



**REGULAR MEETING
PLAN COMMISSION/ZONING BOARD OF APPEALS
JULY 20, 2020 - 7:00PM
VILLAGE HALL - BOARD ROOM AND ONLINE PLATFORM**

The Plan Commission/Zoning Board of Appeals hears all requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use. All Plan Commission actions are advisory and are submitted to the Board of Trustees for final action.

Attendance and Public Comment Procedures: Due to the current limitations on social distancing and gatherings of no more than 50 persons in physical attendance set forth in place by the Declaration of a State of Emergency by the Governor of the State of Illinois based upon the ongoing novel coronavirus pandemic disaster, and upon the Chairman of the Plan Commission having determined that an in-person meeting is not practical or prudent, due to the ongoing novel coronavirus pandemic disaster, the hearing will be conducted utilizing a virtual environment, pursuant to Public Act 101-0640. While Village Hall will be open for the meeting, no more than 50 persons may be present at Village Hall at any one time, subject to applicable social distancing requirements. [Here is a link](#) to watch and listen to the meeting live beginning at 7 PM on Monday, July 20, 2020. Public comments will be taken in advance of the meeting via email at ewalter@burr-ridge.gov. Public comments may also be made at the applicable time during the meeting by calling (224) 441-6894 and **entering the conference identification number (172 644 81#)**. All participants will be muted upon entering the virtual meeting and be unmuted at the direction of the Chairman. Prior to voting on each agenda item, email comments for that agenda item will be read into the record, and the Chairman will pause to receive virtual comments. The same procedure will be followed for any person seeking to address the Plan Commission under Section VI - Public Comment.

I. ROLL CALL

II. APPROVAL OF JULY 6, 2020 MEETING MINUTES

III. PUBLIC HEARINGS

A. Z-10-2020: 16W561 South Frontage Road (Falco's Pizza); Special Use and Findings of Fact

Requests a special use to permit outdoor dining at an existing restaurant in the B-2 Business District.

IV. CORRESPONDENCE

A. Board Report – May 11, 2020 and June 8, 2020

V. OTHER PETITIONS

A. Preliminary Plat of Subdivision (Cooper); Preliminary Plat of Approval and Subdivision Variation

VI. PUBLIC COMMENT

VII. FUTURE MEETINGS

August 3, 2020

A. Z-04-2020: 15W230 North Frontage Road (Bobak); Special Use, Variations, and Findings of Fact; continued from February 17, 2020 and July 6, 2020

Requests a special use for a site plan and building elevation review for the purpose of erecting a 9,500-square foot, 2-story office building in the T-1 Transitional District. The request requires the following variations from the Zoning Ordinance: a principal building that exceeds the maximum FAR requirements; insufficient setbacks for a principal building in the corner and rear yards; a trash dumpster located nonadjacent to the rear wall of the principal building; an insufficient number of parking spaces for the specified building usage; an off-street loading berth in a side yard adjoining a street; insufficient setbacks for off-street parking; and off-street parking located in the front yard of the subject property.

B. Z-09-2020: 15W776 North Frontage Road (Criscione); Re-Zoning, Text Amendment, Special Uses, and Findings of Fact

Requests re-zoning of the subject property from the B-2 Business District to G-I General Industrial, as well as a special use for “automobile and truck and equipment sales, rental, and service”, a text amendment to add “outdoor, overnight storage of retail vehicles ancillary to a permitted or special use” as a special use, and a special use for “outdoor, overnight storage of retail vehicles ancillary to a permitted or special use” per the aforementioned amendment, all in the G-I General Industrial District.

August 17, 2020

No business is currently scheduled. If no business is scheduled by August 3, 2020, staff recommends this meeting be cancelled.

VIII. ADJOURNMENT

PLAN COMMISSION/ZONING BOARD OF APPEALS
VILLAGE OF BURR RIDGE
MINUTES FOR REGULAR MEETING OF JULY 6, 2020

I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek. Due to the current limitations on social distancing and gatherings of no more than 50 persons in physical attendance that were set forth in place by the Declaration of a State of Emergency by the Governor of the State of Illinois based upon the ongoing novel coronavirus pandemic disaster, the hearing was conducted utilizing a virtual environment, pursuant to Public Act 101-0640

Chairman Trzupek read aloud the following statement:

As Chairman of the Village of Burr Ridge Plan Commission and Zoning Board of Appeals, I am advising you in your capacity as Deputy Village Clerk that I hereby declare that conducting an in-person meeting of the Burr Ridge Plan Commission/Zoning Board of Appeals on July 6, 2020 is neither practical nor prudent due to Governor Pritzker's May 29, 2020 Declaration of a State of Emergency caused by the COVID-19 pandemic.

ROLL CALL was noted as follows:

PRESENT: 8 – Broline, Stratis, Petrich, Farrell, Hoch, Irwin, Parrella, and Trzupek
ABSENT 0 – None

Assistant Village Administrator Evan Walter was also present.

II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Irwin to approve the minutes of the June 1, 2020 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 8 – Hoch, Irwin, Petrich, Stratis, Farrell, Broline, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearing on the agenda for the meeting.

Z-04-2020: 15W230 North Frontage Road (Bobak); Special Use, Variations, and Findings of Fact; continued from February 17, 2020

At the outset of the petition, Commissioner Broline recused himself from all discussion and voting on the present petition due to a conflict of interest in the potential property sale. This recusal was noted and accepted by Chairman Trzupek.

Chairman Trzupek requested an overview of the petition. Mr. Walter said that the petitioner is John Bobak who is seeking to build a new building on the subject property. The petitioner requests a special use for a site plan and building elevation review for the purpose of erecting a 9,500-square foot, 2-story office building in the T-1 Transitional District. The request requires the following variations from the Zoning Ordinance: a principal building that exceeds the maximum FAR requirements; insufficient setbacks for a principal building in the corner and rear yards; a trash dumpster located nonadjacent to the rear wall of the principal building; an insufficient number of parking spaces for the specified building usage; an off-street loading berth in a side yard adjoining a street; insufficient setbacks for off-street parking; and off-street parking located in the front yard of the subject property. Mr. Walter reviewed the history of the petition and details related to the staff report. Mr. Walter said that the petitioner had submitted additional documentation at 5pm the day of the meeting and advised that said documentation could not be distributed to the public before the meeting, but that it was available for review during the meeting.

Jonathan Hague, representative of the petitioner, reviewed the new documentation on behalf of the petition. Mr. Hague said that the purpose of the new material was to give additional perspective of the size of the building as well as site plan layout. Mr. Hague said that the loading dock had been moved from the rear of the building to the front and had incorporated almost all traffic flow onto North Frontage Road except for a curb cut along Hamilton Avenue. Mr. Hague said that while the current petition was two stories while the 2008 petition was one, the buildings were actually the same in absolute height and disagreed with the notion that it was too large for the site, as had been previously noted.

Chairman Trzupek asked for public comment.

Ken Burnett, 7339 Park, asked about the traffic patterns of the trucks that would be entering the site. Mr. Hague said that the trucks would be able to navigate entirely within the parking lot, and that there was no need for trucks to use any street surface to enter the loading dock. Mr. Burnett disagreed that the trucks would have sufficient room to enter the loading dock and objected to the petition as a whole.

Julie Mensik, 7339 Hamilton, said that she opposed the plan due to the continued presence of trucks on site, even if they were moved to the front of the building. Ms. Mensik said that the building and its use was more appropriate for an industrial park.

Susann Pederson, 7250 Elm, said that she opposed the plan and that the plan was incomplete as it was presented, going on to say the previously approved plans were transitional in nature. Ms.

Pederson said that the primary purpose of the petition was to take advantage of the visibility from I-55, but that the building and its use was more appropriate for an industrial park.

Frank Mensik, 7339 Hamilton, said that the 2008 petition was more appropriate for the site, and said that the petition as proposed was not transitional in nature.

Holly Adkins, 7219 Hamilton, participating telephonically, said that she opposed the proposed plan. Ms. Adkins said that she appreciated the revisions but that the building was ultimately too big and too industrial for a transitional district.

Commissioner Stratis felt that the site plan was an improvement over the initial petition, noting that the building had been moved to the west, several driveways were moved away from the residential homes, and that the loading dock is now facing Frontage Road instead of a rear alley. Commissioner Stratis said that he felt the setbacks were better, but noted that the site was unique and could not reasonably be expected to adhere to all regulations by right because of the shape of the lot. Commissioner Stratis said that he would like to see a fence along the northern property line as well as landscaping north of the parking lot. Commissioner Stratis said he had no real concerns about the parking location and quantity, except for a small area along the northeast corner of the property where the lot breached the 20' northern setback. Mr. Walter said that the site plan was such that there would be a loss of parking if the lot was moved, thus worsening the parking count. Mr. Hague confirmed this answer. Commissioner Stratis asked if the loading dock was a necessity if the petitioner only needed it six times a year, as was previously testified. Mr. Walter said that the Plan Commission could recommend a condition be included as part of a special use but also said that enforcing said condition would be very challenging.

Commissioner Farrell said that the loading dock present was her primary concern, including how conditions would be enforced. Commissioner Farrell requested a fence along the northern property line and a landscaping plan.

Commissioner Petrich said that the loading dock was a primary concern for him, and agreed with all points previously mentioned.

Commissioner Parrella agreed with all points previously mentioned, adding that she wanted to see additional detail on the security lighting plan that would be proposed for the site. Commissioner Parrella said that she wanted to see alternative exterior cladding options provided for consideration as well, including Hardie board.

Commissioner Irwin asked for clarification as to how setbacks correspond to different lot lines. Mr. Walter provided an explanation. Commissioner Irwin was concerned about the size of the building and the location of the trash receptacle.

Commissioner Hoch said that the petitioner's materials were not well organized or clear. Commissioner Hoch said she did not see a need for an entrance along Hamilton Avenue.

Chairman Trzupek said that the building looked sharp but may be too harsh in color and style for a Transitional District, suggesting a more traditional color of brick. Chairman Trzupek said that

while the building was larger than what was previously approved, he did not find the scale to be much different due to the lack of pitch in the roof.

Chairman Trzupek asked for consensus direction from the Plan Commission. Several Plan Commissioners said that they would be open to seeing a final proposal from the petitioner at a future meeting. Mr. Walter said that the petitioner would be responsible for revising or submitting the following items: a complete landscape plan; a proposal for a fence on the northern property line; a photometric plan; options for alternative finishes or elevations; a complete northern elevation; confirmation of compliant turning radii for any truck using the site; demonstration of loading dock need; demonstration of need for an entrance on Hamilton Avenue; demonstration of rooftop unit screening; and a more elaborative description of the need for a loading dock at the subject property.

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Farrell to continue Z-04-2020 to August 3, 2020.

ROLL CALL VOTE was as follows:

AYES: 7 – Hoch, Farrell, Stratis, Irwin, Petrich, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 7-0.

Z-08-2020: 15W776 North Frontage Road (Criscione); Special Use, Text Amendment, and Findings of Fact

Chairman Trzupek requested an overview of the petition. Mr. Walter said that the petitioner is Michael Criscione, owner of M&T Trucking at 7545 Madison Street. The petitioner requests a special use for an “automobile sales use, new or used and including trucks”, a text amendment to add “outdoor retail vehicle storage” as a special use, and a special use as per the amended Zoning Ordinance for “outdoor retail vehicle storage”, all in the B-2 Business District. Mr. Walter said that the existing Madison site will continue as part of the petitioner’s company to provide upfitting and maintenance service for its customers, whereas the subject property will become the location where customers come to close sales and take delivery of trucks from the company. As part of the petition, trucks would be stored overnight at the subject property, which is currently not permitted by the Zoning Ordinance.

Chairman Trzupek asked where other B-2 Business Districts were located, and why there was not a petition to rezone the property. Mr. Walter noted where other B-2 Business Districts were located, and also said that rezoning was considered but ultimately not pursued since it would still require each of the special uses and amendments that are part of the petition, and staff interpreted a rezoning in addition to the aforementioned requests to be initially too cumbersome, but would work with the petitioner if rezoning were desired.

Michael Criscione, petitioner, gave a follow up presentation about the business and said he was pleased to be investing in the community in which he lives.

Commissioner Hoch asked if the proposed text amendments would then be available to other B-2 Business Districts. Mr. Walter confirmed that if the text amendments were adopted, they would be available to other petitioners, but as a special use, requiring public hearings to receive said authority. Commissioner Hoch said that the area was likely suitable for the petitioner's use, but was not convinced that the use was best for the property. Commissioner Hoch agreed with staff's recommendation to close the Madison Street entrance if this use were approved. Commissioner Hoch asked if there were security issues at the petitioner's present location. Mr. Criscione said that the business employs cameras and rail fencing, but had not experienced incidence of crime.

Commissioner Irwin said that this was the one location in Burr Ridge where he would theoretically consider outdoor vehicle sales and retail as appropriate, but was not fully convinced on the merits.

Commissioner Parrella agreed with Commissioner Irwin about the best use of the site. Commissioner Parrella said she wanted to see additional information about lighting on site.

Commissioner Broline asked if text amendments were required to fulfill the needs of the business. Mr. Walter said that outdoor storage of commercial vehicles was permitted in Manufacturing Districts, but that this permission was limited to eight smaller commercial vehicles. Mr. Walter said that if the petition was limited to simply employees operating a sales office, that would be a solitary special use, but the outdoor, overnight storage made the special use for a sales office impotent in that they would still not be permitted to store any product overnight. Mr. Walter said that even if the property were rezoned, outdoor storage of retail vehicles would not be permitted by right.

Commissioner Petrich asked if there were any outdoor vehicle sales uses in the Village. Mr. Walter said that Lyons Truck Sales was the only such use in the Village. Commissioner Petrich asked about exterior lighting. Mr. Criscione said that he would only install what was necessary to operate a camera system, which may include night vision cameras that need very little light. Commissioner Petrich asked what the purpose was of a 12-month dedicated deadline for installing the curb with landscaping along Madison Street. Mr. Walter said that the deadline was there to provide some assurance of timely compliance for the Village, as the petitioner would be required to obtain permits from DuPage County to complete the work.

Commissioner Farrell said she opposed allowing this type of use in a Business District. Commissioner Farrell said that she wanted more information related to site and landscape planning before making a decision either way.

