



**REGULAR MEETING
VILLAGE OF BURR RIDGE
PLAN COMMISSION**

**March 19, 2018
7:30 P.M.**

I. ROLL CALL

Greg Trzupek, Chairman

**Mike Stratis
Dehn Grunsten
Jim Broline**

**Luisa Hoch
Greg Scott
Mary Praxmarer**

II. APPROVAL OF PRIOR MEETING MINUTES

A. March 5, 2018 Plan Commission Regular Meeting

III. PUBLIC HEARINGS

A. Z-08-2018: 15W110 87th Street (Provencal); PUD, Variation, and Findings of Fact

Requests for special use approval as per Section VI.D.2.h of the Burr Ridge Zoning Ordinance to approve a Planned Unit Development and requests a variation from Section VI.D.3.b.(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 10 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 11 single-family homes with private streets and with floor areas of approximately 3,000 square feet.

B. Z-07-2018: 6860 North Frontage Road (Agarwal); Special Use and Findings of Fact

Requests special use pursuant to Section X.E.2.k of the Burr Ridge Zoning Ordinance to permit a medical clinic in a L-I Light Industrial District.

C. Z-05-2018: 9101 Kingery Highway (McDonald's); PUD and Findings of Fact; continued from March 5, 2018

Requests an amendment to Planned Unit Development Ordinance #A-834-24-15 and requests a special use approval as per Section VIII.C.2.q of the Burr Ridge Zoning Ordinance for a restaurant with drive-thru facilities in a B-2 Business District.

D. Z-03-2018: Zoning Ordinance Amendment – Outdoor, Overnight Commercial Vehicle Parking in Manufacturing Districts; continued from February 19, 2018

Requests consideration of an amendment to Section X.B.7 of the Zoning Ordinance, which states that no more than two delivery trucks weighing less than 24,000 pounds are permitted to be parked outdoors, overnight in a Manufacturing District, except by approval of a special use; said amendment to consider allowing different quantities and types of outdoor, overnight commercial vehicle parking in Manufacturing Districts.

IV. CORRESPONDENCE

- A. Board Report – March 12, 2018
- B. Building Report – February 2018

V. OTHER CONSIDERATIONS

- A. **S-03-2018: 9101 Kingery Highway (McDonald's); Sign Variation**

VI. FUTURE SCHEDULED MEETINGS

- A. **April 2, 2018**

- **Z-09-2018: 306 Burr Ridge Parkway (Hennessy); Text Amendment and Findings of Fact**

Requests an amendment to permit “custom art studio” as a permitted or special use in the B-1 Business District and requests special use approval for a custom art studio in a B-1 Business District, if necessary.

- **Z-10-2018: 16W020 79th Street (Lyons Truck Sales); Text Amendment, Special Use, and Findings of Fact**

Requests an amendment to Section IV.J of the Burr Ridge Zoning Ordinance to permit a chain link fence as a special use in a non-residential district and requests a special use as per the amended Section IV.J to permit a chain link fence on the subject property.

- B. **April 16, 2018**

- **Z-04-2018: 7950 Drew Avenue (Patera); PUD, Variation, and Findings of Fact; continued from March 5, 2018**

Requests special use approval as per Section VI.F.2.h of the Burr Ridge Zoning Ordinance to approve a Planned Unit Development and requests a variation from Section VI.F.3.b.(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 8.87 acres rather than the required minimum of 40 acres.

VII. ADJOURNMENT

PLEASE NOTE: All Plan Commission recommendations are advisory and are submitted to the Mayor and Board of Trustees for review and final action. Any item being voted on at this Plan Commission meeting will be forwarded to the Mayor and Board of Trustees for consideration at their March 26, 2018 Regular Meeting beginning at 7:00 P.M. Commissioner Stratis is the Plan Commission representative for the March 26, 2018 Board meeting.

PLAN COMMISSION/ZONING BOARD OF APPEALS
VILLAGE OF BURR RIDGE
MINUTES FOR REGULAR MEETING OF
MARCH 5, 2018

I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 4 – Stratis, Scott, Broline, and Trzupek

ABSENT: 3 – Grunsten, Praxmarer, and Hoch

Staff present were Village Administrator Doug Pollock and Assistant to the Village Administrator Evan Walter. Trustees Guy Franzese and Zach Mottl were also present in the audience.

II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Scott to approve the minutes of the February 19, 2018 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 3 – Stratis, Scott, and Broline

NAYS: 0 – None

ABSTAIN: 1 – Trzupek

MOTION CARRIED by a vote of 3-0.

III. PUBLIC HEARINGS

Chairman Trzupek conducted the swearing in of all those wishing to speak during the public hearing on the agenda for the meeting.

Z-05-2018: 9101 Kingery Highway (McDonald's) – PUD and Findings of Fact

Commissioner Stratis stated that he would be recusing himself from the discussion and voting regarding this petition due to a conflict of interest. With this recusal, a quorum of the Plan Commission was not present, and staff recommended the petition be continued to March 19, 2018.

At 7:31 p.m. a **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Broline to continue the public hearing until the March 19, 2018 meeting of the Plan Commission.

ROLL CALL VOTE was as follows:

AYES: 3 – Scott, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 3-0.

Z-06-2018: 16W020 79th Street (Lyons Truck Sales) – Text Amendment, Special Use, and Findings of Fact

As directed by Chairman Trzupek, Mr. Walter described this request as follows: the petitioner is Lyons Truck Sales, located at 16W020 79th Street. The petitioner requests an amendment to Section IV.J of the Zoning Ordinance to permit an electric fence as a special use in non-residential districts and requests a special use as per the amended Section IV.J to permit an electric fence on the property. Electric fences are currently prohibited by the Zoning Ordinance. Two fences currently exist on the property; a 4' wood fence and an 8' chain link fence topped with barbed wire. Chairman Trzupek asked if either fence was permitted. Mr. Walter said that the wood fence was permitted based on a previous ordinance but the chain link and barbed wire were not as the Zoning Ordinance prohibits both materials.

Cindy Williams, Electric Guard Dog, spoke on behalf of the property owner. She explained the need for the electric fence was due to security issues and discussed how the electric fence works.

Chairman Trzupek asked why the petitioner did not elect to pursue security dogs instead. Ms. Williams said that dogs can be put down, be ineffective, and carry large liability costs.

Chairman Trzupek at this time asked for public comment.

Mark Thoma, 7515 Drew, asked if the fence could be shorted out. Ms. Williams said that the fence is a monitored alarm system which sounds an alarm when it is touched. Mr. Thoma asked if video cameras were more effective. Ms. Williams said that video cameras do not prevent crimes, and rarely capture information. She said that the petitioner had already tried video cameras.

Alice Krampits, 7515 Drew, asked what was of value at the business' location and why the barbed wire did not stop criminals. Ms. Williams said that the business had high-value inventory and that the barbed wire continues to be cut on the property.

Commissioner Scott asked about police activity on the property in recent years. Mr. Walter explained that there was over ten calls for criminal activity to the Burr Ridge Police Department in the past four years. Ms. Williams said that criminal activity has occurred at other businesses near them besides Interstate 55. Commissioner Scott asked if a solid fence would be effective towards blocking sight lines along Interstate 55. Ms. Williams said that this might block the sight line, but also provide cover for criminals. Commissioner Scott expressed reluctance regarding the need for such an amendment.

Commissioner Broline asked how the fence was underwritten. Ms. Williams explained that several national laboratories have created certified standards for this fence, which they abide by. Commissioner Broline asked who holds liability. Ms. Williams said Electric Guard Dog carried the liability on behalf of the property owner. Commissioner Broline asked about the gap between the two fences. Ms. Williams says that fences should be within 3-12 inches of each other to ensure safety and that growth does not occur in the gap between fences. Commissioner Broline said that his primary concern was related to appearance, and felt that safety was not a major concern for him due to his previous experience with this type of fencing.

Commissioner Stratis asked staff what petitioners must do when a portion of a petition is non-conforming. Mr. Walter said that it was their responsibility to bring any non-conforming structure into compliance. Ms. Williams said that the property owner was not aware of the legal status of the chain link fence when they bought the property in 2015.

Chairman Trzupek asked how the gate connected. Ms. Williams said that the fence turns off when the gate is opened and turns on when the gate is closed. Ms. Williams said that the fence needs to be two feet taller than the perimeter fence, so an 8' electric fence could be installed behind a 6' perimeter fence, as an example.

At 8:12 p.m. a **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Broline to close the public hearing.

ROLL CALL VOTE was as follows:

AYES: 4 – Stratis, Broline, Scott, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 4-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Broline to recommend that the Board of Trustees approve an amendment to Section IV.J of the Zoning Ordinance for the following language:

Fences which are electrically charged to produce a shock when touched shall be considered special uses in Manufacturing Districts. Such fences must be located on lots with a minimum size of 3 acres and be no more than 8' in height.

ROLL CALL VOTE was as follows:

AYES: 3 – Stratis, Broline, and Trzupek

NAYS: 1 – Scott

MOTION CARRIED by a vote of 3-1.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Broline adopt the petitioner's findings of fact and recommend that the Board of Trustees approve a special use as per the amended Section IV.J of the Zoning Ordinance for an electric fence to Lyons Truck Sales at 16W020 79th Street subject to the following conditions:

1. Both Lyons Truck Sales and Electric Guard Dog shall enter into a hold harmless agreement with the Village of Burr Ridge for as long as the electric fence is on the subject property.
2. A conforming fence between 6' tall shall be erected 3-12 inches in front of any electric fencing placed on the property.
3. Bilingual signs shall be placed on both sides of the fence every 50 feet.
4. A Knox box with spare keys shall be kept on premises at all times.

ROLL CALL VOTE was as follows:

AYES: 3 – Stratis, Broline, and Trzupek

NAYS: 1 – Scott

MOTION CARRIED by a vote of 3-1.

Z-04-2018: 7950 Drew (Patera): PUD, Variation, and Findings of Fact

As directed by Chairman Trzupek, Mr. Walter described this request as follows: The petitioner is Nicholas Patera, consultant to the property owner at 7950 Drew Avenue. The petitioner is seeking a Planned Unit Development (PUD) to build nine, detached, single-family homes approximately 2,200 square feet in size on a public street and a variation from Section VI.F.3.b.(6) of the Zoning Ordinance to permit a PUD on 8.87 acres rather than the required minimum of 40 acres. Approximately 5.25 of the 8.87 acres of the property are located within a wetland and is unbuildable. The petitioner's findings of fact describe the public benefit of the PUD as controlling stormwater runoff outside of the Watershed that is not presently restricted.

Nicholas Patera, Teska & Associates, presented regarding the highlights of the proposal. Bill Zalewski, civil engineer, described the public benefit as being additional runoff restriction and runoff capacity beyond what is currently available on the site. He said that they originally attempted to make improvements to the onsite wetlands but was not permitted by DuPage County.

Chairman Trzupek at this time asked for public comment.

Sandra Syzmal, 7819 Drew, said that the petitioner had not demonstrated a public benefit in their proposal, and that the proposed density was not appropriate for the subject property.

Kevin Moore, 15W214 81st Street, said that the proposed development was not appropriate for the neighborhood, and that further development of cluster-homes should be discouraged.

Eric Davila, 124 79th Street, said that the developer did not respond to his inquiries regarding the development and was disappointed, and said that the development would further exacerbate the flooding issues in the area.

Ted Schmidt, 9S175 Drew, said that he supported the proposal because he favored the PUD's site plan over what could be built with standard zoning.

Joanne Palmisano, 15W230 79th Street, said that water drains into her backyard, and that the area's engineering has failed. She asked several questions regarding the Village's involvement in the petition; Mr. Walter discussed the role of staff in the petition as being limited to providing guidance regarding the existing rules of development.

Mark Thoma, 7515 Drew, questioned how the property could support eight lots under standard zoning.

Scott McGuire, 120 79th Street, agreed with the previous comments and wanted to focus on preserving home values.

Alice Krampits, 7515 Drew, agreed with the previous comments and was concerned with flooding issues in the area. She asked about the type of curbs and street lights being installed, how snow plowing would occur, and was concerned about the height of the retaining walls being proposed.

Dave Hammer, 207 79th Street, said that flooding issues were important for the residents in the area, and wanted to make sure that the best environmental solution could be reached.

Greg Morrissey, 15W214 79th Street, had concerns about additional traffic in the neighborhood as well as the developer's ability to complete the landscape plan as proposed.

Angelo Lazzara, 7951 Drew Avenue, said that he agreed with the previous comments and opposed the development as presented.

Ivan Morrison, 7518 Hamilton Avenue, asked about the possibility of having Cook and DuPage County work together to solve the flooding issues in the area.

Mr. Patera took time to respond to some of the questions and comments posed by the residents.

Commissioner Stratis said that the Village's regulations stipulate that the developer must do no harm, and that it was not fair to make them fix issues that would not affect them. Commissioner Stratis said that he felt the yield plan put forth by the petitioner was not realistic, and asked if property owners could build anything in the wetland or wetland buffer. Mr. Walter said that the Village discourages development in this area. Commissioner Stratis said that the presence of mountable curbs usually indicates that there may be insufficient space for cars to pass in the street.

Commissioner Broline said that he felt the PUD request should be viewed as on 3 acres. He stated that he needed to see more engineering studies regarding the site.

Commissioner Scott said that the Plan Commission generally did not support development similar to this in terms of size and density.

Chairman Trzupek said that the yield plan shown for R-3 zoning was unrealistic and doubted that the pond shown was of sufficient size. He said that he did not feel that a public benefit beyond what is already required was present within the petitioner's proposal.

Mr. Patera requested a continuance of the petition to allow the petitioner time to respond to the comments provided by the residents and Plan Commission.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Scott to continue the public hearing until the April 16, 2018 meeting of the Plan Commission.

ROLL CALL VOTE was as follows:

AYES: 4 – Stratis, Scott, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 4-0.

IV. CORRESPONDENCE

V. OTHER CONSIDERATIONS

VI. FUTURE SCHEDULED MEETINGS

1. March 19, 2018 (To be held at the Police Station)

A. Z-06-2018: 9101 Kingery Highway (McDonald's); PUD and Findings of Fact; continued from March 5, 2018

Requests an amendment to Planned Unit Development Ordinance #A-834-24-15 and requests a special use approval as per Section VIII.C.2.q of the Burr Ridge Zoning Ordinance for a restaurant with drive-thru facilities in a B-2 Business District.

B. Z-07-2018: 6860 North Frontage Road (Agarwal); Special Use and Findings of Fact

Requests special use pursuant to Section X.E.2.k of the Zoning Ordinance to permit a medical clinic in a L-I Light Industrial District.

C. Z-08-2018: Z-08-2018: 15W110 87th Street (Provencal); PUD, Variation, and Findings of Fact

Requests for special use approval as per Section VI.D.2.h of the Burr Ridge Zoning Ordinance to approve a Planned Unit Development and requests a variation from Section VI.D.3.b.(6) of the Burr Ridge Zoning Ordinance to permit a Planned Unit Development on 10 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 11 single-family homes with private streets and with floor areas of approximately 3,000 square feet.

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2. April 2, 2018

A. Z-09-2018: 306 Burr Ridge Parkway (Hennessy); Text Amendment, Special Use, and Findings of Fact

Requests a text amendment to permit “custom art studio” as a permitted or special use in the B-1 Business District and requests special use approval for a custom art studio in a B-1 Business District, if necessary.

B. Z-10-2018: 16W020 79th Street (Lyons Truck Sales); Text Amendment, Special Use, and Findings of Fact

Requests a text amendment Section IV.J of the Burr Ridge Zoning Ordinance to permit chain link fence as a special use in Manufacturing Districts and requests a special use approval as per the amended Section IV.J to permit a chain link fence on the subject property.

VII. ADJOURNMENT

A **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Stratis to **ADJOURN** the meeting at 10:14 p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 10:14 p.m.

**Respectfully
Submitted:**

Evan Walter, Assistant to the Village Administrator



VILLAGE OF BURR RIDGE
MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Evan Walter, Assistant to the Village Administrator

DATE: March 14, 2018

RE: **Z-08-2018: 15W110 87th Street (Provencal); PUD and Variation**

The representatives for petition Z-08-2018 (Provencal) have informed staff that they have elected to withdraw their petition for a PUD at 15W110 87th Street. If the petitioners wish to pursue this request in the future, they will be required to re-file a petition with the Village and restart the public hearing process.



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-07-2018: 6860 North Frontage Road (Agarwal); Requests special use approval pursuant to Section X.E.2.k of the Burr Ridge Zoning Ordinance to permit a medical clinic in a L-I Light Industrial District.

HEARING:

March 19, 2018

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Evan Walter
Asst. to the Village Administrator

PETITIONER:

Arun Agarwal

PETITIONER STATUS:

Property Owner

PROPERTY OWNER:

Burr Ridge WLG

EXISTING ZONING:

L-I Light Industrial District

LAND USE PLAN:

Recommends Limited Industrial
and Office Uses

EXISTING LAND USE:

Commercial Building

SITE AREA:

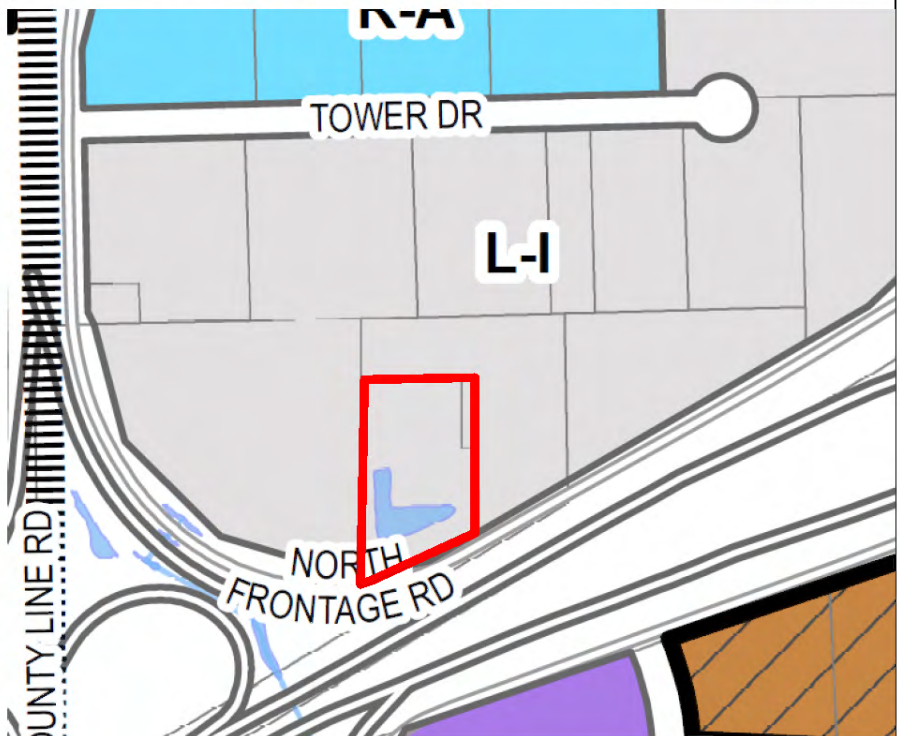
2.8 Acres

SUBDIVISION:

High Ridge

AVAILABLE PARKING:

138 Spaces



The petitioner is Arun Agarwal, owner of an 18,020 square foot commercial building at 6860 North Frontage Road. This property shares a parking lot with the property to the east, 6880 North Frontage Road, which the petitioner also owns. The petitioner is requesting special use approval for a medical clinic, First Choice Occupational Medicine, at 6860 North Frontage Road.

Land Use and Site Analysis

The property is zoned L-I Light Industrial and is surrounded by similar zoning except to the south, where it borders Interstate 55. The parking lot at 6860 North Frontage Road contains 138 parking spaces, which includes all required landscape islands, curbs, and stormwater infrastructure. The Zoning Ordinance requires six parking spaces for each doctor or dentist working at medical, dental, or physician's offices, meaning that 27 medical professionals could work at the facility without violating the off-street parking requirements. The parking plan also shows five handicapped spaces; the Zoning Ordinance requires properties with 101-150 standard parking spaces to have five handicapped spaces available on-site. The existing parking complies with the Zoning Ordinance provided the number of doctors does not exceed 27.

Public Hearing History

In 2001, the property at 6880 North Frontage Road received a variation to allow a side lot line between the two parcels at 6860 and 6880 North Frontage Road to traverse a parking lot drive aisle rather than the requirement that parking lots be 8 feet from the side lot line and that driveways be 2 feet from a side lot line. This variation allowed the two properties to remain legally separate but share a parking lot. In 2018, the petitioner received special use approval for three medical clinics.

Public Comment

No public comment was received on this petition.

Applicable Zoning Ordinance Section(s)

The petitioner has requested a special use approval pursuant to Section X.E.2.k of the Zoning Ordinance. The L-I Light Industrial District currently lists *medical or dental clinics (but not including facilities devoted primarily to emergency medical services)* as a special use.

Findings of Fact and Recommendation

The petitioner has submitted findings of fact which may be adopted if the Plan Commission concurs with those findings. If the Plan Commission recommends approval, staff recommends the following conditions:

1. The special use shall be limited to First Choice Occupational Medicine at 6860 North Frontage Road in a manner consistent with the submitted business plan and to expire once the business no longer operates at this property.
2. In order to maintain compliance with the Zoning Ordinance parking regulations, there shall be no more than 27 doctors in practice at any given time.

Appendix

Exhibit A – Petitioner's Materials



VILLAGE OF BURR RIDGE

 PETITION FOR PUBLIC HEARING
 PLAN COMMISSION/ZONING BOARD OF APPEALS

ADDRESS OF PROPERTY:

6860 N Frontage

PIN #

18-301-000-12-0000

GENERAL INFORMATION

PETITIONER:

Arun Agarwal

(All correspondence will be directed to the Petitioner)

PETITIONER'S ADDRESS

105 North 31st Ave, Ste 100 Omaha, NE 68131

PHONE:

402-346-5550 x210

EMAIL:

agarwal@whitelobusgroup.com

PROPERTY OWNER:

Arun Agarwal

STATUS OF PETITIONER:

N/A

OWNER'S ADDRESS:

N/A

PHONE:

N/A

PROPERTY INFORMATION

PROPERTY ACREAGE/SQ FOOTAGE:

121,000 SF

EXISTING ZONING:

L-I

EXISTING USE/IMPROVEMENTS:

Office / Healthcare Building

SUBDIVISION:

High Ridge

A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED

DESCRIPTION OF REQUEST

PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):



Special Use



Rezoning



Text Amendment

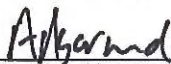


Variation(s)

Healthcare Clinic in Suite A for First Choice Occupational Medicine

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.


 Petitioner's Signature

2/3/18
 Date Petition is Filed



FINDINGS OF FACT
**FOR A SPECIAL USE PERMIT PURSUANT TO THE
VILLAGE OF BURR RIDGE ZONING ORDINANCE**

Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission determine compliance with the following findings. In order for a special use to be approved, the petitioner must respond to and confirm each and every one of the following findings by indicating the facts supporting such findings.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

It does. There is limited healthcare including plastics, orthopedics, and other types of healthcare services in which many of the residents are already patients for and travel outside of the market for care.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Affirm that it will not.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

Affirm that it will not.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Affirm that it will not.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

The necessary infrastructure is already there.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Proposed uses are likely less congestive than historical uses of the property.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

No, uses are similar to adjacent uses, however complementary.

- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Affirm

(Please transcribe or attach additional pages as necessary)



February 3, 2018

VIA EMAIL ONLY

Mr. Evan Walter
Village of Burr Ridge
7660 County Line Rd.
Burr Ridge, IL 60527

Re: 6860 North Frontage Road

Dear Mr. Walter:

Enclosed, please find our Special Use Permit application. The application is for a healthcare clinic use at the property which we believe is consistent with some of the historical uses. We are excited to showcase the site, and what we believe will be a Class A development and healthcare providers.

Please review the application, and feel free to contact our office should you have any questions at (402) 346-5550 x 210 or via email at aagarwal@whitelotusgroup.com.

We look forward to a productive, long term relationship with the Village.

Sincerely,

A handwritten signature in blue ink, appearing to read "Arun Agarwal", is written over a light blue horizontal line.

Arun Agarwal
Chief Executive Officer

Enclosures

TMA

Architects - Planners
Timothy Morgan Associates

200 Tri-State International Center
Suite 100
Lincolnshire, Illinois 60069
847 374-0058 phone
847 374-0057 fax

51 E. 42nd Street
Suite 309
New York, New York 10017
212 661-9741 phone
212 661-9742 fax

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MAY NOT BE REPRODUCED IN WHOLE OR IN
PART WITHOUT EXPRESS WRITTEN CONSENT
OF Timothy Morgan Associates.

"I hereby certify under oath that these plans were
prepared by me or under my direct supervision,
that I am familiar with the codes and ordinances
of the Village of Burr Ridge, and to the best of my
knowledge and belief, these plans conform to the
Zoning Ordinance and other applicable codes and
ordinances of the Village of Burr Ridge, Illinois."

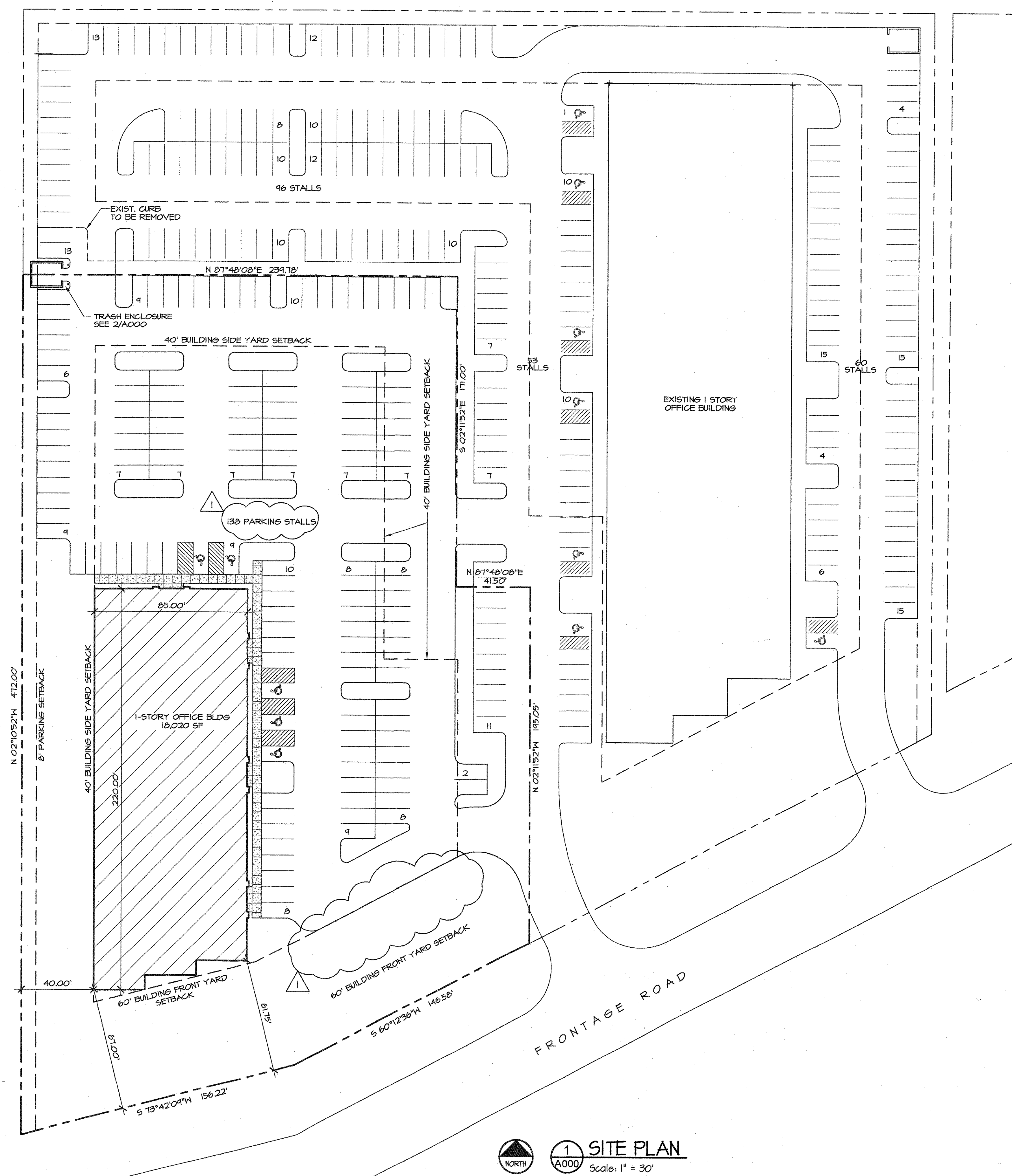
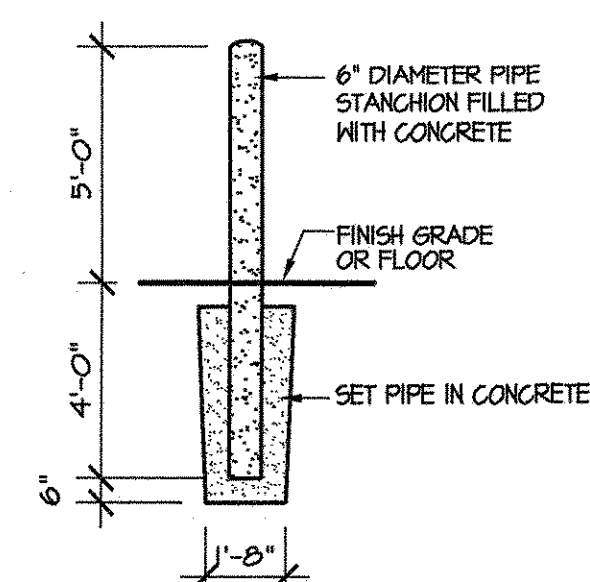
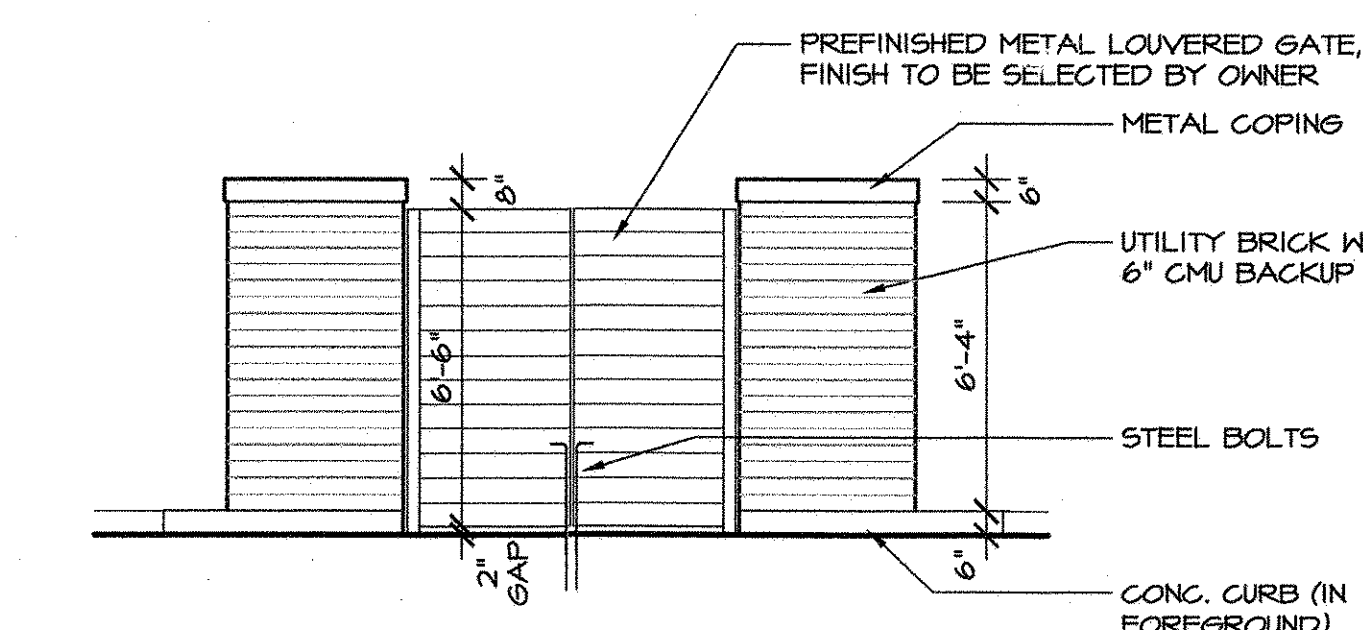
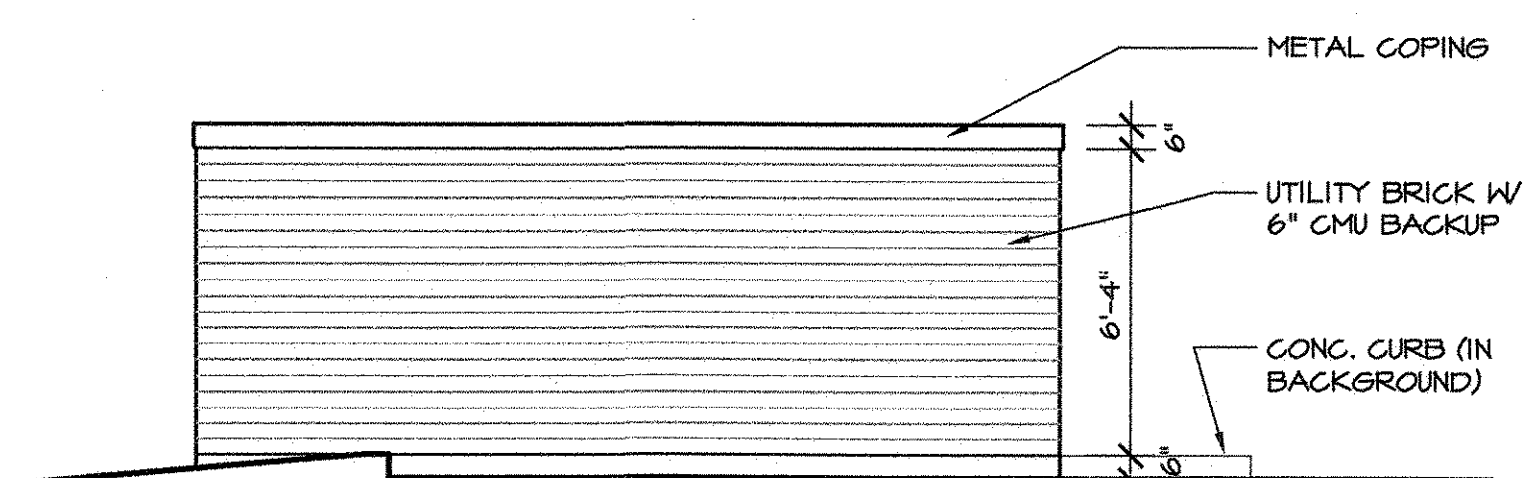
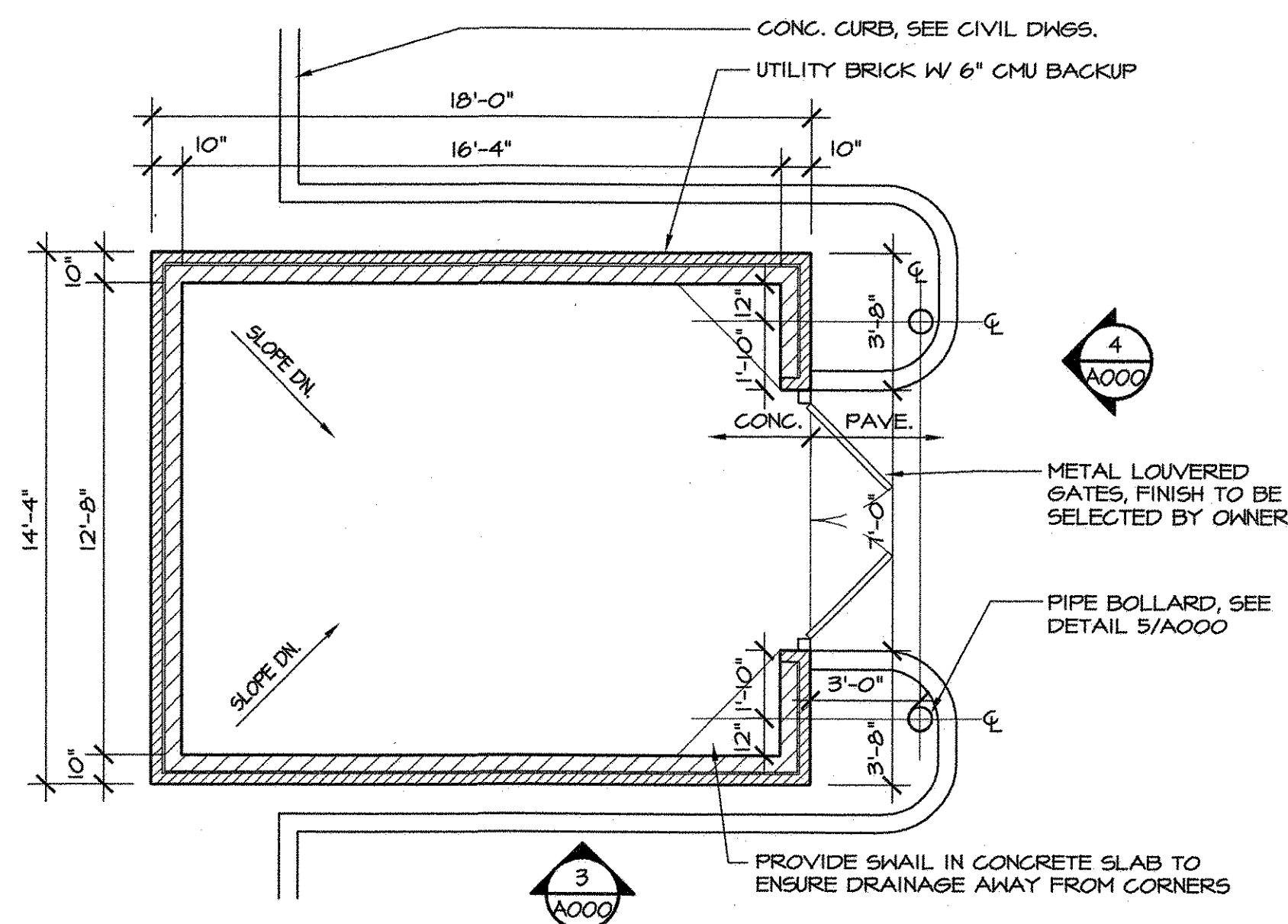
REVISION	DESCRIPTION	DATE
1	PER VILLAGE COMMENTS: 04.20.04	04.20.04

PROPOSED SPECULATIVE FACILITY FOR:
"JSQ, INC." REAL ESTATE DEVELOPMENT
HIGH RIDGE PHASE II
6880 NORTH FRONTAGE RD.
BURR RIDGE, IL 60527

SITE PLAN
TRASH ENCLOSURE DTLS.

