



**REGULAR MEETING  
PLAN COMMISSION/ZONING BOARD OF APPEALS  
MONDAY, AUGUST 5, 2019  
7:00PM  
VILLAGE HALL - BOARD ROOM**

The Plan Commission/Zoning Board of Appeals hears all requests for zoning text amendments, rezoning, special uses, and variations and forwards recommendations to the Board of Trustees. The Commission also reviews all proposals to subdivide property and is charged with Village planning, including the updating of the Comprehensive Plan for Land Use.

**I. ROLL CALL**

**III. APPROVAL OF PRIOR MEETING MINUTES**

- A. June 17, 2019 Plan Commission Regular Meeting

**IV. PUBLIC HEARINGS**

- A. V-06-2019: 8335 County Line Road (Pizzuto); Variations and Findings of Fact**

Requests variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a six-foot tall fence with spike-topping in the front and/or side yard of a residential property.

- B. Z-08-2019: 120 Harvester Drive (Olguin); PUD Amendment and Findings of Fact**

Requests an amendment to Planned Unit Development Ordinance #A-834-09-16 to permit a reconfiguration and expansion of an existing surface parking lot.

- C. Z-11-2019: 800 Village Center Drive (Hassan); PUD Amendment, Special Use, and Findings of Fact**

Requests an amendment to Planned Unit Development Ordinance #A-834-10-05 to add “coworking space” as a first-floor special use in Building 6 of the Village Center, a special use for a “coworking space” in Building 6 of the Village Center, and a revision to the exterior building footprint of Building 6 of the Village Center.

- D. Z-10-2019: Zoning Ordinance Amendment; Amendment and Findings of Fact**

Requests amendments to the Zoning Ordinance regarding short-term home rentals, home occupations, and similar land use regulations.

**V. CORRESPONDENCE**

- A. Board Report – July 8, 2019**
- B. Activity Memo – June and July 2019**
- C. Building Report – May and June 2019**

**VI. OTHER PETITIONS**

- A. S-04-2019: 7425 Wolf Road (Pleasantdale Park District) – Conditional Sign Approval and Sign Variations**
- B. S-05-2019: 7450 Wolf Road (Pleasantdale School District 107) – Conditional Sign Approval and Sign Variations**
- C. Z-04-2019: 10S110 Madison Street (Tri-State Fire Protection District) – Findings of Fact**

**VII. PUBLIC COMMENT**

**VIII. FUTURE SCHEDULED MEETINGS**

- A. August 19, 2019**

At this time, no business is scheduled for this meeting. If no petitions are filed by July 22, 2019, staff recommends this meeting be cancelled.

- B. September 16, 2019**

At this time, no business is scheduled for this meeting. If no petitions are filed by August 19, 2019, staff recommends this meeting be cancelled.

**IX. ADJOURNMENT**

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**PLEASE NOTE:** All Plan Commission recommendations are submitted to the Mayor and Board of Trustees for review and final action. Any recommendation at this Plan Commission meeting will be forwarded to the Mayor and Board of Trustees for consideration at their August 12, 2019 Regular Meeting beginning at 7:00 P.M. Commissioner Stratis is the scheduled Plan Commission representative for the August 12, 2019 Board meeting.

**PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**VILLAGE OF BURR RIDGE**  
**MINUTES FOR REGULAR MEETING OF JUNE 17, 2019**

**I. ROLL CALL**

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:00 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Vice Chairman Stratis.

**ROLL CALL** was noted as follows:

**PRESENT:** 7 – Irwin, Praxmarer, Broline, Farrell, Hoch, Stratis, and Petrich

**ABSENT:** 1 – Trzupek

Village Administrator Doug Pollock was also present.

**II. APPROVAL OF PRIOR MEETING MINUTES**

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Petrich to approve the minutes of the May 6, 2019 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Hoch, Petrich, Broline, Stratis, Farrell, Irwin, and Praxmarer

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 7-0.

**III. PUBLIC HEARINGS**

Vice Chairman Stratis conducted the swearing in of all those wishing to speak during the public hearing on the agenda for the meeting.

**A. Z-04-2019: 10S110 Madison Street (Tri-State Fire Protection District); Special Use and Findings of Fact; continued from April 15, 2019 and May 20, 2019**

Vice Chairman Stratis asked Mr. Pollock to review the public hearing request. Mr. Pollock said that the Tri State Fire District is requesting a special use as per the Burr Ridge Zoning Ordinance for the construction of a 100 foot telecommunications tower at their Madison Street Fire Station.

Mr. James Wargo introduced himself as the Attorney for the Tri-State Fire District. He stated that the Fire District is a unit of local government and as such they are before the Plan Commission in a spirit of cooperation between units of local government. He described the proposed tower and stated that a 100-foot tower is the minimum needed to meet the telecommunications needs of the Fire District. Mr. Wargo introduced Mr. Sam Molinaro, Chief of the Tri-State Fire District.

Chief Molinaro said that due to the consolidation of dispatch centers in Du Page County it is necessary to change the telecommunications method for the Fire District. He described the proposed tower and concluded that the Fire District would not be making this request if they found any credible evidence of health hazards to residents or fire fighters relative to the proposed telecommunications tower.

Mr. Wargo further explained the technology being used in the new Computer Aided Dispatch and Fire Station Alerting system. He said the tower will enable the Fire District to use these new technologies and improve response times for emergencies. Mr. Wargo introduced Mr. John Sullivan, an employee of A Beep who is a consultant for the Fire District.

Mr. Sullivan described his background and his expertise. He described how the towers are needed for day to day and emergency communications between each of the four stations in the Tri State District. He described how micro wave connections are point to point and are very direct beams that do not spread. Among other information provided by Mr. Sullivan, he stated that the Federal Communications Commission must approve the tower before it is erected.

Mr. Wargo next introduced Mr. Jay Panozzo with Mid America Towers. Mr. Panozzo described his background in building telecommunications towers. He said one of his tasks for Tri State has been to do a feasibility study to determine if there are other towers in the area that can be used. He said he found no other locations for these devices. He said that 100 feet is the minimum in order to clear the tree line in the area.

There being no further presentations from the petitioner, Vice Chairman Stratis asked for questions and comments from the public.

Ms. Barb Pearson, residing on Thurlow Street, said she believes that options exist and that the Fire District is not focused on the impacts to the residents but instead is only focused on the costs. She said that the visual impacts of this tower should not be in a residential district.

Mr. Bill Lane of CradlePoint, stated that he was asked to speak by Ms. Pearson to address alternatives to microwave tower communications. He said that his company provides wireless router technologies as a means of back up and for primary communications. He also said there are priority cell phone services such as First Net that provide communications for emergency responders.

In response, Mr. Sullivan said that First Net is not a good option and is also not fully employed. He said that the Fire District was also looking to be self-maintained and not reliant on a third party for communications.

Ms. Liz Oedzes, 10S125 Madison Street, stated she lives across the street from the Fire Station. She said she collected the signatures for the petition that was submitted. She said her concern is cancer and the residents in the area that have gotten cancer. She said the Fire District is not concerned about the residents. Chief Molinaro objected to Ms. Oedzes comments.

Christine Arquilla, 8632 Wedgewood Drive, stated that she is a realtor and that she believes the tower will negatively impact property values. She acknowledged the need for Fire District communications but suggested the tower did not belong in a residential area. Chief Molinaro responded that even if located on another property, he would still need a line of sight directly to a point 100 feet above the station property on Madison Street.



Ms. Regina Rafferty thanked the fire district for their services. She said she lives in Hinsdale but works in Burr Ridge. She said her employer is Mr. Collins who owns three properties adjacent to the fire station. She suggested there should be a third party evaluating this request other than those hired by the petitioner. She said there have not been enough current studies regarding the impacts on the health but further study should be done before another tower is approved.

Ms. Carissa Means, 10S180 Madison Street, said she has children who play right next to the Fire Station, and she is concerned about health impacts on her children.

Mr. Loretta Munez, 920 Prairie Ridge Court in Madison Club stated that more time is needed to review this issue and that the tower needs to be stopped.

Ms. Sara Bramowitz, 85<sup>th</sup> and Clynderven stated that cancer has affected her family and she wants to know what the hazard is from this proposed tower.

Ms. Deborah Borsum, 8698 Madison Street, said she wants to thank the Fire District for being good neighbors. She said she regrets having to oppose the tower. She said she is concerned about the aesthetics of the tower in the natural area that is Madison Club and other properties. She said that the resale value of properties will be negatively impacted.

In response to the public comments, Mr. Panozzo said the tower was low profile, will not contain cellular equipment, and will not have a light. He noted that there are no buildings other than the fire station within the fall zone.

Chief Molinaro further confirmed that the referenced 2004 report was in regards to cell phone towers and the Fire District is not proposing cellular antennas. He said that the Fire District will agree to prohibiting cellular antennas on this tower.

Mr. Sullivan referenced the more recent studies from the American Cancer Society and the FCC that indicates there are no negative health impacts from microwave antennas.

Vice Chair Stratis asked again if there were any further public comments.

Ms. Carissa Means stated that she has read the American Cancer Society referenced by the petitioner, and she said the study does not reach any conclusions but instead suggests more studies be done on microwave antenna health impacts.

There being no more questions or comments from the public, Vice Chairman Stratis asked for questions and comments from the Plan Commission.

Commissioner Hoch stated that she believes there is a clear negative impact from the tower on adjacent properties. In response to Commissioner Hoch, Mr. Panozzo stated his standard for separation of the tower from residential is the minimum of the height of the tower; that the microwave is narrow and goes directly from one tower to the other; and that the height has been limited for aesthetic purposes.

Commissioner Hoch said that she believes the studies regarding health impacts are inconclusive. She said the property value study was from 2010 in North Carolina, and she does not think that is recent enough and is too far from Burr Ridge to be relevant. She also asked about building the tower at another location, but Mr. Sullivan said they would still need an antenna on the fire station property that is 100 feet tall.

Commissioner Hoch indicated she would not be in favor of a painted white tower and the petitioner indicated it would be painted with a less obvious color. The petitioner clarified that aviation lighting will not be required for the tower.

In response to additional questions from Commissioner Hoch, Mr. Sullivan said that the fire districts must use the microwave antenna to take full advantage of the new technology. He further explained the systems being used.

Commissioner Irwin thanked the Fire District personnel for their service but explained that the Plan Commission must confirm compliance with the seven standards for granting a special use. He asked what independent study has been presented that indicates there is no negative health impacts. Chief Molinaro explained that he can only provide experts that are hired by the Fire District. He added that the only options for the Fire District are fiber optics or the microwave antenna and that the fiber optics cost too much and relied on third party vendors. Mr. Wargo confirmed that the only way the Fire District can take full advantage of the new technology is to use the microwave antenna.

Commissioner Irwin confirmed that there is a benefit from the antenna and the technology but that the Commission has to weigh that against the potential harm. He said that he has not seen any independent study showing there is no harm. In response, Mr. Wargo said that the FCC must approve the antenna and microwave equipment and that will confirm the safety of the technology.

Chief Molinaro stated that he believes such evidence has been presented and that the FCC frequently asked questions shows that this technology has less radio frequency than a cell phone. He also referenced the 2018 American Cancer Study.

Commissioner Irwin asked why other alternatives were rejected. Chief Molinaro said that fiber optics were not as reliable and that T-1 lines and Comcast relied on third parties and were not as reliable. He said that any technology that relies on off-site facilities increases expenses and reduces reliability.

Commissioner Petrich requested clarification on what the proposed tower details. Mr. Sullivan responded that the monopole tower height is 100 feet as depicted on the photo renderings, with no 21'-3" antenna extension as depicted on drawings. The approximate diameter would be 44 inches at the base and 34 inches at the top, to be determined during design. Also, the only attachments will be the 2 feet diameter and 3 feet diameter microwave dishes which provide point to point transmission to two other fire station towers. Mr. Sullivan added that there will be no other attachments including any cellular attachments.

Commissioner Petrich asked if there is an option to have multiple currently available cable, T1 and possibly satellite to provide a few redundant systems. The petitioner indicated that the cable has not been reliable, the maintenance of T1 system will eventually be phased out, and that satellite does not provide the required bandwidth for the MW technology.

As a follow-up to Commissioner Irwin's question of possibly using an existing tower and a separate dedicated underground line towards the fire station, Mr. Petrich asked further clarification of why that is not feasible. The petitioner indicated that it may technically be feasible but would require a separate backup generator and UPS at the existing tower location, and a separate underground line towards the fire station. The petitioner indicated that with the required equipment and easements, the cost of this option could be around \$10M, and this is not a practical option.

Commissioner Petrich asked what the approval status of the tower at the fire station at 236 Sunrise Avenue which is also in a residential area. The petitioner indicated that DuPage County has approved the tower at this location.

Commissioner Petrich asked Chief Molinaro how the firefighters feel about having this tower adjacent to the fire station. Chief Molinari indicated that he has not polled the firefighters, but he has not heard of any objections to the tower either.

Commissioner Broline asked if there was a timeline for getting the tower built. Chief Molinaro indicated there was not a hard deadline but that the new CAD system was becoming operable tomorrow and they want to get the towers as soon as possible.

Commissioner Broline stated that he does believe that towers and electrical poles do decrease property values.

Commissioner Praxmarer asked if a 100-foot tower would be sufficient for communications. Mr. Sullivan said that studies have been done to determine the minimum height necessary. She also asked about the frequency of towers falling. Mr. Panazzo said that older towers sometimes fail but newer towers are built better and are designed to collapse on itself rather than falling on adjacent properties.

In response to Commissioner Praxmarer, Mr. Sullivan said there are many other towers in DuPage County using microwave technology that are located in residential areas.

Commissioner Farrell referenced the IDNR report and provided some clarification on that report. In regards to the findings of fact for a special use, she said that insufficient information was received regarding the impacts on public health and impacts on property values. She believes more information is needed in these regards.

Vice Chair Stratis said that he believes the information regarding impacts on public health are inconclusive. He asked if a camouflaged tower would be an option. Mr. Panazzo said he does

not believe they look better and they are hard to maintain.

Vice Chair Stratis said he is convinced that the other alternatives are not practical. He said his biggest concern is that the tower fall zone includes the adjacent property. He suggested that this issue should be addressed. He also said that the 2010 property value does not seem to be sufficient.

In closing, Mr. Wargo stated that the Fire District was before the Plan Commission as an independent unit of local government. He said that if the Village denies the tower, the Fire District will not be able to provide this vital service to the residents of the district. Mr. Wargo added that under the case law, the village cannot use the zoning ordinance to thwart or frustrate the Fire District's statutory, mandated duty to provide fire protection and emergency services to the community. He also referenced the 1996 telecommunications act and reiterated that health impacts of telecommunications equipment is regulated by the FCC and not local governments.

Vice Chair Stratis responded that he understands and appreciates Mr. Wargo's disclaimer but that the Plan Commission is tasked with making a recommendation based on the findings of fact.

Mr. Pollock confirmed that the Plan Commission recommendation should be based on the findings of fact and that any consideration beyond the findings would be for consideration by the Board of Trustees.

At 9:55 pm, a **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Hoch to close the public hearing.

**ROLL CALL VOTE** was as follows:

**AYES:** 7 – Irwin, Hoch, Petrich, Praxmarer, Farrell, Broline, and Stratis

**NAYS:** 0 - None

**MOTION CARRIED** by a vote of 7-0.

During discussion, the Plan Commissioners noted that the petitioner provided additional information from the FCC, FDA and American Cancer Society with respect to health concerns. Several commissioners expressed disappointment that this information was not provided earlier for review. Mr. Wargo read excerpts from these reports which indicate that the health hazards associated with this tower should not be a concern to the firefighters or residents.

A **MOTION** was made by Commissioner Irwin and **SECONDED** by Commissioner Hoch to recommend that the Board of Trustees deny Z-04-2019, a special use request by the Tri State Fire District as per Section IV.V of the Burr Ridge Zoning Ordinance to permit a wireless service facility at the property known as 10S110 Madison Street.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 – Irwin, Hoch, Broline, and Farrell

**NAYS:** 3 – Petrich, Praxmarer, and Stratis

**MOTION CARRIED** by a vote of 4-3.

#### **IV. CORRESPONDENCE**

There was no discussion regarding the Board Report.

#### **V. OTHER PETITIONS**

There were no other petitions on the agenda.

#### **VI. PUBLIC COMMENT**

There were no additional public comments.

Commissioner Hoch asked about conditions for approval of the tower if the Board wanted to approve. Mr. Pollock said the Commission could suggest such conditions at this time.

Commissioner Hoch said she would want the conditions recommended by staff. Vice Chair Stratis added that he would add conditions limiting the tower to the 2 microwave dishes required for the Fire District communications, prohibiting any additional cellular antennas, and that the antenna be placed so that the fall zone is completely within the subject property.

#### **VII. FUTURE SCHEDULED MEETINGS**

Mr. Pollock noted that if nothing was filed by June 19, that the July 15 meeting would be canceled.

#### **VII. ADJOURNMENT**

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Irwin to **ADJOURN** the meeting at 10:12 p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 10:12 p.m.

**Respectfully**

**Submitted:**

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Doug Pollock, Village Administrator



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**V-06-2019: 8335 County Line Road (Pizzuto); Requests variations from Section IV.J of the Zoning Ordinance to permit a six-foot tall fence with spike-topping in the front and/or side yard of a residential property.**

**HEARING:**

August 5, 2019

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Evan Walter  
Assistant Village Administrator

**PETITIONER:**

Michael Pizzuto

**PETITIONER STATUS:**

Property Owner

**EXISTING ZONING:**

R-2 Residential

**LAND USE PLAN:**

Recommends Residential Uses

**EXISTING LAND USE:**

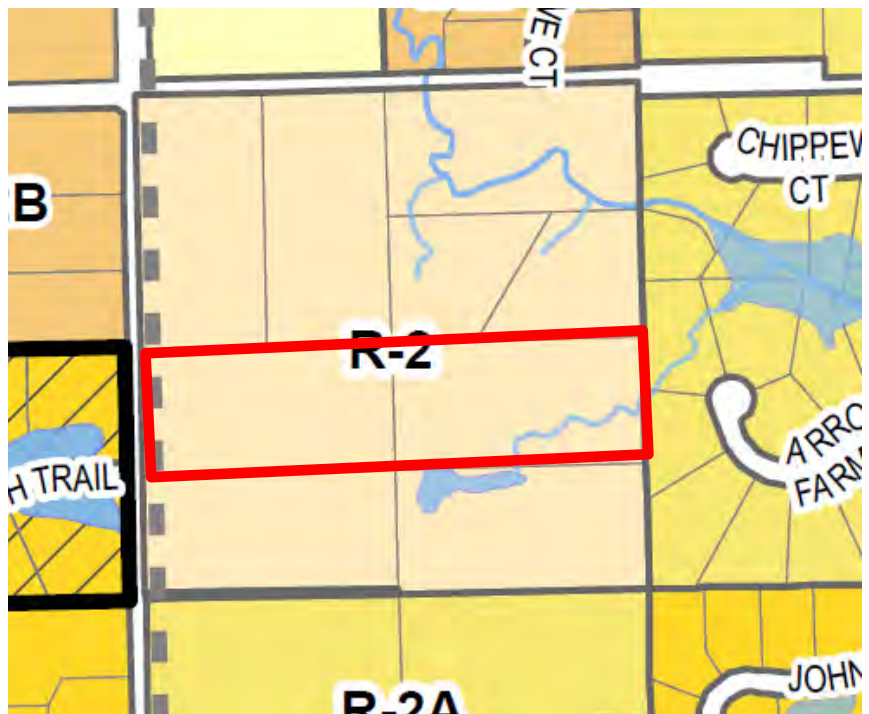
Single-Family Home

**SITE AREA:**

10 Acres

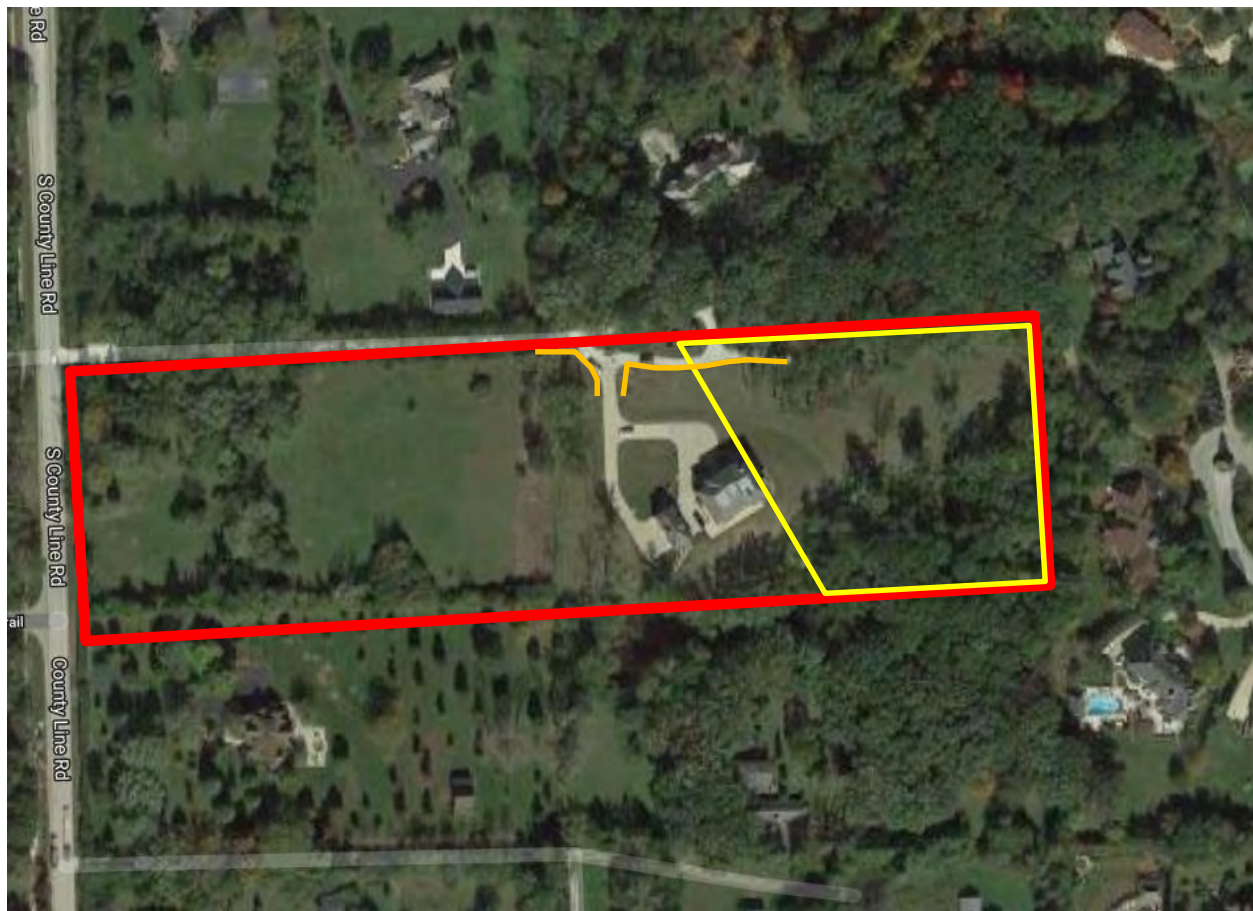
**SUBDIVISION:**

None





The petitioner is Michael Pizzuto, owner of the property at 8335 County Line Road. The petitioner is requesting variations from Section IV.J of the Zoning Ordinance to permit a six-foot tall fence with spike-topping in the front and/or side yard of a residential property. The petitioner states that the proposed fence would connect to an existing driveway gate located across the driveway on the subject property. One driveway gate is permitted to be located in front yards of residential properties provided that a property is at least two acres in size with 150 feet of street frontage; the subject property complies with all such requirements and the driveway gate received a construction permit in 2017. It should be noted that while driveway gates are permitted to be six feet in height, standard fences are permitted to be five feet in height. The aerial map below shows the rear yard of the property in yellow along with the proposed location of the fence in orange. It should be noted that the petitioner owns two contiguous lots, which are defined as one lot under the Zoning Ordinance.



### **Land Use and Site Analysis**

The petitioner owns approximately 10 acres of land across two contiguous parcels on the east side of County Line Road between 83<sup>rd</sup> and 87<sup>th</sup> Street. Both parcels are zoned R-2 Residential. The property is surrounded by residential districts on all sides, including R-2 Residential to the north and south and R-2A Residential to the east (located in Arrowhead Farms subdivision). There are no building improvements on the western parcel except for a driveway, which is shared by the petitioner and one neighbor, who has been granted an access easement to use the driveway up to the neighboring property line.

### **Public Hearing History**

In 2013, the subject property received a special use to construct an accessory dwelling in an R-2 District for non-gratuitous guests, extended family, and domestic servants, which included a variation to allow said dwelling to exceed the maximum allowable peak building height.

**Public Comment**

No public comment was received regarding this petition.

**Applicable Zoning Ordinance Section(s)**

Section IV.J of the Zoning Ordinance states the following:

- a. Fences in residential districts shall be not more than five feet in height measured from the ground level at the lowest grade level within five feet of either side of the fence.*
- b. Such fences shall be permitted, unless otherwise provided herein, along the rear lot line and along the side lot lines extending no further toward the front of the lot than the rear wall of the principal building on the lot.*
- d. No fence shall have any sharp, dangerous, or impaling members.*

**Findings of Fact and Recommendation**

If the Plan Commission chooses to adopt the findings of fact and recommend approval of variations for a fence to be permitted in the front and/or side yards, staff recommends that it be done subject to the submitted site plans and elevations.

**Appendix**

Exhibit A – Petitioner's Materials



# EXHIBIT A

## **8335 S. County Line Road – Fence Variance Request – Michael Pizzuto**

For safety and security concerns, I am requesting permission to install a six foot wrought iron fence along the north side of property. The fence will connect to my driveway gate to help prevent unauthorized vehicle traffic or pedestrians from entering upon my property where I live.

The subject property has a common address of 8335 South County Line Road in Burr Ridge, Illinois. It is comprised of approximately 5 acres, and it is accessed by a private driveway easement from County Line Road. Since installing a new driveway about a year ago, there has been a significant increase in random cars trespassing down the drive.

Because of the setback from County Line, the private easement, the lack of frontage on a public right of way, and the configuration of the property, it is uniquely positioned without a conventional reference to front, rear and side zoning yards. I attach a survey and ariel photo of the property with a highlighted reference to the proposed location of the proposed fence. The solid black lines are approximately where the North fence is proposed.

The fence proposed is a wrought iron picket fence with a traditional pike at the top of each picket. I have attached a photo of the proposed fence. The North fence line will connect to the driveway gate which has already been installed.

I respectfully request the following relief from the Village Zoning Code:

1. Variance to allow Fence within the front yard.
2. Variance to allow a six (6) foot fence on all proposed locations.

This request for variances is supported by the following:

1. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

Given that the property does not have a right of way frontage, and that the house is more than 650 feet from County Line Road, there is a significant

limit of visibility from County Line, which in turn, presents a security/safety issue. Although the drive to the property is clearly marked as "private", there are frequent encounters of trespassers that enter onto his driveway and walk along the perimeter of my home. The security provided by the fence and gate system will deter this type of "curious" trespasser and provide additional security to deter others with possible malicious intent.

2. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification .

Given the orientation of the house on the Lot, as well as an access to the right of way by easement driveway, there is no clear indication of what is the front yard and side yard. The set back of the house from the access easement is far in excess of what would normally be established in a conventional subdivision, and a strict interpretation of the zoning code would leave the owner with ineffective fencing. These same conditions are not likely to be replicated on other properties in the Village.

3. The purpose of the variation is not based primarily upon a desire to increase financial gain.

No. There would be no financial gain.

3. The alleged difficulty or hardship is caused by this Ordinance and has not been created by any persons presently having an interest in the property.

The hardship is established by the strict application of the ordinance to a unique property and has not been caused by any person.

4. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Access entitled to the adjoining neighbor by easement will not be affected by the installation of the fencing. All fence materials will meet the opacity requirements of the Village Code. The fence proposed is ornamental in

design and will not detract from the values of surrounding properties. The picket type fence is consistent with the fencing installed by adjoining owners and will match the current gate.

6. The granting of the variation will not alter the essential character of the neighborhood or locality.

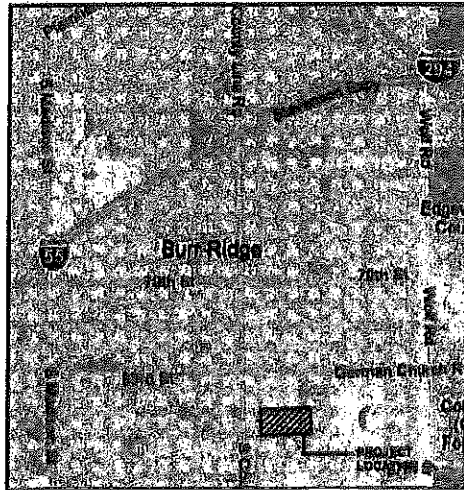
No.

7. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood .

No.

8. The proposed variation is consistent with the official Comprehensive Plan of the Village of Burr Ridge and other development codes of the Village.

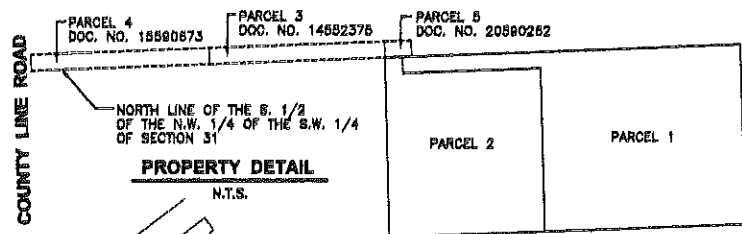
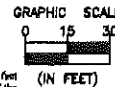
This variance will not impact any planning or zoning concepts set forth in the Comprehensive Plan because the underlying use and land configuration is not being changed.



LOCATION MAP

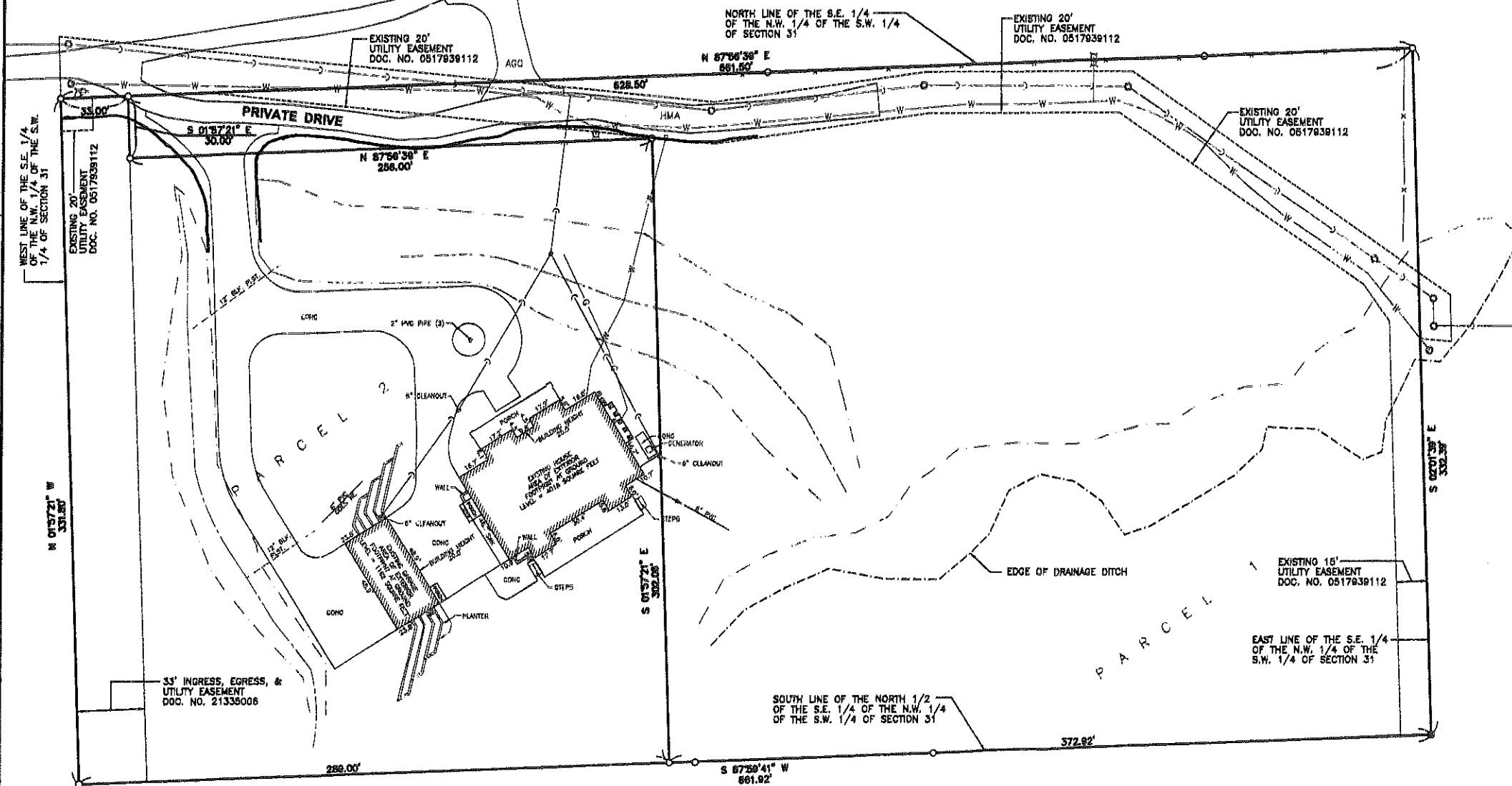


ALTA / ACSM LAND TITLE SURVEY  
FOR  
PART OF THE S.W. 1/4 OF SECTION 31, T. 38 N., R. 12 E., OF THE 3RD P.M.  
COOK COUNTY, ILLINOIS  
SEPTEMBER, 2015



LEGEND

BOUNDARY OF PROPERTY SURVEYED	—	EXISTING POWER POLE	—
EXISTING EASEMENT LINE	—	EXISTING CABLE BOX	—
EXISTING WATER MAIN	—	EXISTING ELECTRIC JUNCTION BOX	—
EXISTING SANITARY SEWER	—	EXISTING IRON PIPE FOUND	—
EXISTING STORM SEWER	—	EXISTING IRON ROD FOUND	—
EXISTING DRAINAGE DITCH	—	CONCRETE	—
EXISTING TOP OF SLOPE	—	FINISHED FLOOR ELEVATION	—
EXISTING TOE OF SLOPE	—	EXISTING FIRE HYDRANT	—
EXISTING FENCE	—	EXISTING BUFFALO BOX	—
EXISTING MANHOLE	—	EXISTING VALVE W/ BOX	—
EXISTING CLEANOUT	—		



LEGAL DESCRIPTION

Parcel 1  
The North Half (except the West 33 feet thereof) and also except that part of the West 286 feet thereof, as measured along the South Line, which lies South of the North 33 feet thereof) of the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 2  
The West 286 feet, as measured along the South Line (except that part of the North 30 feet thereof lying East of the West 33 feet) of the North Half of the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, except the West 259 feet thereof, in Cook County, Illinois.

Parcel 3  
Basis for ingress and egress for the benefit of Parcels 1 and 2, over and upon: The South 30 feet of the East Half of the Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, as reserved in Warranty Deed dated May 11, 1949 and recorded May 13, 1949 as Document No. 14392375.

Parcel 4  
Basis for ingress and egress for the benefit of Parcels 1 and 2 over and upon: The South 30 feet of the West Half of the Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, as reserved in deed dated April 1, 1953 and recorded April 13, 1953 as Document No. 15590919, in Cook County, Illinois.

Parcel 5  
Basis for ingress and egress for the benefit of Parcels 1 and 2 over and upon: The South 30 feet of the West 30 feet of the South Half of the Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, in Cook County, Illinois as created by deed recorded August 20, 1968 as Document No. 22590240.

SUBVENDOR CERTIFICATE

TO: Michael Pizzuto; Bank of America N.A./BAA/ATMA; and Commonwealth Land Title Insurance Company

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(b), 8, 9, 11(a), and 16 of Table A thereof. The field work was completed on September 3, 2015.

Dated this 3rd day of September, 2015.

Scott M. Payer  
Professional Land Surveyor No. 033-005645  
scott@chamlin.com



GENERAL NOTES

The property described herein is the same as that shown in Commonwealth Land Title Insurance Company's Commitment for Title Insurance No. 212310 having an effective date of July 27, 2015. No evidence of trespass or burial grounds was observed in the process of conducting the survey. Address of the property is 8335 S. County Line Road, Hinsdale, IL, according to Cook County, IL Tax Assessor website.

TABLE A ITEMS

- No part of the property shown on this plat of survey is located within a Special Flood Hazard Area as identified by Federal Emergency Management Agency (FEMA) Flood No. 17031C05813 dated August 19, 2006.
- Zoning information not provided by Insurer. Zoning information was obtained from Village of Burr Ridge, IL website. Property is zoned as R-3 Single Family Residential District. Front Yard Setback - Minimum 30 feet. Rear Yard Setback - Minimum 40 feet. Side Yard Setback - Minimum 30 feet. Floor Area Ratio - Not to exceed 0.1. Maximum Building Height - 2 1/2 stories or 30 Feet, whichever is lower.
- There were no marked parking spaces/ areas on the property.
- All utilities observed in the process of conducting the survey are shown on plan.
- There was no evidence of current earth moving work, building construction, or building additions.

SCHEDULE B ITEMS

- Rights of the public, State of Illinois and municipality in and to that part of the land taken and used for County Line Road. Affects Parcel 4 but does not prevent use and enjoyment of Parcel 4.
- Rights of the public, State of Illinois and municipality in and to that part of the land, if any, taken or used for road purposes. None known to surveyor at time of survey.
- Plat of Survey recorded December 4, 1970 as Document 212359006 showing the land with easements. As shown on survey.
- Basis for ingress and egress and utility over and upon the West 33 feet of Parcel 2 as shown on attached Plat of Survey. As shown on survey.
- Utility easement as established by Plat recorded June 28, 2005, Document # 0517959112. Affects a 20 foot strip of land over parcels 1, 3, and 5. As shown on survey.
- Terms, conditions and provisions affecting the easement described in Schedule A in the Instrument creating said easement. Affects Parcels 2, 4 and 5. Location is shown on survey. For terms, conditions and provisions, see Instrument.
- Rights of the adjoining owners to the common use of said easement. Affects Parcels 3, 4 and 5. Location is shown on survey. For terms, conditions and provisions, see Instrument.
- The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company:
  - A: Rights or claims of parties in possession not shown by the public records. None known to surveyor at time of survey.
  - B: Easements or claims of easements, not shown by the public records. None known to surveyor at time of survey.
  - C: Discrepancies, omissions in boundary lines, shortages in area, encroachments, and any other which a correct survey and inspection of the premises would disclose and which are not shown by the public records. None known to surveyor at time of survey.

CHAMLIN & ASSOCIATES, INC. © 2011  
Drawing Name: 031727-01-ALTA-ACSM-Subv-8335-County-Line-Rd-31-2015 - 4:00pm Plotted on: Sep 29, 2015 - 7:57am by noe  
PREPARED FOR: MICHAEL PIZZUTO  
DATE OF FIELD WORK COMPLETION: 9-3-15  
CHAMLIN & ASSOCIATES 3017 5TH STREET PERU, ILLINOIS 61354 815-223-3344



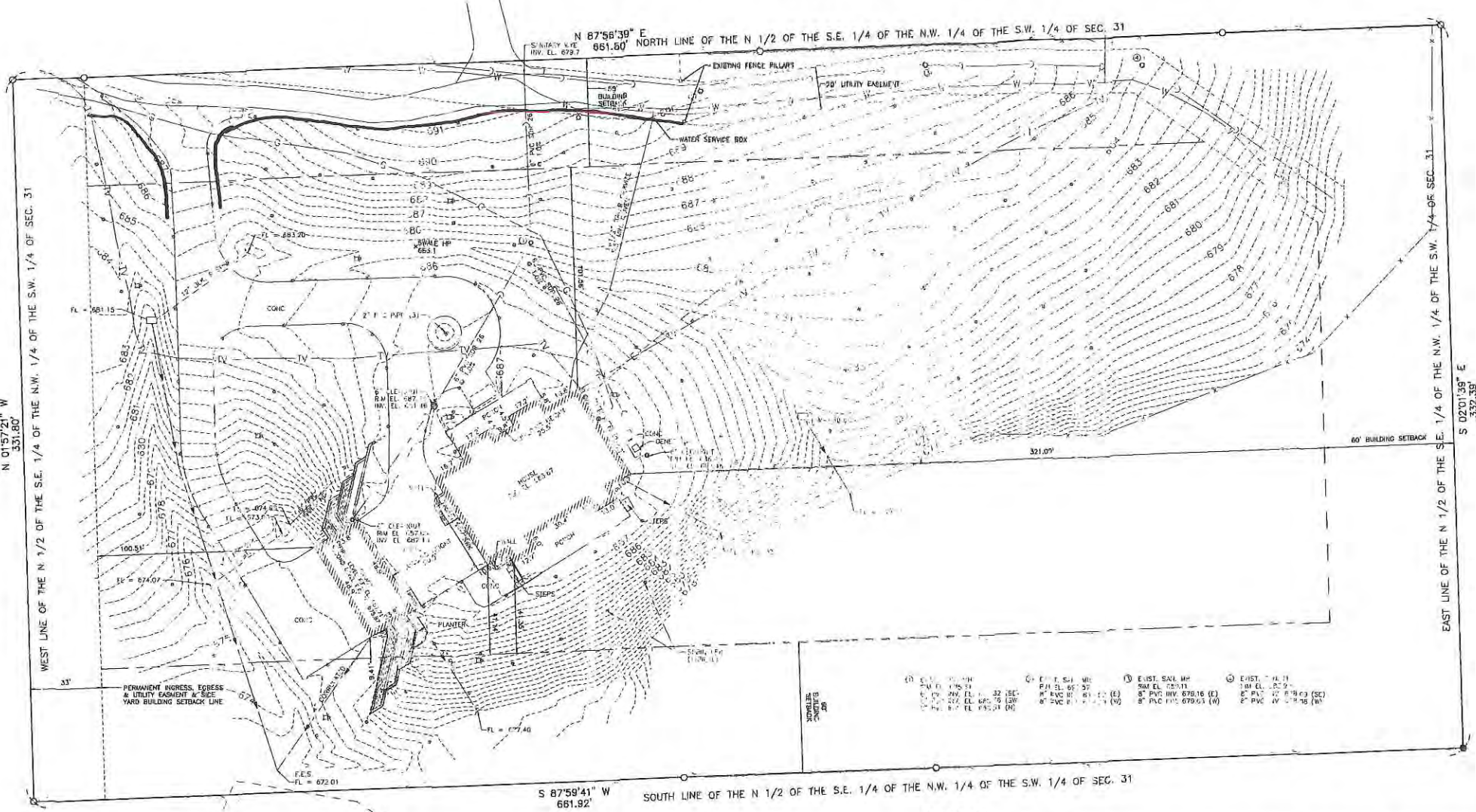
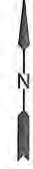
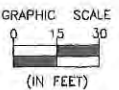
PERU MORRIS  
ILLINOIS

DRAWN BY: NOE	LEVEL	BY	DATE	REVISIONS	DESCRIPTION
CHECKED BY: SMS					
DATE: 09/15					

ALTA / ACSM LAND TITLE SURVEY	CURRENT AS OF: 09/28/2015	✓
SCALE: AS NOTED	SHEET 1	
FILE NO.: JB148.05 Y-	OF 1	



BOUNDARY AND TOPOGRAPHIC SURVEY  
FOR  
PART OF THE S.W. 1/4 OF SECTION 31, T. 38 N., R. 12 E., OF THE 3RD P.M.  
COOK COUNTY, ILLINOIS  
NOVEMBER, 2016



LEGAL DESCRIPTION

The North Half of the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 31, Township 38 North, Range 12 East of the Third Principal Meridian, Cook County, Illinois.

SURVEYOR'S CERTIFICATE

I, Scott M. Spayer, Professional Land Surveyor No. 036-003645, do hereby certify that the within plat is a true and correct representation of a survey made under my direction.

This professional service conforms to the current Illinois Minimum Standards for a Boundary and Topographic Survey.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D., \_\_\_\_\_

Scott M. Spayer, P.L.S.



BASIS OF SURVEY

PLAT OF SURVEY PREPARED BY DJA (DAVE JOHNSON & ASSOCIATES, LTD.)  
DATED JANUARY 11, 2010  
SIGNED BY WARREN D. JOHNSON  
ILLINOIS REGISTERED LAND SURVEYOR NO. 2971

PLAT OF EASEMENT RECORDED JUNE 28, 2003 AS DOC. NO. 0517939112.  
PLAT OF SURVEY RECORDED DECEMBER 4, 1970 AS DOC. NO. 21335006.