Commissioner Stratis asked if trailers would be sold or stored at the property. Mr. Criscione said that trailers would not be present at the property. Commissioner Stratis said he would want a prohibition on ramps, banners, or other attention-getting devices on the property; Mr. Criscione concurred with this sentiment.

Chairman Trzupek said he supported the petition but acknowledged that the rest of the Plan Commission did not and asked for direction from the body.

Mr. Walter asked if the Plan Commission was opposed to the use at this location writ large, or if there was simply opposition to allowing the use in the B-2 Business District. The Plan Commission's consensus was that they would prefer to place uses like this in Manufacturing Districts such as the G-I General Industrial District, but also that they did not have enough information to make a conclusive recommendation at this time.

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Broline to continue Z-08-2020 to August 3, 2020.

ROLL CALL VOTE was as follows:

AYES: 8 – Hoch, Broline, Farrell, Stratis, Irwin, Petrich, Parrella, and Trzupek
NAYS: 0 – None

MOTION CARRIED by a vote of 8-0.

IV. CORRESPONDENCE

V. OTHER PETITIONS

VII. FUTURE SCHEDULED MEETINGS

The next scheduled Plan Commission meetings were set for July 20, 2020 and August 3, 2020.

VII. ADJOURNMENT

At the conclusion of the meeting, Commissioner Hoch thanked Chairman Trzupek for his hard work leading the Plan Commission over the years. Chairman Trzupek thanked Commissioner Hoch for her comments.

A **MOTION** was made by Commissioner Farrell and **SECONDED** by Commissioner Broline to adjourn the meeting at 10:12p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 10:12p.m.

**Respectfully
Submitted:**

Evan Walter, Assistant Village Administrator



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-10-2020: 16W561 South Frontage Road (Falco's Pizza); Requests a special use to permit outdoor dining at an existing restaurant in the B-2 Business District.

HEARING:

July 20, 2020

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Evan Walter
Assistant Village Administrator

PETITIONER:

Falco's Pizza

PETITIONER STATUS:

Property Owner

EXISTING ZONING:

B-2 Business District

LAND USE PLAN:

Recommends Commercial Uses

EXISTING LAND USE:

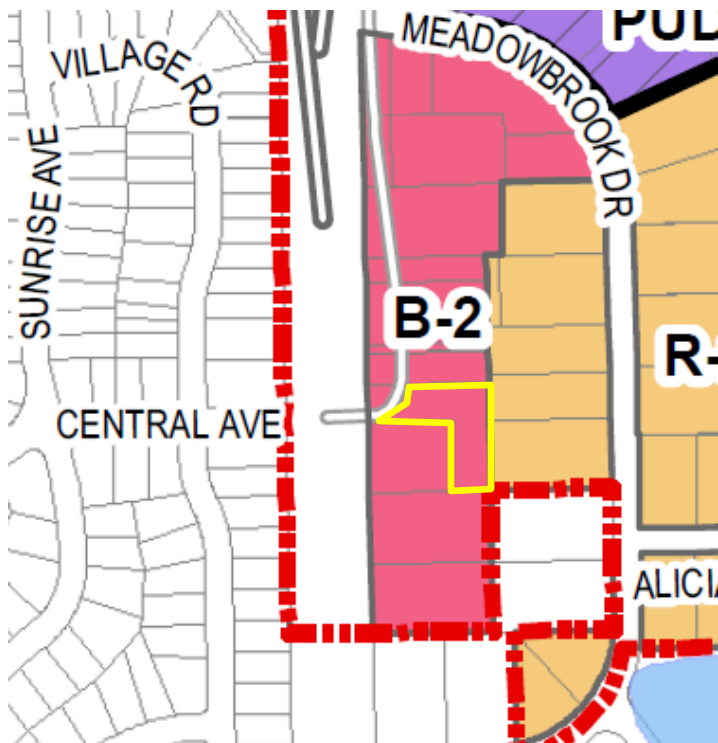
Restaurant

SITE AREA:

0.95 Acres

PARKING:

45 Spaces



The petitioner is Falco's Pizza, a restaurant located at 16W561 South Frontage Road. The petitioner requests a special use to permit outdoor dining at an existing restaurant in the B-2 Business District. The petitioner currently participates in the Village's outdoor dining program, wherein the business pays for half of the weekly cost of a tent rental to encourage outdoor dining during the COVID-19 pandemic. The restaurant has received positive feedback to outdoor dining on site and is seeking to pursue a permanent outdoor dining area (henceforth: "patio").

Section VIII (Business Districts) of the Zoning Ordinance states the following regulations related to outdoor dining, with staff comments related to the petition in red:

1. The dining area shall be enclosed by an open fence of approved design preventing access to the outdoor dining area except by a doorway from the interior of the restaurant.
The patio is shown with a 3' tall perimeter fence meeting the aforementioned specifications.
2. Door to the dining area shall be self-closing.
A 3' emergency egress gate is shown on the plans. This will be field-verified if the petition is approved.
3. Tables shall be cleaned promptly following use.
This will be field-verified if the petition is approved.
4. Furniture and umbrellas shall be weighted to prevent their movement in the wind.
This will be field-verified if the petition is approved.
5. Seating shall not exceed one chair for every 10 square feet devoted to outdoor dining and shall be counted in determining restroom and parking requirements.
The patio is proposed to be 1,180 square feet in size. The petitioner's plans indicate that there is one chair for every 18 square feet of available outdoor dining space.
6. No outdoor dining area shall be located to impede pedestrian traffic or proper access to and from the restaurant.
No movable table is located within the ingress/egress areas leading to and from the interior of the restaurant or the emergency access gate.
7. No public sidewalks or public area may be used for a private restaurant's outdoor dining unless specifically approved by the Village.
No use of public infrastructure is used for this purpose.
8. Outdoor food preparation, storage or display is prohibited.
No features for such activities are proposed in the petition.
9. Hours of operation of an outdoor dining area shall be specifically approved by the Village.
The petitioner has stated that the patio's hours will align with the existing restaurant's previously approved hours, which are 11:00am-10:30pm on Sunday-Thursday and 11am-midnight on Friday-Saturday.

The petitioner proposes to add a number of landscaping features as well as a pergola and several gas fire pits to the outdoor area as shown in Exhibit A.

Land Use and Site Plan

The subject property is zoned B-2 Business and is bordered by properties in the B-2 Business District to the north (Burr Ridge Car Care), south (Shell gas station and an undeveloped adjacent property also owned by the Falco family), and the west (undeveloped Frontage Road property), as well as single-family residential homes to the east zoned R-2B Residential.

The subject property has 45 parking spaces on site. The Zoning Ordinance states that restaurants must provide one parking space for each 100 square feet of floor area plus one space per employee. The existing restaurant and proposed patio would be 3,600 square feet, while 6-8 employees work at any time, meaning that the use is required to provide, at most, 44 total parking spaces, meeting the requirements of the Zoning Ordinance.

Public Hearing History

Several public hearings have been held regarding the subject property:

- 2007 – Variation and special use to permit multiple buildings on a single parcel to facilitate a PUD. **Approved.** *This development did not occur.*
- 2007 – Special use to construct a new freestanding building with an outdoor patio. **Approved.** *This development did not occur.*
- 2004 – Variation to construct a parking lot without landscaping islands. **Approved.**
- 2004 – Special use to transfer liquor license to the business' present location. **Approved.**
- 2002 – Special uses (five total) to construct a 40,000-square foot shopping center with five separate buildings on two total properties. **Denied.**
- 1995 – Variation to permit a driveway to encroach into a 2-foot setback. **Denied.**

Public Comment

No public comment was received regarding this petition.

Findings of Fact and Recommendation

The petitioner has provided Findings of Fact, which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission desires to recommend a special use to permit outdoor dining at an existing restaurant in the B-2 Business District for Falco's Pizza, staff recommends it be made subject to the following conditions:

1. The special use is limited to the submitted site plan at 16W561 South Frontage Road; the special use shall be null and void if the owners of the restaurant cease to operate Falco's Pizza at the subject property.
2. All fences surrounding the outdoor seating area shall have matching elevations and colors.
3. All furniture shall be removed during the winter season (November 1-March 1) and be covered and stored in the rear of the property if stored on site.
4. There shall be no advertising, signs, or leaflets on the tables, chairs, fences, umbrellas (aside from the business' own branding or logos) or railings.
5. A self-closing gate shall be provided for the outdoor dining area.
6. No outdoor food preparation is permitted.
7. Tables shall be cleaned promptly after use.
8. The outdoor dining area shall have business hours of 11:00am-10:30pm on Sunday-Thursday and 11am-midnight on Friday-Saturday.
9. Failure to comply with these regulations shall deem this special use approval null and void.

Appendix

Exhibit A – Petitioner's Materials

EXHIBIT A



Findings of Fact – Special Use
Burr Ridge Zoning Ordinance

Address:

16 W 361 S Frontage Rd

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.
The patio will enhance the existing restaurant and will be the only Burr Ridge restaurant outside of the downtown with a patio.
- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
The patio will be safe and enjoyable for all parties.
- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.
Agreed. The use will increase the use's enjoyment while causing no ill effect on other properties.
- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
All properties will be able to develop as needed or able.
- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.
All such facilities are present.
- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
Adequate entrance width to the parking area will be available post-patio installation.
- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.
Many other restaurants in the Village have such patios.
- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.
Agreed. This special use is in line with Village regulations and plans.

FALCO'S PIZZA & BAR OUTDOOR PATIO

LANDSCAPE LIST:

"GG"	GREEN GIANT ARBORVITAE	8
"KO"	DOUBLE KNOCK OUT ROSES-RED	8
"SA"	SALVIA - 1 GALLON	6
"CT"	PRAIRIE FIRE CRAB TREE -6FT	2
"JM"	JAPANESE MAPLE - 4FT	1
"OG"	PETITE ORNAMENTAL TALLGRAS- HAMELN	6

LEDGESTONES WILL BE INSTALLED AND STACKED TO A HEIGHT OF 24" ABOVE GRADE TO PROVIDE VEHICULAR PROTECTION AT CORNER AND ENDS SIZE AND LAYOUT TO BE DETERMINED IN FIELD.

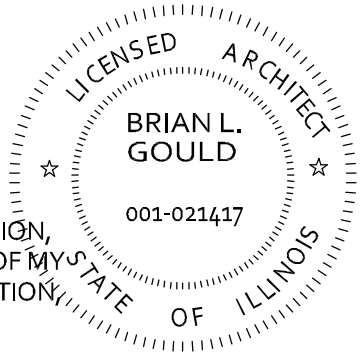
BUILDING CODE ANALYSIS

- ☐ International Building Code (IBC), 2012 Edition
- ☐ International Mechanical Code (IMC), 2012 Edition
- ☐ International Fuel Gas Code (IFGC), 2012 Edition
- ☐ International Energy Conservation Code (IECC), 2012 Edition
- ☐ Illinois State Plumbing Code (ISPC), Latest Edition as mandated by the State of Illinois
- ☐ International Plumbing Code (IPC), 2012 Edition
- ☐ International Fire Code (IFC), 2012 Edition
- ☐ International Wildland-Urban Interface Code 2012
- ☐ NFPA 70, National Electric Code (NEC), 2011 Edition
- ☐ NFPA 101, Life Safety Code (NFPA 101), 2012 Edition
- ☐ Illinois Accessibility Code (IAC), Latest Edition as mandated by the State of Illinois
- ☐ International Existing Building Code, 2012 Edition

STATEMENT OF COMPLIANCE

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE CODES LISTED IN THE BUILDING CODE ANALYSIS

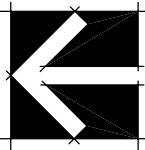
SIGNED: _____





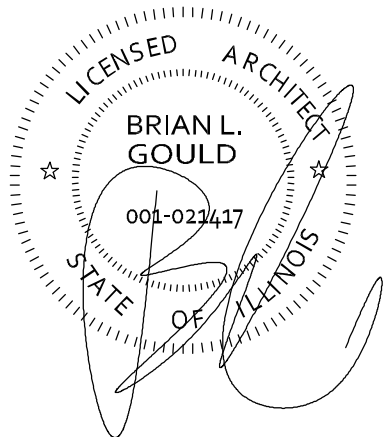
DESIGN
&
ARCHITECTURE

ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281



A LANDSCAPE/SEATING PLAN
1/8" = 1'-0"

