



**REGULAR MEETING
VILLAGE OF BURR RIDGE
PLAN COMMISSION**

**May 16, 2016
7:30 P.M.**

I. ROLL CALL

Greg Trzupek, Chairman

**Mike Stratis
Dehn Grunsten
Robert Grela**

**Luisa Hoch
Greg Scott
Mary Praxmarer
Jim Broline, Alternate**

II. APPROVAL OF PRIOR MEETING MINUTES

A. May 2, 2016 Plan Commission Regular Meeting

III. PUBLIC HEARINGS

A. V-02-2016: 638 Gregford Road (Bryant); Fence Variation and Findings of Fact

Requests variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard.

B. Z-07-2016: 1400 Burr Ridge Parkway and 11650 Bridewell Drive (David Weekley Homes); Rezoning, Text Amendment or Variation, Planned Unit Development, and Findings of Fact

Request rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District with a variation from or an amendment to Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 75 single-family homes with private streets and with floor areas ranging from approximately 2,100 square feet to 3,400 square feet.

IV. CORRESPONDENCE

A. Board Report – May 9, 2016

V. OTHER CONSIDERATIONS

- A. PC-03-2016: Amendment to the Comprehensive Plan – Burr Ridge Park Sub-Area**
- B. Z-05-2016: 10S371 Madison Street (Valincius); Adoption of Findings of Fact**

VI. FUTURE SCHEDULED MEETINGS

- A. June 6, 2016:** The filing deadline for this meeting is May 16, 2016
- B. June 20, 2016:** The filing deadline for this meeting is May 30, 2016

VII. ADJOURNMENT

PLEASE NOTE: All Plan Commission recommendations are advisory and are submitted to the Mayor and Board of Trustees for review and final action. Any item being voted on at this Plan Commission meeting will be forwarded to the Mayor and Board of Trustees for consideration at their May 23, 2016 Regular Meeting beginning at 7:00 P.M. Commissioner Broline is the scheduled Plan Commission representative for the May 23, 2016 Board meeting.

**PLAN COMMISSION/ZONING BOARD OF APPEALS
VILLAGE OF BURR RIDGE
MINUTES FOR REGULAR MEETING OF
MAY 2, 2016**

I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

ROLL CALL was noted as follows:

PRESENT: 5 – Stratis, Hoch, Broline, Scott and Trzupek

ABSENT: 3 – Grunsten, Grela, and Praxmarer

Also present was Community Development Director Doug Pollock.

II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Hoch to approve the minutes of the April 18, 2016 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 4 – Stratis, Hoch, Broline, and Trzupek

NAYS: 0 – None

ABSTAIN: 1 – Scott

MOTION CARRIED by a vote of 4-0.

III. PUBLIC HEARINGS

Chairman Trzupek confirmed all those wishing to speak during the public hearing on the agenda for tonight's meeting.

Z-05-2016: 10S371 Madison Street (Valincius); Rezoning upon annexation to the R-3 District and Findings of Fact.

As directed by Chairman Trzupek, Mr. Pollock described this request as follows: The subject property is unincorporated but contiguous to the Village border. The property owner would like to annex the property to gain access to the Village water system on Madison Street. To accomplish this, the property owner has filed petitions for annexation and zoning. Mr. Pollock referenced the zoning map shown on the overhead screen and the surrounding R-3 and R-2B District zoning. Mr. Pollock added that the Comprehensive Plan encourages zoning for 30,000 square foot lots.

Chairman Trzupek asked the petitioner to make their presentation.

Mrs. Sega Valincius said that she is the wife of the property owner. She said that in order to subdivide, they have to give up a lot of land for the streets and that is why they want to have the R-3 District zoning.

Chairman Trzupek asked for public comments and questions.

Mr. David Styka, 15W731 90th Street, said that he is glad they are annexing but he thinks the larger lots should be required.

Mr. Alan Hruby, 10S455 Madison Street, said he has no objection to either the R-2B or the R-3 District zoning.

There being no further public comments, Chairman Trzupek asked for comments and questions from the Plan Commission.

Commissioner Stratis asked about the R-1 zoning in the area to the north. Mr. Pollock explained that those lots are part of a larger subdivision, most of which has been annexed into the R-2B District. Mr. Pollock said those lots were annexed without zoning and therefore, default into the R-1 District. He said that he anticipates rezoning those lots to the R-2B District because the entire subdivision has 32,000 square foot lots.

Commissioner Stratis asked about the zoning of the subject property in Du Page County. Mr. Pollock said the existing zoning requires even larger lots than the 30,000 square foot required by the R-2B District. Mr. Valincius confirmed.

Commissioner Hoch said that she thinks the Commission should encourage the larger lots of the R-2B District. In response, Mr. Valincius said that he would get one less lot if he was forced to the R-2B District.

Commissioner Broline said that the area to the north has larger lots and that all of the other adjacent properties are larger lots. He said it is not contiguous to any R-3 lots.

Commissioner Scott said that this appears to be an R-2B property, but that if the petitioner wanted to make a case for R-3 he would have to come back in the future with a plat of subdivision showing details of an R-3 subdivision.

Chairman Trzupek said he agrees with the R-2B District and that the petitioner can come back with a plat and a request to rezoning to the R-3 District in the future. He said that is the only way the petitioner could make a case for an R-3 zoning.

There being no further discussion, Chairman Trzupek asked for a motion to close the hearing.

At 7:53 p.m. a **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Scott to close the hearing for Z-05-2016.

ROLL CALL VOTE was as follows:

AYES: 5 – Hoch, Scott, Stratis, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

A **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Hoch to direct to prepare findings of fact in support of the R-2B District for the subject property and to make a recommendation to the Board of Trustees that the property be rezoned to the R-2B District upon annexation.

ROLL CALL VOTE was as follows:

AYES: 5 – Scott, Hoch, Stratis, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

Z-06-2016: 590 Village Center Drive (Cooper's Hawk); Special Use and Findings of Fact.

Chairman Trzupek asked Mr. Pollock to summarize this request. Mr. Pollock said that the petitioner is the Architect for Coopers Hawk restaurant in the Village Center and the Coopers Hawk is expanding into tenant space adjacent to the restaurant. He said that a new special use is required for the expansion of a restaurant with sales of alcoholic beverages and with live entertainment.

Mr. Dan Bernatek was present on behalf of Coopers Hawk. He had nothing to add.

There being no public comment, Chairman Trzupek asked for questions from the Plan Commission.

Commissioner Broline asked what stores are being replaced. Mr. Pollock said that Yankee Candle had moved out some time ago and that Sunglass Hut was moving out.

Commissioner Hoch asked if the new exit door was for the public or for emergency only. Mr. Bernatek said it was for emergency only.

There were no other questions or comments.

At 8:00 p.m. a **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Hoch to close the hearing for Z-06-2016.

ROLL CALL VOTE was as follows:

AYES: 5 – Stratis, Hoch, Scott, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Hoch to adopt the petitioner's findings of fact and to make a recommendation to the Board of Trustees that the special use be granted as requested by Z-06-2016 and subject to the following conditions:

1. The construction and use of the restaurant shall substantially comply with the submitted floor plans.
2. The special use permit shall be limited to Coopers Hawk and the current owners and shall expire at such time that Coopers Hawk Restaurant and the current owners no longer own and operate the business at 510 Village Center Drive.

ROLL CALL VOTE was as follows:

AYES: 5 – Stratis, Hoch, Scott, Broline, and Trzupek

NAYS: 0 – None

MOTION CARRIED by a vote of 5-0.

IV. CORRESPONDENCE

There was no discussion regarding the correspondence.

V. OTHER CONSIDERATIONS

There were no other considerations on the agenda.

VI. FUTURE SCHEDULED MEETINGS

Mr. Pollock noted that there is a public hearing for a large residential development in the Burr Ridge Corporate Park scheduled for the May 16 meeting.

VII. ADJOURNMENT

A **MOTION** was made by Commissioner Stratis and **SECONDED** by Commissioner Scott to **ADJOURN** the meeting at 8:05 p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 8:05 p.m.

**Respectfully
Submitted:**

May 16, 2016

J. Douglas Pollock, AICP



**VILLAGE OF BURR RIDGE
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT AND SUMMARY**

V-02-2016: 638 Gregford Road (Bryant); Requests variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals
Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP
Community Development Director

Date of Hearing: May 16, 2016

GENERAL INFORMATION

Petitioner: Christopher Bryant

Property Owner: Christopher and Renee Bryant

Petitioner's Status: Property Owner

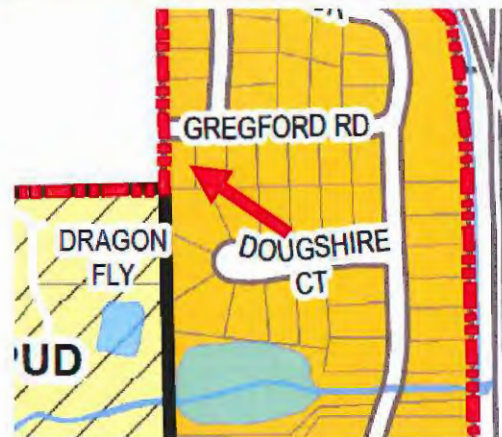
Land Use Plan: Recommends Single-Family Residential Uses

Existing Zoning: R-3 Single Family Residence District

Existing Land Use: Single Family Residence

Site Area: @16,000 square feet

Subdivision: Woodview Estates South



SUMMARY

The petitioner proposes to replace an existing wood fence located on the side lot line. The existing fence is a seven foot tall, solid wood fence that is located in the rear yard, side yard and front yard. The reason for the fence is to provide a screen between the subject property, a single-family residence, and the adjacent park which contains six paddle ball courts located approximately 50 to 60 feet from the common property line. Staff was unable to find any documentation regarding a fence permit or construction of the fence in general.

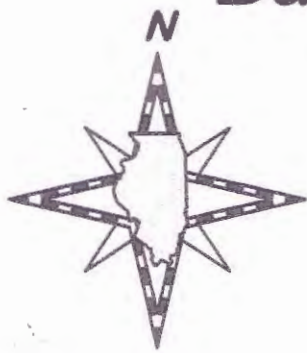
The Zoning Ordinance limits the location of fences to the rear yard, requires that fences be at least 50% open, and limits the height to five feet. Thus, variations are required for the location, the height and the design of the fence.

Findings of Fact and Recommendations

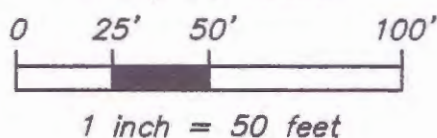
The petitioner has provided findings of fact which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission recommends approval of this petition, the variation should be made subject to the compliance with the submitted plans.

Attached is a table of "fence" variations considered by the Village. Not listed in this report are a few subdivision fences including solid wood fences for the Carriageway Club Subdivision where it abuts industrial property on Tower Drive. Solid wood fences have also been permitted for other subdivisions where they abut non-residential property.

Plat of Survey of Lot 10 in A. E. Fossier and Co.'s Woodview Estates South Burr Ridge, Cook County, Illinois



Graphic Scale



Legend

- Indicates concrete monument
- Indicates iron stake
- Meas. Indicates measured data
- (60') Indicates record data
- Indicates brick surface
- Indicates concrete surface
- x - x - x - x - Indicates fence line
- - - - - Indicates wood fence line

Surveyor's Notes

Fossier and Co.'s Woodview Estates South recorded April 13, 1967 as Document 20108839.

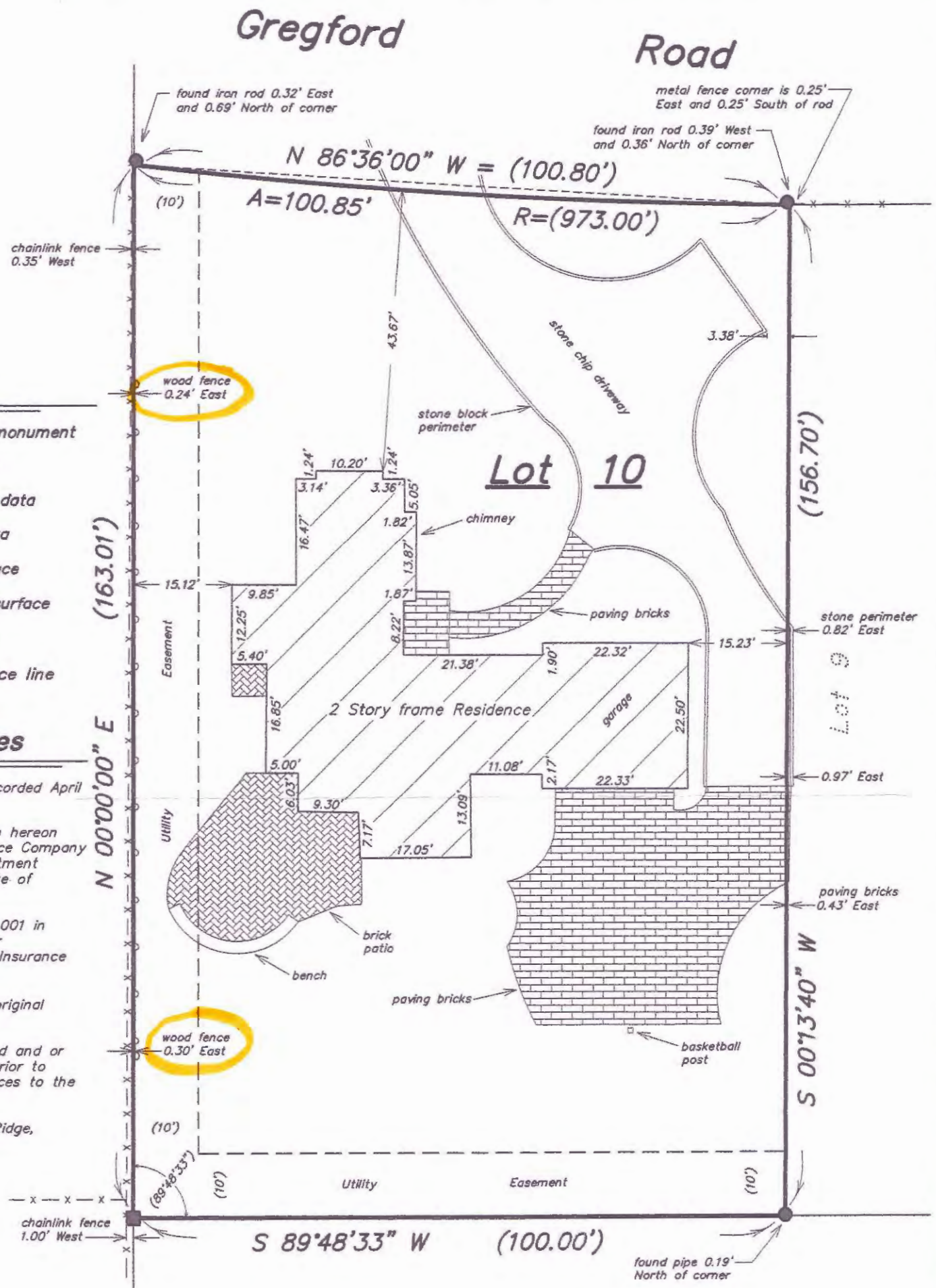
Descriptions, easements and servitudes shown hereon are based upon Fidelity National Title Insurance Company ALTA Commitment for Title Insurance Commitment Number FD-15-1976, having an Effective Date of January 6, 2016.

Parcel Identification reported as 18-18-302-001 in ALTA Commitment for Title Insurance Number FD-15-1976 issued by Fidelity National Title Insurance Company, dated January 6, 2016.

This plat is not valid without the Surveyor's original signature and impressed seal.

Compare the data on this plat with your deed and or Certificate of Title. Also compare all points prior to building by the same and report any differences to the Surveyor immediately.

Common Address: 638 Gregford Road, Burr Ridge, Illinois



State of Illinois)

)ss
County of Kane)

This is to certify that I, Carol Sweet-Johnson, an Illinois Professional Land Surveyor of Johnson-Western Surveying, L.L.C. (Illinois Professional Design Firm No. 184-005518), have surveyed and located the improvements on Lot 10 in Fossier and Co.'s Woodview Estates South, a Subdivision in the Northwest Quarter of the Southwest Quarter of Section 18, Township 38 North, Range 12 East of the Third Principal Meridian in Cook County, Illinois as shown by the plat hereon drawn which is a correct representation of said survey and this professional service conforms to the current Illinois Minimum Standards for a Boundary Survey. All distances are given in feet and decimal parts thereof.

Dated at Geneva, Illinois, February 29, 2016.

Carol Sweet-Johnson

Illinois Professional Land Surveyor No. 3342
License Expiration Date: November 30, 2016

Prepared by:
Johnson - Western Surveying, L.L.C.

A Measure Above the Rest
1 Chain = 66 Feet

Ordered by & Prepared for:
John Knoblock

825 West State Street, Suite 207
Geneva, Illinois 60134
(630) 845-3166 (630) 715-5959 cell
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Field Bk/Page No: 20/69-74	S-T-R:
File Name: 2016-033	Drawn by: MTZ
Directory: Projects/2016-033	Job No.: 2016-033

May 9, 2016

To: Planning Commission / Zoning Board of Appeals
Re V-01-2016 638 Gregford Road

We fully support Mr Bryant in his request for a variation to build a 7' fence on his property's west side. This fence will replace an existing fence which is in some disrepair.

This fence is practically not seen (we had to walk to his property to see the existing fence). It will provide a minimal amount of privacy from the ugly, intrusive platform tennis facility built by Hmsdale within one hundred feet of his property.

We urge a prompt approval of Mr Bryant's request.

Very truly yours.

Ted & Marjorie Allgren
716 Gregford Road

Findings of Fact

Request for Variation from the Village of Burr Ridge Zoning Ordinance Section IV.J for the replacement of a Privacy Fence at 638 Gregford Road with like structure

- a. Given the immediate adjacency of our west property line with Katherine Legge Park and relative proximity to the elevated platform tennis courts therein, a 7-foot solid wood fence was previously erected to insure the privacy of the occupants of our property. If this fence, which is now in disrepair, is allowed to fall without replacement of a similar fence our family will no longer have the privacy afforded to previous owners which is a clear hardship.
- b. The property value would be effected if the current 7-foot solid wood fence is not permitted to be replaced by a similar fence providing the current level of privacy to the occupants
- c. The adjacency of our property to Katherine Legge Park and the proximity to the elevated platform tennis courts is unique to our property and is not generally applicable to other properties within the same zoning classification
- d. We do not seek financial gain through the replacement of the existing fence with a fence of similar construction.
- e. The current ordinance (Regulations for Residential Fences, Village of Burr Ridge Zoning Ordinance – Section IV.J) would not allow for the replacement of the current fence with a like fence and would thus cause the hardship (loss of privacy) and has not been created by any persons presently having an interest in the property located at 638 Gregford Road, Burr Ridge, IL.
- f. The requested variation, to replace the current fence along the west property line with a like fence, would **NOT** be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. The current fence has been present for quite some time and must have pre-dated the current ordinance.
- g. The granting of the variation will **NOT** alter the essential character of the neighborhood or locality. The current fence has been present for quite some time and must have pre-dated the current ordinance.
- h. The proposed variation will **NOT** impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood

Type of fence to be used in replacement of current privacy fence along west property line of 638 Gregford Road segregating property from Katherine Legge Park platform tennis courts





Variation Petitions - Fences & Walls

Village of Burr Ridge Plan Commission

Petition	Address	Petitioner	PC	BOT	Ordinance
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V 02 2016	638 Gregford Dr	Christopher Bryant	5/16/2016		
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Variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard.

V 01 2015	512 Kirkwood Cove	MJ Bennett	9/21/2015 Approval	10/12/2011 Approved	A-834-17-15
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Requests a variation from Section IV.J.b of the Burr Ridge Zoning Ordinance to permit replacement of a wood fence with an aluminum fence in an interior side yard (south side of home) rather than restricted to the rear yard (west side of home).

V 03 2013	8611 Crest Ct	David A. Schulz	6/3/2013 Approval	6/24/2013 Approved	A-834-19-13
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Requests a variation from Section IV.J.1 of the Burr Ridge Zoning Ordinance to permit a fence that exceeds the maximum permitted height of 5 feet.

V 06 2013	2 Carriage Pl	Robert Werr & Mary Slaga	10/21/2013 Approval	11/11/2011 Approved	A-834-33-13
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Requests for a variation from Section IV.I.34 of the Burr Ridge Zoning Ordinance to permit the replacement and expansion of a patio and patio seat wall located less than 10 feet from the interior side (south) lot line rather than the requirement that patios and patio seat walls be located a minimum of 10 feet from an interior side lot line

Z 11 2013	6501 County Line Rd	Dennis Lindell	7/1/2013 Denial	9/9/2013 Denied	A-834-25-13
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Requests a variation to Section IV.J of the Burr Ridge Zoning Ordinance to allow for the construction of a 6 foot tall fence in the front yard, the corner side yard, and the interior side yard of an existing residential property

V 01 2011	15W151 87th St	Prairie Path Pavers	3/7/2011 Approval	3/28/2011 Approved	A-834-07-11
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Requests a variation from Section IV.I.12 of the Burr Ridge Zoning Ordinance to permit a driveway gate on a property with 165 feet of frontage rather than the required 220 feet of frontage for a driveway gate.