JOB No. 03-032
DATE 03/01/04
SHEET No.

A000



LEGEND OF SYMBOLS ABBREVIATIONS

- Power Pole
Light Pole
Transformer
Utility Pedestal
Traffic Signal
Signal Box
Gas Valve
Water Valve
Electric Meter
Gas Meter
Fire Hydrant
Manhole
Catch Basin
Curb Catch Basin
Monitoring Well
Flared End Section
Sign
Flag Pole
Ground Light
Bollard
Auto Sprinkler
Stockade Fence
Water
Telephone
Gas
Electric
Overhead Wires
Storm Sewer
Sanitary Sewer
Point of Commencement
Point of Beginning
Square Feet
Chain Link Fence
North
South
East
West
Degrees
Feet/Minutes
Inches/Seconds
Volume
Page
Concrete
Guard Rail

ITEMS CORRESPONDING TO SCHEDULE B-II

- EXCLUSIVE EASEMENT GRANTED TO ILLINOIS BELL TELEPHONE COMPANY, D/B/A SBC AMERITECH ILLINOIS, AN ILLINOIS CORPORATION RECORDED MARCH 27, 2003 AS DOCUMENT 0030416356. ITEM IS PLATTED HEREON.
- PUBLIC UTILITIES AND DRAINAGE EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION RECORDED ON JULY 7, 2004 AS DOCUMENT NUMBER 0418918125. ITEM IS PLATTED HEREON.
- STORMWATER MANAGEMENT EASEMENT AS SHOWN ON THE PLAT OF THE SUBDIVISION RECORDED ON JULY 7, 2004 AS DOCUMENT NUMBER 0418918125. ITEM IS PLATTED HEREON.
- TWENTY-FIVE FOOT WIDE CROSS ACCESS EASEMENT AS SHOWN ON THE PLAT OF THE SUBDIVISION RECORDED ON JULY 7, 2004 AS DOCUMENT NUMBER 0418918125. ITEM IS PLATTED HEREON.
- EASEMENT TO THE VILLAGE OF BURR RIDGE FOR DRAINAGE AND DETENTION MAINTENANCE AS SHOWN ON THE PLAT OF THE SUBDIVISION RECORDED ON JULY 7, 2004 AS DOCUMENT NUMBER 0418918125. ITEM IS PLATTED HEREON.
- UTILITY AND DRAINAGE EASEMENT PROVISIONS GIVEN TO THE VILLAGE OF BURR RIDGE AS SHOWN ON THE PLAT OF THE SUBDIVISION RECORDED ON JULY 7, 2004 AS DOCUMENT NUMBER 0418918125. ITEM IS PLATTED HEREON.

MISCELLANEOUS NOTES

- MN1 ALL FIELD MEASUREMENTS MATCH RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS.
- MN2 ALL STREETS SHOWN ARE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED.
- MN3 ASSUMED BEARING: THE NORTH RIGHT OF WAY LINE OF NORTH FRONTAGE ROAD TO BE SOUTH 60 DEGREES 12 MINUTES 36 SECONDS WEST.
- MN4 AT THE TIME OF THIS SURVEY THERE IS NO RECORD OR OBSERVED EVIDENCE OF A CEMETERY OR BURIAL GROUND.
- MN5 AT THE TIME OF THIS SURVEY, THE ADDRESS WAS POSTED AS 6860 AND 6880 NORTH FRONTAGE ROAD.
- MN6 THE SUBJECT PROPERTY HAS ACCESS TO AND FROM NORTH FRONTAGE ROAD WHICH IS GOVERNED BY THE VILLAGE OF BURR RIDGE.
- MN7 IN REGARDS TO TABLE "A" ITEM 16, AT THE TIME OF THIS SURVEY, THERE WAS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- MN8 IN REGARDS TO TABLE "A" ITEM 17, AT THE TIME OF THIS SURVEY, THERE WAS NO RECENT STREET OR SIDEWALK CONSTRUCTION OR PROPOSED RIGHT OF WAY CHANGES PROVIDED.
- MN9 IN REGARDS TO TABLE "A" ITEM 18, AT THE TIME OF THE SURVEY, THERE WAS NO STAKED WETLAND DELINEATION TO REFERENCE ON THIS SURVEY.

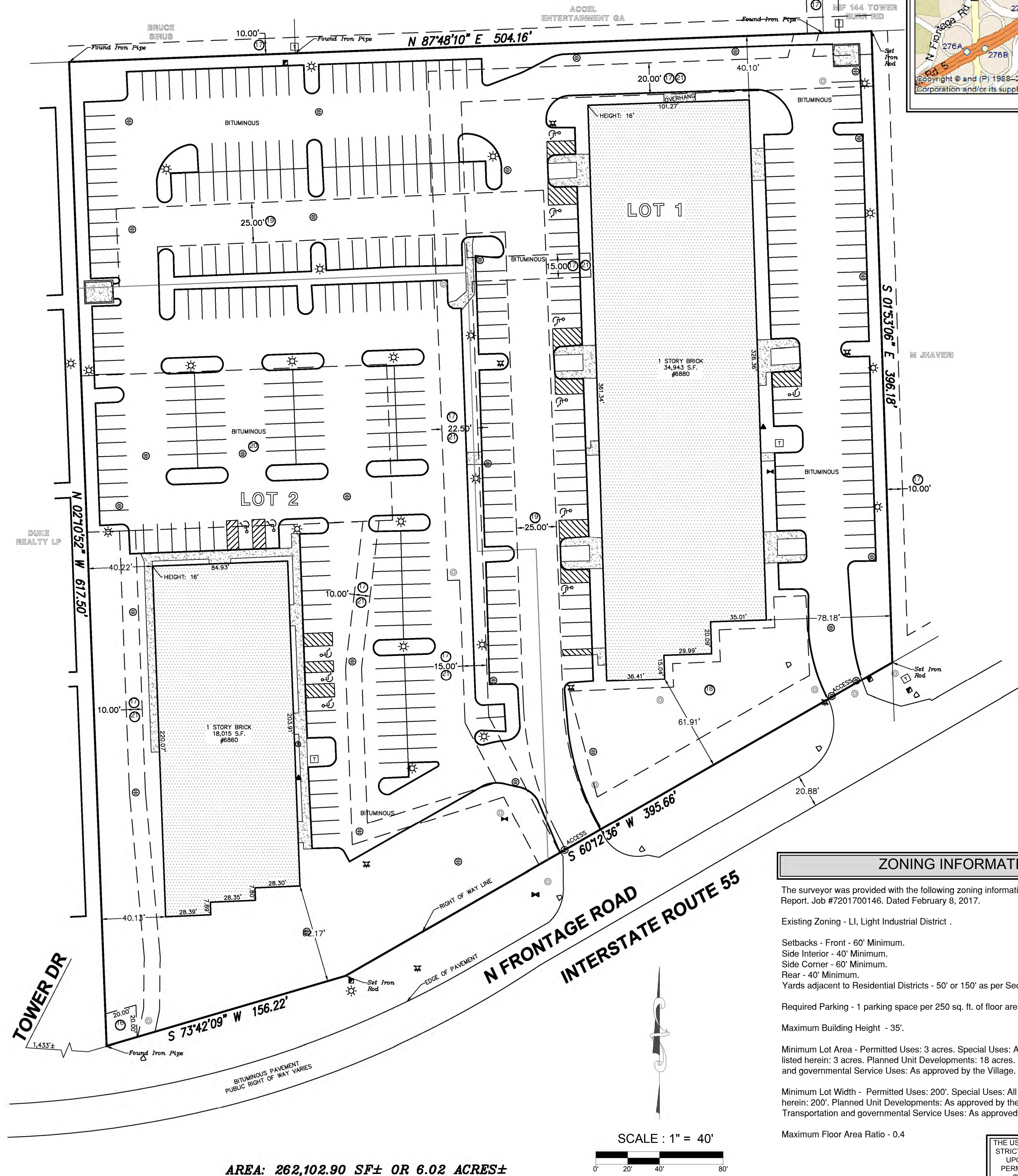
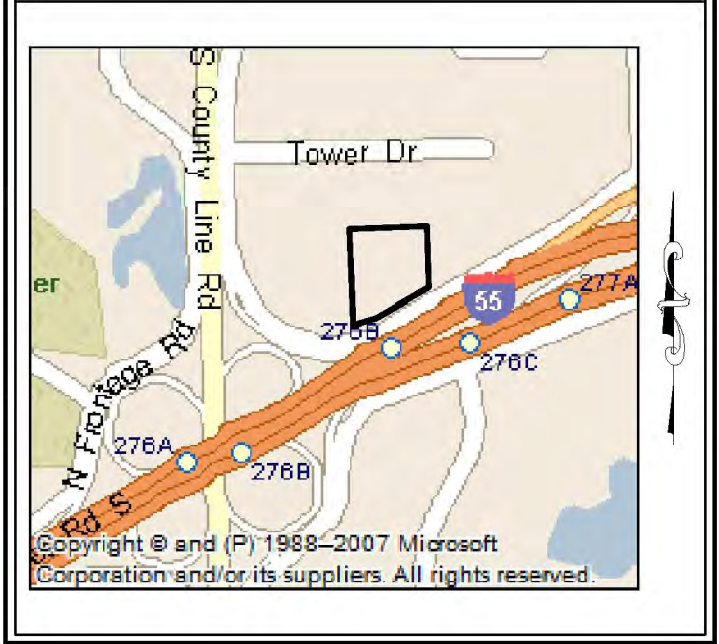
FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) _____ OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 17031C0468J, WHICH BEARS AN EFFECTIVE DATE OF 08/18/2008, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, BY CONTACT DATED 02/10/2017, TO THE NATIONAL FLOOD INSURANCE PROGRAM <http://www.fema.gov/>. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM, NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

EXISTING PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	338
HANDICAP	12
TOTAL	350

SIGNIFICANT OBSERVATIONS

THERE WERE NO SIGNIFICANT OBSERVATIONS.

VICINITY MAP - NOT TO SCALE



ZONING INFORMATION

The surveyor was provided with the following zoning information. Bock and Clark Zoning. ZIP Report. Job #7201700146. Dated February 8, 2017.

Existing Zoning - LI, Light Industrial District .

Setbacks - Front - 60' Minimum.
Side Interior - 40' Minimum.
Side Corner - 60' Minimum.
Rear - 40' Minimum.
Yards adjacent to Residential Districts - 50' or 150' as per Section X.C.9.b

Required Parking - 1 parking space per 250 sq. ft. of floor area.

Maximum Building Height - 35'.

Minimum Lot Area - Permitted Uses: 3 acres. Special Uses: All special uses except those listed herein: 3 acres. Planned Unit Developments: 18 acres. Public Utility, Transportation and governmental Service Uses: As approved by the Village.

Minimum Lot Width - Permitted Uses: 200'. Special Uses: All special uses except those listed herein: 200'. Planned Unit Developments: As approved by the Village. Public Utility, Transportation and governmental Service Uses: As approved by the Village .

Maximum Floor Area Ratio - 0.4

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORP. © 2017 BOCK AND CLARK CORP.

RECORD DESCRIPTION

LOTS 1 AND 2 IN HIGH RIDGE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 2010 999012989 NCF, DATED FEBRUARY 8, 2017.

ALTA/NSPS LAND TITLE SURVEY

High Ridge Office Complex
B&C Project No. 201700294, 001
6880 North Frontage Road, Burr Ridge, IL

B o c k & C l a r k N o r t h F r o n t a g e R o a d C o m p l e x C o n d o m i n i u m C o m m u n i t y N o 2010 999012989 NCF
S u r v e y o r a n d P l a t t e d F e b r u a r y 8, 2017.

Surveyor's Certification

To: BACM 2005-3 NORTH FRONTAGE ROAD, LLC, a Delaware limited liability company; LNR Partners, LLC, a Florida limited liability company; Novare National Settlement Service; First American Title Insurance Company; and Bock & Clark Corporation.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17, 18, and 20 of Table A thereof. The field work was completed on February 7, 2017.

James L. Harpole
Illinois Professional Land Surveyor No. 3190
In the State of Illinois, Expires 11-30-2018

STATE OF ILLINOIS
JAMES L. HARPOLE
035-3190
PLAINFIELD, IL
PROFESSIONAL LAND SURVEYOR

SURVEY PERFORMED BY:
JLH LAND SURVEYING INC.
7222 COURTWRIGHT DRIVE
PLAINFIELD, IL 60586
PHONE: 815-729-4000
WWW.JLHSURVEY.COM

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
03/03/2017	FIRST DRAFT		
03/08/2017	COMMENTS		
03/07/2017	COMMENTS		

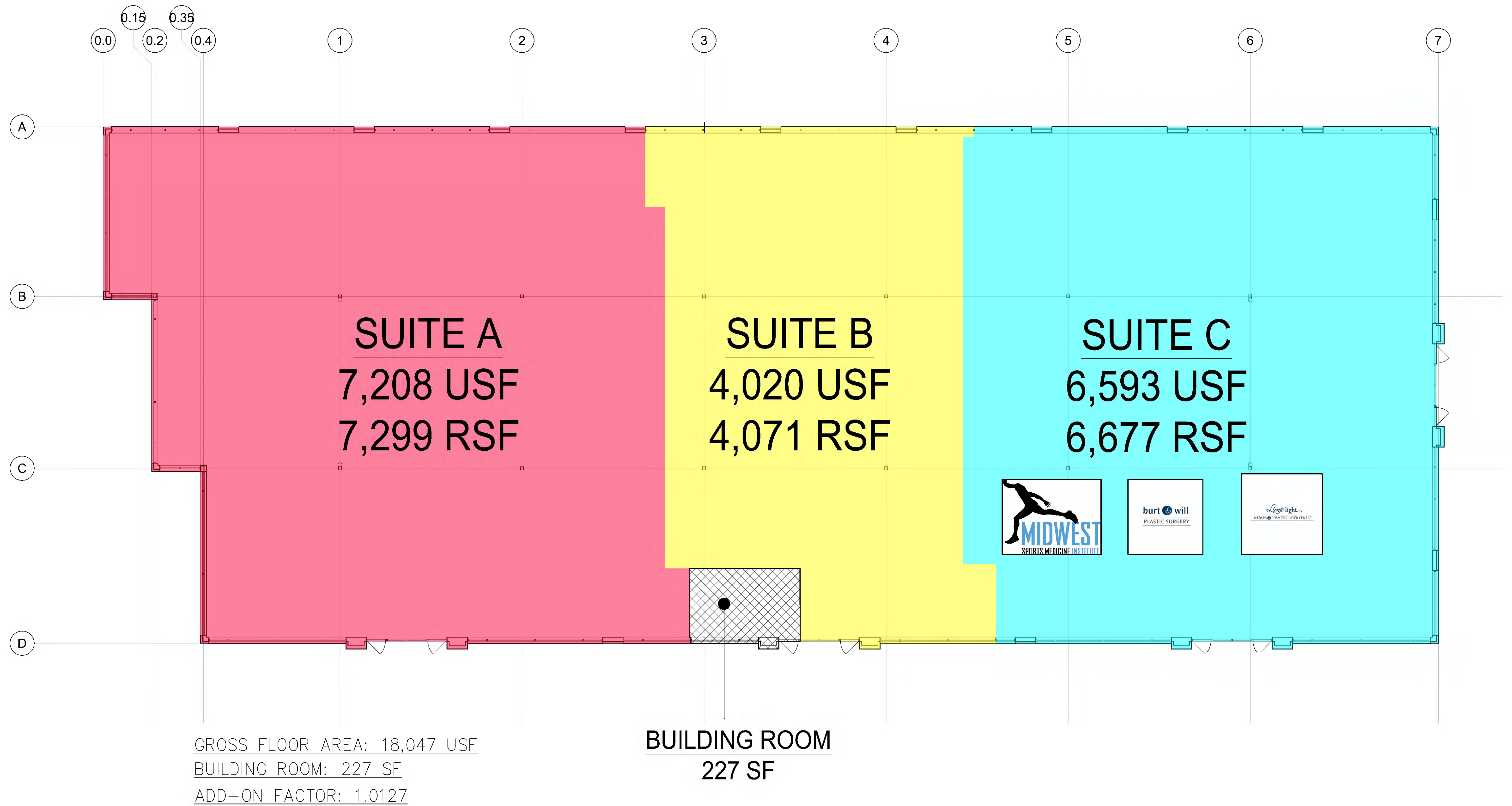
FIELD WORK: BM - RC DRAFTED: JG CHECKED BY: JLH FB - PG: NA

SHEET 1 OF 1

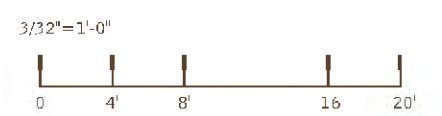
Bock & Clark
National Coordinators
1-(800)-SURVEYS (787-8397)
B o c k & C l a r k C o n d o m i n i u m C o m m u n i t y
3550 W. M o n t e s i e S t 200, A r c h e O h i o 44333
maywehelpyou@bockandclark.com
www.bockandclark.com

SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT





This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.



SCHEME: 04

SCHEMATIC BLOCKING PLANS

6860 N FRONTAGE ROAD
BURR RIDGE, IL

WARE MALCOMB

CH117-6072-00
10.05.2017

SHEET
1



1728344062

Doc# 1728344062 Fee \$72.25

RHSP FEE:\$9.00 RPRF FEE: \$1.00

KAREN A. YARBROUGH

COOK COUNTY RECORDER OF DEEDS

DATE: 10/10/2017 04:23 PM PG: 1 OF 17

Space Provided Above for Recorder's Use Only

THIS INDENTURE, made effective as of June 3, 2017 between **TriBedo, LLC**, a Nebraska limited liability company ("Grantor"), whose address is 105 North 31st Avenue, Suite 100, Omaha, NE 68131 in favor of **Burr Ridge WLG, LLC**, a Nebraska limited liability company ("Grantee"), whose address is 105 North 31st Avenue, Suite 100, Omaha, NE 68131:

WITNESSETH THAT:

Grantor, for and in consideration of the sum of One and No/100 U.S. Dollars (\$1.00), lawful money of the United States of America, to it in hand paid by Grantee, at or before the unsealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto Grantee and its successors and assigns forever, the parcel of land, with the building and improvements there on erected, situate, laying and being in the County of Cook, State of Illinois, and more particularly described below (the "**Property**").

Property is being transferred from TriBedo, LLC to a wholly owned subsidiary company, Burr Ridge WLG, LLC.

Permanent Real Estate Index Numbers:

18-30-100-011-0000

18-30-100-012-0000

Address of the Property:

6880 North Frontage Road
Burr Ridge, Illinois

Legal Description: LOTS 1 AND 2 IN HIGH RIDE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER (1/4) OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 112 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in way appertaining.

TO HAVE AND TO HOLD the same in fee simply forever.

AND Grantor hereby specially warrants the title to the Property and will defend the same against the lawful claims of any person claiming by, through or under Grantor, but against non-other.

Dated this 7th day of September, 2017.

STATE OF NEBRASKA)

TriBedo, LLC
A Nebraska limited Liability Company

By: Arun Agarwal, Managing Member

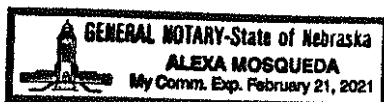
STATE OF NEBRASKA)

)ss.

COUNTY OF DOUGLAS)

The foregoing instrument was acknowledged before me on this 7th day of September 2017, by Arun Agarwal, Managing Member of TriBedo, LLC., an Nebraska limited liability company.

Notary Public



S Ys
P 10/10/17
S NO
M Ys
SC Ys
E MO
INT 10/10/17



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request.

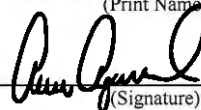
Street Address of Subject Property:

6860 North Frontage Road

Property Owner or Petitioner:

Burr Ridge WLG, LLC c/o Arun Agarwal

(Print Name)



(Signature)



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527
(630) 654-8181 • Fax (630) 654-8269 • www.burr-ridge.gov

Mickey Straub
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

March 1, 2018

NOTICE OF PUBLIC HEARING

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

1. **Z-07-2018: 6860 North Frontage Road** The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Arun Agarwal for a special use approval pursuant to Section X.E.2.k of the Burr Ridge Zoning Ordinance to permit a medical clinic in a L-I Light Industrial District. The petition number and property address is **Z-07-2018: 6860 North Frontage Road** and the Permanent Real Estate Index Number is: **18-30-100-012**.

A public hearing to consider this petition is scheduled for:

Date:	Monday, March 19, 2018	Plan Commission/Zoning Board of Appeals
Time:	7:30 P.M. or as soon thereafter as the matter may be heard.	at the Village Hall
Location:	Village of Burr Ridge Police Station 7700 South County Line Road Burr Ridge, IL 60527	at the Village Hall

Additional information is on file and available for public review online, at the Burr Ridge Village Hall, or contact:

Evan Walter, Assistant to the Village Administrator
(630) 654-8181 ext. 2010
ewalter@burr-ridge.gov

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

Duke Realty
PO Box 40509
Indianapolis, IN 46240
PIN 18-30-100-009-0000

AP AIM Burr Ridge LLC
PO Box 396
Boca Raton, FL 33429
PIN 18-30-303-015-0000

101 Tower Dr.
101 Tower Drive
Burr Ridge, IL 60527
PIN 18-19-300-015-0000

MIF 144 Tower Burr Rid
1301 W. 22nd Street
Suite #711
Oak Brook, IL 60523
PIN 18-19-300-026-0000

Avgeris and Associates
2500 S. Highland Avenue
Suite 103
Lombard, IL 60148
PIN 18-30-100-005-0000

Burr Ridge Hotel Part.
100 E. Rvr Center
Suite #1100
Covington, KY 41011
PIN 18-30-303-016-0000

Bruce Sirus
124 Tower Drive
Burr Ridge, IL 60527
PIN 18-19-300-024-0000

Burr Ridge Parkway
1400 16th Street
Suite #300
Oak Brook, IL 60523
PIN 18-30-300-024-0000

M Jhaveri
PO Box 1268
Morton Grove, IL 60053
PIN 18-30-100-003-0000

Doug Young
18267 Casey Road
Grayslake, IL 60030
PIN 18-30-100-008-0000

Accel Entertainment GA
140 Tower Drive
Burr Ridge, IL 60527
PIN 18-19-300-025-0000



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

Z-05-2018: 9101 Kingery Highway (McDonald's); Requests an amendment to Planned Unit Development Ordinance #A-834-24-15 (Spectrum) and requests special use approvals as per Section VIII.C.2.q of the Burr Ridge Zoning Ordinance for a single-tenant restaurant with drive-thru facilities in a B-2 Business District; continued from March 5, 2018

HEARING:

March 19, 2018; continued from
March 5, 2018

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Evan Walter
Asst. to Village Administrator

PETITIONER:

McDonald's, LLC

PETITIONER STATUS:

Land Lease Tenant

PROPERTY OWNER:

S-K Burr Ridge Residential, LLC

EXISTING ZONING:

B-2 PUD

LAND USE PLAN:

Recommends Residential Uses

EXISTING LAND USE:

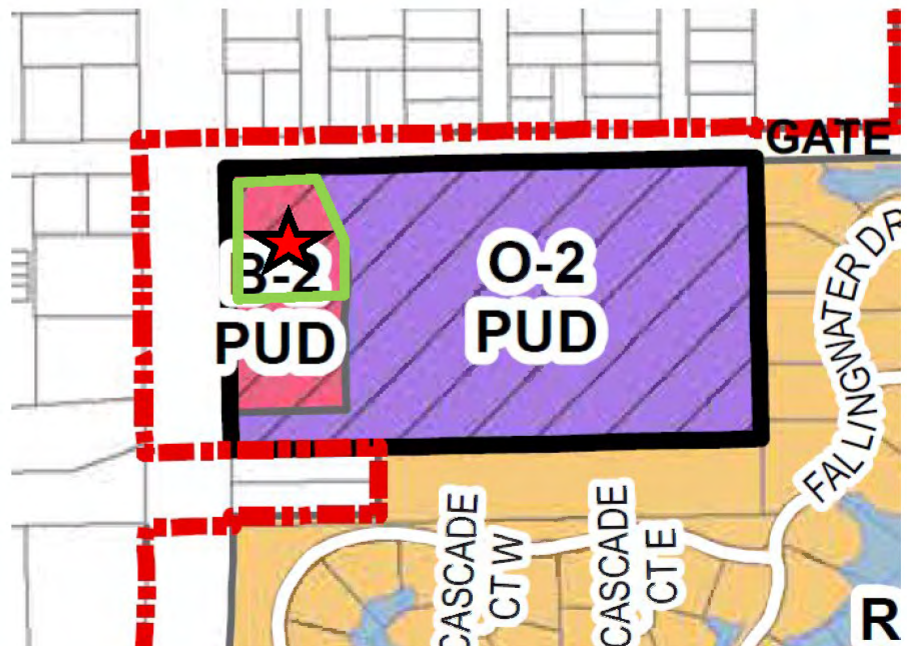
Vacant Land

SITE AREA:

1.29 Acres

SUBDIVISION:

Spectrum



This petition was continued from March 5, 2018. The petitioner is McDonald's, lessee of land at 9101 Kingery Highway. This property is located west of the Spectrum Senior Living facility at the southeast corner of Kingery Highway and 91st Street, which was annexed as part of the Spectrum PUD approved in 2015. McDonald's requests an amendment to Planned Unit Development Ordinance #A-834-24-15 (the Spectrum PUD) and requests special use approvals as per Section VIII.C.2 of the Burr Ridge Zoning Ordinance for a single-tenant restaurant with drive-thru facilities in a B-2 Business District. The subject property is part of a Planned Unit Development approved in 2015, which originally included a senior care facility with approximately 190 total units on 15.5 acres and retail zoning on 3.5 acres fronting Kingery Highway.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Comprehensive Plan states that this area should be developed with residential lots; however, in 2015, the Plan Commission indicated that they wished to amend the Comprehensive Plan to reflect that this area should be developed as mixed-use, which is the intention of the Spectrum PUD. An amendment to the Comprehensive Plan will be necessary and will be initiated by staff and scheduled for a subsequent Plan Commission meeting.

COMPATIBILITY WITH SURROUNDING ZONING AND DEVELOPMENT

The property is bounded by the Spectrum PUD on the southeast corner of Kingery Highway and 91st Street. A vacant parcel zoned B-2 Business is located to the south of the property. Commercial development in unincorporated areas is located at each of the other three corners of 91st Street and Kingery Highway, while an unincorporated single-family residential subdivision is also located to the north.

COMPLIANCE WITH THE ZONING ORDINANCE

Current zoning for the subject property is B-2 Business Planned Unit Development. This 2015 PUD includes the senior care facility and cottages under construction on the east side of the property. Development of the commercial outlots in the PUD, including the subject property, requires an amendment to the PUD. The proposed amendment seeks to create two outlots for retail uses with the northern parcel proposed to be developed and occupied by McDonald's. The petitioner has provided a site plan, landscaping plan, and building elevations. The following information is provided relative to compliance with the underlying, B-2 Business District:

Land Use. Both a single-tenant restaurant and drive-thru facilities are listed as special uses. This petition requests special use approval for both a single-tenant restaurant and for a restaurant with a drive-thru facility.

Building Setbacks. The B-2 District requires a minimum 40-foot setback from front, corner side, and rear yard lot lines, and a 20-foot minimum setback for an interior side yard lot line. The proposed use meets each of these requirements.

Floor Area. A PUD in the B-2 District permits a 0.4 floor area ratio. The floor area ratio for the proposed use is 0.07 (3,662 square foot building on 56,192 square foot lot).

Parking Lot Lighting. Photometric plans are provided for parking lot lighting. The plans will be reviewed in detail by the Village Engineer at the time of permit application.

Number of Parking Spaces. Restaurants with drive-thru facilities are required to provide 14 parking spaces for each 1,000 square feet of floor area plus 11 stacking spaces for the drive-in window with a minimum of five spaces designated for the ordering station. The site plan provides for sufficient stacking and ordering space but does not meet the requirement for the minimum

number of total spaces. The traffic study provided by the petitioner states that the proposed amount of parking is sufficient for the business' needs based on information from other area McDonald's.

Trash Corral. A trash corral is proposed to be located on the southeast corner of the lot near the interior access road approximately 30 feet from the principal building with brick screening matching the principal building. The Zoning Ordinance requires that dumpsters be located adjacent to the rear wall of a building and be screened.

Building Elevations. Section VIII.A.9.e of the Zoning Ordinance requires that exterior building facades be brick, stone, precast stone, pre-cast panels, glass, or similar materials. The proposed building uses brick and glass as the primary exterior building materials. Complete elevations are available in the petitioner's materials.

Signs. Signs will be reviewed under a separate consideration.

TRAFFIC STUDY AND CONFIGURATION

A traffic study has been submitted by the petitioner. The primary access to McDonald's will be located 210 feet south of 91st Street with one inbound and two outbound lanes under stop sign control, while a cross-access to the southern retail outlot is proposed. This cross-access will be barricaded by a curb until the southern outlot is developed. On-site circulation will be limited to a one-way, counter-clockwise circulation that allows all traffic to complete business in a singular loop of the property. This arrangement reduces the amount of time that traffic must remain on-site.

The traffic study states that 50 percent of all trips made to restaurants such as McDonald's are diverted from the existing traffic on the roadway system. There is approximately 310 feet between the stop bar on westbound 91st Street at Kingery Highway; the westbound left-turn movement queue length during peak weekday morning traffic was shown to be 182 feet, while the peak weekday evening traffic was shown to be 242 feet. Staff has worked with the petitioner to re-design their proposed site plan to discourage movement onto 91st Street by shifting the sole ingress and egress to the site further south and encouraging traffic traveling northbound on Kingery Highway to utilize the right-in/right-out access on the southern end of the development. Staff suggests that the petitioner explore installing a curved chicane-style entrance as highlighted in red in Figure 1 to move the site's entrance even further south. Figure 1 is a McDonald's located at the intersection of Route 64 and LaFox Road in St. Charles.



The traffic study states that while the Zoning Ordinance requires approximately 50 spaces onsite, the proposed plan to include 44 spaces will be sufficient for the petitioner's needs. The study analyzed several other area McDonald's sites and concluded that no location exceeds peak demand for 44 spaces; the peak demand at a nearby location in Willowbrook was documented at 28 spaces.

PUBLIC HEARING HISTORY

The subject property was re-zoned upon annexation in 2015 to the B-2 General Business District as part of the Spectrum PUD.

PUBLIC COMMENT

Staff has received comments concerned with traffic congestion on westbound 91st Street as well as cut-through traffic on O'Neill Drive, Palisades Road, and Skyline Drive.

FINDINGS OF FACT AND RECOMMENDATIONS

The petitioner has provided findings of fact which may be adopted if the Plan Commission is in agreement. The petitioner has also provided detailed plans and elevations for the building. Relative to compliance with the findings of fact and compliance with the Zoning Ordinance, the following staff review comments are provided:

- Staff has met with the petitioner to discuss methods for discouraging traffic flow onto 91st Street. The site plan shows a restaurant with drive-thru facilities in which visitors can complete their visit in a single loop. Staff suggests consideration of moving the access on the southeast side of the property further south by adding a chicane-style entrance to further discourage northbound traffic from exiting onto 91st Street.
- There are three parking spaces in the northeast corner of the parking lot that are shown over an existing 10' watermain easement. Staff recommends that these spaces be moved elsewhere on the site plan or removed altogether.
- The petitioner's site plan indicates a sub-standard amount of parking spaces; however, staff does not object to the quantity of spaces as shown on the site plan, nor does staff object to a reduction of three spaces to accommodate the watermain easement as shown. It is staff's opinion that the parking standards for drive through restaurants are outdated and the Village should consider an amendment to these standards in the future.
- The trash dumpster is located in an interior side yard near the interior access road of the building rather than adjacent to the rear wall of the building. Based on the site plan, the brick screen wall, and landscaping provided, the proposed location of the dumpster enclosure seems appropriate.

The subject property was rezoned in 2015 for the purpose of accommodating highway-oriented commercial uses. The proposed land use is generally consistent with this intent and with the underlying zoning. As with all new commercial development, the site plan, landscaping plan, and building elevations are subject to review by the Plan Commission and approval by the Board of Trustees.

Appendix

Exhibit A – Petitioner's Materials



VILLAGE OF BURR RIDGE

 PETITION FOR PUBLIC HEARING
 PLAN COMMISSION/ZONING BOARD OF APPEALS

 ADDRESS OF PROPERTY: SEC of 91st Street and Route 83 PIN # 10-02-400-009

GENERAL INFORMATION

 PETITIONER: McDonald's USA, LLC by James E. Olguin, Attorney and Authorized Agent

(All correspondence will be directed to the Petitioner)

 PETITIONER'S ADDRESS 15 Salt Creek Lane, Suite 103, Hinsdale, Illinois 60521

 PHONE: 630-537-0943

 EMAIL: jim@buikemalaw.com

 PROPERTY OWNER: S-K Burr Ridge Residential, LLC STATUS OF PETITIONER: Proposed Tenant

 OWNER'S ADDRESS: 200 Spruce Street, Suite 200, Denver, Co 80230 PHONE: 303-360-8812 (Mike Longfellow)

PROPERTY INFORMATION

 PROPERTY ACREAGE/SQ FOOTAGE: 1.29 acres EXISTING ZONING: B-2 PUD

 EXISTING USE/IMPROVEMENTS: Vacant

 SUBDIVISION: Spectrum Burr Ridge

A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED

DESCRIPTION OF REQUEST

PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):



Special Use



Rezoning



Text Amendment



Variation(s)

Petitioner requests a public hearing for the purpose of approving an amendment to the existing special use for planned unit development to allow the construction of a McDonald's restaurant, with dual drive-thru, and such associated approvals as may be necessary, including variations/deviations to allow for the requested signage (see attached).

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

McDonald's USA, LLC

By:

Petitioner's Signature

, Attorney

February 5, 2018

Date Petition is Filed



Findings of Fact
Special Use
Burr Ridge Zoning Ordinance

Address:

SEC 91st Street and Route 83

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

There are currently no drive-thru restaurants within the Village. Both residents and those that work in the Village use drive-thru restaurants outside of the Village, indicating that this is a service/opportunity that is desirable and would benefit the Village and its residents.

- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The proposed drive-thru use has been designed to ensure compliance with public health and safety requirements. In addition, a drive-thru restaurant use at this location will not negatively impact the general welfare, comfort or morals of the public.

- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The proposed use is immediately bounded by Route 83 to the west, a gas station to the north across 91st street, a senior living facility to the east (under construction), and vacant, but future commercial (B-2) lot to the south. The inclusion of a drive-thru use will not impair property values in the neighborhood in which it is located.

- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The special use will not impede the normal and orderly development and improvement of the surrounding property. All of the surrounding property is either developed or in the process of being developed with the exception of the a B-2 parcel to the south. Having a national tenant such as McDonald's at this location will enhance the value and prospect of development of this vacant site.

- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.

All required utilities, drainage, access roads and other facilities were planned for as part of the approved Spectrum development. To the extent not covered by the prior approvals the proposed plans address all additional requirements.

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

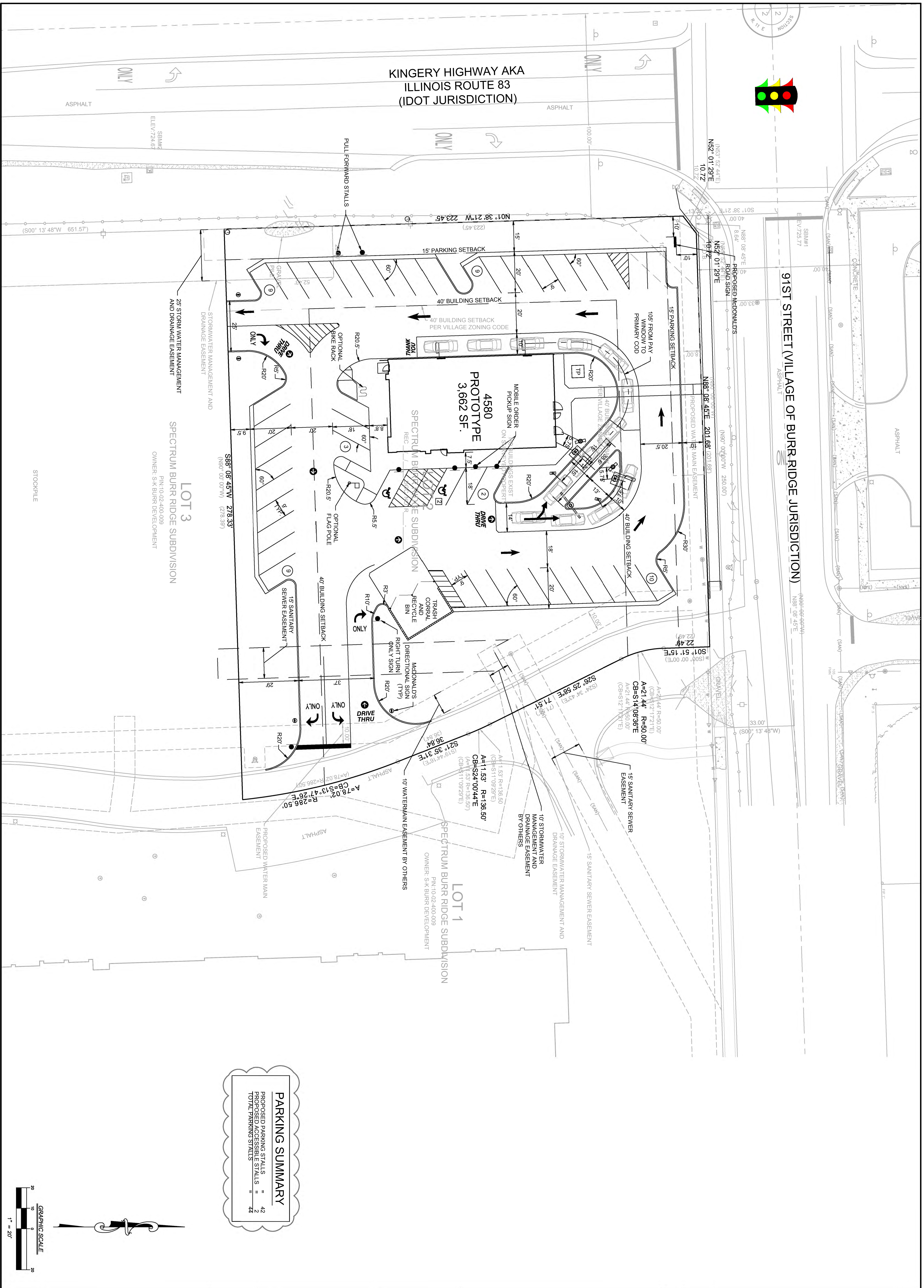
A traffic study was conducted and submitted as part of the application indicating the adequacy of the public streets and internal circulation.

- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.

The proposed special use is consistent with the objectives of the Comprehensive Plan and the prior approvals applicable to the site.

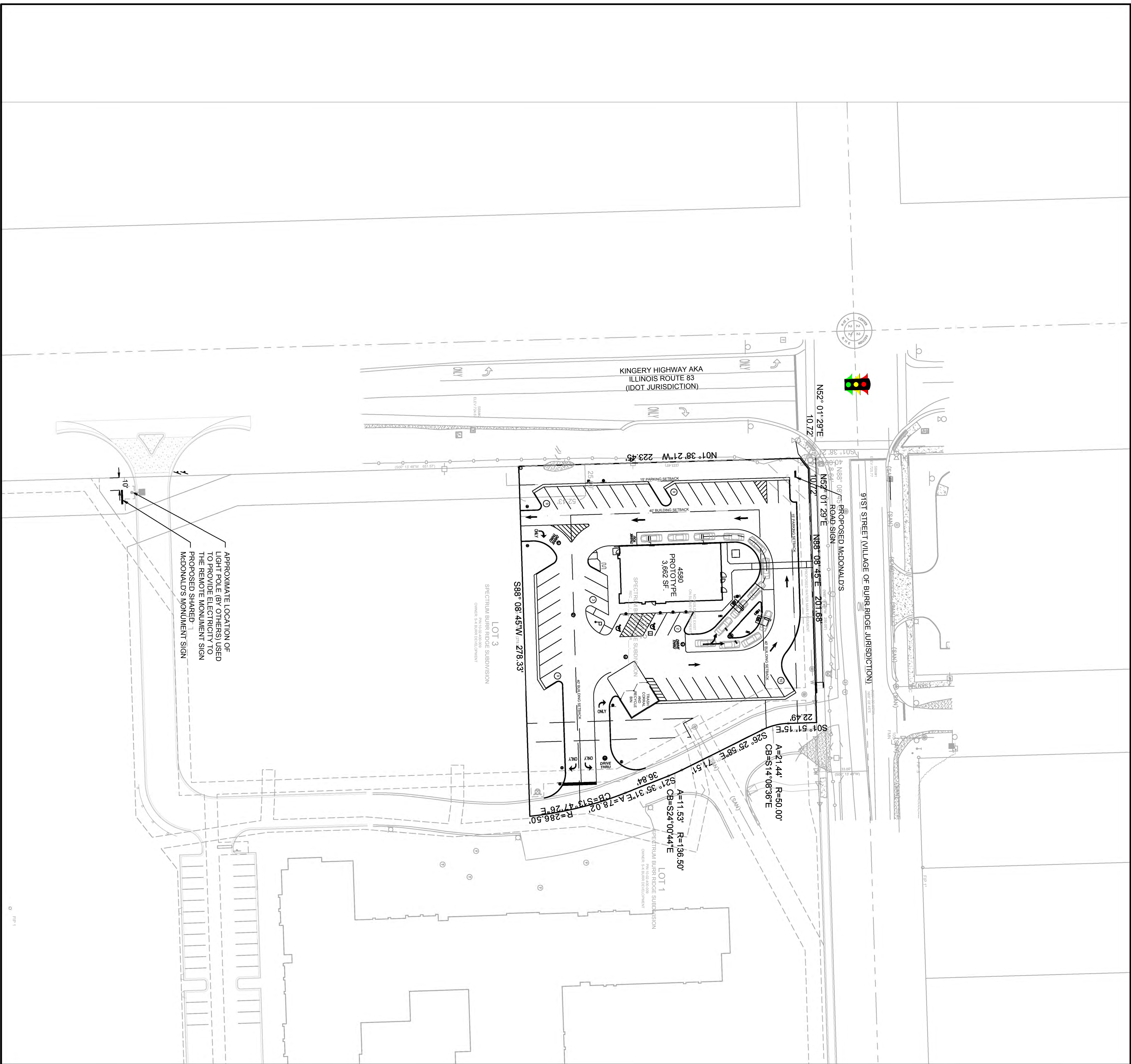
- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.


Except as shown on the plans attached to the application, the use conforms with other applicable regulations.



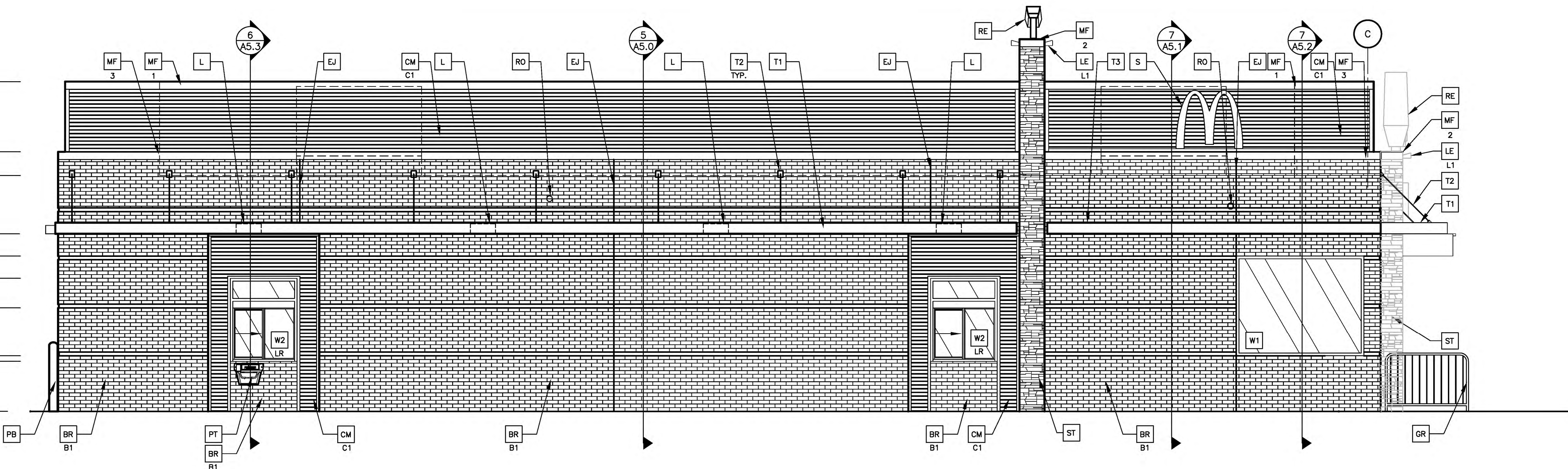
PARKING SUMMARY	
PROPOSED PARKING STALLS	= 42
PROPOSED ACCESSIBLE STALLS	= 2
TOTAL PARKING STALLS	= 44

SHEET NO. C-3.0 SITE PLAN	TITLE SITE PLAN	DRAWN BY BJD STD ISSUE DATE 01-02-18	REVIEWED BY AMU DATE ISSUED 01-02-18	DESCRIPTION MCDONALD'S - BURR RIDGE	SITE ID 12-2701	SITE ADDRESS SEC 91ST STREET AND IL-83	PREPARED FOR McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later date. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.	PREPARED BY V3 V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com	REV	DATE	DESCRIPTION	BY
									5	03-14-18	REVISED PER SPECTRUM COMMENTS	AMU
									4	03-12-18	BUILDING ROTATED 180 DEGREES	AMU
									3	03-07-18	NORTH DRIVEWAY SHIFT	AMU
									2	02-07-18	TRASH CORRAL SHIFT	AMU
									1	01-30-18	SPECTRUM EASEMENTS ADDED	AMU

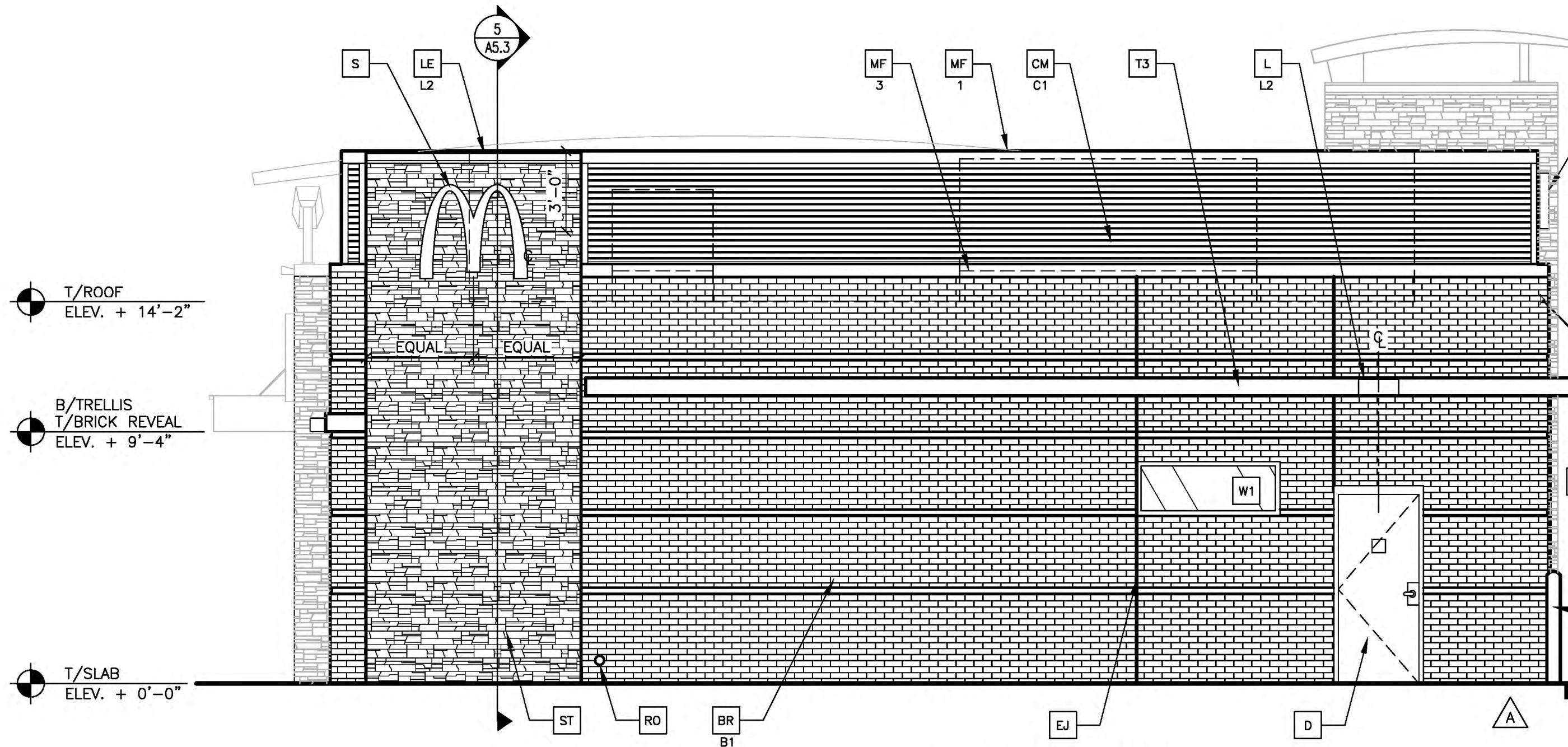


SHEET NO. <div>OVERALL SITE PLAN</div> <div>C-3.1</div>	TITLE		DRAWN BY		PREPARED FOR:		PREPARED BY:														
	OVERALL SITE PLAN		BJD		McDonald's USA, LLC				V3 Companies												
			STD ISSUE DATE		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.				7325 Janes Avenue												
			01-02-18						Woodridge, IL 60517												
									630.724.9200 phone												
	DESCRIPTION		REVIEWED BY						630.724.9202 fax												
	MCDONALD'S - BURR RIDGE		AMU						www.v3co.com												
			DATE ISSUED																		
			01-02-18																		
	SITE ID		SITE ADDRESS																		
	12-2701		SEC 91ST STREET AND IL-83																		

- T/BLK'G @ PARAPET
ELEV. + 19'-9 1/2"
- T/BLOCKING
ELEV. + 15'-7"
- T/ROOF
ELEV. + 14'-2"
- B/TRELLIS
ELEV. + 10'-8"
- T/BRICK REVEAL
ELEV. + 9'-4"
- T/WINDOW
ELEV. + 8'-0"
- B/BRICK REVEAL
ELEV. + 6'-2 3/4"
- B/BRICK REVEAL
ELEV. + 3'-4"
- T/SILL
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"



1
A2.1
1/4" = 1'-0"



2
A2.1
1/4" = 1'-0"

KEY NOTES:

- BR FACEBRICK
B1 = "MODULAR TUMBLEWEED VELOUR A BELDEN BRICK OR EQUAL"
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CM CORRUGATED METAL PANEL - SEE 1B/A5.0
C1 = "CITYSCAPE" BY METAL-ERA
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2= BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO= BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER

- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1 LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- ML METAL LETTERING - BY OTHERS
- MR METAL ROOF - PRE-FINISH STANDING SEAM ALUMINUM METAL ROOF

- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
UNIT #WPT DT2000 STD
CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- RL ROOF LEADER - ALUMINUM
- RG ROOF GUTTER - ALUMINUM
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- ST CULTURED STONE: "MCD PFSW BLEND"
LEDGESTONE -BY BORAL
-CONTACT: KEVIN RIEDY, (717) 377-2746
COLOR: SOUTHWEST
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3/A5.1

- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE
HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC RELEASE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

BUILDING SIGNAGE SCHEDULE

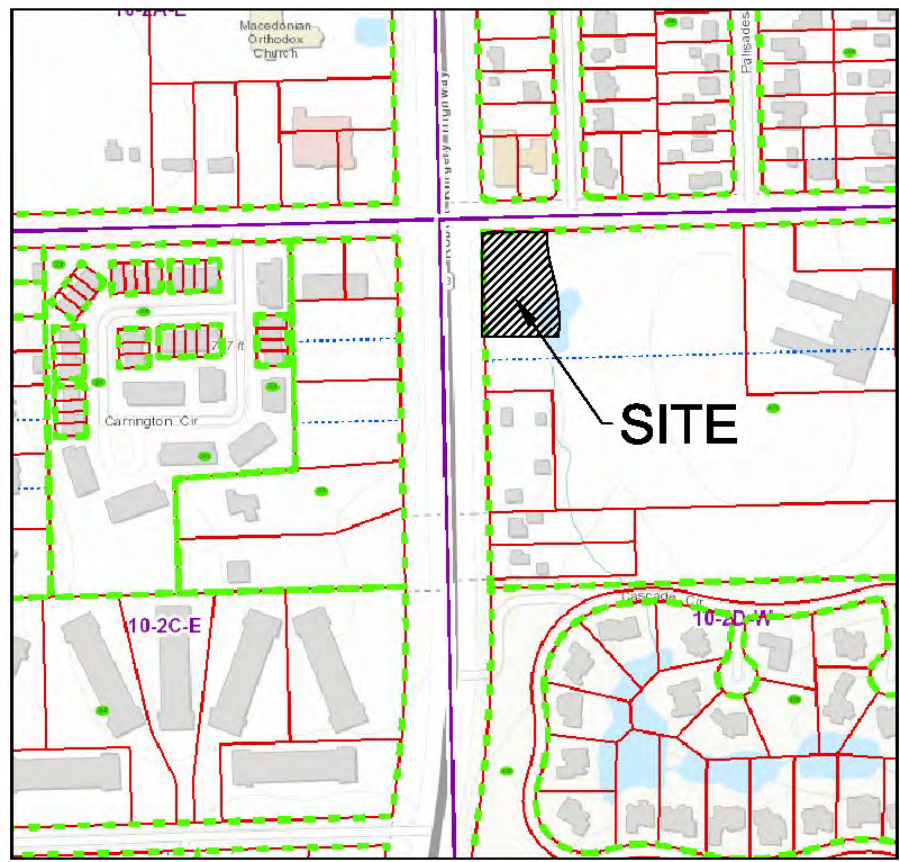
FACADE	SIGN ELEMENT	S.F.
FRONT	McDONALD'S "M" ARCH LOGO	14
	TOTAL:	14
NON-DRIVE THRU SIDE	McDONALD'S "M" ARCH LOGO	14
	TOTAL:	14
DRIVE THRU SIDE	McDONALD'S "M" ARCH LOGO	14
	TOTAL:	14
REAR	McDONALD'S "M" ARCH LOGO	14
	TOTAL:	14
TOTAL BUILDING SIGNAGE		56

DRAWN BY DTS		DATE 2015.07	REVIEWED BY MM	DATE ISSUED MM DD YYYY	BY
2014 STANDARD BUILDING 4580-WOOD/WOOD		DESCRIPTION WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING CULTURED EXTERIOR FINISH ARCADE/ENTRY	SITE ADDRESS 12-2701 Burr Ridge, IL		REVISED REAR DOOR AS PER McDONALD'S REQUEST
SHEET NO.		012-2701.00.0		DATE	
A2.1		ELEVATIONS		REV	









TAX MAP OVERLAY PER COUNTY GIS
P.I.N.: PART OF 10-02-400-009

SITE & ADJACENT PROPERTIES

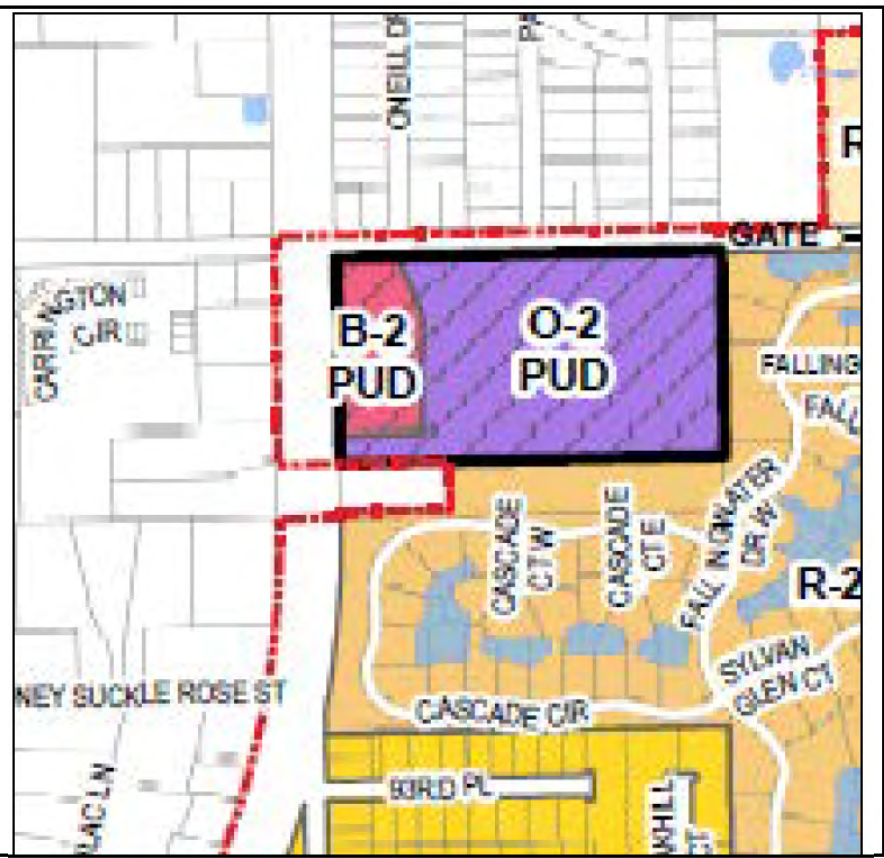
ZONED - "B-2 PLANNED UNIT DEVELOPMENT"
ADJACENT (EAST) - "O-2 - PLANNED UNIT DEVELOPMENT"
VILLAGE OF BURR RIDGE, COMMUNITY DEVELOPMENT
630-654-8181 X3010

IT IS THE SURVEYOR'S OPINION THAT A SUBDIVISION OR REPLAT IS NECESSARY IN ORDER TO CONVEY THE SURVEYED PROPERTY. CLIENT LEGAL COUNSEL SHOULD REFER TO ILLINOIS PLAT ACT (765 ILCS 205) AND ADVISE SURVEYOR OTHERWISE.

ZONING INFORMATION

(NOT PROVIDED BY INSURER AS REQUIRED BY THE ALTA STANDARDS)

REFER TO PLANNED UNIT DEVELOPMENT ORDINANCE NO. A-834-24-15 FOR SPECIFICS.



ZONING MAP TAKEN FROM VILLAGE WEBSITE

ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEY OF McDONALD'S - BURR RIDGE, ILLINOIS. 91ST STREET AND IL. ROUTE 83

PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

LEGAL DESCRIPTION

THAT PART OF LOT 66 IN ASSESSMENT DIVISION OF THE SOUTH HALF OF SECTIONS 1 AND 2 AND ALL OF SECTIONS 11 AND 12 LYING NORTH OF SANITARY DISTRICT OF CHICAGO ILLINOIS IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 22, 1896 AS DOCUMENT NO. 58945, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 2; THENCE NORTH 88 DEGREES 08 MINUTES 45 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, 100.00 FEET TO THE NORTHERLY EXTENSION OF THE EAST RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 83 PER DEDICATION DOCUMENT NUMBER 320350, BEING A LINE 100 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 2; THENCE SOUTH 01 DEGREES 38 MINUTES 21 SECONDS EAST ALONG SAID NORTHERLY EXTENSION, 40.00 FEET; THENCE NORTH 88 DEGREES 08 MINUTES 45 SECONDS EAST ALONG A LINE 40.00 FEET SOUTHERLY OF AND PARALLEL WITH THE SAID NORTH LINE OF THE SOUTHEAST QUARTER, 8.84 FEET FOR THE PLACE OF BEGINNING; THENCE CONTINUING NORTH 88 DEGREES 08 MINUTES 45 SECONDS EAST ALONG SAID PARALLEL LINE, 201.68 FEET; THENCE SOUTH 01 DEGREES 51 MINUTES 15 SECONDS EAST, 22.49 FEET; THENCE SOUTHERLY ALONG AN ARC OF A CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 50.00 FEET, HAVING A CHORD BEARING OF SOUTH 14 DEGREES 08 MINUTES 36 SECONDS EAST, 21.44 FEET; THENCE SOUTH 28 DEGREES 25 MINUTES 58 SECONDS EAST, 71.51 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG AN ARC OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 138.50 FEET, HAVING A CHORD BEARING OF SOUTH 24 DEGREES 00 MINUTES 44 SECONDS EAST, 11.53 FEET TO A POINT OF TANGENCY; THENCE SOUTH 21 DEGREES 35 MINUTES 31 SECONDS EAST, 36.84 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG AN ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 286.50 FEET, HAVING A CHORD BEARING OF SOUTH 13 DEGREES 47 MINUTES 26 SECONDS EAST, 78.02 FEET; THENCE SOUTH 88 DEGREES 08 MINUTES 45 SECONDS WEST, 278.33 FEET TO SAID EAST RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 83; THENCE NORTH 01 DEGREES 38 MINUTES 21 SECONDS WEST ALONG SAID EAST RIGHT-OF-WAY, 223.45 FEET; THENCE NORTH 52 DEGREES 01 MINUTES 29 SECONDS EAST, 10.72 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

UPON EXECUTION, REVIEW AND RECORDING OF THE SPECTRUM BURR RIDGE RESUBDIVISION, THE LEGAL DESCRIPTION WILL BE AMENDED AS FOLLOWS:

LEASEHOLD ESTATE, AS LEASEHOLD ESTATE IS DEFINED IN PARAGRAPH 1 (C) OF THE ALTA FORM 13.0/13.1, CREATED BY THE INSTRUMENT HEREIN REFERRED TO AS THE LEASE, SAID LAND LEASE AGREEMENT DATED [] HAVING A COMMENCEMENT DATE OF [] AND AN EXPIRATION DATE OF [] IF ALL EXTENSION OPTIONS ARE EXERCISED, ORIGINALLY BY AND BETWEEN [] AS TENANT, AND [] AS LANDLORD, ("LEASE AGREEMENT"). THE LEASE AGREEMENT IS MEMORIALIZED BY THAT CERTAIN MEMORANDUM OF GROUND LEASE RECORDED ON [] AS DOCUMENT NUMBER [] IN THE PUBLIC RECORDS OF [] COUNTY, ILLINOIS, THE FOLLOWING DESCRIBED PREMISES, TO-WIT:

LOT 2 IN THE SPECTRUM BURR RIDGE RESUBDIVISION, BEING IN THE WEST HALF OF THE SOUTHEAST 1/4 OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS; WHICH PLAT WAS THEREOF RECORDED [] AS DOCUMENT NUMBER [] .

LTN TITLE EXCEPTION ITEM

A.T.S.P. AFFECTS THE SURVEYED PROPERTY
D.N.A.T.S.P. DOES NOT AFFECT THE SURVEYED PROPERTY
B.E.N.T.S.P. BENEFITS THE SURVEYED PROPERTY
B.U.R.T.S.P. BURDENS THE SURVEYED PROPERTY
B.A.B.T.S.P. BENEFITS & BURDENS THE SURVEYED PROPERTY

NOTES FROM SCHEDULE B - PART B

EXCEPT. ITEM	EXCEPTION DESCRIPTION	A.T.S.P.	D.N.A.T.S.P.	BEN.T.S.P.	BUR.T.S.P.	B&B.T.S.P.	NOT A SURVEY MATTER	PLOTTABLE	NOT PLOTTABLE
1-2	NOTE & STANDARD EXCEPTIONS	X					X		
3	GENERAL REAL ESTATE TAXES	X					X		
4	MORT./AGMT./ASSING. DOC#R2016-094805	X			X		X		X
5	ASSIGNMENT OF LEASES/RENTS DOC#R2016-094806	X			X				X
6	SUBN. IMPROV. AGMT. DOC#R2016136474	X			X				X
7	GRANT TO N.I. GAS DOC#871679		X1						
8	GRANT TO N.I. GAS DOC#871680		X2						
9	ANNEXATION AGMT. DOC#R2016-006895	X				X			X
10	ANNEX. ORD. DOC#R2016006896	X				X			X
11	FRONTAGE PERMITS DOCS#844481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000	X2							
12	PLAT OF DEDICATION DOC#320350		X2					X	
13	EASEMENTS SHOWN ON UNREC. SPECTRUM BR RESUB.	X			X			X	
14	EASEMENTS PROVS. ON UNREC. SPECTRUM BR RESUB.	X					X		
15	NOTE FOR RESPON. ON UNREC. SPECTRUM BR RESUB.	X					X		
16	UNREC'D. AGMT. FOR STM. SEWER, SANITARY, WM, I/E EASE.	X3					X		
17	NOTE	X					X		
18	RIGHT TO LIEN NOTE	X					X		
19	RIGHTS OF TENANTS NOTE	X					X		
20	ITEMS DISCLOSED ON CURRENT SURVEY NOTE	X					X		
21	INTEREST TO MINERALS NOTE	X					X		

X1 - RESIDES WITHIN 91ST STREET APPROX. 1,000 FEET EAST OF THE SUBJECT PROPERTY. NOT PLOTTED HEREON
X2 - RESIDES WITHIN THE EAST 100' R.O.W. OF ILLINOIS ROUTE 83
X3 - SURVEYOR BELIEVES HE MAY HAVE NOT RECEIVED A COPY OF THIS UNRECORDED DOCUMENT. IF THIS IS REFERRING TO P.U.D. ORDINANCE A-834-24-15, THE P.U.D. AFFECTS THE PROPERTY BUT IS NOT PLOTTABLE

UTILITY ATLAS NOTES:

J.U.L.I.E. DESIGN STAGE REQUEST
DIG NUMBER A2982692 RECEIVED 10/25/17 .

CONTACTS PROVIDED BY J.U.L.I.E. & LISTED BELOW WERE CONTACTED BY V3 VIA FAX, REQUESTING UTILITY ATLAS INFORMATION ON 10/25/17.

CONTACTS

BP PIPELINES NORTH AMERICA
ATT/DISTRIBUTION
BURR RIDGE, VILLAGE OF
COMED
COMCAST
DUPAGE COUNTY PUBLIC WORKS
NICOR GAS
USIC LOCATING SERVICE
WEST SHORE PIPE LINE

RESPONSE

RESPONDED WITH ATLAS
NO RESPONSE
RESPONDED WITH ATLAS
RESPONDED WITH ATLAS
NO RESPONSE
RESPONDED WITH ATLAS
NO RESPONSE
RESPONDED WITH ATLAS
RESPONDED WITH ATLAS

GENERAL NOTES

- COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
- ONLY PRINTS OF THIS SURVEY WITH AN EMBOSSED SEAL SHALL BE DESIGNATED OFFICIAL COPIES. THIS SURVEY WAS PREPARED FOR THE SOLE USE OF THE CLIENT AS STATED HEREON AND IS NON-TRANSFERABLE.
- DO NOT SCALE DIMENSIONS FROM THIS PLAT.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENTS. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
- THE PROPERTY IS SUBJECT TO STEWART TITLE GUARANTY COMPANY TITLE COMMITMENT FILE NO.: 1700033759, EFFECTIVELY DATED OCTOBER 6, 2017. SEE "NOTES FROM SCHEDULE B" TABLE HEREON.
- UTILITIES AND IMPROVEMENTS SHOWN HEREON BASED ON VISIBLE FIELD VERIFIED STRUCTURES. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW. AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
- UNDERGROUND UTILITY LINES SHOWN HEREON ARE BASED ON FIELD LOCATED STRUCTURES, IN COORDINATION WITH ATLAS INFORMATION PROVIDED BY UTILITY COMPANIES. CALL J.U.L.I.E. AT 1-800-882-0123 FOR FIELD LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
- OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.
- THERE IS EVIDENCE OF CURRENT EARTH MOVING WORK, SIDEWALK CONSTRUCTION, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT AND ADJACENT PROPERTY.
- SURVEYOR IS AWARE OF RECENT PROPOSED R.O.W. CHANGES PER THE UNRECORDED PLAT OF SUBDIVISION ENTITLED "SPECTRUM BURR RIDGE RESUBDIVISION" PREPARED BY EDWARD J. MOLLOY AND ASSOCIATES, DATED SEPTEMBER 11, 2017.
- THERE IS NO OBSERVED EVIDENCE OF SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE IS NO OBSERVABLE EVIDENCE OF WETLANDS.
- I HEREBY AFFIRM THAT THIS SURVEY COMPLIES WITH THE REQUIREMENTS SET FORTH IN THE CURRENTLY McDONALD'S ORDER FORM AND MINIMUM REQUIREMENTS ("AS OF THE DATE THIS SURVEY").
- NUMBER OF PAINTED PARKING SPACES REFLECTS AMOUNT IN SURVEYED AREAS ONLY.
- THE EXISTING ADJACENT RIGHT-OF-WAY LINES DO NOT BURDEN THE SUBJECT PROPERTY.
- PERMANENT MONUMENTS SHALL BE SET AT ALL PROPERTY CORNERS UPON COMPLETION OF ADJACENT CONSTRUCTION AND WHEN THE PROPOSED PLAT OF RESUBDIVISION PREPARED BY OTHERS IS RECORDED.

AREA

56,269 SQ. FT.
1.2918 ACRES

PARKING STALLS

STANDARD PARKING STALLS= 0
ACCESSIBLE PARKING STALLS= 0
TOTAL PARKING STALLS= 0

APPARENT ENCROACHMENTS

ENCROACHMENT NO.	ENCROACHMENT DESCRIPTION
①	UTILITY POLES & OVERHEAD LINES ALONG WEST PROPERTY LINE

FLOOD HAZARD NOTE

THIS PROPERTY IS IN ZONE X (AREA DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS, MAP NUMBER 17043C1003H, EFFECTIVE DATE DECEMBER 16, 2004.

BENCHMARK / CONTROL

SOURCE: DESCRIBED BY DUPAGE COUNTY AS LOCATED ALONG MADISON STREET, SOUTH OF THE "T" INTERSECTION WITH 97TH STREET AND SOUTH OF THE MADISON STREET AT GRADE CROSSING AND/OR SURROUNDING TOPEKA AND SANTA FE RAILROAD, LOCATED 141.0 FT SOUTH OF THE EXTENDED CENTERLINE OF 97TH STREET AND 23.5 FEET EAST OF THE CENTERLINE OF MADISON STREET

DESG.: DGS12001
PID: "DK3138"
ELEV.= 606.36 REC., MEAS. & HELD (NAVD88; NAD83)

SITE:
STATION DESIGNATION: SBM#1
ESTABLISHED BY: V3 COMPANIES
DATE: 10-30-17
ELEVATION: ELEV.=725.77
DATUM: NAVD88

DESCRIPTION: CUT CROSS IN CONCRETE COLLAR OF TRAFFIC CONTROL VAULT, LOCATED 13.9' SOUTH OF THE NORTH LINE OF 91ST STREET AND 20.0' EAST OF THE EAST LINE OF FT. 83.

STATION DESIGNATION: SBM#2
ESTABLISHED BY: V3 COMPANIES
DATE: 10-30-17
ELEVATION: 724.67 (MEASURED)
DATUM: NAVD88

DESCRIPTION: CUT CROSS IN CONCRETE COLLAR OF TRAFFIC CONTROL VAULT, LOCATED 266.2' SOUTH OF THE NORTH LINE OF 91ST STREET AND 31.1' WEST OF THE EAST LINE OF FT. 83.

V3 ADVISES THAT ALL CONTRACTORS USING THE ABOVE CONTROL MUST CHECK INTO AT LEAST THREE SITE CONTROL POINTS AND/OR SURROUNDING NON-ADJUSTED MANHOLE RIM GRADES OR ADJACENT BUILDING FINISHED FLOOR ELEVATIONS BEFORE STARTING ANY CONSTRUCTION WORK. ANY DISCREPANCIES FOUND MUST BE REPORTED IMMEDIATELY TO V3 PRIOR TO THE START OF WORK.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }

TO CHICAGO TITLE INSURANCE COMPANY AND McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION AND McDONALD'S CORPORATION, A DELAWARE CORPORATION, & FRANCHISE REALTY INVESTMENT TRUST - II, A MARYLAND CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 13, 14, 16, 17, 18, 19, 21 AND 22 OF TABLE A HEREON.

FIELD WORK COMPLETED ON OCTOBER 30, 2017.

DATED THIS 22ND DAY OF NOVEMBER, A.D., 2017.

CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3188
MY LICENSE EXPIRES ON NOVEMBER 30, 2018.
V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2019.
CBARTOSZ@V3CO.COM



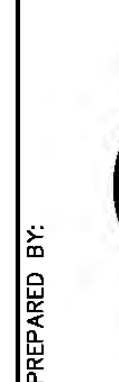
TITLE	ALTA & TOPOGRAPHIC SURVEY	DATE	11/17/17	BY	REV	DATE	DESCRIPTION
DESCRIPTION	McDonald's - Burr Ridge, IL	REVIEWED BY	CWB	DATE ISSUED	11/17/17	REV	DATE
SITE ID	12-2701	SITE ADDRESS	SEC 11, RT. 83 AND 91ST STREET, BURR RIDGE, IL	REV	1	12/19/17	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
SHEET NO.	VP03.1	BY	CWB	REV	1	12/19/17	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT

McDonald's USA, LLC

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V3 Companies
7325 Jones Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com



V3 JOB NO.: 06240.138 VP031

PREPARED BY: V3

PREPARED FOR: McDonald's USA, LLC

DATE: 11/17/17

BY: CWB

REVIEWED BY: CWB

DATE ISSUED: 11/17/17

DATE: 11/17/17

BY: CWB

REVIEWED BY: CWB

DATE ISSUED: 11/17/17

DATE: 11/17/17

BY: CWB

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BY: CWB

REVIEWED BY: CWB

DATE ISSUED: 11/17/17

DATE: 11/17/17

BY: CWB

REVIEWED BY: CWB



VICINITY MAP
NOT TO SCALE

LEGEND & ABBREV.