FALCO'S PIZZA & BAR OUTDOOR PATIO

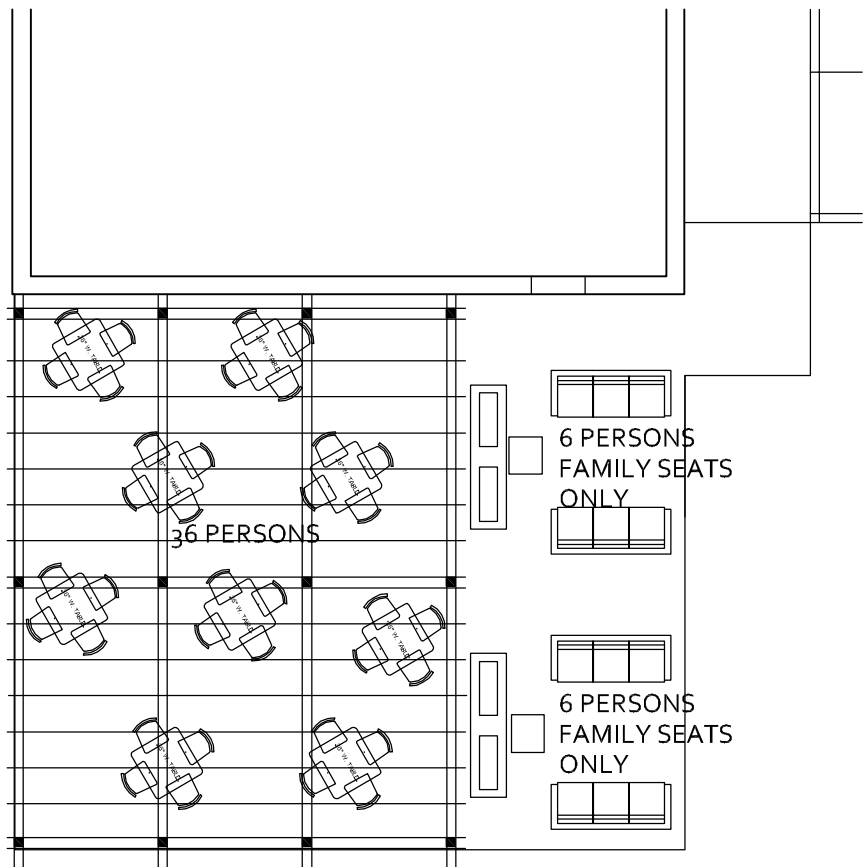
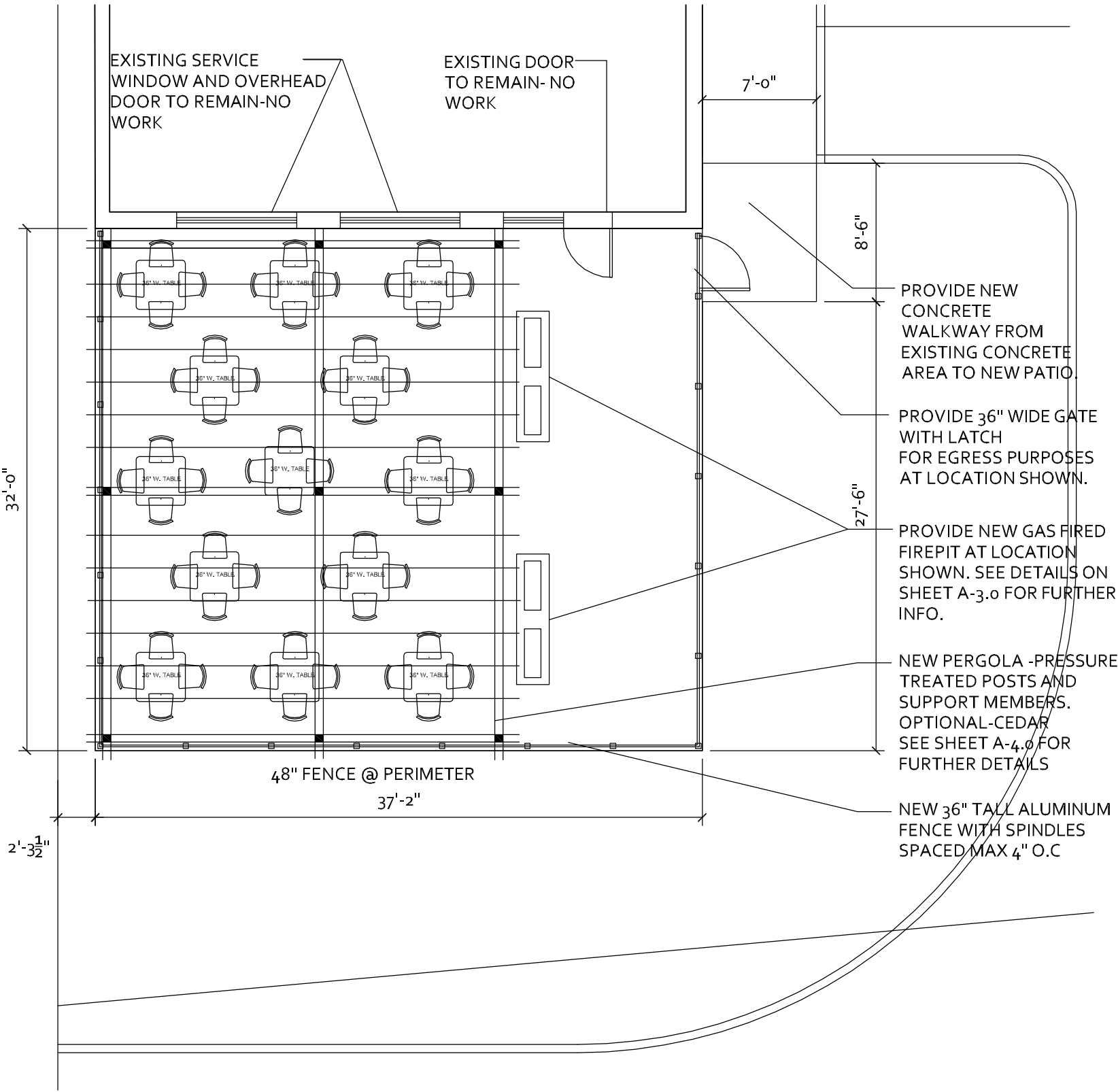


PARKING INFO:
45 CARS EXIST CURRENTLY
25 ADDITIONAL CARS AVAILABLE
TOTAL : 70 CARS

OCCUPANCY COUNT:

126 TOTAL OCCUPANTS INSIDE -EXISTING
PROPOSED PATIO :
52 PERSONS (TABLES & CHAIRS)
12 PERSONS - LOUNGE SEATING
SUBTOTAL : 64 PERSONS
TOTAL : 190 PERSONS

2018 IPC
GIVEN EXISTING
MEN'S/WOMEN'S
RESTROOM FACILITY
200 PERSONS MAX
ALLOWED



1 TEMP LAYOUT-COVID
3/32" = 1'-0"

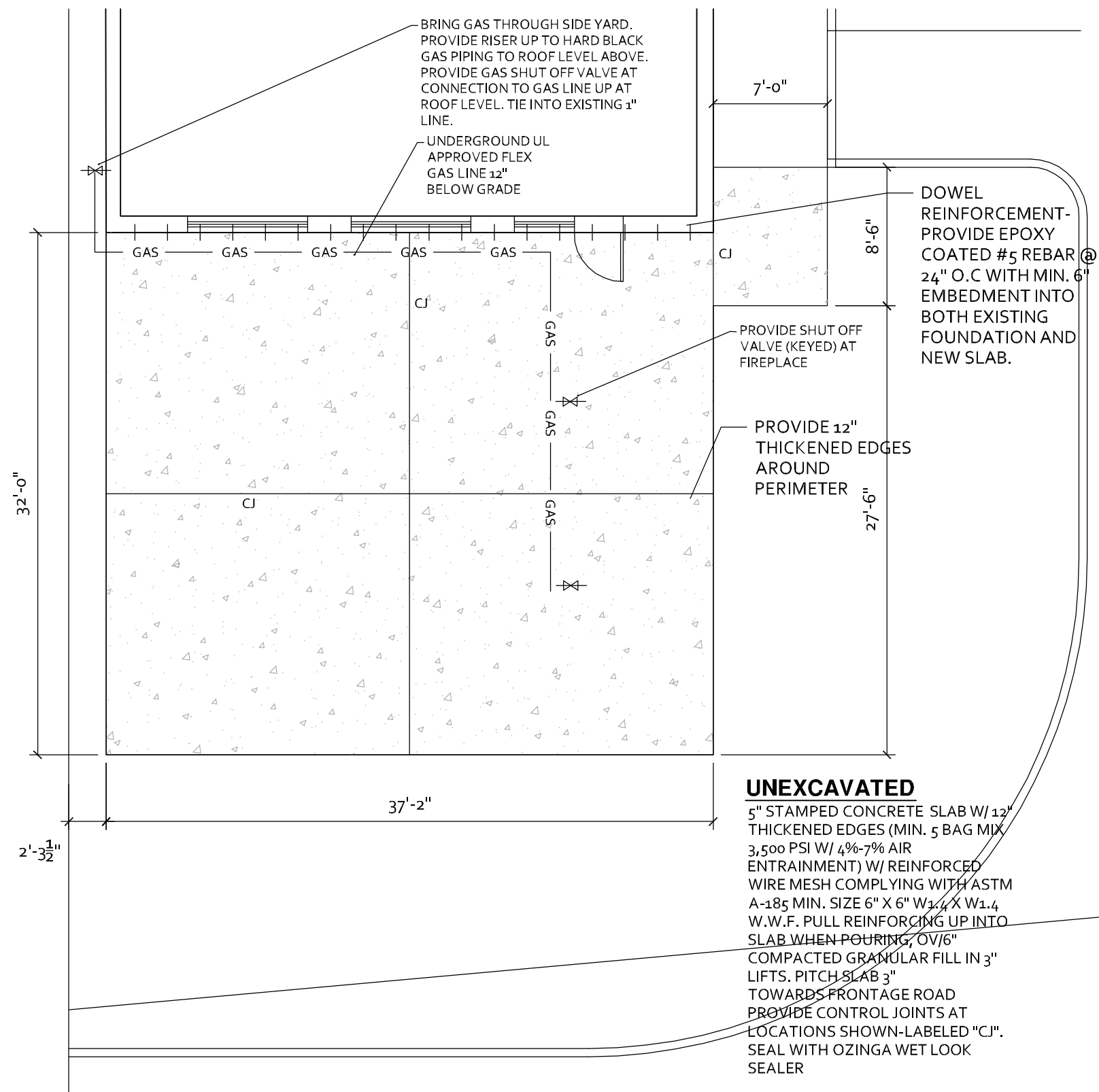
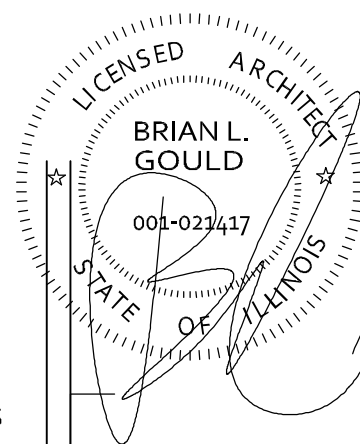
A PATIO DESIGN
1/8" = 1'-0"



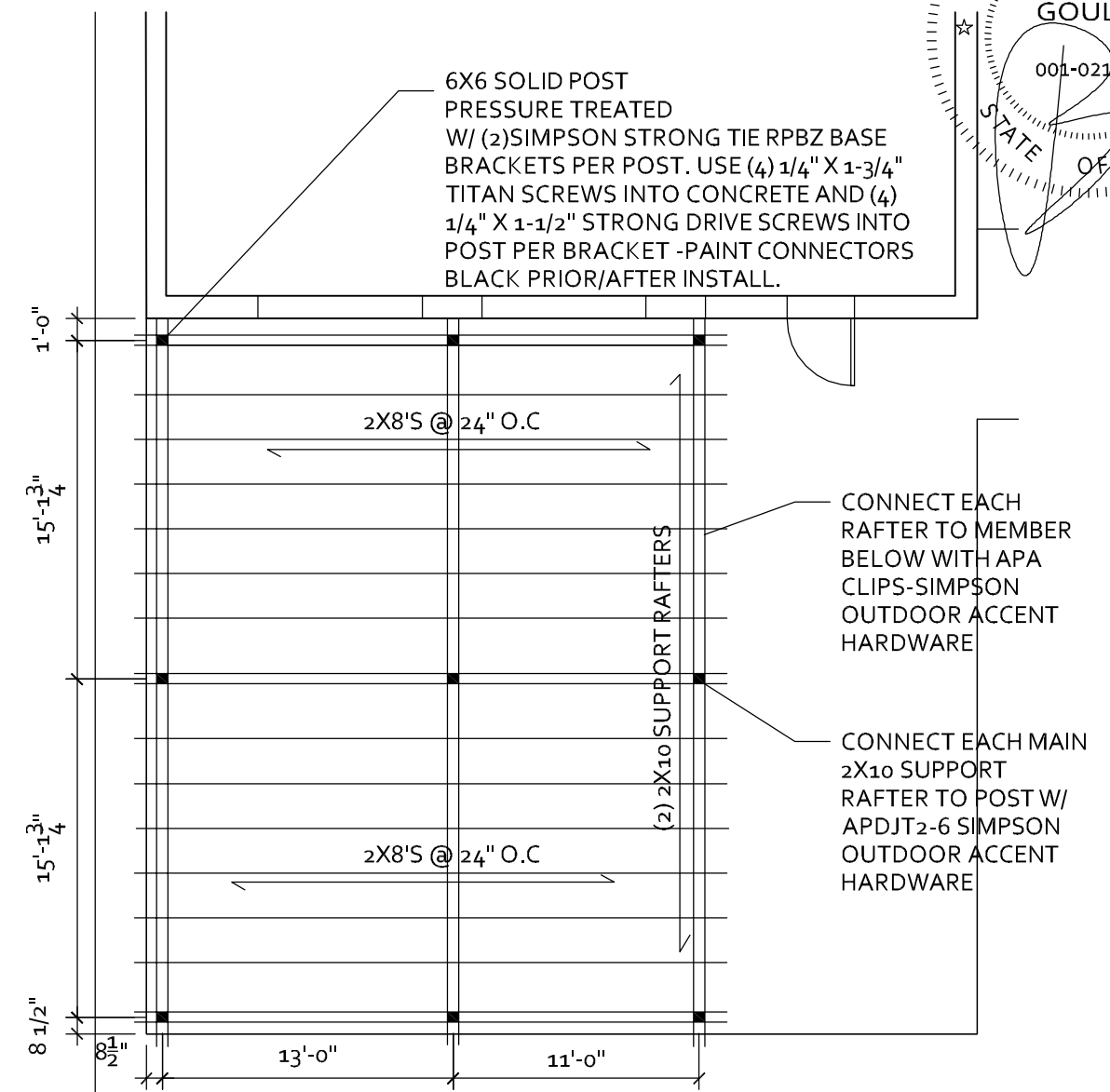
BAR DESIGN & ARCHITECTURE

ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281

FALCO'S PIZZA & BAR OUTDOOR PATIO



A FOUNDATION DESIGN
1/8" = 1'-0"

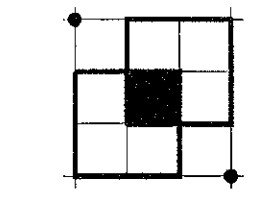


B PERGOLA DESIGN
1/8" = 1'-0"