V 03 2011	140 Tower Dr	AMS Mechanical	9/19/2011 Withdrawal		
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Requests a variation from Section IV.I.34 of the Burr Ridge Zoning Ordinance to permit a fenced trash dumpster enclosure area in the rear yard but not adjacent to the rear wall of the principal building.

V 05 2011	6545 County Line Rd	Robert Becker	11/7/2011 Approval	11/28/2011 Approved	A-834-33-11
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Requests a variation from Section IV.J of the Burr Ridge Zoning Ordinance to permit a temporary fence in the front yard of a residential property for the purpose of winter-time salt protection.

V 02 2010	11314 79th St	Kane Brothers, Inc	7/19/2010 Approval	5/24/2010 Approved	A-834-05-10
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Requests Variation from Section IV.I.12 of the Burr Ridge Zoning Ordinance to permit the construction of a driveway gate on a property with only 164 feet of street frontage.

Petition	Address	Petitioner	PC	BOT	Ordinance
V 04 2009	504 Ambriance!	Harish Bhatt	10/19/2009 Approval	2/22/2010 Approved	A-834-03-10
Variations from the Burr Ridge Zoning Ordinance: from Section IV.J.a to permit a fence that exceeds the maximum height of 5 feet from grade; from Section IV.J.1.b to permit a fence to be located forward the rear wall of the house rather than the requirement that fences be restricted to the area behind the rear wall of the house; and from Section IV.J.e to permit the use of solid masonry piers as support posts for the fence rather than the requirement that each one foot section of the fence be at least 50% open.					
V 01 2006	11500 German Church Rd	Howard Eggert	2/6/2006 Approval	2/27/2006 Approved	A-834-04-06
Vairation in Fence ordinance to provide 6 foot tall fence, with a privacy, shadowed cedar fence type construction to hide cemetery from neighbors.					
V 04 2006	6201 Grant St	Ellen & Robert Cimala	4/17/2006 Approval	5/8/2006 Approved	A-834-16-06
Variation of erecting a fence that extends nearer corner side lot line than the corner side yard line which is 30 feet in the R-3 district.					
Z 20 2005	15W100 Plainfield Rd	United Church of Christ	10/17/2005 Withdrawal		
Variation per Section VI.J.1 for the erection of a 2 foot aluminum fence at the perimeter of the detached accessory building.					
V 03 2003	628 Camelot Dr	Renee Severa	10/6/2003 Approval	10/27/200 Approved	A-834-21-03
Petitiner is requesting a variation from Section IV.J.1.a & b. of the Zoning Ordinance to allow a fence to extend beyond the front plain of the principal structure.					
V 05 2003	15W210 77th Street	Jim & Juanita Hoselton	10/20/2003 Denial	11/24/200 Approved	A-834-30-03
Petitioners request variation from Section IV.J.1(b) of the Zoning Ordinance to permit a fence that extends further toward the front of the lot than the rear wall of the principal building.					
V 06 2002	6758 Fieldstone Dr	Kevin and Shelley Mead	9/16/2002 Approval	10/14/200 Approved	A-834-20-02
Petitioner requests a variation from Section IV.G.2(a) of the Zoning Ordinance to allow a fence to be installed at a varying distance of 34-44 feet at the rear property line rather than 50 feet as required.					
V 02 2001	8283 Lake Ridge Dr	Dr. Ajaz Alvi	3/5/2001 Denial	3/26/2001 Denied	A-834-12-01
Requests a (construction necessitated) variation from Section IV.J.1 (b) of the Burr Ridge Zoning Ordinance to allow a wrought iron fence to be installed that extends nearer to the corner side lot line than the corner side yard setback line (on 83rd Street), and extends further toward the front of the lot than the rear wall of the principal building.					
V 04 2001	8310 Fars Cove Ct	Roy S. Hall	3/5/2001 Approval	3/26/2001 Approved	A-834-10-01
Also Includes 8330 Fars Cove Ct - PIN 09-36-408-019; The Petitioner requests a variation from Section IV.J.1 (b) of the Burr Ridge Zoning Ordinance to allow a 4 foot high open fence to be constructed in the front yard of two lots, rather than the requirement that the fence be located in the rear yard. APPROVED WITH FOUR CONDITIONS.					

Petition	Address	Petitioner	PC	BOT	Ordinance
V 05 2001	6756 Fieldstone Dr	Ron Vari	4/16/2001 Approval	5/14/2001 Approved	A-834-14-01
Petitioner requests a variation from Section IV.G.2 (a) of the Burr Ridge Zoning Ordinance to allow a 5 foot high wrought iron fence to remain as an obstruction in a through lot at a distance of approximately 34 feet from the rear property line rather than at a distance of 50 feet from the property line as required.					
V 08 2001	8283 Lake Ridge Dr	Dr. Ajaz Alvi	7/16/2001 Approval	8/13/2001 Approved	A-834-24-01
Requests a (construction necessitated) variation from Section IV.J.1 (b) of the Zoning Ordinance to allow a wrought iron fence to be installed 10 feet from the corner side lot line (on 83rd Street) rather than the required 30 feet.					
Z 04 2001	8275 County Line Rd	Frank Vonachen	4/16/2001 Approval	9/24/2001 Approved	A-834-30-01
Requests a variation from Section iv.j.1 of the Burr Ridge Zoning Ordinance to allow a solid fence (wall) ranging in height above grade between 4 to 9 feet and located adjacent to the front and corner side lot lines.					
V 10 1999	8265 Steepleside Dr	Scott & Lynn Magnesen	12/6/1999 No Rec.	1/10/2000 Approved	A-834-3-00
Variation (construction necessitated) from Section IV.G.2 of the Burr Ridge Zoning Ordinance to allow a fence to be adjacent to the rear lot line of a through lot, rather than the requirement that the fence be at least 60 feet from the rear lot line.					
Z 01 1999	7000 North Frontage Rd	Callaghan Associates, Inc.		6/14/1999 Approval	A-834-14-99
Petitioner requests the following variations from the Burr Ridge Zoning Ordinance: (1) a variation from Section XI.C.11 to allow the existing parking lot and landscaping layout including the use of asphalt grindings for the surface of the employee parking areas; (2) a variation from Section XI.C.8 to permit parking in front of the principal building; (3) a variation from Section IV.J.2 to permit a chain-link fence with barbed wire, and (4) a variation from Section IV.E to permit more than one building on a lot.					
V 05 1998	7553 Forest Hill Rd	(Barnes) Rob & Kim Figliulo	7/20/1998 Approval	8/10/1998 Approved	A-834-23-98
Petitioners request a variation from Section IV.I.33.b of the Burr Ridge Zoning Ordinance to permit two brick and stone garden walls, each being 26 feet long and 4 feet high, to be located approximately 32 feet from the corner side yard setback, rather than the required 40 feet as per Section VI.7.a.(1), and the requirement that such walls shall not extend beyond the established building setback line within the buildable area.					
V 08 1998	6400 Hillcrest Dr	Ms. Carla Mitchell	8/17/1998 Withdrawal		
V 02 1997	6992 Fieldstone Dr	Dr. Pongched	3/3/1997 Approval	6/9/1997 Approved	A-454-11-97
Requests a (construction necessitated) variation to allow a solid fence (wall) located forward the rear wall of the house.					
V 09 1997	8310 Fars Cove Ct	Roy S. Hall	8/18/1997 Approval	9/8/1997 Approved	A-834-1-97
A variation from Section IV.J.1.b to permit a fence to be located in the front yards of Lots 1 and 2, rather than the requirement that fences shall not extend forward the rear wall of the principal dwelling.					

Petition	Address	Petitioner	PC	BOT	Ordinance
V 02 1996	8410 Arrowhead Farm Dr	Mr. & Mrs. Vito Mistretta		2/12/1996	A-454-2-96
				Approved	
(construction necessitated) Petitioners request a variation for the Subject Property from Section VI.C-1.8.a of the Burr Ridge Zoning Ordinance to permit a deck to be 44.42 feet from the front lot line (50 feet required) and a variation from Section IV.I.11 of the Burr Ridge Zoning Ordinance to allow a solid fence (i.e. decorative wall) enclosing the deck as shown on the submitted site and elevation plans.					
V 11 1996	15W260 62nd St	Robert & Bernadette Strzyz	11/4/1996	11/25/199	A-454-27-96
			Approval	Denied	
Request a variation for the Subject Property from Section IV.G.2.a of the Burr Ridge Zoning Ordinance to permit an open fence along the rear lot line of a through lot, rather than the requirement that a 30 foot setback shall be provided from the rear lot line of a through lot.					
V 12 1995	9370 Cascade Cir	McNaughton Development agt for Mr. & Mrs. R. Jonas	6/5/1995	6/26/1995	A-454-25-95
				Approved	
Petitioners request a variation for the Subject Property from Section IV.I.11 of the Burr Ridge Zoning Ordinance to permit a decorative fence forward of the front wall of the house in order to create a small rectangular courtyard, rather than the requirement that a decorative fence shall be permitted only extending from the front two corners of the principal building to the side lot lines, at right angles, and parallel, or approximately parallel, to the front lot line.					
V 13 1995	9000 Turnberry Dr	Roger L. & Kathleen M. Longtin		7/10/1995	A-454-27-95
				Approved	
Petitioners request a variation for the Subject Property from Section IV.I.25 of the Burr Ridge Zoning Ordinance to permit a pool to be located in the buildable area to the south side of the house and to permit 5 feet of the pool patio to be located in the south side yard setback, rather than the requirement that a pool be located in the buildable area to the rear of the house or in the required rear yard, but not closer than 10 feet from the lot line, and a variation for the Subject Property from Section IV.I.10 of the Burr Ridge Zoning Ordinance to permit the required fence surrounding the pool to be approximately 35 feet forward of the rear wall of the house on the south side, rather than the requirement that a fence shall extend no further toward the front of the lot than the rear wall of the principal building.					
V 01 1994	112-136 Carriage Way Dr	Carriage Way Condominiums	2/7/1994	2/28/1994	A-454-5-94
			Approval	Approved	
Variations to permit a seven foot tall, solid fence on the south side of Carriage Way Condo. Property, adjacent to Tower Dr. industrial properties, rather than 5 foot tall, 50 percent open fence.					
V 19 1994	703 Ambriance	Hunter & Jeannie Harrison	12/5/1994	1/9/1995	A-454-1-95
				Approved	
Petitioners request a variation for the Subject Property from Section IV.I.10 of the Burr Ridge Zoning Ordinance to permit a fence to extend forward of the rear wall of the house to the front wall at the southeast corner and on the west side approximately 23 feet forward of the rear wall of the house, rather than extending no further forward than the rear wall of the house.					
V 04 1993	124 Kraml Dr	Thomas Zurowski for owners Randy & Susan Jahn	6/21/1993	7/12/1993	A-454-11-93
			Approval	Approved	
Petitioner requests a variation to permit an existing decorative fence (guard wall) 3 feet in height to be located on the north side of the house, adjacent to the basement stair well, rather than the maximum of 2.5 feet in height and only extending from the front two corners of the principal building to the side lot lines. The Petitioner is seeking to permit an existing guard wall around the stair well to the basement to remain.					

Petition	Address	Petitioner	PC	BOT	Ordinance
V 06 1993	6401 County Line Rd	John Schmidt	9/7/1993 Approval	9/27/1993 Approved	A-454-16-93

(construction necessitated) Petitioner requests the following variations:

- 1) a variation to permit a fence to be located forward of the rear wall of the principal building rather than behind the rear wall of the principal building as required by Section IV.I.4 of the Burr Ridge Zoning Ordinance;
- 2) a variation to permit a fence to be located in the front and corner side yard abutting the west and south property lines (Plainfield and County Line Roads), rather than fences not extending nearer to the corner side lot line than the corner side yard line as required by Section IV.I.4. of the Burr Ridge Zoning Ordinance;
- 3) a variation to permit a portion of the fence to be a six foot, solid cedar fence, rather than a five foot, fifty percent open fence as required by Section IV.I.4. of the Burr Ridge Zoning Ordinance; and
- 4) a variation to permit a portion of the fence to include chain link, whereas Section IV.I.4. of the Burr Ridge Zoning Ordinance prohibits chain link fences.

V 07 1993	732 Gregford Dr	Jerald Allen Jones		10/11/1999	A-454-17-93
			Denial	Denied	

Petitioner requests variations to permit a 2-1/2 foot high post and rail fence to be located forward of the rear wall of the house on the west side of the house.

V 07 1993	732 Gregford Dr	Jerald Allen Jones	9/20/1993 Approval	10/11/1999 Approved	A-454-17-93
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Petitioner requests variation to permit a 2-1/2 foot high post and rail fence to be located along the corner side lot line. Companion request to allow the fence to be forward the rear wall of the house was denied (see separate data entry).

V 09 1993	9204 Fallingwater Dr E	Raymond & Denita Baldi	10/18/1993 Approval	10/25/1999 Approved	A-454-19-93
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Petitioners request a variation to permit a fence to encroach a maximum of 18 feet into the corner side yard setback in order to secure an existing pool.

V 11 1993	11500 German Church Rd	Trinity Lutheran Church	11/1/1993 Approval	11/8/1993 Approved	A-454-20-93
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Petitioner is requesting a variation to permit a six (6) foot high solid fence to be located along the north and east property lines adjacent to the church cemetery and also along the south portion of the cemetery, rather than the permitted five (5) foot high, fifty percent open fence.

Z 01 1993	15W531 89th St	Salvino, Kevin & Colleen	2/15/1993 Approval	5/10/1993 Approved	A-454-10-93
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Petitioner requests a variation to allow an existing 4 foot, wooden-rail fence on the front property line, rather than no farther forward than the rear wall of the house as required by the Zoning Ordinance.

V 01 1992	8449 Omaha Dr	Mr. & Mrs. William J. Phillips	2/3/1992 Approval	2/24/1992 Approved	A-454-2-92
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Petitioner is requesting variations to permit the installation of decorative fences to (1) encroach 11 feet into the front yard setback, ranging in height from 12 feet at the building to 4 feet 6 inches, rather than the maximum height of 2 feet 6 inches permitted by the Burr Ridge Zoning Ordinance; and (2) to extend 17 feet from the interior house corner to the center of the lot, ranging in height from 8 feet at the building to 4 feet, rather than the maximum height of 2 feet 6 inches permitted by the Burr Ridge Zoning Ordinance.

Petition	Address	Petitioner	PC	BOT	Ordinance
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V 12 1992	7810 Circle Dr	Pamela Theriault & Mary Haubenreiser	10/5/1992 Approval	10/26/199 Approved	A-454-21-92
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Petitioners are requesting a variation to permit the fence on the southwest side of the house to extend from the front corner of the house, rather than no further toward the front of the lot than the rear wall of the principal building as required by Section IV.I.10 of the Burr Ridge Zoning Ordinance, and to permit the fence to extend along the south lot line (which adjoins an unimproved right-of-way), rather than no closer to the corner side lot line than the corner side yard line as required by Section IV.I.10 of the Burr Ridge Zoning Ordinance.

V 13 1992	6501 Elm St	Bertha Holub	11/2/1992 Approval	11/9/1992 Approved	A-454-22-92
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Petitioner is requesting a variation to permit the installation of a six (6) foot high wrought iron fence rather than the maximum permitted height of five (5) feet, and also to allow the fence to be located along the entire front property line rather than the requirement under Section IV.I.10 of the Burr Ridge Zoning Ordinance that the fence be located no farther toward the front of the lot than the rear wall of the house.

V 15 1992	6747 Fieldstone Dr	Stephen Burke	11/16/1992 Denial	1/25/1993 Denied	A-454-4-93
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Petitioner requests a variation to permit a fence along the entire perimeter of the lot, including extending forward of the rear wall of the house, rather than the fence being permitted to extend no further toward the front of the lot than the rear wall of the principal building as required by Section IV.I.10 of the Burr Ridge Zoning Ordinance.

V 16 1992	7921 Madison St	Greg & Susanna Donnelly	11/16/1992 Approval	12/14/199 Approved	A-454-26-92
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Petitioners are requesting a variation to permit the installation of a six (6) foot high solid fence rather than the permitted five (5) foot high, fifty percent open fence and also to allow the fence to be located along the south lot line extending forward of the rear wall of the principal building rather than the requirement under Section IV.I.10 of the Burr Ridge Zoning Ordinance that the fence be located no farther toward the front of the lot than the rear wall of the house. BOARD APPROVED FIVE (5) FOOT SOLID FENCE WITH TWO CONDITIONS.

Z 04 1992	15W773 79th St.	Village of Burr Ridge		4/13/1992 Approval	A-454-6-92
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Requests variation for a 4X6 ft. wood fence in front of the house, rather than the type of fence allowed by Sec. IV.I.10 of the Zoning Ord., subject to the fence being removed within 10 years or when 50% or more of the fence is repaired or replaced, whichever occurs first.

Z 04 1992	7921 Madison St.	Village of Burr Ridge	3/16/1992 Approval	4/13/1992 Approved	A-454-6-92
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Request for variation to permit a 6 ft. high solid fence that extends farther forward than the rear wall of the house, rather than the type of fence allowed by Sec. IV.I.10 of the Zoning Ord., subject to the fence being removed within 10 years or when 50% or more of the fence must be repaired or replaced, whichever occurs first.

Z 04 1992	15W749 79th St.	Village of Burr Ridge	3/16/1992 Approval	4/13/1992 Approved	A-454-6-92
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Requests variation to permit a fence to extend forward of the rear wall of the house rather than the type of fence allowed by Sec. IV.I.10 of the Zoning Ord., subject to the condition that the portion of the fence which is forward be removed within 10 years or when 50% or more must be repaired or replaced, whichever comes first.

Z 04 1992	15W773 79th St.	Village of Burr Ridge	3/16/1992 Approval	4/13/1992 Approved	A-454-6-92
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Requests variation for a fence farther forward than the rear wall of the house as limited by Sec. IV.I.10 of the Zoning Ord., subject to the fence being removed within 10 years or when 50% or more of the fence is repaired or replaced, whichever occurs first.

Petition	Address	Petitioner	PC	BOT	Ordinance
Z 04 1992	15W773 79th St.	Village of Burr Ridge	3/16/1992 Approval	4/13/1992 Approved	A-454-6-92
Requests variation for a chain link fence, rather than the type of fence allowed by Sec. IV.I.10 of the Zoning Ord., subject to that fence being removed within 10 years or when 50% or more of the fence is repaired or replaced, whichever occurs first.					
V 02 1991	301 Kirkwood Cove	Louis Pileggi	6/17/1991 Approval	6/24/1991 Approved	A-454-12-91
Petitioner is requesting a variation to permit the replacement of the existing fence in its current location which extends the fence to the front wall of the house on its western side, rather than the requirement under Section IV.I.10 of the Burr Ridge Zoning Ordinance that the fence not extend any farther forward than the rear wall of the house. (corner lot at 83rd St and Park Ave)					
V 05 1991	160 Circle Ridge Dr	John S. Rinehart	9/16/1991 Approval	10/14/199 Approved	A-454-18-91
Petitioner is requesting a variation to permit the installation of a decorative fence to be located approximately three feet, two inches in front of the house and extending approximately 13 feet, two inches in an easterly direction in front of the front entry, rather than the requirement under Section IV, I, 11 of the Burr Ridge Zoning Ordinance that the fence only extend from the front two corners of the principal building to the side lot lines, at right angles, and parallel or approximately parallel, to the front lot line.					
V 06 1991	9080 Turnberry Dr	Randall & Sharon Smith	9/16/1991 Approval	10/14/199 Approved	A-454-19-91
(construction necessitated) Petitioner is requesting variations to permit the construction of a fence which would extend 12.5 feet forward of the rear wall of the house on the north side (hereinafter referred to as the "North Side Variation" and to extend to the lot line adjoining 91st Street (corner side lot line) on the south side (hereinafter referred to as the "91st Street Variation").BOARD APPROVED "NORTH SIDE VARIATION" AND THE "91st STREET VARIATION" MAY CONTINUE AS A NONCONFORMING USE WITH RESTRICTIONS.					
V 09 1990	15W660 79th St	Dove International	Withdrawal Withdrawn		
Notation on outside of petition envelope - "Incorrect Request, Close File".					
V 05 1989	1109 Woodview Rd	Mr. & Mrs. Weber	8/21/1989 Approval	9/11/1989 Approved	A-454-16-89
Variation to permit construction of a solid fence and an increased height of 84 inches rather than the required 50% open fence construction and 48 inch height limitation as provided in Section IV,I,10 of the Burr Ridge Zoning Ordinance.					
V 05 1988	8400 County Line Rd	Robert & Debra Corrigan	8/1/1988 Denial	8/22/1988 Denied	A-454-15-88
Variation from Section IV.I.10 of the Zoning Ordinance to (1) permit a closed fence; (2) that exceeds the five foot height limit; and (3) with a portion of the fence extending forward the rear wall of the house.					
V 08 1988	10S676 Glenn Dr	LeRoy & Marsha Long	10/17/1988 Approval	11/14/198 Approved	A-454-20-88
Variation to allow a fence to be 6.56 feet from the corner side lot line rather than ther required 40 feet.					

