therefore the surrounding property is already developed and it will not impede development.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The proposed special use is to be located on an existing outlot. All necessary support facilities have previously been constructed.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Existing ingress and egress from public streets have been developed as part of the larger Planned Unit Development. Two driveways to private drives are proposed at locations to minimize any impact to public streets.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed special use does not conflict with the Official Comprehensive Plan of the Village of Burr Ridge as amended.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The requested Special Use is designed to be built and operated with the applicable regulations of Burr Ridge and the B-2 PUD district requirements subject only to the variations requested herein.



Apr 15, 2022 at 1:26:57 PM  
10S507 Kingery Hwy  
Burr Ridge IL 60527  
United States



Apr 15, 2022 at 1:26:57 PM  
10S507 Kingery Hwy  
Burr Ridge IL 60527  
United States



## Traffic Memorandum

To: Village of Burr Ridge, IL

From: Arc Design Resources, Inc.

Date: March 24, 2022

**Re: Thorntons of Burr Ridge**

The proposed development is located at an existing out lot which is part of the Spectrum PUD/subdivision. The original PUD included a Traffic Impact Study which was completed in 2015.

The previously completed TIA considered the outlots would include two 4,500 sf drive-thru restaurants in addition to a 15,000 sf pharmacy. This resulted in the following trip generation (Table 2 from Spectrum Senior Living Development TIS by Sam Schwartz Engineer):

Land Use / Size	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Spectrum Senior Living / 190 Units	20	5	25	10	20	30
Restaurant w/ Drive-Thru / 9,000 sf	210	200	410	155	140	295
Retail/Pharmacy Outlot / 15,000 sf	30	15	45	60	65	125
<b>Total</b>	<b>260</b>	<b>220</b>	<b>480</b>	<b>225</b>	<b>225</b>	<b>450</b>

The 2015 report did not account for internal trip capture or pass-by trips. This resulted in the conservative trip generation shown in Table 1 for the outlots:

Table 1: Trip Generation - 2015

Land Use / Size	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Restaurant w/Drive Thru / 9,000 sf	210	200	410	155	140	295
Retail/Pharmacy Outlot / 15,000 sf	30	15	45	60	65	125
<b>Total</b>	<b>240</b>	<b>215</b>	<b>455</b>	<b>215</b>	<b>205</b>	<b>420</b>

In 2018, the Village approved an amendment to the Spectrum PUD and granted a special use for the 3,662 sf McDonalds located at 9101 Kingery Hwy. Therefore, the McDonalds plus proposed Thorntons results in the generated trips shown in Table 2. Additionally, fuel stations and drive-thru restaurants have a significant number of pass-by trips. For this evaluation, a pass-by trip percentage of 55% was

considered for the Convenience Store/Gas Station and a pass-by trip percentage of 45% was considered for the Restaurant w/Drive-Thru. Additionally, internal trip capture could be considered between the Restaurant, Convenience Store/Gas Station, and Senior Living. However, for this memorandum, internal capture is included in the Trip Generation table.

Table 2: Trip Generation - 2022

Land Use / Size (ITE 11 <sup>th</sup> Edition)	Trips	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Restaurant w/Drive Thru / 3,662 sf (934)	New	84	80	164	63	58	121
	Pass-by (45%)	38	36	74	28	26	54
Convenience Store/Gas Station / 4,400 sf – 20 positions (945)	New	270	271	541	227	228	455
	Pass-by (55%)	149	149	298	124	125	249
<b>Total</b>		<b>167</b>	<b>166</b>	<b>333</b>	<b>138</b>	<b>135</b>	<b>273</b>

As the traffic generated is consistent with the original considerations of the 2015 Traffic Impact Study, a new traffic study is not warranted.

End of Project Memo



# Stormwater Memorandum - Detention

To: Village of Burr Ridge, IL

From: Arc Design Resources, Inc.

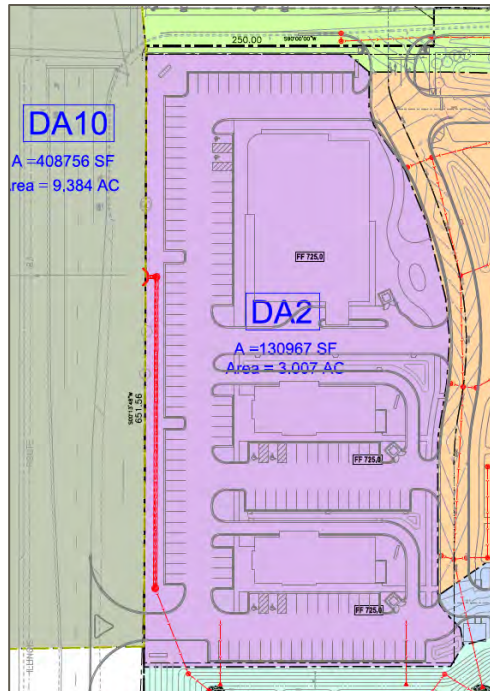
Date: March 24, 2022

**Re: Thorntons of Burr Ridge**

The proposed development is located at an existing out lot which is part of the Spectrum PUD/subdivision. The original PUD included a Stormwater Management and Wetland Study which was completed in 2016.

The previously completed stormwater management report considered the outlot to be part of Drainage Area 2 (DA2). DA2 included 3.007 acres total and included all commercial outlots to the western portion of the shared access drive. Per the Analysis, DA2 is considered to have a Runoff Coefficient of 0.912 and considered a total impervious area of 2.47 acres. Therefore, DA2 was considered to be 82% impervious.

Below is a portion of the proposed drainage map (pg 53 of 264) and proposed catchment areas (pg 54 of 226) by Cross Engineering and Associates:



SPECTRUM Senior Living - Burr Ridge, IL						
Proposed Drainage Area Subcatchment RCN Raw Calculations for EPA SWMM 5.1 Model						
Area (ac)						
Declared						
0.29	3.067457	1.714	0.979	4.707	1.845	
<b>DA1</b>	<b>DA2</b>	<b>DA3</b>	<b>DA4</b>	<b>DA5-off</b>	<b>DA5-on</b>	<b>DA6</b>
0.29	3.067457 (ac)	1.714 (ac)	0.979 (ac)	33255.28	171781.6	1.845 (ac)
				<b>0.763436</b>	<b>3.943564 (ac)</b>	
<b>Total Impervious</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>	<b>Areas</b>
720.8454	114854.9	19739.07	6443.191	Pervious	55440.7	21801.57
<b>0.016548 (ac)</b>	Pervious	26841.83	26968.43	1993.387	<b>83912.09</b>	44214.07
	192.3268	<b>Total Impervious</b>	Pervious	4081.351	11847.08	Pervious
	906.1867	46580.9	364.3398	90.9083	1388.981	6446.412
	3747.338	<b>1.06935 (ac)</b>	6651.072	375.6751	1460.438	<b>Total Impervious</b>
	440.2892		<b>Total Impervious</b>	2804.039	1674.963	59569.22
	1801.979		26396.21	4.9446	846	<b>1.367521 (ac)</b>
	<b>Total Impervious</b>		<b>0.605974 (ac)</b>	148.4573	1128	
	107766.8			174.8938	Pervious	
	<b>2.473985 (ac)</b>			25.8697	214.5862	
				6.3381	1901.906	
	110400.3 04/16 Adj			326.0276	<b>326.6421</b>	
	<b>2.534441 (ac) 05/16 Adj</b>			186.8113	448.1885	
				181.3282	1415.954	
	2.534441			<b>Total Impervious</b>	2087.195	
				22855.24	54242.09	
				(ac) <b>0.524684</b>	4395.904	
				<b>Total Impervious</b>	92665.79	
					<b>2.127314 (ac)</b>	



The proposed Thorntons development is located on a 1.8 acre outlot and contains 0.49 acres of pervious area and 1.31 acres of pervious area. Therefore, the Thorntons outlot is 73% impervious. As 73% impervious is less than 83% impervious, the original calculations are conservative and additional stormwater detention volume is not required for the proposed Thorntons development.

Additional stormwater calculations to address stormwater flows through the proposed storm sewers will be provided with the full engineering submittal at a future date.

End of Project Memo



SURVEYOR'S NOTES

This survey was based on a Title Commitment, provided to the surveyor, by Old Republic National Title Insurance, File No. 22146559, with a Commitment Effective Date of 12/27/2021.

TITLE COMMITMENT SCHEDULE B SECTION II DOCUMENTS:

Item 8 - The location of the right of way of Illinois Route 83 as shown on the Plat of Dedication for Public Highway filed December 11, 1931 in Book 21 of Plats, Page 39 as document 320350 is shown hereon this drawing. Note the eastern right of way line of Illinois Route 83 near the southwest corner of the surveyed property does not align with right of monuments found south of the site and there may have been additional grants of right of way in this area. See Detail at Sheet 3.

Item 9 - The location of the right of way contained in grants in favor of Northern Illinois Gas Company recorded February 25, 1958 as document numbers 871679 and 871680 is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 10 - The location of the right of way contained in grants in favor of Standard Oil Company, an Indiana corporation recorded October 21, 1959 as documents 944481 and 944482 to lay, maintain, operate, replace and remove pipeline for transportation of petroleum products, including right of access and ingress and egress thereto is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 11 - The location of the right of way contained in grants in favor of West Shore Pipeline Company, an Delaware corporation recorded October 14, 1960 as documents 983487 and 983495 to lay, maintain, operate, replace and remove pipeline for transportation of petroleum products, including right of access and ingress and egress thereto is in the right of way of Illinois Route 83 and is not on the surveyed property and is not explicitly shown hereon this drawing.

Item 12 - The surveyed property is included in the lands described in the Annexation Agreement between Burr Ridge Property Holdings, LLC, db/a Property Holdings of Burr Ridge and Village of Burr Ridge, Cook and DuPage Counties, Illinois, recorded January 22, 2016 as document R2016-06895.

Item 13 - The surveyed property is included in the lands described Ordinance No. 1156 entitled Ordinance Annexing Certain Real Estate recorded January 22, 2016 as document R2016-06686.

Item 14 - The surveyed property is included in the lands described in the Spectrum Senior Living Planned Unit Development Subdivision Improvement Completion Agreement by and between SAP Construction Management, LLC, a Colorado limited liability company, SK Burr Ridge Residential, LLC, a Delaware limited liability company and the Village of Burr Ridge recorded December 8, 2016 as document R2016-136474.

Item 15 - The easements shown on the Plat of Easement recorded November 13, 2017 as document R2017-116474 are not on and do not touch the surveyed property and are not shown hereon this drawing.

Item 16 - The portions of the Storm Sewer and Drainage Easement and Roadway Storm Sewer Easement over the Westerly 25 feet of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 17 - The portions of the Watermain Easement over a 10 foot wide strip of land across the Easterly and Southerly portion of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 18 - The portions of the Electric Easement for Monument over, upon and under the Westerly 10 feet of the land as shown on the plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 19 - The portions of the Storm Sewer and Drainage Easement over 10 foot side strip of land over the Easterly and Southerly lot lines and the Easterly and Southerly portions of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 20 - The portions of the Storm Sewer and Drainage Easement over 15 foot side strip of land over the Northerly lot line and Northerly portions of the land as shown on plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 are shown hereon this drawing.

Item 21 - The portions of the Sanitary Sewer Easement, Watermain Easement, Stormwater Management and Drainage Easement, Storm Sewer and Drainage Easement, IDOT Storm Sewer Easement, Monument Sign Easement, and Electric Easement for Monument Signas shown on the recorded plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 and within the scope of this survey are shown hereon this drawing.

Item 22 - The portions of the ComEd Easement provisions as disclosed on the recorded plat of Spectrum Burr Ridge Resubdivision recorded July 24, 2018 as document R2018-068228 and within this scope of this survey are shown hereon this drawing.

Item 23 - Easements specific to the Spectrum Senior Living PUD - Burr Ridge dated October 9, 2018 and recorded October 10, 2018 as document number R2018-095543 made by and between S-K Burr Ridge Residential, LLC, a Delaware limited liability company and S-K Burr Ridge Commercial, LLC, a Colorado limited liability company, (collectively referred to as the "Declarant") and subject to the Terms, provisions and conditions contained therein. Re-recorded October 31, 2018 as document number R2018-102038 and also re-recorded November 2, 2018 as document number R2018-102920 include the Lot 1 Cross Access Easement and the Shared Drive which are shown hereon this drawing. Temporary easements are not shown hereon this drawing.

Item 24 - Grant of Easement made by and between S-K Burr Ridge Residential, LLC Association and Comcast Illinois VI, LLC recorded June 18, 2018 as document R2018-055095, is blanket in nature over lands including the surveyed property and is not shown explicitly hereon this drawing.

2021 ALTA/NSPS LAND TITLE SURVEY TABLE A ITEMS:

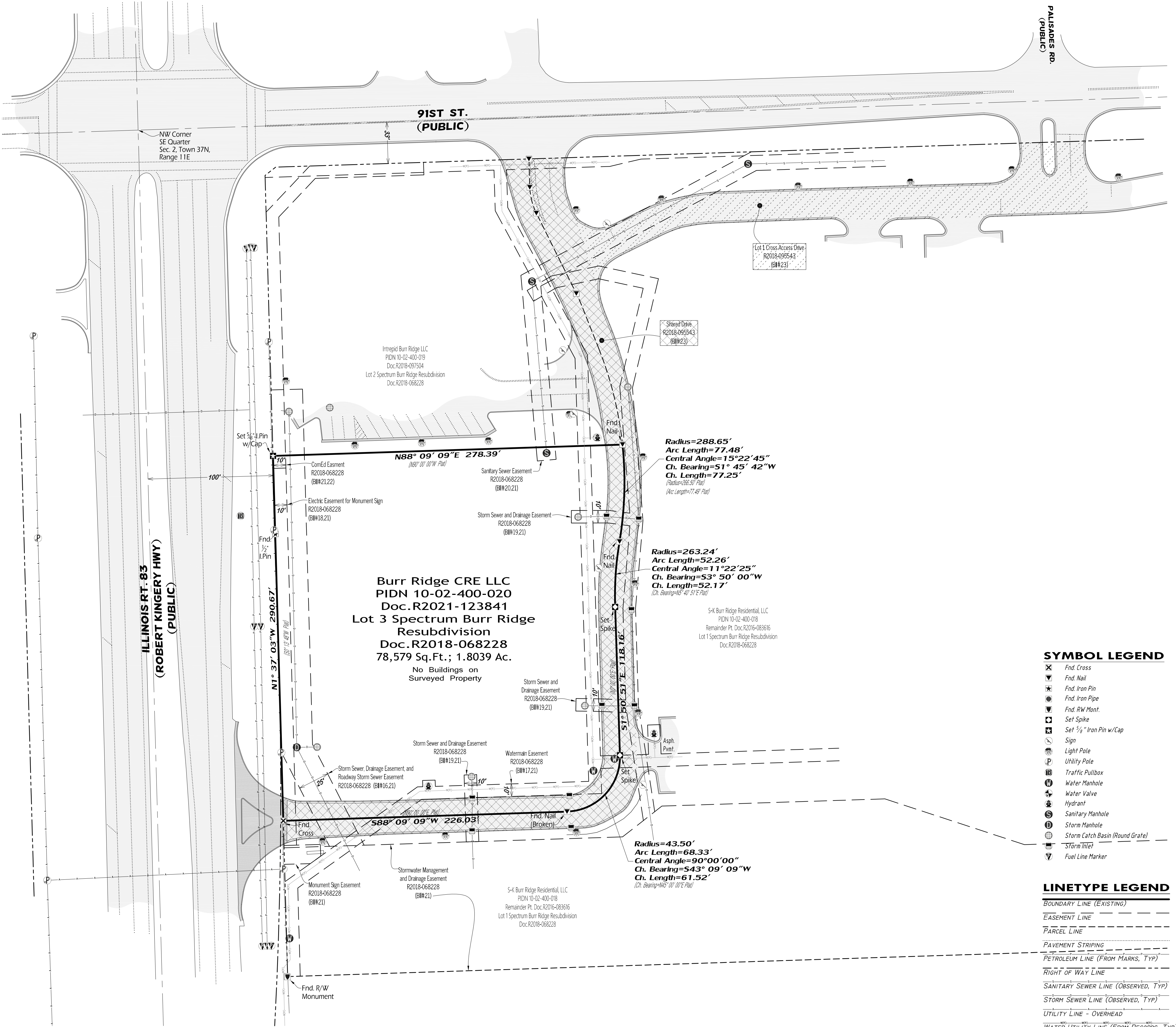
- Item 1: Corner Monuments are as noted and shown hereon this survey.
- Item 2: The address of the surveyed property as listed on the DuPage County Tax Parcel GIS Viewer is: 915 Kingery Hwy, Willowbrook, IL 60527
- Item 3: Flood Zone Data: The surveyed property is located in "Other Areas - Zone X", areas determined to be outside of 0.2% annual chance floodplain. This is based on the graphical location of the surveyed property on the Flood Insurance Rate Map for DuPage County, Illinois and Incorporated Areas, Map Number 1704-3C 02771, revision date 08.01.2019.
- Item 4: The surveyed property contains 78,576 Sq. Ft.; 1.8039 Acres.
- Item 5: Contours shown are at 1' intervals and are from ground survey and aerial Lidar. Elevation datum is NAVD88 based on RTK GPS observations at DuPage County Illinois 2006 Geodetic Monument No. DG501001
- Item 6(a): No current zoning report or letter was provided to the surveyor.
- Item 6(b): No current zoning report or letter was provided to the surveyor.
- Item 7(a): There were no buildings on the surveyed property.
- Item 8: Substantial features observed in the process of conducting the fieldwork are as shown hereon this drawing.
- Item 10: There were no division or party walls designated by the client.
- Item 11(b): Per agreement, no private utility locating service was utilized for this project. The location of utilities existing on or serving the surveyed property as determined by observed evidence, evidence from plans obtained from utility companies, or provided by the client and from markings requested pursuant to an 811 utility locate request are as shown hereon this drawing, noting that lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Also note that storm sewer structures were equipped with clean water features that prevented depth measurements.
- Item 13: The names of adjoining owners according to the current records are as shown hereon this survey.
- Item 14: The surveyed property is located 223 south of the intersection of Illinois Rt. 83 and 91st Street.
- Item 15: During this present fieldwork low altitude aerial photogrammetry (average GSD= 0.63cm/pixel), and debiased aerial LiDAR (GeoCue TrueView 515, precision specifications of this instrument can be found at manufacturer's website) were used for gathering data for the location of certain features (excluding boundaries) where ground measurements were not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary.
- Item 17: There were no proposed changes in street right of way lines made available to the surveyor. There was no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- Item 19: Evidence of Professional Liability Insurance per contract requirements are on file.

LEGAL DESCRIPTION

TITLE COMMITMENT SCHEDULE A NO. 5 EXHIBIT A  
LOT 3, SPECTRUM BURR RIDGE RESUBDIVISION, BEING A SUBDIVISION IN PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 24, 2018 AS DOCUMENT R2018-068228, IN DUPAGE COUNTY, ILLINOIS.

LEGAL DESCRIPTION

DOCUMENT# R2021-123841  
LOT 3, SPECTRUM BURR RIDGE RESUBDIVISION, BEING A SUBDIVISION IN PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 24, 2018 AS DOCUMENT R2018-068228, IN DUPAGE COUNTY, ILLINOIS.



PALISADES RD.  
(PUBLIC)

91ST ST.  
(PUBLIC)

ILLINOIS RT. 83  
(ROBERT KINGERY HWY)  
(PUBLIC)

Burr Ridge CRE LLC  
PIDN 10-02-400-020  
Doc. R2021-123841  
Lot 3 Spectrum Burr Ridge  
Resubdivision  
Doc. R2018-068228  
78,579 Sq. Ft.; 1.8039 Ac.  
No Buildings on  
Surveyed Property

SYMBOL LEGEND

- Find Cross
- Find Nail
- Find Iron Pin
- Find Iron Pipe
- Find Iron Mont.
- Set Spike
- Set 1/8" Iron Pin w/Cap
- Sign
- Light Pole
- Utility Pole
- Traffic Pullbox
- Water Manhole
- Water Valve
- Hydrant
- Sanitary Manhole
- Storm Manhole
- Storm Catch Basin (Round Grate)
- Storm Inlet
- Fuel Line Marker

LINETYPE LEGEND

- BOUNDARY LINE (EXISTING)
- EASEMENT LINE
- PARCEL LINE
- PAVEMENT STRIPING
- PETROLEUM LINE (FROM MARKS, TYP)
- RIGHT OF WAY LINE
- SANITARY SEWER LINE (OBSERVED, TYP)
- STORM SEWER LINE (OBSERVED, TYP)
- UTILITY LINE - OVERHEAD
- WATER UTILITY LINE (FROM RECORDS, TYP)



BAUMANN LAND SURVEY, INC.  
P.O. BOX 14834, CINCINNATI, OHIO 45250  
513.860.3999 WWW.BAUMANNLSI.COM

WARNING  
The location of all utilities and underground structures shown are approximate and are not necessarily all of the existing utilities and structures. It is the contractor's responsibility to determine the exact location and existence of all utilities and underground structures.



SEAL

ILLINOIS CERTIFICATION  
This professional service conforms to the current Illinois minimum standards for a boundary survey.

Thomas P. Baumann, PS  
Illinois Surveyor #3768  
Expires 11/30/2022

ALTA/NSPS CERTIFICATION  
To INSURE, LENDER, and Old Republic National Title Insurance. This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11(b), 13, 14, 15, 17, and 19 of Table A, thereof. The fieldwork was completed on 01/17/2022. Date of Plat or Map: DRAFT.

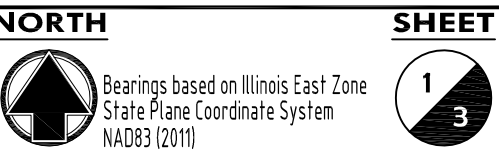
Thomas P. Baumann, PS  
Illinois Surveyor #3768  
Expires 11/30/2022

ALTA/NSPS  
LAND TITLE  
~SURVEY~  
PROPOSED THORNTONS SITE  
P2115  
BURR RIDGE, IL

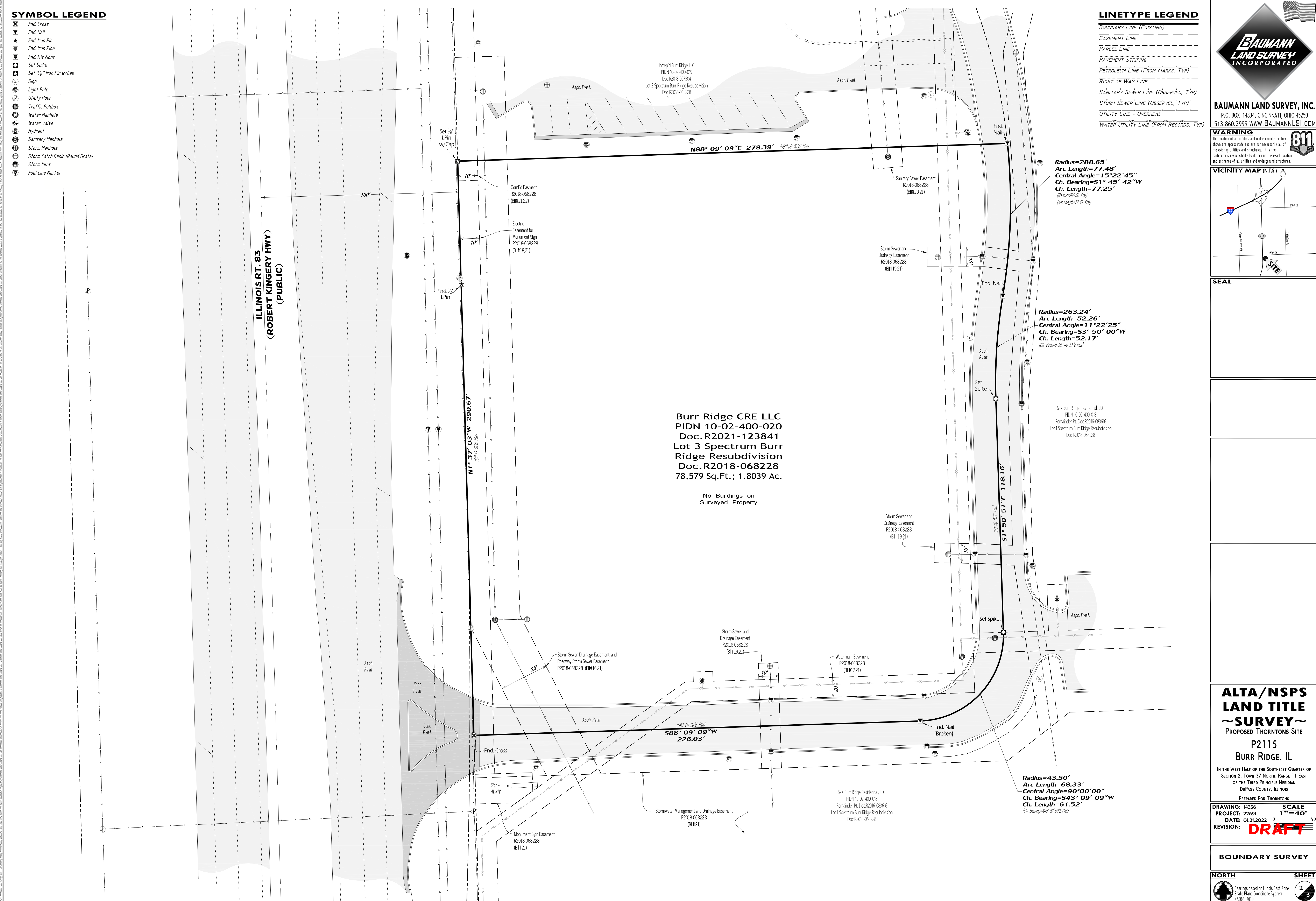
IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWN 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN DUPAGE COUNTY, ILLINOIS

PREPARED FOR THORNTONS  
DRAWING: 14356  
PROJECT: 22691  
DATE: 01.21.2022  
REVISION: DRAFT

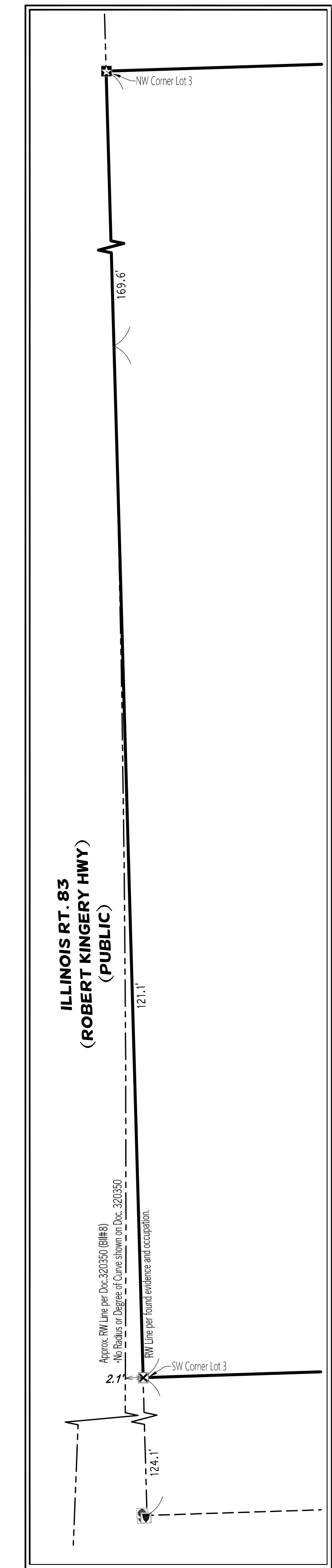
OVERALL SITE AND NOTES



























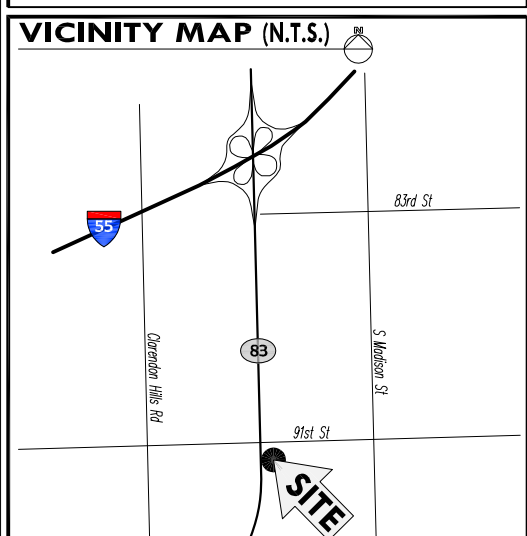


## SYMBOL LEGEND

	Fnd. Cross		Traffic Pullbox
	Fnd. Nail		Water Manhole
	Fnd. Iron Pin		Water Valve
	Fnd. Iron Pipe		Hydrant
	Fnd. RW Mount.		Sanitary Manhole
	Set Spike		Storm Manhole
	Set 1/2" Iron Pin w/Cap		Storm Catch Basin (Round Grate)
	Sign		Storm Inlet
	Light Pole		Fuel Line Marker
	Utility Pole		





**WARNING**  
The location of all utilities and underground structures shown are approximate and are not necessarily all of the existing utilities and structures. It is the contractor's responsibility to determine the exact location and existence of all utilities and underground structures.