BR DESIGN & ARCHITECTURE

ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281



LIST OF ABBREVIATIONS

AB	Anchor Bolt	FIN	Furnish & Install	PROV	Provide
ACOUS	Acoustical	FLR	Floor	PBF	Pounds Per Square Foot
ADJ	Adjacent	FDN	Foundation	PSI	Pounds Per Square Inch
AFF	Above Finish Floor	FPFB	Frost Proof Hose-Bib	PT	Paint
ANOD	Anodized	FRT	Free Retardant Treated	PVMT	Pavement
AT	Acoustical Tile	FTG	Footing	QT	Quarry Tile
B/D	Bottom of	GA	Gauge	RENF	Reinforcing
BD	Board	GALV	Galvanized	REQD	Required
BIT	Bituminous	GB	Gypsum Board	RM	Room
BKGS	Blocking	GC	General Contractor	RN	Sanitary
BLDG	Building	GL	Glass	SCHD	Schedule
BM	Beam	GRAN	Granular	SECT	Section
BOT	Bottom	GYP BD	Gypsum Board	SFT	Square Foot
BRDG	Bridging	GTP	Gypsum	SH	Sheet
BRG	Bearing	H	High	SLV	Short Leg Vertical
CONC BLK	Concrete Block	HC	Handicapped	STD	Standard
CLG	Ceiling	HM	Hollow Metal	STL	Steel
CLR	Clear	HORIZ	Horizontal	SS	Stainless Steel
CPT	Carpet	HP	High Point	SUSP	Suspended
COL	Column	HVAC	Heating, Ventilating, Air Conditioning	T	Top of
COMP	Compact	HW	Hot Water	TEMP	Tempered
CONC	Concrete	INSUL	Insulation	TOP	Top of
CONST	Construction	INT	Interior	TJ	T-Joint
CONT JT	Control Joint	IST	Just	TYP	Typical
CONTR	Contractor	JT	Joint	UNO	Unless Noted Otherwise
CORR	Corrugated	LAV	Lavatory	VCT	Vinyl Composition Tile
CT	Control Joint	LG	Long Leg Vertical	VERT	Vertical
CTJ	Control Joint	LLV	Low Leg Vertical	VWC	Vinyl Wall Covering
CW	Cold Water	LP	Low Point	WC	Water Closet
DBL	Double	MAX	Maximum	WD	Wood
DET	Detail	MFR	Manufacturer	WH	Water Heater
DIA	Diameter	MN	Minimum	WMF	Welded Wire Fabric
Ds	Ditto	MO	Masonry Opening	WINDW	Window
DR	Door	MAS	Masonry		
DWG	Drawing	MTL	Metal		
EA	Each	NC	Not in Contract		
ET	Expansion Joint	OVHD	Overhead		
ELEC	Electrical	OPNG	Opening		
ELEV	Elevation	PART	Partition		
EQ	Equal	PERIM	Perimeter		
EQU	Equal	PL	Plate		
EWC	Electro Water	PLUMB	Plumbing		
EXIST	Existing	PFT	Pressure preserving		
EXP	Expansion	PREFN	Prefinished		
EXP JT	Expansion Joint				
EXT	Exterior				

RECEIVED

JUL 06 2020

VILLAGE OF BURR RIDGE

CONSTRUCTION DATA

BUILDING CODE:	2012 INTERNATIONAL BUILDING CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FUEL GAS CODE 2010 INTERNATIONAL ENERGY CONSERVATION CODE ILLINOIS STATE PLUMBING CODE, LATEST EDITION AS MANDATED BY THE STATE OF ILLINOIS 2012 INTERNATIONAL PLUMBING CODE INTERNATIONAL WILD-URBAN INTERFACE CODE 2011 NFPA 70 NATIONAL ELECTRIC CODE 2012 NFPA 101 LIFE SAFETY CODE ILLINOIS ACCESSIBILITY CODE, LATEST EDITION AS MANDATED BY THE STATE OF ILLINOIS 2012 INTERNATIONAL EXISTING BUILDING CODE VILLAGE OF BURR RIDGE BUILDING ORDINANCE #124, INCLUDING MECELANEOUS AMENDMENTS TO THE ABOVE LISTED MODEL CODES LISTED IN ARTICLE VI VILLAGE OF BURR RIDGE ZONING ORDINANCE, ORDINANCE #934 VILLAGE OF BURR RIDGE ZONING MUNICIPAL CODE, CHAPTER 8 STORMWATER MANAGEMENT
CONSTRUCTION TYPE:	TYPE 2B NON-COMBUSTIBLE
EGRESS TRAVEL:	200'-0"
OCCUPANCY TYPE:	ASSEMBLY GROUP A-2
OCCUPANCY LOAD:	ASSEMBLY UNCONCENTRATED DINING ROOM AND KITCHEN IS NET / 3,517 S.F. = 221 P
(BY CODE)	MISC SPACES (TLT RMS, COORIDORS) 200 GROSS / 646 S.F. = 3 P TOTAL OCCUPANCY 224 P
OCCUPANCY LOAD:	DINING ROOM AND BAR AREA = 10 P
(ACTUAL)	EMPLOYEES = 5 P NEW OUTDOOR PATIO AND LOUNGE AREA = 64 P TOTAL OCCUPANCY 179 P
PARKING PROVIDED:	45 CARS
ADDITIONAL AUX PARKING TO THE SOUTH OF SITE:	25 CARS
TOTAL PARKING PROVIDED:	70 CARS

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION	PREPARED BY
A-1	GENERAL CONSTRUCTION NOTES, SITE PLAN AND BUILDING ELEVATION	DM+S ARCHITECTS, P.C. FIRM REGISTRATION NO. 184-004004 I bear by certify that these plans were prepared by me or under my supervision and to the best of my knowledge complies with all applicable codes and with all provisions of the Illinois Accessibility Code and Environmental Barriers Act. The seal affixed below pertains to Construction Documents A-1 & A-2 Dated: 7-10-20 Date Sealed: 7-10-20
A-2	FLOOR PLAN, WALL SECTIONS AND MISC DETAILS	ROBERT J. SEBAK 001-013456 Illinois Licensed Architect License Expires: 1-30-20 (NOT VALID UNLESS SIGNED & SEALED IN RED)

PLUMBING FIXTURES REQUIRED

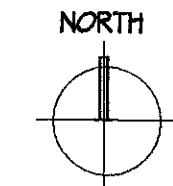
<u>OCCUPANT LOAD</u>	<u>AREA</u>	<u>PERSON/S.F.</u>	<u>TOTAL PEOPLE</u>
DINING RM / KIT	3,963 S.F.	130	82
OUTDOOR PATIO	1,091 S.F.		64
TOTAL	5,052 S.F.		146
<u>FIXTURES REQUIRED</u>	<u>FIXTURES REQD.</u>	<u>EXISTING FIXTURES</u>	
WATER CLOSETS	1 (M) 2 (F)	1 (M) 2 (F)	
URINALS	0	1	
LAVATORIES	1 (M) 1 (F)	1 (M) 1 (F)	
DRINKING FOUNTAINS	1	0	
<u>FIXTURES REQUIRED BY CODE:</u>			
WC - 1 per 100 PEOPLE FOR MALE			
WC - 2 per 500 PEOPLE FOR FEMALE			
LAV - 1 per 100 PEOPLE EACH FOR BOTH MALE & FEMALE			

CONSTRUCTION NOTES

- ALL CONTRACTORS TO VERIFY ALL CONDITIONS, DIMENSIONS, AND MATERIALS BEFORE PROCEEDING WITH WORK AND REPORT ANY DISCREPANCIES TO THE OWNER, ARCHITECT, GENERAL CONTR. AND SHALL BE RESPONSIBLE FOR THE SAME.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER IN STRICT ACCORDANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES OF THE VILLAGE OF BURR RIDGE.
- SCALE FOR THE DRAWINGS IS FOR GENERAL INFORMATION ONLY. LOCATION AND DIMENSIONS SHALL BE TAKEN AS SHOWN AND IS NOT TO BE SCALED.
- THE CONTRACTOR ALONG WITH ANY NECESSARY SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE AND THE LOCAL CONDITIONS AND VERIFY ALL DATA PERTAINING TO THE EXISTING CONDITIONS AND THEIR RELATION TO THE NEW WORK.
- IF ANY CONFLICTS EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS THE ARCHITECT SHALL BE CONTACTED IN ORDER TO CLARIFY THE CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FALSE ASSUMPTIONS MADE BY HIMSELF OR ANY SUBCONTRACTORS.
- THE CONTRACTORS TO SUBMIT TO THE GENERAL CONTRACTOR A CERTIFICATE OF INSURANCE LISTING THE OWNER AND THE ARCHITECT AS ADDITIONAL BUREAU.
- GENERAL CONTRACTOR TO SUPPLY ALL NECESSARY LABOR, MATERIALS, PERMITS, TOOLS, FEES, UTILITIES, EQUIPMENT, TRANSPORTATION, INSURANCE, SUPERVISION, TEMPORARY CONSTRUCTION PROTECTION, AND ANY OTHER SERVICES AND FACILITIES REQD TO PROPERLY PERFORM THE WORK AND COMPLETE THE PROJECT.
- GENERAL CONTRACTOR SHALL EXERCISE REASONABLE CARE TO AVOID DAMAGE TO EXISTING CONSTRUCTION OUTSIDE THE LIMITS OF THE WORK. WHENEVER EXISTING CONSTRUCTION OUTSIDE THE LIMITS OF WORK IS DISTURBED, THE GENERAL CONTRACTOR SHALL FULLY RESTORE THE DISTURBED PORTION TO ITS ORIGINAL CONDITION.
- CONTRACTOR TO PROVIDE ALL NECESSARY PROTECTION AND ADHERE TO SAFETY PRECAUTIONS AS SPECIFIED BY THE STATE OF ILLINOIS DEPARTMENT OF LABOR SAFETY DIVISION.
- CONTRACTORS TO REMOVE ALL RUBBISH PERTAINING TO THEIR WORK.
- THE DRAWINGS DO NOT LOCATE OR NOTE ALL EXISTING UNDERGROUND UTILITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF ANY UNDERGROUND UTILITIES. THE CONTRACTOR SHALL EXERCISE REASONABLE CARE DURING EXCAVATION TO INSURE THAT EXISTING UTILITIES ARE NOT DAMAGED.
- THE DRAWINGS AND SPECIFICATIONS ARE "CONTRACT DOCUMENTS" AND INDICATE THE GENERAL SCOPE OF THE PROJECT. IN TERMS OF THE ARCHITECTURAL CONSTRUCTION, THE DIMENSIONS OF THE PROJECT, THE MAJOR ARCHITECTURAL AND STRUCTURAL DETAILS ON THE BASIS OF THE DESIGN INDICATED OR DESCRIBED. THE GENERAL CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- WOOD TRIM PROFILE DIMENSIONS AND FINISH AS SELECTED BY OWNER.

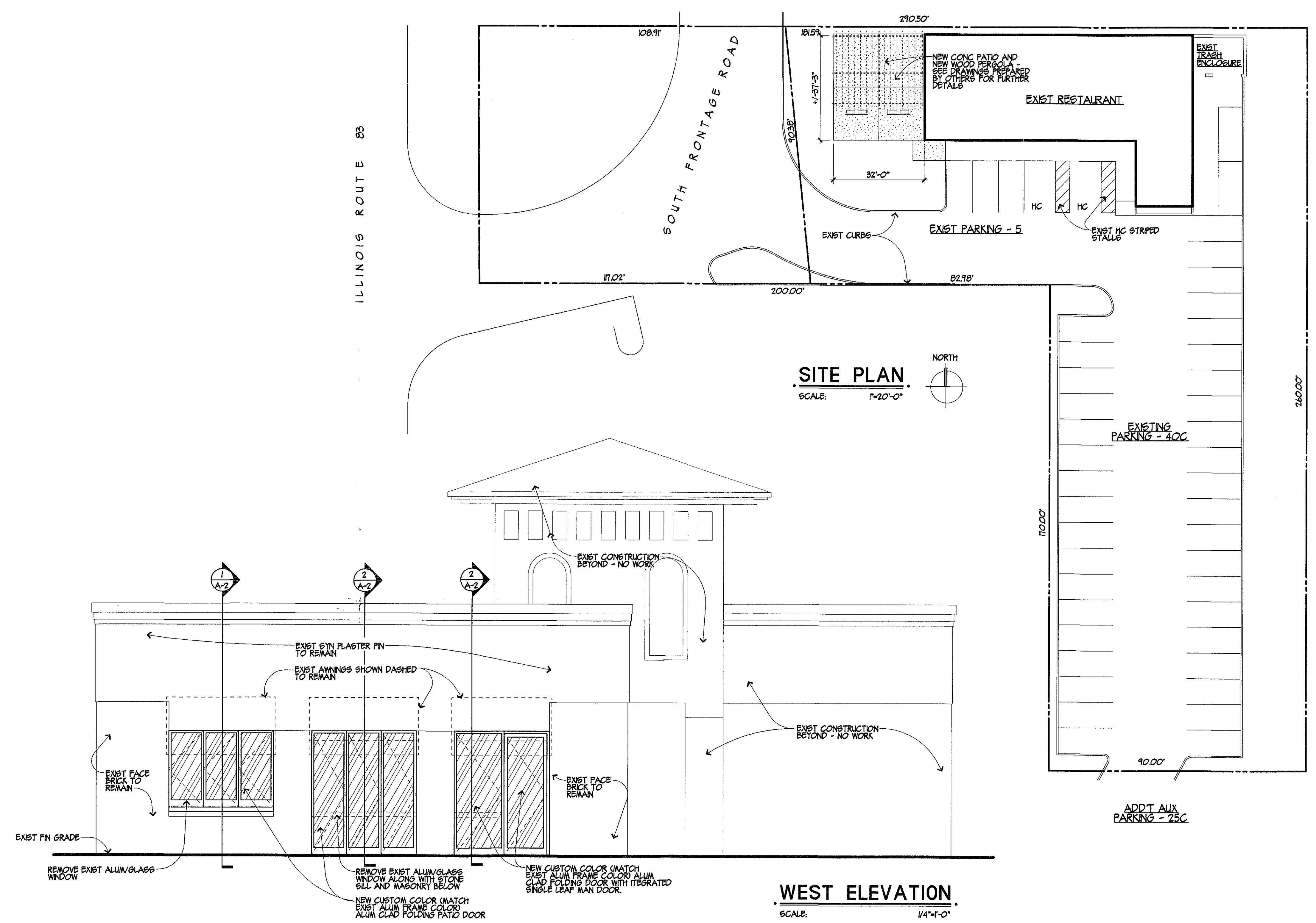
SITE PLAN

SCALE: 1"=20'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"



DM+S ARCHITECTS, P.C.
117 HEATH PLACE
WESTMONT, ILLINOIS
630-863-6406
630-863-6418 FAX

NEW PATIO AND WINDOW RENOVATIONS FOR:
FALCO'S PIZZA

DRAWING HISTORY:
6-24-20
IN PROGRESS
ISSUED FOR BUILDING PERMIT 7-10-20

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE WORK OF ANY OTHER CONTRACTOR OR SUBCONTRACTOR WHOSE WORK IS SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE WORK OF ANY OTHER CONTRACTOR OR SUBCONTRACTOR WHOSE WORK IS SHOWN ON THESE DRAWINGS.