Petition	Address	Petitioner	PC	BOT	Ordinance
V 11 1988	140 Tower Dr	Federal Sign	2/20/1989 Denial	3/13/1989 Denied	A-454-2-89

Variations from the Zoning Ordinance of the Village of Burr Ridge as follows:

- (1) to permit outside storage on the property not exceeding 41 percent of the building area on the property (it otherwise would be prohibited entirely under Section VIII,B,1 of the Zoning Ordinance);
- (2) to permit the construction of a chain link fence in lieu of a solid fence and allow it to be 8 feet tall plus 12 inches of barbed wire for a total height of 9 feet;
- (3) to permit a side yard of 33 feet for the fence rather than the required 40 feet.

V 10 1987	8495 Dolfor Cove	Marvin & Kathleen Wilson	8/17/1987 Approval	9/14/1987 Approved	A-454-23-87
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Requests a variation from Section IV.I.10 of the Zoning Ordinance to allow a fence to encroach four feet into the corner side yard setback.

V 10 1986	101 Carriage Way	Kenneth Glomb	6/2/1986 Denial	Withdrawn	
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Requests a variation from Section IV.I.10 of the Zoning Ordinance to permit a fence to extend to the corner side lot line rather than the corner side yard setback line and to permit the fence to extend forward the rear wall of the house to a point approximately 25 feet from the front wall.

V 14 1986	240 Shore Dr	Roy Houff and Company	8/18/1986 Approval	9/8/1986 Approved	A-454-27-86
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Requests a variation to allow the construction of a 72 inch high chain link fence in the interior side and rear yards along the north and west property lines to enclose a portion of the parking lot.

V 02 1985	8223 Garfield Ave	William Van Hoegarden			
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10/11/85 Letter to the Board - "This Zoning Board did not vote on this matter because they felt we shouldn't comment on this case since we have no jurisdiction on the fence moratorium."

10/15/85 Memo from Village Administrator to Building Commissioner - "At their October 14 meeting, the Board of Trustees voted to waive the application of the moratorium provisions and to allow the existing Zoning Ordinance provisions to prevail in the case of the fence proposed by Mr. & Mrs. William Van Hoegarden."

V 02 1985	8223 Garfield Ave	William Van Hoegarden	Withdrawal	Withdrawn	
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Requests a variation to allow a 6 foot high solid fence rather than the requirement that fences be open and not exceed 5 feet. The fence is located adjacent to the rear and corner side lot (83rd St) lines. The petition was withdrawn and the fence was made to be open and to comply with the 5 foot height restriction.

V 05 1985	6330 County Line Rd	Harbour Contractors, Inc. (for Donald Kelly)	12/2/1985 Approval	2/24/1986 Approved	A-454-5-86
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Variation to permit the construction of a seven (7) foot open fence instead of a five (5) foot fence from the provisions of Section IV.I.10 of the Burr Ridge Zoning Ordinance.

V 04 1984	6116 County Line Rd	Casimir J. Dolemba	9/14/1984 Approval	9/24/1984 Approved	A-454-4-84
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Requests a variation to allow an open fence six feet in height with gate centers graduating to 7 feet in height rather than the requirement that fences not exceed five feet in height.

Petition	Address	Petitioner	PC	BOT	Ordinance
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V 12 1983	158 Tomlin Cir	Illinois Service Corporation			
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No Recomm Denied

Wing wall into side yard. According to the Minutes of the Board of Trustees for January 23, 1984 the variation request was Denied. Unable to locate an Ordinance Denying this variation.

V 03 1975	8100 Park Ave	Ben & Carole Bartolini	4/7/1975	5/19/1975	A-25-5-75
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Approval Approved

Variation in Section IV-I-11, 19 and 24 of the provisions of the Burr Ride Zoning Ordinance of March 8, 1965, as amended, to allow: 4 ft. 4 in. wing walls the full height of the front structure (12 ft. 8 in.) extending North into the 30 ft. required front yard, South from the garage into the 47 ft. rear yard (previously approved as a variation) and North off the garage into the 47 ft. side-front yard.



VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527
(630) 654-8181 • Fax (630) 654-8269 • www.burr-ridge.gov

Mickey Straub
Mayor

Karen J. Thomas
Village Clerk

Steven S. Stricker
Village Administrator

April 28, 2016

NOTICE OF PUBLIC HEARING

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

1. **V-02-2016: 638 Gregford Road**; the Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Christopher Bryant for variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard. The petition number and property address is **V-02-2016: 638 Gregford Road** and the Permanent Real Estate Index Number is: **18-18-302-001**.

A public hearing to consider this petition is scheduled for:

Date: Monday, May 16, 2016
Time: 7:30 P.M. or as soon thereafter as the matter may be heard.
Location: Village of Burr Ridge
Board Room
7660 South County Line Road
Burr Ridge, IL 60527

Additional information is on file and available for public review at the Burr Ridge Village Hall or contact:

Doug Pollock, Community Development Director
(630) 654-8181 ext. 3000
dpollock@burr-ridge.gov

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.



V-02-16
Sent 4-28-
16

DPT Sport, P.C.
6101 County Line Rd #57
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. Gene Klimek
6101 County Line Rd 5
Burr Ridge, IL 60527
PIN: 18183000120000

Ms. Kathryn Ritter
6101 County Line Rd 2
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. & Mrs. Steve Booker
638 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020010000

Ms. Heather Harris
6101 County Line Rd 4
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. & Mrs. Jeffery Rumph
646 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020020000

Vacant
6101 County Line Rd 7
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. & Mrs. L. Marcheschi
700 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020030000

Mr. Aaron Torres
6101 County Line Rd 6
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. & Mrs. David Baran
701 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183030040000

Mr. & Mrs. Tom Walsh
708 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020040000

Mr. & Mrs. James Lawrence
725 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183030010000

Mr. & Mrs. Thomas Hale
709 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183030030000

Mr. & Mrs. Thomas Kern
732 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020070000

Mr. & Mrs. Ted Ahlgren
716 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020050000

Mr. & Mrs. James Sokol
1300 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030090000

Ms. Jean Stachowiak
717 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183030020000

Mr. & Mrs. Doppke
1301 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181070190000

Ms. Angela Marie Lavilli Arrieta
724 Gregford Rd
Burr Ridge, IL 60527
PIN: 18183020060000

Mr. & Mrs. Jose Gonzalez
1308 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030100000

Mr. & Mrs. Joseph Giammanco
1309 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181070180000

Mr. & Mrs. Thomas McCarthy
1339 Laurie Ln
Burr Ridge, IL 60527
PIN: 18183030050000

Mr. & Mrs. David Allen
1316 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030110000

Mr. & Mrs. Thomas Parrott-Sheffer
1340 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030140000

Mr. & Mrs. Harvey Bergholz
1324 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030120000

Mr. & Mrs. Mangan-King
1348 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030150000

Mr. & Mrs. J. Tockston
1331 Laurie Ln
Burr Ridge, IL 60527
PIN: 18183030060000

Mrs. L. Broucek
700 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183030070000

Mr. & Mrs. John Harrell
1332 Laurie Ln
Burr Ridge, IL 60527
PIN: 18181030130000

Mr. & Mrs. Joseph Yopp
708 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183030080000

Mrs. Donald Vechiola
715 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021001

Ms. Michelle Balich
723 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021005

Mr. & Mrs. Craig Griffith
716 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183030090000

Mr. & Mrs. Harry Richards
724 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183030110000

Mr. & Mrs. Kenneth Bernhard
717 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021002

Mr. Terrence Shakon
725 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021006

VACANT
719 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021003

Mr. & Mrs. Stan Kimont
727 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021008

Ms. Anna Maria Brotto
721 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021004

Mr. & Mrs. Gilbert Welch
729 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021007

VACANT
731 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021009

Ms. E. Wendy Adams
739 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021013

Mr. & Mrs. Thomas Manfre*
732 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183030100000

Mr. & Mrs. John Mlsna
741 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021012

Dr. Richard Saavedra
733 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021010

Mr. & Mrs. Stan Peters
743 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021015

Mr. & Mrs. Tom Rodden
735 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021011

Mr. Mike McGreal
745 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021016

Mr. & Mrs. Ernest Miller
737 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021014

Mr. & Mrs. Perion
747 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021017

Mr. & Mrs. Kee-Chul Chang
749 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040021018

Mr. & Mrs. Randall Johnston
28 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020180000

Ms. Yongli Cao & Mr. Jijun Feng
11 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020080000

Mr. & Mrs. Samir Undevia
35 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020110000

Mr. & Mrs. Chester. Miller
16 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020190000

Mr. & Mrs. Richard Gehlmann
36 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020170000

Mr. Sanjeev Singh
19 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020090000

Ms. Kathleen O'Connell
43 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020120000

Mr. Brett Blacher & Ms. Pam Brosnan
27 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020100000

Mr. Mazen Asbahi & Ms. Lena Shahbandar
44 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020160000

Mr. & Mrs. Jack Mossburg
51 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020130000

Mr. & Mrs. Neal O'Connor
1413 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040030000

Mr. & Mrs. L. Michet
52 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020150000

Mr. & Mrs. Gazi Rimawi
1419 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183040040000

Mr. & Mrs. A.J. O'Leary
60 Dougshire Ct
Burr Ridge, IL 60527
PIN: 18183020140000

Mr. & Mrs. Mike Maley
1424 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183020200000

Mr. & Mrs. Stuart Heyes
1401 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183010080000

Mr. Joseph Paganessi
1432 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183020210000

Dr. & Mrs. Gregorio Dy
1407 Tomlin Dr
Burr Ridge, IL 60527
PIN: 18183010090000

Mr. & Mrs. William Frwmark
101 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Richard Traut
102 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Rev. & Mrs. Dudley Stroup
107 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Vacant
103 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Roy Stears
108 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Betty Trainor
104 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. George Callantine
109 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Mary Baldwin
105 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Bernard Hester
110 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Vashti Johnson
106 Buttercup Bank
Burr Ridge, IL 60527
PIN: 18183000130000

Mrs. Ly Hotchkin
111 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Richard Pinto
112 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

King-Bruwaert House
6101 County Line Rd
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. & Mrs. Don Gralen
113 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. Charles Brickman
135 Daisy Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Robert Hickey
114 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Dorothy & Ms. Barbara Sandy
137 Daisy Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mrs. Russell Parsons
115 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. G. William Cotts
139 Daisy Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Thomas Meagher
116 Clover Meadow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. John Jacus
118 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Mrs. Donna Born
120 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. John Paro
130 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Vacant
122 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Martin Jahn
134 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. William Gray
124 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Don Hind
141 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Adele Mayer
126 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Helen Mehler
143 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Richard Myers
128 Dragonfly
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Lloyd Palmer*
145 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Garth Smith
147 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Dr. & Mrs. John Halasz
157 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Jack Foster
149 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Alden Orput
159 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Peter Von Eshen
151 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

VACANT
161 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Jim Nerad
153 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Logan Johnston
163 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Vacant
155 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. C. Foster
165 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Joanne Pringle**
167 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. W. Joan Hurst
177 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Rinder
169 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Vacant
179 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. Joseph Chandler & Ms. Joan Ward
171 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Gail Elmore
181 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Leslie Sandy
173 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Ron Wshleman
183 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. William Sutton
175 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. David Chiang
185 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mrs. Odette Van Singel
187 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Decker
196 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Noel Johnston
189 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Ms. Barbara Clarke
198 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. Robert Dederick
190 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. Addison Hoof
200 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

Mr. & Mrs. David Bossert
192 Pheasant Hollow Dr
Burr Ridge, IL 60527
PIN: 18183000130000

Vacant
6101 County Line Rd Cottage 3
Burr Ridge, IL 60527
PIN: 18183000120000

Mr. & Mrs. Richard Low
194 Pheasant Hollow
Burr Ridge, IL 60527
PIN: 18183000130000

ADD LABEL FOR:

{ 5901 COUNTY LN RD
HINSDALE, IL 6052
HINSDALE PARKS & REC.



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ORDER CONFIRMATION (CONTINUED)

Salesperson: LORI PLESE

Printed at 04/27/16 17:05 by lples

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Ad #: 1182471

Status: N

LEGAL NOTICE

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing at the following time on Monday, May 16, 2016, at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois 60527.

1. At 7:30 p.m. or as soon thereafter as the matter may be heard, the Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Christopher Bryant for variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard. The petition number and property address is V-01-2016: 638 Greatford Road and the Permanent Real Estate Index Number is: 18-18-302-001.

2. At 7:30 p.m. or as soon thereafter as the matter may be heard, the Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Weekley Homes, LLC d.b.a. David Weekley Homes for rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District with a variation from or an amendment to Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 75 single-family homes with private streets and with floor areas ranging from approximately 2,100 square feet to 3,400 square feet. The petition number and property address is Z-07-2016: 1400 Burr Ridge Parkway and 11650 Bridewell Drive and the Permanent Real Estate Index Numbers are: 18-30-300-025 and 18-30-303-016.

The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

GREG TRZUPEK
CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN GRUNSTEN, LUISA HOCH, ROBERT GRELA, GREGORY SCOTT, MARY PRAXMARER, AND JIM BROLINE.

April 29, 2016
Hinsdale Suburban Life 1182471

- Should be V-02-16

SHAW MEDIA
PO BOX 250
CRYSTAL LAKE IL 60039-0250

ORDER CONFIRMATION

Salesperson: LORI PLESE

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Ad #: 1182471

Status: N

VILLAGE OF BURR RIDGE
7660 COUNTY LINE RD
BURR RIDGE IL 60527

Start: 04/29/2016 Stop: 04/29/2016
Times Ord: 1 Times Run: ***
LEG 3.00 X 40.00 Words: 382
Total LEG 120.00
Class: 8100 PUBLIC NOTICES
Rate: LEGAL Cost: 173.40
Affidavits: 1

Contact: CAROLYN SANDERSON
Phone: (630)654-8181ext
Fax#:
Email: csanderson@burr-ridge.gov
Agency:

Ad Descrpt: NOTICE HEARING 5/16
Given by:
Created: lples 04/27/16 16:58
Last Changed: lples 04/27/16 17:05

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WES CL 99 S 04/29
APNW CL 97 S 04/29

(CONTINUED ON NEXT PAGE)

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GREG TRZUPEK
CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN GRUNSTEN, LUISA HOCH, ROBERT GRELA, GREGORY SCOTT, MARY PRAXMARER, AND JIM BROLINE.

*Should
be
V-02-16*

Carolyn Sanderson

From: Carolyn Sanderson
Sent: Tuesday, April 26, 2016 3:37 PM
To: publicnotice@mysuburbanlife.com
Cc: Douglas Pollock
Subject: LEGAL NOTICE FOR 4/29/16
Attachments: 2016-05-16 Legal Notice.docx

Hi Lori:

Good afternoon – sorry I'm late! Can you please run the attached Legal Notice in the Suburban Life for this Friday's (April 29, 2016) Hinsdale/Burr Ridge edition? Please send confirmation upon receipt.

If you have any questions, please feel free to contact me. Thank you for your help and have a great day! ☺

Carolyn Sanderson
Community Development Assistant
Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527
csanderson@burr-ridge.gov
Tel: (630) 654-8181 - ext. 3030
Fax: (630) 654-8269



**VILLAGE OF BURR RIDGE
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT AND SUMMARY**

Z-07-2016: 11650 Bridewell Drive and 1400 Burr Ridge Parkway (Weekley); Requests rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District with a variation from or an amendment to Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 75 single-family homes with private streets and with floor areas ranging from approximately 2,100 square feet to 3,400 square feet.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals
Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP
Community Development Director

Date of Hearing: May 16, 2016

GENERAL INFORMATION

Petitioner: Weekley Homes, LLC, d.b.a.
David Weekley Homes

Property Owner: PB and J XXXIX, LLC and Burr
Ridge Key Property, LLC

**Petitioner's
Status:** Contract Purchaser

Land Use Plan: Recommends Office Uses

Existing Zoning: O-2 Planned Unit Development

Existing Land Use: Vacant Land

Site Area: 22.5 Acres

Subdivision: Burr Ridge Corporate Park



SUMMARY

The subject property consists of two parcels both within the Burr Ridge Corporate Park. The petitioner has contracts to purchase the properties and is seeking rezoning and a Planned Unit Development (PUD) to build 75, detached, single-family clustered homes on private streets.

Two types of homes are proposed; the homes referred to as “traditional” would be two stories with front loaded garages and range from 2,431 to 3,237 square feet in floor area. There would be four different traditional home models.

The “courtyard” homes would be two stories with rear loaded garages and range from 2,671 to 3,671 square feet in floor area. There would be three different courtyard home models.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Burr Ridge Comprehensive Plan, particularly the 2005 amendment to the Burr Ridge Park Sub-Area Plan, recommends that development of areas within the Burr Ridge Corporate Park but outside of the four block downtown area, should remain used or planned for office development. The proposed development would deviate from the Comprehensive Plan and, therefore, concurrent with this public hearing for zoning, the Village will need to consider an amendment to the Comprehensive Plan that considers designating this property for residential use. That consideration is on this same agenda and a separate staff summary is provided.

COMPLIANCE WITH THE ZONING ORDINANCE

The petitioner proposes to rezone the subject property to the R-5 District which permits clustered, single-family detached dwellings. The petitioner also seeks a variation or a text amendment to permit a Planned Unit Development on a property that is 22.5 acres rather than the required minimum of 40 acres. A Planned Unit Development is requested to accommodate the subdivision of the property with private streets and with other modifications from the bulk regulations of the Zoning Ordinance. Those modifications are as follows:

Section IV.H.4 - Minimum Lot Size Requirements: For single-family clustered homes, the minimum lot area is 5,000 square feet and the minimum lot width is 50 feet. The proposed cluster homes would be situated on building pads with common space between the homes. The following calculations for lot area and lot width include the common areas between homes and the common areas in front and behind the homes (split half and half where appropriate).

	Lot Area (square feet)		Lot Width	
	Required	Proposed	Required	Proposed
Traditional Homes	5,000	5,750	50'	50'
Courtyard Homes	5,000	3,230	50'	34'

Using a total of 36 traditional homes and 39 courtyard homes, the average lot size is 4,440 square feet. All of these numbers are based on the typical configuration. The petitioner should calculate the actual numbers based on the deviations from the typical.

Section IV.H.8 - Yard Requirements: The following is the required and proposed front, side and rear yard setbacks:

	Front		Side (separation between buildings)		Rear (separation between buildings)	
	Required	Proposed	Required	Proposed	Required	Proposed
Traditional Homes	40'	18'	10'	10'	60'	43'
Courtyard Homes	40'	12'	10'	6'	60'	N/A

Section IV.H.8.c - Transitional Yard Requirements: Where a property in the R-5 District abuts a different zoning district or different subdivision, the Zoning Ordinance requires a minimum transitional yard of 50 feet. The distance between the current Commonwealth Avenue right-of-way and the proposed buildings is 49.5 feet. The required 50 foot transitional yard would be in addition to any rear yard space provided for patios or other accessory structures.

COMPLIANCE WITH THE SUBDIVISION ORDINANCE

The Planned Unit Development process combines the zoning and subdivision reviews. Thus, the approval of a preliminary PUD includes the approval of a preliminary plat of subdivision. The combining of the zoning and subdivision process in a PUD is intended to allow the subdivision infrastructure to be designed based on the specific needs of the land use. Nonetheless, it is appropriate to outline the modifications to the standard subdivision regulations for a PUD. Those modifications include the following:

Section VIII.C.3 - Access to Right-of-way Required: All lots must have access to a public street except that the Board of Trustees may approve private streets that are built to public street standards.

Section VIII.C.7 - Alleys: Alleys are not permitted for residential subdivisions. The proposed "autocourt" functions as an alley providing vehicular access to the rear loaded garages for the courtyard units.

Section VIII.C.11 - Dedication of Contiguous Rights of Way: All streets adjacent to a subdivision are required to be provided with the required minimum right-of-way width. The adjacent Burr Ridge Parkway and Bridewell Drive have full width rights of way. The adjacent Commonwealth Avenue is a local street with a 40 foot right-of-way rather than the required 60 feet. Thus, a 20-foot dedication of right-of-way is required for Commonwealth Avenue.

Section VIII.C.9 - Half Streets: A half street improvement is required for any adjacent streets that are not currently built to the standards of the Subdivision Ordinance. Commonwealth Avenue is an under-improved street (i.e. no curb, gutter, or sidewalk). Thus, a half street improvement is required consisting of a minimum of 20 feet of pavement width and a curb, sidewalk, and parkway trees on the adjacent side of the street.

Section VII.G.6 - Through Lots: Through lots are not permitted except where backing up to a thoroughfare. The proposed lots adjacent to Commonwealth Avenue are through lots that back up to a local street.