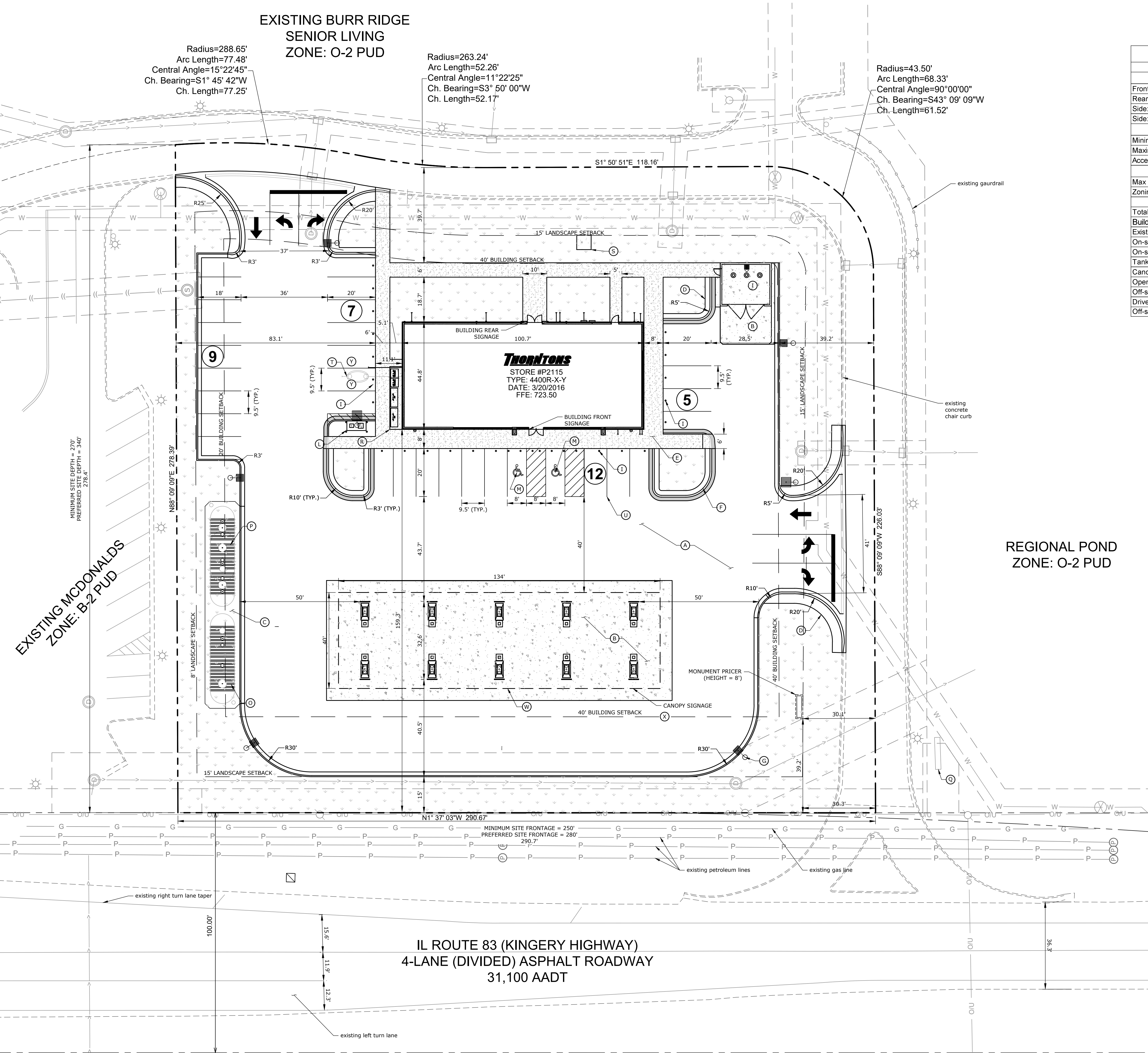


**SEAL**

**DRAWING:** 14356 **SCALE**  
**PROJECT:** 22691 **1"=40'**  
**DATE:** 01.21.2022  
**REVISION:**

<b>TOPOGRAPHIC SURVEY AND RIGHT OF WAY DETAIL</b>	
<b><u>NORTH</u></b>  Bearings based on Illinois East Zone State Plane Coordinate System NAD83 (2011)	<b><u>SHEET</u></b> 





Site Plan Summary Table		
	Required	Provided
Building Setbacks		
Front: South	40	150+
Rear: North	40	60+
Side: East	40	90+
Side: West	40	90+
Parking		
Minimum	38	53
Maximum	---	---
Accessible / Van Accessible	2 (1)	2 (2)
Land Use Data		
Max Building Height (Ft)	35	---
Zoning Category / Zoning Agency (City, County, etc.)	B-2 PUD - Village of Burr Ridge, DuPage County	
Total Site Area (S.F.)	78,576	
Building Area (S.F.)	4,400	
Existing Building Area (S.F.)	N/A	
On-site Vehicular Circulation (Paved) (S.F.)	38,702	
On-site Sidewalk (S.F.)	3,530	
Tank Pad Area (S.F.)	1,243	
Canopy Area (S.F.)	5360	
Open Space (S.F.)	21,361	
Off-site Sidewalk Area (New and/or Replaced) (S.F.)	0	
Driveway Apron / Turnout Areas (in Public ROW) (S.F.)	---	
Off-site Roadway Improvements (Turn Lane, etc.) (S.F.)	0	

SITE LEGEND

- A STANDARD DUTY PAVEMENT SECTION AND NOTES. SEE SHEET C7.1 - THORNTONS DETAILS.
- B HEAVY DUTY PAVEMENT SECTION AND NOTE. SEE SHEET C7.1 - THORNTONS DETAILS.
- C TANK PAD PAVING SECTION AND CONCRETE NOTES. SEE SHEET C7.1 - THORNTONS DETAILS.
- D HARDSCAPE BUFFER. SEE DETAILS SHEET C7.1 - THORNTONS DETAILS.
- E CONCRETE SIDEWALK. SEE SHEET C7.1 - THORNTONS DETAILS.
- F CONCRETE CURB. SEE SHEET C7.1 - THORNTONS DETAILS.
- G LIGHT POLE. SEE DETAILS ON SHEET C7.2 - THORNTONS DETAILS.CONFIRM LIGHT POLE FIXTURE TYPE AND ORIENTATION WITH PHOTOMETRIC PLAN.
- H NOT USED
- I PIPE BOLLARD. SEE DETAILS.
- J NOT USED
- K NOT USED
- L SERVICE ISLAND
- M ACCESSIBLE PARKING SPACE. DETAIL PER AUTHORITY HAVING JURISDICTION.
- N NOT USED
- O SINGLE COMPARTMENT TANK. REFERENCE FUEL DRAWINGS
- P THREE COMPARTMENT TANK REFERENCE FUEL DRAWINGS
- Q MONUMENT/PYLON/GROUND SIGN. REFERENCE
- R PAVILION AREA
- S PROPOSED TRANSFORMER LOCATION. COORDINATE PAD WITH COMED
- T PROPOSED GREASE TRAP LOCATION. REFERENCE MEP PLANS
- U PAINTED 4" WIDE YELLOW STRIPE.
- V WASTE ENCLOSURE. REF. ARCH. PLANS
- W PROPOSED CANOPY. REF. CANOPY PLANS
- X PROPOSED BUILDING SETBACK LINE.
- Y RESERVED FOR FUTURE EV CHARGING STATIONS.

REVISIONS	
NO.	DESCRIPTION

ARC DESIGN  
RESOURCES INC.

5291 Zenith Parkway  
Loves Park, IL 61111

REGISTRATION NUMBER:  
184001334-0010

DATE: 3-25-2022

THORNTONS BURR RIDGE, IL

DESIGN: RCS  
DRAFTING: LND  
SCALE: 1/20  
DATE: 3-25-2022

SITE PLAN

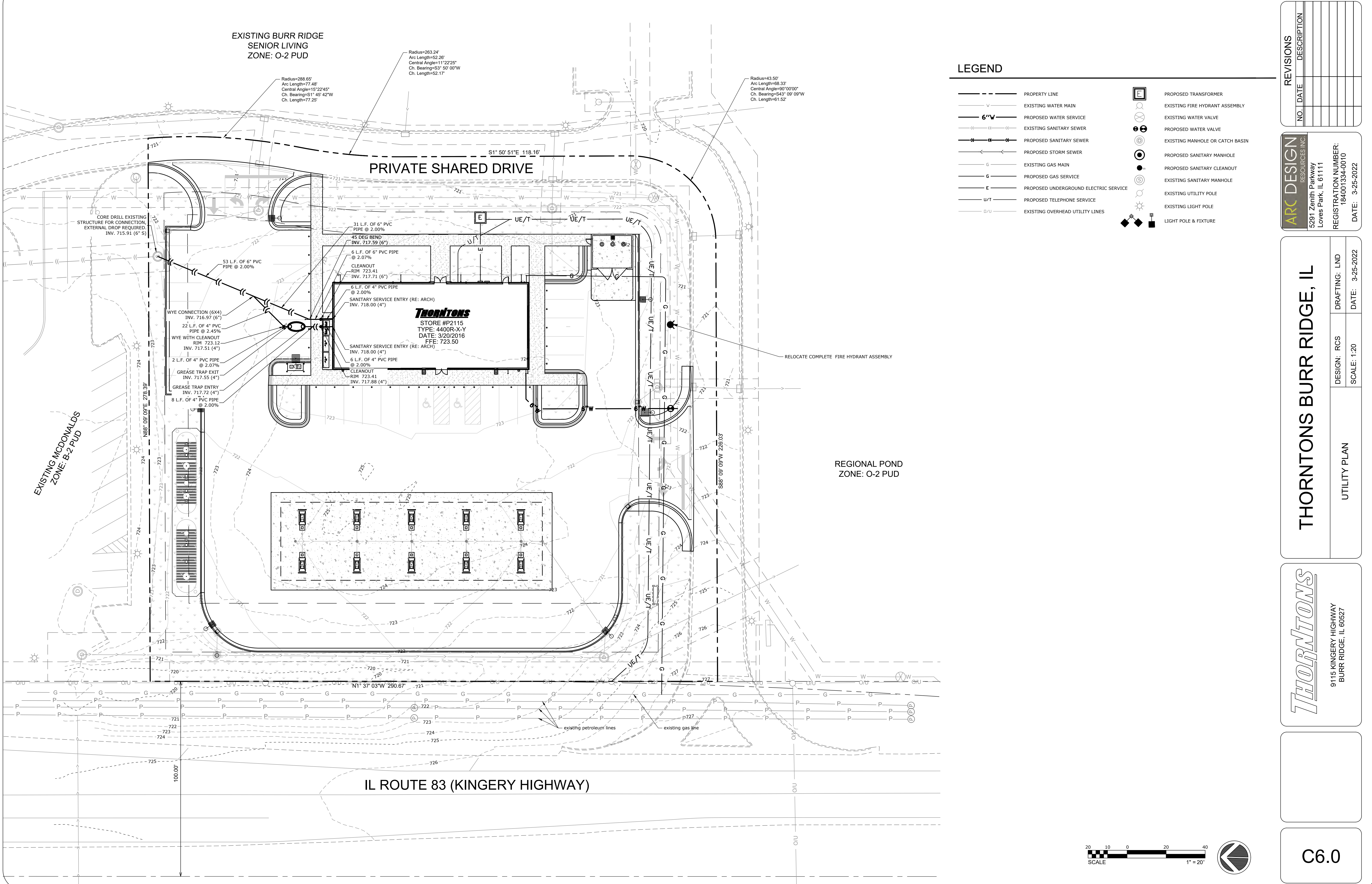
THORNTONS

9115 KINGERY HIGHWAY  
BURR RIDGE, IL 60527

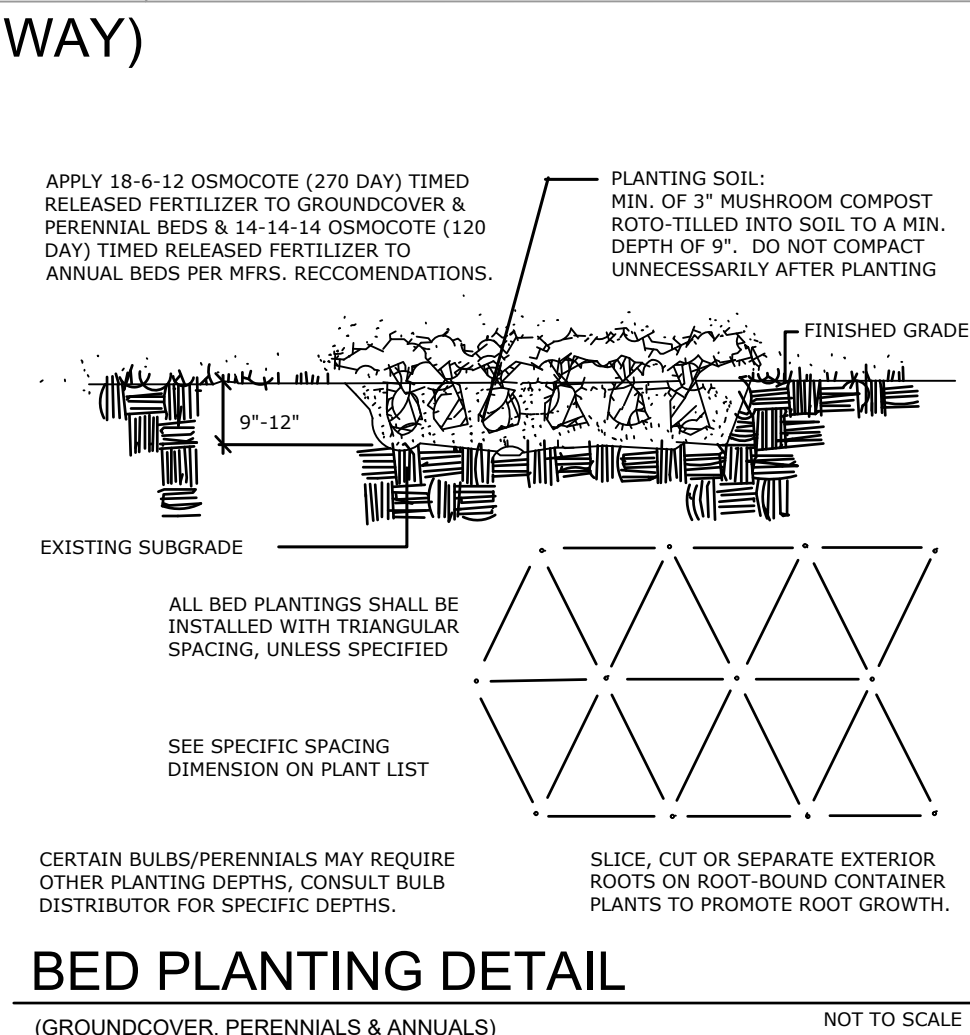
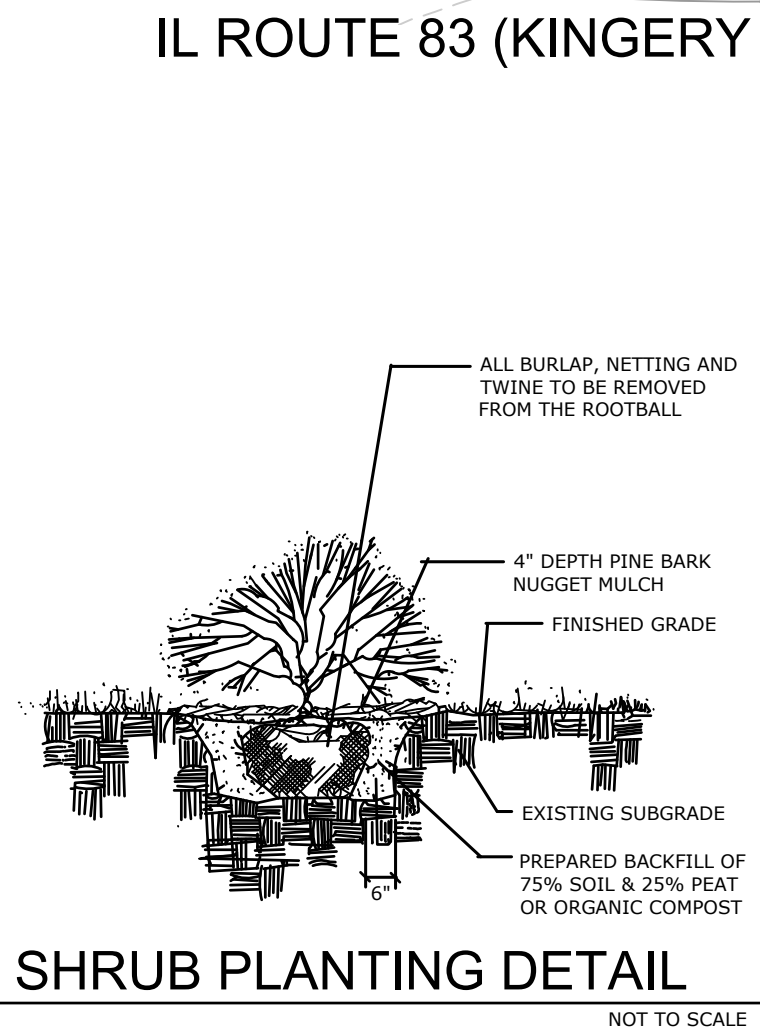
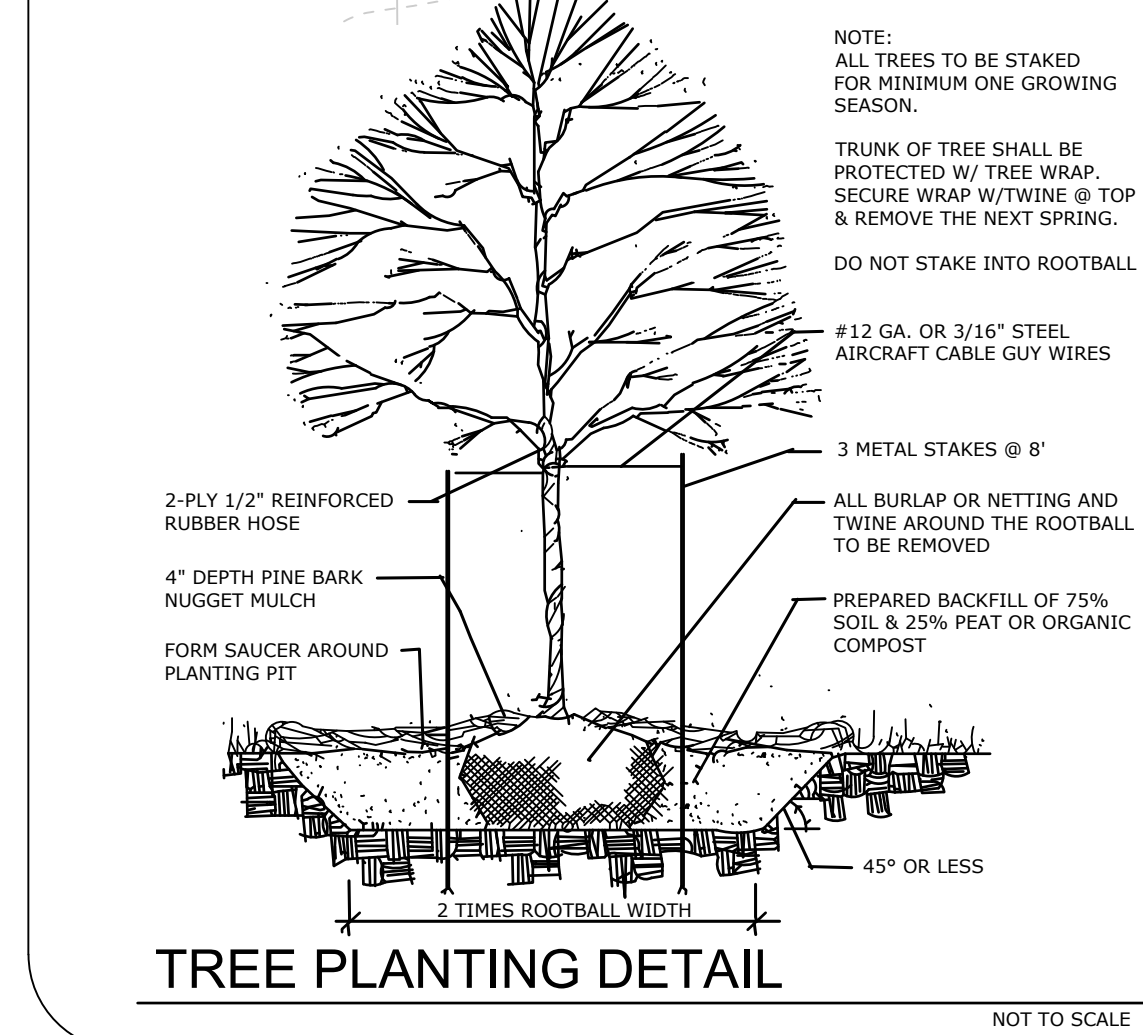
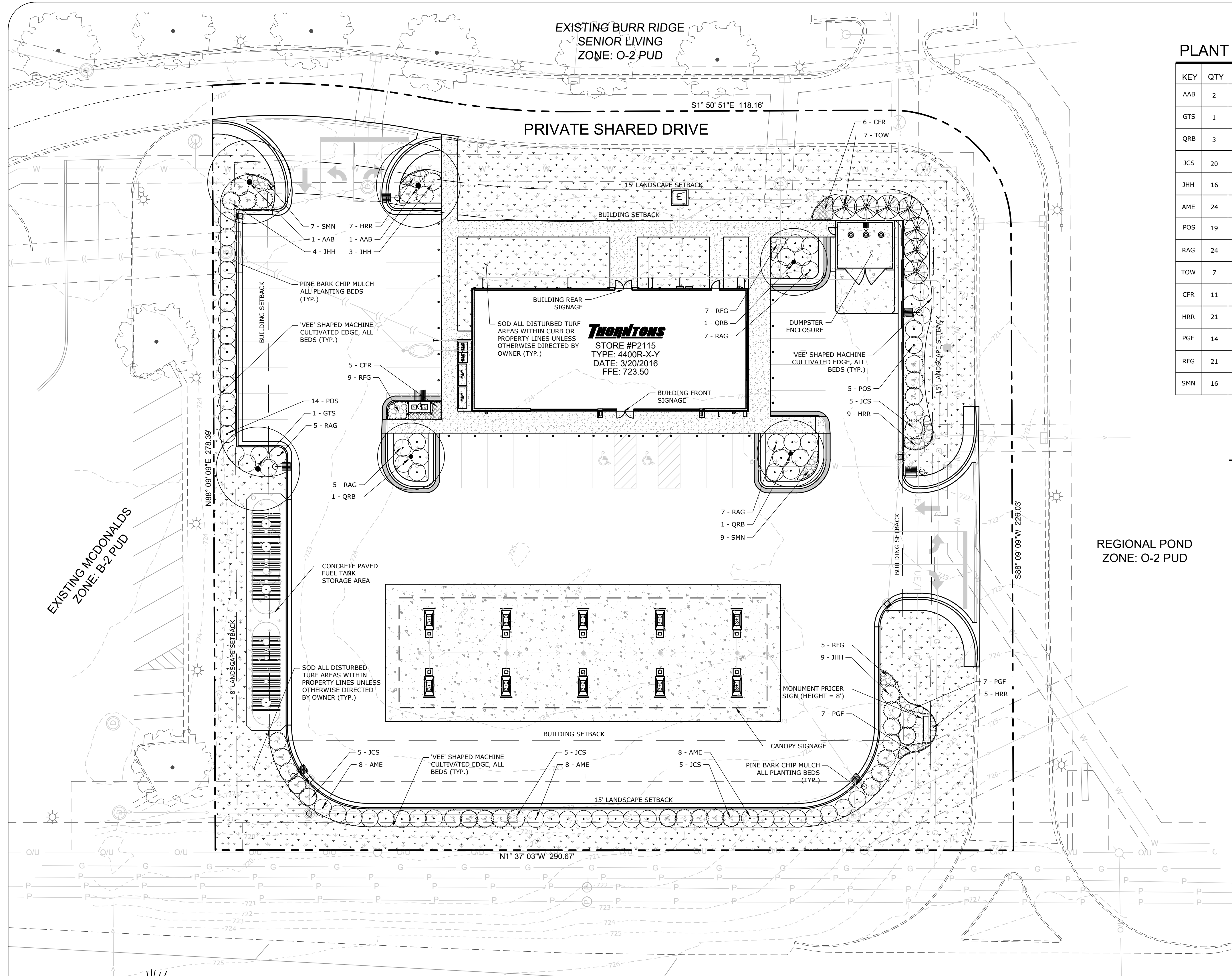












PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AAB	2	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	3"	
GTS	1	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	3"	
QRB	3	Quercus robur x bicolor 'Long' REGAL PRINCE OAK	3"	
JCS	20	Juniperus chinensis 'Sargentii' GREEN SARGENT JUNIPER	5 GAL	EVERGREEN SHRUB
JHH	16	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	5 GAL	EVERGREEN SHRUB
AME	24	Aronia melanocarpa x 'Elaeta' BLACK CHOKEBERRY	30" / 5 GAL	
POS	19	Physocarpus opulifolia 'Podaras 3' LEMON CANDY PHYSOCARPUS	30" / 5 GAL	
RAG	24	Rhus aromatica x 'Gro-Lo' GRO-LOW SUMAC	18" / 5 GAL	
TOW	7	Thuja occidentalis x 'Woodwardii' WOODWARD ARBORVITAE	5'	UPRIGHT EVERGREEN
CFR	11	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - PERENNIAL
HRR	21	Hemmerocallis x 'Rosy Returns' ROSY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
PGF	14	Phlox x glaberrima 'Forever Pink' FOREVER PINK HYBRID PHLOX	GAL	2'-0" O.C. - PERENNIAL
RFG	21	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SMN	16	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL

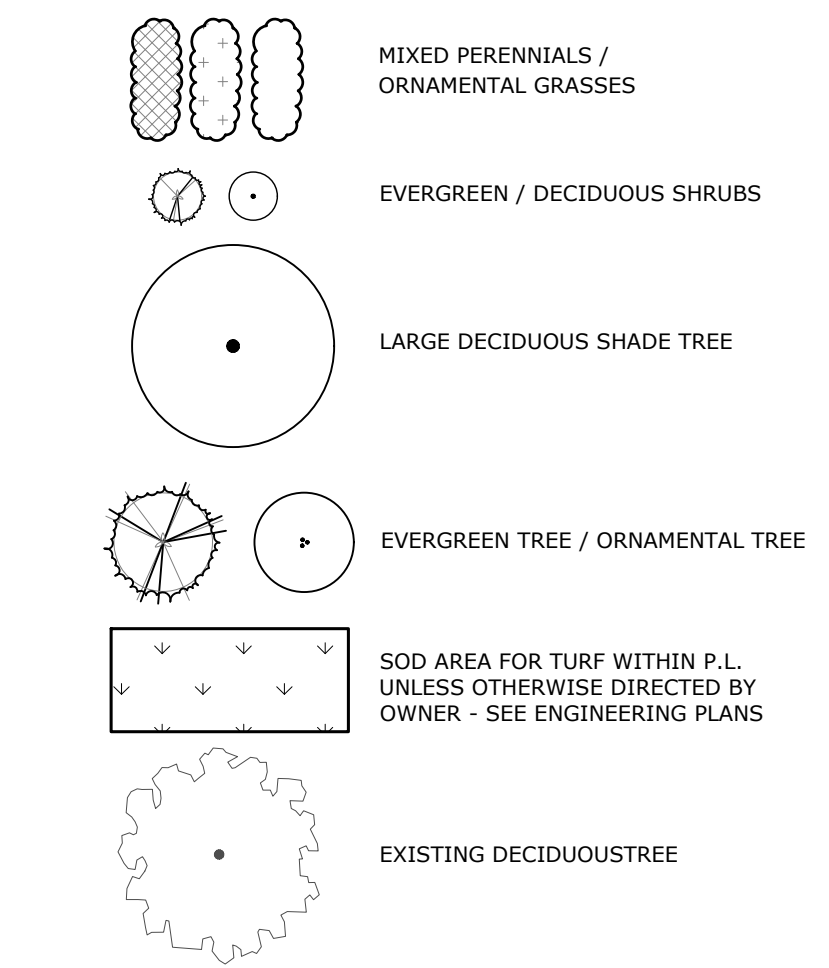
PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- For details pertaining to Utilities, Easements, Grading, Retaining Walls, Layout, Geometry, Wetland/Flood Plain Delineations, etc., or other trades refer to Architectural and Civil Engineering plans and/or owner.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site as per grading/engineering plans and/or correct surface irregularities in preparation for sod. Roto-til, disc, drag, harrow or hand rake sub grade to a depth of 4" in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas are to receive a minimum 3" of approved topsoil and be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation. Sizes and/or spread on plant list represent minimum requirements at the time of installation; mature growth may exceed figures listed.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 4" depth pine bark nugget (2") mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outer-most branches at the time of installation. No mulch shall border sidewalks or curbing.
- Planting edge delineation at all planting bed lines and tree saucers shall require a mechanically cultivated edge with minimum 4" depth "vee" shape and a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan. No plant beds shall border sidewalks or curbs.
- Contractor to install sod in all areas indicated on plan. Sod to be well established minimal type growth, no peat sod will be allowed. Sod grass blend shall consist of the following suggested bluegrass types: 55% Barrons, 15% Majestic, 15% Adelphi, 15% Glade. Sod pieces are to fit tightly together so that no joints are visible, alternate and stagger courses and tamp or roll firmly. All sodded lawn areas shall be fertilized at first cutting with 15-40-5 analysis fertilizer, at a rate of 6 lbs. per 1,000 s.f.. Acceptance and guarantee note shall apply to all sod areas.
- Acceptance of grading and sod shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs), replacement (sod) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded or replaced repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

LANDSCAPE ZONING DATA

CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
PERIMETER LANDSCAPE AREA - MINIMUM SETBACKS	NORTH P.L. EAST P.L. WEST P.L. SOUTH P.L.	NORTH - 8' WIDTH (SIDE LOT) EAST - 15' WIDTH (FRONT LOT) WEST - 15' WIDTH (INTERIOR CORNER) SOUTH - 15' WIDTH (INTERIOR CORNER)	NORTH - 8' WIDTH (SIDE LOT) EAST - 15' WIDTH (FRONT LOT) WEST - 15' WIDTH (INTERIOR CORNER) SOUTH - 15' WIDTH (INTERIOR CORNER)
PERIMETER LANDSCAPE AREA - PLANTINGS	FRONT OF THE PRINCIPAL BUILDING  SIDE / REAR YARDS	FRONT: PERMANENT SCREENING OF MINIMUM 4' HEIGHT, ADJACENT TO PARKING/PAVEMENT - CONSIST OF EITHER A PLANTED BERM, DENSE EVERGREEN SHRUBS OR TREES OR COMBINATION  SIDE/REAR: PERMANENT SCREENING OF MINIMUM 5' HEIGHT, ADJACENT TO PARKING/PAVEMENT - CONSIST OF EITHER PLANTED BERM, DENSE EVERGREEN SHRUBS OR TREES, OR COMBINATION	FRONT: PERMANENT PLANTED SCREEN MIN. 4' HEIGHT (ADJACENT TO PARKING/PAVEMENT AREAS)  SIDE/REAR: PERMANENT PLANTED SCREEN MIN. 4' HEIGHT (ADJACENT TO PARKING/PAVEMENT AREAS)
PARKING LANDSCAPE (15 SPACES OR MORE)	32 PARKING SPACES	ONE (1) ISLAND FOR EACH 15 SPACES AND/OR AT THE END OF EACH PARKING ROW - MIN. 9'X18' W/ RAISED CURBING AND A TREE (3")	ISLAND/PLANTING AREA AT THE END OF EACH PARKING ROW W/ MIN. AREA, RAISED CURBING AND TREE

LEGEND



REVISIONS	
NO.	DATE

ARC DESIGN  
RESOURCES INC.  
5291 Zenith Parkway  
Loves Park, IL 61111

REGISTRATION NUMBER:  
184001334-0010  
DATE: 3-25-2022

THORNTONS BURR RIDGE, IL

DESIGN: RCS  
SCALE: 1/20

DRAFTING: LND  
DATE: 3-25-2022

LANDSCAPE PLAN

Thorntons

9115 KINGERY HIGHWAY  
BURR RIDGE, IL 60527

L1.0



REV.	BY	DATE	DESCRIPTION
R1	TAS	3/25/22	LOWERED POLE HEIGHTS

DISCLAIMER

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SCALE:  
1" = 30'

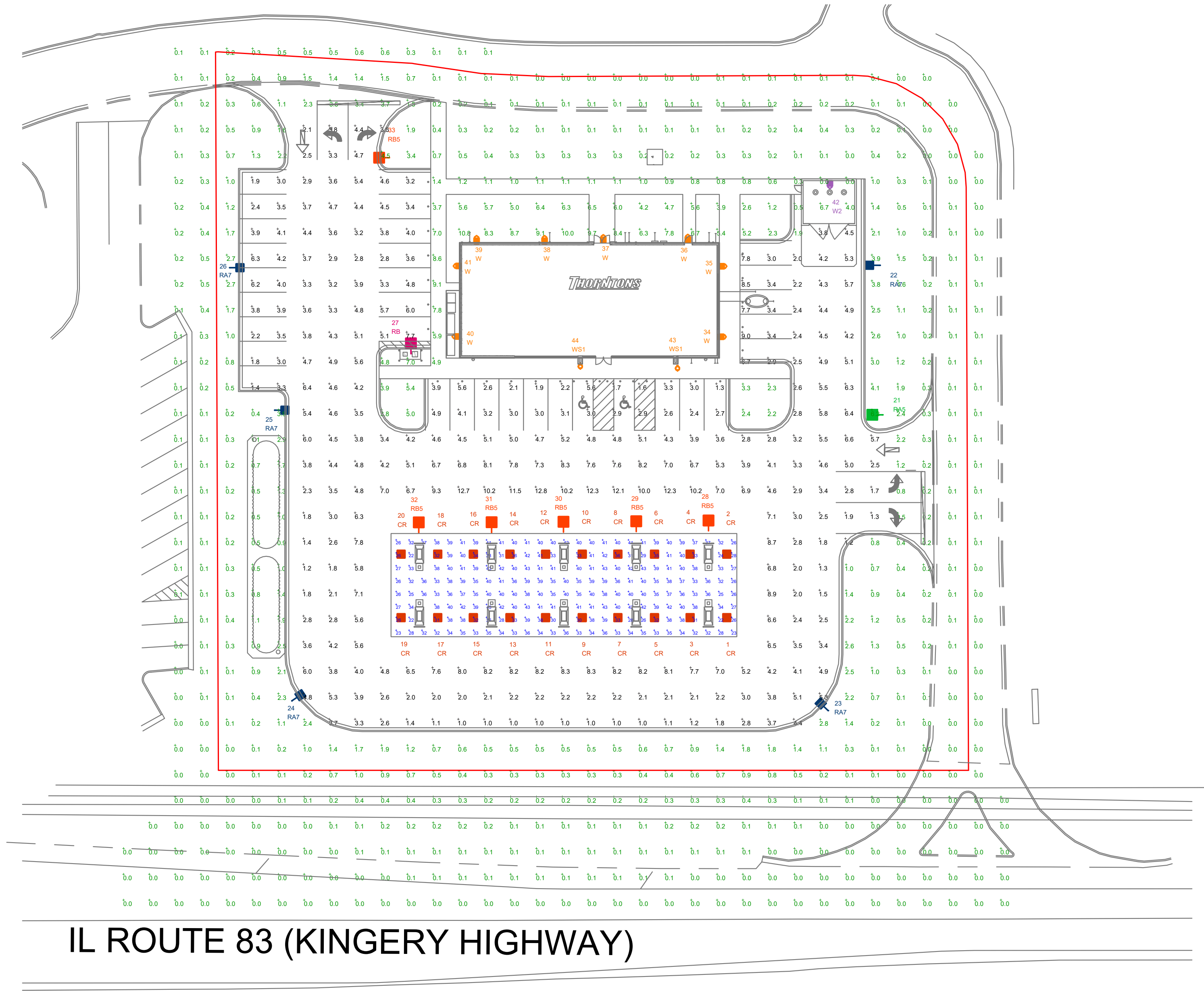
DWG SIZE:  
D

LAYOUT BY:  
TAS

DATE:  
3/22/22

PROJECT NAME:  
**THORNTONS P2115**  
**BURR RIDGE, IL**

DRAWING NUMBER:  
**RL-7953-S1-R1**



NOTE:  
- POLE MOUNTED FIXTURES ARE MOUNTED ON A 20FT POLE  
ATOP A CONCRETE BASE.