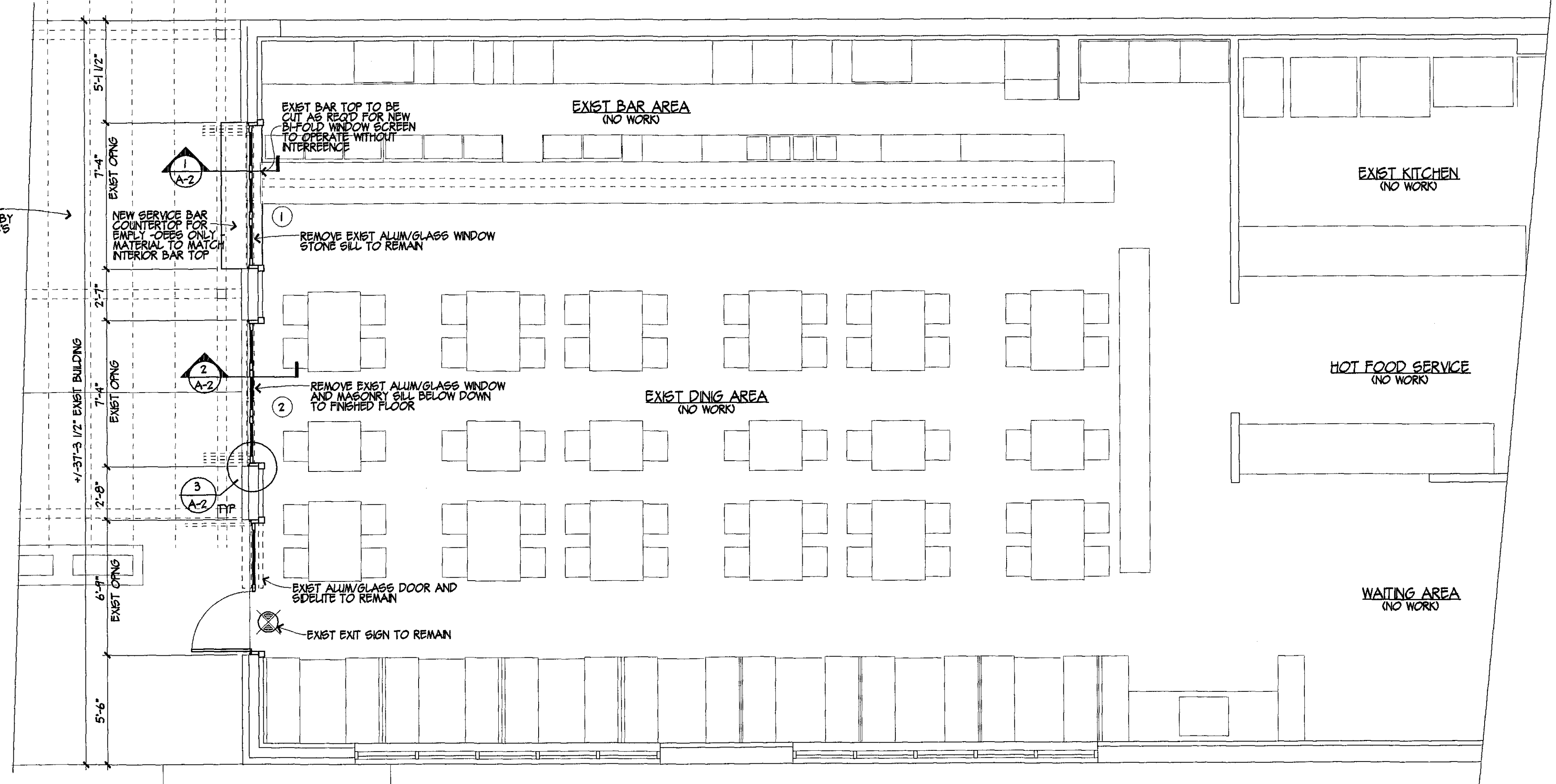
COPYRIGHT © 2020
DM+S Architects, P.C.
THE ARCHITECTURAL DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE THE SOLE PROPERTY OF DM+S ARCHITECTS, P.C. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DM+S ARCHITECTS, P.C.

DOOR SCHEDULE

- DOOR 1:** • MARVIN ULTIMATE BI-FOLD DOOR W/ PREFINISHED CLAD EXTERIOR EXTERIOR COLOR TO MATCH EXISTING ALUMINUM FRAME. INTERIOR STAIN COLOR AS SELECTED BY OWNER.
• NUMBER OF LEAFS PER MANUF SPEC'S. SEE FLOOR FOR LEAF STACKING SIDE OF OPENING.
• GLAZING TO BE INSULATING PANE LOW E2 ARGON. GLAZING TO MEET U-4.5 AND SHGC=40. GLASS COLOR AS SELECTED BY OWNER.
• FLOOR CHANNEL SILL. COLOR AS SELECTED BY OWNER.
• SCREEN - COMPLETE W/ ALL REGD FRAMES, TRACKS AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF SCREENING AND FRAME AS SELECTED BY OWNER.
• PROVIDE ALL REGD WEATHERSTRIPPING AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF HARDWARE AS SELECTED BY OWNER.
- DOOR 2:** • MARVIN ULTIMATE BI-FOLD DOOR W/ PREFINISHED CLAD EXTERIOR EXTERIOR COLOR TO MATCH EXISTING ALUMINUM FRAME. INTERIOR STAIN COLOR AS SELECTED BY OWNER.
• NUMBER OF LEAFS PER MANUF SPEC'S. SEE FLOOR FOR LEAF STACKING SIDE OF OPENING.
• GLAZING TO BE INSULATING PANE LOW E2 ARGON. GLAZING TO MEET U-4.5 AND SHGC=40. GLASS COLOR AS SELECTED BY OWNER.
• LOW PROFILE SILL. COLOR AS SELECTED BY OWNER.
• SCREEN - COMPLETE W/ ALL REGD FRAMES, TRACKS AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF SCREENING AND FRAME AS SELECTED BY OWNER.
• PROVIDE ALL REGD WEATHERSTRIPPING AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF HARDWARE AS SELECTED BY OWNER.

- DOOR 3:** • MARVIN ULTIMATE BI-FOLD DOOR W/ PREFINISHED CLAD EXTERIOR EXTERIOR COLOR TO MATCH EXISTING ALUMINUM FRAME. INTERIOR STAIN COLOR AS SELECTED BY OWNER.
• PROVIDE 3'-0" x 7'-0" DOOR FOR EXISTING AS SHOWN ON FLOOR PLAN.
• GLAZING TO BE INSULATING PANE LOW E2 ARGON. GLAZING TO MEET U-4.5 AND SHGC=40. GLASS COLOR AS SELECTED BY OWNER.
• LOW PROFILE SILL. COLOR AS SELECTED BY OWNER.
• PROVIDE LEVER HANDLE ON BOTH SIDES OF DOOR. COLOR AS SELECTED BY OWNER.
• SCREEN - COMPLETE W/ ALL REGD FRAMES, TRACKS AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF SCREENING AND FRAME AS SELECTED BY OWNER.
• PROVIDE ALL REGD WEATHERSTRIPPING AND HARDWARE FOR A COMPLETE INSTALLATION. COLOR OF HARDWARE AS SELECTED BY OWNER.

NEW PATIO AND PERGOLA
SEE DRAWINGS PREPARED BY
OTHERS FOR FURTHER DTL'S

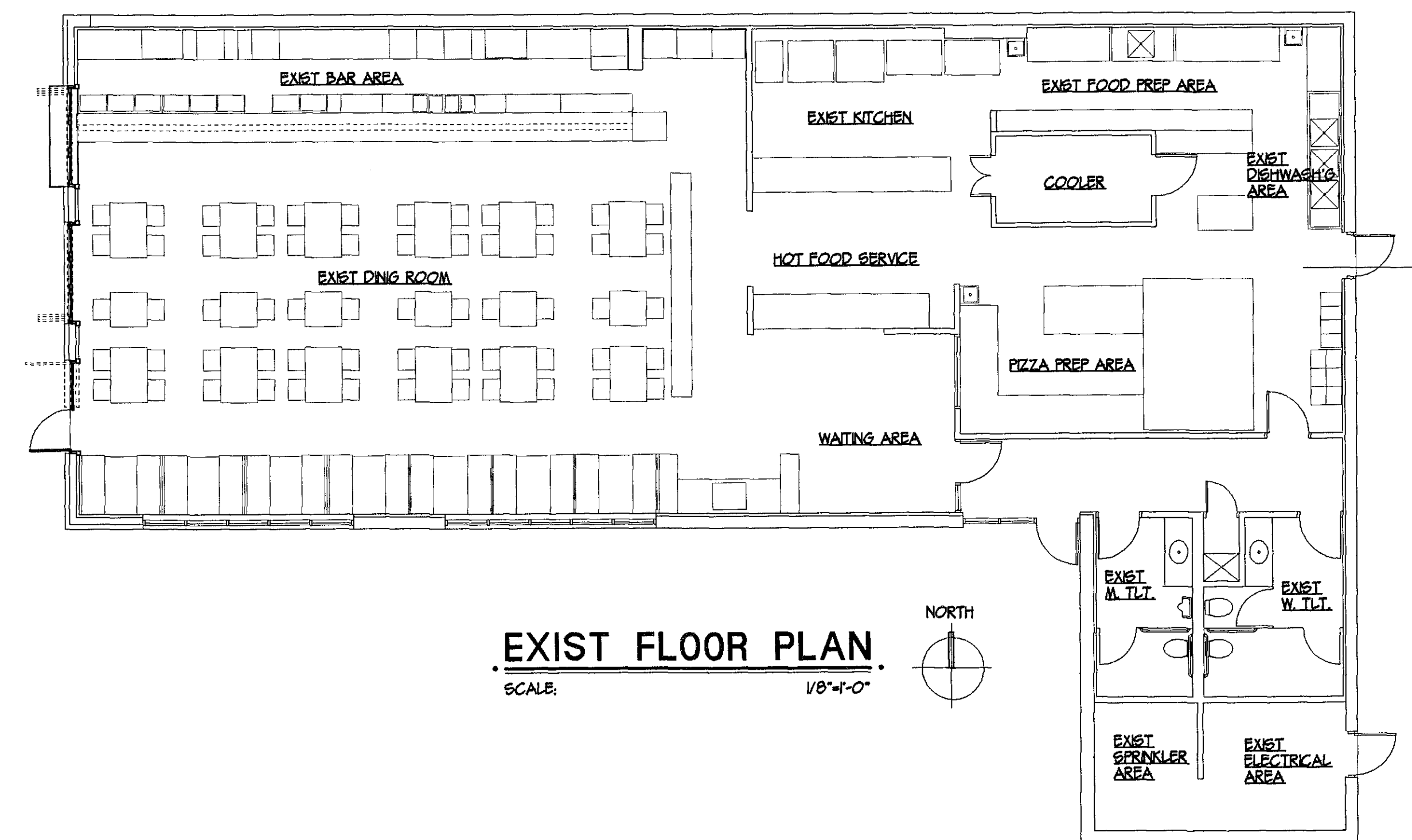


PART. FLOOR PLAN

SCALE: 1/4"=1'-0"

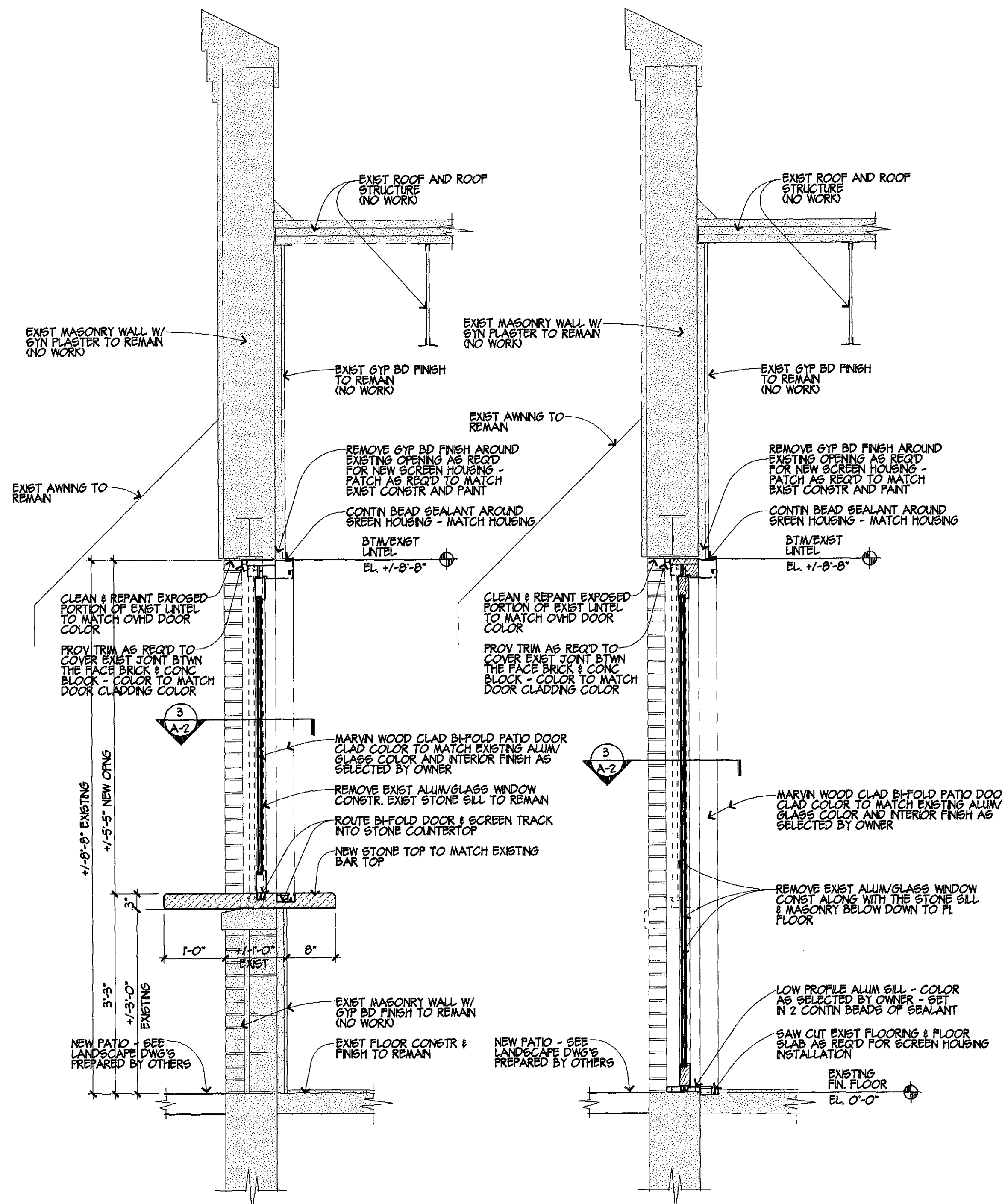
KEY

- EXIST CONSTRUCTION TO REMAIN
- - - EXIST CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION



EXIST FLOOR PLAN

SCALE: 1/8"=1'-0"



WALL SECTION 1

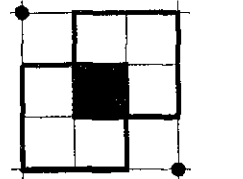
SCALE: 3/4"=1'-0"

WALL SECTION 2

SCALE: 3/4"=1'-0"

JAMB DTL.