BENCHMARKS (DATUM = NAVD 88)

BM "A"  
CHISELED "X" ON N.E. BOLT OF FIRE HYDRANT  
SOUTH SIDE OF DRIVE 40'± WEST OF GATE.  
ELEV. 682.16

BM "B"  
CHISELED "X" ON S.W. BOLT OF FIRE HYDRANT  
N. SIDE OF DRIVE 40'± N. OF N.E. CORNER  
OF HOUSE.  
ELEV. 687.95

LEGEND

BOUNDARY OF PROPERTY SURVEYED	FW	EXISTING CABLE BOX
EXISTING BUILDING SETBACK LINE	BD	EXISTING AIR CONDITIONING UNIT
EXISTING EASEMENT LINE	EO	EXISTING ELECTRIC METER
EXISTING WATER MAIN	EW	EXISTING GAS METER
EXISTING SANITARY SEWER	SS	EXISTING SPRINKLER
EXISTING STORM SEWER	SO	EXISTING IRON PIPE FOUND
EXISTING GAS LINE	GL	EXISTING IRON ROD FOUND
EXISTING ELECTRIC LINE	EL	CONCRETE
EXISTING TELEVISION CABLE	TV	FINISHED FLOOR ELEVATION
EXISTING FENCE	FM	MANHOLE
EXISTING MANHOLE	SA	SANITARY
EXISTING CLEANOUT		
EXISTING VALVE W/ BOX		
EXISTING FIRE HYDRANT		
EXISTING BUFFALO BOX		

CHAMLIN ASSOCIATES, INC. PERU, ILLINOIS

REVISIONS	DATE	DESCRIPTION
DRAWN BY: NV	4/18/16	ADDED INFO RE: FINAL GRADE REVIEW COMMENTS
CHECKED BY: SMS	8/11/16	ADDED EXISTING FENCE PILLARS
DATE: 11/16	11/23/16	ADDED STORM INLETS AND EDGE OF POND

BOUNDARY & TOPOGRAPHIC SURVEY	CURRENT AS OF: 11/23/16	SHEET 1
	SCALE: AS NOTED	
	FILE NO.: JB148.04 Y-2	OF 1

PREPARED FOR: MICHAEL PIZZUTO  
DATE OF FIELD WORK COMPLETION: 11/23/2016  
CHAMLIN & ASSOCIATES 3017 5TH STREET PERU, ILLINOIS 61354 815-223-3344

CHAMLIN & ASSOCIATES, INC. 11/23/2016  
Drawing Name: C:\Users\B\B1616-11-23-16.dwg Last Modified: Mar 21, 2017 - 3:30pm Plotted on: Mar 21, 2017 - 10:50am by: scs









PRIVATE DRIVEWAY

FENCE REQUEST

FENCE REQUEST





COUNTY LINE ROAD

PRIVATE DRIVEWAY

FENCE REQUEST

FENCE REQUEST

GERMAN CHURCH ROAD



TYPICAL FENCE PANEL





TYPICAL FENCE DETAIL







**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

Street Address of Subject Property:

8335 South County Line Road

Property Owner or Petitioner:

Michael Pizzuto

(Print Name)

(Signature)





**NOTICE**  
Village of Burr Ridge

There will be a public hearing to consider zoning changes or approvals for this property.

For further information, please call or visit:

Burr Ridge Village Hall  
7640 County Line Road  
(630) 654-8181, Extension

Ask for Information Re: **Z** V-06-2019

Further details are available at:  
[www.burr-ridge.gov](http://www.burr-ridge.gov)  
(see Public Hearing/Plan Commission Agenda)







VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527  
(630) 654-8181 • Fax (630) 654-8269 • [www.burr-ridge.gov](http://www.burr-ridge.gov)

Gary Grasso  
Mayor

Karen J. Thomas  
Village Clerk

J. Douglas Pollock  
Village Administrator

July 10, 2019

**NOTICE OF PUBLIC HEARING**

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request Michael Pizzuto for variations from Section IV.J of the Zoning Ordinance to permit a six-foot tall fence with spike-topping in the front and/or side yard of a residential property and to designate front, side, and rear yards for a lot without street frontage as per Section XIV of the Zoning Ordinance. The petition number and property address is **V-06-2019: 8335 County Line Road** and the Permanent Real Estate Index Numbers are: **18-31-300-012**.

The public hearing to consider this petition is scheduled for:

**Date:** Monday, August 5, 2019

**Time:** 7:00 P.M. or as soon thereafter as the matter may be heard.

**Location:** Village of Burr Ridge  
Board Room  
7660 South County Line Road  
Burr Ridge, IL 60527

Petition information is on file and available for public review online or in person at the Burr Ridge Village Hall. To request additional information, please contact:

Evan Walter, Assistant Village Administrator  
(630) 654-8181 ext. 2010  
[ewalter@burr-ridge.gov](mailto:ewalter@burr-ridge.gov)

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

James & Cynthia Robert  
8519 Johnston Rd  
Burr Ridge, IL 605277075  
PIN 18313070050000

Robert Obrien  
8532 Johnston Dr  
Burr Ridge, IL 605277076  
PIN 18313060230000

Margaret A Hojjat  
8429 Arrowhead Farm Dr  
Burr Ridge, IL 605270826  
PIN 18313040180000

Aman Ali  
8638 Johnston Road  
Burr Ridge, IL 605277074  
PIN 18313060100000

David & Char Cziperle  
8650 Crest Ct  
Burr Ridge, IL 605277125  
PIN 18313070290000

Raja Gill  
8650 Johnston Road  
Burr Ridge, IL 605277074  
PIN 18313060080000

James L Valukas  
8497 Arrowhead Farm Dr  
Burr Ridge, IL 605270826  
PIN 18313040140000

Kassar, Samer  
1 Hidden Lake Dr  
Burr Ridge, IL 605270000  
PIN 09364040480000

Mubarak Mirjat  
8692 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060010000

Teri Martin  
1430 Broadway 17Th Flr  
New York, NY 100183355  
PIN 18313040050000

Matthew Petrich  
8668 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060050000

,  
PIN 23061010060000

Hbt Lots Llc  
25 E First Street  
Hinsdale, IL 605217825  
PIN 18313000090000

Frederick W Sauers  
11731 W 87Th St  
Burr Ridge, IL 605276403  
PIN 23061000050000

Pawan K Agrawal  
421 Stonegate Ct  
Willowbrook, IL 605275451  
PIN 18313070310000

Thomas L Soudan  
8492 Arrowhead Farm Dr  
Buridge, IL 605270822  
PIN 18313040130000

Ronak Trust  
8517 Johnston Rd  
Burr Ridge, IL 605277075  
PIN 18313070040000

Saverio Burdi  
58 E Walton  
Chicago, IL 606111406  
PIN 18313070090000

James Schiappa  
341 Westminster Dr  
Burr Ridge, IL 605278336  
PIN 18313000130000

Hang Chang Shen  
8611 Crown Court  
Burr Ridge, IL 605277130  
PIN 18313070130000

M Elkhadra  
8691 Crown Ct  
Burr Ridge, IL 605277130  
PIN 18313070150000

Gena Buonavolanto  
8690 Crest Ct  
Burr Ridge, IL 605277125  
PIN 18313070280000

Atg Trust Co  
1 S Wacker Dr  
Chicago, IL 605270000  
PIN 09364000220000

Anil K Ranganani  
8620 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060130000

Amer Natl Tr 123662 09  
11622 W 87Th St  
Burr Ridge, IL 605276462  
PIN 18313030090000

Galainena, W David  
9 Hidden Lake Dr  
Burr Ridge, IL 605210000  
PIN 09364040470000

Raymond Lucas  
11955 Germchurch Rd  
Burr Ridge, IL 605276461  
PIN 18313000080000

Sriaroon, Somboon  
1 Deer Path Tr  
Burr Ridge, IL 605270000  
PIN 09364080150000

Manmoham Duggal  
8447 Arrowhead Frms Dr  
Burr Ridge, IL 605270826  
PIN 18313040170000

Joe Salamone  
11640 Walnut Ct  
Burr Ridge, IL 605278037  
PIN 18313000040000

Peter Burdi  
431 S Dearborn 203  
Chicago, IL 606051121  
PIN 18313070170000

Highland Fields  
80 Burr Ridge Pky 167  
Burr Ridge, IL 605270832  
PIN 18313060260000

Marc & Cheryl Pilipuf  
8690 Castle Ct  
Burr Ridge, IL 605277127  
PIN 18313070220000

Highland Fields Llc  
80 Burr Ridge Pkwy 167  
Burr Ridge, IL 605270832  
PIN 18313070350000

Jaga Vence  
8626 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060120000

Lemont National Bank  
1201 State St  
Lemont, IL 605210000  
PIN 09364040340000

Thomas Soudan  
8492 Arrowhead Farm Dr  
Burr Ridge, IL 605270822  
PIN 18313040230000

Peter Burdi  
8651 Castle Ct  
Burr Ridge, IL 605277128  
PIN 18313070200000

Dutt, Kamal & Priya  
11 Deer Path Tr  
Burr Ridge, IL 605210000  
PIN 09364080140000

Chapman, Stephen & G  
15 Hidden Lake Dr  
Burr Ridge, IL 605210000  
PIN 09364040460000

Kenneth Cohen  
730 Mckinley Lane  
Hinsdale, IL 605214829  
PIN 18313070160000

Ctltc 008002352337  
10 S Lasalle St #2750  
Chicago, IL 606031108  
PIN 18313060150000

Bobby Simmons  
8481 Arrowhead Farm Dr  
Burr Ridge, IL 605270826  
PIN 18313040150000

Viren & Sima Patel  
5751 Rosinweed Ln  
Naperville, IL 605641635  
PIN 18313070070000

Kellie Sipich  
8705 Balmoral Ct  
Burr Ridge, IL 605277177  
PIN 23061080010000

R & W Malek  
8512 Johnston Rd  
Burr Ridge, IL 605277076  
PIN 18313060250000

Larry D Mertz  
8425 Omaha Dr  
Burr Ridge, IL 605270818  
PIN 18313050060000

Dr Ing Hsu Wu  
8687 Johnston Rd  
Burr Ridge, IL 605277070  
PIN 18313070330000

Irfan Alhayani  
8610 Crest Ct  
Burr Ridge, IL 605277125  
PIN 18313070300000

Thomas Soudan Jr  
8492 Arrowhead Farm  
Burr Ridge, IL 605270822  
PIN 18313000160000

Nicole Higgins  
11801 German Church Rd  
Burr Ridge, IL 605276460  
PIN 18313000070000

Richard R Gilsdorf  
1443 N North Park Ave  
Chicago, IL 606101226  
PIN 18313020100000

Y Girgis & H Hanna  
8428 Arrowhead Farm  
Burr Ridge, IL 605270822  
PIN 18313040100000

Michael A Pizzuto 200  
16W485 S Frontage Rd  
Burr Ridge, IL 605277107  
PIN 18313000120000

William Mologousis  
8585 Johnston Rd  
Burr Ridge, IL 605277075  
PIN 18313070080000

Michael Meglei  
8340 Arrowhead Farm  
Burr Ridge, IL 605270821  
PIN 18313040070000

Muawia Martini  
8515 Johnston Dr  
Burr Ridge, IL 605277075  
PIN 18313070030000

Steel City Bk Chgo  
  
Hinsdale, IL 605210000  
PIN 09364070220000

Ctltc 008002358658  
10 S Lasalle St #2750  
Chicago, IL 606031108  
PIN 18313060280000

31St Street Properties  
302 W 31St St  
Chicago, IL 606164966  
PIN 18313060270000

John Atkinson  
8417 Arrowhead Farm  
Burr Rdg, IL 605270826  
PIN 18313040190000

Amarik & Shveta Singh  
8650 Castle Court  
Burr Ridge, IL 605277127  
PIN 18313070230000

John R Wienold  
8651 Crest Ct  
Burr Ridge, IL 605277126  
PIN 18313070260000

Ashwinkumar Devnani  
3 Chippewa Ct  
Burr Ridge, IL 605270814  
PIN 18313040060000

B & S Dombkowski  
8521 Johnston Rd  
Burr Ridge, IL 605277075  
PIN 18313070060000

Ramak Maheronnaghsh  
8632 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060110000

M Yelamanchili  
8562 Johnston Rd  
Burr Ridge, IL 605277076  
PIN 18313060200000

Marcia Curcija  
8456 Arrowhead Farm Dr  
Burr Ridge, IL 605270822  
PIN 18313040110000

Muhamed & G Kawji  
8601 Johnston Rd  
Burr Ridge, IL 605277070  
PIN 18313070100000

Noel H Apolinario  
8656 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060070000

William Mikaitis  
8472 Arrowhead Farm Dr  
Burr Ridge, IL 605270822  
PIN 18313040120000

Highland Fields Llc  
Po Box 308  
Maywood, IL 601530308  
PIN 18313070140000

Christopher Pelzek  
8673 Johnston Rd  
Burr Ridge, IL 605277070  
PIN 18313070320000

Apel, Edwin L & Susan  
2 Deer Path Tr  
Burr Ridge, IL 605270000  
PIN 09364040350000

Margaret Simak  
8415 S County Line Rd  
Hinsdale, IL 605276412  
PIN 18313020110000

,  
PIN 23061010150000

S Gandhi  
8610 Castle Crt  
Burr Ridge, IL 605277127  
PIN 18313070240000

William McIntyre  
1516 Ponle De Leon Dr  
Ftlauderdale, FL 333161324  
PIN 18313030100000

Raj & Nina Goyal  
8686 Johnson Rd  
Burr Ridge, IL 605277074  
PIN 18313060020000

Sheri & Victor Aletich  
8363 S County Ln Rd  
Burr Ridge, IL 605276411  
PIN 18313000050000

L Wesley Hayden  
100 Via Capri  
New Smyrna B, FL 321695107  
PIN 18313000150000

Thomas Carmody  
8611 Castle Ct  
Burr Ridge, IL 605277128  
PIN 18313070190000

C La Forgia  
8542 Johnston Rd  
Burr Ridge, IL 605277076  
PIN 18313060220000

Taxpayer Of  
8465 Arrowhead Farm Dr  
Burr Ridge, IL 605270826  
PIN 18313040160000

A Hadeed & M Abboud  
206 Ambriance Dr  
Burr Ridge, IL 605270802  
PIN 23061080020000

Richard R Gilsdorf  
1443 N North Park Ave  
Chicago, IL 606101226  
PIN 18313000140000

Seema Sheth  
8691 Crest Ct  
Burr Ridge, IL 605277126  
PIN 18313070270000

Sachin&Deepali Mittal  
8614 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060140000

Michael A Bilder  
8609 Crown Court  
Burr Ridge, IL 605277130  
PIN 18313070120000

Stella, Pamela A  
10 Hidden Lake Dr  
Burr Ridge, IL 605270000  
PIN 09364070190000



Martin, James H & Sutera  
8322 S County Line Rd  
Burr Ridge, IL 605210000  
PIN 09364080170000

Salim Hasan  
8602 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060160000

S & L Zawideh  
8368 Arrowhead Farm Dr  
Burr Ridge, IL 605270821  
PIN 18313040080000

Dilmubarak Sheikh  
8644 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060090000

Corrigan, Robert & Debra  
8400 S County Line Rd  
Burr Ridge, IL 605210000  
PIN 09364040490000

J & T Baloch  
601 Kenmare Dr  
Burr Ridge, IL 605277067  
PIN 18313060040000

Kamal Vibhakar  
8486 Omaha Dr  
Burr Ridge, IL 605270817  
PIN 18313040210000

Nsb Home Llc  
10 S 660 Kingery Hwy  
Willowbrook, IL 605270730  
PIN 18313040030000

Bruce Williams  
1145 Indian Trail Road  
Hinsdale, IL 605212924  
PIN 18313060190000

Robert Kajmowicz  
8410 Arrowhead Farm Dr  
Burr Rdg, IL 605270822  
PIN 18313040090000

Ahmed Hassan  
8680 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060030000

Western Natl Bk 6603  
8505 S County Line Rd  
Burr Ridge, IL 605276413  
PIN 18313020120000

M S & R Kholoki  
8693 Johnston Rd  
Burr Ridge, IL 605277070  
PIN 18313070340000

William Phillips  
8449 Omaha Dr  
Burr Ridge, IL 605270818  
PIN 18313050050000

Rajeswaran Venkatraman  
8704 Johnson Rd  
Burr Ridge, IL 605277122  
PIN 23061090010000

Mohammad Alkhudari  
8610 Crown Court  
Burr Ridge, IL 605277129  
PIN 18313070180000

Bharti K Patel  
3531 Vanilla Grass Dr  
Naperville, IL 605648331  
PIN 18313070110000

Joseph M Castelbuono  
8611 Crest Ct  
Burr Ridge, IL 605277126  
PIN 18313070250000

Western Natl Bk 6603  
8505 S County Line Rd  
Burr Ridge, IL 605276413  
PIN 18313020040000

Nasir A Shamsi  
7 Chippewa Court  
Burr Ridge, IL 605270814  
PIN 18313040220000

Walter Bauldrick  
8691 Castle Ct  
Burr Ridge, IL 605277128  
PIN 18313070210000

Win L Chiou  
8552 Johnston Rd  
Burr Ridge, IL 605277076  
PIN 18313060210000

R & R Khurana  
8450 Omaha  
Burr Ridge, IL 605270817  
PIN 18313040200000

Schwarz, David & Katherine  
8670 S County Line Rd  
Burr Ridge, IL 605270000  
PIN 09364000230000

John Elser  
8522 Johnston Rd  
Burr Ridge, IL 605277076  
PIN 18313060240000

Bittner, Judith A  
2 Hidden Lake Dr  
Burr Ridge, IL 605210000  
PIN 09364070200000

Richard Nawracaj  
8662 Johnston Rd  
Burr Ridge, IL 605277074  
PIN 18313060060000



# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Michael Pizzuto

STATUS OF PETITIONER: \_\_\_\_\_

PETITIONER'S ADDRESS: 8335 S. County Line Road, Burr Ridge, IL 60527

ADDRESS OF SUBJECT PROPERTY: 8335 S. County Line Road

PHONE: 630 675-2988 (Mobile)

EMAIL: mapizz@aol.com

PROPERTY OWNER: Michael Pizzuto

PROPERTY OWNER'S ADDRESS: 8335 S. County Line PHONE: 630 675-2988

PUBLIC HEARING REQUESTED: ☐ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

### DESCRIPTION OF REQUEST:

Due to safety and security concerns, I am requesting permission to install a six foot wrought iron fence along the north side of my property. The fence will connect to my driveway gate to help prevent unauthorized vehicle traffic or pedestrians from entering upon the property where I live.

### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: \_\_\_\_\_ EXISTING ZONING: \_\_\_\_\_

EXISTING USE/IMPROVEMENTS: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_

PIN(S) # \_\_\_\_\_

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

Date of Filing

6/28/19



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-08-2019: 120 Harvester Drive (Olguin); Requests an amendment to Planned Unit Development Ordinance #A-834-09-16 to permit a reconfiguration and expansion of an existing surface parking lot.**

**HEARING:**

August 5, 2019

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Evan Walter  
Assistant Village Administrator

**PETITIONER:**

James Olguin

**PETITIONER STATUS:**

Representative of Property Owner

**PROPERTY OWNER:**

Estancia UCP, LLC

**EXISTING ZONING:**

O-2 Office PUD

**LAND USE PLAN:**

Recommends Office Uses

**EXISTING LAND USE:**

Parking Lot

**SITE AREA:**

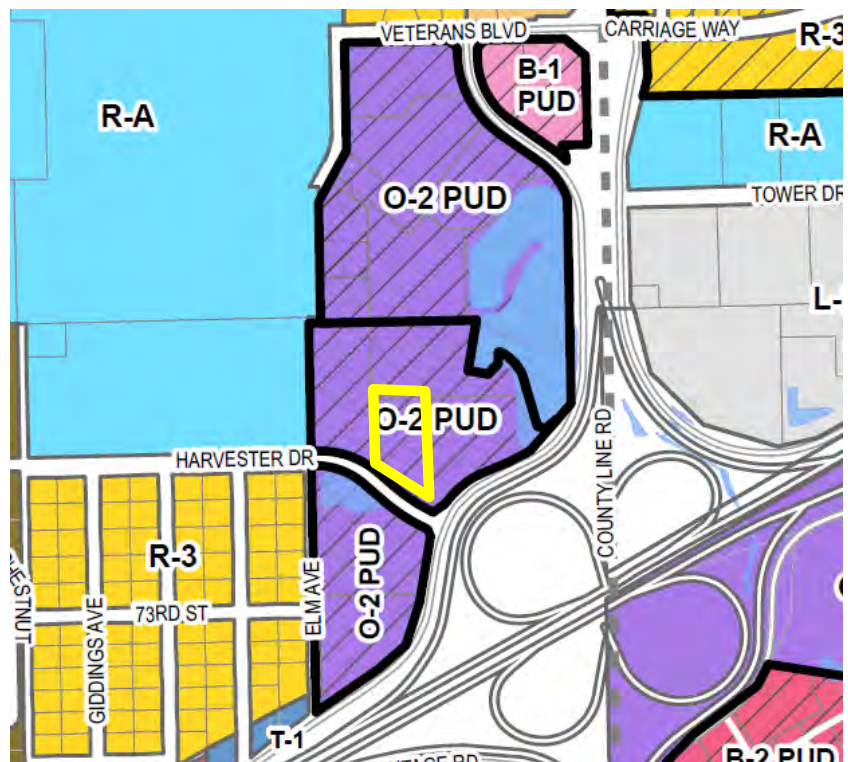
1.91 Acres

**SUBDIVISION:**

Estancia Executive Center

**PARKING:**

96 spaces





The petitioner is requesting an amendment to Planned Unit Development Ordinance #A-834-09-16 to permit the expansion of an existing surface parking lot. The subject property was previously approved for development of the Falls Event Center in 2016; however, such plans have been abandoned. The subject property is currently partially used for surface parking serving other properties within the PUD.

### **Land Use and Site Analysis**

The subject property is zoned O-2 Office and is part of the larger Estancia Executive PUD, which includes the Hampton Inn (100 Harvester Drive), the subject property (120 Harvester Drive), and two office buildings located north (150 Harvester) and west (180 Harvester) of the subject property. The subject property and 180 and 150 Harvester are owned by the same party.

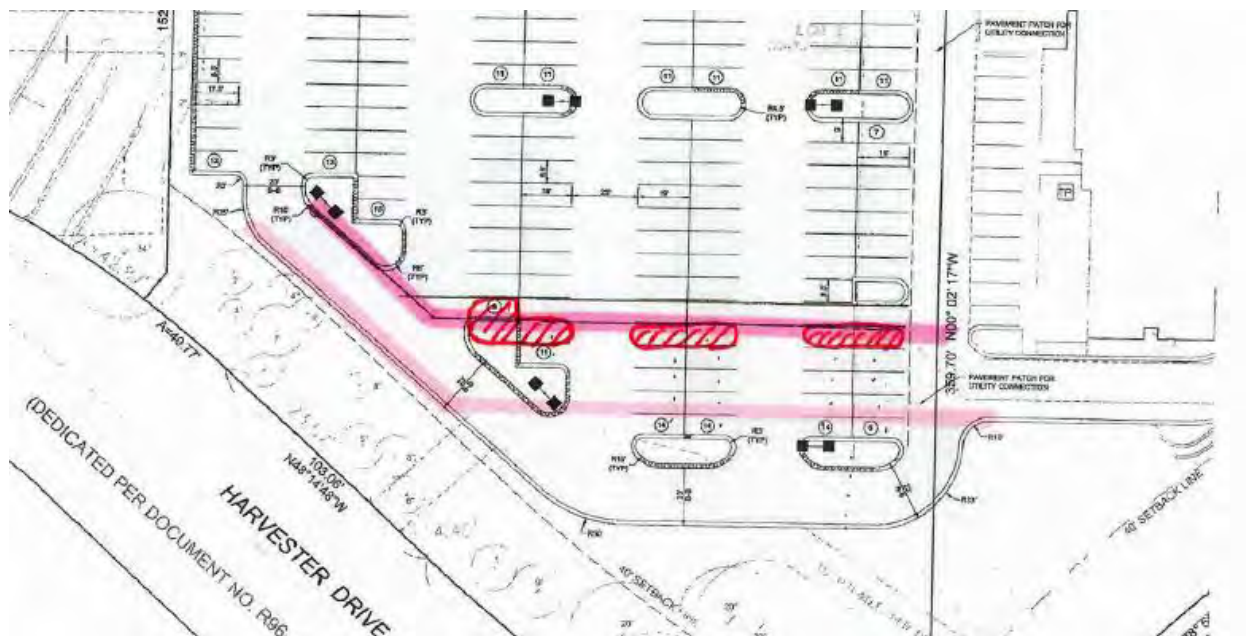


The subject property currently contains 96 parking spaces; the petitioner proposes to add an additional 85 spaces to accommodate a desire by a current tenant at 180 Harvester, the University of Chicago, to expand its office presence in the building. Based on previous zoning reviews, sufficient parking is presently available within the PUD based on the regulations of the Zoning Ordinance. The Village Engineer has reviewed the petitioner's plans and found no significant engineering concerns within the proposal.

Based on staff's review of the proposed site plan, a portion of the proposed parking lot is located beyond the front wall of the adjoining Hampton Inn (shown in Exhibit B). Section XI.C.8 of the Zoning Ordinance states the following:

*In no event shall parking be permitted in the Manufacturing, Office, and Transitional Districts anywhere in front of the building, whether in the front yard, the interior side yard, side yard adjoining the street or any buildable area in front of the building, nor anywhere in the side yard adjoining a street.*

The proposed site plan would not meet the zoning requirement that no parking be located in the forward of a building in an Office District. As this is a PUD, the Plan Commission may recommend approval the site plan as shown without the need for a variation. If the Plan Commission wishes to recommend approval of the PUD while removing any parking forward of the building, the proposed capacity of the lot would be reduced by about 23 total spaces and result in approximately 55 new spaces being constructed. Below is a sketch of the parking lot with the subject parking spaces removed.



### **Public Hearing History**

Three public hearings have been held regarding the Estancia Executive PUD:

2004; the Village approved a request to construct three office buildings on the entire PUD. Only one was developed (180 Harvester Drive).

2011; the Village approved a request to construct a four-story office building and a parking deck at 100 Harvester Drive (neither developed).

2016; the Village approved a request to construct a four-story hotel at 100 Harvester Drive (Hampton Inn) and a one-story event center at 120 Harvester Drive (Falls Event Center; never developed). A sign package was later approved for this development.

### **Public Comment**

No public comment was received on this petition.

**Findings of Fact and Recommendation**

The petitioner has provided Findings of Fact which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission chooses to recommend an amendment to the previous PUD, staff recommends that the amendment be granted subject to the removal of the parking spaces that are forward of the hotel building and as depicted in the sketch herein.

**Appendix**

Exhibit A – Petitioner’s Materials

Exhibit B – Parking Reduction Map

# EXHIBIT A

Estancia Executive Center

Amendment to PUD

## Description of Request

The Applicant, Estancia UCP LLC, is requesting an amendment to the existing 0-2 PUD which applies to the Estancia Executive Center ("EEC"). The amendment would allow the construction of a parking area and associated improvements on the remaining vacant lot.

The impetus for the proposed amendment is the University of Chicago's desire to increase its office presence at EEC. In addition to the University of Chicago expanding the amount of office space occupied in EEC, it will also extend its term of its current leases until 2034. This will benefit Burr Ridge as having a vibrant office occupancy is important in providing the customers for area restaurants, retail stores, hotels, and other businesses.

FINAL ENGINEERING PLANS  
FOR  
**PARKING LOT EXPANSION**  
BURR RIDGE, ILLINOIS

**PROJECT TEAM**

OWNER/DEVELOPER

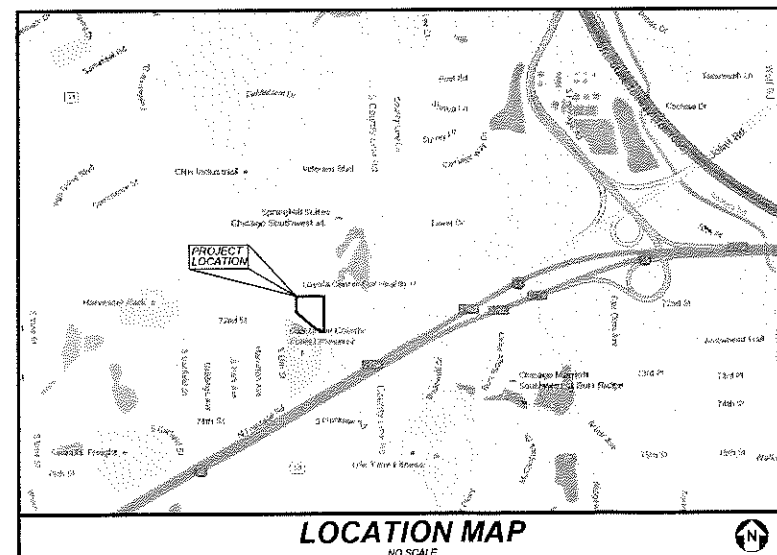
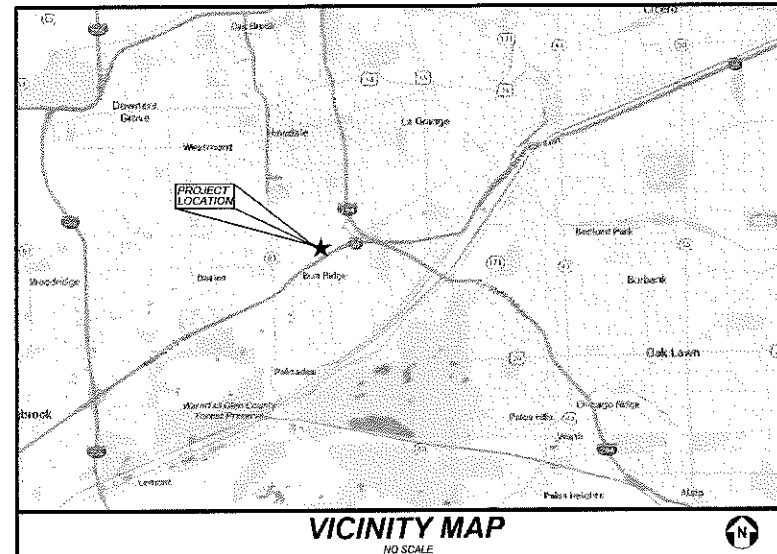
Mars Equities, Inc.  
150 Harvester Drive, Suite 100  
Burr Ridge, Illinois 60527  
630 230 2000  
Contact: Robert Palka

ENGINEER

V3 Companies, Ltd.  
7325 Janes Avenue  
Woodridge, Illinois 60517  
630 724 9200  
Project Manager: Ryan Wagner, P.E.  
rwagner@v3co.com  
Project Engineer: Randy Andersen, P.E.  
randersen@v3co.com

SURVEYOR

V3 Companies, Ltd.  
7325 Janes Avenue  
Woodridge, Illinois 60517  
630 724 9200  
Contact: Chris Bartoz



**INDEX**

**CIVIL ENGINEERING PLANS**

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- C1.0 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C1.1 SPECIFICATIONS
- C2.0 DEMOLITION PLAN
- C3.0 LAYOUT PLAN
- C4.0 GRADING PLAN
- C4.1 EROSION CONTROL PLAN
- C4.2 EROSION CONTROL DETAILS
- C5.0 UTILITY PLAN
- C6.0 CONSTRUCTION DETAILS

**SUPPORTING DOCUMENTS**

- 1 of 1 TOPOGRAPHIC SURVEY

**BENCHMARKS**

- BM#1  
NORTHWEST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE  
NORTHWEST CORNER OF AMERISUITES.  
ELEV. = 711.22
- SBM#1  
EAST FLANGE BOLT OF FIRE HYDRANT LOCATED EAST SIDE OF  
EASTERLY DRIVEWAY TO SITE ± 50' NORTHERLY OF FRONTAGE  
ROAD INTERSECTION.  
ELEV. = 696.98
- SBM#2  
NORTHERLY BOLT IN BASE OF LIGHT STANDARD LOCATED  
NORTHEASTERLY OF HARVESTER DRIVE ± 145' NORTHERLY OF  
FRONTAGE ROAD INTERSECTION.  
ELEV. = 707.49



Call 48 hours before you dig

Joint  
Utility  
Locating  
Information  
for  
Excavators

**PROFESSIONAL ENGINEER'S CERTIFICATION**

I, RYAN WAGNER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT  
THE CIVIL ENGINEERING PLANS WERE PREPARED ON BEHALF OF MARS EQUITIES, INC. BY V3  
COMPANIES, LTD. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS  
INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE  
PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2019.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-062713  
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

7325 Janes Avenue  
Woodridge, IL 60517  
630 724 9200 phone  
www.v3co.com



DRAWING NO.

**C0.0**

TITLE SHEET

PARKING LOT EXPANSION

BURR RIDGE

ILLINOIS

REVISIONS

DESCRIPTION

NO. DATE

PROJECT NO. 15772 MARS

PROJECT MANAGER RW

DESIGNED BY RA

DRAWN BY DB

ORIGINAL ISSUE DATE: 07/01/19

DESCRIPTION

NO. DATE

PROJECT NO. 15772 MARS

PROJECT MANAGER RW

DESIGNED BY RA

DRAWN BY DB

ORIGINAL ISSUE DATE: 07/01/19

DESCRIPTION

NO. DATE



GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:
- V3 COMPANIES, LTD.  
7325 JANES AVENUE  
WOODRIDGE, IL 60517
- COPIES OF THE SURVEY, DATED AUGUST 15 2015, ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS PREPARED BY IDOT, LATEST EDITION.
- b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
- c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF BURR RIDGE.
- e. THE NATIONAL ELECTRIC CODE.
- f. THE ILLINOIS ACCESSIBILITY CODE.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITE WORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.

12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF BURR RIDGE MUNICIPAL CODE AND IDOT REQUIREMENTS.
13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
21. ALL CURB RADIi REFER TO BACK OF CURB.
22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE

CONSIDERED INCIDENTAL TO THE CONTRACT.

36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x8" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

LEGEND

EXISTING	PROPOSED

DESCRIPTION
RIGHT-OF-WAY LINE
PROPERTY LINE (EXTERIOR)
LOT LINE (INTERIOR)
EASEMENT LINE
FENCE LINE
CENTERLINE
PROPERTY CORNER
CONTOUR
CURB & GUTTER
DEPRESSED CURB & GUTTER
REVERSE PITCHED CURB
SPOT ELEVATION
TOP OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
UTILITY STUB
SANITARY SEWER
SANITARY FORCE MAIN
STORM SEWER
WATER MAIN
GAS MAIN
UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK
BURIED CABLE-ELECTRIC
BURIED CABLE-TELEPHONE
ATLAS LOCATED UTILITY
UTILITY STRUCTURE WITH CLOSED LID
CURB INLET
DRAINAGE STRUCTURE WITH OPEN LID
FIRE HYDRANT
VALVE IN VALVE BOX
GATE VALVE IN VALVE VAULT
POST INDICATOR VALVE
THRUST BLOCK
TREE
TREE LINE
CONCRETE HEADWALL
SUBMERGED HEADWALL
FLARED END SECTION (F.E.S.)
GUY WIRES
FLOOD LIGHT
UTILITY POLE
LIGHT STANDARD
TRAFFIC SIGNAL POLE
HAND HOLE
SOIL BORING
IRRIGATION HEADS
SIGN
TELEPHONE MANHOLE
MONITORING WELL
TELEPHONE PEDESTAL
TRANSFORMER PAD
UTILITY TO BE ABANDONED
FEATURE TO BE REMOVED
STORMWATER FLOW DIRECTION
STORMWATER OVERFLOW ROUTE
DITCH CHECK
INLET FILTER BASKET
RIP RAP
BOLLARD
SILT FENCE
WATER MAIN PROTECTION
UTILITY CROSSING LABEL
GUARDRAIL
RAILROAD TRACKS
RETAINING WALL
REVISION DELINEATION
CONSTRUCTION LIMIT LINE
TREE PROTECTION FENCE

ABBREVIATIONS

A	ARC LENGTH
B-B	BACK TO BACK OF CURB
B/C	BACK OF CURB
BLOG	BUILDING
BM	BENCHMARK
B/P	BOTTOM OF PIPE
BV/VV	BUTTERFLY VALVE IN VALVE VAULT
C & G	CURB AND GUTTER
CB	CATCH BASIN
CL	CENTERLINE
CL	CLOSED LID
CO	OLEAN OUT
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
DIWM	DUCTILE IRON WATER MAIN
DWG	DRAWING
E	EAST OR ELECTRIC OR EDGE
EJ	EXPANSION JOINT
ELEV	ELEVATION
E/P	EDGE OF PAVEMENT
EX	EXISTING
F & CL	FRAME & CLOSED LID
F & G	FRAME & GRATE
F & OL	FRAME & OPEN LID
FES	FLARED END SECTION
F-F	FACE TO FACE OF CURB
FF	FINISHED FLOOR
FIG	FINISHED GRADE
FH	FIRE HYDRANT
FIL	FLOW LINE
G	GAS LINE
GV/VB	GATE VALVE IN VALVE BOX
GV/VV	GATE VALVE IN VALVE VAULT
HD/CP	HANDICAP
HD/PE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HOR	HORIZONTAL
HP	HIGH POINT
H/WL	HIGH WATER LEVEL
IE	INVERT ELEVATION
IN	INLET
LF	LINEAL FEET
LP	LOW POINT OR LIGHT POLE
L	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MW	MONITORING WELL
N	NORTH
NIC	NOT IN CONTRACT / NOT INCLUDED
NWL	NORMAL WATER LEVEL
OC	ON CENTER
OL	OPEN LID
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS OR RIGHT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SLOPE OR SOUTH
SAN	SANITARY
SF	SILTATION FENCE
SFM	SANITARY FORCE MAIN
SHT	SHEET
SHW	SUBMERGED HEADWALL
SMH	SANITARY MANHOLE
STA	STATION
ST	STORM STRUCTURE OR STORM SEWER
STMH	STORM MANHOLE
T	TANGENT LENGTH OR TELEPHONE
T/C	TOP OF CURB
T/P	TOP OF PIPE
T/W	TOP OF WALL
TY	TYPE
TYP	TYPICAL
UP	UTILITY POLE
VC	VERTICAL CURVE
VERT	VERTICAL
VCP	VITRIFIED CLAY PIPE
W	WEST
WM	WATER MAIN

GENERAL NOTES LEGEND AND ABBREVIATIONS	ORIGINAL ISSUE DATE: 07/01/19	NO.	DATE	DESCRIPTION
	PROJECT NO. 157272 MARS	NO.	DATE	DESCRIPTION
	PROJECT MANAGER RW	NO.	DATE	DESCRIPTION
	DESIGNED BY: RA	NO.	DATE	DESCRIPTION
PARKING LOT EXPANSION	DRAWN BY: DB	NO.	DATE	DESCRIPTION
	ILLINOIS	NO.	DATE	DESCRIPTION
7325 Janes Avenue Woodridge, IL 60517 830.724.9200 phone www.v3co.com				
DRAWING NO. C1.0				

## EARTHWORK

- ## STORM SEWER

- ## IEPA CROSSING REQUIREMENTS

- ## 2. VERTICAL SEPARATION

- ## PAVING

- ## TREE PROTECTION

1. ALL EXISTING TREE LOCATIONS AND SIZES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION
2. ALL TREES TO REMAIN AS NOTED ON THE DRAWINGS ARE TO BE ENCLOSED WITH A TREE PROTECTION FENCE, PRIOR TO THE START OF CONSTRUCTION. THE FENCE SHALL CONSIST OF 4' TALL ORANGE PLASTIC FENCE WITH METAL POSTS SPACED NO FURTHER THAN 5' APART. THE FENCE IS TO BE LOCATED UNDER THE OUTER EDGES OF THE TREE'S CANOPY, BUT NO CLOSER THAN 5' AWAY FROM THE TREE'S TRUNK. VILLAGE FORESTER AND LANDSCAPE ARCHITECT TO APPROVE FENCE LOCATION.

- ### TREE REMOVAL NOTES

- ### CARE FOR EXISTING TREES TO REMAIN

1. HAVE TREES INSPECTED AND TREATED BY A CERTIFIED ARBORIST.
2. REMOVE ANY DEAD WOOD AND PROVIDE ANY TREATMENT RECOMMENDED BY THE ARBORIST.
3. REMOVE ANY DEBRIS FROM THE SITE AND DISPOSE OF THE PROPERLY PER LOCAL ORDINANCES.

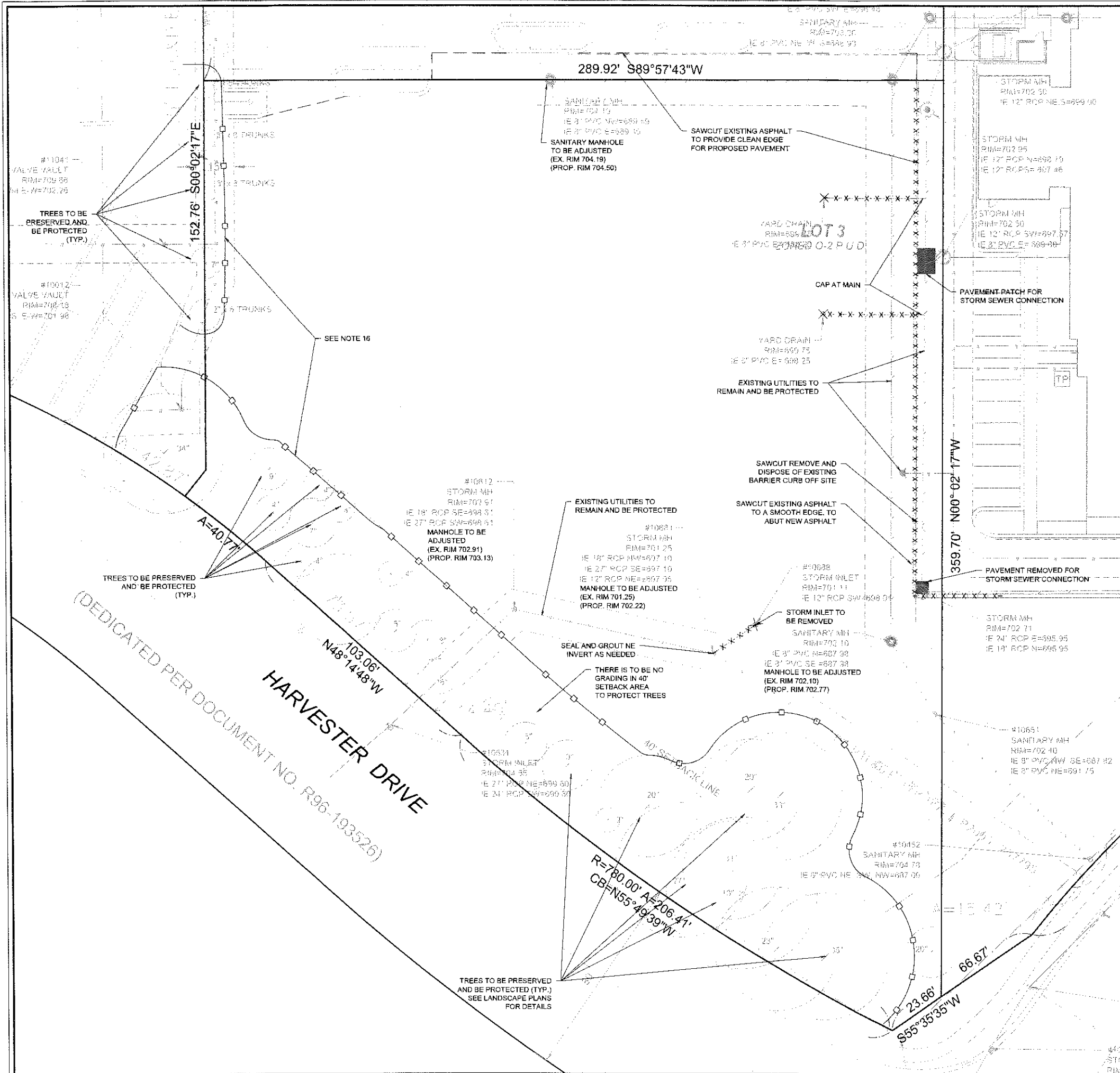
SPECIFICATIONS
PARKING LOT EXPANSION
BURR RIDGE ILLINOIS

7325 Janes Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
www.v3co.com



DRAWING NO.