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS  
REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	CR	15
2	CR	15
3	CR	15
4	CR	15
5	CR	15
6	CR	15
7	CR	15
8	CR	15
9	CR	15
10	CR	15
11	CR	15
12	CR	15
13	CR	15
14	CR	15
15	CR	15
16	CR	15
17	CR	15
18	CR	15
19	CR	15
20	CR	15
21	RAS	20
22	RA7	20
23	RA7	20
24	RA7	20
25	RA7	20
26	RA7	20
27	RB	20
28	RBS	20
29	RBS	20
30	RBS	20
31	RBS	20
32	RBS	20
33	RBS	20
34	W	10
35	W	10
36	W	10
37	W	10
38	W	10
39	W	10
40	W	10
41	W	10
42	W2	6
43	WS1	10
44	WS1	10

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	35.79	43	22	1.63	1.95
PAVED AREA	4.39	12.8	1.0	4.39	12.80
UNDEFIND AREA	0.81	10.8	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	DESCRIPTION
	20	CR	SINGLE	13251	1.000	B3-U0-G1	134	2680	CAN-304-SL-RS-06-E-UL-WH-700-57K
	1	RAS	SINGLE	12699	1.000	B2-U0-G2	104	104	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-3M-UL-XX-Q9 + OSQOBLSMF
	5	RA7	Single	8274	1.000	B1-U0-G2	73	365	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-3M-UL-XX-Q3 + OSQOBLSMF
	1	RB	SINGLE	16098	1.000	B3-U0-G3	104	104	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-4M-UL-XX-Q9
	6	RBS	SINGLE	12349	1.000	B2-U0-G2	104	624	OSQ-MIL-DA-XX + OSQM-B-16L-57K7-4M-UL-XX-Q9 + OSQ-ELSMF
	8	W	SINGLE	5893	1.000	B2-U0-G2	68	544	SEC-EDG-3M-WM-04-E-UL-XX-525-57K
	1	W2	SINGLE	2490	1.000	B1-U0-G1	19	19	XSPW-B-WM-3ME-2L-57K-UL-XX
	2	WS1	SINGLE	1980	1.000	N.A.	27.7	55.4	CL-P6642-31-30K + CL-P8798-31



QTY	LABEL	DESCRIPTION
CANOPY		20 CR CAN-304-SL-RS-06-E-UL-WH-700-57K

### 304 Series™

LED Recessed Canopy Luminaire

#### Product Description

Luminaire housing is constructed from rugged die cast aluminum components (RS Mount or RS cast and extruded aluminum components (RS Mount). LED driver is mounted in a sealed, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The Lumen package is a suitable upgrade for RS applications up to 250Watts, and the TL Lumen package is a suitable upgrade for RS applications up to 400 Watts. The 2L Lumen package is a suitable upgrade for RS applications up to 750 Watts, and the 3SL Lumen package is a suitable upgrade for RS applications up to 1000 Watts.

**Applications:** Perimeter lighting, convenience stores, drive-thru banks and restaurants, retail and grocery.

#### Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

**CRB:** Minimum 70 CRI

**CCT:** 4000K (+/- 300K), 5000K (+/- 500K) standard

**Limited Warranty:** 10 years on luminaires/10 years on Colorfast DetailGuard® finish

\* See [www.creeled.com/warranty](http://www.creeled.com/warranty) for warranty terms

#### Accessories

**Field-installed**

**Head-Held Remote**  
 - For successful implementation of the programmable multi-level option, a minimum of one head-held remote is required.

**Field-installed**

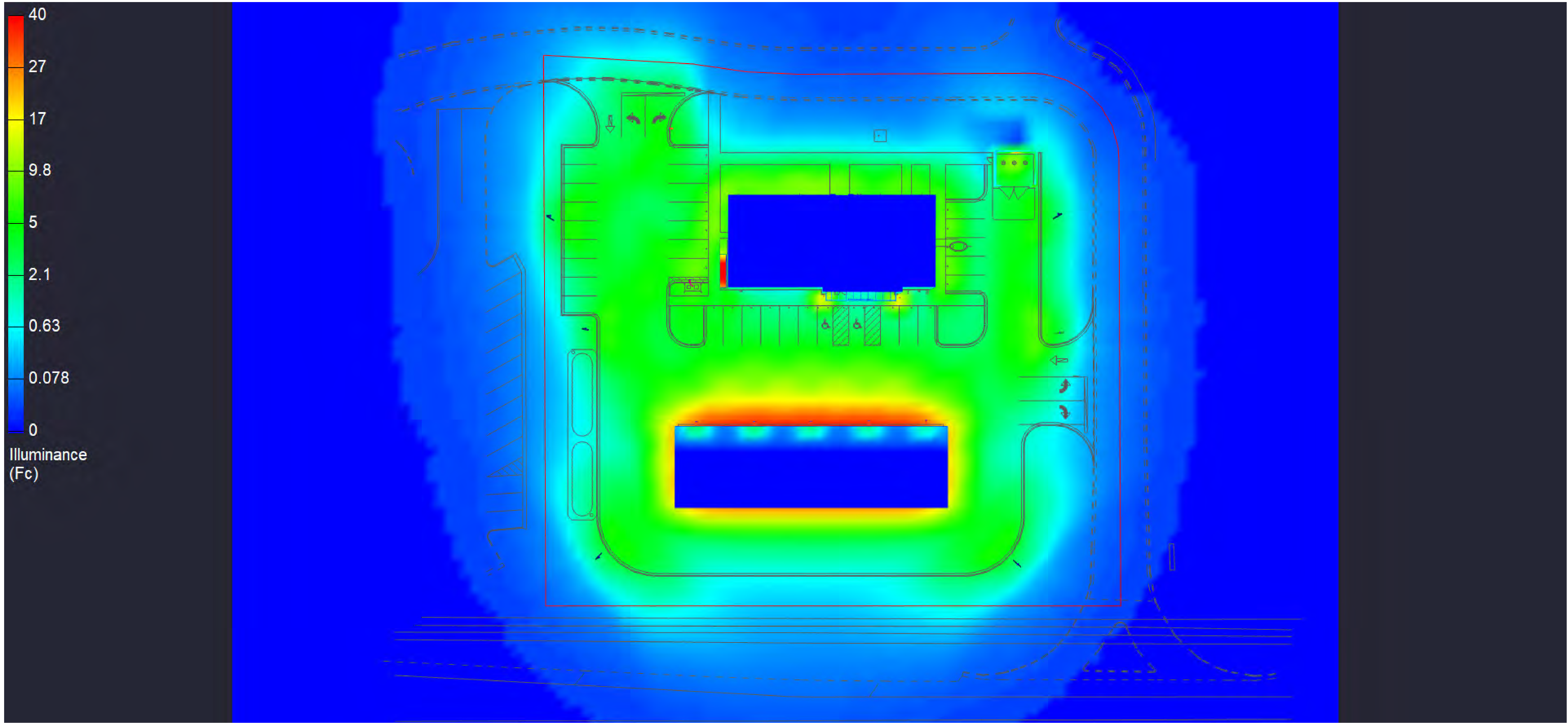
**Multi-Level Sensor location**  
 (located as an option)

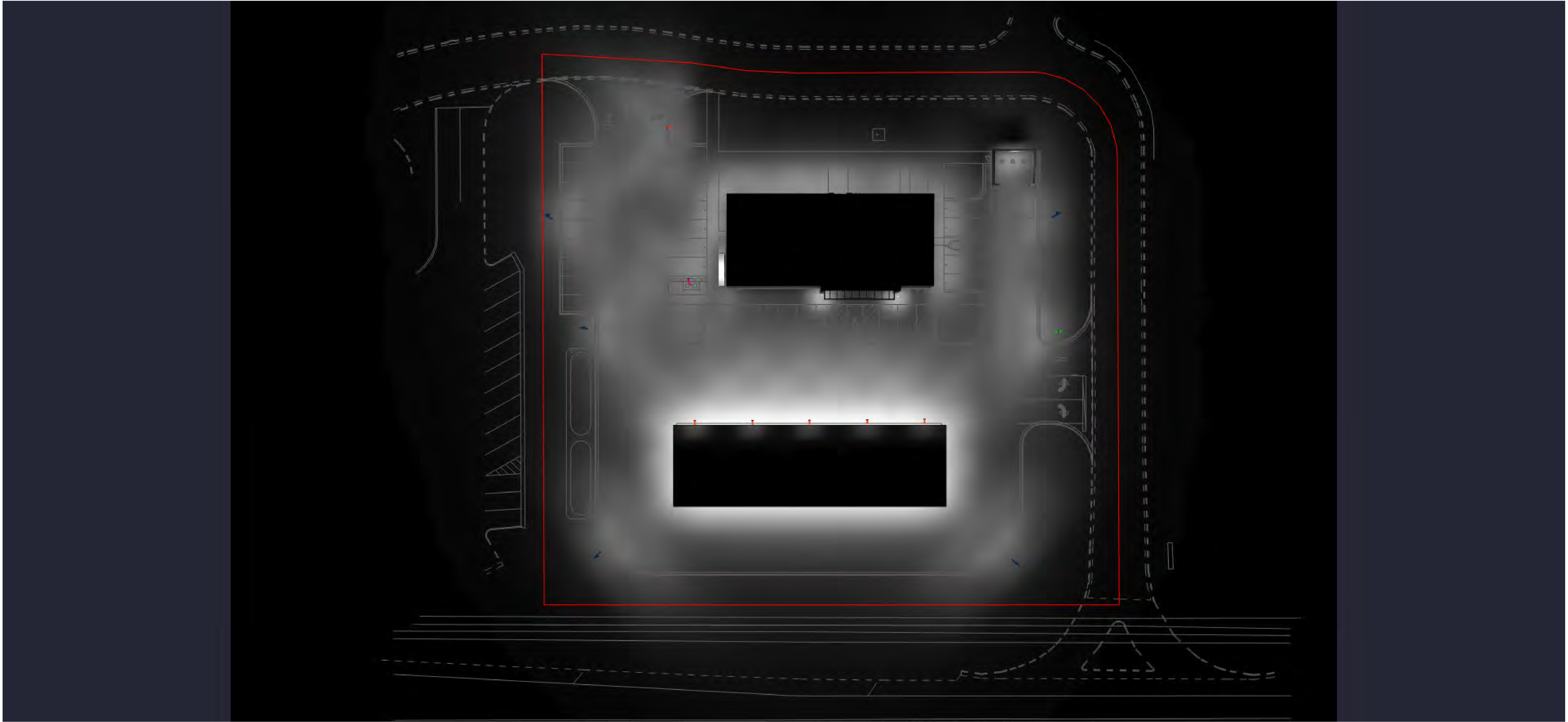
#### Ordering Information

Example: CAN-304-SL-RS-06-E-UL-WH-700-57K

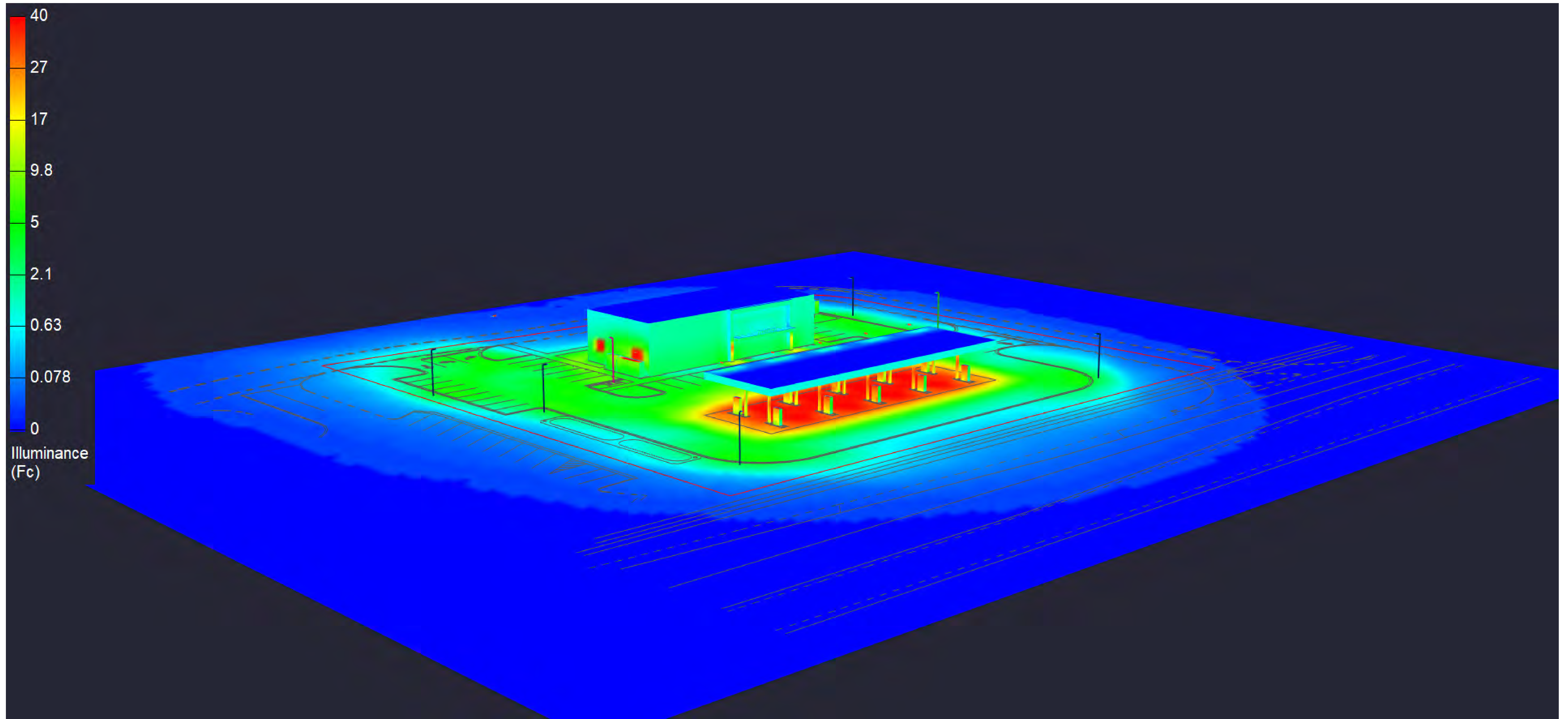
Product	Qty	Mounting	LED Count	Watts	Color Options	Driver Current	Options
CAN-304	20	RS Mount	64	64	UL	500W	5-10° Beam, 10-20° Beam, 30-40° Beam, 40-60° Beam, 60-80° Beam, 80-90° Beam, 90-100° Beam, 100-110° Beam, 110-120° Beam, 120-130° Beam, 130-140° Beam, 140-150° Beam, 150-160° Beam, 160-170° Beam, 170-180° Beam, 180-190° Beam, 190-200° Beam, 200-210° Beam, 210-220° Beam, 220-230° Beam, 230-240° Beam, 240-250° Beam, 250-260° Beam, 260-270° Beam, 270-280° Beam, 280-290° Beam, 290-300° Beam, 300-310° Beam, 310-320° Beam, 320-330° Beam, 330-340° Beam, 340-350° Beam, 350-360° Beam, 360-370° Beam, 370-380° Beam, 380-390° Beam, 390-400° Beam, 400-410° Beam, 410-420° Beam, 420-430° Beam, 430-440° Beam, 440-450° Beam, 450-460° Beam, 460-470° Beam, 470-480° Beam, 480-490° Beam, 490-500° Beam, 500-510° Beam, 510-520° Beam, 520-530° Beam, 530-540° Beam, 540-550° Beam, 550-560° Beam, 560-570° Beam, 570-580° Beam, 580-590° Beam, 590-600° Beam, 600-610° Beam, 610-620° Beam, 620-630° Beam, 630-640° Beam, 640-650° Beam, 650-660° Beam, 660-670° Beam, 670-680° Beam, 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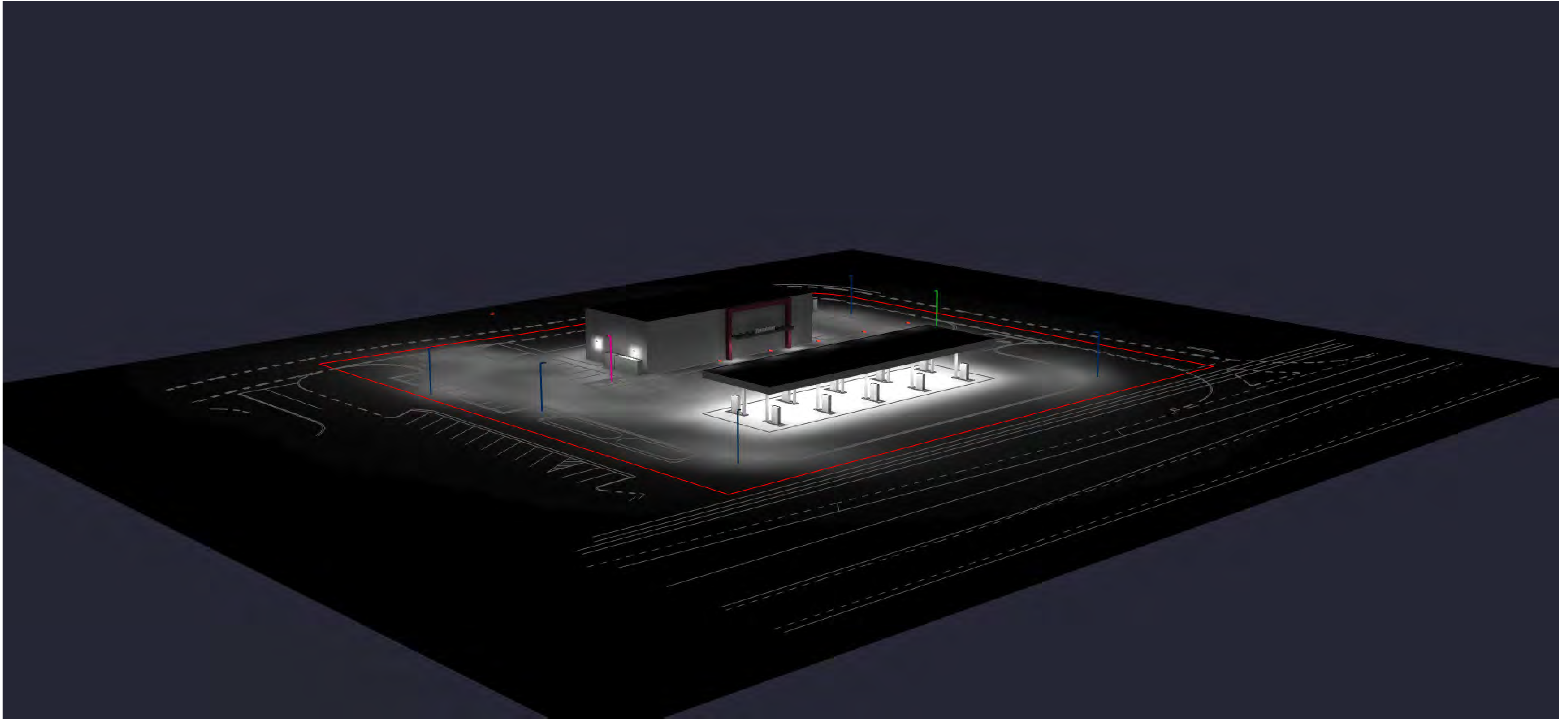