SCALE: 1"=1'-0"



DM+S ARCHITECTS, P.C.
117 WESTMONT PLACE
WESTMONT, ILLINOIS
630-983-8408
630-983-0418 FAX

NEW PATIO AND WINDOW RENOVATIONS FOR
FALCO'S PIZZA
561 S. FRONTAGE ROAD
BARRIDGE, ILLINOIS

DRAWING HISTORY:
NO. 1
PROJECT NO. 2004
DATE: JULY 10, 2020
BY: RS
CHECKED: RS

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

COPYRIGHT © 2020
DM+S Architects, P.C.
THE ARCHITECTURAL DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE THE PROPERTY OF DM+S ARCHITECTS, P.C. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DM+S ARCHITECTS, P.C.

PROJECT NO. 2004
DATE: JULY 10, 2020
BY: RS
CHECKED: RS

SHEET NO
A-2
2 OF 2

DO NOT SCALE DRAWINGS

20-155

561 S. Frontage

RECEIVED

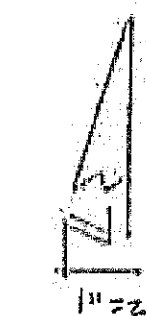
JUL 06 2020

VILLAGE OF BURR RIDGE

JOSEPH M. DE CRAENE
ILLINOIS LAND SURVEYOR
8710 SKYLINE DRIVE
HINSDALE, IL 60527
PHN 630-789-0898
FAX 630-789-0697

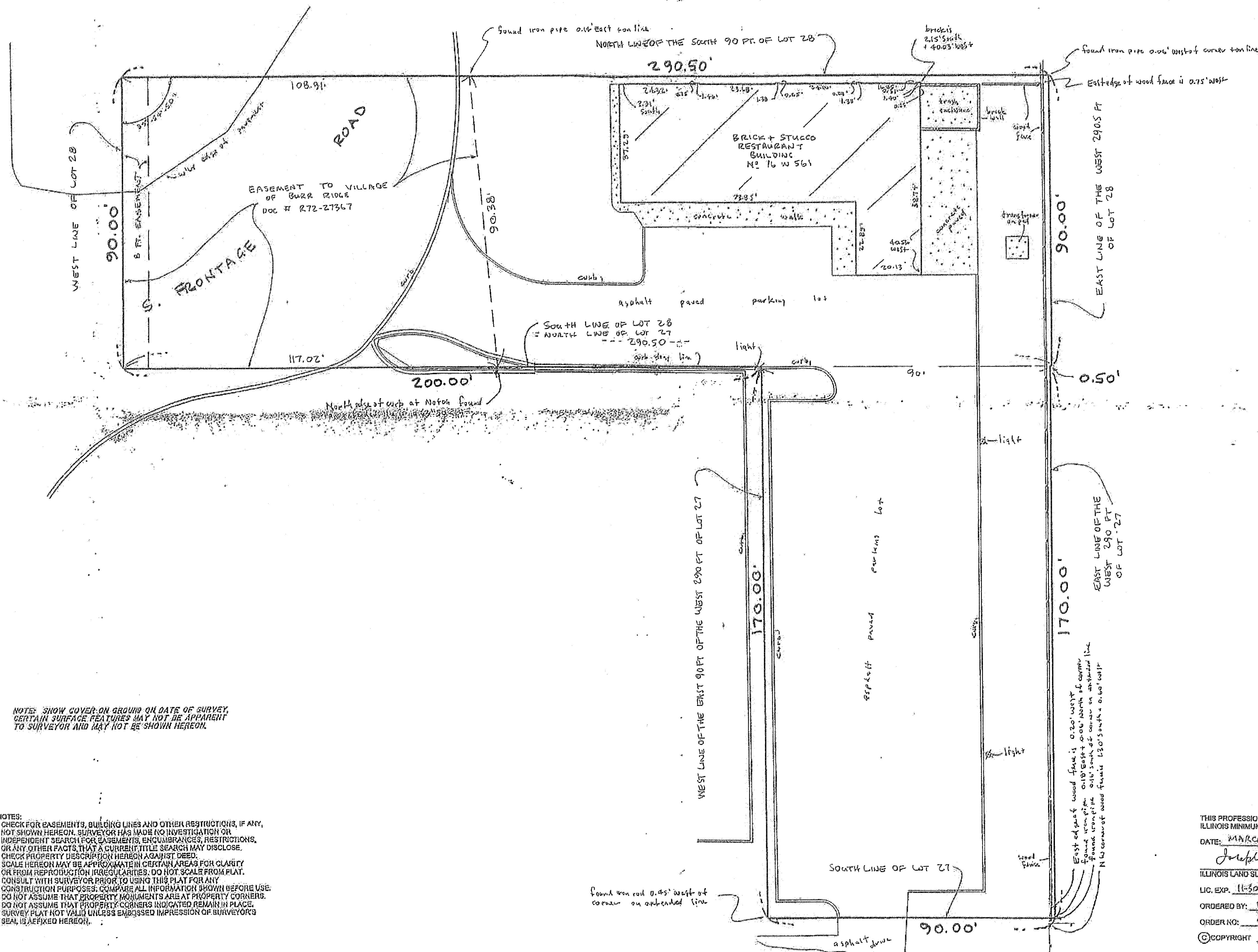
Plat of Survey

THE EAST 90.00 FEET OF THE WEST 290.00 FEET OF LOT 27 AND THE SOUTH 90.00 FEET OF THE WEST 290.50 FEET OF LOT 28 IN HINSDALE MEADOWBROOK FARMS, BEING A SUBDIVISION IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 175.00 FEET OF THE WEST 350.00 FEET) ACCORDING TO THE PLAT THEREOF RECORDED APRIL 25, 1992 AS DOCUMENT 859073 AND CERTIFICATE OF CORRECTION RECORDED JUNE 3, 1992 AS DOCUMENT 853220, IN DUPAGE COUNTY, ILLINOIS.



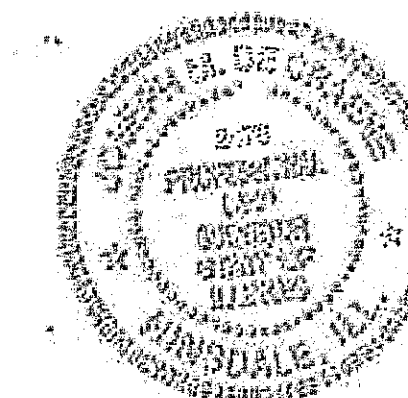
41445 S.F.

ILL. RTE. 83



NOTES: SHOW COVER ON GROUND ON DATE OF SURVEY. CERTAIN SURFACE FEATURES MAY NOT BE APPARENT TO SURVEYOR AND MAY NOT BE SHOWN HEREON.

NOTES:
- CHECK FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS, IF ANY, NOT SHOWN HEREON. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, RESTRICTIONS, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
- CHECK PROPERTY DESCRIPTION HEREON AGAINST DEED.
- SCALE HEREON MAY BE APPROXIMATE IN CERTAIN AREAS FOR CLARITY OR FROM REPRODUCTION IRREGULARITIES. DO NOT SCALE FROM PLAT.
- CONSULT WITH SURVEYOR PRIOR TO USING THIS PLAT FOR ANY CONSTRUCTION PURPOSES. COMPARE ALL INFORMATION SHOWN BEFORE USE.
- DO NOT ASSUME THAT PROPERTY MONUMENTS ARE AT PROPERTY CORNERS.
- DO NOT ASSUME THAT PROPERTY CORNERS INDICATED REMAIN IN PLACE.
- SURVEY PLAT NOT VALID UNLESS ENGRAVED IMPRESSION OF SURVEYOR'S SEAL IS AFFIXED HEREON.



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATE: MARCH 1, 2007

JOSEPH M. DE CRAENE

ILLINOIS LAND SURVEYOR NO. 2478

LIC. EXP. 11-30-2008

ORDERED BY: FALCO

ORDER NO: 070212

© COPYRIGHT 2007 JOSEPH M. DE CRAENE

Falco's PIZZA & BAR

Yes We Are OPEN

Falco's Pizzeria
**NOW
HIRING**
Pizza Makers
Servers

THANK YOU
FIRST RESPONDER

PIZZA
SLICES



NOTICE

There will be a public hearing
to consider zoning changes or
approvals for this property.

For further information,
please call or visit:

Burr Ridge Village Hall
7660 County Line Road
(630) 654-8181

Petition Number: Z-10-2020

Further details are available at:
www.burr-ridge.gov

HELP WANTED
PIZZA MAKERS
DELIVERY DRIVERS





VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527
(630) 654-8181 • Fax (630) 654-8269 • www.burr-ridge.gov

Gary Grasso
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

June 29, 2020

NOTICE OF PUBLIC HEARING

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Brian Gould o/b/o Falco's Pizza for a special use to permit an outdoor dining at an existing restaurant in the B-2 Business District. The petition number and property address is **Z-10-2020: 16W561 South Frontage Road** and the Permanent Real Estate Index Number is **09-35-400-020**.

A public hearing to consider this petition is scheduled for:

Date: Monday, July 20, 2020
Time: 7:00 P.M. or as soon thereafter as the matter may be heard.
Location: Village Hall – Board Room
7660 County Line Road
Burr Ridge, IL 60527

Due to the current limitations on social distancing and gatherings of no more than 50 persons in physical attendance set forth in place by the Declaration of a State of Emergency by the Governor of the State of Illinois based upon the ongoing novel coronavirus pandemic disaster, and upon the Chairman of the Plan Commission having determined that an in-person meeting is not practical or prudent, due to the ongoing novel coronavirus pandemic disaster, the hearing will be conducted utilizing a virtual environment, pursuant to Public Act 101-0640, as follows:

Meeting Link: https://teams.microsoft.com/l/meetup-join/19%3ameeting_YzRlMmVkZWQtYmEzZC00NGRjLWFjODktN2Y5YmFkMjQ1ZDIx%40thread.v2/0?context=%7b%22Tid%22%3a%22eea31b41-c015-43e5-84cd-bde4458f7295%22%2c%22Oid%22%3a%22308ad6a7-5d17-47b5-88ac-a2275ee84445%22%7d
Meeting ID: (224) 441-6894
Phone Line Access: 172 644 81#

Petition information is on file and available for public review online or in person at the Burr Ridge Village Hall. To request additional information, please contact:

Evan Walter, Assistant Village Administrator
(630) 654-8181 ext. 2010
ewalter@burr-ridge.gov

CONTINUED ON BACK OF PAGE

Public comment may be provided by individuals who physically attend the meeting at 7660 County Line Road, Burr Ridge, Illinois, 60527, but such gathering currently will be limited to no more than 50 persons in attendance at any one time, subject to applicable social distancing requirements, unless otherwise modified, as stated hereinabove. Public comment may also be submitted prior to and during said meeting. All written public comment wishing to appear in the Plan Commission report shall be provided no later than 5:00 p.m. on Tuesday, July 14, 2020. All public comment may be emailed to Evan Walter (ewalter@burr-ridge.gov) or mailed to Mr. Walter's attention at 7660 County Line Road, Burr Ridge, Illinois 60527. Public comment may also be submitted during the meeting telephonically via the Meeting Link found previously in this notice. All public comment received in a timely fashion shall be considered equally, regardless of the method of communication. The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

Western Natl Bk-Kanak
8505 S County Line Rd
Burr Ridge, IL 605210000
PIN 09354010020000

Breskey, Mark D & Bridget
343 Village Rd
Hinsdale, IL 605210000
PIN 09353140080000

Jacoby, Debra D
312 Central Ave
Hinsdale, IL 605270000
PIN 09353090050000

Schmitt Jr, Roger C
237 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353120080000

Chodacki, Frank L
318 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353090100000

Xu, Li Yu
415 Circle Ave
Willowbrook, IL 605270000
PIN 09353100290000

Villagomez, Luis & Maria
266 Village Rd
Willowbrook, IL 605270000
PIN 09353120280000

Mehmeti, A & A Caushi
8418 Meadowbrook Dr
Burr Ridge, IL 605270000
PIN 09354000110000

Zeman, Edward & N Brod
200 Village Rd
Hinsdale, IL 605270000
PIN 09353120140000

Il Dept Of Transportation
201 W Center Ct
Schaumburg, IL 0
PIN 09354000370000

Marshall, Susan
231 E Red Oak
Bensenville, IL 605210000
PIN 09353140030000

Rdk Ventures Llc
4080 W Jonathan Moore
Columbus, IN 605270000
PIN 09354000210000

Simmons, Ardelle V
225 Village Rd
Willowbrook, IL 605210000
PIN 09353130220000

Sandilands, Christopher
243 Village Rd
Hinsdale, IL 605210000
PIN 09353130250000

Householder, Scott
212 Village Rd
Willowbrook, IL 605276165
PIN 09353120160000

Environmental Concerns
421 N County Farm Rd
Wheaton, IL 605210000
PIN 09353140100000