## C1.1

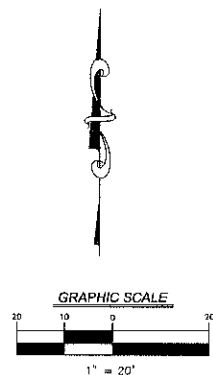



**NOTES:**

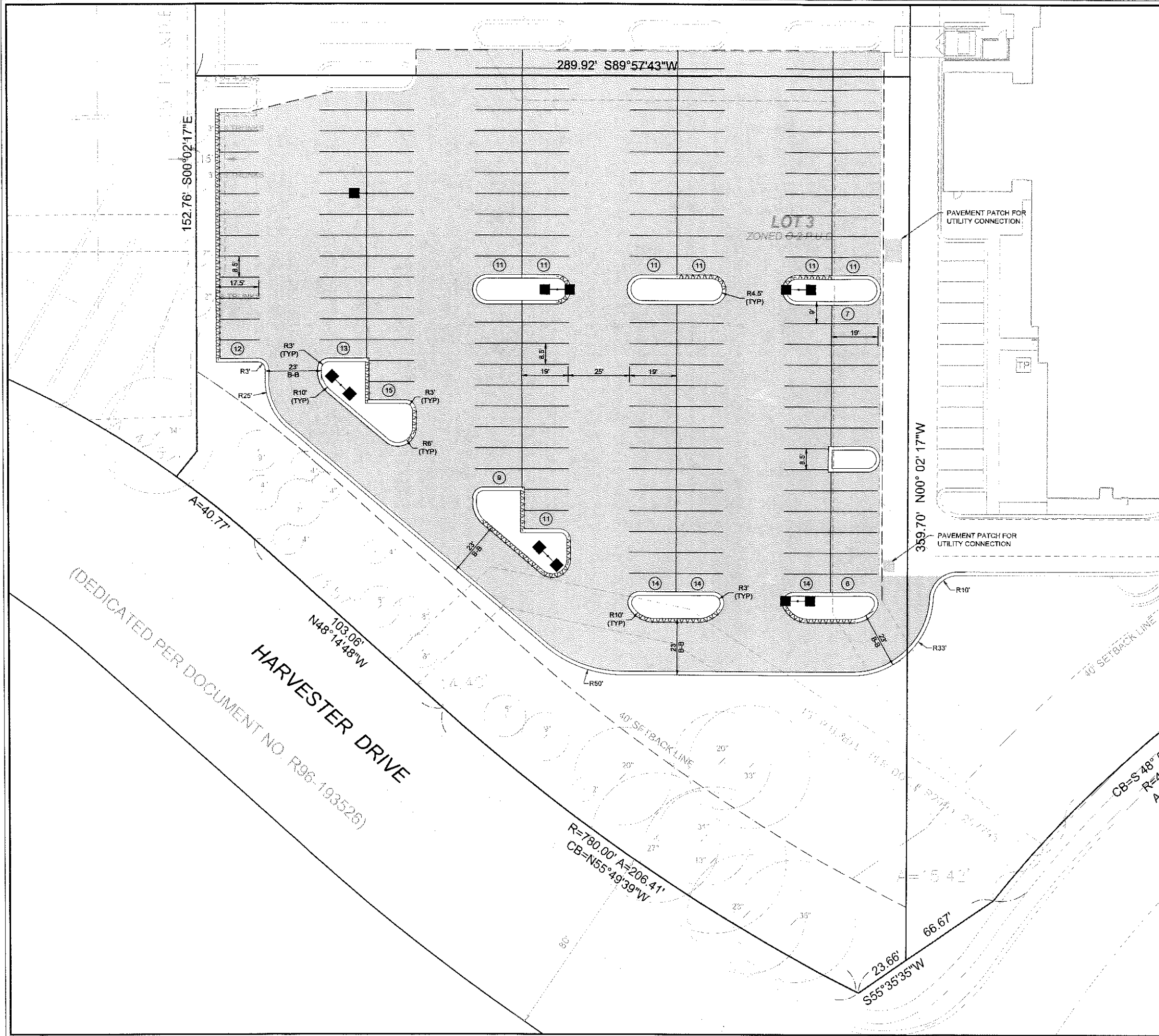
1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
  - SIDEWALK AND ON-SITE PAVEMENT
  - UTILITIES
  - CONSTRUCTION DEBRIS
2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE, HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE (DOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
16. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
17. EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
18. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

## DEMOLITION LEGEND

- X - X - X -	CONC. CURB/GUTTER OR UTILITY LINE TO BE REMOVED
X	STRUCTURE/TREE TO BE REMOVED
---	SAWCUT LINE
	PAVEMENT TO BE REMOVED



 <p>7325 Janes Avenue Woodridge, IL 60517 630-724-9200 phone www.v3co.com</p>	<p>DEMOLITION PLAN</p>		<p>PROJECT NO.: 15272-MARS</p>		<p>ORIGINAL ISSUE DATE: 07/01/19</p>		<p>REVISIONS</p>	
	<p>PARKING LOT EXPANSION</p>		<p>PROJECT MANAGER: RW</p>		<p>NO. DATE</p>		<p>DESCRIPTION</p>	
			<p>DESIGNED BY: RA</p>		<p>NO. DATE</p>		<p>DESCRIPTION</p>	
			<p>DRAWN BY: DB</p>		<p>NO. DATE</p>		<p>DESCRIPTION</p>	
<p>BURR RIDGE</p>		<p>ILLINOIS</p>						



- NOTES:**
- 1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - 2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
  - 3. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

**PAVING LEGEND**

**REGULAR HMA PAVEMENT**

1.5" HMA SURFACE COURSE, MIX D N50  
2.5" HMA BINDER COURSE, IL90, N50  
8" AGGREGATE BASE COURSE - CA6

**PARKING SUMMARY**

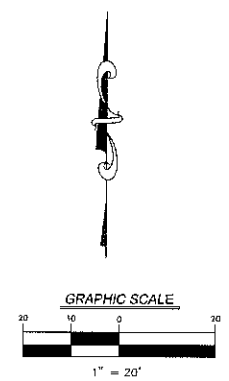
**PARKING LOT ADDITION**

STANDARD STALLS = 181

**CURB LEGEND**

B6.12 REGULAR PITCH CURB AND GUTTER

B6.12 REVERSE PITCH CURB AND GUTTER



REVISIONS		DESCRIPTION	NO.	DATE
NO.	DATE			

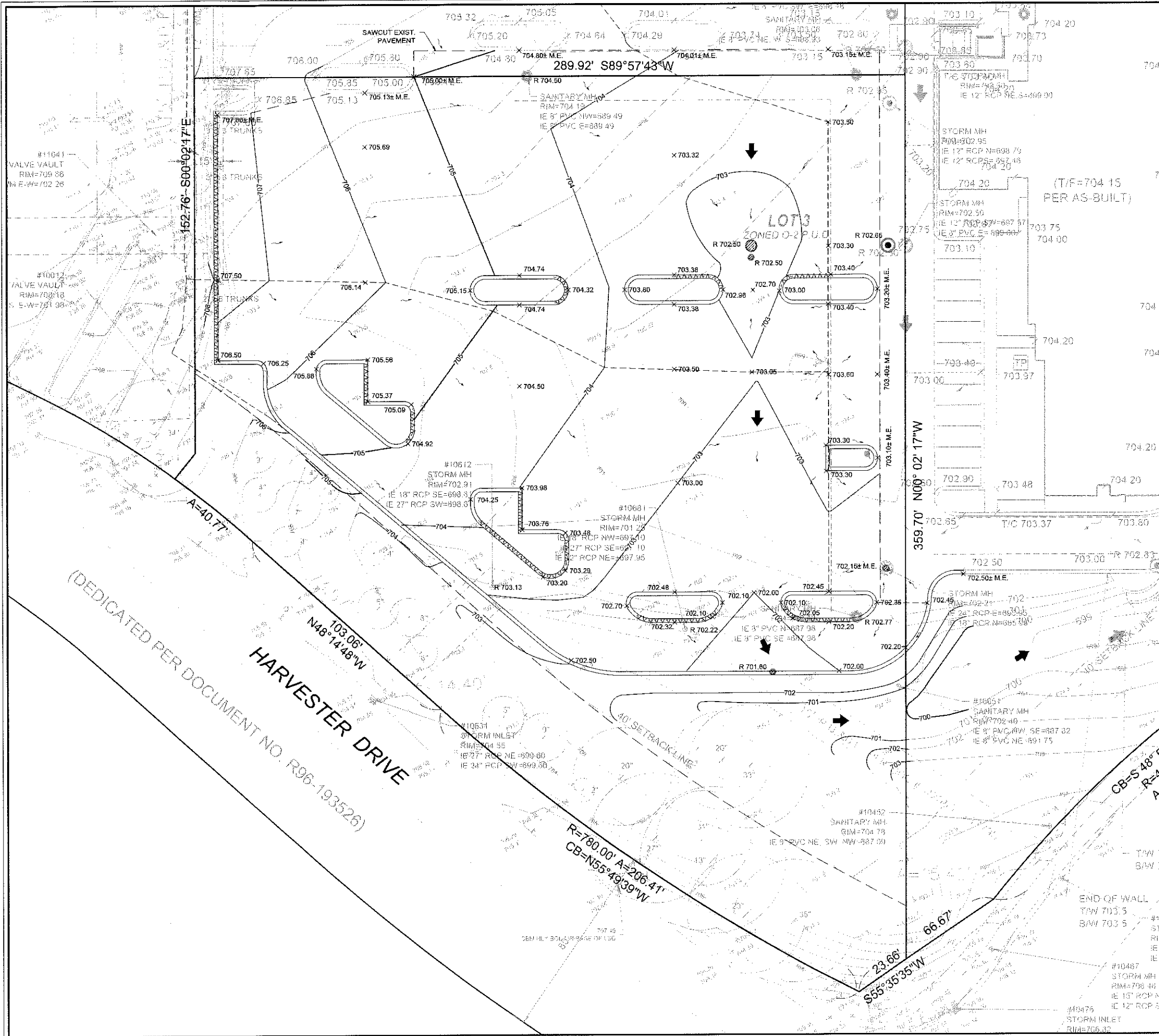
PROJECT NO.	PROJECT NAME	PROJECT MANAGER	DESIGNED BY	DRAWN BY
15272.MARS	15272.MARS	RW	RA	DB

LAYOUT AND PAVING PLAN	
PARKING LOT EXPANSION	
BURR RIDGE ILLINOIS	

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DRAWING NO.
<b>C3.0</b>



- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
  2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
  3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.

REVISIONS	
NO.	DATE

PROJECT NO.	18722 MARS
PROJECT MANAGER	RW
DESIGNED BY	RA
DRAWN BY	DB

GRADING PLAN

PARKING LOT EXPANSION

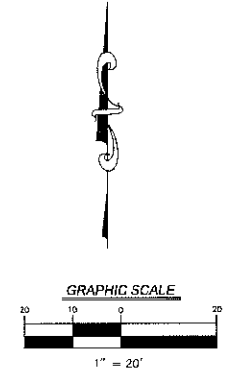
BURR RIDGE

ILLINOIS

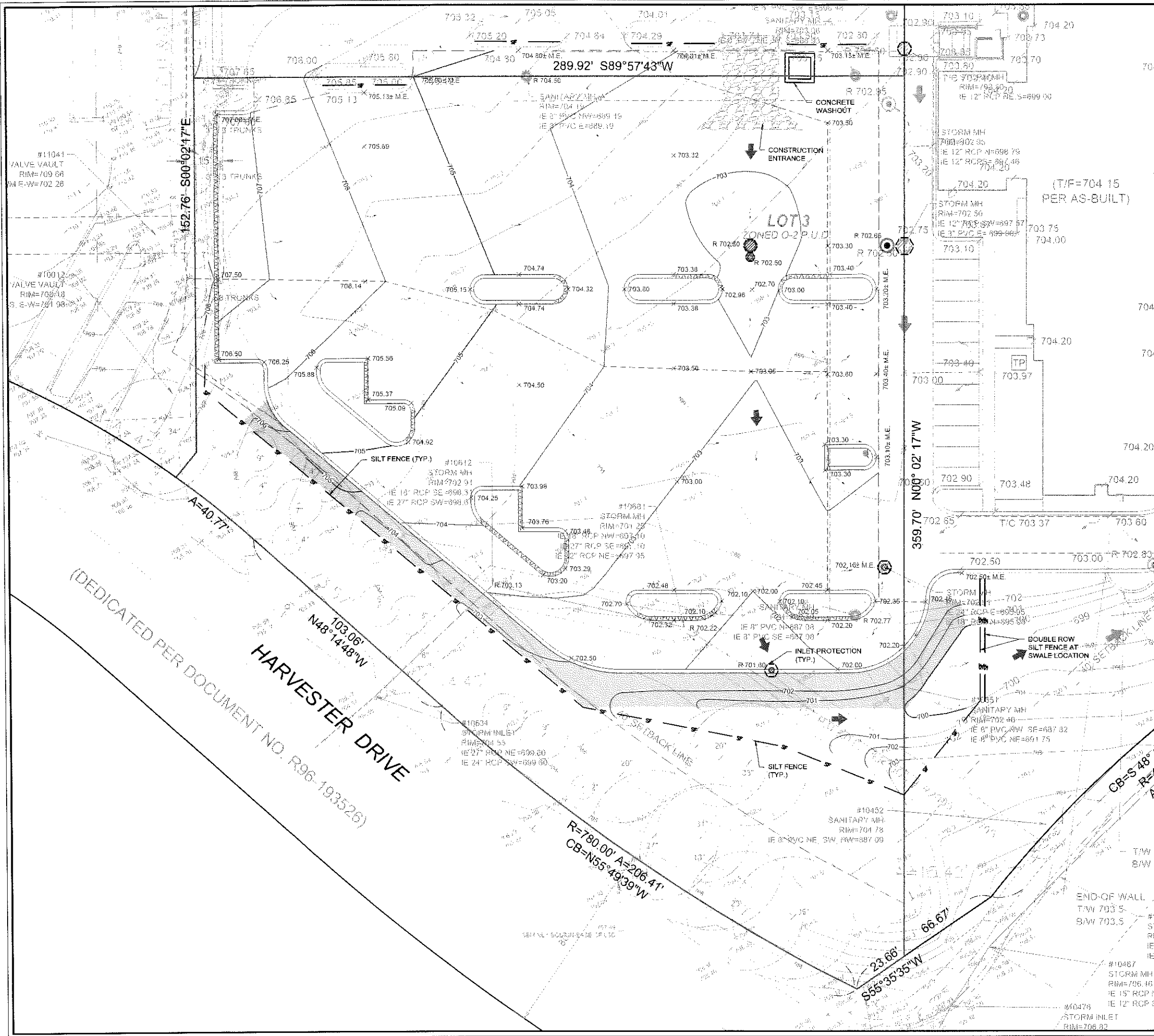
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DRAWING NO.

C4.0



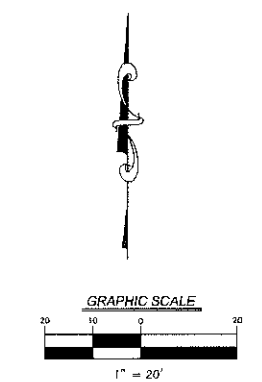




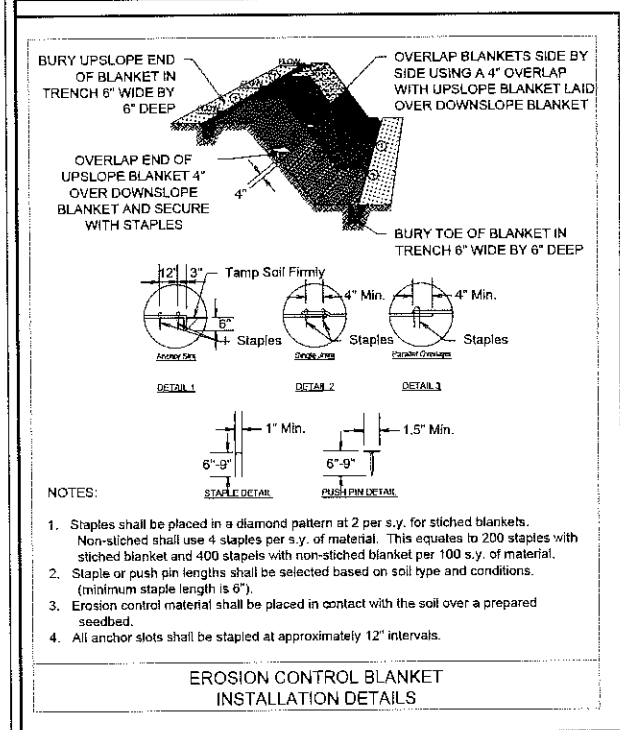
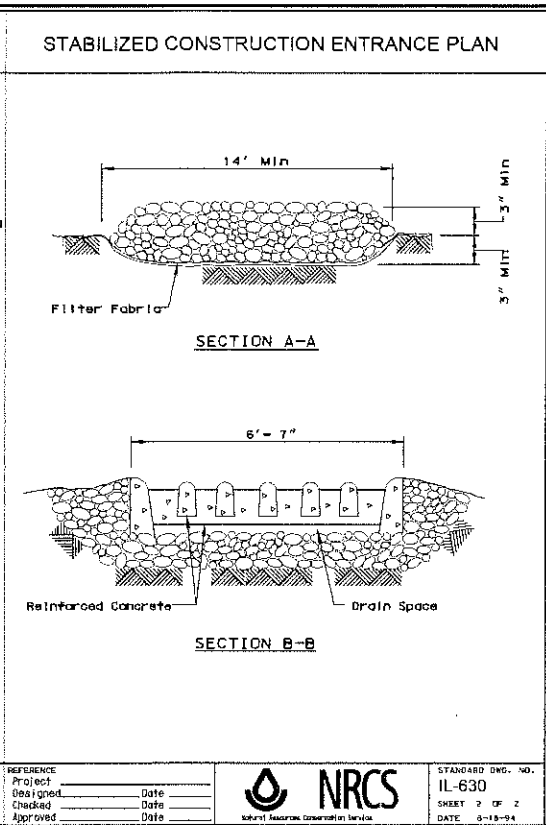
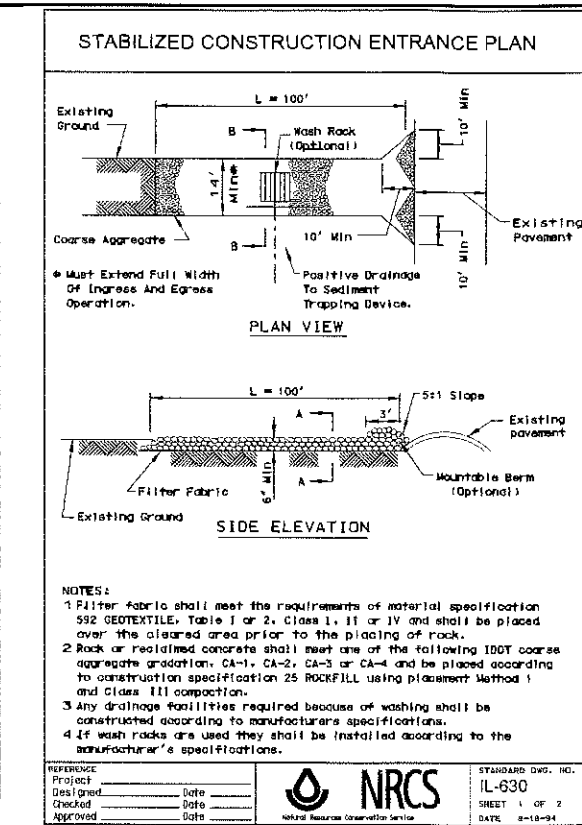
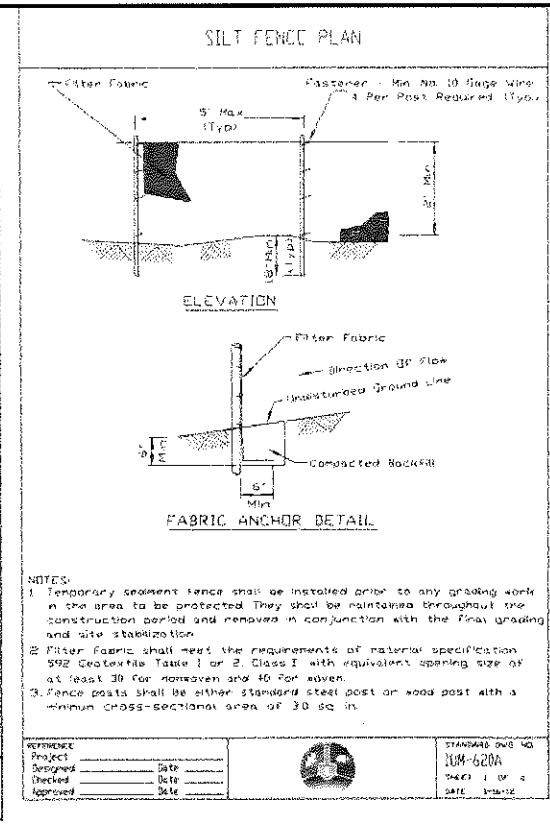
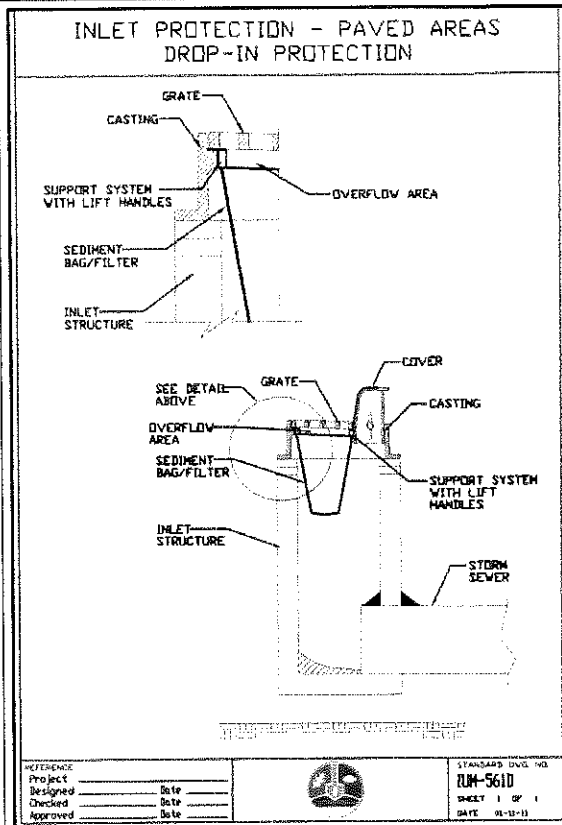
- NOTES:**
1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
  2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
  3. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL OPEN LID STRUCTURES. SEE INLET PROTECTION DETAIL ON SHEET C4.2.
  4. EROSION CONTROL BLANKET (ROLLMAX ERONET S150 OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF SWALES WHERE NOTED.
  5. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.
  6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY V3 COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
  7. EXISTING TREES TO BE PRESERVED AND PROTECTED. SEE LANDSCAPE PLANS FOR DETAILS.


**EROSION CONTROL LEGEND**

	INLET PROTECTION
	SILT FENCE
	EROSION CONTROL BLANKET



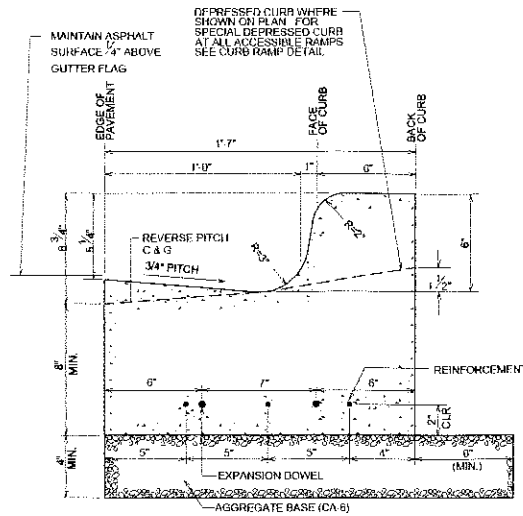
<b>EROSION CONTROL PLAN</b> <b>PARKING LOT EXPANSION</b> BURR RIDGE ILLINOIS	PROJECT NO. 15722 MARS	ORIGINAL ISSUE DATE: 07/01/19	REVISIONS	
	PROJECT MANAGER: RY	NO. DATE	DESCRIPTION	NO. DATE
	DESIGNED BY: RA			
	DRAWN BY: DB			
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DRAWING NO.	<b>C4.1</b>			



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<div></div>		<div>DRAWING NO.</div>		<div>C4.2</div>		<div>PROJECT NO. 15272.MARS</div>		<div>ORIGINAL ISSUE DATE: 07/01/19</div>		<div>REVISIONS</div>	
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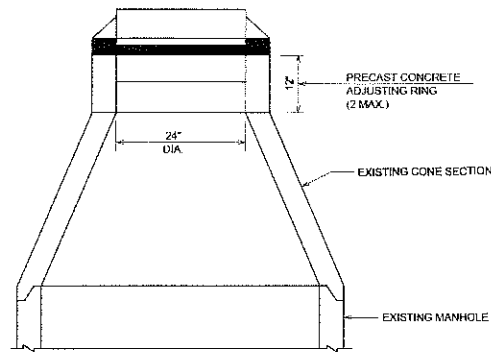




	RELATIVE ELEVATIONS	
	STANDARD PITCH	REVERSE PITCH
E/P	0.00	0.00
GUTTER FLAG	-1/4" (-0.021)	+1/4" (+0.021)
FLOW LINE	-1" (-0.083)	+1" (+0.083)
R/C	+5" (+0.417)	+7" (+0.583)

NOTES:

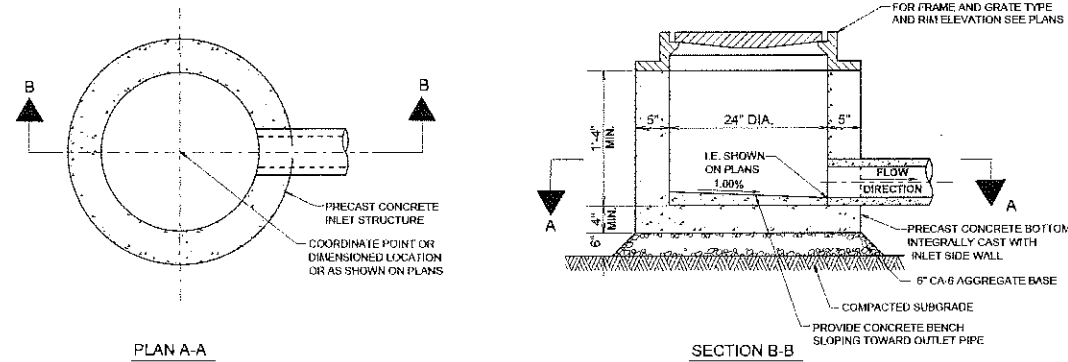
1. REINFORCEMENT, PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
2. EXPANSION JOINT, PLACE AT ENDS OF ALL RADI, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 40' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x16" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS (3/4" THICK BITUMINOUS FILLER MATERIAL).
3. CONTRACTION JOINT, PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
4. 2'-6" LONG TIE BAR ON 2'-4" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
5. PROVIDE 2 NO. 6x2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.



1. WHEN ADJUSTMENTS ARE NECESSARY, THEY'LL BE PERFORMED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED NON-HARDENING MASTIC (RUB-B-N-EX OR APPROVED EQUAL) TO A MAXIMUM HEIGHT OF TWELVE INCHES.
2. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT. APPLY A CONTINUOUS LAYER OF NON-HARDENING PREFORMED BITUMINOUS MASTIC MATERIAL (RUB-B-N-EX OR E-Z-STIK) TO EACH JOINT TO PREVENT INFLOW.
3. WHEN ADJUSTMENT HEIGHT EXCEEDS 12" MANHOLE RECONSTRUCTION IS REQUIRED.

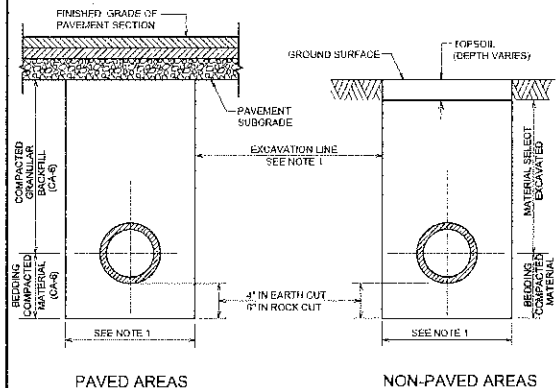
B6.12 CURB AND GUTTER

MANHOLE ADJUSTMENT DETAIL



NOTE

1. WHEN RIM ADJUSTMENTS ARE REQUIRED TO MATCH FINAL GRADE, THE ADJUSTMENT SHALL BE COMPLETED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED, NON-HARDENING MASTIC (RUB-B-N-EX OR APPROVED EQUAL). MAXIMUM HEIGHT ADJUSTMENT SHALL BE TWELVE INCHES.

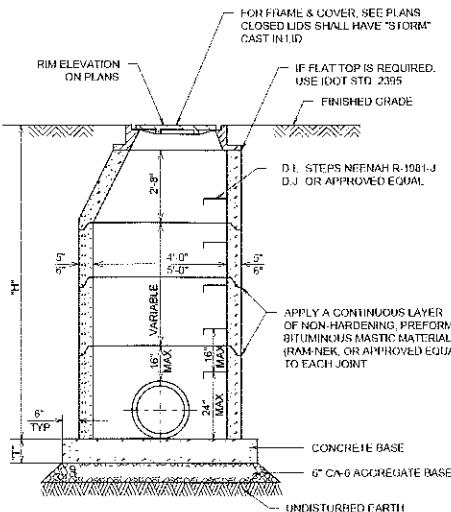


NOTES

1. EXCAVATION LINE PIPE SIZES UP TO AND INCLUDING 24" USE 1 D. PLUS 20" PIPE SIZES OVER 24" USE O.D. PLUS 24"
2. LIMITS OF TRENCH BACKFILL SHALL EXTEND 2' OUTSIDE ALL PAVED AREAS.

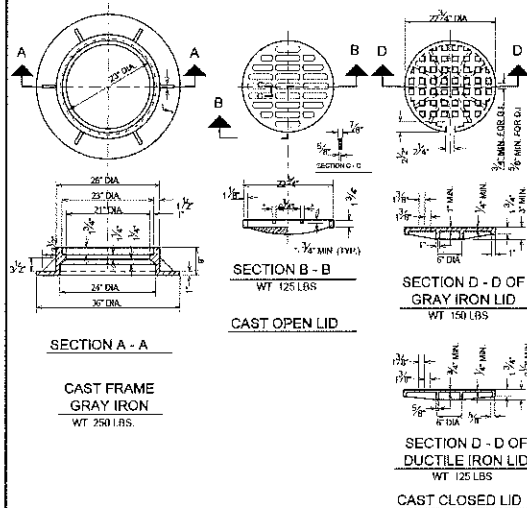
2' DIAMETER INLET - TYPE A

TRENCH BACKFILL SECTIONS FOR STORM SEWER



NOTES:

1. WHEN "H" EQUALS 12 FT. OR LESS, "T" = 8" FOR "H" OVER 12 FT. "T" = 10"
2. ADJUSTMENTS TO ELEVATION OF FRAME SHALL BE ACCOMPLISHED WITH PRECAST CONCRETE RINGS WITH A FULL MORTAR BED; MAXIMUM ADJUSTMENT - 12" USING A MAXIMUM OF 2 RINGS. NO MORE THAN ONE 2" ADJUSTMENT RING SHALL BE USED.
3. FOR COORDINATE LOCATION SEE NOTES FOR 2' DIA. INLET DETAIL - TYPE A.
4. THE FLAT SLAB TOP MAY BE USED IN LIEU OF THE TAPERED TOPS AT THE OPTION OF THE CONTRACTOR OR WHEN FIELD CONDITIONS PROHIBIT THE USE OF TAPERED TOPS.



4' AND 5' DIA. STORM MANHOLE

FRAME AND LIDS TYPE 1

CONSTRUCTION DETAILS

PARKING LOT EXPANSION

BURR RIDGE

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Woodridge, IL 60517  
800.774.9200 phone  
www.v3co.com



DRAWING NO.

C6.0

REVISIONS

ORIGINAL ISSUE DATE: 07/01/19

PROJECT NO. 15272.MARS

PROJECT MANAGER RW

DESIGNED BY: RA

DRAWN BY: DB

ILLINOIS

DESCRIPTION

NO. DATE

NO. DATE

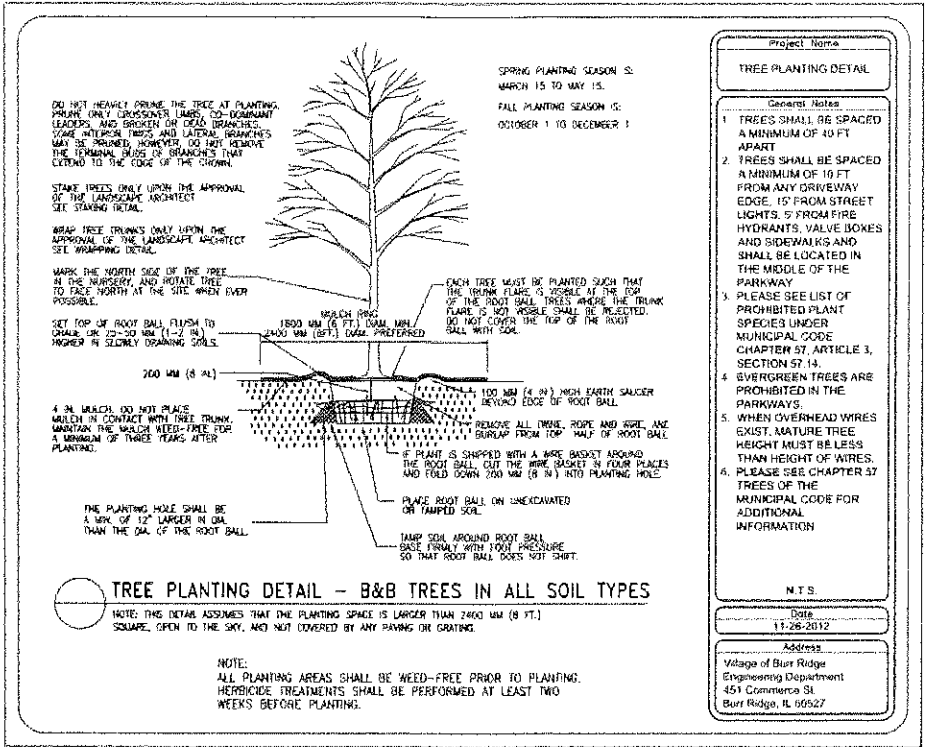
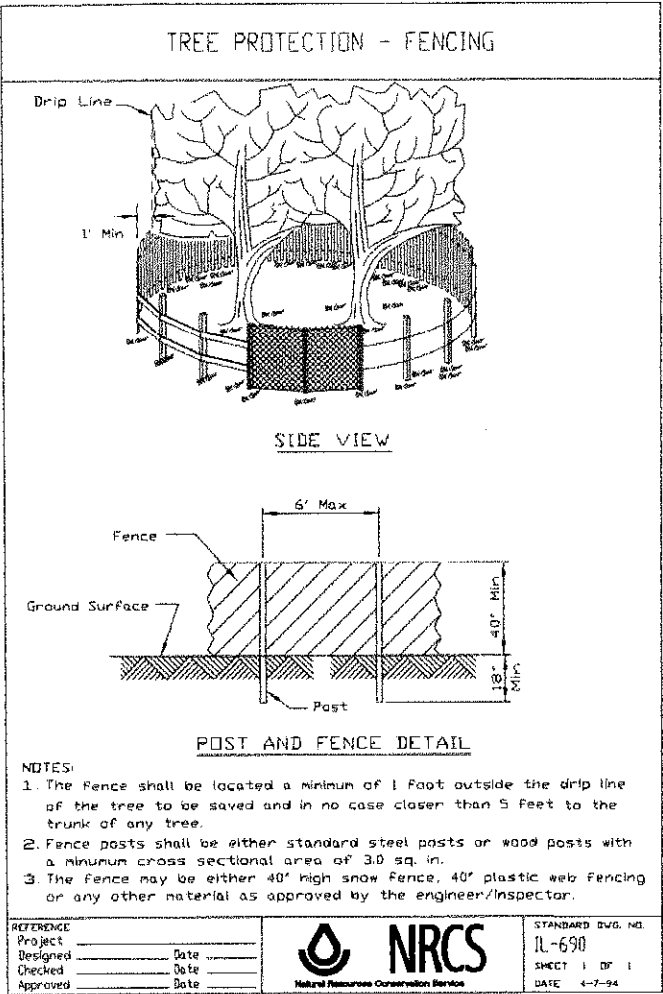
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PLANT SCHEDULE

Symbol	Scientific Name	Common Name	Size	Condition	Quantity	Comments
CG	<i>Quercus prinus</i>	JACKOBER	3" CAL	B & B	5	BRANCHED UP 6" MIN
GT	<i>Gleditsia triacanthos</i> (var. <i>inermis</i> )	SKYLINE HONEYLOCUST	3" CAL	B & B	3	BRANCHED UP 6" MIN
GD	<i>Gymnocladus dioica</i>	KENTUCKY COFFEE TREE	3" CAL	B & B	1	BRANCHED UP 6" MIN
UT	<i>Ulmus x Mortonii</i>	TRIUMPH ELM	3" CAL	B & B	4	BRANCHED UP 6" MIN
TOTAL					13	

PERMANENT TURF GRASS SEED MIX

TYPE OF SEED - GRASSES	COMMON NAME	lbs/ACRE
<i>Festuca arundinacea</i>	Tall Fescue	210
<i>Festuca rubra</i>	Creeping Red Fescue	70
<i>Poa pratensis</i>	Kentucky Bluegrass	35
<i>Poa trivialis</i>	Rough Bluegrass	35
GRASSES lbs PER ACRE		350
TYPE OF SEED - COVER CROP	COMMON NAME	lbs/ACRE
<i>Avena sativa</i>	Seed Oats	32
<i>Lolium multiflorum</i>	Annual Rye	6
COVER CROP lbs PER ACRE		38

\* ANY AREAS DISTURBED DUE TO CONSTRUCTION WILL BE RE-SEEDING WITH TURF GRASS UNLESS NOTED OTHERWISE ON THE PLANS.

PERMANENT SEEDING DATES

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
NON-IRRIGATED*												
IRRIGATED												
DORMANT SEEDING**												



IRRIGATION NEEDED DURING THIS PERIOD TO CONTROL EROSION AT TIMES OTHER THAN IN THE SHADED AREAS. USE MULCH.

\* LATE SUMMER SEEDING DATES MAY BE EXTENDED 5 DAYS IF MULCH IS APPLIED.

\*\* INCREASE SEEDING APPLICATION BY 50%.

LANDSCAPE PLANTING NOTES

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL PREVAIL.
- ALL DECIDUOUS TREES TO HAVE 8" MINIMUM MULCH RING, UNLESS OTHERWISE SHOWN.
- ALL SHRUB PLANTING AREAS TO BE COVERED WITH 3" LAYER OF SHREDDED HARDWOOD BARK MULCH. ALL GROUND COVER BEDS SHALL BE COVERED WITH 2" SHREDDED HARDWOOD BARK MULCH. MULCH SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE OBTAINED FROM SHAWMILL OR LUMBERING OPERATION. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTORS OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, AS SET FORTH BY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY THE ARCHITECT.
- ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY THE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- PEAT MOSS TO BE USED ON PROJECT SHALL BE DOMESTIC OR IMPORTED MATERIAL, CHOCOLATE BROWN IN COLOR AND COMPOSED OF PARTIALLY DECOMPOSED VEGETABLE MATERIAL. PEAT MOSS TO BE MAINLY ACIDIC IN CHARACTER AND SHALL BE APPROVED BY THE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS HE/SHE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
- BACKFILL FOR TREE PLANTING SHALL BE 75% APPROVED TOPSOIL AND 25% APPROVED PEAT MOSS. TOP LAYER OF BACKFILL SHALL BE 100% EXISTING TOPSOIL. A 5-10-5 ANALYSIS SLOW RELEASE FERTILIZER SHALL BE INCORPORATED INTO BACKFILL AT APPROVED RATES.
- TREE STAKING IS NOT REQUIRED AS PART OF INITIAL PLANTING. HOWEVER, STAKING WILL BE REQUIRED TO MAINTAIN ANY TREES WHICH BECOME OUT OF PLUMB.
- ALL BED EDGES SHALL BE NATURAL SPADE EDGE, 4" IN DEPTH WITH UNIFORM LINES AND CURVES.
- LANDSCAPE CONTRACTOR IS TO COORDINATE ALL WORK WITH OTHER TRADES TO MINIMIZE RISK OF DAMAGE TO SITE UTILITIES.
- PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM UTILITIES.
- A MINIMUM OF TEN (10) FOOT HORIZONTAL DISTANCE FROM LATERALS OR ANY OTHER SANITARY OR STORM SEWER FACILITIES (AS MEASURED FROM THE DRAIN LINE OF THE MAJOR TREE TO THE CENTER OF SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHTS-OF-WAY ARE AT RISK OF BEING DAMAGED OR REMOVED WITHOUT THE OBLIGATION OF REPLACEMENT.
- THE TOE OF SLOPE OF EARTHEN WOUNDING CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.
- RETAINING/DECORATIVE/ENTRANCE WALLS: CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.

LANDSCAPE DETAILS & SPECS

PARKING LOT EXPANSION

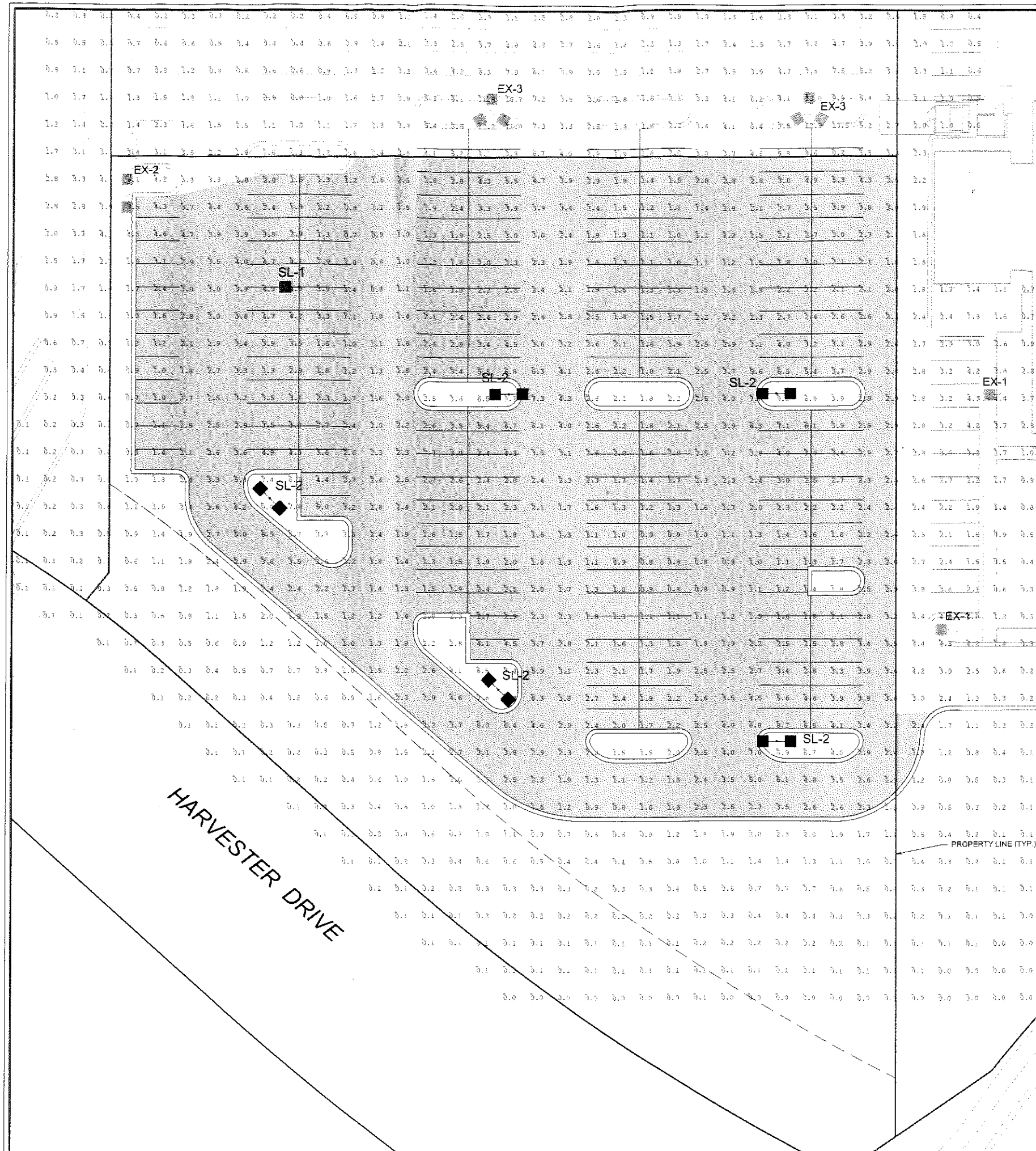
BURR RIDGE

7325 Janes Avenue  
Woodridge, IL 60517  
630.724.8200 phone  
www.v3co.com



DRAWING NO.

L1.1









CALCULATED LIGHTING LEVELS (FOOT CANDLES)					
	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
PROPOSED PARKING LOT PAVEMENT	2.58	7.9	0.8	3.23	9.88

NOTES:

1. THE LIGHT POLE LOCATIONS ON THIS PLAN SHOW THE RECOMMENDED PLACEMENT. ADJUSTMENTS TO THESE LOCATIONS MAY BE REQUIRED TO ACCOMMODATE SITE CONDITIONS.
2. THE PHOTOMETRIC PLAN WAS PREPARED USING THE PROPOSED AND EXISTING FIXTURES IN THE SCHEDULES ON THIS SHEET.