Section VII.D.1 - Required Right-of-way Width: The proposed subdivision consists of private streets which would all be classified as local streets. Local streets are required to be within a 60

foot right-of-way or private street easement. The proposed streets are generally within a 44 foot easement.

Section VIII.D.2.f - Roadway Pavement: Local streets are required to be provided with a B6:12 curb. While some curbing is proposed to be the B6:12 barrier curb, some of the curbs are proposed to be M3:12 curbing which is a mountable curb.

Section VIII.I - Public Sidewalks and Pathways: Sidewalks are required on both sides of all streets within the subdivision and on the adjacent side of any adjacent streets unless a donation in lieu of the required sidewalks are approved by the Board of Trustees after a recommendation from the Pathway Commission. The only required sidewalks that are not being provided are on the south side of the main entrance drive, in front of the homes that back up to Commonwealth Avenue and on Commonwealth Avenue. The sidewalks will be presented to the Pathway Commission at a later date. It should also be noted that all sidewalks and pathways are required to be concrete.

Section IX.G - Subdivision Fences and Entryway Monuments: Fences and entryway monuments are proposed throughout the development. In order to expedite the preliminary PUD review, it is recommended that the review of these features be postponed until such time that final PUD plans are submitted.

ZONING HISTORY

The subject property consist of two parcels. Each of the two parcels are within existing but separate Planned Unit Developments. The parcel referenced as 1400 Burr Ridge Parkway is 2.5 acres in area and is located at the corner of Burr Ridge Parkway and Bridewell Drive. The remaining 20 acre parcel is referenced as 11650 Bridewell Drive.

The 1400 Burr Ridge Parkway parcel is within the Marriott Hotel Planned Unit Development. That PUD (Ordinance #A-834-22-98) consists of two lots with the Marriott Hotel being one lot and the subject 2.5 acres being the other lot. The Marriott Hotel PUD permits a 20,000 square foot office building on the 2.5 acre property.

The Marriot Hotel PUD also requires that the driveway at the north end of the hotel property be reconfigured to accommodate future access to the subject 20 acre property. The specific text reads:

At such time the adjacent parcel to the east is developed and if so requested by the Village of Burr Ridge, the petitioner shall dedicate a minimum 60 foot wide public right-of-way centered on the existing median break on Burr Ridge Parkway. Said right-of-way shall provide access from Burr Ridge Parkway to the east parcel and shall only be required if compensatory parking will be provided on the east parcel contiguous to Lots 8, 9, and 10 in an amount equal to the reduction of parking resulting from the dedication of right-of-way. Improvement of said right-of-way and construction of the additional parking shall be completed at the expense of others or this condition shall be void.

The petitioner, David Weekley Homes, proposes to take advantage of this PUD requirement and reconfigure the north end of the parking lot to provide for a private street that access both the proposed residential subdivision and the existing hotel parking lot. Additional parking will be constructed for the Marriott Hotel in an amount equal to the parking that is removed.

The parcel referenced as 11650 Bridewell Drive includes 20 acres and was designated as a Planned Unit Development in 2008 (Ordinance #A-834-15-07). The Monarch\Grace PUD approved three, three-story office buildings with a combined floor area of 198,000 square feet.

Prior to the 2007 PUD, the 11650 property was designated as a Planned Unit Development for senior housing including skilled care facilities, assisted living units, and independent living units with 248 living units and a total of 415,000 square feet of floor area.

There were also failed or aborted attempts to rezone the 20 acre property for townhomes in 1996 and for multiple family residential units in 2004.

TRAFFIC STUDY

The petitioner prepared a traffic study which was reviewed by the Village's traffic consultant. The traffic study and the Village review are included in the petitioner's binder provided with the other plans and documents. The Village's traffic consultant generally concurs with the developer's traffic study that the existing roadways can accommodate the proposed development without the need for street improvements. However, please note that the consultant has suggested further review of the Wolf Road and 72nd Street intersection and the possible need for a four-way stop.

PLAN REVIEW CONSIDERATIONS

Staff has suggested to the petitioner that they should expect the public hearing to be continued to at least one additional meeting date beyond May 16, 2016. The Planned Unit Development process also dictates that a preliminary review be conducted separately from a final review. This allows the petitioner to determine if zoning approval will be granted before preparing final plans for review and approval by the Plan Commission and Village Board. Based on the preliminary nature of this current process, staff provides the following comments and considerations.

Proposed R-5 District: The petitioner proposes to utilize the R-5 Planned Residence District. The purpose of the R-5 District is stated as: "*The R-5 Planned Residence District is intended to accommodate a variety of dwelling types within a development of not less than 80 acres.*" The 80 acres is a required minimum project size for a non-PUD in the R-5 District. A PUD in the R-5 District is permitted to be 40 acres.

The only other R-5 District zoning in the Village is the Chasemoor townhomes located between the Burr Ridge Corporate Park and 79th Street. Chasemoor is a PUD of 42.4 acres and consists primarily of attached single-family homes. Chasemoor has 201 units with a density of 4.74 units per acre. Attached is a density table listing the densities of Chasemoor and all of the other cluster and townhome projects in the Village.

20 Acre R-5 PUD: The petitioner requests either a variation or a text amendment to permit an R-5 PUD at 20 acres. Given the land available or suitable for development in the Village, it does not seem appropriate to require a 40 acre lot minimum for a PUD. If a PUD of less than 40 acres is not desirable, then the R-5 District should be eliminated.

Commonwealth Avenue Through Lots: Section VII.G.6 of the Subdivision Ordinance prohibits the placement of through lots with back yards abutting a local street. Commonwealth Avenue is a local street and the proposed subdivision would have homes backing up to Commonwealth Avenue. There are other locations in the Village where rear lots abut a local street but it is not common. In other similar subdivisions, lots have been created to front on the adjacent local street (e.g. 81st Street in Lake Ridge Club and Pine Tree). However, it is possible that the residents on Commonwealth Avenue may prefer a significant landscaping buffer to maintain the existing character of Commonwealth Avenue.

Open Space: Significant open space is proposed within the streetscape and in the area around the lake. The Pathway Commission will review the proposed sidewalks and the pathways. Staff will recommend that a pathway be provided around the entire perimeter of the lake. Currently, no

pathway is proposed for the east side of the lake. A pathway should be provided on the east side of the lake and connected to the dead end pathway south of the subject property. Once again, all pathways and sidewalks must be concrete.

Subdivision Entryways: The primary entryway to the subdivision is from Burr Ridge Parkway. The petitioner specifically designed the street plan in this manner to ensure that the residents are directly connected to the remainder of the Corporate Park and downtown area. There is one other entrance to the subdivision at the northeast corner but that is intended to be for emergency access only and would be gated.

Entryway Streetscape: At the suggestion of staff, the petitioner has placed homes facing the entryway street with direct connections to the sidewalk from the front doors. That streetscape feature was to be repeated on Burr Ridge Parkway but instead, the petitioner has added dual sidewalks. It is suggested that the Burr Ridge Parkway homes be re-designed to match the streetscape on the entryway drive.

Access to Open Space: The subdivision maintains the open space north of the existing lake. Access to that area is provided on the west and east sides of the traditional homes. The access on the east side is a sidewalk between two homes. It is suggested that the home east of that sidewalk be eliminated and more room provided for the sidewalk. Sidewalks between two homes is not desirable.



Courtyard Home Locations: Several of the courtyard homes have the back or side of the homes facing the fronts of other homes. This creates some awkward configurations. At the northeast corner of the property, there are three courtyard homes that stand alone and do not relate well to the other homes. In the vicinity of the northwest corner, there is a group of four homes that are in the middle of other homes and also do not relate well to the other homes.



It may be beneficial to simply turn the four homes at the northwest corner parallel to Bridewell Drive. This would have the added advantage of enlarging the courtyard area between the homes.



Courtyard Home Streetscape: Sheet L2.1 in the set of landscaping plans shows the configuration of the front yards for the courtyard homes. The front yards are to be separated from the public sidewalk by a decorative fence to create a courtyard or town home appearance. There appears to be a discrepancy between this sketch and the engineering plans as the engineering plans show a 12 foot plus front yard and the landscaping plans scale at about 5 feet.

RECOMMENDATION

It is staff's recommendation that the Plan Commission open the public hearing at its meeting of May 16, 2016 and that after a full presentation by the petitioner, public comment, and questions from the Plan Commission, the public hearing be continued to the June 6, 2016 meeting.

Residential Densities in Burr Ridge

Prepared May 11, 2016

	Gross Land Area (Including ROW, Open Space, Detention, Etc.)	Dedicated Land Area (Dedicated for Public Park or Open Space)	Net Land Area (Minus Dedicated Public Park or Open Space)	Total Units or Lots	Gross Density (Gross Land Area / Number of Units or Lots)	Net Density (Net Land Area / Number of Units or Lots)
Detached Single-Family Residential "Cluster" Projects in Burr Ridge						
Burr Ridge Club	34	0	34	72	2.12	2.12
Fieldstone Club	30.7	6.5	24.2	60	1.95	2.48
Lake Ridge Club	26.55	1.97	24.58	76	2.86	3.09
Lake Ridge Club w/o SFR	23.38	1.97	21.41	68	2.91	3.18
Savoy Club	25.57	0.64	24.93	52	2.03	2.09
Lakeside Point	22.5	0	22.5	75	3.33	3.33
				403		
Attached Single-Family Residential Projects in Burr Ridge						
Carraigeway Club Townhomes	16.23	8.85	7.38	37	2.28	5.01
Chasemoor	42.4	0	42.4	201	4.74	4.74
Chestnut Hills	16	0	16	70	4.38	4.38
Tartan Ridge	6.47	0	6.47	24	3.71	3.71
Pine Tree	9.24	0	9.24	33	3.57	3.57
Pine Tree w/o SFR	7.19	0	7.19	28	3.89	3.89
Oak Creek Club	21.86	0	21.86	63	2.88	2.88
				456		
Multi-Family Residential Projects in Burr Ridge						
Carriageway Condos	7.5	0	7.5	167	22.27	22.27
Braemoor Condos/Deer Run	8.12	0	8.12	88	10.84	10.84
Burr Ridge Place (79th & Garfield)	0.79	0	0.79	7	8.86	8.86
Woodview Condos	2.88	0	2.88	18	6.25	6.25
Burr Ridge Village Center				192		
				472		



MARRIOTT

PARKING
Existing = 366 spots
Proposed = 363 spots
+3 = 366 spots

LAKE SIDE POINTE OF BURR RIDGE VILLAGE CENTER - BURR RIDGE, IL

SITE INFORMATION	
Gross Area	22.5 acres
Units Proposed	75
Unit Type A - 36 units	
Unit Type B - 39 units	
Dwelling Units per Acre	3.3 du/ac
Street Pavement Width	28'
Auto Court Pavement Width	24'
Sidewalk Width	5'
Open Space/Common Area	10.3/46%
Park Land	1.3 acres
Existing Lake	3.8 acres
Pocket Parks	1.3 acres
Common Open Space	3.9 acres
Est. Impervious coverage	8 acres/35%

LOT STANDARDS	
36 Unit Type A - Traditional Homes	
39 Unit Type B - Courtyard Homes	
Building Height	
Unit Type A -	32'
Unit Type B -	38'
Front Yard Setback to Curb	
Unit Type A -	20'
Unit Type B -	11'
Building Side Separation	
Unit Type A -	10'
Unit Type B -	6'
Rear to Rear Separation	
Unit Type A -	42'
Unit Type B -	60'
Rear to Side Separation	
Unit Type A -	n/a
Unit Type B -	35'
Rear to Property	
Unit Type A -	20'
Unit Type B -	45'
Side to Property	
Unit Type A -	23'
Unit Type B -	4'



Building Dreams, Enhancing Lives.
David Weekley Homes





VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

11650 Bridewell Drive and
ADDRESS OF PROPERTY: 1400 Burr Ridge Parkway PIN #18-30-300-025 & 18-30-303-016
(Approx. 22.5 acre site SEC Burr Ridge Parkway and Bridewall Drive)

GENERAL INFORMATION

PETITIONER: Weekley Homes, LLC d.b.a David Weekley Homes
(All correspondence will be directed to the Petitioner)

PETITIONER'S ADDRESS: 1930 North Thoreau Drive PHONE: 847-241-4310

Schaumburg, IL 60173 EMAIL: kseay@dwhomes.com

c/o rsodikoff@agdglaw.com

PROPERTY OWNER: See Attachment No. 1 STATUS OF PETITIONER: Contract Purchaser

OWNER'S ADDRESS: _____ PHONE: _____

PROPERTY INFORMATION

SITE AREA: 22.5 acres EXISTING ZONING: O-2 PUD

EXISTING USE/IMPROVEMENTS: Existing Pond

SUBDIVISION: Burr Ridge Corporate Park

A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED

DESCRIPTION OF REQUEST

PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):

☒ Special Use ☒ Rezoning ☒ Text Amendment ☒ Variation(s)

See Attachment No. 2

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Petitioner's Signature

Date Petition is Filed

ATTACHMENT NO. 1

Property Owner

11650 Bridewell Drive (PIN: 18-30-300-025):

PB and J XXXIX, LLC
c/o Rocco Suspenzi
4800 North Harlem Avenue
Harwood Heights, Illinois 60706

1400 Burr Ridge Parkway (PIN: 18-30-303-016):

Burr Ridge Key Property, LLC
c/o Thomas E. Banta
100 East RiverCenter Boulevard, Suite 1100
Covington, Kentucky 41011

ATTACHMENT NO. 2

Petitioner requests rezoning from O-2 PUD to R-5 PUD or the creation of a newly designated PUD District, or the granting of a variance to allow approximately 22.5 acres in the designated R-PUD district and Special Use, to permit the development as a residential Planned Unit Development in the newly designated Residential District, in conformity with the preliminary site plan as presented.

Executive Summary

David Weekley Homes is pleased to submit a proposal for Lakeside Pointe of Burr Ridge. Lakeside Pointe is designed for those who seek an easy-going, low maintenance, Lifestyle-type of community. It is an extension of, and enhancement to, the Village Center. With great walkability and accessibility to restaurants, shopping and fitness facilities, Lakeside Pointe encourages its residents to get outside, meet their neighbors, and enjoy the social opportunities that are available in Burr Ridge.

Containing 75 homes on 22.5 acres, the community is designed with a mix of Traditional and Courtyard style product. Most of the homes will have the master bedroom on the first floor. Square footages for the Courtyard Homes ranges from approximately 2,100 to 2,600 square feet. Prices are anticipated to range from \$570,000 to \$700,000. The Traditional Homes will range from approximately 2,400 square feet to 3,400 square feet, with pricing from \$750,000 to \$900,000. All homes will have basements.

Pending approvals, we would like to close on the property and begin earthwork late this fall. Home construction would begin as soon as roads could be paved in early summer of 2017. Final sales, construction and closeout should be completed by early spring of 2020.

Founded over 40 years ago, David Weekley Homes has grown to be the largest private homebuilder in America. Active in over 20 different markets, we have been recognized by our peers with numerous national awards, including the "Triple Crown of Housing", which is the receipt of *"The National Housing Quality Award"*, *"America's Best Builder"*, and the *"National Builder of the Year"* awards.

We appreciate the opportunity to make this proposal, and look forward to discussing the project in more detail at the upcoming Plan Commission Hearing.

Burr Ridge Site
David Weekley Homes
Burr Ridge, IL

SITE INFORMATION

Gross Area	22.5 acres	
Units Proposed	75	
Unit Type A - 36 units		
Unit Type B - 39 units		
Dwelling Units per Acre	3.3 du/ac	
Street Width	28'	
Auto Court Width	24'	
Sidewalk Width	5'	
Open Space/Common Area	10.3	46%
Park Land	1.3 acres	
Existing Lake	3.8 acres	
Pocket Parks	1.3 acres	
Common Open Space	3.9 acres	
Est. Impervious coverage	8 acres	35% coverage

LOT STANDARDS

36 Unit Type A -	Traditional Homes
39 Unit Type B -	Courtyard Homes

Building Height

Unit Type A -	32'
Unit Type B -	38'

Front Yard Setback to Curb

Unit Type A -	20'
Unit Type B -	11'

Building Side Separation

Unit Type A -	10'
Unit Type B -	6'

* Allowable Projections Listed Below

Rear to Rear Separation

Unit Type A -	42'
Unit Type B -	60'

Rear to Side Separation

Unit Type A -	n/a
Unit Type B -	35'

Rear to Property

Unit Type A -	20'
Unit Type B -	45'

Side to Property

Unit Type A -	23'
Unit Type B -	4'

Max Allowable FAR**	0.5
----------------------------	-----

** Measured over entire site

* Allowable Building Projections into the side yard:

window sills, belt courses, cornices, eaves, gutters, stoops, stairs, window wells,
wall mounted meters, a/c condenser units, vents under 1', bay windows up to 1',
and ordinary projections of fireplaces, chimneys and flues.

PRELIMINARY ENGINEERING PLANS
FOR
POINTE OF BARR
BURR RIDGE, ILLINOIS

OWNER/DEVELOPER

*David Weekley Homes
Thoreau Drive North, Suite 160
Marengo, Illinois 60173-4151
847 241 4308
Contact: Kevin Seay*

ENGINEER

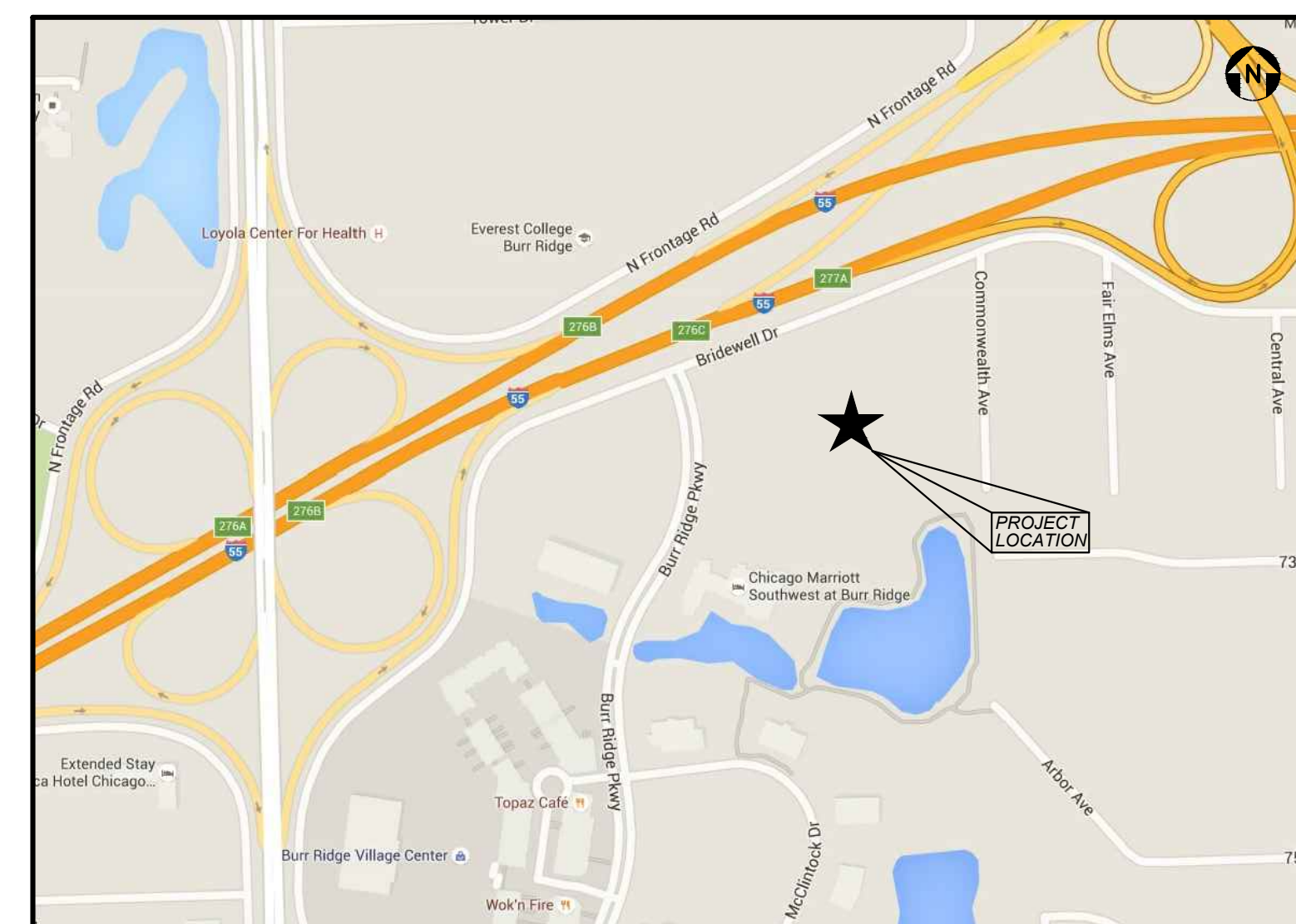
V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Dwayne Gillian, P.E.
Project Engineer: Thomas J. Kunschke, P.E.