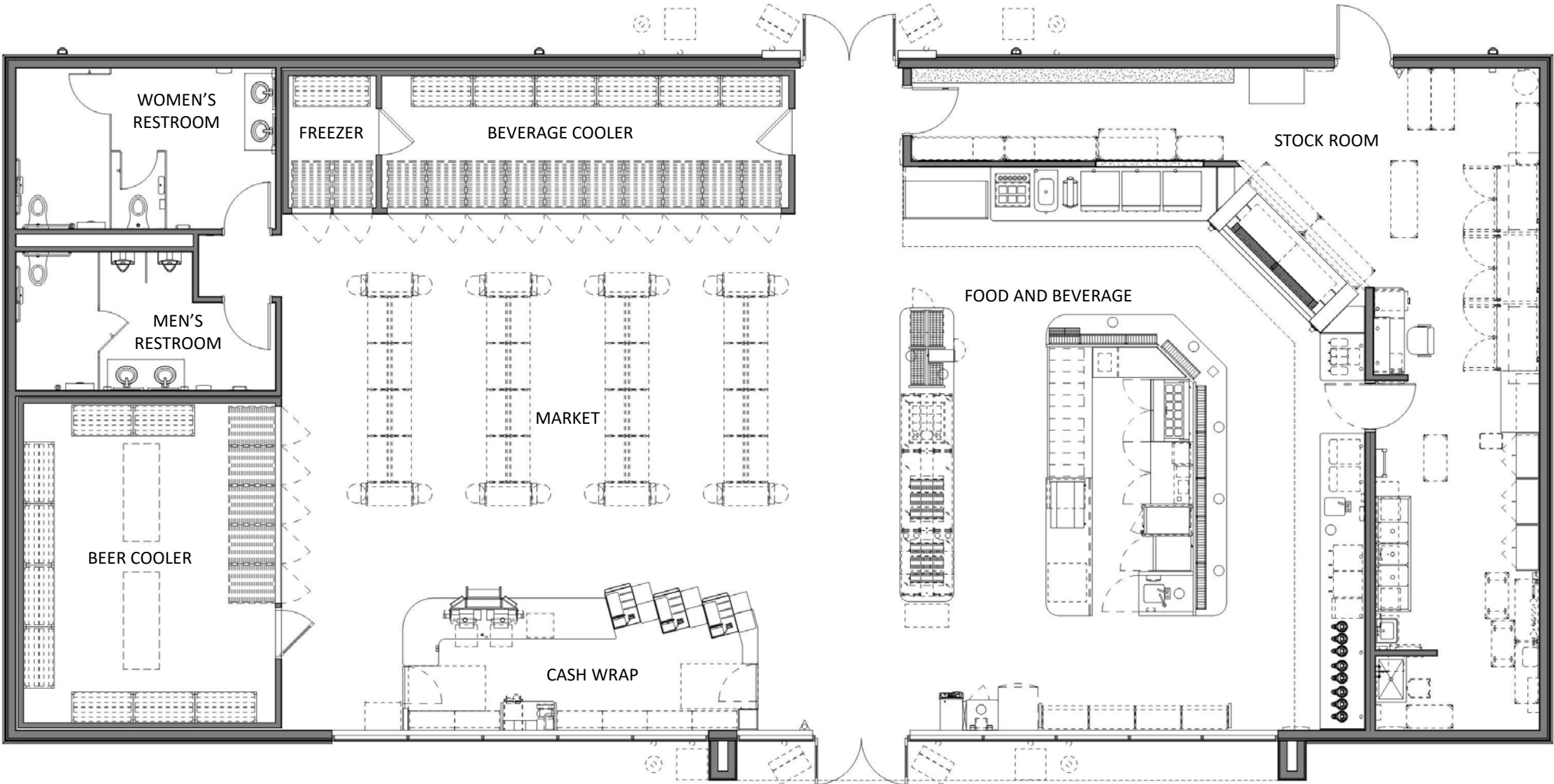






# ***BURR RIDGE, ILLINOIS***

4400 Square Foot  
Convenience Store  
Prototype





FRONT ELEVATION





REAR ELEVATION

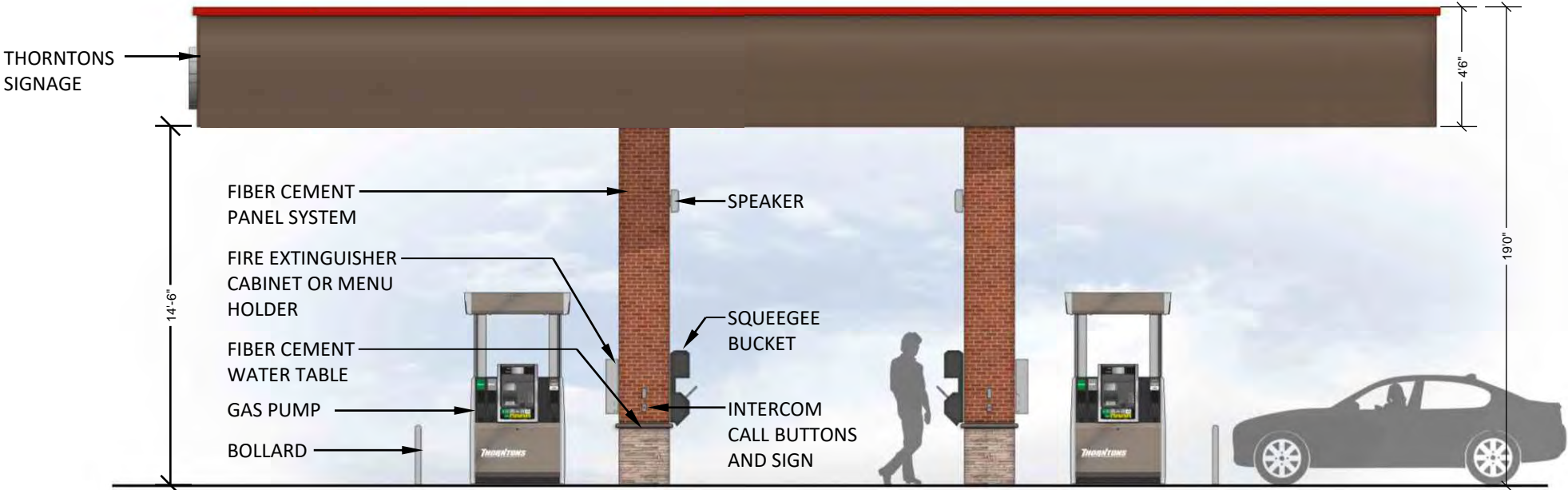


*SIDE ELEVATION*





SIDE ELEVATION

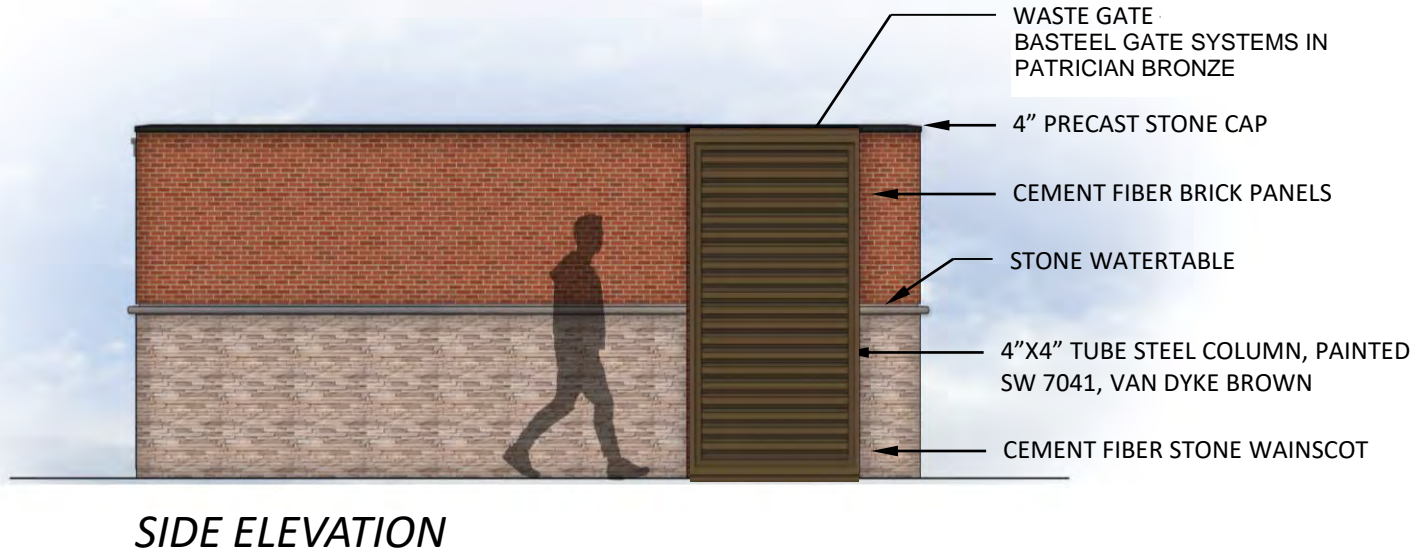
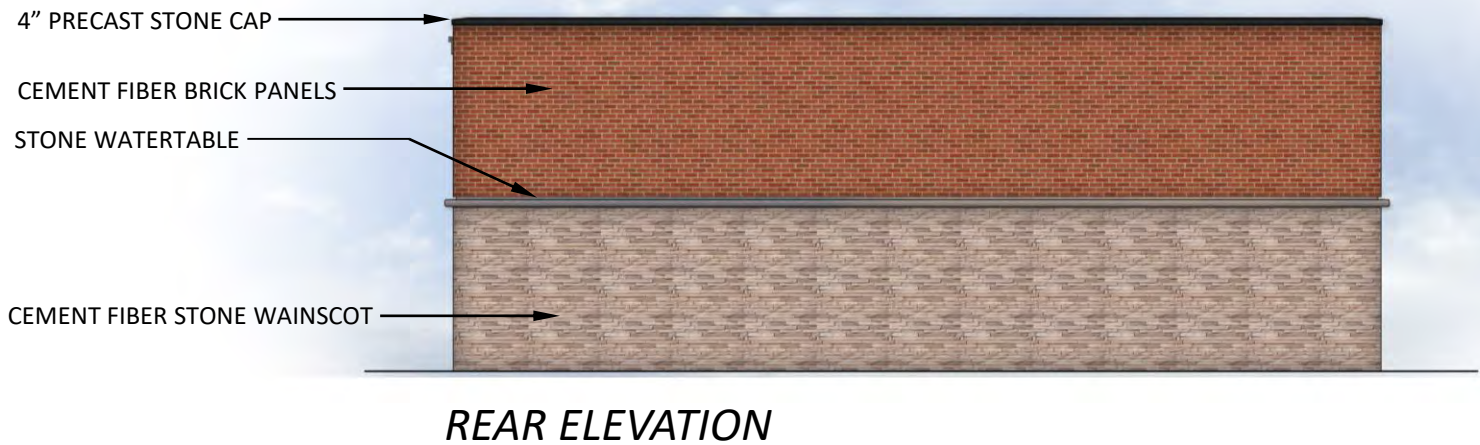
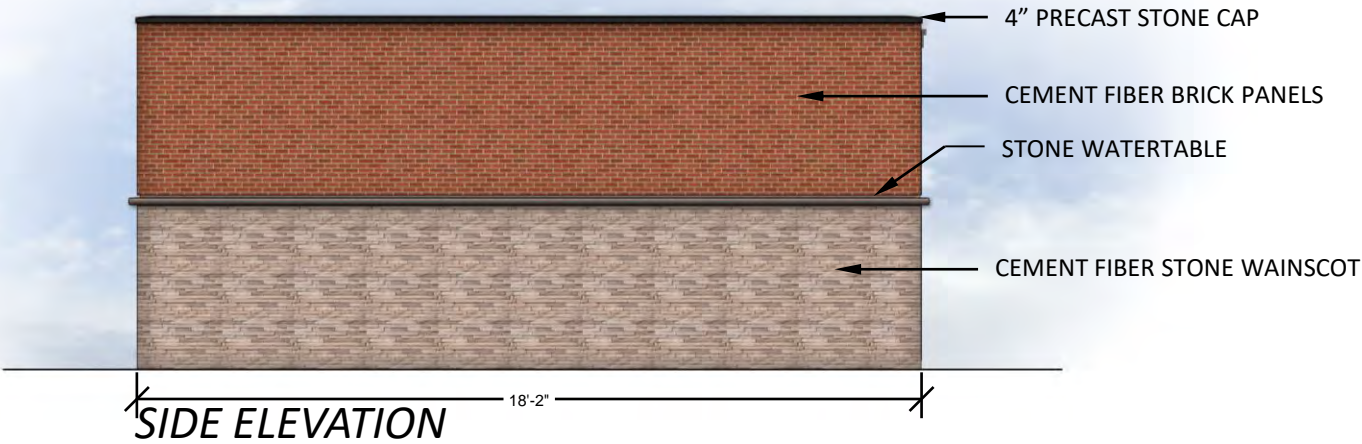
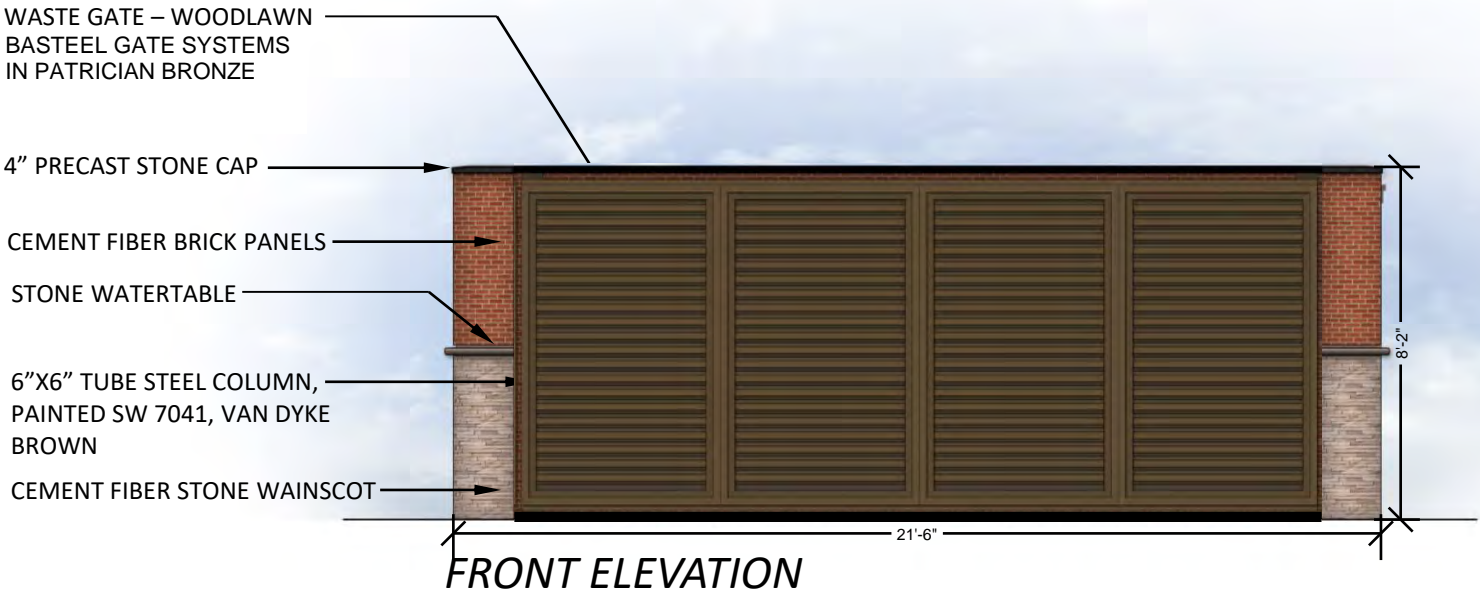


SIDE ELEVATION



FRONT ELEVATION





# Stratus™

stratusunlimited.com

888.503.1569

## LOCATION NUMBER:

P2115

## SITE ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

### SIGN CODE:

Sign Code info: No code information at this time.  
Building Signage: N/A

Freestanding Signs: N/A

Directional Signs: N/A  
Gas Canopy Signs: N/A

### Summary:

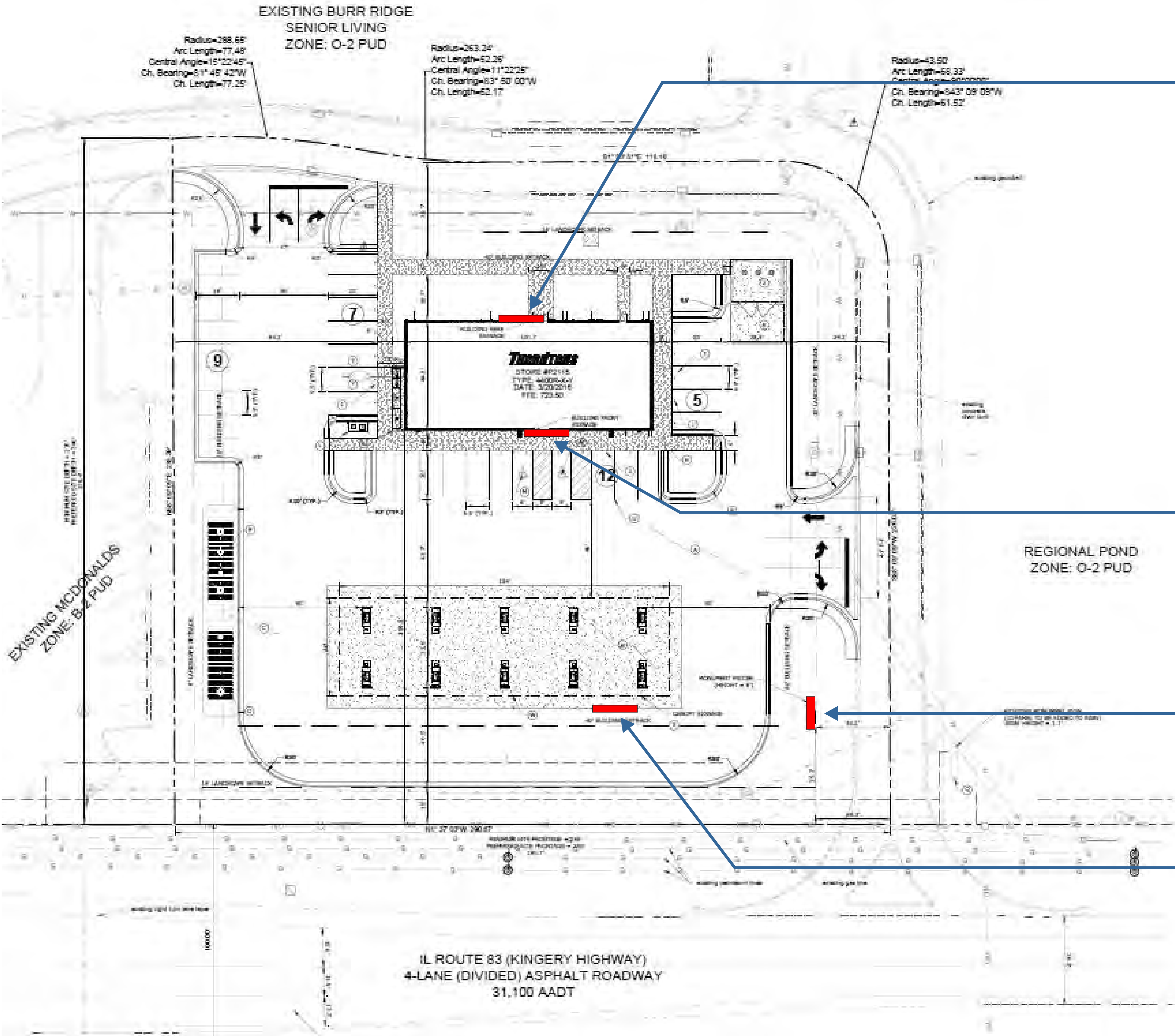
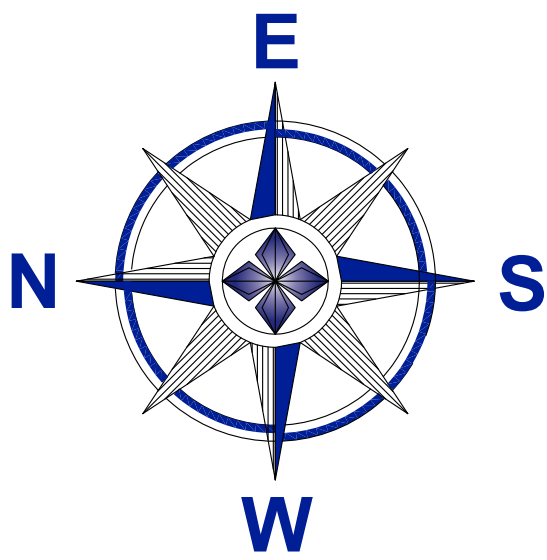
Qty (1) 31" letterset @ 46.1 SF- Front of building  
Qty (1) 20" letterset @ 17' SF- Rear of building  
Qty (1) 31" lettersets @ 46.1' SF each – Canopy  
Qty (1) Monument Signs @ 49.8 SF

Additional Notes:  
None

# *THORNTONS*

Infinite possibilities, ideal solutions.





**BUILDING**  
*20" THORNTONS*  
17 SQ FT

**BUILDING**  
*31" THORNTONS*  
46.1 SQ FT

**D/F MONUMENT**  
49.8 SQ FT

**CANOPY**  
*31" THORNTONS*  
41.3 quare feet

**Stratus**<sup>TM</sup>

stratusunlimited.com  
8959 Tyler Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT:  
*THORNTONS*

ADDRESS:  
9115 Kingery Hwy  
Burr Ridge, IL 60527

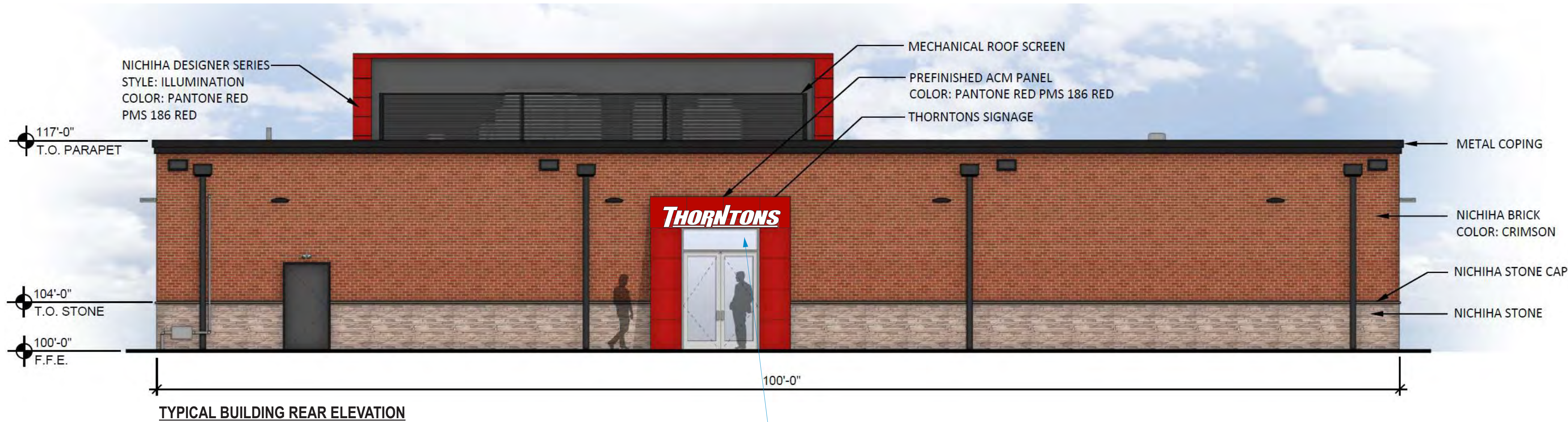
PAGE NO.:  
**2**

ORDER NUMBER:  
1172331  
PROJECT NUMBER:  
83164  
SITE NUMBER:  
P2115  
PROJECT MANAGER:  
KEVIN HORNE  
ELECTRONIC FILE NAME:  
G:\ACCOUNTS\T\THORNTON'S\2022\IL\P2115\_Burr Ridge

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA	UPDATED SITE PLAN				



TYPICAL ELEVATIONS SHOWN FOR VIEWING PURPOSES:  
ACTUAL ELEVATIONS TO BE PROVIDED



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THORNTONS

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PROJECT NUMBER:

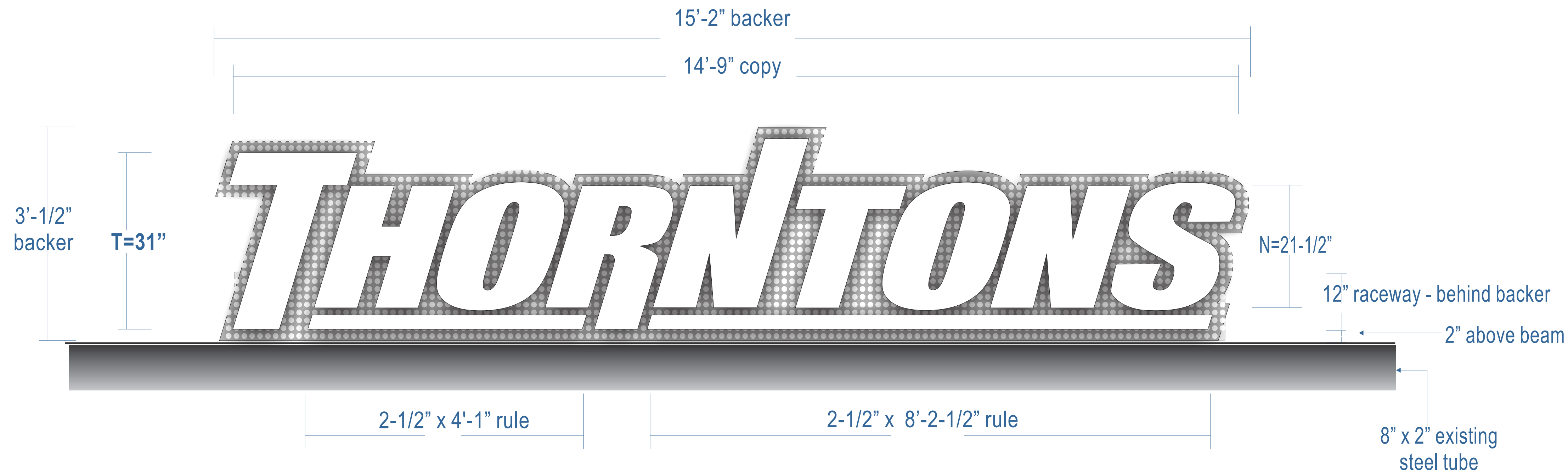
83164

PROJECT MANAGER:

KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA					





**FACES:** 3/16" #7328 White acrylic

**TRIMCAP:** 1" White jewelite

**LETTER BACKS:** .063 alum. - prefinish White all sides

**RETURNS:** 5" deep .040 alum. returns painted GG White

**ILLUM. :** White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY**

**BACKER:** .080 perforated alum. screen backer; Holes to be .50" diameter and are 11/16" on centers to allow for 48% visibility; Backer painted Metallic Silver front & back; Backer to be mounted behind letters & will help to conceal raceway

**INSTALL:** Custom 12" high x 6" deep alum. raceway to house all electrical - Painted Black - all sides; Raceway mounted to 1/4" steel plate shelf provided at top edge of steel tube using stainless steel fasteners as required; 1" alum. flat bar to be used for back bracing as necessary - painted Black to match raceway

**QUANTITY:** (1) One channel letterset required for storefront elevation

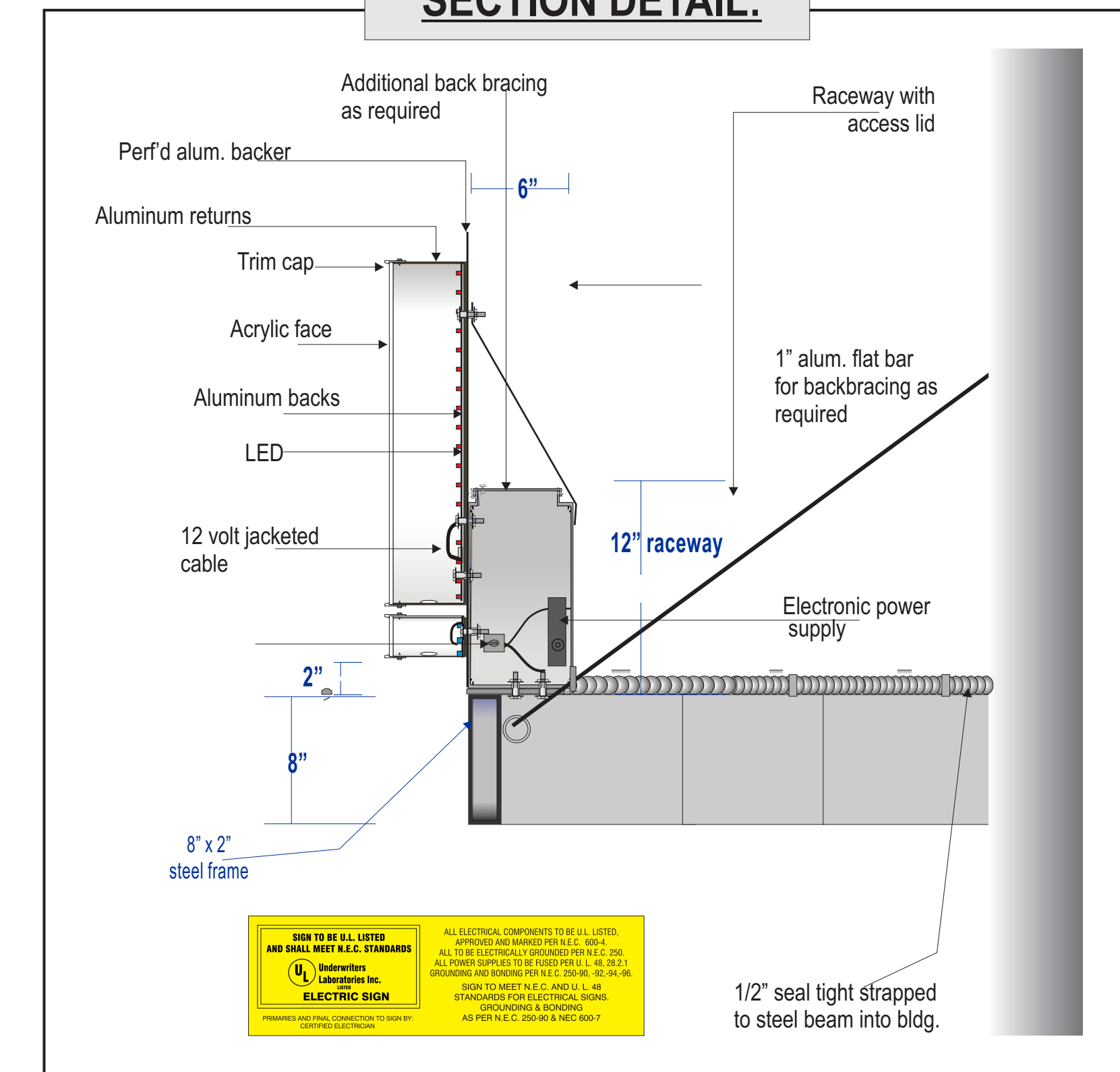
**CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC;

**MANUFACTURER SIGNAGE MUST BE 3 WIRE**  
**NOTES:**

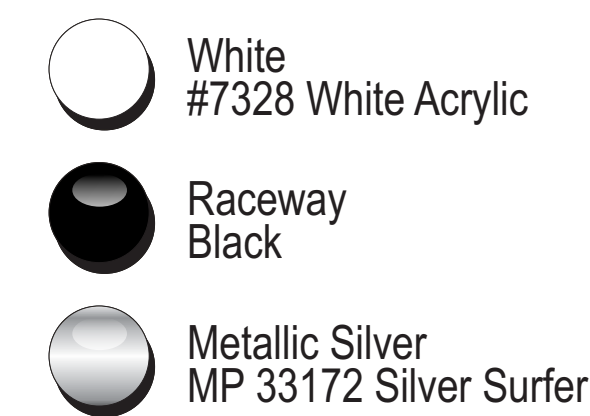
### ELECTRICAL NOTE:

ILLINOIS: Any channel letter sets must have seal title connectors and housings per code

**SECTION DETAIL:**



## COLOR PALETTE



ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!

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CLIENT:

**THORN TONS**

ADDRESS:

9115 Kingery Hwy  
Burr Ridge, IL 60527

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PROJECT NUMBER:

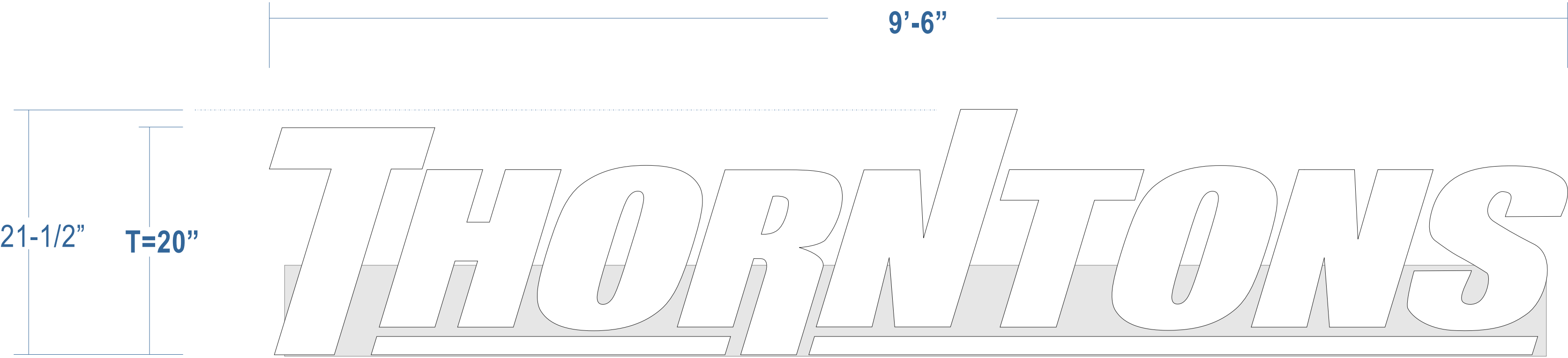
83164

PROJECT MANAGER:

KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	373887	03/17/22 KW					
REV 1	376863	04/06/22 CA					





- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer;  
**Whips to be a minimum of 6'-0" in length;**  
**POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY**

**INSTALL:** Standard 8" high x 8" deep alum. raceway to house all electrical -  
Painted to Grip Flex 585 Flame Red match wall surface  
Raceway to be thru bolted into 2" alum. framework -  
framework provided by others