= PHOTOMETRIC CALCULATION AREA

EXISTING SITE LIGHTING FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	QUANT.	LLF	MOUNTING	CONFIG.
EX-2 	EXISTING AREA LIGHT (TO REMAIN), 250W M.H. 24'-0" MOUNTING HEIGHT.	N/A	0.70	SQUARE POLE (EX.), STRAIGHT STEEL, 2'-6" CONC. FOUND.	2 FIXTURES @ 180 DEG.
EX-1 	EXISTING AREA LIGHT (TO REMAIN), 157W LED 20'-0" MOUNTING HEIGHT.	N/A	0.90	SQUARE POLE (EX.), STRAIGHT STEEL, 3'-0" CONC. FOUND.	1 FIXTURE
EX-3  	EXISTING AREA LIGHT (TO REMAIN), 157W LED 20'-0" MOUNTING HEIGHT.	N/A	0.90	SQUARE POLE (EX.), STRAIGHT STEEL, 3'-0" CONC. FOUND.	3 FIXTURES @ 120 DEG.

PROPOSED SITE LIGHTING FIXTURE SCHEDULE							
SYMBOL	DESCRIPTION	QUANTITY	LLF	COLOR	MOUNTING	CONFIG.	CATALOG NO. & NOTES
SL-1 	EATON STREETWORKS AVM AREA LIGHT, F08 LED, 1000MA, 157 WATT, TYPE 4 DIST., 20'-0" MOUNTING HEIGHT.	1	0.90	4000K	17'-0" POLE, SQUARE STEEL, 3'-0" CONC. FOUND.	1 FIXTURE	AVM-F08-LED-E-U-T4-BZ
SL-2 	EATON STREETWORKS AVM AREA LIGHT, F08 LED, 1000MA, 157 WATT, TYPE 4 DIST., 20'-0" MOUNTING HEIGHT.	5	0.90	4000K	17'-0" POLE, SQUARE STEEL, 3'-0" CONC. FOUND.	2 FIXTURES @ 180 DEG.	AVM-F08-LED-E-U-T4-BZ

THESE THINGS  
WILL BECOME  
THEY WILL BE  
THEY WILL BE  
THEY WILL BE  
THEY WILL BE  
THEY WILL BE

## Streetworks

Executive Summary	Table of Contents
Introduction	Background
Objectives	Methodology
Results	Discussion
Conclusion	References
Appendix	

“世界之和平與否，全視人心之善惡而定。”

**Constitution**

- **Article 1**: "Every state shall have equal power in Congress."
- **Article 2**: "The executive power shall be vested in the President."
- **Article 3**: "The judicial power shall be vested in the Supreme Court and in the inferior courts."
- **Article 4**: "The federal government shall guarantee to every state a republican form of government."
- **Article 5**: "The Congress shall have the power to propose amendments to the Constitution."
- **Article 6**: "The Constitution, the laws of Congress, and the treaties made under the authority of the United States shall be the supreme law of the land."
- **Article 7**: "The ratification of the Convention shall be the act of the people."

OCES, the first international network of its kind, provides a unique opportunity for people to share information and resources, and to learn from each other. The network is a free, open, and accessible resource for people who are interested in the field of community development. The network is a free, open, and accessible resource for people who are interested in the field of community development.

[illegible]

**AVS/AVI**  
VISION SITE LE

1. 0 Lightnin'  
Gavin Sledge

AVS/AVI

**Section**  
 Concept of moving systems  
 offering second-order  
 transformations. System is  
 designed to ensure the high  
 speed, transforming offers  
 high-speed operation. Also  
 "first-order" system  
 converted into a second-  
 order system to meet  
 real-time requirements.  
 (See also 11-00000, 11-00001, 11-00002, 11-00003, 11-00004, 11-00005, 11-00006, 11-00007, 11-00008, 11-00009, 11-00010, 11-00011, 11-00012, 11-00013, 11-00014, 11-00015, 11-00016, 11-00017, 11-00018, 11-00019, 11-00020, 11-00021, 11-00022, 11-00023, 11-00024, 11-00025, 11-00026, 11-00027, 11-00028, 11-00029, 11-00030, 11-00031, 11-00032, 11-00033, 11-00034, 11-00035, 11-00036, 11-00037, 11-00038, 11-00039, 11-00040, 11-00041, 11-00042, 11-00043, 11-00044, 11-00045, 11-00046, 11-00047, 11-00048, 11-00049, 11-00050, 11-00051, 11-00052, 11-00053, 11-00054, 11-00055, 11-00056, 11-00057, 11-00058, 11-00059, 11-00060, 11-00061, 11-00062, 11-00063, 11-00064, 11-00065, 11-00066, 11-00067, 11-00068, 11-00069, 11-00070, 11-00071, 11-00072, 11-00073, 11-00074, 11-00075, 11-00076, 11-00077, 11-00078, 11-00079, 11-00080, 11-00081, 11-00082, 11-00083, 11-00084, 11-00085, 11-00086, 11-00087, 11-00088, 11-00089, 11-00090, 11-00091, 11-00092, 11-00093, 11-00094, 11-00095, 11-00096, 11-00097, 11-00098, 11-00099, 11-00100, 11-00101, 11-00102, 11-00103, 11-00104, 11-00105, 11-00106, 11-00107, 11-00108, 11-00109, 11-00110, 11-00111, 11-00112, 11-00113, 11-00114, 11-00115, 11-00116, 11-00117, 11-00118, 11-00119, 11-00120, 11-00121, 11-00122, 11-00123, 11-00124, 11-00125, 11-00126, 11-00127, 11-00128, 11-00129, 11-00130, 11-00131, 11-00132, 11-00133, 11-00134, 11-00135, 11-00136, 11-00137, 11-00138, 11-00139, 11-00140, 11-00141, 11-00142, 11-00143, 11-00144, 11-00145, 11-00146, 11-00147, 11-00148, 11-00149, 11-00150, 11-00151, 11-00152, 11-00153, 11-00154, 11-00155, 11-00156, 11-00157, 11-00158, 11-00159, 11-00160, 11-00161, 11-00162, 11-00163, 11-00164, 11-00165, 11-00166, 11-00167, 11-00168, 11-00169, 11-00170, 11-00171, 11-00172, 11-00173, 11-00174, 11-00175, 11-00176, 11-00177, 11-00178, 11-00179, 11-00180, 11-00181, 11-00182, 11-00183, 11-00184, 11-00185, 11-00186, 11-00187, 11-00188, 11-00189, 11-00190, 11-00191, 11-00192, 11-00193, 11-00194, 11-00195, 11-00196, 11-00197, 11-00198, 11-00199, 11-00200, 11-00201, 11-00202, 11-00203, 11-00204, 11-00205, 11-00206, 11-00207, 11-00208, 11-00209, 11-00210, 11-00211, 11-00212, 11-00213, 11-00214, 11-00215, 11-00216, 11-00217, 11-00218, 11-00219, 11-00220, 11-00221, 11-00222, 11-00223, 11-00224, 11-00225, 11-00226, 11-00227, 11-00228, 11-00229, 11-00230, 11-00231, 11-00232, 11-00233, 11-00234, 11-00235, 11-00236, 11-00237, 11-00238, 11-00239, 11-00240, 11-00241, 11-00242, 11-00243, 11-00244, 11-00245, 11-00246, 11-00247, 11-00248, 11-00249, 11-00250, 11-00251, 11-00252, 11-00253, 11-00254, 11-00255, 11-00256, 11-00257, 11-00258, 11-00259, 11-00260, 11-00261, 11-00262, 11-00263, 11-00264, 11-00265, 11-00266, 11-00267, 11-00268, 11-00269, 11-00270, 11-00271, 11-00272, 11-00273, 11-00274, 11-00275, 11-00276, 11-00277, 11-00278, 11-00279, 11-00280, 11-00281, 11-00282, 11-00283, 11-00284, 11-00285, 11-00286, 11-00287, 11-00288, 11-00289, 11-00290, 11-00291, 11-00292, 11-00293, 11-00294, 11-00295, 11-00296, 11-00297, 11-00298, 11-00299, 11-00300, 11-00301, 11-00302, 11-00303, 11-00304, 11-00305, 11-00306, 11-00307, 11-00308, 11-00309, 11-00310, 11-00311, 11-00312, 11-00313, 11-00314, 11-00315, 11-00316, 11-00317, 11-00318, 11-00319, 11-00320, 11-00321, 11-00322, 11-00323, 11-00324, 11-00325, 11-00326, 11-00327, 11-00328, 11-00329, 11-00330, 11-00331, 11-00332, 11-00333, 11-00334, 11-00335, 11-00336, 11-00337, 11-00338, 11-00339, 11-00340, 11-00341, 11-00342, 11-00343, 11-00344, 11-00345, 11-00346, 11-00347, 11-00348, 11-00349, 11-00350, 11-00351, 11-00352, 11-00353, 11-00354, 11-00355, 11-00356, 11-00357, 11-00358, 11-00359, 11-00360, 11-00361, 11-00362, 11-00363, 11-00364, 11-00365, 11-00366, 11-00367, 11-00368, 11-00369, 11-00370, 11-00371, 11-00372, 11-00373, 11-00374, 11-00375, 11-00376, 11-00377, 11-00378, 11-00379, 11-00380, 11-00381, 11-00382, 11-00383, 11-00384, 11-00385, 11-00386, 11-00387, 11-00388, 11-00389, 11-00390, 11-00391, 11-00392, 11-00393, 11-00394, 11-00395, 11-00396, 11-00397, 11-00398, 11-003

**Spawning**  
 After the water column has been cleared, the spawning fish will be released. The spawning fish will be released in the water column and will be released in the water column.

**Abstract**  
*See next column.*



**DEFINITION DATE**  
 10/20/2000  
 10/20/2000  
 PAGE WORKSHEET  
 10/20/2000/10/20/2000

[illegible]

$\frac{d}{dt} \left( \frac{1}{\sqrt{1-v^2/c^2}} \right) = \frac{v}{c^2} \frac{dv}{dt}$

[illegible]

**THEORY**  
**Conceptualization**  
 1. What is the purpose of the study?  
 2. What is the research question?  
 3. What is the hypothesis?  
 4. What is the significance of the study?  
 5. What is the scope of the study?


$$d^2\phi/dt^2 + \lambda\phi = 0 \quad \text{for } t \in [0, \infty) \quad \text{and} \quad \phi(0) = 1, \quad \phi(\infty) = 0.$$

1280 Temp. - 20 to 40°C  
 1280 Single Channel - 2, 4, 8, 16, 32, 64  
 2000 PPS DATA  
 Approximate 1000 Bytes  
 1280 1280 1280 1280  
 1280 1280 1280 1280

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100

F126

3151527215272 MAR

**GRAPHIC SCALE**

20 10 0

1" = 20'

PHOTOMETRIC PLAN  
PARKING LOT EXPANSION

7325 Janes Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
www.v3co.com



DRAWING NO.  
**P1.0**

not15272 mars dwg fil

E:\2015\15272\15272 MARS\Drawings\ACAD\15272\15272.dwg Sheet Drawings\15272.mars.dwg 6/28/2019



## FINDINGS OF FACT

### **FOR A SPECIAL USE PERMIT PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE**

Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission determine compliance with the following findings. In order for a special use to be approved, the petitioner must respond to and confirm each and every one of the following findings by indicating the facts supporting such findings.

- a The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

The proposed parking area meets the need of the adjacent office uses. In particular, the University of Chicago, an existing Estancia Executive Center ("EEC") tenant, is seeking to expand its presence at EEC. As there is limited off-site parking available, having additional on-site parking would benefit area residents and office users alike. In addition, the increased office presence will benefit area restaurants, retail stores, hotels, and other businesses.

- b The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The proposed amendment maintains the same high safety standards as was originally approved. The development will comply with all Village health and safety regulations. The parking lot use is consistent with the adjacent parking areas within EEC. Also, increased on-site parking increases public health and safety by reducing pedestrian traffic on adjacent roadways.

- c The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The proposed project is located on a site that is already approved for office use with in an already developed office complex. Parking is a use that is compatible with those adjacent uses. In addition, the currently vacant lot will be improved and landscaped. This will enhance the site and will in no way diminish or impair property values in the area.

- d The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed amendment will not impeder the normal and orderly development and improvement of the surrounding property. All adjacent parcels have already been improved as this parcel is the last remaining vacant lot in EEC.

e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

All utilities, access roads, drainage and other necessary facilities were established, approved, and constructed as part of the original EEC PUD approvals, as amended. The proposed parking lot will tie into those existing structures.

f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The site has been designed to handle the on-site flow. The prior development approvals provided for the location of the ingress and egress onto the adjacent public roads. This will not be altered. The existing access locations and public roads are sufficient to service the proposed use.

g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed use is consistent with the objective of the Official Comprehensive Plan as the proposed use complies with with the O-2 Zoning district that applies to the property.

h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

The site design is made to conform with the regulations of the Village, except as previously approved, identified in the attached plans, or as may be recommended by the Village.

(Please transcribe or attach additional pages as necessary)



**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

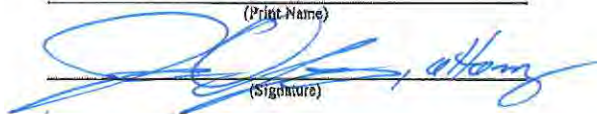
Street Address of Subject Property:

120 Harvester Drive

Property Owner or Petitioner:

Estancia UCP LLC

(Print Name)

  
(Signature)



 **NOTICE**  
Village of Burr Ridge

There will be a public hearing to  
consider zoning changes or approvals  
for this property.

For further information,  
please call or visit:

Burr Ridge Village Hall  
7660 County Line Road  
(630)654-8181, Extension

Ask for Information Re: Z-08-2019

Further details are available at:  
[www.burr-ridge.gov](http://www.burr-ridge.gov)  
(see Public Hearing/Plan  
Commission Agenda)







VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527  
(630) 654-8181 • Fax (630) 654-8269 • [www.burr-ridge.gov](http://www.burr-ridge.gov)

Gary Grasso  
Mayor

Karen J. Thomas  
Village Clerk

J. Douglas Pollock  
Village Administrator

July 10, 2019

**NOTICE OF PUBLIC HEARING**

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by James Olguin for an amendment to Planned Unit Development Ordinance #A-834-09-16 to permit a reconfiguration and expansion of a surface parking lot. The petition number and property address is **Z-08-2019: 120 Harvester Drive** and the Permanent Real Estate Index Numbers are: **09-25-200-025**.

The public hearing to consider this petition is scheduled for:

**Date:** Monday, August 5, 2019

**Time:** 7:00 P.M. or as soon thereafter as the matter may be heard.

**Location:** Village of Burr Ridge  
Board Room  
7660 South County Line Road  
Burr Ridge, IL 60527

Petition information is on file and available for public review online or in person at the Burr Ridge Village Hall. To request additional information, please contact:

Evan Walter, Assistant Village Administrator  
(630) 654-8181 ext. 2010  
[ewalter@burr-ridge.gov](mailto:ewalter@burr-ridge.gov)

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

Case Corp  
2211 York Rd  
Oak Brook, IL 605270000  
PIN 09244000110000

Kocovski, Dimce & Violet  
7320 S Hamilton Ave  
Burr Ridge, IL 605270000  
PIN 09252070150000

Sheppler, Clinton P  
7241 S Park Ave  
Burr Ridge, IL 605210000  
PIN 09252030030000

Schultz, William E  
7230 Elm Ave  
Burr Ridge, IL 605210000  
PIN 09252040080000

Case Corp  
2211 York Rd  
Oak Brook, IL 605210000  
PIN 09252000110000

,  
PIN 09252000150000

Syr Management Group Llc  
6824 Bantry Ct  
Darien, IL 605270000  
PIN 09244080030000

Tang, Lawrence & Molly  
7210 S Elm St  
Burr Ridge, IL 605270000  
PIN 09252040060000

Mc Nally, Thomas & P  
7249 S Park Ave  
Hinsdale, IL 605210000  
PIN 09252030040000

150 Burlington Llc  
7045 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244070020000

Bank Financial 011018  
7220 Hamilton Ave  
Burr Ridge, IL 605270000  
PIN 09252030070000

Pedersen, Oscar & Susann  
7250 Elm St  
Burr Ridge, IL 605270000  
PIN 09252040100000

Avgeris And Associates  
2500 S Highland Av 103  
Lombard, IL 601485381  
PIN 18301000050000

Michalski, Edward & Debra  
7259 S Park Ave  
Burr Ridge, IL 605210000  
PIN 09252030050000

Hinsdale Mgmt Corp  
21 Spinning Wheel Rd  
Hinsdale, IL 605212930  
PIN 18193000230000

Czerwien, Eward G  
7249 Hamilton  
Burr Ridge, IL 605210000  
PIN 09252040050000

Rfh Investments  
7055 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244080010000

Ambadipudi, R & S Pabbathi  
7209 Hamilton Ave  
Burr Ridge, IL 605270000  
PIN 09252040010000

Dc Commercial Llc  
7045 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244070050000

Doug Young  
18267 Casey Rd  
Grayslake, IL 600309709  
PIN 18301000080000

Murray, Robert J  
7300 S Elm St  
Hinsdale, IL 605210000  
PIN 09252080050000

Avgeris And Associates  
2500 S Highland Av 103  
Lombard, IL 601485381  
PIN 18301000060000

, 0  
PIN 18193000210000

Rath, Edward  
7229 Hamilton Ave  
Burr Ridge, IL 605270000  
PIN 09252040030000

Bruce Sirus  
124 Tower Dr  
Burr Ridge, IL 605275720  
PIN 18193000240000

Fair Oaks Pond Llc  
1801 N Mill St  
Naperville, IL 605270000  
PIN 09244060030000

Kwilinski, Shirley F  
7310 S Elm Ave  
Burr Ridge, IL 605270000  
PIN 09252080060000

Bjf Estancia Llc  
150 Harvestor Dr  
Burr Ridge, IL 605270000  
PIN 09252000200000

Burr Ridge Bank & Trust  
7020 County Ln Rd  
Burr Ridge, IL 605216993  
PIN 09244040050000

Starmark Properties Inc  
7035 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244060040000

Gbbr Llc  
346 S Catherine Ave  
La Grange, IL 605270000  
PIN 09244070030000

Fournier, Richard & J A  
7219 Park Ave  
Burr Ridge, IL 605270000  
PIN 09252030020000

Schulte Hospitality Group  
2120 High Wickham Pl  
Louisville, KY 605270000  
PIN 09244050310000

Brossard, P & V Muellner  
7329 S Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252080030000

Burr Ridge Park District  
10S474 Madison St  
Burr Ridge, IL 605210000  
PIN 09252120010000

Sartore, Michael  
7240 Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252030090000

,  
PIN 09252000180000

Du Page Forest Preserve  
  
Wheaton, IL 605210000  
PIN 09252000090000

Mechanical Contractors  
7065 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244060090000

Dimit, Gregory W  
7250 Hamilton  
Burr Ridge, IL 605210000  
PIN 09252030100000

Andrango, Luis Arturo  
7239 Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252040040000

Madsen, Scott T & Diane M  
7309 S Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252080020000

Duke Realty Lp  
P O Box 40509  
Indianapolis, IN 462400509  
PIN 18301000090000

,  
PIN 09252000150000

Trevink Capital Llc  
7045 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244070040000

Us Bank  
3815 S W Temple  
Salt Lake City, UT 605270000  
PIN 09252030010000

Kumskis, Scott  
7055 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244080040000

Linkowski, Robert W & A A  
7340 S Elm St  
Burr Ridge, IL 605210000  
PIN 09252080070000

101 Tower Dr  
101 Tower Drive  
Burr Ridge, IL 605275779  
PIN 18193000150000

North American Spine  
7075 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244060060000

Mensik, Frank  
7339 Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252080040000

,  
PIN 09252000190000

Michalski, Joseph & M  
7220 S Elm St  
Burr Ridge, IL 605210000  
PIN 09252040070000

,  
PIN 09252000170000

Kozak, Joseph M 66239-12  
7230 Hamilton Ave  
Hinsdale, IL 605210000  
PIN 09252030080000

Fantozzi, Remo & B Vavra  
7301 S Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252080010000

Powers, Pete & Rosemary  
7306 Chestnut Hills  
Burr Ridge, IL 605270000  
PIN 09252070140000

Straub, Michael  
467 81St St  
Burr Ridge, IL 605270000  
PIN 09252080140000

Robles, Trinidad & R E  
7210 Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252030060000

Adkins, Holly M  
7219 Hamilton Ave  
Burr Ridge, IL 605210000  
PIN 09252040020000

Folkerts, Jack W  
7210 Park Ave  
Burr Ridge, IL 605210000  
PIN 09252020060000

Veterans Parkway Llc  
7055 Veterans Blvd  
Burr Ridge, IL 605270000  
PIN 09244080020000

Enzor, Gregory S &Phyllis  
7240 S Elm St  
Burr Ridge, IL 605210000  
PIN 09252040090000

Bank Financial Fsb  
15W060 N Frontage Rd  
Burr Ridge, IL 605270000  
PIN 09244050300000

,  
PIN 09252000160000

Ludwig, Steven & Kelly  
7220 Park Ave  
Burr Ridge, IL 605270000  
PIN 09252020070000



# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

ADDRESS OF PROPERTY: 120 Harvester Drive PIN # 09-25-200-025

### GENERAL INFORMATION

PETITIONER: Estancia UCP LLC c/o James Olguin  
(All correspondence will be directed to the Petitioner)  
PETITIONER'S ADDRESS 15 Salt Creek Lane, Hinsdale Illinois 60521  
PHONE: 630-537-0943  
EMAIL: jim@buikemalaw.com  
PROPERTY OWNER: Estancia UCP LLC STATUS OF PETITIONER: Same  
OWNER'S ADDRESS: 150 Harvester Drive, Suite 100, Burr Ridge PHONE: 630-230-2023

### PROPERTY INFORMATION

PROPERTY ACREAGE/SQ FOOTAGE: 1.91 acres EXISTING ZONING: O-2 PUD  
EXISTING USE/IMPROVEMENTS: Property is currently vacant.  
SUBDIVISION: Estancia Executive Center

A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED

### DESCRIPTION OF REQUEST

PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):

☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

See Attached.

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

7/1/19

Date Petition is Filed





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**Z-11-2019: 800 Village Center Drive (Hassan); Requests an amendment to Planned Unit Development Ordinance #A-834-10-05 to add “coworking space” as a first-floor special use in Building 6 of the Village Center, a special use for a “coworking space” in Building 6 of the Village Center, and a revision to the exterior building footprint of Building 6 of the Village Center.**

**HEARING:**

August 5, 2019

**TO:**

Plan Commission  
Greg Trzupek, Chairman

**FROM:**

Evan Walter  
Assistant Village Administrator

**PETITIONER:**

Ramzi Hassan

**PETITIONER STATUS:**

Property Owner

**EXISTING ZONING:**

B-2 Business PUD

**LAND USE PLAN:**

Recommends Mixed-Uses

**EXISTING LAND USE:**

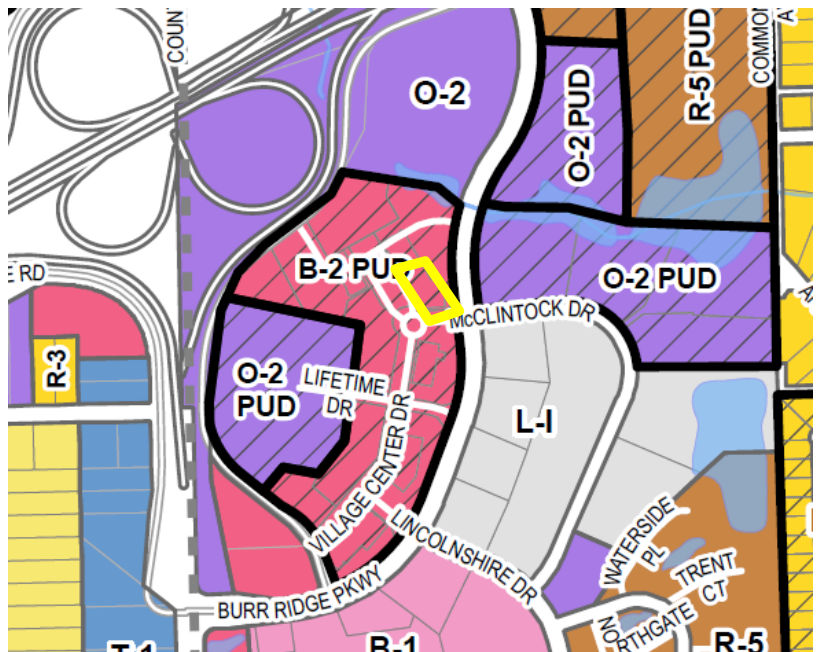
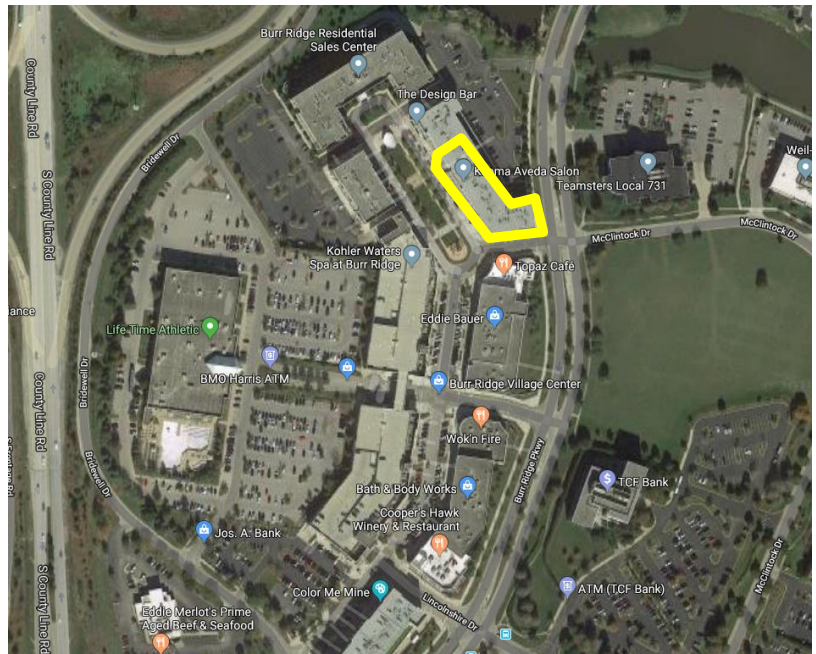
Lifestyle Center

**SITE AREA:**

20 Acres

**SUBDIVISION:**

Burr Ridge Village Center



The petitioner is Ramzi Hassan, co-owner of the Village Center mixed-use property in downtown Burr Ridge. The petitioner requests an amendment to Planned Unit Development Ordinance #A-834-10-05 to add “coworking space” as a first-floor special use in Building 6 of the Village Center, a special use for a “coworking space” in Building 6 of the Village Center, and a revision to the exterior building footprint of Building 6 of the Village Center. The purpose of the request is to permit Life Time Work, a coworking office company, to take occupancy of the southern portion of Building 6 of the Village Center. Life Time Work is a business venture of the parent company owning Life Time Fitness, who currently operates a health club nearby to the subject property.

### **Compatibility within Village Center PUD**

Per PUD Ordinance #A-834-10-05, the intent of the Village Center PUD is to create “a mixed-use town center with retail, residential, and office uses in a traditional pedestrian environment.” Included in the PUD is a master list of permitted and special retail and service uses in the first-floor of each of the seven mixed-use buildings within the Village Center, including “Offices open to the public and providing services directly to consumers i.e. real estate offices and travel agencies” (special use). The petitioner’s application describes Life Time Work as follows:

*“Life Time Work is a premium, shared workspace designed for established professionals, integrated with all the health and wellness benefits of world-class Life Time Athletic Clubs. Our members are Fortune 500 companies looking for a satellite location and independent professionals in search of a change of scenery, they are attracted to our dynamic, elegant and flexible workspaces that suit a variety of needs. From private offices to our library lounges, quality comes through an elevated experience at work.”*

A text amendment is required to add “coworking space” as a special use to the master list of permitted and special uses in Building 6, as no presently-listed use in Building 6 accommodates the proposed use.

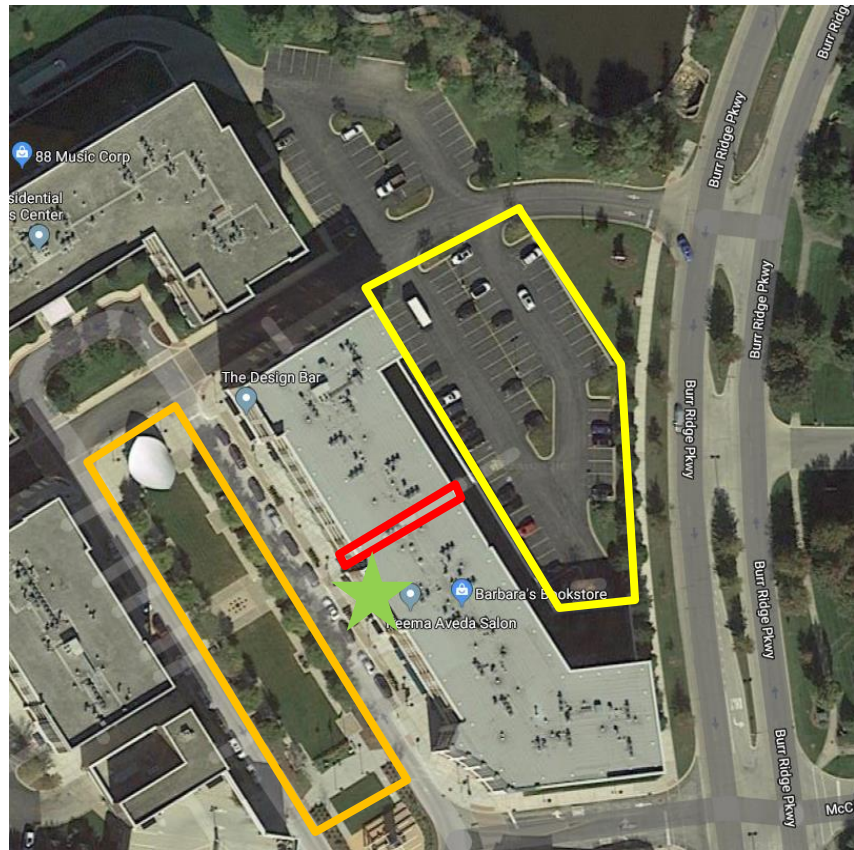
The petitioner has included a potential interior layout of the space showing the tentative maximum capacity of the space to be 284 seats. Staff notes that the submitted layout is tentative and does not represent a final layout plan. The petition states that Life Time Work would be publicly open between 9:00am-5:00pm, while members would have access to use the space outside of these times via a key fob system. The permitted hours of operation for all uses within the Village Center is restricted to 7:00am-10:00pm.

### **Land Use and Site Analysis**

The subject property is located in Building 6 of the Village Center, located on the northern end of the property and adjacent to the east of the Village Green. Building 6 contains first-floor commercial space as well as 60 residential condos located above the ground floor. The proposed tenant space within Building 6 of the subject property has yet to be commercially leased since the Village Center opened in 2007. Under the proposed tenant layout of Building 6, Life Time Work would lease approximately 20,000 square feet of space. If the petition is approved, all first-floor commercial space in Building 6 would be leased. Neither Keema Aveda Salon nor Design Bar will alter their footprints as part of this petition, while Barbara’s Bookstore would relinquish its space.

Life Time Work and Design Bar will have an entrance directly adjacent to parking on both sides of the building under the proposed tenant layout.

As part of the petition, the petitioner proposes to eliminate the first-floor, clear-span public access breezeway (outlined in red) through Building 6 connecting the east parking lot (outlined in yellow) to the Village Green (outlined in orange) and primary outdoor Building 6 residential entrance (depicted as green star).



events, such as Concerts on the Green. The purpose of this elimination is to connect currently-vacant space on either side of the breezeway; only by connecting the two vacant spaces would sufficient space be created to satisfy the minimum requirements for Life Time Work's space needs. Two primary issues have been identified by staff related to this proposed building amendment:

1. A utility closet housing the trash enclosure for all residents of Building 6 is located within the breezeway approximately halfway between the east lot and Village Center Drive. The residential trash receptacle at 850 Village Center is emptied five days per-week in the east parking lot. There is no specific policy mandating trash be emptied in the east lot. The breezeway also allows moving trucks and delivery vehicles be parked in the east lot while serving residents. If the breezeway were closed at the proposed location, all trash collection and delivery/moving trucks would either need to continue to park on the east side of the building, but with a longer walk to the residential entrance, or park along Village Center Drive. Pleasantview Fire District has stated that sufficient water access is available to the building whether the breezeway is open or closed, but has stated that keeping the breezeway open generally speeds the movement of personnel between the east lot and residential entrance when calls for service are received.
2. Building 6 of the Village Center includes 60 residential units within Building 6, which have access to 91 deeded parking spaces in a private underground garage accessible via the east lot; this equates to 1.52 spaces per unit. Residents of Building 6 may access additional spaces in the east lot, which is most directly connected to the residential entrance along Village Center Drive by the breezeway and is also used by employees and patrons of the Village Center. It is approximately 130 linear feet from the residential entrance along Village Center Drive to the nearest parking spaces in the east lot, which are designed to be

accessible spaces. If the breezeway were closed, the nearest parking spaces would then be located approximately 325 linear feet from the residential entrance near Design Bar in the northwest corner of the east lot. It should be noted that there are 70 parking spaces in the east lot.

### **Legal Analysis**

Upon examination of the Village Center plat of subdivision, staff did not find any record of a dedicated access easement through the breezeway. The east parking lot is included in Tract 6, while Building 6 is included in Tract 12. Excerpts from the property's recitals are as follows:

*Access and Parking. Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Tracts, a nonexclusive easement appurtenant to each Tract, upon, over and across the access and perimeter driveways and parking areas, including any parking decks, sidewalks, walkways, trailways and driveways of the Tracts but excluding any parking garage located within or upon any Residential Tract, all as shown and depicted on Exhibit A as the same may exist from time to time, for the purpose of providing the owner from time to time of each Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project*

*Residential Parking. Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Residential Tracts, a nonexclusive easement appurtenant to each Residential Tract, upon, over and across the parking areas of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each such Residential Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with use of the parking facilities, if any, located within each of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8; provided, however, Declarant may designate, from time to time, certain portions of the parking facilities within Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8 as reserved for use of employees of tenants and occupants of the Retail Tracts and Office Tracts, in which event no persons other than such employees may park in such designated areas.*

Full legal language related to access and parking for residents, retail, and office parking has been provided for context in Exhibit B.

### **Public Hearing History**

No public hearings have been held regarding 800 Village Center Drive or any portion of the space proposed to be occupied by Life Time Work within Building 6 of the Village Center.

### **Public Comment**

Staff received written statements opposing the petition from residents living in Building 6 as well as support for the use from residents of other properties in the Village Center. All written statements received by staff are included as Exhibit C.

### **Findings of Fact and Recommendation**

The petitioner has provided Findings of Fact which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission chooses to recommend a special use be granted subject to the amended PUD, it be done subject to the following conditions:



1. The special use shall be limited to Life Time Work in a manner consistent with the submitted business plan.
2. The special use shall be null and void should Life Time Work and its business entities or partners no longer operate the coworking space at 800 Village Center Drive within Building 6 of the Village Center.
3. Life Time Work shall be permitted to be open to the public between the hours of 7:00am-10:00pm, with private key-fob access granted only to customers outside of these hours.

If the Plan Commission chooses to recommend approval of the proposed revision of the exterior building footprint at Building 6 of the Village Center, staff recommends it be done subject to the following conditions:

1. The western access to the breezeway shall be closed to the public in such a manner that creates a consistent and aesthetic building elevation as well as allows for routine access to the utility closet.
2. Two additional accessible parking spaces shall be created in the east lot as close as is possible to the residential entrance at 850 Village Center Drive.

### **Appendix**

Exhibit A – Petitioner’s Materials

Exhibit B – Easements and Recitals

Exhibit C – Public Comment

# EXHIBIT A





## Library Tables & Lounge Space



# Meetings at Life Time Work





# Lounge Space & Resident Offices





## Phones Rooms & Solarium



# Patio



# Life Time Work Introduction

Life Time Work is a premium, shared workspace designed for established professionals, integrated with all the health and wellness benefits of world-class Life Time Athletic Clubs.

Our members are Fortune 500 companies looking for a satellite location and independent professionals in search of a change of scenery, they are attracted to our dynamic, elegant and flexible workspaces that suit a variety of needs. From private offices to our library lounges, quality comes through an elevated experience at work.

## REAL ESTATE REQUIREMENTS

- Situated in prime – LIVE WORK PLAY urban & suburban locations
- Connected with, adjacent or approximate to new and existing Life Time Clubs
- Actively pursuing 20,000-50,000SF locations for an accelerated rollout schedule - 50 locations in 5 years
- Key Space Attributes: contiguous space, 5,000SF minimum floor plate, high window to floor ratio, 10-20 year term
- 6 Locations already confirmed for 2019



# Life Time Work Offerings

## Memberships:

RESIDENT Membership – dedicated space

*Office Resident*

A private enclosed office,  
for you and your team.

**\$659**/Desk/Month

*Open Resident*

A dedicated desk  
in an open plan  
seating area.

**\$549**/Desk/Month

LOUNGE Membership – flexible

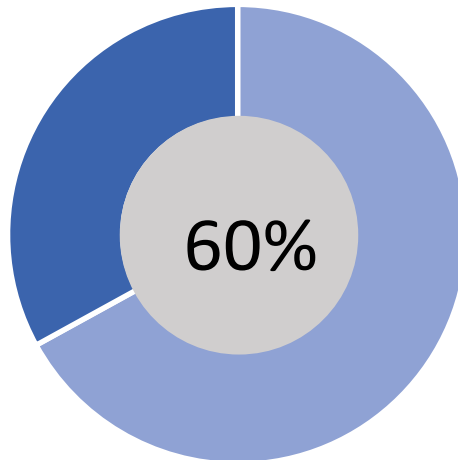
A flexible workspace in the open plan  
Lounge with access to a variety of  
environments that support a range of  
workstyles.

**\$399**/Month

\* Life Time Work Ardmore, PA pricing includes a Diamond Premiere Club membership

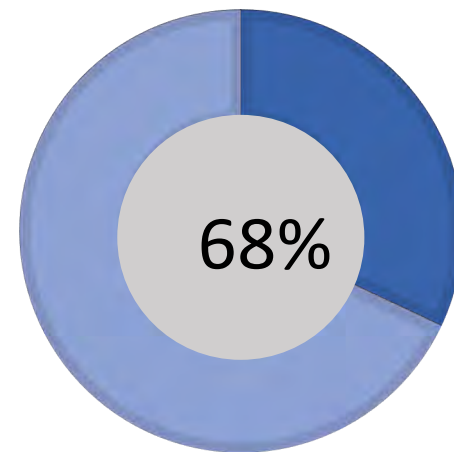
# Life Time Work Members

Gender



60% Male 40% Female

Member/Non Member



68% Non-Member 32% Member

Average Age: 43

Diverse Industry Mix:

Real Estate, Technology, Legal, Finance, Recruitment, Health & Medical

# Life Time Work Members: Established, Professional & Diversified



Senior Product &  
Marketing Manager -  
Marketo/San  
Francisco



Director of Global  
Events & Programming  
for NetDiligence -  
Cyber Security



COO Venmo



Executive Coach &  
Strategic Advisor –  
Creativity, Personal  
Mastery, Wharton MBA



Lawyer, Kennerly  
Loutey - Catastrophic  
injury cases



Sports Management  
Kobe Bryant, etc...