PLANNER

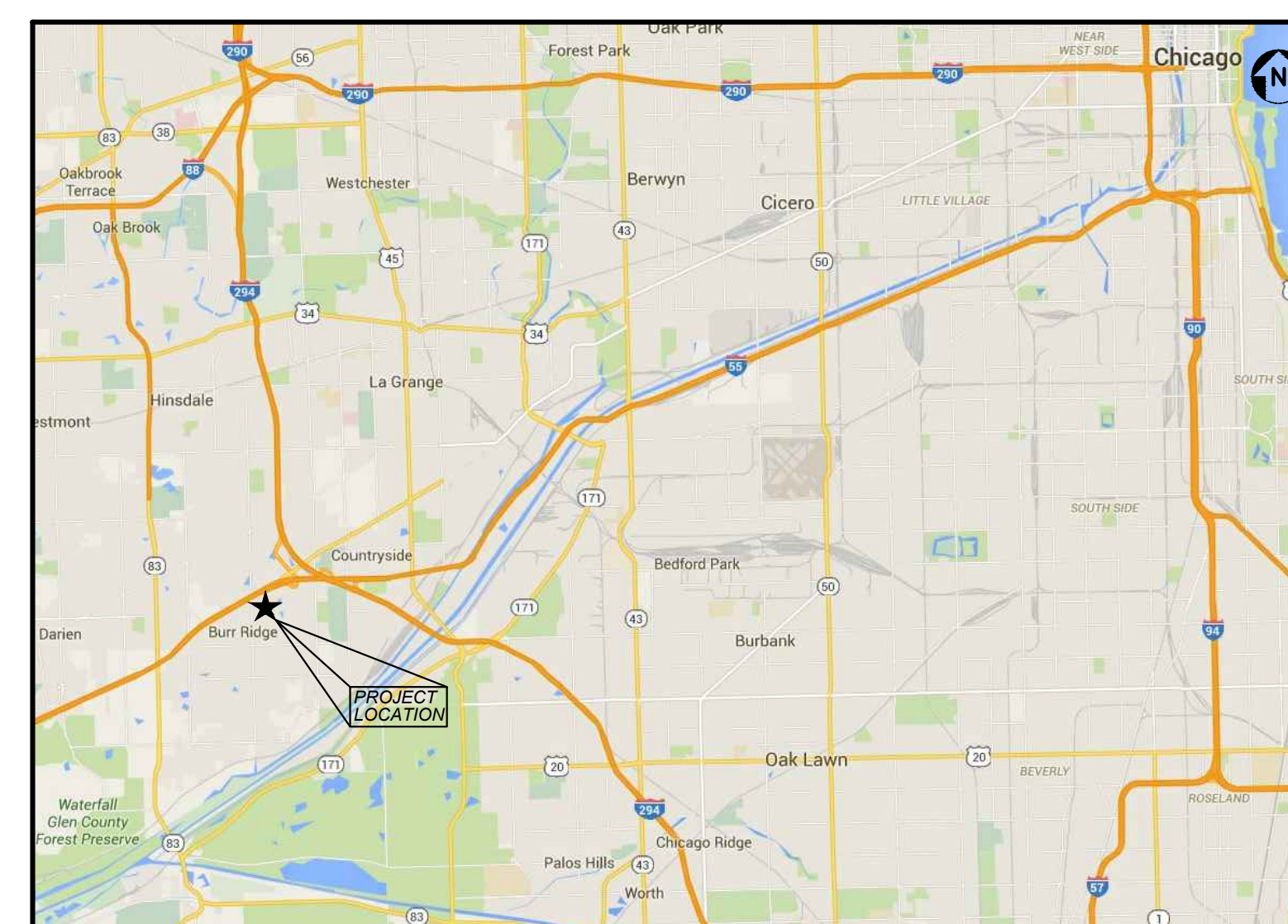
BSB Design
1540 Dundee Road, Suite 310
Palatine, Illinois 60074
847 705 2200
Contact: Joseph Maschek

LANDSCAPE ARCHITECT

Dickson Design Studio, Inc.
526 Skyline Drive
Algonquin, Illinois 60102
847 878 4019
Contact: Sharon Dickson



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

INDEX OF DRAWINGS

0.0	TITLE SHEET
1.0	LAYOUT PLAN
2.0	GRADING PLAN
3.0	UTILITY PLAN



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com



Joint Utility Locating Information for Excavators

Call 48 hours before you dig

[illegible]

BENCHMARKS	
SOURCE:	BENCHMARK ESTABLISH VIA TRIMBLE VRS NETWORK. DATUM IS NAVD88 LATITUDE: 41-45-26.66992 N LONGITUDE: 87-54-26.42124 W ELLIPSOIDAL HEIGHT: 586.994 SFT
	GROUND SCALE FACTOR: 1.0000376122 GEOID 12A (CONUS)
SITE:	
	STATION DESIGNATION: SBM#1
	ESTABLISHED BY: V3 COMPANIES DATE: 07-02-15 ELEVATION: 694.613 (MEAS.) DATUM: NAVD88
	DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT AT SOUTH SIDE OF BRIDEWELL DRIVE NEAR NORTHWEST CORNER OF SITE.
	STATION DESIGNATION: SBM#2
	ESTABLISHED BY: V3 COMPANIES DATE: 07-02-15 ELEVATION: 686.833 DATUM: NAVD88
	DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT AT SOUTHWEST CORNER OF BRIDEWELL DRIVE AND COMMONWEALTH AVE.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, **THOMAS J. MUNSCHKE**, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF **DAVID WEEKLEY HOMES BY VO COMPANIES** UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATION AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D. 2016.

ILLINOIS LICENSED PROFESSIONAL ENGINEER #062-049376
MY LICENSE EXPIRES ON NOVEMBER 30, 2017

ILLINOIS LICENSED DESIGNER/ENGINEER #164-000992

DRAWING NO.

0.0

NOTES:

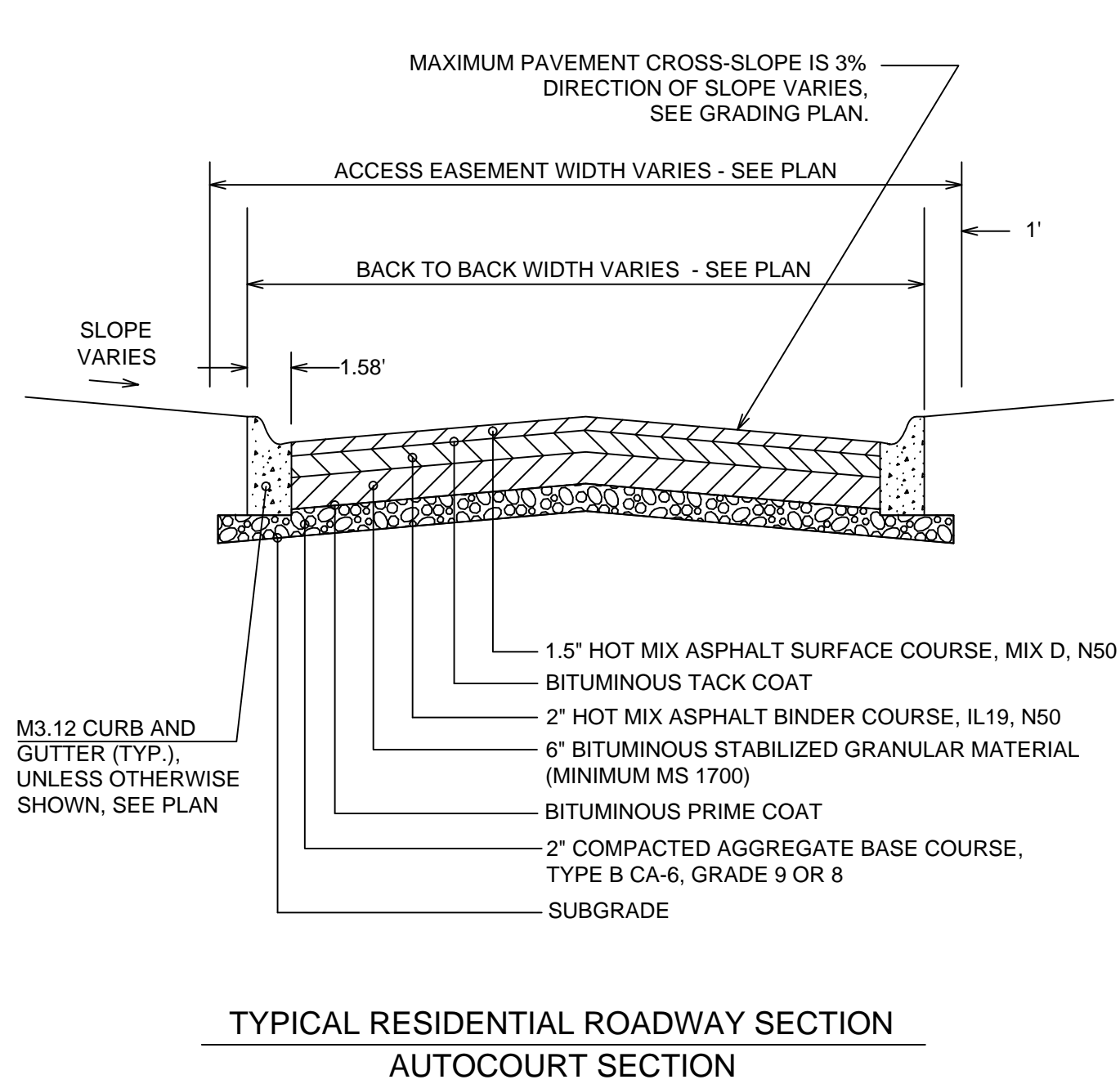
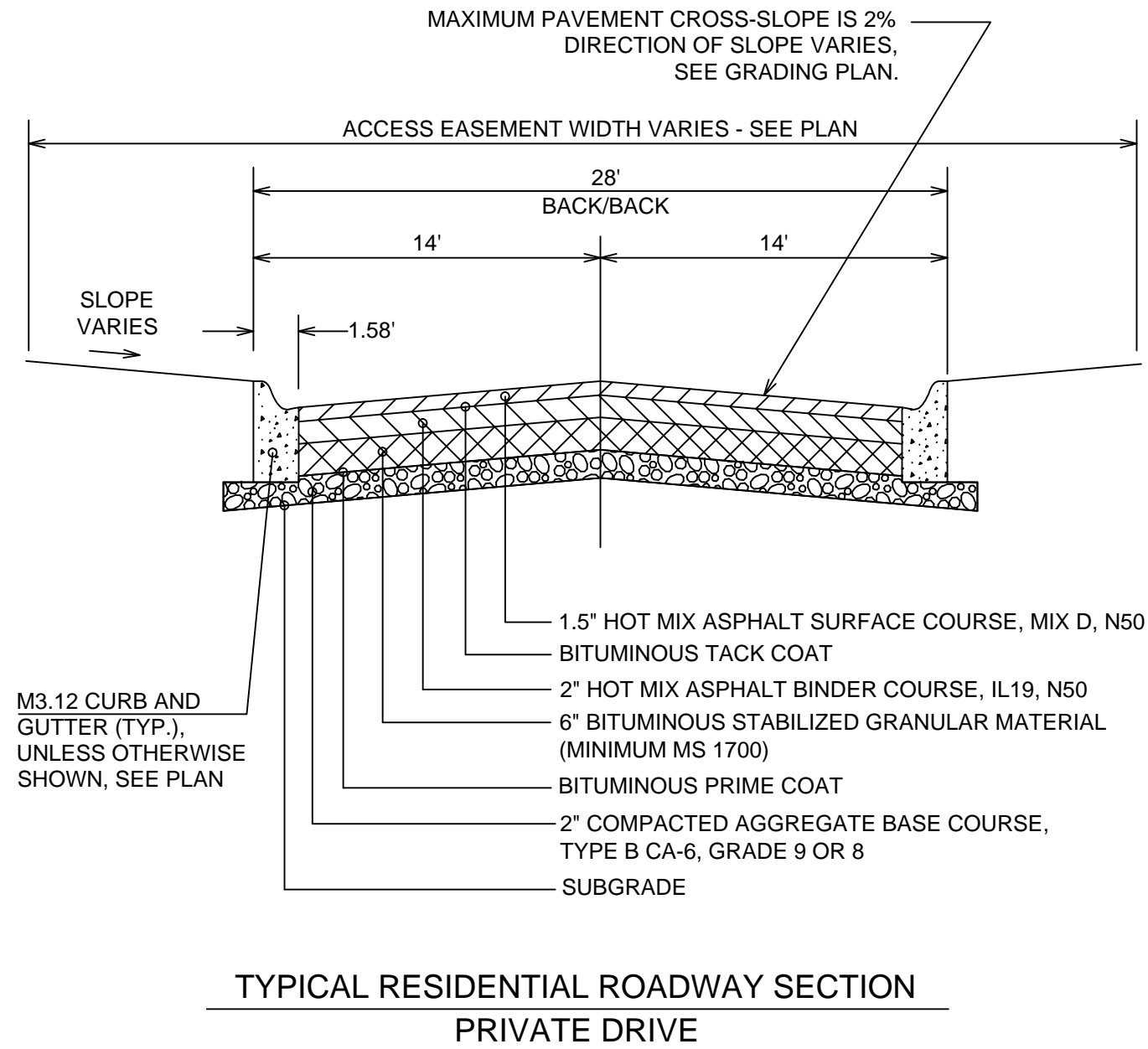
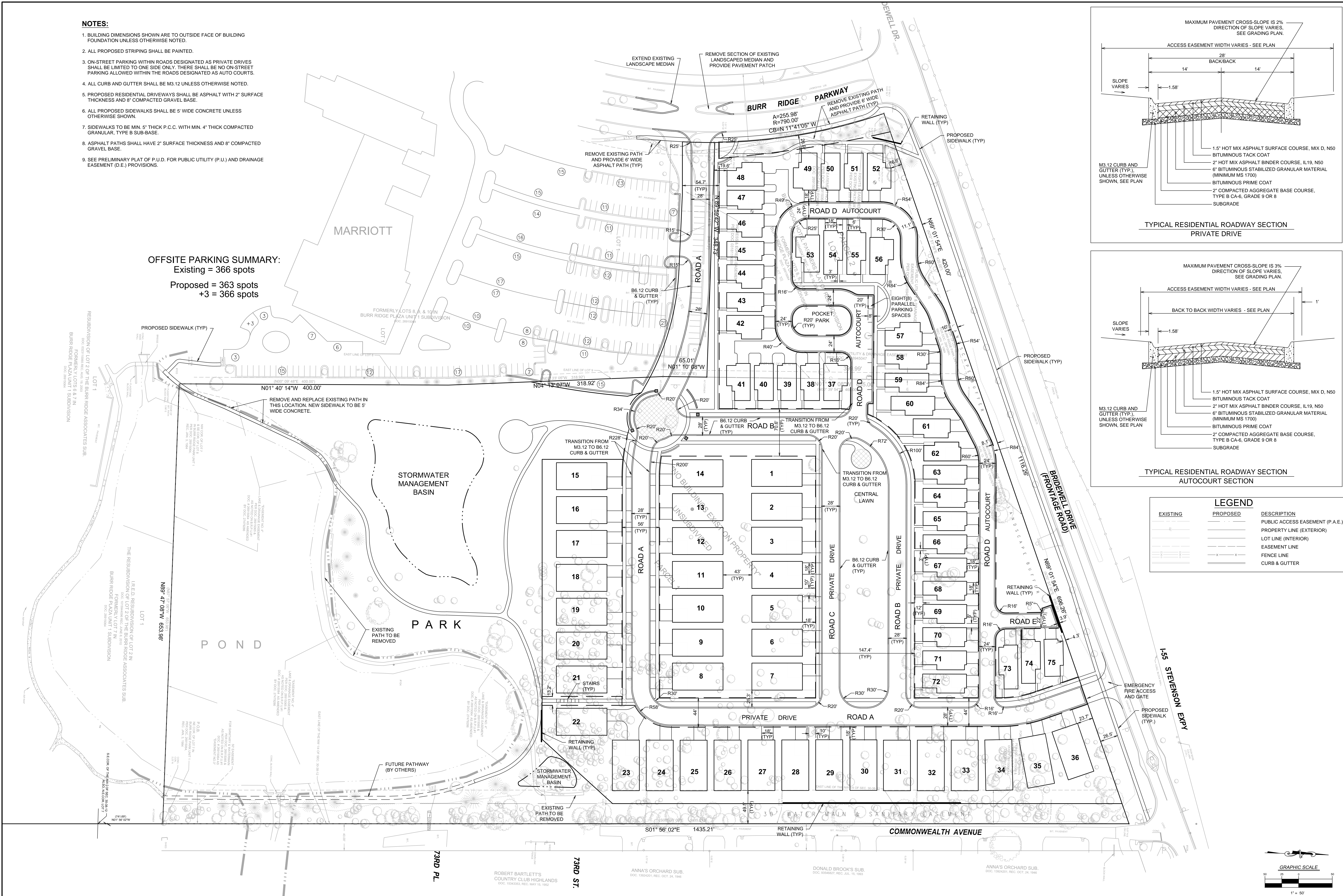
1. BUILDING DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
2. ALL PROPOSED STRIPING SHALL BE PAINTED.
3. ON-STREET PARKING WITHIN ROADS DESIGNATED AS PRIVATE DRIVES SHALL BE LIMITED TO ONE SIDE ONLY. THERE SHALL BE NO ON-STREET PARKING ALLOWED WITHIN THE ROADS DESIGNATED AS AUTO COURTS.
4. ALL CURB AND GUTTER SHALL BE M3.12 UNLESS OTHERWISE NOTED.
5. PROPOSED RESIDENTIAL DRIVEWAYS SHALL BE ASPHALT WITH 2" SURFACE THICKNESS AND 8" COMPACTED GRAVEL BASE.
6. ALL PROPOSED SIDEWALKS SHALL BE 5' WIDE CONCRETE UNLESS OTHERWISE SHOWN.
7. SIDEWALKS TO BE MIN. 5" THICK P.C.C. WITH MIN. 4" THICK COMPACTED GRANULAR, TYPE B SUB-BASE.
8. ASPHALT PATHS SHALL HAVE 2" SURFACE THICKNESS AND 8" COMPACTED GRAVEL BASE.
9. SEE PRELIMINARY PLAT OF P.U.D. FOR PUBLIC UTILITY (P.U.) AND DRAINAGE EASEMENT (D.E.) PROVISIONS.