TRAFFIC CONTROL BOX	⊙	GAS VALVE VAULT	⊙
TRAFFIC CONTROL VAULT	⊙	PAINTED GAS LINE	—
TRAFFIC LIGHT	⊙	PIPELINE MARKER	—
POWER POLE	⊙	GAS VALVE	⊙
ANCHOR	⊙	CLEANOUT	⊙
GUY POLE	⊙	SANITARY MANHOLE	⊙
ELECTRIC SERVICE OUTLET BOX	⊙	POST INDICATOR VALVE	⊙
ELECTRIC TRANSFORMER PAD	⊙	WATER VALVE VAULT	⊙
AIR CONDITIONER PAD/UNIT	⊙	PAINTED WATER LINE	—
ELECTRICAL JUNCTION BOX	⊙	MONITORING WELL	⊙
ELECTRIC MANHOLE	⊙	SPRINKLER HEAD	⊙
ELECTRIC VAULT	⊙	WATER METER	⊙
ELECTRIC PEDESTAL	⊙	WELL HEAD	⊙
ELECTRIC METER	⊙	HOSE BIB	⊙
HANDHOLE	⊙	HYDRANT	⊙
LIGHT STANDARD	⊙	B-BOX	⊙
PAINTED ELECTRIC LINE	—	POST/BOLLARD	⊙
TELEPHONE MANHOLE	⊙	MAILBOX	⊙
PAINTED TELEPHONE LINE	—	SKIN	⊙
FIBER OPTIC CABLE LINE	—	FOUND MAG NAIL	⊙
PUBLIC PAY TELEPHONE	⊙	FOUND CUT NOTCH	⊙
TELEPHONE PEDESTAL	⊙	FOUND CUT CROSS	⊙
CABLE TV PEDESTAL	⊙	DECIDUOUS TREE	⊙
HEADWALL	⊙	W/ TRUNK SIZE	⊙
CURB INLET	⊙	NON-DECIDUOUS TREE	⊙
CATCH BASIN	⊙	W/ TRUNK SIZE	⊙
STORM INLET	⊙	FOUND IRON ROD	⊙
STORM MANHOLE	⊙	FOUND RAILROAD SPIKE	⊙
FLARED END SECTION	⊙	FOUND PK NAIL	⊙
FOUND IRON PIPE	⊙	FOUND MAG NAIL	⊙
SET PK NAIL	⊙	FOUND CUT NOTCH	⊙
SET MAG NAIL	⊙	FOUND CUT CROSS	⊙
SET IRON PIPE	⊙		
BOUNDARY LINE	—		
EXISTING RIGHT-OF-WAY LINE	—		
EXISTING LOT LINE	—		
EXISTING CENTERLINE	—		
EXISTING EASEMENT LINE	—		
SECTION LINE	—		
EXISTING FENCELINE (CHAIN LINK)	—		
EXISTING FENCELINE (WROUGHT IRON)	—		
GUARDRAIL	—		
UNDERGROUND CABLE TV (ATLAS)	—		
UNDERGROUND CABLE TV (ATLAS)	—		
UNDERGROUND FIBER OPTIC CABLE	—		
UNDERGROUND FIBER OPTIC CABLE (ATLAS)	—		
UNDERGROUND ELECTRIC	—		
UNDERGROUND ELECTRIC (ATLAS)	—		
UNDERGROUND TELEPHONE	—		
UNDERGROUND TELEPHONE (ATLAS)	—		
GAS MAIN	—		
GAS MAIN (ATLAS)	—		
PIPELINE	—		
PIPELINE (ATLAS)	—		
WATER MAIN	—		
WATER MAIN (ATLAS)	—		
SANITARY SEWER	—		
SANITARY SEWER (ATLAS)	—		
STORM SEWER	—		
STORM SEWER (ATLAS INFO.)	—		
OVERHEAD WIRES	—		
EDGE OF WATER	—		
CURB	—		
DEPRESSED CURB	—		
EXISTING CONTOUR LINE	—		
ASPHALT PAVING OR WATER (LABELLED)	—		
UNPAVED ROAD	—		
CONCRETE	—		
EXISTING BUILDING	—		
782.82 EXISTING TOP OF CURB ELEVATION			
782.12 EXISTING EDGE OF PAVEMENT ELEVATION			
782.67 EXISTING SPOT ELEVATION			
0.00' CALCULATED DATUM			
0.00' INFORMATION TAKEN FROM DEED			
0.00' DATUM TAKEN FROM EDWARD MOLLOY SURVEY			
0.00' MEASURED DATUM			
A.P. ACCESSIBLE PARKING			
BIT. BITUMINOUS			
BOW. BACK OF WALK			
BRK. BRICK			
BW. BOTTOM OF WALL			
CMP. CORRUGATED METAL PIPE			
CONC. CONCRETE			
CW. CONCRETE WALK			
DEP. DEPRESSED CURB			
DIP. DUCTILE IRON PIPE			
E. EAST			
EP. EDGE OF PAVEMENT			
EX. EXISTING			
FES. FLARED END SECTION			
FTE. FINISHED FLOOR ELEVATION			
GRAY. GRAVEL			
GUT. GUTTER			
I.E. INGRESS & EGRESS EASEMENT			
IE. INVERT ELEVATION			
INV. INVERT			
M.H. MANHOLE			
M.U.E. MUNICIPAL UTILITY EASEMENT			
N. NORTH			
P.U.E. PUBLIC UTILITY EASEMENT			
P.U.E. PUBLIC UTILITY & DRAINAGE EASEMENT			
R. RADIUS			
RCP. REINFORCED CONCRETE PIPE			
SAN. SANITARY SEWER			
SD. STORM DRAIN			
S. SOUTH			
TP. TOP OF PIPE			
TW. TOP OF WALL			
U.E. UTILITY EASEMENT			
W.C.P. WETTED CLAY PIPE			
W. WEST			
P.O.C. PLACE OF COMMENCEMENT			
P.O.B. PLACE OF BEGINNING			
R.O.W. RIGHT-OF-WAY			
CSM. CERTIFIED SURVEY MAP			

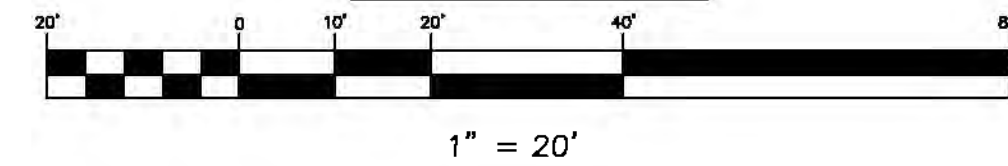
ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEY OF McDONALD'S - BURR RIDGE, ILLINOIS. 91ST STREET AND IL. ROUTE 83

PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

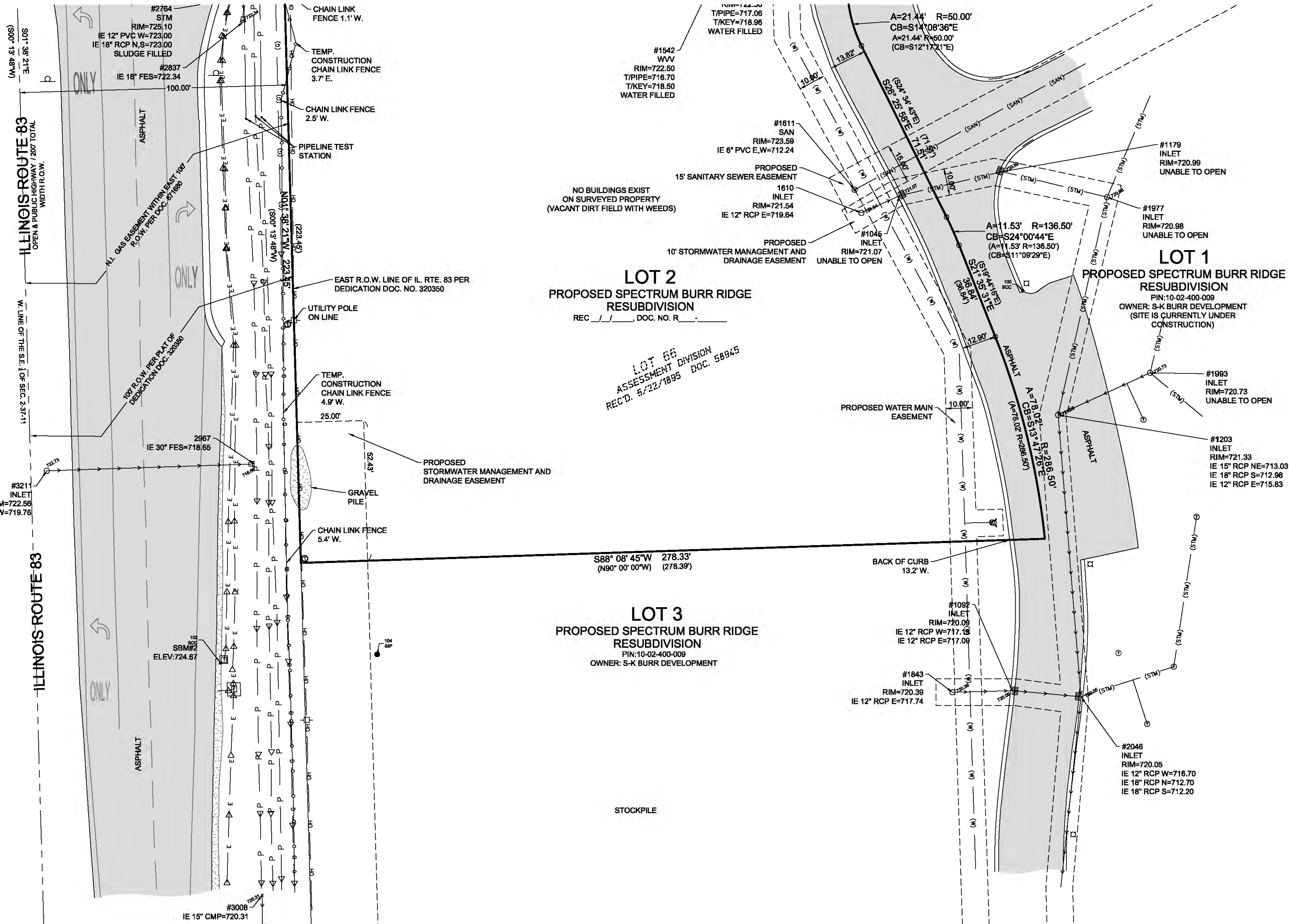
BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE
1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 41-43-28.53219 N
LONGITUDE 87-54-52.37777 W
ELLIPSOIDAL HEIGHT: 529.012 SFT
GROUND SCALE FACTOR 1.0000353078
ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



STATE PLANE MERIDIAN



TITLE	ALTA & TOPOGRAPHIC SURVEY	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
SHEET NO.	VP03.1	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
DESCRIPTION	McDONALD'S - BURR RIDGE, IL	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
SITE ADDRESS	12-2701 SEC IL RT. 83 AND 91ST STREET, BURR RIDGE, IL	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
PREPARED BY	M. McDonald's USA, LLC	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
DRAWN BY	EJM	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
STD. ISSUE DATE		DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
REVIEWED BY	CWB	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
DATE ISSUED	12/19/17	DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
BY		DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
CWB		DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT
BY		DATE	12/19/17	REV	1	DESCRIPTION	REVISED PER RECEIPT OF UPDATED TITLE COMMITMENT

V3 Companies
7325 Jones Avenue
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www.v3co.com



PREPARED BY:

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McDonald's USA, LLC
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VP03.1
SHEET 2 OF 5

**ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEY
OF
McDONALD'S - BURR RIDGE, ILLINOIS.
91ST STREET AND IL. ROUTE 83**

PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

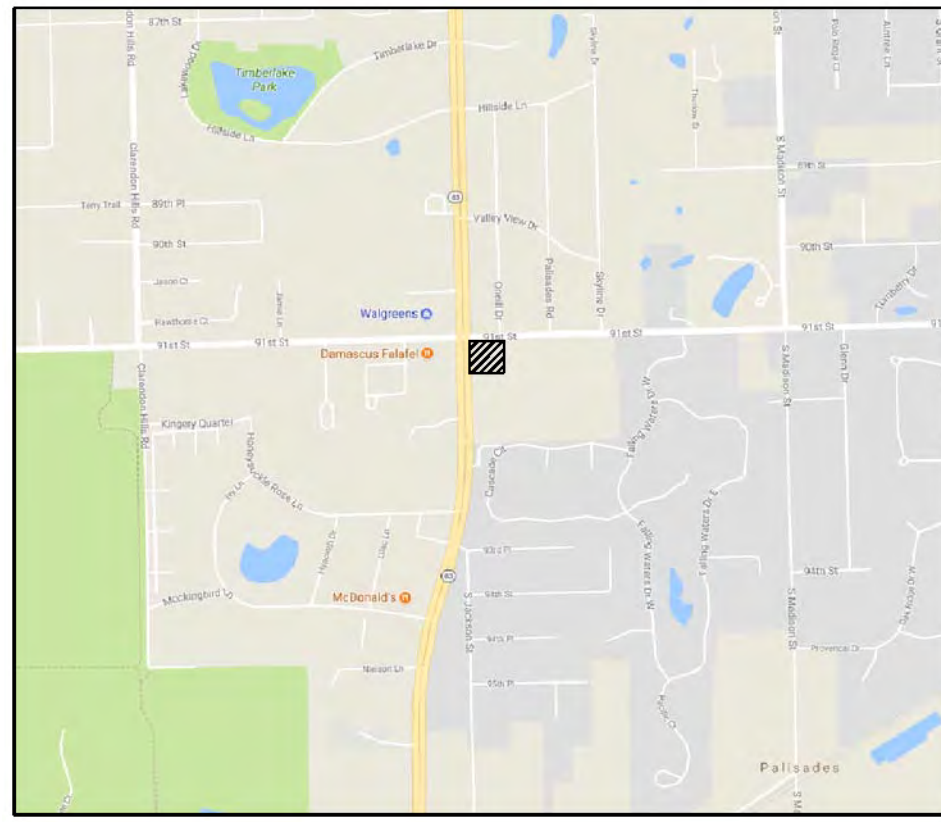
BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE
1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 41-43-28.53219 N
LONGITUDE 87-54-52.37777 W
ELLIPSOIDAL HEIGHT: 529.012 SFT
GROUND SCALE FACTOR 1.0000353078
ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE

$$1^n = 2$$

STATE PLANE MERIDIAN



VICINITY MAP
NOT TO SCALE

LEGEND & ABBREV

- | | | | |
|--|---------------------------------------|--|----------------------|
| | TRAFFIC CONTROL BOX | | GAS VALVE VAULT |
| | TRAFFIC CONTROL VAULT | | PAINTED GAS VAULT |
| | TRAFFIC LIGHT POLE | | PIPELINE MARKER |
| | POWER POLE | | GAS VALVE |
| | ANCHOR | | GAS METER |
| | GUYP POLE | | CLEANOUT |
| | ELECTRIC SERVICE OUTLET BOX | | SENTRY MANHOLE |
| | ELECTRIC TRANSFORMER PAD | | POST INDICATOR VALVE |
| | AIR CONDITIONER PAD/UNIT | | WATER VALVE VAULT |
| | ELECTRICAL JUNCTION BOX | | PAINTED WATER VAULT |
| | ELECTRIC MANHOLE | | MONITORING WELL |
| | ELECTRIC VAULT | | SPRINKLER HEAD |
| | ELECTRIC PEDESTAL | | WATER METER |
| | ELECTRIC METER | | WATER VALVE |
| | HAND VALVE | | WELL HEAD |
| | LIGHT STANDARD | | HOSE BIB |
| | PAINTED ELECTRIC LINE | | HYDRANT |
| | TELEPHONE MANHOLE | | B-BOX |
| | PAINTED TELEPHONE LINE | | POST/BOLLARD |
| | FIBER OPTIC CABLE LINE | | FLAG POLE |
| | PUBLIC PLAY TELEPHONE | | MAILBOX |
| | TELEPHONE PEDESTAL | | SIGN |
| | CABLE TV PEDESTAL | | BUSH |
| | HEADWALL | | DECIDUOUS TREE |
| | CURB INLET | | W/ TRUNK SIZE |
| | CATCH BASIN | | NON-DECIDUOUS TREE |
| | STORM INLET | | W/ TRUNK SIZE |
| | STORM MANHOLE | | FOUND ROUND RK |
| | FLARED END SECTION | | FOUND RAILROAD SPIKE |
| | FOUND IRON PIPE | | FOUND PK NAL |
| | SET PK NAL | | FOUND MAG NAL |
| | SET MAG NAL | | FOUND CUT NOTCH |
| | SET RN PIPE | | FOUND CUT CROSS |
| | | | |
| | BOUNDARY LINE | | |
| | EXISTING RIGHT-OF-WAY LINE | | |
| | EXISTING LOT LINE | | |
| | EXISTING CENTERLINE | | |
| | EXISTING EASEMENT LINE | | |
| | SECTION LINE | | |
| | EXISTING FENCELINE (CHAIN LINK) | | |
| | EXISTING FENCELINE (WROUGHT IRON) | | |
| | GUARDRAIL | | |
| | UNDERGROUND CABLE TV | | |
| | UNDERGROUND CABLE TV (ATLAS) | | |
| | UNDERGROUND FIBER OPTIC CABLE | | |
| | UNDERGROUND FIBER OPTIC CABLE (ATLAS) | | |
| | UNDERGROUND ELECTRIC | | |
| | UNDERGROUND ELECTRIC (ATLAS) | | |
| | UNDERGROUND TELEPHONE | | |
| | UNDERGROUND TELEPHONE (ATLAS) | | |
| | GAS MAIN | | |
| | GAS MAIN (ATLAS) | | |
| | PIPELINE | | |
| | PIPELINE (ATLAS) | | |
| | WATER MAIN | | |
| | WATER MAIN (ATLAS) | | |
| | SANITARY SEWER | | |
| | SANITARY SEWER (ATLAS) | | |
| | STORM SEWER | | |
| | STORM SEWER(ATLAS INFO.) | | |
| | OVERHEAD WIRES | | |
| | EDGE OF WATER | | |
| | CURB | | |
| | DEPRESSION CURB | | |
| | EXISTING CONTOUR LINE | | |
| | ASPHALT PAVING OR WATER (LABELLED) | | |
| | UNPAVED ROAD | | |
| | CONCRETE | | |
| | EXISTING BUILDING | | |

782.62 EXISTING TOP OF CURB ELEVATION
782.12 EXISTING EDGE OF PAVEMENT ELEVATION
*782.62 EXISTING SPOT ELEVATION

0.00' CALCULATED DATUM
0.00' INFORMATION TAKEN FROM DEED
0.00' DATUM TAKEN FROM EDWARD MOLLOY SURVEY
[0.00'] MEASURED DATUM
A.P. MEASURED LENGTH
A.P. ACCESSIBLE PARKING
B.T. BITUMINOUS
B.C. BACK OF CURB
B.W. BACK OF WALK
B.R.K. BRICK
B.W. BRICK
B.W. FORM OF WALL
C.M.P. CORRUGATED METAL PIPE
CONC. CONCRETE
C.W. CONCRETE WALK
D.E. DRAINAGE EASEMENT
D.E. DEPRESSURED CURB
D.U. DUCTILE IRON PIPE
EAST
EP. EDGE OF PAVEMENT
EX. EXISTING
FES. FLARED END SECTION
FES. FINISHED FLOOR ELEVATION
GRAV. GRAVEL
GUT. GUTTER
I.E. INTERLACE & EGRESS EASEMENT
I.E. INLET ELEVATION
INV. INVERT
MH. MANHOLE
M.U.E. MUNICIPAL UTILITY EASEMENT
N. NORTH
P.U.E. PUBLIC UTILITY EASEMENT
P.U.E. PRIVATE UTILITY EASEMENT
R. RADII
R.C.P. REINFORCED CONCRETE PIPE
SAN. SANITARY SEWER
SD. STORM DRAIN
S. SOUTH
T. TOP
T.W. TOP OF WALL
U. UTILITY EASEMENT
W.C.P. WETTED CLAY PIPE
W. WEST
P.O.C. POINT OF COMMENCEMENT
P.O.B. PLACE OF BEGINNING
R.O.W. RIGHT-OF-WAY
CSM. CERTIFIED SURVEY MAP



PREPARED BY:

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PREPARED FOR: **M. McDonald's USA, LLC** © 2008 McDonald's USA,

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DRAWN BY	PREPARED FOR:
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TITLE
ALTA & TOPOGRAPHIC SURVEY

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SHEET NO. VP03.1
SHEET 3 OF 5

SHEET 3 OF 5

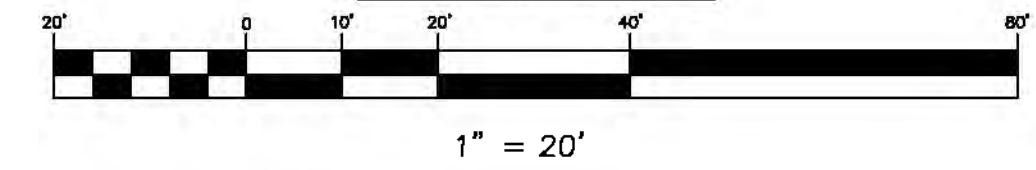
**ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEY
OF
McDONALD'S - BURR RIDGE, ILLINOIS.
91ST STREET AND IL. ROUTE 83**

PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

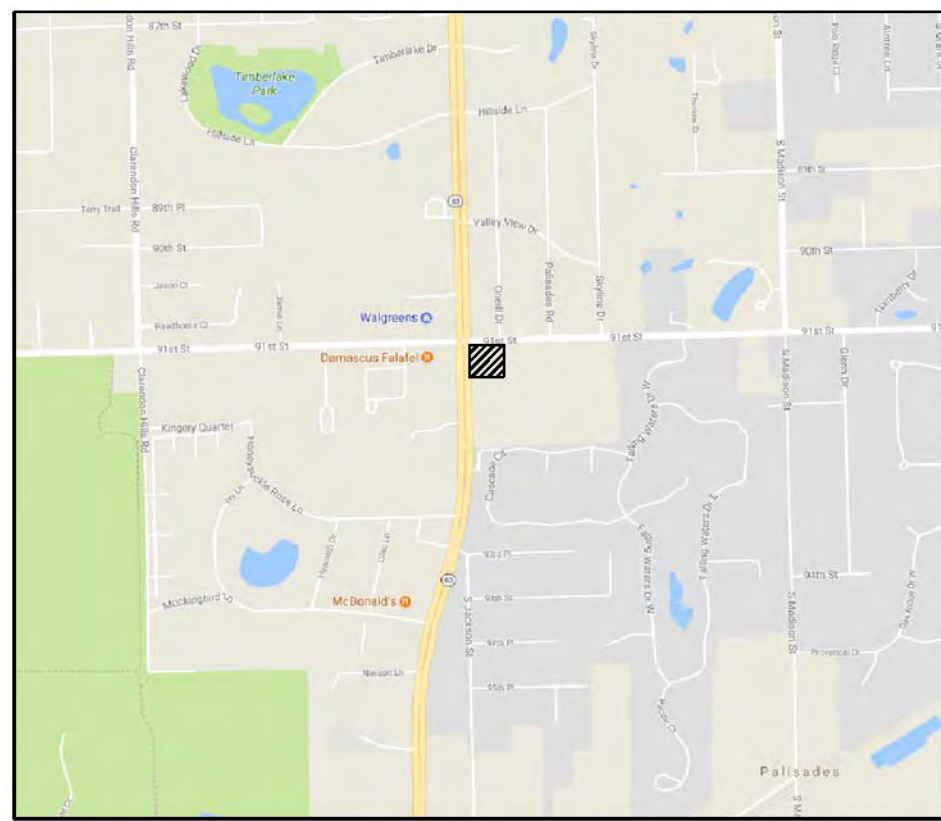
BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE
1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 41-43-28.53219 N
LONGITUDE 87-54-52.37777 W
ELLIPSOIDAL HEIGHT: 529.012 SFT
GROUND SCALE FACTOR 1.0000353078
ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



STATE PLANE MERIDIAN



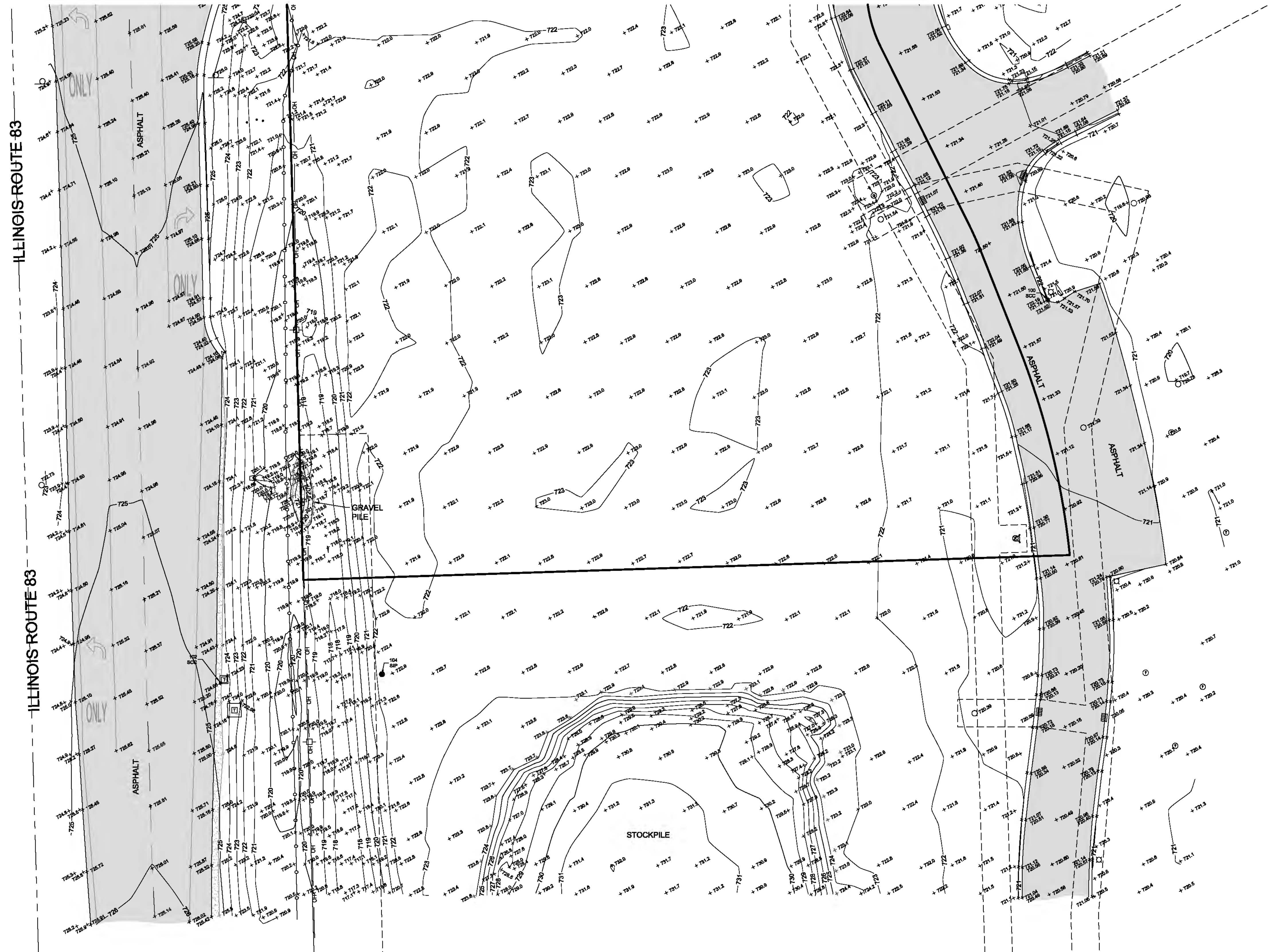
VICINITY MAP
NOT TO SCALE

LEGEND & ABBREV.

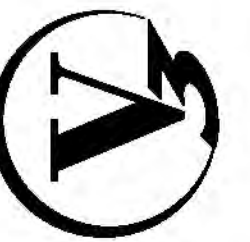
- | | | | |
|--|---------------------------------------|--|----------------------|
| | TRAFFIC CONTROL BOX | | GAS VALVE VAULT |
| | TRAFFIC CONTROL VAULT | | PAINTED GAS VALVE |
| | TRAFFIC LIGHT POLE | | PIPELINE MARKER |
| | TRAFFIC LIGHT | | GAS VALVE |
| | POWER POLE | | GAS METER |
| | ANCHOR | | CLEANOUT |
| | DRY PIPE | | SANITARY MANHOLE |
| | ELECTRIC SERVICE OUTLET BOX | | POST INDICATOR VALVE |
| | ELECTRIC TRANSFORMER PAD | | WATER VALVE VAULT |
| | AIR CONDITIONER PAD/Joint | | PAINTED WATER VALVE |
| | ELECTRIC JUNCTION BOX | | MONITORING WELL |
| | ELECTRIC MANHOLE | | SPRINKLER HEAD |
| | ELECTRIC VAULT | | WATER METER |
| | ELECTRIC PEDESTAL | | WATER VALVE |
| | ELECTRIC METER | | WELL HEAD |
| | HANDHOLE | | HOSE BIB |
| | TEST STANDARD | | HYDRANT |
| | PAINTED ELECTRIC LINE | | B-BOX |
| | TELEPHONE MANHOLE | | POST/BOLLARD |
| | PAINTED TELEPHONE LINE | | FLAG POLE |
| | FIBER OPTIC CABLE LINE | | MAILBOX |
| | PUBLIC PAY TELEPHONE | | BUSH |
| | TELEPHONE PEDESTAL | | DECIDUOUS TREE |
| | WATER PED. PEDESTAL | | NON-DECIDUOUS TREE |
| | HEADWALL | | T/RUNK SPIKE |
| | CURB INLET | | FOUND ROAD ROD |
| | CATCH BASIN | | FOUND RAILROAD SPIKE |
| | STORM INLET | | FOUND PK NAIL |
| | STORM MANHOLE | | FOUND MAG NAIL |
| | FLARED END SECTION | | FOUND OUT NOTCH |
| | FOUND IRON PIPE | | FOUND OUT CROSS |
| | SET PK NAIL | | |
| | SET MAG NAIL | | |
| | SET IRON PIPE | | |
| | BOUNDARY LINE | | |
| | EXISTING RIGHT-OF-WAY LINE | | |
| | EXISTING LOT LINE | | |
| | EXISTING CENTERLINE | | |
| | EXISTING EASEMENT LINE | | |
| | SECTION LINE | | |
| | EXISTING FENCELINE (CHAIN LINK) | | |
| | EXISTING FENCELINE (WROUGHT IRON) | | |
| | QUARREL | | |
| | UNDERGROUND CABLE TV | | |
| | UNDERGROUND CABLE TV (ATLAS) | | |
| | UNDERGROUND FIBER OPTIC CABLE | | |
| | UNDERGROUND FIBER OPTIC CABLE (ATLAS) | | |
| | UNDERGROUND ELECTRIC | | |
| | UNDERGROUND ELECTRIC (ATLAS) | | |
| | UNDERGROUND TELEPHONE | | |
| | UNDERGROUND TELEPHONE (ATLAS) | | |
| | GAS MAIN | | |
| | GAS MAIN (ATLAS) | | |
| | PIPELINE | | |
| | PIPELINE (ATLAS) | | |
| | WATER MAIN | | |
| | WATER MAIN (ATLAS) | | |
| | SANITARY SEWER | | |
| | SANITARY SEWER (ATLAS) | | |
| | STORM SEWER | | |
| | STORM SEWER (ATLAS INFO) | | |
| | OVERHEAD WIRES | | |
| | EDGE OF WATER | | |
| | CURB | | |
| | DEPRESSED CURB | | |
| | EXISTING CONTOUR LINE | | |
| | ASPHALT PAVING OR WATER (LABELLED) | | |
| | UNPAVED ROAD | | |
| | CONCRETE | | |
| | EXISTING BUILDING | | |

782.62 EXISTING TOP OF CURB ELEVATION
782.12 EXISTING EDGE OF PAYEMENT ELEVATION
782.62 EXISTING SPOT ELEVATION

0.00' CALCULATED DATUM
 <0.00' INFORMATION TAKEN FROM DEED
 0.00' DATUM TAKEN FROM EDWARD MCILROY SURVEY
 A. MEASURED DATUM
 0.00' 1.00' 2.00' 3.00' 4.00' 5.00' 6.00' 7.00' 8.00' 9.00' 10.00'
 A. MEASURED DATUM
 0.00' 1.00' 2.00' 3.00' 4.00' 5.00' 6.00' 7.00' 8.00' 9.00' 10.00'
 BWC BACK OF CURB
 BWC BACK OF WALK
 BRK BRICK
 BW BOTTOM OF WALL
 CWP CORRUGATED METAL PIPE
 CON CONCRETE
 CON CONCRETE WALK
 D.D. DRAINAGE EASEMENT
 DEP DEEPER CURBED
 DFE DUCTILE IRON PIPE
 EAS EASEMENT
 EP EDGE OF PAVEMENT
 EX EXISTING
 FES FLARED END SECTION
 FFE FINISHED FLOOR ELEVATION
 GRAVEL GRAVEL
 GUT GUTTER
 L.E. LEASE & EGRESS EASEMENT
 IN INVERT
 INH INVERT
 MH MANHOLE
 M.U.E. MUNICIPAL UTILITY EASEMENT
 N NORTH
 P.U.E. PUBLIC UTILITY EASEMENT
 R RADIUS
 R.C. REINFORCED CONCRETE PIPE
 SAN SANITARY SEWER
 SD SIDE DRAIN
 S SOUTH
 TP TOP OF PIPE
 TW TOP OF WALL
 U.E. UTILITY EASEMENT
 YC YETTERED CLAY PIPE
 W WEST
 P.O.C. PLACE OF COMMEMORATION
 P.O.B. PLACE OF BEGINNING
 R.O.W. RIGHT-OF-WAY
 CSW CERTIFIED SURVEY MAP



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REVIEWED BY

DATE 10/01/18	CWB	REVIEWED BY
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DATE ISSUED
11/17/17