Attorney at law -  
Employment  
professional



EOS Ventures,  
ConVista –  
Healthcare and  
financial technology



CEO Neue Agency  
Video content  
creation &  
distribution



# Life Time Work Team



## **Silvana Carpinito Life Time Work Manager**

Quintess Collection – Luxury residential membership sales

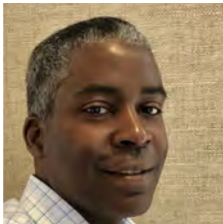
Embassy Suites – Ran Catering and Hotel P&L



## **Ashley Bracey - Life Time Work Specialist**

Office Director for a Pennsylvania Congressman

MBA Villanova



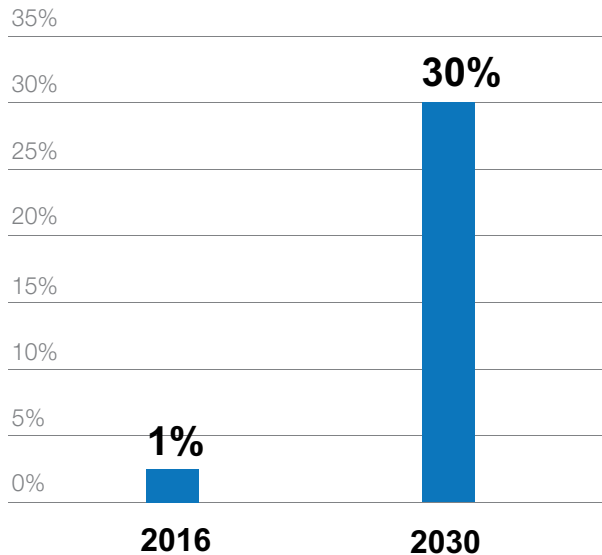
## **Fred Handy - Life Time Work Tech Genius**

Apple Expert & Tech Genius

AT&T Manager Customer Support

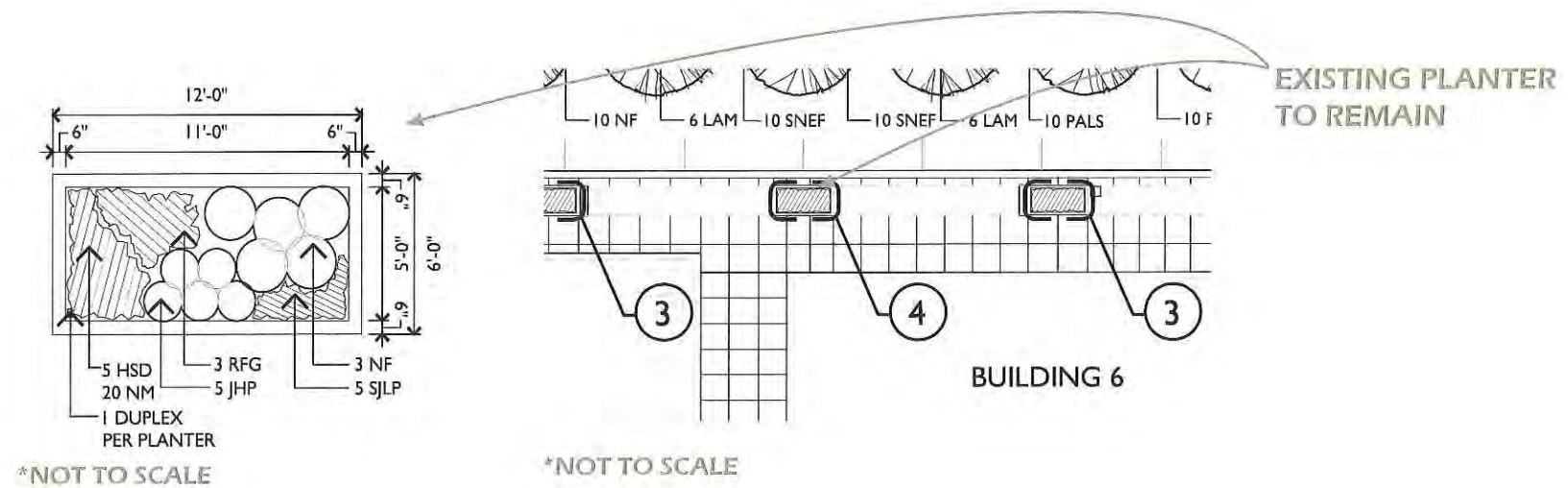
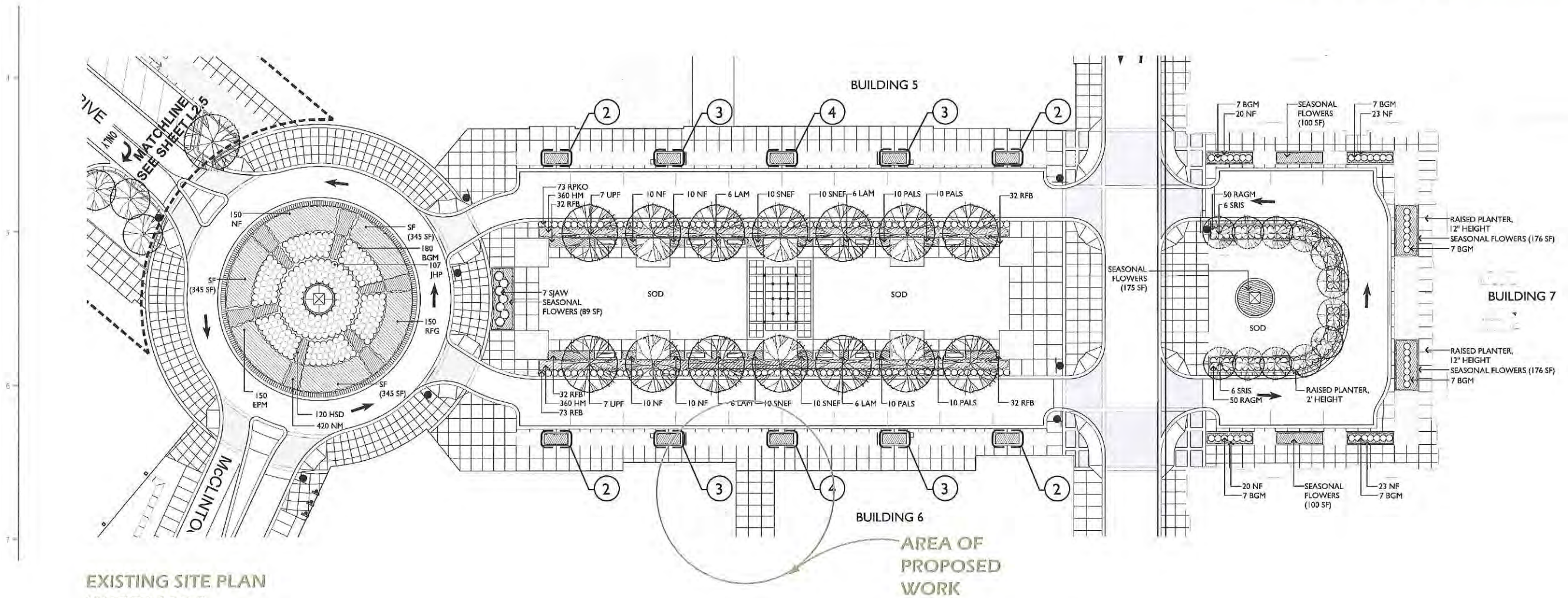
# Industry Opportunity

**Estimated volume of flexible workspace as percentage of all office space in U.S.**



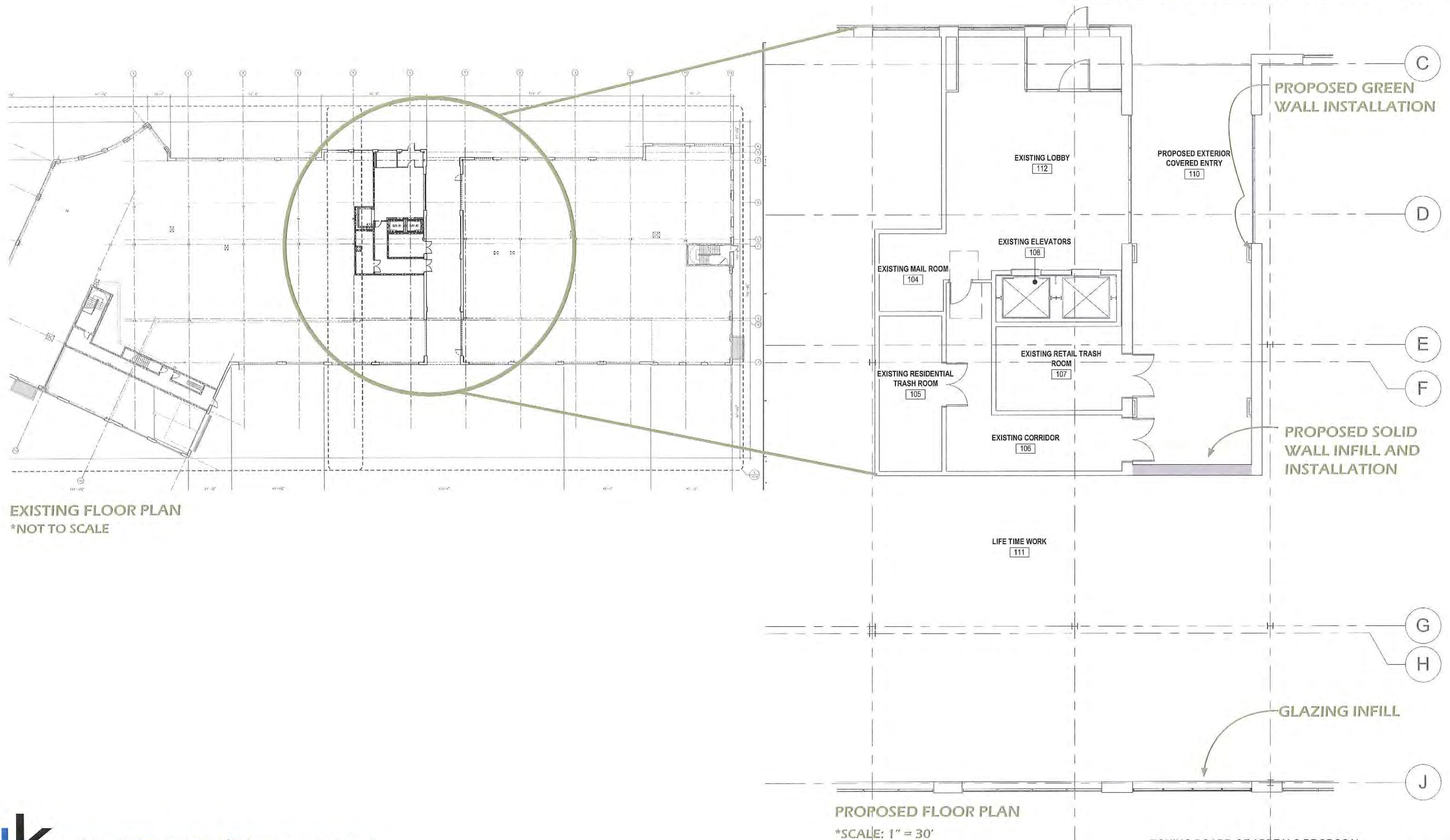
- Highly fragmented, fast growing market with strong fundamentals
- **40%** of corporate occupiers are either using or considering using coworking – broad market adoption.
- **31%** of the US workforce working remotely 4-5 days/week in 2016 (46-63M people, 30% increase in 4 years).
- **40%** of US workforce will be engaged in the freelance, independent economy by 2020.
- **75%** of the workforce will be millennials by 2030.

EXISTING SITE & LANDSCAPING PLAN





## EXISTING & PROPOSED FLOOR PLANS





NORTHEAST ELEVATION - PROPOSED GLAZING INFILL

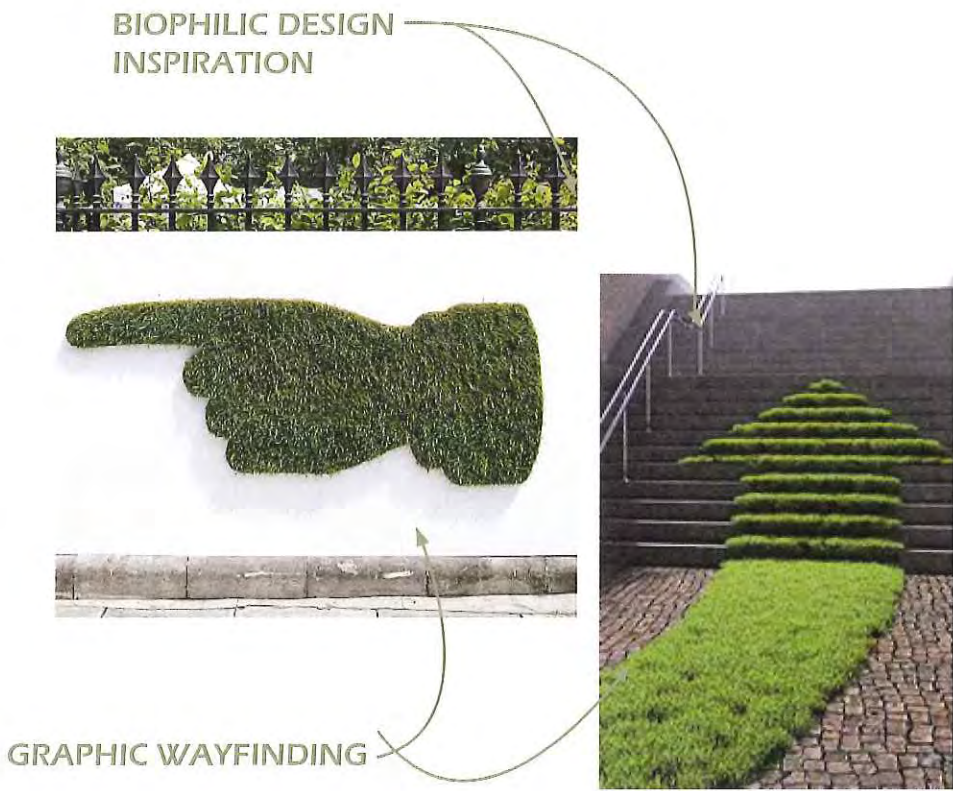


REMOVAL OF EXISTING  
SIGNAGE

GLAZING INFILL TO  
MATCH EXISTING



PROPOSED ENCLOSED BREEZEWAY



EXISTING FACADE





# LIFE TIME WORK - BURR RIDGE - FIT PLAN

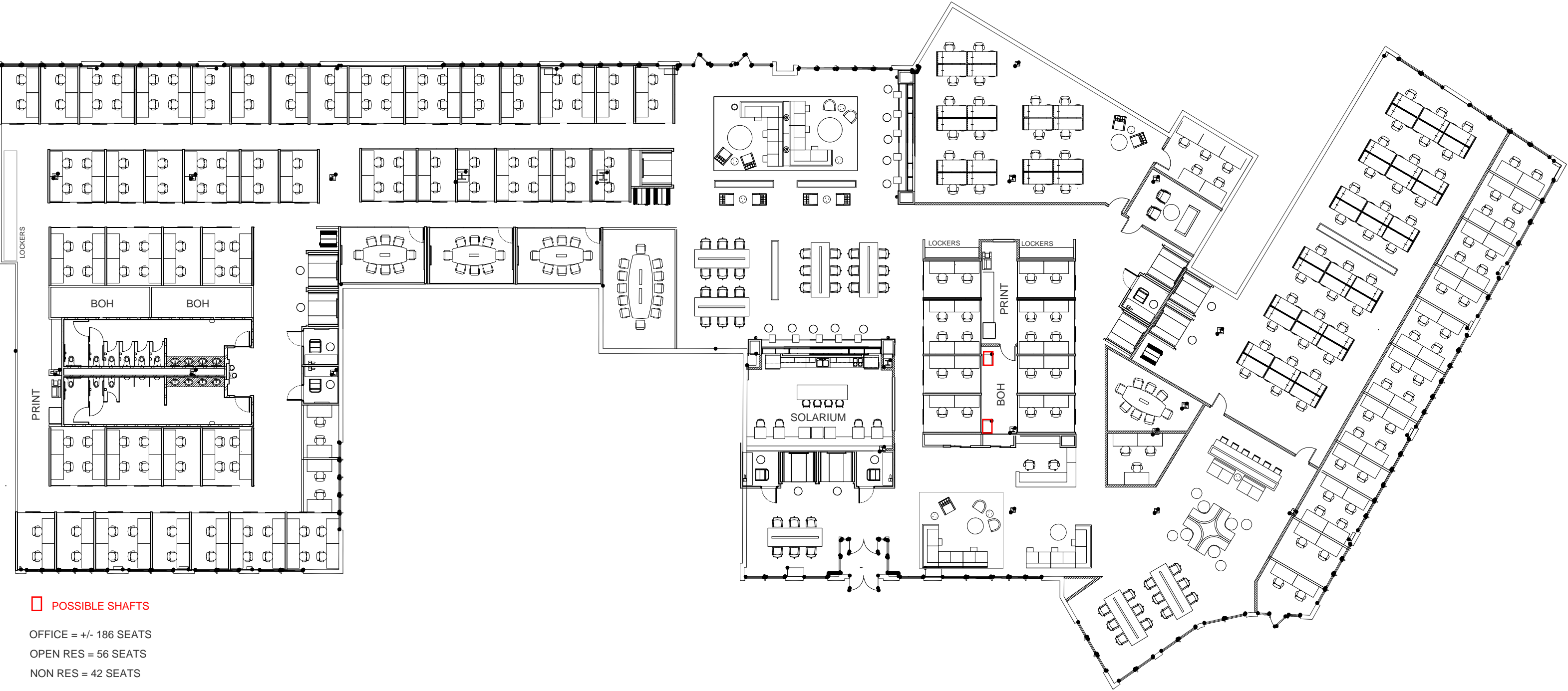


POSSIBLE SHAFTS

OFFICE = +/- 186 SEATS  
OPEN RES = 56 SEATS  
NON RES = 42 SEATS

NOOK = 9  
QUIET ROOM = 5  
CONFERENCE = 5  
LARGE CONFERENCE = 1

# LIFE TIME WORK - BURR RIDGE - FIT PLAN



POSSIBLE SHAFTS

OFFICE = +/- 186 SEATS  
OPEN RES = 56 SEATS  
NON RES = 42 SEATS

NOOK = 9  
QUIET ROOM = 5  
CONFERENCE = 5  
LARGE CONFERENCE = 1



Findings of Fact – Special Use  
Burr Ridge Zoning Ordinance

Address:

800 Village Center Drive

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.  
*Life Time Work combines worksharing space with health memberships for the pursuit of a healthy and fulfilling worklife.*
- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.  
*The worksharing concept is not detrimental to the community.*
- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.  
*The Life Time Work concept will attract like minded, driven individuals to the Burr Ridge community.*
- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.  
*The Life Time Work concept will add to the community without expanding on late night activities.*
- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided. *Yes.*
- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.  
*Yes.*
- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.  
*Urban Professionals will opt to stay local for their flexible workspace needs and forgo the long commute to the city.*
- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.  
*Yes.*





# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

### GENERAL INFORMATION (to be completed by Petitioner)

PETITIONER (All correspondence will be directed to the Petitioner): Ramzi Hassan  
STATUS OF PETITIONER: Owner  
PETITIONER'S ADDRESS: 14400 S. John Humphrey Drive, Suite 200,  
ADDRESS OF SUBJECT PROPERTY: 800 Village Center Drive Orland Park IL  
60462  
PHONE: (708) 923-6312  
EMAIL: ramzi@edwardsrealtyco.com  
PROPERTY OWNER: BRVC Owner, LLC  
PROPERTY OWNER'S ADDRESS: Same as Petitioner's Address PHONE: (708) 923-6312  
PUBLIC HEARING REQUESTED: ☒ Special Use ☐ Rezoning ☐ Text Amendment ☐ Variation(s)

### DESCRIPTION OF REQUEST:

Premium workspaces designed to provide a variety  
of work space options for individuals to teams.

### PROPERTY INFORMATION (to be completed by Village staff)

PROPERTY ACREAGE/SQ FOOTAGE: 21.373 EXISTING ZONING: B2 Planned  
EXISTING USE/IMPROVEMENTS: Village Center - Retail, restaurants, Office and  
Unit Development +  
residential condos  
SUBDIVISION: Burr Ridge Village Center  
PIN(S) # 18-30-300-050-0000

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

Date of Filing

7-10-19





**VILLAGE OF BURR RIDGE  
PLAN COMMISSION AND  
ZONING BOARD OF APPEALS**

**Consent to Install Public Notice Sign**

**The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.**

Street Address of Subject Property:

800 Village Center Drive

Property Owner or Petitioner:

Ramzi Hassan

(Print Name)

(Signature)



Jul 15, 2019 2:03:26 PM  
820 Village Center Drive  
Burr Ridge  
Cook County  
Illinois

800

NOTICE OF  
PUBLIC HEARING

The Board of Directors of Burr Ridge, Illinois, is hereby giving notice of a public hearing to be held on the subject of a proposed ordinance to amend the Village Code to allow for the use of the Village Center as a "Community Center" for the purpose of providing a place for the Village Center to be used as a "Community Center" for the purpose of providing a place for the Village Center to be used as a "Community Center".

Date: Monday, August 13, 2018  
Time: 7:00 PM to 9:00 PM  
Location: Burr Ridge Village Center  
Address: 820 Village Center Drive  
Burr Ridge, Illinois 60015

Any person who wishes to speak at the public hearing should appear at the Village Center at the time and place specified above and inform the Village Administrator of their intent to speak.

For more information, please contact the Village Administrator at 630.887.8841.

**BR BURR RIDGE**  
VILLAGE CENTER

For leasing, contact: 630.887.8841 | [shopburrridge.com/info/leasing](http://shopburrridge.com/info/leasing)



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VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527  
(630) 654-8181 • Fax (630) 654-8269 • [www.burr-ridge.gov](http://www.burr-ridge.gov)

Gary Grasso  
Mayor

Karen J. Thomas  
Village Clerk

J. Douglas Pollock  
Village Administrator

July 15, 2019

**NOTICE OF PUBLIC HEARING**

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by request by Ramzi Hassan for an amendment to Planned Unit Development Ordinance #A-834-10-05 to add "coworking space" as a first-floor special use in Building 6 of the Village Center, a special use for a "coworking space" in Building 6 of the Village Center, and a revision to the exterior building footprint of Building 6 of the Village Center. The petition number and property address is **Z-11-2019: 800 Village Center Drive** and the Permanent Real Estate Index Number is: **18-30-300-054**.

A public hearing to consider this petition is scheduled for:

**Date:** Monday, August 5, 2019  
**Time:** 7:00 P.M. or as soon thereafter as the matter may be heard.  
**Location:** Village of Burr Ridge  
Board Room  
7660 South County Line Road  
Burr Ridge, IL 60527

Petition information is on file and available for public review online or in person at the Burr Ridge Village Hall. To request additional information, please contact:

Evan Walter, Assistant Village Administrator  
(630) 654-8181 ext. 2010  
[ewalter@burr-ridge.gov](mailto:ewalter@burr-ridge.gov)

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Tuesday preceding the public hearing.



S + O Aatel PO Box 267 Westmont, IL 60559	Winkle Lee 850 Village Center Dr. #317 Burr Ridge, IL 60527	C + S Prosek 8218 Kathryn Court Burr Ridge, IL 60527
P. Jepsen 850 Village Center Dr. #308 Burr Ridge, IL 60527	Christine Randin 250 E. Pearsen St. #3203 Chicago, IL 60611	Samuel Basilous 529 Lisk Avenue Staten Island, NY 10303
Jovic 7920 Deer View Ct. Burr Ridge, IL 60527	Kathleen Kaszka 850 Village Center Dr. #319 Burr Ridge, IL 60527	Gregory Schultz 7900 Cass Avenue Darien, IL 60527
J Kuksta 850 Village Center Dr. #310 Burr Ridge, IL 60527	Sharma PO Box 450 Palos Heights, IL 60463	Williams Kalnes 850 Village Center Dr. #413 Burr Ridge, IL 60527
Wesley Tate 850 Village Center Dr. #311 Burr Ridge, IL 60527	Nick Simov 850 Village Center Dr. #321 Burr Ridge, IL 60527	Richard Michalak 850 Village Center Dr. #414 Burr Ridge, IL 60527
Norbert Kuksta 850 Village Center Dr. #312 Burr Ridge, IL 60527	James Chesniak 850 Village Center Dr. #404 Burr Ridge, IL 60527	Diane Vivo 850 Village Center Dr. #415 Burr Ridge, IL 60527
Anthony Formato 5236 Victor St. Downers Grove, IL 60515	P + A Sevs 850 Village Center Dr. Burr Ridge, IL 60527	Perm Sharma 505 Ambriance Drive Burr Ridge, IL 60527
Vijaya Sarma 7707 Hamilton Avenue Burr Ridge, IL 60527	Allan Thom 850 Village Center Dr. #406 Burr Ridge, IL 60527	850 BR LLC 2500 S. Highland Ave. Lombard, IL 60148
David Atkenson 14640 John Humphrey Drive Orland Park, IL 60462	George Gianakas 9320 W. 122 <sup>nd</sup> St. Palos Park, IL 60464	Marwan Kasi 850 Village Center Dr. #418 Burr Ridge, IL 60527
Jason Nash 850 Village Center Dr. #316 Burr Ridge, IL 60527	John Vanney 131 Rancho Mirage Dr. Kissimmee, FL 34759	Kumod Barman 9311 Tandragee Dr. Orland Park, IL 60462



Paul Walk 36 Old Mill Lane Burr Ridge, IL 60527	Indigo Management 7223 Route 83 PMB 208 Willowbrook, IL 60527	C. Boccmmini 850 Village Center Dr. #218 Burr Ridge, IL 60527
Canino 850 Village Center Dr. #202 Burr Ridge, IL 60527	Nancy Segretti 850 Village Center Dr. #210 Burr Ridge, IL 60527	Vincenzo Marino 850 Village Center Dr. #203 Burr Ridge, IL 60527
R. Silekis 850 Village Center Dr. #211 Burr Ridge, IL 60527	Silvia Lee 850 Village Center Dr. Burr Ridge, IL 60527	Amartit Singh 850 Village Center Dr. #204 Burr Ridge, IL 60527
Current Resident 850 Village Center Dr. #212 Burr Ridge, IL 60527	Dominic Altobelli 850 Village Center Dr. #220 Burr Ridge, IL 60527	Jerry Simmons 850 Village Center Dr. #205 Burr Ridge, IL 60527
E. Carnevale 850 Village Center Dr. #213 Burr Ridge, IL 60527	Alice Martin 6115 Timber Ridge Ct. Burr Ridge, IL 60527	Michael Yost 850 Village Center Dr. #206 Burr Ridge, IL 60527
Janet Plecki 850 Village Center Dr. #214 Burr Ridge, IL 60527	Ashot Kohari 850 Village Center Dr. #301 Burr Ridge, IL 60527	Evaldas Galentas 850 Village Center Dr. #207 Burr Ridge, IL 60527
Sheela Singh 9457 Fallingwater Dr. Burr Ridge, IL 60527	Michalak 850 Village Center Dr. #208 Burr Ridge, IL 60527	Ather Nizam 401 Tamerton Parkway Burr Ridge, IL 60527
Francisco Cervantes 850 Village Center Dr. #304 Burr Ridge, IL 60527	Tracy Schoppen 850 Village Center Dr. #216 Burr Ridge, IL 60527	Devindra Sharma 6625 Manor Dr. Burr Ridge, IL 60527
Kil Nam and Heega Kim 5623 Garfield Avenue Hinsdale, IL 60527	Real Estate 911 114 Shore Drive Burr Ridge, IL 60527	Gould 450 Village Center Dr. #310 Burr Ridge, IL 60527
Jelinek 450 Village Center Dr. #403 Burr Ridge, IL 60527	Hurka 450 Village Center Dr. #415 Burr Ridge, IL 60527	Lee 450 Village Center Dr. #311 Burr Ridge, IL 60527



Bartolome 450 Village Center Dr. #404 Burr Ridge, IL 60527	Michalski 450 Village Center Dr. #416 Burr Ridge, IL 60527	Santillo 450 Village Center Dr. #312 Burr Ridge, IL 60527
Henning 450 Village Center Dr. #405 Burr Ridge, IL 60527	Broucek 450 Village Center Dr. #417 Burr Ridge, IL 60527	Rola 450 Village Center Dr. #313 Burr Ridge, IL 60527
Chang 9550 Pacific Ct. Burr Ridge, IL 60527	Burritz Real Estate 8403 Oak Knoll Dr. Burr Ridge, IL 60527	Nuccio 7961 Creekwood Dr. Burr Ridge, IL 60527
Jankowski 4809 Grand Ave. Western Springs, IL 60558	Rasimaviciote 450 Village Center Dr. #410 Burr Ridge, IL 60527	Murphy 450 Village Center Dr. #316 Burr Ridge, IL 60527
Current Resident 450 Village Center Dr. #317 Burr Ridge, IL 60527	Phelps 180 Stone Lake Dr. Makanda, IL 62958	Cales 450 Village Center Dr. #401 Burr Ridge, IL 60527
Murry Homestead 3 Paddock Lemont, IL 60439	Caurney 6265 Wildwood Ln. Burr Ridge, IL 60527	Toellner 450 Village Center. Dr. #414 Burr Ridge, IL 60527
JP Bryant 130 Northgate Pl. Burr Ridge, IL 60527	John Hartigan 137 Northgate Pl. Burr Ridge, IL 60527	Elizabeth Burt 113 Northgate Pl. Burr Ridge, IL 60527
Kathryn Harris 129 Northgate Pl. Burr Ridge, IL 60527	Floyd Stone 118 Northgate Pl. Burr Ridge, IL 60527	Randall Grant 115 Northgate Pl. Burr Ridge, IL 60527
Margaret Wojcik 128 Northgate Pl. Burr Ridge, IL 60527	L. Peterson 117 Northgate Pl. Burr Ridge, IL 60527	Susan O'Donnell 120 Northgate Pl. Burr Ridge, IL 60527
Linda Lucatorto 116 Northgate Pl. Burr Ridge, IL 60527	Joy Nitti 127 Northgate Pl. Burr Ridge, IL 60527	Marlene Lingle 119 Northgate Pl. Burr Ridge, IL 60527



R. Stanko 133 Northgate Pl. Burr Ridge, IL 60527	Brook Fuller 121 Northgate Pl. Burr Ridge, IL 60527	Peter Little 72 Trent Ct. Burr Ridge, IL 60527
Anatoly Okun 132 Northgate Pl. Burr Ridge, IL 60527	George Daker 122 Northgate Pl. Burr Ridge, IL 60527	Current Resident 86 Trent Ct. Burr Ridge, IL 60527
Dolosic 131 Northgate Pl. Burr Ridge, IL 60527	Voss 123 Northgate Pl. Burr Ridge, IL 60527	Shirley Zaher 85 Trent Ct. Burr Ridge, IL 60527
Patricia Rojakovick 134 Northgate Pl. Burr Ridge, IL 60527	Walter Robertson 124 Northgate Pl. Burr Ridge, IL 60527	Christopher Malo 84 Trent Ct. Burr Ridge, IL 60527
Paul Hare 135 Northgate Pl. Burr Ridge, IL 60527	Frank Sibr 125 Northgate Pl. Burr Ridge, IL 60527	K. Rao 73 Trent Ct. Burr Ridge, IL 60527
Barbara Schneider 136 Northgate Pl. Burr Ridge, IL 60527	David & Laura Schetter 126 Northgate Pl. Burr Ridge, IL 60527	E. Prodehl 104 Ambriance Ct. Burr Ridge, IL 60527
Forkan 104 Ambriance Ct. Burr Ridge, IL 60527	E. Prodehl 104 Ambriance Ct. Burr Ridge, IL 60527	E. Prodehl 104 Ambriance Ct. Burr Ridge, IL 60527
E. Prodehl 305 Ambriance Ct. Burr Ridge, IL 60527	Patel 104 Ambriance Ct. Burr Ridge, IL 60527	E. Prodehl 104 Ambriance Ct. Burr Ridge, IL 60527
E. Prodehl 104 Ambriance Ct. Burr Ridge, IL 60527	E. Prodehl 202 Ambriance Ct. Burr Ridge, IL 60527	Suri 103 Ambriance Ct. Burr Ridge, IL 60527
Yu 407 Ambriance Ct. Burr Ridge, IL 60527	Mahoney 201 Ambriance Ct. Burr Ridge, IL 60527	Lee 205 Ambriance Ct. Burr Ridge, IL 60527



Reddy 406 Ambriance Dr. Burr Ridge, IL 60527	DeYoung 121 Ambriance Dr. Burr Ridge, IL 60527	Mendi 302 Ambriance Dr. Burr Ridge, IL 60527
Singhal 405 Ambriance Dr. Burr Ridge, IL 60527	Bekteshi 14 Ambriance Dr. Burr Ridge, IL 60527	Kolosa 303 Ambriance Dr. Burr Ridge, IL 60527
Kirby 16 Ambriance Dr. Burr Ridge, IL 60527	Andrew Oh 74 Trent Ct. Burr Ridge, IL 60527	Kabir 304 Ambriance Dr. Burr Ridge, IL 60527
Fern Inc. 15 Ambriance Dr. Burr Ridge, IL 60527	H. Monindra 402 Ambriance Dr. Burr Ridge, IL 60527	Szot 301 Ambriance Dr. Burr Ridge, IL 60527
Gattuso 401 Ambriance Dr. Burr Ridge, IL 60527	Abboud 206 Ambriance Dr. Burr Ridge, IL 60527	Chronis 404 Ambriance Dr. Burr Ridge, IL 60527
Shinneman 207 Ambriance Dr. Burr Ridge, IL 60527	Gandhi 403 Ambriance Dr. Burr Ridge, IL 60527	Micaletti 203 Ambriance Dr. Burr Ridge, IL 60527
John Hayes 75 Trent Ct. Burr Ridge, IL 60527	Thomas Schmidt 78 Trent Ct. Burr Ridge, IL 60527	B. Spinato 104 Waterside Pl. Burr Ridge, IL 60527
Eleanor Nickel 79 Trent Ct. Burr Ridge, IL 60527	J. Sokolowski 87 Trent Ct. Burr Ridge, IL 60527	Kulkman 105 Waterside Pl. Burr Ridge, IL 60527
Mary Mateja 80 Trent Ct. Burr Ridge, IL 60527	Louis Cano 88 Trent Ct. Burr Ridge, IL 60527	Serwat 106 Waterside Pl. Burr Ridge, IL 60527
Schulze 81 Trent Ct. Burr Ridge, IL 60527	Patyk 89 Trent Ct. Burr Ridge, IL 60527	Navickas 107 Waterside Pl. Burr Ridge, IL 60527



Kircher 90 Trent Ct. Burr Ridge, IL 60527	Hunt 82 Trent Ct. Burr Ridge, IL 60527	Mulvenna 108 Waterside Pl. Burr Ridge, IL 60527
Weiss 91 Trent Ct. Burr Ridge, IL 60527	Berdelle 83 Trent Ct. Burr Ridge, IL 60527	Roth 109 Waterside Pl. Burr Ridge, IL 60527
Frank Digiovanni 92 Trent Ct. Burr Ridge, IL 60527	Susan Schaus 94 Trent Ct. Burr Ridge, IL 60527	Failkowski 110 Waterside Pl. Burr Ridge, IL 60527
Craig Mares 93 Trent Ct. Burr Ridge, IL 60527	Clement Urban 95 Trent Ct. Burr Ridge, IL 60527	Kett 111 Waterside Pl. Burr Ridge, IL 60527
Daniel Foxen 76 Trent Ct. Burr Ridge, IL 60527	Nancy Tepler 96 Trent Ct. Burr Ridge, IL 60527	Williams 112 Waterside Pl. Burr Ridge, IL 60527
Ellen Blakeman 77 Trent Ct. Burr Ridge, IL 60527	Serpe 113 Waterside Ct. Burr Ridge, IL 60527	Kuksta 99 Waterside Pl. Burr Ridge, IL 60527
Sharma 98 Waterside Ct. Burr Ridge, IL 60527	Gapslott 102 Waterside Pl. Burr Ridge, IL 60527	Sellers 101 Waterside Pl. Burr Ridge, IL 60527
Jenkins 100 Waterside Pl. Burr Ridge, IL 60527	Hanna 103 Waterside Pl. Burr Ridge, IL 60527	Wida 450 Village Center Dr. #210 Burr Ridge, IL 60527
J.L. Fox 450 Village Center Dr. #217 Burr Ridge, IL 60527	Glimco 450 Village Center Dr. #201 Burr Ridge, IL 60527	Cole 450 Village Center Dr. #301 Burr Ridge, IL 60527
Levy 450 Village Center Dr. #202 Burr Ridge, IL 60527	Murray 450 Village Center Dr. #211 Burr Ridge, IL 60527	Vea 2 Saddle Court Burr Ridge, IL 60527



Kevin Kopp 450 Village Center Dr. #212 Burr Ridge, IL 60527	Bilthuis 450 Village Center Dr. #303 Burr Ridge, IL 60527	Meyering 7900 Bulldog Dr. Summit, IL 60501
Vicki Shaw 197 Foxborough Pl. Burr Ridge, IL 60527	Napolitano 450 Village Center Dr. #304 Burr Ridge, IL 60527	Philip Timyan 450 Village Center Dr. #205 Burr Ridge, IL 60527
Mekhail 450 Village Center Dr. #214 Burr Ridge, IL 60527	Tarjkov 450 Village Center Dr. #305 Burr Ridge, IL 60527	Lykouretzos 450 Village Center Dr. #206 Burr Ridge, IL 60527
Presidio Cap. LLC 450 Village Center Dr. #215 Burr Ridge, IL 60527	Millinowiseh 450 Village Center Dr. #306 Burr Ridge, IL 60527	Joan Tameling 450 Village Center Dr. #207 Burr Ridge, IL 60527
Frank Silzer 46 Stone Creek Dr. Lemont, IL 60439	Dorminey 450 Village Center Dr. #209 Burr Ridge, IL 60527	Joitis 450 Village Center Dr. #308 Burr Ridge, IL 60527
Thomas 450 Village Center Dr. #216 Burr Ridge, IL 60527	Strzyz 450 Village Center Dr. #309 Burr Ridge, IL 60527	



Vijay Singhal 405 Ambriance Drive Burr Ridge, IL 60527	Komar 8161 Ridgepoint Drive Burr Ridge, IL 60527	Dillard 801 Village Center Dr. #307 Burr Ridge, IL 60527
James O'Brien 6345 Martin Drive Willowbrook, IL 60527	Dombro 801 Village Center Dr. #205 Burr Ridge, IL 60527	Denard 801 Village Center Dr. #308 Burr Ridge, IL 60527
Jogar LLC 750 Village Center Drive Burr Ridge, IL 60527	Alka Srivastava 9 Lake Ridge Court Burr Ridge, IL 60527	Sharma 6652 Manor Dr. Burr Ridge, IL 60527
Jon Skulborstad 1000 Village Center Dr. Burr Ridge, IL 60527	Sidhu 3816 Littlestone Ct. Naperville, IL 60564	DeClaral 909 Cleveland Dr. Hinsdale, IL 60521
Currant 760 Village Center Dr. #220 Burr Ridge, IL 60527	Meyers 801 Village Center Dr. #208 Burr Ridge, IL 60527	P. Sutkowski Markha 801 Village Center Dr. #4 Burr Ridge, IL 60527
PPC Real Estate 760 Village Center Dr. #220 Burr Ridge, IL 60527	Zapka 801 Village Center Dr. #302 Burr Ridge, IL 60527	Larry Siebs 801 Village Center Dr. #404 Burr Ridge, IL 60527
Jerate LLC 760 Village Center Dr. #200 Burr Ridge, IL 60527	Rizzuto 801 Village Center Dr. #303 Burr Ridge, IL 60527	Pondaleeka 502 Ambriance Drive Burr Ridge, IL 60527
Johnson 801 Village Center Dr. #201 Burr Ridge, IL 60527	Fava 801 Village Center Dr. #304 Burr Ridge, IL 60527	Salamone 801 Village Center Dr. Burr Ridge, IL 60527
Richaed Holee 14331 Oakwood Ct Orland Park, IL 60462	Bellisario 801 Village Center Dr. #305 Burr Ridge, IL 60527	Harbour 801 Village Center Dr. #407 Burr Ridge, IL 60527
Daniel Keefe 801 Village Center Dr. #203 Burr Ridge, IL 60527	Tooleimat 801 Village Center Dr. #306 Burr Ridge, IL 60527	Wasz 801 Village Center Dr. Burr Ridge, IL 60527



# EXHIBIT B

**Daspin & Aument, LLP**  
**Draft Dated May 30, 2006**  
**Blacklined Against**  
**Daspin & Aument, LLP**  
**Draft Dated May 5, 2006**

-----Reserved for Recording Data-----  
This instrument was prepared by  
and after recording return to:

D. Albert Daspin  
Daspin & Aument, LLP  
227 West Monroe Street, Suite 3500  
Chicago, Illinois 60606

## **DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS [BURR RIDGE VILLAGE CENTER]**

**THIS DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS CONDITIONS  
AND RESTRICTIONS ("Declaration")** is made as of \_\_\_\_\_, 2006, by Opus North  
Corporation, an Illinois corporation ("**Declarant**").

### **RECITALS**

A. Declarant is the owner of those certain tracts of land depicted as Lots 1 through 8 and Outlot A and Outlot B on the site plan attached hereto and made a part hereof as Exhibit A, and legally described on Exhibit B attached hereto and made a part hereof, and is the owner of any buildings and improvements thereon.

B. Each of Lots 1 through 8 and Outlot A and Outlot B, together with the buildings and improvements thereon, if any, is sometimes hereinafter referred to individually as a "**Lot**" and collectively as the "**Lots**."

C. Declarant anticipates that all or a portion of Lots 1, 2, 4 and 6 may be subsequently vertically subdivided into eight (8) separate tracts in a configuration generally as depicted on the site plan attached hereto and made a part hereof as Exhibit A-1, with Lots 3, 5, 7 and 8 and Outlot A and Outlot B not anticipated to be further subdivided and therefore are depicted as Tract 3, Tract 5, Tract 7 and Tract 8 and Outlot A and Outlot B on Exhibit A-1.

D. It is anticipated that Lot 1 will be subdivided into two tracts, with one tract ("**Tract 1**") anticipated to be developed for retail purposes comprised of approximately 25,628 square feet of net retail space on the ground floor and related improvements, and the other tract ("**Tract 9**") anticipated to be developed for residential condominium purposes comprised of three floors of residential condominium



space within certain air space, ground level space and subsurface space located within Lot 1 which contains (i) that portion of Lot 1 located above Tract 1 to a height of approximately fifty-six feet two inches (56' – 2") above six hundred ninety-four feet six inches (694' - 6") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed residential condominium improvements within Tract 9 are anticipated to be constructed, (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed residential condominium improvements within Tract 9, and (iv) that portion of Lot 1 located below the ground floor, within which certain underground parking facilities are anticipated to be constructed.

E. It is anticipated that Lot 2 will be subdivided into two tracts, with one tract ("**Tract 2**") anticipated to be developed for retail purposes comprised of approximately 36,873 square feet of net retail space on the ground floor and related improvements and subsurface areas, and the other tract ("**Tract 10**") anticipated to be developed for office condominium purposes comprised of approximately 18,380 square feet of net office condominium space within certain air space and ground level space located within Lot 2 which contains (i) that portion of Lot 2 located above Tract 2 to a height of approximately thirty-four feet ten inches (34' – 10") above six hundred ninety-one feet six inches (691' - 6") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed office condominium improvements within Tract 10 are anticipated to be constructed, and (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed office condominium improvements within Tract 10.

F. It is anticipated that Lot 4 will be subdivided into two tracts, with one tract ("**Tract 4**") anticipated to be developed for retail purposes comprised of approximately 30,485 square feet of net retail space on the ground floor and related improvements and subsurface areas, and the other tract ("**Tract 11**") anticipated to be developed for office condominium purposes comprised of approximately 14,450 square feet of net office condominium space within certain air space and ground level space located within Lot 4 which contains (i) that portion of Lot 4 located above Tract 4 to a height of approximately thirty-four feet ten inches (34' – 10") above six hundred ninety-one feet six inches (691' - 6") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed office condominium improvements within Tract 11 are anticipated to be constructed, and (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed office condominium improvements within Tract 11.

G. It is anticipated that Lot 6 will be subdivided into two tracts, with one tract ("**Tract 6**") anticipated to be developed for retail purposes comprised of approximately 34,336 square feet of net retail space on the ground floor and related improvements, and the other tract ("**Tract 12**") anticipated to be developed for residential condominium purposes comprised of three floors of residential condominium space within certain air space, ground level space and subsurface space located within Lot 6 which contains (i) that portion of Lot 6 located above Tract 6 to a height of approximately fifty-six feet two inches (56' – 2") above six hundred eighty-eight feet four inches (688' - 4") (National Geodetic Vertical Datum of 1929), (ii) those columns of space within which all mechanical areas, elevator shafts, stairwells and similar improvements which are necessary to permit the operation of the proposed residential condominium improvements within Tract 12 are anticipated to be constructed, (iii) certain ground floor space to be used for condominium lobby, mechanical, elevator and stairwell purposes and anticipated to be constructed as part of the proposed residential condominium improvements within Tract 12, and (iv) that portion of Lot 6 located below the ground floor, within which certain underground parking facilities are anticipated to be constructed.



H. If all or a portion of said Lots are so subdivided, then Declarant anticipates amending and restating this Declaration as may be reasonably necessary to ratify and confirm that the easements, covenants, conditions and restrictions set forth in this Declaration shall be binding upon and inure to the benefit of the subdivided lots, all as more particularly described herein. Any reference in this Declaration to the tracts ("**Tracts**") created by Declarant's proposed subdivision shall mean and refer to the Tracts as depicted on Exhibit A-1, and, in furtherance thereof, the easements, covenants, conditions and restrictions set forth in this Declaration shall be binding upon and inure to the benefit of the Tracts as if the Tracts constituted legally subdivided parcels of property notwithstanding that any such subdivision has not occurred.

I. Tracts 1 through 6 and Outlot A and Outlot B, together with the buildings and improvements thereon, if any, are sometimes hereinafter collectively referred to as the "**Shopping Center Tracts**" and individually as a "**Shopping Center Tract**;" Tracts 10 and 11, together with the buildings and improvements thereon, if any, are sometimes hereinafter collectively referred to as the "**Office Tracts**," and individually as an "**Office Tract**;" Tracts 7, 9 and 12, together with the buildings and improvements thereon, if any, are sometimes hereinafter collectively referred to as the "**Residential Tracts**," and individually as a "**Residential Tract**;" and Tract 8, together with the buildings and improvements thereon, if any, is sometimes hereinafter referred to as the "**Outparcel**."

J. The Shopping Center Tracts and the Outparcel are sometimes hereinafter collectively referred to as the "**Retail Tracts**," and individually as a "**Retail Tract**;" Tracts 1, 2, 4, 6, 9, 10, 11 and 12 are sometimes hereinafter collectively referred to as the "**Vertical Tracts**," and individually as a "**Vertical Tract**;" and the Retail Tracts, the Office Tracts and the Residential Tracts are sometimes hereinafter collectively referred to as the "**Tracts**," and individually as a "**Tract**." The Project is commonly known as the Burr Ridge Village Center.

K. Declarant desires (i) to impose certain easements, covenants, conditions and restrictions upon certain of the Tracts for the purpose of facilitating the economic and related development of the Project, and (ii) to memorialize Declarant's intent to amend and restate this Declaration if and when all or part of the Lots may be further subdivided.

NOW, THEREFORE, in connection with the development of the Project, Declarant does hereby declare that each of the following grants, easements, covenants, conditions and restrictions shall exist at all times hereafter and be binding upon, and inure to the benefit of, each Tract in the Project.

1. **EASEMENT DECLARATIONS AND GRANTS.**

(a) **Access and Parking.**

(i) *Access.* Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Tracts, a nonexclusive easement appurtenant to each Tract, upon, over and across the access and perimeter driveways and parking areas, including any parking decks, sidewalks, walkways, trailways and driveways of the Tracts but excluding any parking garage located within or upon any Residential Tract, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with (i) vehicular (including repair and maintenance vehicles, but excluding construction vehicles, except as hereinafter provided), pedestrian, and bike ingress and egress to, from and between each Tract, and (ii) use of the driveways of the Project for access to Burr Ridge Parkway and Bridewell Drive. Anything herein to the contrary notwithstanding, neither the owner of any Retail Tract



nor Office Tract, nor such owner's tenants or occupants nor their respective employees, customers, agents or invitees shall have any right of access, ingress or egress or use to, from, upon or of any parking garage located within or upon any Residential Tract.