**QUANTITY:** (1) One Channel letterset required for rear elevation

**CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC

**MANUFACTURER NOTES:** SIGNAGE MUST BE 3 WIRE

COLOR PALETTE

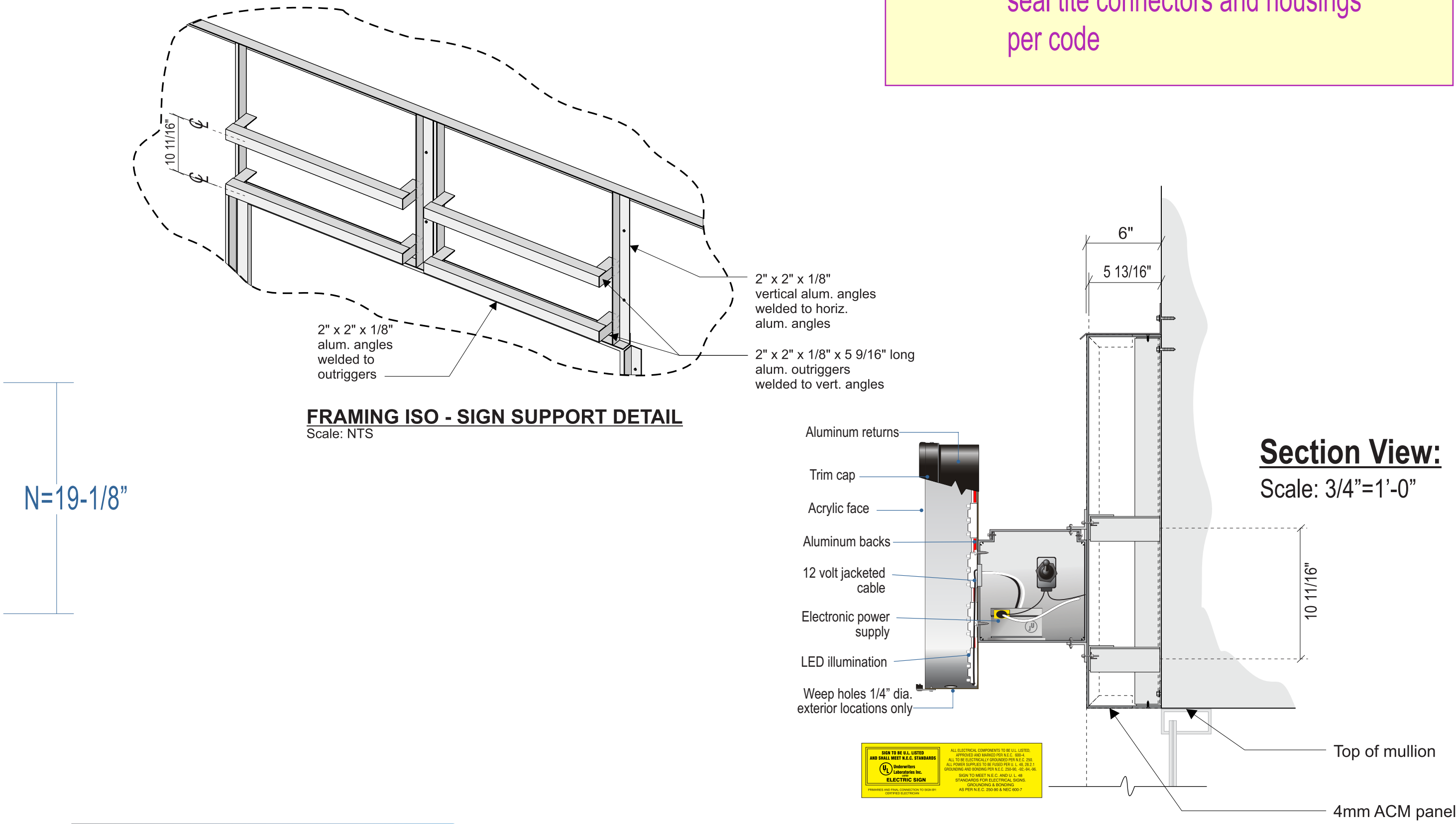
White

#7328 White Acrylic

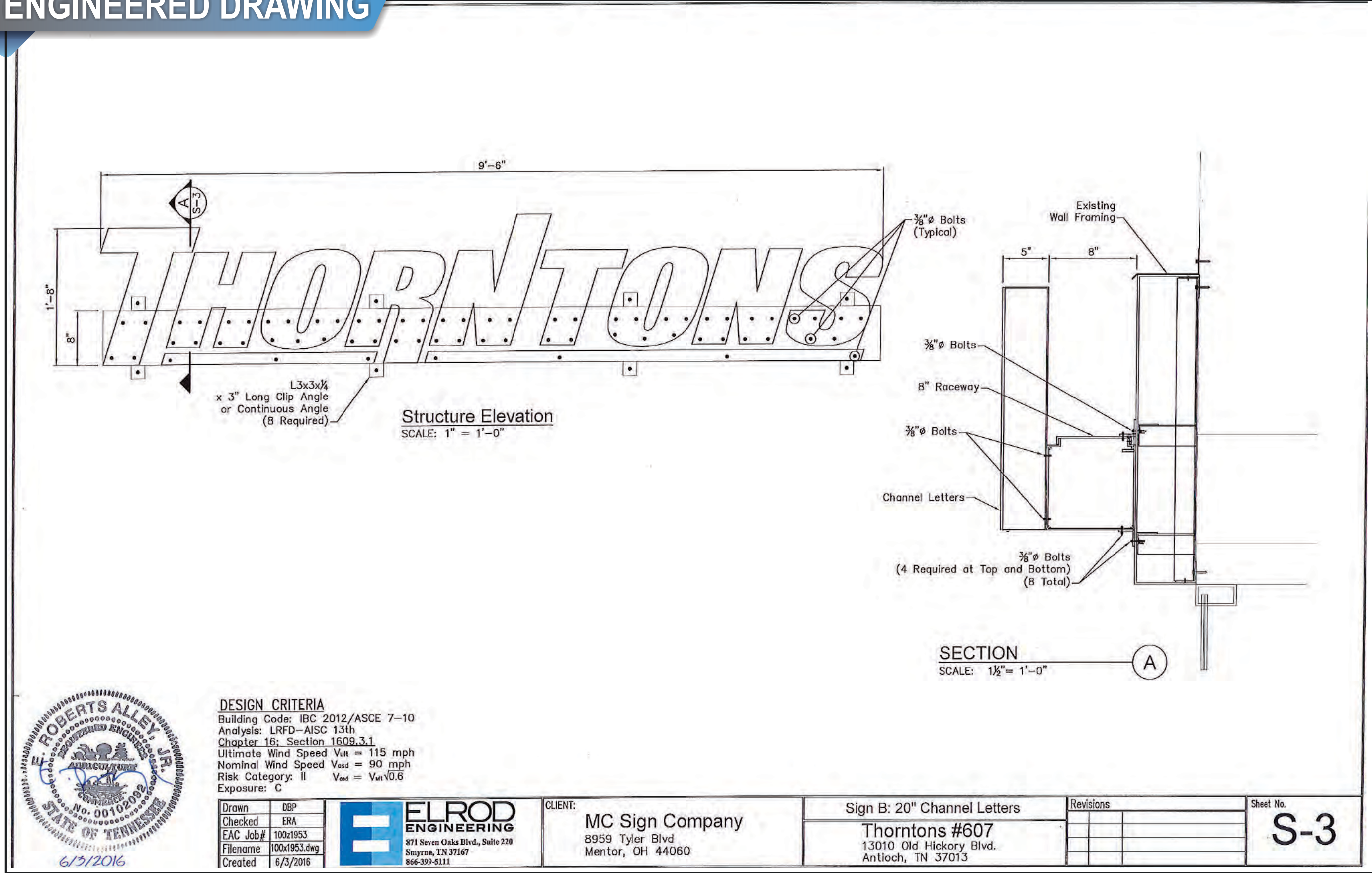
Raceway

Gripflex 585 Red

ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!



ENGINEERED DRAWING



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PROJECT NUMBER:

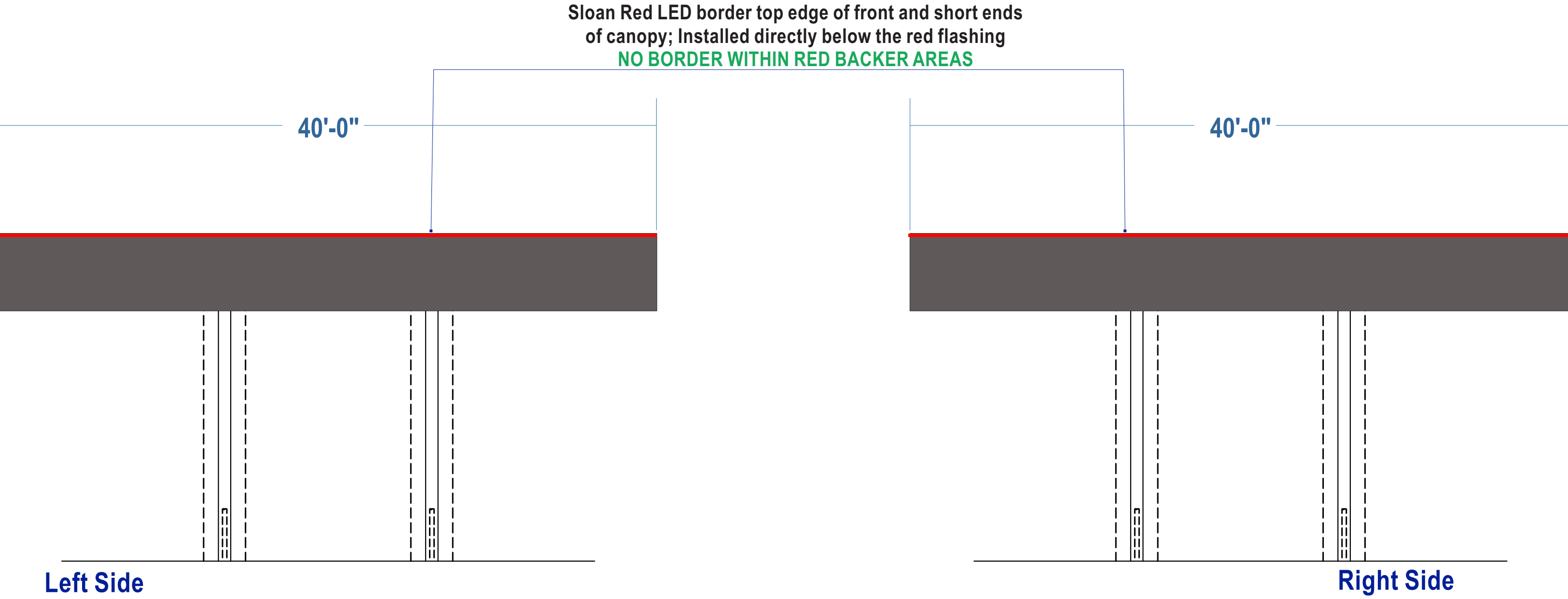
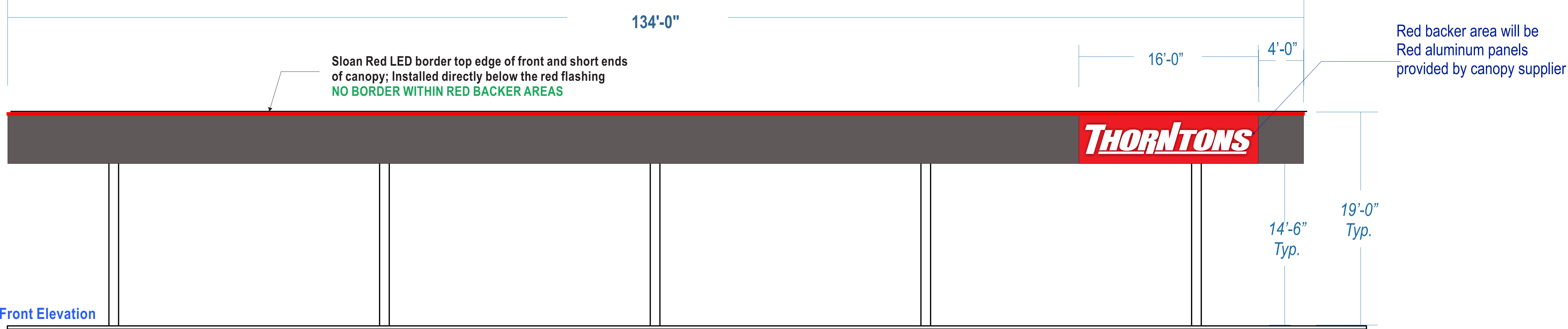
83164

PROJECT MANAGER:

KEVIN HORNE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
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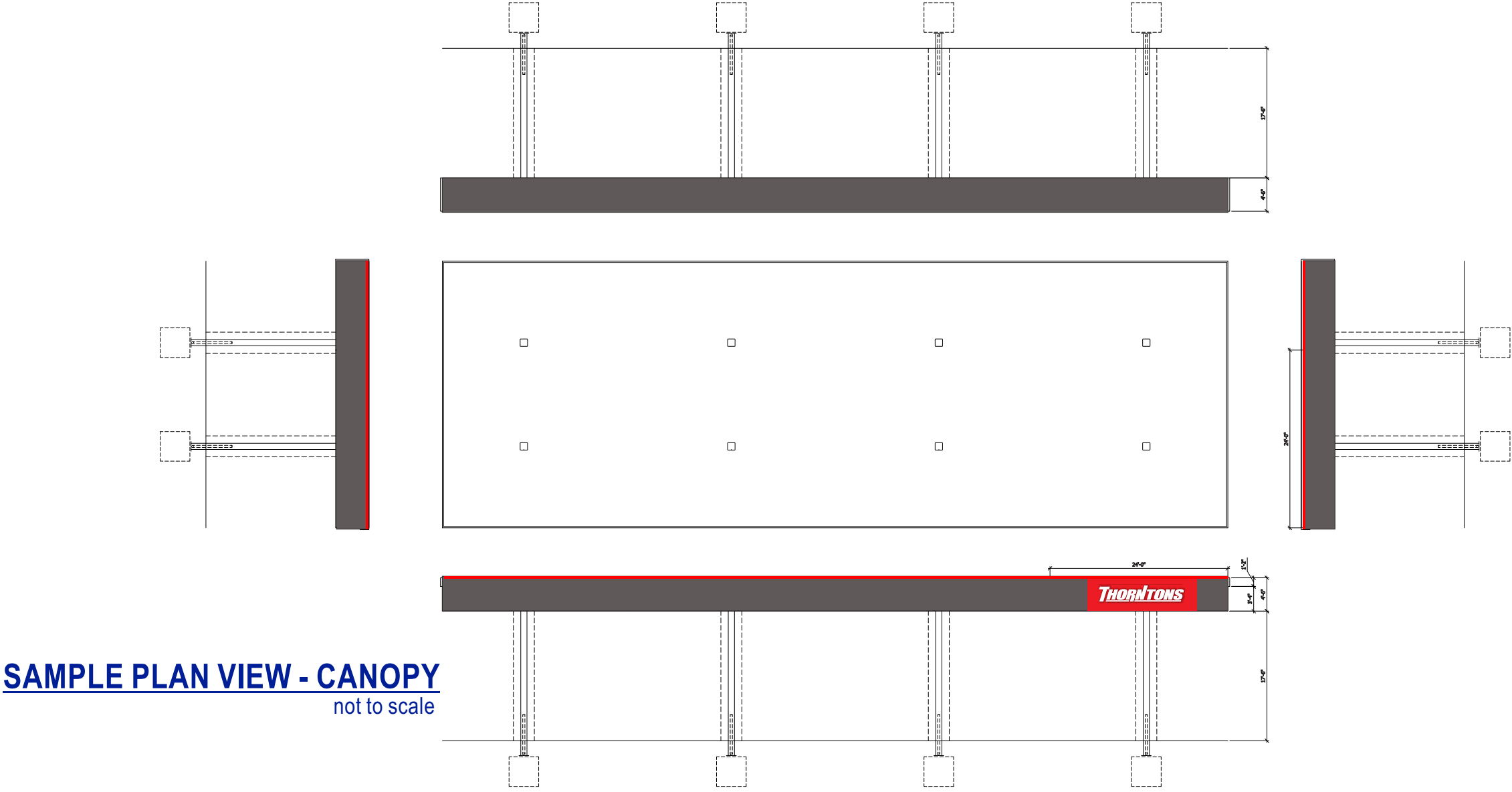




COLOR PALETTE

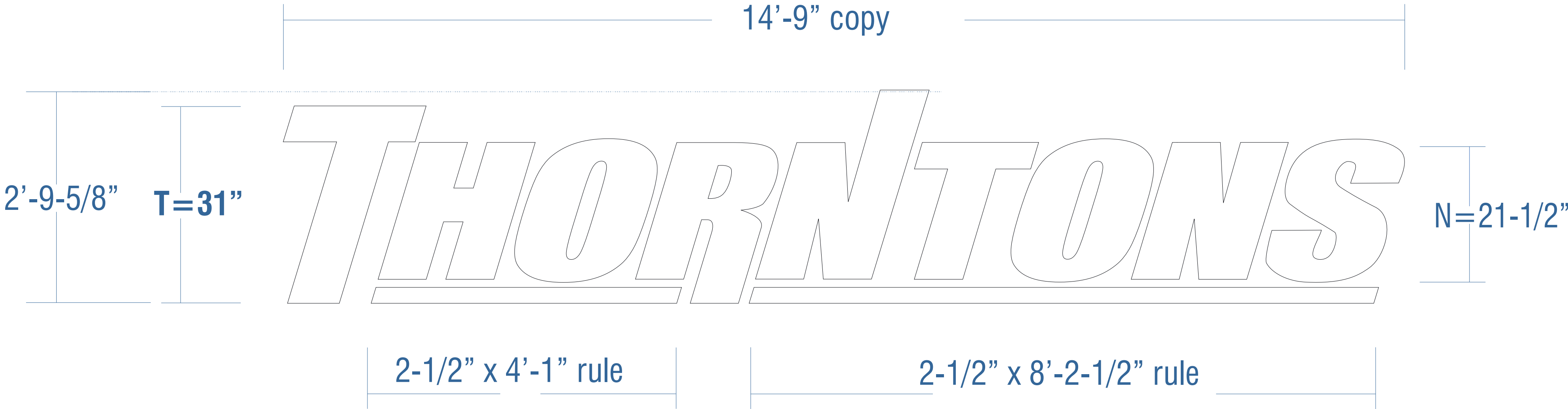
 Pantone 8600 C  
Gray

ALL PAINT FINISHES TO BE HIGH GLOSS  
UNLESS OTHERWISE SPECIFIED!



ELECTRICAL NOTE:

ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code



- FACES:

3/16" #7328 White acrylic
- TRIMCAP:

1" White jewelite
- LETTER BACKS:

.063 alum. - prefinish White all sides
- RETURNS:

5" deep .040 alum. returns painted GG White
- ILLUM. :

White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES HOUSED BEHIND CANOPY FASCIA**
- INSTALL:

Thru bolted flush to canopy fascia using all thread into blocking as required  
12" standard length of threaded rod will be supplied unless otherwise noted  
1/4" -3/8" threaded rod into blocking or Stratus approved equivalent
- QUANTITY:

(1) One required
- CONSTRUCTION NOTES:

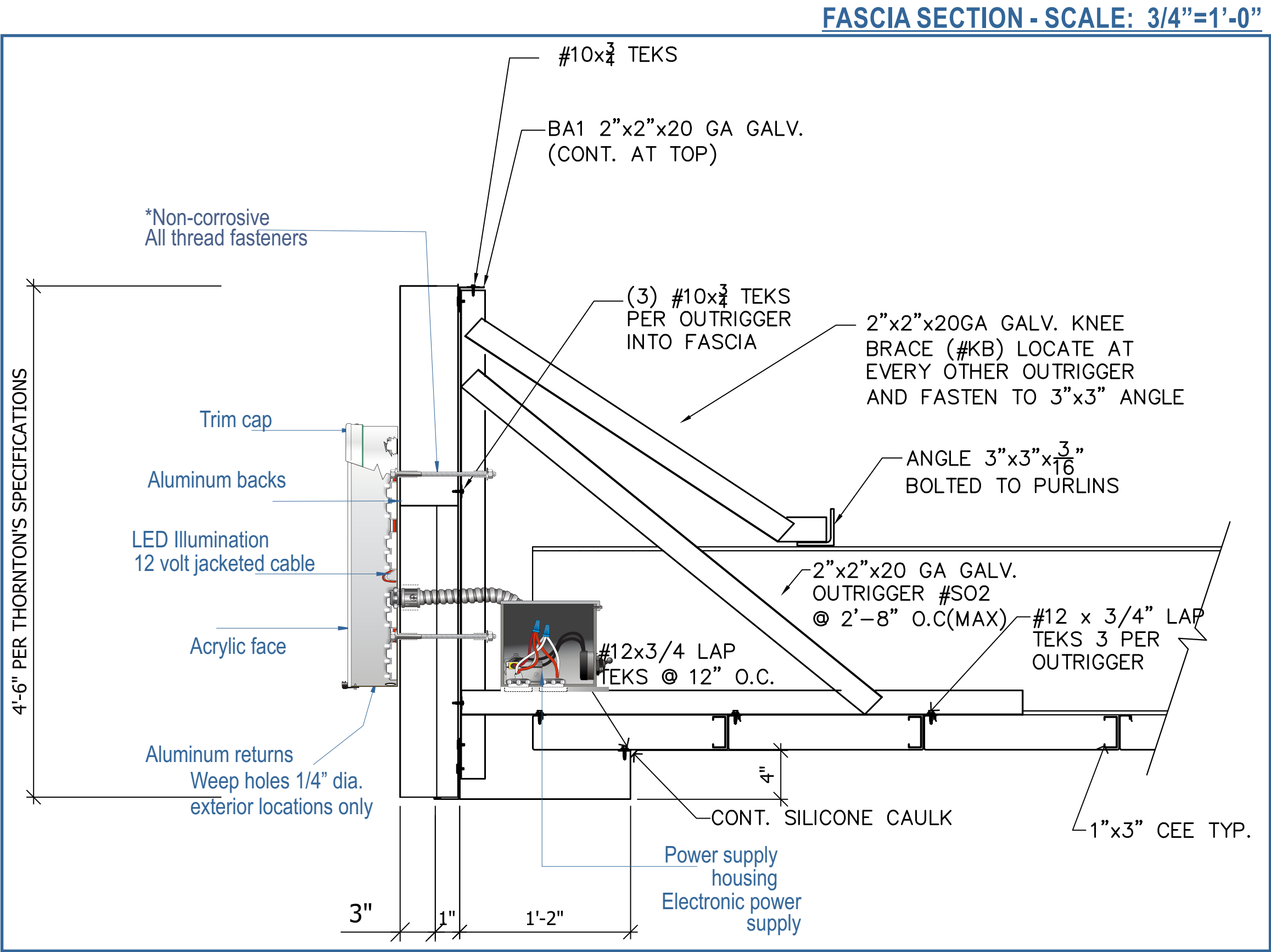
ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC
- MANUFACTURER NOTES:

SIGNAGE MUST BE 3 WIRE  
ELECTRIC FEEDS NEED TO BE IN CENTER OF LETTERS

COLOR PALETTE

White  
#7328 White Acrylic

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



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D/F ILLUM. MONUMENT

Scale: 3/4"=1'-0"

49.8 Square Feet

CABINET NOTE:  
CABINET MUST INCLUDE LOCKING EXTERNAL DISCONNECT SWITCH  
IN ILLINOIS & FLORIDA DUE TO CODE REQUIREMENTS

CABINET: 30" deep Fab'd alum. construction with 2" retainers- All painted Black; Cabinet to sleeve overtop internal support pole & saddle weld into place as required  
Sign cabinet provided to Thorntons by Sunshine Electronic Displays

HEADER FACE: (2) Two gloss panned polycarbonate faces with reverse sprayed graphics to match colors shown; *Provided by Stratus*

ILLUM.: Internal White Sunshine LED lightstrips;  
Power supplies to be housed within cabinet

PRICING UNIT: Sunshine double pricer unit - 30" deep  
Character height = 16"; Red & Green LED digit colors;  
Commodity panels are flat white polycarbonate panels w/ reverse weeded copy to match colors shown

BASE & COLUMNS: Fab'd aluminum framework for sign base w/ 3/4" treated plywood overlay  
*Stratus to furnish the alum. fab'd frame and plywood wrap the frame*  
Nichiha Desert Stone veneer installed over framework  
Stone thickness is approx. 3/4" provided and installed by others;  
*Stone veneer provided & installed by others*

CAPS: (2) Two 3" Synthetic limestone cap for top of base  
*Provided and installed by others following cabinet install;*  
*All Electrical to be done by others* - to be connected and tested  
Installer to connect primary if accessible at time of install

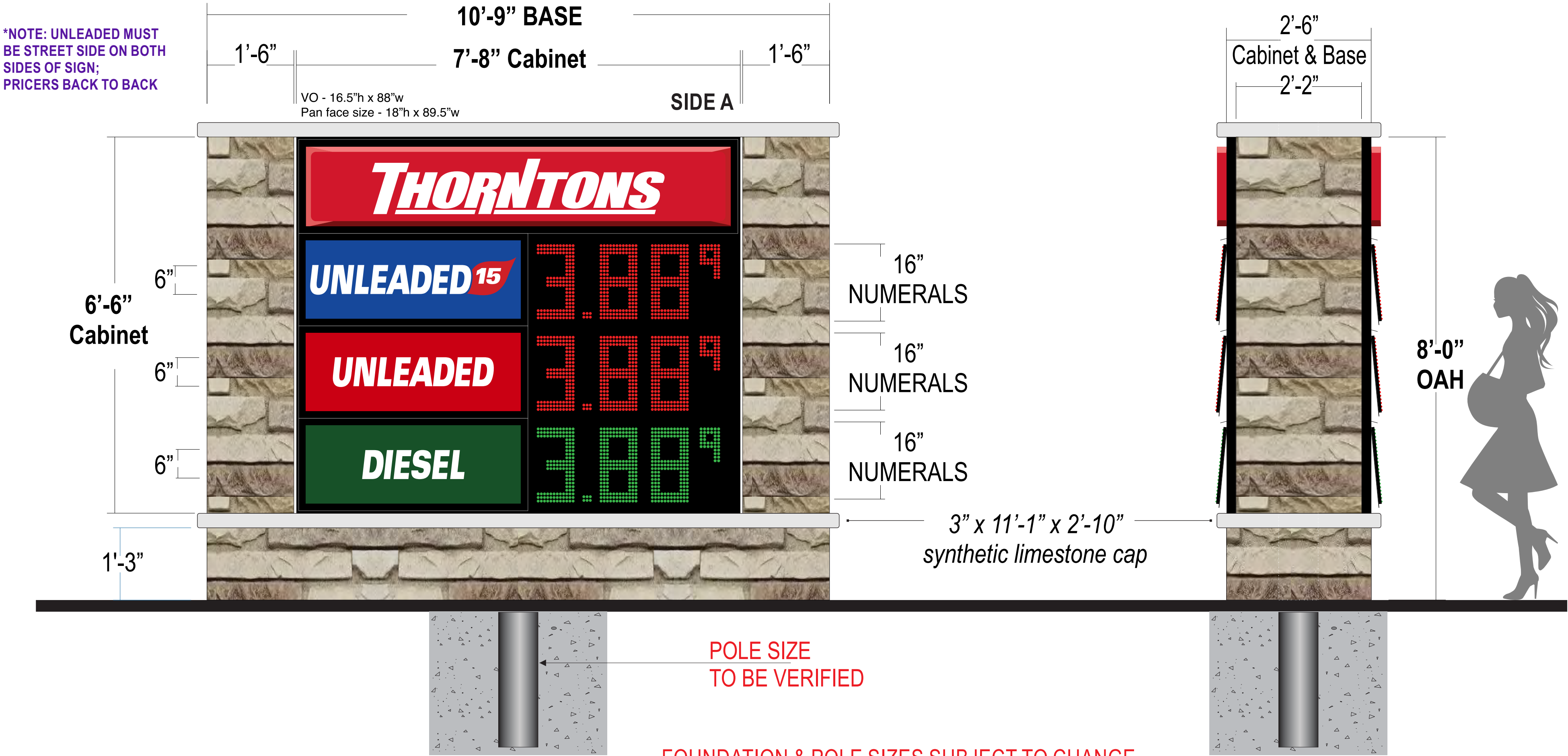
SUPPORT: Cabinet to sleeve overtop internal support;  
Direct burial installation as required by city requirements & engineering specs  
*ADDITIONAL FOOTER DETAILS AND POLE SIZE TO FOLLOW*

JOB NOTES: GC responsible to layout the sign location based on setback information provided by *Stratus* in advance of Sign Spot. Thornton's determines final placement. Sign Spot schedule TBD. Installer to be on site and set up a minimum of (30) thirty minutes prior to scheduled spot. Spot with 4' x 8' plywood piece.

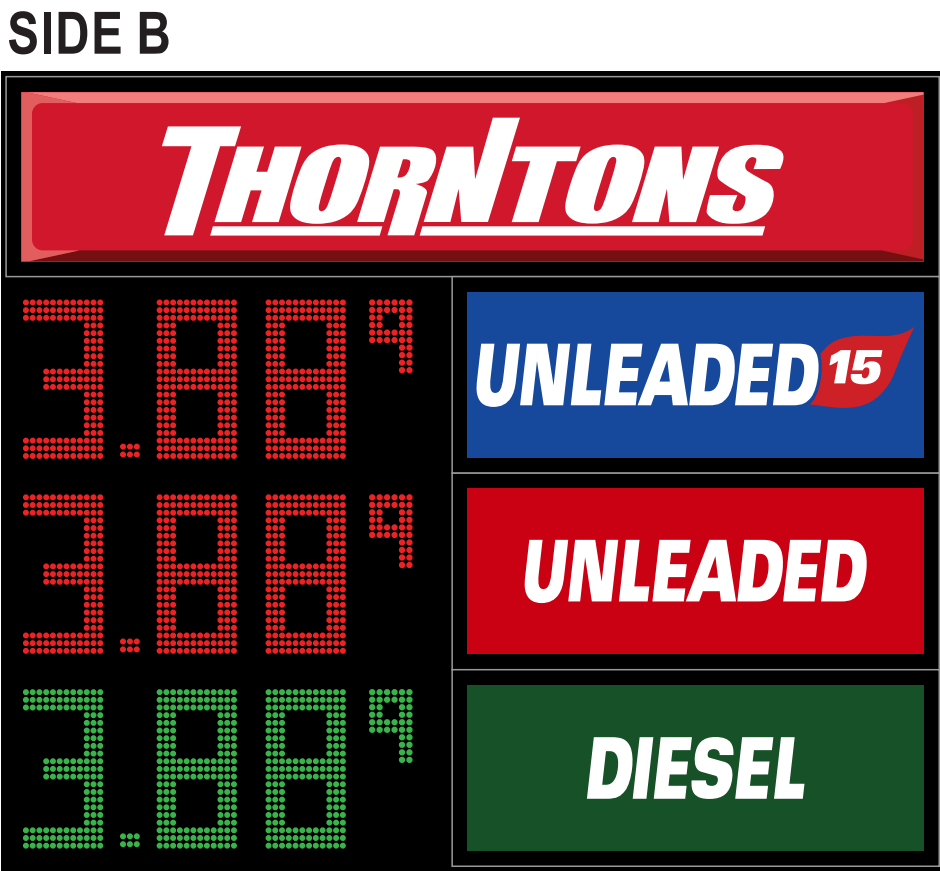
Installer to pour the footer and set the pole immediately following sign spot, within reason.

GC and EC responsible to stub conduit and provide electrical to pricer \ Ensure next to the pole and tall enough to go into the sign following the setting of the footer and pole

Frame and plywood overlay to be installed by installer within a few days of pole setting



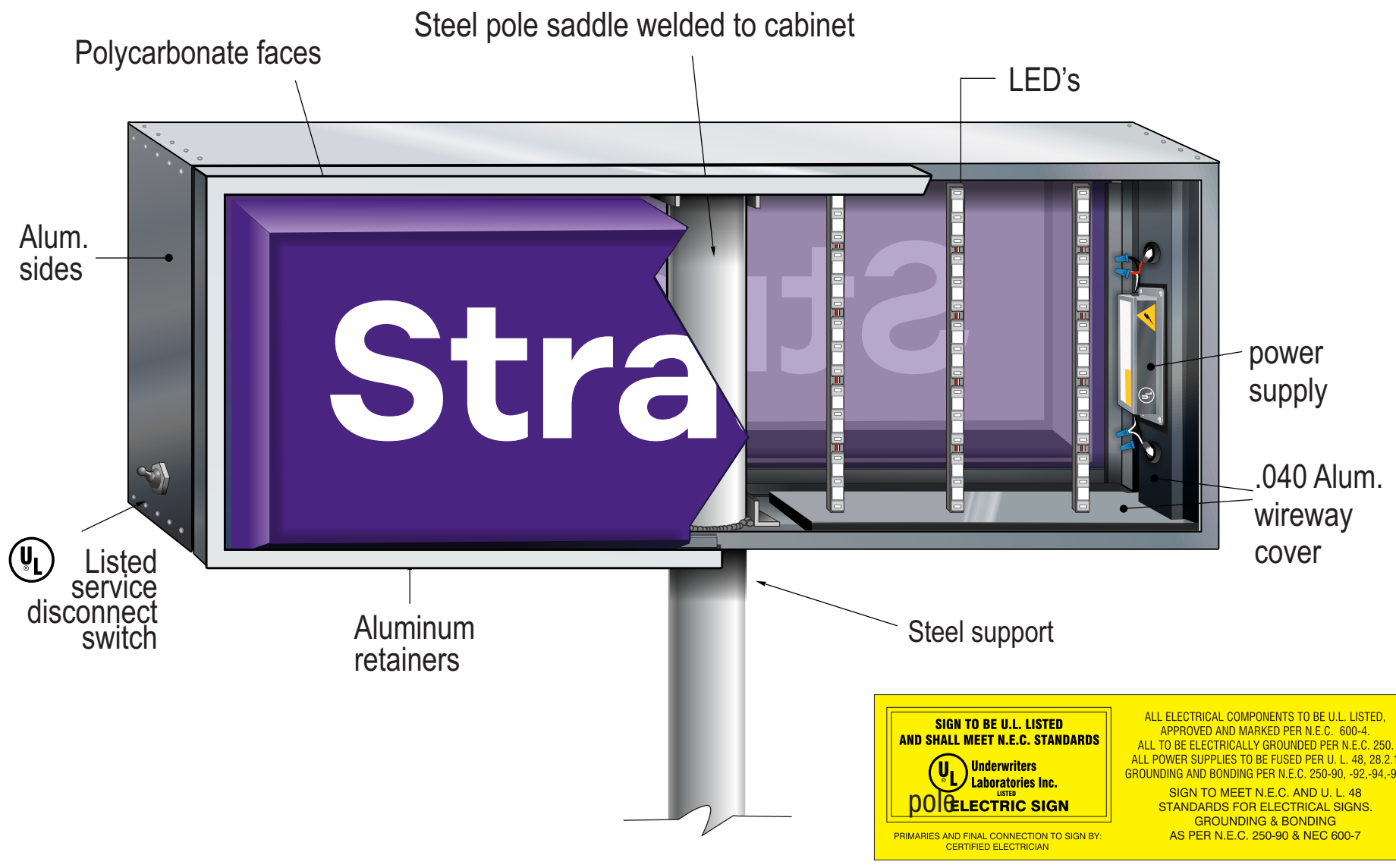
FOUNDATION & POLE SIZES SUBJECT TO CHANGE  
ACCORDING TO ENGINEERING SPECS & CITY REQUIREMENTS!!