TITLE
ALTA & TOPOGRAPHIC SURVEY

NECESSITARIAN

McDONALD'S -

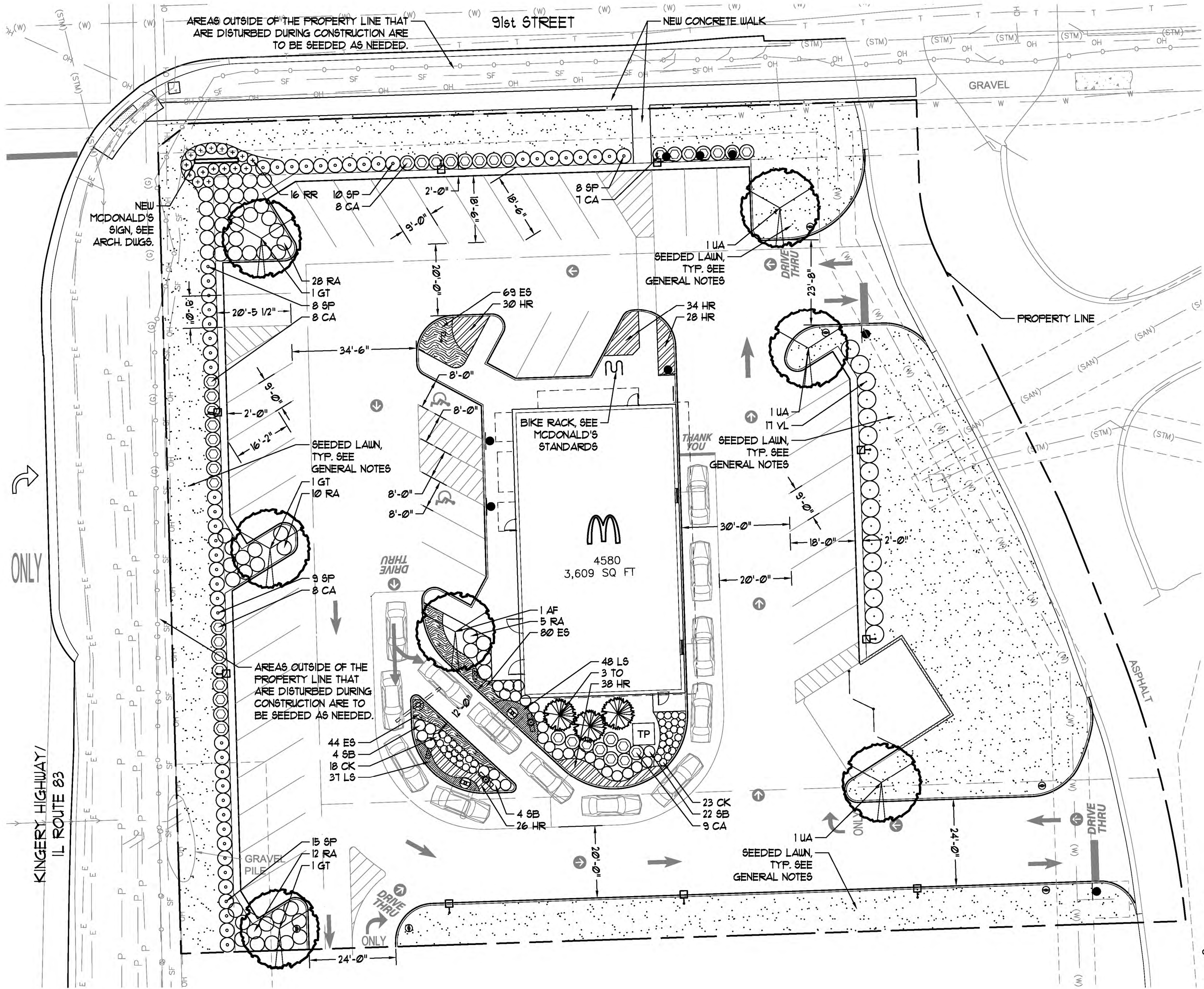
BURR RIDGE, IL

VP03.1

SHEET 4 OF 5

GENERAL NOTES

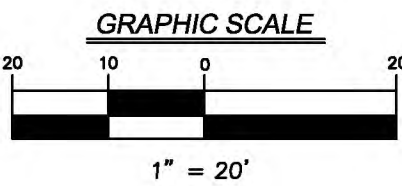
1. ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE.
3. SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
4. QUANTITIES SHOWN ON THE DRAWING AND IN THE PLANT LIST ARE PROVIDED ONLY FOR THE CONTRACTOR'S CONVENIENCE. THE NUMBER OF PLANT SYMBOLS SHOWN ON THE DRAWINGS SUPERCEDE ALL QUANTITIES PROVIDED. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES ON THE DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS PER THE PLANT SYMBOLS SHOWN ON THE DRAWINGS.
5. ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
6. PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.
7. IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FRIABLE LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 30% AND 50% SILT, 10% AND 25% CLAY, AND 30% AND 60% SAND. THE PH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MUDDY CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES AMENDMENTS TO COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL AMEND THE TOPSOIL, RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BRINGING THE TOPSOIL ON SITE.
8. EXISTING TOPSOIL FROM ON SITE THAT HAS BEEN STOCKPILED MAY BE USED IF IT MEETS THE REQUIREMENTS FOR IMPORTED TOPSOIL. THIS INCLUDES CONDUCTING SOIL TEST ANALYSIS AND ADDING AMENDMENTS AS NEEDED SO THAT THE SOIL COMPLIES WITH THE REQUIREMENTS.
9. LAWN GRASS SEED SHALL BE A TALL FESCUE BLEND, SUCH AS DRYSPRELL TALL FESCUE BLEND, AVAILABLE FROM NATIONAL SEED (888) 963-1333. SEEDING SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES UNLESS APPROVED BY THE LANDSCAPE ARCHITECT:
MAY 1 THROUGH JUN 15
AUG 15 THROUGH OCT 15
- THE CONTRACTOR SHALL WARRANTY ALL SEED FROM DATE OF INSTALLATION UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAWN MAINTENANCE (WATERING, MOWING, FERTILIZING AND WEEDING) UNTIL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL SEEDING THAT HAS NOT FILLED IN OR HAS DIED OR BURNED OUT AT NO COST TO THE OWNER. FINAL ACCEPTANCE WILL BE GIVEN BY LANDSCAPE ARCHITECT ONCE THE SEEDED AREAS ARE FULL, VIABLE AND FREE OF BARE SPOTS AND THE LAWN HAS BEEN MOWED TWICE.
10. ALL AREAS TO BE SEEDED THAT HAVE MORE THAN 3% SLOPE SHALL RECEIVE AN EROSION CONTROL BLANKET, ERO-NET 5-150, BY NORTH AMERICAN GREEN, FH#00-112-2040, OR APPROVED EQUAL.
11. ALL PLANT MATERIAL MUST BE SPECIMEN QUALITY, TRUE TO SPECIES AND VARIETY, WITH FULL, DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIMEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN LOCALLY GROWN AT A STATE INSPECTED AND CERTIFIED NURSERY, LOCATED WITHIN 50 MILES OF THE PROJECT SITE. CONTRACTOR TO PROVIDE STATE INSPECTION CERTIFICATES FROM NURSERIES.
12. ALL DECIDUOUS AND EVERGREEN TREES AND SHRUBS THAT ARE 36" HEIGHT OR TALLER ARE TO HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS WITH SIZES THAT MEET THE STANDARDS OF THE AMERICAN NURSERYMEN'S ASSOCIATION. DECIDUOUS AND EVERGREEN SHRUBS THAT ARE 30" HEIGHT OR LESS MAY EITHER HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS OR MAY BE CONTAINER GROWN. ALL PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS MUST BE CONTAINER GROWN. CONTAINER GROWN MATERIALS SHALL HAVE BEEN GROWN IN THEIR CURRENT CONTAINER FOR A PERIOD OF NO LESS THAN SIX MONTHS.
13. ALL TREES SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT, AT THE NURSERY, PRIOR TO DIGGING. TREES THAT ARE ACCEPTABLE WILL BE SEALED. ALL SEALS APPLIED BY THE LANDSCAPE ARCHITECT MUST REMAIN ON THE TREES AND ARE NOT TO BE REMOVED BY THE CONTRACTOR. ALL TREES MUST HAVE SEALS IN PLACE AT TIME OF ACCEPTANCE OR WILL BE AUTOMATICALLY REJECTED. HEELED-IN TREES WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
14. TREE SPECIES SUCH AS BETULA, CELTIS, CERIS, CRATAEGUS, FAGUS, LIRIODENDRON, PLATANUS, POPULUS, PRUNUS, PYRUS, QUERCUS AND TAXODIUM ARE CONSIDERED "SPRING DIG ONLY" TREES. THE CONTRACTOR MUST HAVE THESE TREES ORDERED, ACCEPTED AND DUG IN EARLY SPRING FOR SUMMER AND FALL LANDSCAPE INSTALLATIONS.
15. ALL SHRUBS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. AN EXAMPLE SHRUB MAY BE TAGGED OR PICTURES MAY BE SUBMITTED FOR APPROVAL. ALL SHRUBS THAT DO NOT MATCH THE APPROVED EXAMPLE SHRUB IN SIZE AND FORM, WILL BE REJECTED. ALL OTHER SHRUBS MUST MEET THE MINIMUM SIZES GIVEN IN THE PLANT LIST AND BE SPECIMEN QUALITY. SHRUBS THAT DO NOT MEET THESE GUIDELINES WILL BE REJECTED.
16. PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:
DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH NOV 15
SPRING DIG DECIDUOUS TREES: APR 1 THROUGH OCT 15
EVERGREEN TREES AND SHRUBS: APR 1 THROUGH NOV 1
PERENNIALS AND GROUNDCOVERS: MAY 1 THROUGH OCT 15
LAWN GRASS SEEDING: MAY 1 THROUGH JUN 15, AUG 15 THROUGH OCT 15
- WHEN FAVORABLE WEATHER CONDITIONS EXIST OUTSIDE OF THE PLANTING SEASON, THE CONTRACTOR MAY INSTALL PLANTS WHEN APPROVED BY THE LANDSCAPE ARCHITECT.
17. TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
18. PLANTING MIX FOR ALL PLANTINGS SHALL BE AS FOLLOWS. MIXING OF PLANTING MIX COMPONENTS SHALL BE THOROUGHLY BLENDED OUTSIDE THE PLANTING PITS, PRIOR TO PLANTING.
TREES AND SHRUBS: 80% TOPSOIL, 10% SAND, 10% PINE FINES
PERENNIALS AND ANNUALS: 10% TOPSOIL, 15% SAND, 15% PINE FINES
19. FOR PLANTING MIXES, SAND SHALL BE ANGULAR, COARSE SAND AND PINE FINES SHALL BE 3/8" SOUTHERN PINE BARK FINES.
20. BARK MULCH FOR TREES AND SHRUBS SHALL BE FINELY SHREDDED, PREMIUM HARDWOOD BARK MULCH, FREE OF TWIGS, LEAVES OR OTHER DEBRIS. BARK MULCH SHALL NOT CONTAIN ANY WOOD AND SHALL NOT BE ARTIFICIALLY COLORED.
21. LEAF MULCH FOR PERENNIALS SHALL BE COMPOSTED LEAF MATTER, COMPOSTED FOR A PERIOD OF BETWEEN 6 MONTHS AND ONE YEAR. LEAF COMPOST IS NOT ACCEPTABLE.
22. PRODUCT DATA, SUPPLIER NAME AND A SAMPLE OF THE FOLLOWING MATERIAL SHALL BE SUBMITTED FOR APPROVAL. SAMPLE FOR MATERIAL NOT REQUIRED ON THE DRAWING AND DETAILS MAY BE OMITTED.
TOPSOIL, PLANTING BACKFILL MIX, SHREDDED HARDWOOD BARK MULCH, LEAF MULCH, FILTER FABRIC, INSPECTION TUBE AND CAP, DRAINAGE GRAVEL, DRAINAGE PIPE (12" SECTION), EROSION CONTROL BLANKET.
23. EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 18" AND BACKFILL WITH TOPSOIL. BERTY PLANTERS AND ISLANDS TO A HEIGHT OF 6" ABOVE TOP OF CURB.
24. ALL PLANT BEDS ARE TO BE WELL SHAPED "GRADE CUT" EDGES, 3" DEPTH, IN LINES OR IN CURVES AS SHOWN ON THE DRAWINGS.
25. MAINTENANCE OF ALL LANDSCAPING SHALL BEGIN AT INSTALLATION AND CONTINUE UNTIL ACCEPTANCE. MAINTENANCE SHALL CONSIST OF WATERING, WEEDING AND ALL OTHER ACTIVITIES TO MAINTAIN A HEALTHY LANDSCAPE.
26. THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR "ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "ACCEPTANCE".
27. THE CONTRACTOR SHALL FURNISH THE OWNER WITH A LANDSCAPE MAINTENANCE MANUAL UPON ACCEPTANCE. THE LANDSCAPE MAINTENANCE MANUAL SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION TO THE OWNER.
28. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".



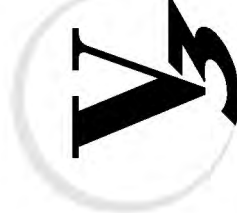
1 LANDSCAPE PLAN

PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	ADDITIONAL NOTES
DECIDUOUS & EVERGREEN TREES					
AF	ACER X FREEMANII 'CELEBRATION' 'CELTAM'	CELEBRATION MAPLE	3" CAL	1	
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS	SKYLINE HONEYLOCUST	3" CAL	3	
UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	3" CAL	3	
TO	TILIA OCCIDENTALIS 'WINTERGREEN'	WINTERGREEN ARBORVITAE	6' HT	3	
DECIDUOUS SHRUBS					
CA	CORNUS ALBA 'IVORY HALO' 'BAILHALO'	IVORY HALO DOGWOOD	42" HT	40	
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	18" HT x 24" W	55	
RR	ROSA 'RADRAZZ'	KNOCK OUT ROSE	24" HT x 24" W	16	
SB	SPIRAEA BETULIFOLIA 'TOR'	TOR BIRCHLEAF SPIREA	24" HT x 24" W	30	
SP	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	42" HT	50	
VL	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	42" HT	11	
PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS					
CK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	41	SPACED AS SHOWN
ES	ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS	1 GALLON	193	SPACED 15" O.C.
HR	HEMEROCALLIS MIX	LITTLE WINE CUP DAYLILY	1 GALLON	18	SPACED 18" O.C.
		HAPPY RETURNS DAYLILY	1 GALLON	18	EVENLY MIXED
LS	LIRIOPE SPICATA	CREeping LILYTURF	1 QUART	85	SPACED 12" O.C.



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M. McDonald's USA, LLC

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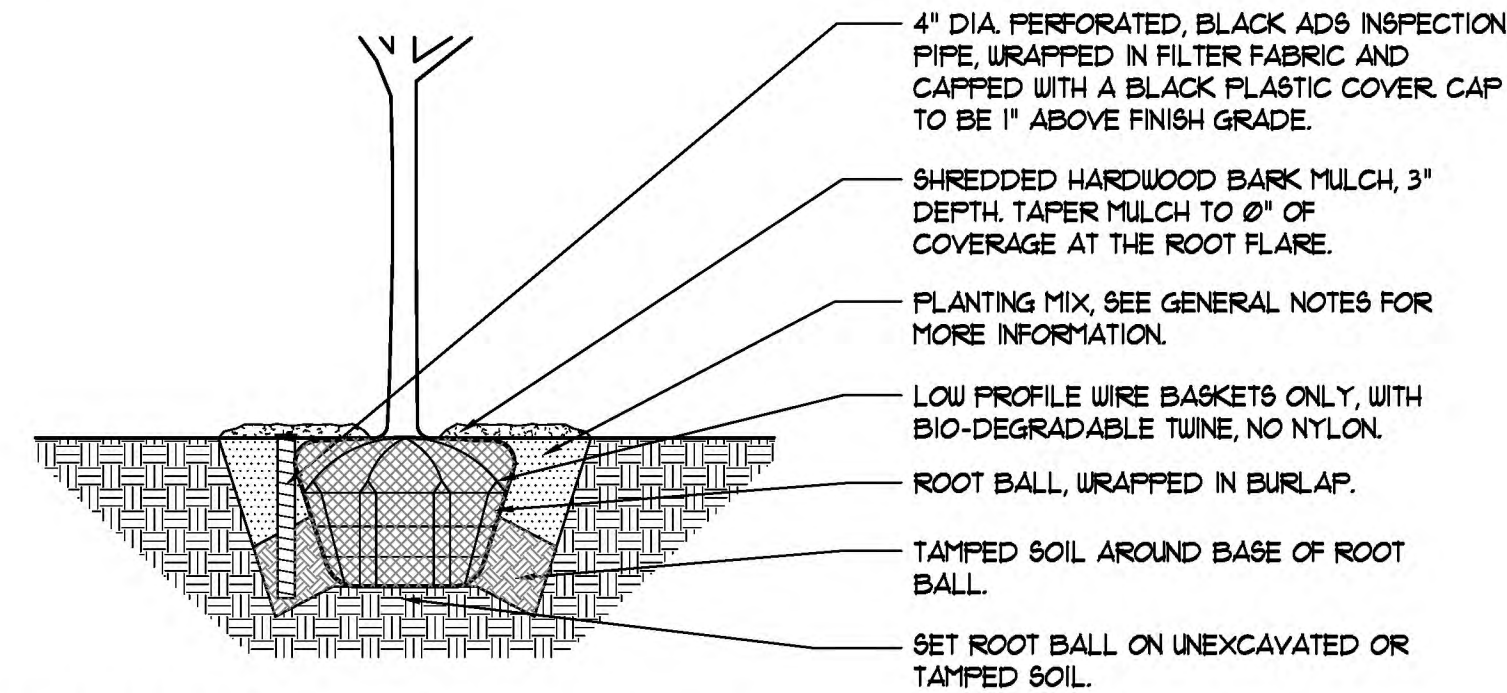
TITLE
LANDSCAPE PLAN

DESCRIPTION
MCDONALD'S - BURR RIDGE

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LANDSCAPE PLAN

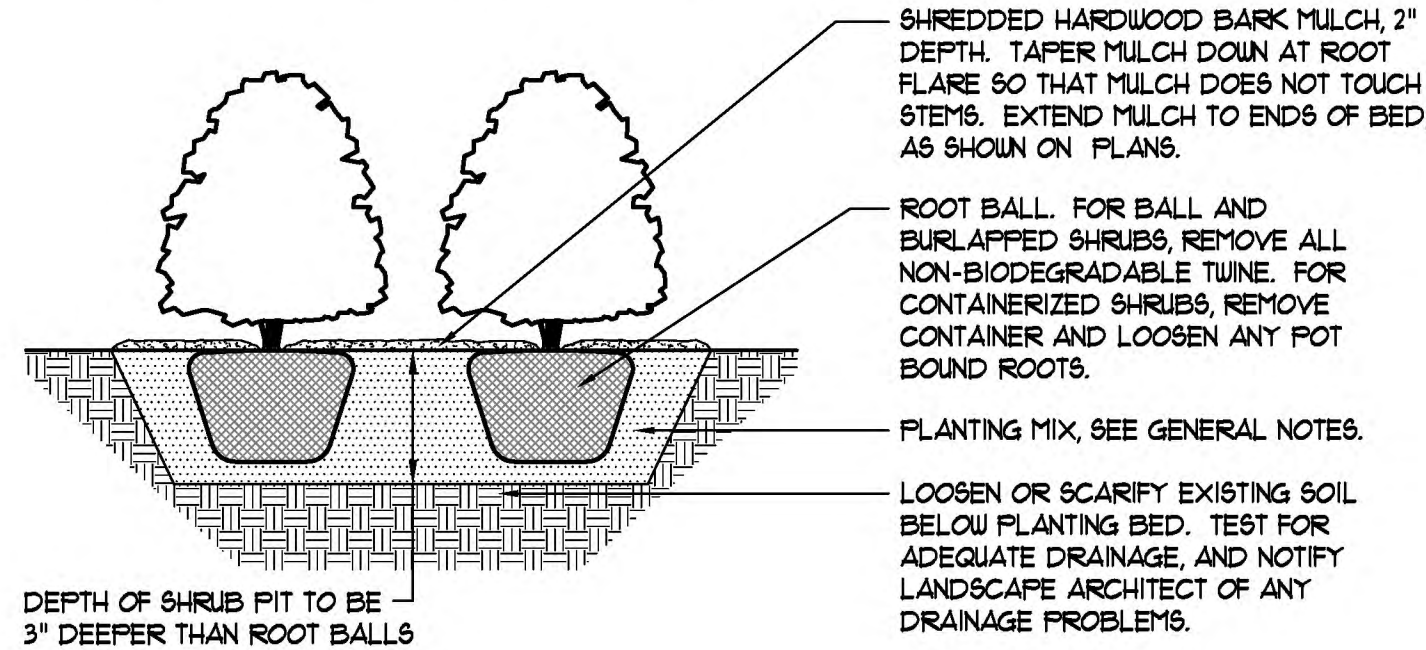
06240.138 - LANDSCAPE PLAN

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 12' HEIGHT, REMOVE APPROXIMATELY 5% - 10% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TWINE FROM AROUND ROOT FLARE OF TREE AT THE END OF THE WARRANTY PERIOD.



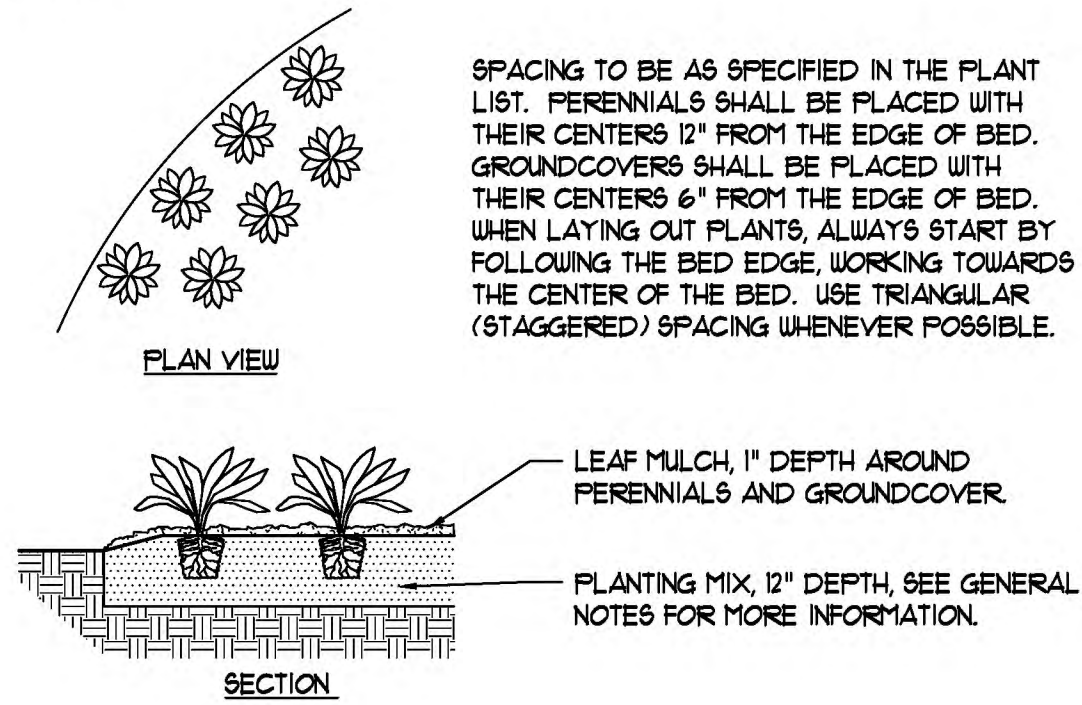
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO PLANTING. SHRUBS BEDS ARE TO BE EXCAVATED AS A SINGLE SHRUB PIT. EXTEND SHRUB PIT WIDTH TO EDGES OF PLANT BED AS SHOWN ON THE LANDSCAPE PLAN. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. REMOVE TWINE FROM ROOT FLARE. BACKFILL AND WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. MULCH LIMITS FOR SHRUBS SHALL EXTEND TO ALL OUTER EDGES OF PLANTING BEDS, SEE LANDSCAPE PLAN FOR BED LAYOUTS.



2 SHRUB PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.

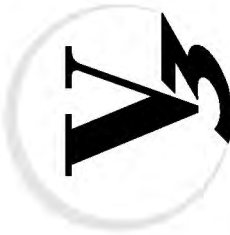


3 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

IRRIGATION NOTES

- A PLASTIC, AUTOMATIC, TIMER-ACTIVATED IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. SEPARATE ZONES TO BE PROVIDED FOR LAWN AND PLANTED BEDS.
- PROVIDE ROTARY AND MIST POP-UP SPRAYHEADS AS APPROPRIATE FOR THE PARTICULAR SIZE AND SHAPE OF LAWN OR PLANTING AREA, WITH 60% HEAD TO HEAD SPACING. THERE SHALL BE NO OVER SPRAY ON ROADS OR SIDEWALKS.
- PROVIDE WATER CONNECTION, BACKFLOW PREVENTER AND IRRIGATION CONTROLLER INSIDE THE BUILDING.
- SIZE BOOSTER PUMP, IF REQUIRED, TO PROVIDE 50 GPM AND 40 PSI AT THE SPRINKLER HEADS.
- PROVIDE SLEEVING AS NECESSARY AND COORDINATE SLEEVE INSTALLATION WITH THE GENERAL CONTRACTOR TO ELIMINATE FUTURE DAMAGE TO INSTALLED PAVEMENT.
- ALL IRRIGATION EQUIPMENT SHALL BE LOW VOLUME CONTROL BY TORO, RAINBIRD, OR APPROVED EQUAL.
- THE IRRIGATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING THE DESIGN OF THE SYSTEM, INDICATING LAYOUT, WATER CONNECTION, HEADS, VALVES, PIPING, CONTROLLER, OTHER RELATED EQUIPMENT AND THE ASSOCIATED ELECTRICAL DIAGRAMS FOR APPROVAL PRIOR TO CONSTRUCTION. PROVIDE CATALOGUE CUTS FOR ALL DRIP LINE EQUIPMENT FOR APPROVAL.
- PROVIDE AN AUTOMATIC RAIN SHUT-OFF.
- PROVIDE A QUICK COUPLER IN OR ADJACENT TO EACH VALVE BOX, AND AT INTERVALS ALONG THE MAIN WITHIN 100' OF ALL NEW PLANTS, OR AS INDICATED ON THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR BLOWING OUT THE SYSTEM BY AIR COMPRESSION IN THE FALL FOLLOWING INSTALLATION AND TURNING ON THE SYSTEM IN THE FOLLOWING SPRING.
- THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPALITY STANDARDS, CODES AND ORDINANCES.

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Visio, Virtute, Virtute...The Vision to Transform with Excellence

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McDonald's USA, LLC
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SHEET NO.
L-2.0
LANDSCAPE DETAILS

MEMORANDUM TO: Maurice King
McDonald's USA, LLC

FROM: William R. Woodward
Senior Consultant

Luay R. Aboona, PE
Principal

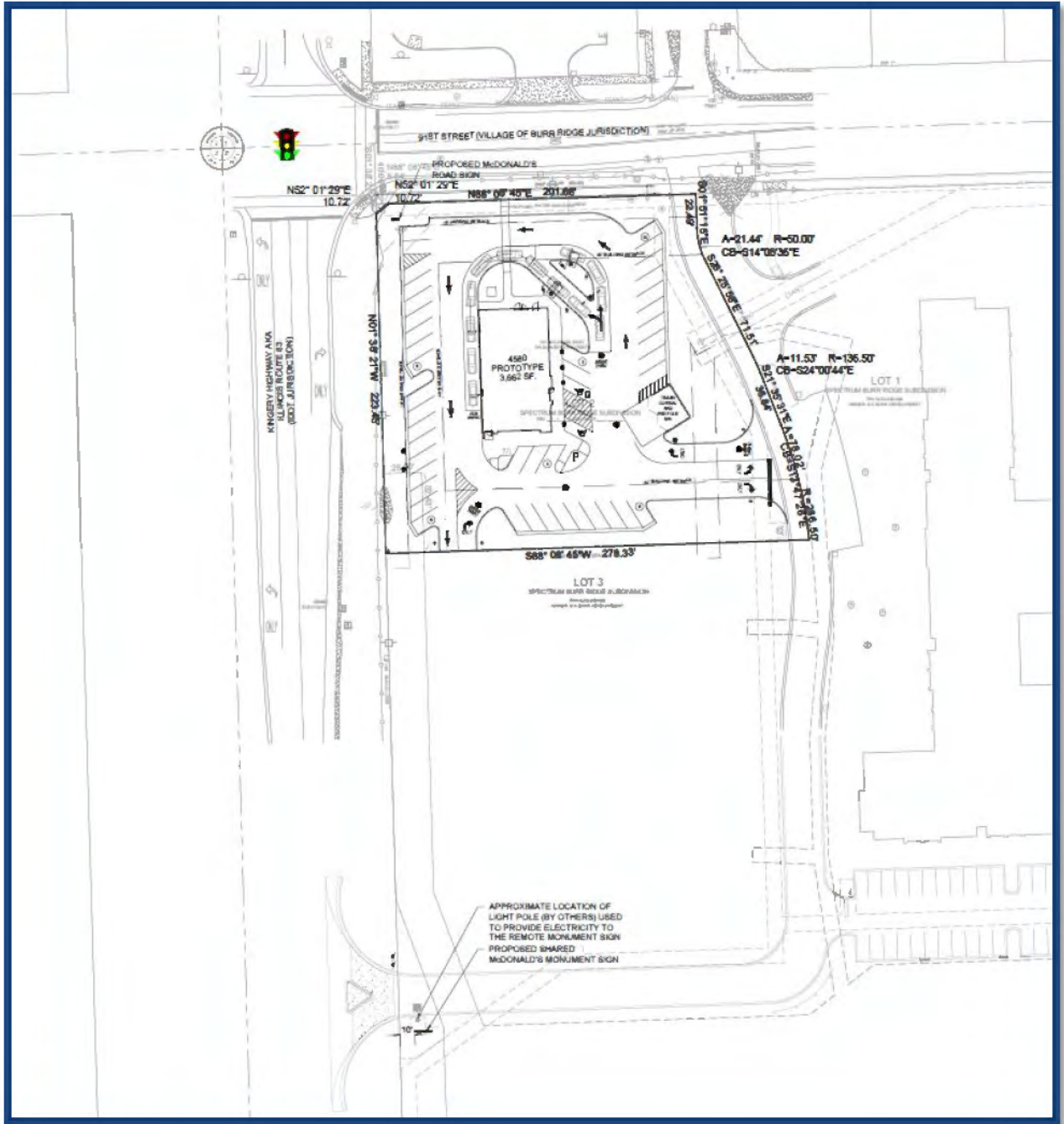
DATE: March 14, 2018

SUBJECT: Traffic and Parking Evaluation
Proposed McDonald's Restaurant
Burr Ridge, Illinois

This memorandum summarizes the methodologies, results, and findings of a traffic and parking evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed McDonald's restaurant to occupy an outlot parcel within the Spectrum Senior Living development located in the southeast quadrant of the signalized intersection of 91st Street and Illinois Route 83 (IL 83) in Burr Ridge, Illinois. The currently undeveloped outlot is located in the northwest corner of the site. **Figure 1** shows the proposed site development plan.

The plans call for an approximate 3,662 square-foot McDonald's restaurant with a dual drive-through service and will provide a total of 44 parking spaces, which includes two accessible spaces. Access to the restaurant will be from an access drive off IL 83, restricted to right-in/right-out turning movements only, and a full access drive off 91st Street. This proposed restaurant will replace the existing McDonald's restaurant located at 10 South 710 Kingery Highway (IL 83) in unincorporated Willowbrook, which is located approximately one-half mile south of 91st Street and which will close upon the opening of the new restaurant.

The purpose of this evaluation is to address the traffic impacts along 91st Street, site access, internal circulation, and drive-through operations, as well as identify the parking demand of the existing restaurant and the adequacy of the proposed parking supply for the new restaurant.



Proposed Site Plan

Figure 1

Existing Conditions

The development site is located in the southeast quadrant of the signalized intersection of 91st Street and IL 83 in Burr Ridge, Illinois. The characteristics of the existing roadways in the study area are described below.

91st Street is an east-west roadway that provides one lane in each direction and has a speed limit of 30 mph in the vicinity of IL 83. A left-turn lane and a shared through/right-turn lane are provided on both the eastbound and westbound approaches at its signalized intersection with IL 83. 91st Street is under the jurisdiction of the Village of Burr Ridge. Based on the Illinois Department of Transportation (IDOT), 91st Street carries an annual average daily traffic volume (AADT) of 5,100 vehicles in the vicinity of IL 83.

IL 83 is a north-south arterial roadway that provides two through lanes in each direction, separated by a landscaped median and has a posted speed limit of 45 mph. A left-turn lane, two through lanes, and a right-turn lane are provided on both the northbound and southbound approaches at its signalized intersection with 91st Street. IL 83 is under the jurisdiction of IDOT and is classified as a Strategic Regional Arterial (SRA). The AADT is 24,100 vehicles in the vicinity of 91st Street.

Proposed McDonald's Restaurant Development Plan

The plans call for an approximate 3,662 square-foot McDonald's restaurant with drive-through service that will occupy the undeveloped outlot located in the southeast quadrant of the signalized intersection of 91st Street and IL 83.

Vehicle Access from Adjacent Roadways

From the surrounding roadway network, the proposed restaurant will be accessed from the proposed access driveways that will serve the currently under construction Spectrum Senior Living development. These access drives include an access drive on IL 83 restricted to right-in/right-out only turning movements to be located at the south end of the overall development and a full access drive off 91st Street in alignment with Oneill Drive, becoming the fourth/south leg to this unsignalized intersection. Both access driveways' outbound/exiting turning movements will be under stop sign control at their respective intersections.

McDonald's Access Driveway

Within the development, access to the McDonald's is proposed from a full access driveway that will T-intersect the main north-south internal roadway that is proposed to intersect IL 83 to the south and west and intersect 91st Street in alignment with Oneill Drive to the north. The McDonald's access drive will be located approximately 210 feet south of 91st Street and will provide one lane inbound and two lanes outbound under stop sign control striped to provide a left-turn lane and a right-turn lane.

Cross-Access to South Retail Outlot (Future Access)

In conjunction with the development of the southerly retail outlots under future development phases, a cross-access is proposed to the southerly retail outlots fronting IL 83 and is proposed to be located in the southwest corner of the McDonald's site, providing one lane in each direction. The inbound lane (coming from the retail to the south) will be striped and signed to restrict vehicles to incoming right-turns only because of the one-way counter-clockwise circulation orientation within the McDonald's site.

On-Site Traffic Circulation

The building is located in the center of the site and the parking area is designed around the building with traffic flow limited to a one-way, counter-clockwise circulation. Vehicles will access the proposed restaurant outlot via the full access driveway, as noted above. A "Do Not Enter" sign should be posted at the southeast corner of the building to deter vehicles entering from the access drive from entering the one-way counter-clockwise circulation. Pavement striping showing a right-turn direction only should be provided to reinforce the one-way circulation.

Proposed Drive-Through Operations

The entrance to the drive-through system is proposed to begin as a single lane at the northeast corner of the building, then widen to two lanes to provide a dual order board system, and then merge back to one lane before reaching the pay window and, subsequently, the pick-up window and then exiting from the drive-through system. As noted, the drive-through will have a counter-clockwise circulation pattern. The pay window and the pick-up window will be located on the west face of the building. The dual order board/menu system will be located on the northeast corner of the building.

Vehicles will enter the drive-through system from the south and travel north and west to the order board, then south and along the west face of the building to the pick-up window. To exit the drive-through, vehicles will proceed south and east to the full access drive off the north-south access drive. Signage directing customers desiring to travel north on IL 83 via the restricted access will be provided. A "Do Not Enter" sign should be posted at the southeast corner of the building to deter vehicles entering from the southerly access drive from entering the one-way eastbound system.

Drive-Through Stacking

According to the site plan, the drive-through has been designed to allow a total of approximately 13 vehicles to be stored within the drive-through dual-order system from the entrance to the pick-up window without interfering with traffic circulation patterns within the site. There is storage for approximately seven vehicles between the pay window and the dual ordering boards (including the vehicle being serviced at the pay window).

Based on observations of existing restaurants and KLOA's experience in similar types of land uses, the proposed drive-through stacking will be adequate to accommodate drive-through demands. In the unlikely event that queues at the drive-through facility are longer, the additional vehicles can queue internally within the site without impacting traffic operations on the north-south access drive and, subsequently, along 91st Street or IL 83.

Pedestrian Entrance

The primary pedestrian entrance will be located on the east face of the building. A sidewalk is proposed along the south and east faces of the building, serving the adjacent proposed parking. No outdoor seating is proposed.

Refuse Pick-Up

The trash enclosures for the proposed restaurant will be located at the southeast end of the site, immediately north of the proposed full access drive. The refuse truck will make use of the east-west drive aisle to perform its operations and enter/exit the site. Refuse operations are expected to occur outside of the peak hours of the restaurant/drive-through activity and should have minimal impact on the overall traffic and parking operations of the site.

Service Deliveries

The service door will be located on the north face of the building. Service deliveries will be conducted along the northwest corner of the building. Delivery trucks will arrive/depart via the access drive. Similar to refuse pick-up, it is important to note that deliveries are expected to occur outside of the restaurant/drive-through's hours of operation and should have no impact on the overall traffic and parking operations of the site.

Estimated Development-Generated Traffic Generation

The estimate of traffic to be generated by the proposed restaurant is based upon the proposed square footage of the building. The volume of traffic generated was estimated using data published in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 9th Edition.

It is important to note that surveys conducted by ITE have shown that 50 percent of trips made to restaurants are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and evening peak hours, when traffic is diverted from the home-to-work or work-to-home trips. Such diverted trips are referred to as pass-by traffic. As a result, the number of new trips to be generated by the proposed development will be reduced.

Table 1 tabulates the total trips anticipated to and from this proposed development for the weekday morning, weekday midday, weekday evening, and Saturday midday peak hours. The weekday midday traffic volumes for the restaurant were derived from the ITE hourly variation tables for this land use.

Table 1

TRIP GENERATION FOR PROPOSED MCDONALD'S RESTAURANT

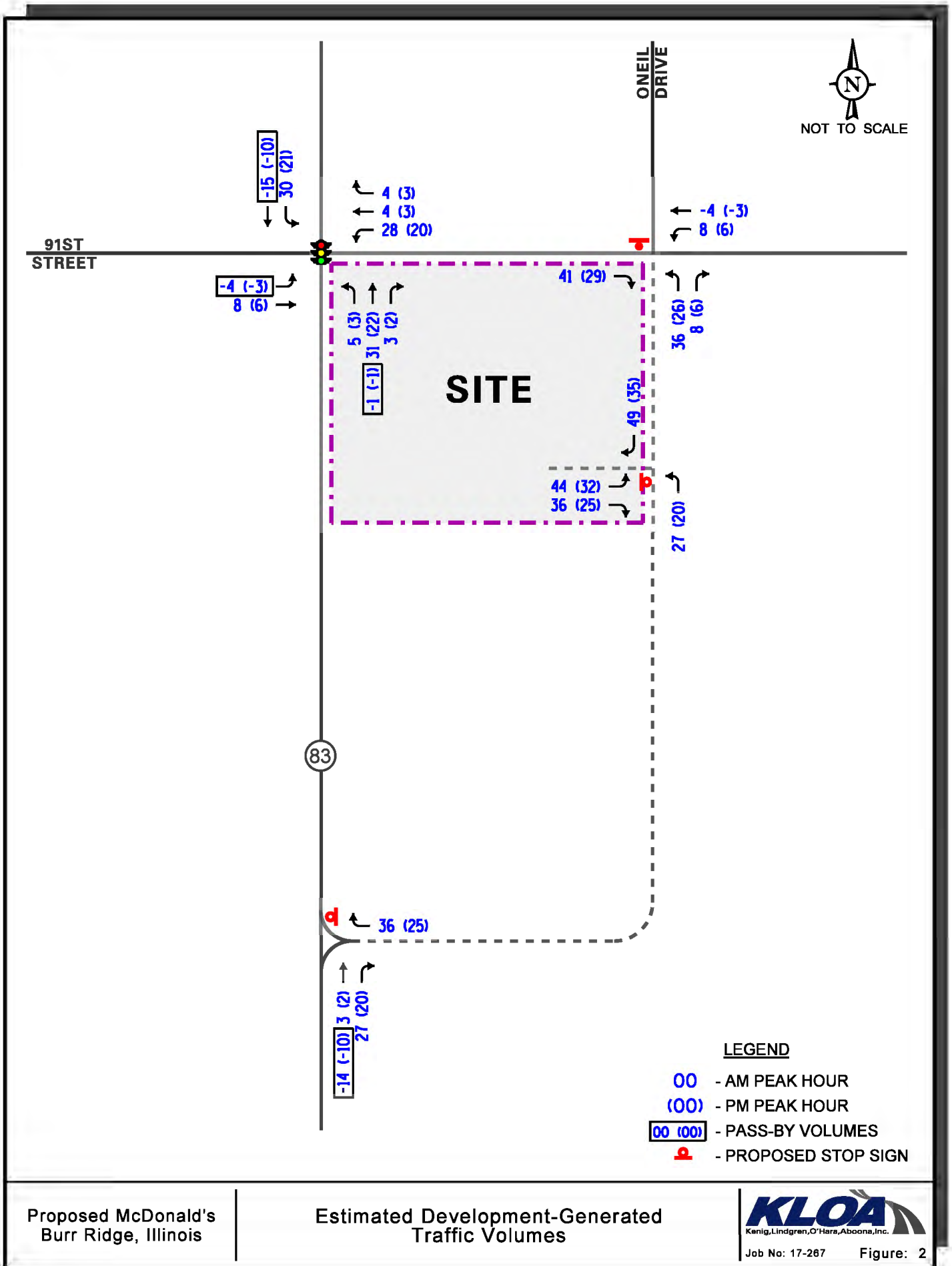
ITE Land -Use Code	Plan	Weekday Morning Peak Hour		Weekday Midday Peak Hour		Weekday Evening Peak Hour		Saturday Midday Peak Hour		Wkdy Daily (two- way)
		In	Out	In	Out	In	Out	In	Out	
934	McDonald's w/ D/T – 3,662 s.f.	84	80	133	129	61	57	109	104	1,790
	<i>Less Pass-By (50%):</i>	<u>-40</u>	<u>-40</u>	<u>-65</u>	<u>-65</u>	<u>-30</u>	<u>-30</u>	<u>-53</u>	<u>-53</u>	<u>-895</u>
	Total Net New Trips:	44	40	68	64	31	27	56	51	895

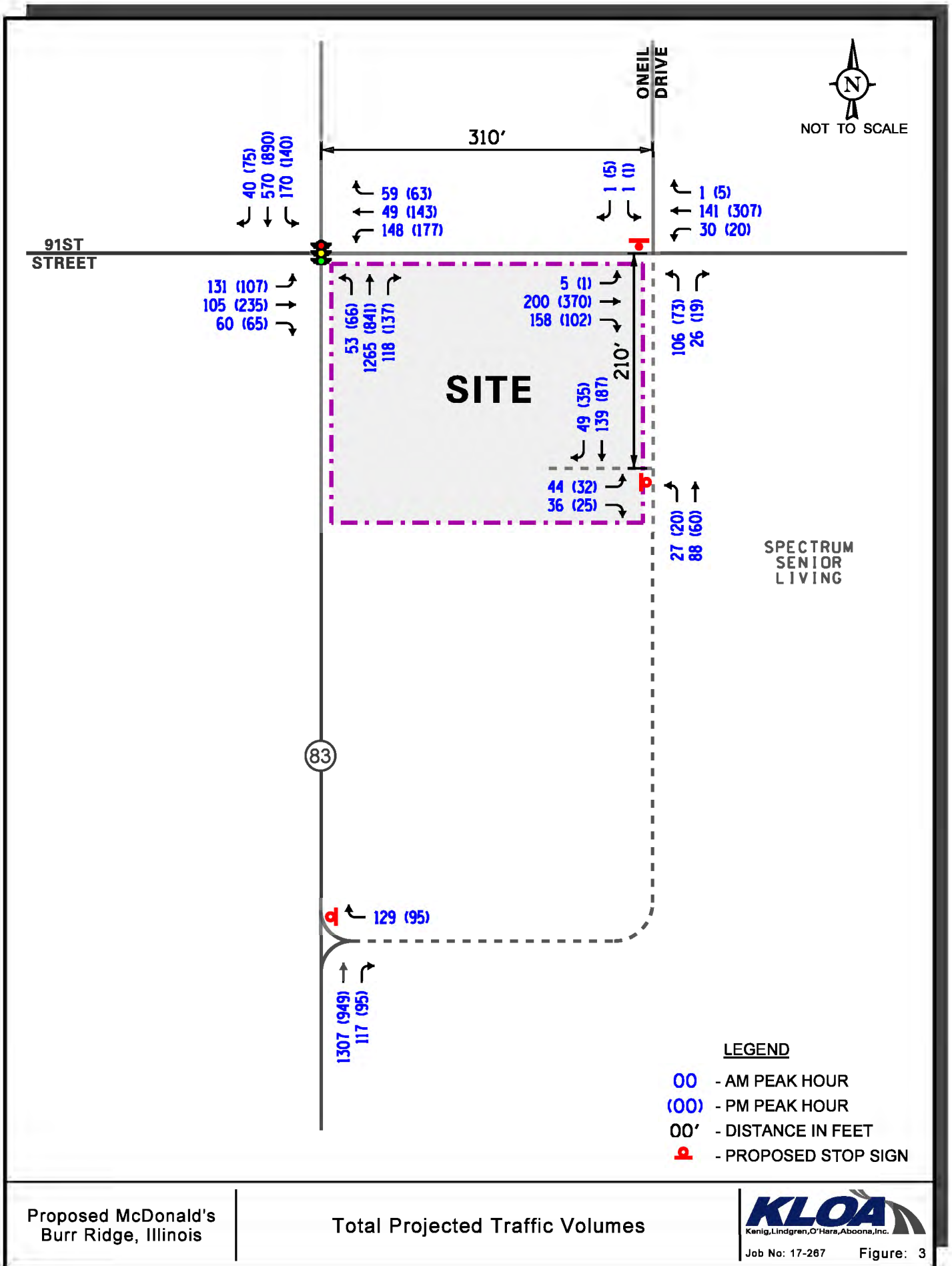
Development Traffic Assignment

The peak hour traffic volumes projected to be generated by the proposed McDonald's restaurant are shown in **Figure 2**.