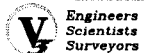
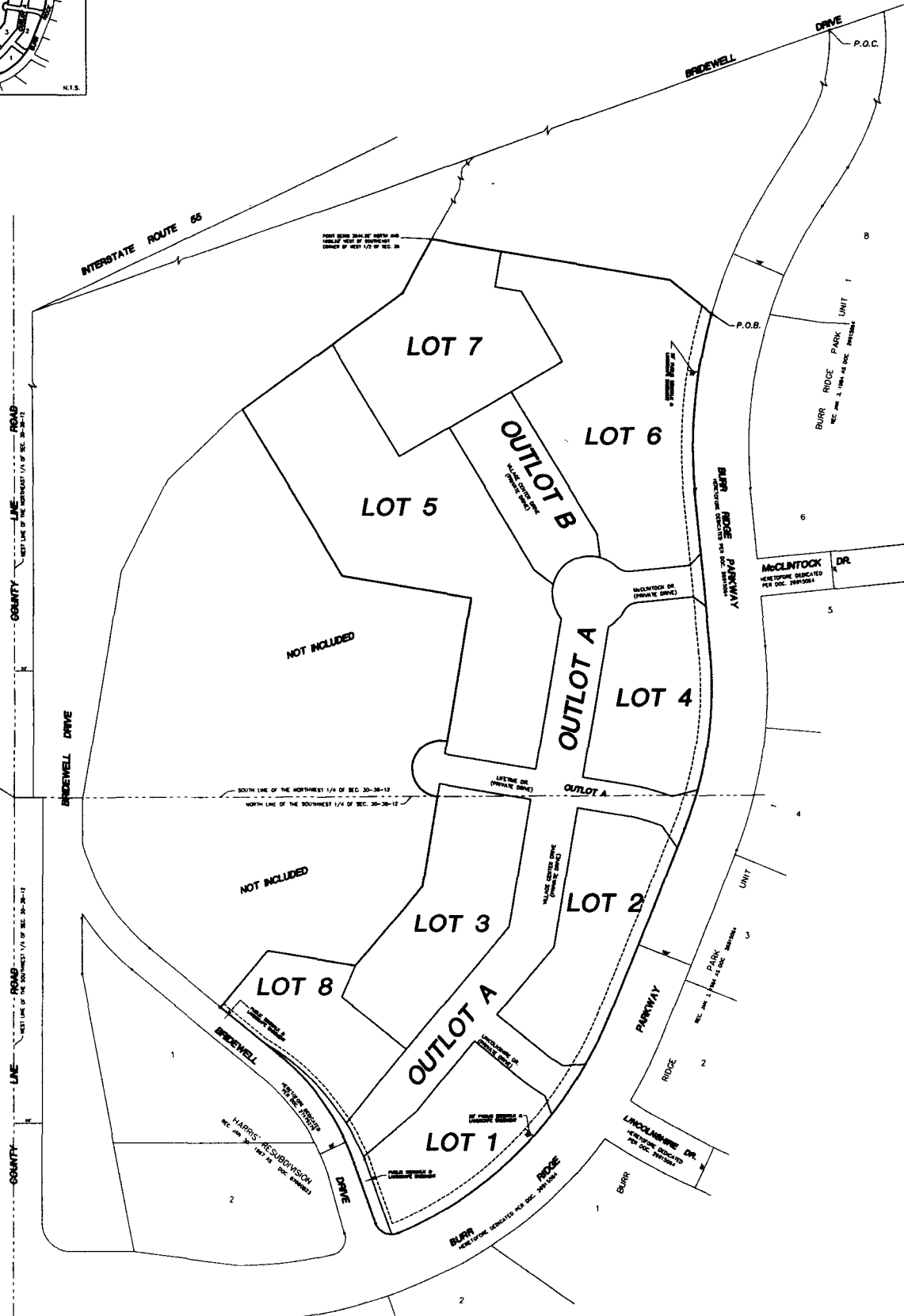
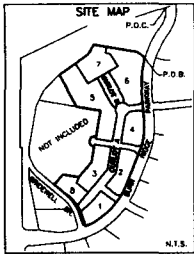
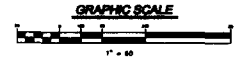
(ii) *Retail and Office Parking.* Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Retail Tracts and the Office Tracts, a nonexclusive easement appurtenant to each such Retail Tract and Office Tract, upon, over and across the parking areas within the Retail Tracts, including any parking decks of the Retail Tracts, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each such Retail Tract and Office Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with use of the parking facilities, if any, located within each of the Retail Tracts; provided, however, Declarant may designate, from time to time, certain portions of the parking facilities within the Retail Tracts as reserved for use of employees of tenants and occupants of the Retail Tracts and Office Tracts, in which event such employees shall park only in such designated areas and in no other location on any of the Retail Tracts and no persons other than such employees may park in such designated areas. The owner of each Retail Tract and Office Tract shall furnish to Declarant upon request a complete list of license numbers of all automobiles operated by such employees. If any such employees or such other persons, after twelve (12) hours notice from Declarant, fail to abide by any parking designations established by Declarant, then, in addition to any other rights or remedies that may be available to Declarant, Declarant shall have the right to impose fines upon such employees or persons who park on any portion of the Retail Tracts in violation hereof and/or cause the vehicles of such employees or persons to be towed at the sole cost and expenses of such employee or person. Anything herein to the contrary notwithstanding, neither the owner of any Retail Tract or Office Tract, nor such owner's tenants or occupants nor their respective employees, customers, agents or invitees, shall have any parking rights on any Residential Tract.

(iii) *Residential Parking.* Subject to the conditions and limitations hereinafter set forth, Declarant hereby declares and grants for the benefit of each of the Residential Tracts, a nonexclusive easement appurtenant to each Residential Tract, upon, over and across the parking areas of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8, all as shown and depicted on Exhibit A-1 as the same may exist from time to time, for the purpose of providing the owner from time to time of each such Residential Tract and its tenants and occupants and their respective employees, customers, agents and invitees having business in the Project with use of the parking facilities, if any, located within each of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8; provided, however, Declarant may designate, from time to time, certain portions of the parking facilities within Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8 as reserved for use of employees of tenants and occupants of the Retail Tracts and Office Tracts, in which event no persons other than such employees may park in such designated areas. If any person, after twelve (12) hours notice from Declarant, fail to abide by any parking designations established by Declarant, then, in addition to any other rights or remedies that may be available to Declarant, Declarant shall have the right to impose fines upon such persons who park on any portion of Outlot A, Outlot B and Tracts 1, 2, 4, 6 and 8 in violation hereof and/or cause the vehicles of such persons to be towed at the sole cost and expenses of such person. Anything herein to the contrary notwithstanding, neither the owner of any Residential Tract, nor such owner's tenants or occupants nor their respective employees, customers, agents or invitees, shall have any parking rights on Tract 3 or Tract 5.

(iv) *Valet Parking.* Declarant hereby reserves to itself and declares and grants for the benefit of the Retail Tracts, a non-exclusive easement appurtenant to the Retail Tracts over, across, upon and under that portion of Tract 4, Tract 5 and Tract 8 depicted as the "**Valet Parking Easement Area**" on Exhibit A-1 for the purpose of permitting Declarant to operate a valet parking service (the "**Valet Program**") benefiting the customers and invitees of the owners, tenants and occupants of the Retail



# EXHIBIT "A" PROJECT SITE PLAN



7200 Jones Avenue, Suite 100  
Rosemont, IL 60018  
630.724.0000  
www.vss.com

PREPARED FOR:  
OPUS NORTH CORPORATION  
9700 Higgins Road, Suite 900  
Rosemont, IL 60018  
847.692.4444

NO.	DATE	DESCRIPTION	BY	CHKD.	REVISION

**EXHIBIT "A"**  
**BURR RIDGE VILLAGE CENTER - BURR RIDGE, ILLINOIS**  
 PREPARED BY: [ ] CHECKED BY: [ ] DATE: [ ]  
 DESIGNED BY: [ ] DRAWN BY: [ ] SCALE: 1" = 60'



**GRAPHIC SCALE**

A horizontal scale bar with alternating black and white segments. The segments are labeled with numbers 0, 20, 40, 60, 80, and 100. Below the bar, the text "1" = 60" is printed.

1" = 60"





FINAL PLAT OF SUBDIVISION  
FOR THE  
BURR RIDGE VILLAGE CENTER  
RESUBDIVISION

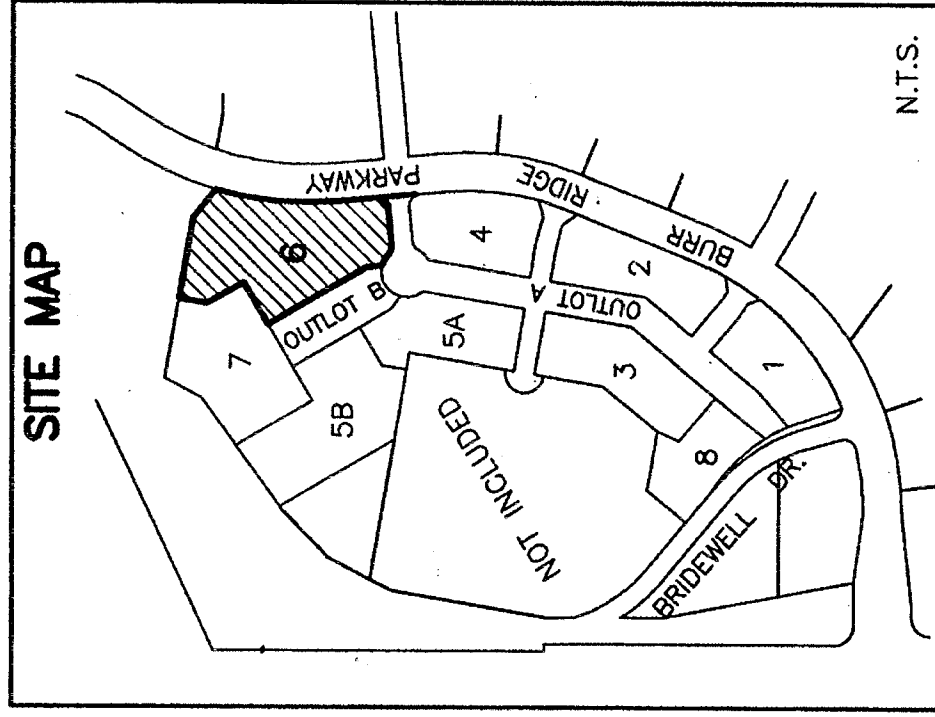
PART OF THE WEST 1/4 OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

DOCUMENTS  
WITH THIS  
PLAT

27 OF 033403124

GRAPHIC SCALE

1" = 20'



Draft: 0733403124 Fee: \$188.00  
Eugene "Gene" Moore and Associates  
Cook County Recorder's Office  
Date: 11/28/2007 01:02 PM Pg: 0

LOT 6-1  
LOWER LIMITS = 691.00'  
UPPER LIMITS = 709.58'

LOT 6-2  
LOWER LIMITS = 691.00'  
UPPER LIMITS = 710.58'

LOT 6-2  
LOWER LIMITS = 691.00'  
UPPER LIMITS = 710.58'

LOT 6-2  
LOWER LIMITS = 691.00'  
UPPER LIMITS = 709.58'

LOT 6-2  
LOWER LIMITS = 691.00'  
UPPER LIMITS = 710.58'

LOT 6  
LEVEL L1

AREA SUMMARY			
LOT NO.	SQ. FT.	ACRES	
6-1	124,618	2.8608	
6-2	5,065	0.1163	
TOTAL	129,683	2.9771	

NOTE: AREAS SHOWN HEREON REPRESENT LOT AREA AS DEPICTED ON THIS SHEET ONLY.

BENCHMARKS:

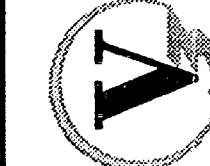
DUPAGE COUNTY BENCHMARK NO. 28:  
BRONZE DISK IN CONCRETE MONUMENT ESTABLISHED BY  
NATIONAL GEODETIC SURVEY MARKED "HINSDALE 1956 NO.  
4, 1983". REFERENCED AS DGN23002 AND NGS38112303.  
ON EAST SIDE OF ROUTE 83 KINGERY HIGHWAY ABOUT 0.1  
MILE NORTH OF INTERSECTION OF PLAINFIELD ROAD AND  
KINGERY HIGHWAY.  
ELEVATION=724.63  
NGVD 1983 DATUM

T.B.M. #1 - SET CROSS NOTCH IN TOP OF CURB AT  
WEST NORTHERLY CORNER OF LOT 6  
ELEVATION=679.12

T.B.M. #2 - SET CROSS NOTCH IN WALK 44 FEET  
SOUTHWESTERLY OF NORTHEASTERLY CORNER OF LOT 6 IN  
EAST SIDE OF LOT SUBDIVISION.  
ELEVATION=669.16

NOTE:

THE VERTICAL SUBDIVISION OF LOTS SHOWN HEREON WAS TAKEN FROM AS-BUILT  
LOCATIONS OBTAINED IN THE FIELD. HORIZONTAL BOUNDARIES OF THE LOTS SHOWN  
HEREON ARE THE VERTICAL PLANES FORMED BY AS-BUILT EXTERIOR WALLS OR THE  
CENTERLINES OF AS-BUILT INTERIOR WALLS. VERTICAL BOUNDARIES OF THE LOTS  
SHOWN HEREON ARE HORIZONTAL PLANES FORMED BY AS BUILT OR PROPOSED  
FLOOR OR ROOF ELEVATIONS.



Engineers  
Scientists  
Surveyors  
1825 James A. Avenue, Suite 100  
Rosemont, IL 60018  
630.724.6200 voice  
630.724.0384 fax  
info@vso.com

PREPARED FOR:  
OPUS NORTH CORPORATION  
9700 HIGGINS ROAD, SUITE 900  
ROSEMONT, IL 60018  
847.692.4444

NO.	DATE	REVISIONS
1.	09-04-07	DESCRIPTION
2.	09-11-07	REVISED PER ATTORNEY COMMENTS

FINAL PLAT OF SUBDIVISION  
BURR RIDGE VILLAGE CENTER

Project No: 00039.0NC3  
Group No: V02.1

DRAFTING COMPLETED: 08-28-07 DRAWN BY: MLP PROJECT MANAGER: MLP  
FIELD WORK COMPLETED: 08-23-07 CHECKED BY: SCALE: 1" = 20' SHEET NO. 27 of 31



# EXHIBIT C

**From:** [janet.plecki](mailto:janet.plecki@gmail.com)  
**To:** [Evan Walter](mailto:Evan.Walter@datkenson@aol.com); [datkenson@aol.com](mailto:datkenson@aol.com)  
**Subject:** Re: Amendment to PUD Ordinance Permanent Real Estate Index Number 18-30-300-054 and petition number Z-11-2019:800 Village Center Drive and Revision to the exterior Building Blueprint  
**Date:** Saturday, July 27, 2019 3:23:12 PM

---

TO: Evan Walter, David Atkinson

I regret I am unable to attend the public hearing on the above mentioned PUD, so I am writing this letter to express my concerns.

As a former member of the Tinley Park Zoning Board of Appeals and the Orland Park Plan Commission, I recognize the importance of your committee. I own a condominium at 850 Village Center Drive. I have enjoyed living here over the years. I believe this proposal will greatly change that opinion. I am sure you have spent many hours studying this proposal and hopefully you have come to the same conclusions, as have the owners of the 801, 850 and 1000 buildings.

I have three major concerns:

#1 QUALITY OF LIFE We bought here because of the culture and ambiance of Village Center. The soft music, lovely restaurants, ease of shopping and parking. My husband was handicapped and used a walker and then a motorized wheel chair. It was a great lifestyle for us. Having three large dumpsters being pulled from the back of our building to the front to a running, noisy and smelly garbage truck will change all that! A block south of 850 has this situation and when you walk past while the garbage truck is backed up, you either walk behind the truck or into the street in front of the truck. Impossible for the handicapped person. This is dangerous and the truck is running and the noise and smell is obnoxious. This is what is being proposed right below my condominium five days a week!

#2 CONVENIENCE & SAFETY We have a parking lot behind our building, where when needed, we can park and conveniently walk to the rear door of our building. Our guests can also use this parking lot because our street parking is so limited. We have approximately 100 residents. The majority are senior citizens, some walk with canes or walkers. Many units have only one parking space in the garage and some owners have two cars. Upon purchase, they knew the convenience of the parking lot and access to our building, others would not have bought here. This change will greatly impact our residents and make it impossible for them in the winter months. It would also make it very difficult for our guest (future buyers and retail shoppers) and the retail employees. There is also a big concern with people moving in or moving out. Will the large moving vans also be backing up in front of our building? Will they park and block the street on the north end of the building or park in the back parking lot and walk around the entire building? That would also be impossible in the winter months with snow. Accidents will occur and retail and resident traffic would be greatly affected.

#3 MARKET VALUE Having been in real estate of over 35 years working as a Regional Manager, Sr. V.P. with Coldwell Banker Real Estate, Past President of the Illinois Association of Realtors, and now an active salesperson specializing in the western suburbs, I know the negative effect this proposal will have on our building and our neighboring buildings. I know and respect the concern the owners of The Village Center have to fill the empty space throughout the Center and to increase their profit but not at the expense of the residents. The Village Center has worked hard to regain its reputation as a great place to shop and live but



this proposal will greatly impact that reputation as owners move out and we have a loss of market value with empty units for sale. We know what happened in 2008 and the original owners of our building have still not seen their value come back.

I appreciate your taking the time to read this letter and would appreciate your giving copies to the committee member and our mayor prior to the meeting. This proposal does not just impact our north end of The Village Center but the entire Center and all the residents of Burr Ridge.

Sincerely,  
Janet Andreotti



**From:** [nancydaviero@yahoo.com](mailto:nancydaviero@yahoo.com)  
**To:** [Evan Walter](#)  
**Subject:** Proposed Walkway Closing at Village Center  
**Date:** Monday, July 29, 2019 8:25:21 AM

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Dear Mr. Walter-- I am writing to tell you how upset I am over the proposed plans to close the walkway at the 850 Village Center Drive building.

I have been a resident for 3 years. I use the rear parking lot regularly as do my family members and guests. As you probably know, parking in front of the building is very unlikely most days. Also, whatever parking is available should be for the retailers that are paying a premium to lease space in the Burr Ridge mall. Parking at the rear of the building is mandatory most days. Does Mr. Hassan suggest that everyone walk all the way around the building to gain access to our front entrance? Should I tell my 90 year-old mother that she has to walk around the building when she comes to visit?

Residents moving in and out of the building, as well as deliveries, would cause a total mess. Traffic is already disrupted when someone is simply being dropped off at the front entrance because there is only 1 lane of traffic. If a moving van parks in front of the building, the street would be completely obstructed for an entire day! If someone parked on the street before the movers arrived, that person would be stuck until the moving van was done loading/unloading. And garbage pick-up? Would that take place in front of the building also? How lovely. Let's hope garbage pick up doesn't happen during a move in/move out. Or a UPS or Fed Ex delivery truck needs to make a delivery. Or an emergency vehicle needs to gain access. That's a lot of traffic to push through one lane.

I understand Mr. Hassan wants to add "co-working space" on the first floor. As I'm sure Mr. Hassan knows, there are many open units not being leased that he can choose from to create his space. Taking away one of the main ingress/egress points is not the answer. Does Mr. Hassan want this development to thrive? If so, he should not close off this entrance. If he closes off the entrance, this building and the area around it will be much less desirable to higher-end buyers.

A zoning change to allow the closing of the walkway will negatively impact the residents, the common areas, the retailers and shoppers, and the future success of the entire Burr Ridge mall.

Sincerely,

Nancy Daviero  
850 Village Center Drive, Unit 210  
Burr Ridge, IL 60527  
312.480.4413



**From:** [Joanne Kuksta](#)  
**To:** [Evan Walter](#)  
**Subject:** Re: 850 Bld walk way  
**Date:** Monday, July 29, 2019 4:45:41 PM

---

I will try to make this brief and to the point! We live in the 850 Bld., in the BR Village Center and absolutely discourage everyone involved from taking away our bright, wide walk way from our back parking to our front door. My mom lived here and used it for her being disabled and now my husband has had back surgery and problems walking with numbness his legs, can't walk far around a building and I have back and hip pain also. We also don't want huge sanitation trucks and moving trucks in front for days at a time. Our property value has been going up these last years and this would endanger that also! The way they are looking to enhance there investment we little people have to protect ours too. Many family members who visit with disablements use our walk way and park in back of our building cause rarely is there parking in front. Please, we need our walkway.



**From:** [Amy Seus](#)  
**To:** [Evan Walter](#)  
**Cc:** [Gary Grasso](#)  
**Subject:** Z-11-2019: 800 Village Center; 18-30-300-054  
**Date:** Friday, July 26, 2019 12:17:40 PM

---

Dear Mr. Walter,

I am writing to you as a concerned resident about the above petition.

I have lived at 850 VCD unit 405 for 5 years. My late husband and I moved here after living in Western Springs for 12 years. We moved here because of the beauty of the village center, its conveniences, and the reputation of Burr Ridge as being upscale. Our building is beautiful, with a condominium board who cares about maintaining our quality of life. We also have neighbors who care about each other and help each other when needed. I have been proud to be a resident and when I tell friends where I live, they reply, "You LIVE there? How awesome is that?" And I always have had a positive reply. Until recently.

From what I have learned about the above-mentioned petition, I am very concerned about the negative effects this will have on our building and not just the residents of the village center, but the residents of Burr Ridge and the surrounding communities. It is not just the residents who will feel the effects--they will impact all who come to visit the Village Center.

Specifically, I have learned that the walkthrough would be closed off in the proposed petition. I have grouped my concerns about this into two categories: Quality of Life, and Market Value.

**1) *Our Quality of Life***

If the back of the walkthrough would be closed off to accommodate the proposed use of the space, all moves would then have to be done from the front of the walkthrough. Semi trucks would block traffic as it is a one-way street and would create traffic issues and safety issues for residents, employees, and visitors. Moves often take an entire day. Also, garbage pick up would have to be done through the front. This is noisy and would pass odors to the front of the building, near the village green. Again, the garbage truck would block traffic. The infrastructure does not exist to support this.

Residents, employees and visitors also enjoy the use of the parking lot behind our building. If the walkthrough would be closed off, it would force people to walk all the way around the building. This creates problems for handicapped persons in our building as well as visitors during such times during inclement weather and during the winter. It would also affect the volume of people who attend the Burr Ridge summer concerts (which many people in Burr Ridge and the surrounding communities truly love).

If the space proposed is for transient employees, then the parking lot behind 850 would also become an "employee lot" and likely crowded with those working in the new proposed space. This creates security and safety issues as well--with transients who likely won't care that there are residents who actually LIVE here. The crowded lot would also mean fewer spaces for visitors, shoppers, and employees.



**2) *Market Value***



I know that the new mall management company has a strong desire to fill the empty retail space--and I would like to see it filled, as well. But if the retail space is filled, ***just to fill it, without consideration of the impact of those living here***, then I do not want to live in a place that does not care about its residents. I have been a proud owner and Burr Ridge resident for 5 years, but know that these changes would be detrimental to my quality of life. I, along with several other residents, would consider moving from 850 VCD if this petition is approved. Having vacant units, or units that are constantly being rented, would result in lower property values.

I implore the Plan Commission/Zoning Board of Appeals to strongly consider the impact this change would have on not just residents, but our entire community. If the Village Center is truly the center of Burr Ridge, then it should be a place where all can live comfortably, know that their government cares about them and where visitors can come and experience a unique, "very special place".

Sincerely,  
Amy Seus  
850 VCD, Unit 405  
(708) 267-4112



**From:** [Bonnie Walk](#)  
**To:** [Evan Walter](#)  
**Subject:** Walkway at 850 Bldg  
**Date:** Saturday, July 27, 2019 7:42:50 AM

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I own a condo at the 850 building and would not want to see the walkway eliminated - it is the easiest way to get to the back of the building without having to walk all the way around. Also what about in the winter time having to try and navigate around the entire building if you eliminate the walkway ??? The walkway is very beneficial and serves a purpose of ease for the owners of the condos. I too have bad knees and am older and my husband has had 2 strokes in the last year and does not walk quickly as he also has COPD so it's hard to breathe over a long distance so it is imperative to keep that walkway open which is how it was intended. The Walks



**From:** [ATHER NIZAM](#)  
**To:** [Evan Walter](#)  
**Subject:** Objection to closing the breezeway Sir  
**Date:** Tuesday, July 30, 2019 2:36:18 PM

---

I Ather Nizam of unit 215 at 850 Village Center Drive, Object to making any changes to our building.

I am the original owner of my condo I like the Architecture of my building. I do not want the breezeway to be closed to accommodate another person wishes.

It will cause an inconvenience to me because I am a handicapped person I use a cane to help walk. When I park in the rear parking lot, it will be a long walk to walk around the building.

It will be a great inconvenience for my family and friends to park in the rear parking lot and walk around the building to reach the main entrance



**From:** [Mary Lisnich](#)  
**To:** [Evan Walter](#)  
**Subject:** 850 Village Center Dr  
**Date:** Tuesday, July 30, 2019 3:27:53 PM

---

Hi Walter, this is Mary Lisnich from  
unit 314

850 Village Center Dr.

Resently I have moved in this beautiful building complex .

The outside appearance and beauty of this building drive me in to this expensive and beautiful place.

Now in 3short months I have learn the beutty and convince of this building is in plan to be demolish.

I have move in here ....because of excess and convenience I seen building offering.

Parents are coming with electronic device help like wheelchairs walkers ETC

Very happy to visit us and have controlled on there's own.

Also they are looking in to move in this beautiful building ....because of all these convenient availability the building offers.....

Please stop all this unnecessary demolishing of our beutty and let us enjoy our life, friends and families.

Because if this demolishment occurred.. we will loose our friends and family, do to parking and convenience we will not have any more!!!

Very sad !!!

Mary

Sent from my iPhone



**From:** [Nick Meyers](#)  
**To:** [Gary Grasso](#)  
**Cc:** [Evan Walter](#)  
**Subject:** Proposal to 800 Village Center  
**Date:** Tuesday, July 30, 2019 6:03:58 PM

---

Mayor,

I currently reside in the Burr Ridge Village condos and have for the past 7 years. I grew up in Ambiance with my folks in the 90's and 2000's so I have been here a while and I really enjoy it. I know you are a busy man so I will keep this short. I felt compelled to email you regarding a startling proposal I received in the mail regarding a proposal for "office space" to occupy 25-30k sq ft in this mall. Here are a few reasons I strongly oppose:

Increased traffic.

Mall supposed to be used for retail purposes. Not office. Especially 25-30k. That is huge.

Reduced access to village green.

Limited Parking.

I realize that it is beneficial for some if the mall vacancy rate decreases but it does nothing for me or my fellow neighbors. We want peace and quite down here. Let Lifetime lease space at the old McGraw-Hill facility. I am fine with that. Or let them test their pilot program out in a location like Romeoville, Schaumburg or Bloomingdale. Not Burr Ridge.

I look forward to hearing what will be said next Monday. As are a lot of concerned residents.

Good Day,

Nicholas A. Meyers  
Vice President Sales  
Go To Logistics, Inc.  
Ph. # 708-338-0303 Ext. 240  
Fx. # 708-338-0404  
Cell # 630-918-7374





JULY 30, 2019

TO WHOM IT MAY CONCERN: EVAN WALTER

MY NAME IS JAMES KUKSTA, AND I PURCHASED MY CONDO <sup>#310</sup> AS WELL AS MY GRANDMOTHER <sup>#202</sup> DID IN 2006 & WE BOTH MOVED INTO IN <sup>THEM</sup> MAY & JUNE OF 2008. SHE HAD PARKINSONS AND DEFINITELY NEEDED OUR WALKWAY DUE TO DEALING WITH <sup>ILLNESS</sup> BEING IN A WHEELCHAIR TO GET AROUND HER FAMILY & FRIENDS USED OUR BACK ~~STREET~~ BUILDING PARKING LOT & NEEDED THE USE OF OUR WALKWAY TO PICK HER UP CAUSE RARELY PARKING AVAILABLE IN FRONT ON THE STREET.

SINCE THEN MY PARENTS PURCHASE AND MOVED INTO A CONDO IN THE 850 BUILDING, <sup>#312</sup> KNOWING WITH HIS MANY HEART SURGERIES, BACK & SHOULDER SURGERIES OUR BUILDING COULD ACCOMMODATE HIS DIABILITIES. MY DAD IS 80YR & MOM IS 75YRS & SHE IS DEALING WITH BACK & HIP PAIN ALSO. THERE HAVE BEEN AND ARE MANY SENIORS IN OUR BUILDING WHO HAVE BEEN IN WHEEL CHAIRS AND NEED TO USE OUR WALKWAY!

I'M SURE THE DESIGN & STRUCTURE OF OUR BUILDING WAS CONSTRUCTED FOR THE BETTERMENT OF ALL OWNERS & SHOPPERS IN THE B.R. VILLAGE!

THANK YOU FOR YOUR CONSIDERATION

James A. Kuksta

850 VCD UNIT 310

Burr Ridge, IL 60527



EVAN Walter,  
Assistant Village Adm  
Village of Burr Ridge  
7660 County Line Rd.  
Burr Ridge, IL 60527  
ewalter@burr-ridge.gov

July 29, 2019

Dear Evan Walter - PLAN Commission/  
ZONING BOARD of  
Appeals

My name is FLOISE M. CARNEVALE and I reside at 850 Village Center Dr, Unit 213, Burr Ridge, IL 60527. I am an original owner of this property and closed on this property in Spring of 2008.

I am writing this in regards to the public hearing to consider a request by Ramzi Hassan for an amendment to Planned Unit Development Ordinance #A-834-10-05 to be held on Monday, August 5, 2019 at 7:00 PM at the Village of Burr Ridge - Board Room.

I vehemently oppose any consideration to this request to alter the exterior building footprint of Building 6 of the Village Center.

I oppose this for many reasons, but primarily because it VIOLATES my civil rights covered under the American with Disabilities



Act of 1990 (42 U.S.C. 12101), which is a civil rights law that prohibits discrimination based on disability. Signed into law July 26, 1990 - President George H. Bush.

Violation of this law is failure to provide access & amenities in public places for a person with physical disabilities.

Not only does it violate my civil rights, but also the civil rights of others who reside in the building and visitors to Building 6.

As I previously mentioned, this is my primary reason for opposing this request, but I also have so many OTHER concerns. One of those many concerns is the de-evaluation of my property value due to this horrific modification of our building. I purchased this property because of the amenities that the ORIGINAL DEVELOPERS designed this building to provide. My decision WAS BASED on its design - I could of purchased ANY UNIT in any other building, but I chose Building # 6, 850 Village Center Dr., because of the amenities it provided.

In closing, I am ASKING & KINDLY REQUESTING, the members of the PLAN Commission



Zoning Board of Appeals to vote against this request. I Am ASKING THAT THEY ~~cautiously~~<sup>CAUTIONOUSLY</sup> consider the SERIOUS AND NEGATIVE EFFECTS this will have on the residents of the 850 VILLAGE Center Dr (Building #6).

We are TAX PAYERS & Voters and have chosen Barr Ridge to live - and hope that the motto "a very special place" will continue to be that very special place.

Thank You for your consideration and time in reviewing my request.

Eloise M. Carnevale

ELOISE M. CARNEVALE

850 VILLAGE Center Dr.

UNIT 213

Barr Ridge, IL 60527

638-655-3804

P.S. Being a former 33yr. [eloisecarnevale@hotmail.com](mailto:eloisecarnevale@hotmail.com)

Vietnam Detective of

The Chicago Police Department

I Am also concerned with

THE SAFETY FACTORS INVOLVED

IN THE ACCESS TO THIS BUILDING.





**Z-10-2019: Requests amendments to the Zoning Ordinance regarding short-term home rentals, home occupations, and similar land use regulations.**

**Prepared for:** Village of Burr Ridge Plan Commission/Zoning Board of Appeals  
Greg Trzupek, Chairman

**Prepared by:** Evan Walter, Assistant Village Administrator

**Date of Hearing:** August 5, 2019

The petition requests consideration of amendments to the Zoning Ordinance regarding short-term home rentals, home occupations, and similar land use regulations. Staff was directed by the Board of Trustees to prepare this report for consideration as a result of a rise in code complaints received by staff regarding the use of personal property, including homes and vehicles, for commercial purposes.

**Short-Term Home Rentals**

The Plan Commission previously considered further definition of short-term home rentals in 2017, but opted to recommend no changes to the Zoning Ordinance at the time.

Through websites such as AirBnB, it has become possible for property owners to offer the partial or full use of their home for short-term rental. Under the terms of a short-term rental, property owners may rent any portion of their property to a visitor, including the entire property, while also opting to either remain at or entirely vacating the property during the rental. Recently, staff has received complaints about the transient nature of these types of rental as well as some properties being used as “party houses”. Many Chicagoland communities have dealt with this type of activity and have considered their impacts in recent years.

Currently, Section IV.R. the Zoning Ordinance permits home occupations in Residential Districts and all residential uses in non-residential districts provided that;

- *It is conducted entirely within the dwelling by a member of the family residing in the dwelling and when such home occupation is incidental and secondary to the use of the dwelling for dwelling purposes, and*
- *No home occupation shall be allowed which is of a nature that will necessitate customers and/or personal deliveries to come to the dwelling either for goods, services and/or the business product (either goods or written products), except home day care as regulated herein.*

Under the Zoning Ordinance, the use of single-family residential homes as short-term rentals necessarily represents customers coming to the dwelling for goods and services, as well as the home itself being a commercial entity, thus creating a violation of the Zoning Ordinance. While it is clear that the use of a single-family residential home as a short-term rental property violates the Zoning Ordinance, it is not clear how “short-term rental” is specifically defined. For example, it is not uncommon for a property owner to rent their home to a tenant for a one-year term, although



this use of the property is not legally distinct from a one-night rental under the current reading of the Zoning Ordinance.

Staff requests feedback from the Plan Commission regarding a potential amendment regulating short-term vehicle rentals in the Village, as follows:

Section IV.R.11: *“No short-term rentals of any portion of the home shall be allowed, defined as any gratuitous guest staying for a period of 28 or fewer days per stay.”*

AirBnB defines “long-term guest” as a visitor who stays longer than 28 days; therefore, staff recommends that 28 days be used as defining “short-term home rental” if such an amendment were desired. All of the complaints that staff has received would qualify as “short-term home rentals” under such a definition.

If the Plan Commission wished to permit short-term home rentals and regulate as desired, the Plan Commission would need to provide some general direction to staff as to what actions would be desired.

### **Use of Vehicles for Commercial Purposes**

Staff has also received complaints regarding the storage and use of personal vehicles as rentals. This type of rental functions similarly to a short-term home rental; the owner of a vehicle advertises a vehicle as “for rent” on a website, usually for a number of hours or days, and the car is picked up by the renter at a designated location. In some cases, vehicles have been picked up at homes, which violates Section IV.R. of the Zoning Ordinance. In other cases, vehicles are stored at a home for personal use, but delivered to a location outside of the Village for transaction. These actions are not generally regulated by the Zoning Ordinance, as personal vehicles are generally not defined as commercial vehicles by Section IV.K.2 of the Zoning Ordinance, as the vehicles that are rented are personal-use vehicles and do not fall under the definition and regulations of a commercial vehicle being stored at a residential property. Section IV.K.2 of the Zoning Ordinance states:

- Commercial vehicles are permitted in residential districts as follows:
  - *Commercial vehicles may be stored and/or parked overnight only in a fully enclosed building or structure.*
  - *No commercial vehicle shall be permanently affixed to the ground.*
  - *No more than a combined total of two (2) commercial vehicles may be stored or parked overnight in a fully enclosed building or structure upon any lot or parcel of land, except as hereinafter provided.*
  - *Only one (1) commercial vehicle may be stored or parked overnight for each unit in a duplex, two-family, multi-family, or townhouse structure, provided it is in a fully enclosed building or structure.*
- Commercial vehicles are defined as:
  - *Any vehicle exhibiting lettering or logos advertising a business related enterprise (other than traditional bumper stickers).*
  - *Any vehicle with attached auxiliary equipment including, but not limited to plows, equipment, racks, storage boxes or lockers.*
  - *Any vehicle requiring a vehicle license of Class D as regulated by the State of Illinois including but not limited to trucks, cargo vans, commercial limousines, and buses.*
  - *Any vehicle containing products, equipment, debris, or materials intended for commercial or business use whether in the open, in a cargo storage area, or covered by removable material or fabric.*



- *Any van that does not have seating behind the driver's seat and the front passenger seat or without side windows adjacent to the rear seating area such as panel vans.*
- In at least one case, a large number of vehicles are stored at one property, but the Village has set no limit on the maximum number of vehicles that may be stored outside on a property, except for that no cars may be parked in the right-of-way (generally between the sidewalk and street).

Staff requests feedback from the Plan Commission regarding a potential amendment regulating short-term vehicle rentals in the Village, as follows:

- Section IV.K.2.e.vi: “[A]ny vehicle rented for gratuitous purposes” to the definition of “commercial vehicles” under Section IV.K.2. Such an amendment would allow any vehicle used for commercial rentals to be classified as a commercial vehicle and subject to the storage regulations which apply therein.

### **Findings of Fact and Recommendation**

Staff has provided findings of fact which may be adopted if the Plan Commission is in agreement with those findings. The findings of fact for a text amendment are limited to assessing whether the amendment is compatible with other standards of the Zoning Ordinance and if it fulfills the purpose and intent of the Zoning Ordinance.

### **Appendix**

Exhibit A – Petitioner’s Materials





As per Section XIII.J.3 of the Village of Burr Ridge Zoning Ordinance, for an amendment to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The amendment is compatible with other standards and uses of the Zoning Ordinance.

The amendments necessarily promote the current spirit and intent of the applicable sections of the Zoning Ordinance, specifically related to the use of personal property within residential districts for commercial purposes.

- b. The amendment fulfills the purpose and intent of the Zoning Ordinance.

**The amendments fulfill the purpose and intent of the Zoning Ordinance by restricting the use of certain personal property within residential districts to non-commercial uses.**





## VILLAGE OF BURR RIDGE

### MEMORANDUM

**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupek, Chairman

**FROM:** Evan Walter, Assistant Village Administrator

**DATE:** July 30, 2019

**RE:** Board Report for August 5, 2019 Plan Commission Meeting

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At its July 8, 2019 meeting, the following actions were taken by the Board of Trustees relative to matters forwarded from the Plan Commission.

**Z-04-2019: 10S110 Madison Street (Tri-State Fire Protection District);** The Board of Trustees directed staff to prepare an Ordinance denying a special use as per Section IV.V of the Burr Ridge Zoning Ordinance to permit a personal wireless service facility at a property owned and used for municipal services. The Board is scheduled to take a final vote on this matter on August 12 after the Plan Commission considers adopting its findings of facts during its August 5 meeting.





## **VILLAGE OF BURR RIDGE**

### **MEMORANDUM**

**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupek, Chairman

**FROM:** Evan Walter  
Assistant Village Administrator

**DATE:** July 30, 2019

**RE:** Activity Memo for August 5, 2019 Plan Commission Meeting

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The following developments have occurred related to recent Plan Commission hearings and considerations.

**9101 Kingery Highway** – McDonald's has opened for business as of July 22, 2019.

**60 Shore Drive** – Coda Motors has opened for business and reports strong initial sales. Staff has received no code complaints regarding this property since it was transferred from Midwest Auto.

**16W241 South Frontage Road** – Amy Brines and Bansai Massage and Body Work opened for business in June.



06/19/2019

## Permits Applied For May 2019



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JCA-19-121	05/14/2019	281 South Frontage Rd	Alps Construction. Inc	15745 Annico Drive Homer Glen IL 60491	Com Alteration
JCA-19-131	05/20/2019	1000 Burr Ridge Pkwy	L.R. Hein Construction	1480 Industrial Dr. Itasca IL 60143	Com Alteration
JCA-19-146	05/30/2019	7055 High Grove	F&M Construction Services, In	26528 N. Wilton Rd. Wauconda IL 60084	Com Alteration
JCMSC-19-130	05/17/2019	1333 Burr Ridge Pkwy	V3 Companies, Ltd.	7325 Janes Av. Woodridge IL 60517	Commercial Miscellaneous
JCMSC-19-141	05/24/2019	7600 County Line Rd	Renovation Associates, Inc.	527 N. Wailoa Ave La Grange Park IL 60526	Commercial Miscellaneous
JCPE-19-101	05/02/2019	340 Shore Dr	Nesko Electric Co. Inc.	3111 S 26th Ave Broadview IL 60155	Com Electrical Permit
JDEK-19-099	05/01/2019	128 Dragonfly	CEW Construction	260 Saint Andrews Dr Bolingbrook IL 60440	Deck
JDEK-19-102	05/02/2019	25 Rodeo Dr	Carmody Construction Co.	100 Meadows Ct Oswego IL 60543	Deck
JDS-19-108	05/06/2019	1333 Burr Ridge Pkwy	Siebert Construction	1440 Huntington Dr Calumet City IL 60409	Demolition Structure
JGEN-19-104	05/02/2019	9465 Fallingwater Dr W	Alternating Currents Corp.	21 W180 Hill Av. Glen Ellyn IL 60137	Generator
JPAT-19-120	05/10/2019	8219 Windsor Ct	Grant & Power Landscaping In	700 E. Roosevelt Rd. West Chicago IL 60185	Patio
JPF-19-105	05/03/2019	8460 Clynderven Rd	Cedar Mountain Fence Co.	23523 W. Schultz St Plainfield IL 60585	Fence Permit
JPF-19-113	05/07/2019	8461 Carlisle Ct	America's Backyard	1909 Briggs St. Joliet IL 60433	Fence Permit
JPF-19-124	05/14/2019	129 Surrey Ln	Golden Fence, Inc.	1841 W Rookery Cir. Round Lake IL 60073	Fence Permit
JPF-19-132	05/31/2019	1200 Laurie Ln	G & M Ornamental Ironwork	1540 Hecht Dr, Suite D Bartlett IL 60103	Fence Permit
JPF-19-144	05/29/2019	1124 Woodview Rd	Northwest Cedar Products	15537 S. Weber Road Lockport IL 60441	Fence Permit
JPPL-19-114	05/10/2019	16W 253 94TH ST	Oasis Builders Incorporated	16800 S. Morel St Lockport IL 60441	Pool



06/19/2019

## Permits Applied For May 2019



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JPR-19-100	05/01/2019	8028 Shag Bark Ln	Big Time Construction Inc	501 N Pioneer Dr Addison IL 60101	Right-of-Way
JPR-19-118	05/08/2019	7217 Commonwealth Ave	Al Masonry and Concrete		Right-of-Way
JPR-19-119	05/09/2019	1040 Woodview Rd	Lemont Paving Company	11550 Archer Ave Lemont IL 60439	Right-of-Way
JPR-19-126	05/15/2019	10 S 741 JACKSON ST	Elia Asphalt		Right-of-Way
JPR-19-129	05/17/2019	10S 551 Madison ST	Community Asphalt Paving	5224 Walnut Av. Downers Grove IL 60515	Right-of-Way
JPR-19-133	05/20/2019	11429 Burr Oak Ln	Community Asphalt Paving	5224 Walnut Av. Downers Grove IL 60515	Right-of-Way
JPR-19-134	05/20/2019	15W 720 81ST ST	Edelhauser, R W & D M	15W720 81St St Burr Ridge IL 60527	Right-of-Way
JPR-19-138	05/28/2019	ROWs DuPage Locations	Talon Communications	305 Amston Ct. Oswego IL 60543	Right-of-Way
JPR-19-139	05/28/2019	ROWs Ck Cty Locations	Directional Construction Servic	556 E. Burnett Rd. Island Lake IL 60042	Right-of-Way
JPR-19-149	05/31/2019	6943 Fieldstone Dr	Litgen Concrete Cutting & Cor	1020 Nerge Rd Elk Grove Village IL 60007	Right-of-Way
JPS-19-076	05/14/2019	9101 Kingery Hwy	Identity Services LLC	120 W National Ave Addison IL 60101	Sign
JPS-19-135	05/28/2019	15W 60 FRONTAGE RD	Olympik Signs, Inc.	1130 N. Garfield Lombard IL 60148	Sign
JPS-19-136	05/21/2019	15W 200 South Frontage Rd	DeSign Group Signage Corp	2135 S. Frontage Rd Des Plaines IL 60018	Sign
JPS-19-140	05/23/2019	7000 High Grove Blvd	Fastsigns of Downers Grove	408 75th St Downers Grove IL 60516	Sign
JRAD-19-122	05/14/2019	6540 Manor	M.T. McCaw, Inc	414 Deerfield Dr Oswego IL 60543	Residential Addition
JRAL-19-115	05/08/2019	148 Easton PL	Haga Remodeling	4503 Fisherman Terrace Lyons IL 60534	Residential Alteration
JRAL-19-116	05/08/2019	148 Easton PL	Haga Remodeling	4503 Fisherman Terrace Lyons IL 60534	Residential Alteration



06/19/2019

## Permits Applied For May 2019



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JRAL-19-128	05/16/2019	15W 522 63RD ST	RES Electrical Services Inc	5415 N Francisco Ave Chicago IL 60625	Residential Alteration
JRAL-19-142	05/28/2019	11747 Briarwood Ct	Lamantia Design & Constructi	20 E. Ogden Av Hinsdale IL 60521	Residential Alteration
JRAL-19-143	05/29/2019	9141 Garfield Av	DND Plumbing, Inc.	6711 Church St. Morton Grove IL 60053	Residential Alteration
JRAL-19-147	05/31/2019	1 Shiloh Ct	Bradford & Kent Builders	807 Ogden Ave. Downers Grove IL 60515	Residential Alteration
JRDB-19-127	05/15/2019	6723 Fieldstone Dr	Woodridge Deck & Gazaebo C	2246 Palmer Dr Schaumburg IL 60173	Residential Detached Building
JRES-19-106	05/03/2019	11205 W 73RD PL	Damlo Development	6431 Tennessee Ave Willowbrook IL 60527	Residential Miscellaneous
JRES-19-125	05/15/2019	11400 Burr Oak Ln	TBD		Residential Miscellaneous
JRES-19-137	05/21/2019	4 Old Mill Ln	Gary Kassen	4 Old Mill Ln Burr Ridge IL 60527	Residential Miscellaneous
JRES-19-145	05/30/2019	8690 Crest Ct	Bart Industries, Inc.	11976 Cross Creek Ct Burr Ridge IL 60527	Residential Miscellaneous
JRES-19-148	05/31/2019	8600 S County Line Rd	LM Custom Homes LLC	361 S. Frontage Rd. Burr Ridge IL 60527	Residential Miscellaneous
JRES-19-150	05/31/2019	7600 Hamilton Av	Raymond & Patricia Howe	5500 S. Elm St. Hinsdale IL 60521	Residential Miscellaneous
JRPE-19-103	05/02/2019	8450 Omaha Dr	Kapital Electric, Inc.	1240 Mark St. Bensenville IL 60106	Res Electrical Permit
JRPE-19-110	05/06/2019	15W 703 82nd ST	Blue Raven Solar, LLC	1220 S. 630 E. Ste 430 American Fork UT 84003	Res Electrical Permit
JRPF-19-109	05/03/2019	6130 Elm St	Platinum Poolcare Aquatech, L	300 Industrial Drive Wheeling IL 60090	Pool and Fence
JRSF-19-111	05/09/2019	7269 Lakeside Cir	McNaughton Development	11 S 220 Jackson St Burr Ridge IL 60527	Residential New Single Family
JRSF-19-112	05/09/2019	7211 Lakeside Cir	McNaughton Development	11S220 Jackson St. Burr Ridge IL 60527	Residential New Single Family