OFFSITE PARKING SUMMARY:

Existing = 366 spots

Proposed = 363 spots

+3 = 366 spots



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PUBLIC ACCESS EASEMENT (P.A.E.)
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		FENCE LINE
		CURB & GUTTER

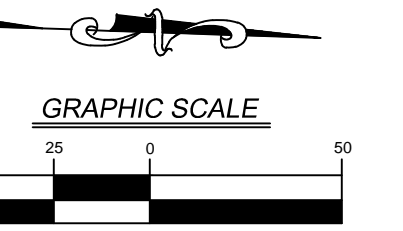
V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS			
NO.	DATE	DESCRIPTION	
1	04-22-16	PER COORDINATION REVIEW	

PROJECT NO.: 00039.DWH	DESIGNED BY: TJK
FILE NAME: 1.0 LAY0039.DWH.DWG	DRAWN BY: DB
ORIGINAL ISSUE DATE: 03-14-2016	CHECKED BY: TJK
SCALE: 1"=50'	PROJECT MANAGER: DLG

LAKEVIEW POINTE OF BURR RIDGE
ILLINOIS

LAYOUT PLAN
DRAWING NO. 1.0

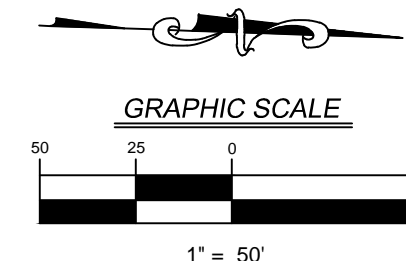
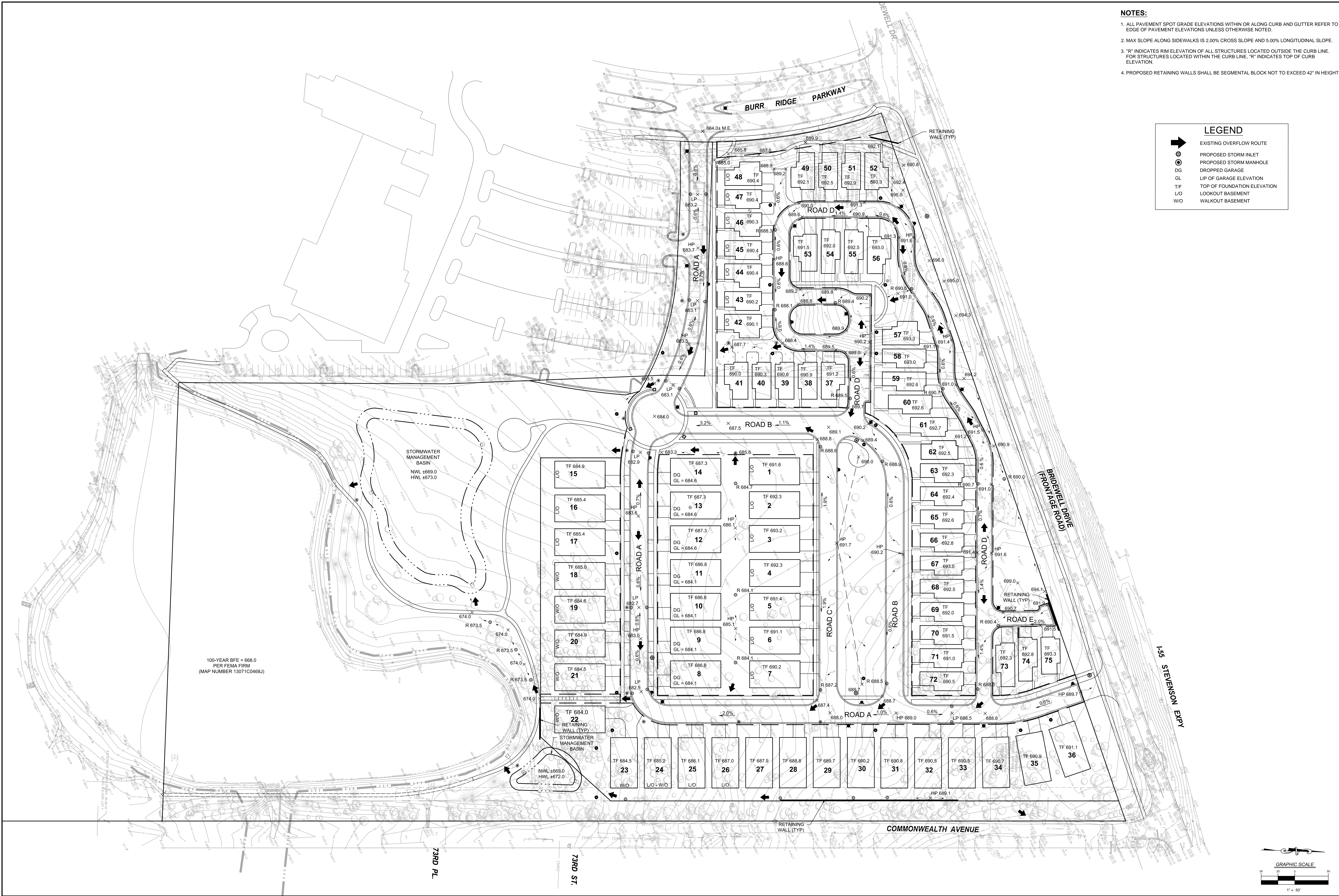


00039.DWH - LAYOUT PLAN
1.0 LAY0039.DWH.DWG - 4/22/2016 12:34 PM

- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. MAX SLOPE ALONG SIDEWALKS IS 2.00% CROSS SLOPE AND 5.00% LONGITUDINAL SLOPE.
 3. "R" INDICATES RIM ELEVATION OF ALL STRUCTURES LOCATED OUTSIDE THE CURB LINE. FOR STRUCTURES LOCATED WITHIN THE CURB LINE, "R" INDICATES TOP OF CURB ELEVATION.
 4. PROPOSED RETAINING WALLS SHALL BE SEGMENTAL BLOCK NOT TO EXCEED 42" IN HEIGHT.

LEGEND

- EXISTING OVERFLOW ROUTE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- DG DROPPED GARAGE
- GL LIP OF GARAGE ELEVATION
- T/F TOP OF FOUNDATION ELEVATION
- L/O LOOKOUT BASEMENT
- W/O WALKOUT BASEMENT



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630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS			
NO.	DATE	DESCRIPTION	
1	04-22-16	PER COORDINATION REVIEW	

PROJECT NO.: 00039.DWH
DESIGNED BY: T.J.K.
FILE NAME: 20 GRD00039.DWH.DWG
DRAWN BY: DB
ORIGINAL ISSUE DATE: 03-14-2016
CHECKED BY: T.J.K.
SCALE: 1" = 50'
PROJECT MANAGER: DLG

LAKESIDE POINTE OF BURR RIDGE

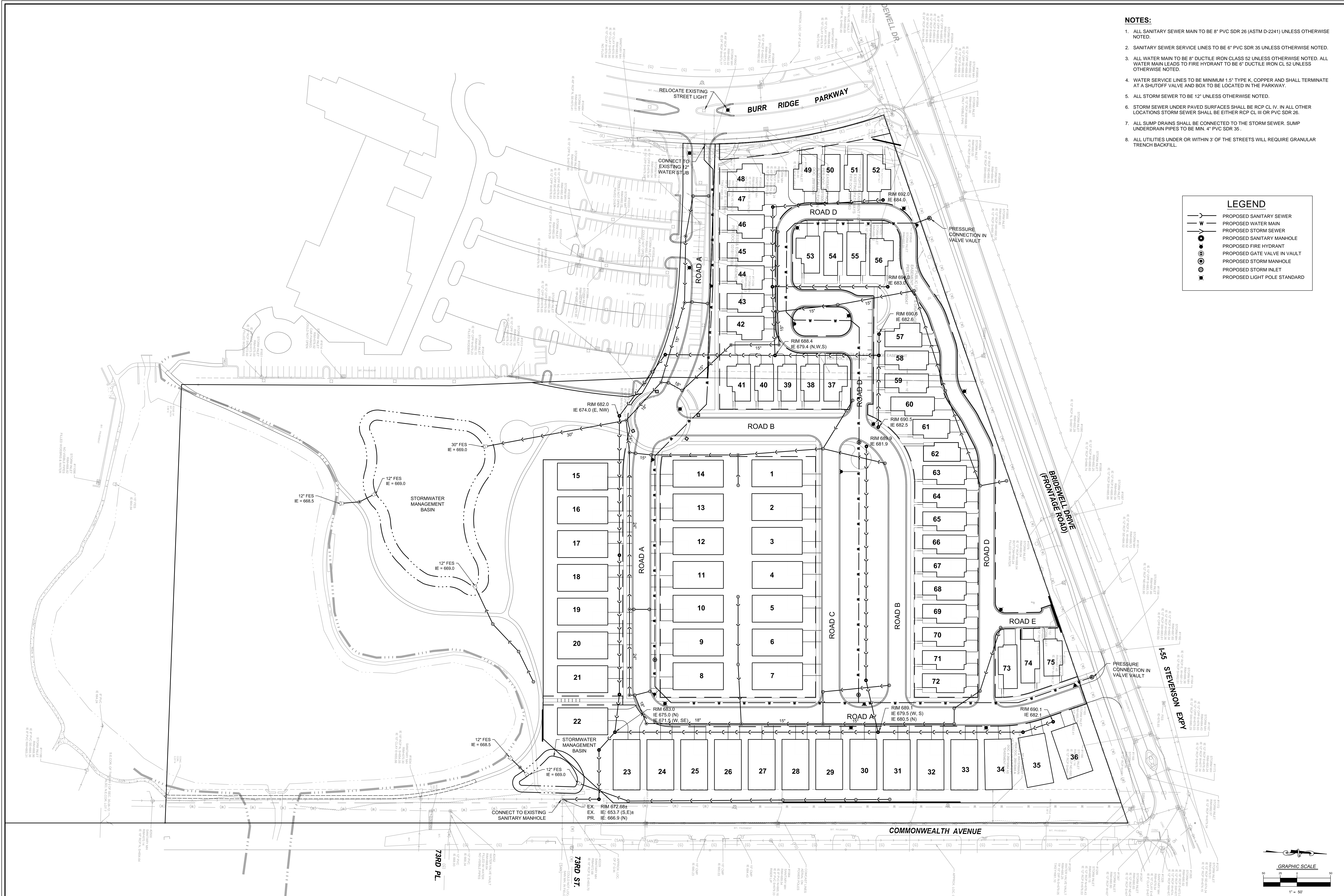
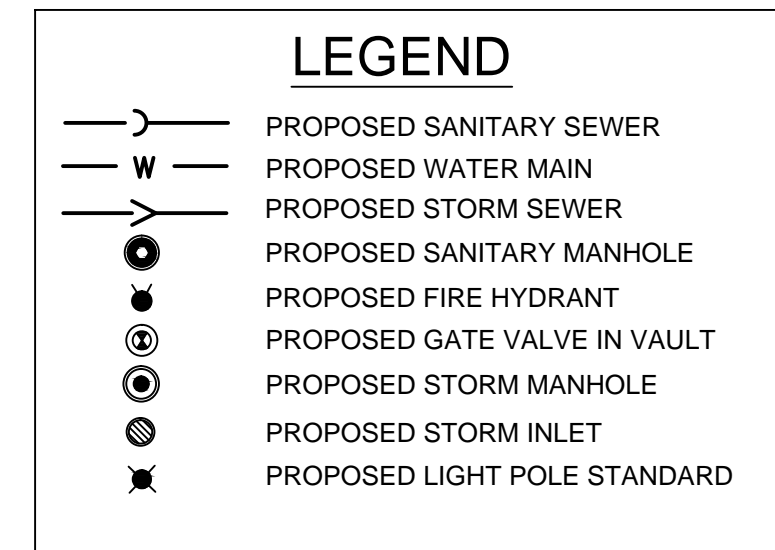
ILLINOIS

GRADING PLAN

DRAWING NO.

2.0

- NOTES:**
1. ALL SANITARY SEWER MAIN TO BE 8" PVC SDR 26 (ASTM D-2241) UNLESS OTHERWISE NOTED.
 2. SANITARY SEWER SERVICE LINES TO BE 6" PVC SDR 35 UNLESS OTHERWISE NOTED.
 3. ALL WATER MAIN TO BE 8" DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 6" DUCTILE IRON CL 52 UNLESS OTHERWISE NOTED.
 4. WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K, COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
 5. ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
 6. STORM SEWER UNDER PAVED SURFACES SHALL BE RCP CL IV, IN ALL OTHER LOCATIONS STORM SEWER SHALL BE EITHER RCP CL III OR PVC SDR 26.
 7. ALL SUMP DRAINS SHALL BE CONNECTED TO THE STORM SEWER. SUMP UNDERDRAIN PIPES TO BE MIN. 4" PVC SDR 35.
 8. ALL UTILITIES UNDER OR WITHIN 3' OF THE STREETS WILL REQUIRE GRANULAR TRENCH BACKFILL.



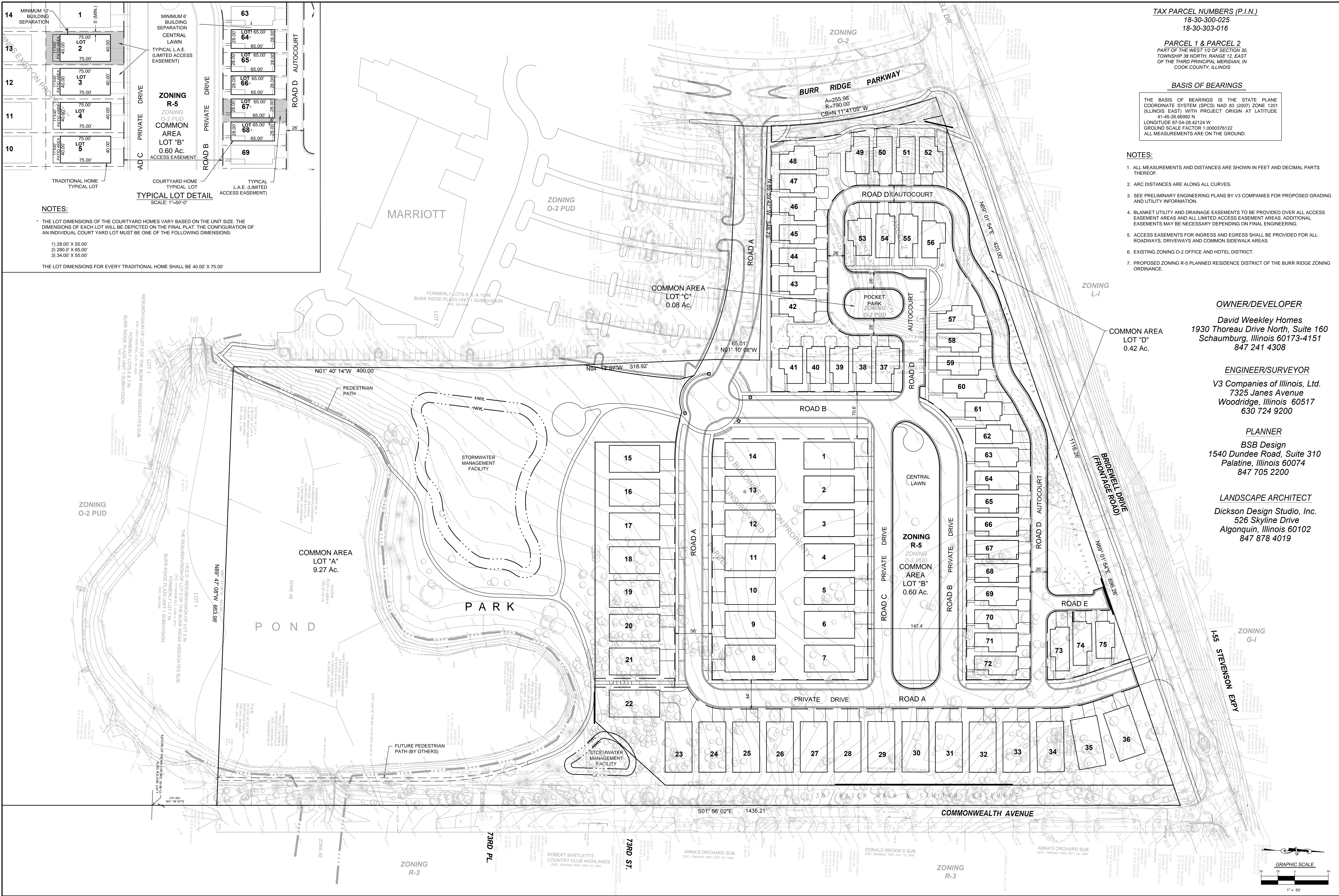
V3 Companies
7325 Janes Avenue
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630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS				REVISIONS			
NO.	DATE	DESCRIPTION		NO.	DATE	DESCRIPTION	
1	04-22-16	PER COORDINATION REVIEW					

PROJECT NO:	00039.DWH	DESIGNED BY:	TJK
FILE NAME:	3.0 UTIL/00039.DWH.DWG	DRAWN BY:	DB
ORIGINAL ISSUE DATE:	03-14-2016	CHECKED BY:	TJK
SCALE:	1" = 50'	PROJECT MANAGER:	DLG

LAKESIDE POINTE OF BURR RIDGE
BURR RIDGE
ILLINOIS

UTILITY PLAN
DRAWING NO. 3.0



TAX PARCEL NUMBERS (P.I.N.)

18-30-300-025
18-30-303-016

PARCEL 1 & PARCEL 2
PART OF THE WEST 1/2 OF SECTION 30,
TOWNSHIP 38 NORTH, RANGE 12, EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN
COOK COUNTY, ILLINOIS

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE 1201
(ILLINOIS EAST) WITH PROJECT ORIGIN AT LATITUDE
41-45-26.6992 N
LONGITUDE 87-54-28.42124 W
GROUND SCALE FACTOR 1.0000376122
ALL MEASUREMENTS ARE ON THE GROUND.

NOTES:

1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
2. ARC DISTANCES ARE ALONG ALL CURVES.
3. SEE PRELIMINARY ENGINEERING PLANS BY V3 COMPANIES FOR PROPOSED GRADING AND UTILITY INFORMATION.
4. BLANKET UTILITY AND DRAINAGE EASEMENTS TO BE PROVIDED OVER ALL ACCESS EASEMENT AREAS AND ALL LIMITED ACCESS EASEMENT AREAS. ADDITIONAL EASEMENTS MAY BE NECESSARY DEPENDING ON FINAL ENGINEERING.
5. ACCESS EASEMENTS FOR INGRESS AND EGRESS SHALL BE PROVIDED FOR ALL ROADWAYS, DRIVEWAYS AND COMMON SIDEWALK AREAS.
6. EXISTING ZONING O-2 OFFICE AND HOTEL DISTRICT.
7. PROPOSED ZONING R-5 PLANNED RESIDENCE DISTRICT OF THE BURR RIDGE ZONING ORDINANCE.

OWNER/DEVELOPER

David Weekley Homes
1930 Thoreau Drive North, Suite 160
Schaumburg, Illinois 60173-4151
847 241 4308

ENGINEER/SURVEYOR

V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200

PLANNER

BSB Design
1540 Dundee Road, Suite 310
Palatine, Illinois 60074
847 705 2200

LANDSCAPE ARCHITECT

Dickson Design Studio, Inc.
526 Skyline Drive
Algonquin, Illinois 60102
847 878 4019

V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS				REVISIONS			
NO.	DATE	DESCRIPTION		NO.	DATE	DESCRIPTION	
1	04-22-16	PER COORDINATION REVIEW					

PROJECT NO.: 00039.DWH	DESIGNED BY: TJK
FILE NAME: 1.0 PLAT00039.DWH.DWG	DRAWN BY: DB
ORIGINAL ISSUE DATE: 03-14-2016	CHECKED BY: TJK
SCALE: 1"=50'	PROJECT MANAGER: DLG

LAKESIDE POINTE OF BURR RIDGE
ILLINOIS

PRELIMINARY PLAT OF P.U.D.
1.0

DRAWING NO.
1.0



Preliminary Stormwater Management Narrative Summary Lakeside Pointe of Burr Ridge Burr Ridge, Illinois

April 22, 2016

I. Introduction

David Weekley Homes is proposing a 75 unit single family residential development on 22.5 acres located at the southeast corner of Burr Ridge Parkway and Bridewell Drive in Burr Ridge, Illinois. The purpose of this Summary is to document the basis and requirements of the preliminary stormwater management system as it will apply to this development. The site is subject to Burr Ridge Stormwater Detention Requirements and the Metropolitan Water Reclamation District (MWRD) Watershed Management Ordinance (WMO).

II. Metropolitan Water Reclamation District Requirements

MWRD enacted a countywide Watershed Management Ordinance in 2014. The WMO imposes stormwater management requirements on a countywide level. All development within the county is subject to the ordinance requirements. Municipalities may impose additional requirements or enact more stringent requirements than described in the WMO.

The WMO makes allowances for redevelopment and development of previously permitted projects. These types of projects can be eligible to be reviewed under the Legacy Permit process. The subject property lies within an area that contains an existing detention facility which was permitted and constructed under an MWRD sewerage system permit. The overall runoff coefficient of the currently proposed development will be less than the originally permitted runoff coefficient. Therefore, the subject property can be permitted as a Legacy Permit and MWRD will not require additional stormwater detention. The Village Engineer for Burr Ridge has acknowledged his concurrence of this process.

However, it must be understood that the WMO also contains Site Volume Control Requirements that must be met for this site. The Volume Control Storage Requirement equals one inch of stormwater from all new impervious surfaces of the development. For this development:

MWRD Volume Control Requirement =

9.1 acres impervious area * (1/12) = 0.76 acre-feet.

The impervious area noted above excludes a small portion of the existing Marriott parking lot that will be permanently removed and replaced with pervious surface.

III. Burr Ridge Detention Requirements

The attached Village of Burr Ridge memo dated February 14, 2008 and updated May 12, 2012 details the methodology for determining the Village's stormwater detention requirement. Years ago the Village determined that the original design of the existing stormwater management facility was not sufficient for complete build out of the Burr Ridge Corporate Park. The facility was originally designed using Technical Paper 40 rainfall data and the Village determined that the detention requirement would be updated to account for increased rainfall amounts reflected in Technical Bulletin 70.

By reviewing various studies that were undertaken, the Village determined that each development site within the Burr Ridge Corporate Park would be responsible for increasing the detention storage by 0.16 Ac-Ft/Ac. The remaining developments would be able to utilize any available surplus detention that was previously provided. At this point 0.90 Ac-Ft of surplus detention remains available in the existing pond.