Falco, Vito
2901 Oak Brook Rd
Oak Brook, IL 605210000
PIN 09354000150000

Roe, Robert J
231 Village Rd
Willowbrook, IL 605270000
PIN 09353130230000

J & L Yesutis Prop Llc
8437 Park Ave
Burr Ridge, IL 605210000
PIN 09353120230000

Mc Naughton Builders Inc
347 W 83Rd St
Burr Ridge, IL 605270000
PIN 09354020610000

Dempsey, Patrick
16W719 Hillside Ln
Willowbrook, IL 605270000
PIN 09353080300000

Palka, Wlasyslaw & Iwona
325 Village Rd
Hinsdale, IL 605210000
PIN 09353140050000

Lam, Melinda
249 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353120100000

Triumph Lots Inc
7035 Veterans Blvd
Burr Ridge, IL 605270000
PIN 09353120170000

Burr Ridge Car Care
505 S Frontage Rd
Burr Ridge, IL 605270000
PIN 09354000220000

Lewis, Steven & Lorraine
336 Village Rd
Willowbrook, IL 605270000
PIN 09353100250000

Lamphier, Thomas G
313 Sunrise Ave
Burr Ridge, IL 605270000
PIN 09353100040000

Wright, Edward T
331 Village Rd
Hinsdale, IL 605210000
PIN 09353140060000

Martinek, Mark J & Lisa A
255 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353120110000

Kostadinov, Tome &Dimitra
327 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353100060000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020540000

Miret, Florencio E
206 Central Ave
Hinsdale, IL 605210000
PIN 09353100020000

Mauck, Richard J
231 Sunrise Ave
Willowbrook, IL 605270000
PIN 09353120070000

Colant, Anthony & Lyssa
213 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353120040000

,
PIN 09354020170000

Mudd, Daniel & Patricia
13611 Glen Eagle Ct
Orland Park, IL 605210000
PIN 09353100230000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020600000

Mrazek, Robert E
206 Village Rd
Hinsdale, IL 605210000
PIN 09353120150000

Burr Ridge Ventures Ltd
16W445 S Frontage Rd
Burr Ridge, IL 605270000
PIN 09354000380000

Johnson, Eugene Jr & P J
9S675 Village Rd
Willowbrook, IL 605270000
PIN 09353140090000

Bredwell, James & Lynn
313 Central Ave
Willowbrook, IL 605270000
PIN 09353080330000

Kozla, Robert J
261 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353120120000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020590000

Cole, Svetlana
3257 Drew St
Downers Grove, IL 605210000
PIN 09353130190000

Dixon, Daniel L & Tricia
8412 Meadowbrook Dr
Hinsdale, IL 605210000
PIN 09354000100000

Trush, Jaraslaw
337 S Sunrise Ave
Hinsdale, IL 605210000
PIN 09353100080000

Accidentale Jr, James & E
213 Central Ave
Willowbrook, IL 605270000
PIN 09353120250000

Burr Ridge Car Care Inc
535 S Frontage Rd
Burr Ridge, IL 605210000
PIN 09354000280000

Midwest Energy Properties
16W559 S Frontage Rd
Burr Ridge, IL 605210000
PIN 09354000290000

Burr Ridge Car Care Inc
535 Frontage Rd
Burr Ridge, IL 605210000
PIN 09354000340000

Grunsten, Richard
928 Prairie Ridge
Burr Ridge, IL 605210000
PIN 09354020140000

Krasnozou, James & J
131 Village Rd
Willowbrook, IL 605210000
PIN 09353130160000

Kozora, Jeffrey S
301 Central Ave
Willowbrook, IL 605270000
PIN 09353080320000

Talevski, Aleksandar & S
401 Village Rd
Willowbrook, IL 605270000
PIN 09353140110000

Hotton, Robert E
230 Sunrise Ave
Willowbrook, IL 605270000
PIN 09353080270000

Stewart, Wilma & Mark
22849 Eider Ct
Plainfield, IL 605210000
PIN 09353120050000

Bayview Loan Servicing LI
4425 Ponce De Leon Bl
Coral Gables, FL 605210000
PIN 09353130200000

Sebastian, Scott J
9300 W 47Th St
Brookfield, IL 605270000
PIN 09353120060000

Falco, Vito & Anna
2901 Oak Brook Rd
Oak Brook, IL 0
PIN 09354000070000

Kampe, M & K Grasser
312 Village Rd
Willowbrook, IL 605270000
PIN 09353100210000

Krasauskas, Rasa
8401 Meadowbrook Dr
Burr Ridge, IL 605270000
PIN 09354020520000

Russell, James & Lila
240 Sunrise Ave
Willowbrook, IL 605270000
PIN 09353080280000

Blouin, Mark
121 W 4Th St
Hinsdale, IL 605270000
PIN 09353120130000

Buhle, Carol H
407 Circle Ave
Burr Ridge, IL 605270000
PIN 09353100270000

Kleweg, Leslie & Adam
307 Village Rd
Hinsdale, IL 605210000
PIN 09353140020000

Abdullai, Besnick
8506 Meadowbrook Dr
Willowbrook, IL 605210000
PIN 09354000140000

State Bk Of Countryside
6734 Joliet Rd
Countryside, IL 605270000
PIN 09354000400000

Western Natl Bk-Kanak
8505 S County Line Rd
Burr Ridge, IL 605210000
PIN 09354010010000

Vilardo, Tom
5123 Lee
Downers Grove, IL 605210000
PIN 09354020060000

Lapat, Robert & Kimberly
306 Village Rd
Willowbrook, IL 605270000
PIN 09353100030000

Gahm, Steven
8351 Meadowbrook Dr
Burr Ridge, IL 605210000
PIN 09354020070000

Sheets, Merry Beth
330 Village Rd
Willowbrook, IL 605270000
PIN 09353100240000

Allott, Rodney
990 S Laura Ln
Diamond, IL 605210000
PIN 09353140070000

Layland Jr Tr, H K
100 Shore Dr
Burr Ridge, IL 605270000
PIN 09353130260000

Kampwirth, Edwin J
413 Circle Ave
Hinsdale, IL 605270000
PIN 09353100280000

Burr Ridge Car Care
505 S Frontage Rd
Burr Ridge, IL 605210000
PIN 09354000270000

First Natnl Bk Brookfield
9136 Washington Ave
Brookfield, IL 605270000
PIN 09353130270000

Gasior, Anna B
8404 Meadowbrook Dr
Hinsdale, IL 605210000
PIN 09354000350000

Szafranski, S & R Bonen
318 Village Rd
Willowbrook, IL 605270000
PIN 09353100220000

Emerson, James & Jennifer
201 Village Rd
Hinsdale, IL 605210000
PIN 09353130180000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020560000

State Bank Of Countryside
6734 Joliet Rd
Countryside, IL 0
PIN 09354000390000

Raja, H & M Shakir
237 Village Rd
Hinsdale, IL 605210000
PIN 09353130240000

Midwest Energy Properties
16W559 S Frontage Rd
Burr Ridge, IL 605210000
PIN 09354000260000

Kim, Joon Taik & Soo Jong
137 Village Rd
Willowbrook, IL 605270000
PIN 09353130170000

Cates, Joseph & Christine
266 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353080310000

Falco, Vito
2901 Oak Brook Rd
Oak Brook, IL 605210000
PIN 09354000160000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020530000

Stamatoukos, Angelo
113 Central Ave
Willowbrook, IL 605270000
PIN 09353130280000

Moroz, Peter M
5700 Dexter Townhall
Dexter, MI 605210000
PIN 09353130100000

Karla, Vidmantas & Daiva
211 Central Ave
Willowbrook, IL 605210000
PIN 09353120290000

Zoroastrian Assoc Metro
8615 Meadowbrook Dr
Burr Ridge, IL 605210000
PIN 09354010110000

Kozla, Robert J
243 Sunrise Ave
Willowbrook, IL 605210000
PIN 09353120090000

Anchor, Sandra & Russell
10534 Somerset Ln
Huntley, IL 605270000
PIN 09353120210000

Sauter, Vicki
16W455 Circle Ave
Willowbrook, IL 605210000
PIN 09353110080000

Smoczynski, Glenn & Sally
8616 Meadow Brook Dr
Burr Ridge, IL 605270000
PIN 09354000170000

J & L Yesutis Prop Llc
8437 Park Ave
Burr Ridge, IL 605210000
PIN 09353120220000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020550000

Kompare, Catherine A
250 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353080290000

Kuna, David J
8614 Meadowbrook Dr
Burr Ridge, IL 605270000
PIN 09354000180000

Hussain, Syed & Shereen
314 Sunrise Ave
Hinsdale, IL 605270000
PIN 09353090060000

Capocci, Douglas E
319 Village Rd
Hinsdale, IL 605270000
PIN 09353140040000

Lugo, Nery
236 Village Rd
Willowbrook, IL 605270000
PIN 09353120190000

Krasauskas, Rasa
8401 Meadowbrook Dr
Burr Ridge, IL 605270000
PIN 09354020510000

Tri State Vill Water
16W484 Village Rd
Willowbrook, IL 605210000
PIN 09353080100000

Paik, Jesuck
224 Village Rd
Hinsdale, IL 605210000
PIN 09353120180000

Mulske, William & Frances
16W484 Central Ave
Willowbrook, IL 605210000
PIN 09353120240000

Meadowbrook li
475 Frontage Rd
Burr Ridge, IL 0
PIN 09354000300000

Blandi, Maryam
118 Village Rd
Hinsdale, IL 605270000
PIN 09353120020000

Henrickson, Keith
330 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353090110000

Vineyard, Gene
, 0
PIN 09354000360000

Kleyweg, Donald & Susan E
319 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353100050000

Meadowbrook Burr Ridge
1111 W 22Nd St
Oak Brook, IL 605270000
PIN 09354020580000

State Bk Of Countryside
6734 Joliet Rd
Countryside, IL 605270000
PIN 09354000230000

Kurianowicz, James H
342 Village Rd
Hinsdale, IL 605210000
PIN 09353100260000

Falco, Joe
9006 Oxford St
Woodridge, IL 605210000
PIN 09354000200000

Krasauskas, Rasa
8401 Meadowbrook Dr
Burr Ridge, IL 605270000
PIN 09354020520000

Molis, Todd A
16W623 87Th St
Burr Ridge, IL 605270000
PIN 09354020020000

Knappenburger, Jennifer
219 Village Rd
Hinsdale, IL 605270000
PIN 09353130210000

Blouin, Mark
7223 S Rt 83 Pmb 312
Willowbrook, IL 605270000
PIN 09353120030000

Sesemann, Mark R
212 Central Ave
Willowbrook, IL 605210000
PIN 09353100010000

Leja, Kazimierz
8426 Meadowbrook Dr
Hinsdale, IL 605210000
PIN 09354000120000

Bierschenk, Joseph E
331 Sunrise Ave
Hinsdale, IL 605210000
PIN 09353100070000

Zima, Jack
100 Central Ave
Willowbrook, IL 605270000
PIN 09353140010000

Mc Clelland, Timothy & C
407 Village Rd
Hinsdale, IL 605210000
PIN 09353140120000

Norkus, Joseph D
8500 Meadowbrook Dr
Burr Ridge, IL 605270000
PIN 09354000130000

Patton, Jane T
8421 Meadowbrook Dr
Hinsdale, IL 605210000
PIN 09354020100000

Anchor, Sandra & Russell
10534 Somerset Ln
Huntley, IL 605270000
PIN 09353120200000

Falco, Vito & Anna
2901 Oak Brook Rd
Oak Brook, IL 605210000
PIN 09354000080000



VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Lynn Felco d/ba/Felco's Pizza

STATUS OF PETITIONER: Property Owner + Business Owner

PETITIONER'S ADDRESS: 16W 561 S. Frontage Road Burr Ridge, IL 60527

ADDRESS OF SUBJECT PROPERTY: same

PHONE: (630) 795-9772

EMAIL: lfelco2formail.com

PROPERTY OWNER: same

PROPERTY OWNER'S ADDRESS: same PHONE: same

PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

DESCRIPTION OF REQUEST:

Outdoor patio expansion

PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 0.95 Acres EXISTING ZONING: B-2 Business

EXISTING USE/IMPROVEMENTS: Restaurant

SUBDIVISION: N/A

PIN(S) # 09-35-400-020

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

Date of Filing



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

16450 S. Frontage Rd.

Property Owner or Petitioner:

Lynn Felko

(Print Name)

[Signature]

(Signature)



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Evan Walter, Assistant Village Administrator

DATE: July 20, 2020

RE: **Board Report**

At its May 11, 2020 and June 8, 2020 meeting, the following actions were taken by the Board of Trustees relative to matters forwarded from the Plan Commission.

Z-01-2020: 6101 County Line Road (King-Bruwaert House); The Board of Trustees approved a PUD amendment to permit a new independent living apartment building, additions to several additional existing buildings, additional parking spaces, and ancillary revisions of the interior roadways and related engineering features at the subject property. The Board included all conditions as prescribed by the Plan Commission.

Z-07-2020: 7000 County Line Road (Wiegand); The Board of Trustees approved an ordinance for a PUD amendment to accommodate an addition to an existing building at the subject property.

S-02-2020: 7000 County Line Road (Wiegand); The Board of Trustees approved an ordinance approving a sign variance to change the sign copy on three existing signs at the subject property.