Total Projected Traffic Conditions

The total traffic projections include the development-generated traffic (Table 1, Figure 2) and the traffic projected to be generated by the complete buildout of the Spectrum Senior Living development, as shown in Figure 5 of the traffic study report dated August 2015 prepared by Sam Schwartz Engineering. The total traffic volumes were adjusted to reflect a McDonald's restaurant in the northwest quadrant of the site in lieu of the previously assumed land uses. **Figure 3** shows the total projected traffic volumes.





Traffic Queue Analysis

A queue analysis was performed for the key intersections included in the study area to specifically determine the impact along 91st Street at its signalized intersection with IL 83. The analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 2010 and using Synchro-SimTraffic analysis software. The analysis for the traffic-signal controlled intersection of IL 83 and 91st Street was completed using existing cycle lengths (120 seconds for weekday morning; 150 seconds for weekday evening) and phasings to determine the projected queuing.

A summary of the queue analysis for future conditions for each analyzed intersection as it relates to its impact on 91st Street is presented in **Table 2**.

Based on the development-generated traffic and the queue analysis results, the proposed McDonald's restaurant will have a low impact on the traffic operations along 91st Street for the following reasons.

- The westbound left-turn lane is approximately 130 feet long with the taper extending east of Oneill Drive/proposed access. As such 5 to 6 vehicles can stack without encroaching into the Oneill Drive/proposed access intersection.
- There is approximately 210 feet between the westbound approach stop bar on 91st Street at its signalized intersection with IL 83 and Oneill Drive/proposed access, thereby providing storage on the westbound left-turn lane of 5 to 6 vehicles and storage on the westbound shared through/right-turn lane of 8 to 9 vehicles for a combined total of 13 to 15 vehicles on the westbound approach.
- The queue analysis shows that the average queue for both the westbound left-turn movement and the shared through/right-turn movement will fit within the storage provided; therefore, the westbound average queue under projected conditions will not extend to Oneill Drive/proposed access during peak hours.
- The westbound left-turn movement 95th percentile queue length during the weekday evening peak hour on 91st Street at IL 83 is shown to be 242 feet. However, it is important to note that the 95th percentile queue is defined to be the queue length that has only a five (5)-percent probability of being exceeded during the analysis time period. It is important to note that the McDonald's traffic is low during the weekday evening peak hour. Further, the traffic simulations show that this queue will clear by the next green cycle.
- The westbound left-turn movement 95th percentile queue length during the weekday morning peak hour on 91st Street at IL 83 is shown to be 182 feet. However, the overall queue (left-turn lane and shared through/right-turn lane queues) will be contained within the area between IL 83 and Oneill Drive/proposed access.

- The northbound queues for the exiting movements from the proposed access intersecting 91st Street will be accommodated within the provided storage and will not extend to either the proposed access drive serving the Spectrum development to the east or to the proposed McDonald's access, which is located approximately 210 feet south of 91st Street.
- The design of the proposed McDonald's restaurant including on-site circulation and location of internal access drives will allow for more customer traffic to utilize IL 83, especially those desiring to travel northbound on IL 83 and westbound on 91st Street, therefore minimizing the impact on 91st Street.
- Further, the queue analyses show that the exiting vehicles at the restricted access off IL 83 will be less than two vehicles, thereby making this access more convenient for exiting customers desiring to travel northbound on IL 83 or westbound on 91st Street.

Table 2

QUEUE ANALYSIS RESULTS – PROJECTED TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	Avg Queue	95 th Queue	Avg Queue	95 th Queue
IL 83 and 91st Street				
• Westbound Left-turn	118	182	135	242
• Westbound Through/Right	71	145	106	171
Access and 91st Street				
• Northbound Left-Turn	45	76	52	25
• Northbound Right-Turn	25	54	105	30
McDonald's Access and North-South Access				
• Eastbound Left-Turn	25	25	25	47
• Eastbound Right-Turn	25	25	25	42
Queue length is measured in feet.				

Parking Demand Analysis

As noted, the new restaurant proposes a total of 44 parking spaces, or a parking ratio of 12.0 parking spaces per 1,000 square feet of restaurant space.

Proposed Parking Compared to Code

The Village of Burr Ridge requires 14 parking spaces per 1,000 square feet, or 52 parking spaces. As such, the proposed 44 parking spaces is eight (8) spaces less than what is required by Code. However, the 44 proposed parking spaces will be adequate as noted below.

Proposed Parking Compared to Existing Locations

In order to determine the adequacy of the proposed parking, KLOA, Inc. conducted parking occupancy surveys at the existing McDonald's restaurant in unincorporated Willowbrook (the location that will close upon the opening of the proposed restaurant). Parking occupancy surveys were conducted every 15 minutes from 7:00 A.M. to 7:00 P.M. on a Thursday, Friday, and Saturday in November 2017. The proposed parking provided was further compared to ITE standards in addition to Village Code.

McDonald's in Unincorporated Willowbrook

The existing McDonald's restaurant in unincorporated Willowbrook off IL 83 provides a total of 45 parking spaces. The parking surveys were conducted on Thursday, November 2, Friday, November 3, and Saturday, November 4, 2017. The results of the survey are summarized below and the data tables are included in the Appendix of this report.

- The overall peak parking demand as well as the midday peak parking demand occurred on Friday at 12:15 P.M. with 28 parked vehicles.
- The morning peak parking demand occurred on Thursday at 8:15 A.M. with 16 parked vehicles.
- The evening peak parking demand occurred on Thursday at 6:15 P.M. with 16 parked vehicles.
- With the relocation of the restaurant to the Burr Ridge site, the projected sales will increase by approximately 30 percent. When applied to the observed peak demand, this will translate into a projected demand of 36 parking spaces.

Based on the above, the proposed 44 parking spaces will be more than adequate to accommodate the peak parking demand of the existing location of 28 parking spaces.

It should be noted that previous surveys conducted by KLOA, Inc. at other existing McDonald's restaurants (Countryside, St Charles, Peoria, and Rensselaer, Indiana) have shown that none of the restaurants experienced a peak parking demand that exceeded 44 parking spaces with an average observed parking demand of 35 spaces. This further confirms the adequacy of the proposed parking supply.

Proposed Parking Compared to ITE

The peak parking demand for the proposed restaurant was estimated using data published in the Institute of Transportation Engineers' (ITE) *Parking Generation*, 4th Edition. The ITE data shows a peak parking demand rate of 9.98 spaces per 1,000 square feet, or 37 parking spaces for the proposed restaurant location. As such, the proposed 44 parking spaces are more than adequate to accommodate the peak parking demand.

Conclusion

Based on the proposed development plan and the preceding analysis, the following conclusions and recommendations are made:

- The traffic to be generated by the proposed restaurant land use will not have a significant impact on the surrounding roadway network or within the internal drive aisle network serving the Spectrum Senior Living development.
- There is approximately 210 feet between the westbound approach stop bar on 91st Street at its signalized intersection with IL 83 and Oneill Drive/proposed access, thereby providing storage on the westbound left-turn lane of 5 to 6 vehicles and storage on the westbound shared through/right-turn lane of 8 to 9 vehicles for a combined total of 13 to 15 vehicles on the westbound approach.
- The queue analysis shows that the average queue for both the westbound left-turn movement and the shared through/right-turn movement is less than the 210 feet of storage provided; therefore, the westbound average queue under projected conditions will not extend to Oneill Drive/proposed access during peak hours.
- The westbound 95th percentile queue on 91st Street at IL 83 during the morning peak hour will be contained within the distance between IL 83 and Oneill Drive/proposed access. The weekday evening peak hour 95th percentile queue shows that the queue will extend beyond the provided storage; however, the traffic simulation shows that this queue will clear by the next green cycle.
- The proposed internal connection to the north-south access drive allowing full movements ensures that efficient internal circulation and good connectivity between the proposed McDonald's restaurant and the IL 83 access drive is provided.

- Wayfinding signage will be posted to direct vehicles to the restaurant drive-through entrance. Signage will also be posted to direct exiting vehicles to the restricted access off IL 83 for those vehicles desiring to travel northbound on IL 83 or westbound on 91st Street.
- The proposed drive-through stacking will be adequate to accommodate the peak drive-through demand, which typically occurs during the weekday midday period.
- “Do Not Enter” signage should be posted to deter opposing vehicles from entering the one-way counter-clockwise system.
- The exiting movements at the access drive should be under stop sign control.
- The proposed 44 parking spaces will be sufficient to accommodate the peak parking demand based on parking surveys of the existing unincorporated Willowbrook restaurant and previous surveys at other locations, as well as data provided by ITE.

Appendix

Table A

PARKING OCCUPANCY SURVEY – WILLOWBROOK LOCATION
THURSDAY, NOVEMBER 2, 2017

Time	Parking Occupancy
7:00 AM	10
7:15 AM	9
7:30 AM	10
7:45 AM	10
8:00 AM	15
8:15 AM	16
8:30 AM	7
8:45 AM	7
9:00 AM	7
9:15 AM	10
9:30 AM	10
9:45 AM	14
10:00 AM	12
10:15 AM	12
10:30 AM	13
10:45 AM	--
11:00 AM	16
11:15 AM	21
11:30 AM	18
11:45 AM	16
12:00 PM	20
12:15 PM	20
12:30 PM	23
12:45 PM	19
1:00 PM	18
1:15 PM	19
1:30 PM	17
1:45 PM	17
2:00 PM	16
2:15 PM	12
2:30 PM	12
2:45 PM	--
3:00 PM	13
3:15 PM	12
3:30 PM	12
3:45 PM	15
4:00 PM	10
4:15 PM	13
4:30 PM	13
4:45 PM	11
5:00 PM	9
5:15 PM	16
5:30 PM	14
5:45 PM	15
6:00 PM	14
6:15 PM	16
6:30 PM	11
6:45 PM	8
7:00 PM	12

Table B

PARKING OCCUPANCY SURVEY – WILLOWBROOK LOCATION
FRIDAY, NOVEMBER 3, 2017

Time	Parking Occupancy
7:00 AM	10
7:15 AM	6
7:30 AM	5
7:45 AM	9
8:00 AM	10
8:15 AM	13
8:30 AM	14
8:45 AM	9
9:00 AM	14
9:15 AM	11
9:30 AM	15
9:45 AM	15
10:00 AM	14
10:15 AM	16
10:30 AM	17
10:45 AM	--
11:00 AM	16
11:15 AM	19
11:30 AM	17
11:45 AM	18
12:00 PM	22
12:15 PM	28
12:30 PM	26
12:45 PM	22
1:00 PM	16
1:15 PM	16
1:30 PM	17
1:45 PM	15
2:00 PM	13
2:15 PM	12
2:30 PM	10
2:45 PM	--
3:00 PM	9
3:15 PM	14
3:30 PM	11
3:45 PM	12
4:00 PM	15
4:15 PM	13
4:30 PM	10
4:45 PM	13
5:00 PM	11
5:15 PM	12
5:30 PM	10
5:45 PM	10
6:00 PM	12
6:15 PM	12
6:30 PM	15
6:45 PM	10
7:00 PM	10

Table C

PARKING OCCUPANCY SURVEY – WILLOWBROOK LOCATION

SATURDAY, NOVEMBER 4, 2017

Time	Parking Occupancy
7:00 AM	5
7:15 AM	6
7:30 AM	9
7:45 AM	8
8:00 AM	7
8:15 AM	5
8:30 AM	8
8:45 AM	8
9:00 AM	6
9:15 AM	8
9:30 AM	11
9:45 AM	11
10:00 AM	14
10:15 AM	10
10:30 AM	9
10:45 AM	--
11:00 AM	8
11:15 AM	9
11:30 AM	8
11:45 AM	10
12:00 PM	10
12:15 PM	12
12:30 PM	13
12:45 PM	13
1:00 PM	12
1:15 PM	10
1:30 PM	11
1:45 PM	12
2:00 PM	10
2:15 PM	8
2:30 PM	10
2:45 PM	--
3:00 PM	11
3:15 PM	10
3:30 PM	6
3:45 PM	6
4:00 PM	8
4:15 PM	8
4:30 PM	7
4:45 PM	10
5:00 PM	8
5:15 PM	8
5:30 PM	5
5:45 PM	7
6:00 PM	7
6:15 PM	6
6:30 PM	6
6:45 PM	3
7:00 PM	5

Table D

PREVIOUS PARKING OCCUPANCY SURVEYS OF OTHER MCDONALD'S RESTAURANTS

Location/Parking	Parking Spaces
Countryside, IL	
Existing Parking Capacity	60
Proposed Parking Capacity	57
Existing Peak Parking Demand	36
St Charles, IL	
Existing Parking Capacity	49
Proposed Parking Capacity	42
Existing Peak Parking Demand	39
Peoria, IL	
Existing Parking Capacity	62
Proposed Parking Capacity	43
Existing Peak Parking Demand	24
Rensselaer, IN	
Existing Parking Capacity	68
Proposed Parking Capacity	49
Existing Peak Parking Demand	42



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
www.dnr.illinois.gov

Bruce Rauner, Governor

Wayne A. Rosenthal, Director

November 13, 2017

Mr. Mark Iverson
V3 Companies
7325 Janes Avenue
Woodridge, IL 60517

**RE: McDonalds-Burr Ridge, DuPage County
Endangered Species Consultation Program
EcoCAT Review #1803221**

Dear Mr. Iverson:

The Department has received your submission for this project for the purposes of consultation pursuant to the *Illinois Endangered Species Protection Act* [520 ILCS 10/11], the *Illinois Natural Areas Preservation Act* [525 ILCS 30/17], and Title 17 *Illinois Administrative Code* Part 1075. Additionally, the Department may offer advice and recommendations for species covered under the *Fish & Aquatic Life Code* [515 ILCS 5, *et seq.*]; the *Illinois Wildlife Code* [520 ILCS 5, *et seq.*]; and the *Herptiles-Herps Act* [510 ILCS 69].

The proposed action consists of construction of a new McDonald's store in Burr Ridge, IL. EcoCAT indicates the project is within two known locations of Northern Long-eared Bats. Other resources unlikely to be affected by construction include the Des Plaines Riverway INAI Site and Nature Preserve, the Waterfall Glen INAI Site, Black-billed Cuckoo and Hine's Emerald Dragonfly.

This project is near two records for the state and federally threatened Northern Long-Eared Bat (*Myotis septentrionalis*). To protect summer roosting and maternity habitat throughout the State of Illinois, the following provisions regarding tree clearing shall be recommended:

If suitable habitat trees are found within the project area, these trees shall be clearly flagged and/or marked and **shall not be cut** between **April 1 – October 14**. Suitable habitat trees are defined as trees ≥ 5 inches diameter breast height (dbh), with exfoliating bark. All non-suitable trees may be cut at any time.

A field visit should be performed by a qualified individual (district biologist, forester, or others who have been trained accordingly) to determine if suitable trees are present to provide Northern Long-Eared Bat and/or Indiana Bat habitat. Suitable habitat trees for both species are: shagbark and shellbark hickory (live or dead); bitternut hickory; green ash; American elm; slippery elm; eastern cottonwood; silver maple; sugar maple; white oak; red oak; post oak; and shingle oak. This includes trees that are dead, dying, broken, or damaged, with slabs or plates of loose or peeling bark on the trunks or limbs.

If no suitable habitat trees exist within the project area, all trees on site may be cut at any time.

Consultation on the part of the Department is closed, unless V3 Companies desires additional information or advice related to this proposal. Consultation for Part 1075 is valid for two years unless new information becomes available which was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the action has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the project being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are unexpectedly encountered during the project's implementation, the applicant must comply with the applicable statutes and regulations.

Please contact me with any questions about this review.

Sincerely,



Adam Rawe
Resource Planner
Impact Assessment Section
Department of Natural Resources
(217)785-4991
adam.rawe@illinois.gov

Kane – DuPage Soil & Water Conservation District



February 12, 2018

Village of Burr Ridge
Doug Pollock
7660 S. County Line Road
Burr Ridge, IL 60521

We have assigned number 18-016 to a Land Use Opinion Application from:

McDonalds USA, LLC
711 Jorie Blvd., 3rd Floor
Oak Brook, IL 60523

The site location is:
Downers Grove Township
Section 2, Township 37N, Range 11E

The application was sent to us in compliance with Section 22.02a of the Illinois Soil and Water
Conservations Districts Act.

 X Our review and comments will be sent on or before March 12, 2018.

 According to the information received, a full Land Use Opinion report is not required at this
time. Therefore, no further action will be taken by the Soil and Water Conservation District Board.

Sincerely,

Susan Rankin
Office Assistant

LAND USE OPINION APPLICATION

Kane-DuPage Soil and Water Conservation District
2315 Dean Street, Suite 100, St. Charles, IL 60175-4823
(630) 584-7960 Ext. 3

Send report to:

PETITIONER: McDonald's USA, LLC

ADDRESS: 711 Jorie Boulevard Third Floor

Oak Brook, Illinois 60523

EMAIL: al.daniels@us.mcd.com

CONTACT PERSON: Al Daniels,

TELEPHONE: 630-750-4371 (cell)

Please allow 30 days for inspection and processing.

FOR OFFICE USE ONLY

LUO# _____ Date Due _____
Date initially rec'd _____
Date all rec'd _____ Date completed _____
Fee Paid _____ Refund Due _____
By _____ Overpayment _____
_____ No Report Nec _____
_____ Gov't Agency _____

Location:

Township Downers Grove _____
Section(s) ² _____
Township(s) 37 N Range(s) 11 E

TYPE OF PROPOSAL: ☐ Change in Zoning from _____ to _____ Project or Subdivision Name _____
☒ Subdivision or Planned Unit Development (PUD)
☐ Variance-Please describe fully on separate sheet
☐ Special Use Permit-Please describe fully on separate sheet

Unit of Government Responsible for Permits Village of Burr ridge Date of Public Hearing 02/19/18
Current Use of Site Vacant Proposed Use Restaurant with Drive-thru
Surrounding Land Use Currently vacant, proposed senior living (east) Commercial/residential other directions Number of Acres 1.29
Location address (or nearest intersection) SEC of 91st St and Kingery Hwy. (IL-83)

PROPOSED IMPROVEMENTS: (check all applicable items)Planned Structures:

☐ Dwellings w/o Basements
☐ Dwellings with Basements
☒ Commercial Buildings
Other _____

Open Space:

☐ Park/Playground Areas
☐ Common Open Space Areas
Other _____

Water Supply:

☐ Individual Wells
☒ Community Water

Wastewater Treatment:

☐ Septic System
☒ Sanitary Sewers
☐ Other _____

Stormwater Treatment:

☐ Drainage Ditches or Swales
☒ Storm Sewers
☐ Dry Detention Basin
☐ Wet Retention Basin
☐ No Detention Facilities Proposed
☒ Other Tributary to Spectrum stormwater management facilities

EXISTING SITE CHARACTERISTICS: (check all applicable items)

☐ Ponds or Lakes ☐ Floodplain ☐ Woodland ☐ Drainage Tiles ☐ Stream(s)
☐ Wetland(s) ☐ Floodway ☐ Cropland ☒ Disturbed Land ☐ Other _____

REQUIRED: INCLUDE ONE COPY EACH OF THE FOLLOWING-Processing will not begin without the following:

- ☒ APPLICATION completed and signed
☒ FEE according to schedule below
☒ PLAT OF SURVEY/SITE PLAN showing legal description, legal measurements
☒ SITE /CONCEPT PLAN showing lots, streets, storm water detention areas, open areas, etc.
☒ LOCATION MAP (if not on maps above)-include distances from major roadways or tax parcel number

IF AVAILABLE - NOT REQUIRED:

- ☐ ZONING or LAND USE PETITION filed with unit of government (if relevant)
☐ TOPOGRAPHY MAP OR WETLANDS DELINEATIONS

FEE AMOUNTS: last updated November 1, 2013

\$423.00 for 1 - 3 acres or fraction thereof

\$459.00 for 4 - 5 acres or fraction thereof

For 5 - 200 acres see chart

> 200 acres: ADD \$14.00 for each additional acre or fraction thereof over the 200 acre amount.

\$65.00 processing fee if no report is required

***If there is more than one parcel in question and they are non-contiguous please contact KDSWCD for fee amount. ***

MAKE CHECKS PAYABLE TO: Kane-DuPage Soil and Water Conservation District

I (we) understand the filing of this application allows the authorized representative of the Kane-DuPage Soil and Water Conservation District to visit and conduct an evaluation of the site.

Petitioner or Authorized Agent Al Daniels

Date 1/16/18

This opinion will be issued on a nondiscriminatory basis without regard to race, color, religion, sex, age, marital status, handicap, or national origin.

For the convenience of those who must comply with the provisions of the Illinois Soil and Water Conservation District Act, Section 22.02a (Illinois Compiled Statutes, Chapter 70, Paragraph 405, Section 22.02a), enacted December 3, 1971, effective July 1, 1972, we quote this section:

“The Soil and Water Conservation District shall make all natural resource information available to the appropriate county agency or municipality in the promulgation of zoning ordinances or variances. Any person who petitions any municipality or county agency in the district for variation, amendment, or other relief from that municipality’s or county’s zoning ordinance or who proposes to subdivide vacant or agricultural lands therein shall furnish a copy of such petition or proposal to the Soil and Water Conservation District. The Soil and Water Conservation District shall be given not more than 30 days from the time of receipt of the petition or proposal to issue its written opinion concerning the petition or proposal and submit the same to the appropriate county agency or municipality for further action.”
Added by Act approved December 3, 1971.

The amendment is designed to assist the unit of government considering the proposal. The natural resources and the environment are the main concerns in the development of the Land Use Opinion.

To facilitate compliance with the Act by land developers and others, Kane-DuPage Soil and Water Conservation District has formulated a set of guidelines and a standardized set of fees, as provided for in section 22.09 of this Act:

“The District may charge fees to any person who makes a request for services or receives benefits rendered by the District, or who causes or undertakes to cause the District to perform a function prescribed by this Act, including but not limited to any function prescribed by Section 22.02a of this Act, provided that such charges are uniform. The Directors shall maintain a uniform schedule for such fees and may from time to time revise such schedule. The charging of any such fees is uniformly charged and in accordance with a uniform schedule by any District to any person for such service or benefits or performance of any such functions prior to the effective date of this amendatory Act of 1975 is ratified.”

LAND USE OPINION FEE SCHEDULE

EFFECTIVE NOVEMBER 1, 2013

\$423.00 for 1-3 acres or fraction thereof

\$459.00 for 4-5 acres or fraction thereof

For 5 - 200 acres see chart

For over 200 acres: ADD \$14.00 for each additional acre or fraction there of over the 200 acre amount.

\$65.00 processing fee if no report is required

Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee
1	423	21	769	41	1160	61	1558	81	1942	101	2333	121	2738	141	3128	161	3519	181	3911
2	423	22	788	42	1187	62	1577	82	1962	102	2360	122	2757	142	3148	162	3539	182	3930
3	423	23	809	43	1206	63	1597	83	1982	103	2379	123	2776	143	3167	163	3558	183	3949
4	459	24	828	44	1225	64	1616	84	2001	104	2398	124	2796	144	3188	164	3579	184	3969
5	459	25	847	45	1244	65	1636	85	2020	105	2418	125	2815	145	3207	165	3598	185	3989
6	483	26	866	46	1264	66	1656	86	2039	106	2438	126	2835	146	3226	166	3617	186	4008
7	495	27	885	47	1284	67	1675	87	2059	107	2458	127	2855	147	3245	167	3637	187	4028
8	513	28	907	48	1304	68	1694	88	2080	108	2477	128	2874	148	3264	168	3655	188	4047
9	537	29	926	49	1323	69	1713	89	2099	109	2496	129	2894	149	3286	169	3676	189	4068
10	555	30	945	50	1342	70	1734	90	2118	110	2515	130	2914	150	3305	170	3695	190	4087
11	573	31	964	51	1363	71	1754	91	2138	111	2536	131	2933	151	3324	171	3715	191	4106
12	592	32	984	52	1382	72	1773	92	2157	112	2555	132	2952	152	3343	172	3735	192	4125
13	614	33	1004	53	1401	73	1792	93	2177	113	2574	133	2971	153	3363	173	3754	193	4144
14	633	34	1023	54	1420	74	1812	94	2196	114	2593	134	2993	154	3383	174	3784	194	4166
15	638	35	1042	55	1440	75	1831	95	2216	115	2620	135	3012	155	3402	175	3793	195	4185
16	671	36	1063	56	1461	76	1851	96	2236	116	2640	136	3031	156	3421	176	3813	196	4204
17	690	37	1082	57	1480	77	1863	97	2255	117	2659	137	3050	157	3442	177	3832	197	4223
18	711	38	1102	58	1499	78	1884	98	2275	118	2678	138	3069	158	3461	178	3851	198	4242
19	730	39	1121	59	1522	79	1903	99	2294	119	2699	139	3090	159	3481	179	3872	199	4263
20	749	40	1140	60	1537	80	1923	100	2313	120	2718	140	3109	160	3500	180	3895	200	4282

EXHIBIT A

LOTS 66 AND 67 IN ASSESSMENT DIVISION OF THE SOUTH HALF OF SECTION 1 AND 2 AND ALL SECTIONS 11 AND 12 LYING NORTH OF SANITARY DISTRICT OF CHICAGO IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 22, 1895 AS DOCUMENT NO. 58945, IN DUPAGE COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PART OF THE LAND GRANTED IN WARRANTY DEED RECORDED MAY 5, 2009 AS DOCUMENT NO. R2009-066646 (91st Street right of way).

AND FURTHER EXCEPTING THEREFROM THAT PART OF THE LAND GRANTED IN DEEDS RECORDED IN BOOK 264 AT PAGES 243 AND 247 AND DESCRIBED IN INSTRUMENT RECORDED AS DOCUMENT 320350 (State Highway 83 right of way).

PINs: 10-02-400-008, 10-02-400-009, 10-02-400-010



**VILLAGE OF BURR RIDGE
PLAN COMMISSION AND
ZONING BOARD OF APPEALS**

Consent to Install Public Notice Sign

The owner of the property referenced below, or an authorized representative of the owner, which is the subject of a public hearing before the Village of Burr Ridge Plan Commission or Zoning Board of Appeals, hereby consents to allow the Village of Burr Ridge to install a public notice sign on the aforesaid property. The public notice sign will be erected 15 to 30 days prior to the public hearing and will remain on the property until it is removed by the Village of Burr Ridge subsequent to a final dispensation of petition request. The owner also authorizes McDonald's USA, LLC to submit a special use permit application, for the purpose of securing such approvals necessary for a drive-thru McDonald's restaurant.

Street Address of Subject Property:

SEC of 91st Street and Route 83

Property Owner or Petitioner:

By: (Print Name)
(Signature)

S-K Burr Ridge Residential, LLC

By: Burr Ridge Property Holding, LLC,
its member

By: First American Exchange Company,
its Manager

By: Mark A. Bullock, Legal Counsel



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527
(630) 654-8181 • Fax (630) 654-8269 • www.burr-ridge.gov

Mickey Straub
Mayor

Karen J. Thomas
Village Clerk

J. Douglas Pollock
Village Administrator

February 14, 2018

NOTICE OF PUBLIC HEARING

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

1. **Z-05-2018: 9101 Kingery Highway** The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by McDonald's, LLC for an amendment to Planned Unit Development Ordinance #A-834-24-15 and requests a special use approval as per Section VIII.C.2.q of the Burr Ridge Zoning Ordinance for a restaurant with drive-thru facilities in a B-2 Business District. The petition number and property address is **Z-05-2018: 9101 Kingery Highway** and the Permanent Real Estate Index Number is: **10-02-400-009.**

A public hearing to consider this petition is scheduled for:

Date: Monday, March 5, 2018
Time: 7:30 P.M. or as soon thereafter as the matter may be heard.
Location: Village of Burr Ridge
Board Room
7660 South County Line Road
Burr Ridge, IL 60527

Additional information is on file and available for public review at the Burr Ridge Village Hall or contact:

Evan Walter, Assistant to the Village Administrator
(630) 654-8181 ext. 2010
ewalter@burr-ridge.gov

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

10-02-406-031
BANK OF NEW YORK MELLON
C/O SELECT PORTFOLIO
3815 S WEST TEMPLE SALT LAKE
CITY UT 84115

10-02-104-011,051
MACEDONIAN ORTHODOX CH
STS KIRIL & METODIJ
10S330 RT 83 HINSDALE IL 60521

10-02-104-015
ROSSIO, TERRY C & DAWN L
16W466 91ST ST
HINSDALE IL 60521

10-02-313-004
KERRICK, KATHLEEN M
10S453 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-104-004,056
DAWAT E HADIYAH
5177 DOUGLAS FIR RD
CALABASAS CA 91302

10-02-301-007,008,009,010
BARIDI, REFAT
131 ST FRANCES CIR
OAK BROOK IL 60523

10-02-313-001
DESAI, SUSHIL
10S447 CARRINGTON CIR
BURR RIDGE IL 60522

10-02-406-009
BURR RIDGE PARK DISTRICT
10 S 474 MADISON ST
BURR RIDGE ILL 60521

10-02-104-014
FIRST MIDWEST BK 9280
2801 W JEFFERSON ST
JOLIET IL 60435

10-02-104-013,016, 017,018
GREENHOUSE
1301 W 35TH ST
CHICAGO IL 60609

10-02-104-050
STS KIRIL & METODIJ CHURCH
10S310 RT 83
WILLOWBROOK IL 60527

10-02-301-005,006
FAROKHIAN, MENDI
140 CARRIAGE WAY DR
NO C218 BURR RIDGE IL 60527

10-02-313-003
O DONNELL, MEREDITH J
10S451 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-002
PIMENTEL, C & H YOM
10S449 CARRINGTON CIR
BURR RIDGE IL 60527



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10-02-407-001
FALLING WATER OWNERS ASSN
9105 FALLING WATER DR
BURR RIDGE IL 60521

10-02-407-002
SONI, SONIA
9100 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-407-003
EDWARDS, MACK & GEORGIA
9126 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-407-004
KALE, NARENDRAKUMAR & N
9150 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-407-005
TANDON, ARUN & RICHA
9200 FALLINGWATER DR
BURR RIDGE IL 60527

10-02-407-006
AKHTAR, MUHAMMAD & REHANA
9202 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-410-001
FALLING WATER OWNERS ANNS
9105 FALLING WATER DR
BURR RIDGE IL 60521

10-02-410-002
VISWANATH, VISHI K
9127 FALLINGWATER DR
BURR RIDGE IL 60527

10-02-410-003
SANTOS, DAVID S
9151 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-410-004
YALAMANCHILI, B & R
9171 FALLINGWATER DR
BURR RIDGE IL 60527

10-02-410-005
HAMPTON, DAN
9191 E FALLINGWATER DR
BURR RIDGE IL 60521

10-02-410-006
SALAMONE, NINA
9205 E FALLINGWATER DR
BURR RIDGE IL 60521

10-02-410-007
BURR RIDGE PARK DISTRICT
10S474 MADISON ST
BURR RIDGE IL 60521

10-02-406-030
SINGH, RAHUL & BINDIA
16W072 91ST ST
BURR RIDGE IL 60521

10-02-313-005
SHARMA, SUBHASH & BIMLA
429 DELAWARE CIR
BOLINGBROOK IL 60440

10-02-313-006
SHEEDY, DECLAN & M SUSAN
10S439 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-007
MALIK, NAEEMA
10S441 CARRINGTON CIR
WILLOWBROOK IL 60527-6880

10-02-313-008
RODRIGUEZ, JULIO & V
10S443 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-009
KHURANA, KAREN
10S445 CARRINGTON CIT
BURR RIDGE IL 6052

10-02-313-010
GIANAKAS, CONNIE P
4 TURNBERRY CT
BURR RIDGE IL 60527

10-02-313-011
ACHARYA, BHARAT & PRAVINA
10S435 CARRINGTON CIR
WILLOWBROOK IL 60527-6880

10-02-313-012
ESPOSITO, ROBERT R & L D
10S437 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-013
CHOUDHRY, MAHBOOB & H
9141 S GARFIELD
BURR RIDGE IL 60527

10-02-313-014
STREETS, D & P JING
10S459 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-015
MUFARREH, MICHAEL P
10S461 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-016
MATULIAUSKIENE, L
10S463 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-017
SINGH, RAMA SHANKAR & K
1240 CONNAMARA CT
WESTMONT IL 60559

10-02-313-018
MILLER, JOHN & JANET
10S434 CARRINGTON CIR
BURR RIDGE IL 60527



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W2
10-02-313-019
LETAMENDI, DEBORAH
10S436 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-021
SHAH, SEEMA
10S423 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-023
SEHGAL, N & R VIRMANI
10S427 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-025
CAPEK, OTTO V & B CUBA
10S431 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-027
KWIATKOWSKI, PAUL
10S460 CARRINGTON CIR
NO A BURR RIDGE IL 60527

10-02-313-029
NATHWANI, NAVNIT
10S456 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-031
O BOYLE, DANIEL
10S403 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-020
SYCIP, MARY THERESE S
10S438 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-022
SEWELL, AUDREY
10S425 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-313-024
LIANG, YANMEI
4724 THATCHER DR
NAPERVILLE IL 6056

10-02-313-026
DIXIT, SARYU & SHANTI
10S462 CARRINGTON CIR
WILLOWBROOK IL 60527-6945

10-02-313-028
PAIK, LORI
10S458 CARRINGTON CIR
UNIT A BURR RIDGE IL 60527

10-02-313-030
TANABE, GOJI & CHIKAKO
10S401 CARRINGTON CIR
NO D BURR RIDGE IL 60527

10-02-313-032
GUPTA, MRIDULA
10S405 CARRINGTON CIR
UNIT A BURR RIDGE IL 60527

10-02-313-033
UDARBE, LUIS & LEVITA
10S407 CARRINGTON CIR
UNIT C BURR RIDGE IL 60527

10-02-301-032
SKWAREK, ALISON M
10S448 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-033
TURAS, MARY M
10S450 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-034
TIREVICIUS, DARIUS
10S452 CARRINGTON CIR
BURR RIDGE IL 6052

10-02-301-035
DIANCIN, JENNIFER & T
10S454 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-036
COIA, RONALD TR
10S417 CARRINGTON CIR
BURR RIDGE IL 6052

10-02-301-037
SCHLENDER, JASON
10S419 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-038
MEHMOOD, ADNAN
10S421 CARRINGTON CIR
WILLOWBROOK IL 60527-6880

10-02-301-039
NAHAS, AESHA
10S424 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-040
BURKET, MERRIE
10S426 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-041
PARIKH, PANKAJ & D
10S428 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-043
NAZARIO, D & E BALAOING
10S422 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-044
SAYWITZ, MITCHELL & ANNE
707 INGLESIDE PL
EVANSTON IL 60201

10-02-301-045
AMH 2015 1 BORROWER LLC
30601 AGOURA RD
UNIT 200 AGOURA HILLS CA 91301



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10-02-301-046
NESBITT, T & A JUTLA
10S416 CARRINGTON CIR
WILLOWBROOK IL 60527-6945

10-02-301-047
YOUNAN, PETER & KAREN
10S440 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-048
CHENG, BEE JUNE
943 ERB FARM LN
NAPERVILLE IL 60563-2596

10-02-301-049
VILLARREAL, CESAR
10S444 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-050
KENI, SANJAY P
10S446 CARRINGTON CIR
BURR RIDGE IL 6052

10-02-301-051
SHARMA, VIKAS & SUBHASH
10S414 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-052
KAIRIUNAS, DAUMANTAS
10S412 CARRINGTON CIR
WILLOWBROOK IL 60527-6945