COLOR PALETTE

- Black
- UNLEADED 15: 3M 3630-97 Bristol Blue
- UNL 15 & UNL: 3M 3630-33 Red
- DIESEL: 3M 3630-76 Holly Green
- Gripflex 585 Flame Red
- ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

D/F LED ILLUM CABINET | PAN POLY FACES | SLEEVED



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# EXHIBIT B

2. Exempt Signs as per Section 55.10, herein.

B. **Conditional Signs:** The following signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. Unless specifically stated otherwise, a sign permit is required prior to erection of a Conditional Sign in a Transitional District.

1. Subdivision Entryway Sign(s): A maximum of one sign per entryway may be allowed provided each sign shall not exceed 50 square feet in area and four feet in height. The text of all subdivision entryway signs shall include the words "Burr Ridge" as for example, "Oak Subdivision of Burr Ridge". The lettering for "Burr Ridge" may be in smaller font but must be legible. (amended by A-923-08-02)
2. Ground Sign(s): One sign may be allowed for each multi-family residential or non-residential lot or parcel provided it does not exceed 16 square feet in area, is located 10 feet from all lot lines and does not exceed 8 feet in height.
3. Wall Sign(s): One sign may be allowed for each multi-family residential or non-residential lot or parcel provided it does not exceed 16 square feet in area

## Sec. 55.06.

### Business District Signs

This section shall apply to all districts designated by the Zoning Ordinance as a Business District. Business Districts include the B-1 and B-2 Districts.

A. **Permitted Signs:** The following signs are permitted in all business districts. Unless specifically stated otherwise, permitted signs require issuance of a sign permit prior to construction.

1. Ground Sign: One ground sign shall be permitted for each lot or parcel provided the lot or parcel has at least 100 feet of frontage on a public street, that the height of such sign does not exceed 8 feet, that the sign is located a minimum of 10 feet from all property lines, and that the combined area of all ground signs and wall signs shall not exceed 100 square feet.
2. Wall Sign: One wall sign per street frontage shall be permitted for each lot or parcel provided that the combined area of all wall signs and ground signs shall not exceed 100 square feet. Permitted wall signs shall be mounted no higher than the height of the building wall or twenty feet (20') whichever is lower, and no lower than five feet (5') above average surrounding grade.
3. Where the building frontage is on more than one street, the area of the signs facing each street shall be computed on the basis of the building frontage for the street they face, as provided above, but in no case shall the total sign area exceed the maximum provided above.
4. Gasoline pricing signs shall be permitted for gasoline sales stations subject to the following regulations:
  - a. Gasoline pricing signs shall not be independently free-standing, but must be permanently attached below a pre-existing free-standing sign, to a gasoline pump island canopy support or, to a building;
  - b. A maximum of four (4) sign faces, with a total area not to exceed forty (40) square feet, shall be permitted, provided that no single sign face shall exceed twenty (20) square feet in area;

- c. Such signs shall in no case exceed a height, to the top of the sign, of eight feet (8') above ground level.
- 5. Window signs shall be permitted subject to the standards listed below. Window signs do not require a sign permit.
  - a. The sum total of all window signs shall not exceed 40 percent of the total area of the windows in which they are located.
  - b. Window signs shall not have any moving parts.
  - c. A series of windows that are separated by frames and supporting material of less than six inches in width shall be considered as a single window for the purpose of computation.
  - d. Window signs may include the use of neon lighting. Neon window signs shall not exceed 16 square feet or 30 percent of the area of a window whichever is less and shall be counted toward the total area permitted for window signs. Calculation of the area of neon window signs, for purposes of compliance with the maximum 40 percent area as permitted herein, shall be based on the perimeter dimensions of said neon lighting.
- 6. Temporary Signs as per Section 55.09, herein.
- 7. Exempt Signs as per Section 55.10, herein.
- B. **Conditional Signs:** The following signs are subject to the approval of the Board of Trustees upon review by the Plan Commission. Unless specifically stated otherwise, conditional signs require issuance of a sign permit prior to construction.
  - 1. Shopping Center Wall Signs: One sign per tenant space within a shopping center may be allowed subject to the following:
    - a. A comprehensive package of standards for wall signs shall be provided that includes consistent materials, colors, lighting, and placement for all wall signs within a shopping center. Upon approval of the comprehensive sign package, all subsequent signs that comply with the approved standards shall be considered permitted signs.
    - b. Each wall sign shall not exceed one square foot for each lineal foot of the storefront or tenant space width with a minimum area allowed of 25 square feet and a maximum area allowed of 50 square feet with the exception that allowable sign area for one to three designated anchor tenants may be increased by transferring sign area to the anchor tenant(s) from other tenants.
  - 2. Shopping Center Ground Sign: One shopping center ground sign may be allowed subject to the following:
    - a. Shopping center ground signs shall be consistent in design, materials, and colors with the wall signs.

- b. Shopping center ground signs shall be a maximum area of 100 square feet in area (to be calculated independent of the size of wall signs).
  - c. Shopping center ground signs shall not exceed a maximum height of 8 feet except as allowed by paragraph e below.
  - d. Shopping center ground signs shall be setback a minimum of 10 feet from all property lines except as required by paragraph e below;
  - e. The height of shopping center ground signs may be increased up to 12 feet provided that the sign is setback an additional 3 feet for each 1 foot increase in height. For example, a 9 foot high sign would require a 13 foot setback from all property lines, a 10 foot high sign would require a 16 foot setback.
- 3. Light Pole Banners: Banners affixed to light poles and announcing a federal, state or local holiday, a business anniversary, or a similar event but not advertising any specific products or services offered, may be allowed for a limited time not to exceed 90 days in any one calendar year. Light pole banners do not require issuance of a sign permit.
  - 4. Subdivision Entryway Sign(s): A maximum of one sign per entryway may be allowed provided each sign shall not exceed 50 square feet in area and four feet in height. The text of all subdivision entryway signs shall include the words "Burr Ridge" as for example, "Oak Subdivision of Burr Ridge". The lettering for "Burr Ridge" may be in smaller font but must be legible. A subdivision entryway sign shall not be allowed in conjunction with a shopping center sign. (A-923-08-02)
  - 1. Signs with more than Three Colors: Signs otherwise prohibited by Section 55.11.Q herein may be allowed.
  - 6. Wall Signs mounted more than 20 feet above grade: Wall signs that do not exceed the height of the building wall but mounted more than 20 feet above the surrounding grade and meeting all other standards herein, may be allowed. (Amended by Ordinance A-923-01-06)

**Sec. 55.07.**

**Manufacturing District Signs (Amended by Ordinance A-923-02-19)**

This section shall apply to all districts designated by the Zoning Ordinance as Manufacturing Districts. Manufacturing Districts include the RA, LI, and GI Districts.

- A. **Permitted Signs:** Unless specifically stated otherwise, a sign permit is required for all Permitted Signs in Manufacturing Districts. The following signs shall be permitted in all Manufacturing Districts:
  - 1. For buildings of less than 100,000 square feet, each tenant is permitted one wall sign, up to three wall signs, subject to the following conditions:
    - a. The gross square footage of each wall sign shall not exceed the linear street frontage of the subject property divided by three. The permitted gross surface area of each wall sign shall be a minimum of 50 square feet but shall not exceed 75 square feet.





**8. In Yards**

- a. Off-street parking spaces, open to the sky, may be located in required interior side yards and rear yards subject to compliance with the landscaping and setback requirements contained in Section XI.C.11, herein.
- b. In Business Districts, parking in the front and corner side yards shall be allowed in accordance with the specific parking regulations set forth in the Business District regulations.
- c. In no event shall parking be permitted in the Manufacturing, Office, and Transitional Districts anywhere in front of the building, whether in the front yard, the interior side yard, side yard adjoining the street or any buildable area in front of the building, nor anywhere in the side yard adjoining a street.

**9. Design and Maintenance**

**a. Open and Enclosed Parking Spaces**

- (1) Accessory off-street parking spaces located on the same lot as occupied by the use served may be open to the sky or enclosed in a building or structure.
- (2) Accessory off-street parking spaces that may be permitted in a location other than on the same lot occupied by the use shall be open to the sky except when an off-site storage garage or parking building or structure is approved for such required parking.
- (3) Required open parking spaces in residential areas must be located in special parking bays or in parking areas serving two (2) or more dwelling units. Spaces provided merely in the street right-of-way shall not be counted in determining the number of parking spaces being provided.

**b. Surfacing**

- (1) All open off-street parking areas and driveways for all uses except single-family residences shall be improved with an all-weather hard surface pavement including, at a minimum, a two inch (2") bituminous concrete surface course, with a twelve inch (12") minimum thickness aggregate base course, and six inch (6") high perimeter concrete curbing (Type B or Type B6:12) installed in accordance with Illinois Department of Transportation specifications.
- (2) All parking and driving areas for attached and detached single-family residences shall be improved with an all-weather hard surface (perimeter curbing shall not be required). (Amended by Ordinance A-834-9-01)

**c. Lighting**

- (1) Illumination of an off-street parking area shall be arranged so as not to reflect direct rays of light or glare into adjacent residential districts and streets.
- (2) Intensity of illumination of parking areas shall not be less or more than the following standards: Except as otherwise specifically provided elsewhere in this Ordinance, parking lot lights must be no more than 20 feet high and be limited by the following factors: an



average lighting level of 1.0 foot candle with a minimum of 0.75 foot candle; a uniformity ratio of not greater than 4-to-1, and lighting distribution shall be provided by cut-off type fixtures. All such parking lot lighting shall be extinguished or reduced in intensity to not more than an average of 0.5 foot candles no later than 30 minutes after the close of business.

- (3) Amortization: Lighting for accessory off-street parking areas regulated by this Section XI.C.9.c in existence on the effective date of this Ordinance and which is not in compliance with this Section XI.C.9.c, shall be regarded as non-conforming parking lot lighting. Such non-conforming parking lot lighting may be continued for a period of one (1) year from the effective date of this Ordinance if properly repaired and maintained as provided herein and as provided by other ordinances of the Village of Burr Ridge.

At the end of this one (1) year period, all such non-conforming parking lot lighting shall thereafter comply with the requirements of Section XI.C.9.c.

**d. Repair and Service**

No motor vehicle repair work of any kind shall be permitted in off-street parking areas. No gasoline or motor oil shall be sold in conjunction with any accessory parking facilities.

**10. Location**

After the effective date of this Ordinance, required accessory off-street parking spaces shall be located on the same lot as the principal building or use served, except upon approval of a special use as per Section XIII.K, herein, authorizing all or a part of the required off-street parking spaces to be located on a lot that does not contain the building or use served.

Unless such permitted off-site parking spaces are shared with and located on the same property as another use, they shall be located in a district where parking lots or storage garages are allowable principal uses. However, off-site parking areas shall comply with the regulations of Section XI.C.2 of this Ordinance for required accessory parking spaces not located on the same lot as the building or use served.

**11. Landscaping**

All portions of a lot not parked or built upon or used for an accessory use shall be maintained in landscaping. In addition to and exclusive of driveways and aisles, open areas shall be provided within and around the perimeter of parking and loading areas to accommodate trees, shrubs and other landscape materials. The dimensions of required landscape areas shall be measured from the back of curb of the parking area. Required landscape areas shall be provided as required herein.

**a. Perimeter Landscape Areas**

- (1) **Residential Uses** - A landscape area at least 8 feet wide shall be provided along each side of the parking area of a lot used for multiple-family residences.
- (2) **Non-residential uses:** Parking lot setbacks and landscape areas shall be provided along each side of a parking area in compliance with the following:



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**V-02-2022: 8311 Fars Cove (Panico); Variation and Findings of Fact; Request for a variation to permit a detached accessory building (garage) within the side buildable area pursuant to Zoning Ordinance section IV.I.1.**

**HEARING:**

May 2, 2022

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Janine Farrell, AICP  
Community Development Director

**PETITIONER:**

Richard Panico

**PETITIONER STATUS:**

Property Owner

**PROPERTY OWNER:**

Richard and Kristy Panico

**EXISTING ZONING:**

R-2B Single-Family Residential

**LAND USE PLAN:**

Recommends single-family  
residential

**EXISTING LAND USE:**

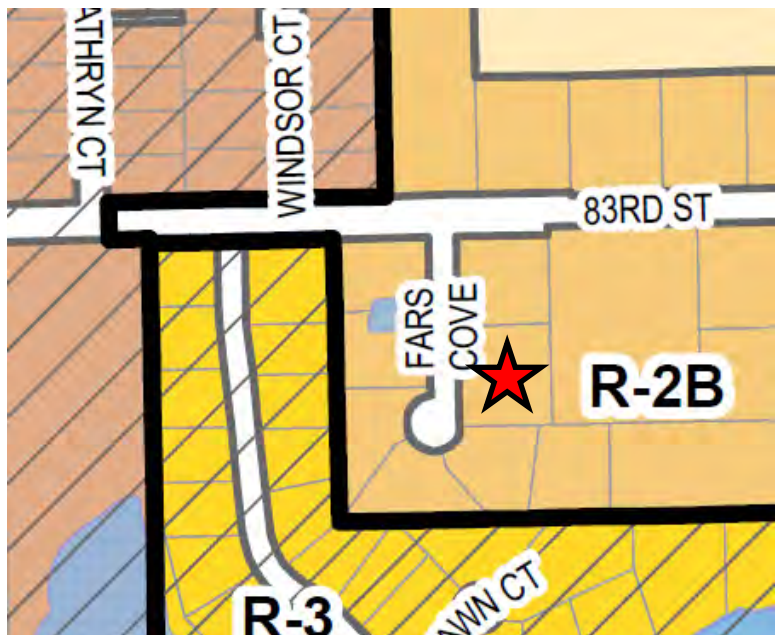
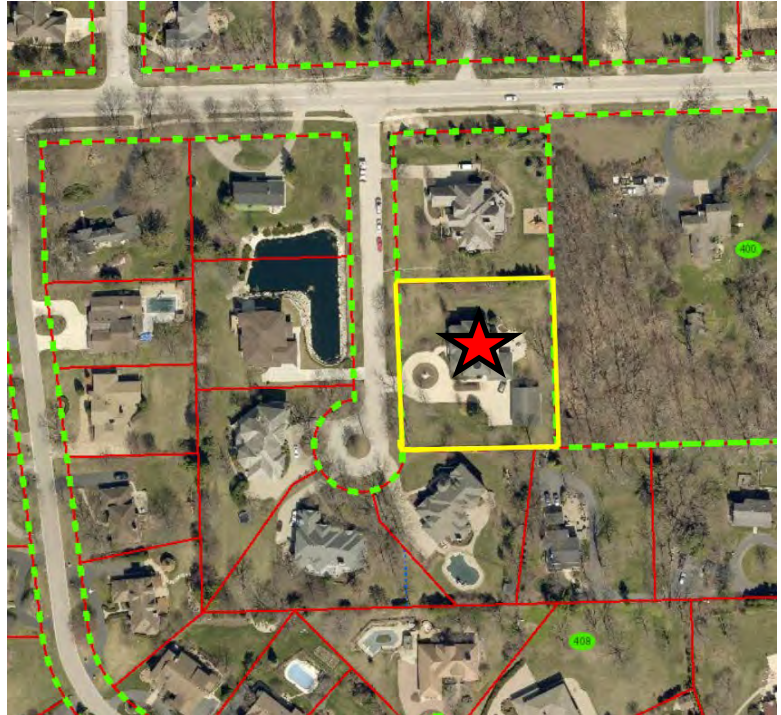
Residence and detached garage

**SITE AREA:**

± 1 Acre/43,600 sq. ft.

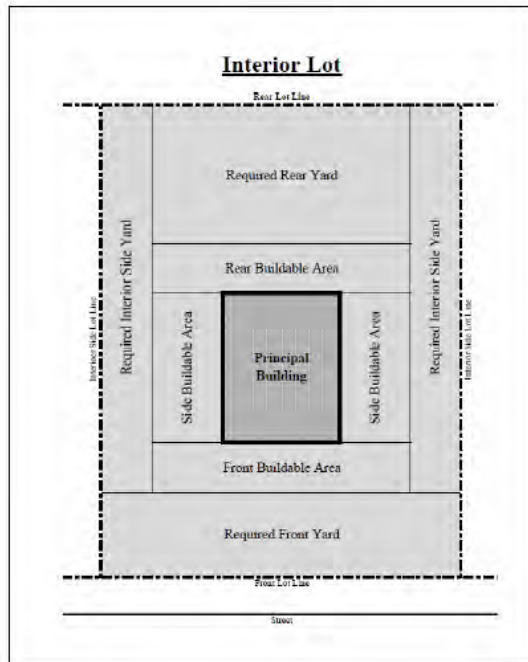
**SUBDIVISION:**

Panico's 83<sup>rd</sup> St. Assessment Plat





The petitioner is Richard Panico, owner of the subject property. The petitioner is requesting a variation from section IV.I.1 of the Zoning Ordinance in order to construct a detached garage within the side buildable area. Section IV.I.1 stipulates that “detached buildings accessory to permitted residential uses are permitted in the rear buildable area and may also be located in a required rear yard but not closer than 10 feet to the rear lot line.” The petitioner currently has an attached garage and detached garage on the property. The existing detached garage is within the rear buildable area. The petitioner seeks to build a second detached garage within the side buildable area. The petitioner is permitted to have a second detached garage and in all other respects (location aside), the proposed garage meets Zoning Ordinance regulations.



*Left: Diagram illustrating buildable areas from the Zoning Ordinance.*

*Right: Aerial image of the site with a dashed orange box illustrating roughly the area where the second detached garage can be located. The star indicates the petitioner's proposed location.*

The petitioner provided a detailed history pertaining to this request, included as Exhibit A. In summary, the petitioner provided plans to the Village in 2004 when the home was initially proposed. The original plans showed the residence with a side yard garage attached by a masonry wall and a detached garage. When these plans were then submitted for permit, they were rejected. While the Zoning Ordinance does not contain a definition for an attached garage (currently scheduled for public hearing on May 16, 2022 at the Plan Commission), policy dictates that an attached garage is one that shares an internal or party wall with the residence or one that is connected by above-ground, horizontal structural elements (i.e. a roof). An attached garage has been interpreted to not include a detached structure connected by a wall or fence. In 2005, the petitioner abandoned the side yard garage and continued with the residence and detached garage in the rear. The petitioner is now seeking to build this secondary garage in the side buildable area.

### **Public Hearing History**

**Z-27-2003:** Rezoning of the property from R-1 to R-2B.

**Z-07-2021:** The petitioner requested a text amendment to the Zoning Ordinance in order to permit detached garages in the side buildable area. This request was unanimously denied by the Plan Commission with one abstention on July 19, 2021. The petitioner withdrew the request prior to the Board voting on the matter.

### **Public Comment**

No public comment has been received.

### **Findings of Fact and Recommendation**

The petitioner has provided findings of fact, which the Plan Commission may adopt if in agreement with those findings.

### **Appendix**

#### Exhibit A - Petitioner's Materials

- Application
- Findings of Fact
- Timeline, summary of events, and summary of communications pertaining to the proposed side yard garage
- 2005 letter of apology from Village
- Original Site Plan
- Current proposed Site Plan
- Elevations/Renderings





# EXHIBIT A



## VILLAGE OF BURR RIDGE

### PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

RECEIVED

APR 08 2022

VILLAGE OF BURR RIDGE

#### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): RICHARD PANICO

STATUS OF PETITIONER: RESIDENT / HOME OWNER

PETITIONER'S ADDRESS: 8311 FARNS COVE

ADDRESS OF SUBJECT PROPERTY: 8311 FARNS COVE

PHONE: 708-214-6924

EMAIL: CRPANICO@IPMCINC.COM

PROPERTY OWNER: RICH & KRISTY PANICO

PROPERTY OWNER'S ADDRESS: 8311 FARNS COVE PHONE: 708-214-6924

PUBLIC HEARING REQUESTED: ☐ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

#### DESCRIPTION OF REQUEST:

I AM SEEKING APPROVAL TO BUILD A SIDE YARD  
GARAGE

#### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 1.11 / 43,600 sq ft EXISTING ZONING: R-2B

EXISTING USE/IMPROVEMENTS: Single-Family residential w/ detached garage

SUBDIVISION: Panico's 83rd St. Assessment Plat

PIN(S) # 09-36-408-027-0000 97

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Richard Panico

Petitioner's Signature

Date of Filing



**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

8311 FARS COVE

Property Owner or Petitioner:

RICHARD PANICO  
(Print Name)

*Richard Panico*  
(Signature)



Findings of Fact - Zoning Variation  
Burr Ridge Zoning Ordinance

Address:

8311 FAR'S COVE

As per Section XIII.H.3 of the Village of Burr Ridge Zoning Ordinance, for a variation to be approved, the petitioner must confirm all of the following findings by providing facts supporting such findings.

- a. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out  
**WHILE THE CURRENT ORDINANCE ALLOWS FOR THE ADDITION OF ANOTHER GARAGE IN THE REAR YARD, EXISTING STRUCTURES (HOUSE, ATTACHED GARAGE, & DETACHED GARAGE LIMIT REASONABLE ACCESS TO REAR YARD. CURRENT PLAN WAS IMPOSED BY THE VILLAGE DURING ORIGINAL PERMIT REVIEW (REFERENCE ATTACHED EXHIBITS))**
- b. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located.

**NA**

- c. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.

**CORRECT**

- d. The purpose of the variation is not based primarily upon a desire to increase financial gain.

**NO**

- e. The alleged difficulty or hardship is caused by this Ordinance and has not been created by any persons presently having an interest in the property.

**HARDSHIP IS CAUSED BY MISDIRECTION PROVIDED BY VILLAGE WHEN ORIGINAL HOUSE PLANS WERE SUBMITTED**

- f. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

**THE PROPOSED ARCHITECTURAL DESIGN WILL BE AN ENHANCEMENT AS IT COMPLEMENTS HOUSE DESIGN AND SERVES AS "SCREEN" TO REAR GARAGE.**



- g. The granting of the variation will not alter the essential character of the neighborhood or locality.

*CORRECT*

- h. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

*CORRECT*

- i. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

*TO THE BEST OF MY UNDERSTANDING, THIS IS  
CORRECT*

Apr 15, 2022 at 12:53:17 PM

8311 Fars Cove  
Burr Ridge IL 60527  
United States



**NOTICE**  
Village of Burr Ridge

There will be a public hearing to consider zoning changes or approvals for this property.

For further information, please call or visit:

Burr Ridge Village Hall  
7660 County Line Road  
(630)654-8181, Extension

Ask for Information, Re V-02-2022

Further details are available at:  
[www.burr-ridge.gov](http://www.burr-ridge.gov)  
(see Public Hearing/Plan Commission Agenda)





Panico Residence

8311 Fars Cove

Side Yard Garage Variance Application

Additional Information Related to Request

- Original plan view and elevation submitted for preliminary review (2004)
  - This included side yard garage integrally attached to house by masonry wall and a detached rear yard garage
  - Plan reviewed and preliminarily approved by Village Planner, Aaron Cook
- Final plan with side yard garage was submitted for permit review (2005)
  - Plan rejected for side yard garage even though preliminary approval had been obtained
  - Upon final submittal, plan was also rejected (by Aaron Cook) for front balcony, which I was told was in violation, even though it was well beyond setback requirements
    - This was challenged and immediately dismissed/approved when presented to the Trustees
  - Drawings were changed to eliminate side yard garage even though Village had preliminarily approved the design; further definitive reference to the definition of what constitutes a connected structure could not be provided; this ambiguity remains 17 years later as validated by a recent Village Planning Board decision to address this definition in April 2022 (as communicated by Community Development Director, Janine Farrell during meeting on February 11, 2022).
- Village sends letter of apology for “providing inaccurate and incomplete information” (June 30, 2005)
- The last-minute changes forced decision to either potentially delay construction for several months or move forward without the side yard garage. I opted to move forward because of other personal considerations.
  - The approved plan greatly restricted the option to construct an additional rear yard garage, even though setback and other requirements can be met. There would be no way to access the additional rear yard garage without creating a second driveway on the north side of the property. Therefore, we would have two large driveways, one on the south and the other on the north side of the house.
  - Based upon guidance provided by the Village, I have been placed in a position where I cannot build the additional garage, because of the aforementioned reason.
  - The inability to build a third garage imposes a hardship I tried to avoid from the very beginning, that is, having inadequate storage for my classic automobiles. Further, my original purchase was predicated by the fact that the land was unincorporated; this changed prior to my construction start when my property was annexed.
- Reintroduced the proposed additional garage to the Village (Evan Walter) on March 25, 2021
  - Based upon this discussion, Evan recommended I pursue a Text Amendment
  - Case presented to the Planning Board on July 19, 2021, and rejected

- The recommendation to seek a text amendment was misguided, as a variation would have been more appropriate.
- Met with Janine on February 11, 2022, to review entire history
  - Janine indicated that the definition of what constitutes an attached structure remains ambiguous. She further indicated that this issue would be addressed by the Planning Commission in April.
  - I further evaluated the option of connecting the proposed side yard garage with a structural masonry wall, connected to the house foundation and footings and the of the proposed side yard garage. Based upon this assessment, the cost and disruption to existing large trees, drain tile, and footing do not justify the wall. Further, the wall would still be subject to various interpretations of “connected” by the Planning Commission, as this was a subject of debate by Commission members during the July 19 Text Amendment hearing. During that discussion, some members said that they would approve the design with the wall, others disagreed.
  - On March 28, 2022, I communicated to Janine that I would apply for the variance for the detached side yard garage. She asked that I also provide a colored rendering of the proposed structure, which I agreed to do.

## Panico, Rich

---

**Subject:** Meeting with Doug Pollock to discuss rejection of the house plan by his department

**Start:** Wed 6/22/2005 4:00 PM

**End:** Wed 6/22/2005 4:30 PM

**Show Time As:** Out of Office

**Recurrence:** (none)

The meeting began at 4:45 p.m. due to my delay in getting back to Burr Ridge from meetings downtown. I called Doug Pollock at about 3:50 p.m. and left a message indicating that I was caught up in traffic on I-55 and would be arriving late for the meeting.

The meeting started at approximately 4:45 p.m. with Doug and Aaron Cook. I started the meeting by stating that I wanted clarification on Aaron's note to me as part of the permit review process indicating that my house plans could not be approved because the method of "attaching" the two car garage does not substantially attach the garage in a manner consistent with previously approved similar features". Therefore, the garage is considered detached and thus the plan does not conform to requirements. I asked Aaron if he recalled the preliminary plan review and discussions that caused me to revise a significant portion of the plan to conform to his recommendations. He stated that he vaguely remembered. I turned to Doug and stated that I have a real issue with the lack of accountability and responsibility. After a very lengthy discussion, neither Doug nor Aaron could provide any direct reference to codes/ordinances being violated by the plan. The only argument offered is what had been approved in the past and that this was not being viewed as similar. I pointed out that what had been approved in the past was also discretionary (which they agreed) and for me to have to apply the same architectural approach was neither objective nor based upon clear requirements. The fact remains that I made significant changes to my design to satisfy the direction received from the Planning Department, specifically Aaron Cook. After 45 minutes, Doug Pollock stated that this is a very difficult situation and "I cannot make the decision tonight, I have to sleep on it". I expressed deep disappointment in the lack of responsibility and accountability. Doug promised to get back to me the next day.



## Panico, Rich

---

**Subject:** Called Doug Pollock

**Start:** Thu 6/23/2005 11:30 AM  
**End:** Thu 6/23/2005 12:00 PM

**Recurrence:** (none)

I hadn't heard from Doug so I called him. Doug started by telling me what a difficult decision and situation this is and in his words, we "really screwed up". He then proceeded to tell me how much he was trying to help me resolve the issue but followed with a litany of reasons why he couldn't approve what they had already approved. I told Doug that although he started the conversation by saying I haven't been able to reach a decision, it was clear from the list of excuses and reasons that he had decided not to approve the plan. He again stated that he they really screwed up and I argued that those were his words not mine. I argued that it was less an issue of making a mistake than it is changing their minds on a what appears to be a discretionary call. He stated that he couldn't do anything more and I responded that my only option is to escalate the issue.

## **Panico, Rich**

---

**Subject:** Called Bob Grela

**Start:** Thu 6/23/2005 12:00 PM  
**End:** Thu 6/23/2005 12:30 PM

**Recurrence:** (none)

I called Bob Grela and explained the permit issue. Bob responded that he felt personally accountable since he had recommended a preliminary plan review to me. He said that he recalled that I made significant revisions based upon the planning department's direction. Bob said that he would talk to Doug and get back to me.

## **Panico, Rich**

---

**Subject:** Received call from Doug Pollock

**Start:** Thu 6/23/2005 1:30 PM

**End:** Thu 6/23/2005 2:00 PM

**Recurrence:** (none)

Doug stated that he received a call fro Bob Grela and that Bob suggested some alternatives for him (Doug) to consider in order to assess my situation. Doug's voice was upbeat so I assumed that the voice of reason had prevailed.