**TOTAL: 50**



06/19/2019

## Permits Issued May 2019



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info	Description	Value & Sq Ftg	
JCA-19-077	05/28/2019	340 Shore Dr	R.T. Milord Co.	9801 Industrial Dr. Bridgeview IL 60455	Com Alteration	
JCMSC-19-084	05/10/2019	124 Tower Dr	Professional Paving & Concret	1 N 282 Park Blvd. Glen Ellyn IL 60137	\$694,886	13,920 Commercial Miscellaneous
JCPE-19-101	05/30/2019	340 Shore Dr	Nesko Electric Co. Inc.	3111 S 26th Ave Broadview IL 60155	Com Electrical Permit	
JDEK-19-056	05/02/2019	7321 Lakeside Cir	D&M Outdoor Living Spaces	P.O. Box 54 Western Springs IL 60558	Deck	
JDEK-19-064	05/15/2019	105 Lakewood Cir	K & D Landscape Mgmt	2128 Gould Ct Rockdale IL 60436	Deck	
JDEK-19-074	05/22/2019	8101 Ridgepointe Dr	Smith, Gregory	8101 Ridgepointe Dr. Burr Ridge IL 60527	Deck	
JDEK-19-099	05/21/2019	128 Dragonfly	CEW Construction	260 Saint Andrews Dr Bolingbrook IL 60440	Deck	
JDEK-19-102	05/23/2019	25 Rodeo Dr	Carmody Construction Co.	100 Meadows Ct Oswego IL 60543	Deck	
JDS-19-108	05/29/2019	1333 Burr Ridge Pkwy	Siebert Construction	1440 Huntington Dr Calumet City IL 60409	Demolition Structure	
JELV-18-307	05/10/2019	8900 County Line Rd	DME Elevators & Lifts	1973 Ohio St Lisle IL 60532	Elevator	
JGEN-19-093	05/21/2019	15W 260 62ND ST	Penco Electric Inc	7133 N Austin Ave Niles IL 60714	Generator	
JPR-19-081	05/09/2019	8301 Madison St	Elia Paving Co.	P.O. Box 580 Hinsdale IL 60522	Right-of-Way	
JPR-19-095	05/21/2019	8241 Lake Ridge Dr	Lemont Paving Company	11550 Archer Ave Lemont IL 60439	Right-of-Way	
JPR-19-100	05/29/2019	8028 Shag Bark Ln	Big Time Construction Inc	501 N Pioneer Dr Addison IL 60101	Right-of-Way	
JPR-19-118	05/31/2019	7217 Commonwealth Ave	Al Masonry and Concrete		Right-of-Way	
JPR-19-119	05/31/2019	1040 Woodview Rd	Lemont Paving Company	11550 Archer Ave Lemont IL 60439	Right-of-Way	



06/19/2019

## Permits Issued May 2019



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info		Description
					Value & Sq Ftg
JPS-19-076	05/30/2019	9101 Kingery Hwy	Identity Services LLC	120 W National Ave Addison IL 60101	Sign
JPS-19-135	05/29/2019	15W 60 FRONTAGE RD	Olympik Signs, Inc.	1130 N. Garfield Lombard IL 60148	Sign
JRAD-19-046	05/03/2019	8734 Johnston Rd	Anthony Saracco	1065 Zygmund Cir Westmont IL 60559	Residential Addition \$33,300 444
JRAL-19-075	05/21/2019	6140 Park Ave	Creber Construction	244 E. Ogden Ave. Hinsdale IL 60521	Residential Alteration \$159,900 2,132
JRAL-19-083	05/21/2019	11790 Briarwood Ct	Normandy Construction	440 E. Ogden Avenue Hinsdale IL 60521	Residential Alteration \$28,800 384
JRAL-19-086	05/16/2019	1000 Village Center Dr. 414	J2 Santi Inc.		Residential Alteration \$63,300 844
JRAL-19-087	05/22/2019	6403 St. James Ct	Goldstone Construction	7350 N. Kildare Ave Lincolnwood IL 60712	Residential Alteration \$14,850 198
JRAL-19-115	05/30/2019	148 Easton PL	Haga Remodeling	4503 Fisherman Terrace Lyons IL 60534	Residential Alteration \$16,425 219
JRES-19-090	05/30/2019	1208 Laurie Ln	J & S Electric	1446 South Boeger Ave Westchester IL 60154	Residential Miscellaneous
JRES-19-106	05/24/2019	11205 W 73RD PL	Damlo Development	6431 Tennessee Ave Willowbrook IL 60527	Residential Miscellaneous
JRES-19-125	05/31/2019	11400 Burr Oak Ln	TBD		Residential Miscellaneous
JRPE-19-110	05/29/2019	15W 703 82nd ST	Blue Raven Solar, LLC	1220 S. 630 E. Ste 430 American Fork UT 84003	Res Electrical Permit
JRSF-19-065	05/22/2019	6555 Shady Lane	Rose Real Estate Development	7851 W. Ogden Ave, Suite 200 Lyons IL 60534	Residential New Single Family \$1,213,050 8,087
JRSF-19-111	05/29/2019	7269 Lakeside Cir	McNaughton Development	11 S 220 Jackson St Burr Ridge IL 60527	Residential New Single Family \$366,300 2,442

**TOTAL: 30**



06/19/19

## Occupancy Certificates Issued May 2019



CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF19020	05/02/19	Gary and Carol Niederpruem	7307 Lakeside Cir
OF19022	05/09/19	Milan Balac	15W 200 75th St
OF19023	05/09/19	Joseph and Barbara DeLavan	7322 Lakeside Cir
OF19025	05/30/19	Nicholas and Connie Andros	7271 Lakeside Cir



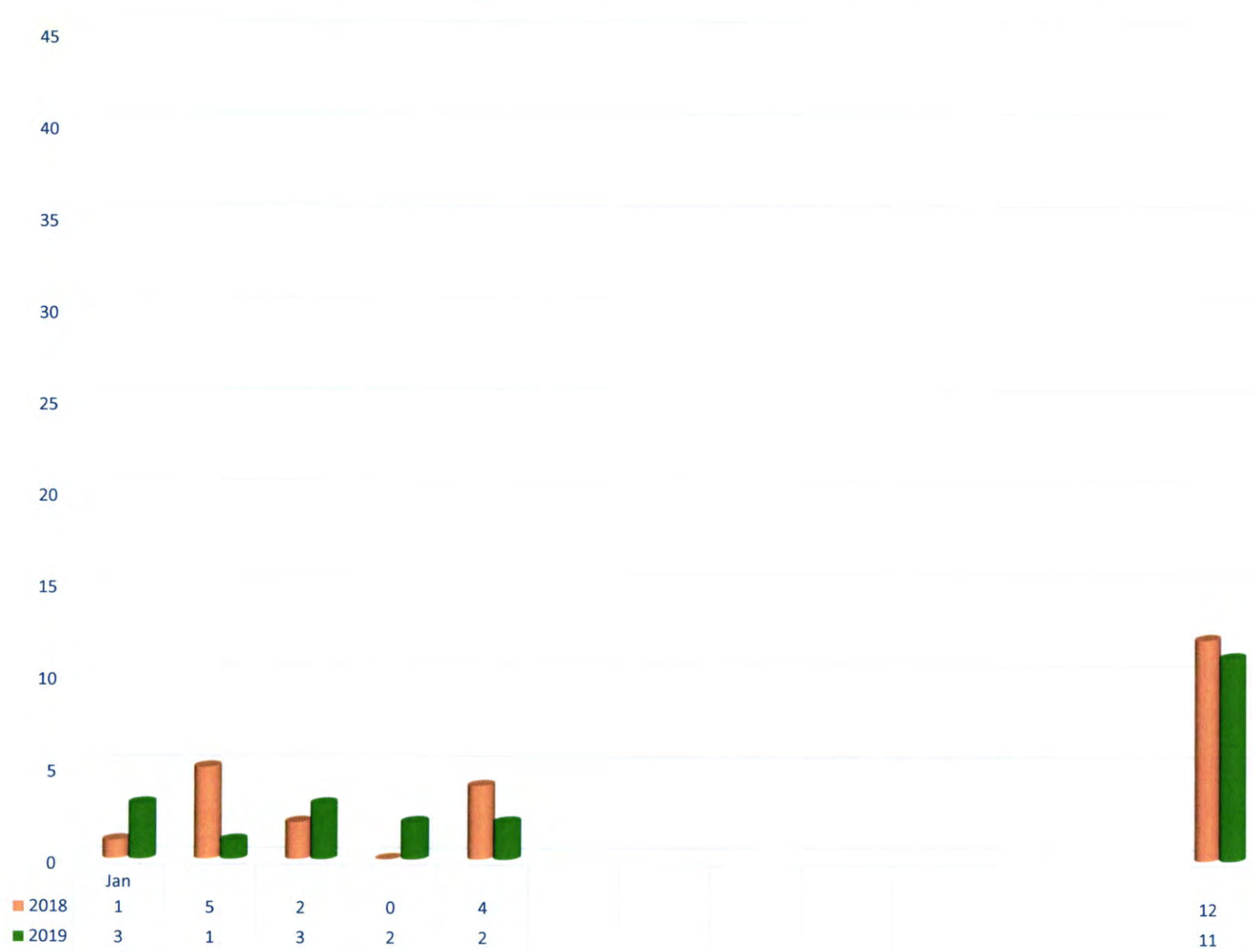
# CONSTRUCTION VALUE OF BUILDING PERMITS - MONTHLY SURVEY 2019

(Does not include miscellaneous Permits)

MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$1,802,100	\$1,859,525		\$3,846,454	\$7,508,079
	[3]	[3]		[2]	
FEBRUARY	\$488,100	\$180,150		\$3,240,995	\$3,909,245
	[1]	[2]		[2]	
MARCH	\$3,037,650	\$149,550		\$159,888	\$3,347,088
	[3]	[7]		[1]	
APRIL	\$1,519,950	\$538,200		\$579,071	\$2,637,221
	[2]	[8]		[2]	
MAY	\$1,579,350	\$316,575		\$694,886	\$2,590,811
	[2]	[6]		[1]	
JUNE					
JULY					
AUGUST					
SEPTEMBER					
OCTOBER					
NOVEMBER					
DECEMBER					
<b>2019 TOTAL</b>	<b>\$8,427,150</b>	<b>\$3,044,000</b>	<b>\$0</b>	<b>\$8,521,294</b>	<b>\$19,992,444</b>
	[11]	[26]		[8]	

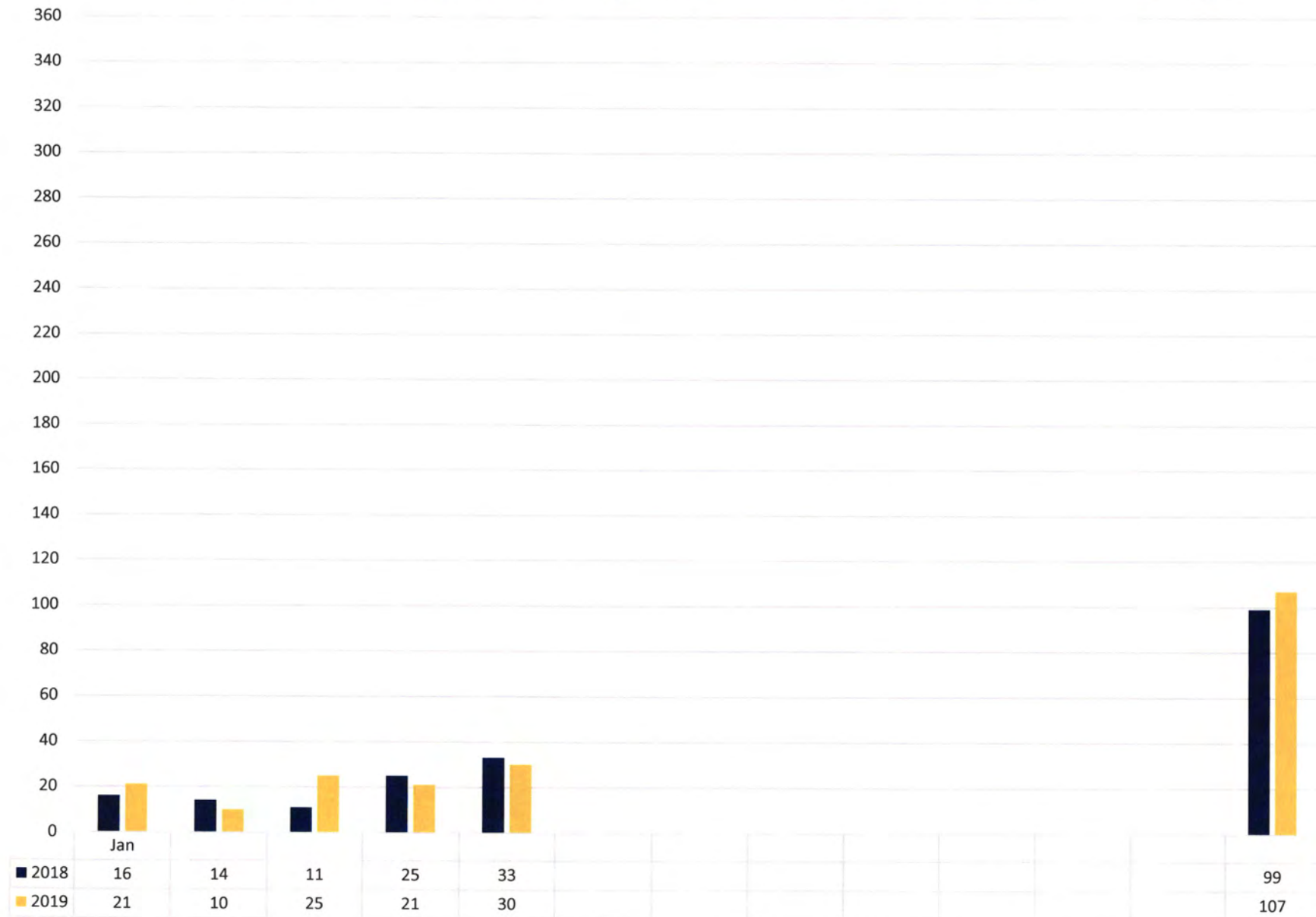


Village of Burr Ridge New Housing Permits 2018 Compared to 2019





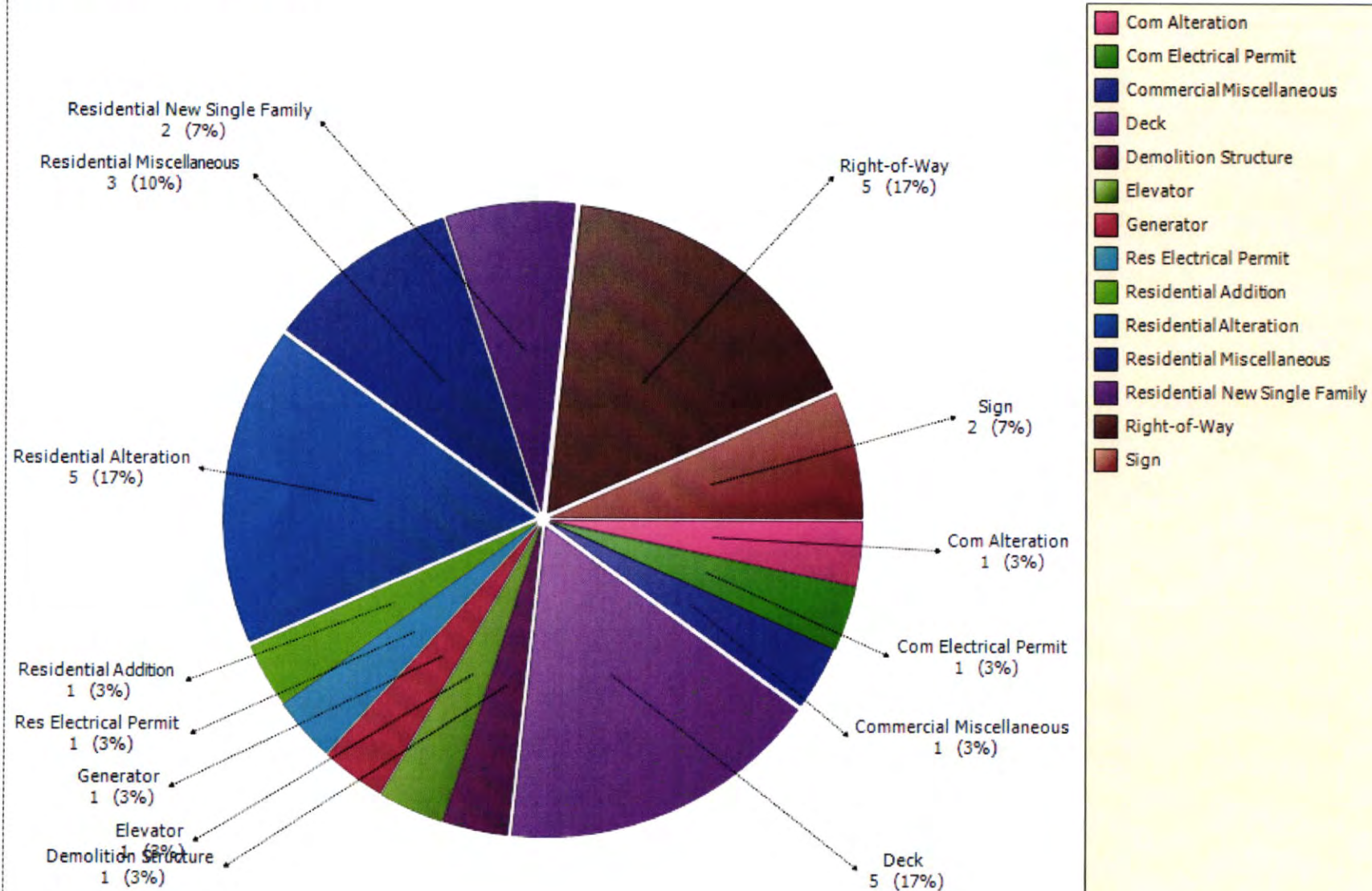
## Village of Burr Ridge Building Permits Issued 2018 Compared to 2019





## Breakdown of Projects by Project Type

## Permits Issued May 2019





07/15/2019

## Permits Applied For June 2019



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JCA-19-155	06/10/2019	1333 Burr Ridge Pkwy	Siebert Construction	1440 Huntington Dr Calumet City IL 60409	Com Alteration
JCA-19-156	06/10/2019	100 Shore Dr	Precision Gage Company	100 Shore Dr Burr Ridge IL 60527	Com Alteration
JCA-19-165	06/17/2019	92 Burr Ridge Parkway	Sladjana Saric	41 58th St # 8C Clarendon Hills IL 60514	Com Alteration
JCMSC-19-157	06/07/2019	144 Tower Dr	Maul Paving	10201 Clow Creek Dr Plainfield IL 60585	Commercial Miscellaneous
JDEK-19-164	06/14/2019	8077 Savoy Club Ct.	D & M Outdoor Living Spaces	P.O. Box 54 Western Springs IL 60558	Deck
JDEK-19-172	06/19/2019	County Line Rd	King Bruwaert House	6101 County Line Road Burr Ridge IL 60527	Deck
JELV-19-153	06/06/2019	11500 German Church Rd	DME Elevators & Lifts	1973 Ohio St Lisle IL 60532	Elevator
JPF-19-152	06/05/2019	8601 Heather Dr	Cedar Mountain Fence Co.	13940 Bambridge Circle Plainfield IL 60544	Fence Permit
JPF-19-154	06/07/2019	536 Conway Ct	Dan Brunette	536 Conway Ct Burr Ridge IL 60527	Fence Permit
JPR-19-151	06/05/2019	11240 W 74th St	Elia Paving Co.	P.O. Box 580 Hinsdale IL 60522	Right-of-Way
JPR-19-161	06/13/2019	11505 75th St	ABC Contractors, Inc.	1116 Center St Joliet IL 60435	Right-of-Way
JPR-19-162	06/13/2019	8001 Drew Ave	Irish Castle Paving	7701 W 99TH ST Hickory Hills IL 60457	Right-of-Way
JPR-19-166	06/17/2019	100 Stirrup Ln	J&J Asphalt Paving, Inc.	21 S. Howard St. Suite 2 Roselle IL 60172	Right-of-Way
JPR-19-168	06/18/2019	8572 Walredon Ave	Dombrowski,Donald & Karen	8572 Walredon Ave Burr Ridge IL 60521	Right-of-Way
JPR-19-169	06/19/2019	135 Oak Ridge Dr	Rabine Paving	900 National Pkwy Schaumburg IL 60173	Right-of-Way
JRAL-19-158	06/12/2019	7240 Park Ave	Agata & Marcin Wojtyczka	Burr Ridge IL 60527	Residential Alteration
JRAL-19-173	06/26/2019	1032 Laurie Ln	Bradford & Kent Builders	807 Ogden Ave. Downers Grove IL 60515	Residential Alteration



07/15/2019

## Permits Applied For June 2019



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JRAL-19-175	06/28/2019	11667 Walnut Ct	Normandy Construction	440 E. Ogden Avenue Hinsdale IL 60521	Residential Alteration
JRES-19-123	06/07/2019	125 Carriage Way Dr.	Aloha Solar LLC	604 N. Edgewood Ave La Grange Park IL 60526	Residential Miscellaneous
JRES-19-159	06/12/2019	6545 Hillcrest Dr.	United Landscaping		Residential Miscellaneous
JRES-19-160	06/13/2019	4 Seneca Ct	Brickman Masonry	28943 S. Gougan Manhattan IL 60442	Residential Miscellaneous
JRPF-19-167	06/19/2019	4 Seneca Ct	Aqua Pools, Inc.	13445 W 159th St. Homer Glen IL 60491	Pool and Fence
JRSF-19-163	06/14/2019	11866 Crosscreek Ct	JDS Home Builders, Inc	17W060 Fern Willowbrook IL 60527	Residential New Single Family
JRSF-19-171	06/21/2019	7238 Lakeside Cir	McNaughton Development	11S220 Jackson St. Burr Ridge IL 60527	Residential New Single Family
<b>TOTAL:</b>	<b>24</b>				



07/15/2019

## Permits Issued June 2019



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info		Description	Value & Sq Ftg	
JPF-19-154	06/27/2019	536 Conway Ct	Dan Brunette	536 Conway Ct Burr Ridge IL 60527	Fence Permit		
JPPL-19-114	06/03/2019	16W 253 94TH ST	Oasis Builders Incorporated	16800 S. Morel St Lockport IL 60441	Pool		
JPR-19-038	06/13/2019	8670 County Line Rd	LM Custom Homes	115 W 55th Street Clarendon Hills IL 60514	Right-of-Way		
JPR-19-126	06/10/2019	10 S 741 JACKSON ST	Elia Asphalt		Right-of-Way		
JPR-19-129	06/14/2019	10S 551 Madison ST	Community Asphalt Paving	5224 Walnut Av. Downers Grove IL 60515	Right-of-Way		
JPR-19-133	06/12/2019	11429 Burr Oak Ln	Community Asphalt Paving	5224 Walnut Av. Downers Grove IL 60515	Right-of-Way		
JPR-19-134	06/13/2019	15W 720 81ST ST	Edelhauser, R W & D M	15W720 81St St Burr Ridge IL 60527	Right-of-Way		
JPR-19-138	06/06/2019	ROWs DuPage Locations	Talon Communications	305 Amston Ct. Oswego IL 60543	Right-of-Way		
JPR-19-139	06/07/2019	ROWs Ck Cty Locations	Directional Construction Servic	556 E. Burnett Rd. Island Lake IL 60042	Right-of-Way		
JPR-19-149	06/25/2019	6943 Fieldstone Dr	Litgen Concrete Cutting & Cor	1020 Nerge Rd Elk Grove Village IL 60007	Right-of-Way		
JPR-19-151	06/26/2019	11240 W 74th St	Elia Paving Co.	P.O. Box 580 Hinsdale IL 60522	Right-of-Way		
JPS-19-136	06/11/2019	15W 200 South Frontage R	DeSign Group Signage Corp	2135 S. Frontage Rd Des Plaines IL 60018	Sign		
JPS-19-140	06/11/2019	7000 High Grove Blvd	Fastsigns of Downers Grove	408 75th St Downers Grove IL 60516	Sign		
JRAL-19-098	06/04/2019	136 Carriage Way DR	RLC Development & Construc	1501 Burr Ridge Club Dr Burr Ridge IL 60527	Residential Alteration	\$4,500	60
JRAL-19-128	06/28/2019	15W 522 63RD ST	RES Electrical Services Inc	5415 N Francisco Ave Chicago IL 60625	Residential Alteration	\$38,400	512
JRAL-19-147	06/21/2019	1 Shiloh Ct	Bradford & Kent Builders	807 Ogden Ave. Downers Grove IL 60515	Residential Alteration	\$28,875	385



07/15/2019

## Permits Issued June 2019



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info	Description	Value & Sq Ftg	
JCA-19-067	06/26/2019	101 Tower Dr	Medwest Associates, Inc.	4425 W. Harrison Hillside IL 60162	Com Alteration	
JCMSC-19-157	06/28/2019	144 Tower Dr	Maul Paving	10201 Clow Creek Dr Plainfield IL 60585	\$1,319,475	17,593
JDEK-19-096	06/14/2019	7355 Lakeside Circle	Saif & Nusrat Nazir	7355 Lakeside Cir Burr Ridge IL 60527	Commercial Miscellaneous	
JELV-19-153	06/21/2019	11500 German Church Rd	DME Elevators & Lifts	1973 Ohio St Lisle IL 60532	Deck	
JGEN-19-104	06/05/2019	9465 Fallingwater Dr W	Alternating Currents Corp.	21W180 Hill Av. Glen Ellyn IL 60137	Elevator	
JPAT-19-092	06/11/2019	8350 Waterview CT	A Touch of Green	12720 W. 159th St. HOMER GLEN IL 60491	Generator	
JPAT-19-094	06/04/2019	8241 Lake Ridge Dr	Hogan, Robert E & Kimberly	8241 Lake Ridge Dr Burr Ridge IL 60521	Patio	
JPAT-19-120	06/04/2019	8219 Windsor Ct	Grant & Power Landscaping In	700 E. Roosevelt Rd. West Chicago IL 60185	Patio	
JPCT-18-202	06/05/2019	7101 Garfield Av	Verizon Wireless	1515 Woodfield Rd Schaumburg IL 60173	Cell Tower	
JPCT-19-020	06/05/2019	16W 50 83rd ST	SAC Wireless	540 W. Madison ST Chicago IL 60661	Cell Tower	
JPF-19-105	06/03/2019	8460 Clynderven Rd	Cedar Mountain Fence Co.	23523 W. Schultz St Plainfield IL 60585	Fence Permit	
JPF-19-113	06/10/2019	8461 Carlisle Ct	America's Backyard	1909 Briggs St. Joliet IL 60433	Fence Permit	
JPF-19-124	06/10/2019	129 Surrey Ln	Golden Fence, Inc.	1841 W Rookery Cir. Round Lake IL 60073	Fence Permit	
JPF-19-132	06/10/2019	1200 Laurie Ln	G & M Ornamental Ironwork	1540 Hecht Dr, Suite D Bartlett IL 60103	Fence Permit	
JPF-19-144	06/10/2019	1124 Woodview Rd	Northwest Cedar Products	15537 S. Weber Road Lockport IL 60441	Fence Permit	
JPF-19-152	06/26/2019	8601 Heather Dr	Cedar Mountain Fence Co.	13940 Bambridge Circle Plainfield IL 60544	Fence Permit	



07/15/2019

## Permits Issued June 2019



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info	Description	Value & Sq Ftg	
JRDB-19-052	06/13/2019	7730 Wolf Rd.	James & Debbie Martin	7730 Wolf Rd. Burr Ridge IL 60527	Residential Detached Building	
JRDB-19-127	06/07/2019	6723 Fieldstone Dr	Woodridge Deck & Gazaebo C	2246 Palmer Dr Schaumburg IL 60173	Residential Detached Building	
JRES-19-089	06/14/2019	8005 Bucktrail Dr.	Green Grass Inc	1597 Warren Ave Downers Grove IL 60515	Residential Miscellaneous	
JRES-19-091	06/26/2019	6150 Park Av.	Tesla, Inc	2201 Arthur Avenue Elk Grove Village IL 60007	Residential Miscellaneous	
JRES-19-123	06/17/2019	125 Carriage Way Dr.	Aloha Solar LLC	604 N. Edgewood Ave La Grange Park IL 60526	Residential Miscellaneous	
JRES-19-137	06/13/2019	4 Old Mill Ln	Gary Kassen	4 Old Mill Ln Burr Ridge IL 60527	Residential Miscellaneous	
JRES-19-148	06/11/2019	8600 S County Line Rd	LM Custom Homes LLC	361 S. Frontage Rd. Burr Ridge IL 60527	Residential Miscellaneous	
JRPF-19-082	06/03/2019	8350 Waterview CT	Platinum Poolcare Aquatech, L	300 Industrial Drive Wheeling IL 60090	Pool and Fence	
JRSF-19-112	06/03/2019	7211 Lakeside Cir	McNaughton Development	11S220 Jackson St. Burr Ridge IL 60527	Residential New Single Family	
<b>TOTAL:</b>					\$488,100	3,254
<b>41</b>						



07/15/19

## Occupancy Certificates Issued May 2019



CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF19026	06/11/19	Esrock Partners	15W 60 FRONTAGE RD



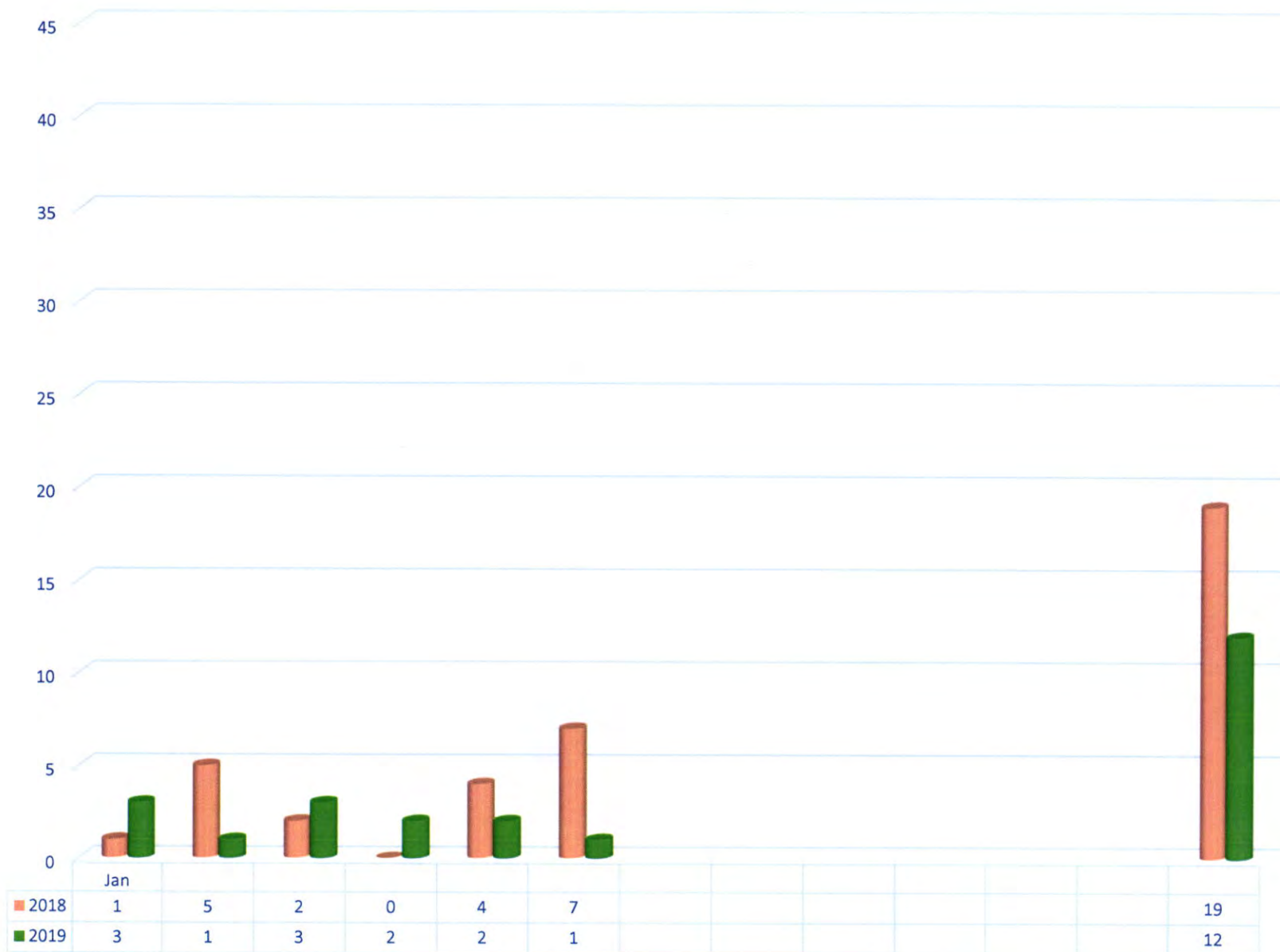
# CONSTRUCTION VALUE OF BUILDING PERMITS - MONTHLY SURVEY 2019

(Does not include miscellaneous Permits)

MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$1,802,100	\$1,859,525		\$3,846,454	\$7,508,079
	[3]	[3]		[2]	
FEBRUARY	\$488,100	\$180,150		\$3,240,995	\$3,909,245
	[1]	[2]		[2]	
MARCH	\$3,037,650	\$149,550		\$159,888	\$3,347,088
	[3]	[7]		[1]	
APRIL	\$1,519,950	\$538,200		\$579,071	\$2,637,221
	[2]	[8]		[2]	
MAY	\$1,579,350	\$316,575		\$694,886	\$2,590,811
	[2]	[6]		[1]	
JUNE	\$488,100			\$1,319,475	\$1,807,575
	[1]			[1]	
JULY					
AUGUST					
SEPTEMBER					
OCTOBER					
NOVEMBER					
DECEMBER					
<b>2019 TOTAL</b>	<b>\$8,915,250</b>	<b>\$3,044,000</b>	<b>\$0</b>	<b>\$9,840,769</b>	<b>\$21,800,019</b>
	[12]	[26]		[9]	

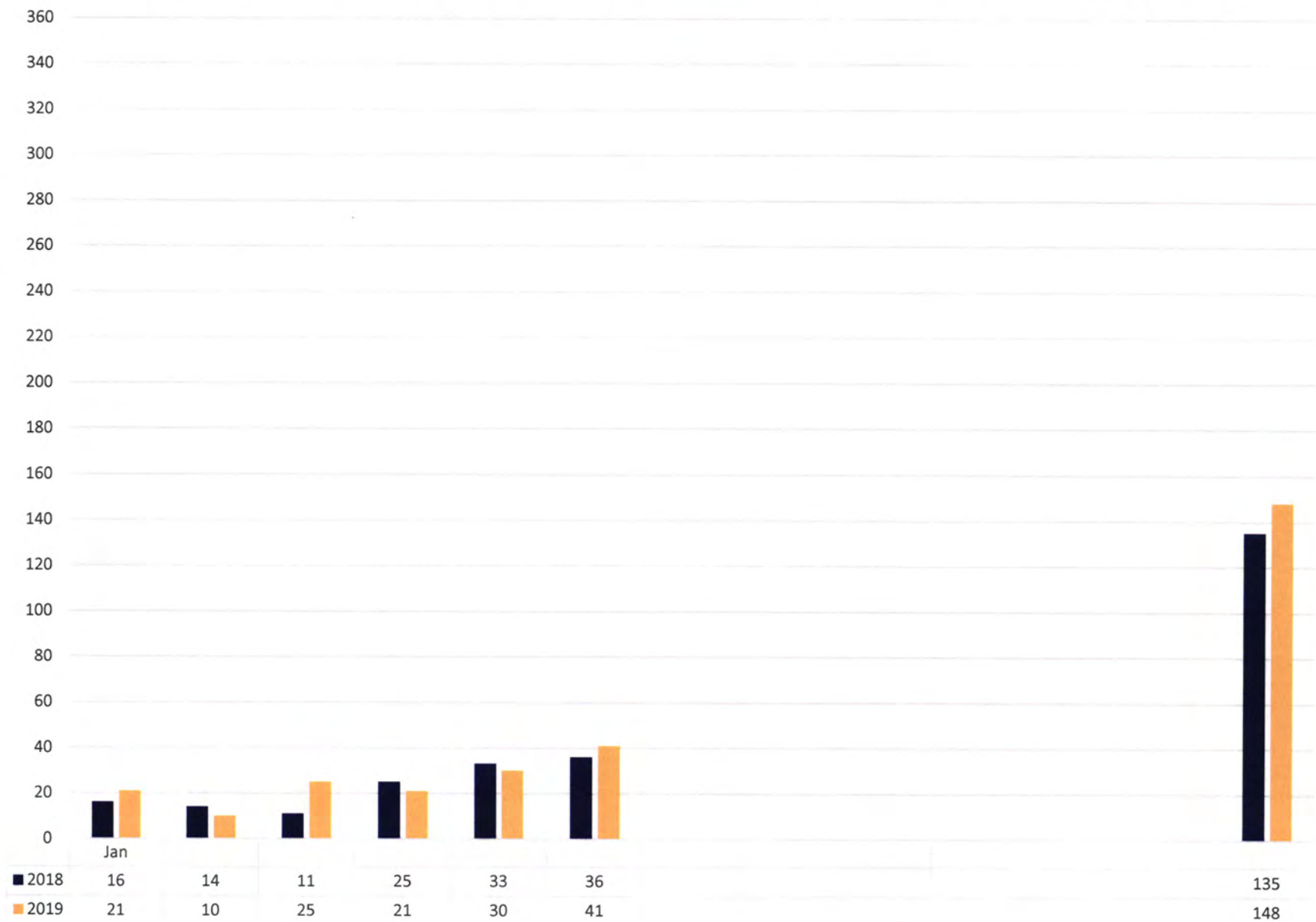


## Village of Burr Ridge New Housing Permits 2018 Compared to 2019





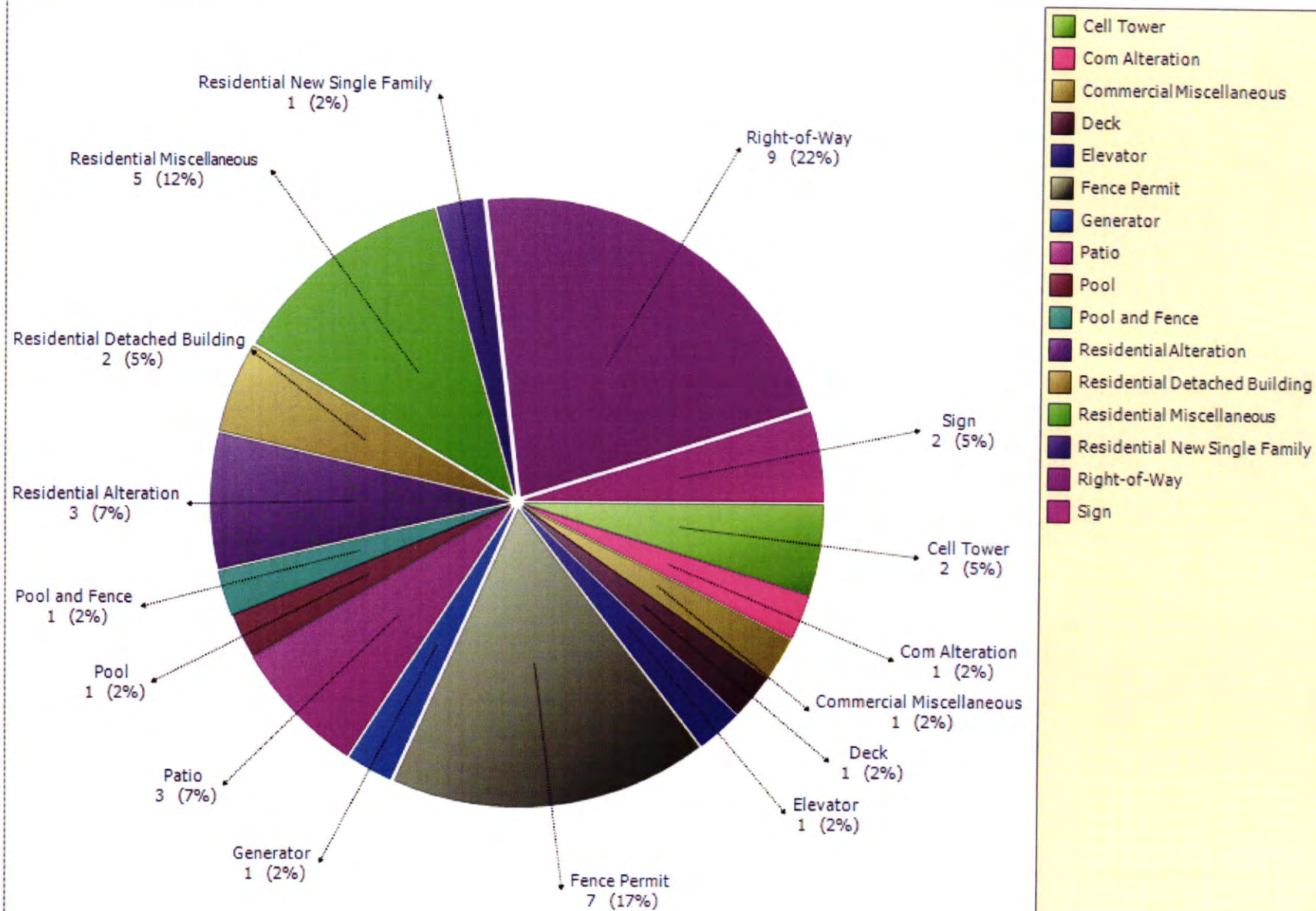
## Village of Burr Ridge Building Permits Issued 2018 Compared to 2019





## Breakdown of Projects by Project Type

## Permits Issued June 2019







VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**S-04-2019: 7425 Wolf Road (Pleasantdale Park District); Requests requesting conditional sign approval for a non-residential sign in a residential district and requests three variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance to allow a sign: (1) exceeding the maximum permitted size for a ground sign; (2) with an electronic changeable message panel; and (3) located less than 10 feet from a property line.**

**HEARING:**  
August 5, 2019

**TO:**  
Plan Commission  
Greg Trzupek, Chairman

**FROM:**  
Evan Walter  
Assistant Village Administrator

**PETITIONER:**  
Pleasantdale Park District

**PETITIONER STATUS:**  
Property Owner

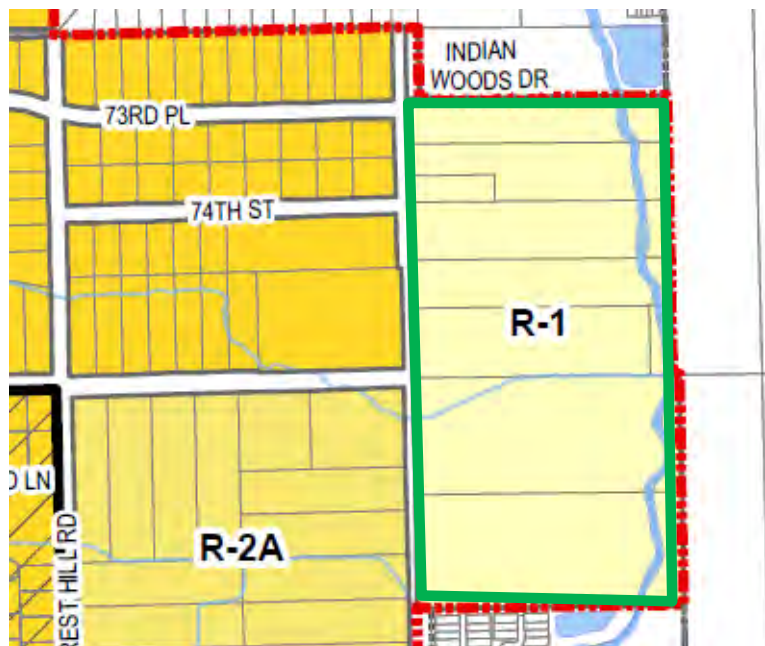
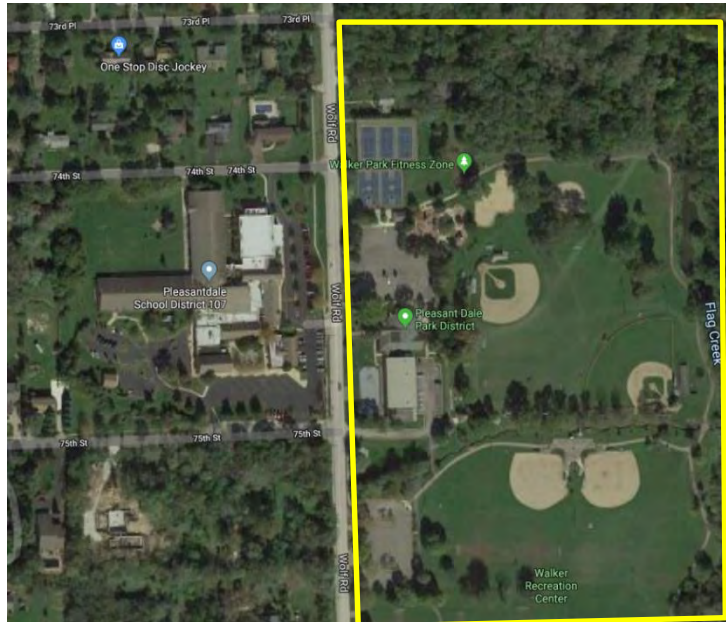
**EXISTING ZONING:**  
R-1 Residential

**LAND USE PLAN:**  
Recommends Parks / Open Space

**EXISTING LAND USE:**  
Park District Facilities

**SITE AREA:**  
44 Acres

**SUBDIVISION:**  
Walker Park





The petitioner is Pleasantdale Park District (hereafter: "District"), owner and operator of the school facilities located at 7425 Wolf Road. The petitioner is requesting conditional sign approval and three variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance as follows:

- Conditional sign approval is requested to allow a ground sign on a non-residential lot in a residential district.
- A variation is requested to permit the sign with an electronic changeable message panel. The Sign Ordinance prohibits "attraction panels with changeable letters."
- A variation to allow the sign to be, located seven feet from the front lot line rather than the required 10 feet.
- A variation to permit a 30 square-foot ground sign rather than the permitted maximum area of 16 square feet.