10-02-301-053
SUBRAMANYA, R & R BOLOOR
10S410 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-054
KOEHN, ELIZABETH L
10S408 CARRINGTON CIR
BURR RIDGE IL 6052

10-02-301-055
ORTINAU, JOSEPH
10S406 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-056
MICETICH, MICHAEL & MOLLY
10S404 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-057
CORELLA, CHARLES M
10S402 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-058
AKHRAS, YAMEN & NORA
10S400 CARRINGTON CIR
BURR RIDGE IL 6052

10-02-301-059
KWAN, DANIELLE
10S409 CARRINGTON CIR
BURR RIDGE IL 60527



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10-02-301-060
GMAZEL, ANNE V
10S411 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-061
MUFARREH, MICHAEL P
10S461 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-062
SHARMA, VIKAS V
10S415 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-063
CHANG, TIAN & LINA YAO
10S430 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-301-064
GAYTAN, STEVEN & SANDRA
10S432 CARRINGTON CIR
BURR RIDGE IL 60527

10-02-302-041,042,043,044,045
LARAMAR GROUP
C/O EPROPERTYTAX
PO BOX 4900 SCOTTSDALE AZ 85261

10-02-303-006
RIZQ ENTERPRISE LLC
700 W ST JOHNS PL
ADDISON IL 60101-3269

10-02-303-011
SOMERSET PLAZA LLC
1015 BUTTERFIELD RD
DOWNERS GROVE IL 60515

10-02-303-012
KOLLIPOULOS, STAMATA
13264 W FARM VIEW ST
HOMER GLEN IL 60491



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10-02-400-004
CATOIRE, JOSEPHINE A
16956 HEATHERCREEK DR
PLAINFIELD IL 60586

10-02-400-006
BILlich, MARY
W9125 ARCHER RD
ALMOND WI 54909-8707

10-02-400-007
ROUTE 83 BURR RIDGE LLC
1111 W 22ND ST
UNIT 800 OAK PARK IL 60523

10-02-407-007
FALLING WATER OWNERS ASSN
9105 FALLING WATER DR
BURR RIDGE IL 60521

10-02-407-008
FALLING WATER OWNERS ASSN
1300 W HIGGINS RD NO 206
PARK RIDGE IL 60068

10-02-408-001
FIRST MIDWEST BANK
ATTN: LAND TRUST DEPT
2801 W JEFFERSON ST JOLIET IL
60435-5299

10-02-408-002
KUMAR, AJIT & PADMA N
1 CASCADE CT E
BURR RIDGE IL 60527-0714

10-02-408-003
TUMMALA, S & K
2 CASCADE CT E
BURR RIDGE IL 60521

10-02-408-004
PANKAJ, RAM & SUSH A
3 CASCADE CT
BURR RIDGE IL 60521

10-02-408-005
YEN, ESMOND K
4 CASCADE CT E
WILLOWBROOK IL 60527

10-02-408-006
MATHEW, JUDE
9270 CASCADE CIR
BURR RIDGE IL 60521

10-02-408-007
PIOTROWSKI, MIROSLAW & A
6 CASCADE CT W
BURR RIDGE IL 60527-0715

10-02-408-008
VIJUK, DRENDA
29 SALT MARSH DR
FERNANDINA BEAC FL 32034

10-02-408-009
WAHI, SUKHVEER TR
8 CASCADE CT WEST
BURR RIDGE IL 60521



2

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10-02-408-010
MENTA, SURYA & USHA
9 CASCADE CT W
BURR RIDGE IL 60521

10-02-408-011
SHRADER, DAVID & VIVIAN
9280 CASCADE CIR
BURR RIDGE IL 60527

10-02-408-012
MON, RICHARD L & LEILANIE
9284 CASCADE CIR
BURR RIDGE IL 60527

10-02-408-013
PATEL, S & M
9291 CASCADE CIR
BURR RIDGE IL 60521

10-02-408-014
SALWAN, RAJNEESH & AMITA
9295 CASCADE CIR
BURR RIDGE IL 60527

10-02-408-015
BRUSA, SALVATORE S
9301 CASCADE CIR
BURR RIDGE IL 60527

10-02-408-016
SALAMONE, FRANCESCA
9310 CASCADE CIR
BURR RIDGE IL 60527-0712

10-02-408-017
HASAN, M & N AKHTAR
9320 CASCADE CIR
BURR RIDGE IL 60521

10-02-408-018
KHATAU, MAHENDRA & ARUNA
9330 CASCADE CIR
BURR RIDGE IL 60527

10-02-408-019
KISHORE, KAMAL & PUNAM
9340 CASCADE CIR
BURR RIDGE IL 60521

10-02-408-020
VAIDYA, PRABODH p
301 GROSSVENOR CT
BOLINGBROOK IL 60440

10-02-408-021
PARIKH, JYOTIN
9360 CASCADE CIR
BURR RIDGE IL 60527-0712

10-02-408-022
JONAS, SHIRLEY J
9370 CASCADE CIR
BURR RIDGE IL 6052

10-02-408-023
RUPANI, PREM & SUJAYA
9380 CASCADE COR
BURR RIDGE IL 60521

3

10-02-408-024
SEERAS, VASANTHI
9390 CASCADE CIR
BURR RIDGE IL 60527-0712

10-02-401-002, 003,016
DLUGOPOLSKI, JOZEF
6501 W 81ST ST
BURBANK IL 60459

10-02-401-017
CARROLL, KATHERINE
16W360 93RD PL
BURR RIDGE IL 60527

10-02-401-009
VUK, ZELJKO & ZORA
16W324 93RD PL
BURR RIDGE IL 60527

10-02-401-007
POKHVALIT, VALENTIN & N
16W330 93RD PL
BURR RIDGE IL 60527

10-02-401-008
VUK, ZELJKO
16W324 93RD PL
BURR RIDGE IL 60527

10-02-401-010
COCHRAN, LINDA C
317 TAMERTON PKWY
BURR RIDGE IL 60527

10-02-401-011
CARSTEN JR, WM
16W300 93RD PL
BURR RIDGE IL 60527

10-02-401-012
MIODUSZEWSKA, AGNIESZKA
16W280 93RD PL
BURR RIDGE IL 60527

10-02-401-013
WENKUS, JAMES
16W266 93RD PL
BURR RIDGE IL 60527

10-02-401-014
RACIC, ANA
16W250 93RD PL
BURR RIDGE IL 60527-6873

10-02-401-015
KRTINIC, ZARKO & MARINA
10S650 OAK HILL CT
BURR RIDGE IL 60527-6816

10-02-405-001
BREUER, JEFFREY R
9800 WARREN AVE
OAK LAWN IL 60453-2956

10-02-412-001
AL KHADARI, MOHAMMED
9336 FALLING WATER DR
BURR RIDGE IL 60527



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10-02-409-001
SSB 3 LLC
10S660 KINGERY HIGHWAY
WILLOWBROOK IL 60527

10-02-409-002
ESB HOME LLC
10S660 KINGERY HWY
WILLOWBROOK IL 60527

10-02-409-003
ASOKAN, SANGARAPPILLALI&C
9254 FALLINGWATER DR
BURR RIDGE IL 60527

10-02-409-004
ARORA, SUBASH C & ANITA
9244 E FALLINGWATER DR
BURR RIDGE IL 60521

10-02-409-005
ARQUILLA JR, RICHARD EST
C/O BANK OF AMERICA TR RE
231 S LA SALLE ST CHICAGO IL 60604

10-02-409-006
HANNA, WAFAA
415 E NORTH WATER ST
UNIT 2005 CHICAGO IL 60611

10-02-409-007
BALDI, RAYMOND B
9204 FALLINGWATER DR
BURR RIDGE IL 60527

10-02-409-008
JAYARAM, SHUBHA
9233 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-409-009
PAYA, ANIS & VASIA AHMED
9253 FALLINGWATER DR
BURR RIDGE IL 60521

10-02-409-010
JOHN, THOMAS & ANNITA
9273 W FALLING WATER DR
BURR RIDGE IL 60521

10-02-409-011
GLUSAK, JOHN & MARY
2 SYLVAN GLEN CT
BURR RIDGE IL 60521

10-02-409-012
DHINGRA, TILAK & SONIA
4 SYLVAN GLEN CT
BURR RIDGE IL 60527

10-02-409-013
REYES, JOSELITO C & MARIA
6 SYLVAN GLEN CT
BURR RIDGE IL 60527

10-02-409-014
CORSI, SERGIO & NAOMI
8 SYLVAN GLEN CT
BURR RIDGE IL 60521



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10-02-409-015
ATTAR, FAY
C/O PROMPT CARE PHYSICIAN
12307 S HARLEM AVE PALOS HTS IL
60463

10-02-409-017
AHMED, AZAZUDDIN A & N
11 SYLVAN GLEN CT
BURR RIDGE IL 60521

10-02-409-019
DRESLER, LENA
P O BOX 309
HINSDALE IL 60522-0309

10-02-409-021
BASA, RONALD & MARGARET
3 SYLVAN GLEN CT
BURR RIDGE IL 60521

10-02-207-002
CUMAKOVIENE, GITANA
9012 ONEILL DR
BURR RIDGE IL 60527

10-02-207-004
KOSTNER, GREGORY & MELISSA
9020 O'NEILL DR
BURR RIDGE IL 60521

10-02-207-006
VENHOUSEN, M & J WAGNER
10S320 O NEILL DR
BURR RIDGE IL 60527

10-02-409-016
CHEN, JACK
12 SYLVAN GLEN CT
BURR RIDGE IL 60527

10-02-409-018
SHAH, SAMIR & PRERANA
9 SYLVAN GLEN CT
BURR RIDGE IL 60527

10-02-409-020
HAYANI, AMMAR & KAREN
5 SYLVAN GLEN CT
BURR RIDGE IL 60527

10-02-409-022
LEE, MICHAEL & DARYL
1 SYLVAN GLEN
BURR RIDGE IL 60521

10-02-207-003
MITCHENER, SCOTT
9018 O NEILL DR
BURR RIDGE IL 60527

10-02-207-005
DUPAGE CO ENVMTL CONCERN
ATTN JANET WILLIAMS
421 N COUNTY FARM RD WHEATON IL
6018

10-02-207-007
NAVA, PORFIRIO
10S357 PALISADES
BURR RIDGE IL 60527

N2

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Pat: avery.com/patents

10-02-209-017
WINIECKI, STEVEN
10S366 SKYLINE DR
BURR RIDGE IL 60521

10-02-209-018
LE, LONG
16W234 91ST ST
BURR RIDGE IL 60527

10-02-209-015
GALLEGOS, ROBERT & SANDRA
16W254 91ST ST
BURR RIDGE IL 60527

10-02-209-019,020
SCOTT TR, MARY-LOUISE
9100 PALISADES RD
BURR RIDGE IL 60527

10-02-208-011
GAO, YUFENG
16W342 91ST ST
BURR RIDGE IL 60527

10-02-208-002,003
BAILEY, BONNIE A
9011 S O NEILL DR
BURR RIDGE IL 60527

10-02-208-012
SBC
909 CHESTNUT NO 36M1
ST LOUIS MO 63101

10-02-208-004
GORNEY, CINDY S
10S301 O NEILL DR
BURR RIDGE IL 60527

10-02-208-005
SHACKLETON, RICH
10S311 O NEILL DR
BURR RIDGE IL 60527

10-02-208-006
HAHN, HAROLD J & PEGGY
9035 O NEILL DR
BURR RIDGE IL 60527

10-02-208-007
JABER, ADAM
9043 ONEILL DR
BURR RIDGE IL 60527-6259

10-02-208-008
SUDOLNIK, FRED J
9051 O NEILL DR
BURR RIDGE IL 60527

10-02-208-009
MILETIC, MIROLJUB & O
9053 O NEILL DR
BURR RIDGE IL 60527-6259

10-02-208-010
COHEN, AVRAHAM
9059 O'NEILL DR
BURR RIDGE IL 60527

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10-02-207-008
HINZ, RICHARD & DEBORAH
5417 HARVEY AVE
LA GRANGE IL 60525

10-02-207-009
ZAMPA, DANIEL
9054 S O NEILL DR
BURR RIDGE IL 60527

10-02-207-010,011,012
EMRO MARKETING CO
C/O PROPERTY TAX RECORDS
539 S MAIN ST. FINDLAYE OH 45840

10-02-209-001
ANDERSON, CHARLES E
9011 PALISADES RD
BURR RIDGE IL 6052

10-02-209-002
DE LAIR, LORRIE V
9017 PALISADES
BURR RIDGE IL 60527

10-02-209-003
CARRILLO, RAUL & JASMINE
9027 PALISADES RD
BURR RIDGE IL 60527

10-02-209-004
CHLADA, JOHN & LYNNE
9029 PALISADES DR
BURR RIDGE IL 60527

10-02-209-005
LYONS, GEORGE & EVELYN
9033 PALISADES RD
BURR RIDGE IL 60527

10-02-209-006
NAVA, PORFIRIO
10S357 PALISADES
BURR RIDGE IL 60527

10-02-209-009
SHEVCHENKO, PAVEL
9012 SKYLINE DR
BURR RIDGE IL 60527

10-02-209-010
REZEK, DAVID J & LIGAYA A
9018 SKYLINE DR
HINSDALE IL 60521

10-02-209-011
SALDANA, EDGARDO & LETICIA
9028 SKYLINE DR
BURR RIDGE IL 60527-6213

10-02-209-012
PAYNE, TIMOTHY & HELEN
9030 SKYLINE DR
BURR RIDGE IL 60527-6213

10-02-209-016
BROWN, RANDY & TAMARA
10S356 SKYLINE DR
BURR RIDGE IL 60527

10-02-208-013
SANSONE, R L
212 VALLEY VIEW DR
BURR RIDGE IL 60527

10-02-208-014
TEK, ABDULLAH & ILMA
10308 S KEATING AVE NO 3C
OAK LAWN IL 60453

10-02-208-015
VAITKEVICIUTE, JURATE
325 CENTRAL AVE
WILLOWBROOK IL 60527

10-02-208-016
CHLADA, KEVIN
9012 PALISADES RD
BURR RIDGE IL 60527

10-02-208-017
LYONS, GEORGE T
10S320 PALISADES RD
BURR RIDGE IL 60527

10-02-208-018
THOMAS, LARRY & JEANETTE
10S330 PALISADES RD
BURR RIDGE IL 60527

10-02-208-019
CASTELLANO JR, KEITH & K
9030 PALISADES RD
BURR RIDGE IL 60527

10-02-208-020
AGUIRRE, CARLOS & JENNY
9034 PALISADES RD
BURR RIDGE IL 60527

10-02-208-021
KUDNRA, KELLY & OTAKAR
10S360 PALISADES RD
BURR RIDGE IL 60527

10-02-208-022
WOLF, JOHN
9050 PALISADES
BURR RIDGE IL 60527

10-02-208-023
ARRIETA, ALFREDO & M
16W310 91ST ST
BURR RIDGE IL 60527

10-02-206-015
STEVENS, RICHARD P
301 VALLEY VIEW DR
BURR RIDGE IL 60527

10-02-206-032
CERNY, WILLIAM & THERESA
10S282 SKYLINE DR
BURR RIDGE IL 60527

10-02-206-031
SCUREK, WM J & SOPHIE V
8950 SKYLINE DR
BURR RIDGE IL 60527



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10-02-210-007
ZEMAN, RAYMOND J
10S265 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-008
PETERSON, REBECCA
10S275 SKYLINE DR
BURR RIDGE IL 60527-6253

10-02-210-009
COUNTY OF DUPAGE
DEPT OF ENVIRON CONCERNS
421 N COUNTY FARM RD WHEATON IL
60187

10-02-210-010
CARRANO, STEVEN C
9005 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-011
ALI, ISMAIL S
9011 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-012
CHIU, ANNA
9025 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-013,014
POENISCH, MARTIN A
9027 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-015
BALL, RANDALL & CAROL
9035 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-016
SOCITE, VASILE G & STELA
10S365 SKYLINE DR
BURR RIDGE IL 60527

10-02-210-017
UNIEJEWSKI, JOHN & DONNA
10S375 SKYLINE
BURR RIDGE IL 60527

10-02-210-018
RAMLET, MICHAEL & BROOK
16W185 89TH ST
BURR RIDGE IL 60527

10-02-210-019
VENKATARAMAN, MYTHILI & S
16W166 W 91ST ST
BURR RIDGE IL 60527

10-02-211-002
HOWARD, WILLIAM N
16W122 91ST ST
BURR RIDGE IL 60527-6234

10-02-211-001
GROZICH, GLENN J
16W125 89TH ST
HINSDALE IL 60527



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10-02-211-005
YAP, PHILIP U & ROBERTA C
10S330 MADISON ST
BURR RIDGE IL 60527

10-02-211-006
HOLECEK, MARK
5201 FAIRWAY OAKS DR
WINDERMERE FL 34786

10-02-401-012

Mr. Mohammad Puri/Ms Sarwat Latif
Or Current Resident
16W280 93rd Pl
Burr Ridge, IL 60527

10-02-409-005

Arquilla Jr., Richard Est
c/o Bank of America TR RE
231 S La Salle Street
Chicago, IL 60604

10-02-41-002

Viswanath, Vishi K
9127 Fallingwater Dr W
Burr Ridge, IL 60527

10-02-210-009

DuPage County Department of
Environmental Concerns
421 N County Farm Road
Wheaton, IL 60187

10-02-408-001

First Midwest Bank
Attn: Land Trust Dept.
2801 W Jefferson St
Joliet, IL 60435-5299

10-02-409-015

Attar, Fay
c/o Prompt Care Physician
12307 S Harlem Ave
Palos Heights, IL 60463

10-02-207-010

Emro Marketing Co
C/O Property Tax Records
539 S Main St
Findlaye, OH 45840

2 10-02-401-012

MIODUSZEWSKA, AGNIESZKA
16W280 93RD PL
BURR RIDGE IL 60527

X 10-02-408-001

FIRST MIDWEST BANK
ATTN: LAND TRUST DEPT
2801 W JEFFERSON ST JOLIET IL
60435-5299

X 10-02-210-009

COUNTY OF DUPAGE
DEPT OF ENVIRON CONCERNS
421 N COUNTY FARM RD WHEATON
60187

X 10-02-207-010,011,012

EMRO MARKETING CO
C/O PROPERTY TAX RECORDS
539 S MAIN ST FINDLAYE OH 45840

X 10-02-409-015

ATTAR, FAY
C/O PROMPT CARE PHYSICIAN
12307 S HARLEM AVE PALOS HTS IL
60463

10-02-410-002

VISWANATH, VISHI K
9127 FALLINGWATER DR
BURR RIDGE IL 60527

X 10-02-207-005

DUPAGE CO ENVMNTL CONCERN
ATTN JANET WILLIAMS
421 N COUNTY FARM RD WHEATON IL
6018

X 10-02-409-005

ARQUILLA JR, RICHARD EST
C/O BANK OF AMERICA TR RE
231 S LA SALLE ST CHICAGO IL 60604



VILLAGE OF BURR RIDGE
MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Evan Walter, Assistant to the Village Administrator

DATE: March 12, 2018

RE: **Z-03-2018: Outdoor, Overnight Commercial Vehicle Parking; continued from February 19, 2018**

At the February 19, 2018 meeting, the Plan Commission discussed several potential amendments to the Zoning Ordinance related to outdoor, overnight commercial vehicle parking. Staff believes it is accurate to summarize the feedback from the Plan Commission as follows:

- There was consensus that a commercial vehicle parking permit was a viable method for the Plan Commission to retain oversight of the special use process without the immediate need for a special use hearing.
- Fencing should be required to be installed at commercial properties who border a residential area and utilize outdoor, overnight commercial vehicle parking.
- Idling of vehicles for a prolonged period of time should be prohibited.
- The Plan Commission requested contextual data regarding the previous businesses requesting special uses for outdoor, overnight parking, including the size of the building and number of parking spaces that each had access to.

Table 1 documents the public hearings for special uses related to outdoor, overnight commercial vehicle parking. The Village has received ten petitions for these special uses, ranging from four to 40 vehicles, from two employees to 250, and from properties 2,600 square feet to 142,000 square feet in size. Removing PermaSeal as an outlier, the average business petitioning for such a special use would have access to about 25,000 square feet of commercial space, 26 parking spaces, and 34 employees.

Table 1							
Petition	Address	Petitioner	Zoning	# of Vehicles	Building SF	Parking	Employees
Z-10-2017	412 Rockwell	PermaSeal	G-I	40	142,000	215	250
Z-15-2013	16W260 83rd	Tower Comm.	G-I	10	15,600	20	20
Z-10-2010	150 Shore	A+ Home Remodel	G-I	15	11,000	12	12
Z-11-2011	280 Shore	Suburban Life	G-I	12	13,000	10	10
Z-01-2011	7521 Brush Hill	General Electric	G-I	12	32,000	36	36
V-02-2004	16W030 83rd	ProSort	G-I	20	53,000	60	60
Z-11-2001	360 Shore	Royal Office Products	G-I	7	28,000	30	60
Z-08-2001	8040 Madison	Lifeline Health	G-I	10	38,000	30	45
Z-03-2000	7938 Madison	GNJ Solutions	G-I	4	2,600	3	2
Z-01-2000	7650 Grant	Aramark	G-I	11	25,616	33	65
AVERAGE WITH PERMASEAL				14	36082	45	56
AVERAGE WITHOUT PERMASEAL				11	24313	26	34

Table 2 shows a comparison of each petitioner's original request compared to an alternative regulatory threshold. Red data indicates that the petitioner would have required a special use if such a threshold were used at the time of their petition; green indicates that they would have not. For example, if PermaSeal were permitted to

Table 2						
Vehicles	SF	Per 1,000 SF	Per 2,000 SF	Parking	1 for 2	1 for 3
40	142,000	142	71	215	108	72
10	15,600	16	8	20	10	7
15	11,000	11	6	12	6	4
12	13,000	13	7	10	5	3
12	32,000	32	16	36	18	12
20	53,000	53	27	60	30	20
7	28,000	28	14	30	15	10
10	38,000	38	19	30	15	10
4	2,600	3	1	3	2	1
11	25,616	26	13	33	17	11
14	36082	36	18	45	22	15

park one truck outside for every 1,000 square feet of commercial space, they would then be permitted to park 142 trucks outside overnight if no cap were instituted. A comparison for every 2,000 square feet is also provided. Likewise, staff analyzed requests based on parking capacity for every second or every third space available to the petitioner. While it is not shown, no changes in petition status would occur if the requests for every fourth space available compared to every third space. The results of this analysis demonstrate that the average petitioner requested one truck for every 2,500 square feet of commercial space or every third parking space.

Based on the feedback provided by the Plan Commission, staff has prepared the following recommendations for consideration:

1. The standard number of vehicles that are permitted to be parked outside shall be raised from two to four.
 - a. The trucks must be parked in the rear of the property or in the side if rear parking is unavailable.
 - b. Up to four trucks shall not exceed 24,000 pounds.
2. A commercial business may park up to eight trucks overnight; however, four of the eight trucks may not exceed a Class 2 GVWR rating (not to exceed 10,000 pounds).
 - a. Types of vehicles that fall into this class include full-size pickup trucks and step vans.
3. Trailers shall be permitted but limited to one-half the number of total trucks parked outside, not to exceed four trailers without a special use permit.
4. A special use hearing shall be required if the petitioner requests more than eight vehicles be stored outside, or the property on which the petitioning business is to be located exceeds 50,000 square feet or 50 parking spaces, or is located adjacent to a residential district.
 - a. If the commercial property abuts a residential zoning district, a 6' solid fence shall be provided on the residential lot line if the user seeks to park more than four commercial vehicles outdoor, overnight.
5. Outdoor storage, such as storage containers, shall remain a special use.
6. Outdoor, overnight parking of trucks exceeding 24,000 pounds shall remain prohibited.



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Evan Walter
Assistant to the Village Administrator

DATE: March 14, 2018

RE: Board Report for March 19, 2018 Plan Commission Meeting

At its March 12, 2018 meeting the following actions were taken by the Board of Trustees relative to matters forwarded from the Plan Commission.

Z-06-2018: 16W020 79th Street (Lyons Truck Sales); At the request of the petitioner, the Board of Trustees tabled this petition until April 9 to allow the Plan Commission the opportunity to consider a concurrent and related request.

03/15/2018

Permits Applied For February 2018



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JCPE-18-022	02/23/2018	160 Tower Dr	Phoenix Construction Services,	790 Royal St. George Glen Ellyn IL 60137	Com Electrical Permit
JELV-18-021	02/21/2018	6101 County Line Rd	Thyssen Krupp Elevator Co	335 Eisenhjewer Lane South Lombard IL 60148	Elevator
JPR-18-018	02/14/2018	570 Village Center Dr.	PirTano Construction Co.	1766 Armitage Ct. Addison IL 60101	Right-of-Way
JPR-18-019	02/14/2018	6900 Veterans Blvd.	Talon Communications	305 Amston Ct. Oswego IL 60543	Right-of-Way
JPS-18-025	02/22/2018	92 Burr Ridge Parkway	Garber, Robert	115 South Vine Hinsdale IL 60521	Sign
JRAD-18-020	02/23/2018	7801 Wolf Rd	John & Jennifer Rohrbacher	La Grange IL 60525	Residential Addition
JRAL-18-016	02/08/2018	8802 Aintree Ln	Euro Tech Cabinetry & Remod	12515 Rhea Dr. Plainfield IL 60585	Residential Alteration
JRAL-18-017	02/12/2018	6301 Garfield Ave	Woo Ri Construction Co.	5032 Jerome St. Skokie IL 60077	Residential Alteration
JRAL-18-023	02/23/2018	1 Bridget Ct	Northshore Builders	1310 Wendy Dr Northbrook IL 60062	Residential Alteration
JRAL-18-024	02/26/2018	8600 S County Line Rd	LM Custom Homes	115 W 55th Street Clarendon Hills IL 60514	Residential Alteration
JRES-18-015	02/06/2018	11241 72nd St	Homeowner	Burr Ridge IL 60527	Residential Miscellaneous
JRPF-18-026	02/27/2018	8041 Greenbriar Ct.	Caribbean Pools, Inc.	36 E US 30 Schererville IN 46375	Pool and Fence
TOTAL:	12				

03/15/2018

Permits Issued February 2018



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info	Description	
				Value & Sq Ftg	
JCA-17-351	02/19/2018	421 Heathrow Ct.	RDG Construction Services, Inc 21200 S. Lagrange Frankfort IL 60423	Com Alteration	
JDS-17-237	02/21/2018	7656 Wolf Rd	Illinois Designers & Builders, Inc 7614 Linden Oak Darien IL 60561	Demolition Structure	
JPR-18-018	02/16/2018	570 Village Center Dr.	PirTano Construction Co. 1766 Armitage Ct. Addison IL 60101	Right-of-Way	
JPR-18-019	02/16/2018	6900 Veterans Blvd.	Talon Communications 305 Amston Ct. Oswego IL 60543	Right-of-Way	
JPS-17-102	02/27/2018	150 Harvester Dr.	Integrity Sign Company 18770 S 88th AVE Mokena IL 60448	Sign	
JRAL-17-368	02/08/2018	15W 330 60TH ST	Homecrafters LLC 3 Grant Square, # 275 Hinsdale IL 60521	Residential Alteration \$286,200 3,816	
JRAL-18-011	02/13/2018	6706 Fieldstone Dr	Michael Chowanec 8425 Park Ave Burr Ridge IL 60527	Residential Alteration \$35,700 476	
JRAL-18-016	02/23/2018	8802 Aintree Ln	Euro Tech Cabinetry & Remod 12515 Rhea Dr. Plainfield IL 60585	Residential Alteration \$4,350 58	
JRES-18-015	02/23/2018	11241 72nd St	Homeowner Burr Ridge IL 60527	Residential Miscellaneous	
JRSF-17-364	02/28/2018	1 Lakeside Pointe	McNaughton Development 11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential New Single Family \$355,950 2,373	
JRSF-17-365	02/28/2018	2 Lakeside Pointe	McNaughton Development 11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential New Single Family \$349,950 2,333	
JRSF-17-366	02/28/2018	3 Lakeside Pointe	McNaughton Development 11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential New Single Family \$442,500 2,950	
JRSF-18-003	02/15/2018	8390 Waterview CT	McNaughton Development 11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential New Single Family \$764,250 5,095	
JRSF-18-014	02/28/2018	8310 Waterview CT	McNaughton Development 11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential New Single Family \$635,850 4,239	
TOTAL:	14				

03/15/18

Occupancy Certificates Issued February 2018



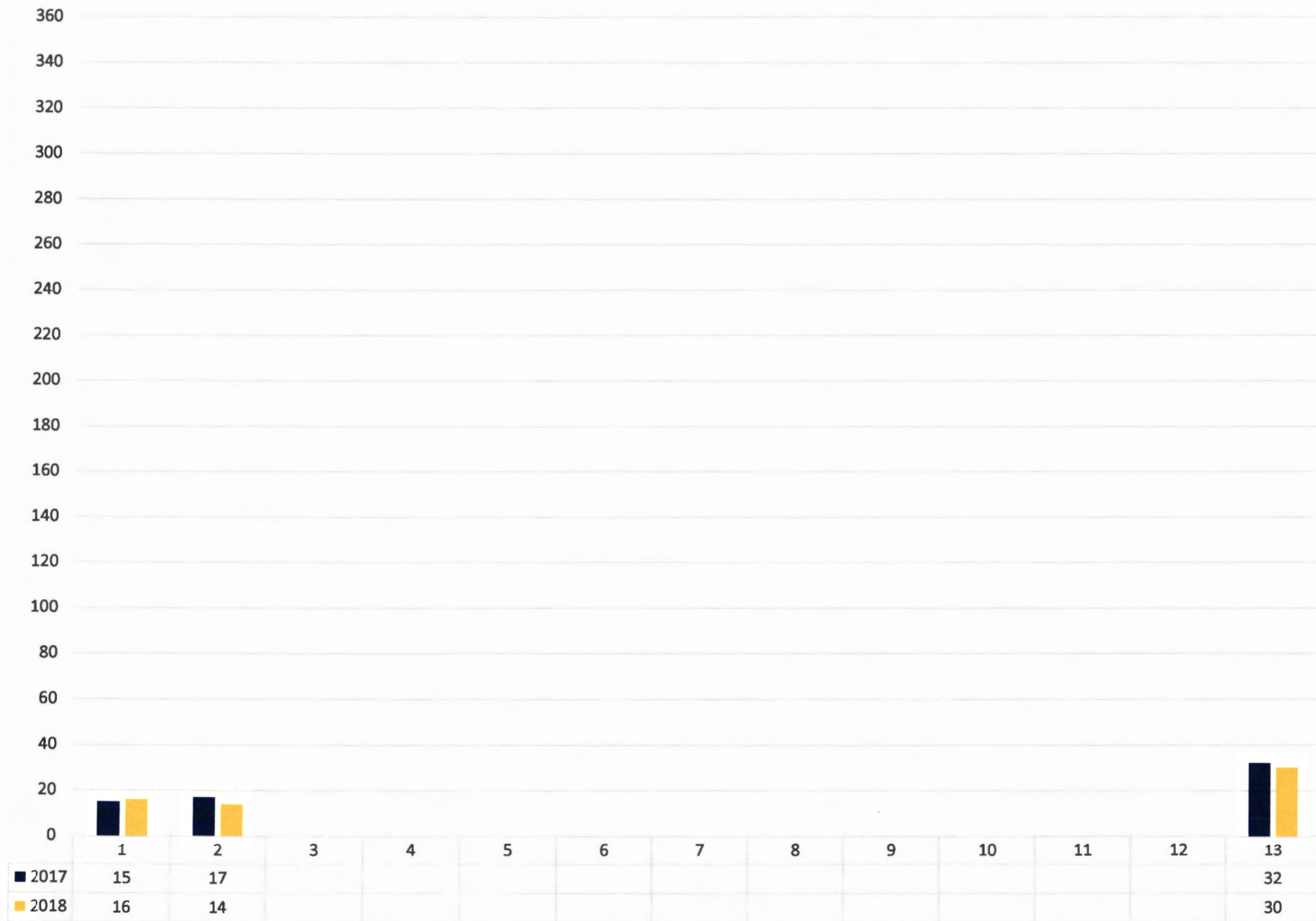
CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF18005	02/07/18	Design Bar	880 Villlage Center Dr.
OF18008	02/19/18	Hampton Inn & Suites	100 Harvester Dr.
OF18009	02/14/18	ASI Accurate Partitions	160 Tower Dr
OF18010	02/05/18	Kenneth Paulan	15W 241 81st St.
OF18011	02/05/18	Kenneth Paulan	15W 241 81st St.

MONTHLY SURVEY OF BUILDING PERMITS - 2018

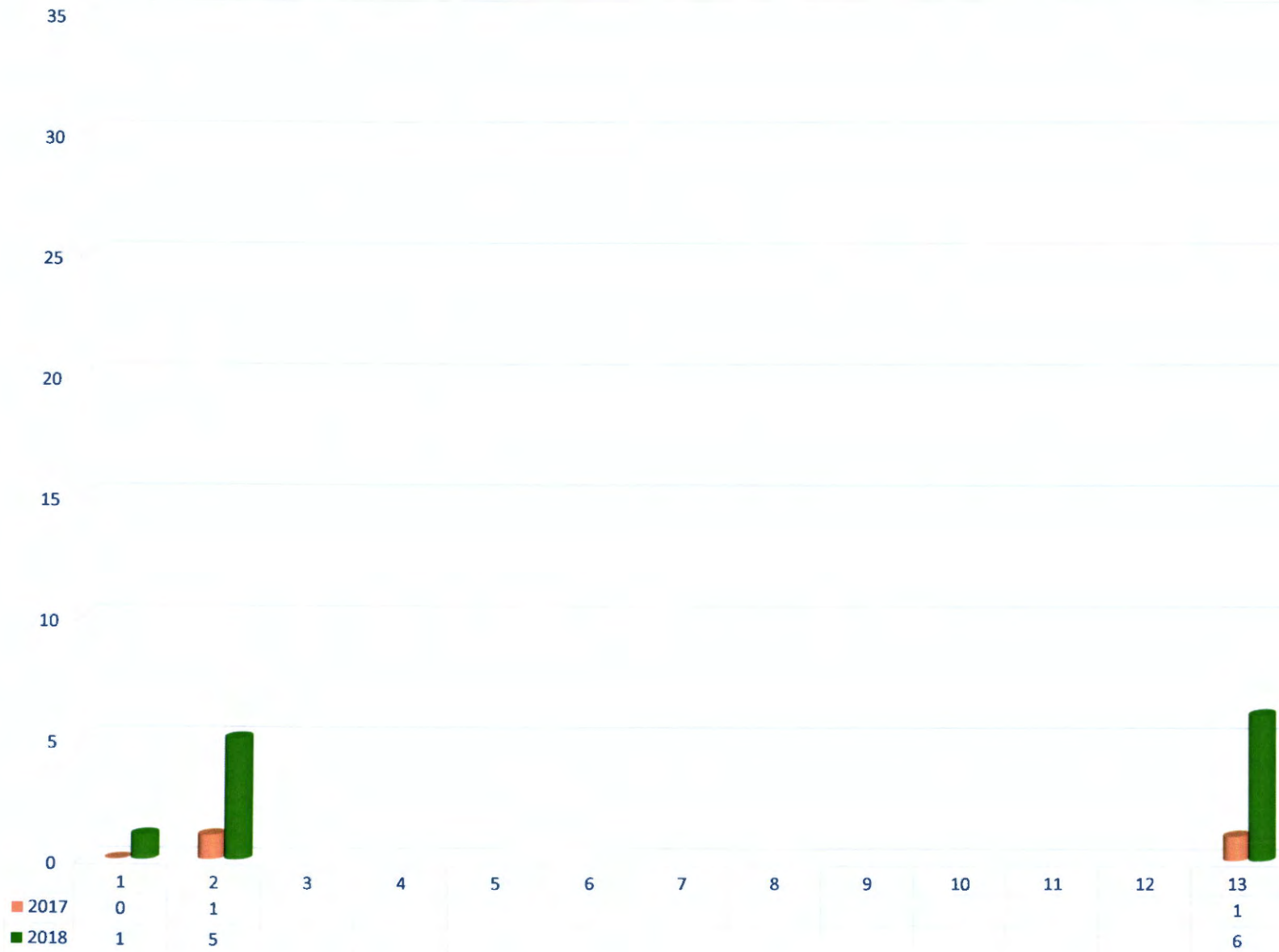
(Does not include miscellaneous Permits)

MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$1,541,700	\$44,100			\$1,585,800
	[1]	[1]			
FEBRUARY	\$2,548,500	\$326,250			\$2,874,750
	[5]	[3]			
MARCH					
APRIL					
MAY					
JUNE					
JULY					
AUGUST					
SEPTEMBER					
OCTOBER					
NOVEMBER					
DECEMBER					
2017 TOTAL	\$4,090,200	\$370,350	\$0	\$0	\$4,460,550
	[6]	[4]			

Village of Burr Ridge Building Permits Issued 2017 Compared to 2018

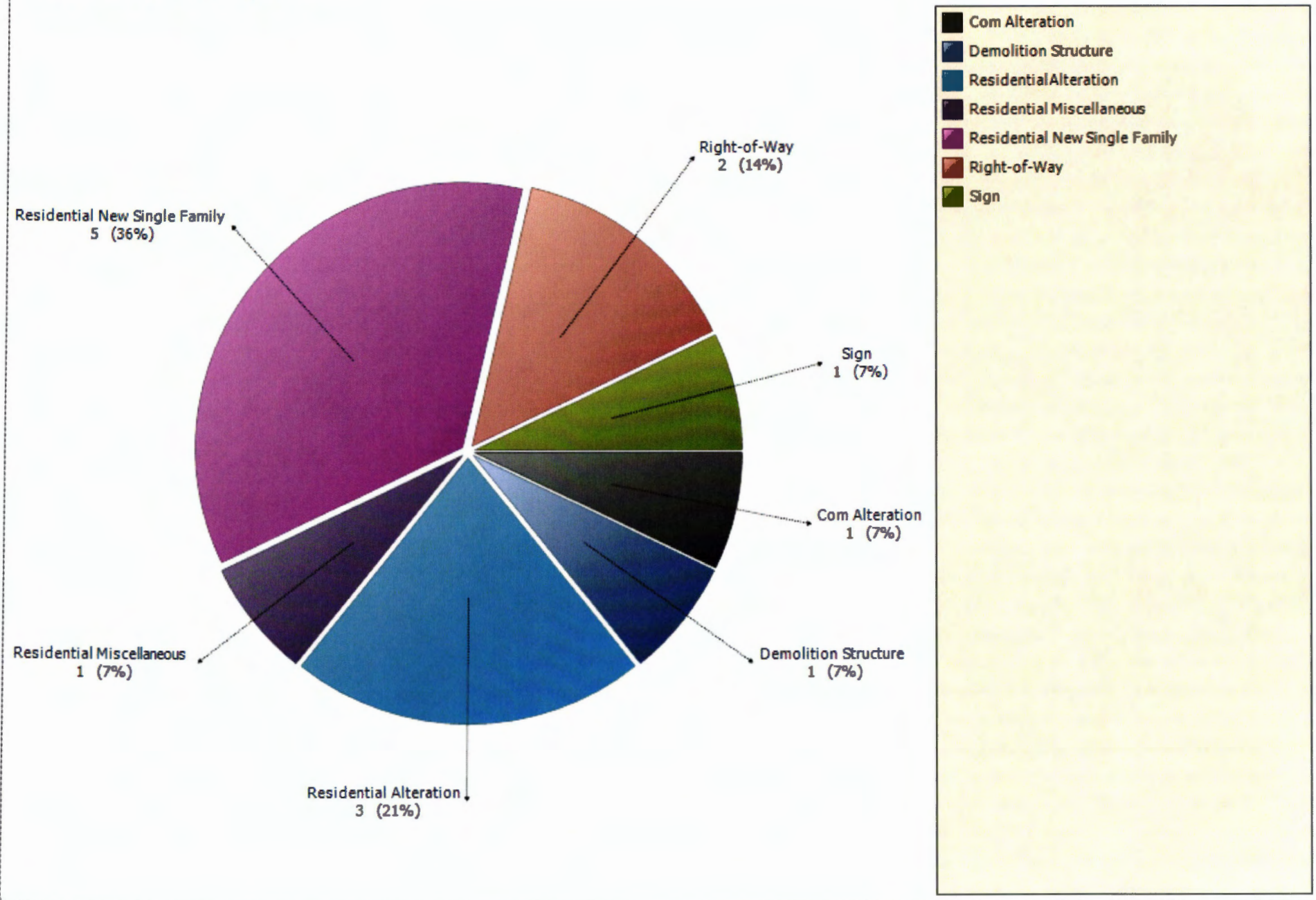


Village of Burr Ridge New Housing Permits 2017 Compared to 2018



Breakdown of Permits by Project Type

Permits Issued February 2018





VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

S-03-2018: 9101 Kingery Highway (McDonald's); Requests variations from Section 55.06.A of the Burr Ridge Sign Ordinance to permit four wall signs in addition to a permitted ground sign on the subject property, all of which exceed 100 combined square feet.