## **Panico, Rich**

---

**Subject:** Call from Doug Pollock (10:15 a.m.)

**Start:** Fri 6/24/2005 10:00 AM

**End:** Fri 6/24/2005 10:30 AM

**Recurrence:** (none)

Doug left a message that he had researched other alternatives and spoke with the Village Administrator and attorney and could not come up with a decision in my favor, "none came to fruition". He offered further assistance.

## **Panico, Rich**

---

**Subject:** Called Bob Grela to discuss permit issue

**Start:** Mon 6/27/2005 11:00 AM

**End:** Mon 6/27/2005 11:30 AM

**Recurrence:** (none)

Spoke to Bob and informed him that the Village was not going to approve the plan that they had already approved. Bob said that he'd call Doug and get back to me.

## **Panico, Rich**

---

**Subject:** Received call from Doug Pollock

**Start:** Mon 6/27/2005 3:30 PM

**End:** Mon 6/27/2005 4:00 PM

**Recurrence:** (none)

Doug left message that he wanted to make sure that I had received Friday's message. He offered his sincere apologies and regrets for the situation they caused and offered assistance in moving forward. Voice mail message retained.



## **Panico, Rich**

---

**Subject:** Returned Doug Pollock's call

**Start:** Mon 6/27/2005 4:00 PM

**End:** Mon 6/27/2005 4:30 PM

**Recurrence:** (none)

We rehashed the situation and, other than Doug's apologies and regrets, I got no resolution. Doug offered to expedite the permit review process after I make the design changes and even offered to approve the house portion of the plans which I quickly pointed out would have to change dramatically. I tried once again to argue my case but to no avail. I told him that I have to consider all of my options. He said that I could appeal to the Planning Board but this would probably not happen until August, then I have no guarantees of the outcome. I did point out to Doug that I could prove that Aaron reviewed the plan because when he reviewed the plan, he told me that I could not have a balcony in front. I ended up taking this to the Planning Commission; it was readily resolved.

**Panico, Rich**

---

**From:** Panico, Rich  
**Sent:** Wednesday, June 29, 2005 11:05 AM  
**To:** 'Douglas Pollock'; 'sstricker@burr-ridge.gov'  
**Cc:** Heiting, Karen  
**Subject:** Appeal process

Dear Doug and Steve,

Assuming that I take the issue to appeal, will you be recommending/supporting my position, opposing it, or be neutral? Putting aside history and the fact that I acted based upon the direction of the Planning Department, what can I expect in terms of your cooperation?

Rich

C. Richard Panico  
President and CEO  
Integrated Project Management Company, Inc.  
200 S. Frontage Road, Suite 220  
Burr Ridge, IL 60527  
Phone: 630-789-8600 Fax: 630-789-7945  
[www.ipmcinc.com](http://www.ipmcinc.com)  
Assistant: Karen Heiting x239

6/29/2005







# VILLAGE OF BURR RIDGE

7660 S. COUNTY LINE ROAD • BURR RIDGE, IL 60527-4721 • (630) 654-8181  
FAX: (630) 654-4542  
<http://www.burr-ridge.gov>

Gary A. Grasso  
President

Karen J. Thomas  
Village Clerk

Steven S. Stricker  
Administrator

June 30, 2005

Mr. Rich Panico  
4613 Grove  
Brookfield, IL 60513

Dear Rich:

Thank you for meeting with Steve Stricker and me to discuss the status of your building permit application (No. 05-118; 15W115 83<sup>rd</sup> Street) and my Department's review of the plans relative to compliance with the Burr Ridge Zoning Ordinance, and thank you for your ongoing dialogue with the Village regarding this issue. The purpose of this memorandum is to acknowledge the circumstances that have led to the current situation and to provide a written statement as to the Community Development Department's application of the Zoning Ordinance to your permit application.

First, I want to apologize for any problems that have resulted due to our failure to provide accurate and complete information at the time of your initial meetings with our Planner, Aaron Cook. It is my understanding you had several discussions with Aaron before applying for a building permit. During that time, you were given inaccurate or incomplete information that led you to prepare final architectural drawings that do not comply with the Village of Burr Ridge Zoning Ordinance. The Village of Burr Ridge and its Community Development Department endeavors to provide thorough and accurate information in response to all inquiries. I can assure you that we have learned from this experience and will take positive actions to ensure that this does not occur again.

The attached memorandum provides a written description of the Community Development Department's application of the Zoning Ordinance relative to the garages for your home. We have prepared this report after extensive review including a review of the Zoning Ordinance text, review of your plans, review of three other homes that you have brought to our attention, and discussions with the Village Attorney. Our conclusion is that the proposed plans do not comply with Section IV.H.8. of the Zoning Ordinance which limits the number of detached garages to one. Furthermore, the plans indicate a freestanding wall (a.k.a. a solid fence) that does not comply with Sections IV.I or IV.J of the Zoning Ordinance.

You have provided three examples of homes that you believe are similar to your proposed home and garages and that are contrary to our stated application of the Zoning Ordinance. We do not believe that the three other homes are similar. None of the three include a freestanding wall that is defined by the Zoning Ordinance as an accessory structure. All three have roof structures that may be considered "porte-cocheres"; i.e. driveways that pass under a

Mr. Rich Panico  
Page 2

portion of the roof. Our application of the Zoning Ordinance considers porte-cocheres to be a portion of the main building. Thus, a garage or other floor space attached to a porte-cochere is considered a portion of the main building. It should also be noted that none of the three examples have freestanding walls that are classified by the Zoning Ordinance as accessory structures. I have attached excerpts from the plans for all three examples for your review.

If you wish to appeal to the Zoning Board of Appeals (a.k.a. the Plan Commission), you may refer to Section XIII.I of the Zoning Ordinance for information about the appeal process. Please know that we are confident in our application of the Zoning Ordinance to this situation and that we will make that known to the Zoning Board of Appeals if an appeal is filed. Nonetheless, we stand ready to provide our full assistance to you if you should decide to appeal our decision.

If you have any questions, you may contact me at (630) 654-8181, Extension 120 or via email at [dpollock@burr-ridge.gov](mailto:dpollock@burr-ridge.gov).

Sincerely,

A handwritten signature in black ink, appearing to read "J. Douglas Pollock", with a stylized flourish at the end.

J. Douglas Pollock, AICP  
Community Development Director

JDP:jat  
Attachment

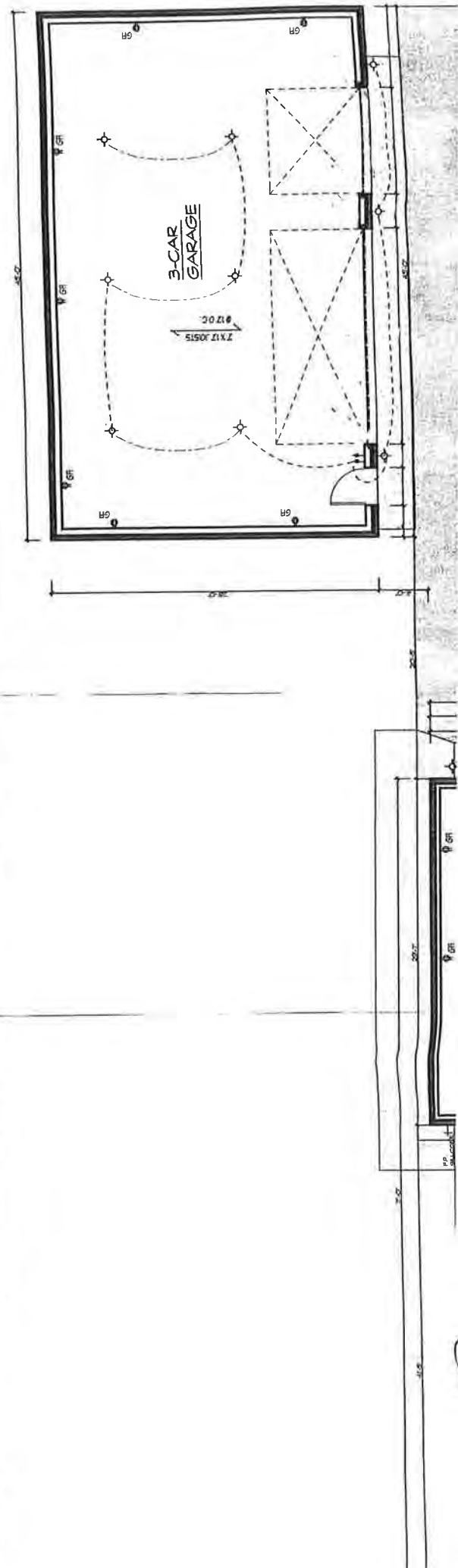
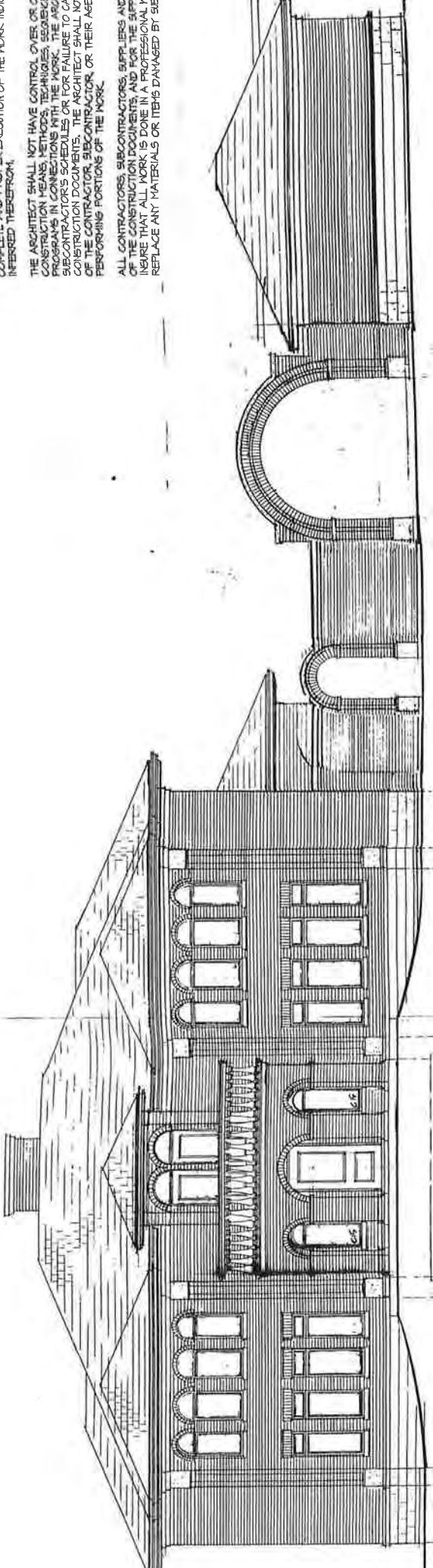
cc: Steve Stricker, Village Administrator

THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED THEREON.

THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE PROGRAMS IN CONNECTIONS WITH THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ARCHITECTURAL CERTIFICATION PERTAINING TO THIS PROJECT.

THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE PROGRAMS IN CONNECTIONS WITH THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ARCHITECTURAL CERTIFICATION PERTAINING TO THIS PROJECT.

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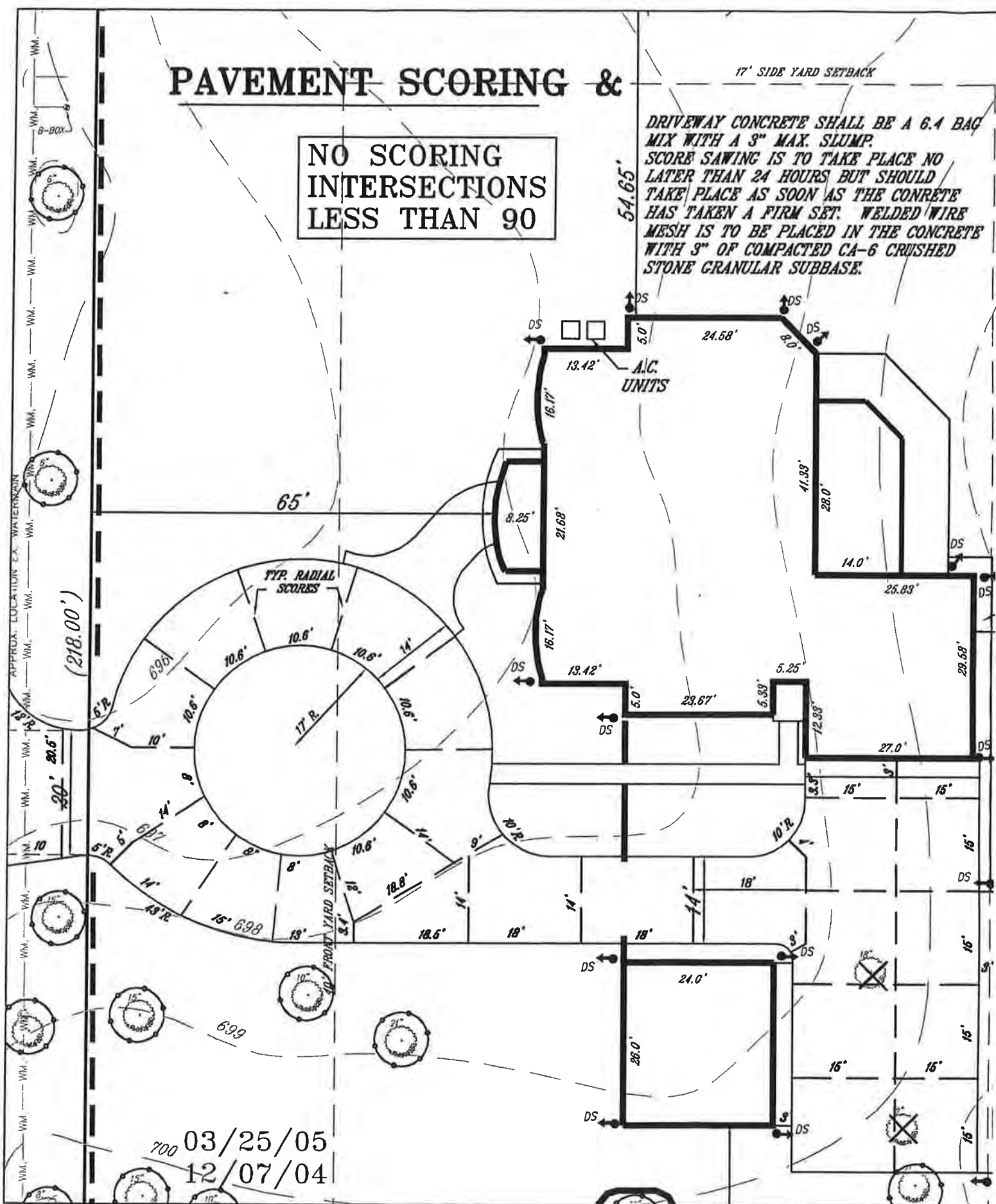
Panico  
Property



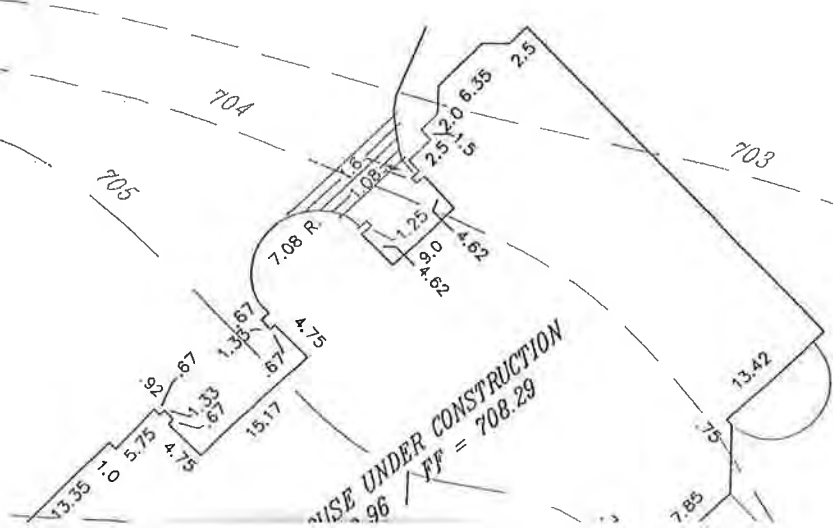
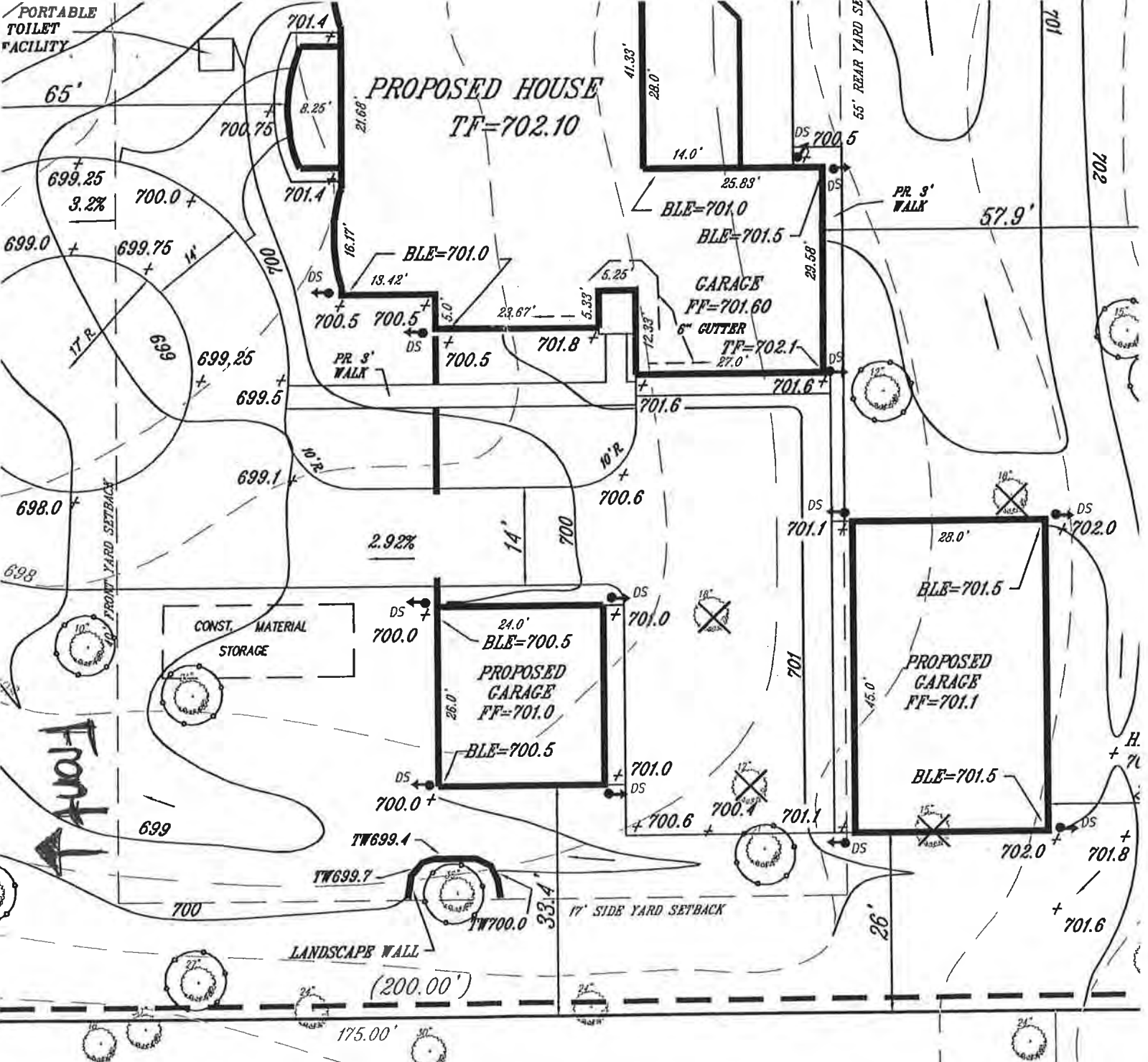
17' SIDE YARD SETBACK

54 65'

DRIVEWAY CONCRETE SHALL BE A 6.4 BAG MIX WITH A 3" MAX. SLUMP. SCORE SAWING IS TO TAKE PLACE NO LATER THAN 24 HOURS BUT SHOULD TAKE PLACE AS SOON AS THE CONCRETE HAS TAKEN A FIRM SET. WELDED WIRE MESH IS TO BE PLACED IN THE CONCRETE WITH 3" OF COMPACTED CA-6 CRUSHED STONE GRANULAR SUBBASE.



**PORTABLE  
TOILET  
FACILITY**



## Panico Property





EX. GARAGE

EX. HOUSE

EDGE OF DOORS ALIGN NEW EXISTING

POWER AND GAS

...SITE PLAN...

SCALE: 1"=10'-0"

side yard setback 17'

















## VILLAGE OF BURR RIDGE

### MEMORANDUM

**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupek, Chairman

**FROM:** Janine Farrell, AICP  
Community Development Director

**DATE:** May 2, 2022

**RE:** Board Report

---

At their April 25, 2022 meeting, the Board of Trustees took the following actions relative to matters forwarded from the Plan Commission:

- **Z-05-2022, Z-06-2022, and Z-07-2022:** The Board approved rezoning from the Light Industrial district to the B-2 (Z-05-2022) and O-2 (Z-06-2022 and Z-07-2022) districts. These cases concern seven parcels within the downtown area.

04/20/2022

## Permits Applied For March 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JCA-22-060	03/10/2022	16W 30 83RD ST	Double Good	16W030 83rd St Burr Ridge IL 60527	Com Alteration
JDEK-22-077	03/25/2022	8461 Park Ave	Powers Renovations LLC	901 N. Hickory Street Joliet IL 60435	Deck
JELV-22-051	03/02/2022	6300 Elm St	DME Elevators & Lifts	1973 Ohio St Lisle IL 60532	Elevator
JELV-22-055	03/10/2022	305 Ambriance	Village Woodworking Inc	9435 Fountain Darien IL 60561	Elevator
JODK-22-071	03/18/2022	7523 DREW AVE	Arrowhead Brick Pavers, Inc.	2800 S Cannonball Tr Bristol IL 60512	Outdoor Kitchen
JPAT-22-050	03/01/2022	109 Carriage Way Dr	Celtic Development & Constr	2519 N. California Ave Unit C Chicago IL 60647	Patio
JPAT-22-065	03/16/2022	11506 Ridgewood Ln	Euro Paving	22W250 Temple Drive Medinah IL 60157	Patio
JPAT-22-072	03/22/2022	8241 Lake Ridge Dr	The Beauty of Concrete, Inc.	282 Plainview Dr Bolingbrook IL 60440	Patio
JPAT-22-079	03/28/2022	1132 Woodview Rd	Homeowner	Burr Ridge IL 60527	Patio
JPAT-22-080	03/29/2022	1247 Laurie Ln	Skillcraft Construction Inc	29W648 Trinity Ln West Chicago IL 60185	Patio
JPF-22-049	03/02/2022	6235 Grant St	Golden Fence, Inc.	124 Telluride Lane Fox Lake IL 60020	Fence Permit
JPF-22-059	03/10/2022	8401 Clyndervan Rd	Paramount Fence	557A S. River St. Batavia IL 60510	Fence Permit
JPF-22-066	03/17/2022	345 S Soper Rd 8S345	Cedar Mountain Fence Co.	23523 W. Schultz St Plainfield IL 60585	Fence Permit
JPPL-22-056	03/09/2022	9101 Devon Ridge Dr	S&S Construction	14940 S. 81st Ct Orland Park IL 60462	Pool
JPS-22-062	03/15/2022	545 Village Center Dr.	AFF Above Finished Floor Stu	680 Fargo Avenue Elk Grove Village IL 60007	Sign
JRAD-22-052	03/04/2022	675 82nd St	TBD		Residential Addition
JRAL-22-058	03/09/2022	ROWs Ck Cty Locations	ComEd New Business	1040 N. Janes Av. Bolingbrook IL 60440	Right-of-Way



04/20/2022

## Permits Applied For March 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JRAL-22-063	03/14/2022	115 Northgate Pl	Absolute Construction, Inc.	954 Kennedy Av. Schereville IN 46375	Residential Alteration
JRAL-22-064	03/14/2022	5 Hampton Ct	Wilson Paving & Sealcoat Com	508 Oakwood Ave. Lemont IL 60439	Right-of-Way
JRAL-22-067	03/17/2022	2 Devon Ct	Joel Galindo	3824 W. 24th Street Chicago IL 60623	Right-of-Way
JRAL-22-068	03/17/2022	8190 Ridgpointe Dr	Irish Castle Paving	7701 W 99TH ST Hickory Hills IL 60457	Right-of-Way
JRAL-22-069	03/17/2022	8497 Kimberly Ct	Irish Castle Paving	7701 W 99TH ST Hickory Hills IL 60457	Right-of-Way
JRAL-22-074	03/22/2022	176 Foxborough Pl	Kitchen Bath & Beyond Showr	6244 Main St Downers Grove IL 60516	Residential Alteration
JRAL-22-078	03/25/2022	7734 County Line Rd	Zaldivar Landscaping	440 Cumberland Lane Bolingbrook IL 60440	Right-of-Way
JRAL-22-083	03/31/2022	585 87th St	Dressler-Block Concrete	13152 Meadow Lane Plainfield IL 60585	Right-of-Way
JRAL-22-084	03/31/2022	445 W 62nd St	FBC Remodel	425 W. Jackson Naperville IL 60540	Residential Alteration
JRDB-22-053	03/04/2022	382 Highland Ct	Tuff Shed	11039 Gage Av. Franklin Park IL 60131	Residential Detached Building
JRES-22-054	03/08/2022	2 Hillcrest Ct	Stucco & Beyond, Inc	1686 Ash Street Des Plaines IL 60018	Residential Miscellaneous
JRES-22-073	03/22/2022	8877 Madison	A Touch of Green	12720 W. 159th St. HOMER GLEN IL 60491	Residential Miscellaneous
JRPE-22-057	03/08/2022	536 Conway Ct	Oakwood Electric & Generator	237 N. Cass Av Westmont IL 60559	Res Electrical Permit
JRPE-22-075	03/23/2022	7765 Forest Hill Rd	Sunrun Installation Services, In	1 Territorial Ct Bolingbrook IL 60440	Res Electrical Permit
JRPE-22-076	03/24/2022	8410 Arrowhead Farm Dr	Sunrun Installation Services, In	1 Territorial Ct Bolingbrook IL 60440	Res Electrical Permit
JRPF-22-081	03/29/2022	8220 Ridgpointe Dr	Via Meridiana Contractors	8821 Robert Road Darien IL 60561	Pool and Fence
JRPF-22-082	03/29/2022	8425 Omaha DR	Premier Landscape Contractors	16W179 Jeans Rd. Lemont IL 60439	Pool and Fence

04/20/2022

## Permits Applied For March 2022



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JRPP-22-061	03/14/2022	124 Carriage Way Dr	Redeveloped Properties, LLC	5221 Cypress Court Lisle IL 60532	Res Plumbing Permit
JRSF-22-070	03/18/2022	6110 Park Ave	Dunree Homes Inc	P.O. Box 635 Manteno IL 60950	Residential New Single Family
<b>TOTAL:</b>	<b>36</b>				

04/19/2022

## Permits Issued March 2022



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info	Description	Value & Sq Ftg	
JCA-21-411	03/18/2022	460 Village Center Dr.	Schenk, Tim	1120 E. 80th St Suite 211 Minneapolis MN 55420	Com Alteration \$365,000	3,250
JCA-22-037	03/22/2022	405 Heathrow Ct	Funderburk Roofing	1987 Quincy Court Glendale Heights IL 60139	Com Alteration \$234,200	
JCAD-21-372	03/09/2022	6101 County Line Rd	Pepper Construction	411 Lake Zurich Rd. Barrington IL 60010	Com Addition \$2,979,225	39,723
JCAD-22-023	03/25/2022	720 Village Center Dr.	Hiram Builders LLC	7345 W. 100th Pl Suite 100 Bridgeview IL 60455	Com Addition \$2,400,000	16,933
JDS-21-167	03/28/2022	101 Carriage Way Dr	Pool Busters LLC	1201 Laura Lane Lake Bluff IL 60044	Demolition Structure \$7,000	
JDS-22-036	03/10/2022	6101 County Line Rd	Pepper Construction	411 Lake Zurich Rd. Barrington IL 60010	Demolition Structure \$400,000	
JENG-22-001	03/29/2022	15W 431 59TH ST	Smith LaSalle	10102 Pacific Avenue Franklin Park IL 60131	Engineering Permit	
JPS-22-015	03/28/2022	16W 301 91st St	Fast Signs of Arlington Heights	1814 N. Arlington Heights Rd Arlington Heights IL 60004	Sign	
JPS-22-038	03/11/2022	565 Village Center Dr.	Captivating Signs, LLC	612 W. 5th Ave Unit A Naperville IL 60563	Sign	
JPS-22-039	03/28/2022	860 Village Center Dr	Sign Palace, Inc	68 N. Lively Blvd Elk Grove Village IL 60007	Sign	
JRAD-21-243	03/31/2022	8448 Park Ave	TBD		Residential Addition \$35,000	273
JRAD-21-429	03/11/2022	7208 Central Ave	Homeowner	Burr Ridge IL 60527	Residential Addition \$225,000	2,697
JRAD-22-017	03/24/2022	16W 72 91ST ST	Great Day Improvements LLC	1765 W. Cortland Ct Suite C Addison IL 60101	Residential Addition \$80,000	196
JRAD-22-030	03/31/2022	196 Pheasant Hollow Dr	CEW Construction	260 Saint Andrews Dr Bolingbrook IL 60440	Residential Addition \$40,000	219
JRAL-21-347	03/29/2022	9000 Turnberry Dr	Matrix Home Solutions	3050 Kennicott Ave Arlington Heights IL 60004	Residential Alteration \$172,000	1,985
JRAL-22-031	03/10/2022	ROWs DuPage Locations	ESPO Engineering	845 Midway Dr. Willowbrook IL 60527	Right-of-Way \$11,832	



04/19/2022

## Permits Issued March 2022



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info	Description	Value & Sq Ftg	
JRAL-22-033	03/31/2022	7523 DREW AVE	Bradford & Kent Builders	807 Ogden Ave. Downers Grove IL 60515	Residential Alteration \$120,000	1,683
JRAL-22-034	03/10/2022	ROWs DuPage Locations	Directional Construction Servic	556 E. Burnett Rd. Island Lake IL 60042	Right-of-Way \$1,320	
JRAL-22-035	03/10/2022	ROWs Ck Cty Locations	Directional Construction Servic	440 S Dartmoor Dr Crystal Lake IL 60014	Right-of-Way \$2,756	
JRAL-22-044	03/28/2022	ROWs Ck Cty Locations	Directional Construction Servic	440 S Dartmoor Dr Crystal Lake IL 60014	Right-of-Way \$2,054	
JRES-22-028	03/28/2022	10S 526 GLENN DR	Sunpower Corp	2380 Vantage Drive Elgin IL 60124	Residential Miscellaneous \$20,000	
JRPP-22-061	03/28/2022	124 Carriage Way Dr			Res Plumbing Permit	
JRSF-22-016	03/31/2022	21 Buege Ln	Illinois Designers & Builders, I	7614 Linden Oak Darien IL 60561	Residential New Single Family \$600,000	3,932
<b>TOTAL:</b>	<b>23</b>					