The existing ground sign on the property has a manually changeable message panel. In 1992, the Village granted the District a variation to construct a manually changeable sign at Walker Park. A 2008 variation allowed the sign to be replaced. The proposed sign is approximately 30 square feet in size (not counting the stone base), double-sided, and would be located in the same location as the current ground sign on the property. The location and an elevation of the current and proposed signs has been provided.

### **History of Changeable Signs in the Village**

While signs with changeable attraction panels are prohibited by the Sign Ordinance, the Village has granted several variations in the past to permit such signs:

- 1997; 15W776 North Frontage Road – Tasso's Porterhouse Restaurant; a variation was granted to allow a manually changeable panel sign. This sign has since been removed.
- 2000; 15W300 South Frontage Road – Hotel; a variation was granted to allow a manually changeable panel sign. This sign has since been removed.
- 2012; 7941 Madison Street – Gower School; a variation allowed a ground sign with an electronic changeable message panel.

### **Findings of Fact and Recommendation**

The petitioner has provided Findings of Fact which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission chooses to recommend conditional sign approval along with variations to allow a ground sign in excess of 16 square feet with an electronic changeable message panel at the subject property, staff recommends that they be granted subject to the following conditions:

1. The sign shall comply with the sign elevations and the sign location plan attached hereto.
2. There shall be no animation, videos, or other moving text within the electronic message panel.
3. The electronic message panel shall be turned off every night from midnight to 4:00 a.m.

It should be noted that the recommended conditions are identical to those required of Gower School to install a sign with an electronic changeable message panel.

### **Appendix**

Exhibit A – Petitioner's Materials



# EXHIBIT A



Burr Ridge Plan Commission & Board of Trustees  
Burr Ridge Village Hall  
7660 County Line Road  
Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

On behalf of Pleasantdale School District 107 and the Pleasant Dale Park District, we wish to thank you for considering our sign variance request to allow us to install digital signage. While we will be submitting individual applications, we wanted you to be aware that this has been a cooperative effort to benefit both of our organizations. We always attempt to be as fiscally responsible as possible with taxpayer dollars. Working collaboratively has allowed us to secure better pricing as opposed to us working individually. As our locations are directly across the street from each other and our signs will be virtually the same, the finished product would give the area a nice "book end" feel on either side of Wolf Road. Lastly, as both of our agencies offer a variety of events and programs, new signage will serve as a benefit to our community. We look forward to your feedback and future discussion.

Thank you very much,

A handwritten signature in blue ink, appearing to read "Griffin Sonntag".

Griffin Sonntag  
Principal  
Pleasantdale Middle School

A handwritten signature in blue ink, appearing to read "Matt Russian".

Matt Russian  
Executive Director  
Pleasant Dale Park District





**Pleasant Dale  
Park District**

*Since 1954*



## PLEASANT DALE PARK DISTRICT

7425 South Wolf Road  
Burr Ridge, IL 60527

Telephone: (630) 662-6220  
FAX: (630) 662-9239

Burr Ridge Plan Commission & Board of Trustees  
Burr Ridge Village Hall  
7660 County Line Road  
Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

Thank you for your review and consideration of our sign variance request which would allow us to install new digital signage at the Walker Park Recreation Center located at 7425 S Wolf Road in Burr Ridge. We are proposing to install an energy efficient Prismview double-faced outdoor 10mm RGB LED matrix display board. The sign would have full color capability and we would use that coloring in our verbiage and artwork displays. No moving pictures would be utilized as part of the display (waving flag, bouncing ball, etc.).

-Existing Sign Measurements: 47"H x 86"L x 24.5"D      Base of sign sits 20" above ground

-Proposed Sign Measurements: 48.375"H x 81.25"L x 12"D      Base of sign still at 20" above ground

-10mm is the pixel pitch (distance between each pixel) and refers to the resolution of sign.

Included in our application is the following:

- Petition of Public Hearing for Sign Variance
- Findings of Fact for Sign Variance
- Site map of existing and proposed sign location
- Aerial view of existing and proposed sign location
- Picture of existing letter board sign
- Rendering of proposed digital sign
- Technical drawing of digital display board
- Supplemental information regarding Prismview signs

On behalf of the park district, we thank you for your consideration and welcome the opportunity to address any questions you may have.

Sincerely,

Matt Russian  
Executive Director  
Pleasant Dale Park District



110 SV EL

1221 EL=630.8 16IN

1220 EL=631.3 16IN

1219 EL=631.7 16IN

1218 EL=632.1 22IN

1170 EL=631.1

1171 STORM INLET EL=630.99

1167 EL=631.2

1173 EL=631.5

1174 EL=631.4

1175 GPP EL=631.5

1176 STORM INLET EL=631.30

1177 EL=631.7

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1179 GPP EL=631.4

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1185 STORM INLET EL=630.25 INV=627.90

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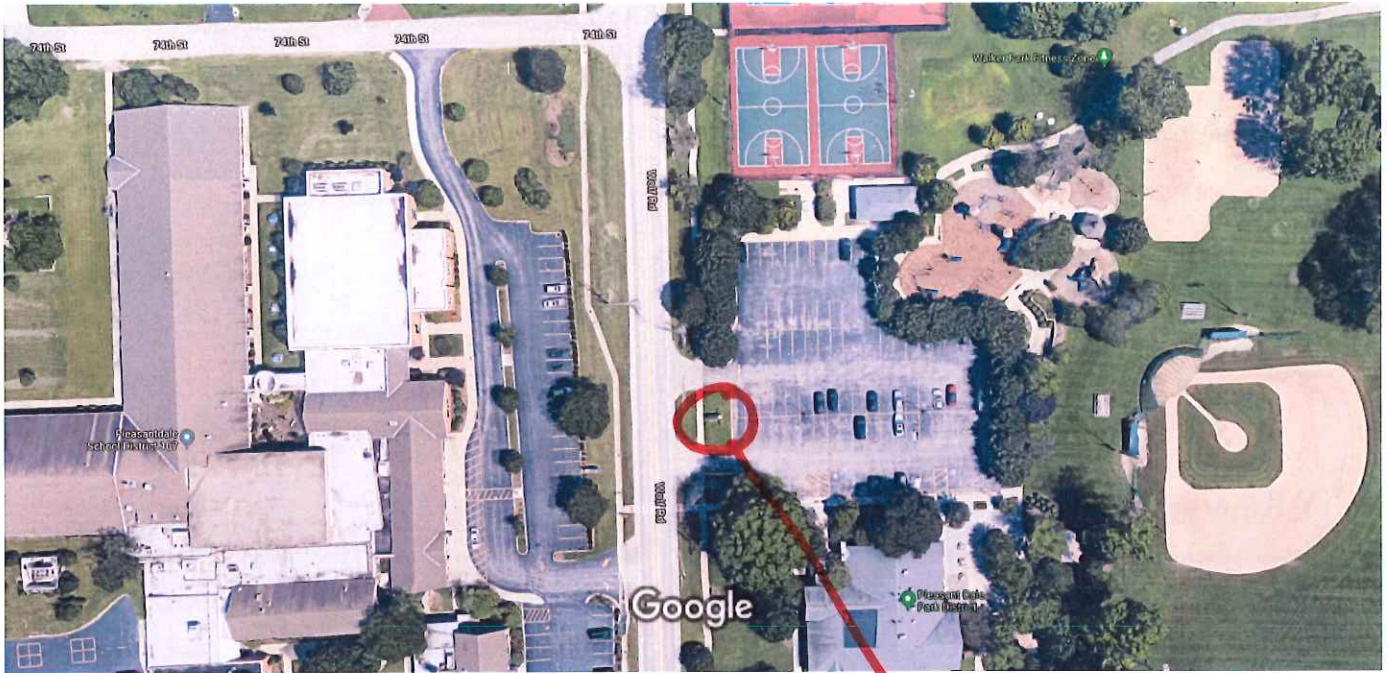
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Google Maps 7425 S Wolf Rd



Imagery ©2019 Google, Map data ©2019 50 ft



AERIAL VIEW  
SIGN LOCATION

7425 S Wolf Rd

Burr Ridge, IL 60527



Directions



Save



Nearby



Send to your  
phone



Share

Q434+HR Burr Ridge, Illinois



**PLEASANT DALE PARK DISTRICT**

**PRE SCHOOL OPEN HOUSE**

**MAR 13 4-5 PM**

**FCHS QUEEN ELIZ II 3/18 7PM**

**SUMMER CAMP**

**OPEN HOUSE 3-14 6-6:30PM**



**Pleasant Dale  
Park District**

**7425**

**NORTH LOT  
EXIT  
ONLY**

**STOP**



3677 N. IL Route 71  
Sheridan, IL 60551



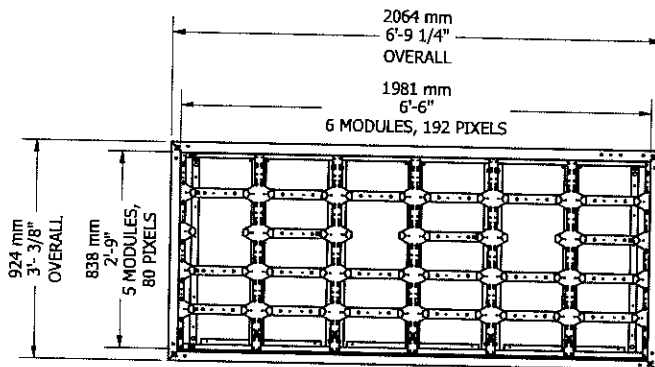
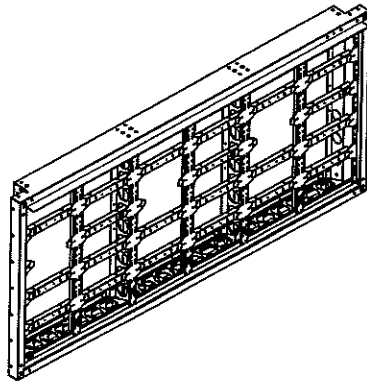
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www.correctdd.com



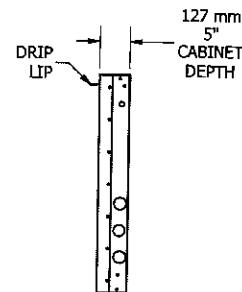
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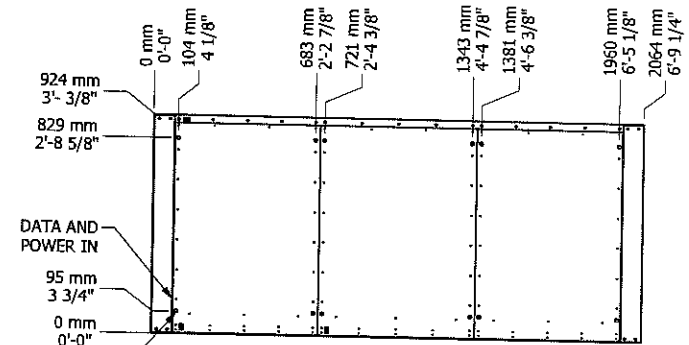
THESE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF PRISMVIEW LLC. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THEIR USE AND FOR THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR USE ON ANY OTHER PROJECT.



FRONT VIEW  
SCALE 1 / 20



3/8" CLOSED END NUTS FOR MOUNTING TO REAR STRUCTURE



REAR VIEW  
SCALE 1 / 20

REVISION HISTORY				
DWG EDITION	REV	DWG EDITION DESCRIPTION	DATE	AUTHOR
1	A	INITIAL RELEASE	12/27/2016	CJN
2	B	Removed 1 Horz. Stiffener, Added 3 Short Stiffners	10/25/2016	AA
3				

## NOTES: (UNLESS OTHERWISE SPECIFIED)

### PER SINGLE FACE

1. ESTIMATED WEIGHT AT 10 LB PER SQUARE FOOT: 176 LB (APPROX.)
2. ESTIMATED LED WATTAGE AT .077 WATTS PER PIXEL: 1,183 WATTS (APPROX.)
3. TOTAL WATTAGE OF DISPLAY: 1,195 WATTS (APPROX.)
4. PRIMARY POWER TYPE: 120V, 60Hz

PROJECT NAME: PLEASANT DALE PARK

PROJECT NUMBER: S201931000674-01

NUMBER OF SECTIONS (PER FACE): 1  
NUMBER OF FACES: 0

NUMBER OF FANS (PER FACE): 3  
WATTS PER FAN: 6

### NOTES: (UNLESS OTHERWISE SPECIFIED)

- ALUMINUM CABINET DESIGN WITH BLACK PERIMETER FINISH
- ACTUAL CONNECTED LOAD DEPENDS ON NIT VALUES, EFFICIENCY OF THE SYSTEM, AND LED SELECTION. THE ELECTRICAL CONTRACTOR MUST VERIFY ACTUAL LOADS AND POWER TYPE WITH THE FACTORY PRIOR TO FABRICATION
- ALL CORNERS TO BE SHOP WELDED. SILICONE ALL OTHER SEAMS.

**Prismview**  
A Samsung Electronics Company

1651 NORTH 1000 WEST  
LOGAN, UT 84321  
PHONE: 435-774-8800 FAX: 435-774-8801

Better Build, 10mm 192x80

UNSPECIFIED TOLERANCES  
DECIMAL:  $\pm 0.010$   
FRACTIONAL:  $\pm 1/16$   
ANGULAR:  $\pm 2^\circ$

SHEET  
SIZE:  
B

ITEM NUMBER:  
MAY-880020

ITEM  
REVISION:  
B

ESTIMATED  
WEIGHT:  
176 LBS  
80 Kg  
DATE:  
12/27/2016

SHEET NUMBER:  
1 OF 6





**Pleasant Dale  
Park District**

*Since 1954*



## PLEASANT DALE PARK DISTRICT

7425 South Wolf Road  
Burr Ridge, IL 60527

Telephone: (630) 662-6220  
FAX: (630) 662-9239

### **Findings of fact for variation pursuant to the Village of Burr Ridge sign ordinance**

- a) The variation is in harmony with the general purpose and intent of the Sign Ordinance

-The new digital sign will continue to comply with the intent of the sign ordinance by being compatible with the surroundings, appropriate to park district activities, and legible to the community.

- b) The plight of the petitioner is due to unique circumstances

-At the park district we offer numerous and a wide variety of programs to the community. Due to limited space on the old-fashioned letter board sign, we have to selectively choose what programs are highlighted on the sign. A new digital sign would allow us to inform the community of more events by integrating new technology.

- c) The variation is necessitated by practical difficulties or particular hardships created by the requirements of the Sign Ordinance

-The antiquated sign we currently have continually needs repairs. The frame and locks have attempted to be repaired multiple times without success. This has allowed precipitation to enter the sign causing additional issues. In trying to spent funds wisely, it only makes sense to replace the letter board sign with new digital technology.

- d) The variation will not alter the essential character of the locality

-The masonry base and adjacent column on the existing sign will stay completely intact. We are simply looking to replace the letter board sign case with a digital display case so the character of the location will not be altered.





## The Low Power Leader Prismview is #1 in Energy Efficiency

### Proven Power Savings

Standard digital display products from Prismview operate at a lower power requirement than any other competitive displays. Ultimately, this relates to savings at installation and throughout the life of the display. Proprietary display design allows for the industry's lowest power requirement and usage, without sacrificing brightness, performance, or image quality. Underwriters Laboratories recognizes our effort by awarding us with their Energy Efficiency Certification.



**Save Power**  
without giving up Performance or Image Quality!

### Ongoing Production Testing

Under UL Energy Efficiency Certification, manufacturers are required to test samples of their products as part of their ongoing production procedures to determine continued compliance with energy efficiency requirements. The number of samples to be tested and the frequency of testing vary for each product type and are dependent on the applicable industry standard, government regulation, industry practices, and the number of units manufactured. The manufacturer is required to document the test results, which UL audits as part of each follow-up service visit.

### Summary

Prismview builds energy efficiency into every display we make. We are the only manufacturer that delivers a true 14' X 48' billboard display at 48 amp max draw (60 amp service). No matter the size, a quality built Prismview display provides industry leading energy efficiency, saving you money, by providing the lowest cost of display ownership.

The Low Power Leader 08.28.12

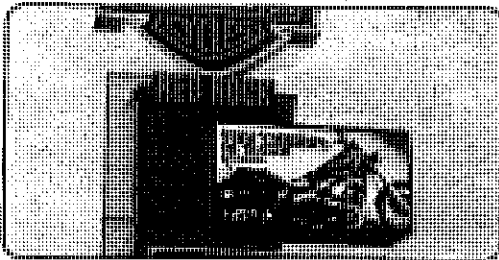


# Display Dimming Control

All Prismview signs have redundant systems in place to guarantee that the sign's brightness is within the desired specifications that the customer or zoning laws require. The sign administrator also has complete control of the daytime and nighttime lux values which gives them the opportunity to customize each sign to its unique location. The sign will transition from daytime to nighttime and back without the observer noticing.

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## Specifications



### PRISMVIEW LIGHT SENSOR

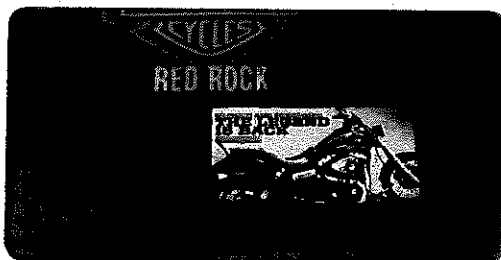
Our sensor is capable of measuring ambient light levels of 30 mLux to 170 kLux. Moonlight is measured at less than 1 lux. Sunlight on an average day measures greater than 32 kLux.

**Light Sensor Enclosure** – The Prismview light sensor enclosure is specially engineered to only allow reflected light into the sensor. Mounting the device in the bezel of the sign provides the greatest consistency of light measurements. The angle of the sun based on different seasons does not adversely affect the measured light – giving consistent results year round.



**Software interpretation of measured light** -The PV software will read the measured light from 2 different sensors within the same enclosure (redundancy) and determines if the values read are valid (within multiple parameters). That value is then loaded into a buffer holding previous readings and averaged (greater accuracy). When the average reading reaches a certain lux value, the software will allow the sign to become brighter or dimmer.

**Manual Mode** - In manual mode, the administrator can force the sign to a specific brightness based on the need.



**Sunrise/Sunset Table** - In sunrise/sunset mode, the software looks at a table showing the sunrise and sunset times for all months of the year. The software will then dim the sign according to the time specified in the file. Automatic table generation is possible through a link to a web site that generates the table based on your geographic position. It is also possible to enter in custom times based on need. The resultant levels of brightness capable on the sign are virtually infinite. The sign has the capability of converting the light value measured to a percentage brightness of better than a tenth of a percent. The system first determines if the light sensor is connected and activated. If no light sensor is found, or if it is not activated, the system will default to the sunrise/sunset table. A fail proof redundant system would include having the light sensor connected and activated and if that fails, the sunrise/sunset table would keep the sign from being overly bright at night. That is the recommended configuration for all Prismview displays.





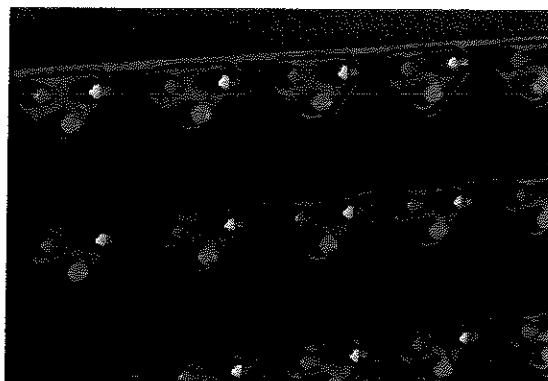
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### A high contrast solution from Prismview

#### Overview

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For purposes of this discussion, we will accept the fact that LED illumination on a black background is a challenge, and that the blacker the background surface, the better the image and the lower the requirement of illumination to produce a viable image.

#### Extenuating Environmental Circumstances

Anything that is placed outdoors for a period of time suffers from the environment. Displays of all types are defaced by the accumulation of dirt over time. In major city environments, it was once common practice to clean displays regularly. Today, economic considerations make such practice a luxury.

For digital displays, the cleanliness of a display is directly proportional to the quality of the image. Even the tiniest dirt particles may impede the optical characteristics of projecting light. Consequently, dirty displays appear to be flawed. It is not unusual for a technician to be dispatched to determine the nature of a distorted image, only to determine that cleaning would bring the image quality back to the expected quality.

Certain environments face extreme challenges. In the desert, as typified by inland southern California, Arizona, and Nevada, there is little rain, coupled with a high occurrence of blowing sand and dirt. Nature does not give these displays a regular bath. The dirt stays affixed to the faces, blanching out the dark background and distorting the light as it emits from the diodes. In a fairly short period of time, the image quality degrades dramatically.

In major urban environments such as New York City's Times Square, the city's grime builds up continually. The situation can be exacerbated by the environment in which the displays reside. Because most displays project over pedestrian areas, there is little or no time in which the displays may be cleaned. In spite of the frequent precipitation, the nature of the urban build-up is stickier than its desert counterpart, making it adhere to the face even in a torrential downpour.

Even in the best of circumstances, the faces of LED displays accumulate dust over time. This reduces the display's innate contrast. Ultimately, environmental airborne particles are the enemy to emitting illuminated light images.





# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

ADDRESS OF PROPERTY: 7425 S Wolf Road Burr Ridge PIN # 18-29-101-005-0000

### GENERAL INFORMATION

PETITIONER: Pleasant Dale Park District Matt Russian-Executive Director

(All correspondence will be directed to the Petitioner)

PETITIONER'S ADDRESS 7425 S Wolf Road Burr Ridge, IL 60527

PHONE: 630-662-6220

EMAIL: mrussian@pleasantdaleparks.org

PROPERTY OWNER: Park District STATUS OF PETITIONER: Land Owner

OWNER'S ADDRESS: 7425 S Wolf Road Burr Ridge, IL 60527 PHONE: 630-662-6220

### PROPERTY INFORMATION

PROPERTY ACREAGE/SQ FOOTAGE: 44 Acres EXISTING ZONING: R1 Residential

EXISTING USE/IMPROVEMENTS: Park District Land

SUBDIVISION: \_\_\_\_\_

**A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED**

### DESCRIPTION OF REQUEST

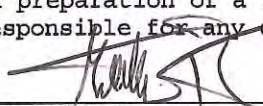
PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):

☐ Special Use ☐ Rezoning ☐ Text Amendment ☒ Variation(s)

Replacing the existing letter board sign along Wolf Road with digital display sign

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

  
Petitioner's Signature

7/1/19  
Date Petition is Filed





VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

**S-05-2019: 7450 Wolf Road (Pleasantdale School District 107); Requests requesting conditional sign approval for a non-residential sign in a residential district and requests three variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance to allow a sign: (1) exceeding the maximum permitted size for a ground sign; (2) with an electronic changeable message panel; and (3) located less than 10-feet from a property line.**

**HEARING:**  
August 5, 2019

**TO:**  
Plan Commission  
Greg Trzupek, Chairman

**FROM:**  
Evan Walter  
Assistant Village Administrator

**PETITIONER:**  
Pleasantdale School District 107

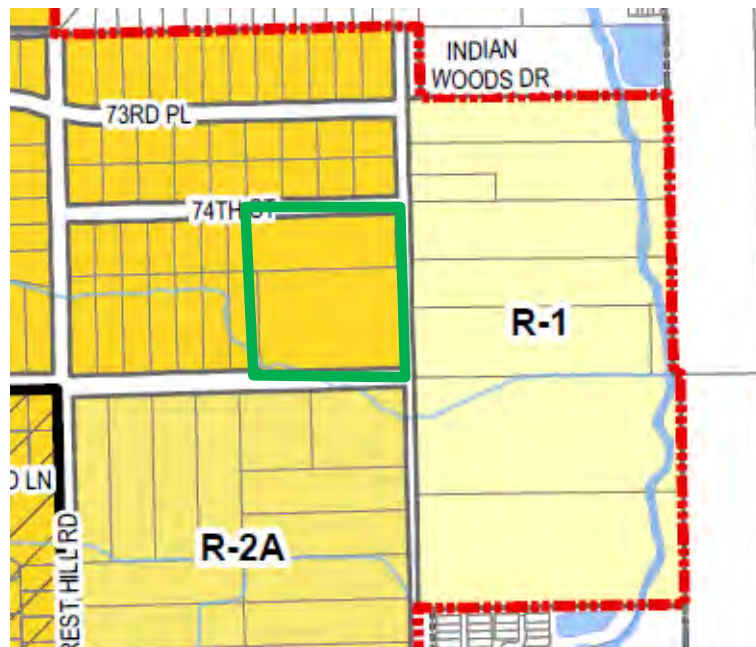
**PETITIONER STATUS:**  
Property Owner

**EXISTING ZONING:**  
R-1 Residential

**LAND USE PLAN:**  
Recommends Community Uses

**EXISTING LAND USE:**  
School Facilities

**SITE AREA:**  
44 Acres





The petitioner is Pleasantdale School District 107 (hereafter: “District”), owner and operator of the school facilities located at 7450 Wolf Road. The petitioner is requesting conditional sign approval and three variations from Section 55.04.B and Section 55.11.K of the Sign Ordinance as follows:

- Conditional sign approval is requested to allow a ground sign on a non-residential lot in a residential district.
- A variation is requested to permit the sign with an electronic changeable message panel. The Sign Ordinance prohibits “attraction panels with changeable letters.”
- A variation to allow the sign to be, located four feet from the front lot line rather than the required 10 feet.
- A variation to permit a 30 square-foot ground sign rather than the permitted maximum area of 16 square feet.

The existing ground sign on the property has a manually changeable message panel. However, staff has found no documents to suggest that variations were ever approved for such a sign or that a permit was issued by the Village for the sign. The location and an elevation of the current and proposed signs has been provided.

### **History of Changeable Signs in the Village**

While signs with changeable attraction panels are prohibited by the Sign Ordinance, the Village has granted several variations in the past to permit such signs:

- 1997; 15W776 North Frontage Road – Tasso’s Porterhouse Restaurant; a variation was granted to allow a manually changeable panel sign. This sign has since been removed.
- 2000; 15W300 South Frontage Road – Hotel; a variation was granted to allow a manually changeable panel sign. This sign has since been removed.
- 2012; 7941 Madison Street – Gower School; a variation allowed a ground sign with an electronic changeable message panel.

### **Findings of Fact and Recommendation**

The petitioner has provided Findings of Fact which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission determines that the applicant has met the findings of fact for a conditional use and the variations, staff recommends that they be granted subject to the following conditions:

1. The sign shall comply with the sign elevations and the sign location plan attached hereto.
2. There shall be no animation, videos, or other moving text within the electronic message panel.
3. The electronic message panel shall be turned off every night from midnight to 4:00 a.m.

It should be noted that the recommended conditions are identical to those required of Gower School to install a sign with an electronic changeable message panel in 2012.

### **Appendix**

Exhibit A – Petitioner’s Materials



## EXHIBIT A



Burr Ridge Plan Commission & Board of Trustees  
Burr Ridge Village Hall  
7660 County Line Road  
Burr Ridge, IL 60527

Honorable Commission Members and Trustees,

On behalf of Pleasantdale School District 107 and the Pleasant Dale Park District, we wish to thank you for considering our sign variance request to allow us to install digital signage. While we will be submitting individual applications, we wanted you to be aware that this has been a cooperative effort to benefit both of our organizations. We always attempt to be as fiscally responsible as possible with taxpayer dollars. Working collaboratively has allowed us to secure better pricing as opposed to us working individually. As our locations are directly across the street from each other and our signs will be virtually the same, the finished product would give the area a nice "book end" feel on either side of Wolf Road. Lastly, as both of our agencies offer a variety of events and programs, new signage will serve as a benefit to our community. We look forward to your feedback and future discussion.

Thank you very much,

A handwritten signature in blue ink, appearing to read "Griffin Sonntag".

Griffin Sonntag  
Principal  
Pleasantdale Middle School

A handwritten signature in blue ink, appearing to read "Matt Russian".

Matt Russian  
Executive Director  
Pleasant Dale Park District



Pleasantdale Elementary School  
8100 School Street  
La Grange, IL 60525  
708.246.4700 Fax: 708.246.4625



Pleasantdale Middle School  
7450 S. Wolf Road  
Burr Ridge, IL 60527  
708.246.3210 Fax: 708.352.0092

Pleasantdale School District 107 | 7450 S. Wolf Road | Burr Ridge, IL 60527 | 708.784.2013 | Fax: 708.246.0161 | [www.d107.org](http://www.d107.org)

**Burr Ridge Plan Commission and Board of Trustees**

**Burr Ridge Village Hall**

**7660 County Line Road**

**Burr Ridge, IL 60527**

Honorable Commission Members and Trustees,

Thank you for your review and consideration of our sign variance request which would allow us to install new digital signage in front of the Pleasantdale Middle School located at 7450 S. Wolf Road in Burr Ridge. We are proposing to install an energy efficient Prismview, double-faced outdoor 10 mm RGB LED matrix display board. The sign would have full-color capability and we would use that coloring in our verbiage and artwork displays. We understand and agree that there shall be no animation, videos, or other moving text within the electronic message panel. In addition, the electronic message panel shall be turned off between the hours of 12 Midnight and 4 a.m.

Existing Sign Measurements: 54" H X 72" L X 15 ½" D--Base of the sign sits 18" above the ground

Proposed Sign Measurements: 48 ¾" H X 68 ¼" L X 24" D--Base of sign still at 18" above ground

10 mm is the pixel pitch (distance between each pixel) and refers to the resolution of the sign.

Included in our application are the following:

- Petition of Public Hearing for Sign Variance
- Findings of Fact for Sign Variance
- Site map of existing and proposed sign location
- Aerial view of existing and proposed sign location
- Picture of existing letter board sign
- Rendering of proposed digital sign
- Technical drawing of the digital display board
- Supplemental information about Prismview Signs

On behalf of the Pleasantdale School District 107 community, we thank you for your consideration and welcome the opportunity to address any questions you may have.

Respectfully,

A handwritten signature in black ink, appearing to read 'Griffin L. Sonntag'.

Griffin L. Sonntag

Proud Principal of Pleasantdale Middle School

Pleasantdale School District 107



Pleasantdale Elementary School  
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Pleasantdale School District 107 | 7450 S. Wolf Road | Burr Ridge, IL 60527 | 708.784.2013 | Fax: 708.246.0161 | [www.d107.org](http://www.d107.org)

### **Finding of fact for variation pursuant to the Village of Burr Ridge Sign Ordinance**

a) The variation is in harmony with the general purpose and intent of the Sign Ordinance

-The new digital sign will continue to comply with the intent of the sign ordinance by being compatible with the surroundings, appropriate to school district activities, and legible to the community.

b) The plight of the petitioner is due to unique circumstances

-At the school district, we have many activities and events that we offer to our school community and the communities we serve. Due to the limited space of the old-fashioned letter board sign, we have to choose what events are highlighted on the sign. A new digital sign would allow us to inform the community of more activities and events by integrating new technology.

c) The variation is necessitated by practical difficulties or particular hardships created by the requirements of the Sign Ordinance

-The antiquated sign we currently have continually needs repairs. The frame and locks have attempted to be repaired multiple times without success. This has allowed precipitation to enter the sign causing additional issues. In trying to spend funds wisely, it makes sense to replace the letter board sign with a new digital display board.

d) The variation will not alter the essential character of the locality

-The masonry base and adjacent column on the existing sign will stay completely intact. We are simply looking to replace the letter board sign case with a digital display case so the character of the location will not be altered.



Google Maps

7450 Wolf Rd

Aerial view-Sign Location Circled



Imagery ©2019 Google, Map data ©2019

100 ft

*Aerial view of  
Sign location*

7450 Wolf Rd

Burr Ridge, IL 60527



Directions



Save



Nearby

Send to your  
phone

Share

Photos



# PLAT OF SURVEY

By  
**THOMAS KENNEDY & Co.**  
30 North La Salle St. CHICAGO

of  
**PLEASANT DALE** 3100 L.  
SCHOOL DISTRICT No 107 COOK COUNTY ILL.

ROW 044-06

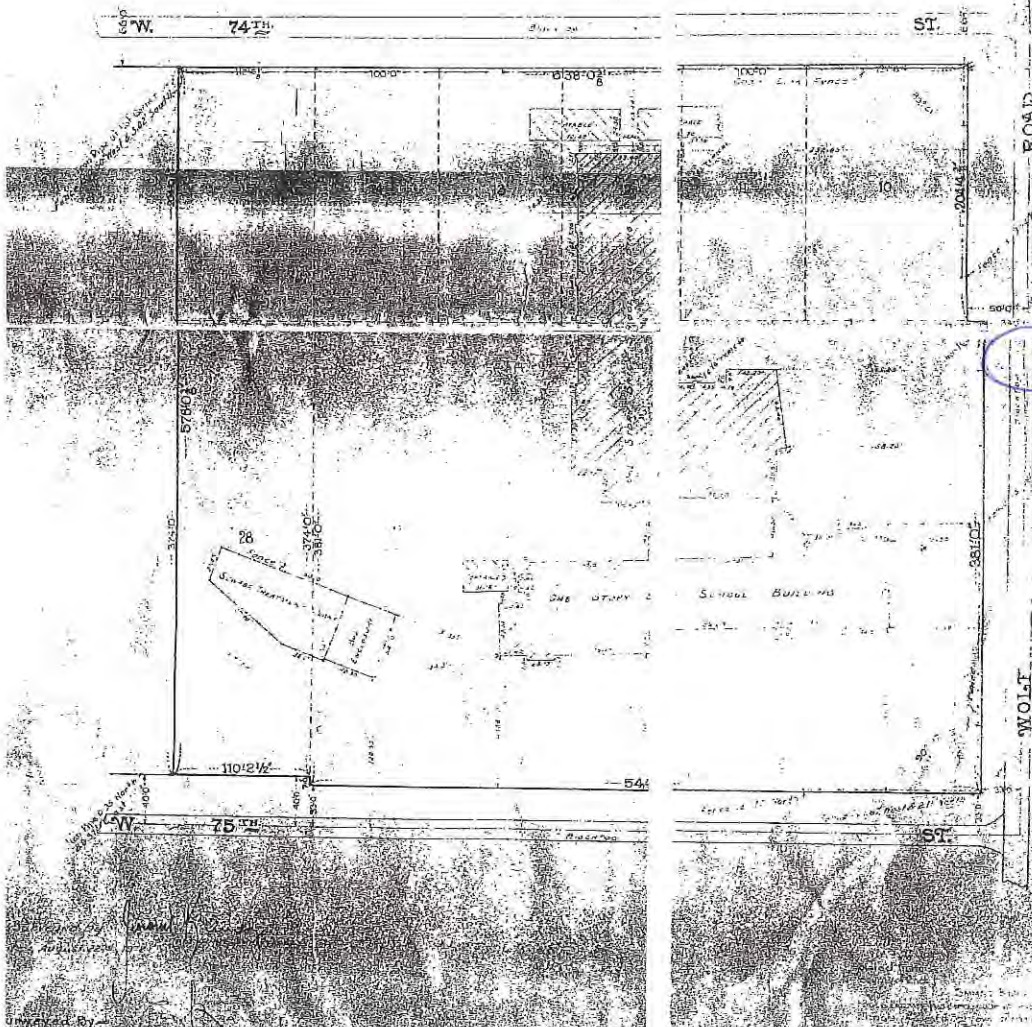
The South 414 feet of the East 577.50 feet of the North East 1/4 of Section 30 Township 36 North Range 12 East of the Third Principal Meridian, except that part taken or used for streets.

Also  
Lots 15 to 15 inclusive and lot 24 on Pleasant Dale School District No 107 Cook County Ill. of Section 30 Township 36 North Range 12 East of the Third Principal Meridian.

RECEIVED

DEC 18 2006

VILLAGE OF BURR RIDGE



Existing and new sign









PLEASANTDALE  
MIDDLE  
SCHOOL

750

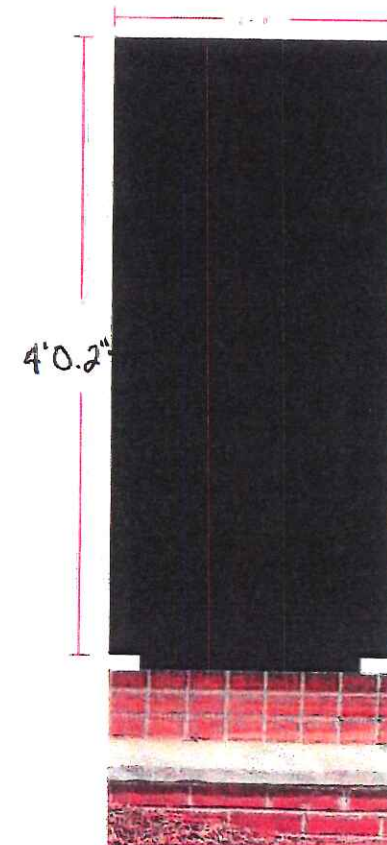
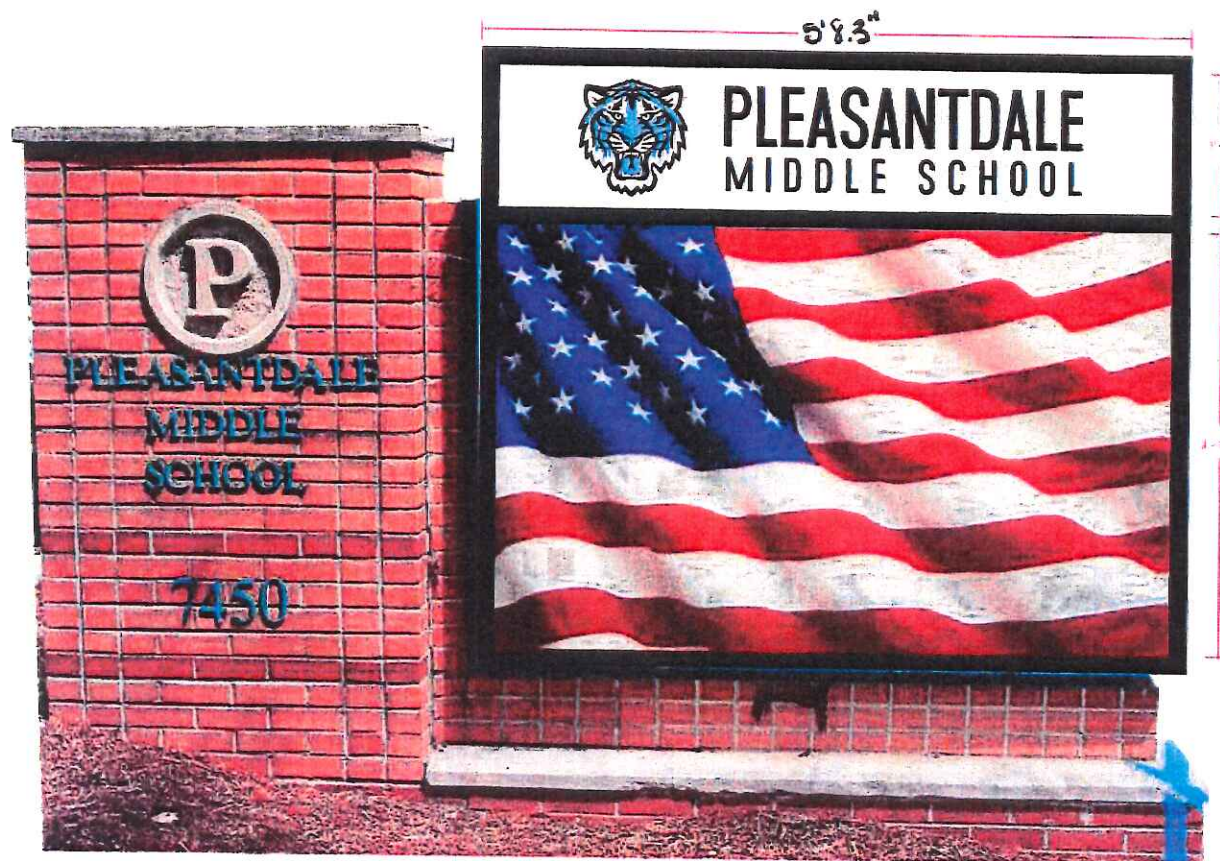
PLEASANTDALE  
MIDDLE SCHOOL  
ENJOY THE SUMMER.  
PLEASANTDALE  
READ. READ. READ



3677 N. IL Route 71  
Sheridan, IL 60551

**Correct** DIGITAL  
D...I...S...P...L...A...Y...S  
815-695-1000

(815) 695-1000  
www.correctdd.com



Prepared For:	City:	Colors:	Display Pitch:	Notes:
Address:	State:	Revision 1:		
Location Name:	Drawing #:	Revision 2:	Customer Signature:	









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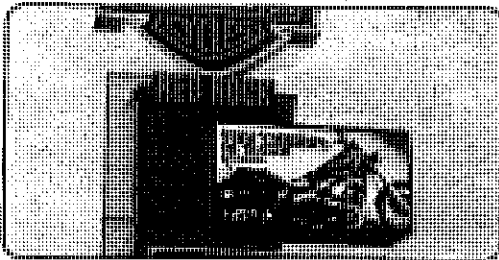


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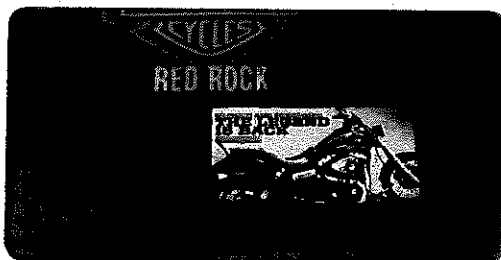
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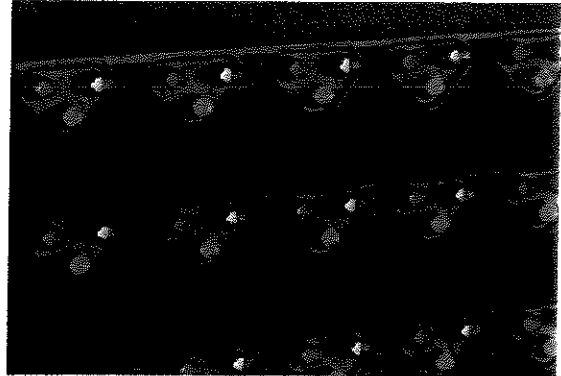
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Even in the best of circumstances, the faces of LED displays accumulate dust over time. This reduces the display's innate contrast. Ultimately, environmental airborne particles are the enemy to emitting illuminated light images.





As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- b.. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

**The location of the proposed 100-foot-tall tower would have a fall zone that includes and adjacent property. As such, it would endanger the safety of the adjacent property.**

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

**The subject property is surrounded by residential properties. The appearance of a 100-foot-tall antenna with microwave dishes is not typical of a residential area. The surrounding area contains wetlands, forested areas, and other natural features. The proposed tower would detract from the appearance of the neighborhood thus diminish residents use and enjoyment of their properties and discouraging future buyers from purchasing properties in this area.**

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

**The continued use and development of this area is largely dependent upon maintaining the natural area features. A 100 foot tall tower would diminish the normal and orderly development of surrounding properties.**

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

**The Burr Ridge Comprehensive Plan encourages maintenance of natural areas and large estate lots where possible. Introducing a 100-foot-tall tower in this area would be detrimental to preserving the natural and residential character of this area and, thus, would be contrary to the objectives of the Comprehensive Plan.**