HEARING:

March 19, 2018; continued from
March 5, 2018

TO:

Plan Commission
Greg Trzupek, Chairman

FROM:

Evan Walter
Asst. to the Village Administrator

PETITIONER:

McDonald's, LLC

PETITIONER STATUS:

Land Lease Tenant

PROPERTY OWNER:

S-K Burr Ridge Residential, LLC

EXISTING ZONING:

B-2 PUD

LAND USE PLAN:

Recommends Residential Uses

EXISTING LAND USE:

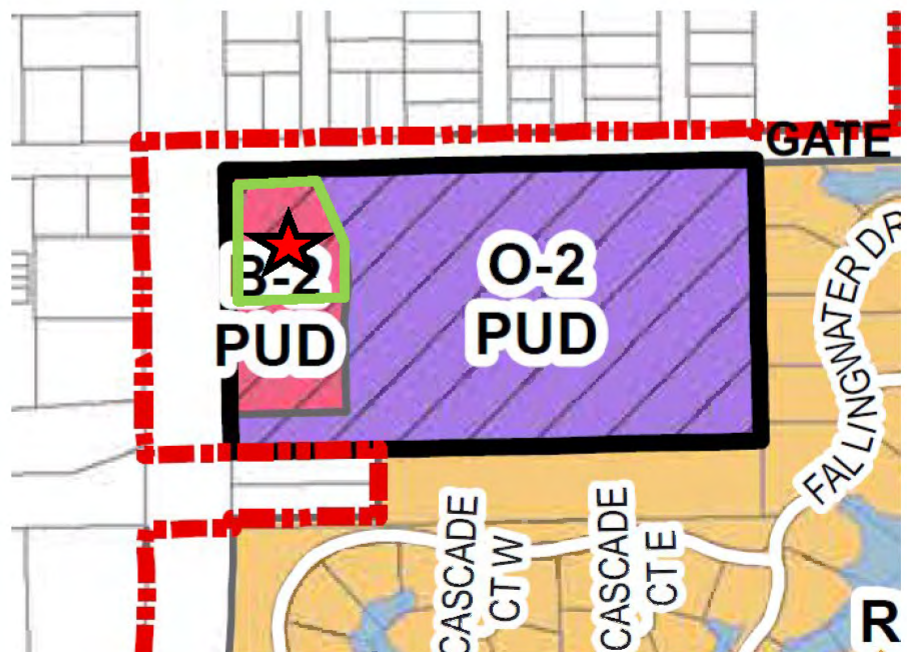
Vacant Land

SITE AREA:

1.29 Acres

SUBDIVISION:

Spectrum



This petition was continued from March 5, 2018. The petitioner is McDonald's, lessee of land at 9101 Kingery Highway. The petitioner requests variations from Section 55.06.A of the Burr Ridge Sign Ordinance to permit four wall signs in addition to a permitted ground sign on the subject property, all of which exceed 100 combined square feet. This property is located west of the Spectrum Senior Living facility at the southeast corner of Kingery Highway and 91st Street, which was annexed as part of the Spectrum PUD approved in 2015. The subject property is part of a Planned Unit Development approved in 2015, which originally included a senior care facility with approximately 190 total units on 15.5 acres and retail zoning on 3.5 acres fronting Kingery Highway.

The property is permitted to have one ground sign and two wall signs, as the property faces two street frontages. The ground sign is permitted to be located a minimum of 10 feet from all property lines and be no more than 8 feet tall. The ground sign complies with each of these requirements. Four wall signs are proposed for the subject property, one on each wall. The property is permitted to have a wall sign on the north and west elevations, which face 91st Street and Kingery Highway. Each of the four wall signs are 14 square feet in area, bringing the combined size of all signs proposed on the property to 156 square feet. The Section 55.06.A of the Sign Ordinance states that "the combined area of all ground signs and wall signs shall not exceed 100 square feet." The petitioner also proposes multiple directional traffic signs and a menu board to be located on the property, all of which meet the requirements of the Sign Ordinance.

Public Hearing History

The subject property was re-zoned upon annexation in 2015 to the B-2 General Business District as part of the Spectrum PUD.

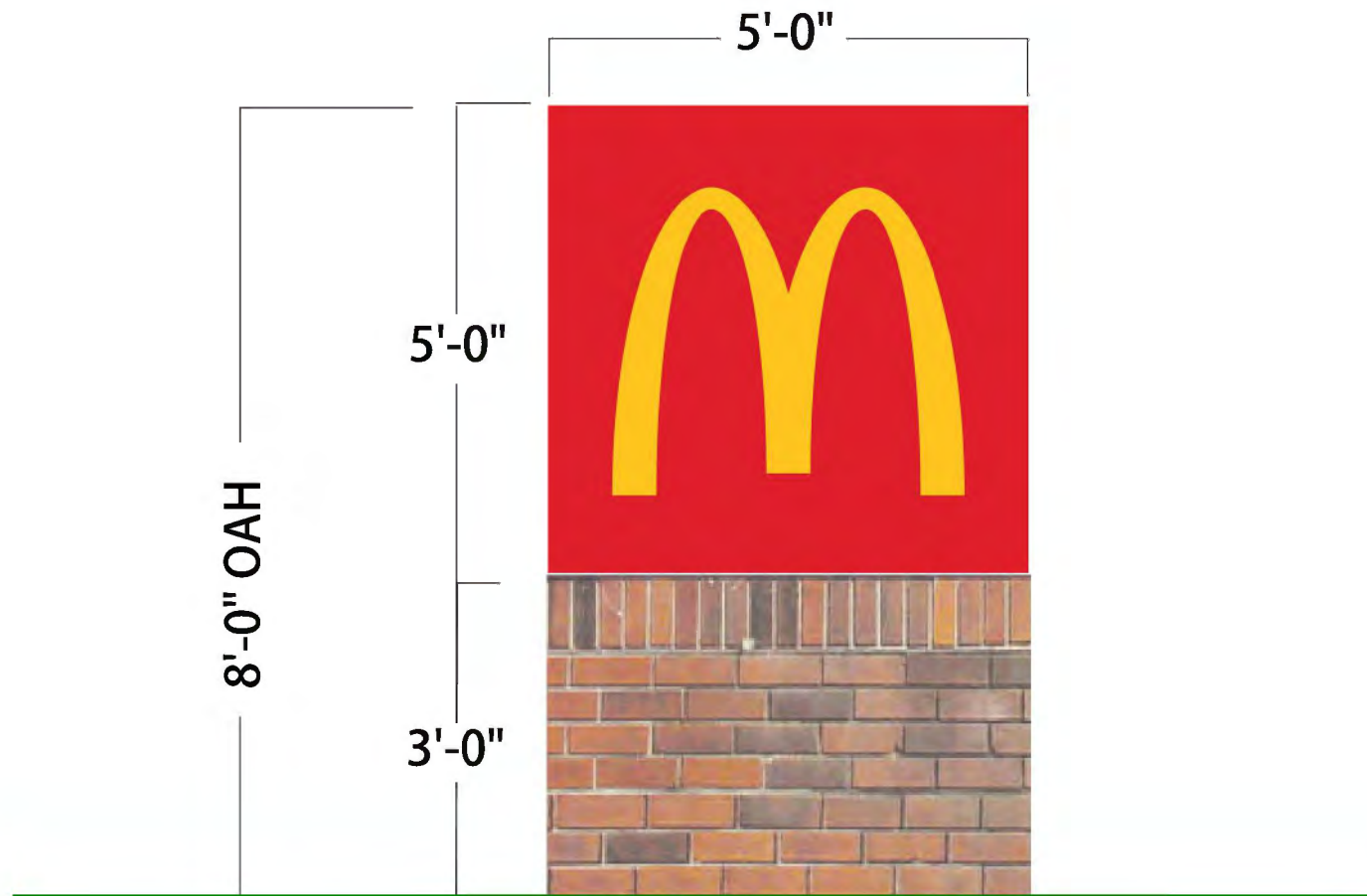
Findings of Fact and Recommendation

If the Plan Commission chooses to recommend conditional approval of the ground and wall signs, they should be made subject to compliance with the submitted plans.

Appendix

Exhibit A – Proposed Sign Elevations

EXHIBIT A



DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

Customer: McDONALD'S

Project No: 377584

Scale: 1/2"=1'-0"

Date: 02.02.18

Drawn By: eo

Location & Site No: BURR RIDGE, IL 60527
NN39051

Description: 5x5 ng monument sign @ 10' OAH

Revised:

Revised:

Customer Approval: Graphics and colors on file will be used unless otherwise specified by customer. Please review drawing carefully. By signing below, you agree to graphics as shown above, and to location of sign as shown. Please return signed copy back to Everbrite.

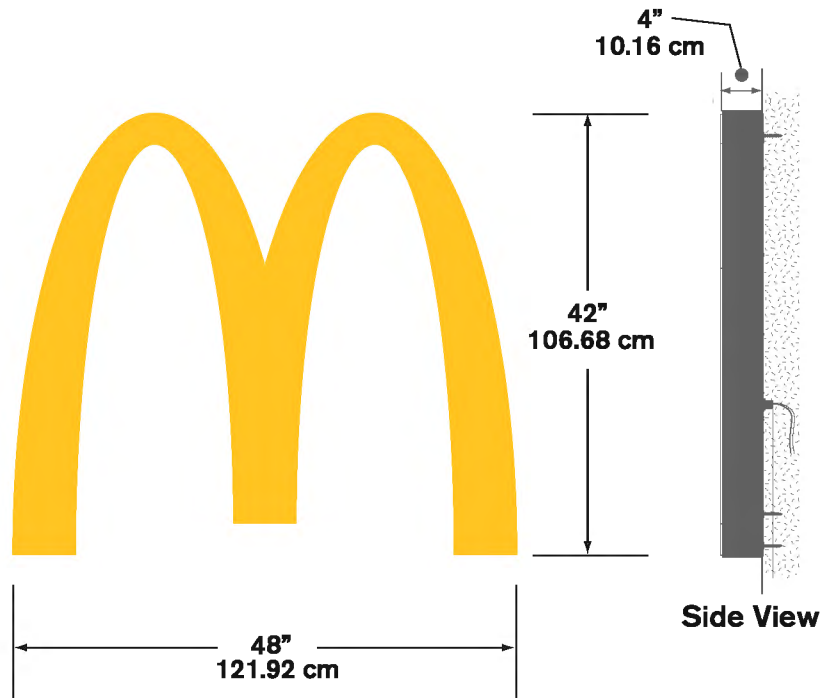
CUSTOMER SIGNATURE

DATE

LANDLORD SIGNATURE

DATE

42" NextGen Illuminated Building Arch - LED



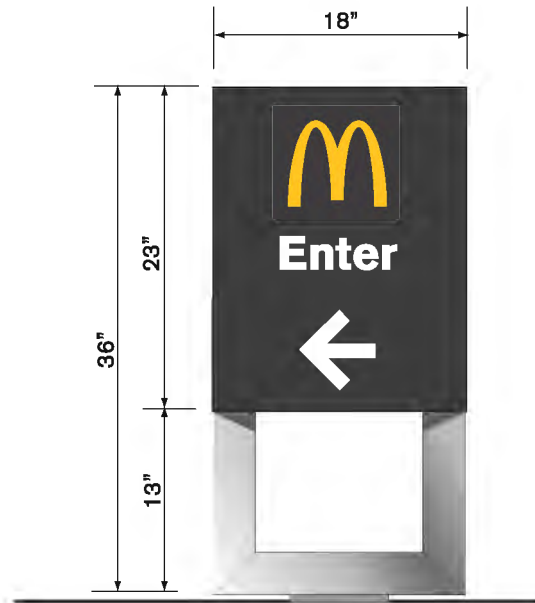
Illumination: LED

Electrical: .35 AMPS

Ballast: (1) OSRAM OT75-120-277-24

Ship Weight:

Next Gen 3 Sq. Ft. Directionals



Directional With Arch

Illumination: LED

Electrical: .25 amps

Power Supply: Amperor ANP90-30P1

Ship Weight:

Face Details: Laser cut aluminum faces
painted charcoal, white illuminated
copy and arrow. Optional illuminated
gold arch.

Available Copy: Enter
Exit
Welcome
Thank You
Drive Thru

Available Height Options: 36"

OPO Outdoor Menu Board



Illumination: LED

Electrical: First Circuit: 120/1/60, 15 amp
Second Circuit: 120/1/60, 15 amp

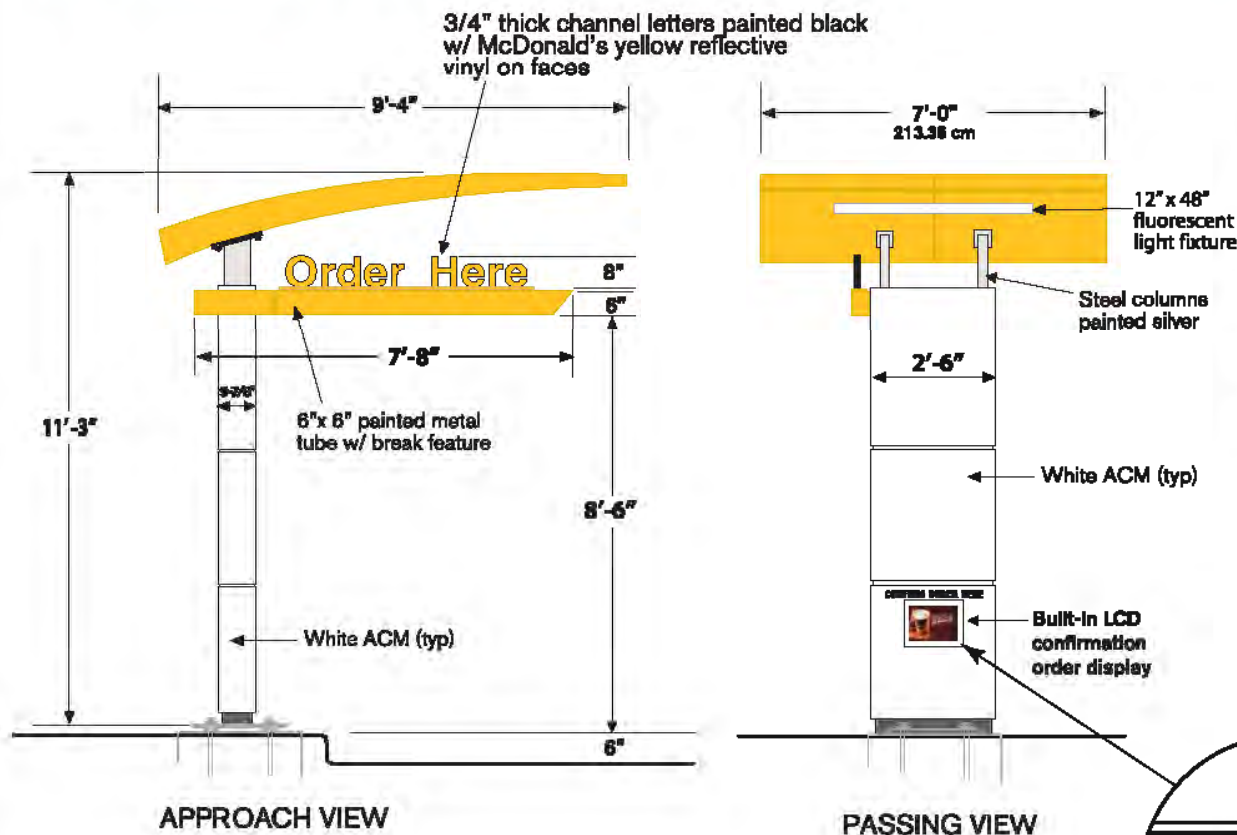
Ship Weight: 1,313 lbs.

Other:

- Please call IMS for graphics, 800-937-7671
- Triangular design for increased graphic options
- Available in an manual or automated version. Automated version must be ordered directly from Florida Plastics.

Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred)

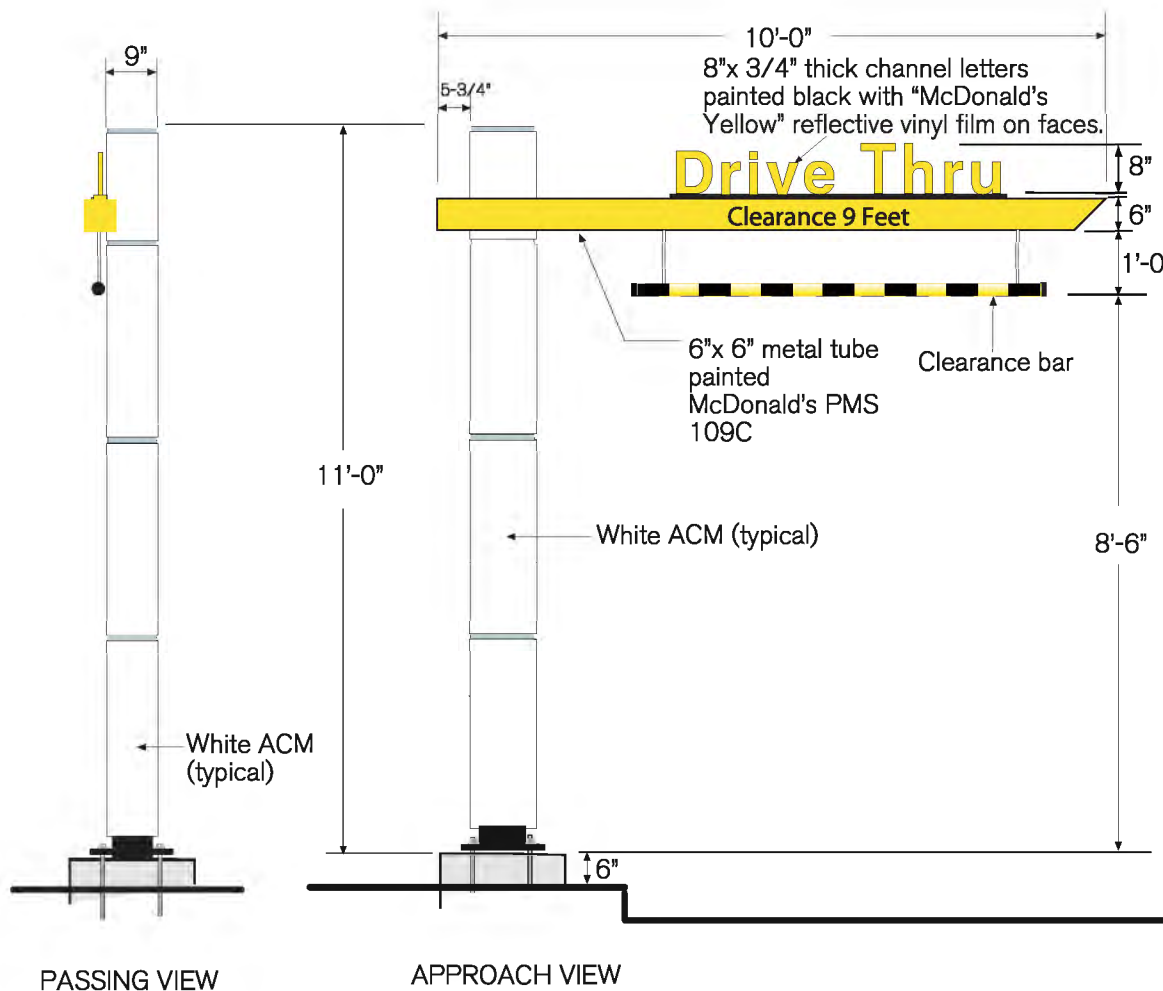
LCD Confirmation Order Display



Illumination:	4 - F72T12 CW/HO
Electrical:	15 Amp 120 Volt
Ballast:	Fulham Workhorse 7
Ship Weight:	1300 lbs.
Other:	<ul style="list-style-type: none"> • Spring loaded swing away 9' clearance arm • Illuminated awning provides a customer safe environment at night and protection from inclement weather



Built-in LCD Confirmation Order Display

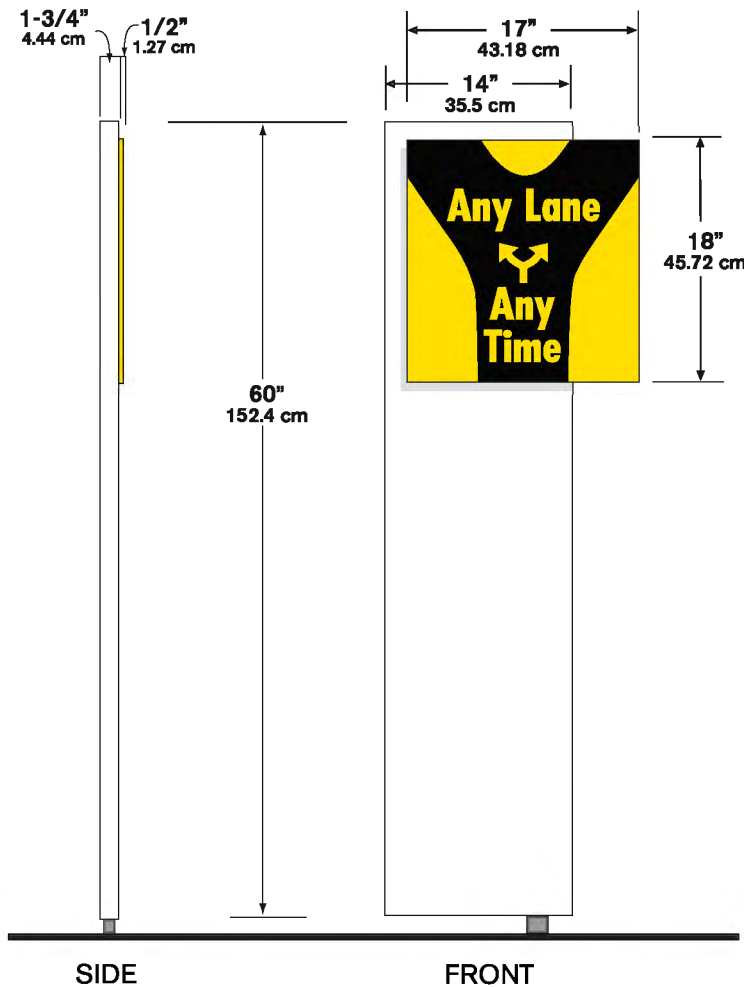


Illumination: N/A

Ship Weight: 790 lbs.

- Other:**
- Non-illuminated clearance sign with spring loaded break away clearance arm.
 - Adjustable bang bar.

Bollard



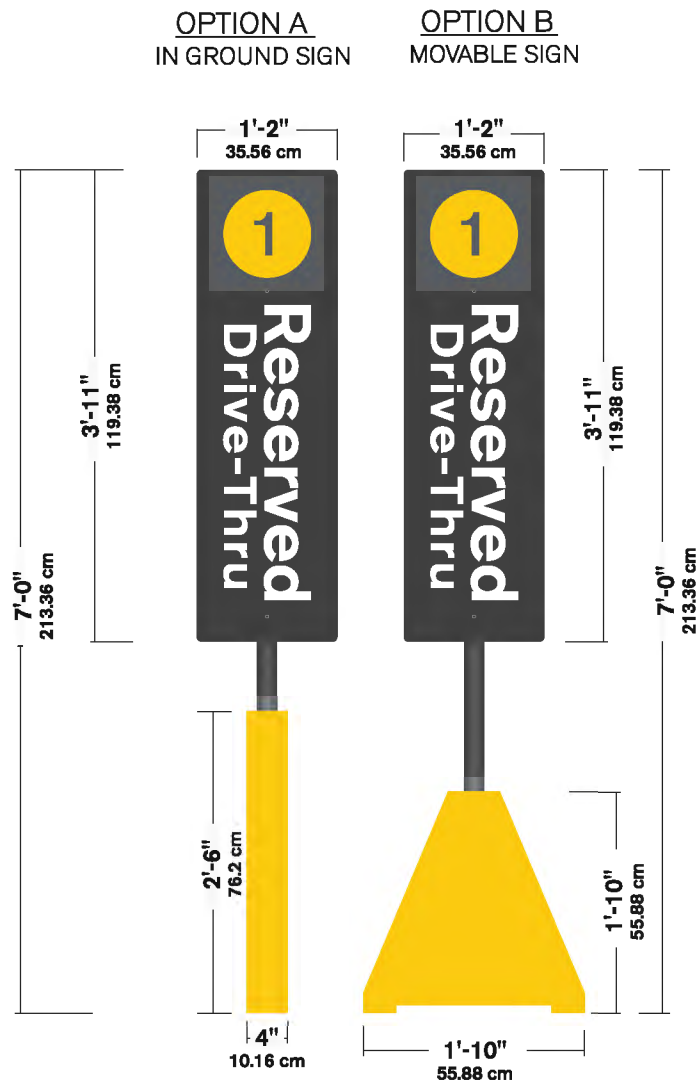
Illumination: N/A

Ship Weight: 26 lbs.

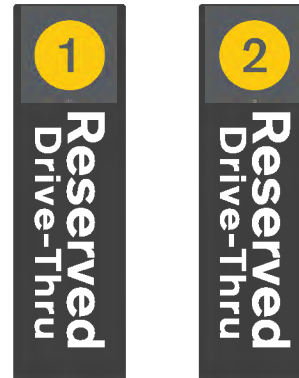
Other:

- PMS 109 yellow reflective message panel with black decal graphics/letters
- Two mounting systems available; direct burial or anchor bolt.

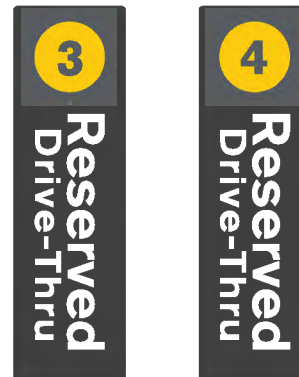
Pull Forward Sign



STANDARD SIGN FACES



OPTIONAL SIGN FACES



Illumination:

N/A

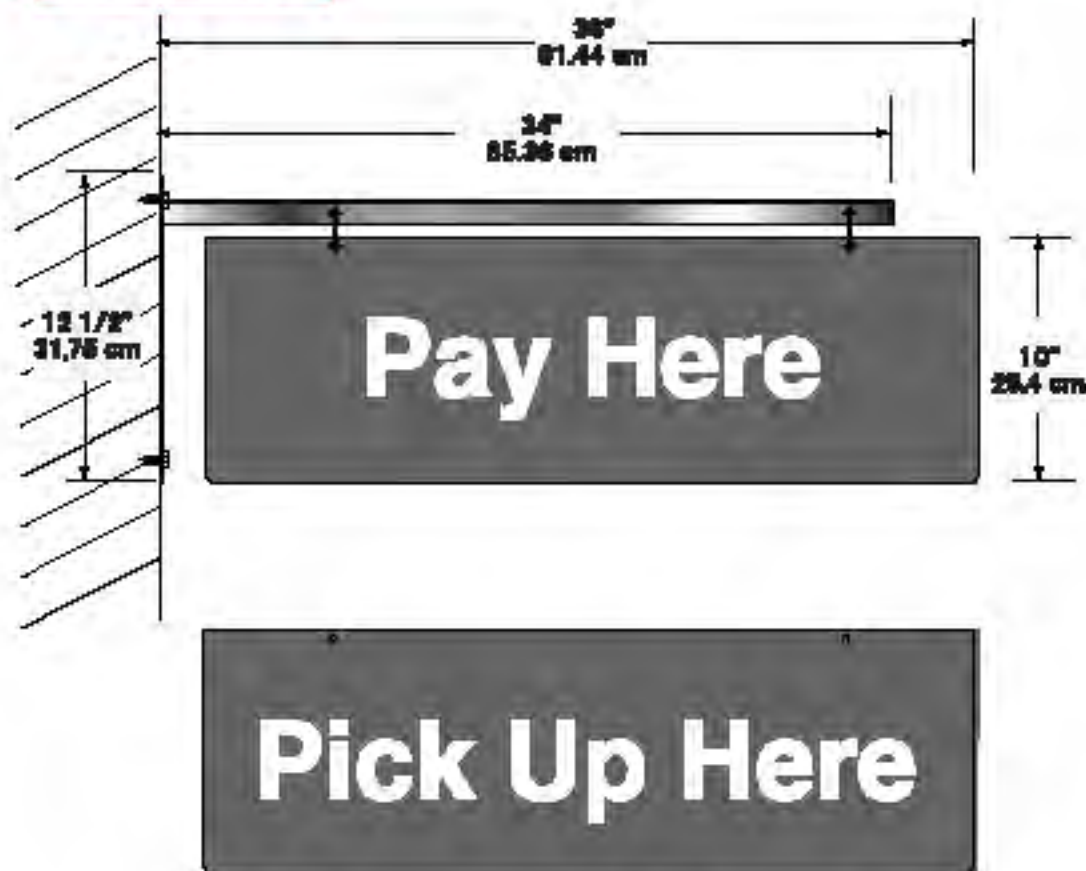
Face Details:

- Pigmented ABS panel to match PMS 425C with matte finish screened white "Reserved Drive-Thru" copy, yellow reflective vinyl circles

NextGen Window Position Signs



Standard 2 Window Kit



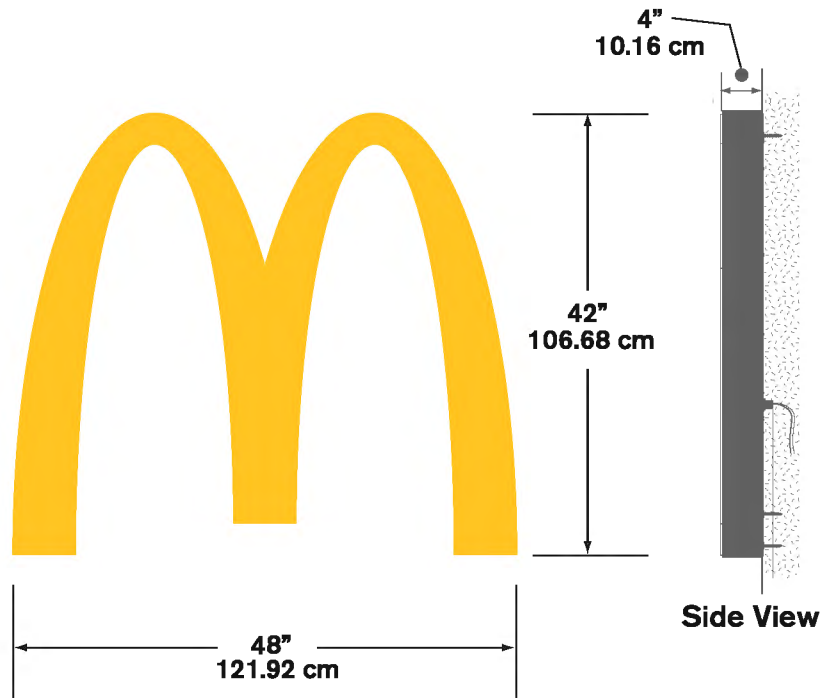
Illumination: N/A

Ship Weight:

3 Window Kit Option



42" NextGen Illuminated Building Arch - LED



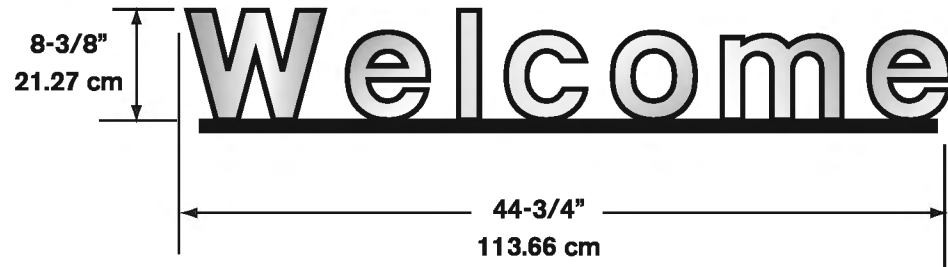
Illumination: LED

Electrical: .35 AMPS

Ballast: (1) OSRAM OT75-120-277-24

Ship Weight:

Welcome Sign



Illumination:

N/A

Ship Weight:

16 lbs.

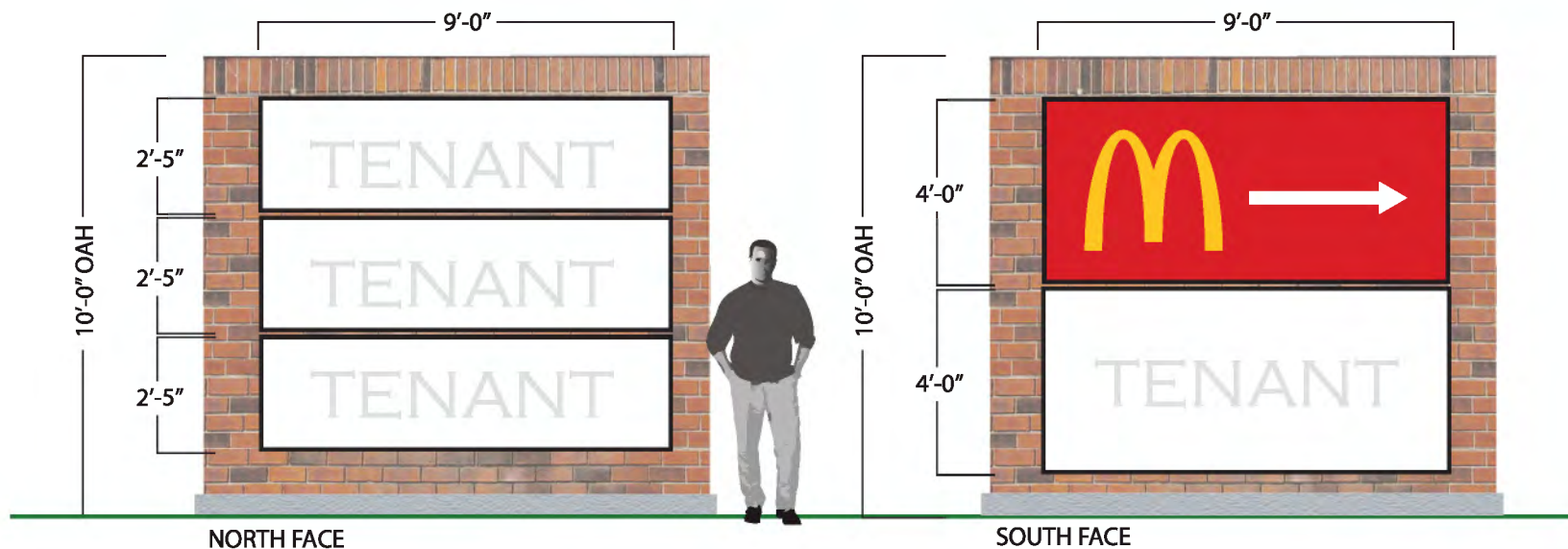
Other:

3/4" thickness cutout
aluminum letters.









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Customer: McDONALD'S

Project No: 377584

Scale:

Date: 02.05.18

Drawn By: eo

Location & Site No: BURR RIDGE, IL 60527
NN39051

Description: Custom d/f monument sign at 10' OAH

Revised: 377584R1 02.22.18

Revised: 377584R2 02.22.18

Customer Approval: Graphics and colors on file will be used unless otherwise specified by customer. Please review drawing carefully. By signing below, you agree to graphics as shown above, and to location of sign as shown. Please return signed copy back to Everbrite.

CUSTOMER SIGNATURE

DATE

LANDLORD SIGNATURE

DATE