04/19/22

## Occupancy Certificates Issued March 2022



CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF22004	03/07/22	Shady Hajjar	7719 Drew Ave
OF22008	03/02/22	Tom & Mary Ryan	7318 Lakeside Cir

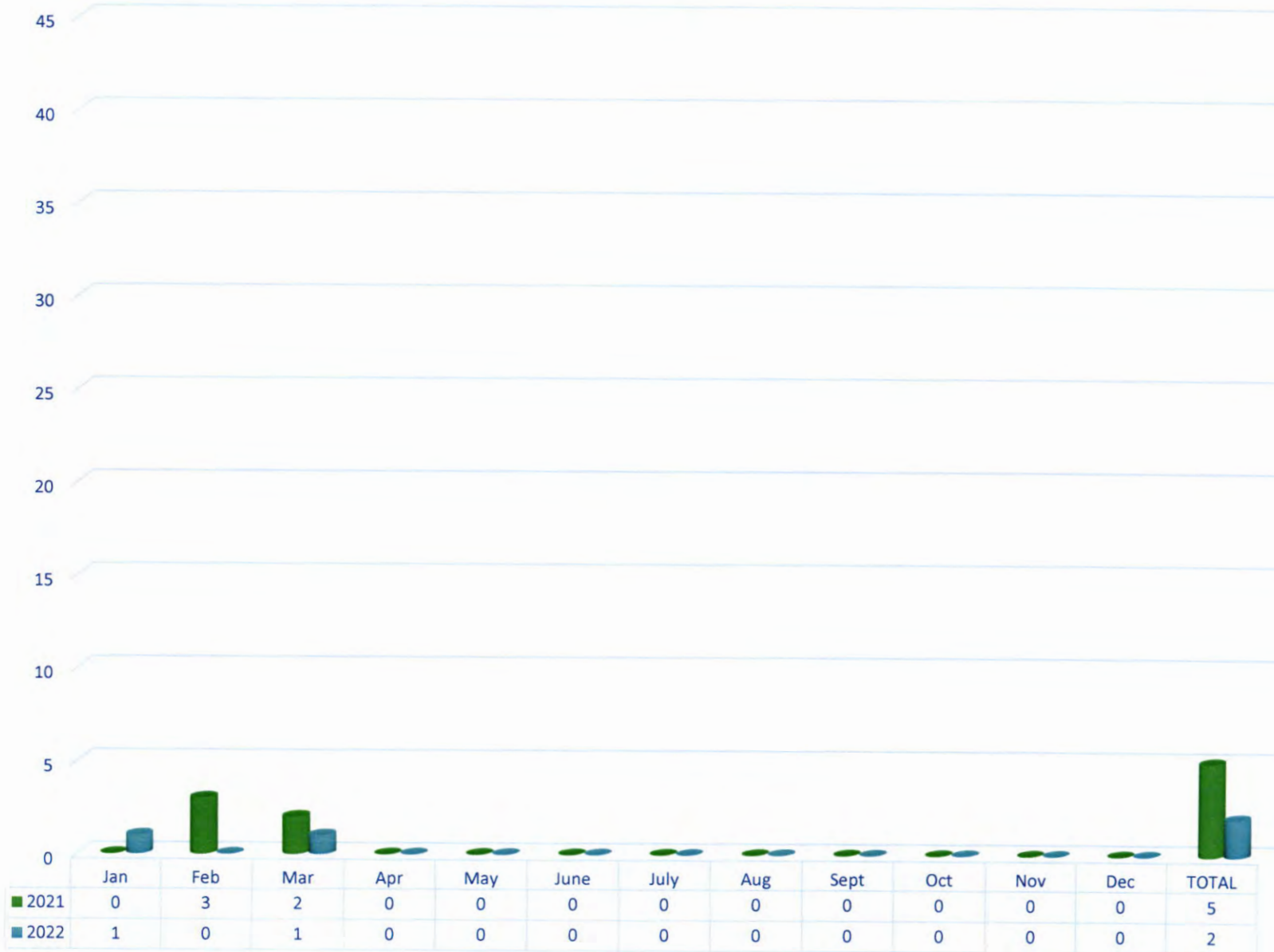
# CONSTRUCTION VALUE OF BUILDING PERMITS - MONTHLY SURVEY 2022

(Does not include miscellaneous Permits)

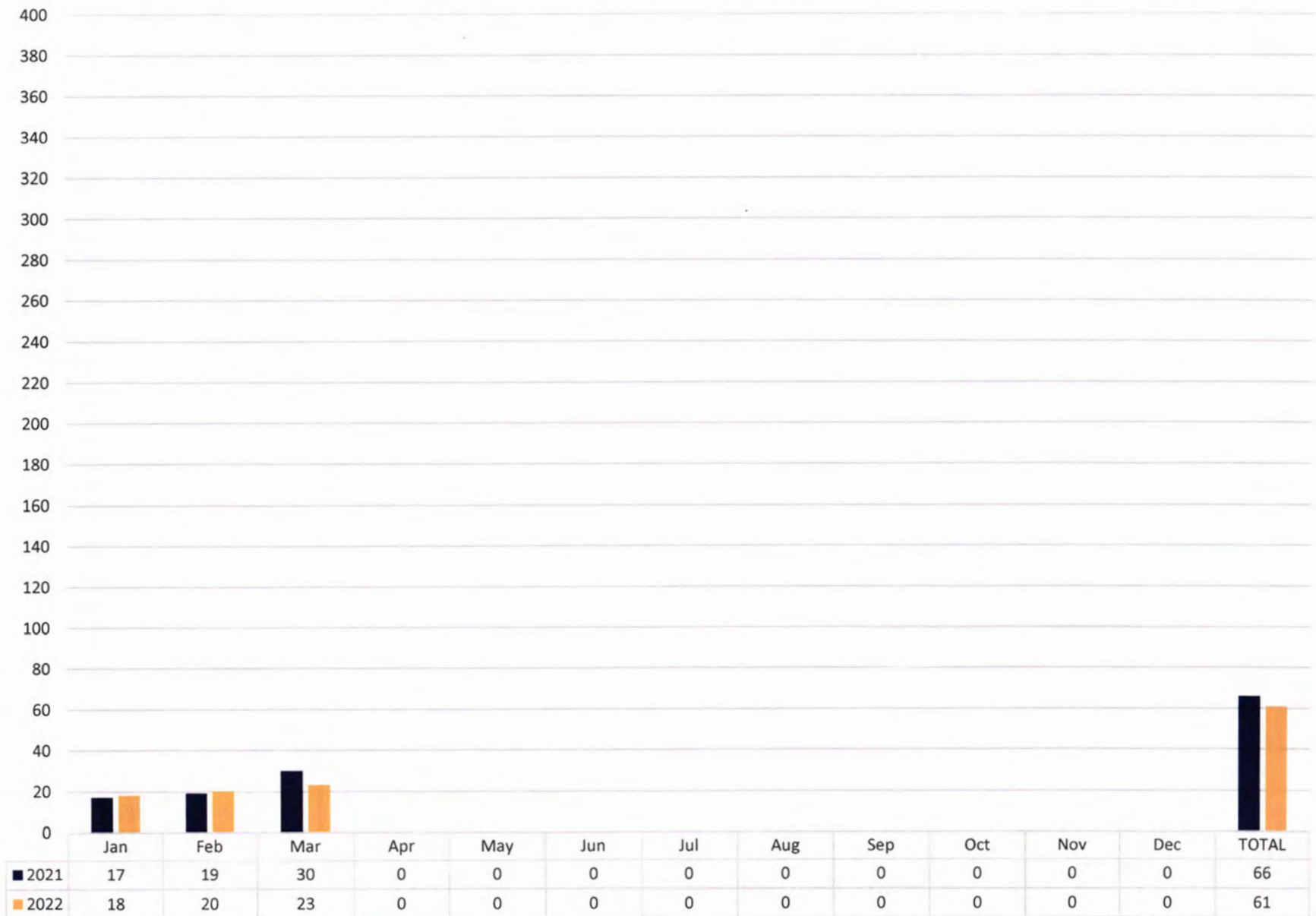
MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$607,950	\$170,800		\$488,775	\$1,267,525
	[1]	[3]		[1]	
FEBRUARY		\$366,385		\$31,501	\$397,886
	[]	[5]		[1]	
MARCH	\$600,000	\$672,000		\$5,978,425	\$7,250,425
	[1]	[6]		[4]	
APRIL					\$0
	[]	[]		[]	
MAY					\$0
	[]	[]		[]	
JUNE					\$0
	[]	[]		[]	
JULY					\$0
	[]	[]		[]	
AUGUST					\$0
	[]	[]		[]	
SEPTEMBER					\$0
	[]	[]		[]	
OCTOBER					\$0
	[]	[]		[]	
NOVEMBER					\$0
	[]	[]		[]	
DECEMBER					\$0
	[]	[]		[]	
<b>2022 TOTAL</b>	<b>\$1,207,950</b>	<b>\$1,209,185</b>	<b>\$0</b>	<b>\$6,498,701</b>	<b>\$8,915,836</b>
	[2]	[14]	[]	[6]	



## Village of Burr Ridge New Housing Permits 2021 Compared to 2022

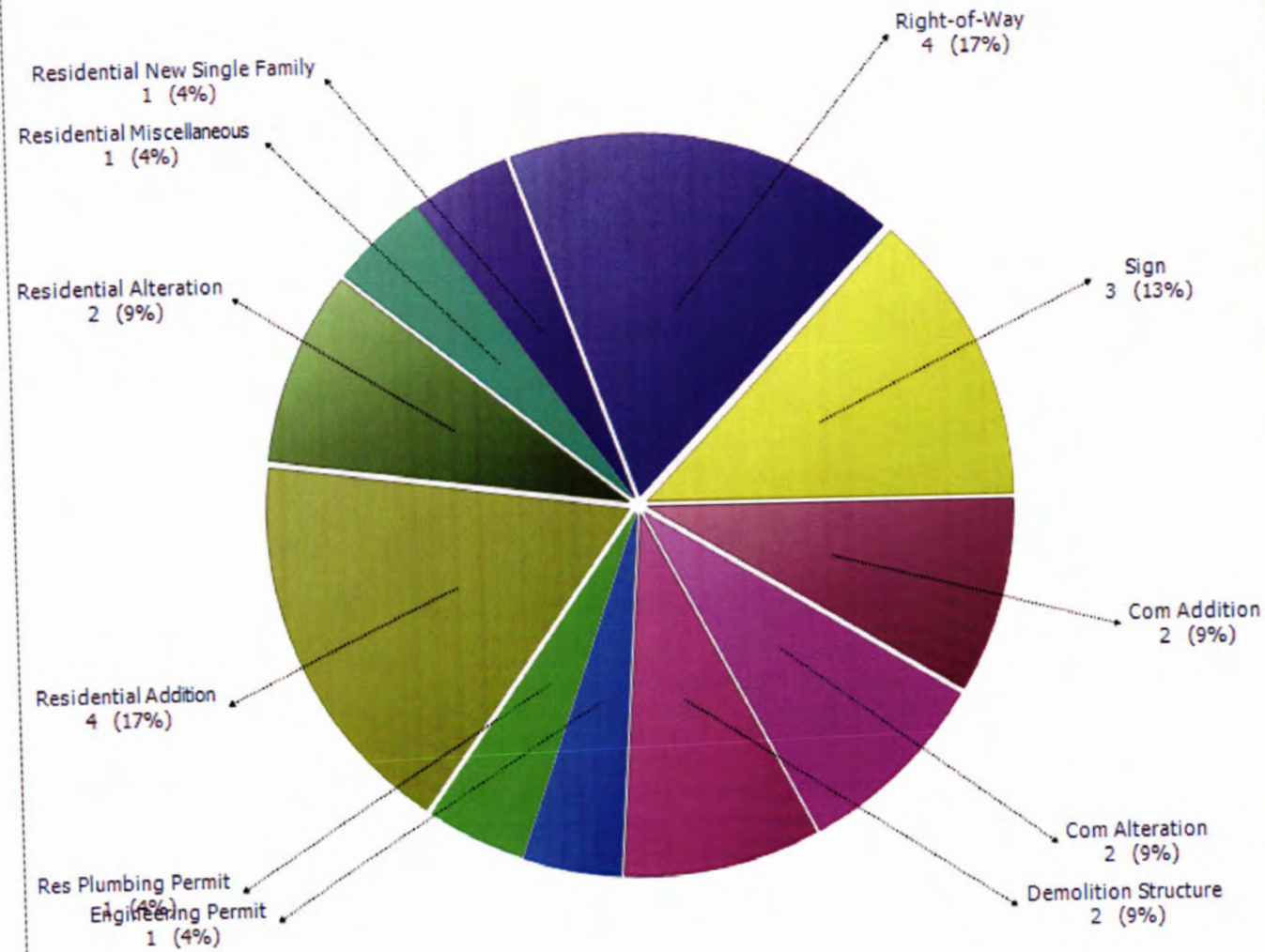


## Village of Burr Ridge Building Permits Issued 2021 Compared to 2022



## Breakdown of Projects by Project Type

## Permits Issued March 2022







## VILLAGE OF BURR RIDGE

### MEMORANDUM

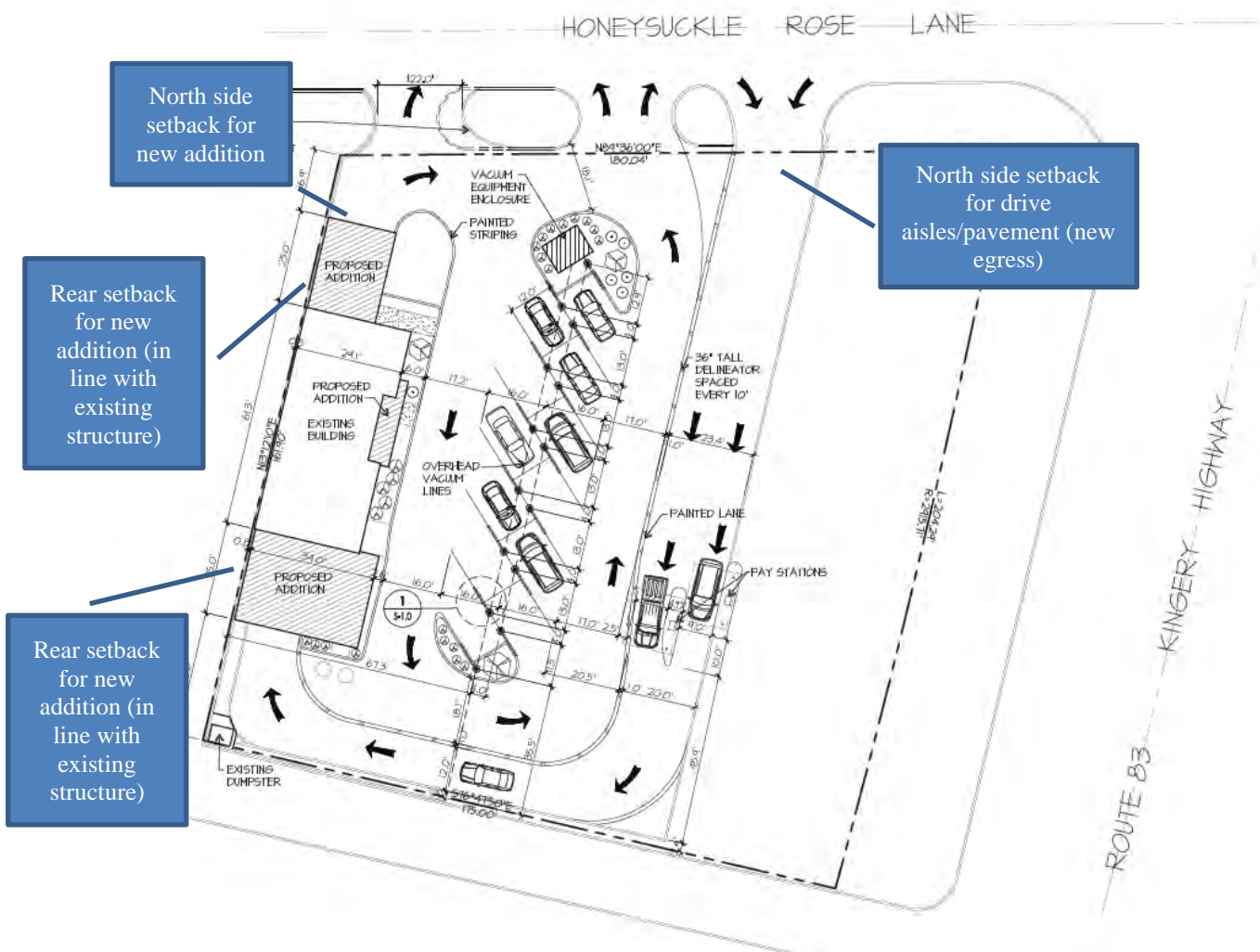
**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupke, Chairman

**FROM:** Janine Farrell, Community Development Director

**DATE:** May 2, 2022

**RE:** 16W135 Honeysuckle Rose, Hinsdale (New Wave Car Wash)

Please find attached a request for a proposed conditional use (special use) approval for a Planned Unit Development for remodeling and additions to an existing car wash with three exceptions (variations): rear building setback from 20' to 0', north side setback from 30' to 16.9' for buildings, and north side setback from 30' to 0' for pavement and drive aisles.



**Legal Authority for Review**

Since the Village is within 1.5 miles of the subject site (directly to the east across Route 83), the Village is notified of the conditional use. As with any public hearing, the Village may submit comments regarding the development.

**Attachments**

Exhibit A – Petition Materials from DuPage County



**DUPAGE  
COUNTY**

Building  
Division

Zoning &  
Planning Division

Environmental  
Division

## BUILDING & ZONING DEPARTMENT

630-407-6700  
Fax: 630-407-6702

[www.dupageco.org/building](http://www.dupageco.org/building)

### DU PAGE COUNTY ZONING BOARD OF APPEALS Zoning Petition ZONING-22-000014 New Wave Carwash

**Please review the information herein and return with your comments to:**

Jessica Infelise, DuPage County Building and Zoning Department, 421 North County Farm Road, Wheaton, Illinois 60187; or via email at [Jessica.Infelise@dupageco.org](mailto:Jessica.Infelise@dupageco.org) or via facsimile at 630-407-6702 by **April 27, 2022**.

COMMENT SECTION:	
: OUR OFFICE HAS NO JURISDICTION IN THIS MATTER	
: NO OBJECTION/CONCERNS WITH THE PETITION	
: NO OBJECTION/CONCERNS WITH THE CONCEPT OF THE PETITION.	
ADDITIONAL INFORMATION MAY BE REQUIRED AT TIME OF PERMIT APPLICATION	
: I OBJECT/ HAVE CONCERNS WITH THE PETITION.	
COMMENTS:	
SIGNATURE: _____ DATE: _____	
MUNICIPALITY/TOWNSHIP/AGENCY/DEPARTMENT:	
GENERAL ZONING CASE INFORMATION	
CASE #/PETITIONER	ZONING-22-000014 New Wave Carwash
ZONING REQUEST	Conditional Use for a Planned Development for the proposed remodeling and addition to existing car wash, including exceptions for the following: 1. Rear building setback from 20' to approximately 0'; 2. North (side) setback from 30' to approximately 16.9' for buildings; and 3. North (side) setback from 30' to approximately 0' for pavement and drive aisles.
OWNER	RIZQ ENTERPRISE LLC., 16W135 HONEYSUCKLE ROSE STREET, HINSDALE, IL 60521/ AGENT: STEVE FRANCIS, LINDEN GROUP ARCHITECTS, 10100 ORLAND PARKWAY, SUITE 110, ORLAND PARK, IL 60467/ MOHAMMED KHAN, 12162 LEDGEWOOD CIRCLE, FORT MYERS, FL 33913
ADDRESS/LOCATION	16W135 HONEYSUCKLE ROSE STREET, HINSDALE, IL 60521
PIN	10-02-303-006
TWSP./CTY. BD. DIST.	Downers Grove District 3
ZONING/LUP	B-1 Local Business Local Commercial
AREA	0.75 acres (32,670 sq. ft.)
UTILITIES	Water and Sewer
PUBLICATION DATE	Daily Herald: April 13, 2022
PUBLIC HEARING	Thursday, April 28, 2022

**PLEASE NOTE: FILING OF THIS FORM DOES NOT SUBSTITUTE FOR A FORMAL OBJECTION PURSUANT TO THE ILLINOIS STATE STATUTES.**





**DUPAGE  
COUNTY**

Building  
Division

Zoning &  
Planning Division

Environmental  
Division

## BUILDING & ZONING DEPARTMENT

630-407-6700  
Fax: 630-407-6702

[www.dupageco.org/building](http://www.dupageco.org/building)

**DU PAGE COUNTY ZONING BOARD OF APPEALS  
JACK T. KNUEPFER ADMINISTRATION BUILDING  
421 NORTH COUNTY FARM ROAD WHEATON, ILLINOIS 60187/ 630-407-6700**

### **Zoning Petition ZONING-22-000014 New Wave Carwash**

**The DuPage County Zoning Board of Appeals will conduct the following public hearing:**

**PUBLIC HEARING:** 6:00 p.m. **THURSDAY, APRIL 28, 2022**, 2<sup>nd</sup> Floor Cafeteria, JACK T. KNUEPFER ADMINISTRATION BUILDING 421 NORTH COUNTY FARM ROAD WHEATON, ILLINOIS 60187

**PETITIONER:** RIZQ ENTERPRISE LLC., 16W135 HONEYSUCKLE ROSE STREET, HINSDALE, IL 60521/ **AGENT:** STEVE FRANCIS, LINDEN GROUP ARCHITECTS, 10100 ORLAND PARKWAY, SUITE 110, ORLAND PARK, IL 60467/ MOHAMMED KHAN, 12162 LEDGEWOOD CIRCLE, FORT MYERS, FL 33913

**REQUEST:**

Conditional Use for a Planned Development for the proposed remodeling and addition to existing car wash, including exceptions for the following:

1. Rear building setback from 20' to approximately 0';
2. North (side) setback from 30' to approximately 16.9' for buildings; and
3. North (side) setback from 30' to approximately 0' for pavement and drive aisles.

**ADDRESS OR GENERAL LOCATION:** 16W135 HONEYSUCKLE ROSE STREET, HINSDALE, IL 60521

**LEGAL DESCRIPTION:** THAT PART OF LOT 3 IN RAMLIN ROSE SOUTH ASSESSMENT PLAT OF PART OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 8, 1968 AS DOCUMENT R68-8754, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 3 AND RUNNING THENCE 89 DEGREES 37 MINUTES 00 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 3, 263.49 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 13 DEGREES 12 MINUTES 10 SECONDS WEST, 161.90 FEET, THENCE SOUTH 76 DEGREES 47 MINUTES 50 SECONDS EAST, 175 FEET TO THE EAST LINE OF LOT 3, THENCE NORTHERLY ALONG THE EAST LINE OF LOT 3 BEING A CURVE TO THE LEFT HAVING A RADIUS 2,915.71 FEET FOR AN ARC DISTANCE OF 204.21 FEET TO THE NORTHEAST CORNER OF LOT 3; THENCE SOUTH 89 DEGREES 37 MINUTES 00 SECONDS WEST ALONG THE NORTH LINE OF LOT 3, 180.03 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ALSO DESCRIBED AS: LOT 2 IN KAREN'S ASSESSMENT PLAT OF LOT 3 IN RAMBLIN ROSE SOUTH ASSESSMENT PLAT BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 8, 1968 AS DOCUMENT R68-8754, IN DUPAGE COUNTY, ILLINOIS.

**Respectfully Submitted,  
ROBERT J. KARTHOLL, CHAIRMAN,  
DUPAGE COUNTY ZONING BOARD OF APPEALS**

Notice of this hearing is being sent to property owners within 300 feet of the subject property and as one of them you are invited to attend the meeting and comment on the petition. A reduced scaled sketch or drawing of the petitioner's request is included for your review. If you have any questions or require a full-scale version of the site plan, please contact the Zoning Division at (630) 407-6700.

**Please be advised that access to the 421 JACK T. KNUEPFER ADMINISTRATION BUILDING is limited to the main entrance located in the center on the east side of the building.**



**DUPAGE  
COUNTY**

Building  
Division

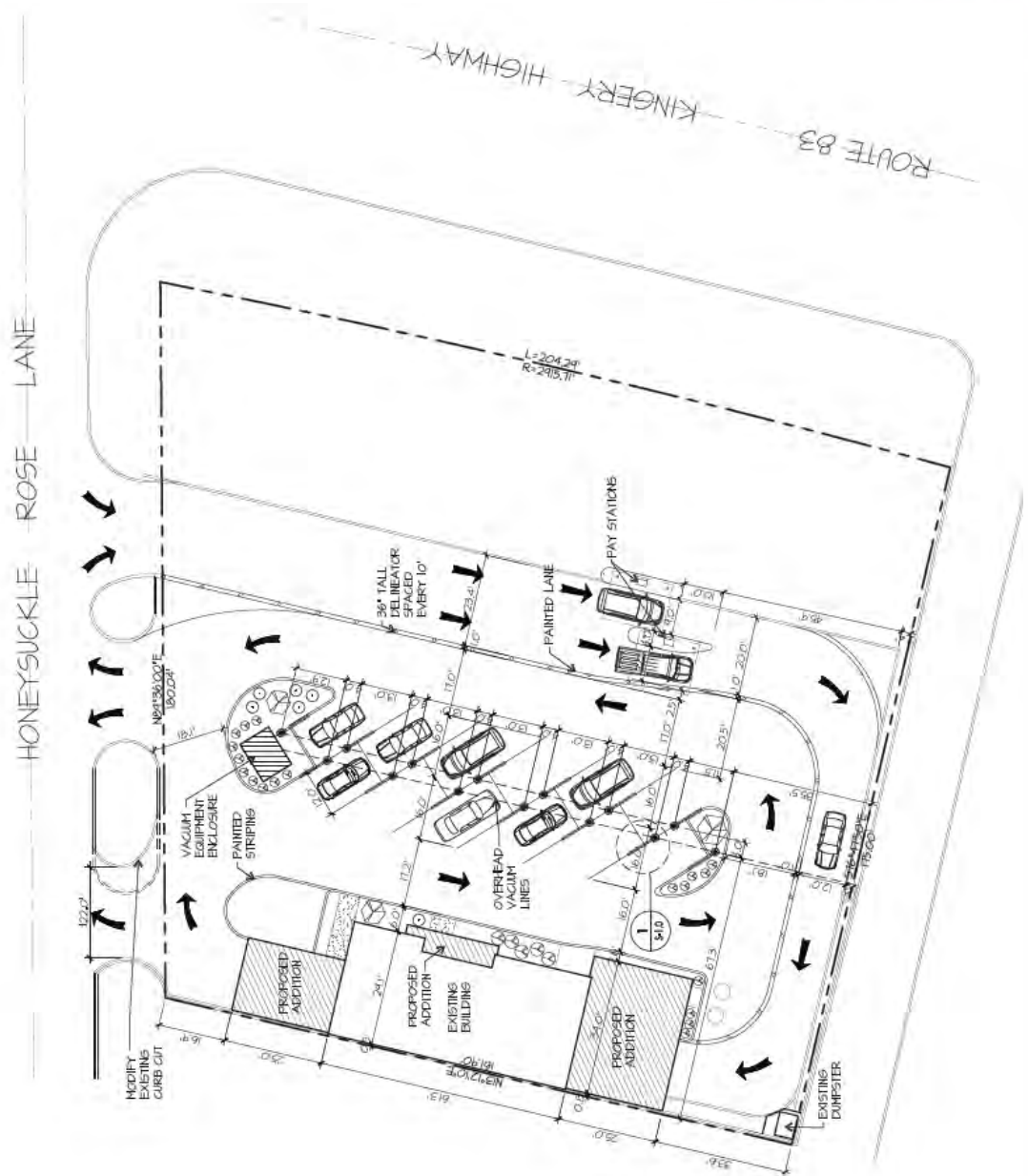
Zoning &  
Planning Division

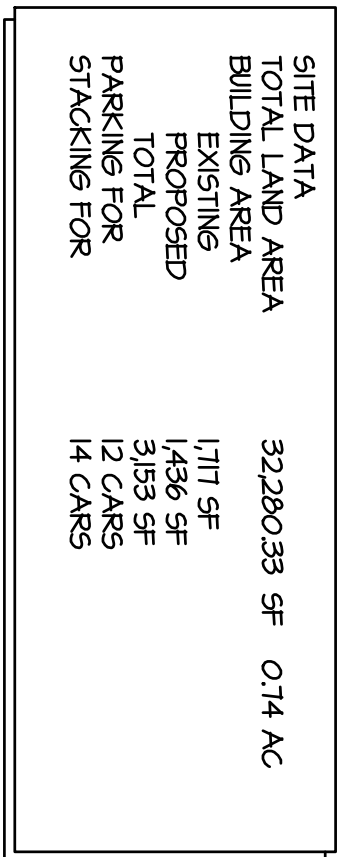
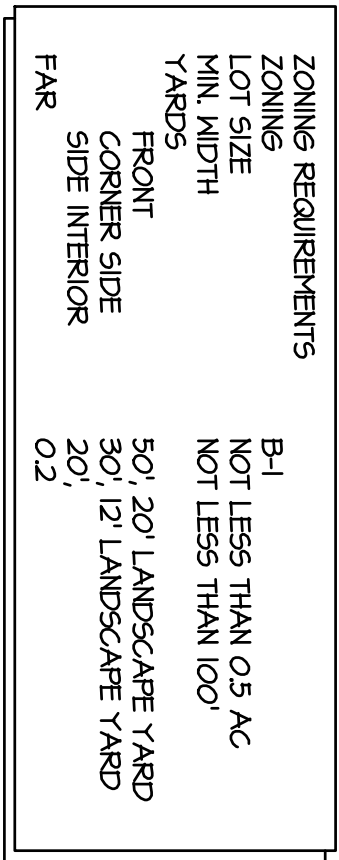
Environmental  
Division

## BUILDING & ZONING DEPARTMENT

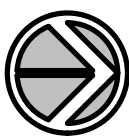
630-407-6700  
Fax: 630-407-6702

[www.dupageco.org/building](http://www.dupageco.org/building)






## 15-20-01



# \$1.0



LINDENGROUP

**16 W 135 Honeysuckle Rose Lane  
Willowbrook, Illinois**

DRAWN BY FINAL REVIEW

ALL RIGHTS RESERVED.  
COURTESY OF LUBEN GROUP, INC.