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupke, Chairman

FROM: Evan Walter, Assistant Village Administrator

DATE: July 7, 2020

RE: 6100 South Grant Street (Cooper); Preliminary Plat of Subdivision and Subdivision Variation

In May 2019, the Plan Commission considered a request for a preliminary plat of subdivision (Mendi) with a variation at 6100 South Grant Street. The variation was to permit a T-type terminus on the north end of Keller Drive in lieu of a cul de sac; this variation was granted to plan for further subdivisions to the north of the subject property (6050 Grant – DeGeer; and 6030 Grant – Grasso). Since this petition was considered, the petitioners elected to sell the entire undivided property to another party (the current petitioner), who has since brought forward a revised request to subdivide the subject property at 6100 South Grant Street into two parcels instead of three while including the request for a T-type terminus at the northern end of Keller Drive. The attached plat reflects the current proposed preliminary plat of subdivision. The following review comments are provided:

- Two single-family residential lots are proposed; each lot complies with the minimum 20,000 square foot lot area and 100' width as required in the R-3 District. The subject property has a current Grant Street address; if a subdivision were created, the newly created lot would be accessed via Keller Drive, while the eastern lot would be primarily accessed via Grant Street.
- The extension of Keller Drive with a terminus at the north end is required to facilitate travel for vehicles along Keller Drive. Two properties located directly south of the subject property on either side of the street, 6081 or 6086 Keller Drive, were created via a re-subdivision in 1992 (Wildwood's 1st Addition). The Wildwood subdivision was permitted without the creation of a terminus, as it was assumed that at least one more subdivision would be created north of these new lots, with the next subdivision providing the necessary turnaround infrastructure.
- To create this subdivision, the petitioner is normally required to provide a cul-de-sac terminus with a 90' pavement width and 120' right-of-way per the Subdivision Ordinance. The petitioner has requested a variation from this requirement, as property owners to the north of the subject property have expressed interest in eventual subdivision of their own lots.

If the Plan Commission chooses to recommend approval of a preliminary plat of subdivision with a variation to construct a subdivision without the necessary cul-de-sac terminus with a 90' pavement width and 120' right-of-way per the Subdivision Ordinance, staff recommends that the variation be made with the condition that the petitioner provide a T-type terminus at the north end of the proposed subdivision measuring 60' wide (the full width of the public right of way) and 20' deep to accommodate vehicle access. The Village's Public Works Department and local fire protection district both continue to support a T-type terminus if a standard cul de sac terminus is not available as an option.

PRELIMINARY/FINAL PLAT OF
GRANT STREET SUBDIVISION

LEGAL DESCRIPTION

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS 6100 GRANT STREET BURR RIDGE, ILLINOIS 60527
PIN NO.: 09-13-300-104

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS SHOWN ON THIS PLAT OF SUBDIVISION, FOR PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED:

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT, INCLUDING BUT NOT LIMITED TO, THOROUGHFARES, ALLEYS, WALKWAYS AND PUBLIC SERVICES; GRANTS THE TELEPHONE, GAS, ELECTRIC AND ANY OTHER PUBLIC OR PRIVATE UTILITY EASEMENT AS STATED AND SHOWN ON THIS PLAT; AND GRANTS AND DECLARES THEE STORM WATER DRAINAGE AND DETENTION RESTRICTIONS AND EASEMENTS AS STATED AND SHOWN ON THIS PLAT.

THE UNDERSIGNED FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS AFFECTING THE LAND DESCRIBED AND SHOWN ON THIS SUBDIVISION PLAT OR, IF ANY OF SAID INSTALLMENTS ARE NOT PAID, THEN SUCH INSTALLMENTS HAVE BEEN DIVIDED IN ACCORDANCE WITH THE SUBDIVISION AND APPROVED BY THE COURT WHICH CONFIRMED THE SPECIAL ASSESSMENT AND THE PROPER COLLECTOR OF ANY SUCH SPECIAL ASSESSMENT HAS SO CERTIFIED SUCH DIVISION ON THE FACE OF THIS SUBDIVISION PLAT.

DATED THIS ____ DAY OF _____, A.D. 2020

OWNER SIGNATURE

ADDRESS

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL, THIS ____ DAY OF _____, A.D. 2020, AT _____, ILLINOIS.

NOTARY PUBLIC

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, COUNTY CLERK OF _____ COUNTY, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID CURRENT SPECIAL ASSESSMENTS, NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND SHOWN ON THIS PLAT OF SUBDIVISION AND NO DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

GIVEN UNDER MY HAND AND SEAL AT _____, COUNTY, ILLINOIS, THIS ____ DAY OF _____, A.D. 2020

COUNTY CLERK

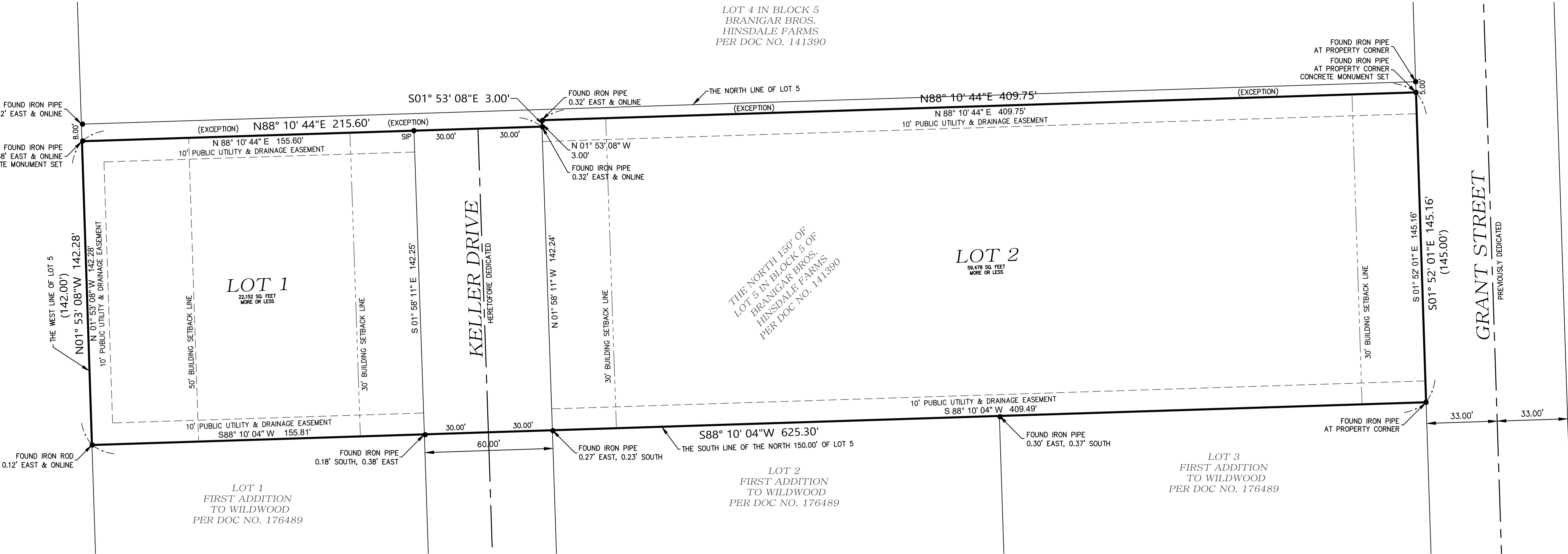
CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, VILLAGE TREASURER OF THE VILLAGE OF BURR RIDGE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENTS.

DATED AT BURR RIDGE, _____, COUNTY, ILLINOIS, THIS ____ DAY OF _____, A.D. 2020

VILLAGE TREASURER



VILLAGE CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, VILLAGE CLERK OF THE VILLAGE OF BURR RIDGE, ILLINOIS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PRESENTED TO AND BY RESOLUTION OR ORDER DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON _____, 2020, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL OF THE VILLAGE OF BURR RIDGE, ILLINOIS, THIS ____ DAY OF _____, 2020.

COUNTY CLERK

SURFACE TO WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

WE HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE ILLINOIS PLAT ACT, ILLINOIS REVISED STATUTE, CHAPTER 109, ET SEQ., AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

DATED AT BURR RIDGE, DUPAGE COUNTY, ILLINOIS, THIS ____ DAY OF _____, 2020.

REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER PROPERTY OWNER(S)

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF BURR RIDGE, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS IN THIS SUBDIVISION, AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREOF, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT BURR RIDGE, DUPAGE COUNTY, ILLINOIS, THIS ____ DAY OF _____, 2020.

VILLAGE ENGINEER

OWNER'S CERTIFICATE - SCHOOL DISTRICTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HEREBY CERTIFIES THAT THE SUBJECT PROPERTY IS LOCATED WITH THE FOLLOWING SCHOOL DISTRICT(S): GRADE SCHOOL DISTRICT 181, HIGH SCHOOL DISTRICT 86 AND COLLEGE OF DUPAGE DISTRICT 502.

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

PROPERTY OWNER

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL, THIS ____ DAY OF _____, A.D. 2020, AT _____, ILLINOIS.

NOTARY PUBLIC

FLAGG CREEK WATER RECLAMATION DISTRICT CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)SS

I, _____, MANAGER FOR THE FLAGG CREEK WATER RECLAMATION DISTRICT, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, AND THE PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE REQUIREMENTS OF THE FLAGG CREEK WATER RECLAMATION DISTRICT.

DATED AT _____, ILLINOIS, THIS ____ DAY OF _____, 2020.

VILLAGE MANAGER

PUBLIC UTILITY EASEMENT AND DRAINAGE EASEMENT PROVISIONS

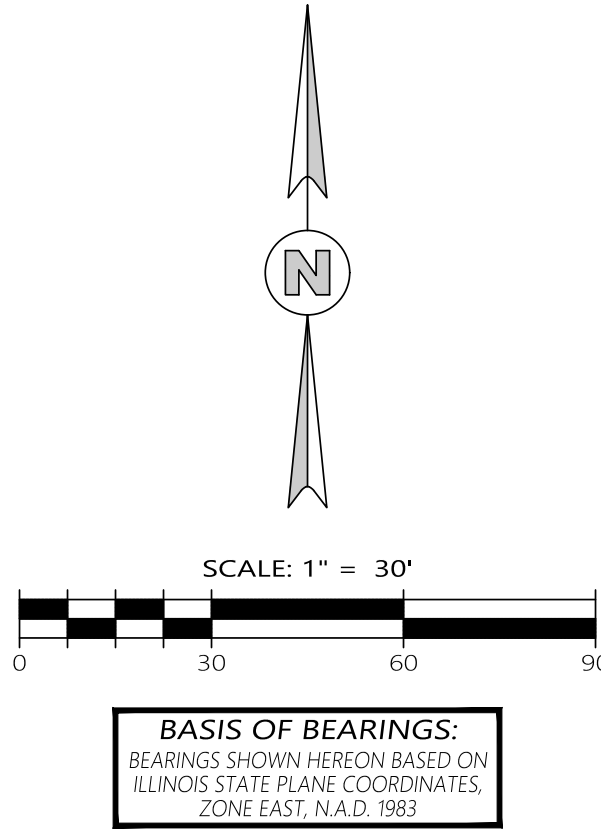
NON-EXCLUSIVE, PERPETUAL EASEMENTS ARE RESERVED AND GRANTED FOR THE VILLAGE OF BURR RIDGE AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISES FROM THE VILLAGE OF BURR RIDGE INCLUDING, BUT NOT LIMITED TO, COMMONWEALTH EDISON COMPANY, AMERITECH, NICOR, A.T. & T. CABLE, AND THEIR SUCCESSORS AND ASSIGNS OVER ALL AREAS MARKED, "PUBLIC UTILITIES AND DRAINAGE EASEMENT" AND THOSE AREAS DESIGNATED "P.U. & D.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, AND INCLUDING BUT NOT LIMITED TO OVERLAND DRAINAGE, STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BE SAID VILLAGE AND/OR UTILITY COMPANIES, OVER UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN AND TRIM OR REMOVE ANY FENCES, TEMPORARY STRUCTURES, TREES, SHRUBS, OR OTHER PLANTS WITHOUT OBLIGATION TO RESTORE OR REPLACE AND WITHOUT NEED FOR PROVIDING COMPENSATION THEREFORE ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS OR STRUCTURES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS, WHERE AN EASEMENT IS USED FOR BOTH SEWER AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF BURR RIDGE AND TO VILLAGE APPROVAL AS TO DESIGN LOCATION.

PERPETUAL EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF BURR RIDGE AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES INCLUDING WATER, STORM, AND SANITARY SEWER SERVICE AND MAINTENANCE AND EMERGENCY AND ROUTINE POLICE, FIRE, AND OTHER PUBLIC SAFETY RELATED SERVICES.

EXHIBIT A

ENGINEER:
ESM CIVIL SOLUTIONS, LLC
CIVIL ENGINEERING - LAND ENTITLEMENTS - PROJECT FEASIBILITY
4320 WINFIELD ROAD - SUITE 200 WARRENVILLE, IL 60555
O: 630-300-0933 C: 630-624-0520

TAX BILL AND RETURN PLAT TO:
CURT AND CARLA COOPER
6100 S. GRANT STREET
BURR RIDGE, IL 60527



GROSS LAND AREA:
2,070 ACRES MORE OR LESS
90,164 SQ FEET MORE OR LESS

LOT 1 AREA:
22,152 SQ FEET MORE OR LESS

LOT 2 AREA:
24,116 SQ FEET MORE OR LESS

STREET DEDICATION:
8,534 SQ FEET MORE OR LESS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DEKALB)SS

THIS IS TO CERTIFY THAT I, RUDY P. DIXON, REGISTERED, ILLINOIS LAND SURVEYOR NO. 035-003832, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THE NORTH 150 FEET (EXCEPT THE NORTH 8 FEET OF THE WEST 215.60 FEET AND THE NORTH 5 FEET EXCEPT THE WEST 215.60 FEET) OF LOT 5 IN BLOCK 5 IN BRANIGAR BROTHERS' HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920, AS DOCUMENT 141390, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF BURR RIDGE, A MUNICIPAL CORPORATION IN COOK COOK AND DUPAGE COUNTIES, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT (A/NO) PART OF THE PROPERTY COVERED BY THIS PLAT OF SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND THAT (A/NO) PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY PUBLIC WATERS IN WHICH THE STATE OF ILLINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY INTERESTS.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF BURR RIDGE OR WITHIN 1 1/2 MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D. 2020

RUDY P. DIXON ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE NO. 035-003832 LICENSE EXPIRES: NOVEMBER 30, 2021

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



REGIONAL LAND SERVICES
270 VIDA COURT
SYCAMORE, ILLINOIS 60178
PHONE: (618) 559-2260

PROJECT NUMBER: 200105	DRAWN BY: RWH DATE: 7/1/2020			
SCALE: 1" = 30'	CHECKED BY: RPD DATE: 7/1/2020			
ORDERED BY: ESM	FIELD WORK COMPLETED DATE: 1/20/2020			
PROPERTY ADDRESS: 6100 S GRANT STREET BURR RIDGE, IL 60577		ISSUED 7/1/2020		
		REV	DESCRIPTION	DATE