The detention calculation for the subject development is therefore:

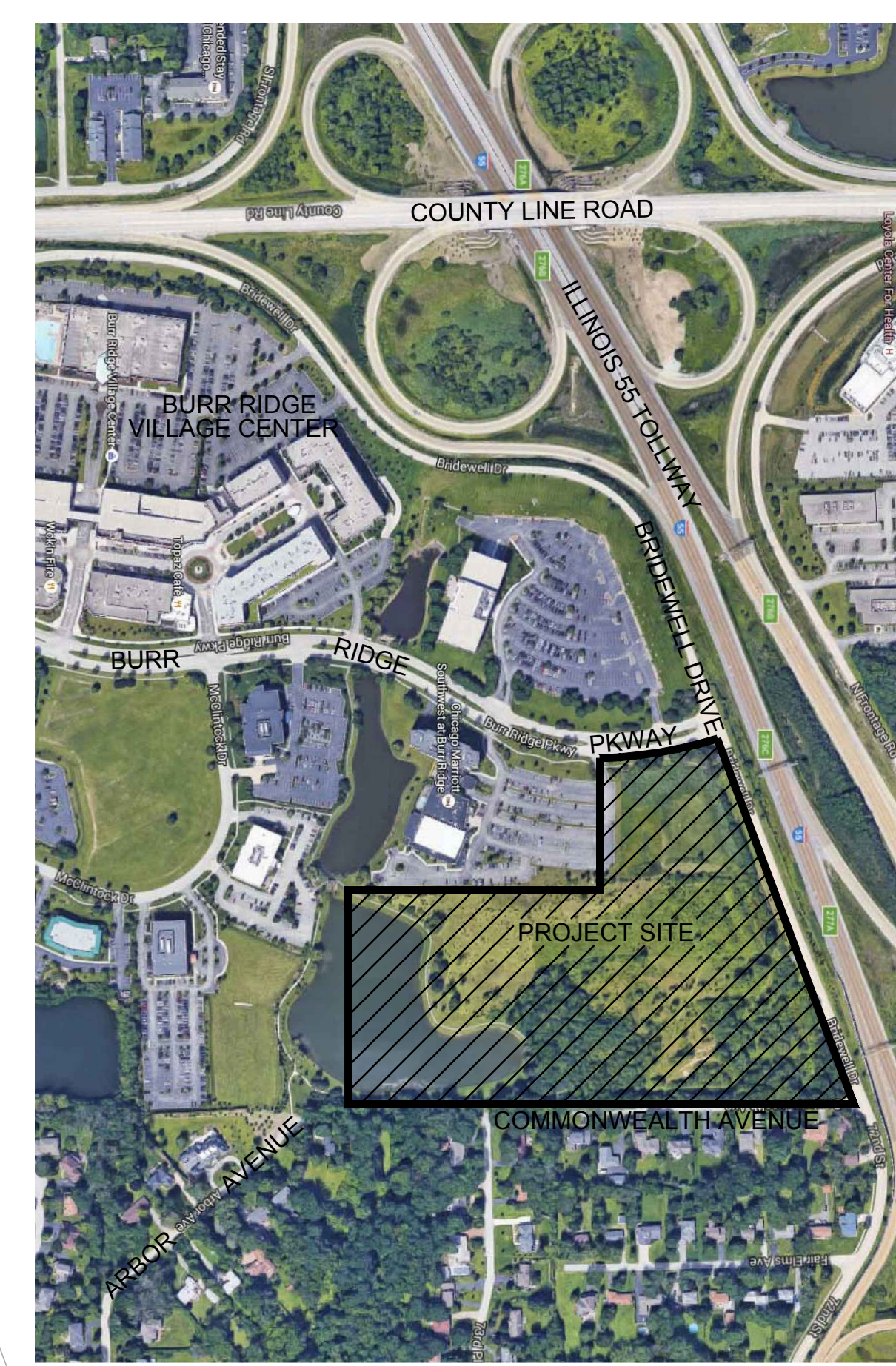
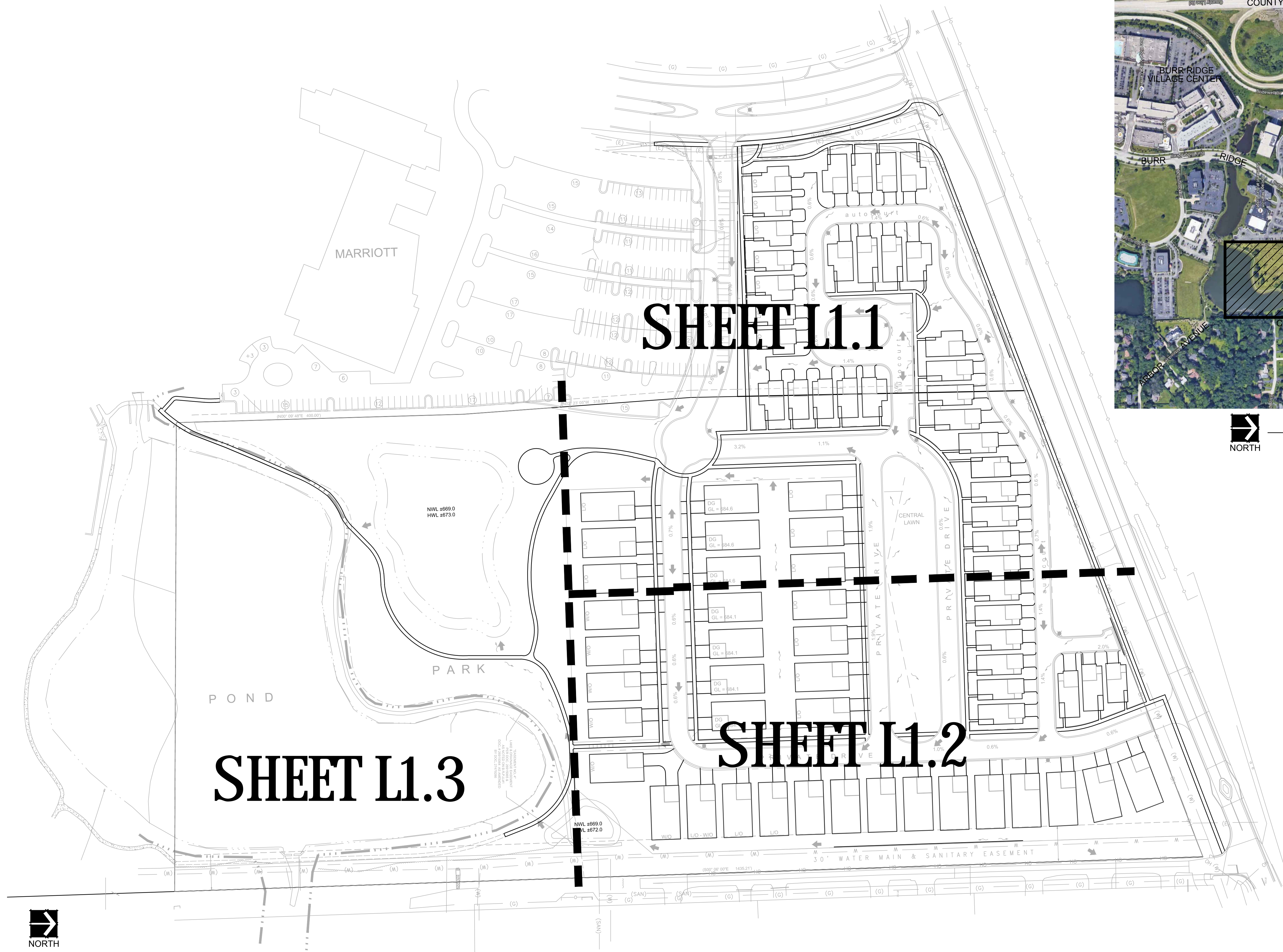
Village Detention Volume Requirement =

(19 acres) * (0.16 ac-ft/ac) – (0.9 ac-ft) = 2.14 acre-feet.

The 19 acre development area excludes 3.6 acres of the existing pond that is located on the property since that area is not being redeveloped.

IV. Proposed Stormwater Management Areas

The existing drainage pattern of the site necessitates two basins. A large basin serving a majority of the site and a smaller basin sized to serve the rear yards of the lots that are tributary to the southeast corner. Each basin is designed to accommodate both volume control and detention storage. The total combined storage capacity of the two basins is 2.90 acre-feet (the MWRD Volume Control Requirement together with the Village Detention Requirement). The bottoms of these basins will be planted with wetland materials selected to withstand fluctuating water levels. The outfalls for each basin release to the existing pond. The proposed restrictor structures and the bottoms of the basins are situated at an elevation that is above the 100-year regulatory flood elevation. Doing so ensures that the backwater elevation during the 100-year storm event will not influence the outfall rate or storage capacity.



CONTEXT MAP
NOT TO SCALE



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

PROJECT NAME AND SHEET TITLE

**LAKEVIEW POINTE
OF BURR RIDGE
VILLAGE CENTER - BURR RIDGE, IL**

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

L1.0



LANDSCAPE PLAN - SHEET KEY
SCALE: 1" = 70'-0"

DETENTION / NATURAL AREAS NOTES

PART ONE -- INSTALLATION - EXECUTION:

- A. The CONTRACTOR shall furnish, transport, and install the native seed / plugs in the areas specified on the Landscape Plan.
- B. The optimal time to install seed is from the fall (October 1) to late spring (June 15) under favorable hydrologic conditions. (Avoid mid-to-late summer seeding because of limited soil moisture and rainfall. Many native species require a cold stratification in order to break dormancy; when conditions are right in the spring, the seed will be in place to germinate.) The basin bottom shall be saturated. If seeding/planting is conducted outside that window, CONTRACTOR should realize that extra irrigation and/or replanting efforts may be necessary to achieve the minimum performance criteria at no additional cost to the OWNER.
- C. The ECOLOGICAL CONSULTANT OR LANDSCAPE ARCHITECT shall approve all species substitutions to the designated seed mixture at least two-weeks prior to planting. Unapproved species delivered to the site shall not be accepted.
- D. All native seed / plugs shall be in good condition and sourced from a reputable nursery; native seed shall be of high quality and able to germinate.
- E. The genotype of all seed sources shall be within a 100-mile radius of the project site.
- F. All plugs shall be treated with a mycorrhizal fungi mix to promote the development of a vigorous root system and to increase the roots' ability to capture nutrients, also increasing the plant's resistance to disease, drought, and insect damage.
- G. Prior to installing seed / plants, the site shall be properly prepared, which involves identifying any existing native plants, removing unwanted vegetation, stabilizing any erodible areas, and preparing the area:
- Check for any buried utilities.
 - Clear area of debris that would interfere with planting.
 - Mow any excess existing vegetation growth.
 - Apply broad spectrum or targeted herbicide, depending on species present.
 - De-compact any areas of special concern:
 - Lightly compact tilled or loose soil with a roller, cultipacker, or similar equipment.
 - If using a no-till seed drill, tilling can usually be omitted.
 - If ground is wet, tilling should not occur until the soil dries enough to break apart when tilled.
 - Scarify soil surface with shallow tilling or raking
- K. Seed / plugs shall be evenly distributed throughout all planting areas.
- L. Seed installation techniques:
- Broadcasting:
 - For small (typically two acres or less) or irregularly shaped areas, seed can be planted by hand broadcasting. To aid seed distribution, combine the seed mix with filler materials, such as sawdust, peat moss, or vermiculite. Mix the material evenly into the inert material, which should be slightly damp so that the seed sticks to it. If not already included in the seed mix, plant a temporary cover crop along with the seed, to stabilize the soil while the permanent native species germinate and becomes established, especially in highly erodible areas. Do not use a heavy amount of cover crop seed, which could smother the native seed and inhibit germination.
 - Using a hand-crank or tow-behind broadcaster, start with half of the seed and try to cover the entire area with that amount of seed. Take the remaining half of the seed, go to the opposite end of the site and cover it again. (This approach helps prevent running out of seed, a common occurrence.) After broadcasting is complete, it is important to use a cultipacker or roller over the area to make good seed-to-soil contact. If a roller is not available, tractor tires can be used instead. Do not cover seed more than ¼ inch deep.
 - No-Till Drill: For larger areas and sites with existing vegetation, use a no-till seed drill, which does not require the soil to be tilled before planting, resulting in minimal soil disturbance. No-till drills plant seed in rows opening slits in the soil, into which seed is deposited. If using a no-till drill, follow the manufacturer's specifications, the diversity of seed sizes makes drill calibration a challenge, perform a few test areas first to help prevent running out of seed.
- M. The CONTRACTOR shall water all seed / plugs throughout the first growing season as necessary to achieve the performance criteria specified below. (Typically, one inch of water per week is sufficient to encourage proper germination and growth.)
- N. Once planting is completed, an erosion control blanket should be placed over all seeded areas.

INSTALLATION - QUALITY ASSURANCE:

- A. The CONTRACTOR and ECOLOGICAL CONSULTANT OR LANDSCAPE ARCHITECT shall review survivorship during a field inspection 1-year from installation. The CONTRACTOR shall install additional seed / plugs to achieve 90% survivorship at no additional cost to OWNER. The CONTRACTOR shall water all replacement seed / plugs during the establishment period. All irrigation costs associated with plant establishment is incidental to the contract and shall be included in the lump sum price. The CONTRACTOR OR ECOLOGICAL CONSULTANT shall perform vegetative management for 3-years following planting as specified under the section "Three-Year Vegetation Management Period", to assist with performance standard achievement.
- B. The CONTRACTOR OR ECOLOGICAL CONSULTANT shall keep detailed records of the number of each species installed in each basin, and the corresponding date(s) the seeds / plugs were installed. A similar log shall be kept for each watering event. The CONTRACTOR OR ECOLOGICAL CONSULTANT shall submit a copy of these records to the CONSTRUCTION MANAGER before invoices will be approved for payment.

INSTALLATION - GUARANTY: Satisfactory performance of all native planting shall include the following:

- A. 90% survivorship 1-year from seed / plug installation and 100% survivorship 3-years from seed / plug installation.
- B. There shall be no un-vegetated areas that exceed one square yard.

INSTALLATION - CLEAN-UP: Provide clean-up as soon as practicable after work has been completed (i.e., daily and at project completion).

PART 2 -- MANAGEMENT - EXECUTION: To help ensure success, native areas need a maintenance and management plan that is flexible and supports site development goals.

While native plants tend to germinate and develop at a slower rate than ornamental perennials or turf grass, regular maintenance during the establishment period greatly improves success. Regular maintenance and monitoring controls invasive species, ensures optimal moisture levels are present, and identifies other necessary management actions. An ECOLOGICAL CONSULTANT shall assemble a management plan appropriate for each site/basin and they shall oversee the implementation of the management plan.

- A. Monitoring and maintenance activities include:
- Regular Site Inspections: During the establishment period (the first 2-3 years), address any invasive species, preventing them from becoming a problem.
 - Mowing: During the establishment period, native plants concentrate their energy toward expanding their root systems. Mowing can suppress non-native annual plants without negatively affecting natives. Mowing also thins out the canopy, allowing more light to reach new seedlings. Mow to 8-10" high. During the first growing season, perform 1-3 mowing events, depending on the height and growth of the vegetation. If weed pressure is high, more mowing may be needed.
 - Selective Herbicide Application: Many perennial weed species are best controlled through chemical applications. Use caution when applying chemicals to minimize collateral damage to desirable plant species. Chemicals should only be applied by a licensed, professional applicator who can assure that the chemical selection, rates, and application methods are legal and appropriate.
 - Over-Seeding and Supplemental Planting: Most native species grow slowly from seed. Supplemental plantings are often used to increase diversity or to introduce conservative species to an established planting. Typically, the second growing season following installation is the time to assess whether the site needs over-seeding and/or supplemental planting.
 - Water Control and Temporary Irrigation: In periods of drought, small native areas will benefit from irrigation, especially during the first growing season. Typically, one inch of water per week is sufficient to encourage proper germination and growth. Weed pressure will increase with supplemental watering, which may require more frequent mowing or herbicide application.
 - Prescribed Burning: Controlled burns can be important to long-term native area maintenance. Burning simulates historical processes that once maintained native areas. Burning greatly reduces the number of woody species and enhances the health of herbaceous species. Burning also clears thatch, while the black, burned surface absorbs and retains heat, making way for new growth in the spring. A trained professional and their trained personnel should manage all burning, insuring that proper techniques, safety, and equipment are used, only if burning is a viable option.
- B. The ECOLOGICAL CONSULTANT shall conduct chemical and/or mechanical/hand weed control activities in each of the native planting areas for a 3-year period following seed / plug installation. The ECOLOGICAL CONSULTANT shall conduct at least three weed control application periods within each basin for the first year and as needed for the following two management years. The ECOLOGICAL CONSULTANT is responsible to achieve a 100% kill of reed canary grass, purple loosestrife, thistle, teasel, cattails, and common reed, and an 95% kill of other problematic, nuisance species (i.e., red/white clover, sweet clover, ragweed, field bindweed, quack grass, smooth brome, Indian hemp, late boneset, tall boneset, tall goldenrod, common milkweed, etc.) to successfully complete each of the application periods specified below.

MANAGEMENT - APPLICATION PERIODS:

- A. The three annual application periods shall occur during the time period specified below, and consist of, but not limited to, controlling the following problematic nuisance species per each period:
- Application Period One (late spring to mid summer): problematic species such as, but not limited to, white/yellow sweet clover, wild carrot, thistle, cattails, purple loosestrife, reed canary grass, and common reed.
 - Application Period Two (mid to late summer): problematic species such as, but not limited to, ragweed, cattails, purple loosestrife, reed canary grass, and common reed.
 - Application Period Three (late summer and fall): problematic species such as, but not limited to, reed canary grass, common reed, and red/white clover.

MANAGEMENT - QUALITY ASSURANCE: The ECOLOGICAL CONSULTANT shall keep detailed records of each of all chemical and/or mechanical/hand weed control events conducted within each basin. The ECOLOGICAL CONSULTANT shall submit a copy of these records to the CONSTRUCTION MANAGER before invoices will be approved for payment.

MANAGEMENT - GUARANTY:

Satisfactory performance of management activities shall include the following:

- A. 0% species present of reed canary grass, purple loosestrife, thistle, teasel, cattails, and common reed.
- B. ≤ 5% species presence of all other non-native and weedy species.
- C. Vegetated basins are appropriately and actively managing stormwater, restoring watersheds, managing nutrient loading, mitigating habitat impacts, increasing wildlife habitat, and enhancing natural beauty.

GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STANDARDS AND CODES.
- CALL J.U.I.E. UTILITY LOCATING SERVICE (TEL 800.892.0123), 48 HOURS PRIOR TO THE START OF ANY DIGGING.
- GENERAL PLANT NOTES:
 - ALL PLANT MATERIAL SHALL CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK.
 - ALL PLANT MATERIAL SHALL BE MAINTAINED ALIVE, HEALTHY, AND FREE FROM DISEASE AND PESTS.
 - ALL NEW PLANT MATERIAL SHALL BE FROM A LOCAL SOURCE WHENEVER POSSIBLE (LESS THAN 50 MILES).
 - PLANTS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORM / HABIT. PLANTS SHALL NOT BE PRUNED/HEDGED UNLESS ABSOLUTELY NECESSARY (DUE TO VISIBILITY OR HAZARD OBSTRUCTION).
 - ALL LANDSCAPED AREAS SHALL BE FREE OF WEEDS, LITTER, AND SIMILAR SIGNS OF DEFERRED MAINTENANCE.
 - MAINTENANCE AND CARE OF PLANT MATERIAL SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING (IF NECESSARY), DEAD-HEADING, WEEDING, AND MULCHING.
- LOCATIONS OF PROPOSED PLANT MATERIAL MAY BE ADJUSTED AT TIME OF INSTALLATION DUE TO FINAL ENGINEERING AND FINAL LOCATION OF SITE UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SPREADING TOPSOIL (6"-12" DEEP), FINE GRADING, AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS. ALL SOILS SHALL BE FREE OF CONSTRUCTION DEBRIS, PRIOR TO INSTALLING ANY PLANT MATERIAL.
- PRIOR TO SPREADING TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM GRADES INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.
- ALL SHRUB, GROUNDCOVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE PREPARED WITH A SOIL AMENDMENT MIX - 1/3 TOPSOIL, 1/3 MUSHROOM COMPOST, AND 1/3 TORPEDO SAND. MATERIAL SHALL BE ROTO-TILLED JUST PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL PLANTING ISLANDS SHALL BE MOUNDED TO A CENTER HEIGHT OF TWELVE INCHES (12").
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL OR OTHER BORDER IS SPECIFIED.
- ALL PLANTING BED AREAS SHALL MAINTAIN A MAX. 3" DEEP LAYER OF SHREDDED HARDWOOD MULCH (COLOR: NON-DYED, BROWN).
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH LANDSCAPE MAINTENANCE CONTRACTOR, TO ENSURE PROPER WATERING OF PLANTED AND SODDED AREAS AFTER INITIAL INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE ANY REDO OF COMPLETED LANDSCAPE WORK AND DAMAGE TO PLANT MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN LAYOUT WORK. UPON REQUEST, LANDSCAPE ARCHITECT SHALL BE AVAILABLE TO ASSIST/APPROVE CONTRACTOR LAYOUT.
- EVERY ATTEMPT HAS BEEN MADE TO DEPICT ALL EXISTING UTILITY LINES. CONTRACTOR SHALL USE PRECAUTION WHEN DIGGING. CONTRACTOR SHALL MAKE THEMSELVES THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING, VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- PLANT LIST QUANTITIES PROVIDED AT TIME OF FINAL PLANS ARE APPROXIMATIONS. CONTRACTORS ARE RESPONSIBLE FOR COMPLETING THEIR OWN QUANTITY TAKE-OFFS. IF A DISCREPANCY IS FOUND BETWEEN THE PLAN AND THE PLANT LIST, THEN THE PLAN SHALL PREVAIL.
- PLANT SUBSTITUTIONS ARE ALLOWED DUE TO PLANT AVAILABILITY OR PLANTING TIME OF YEAR, ONLY WITH THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT. IF SUBSTITUTIONS ARE MADE WITHOUT PRIOR CONSENT, THE LANDSCAPE ARCHITECT MAINTAINS THE RIGHT TO REJECT MATERIAL IN THE FIELD, AT THE COST TO THE CONTRACTOR.
- CONTRACTOR TO PROVIDE TEST OF EXISTING AND IMPORTED SOILS PER SPECIFICATIONS. PLANTING SOIL SHALL BE AMENDED PER SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL TURF SHALL BE KENTUCKY BLUEGRASS BLEND SOD (MINERAL, NOT PEAT), UNLESS OTHERWISE NOTED ON THE PLAN.
- CONTRACTOR SHALL RESTORE LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- LANDSCAPE DETAILS SHOWN ARE FOR DESIGN INTENT ONLY. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY. CONTRACTOR IS RESPONSIBLE FOR ERECTING AND INSTALLING PROPERLY BUILT AMENITIES PER CODE, PER SITE CONDITIONS (FINAL GRADING & UTILITY LOCATIONS), AND PER AREA CLIMATE CONDITIONS. ALL LANDSCAPE SITE DETAILS FOR STRUCTURES AND FOOTINGS SHALL BE REVIEWED & APPROVED BY A STRUCTURAL ENGINEER.
- CONTRACTOR INSTALLATION BIDS SHALL INCLUDE A ONE-YEAR WARRANTY ON ALL PLANT MATERIAL.
- (IF APPLICABLE) CONTRACTOR INSTALLATION BIDS SHALL INCLUDE A THREE-YEAR MONITORING AND MAINTENANCE PROGRAM ON ALL NATURALIZED DETENTION AREAS.

PROJECT TEAM

DEVELOPER:

DAVID WEEKLEY HOMES
1930 N. THOREAU DRIVE, SUITE 160
SCHAUMBURG, IL 60173
TEL (847) 241-4310

CONTACT: KEVIN SEAY

ATTORNEY:

ARONBERG GOLDBEHN DAVIS & GARMISA
330 NORTH WABASH AVENUE, SUITE 1700
CHICAGO, IL 60611-3586
TEL (312) 755-3155

CONTACT: ROBERT (BOB) SODIKOFF

LAND PLANNER:

BSB DESIGN, INC.
CHICAGO REGIONAL OFFICE
1540 E. DUNDEE ROAD, SUITE 310
PALATINE, IL 60074
TEL (847) 705-2200

CONTACT: JOE MASCHKE

CIVIL ENGINEER:

V3 COMPANIES
7325 JAMES AVENUE
WOODRIDGE, IL 60517
TEL (630) 724-9200

CONTACT: TOM KUNSCHKE / DWAYNE GILLIAN

TRAFFIC ENGINEER:

KENIG LINDGREN O'HARA & ABOONA, INC. (KLOA)
9575 W. HIGGINS ROAD, #400
ROSEMONT, IL 60018
TEL (847) 518-9990

CONTACT: LUAY ABOONA

LANDSCAPE ARCHITECT:

DICKSON DESIGN STUDIO, INC.
526 SKYLINE DRIVE
ALGONQUIN, IL 60102
TEL (847) 878-4019

CONTACT: SHARON DICKSON

SHEET KEY

L0.1 PROJECT TEAM

GENERAL LANDSCAPE NOTES

DETENTION / NATURAL AREAS NOTES

L0.2 PLANT & MATERIALS LIST

PLANT SYMBOLS KEY

PLANTING DETAILS

L1.0 LANDSCAPE PLAN - SHEET KEY

CONTEXT MAP

L1.1 LANDSCAPE PLAN

L1.2 LANDSCAPE PLAN

L1.3 LANDSCAPE PLAN

L2.1 TYPICAL FOUNDATION LANDSCAPE PLAN
- COURTYARD HOMES

L2.2 ENTRY ENHANCEMENTS

L2.3 SITE PLAN - SECTION CUTS

L2.4 SECTION CUT ELEVATIONS



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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PROJECT NAME AND SHEET TITLE

**LAKESIDE POINTE
OF BURR RIDGE
VILLAGE CENTER - BURR RIDGE, IL**

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

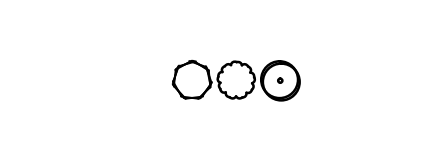


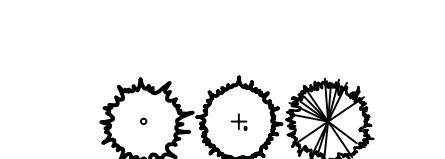

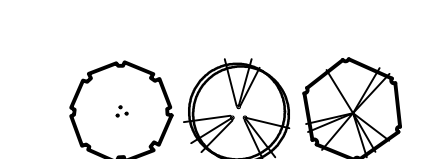



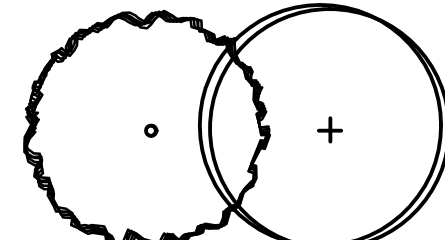


L0.1

PLANT & MATERIALS LIST

NOTE: ACTUAL PLANT QUANTITIES, SIZES, AND BOTANIC/COMMON NAMES SHALL BE PROVIDED AT TIME OF FINAL LANDSCAPE PLAN.

PLANT SYMBOLS KEY & PLANT MIX MATRIX

NOTE: NOT ALL PLANT SYMBOLS & PLANT VARIETIES MAY BE DEPICTED ON PLANS.



EXISTING DECIDUOUS TREE

EXISTING EVERGREEN TREE

EXISTING SHRUBS & PERENNIALS

SHADE / CANOPY TREES, 2.5"+ CALIPER:

- ACER VARIETIES / MAPLE VAR.
- FAGUS VARIETIES / BEECH VAR.
- CELTIS OCCIDENTALIS / COMMON HACKBERRY
- GINKGO BILOBA / GINKGO
- GLEDITSIA TRIACANTHOS VAR. INERMIS / THORNLESS HONEYLOCUST
- GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
- LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEETGUM
- LIRIODENDRON TULIPIFERA / TULIP TREE
- METASEKUIA GLYPTOSTROBOIDES / DAWN REDWOOD
- PLATANUS ACERIFOLIA 'MORTON CIRCLE' / LONDON PLANETREE
- PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR
- QUERCUS ALBA / WHITE OAK
- QUERCUS BICOLOR / SWAMP WHITE OAK
- QUERCUS MACROCARPA / BUR OAK
- QUERCUS PALUSTRIS / PIN OAK
- QUERCUS RUBRA / RED OAK
- SALIX ALBA VAR. TRISTIS / GOLDEN NIOBE WEeping WILLOW
- TILIA TOMENTOSA 'STERLING SILVER' / STERLING SILVER LINDEN
- ULMUS CARPINIFOLIA 'ACCOLADE' / ACCOLADE ELM

ORNAMENTAL TREES, 6'-10'+ TALL:

- ALNUNS GLUTINOSA / EUROPEAN BLACK ALDER
- AMELANCHIER VARIETIES / SERVICEBERRY VAR.
- BETULA NIGRA / RIVER BIRCH
- CORNUS MAS / CORNELIAN CHERRY
- CRATAEGUS VARIETIES / HAWTHORN VAR.
- HAMAMELIS VARIETIES / WITCHHAZEL VAR.
- MAGNOLIA VARIETIES / MAGNOLIA VAR.
- MALUS VARIETIES / FLOWERING CRABAPPLE VAR.
- SYRINGA RETICULATA / JAPANESE TREE LILAC

EVERGREEN TREES, 6'-10'+ TALL:

- ABIES CONCOLOR / WHITE FIR
- JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER
- JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER
- PICEA ABIES / NORWAY SPRUCE
- PICEA GLAUCA 'DENSATA' / BLACK HILLS SPRUCE
- PICEA PUNGENS / COLORADO SPRUCE
- PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE
- PINUS STROBUS / EASTERN WHITE PINE
- PSEUDOTSUGA MENDENSII / DOUGLAS FIR
- TAXUS CUSPIDATA 'CAPITATA' / CAPITATA YEW
- THUJA VARIETIES / ARBORVITAE VAR.
- TSUGA CANADENSIS / CANADIAN HEMLOCK

LARGE, DECIDUOUS SHRUBS, 36"-48"+ TALL:

- AESCULUS PARVIFLORA / BOTTLEBRUSH BUCKEYE
- ARONIA VARIETIES / CHOKEBERRY VAR.
- CORNUS VARIETIES / DOGWOOD VAR.
- EUONYMUS ALATA 'COMPACTA' / DWARF BURNING BUSH
- FORSYTHIA 'MEADOWLARK' / MEADOWLARK FORSYTHIA
- FOTHERGILLA GARDENII / DWARF FOTHERGILLA
- HYDRANGEA VARIETIES / HYDRANGEA VAR.
- SYRINGA VARIETIES / LILAC VAR.
- VIBURNUM VARIETIES / VIBURNUM VAR.

SMALL, DECIDUOUS SHRUBS, 18"-24" TALL:

- BERBERIS VARIETIES / BARBERRY VAR.
- HYPERICUM KALMIANUM / ST. JOHNSWORT
- RHUS AROMATICA 'GRO-LOW' / GRO LOW SUMAC
- ROSA VARIETIES / SHRUB ROSE VAR.
- SPIRAEA VARIETIES / SPIREA VAR.

SMALL, EVERGREEN SHRUBS, 24" TALL / WIDE:

- BUXUS VARIETIES / BOXWOOD VAR.
- JUNIPERUS VARIETIES / JUNIPER VAR.
- TAXUS VARIETIES / YEW VAR.
- THUJA OCCIDENTALIS 'HETZ MIDGET' / HETZ MIDGET ARBORVITAE

LARGE, ORNAMENTAL GRASS, 3 GALLON & SMALL, ORNAMENTAL GRASS, 1 GALLON:

- CALAMAGROSTIS VARIETIES / REED GRASS VAR.
- MISCANTHUS VARIETIES / MAIDEN GRASS VAR.
- PANICUM VARIETIES / SWITCH GRASS VAR.
- PENNISETUM VARIETIES / FOUNTAIN GRASS VAR.
- SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM
- SESLERIA AUTUMNALIS / MOOR GRASS
- SPOROBOLUS HETEROLEPSIS / PRARIE DROPSEED

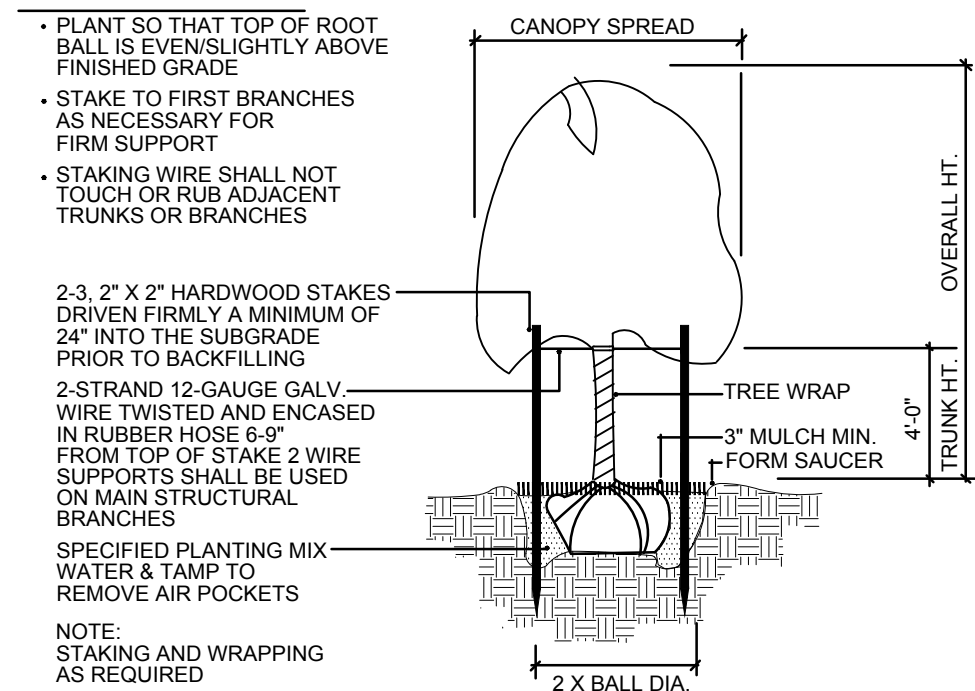
PERENNIAL FLOWERS & GROUNDCOVER, 1 GALLON:

- MISC. VAR.

PLANTING DETAILS

PLANTING NOTES:

- PLANT SO THAT TOP OF ROOT BALL IS EVENSLIGHTLY ABOVE FINISHED GRADE
- STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT
- STAKING WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES



2-3, 2" X 2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 24" INTO THE SUBGRADE PRIOR TO BACKFILLING

2-STRAND 12-GAUGE GALV. WIRE TWISTED AND ENCASED IN RUBBER HOSE 6-9" FROM TOP OF STAKE 2 WIRE SUPPORTS SHALL BE USED ON MAIN STRUCTURAL BRANCHES

SPECIFIED PLANTING MIX WATER & TAMP TO REMOVE AIR POCKETS

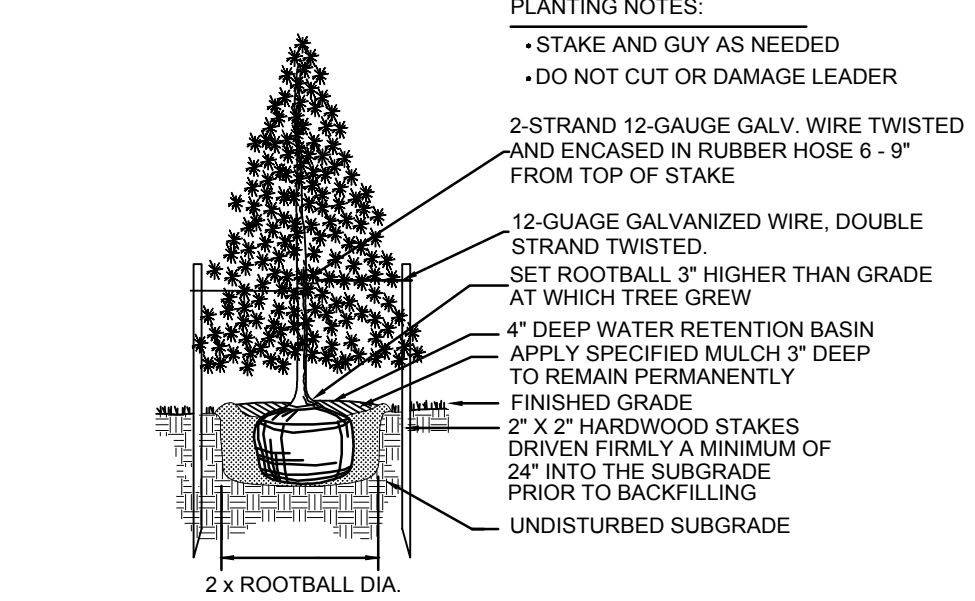
NOTE: STAKING AND WRAPPING AS REQUIRED

TREE PLANTING & STAKING

NOT TO SCALE

PLANTING NOTES:

- STAKE AND GUY AS NEEDED
- DO NOT CUT OR DAMAGE LEADER



2-STRAND 12-GAUGE GALV. WIRE TWISTED AND ENCASED IN RUBBER HOSE 6-9" FROM TOP OF STAKE

12-GAUGE GALVANIZED WIRE, DOUBLE STRAND TWISTED, SET ROOTBALL 3" HIGHER THAN GRADE AT WHICH TREE GREW

4" DEEP WATER RETENTION BASIN APPLY SPECIFIED MULCH 3" DEEP TO REMAIN PERMANENTLY

FINISHED GRADE

2" X 2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 24" INTO THE SUBGRADE PRIOR TO BACKFILLING

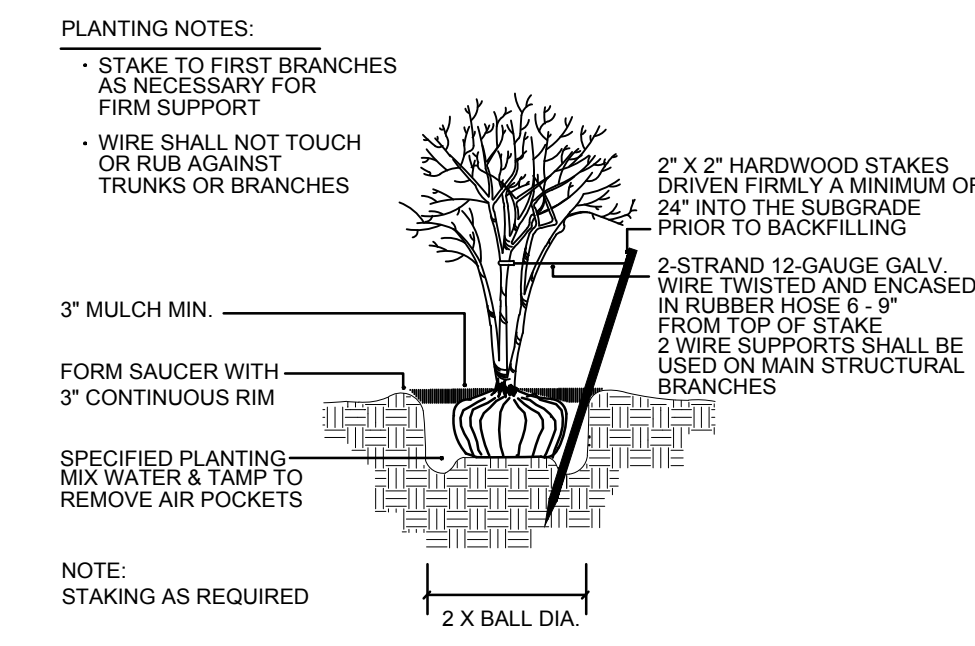
UNDISTURBED SUBGRADE

EVERGREEN TREE PLANTING

NOT TO SCALE

PLANTING NOTES:

- STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT
- WIRE SHALL NOT TOUCH OR RUB AGAINST TRUNKS OR BRANCHES



3" MULCH MIN.

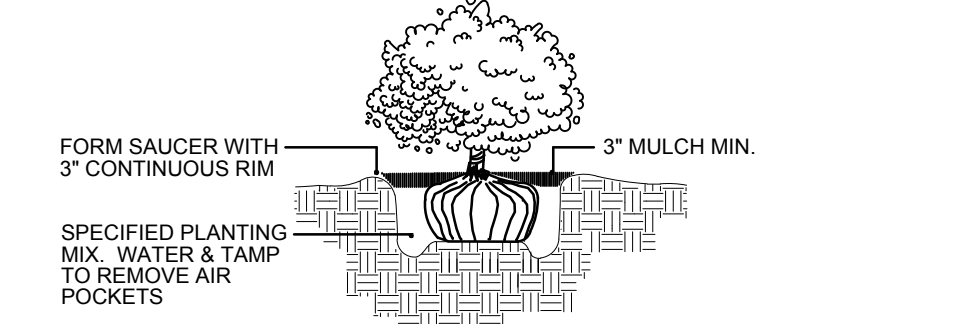
FORM SAUCER WITH 3" CONTINUOUS RIM

SPECIFIED PLANTING MIX WATER & TAMP TO REMOVE AIR POCKETS

NOTE: STAKING AS REQUIRED

MULTI-TRUNK TREE STAKING

NOT TO SCALE



FORM SAUCER WITH 3" CONTINUOUS RIM

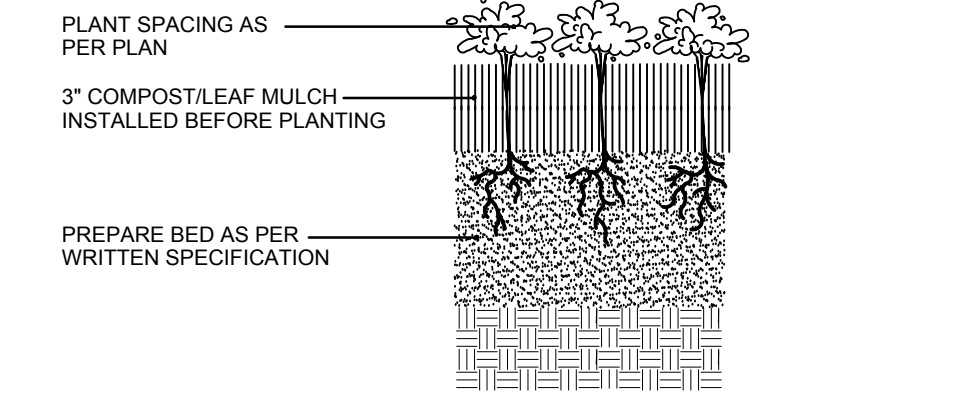
3" MULCH MIN.

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS

SHRUB PLANTING

NOT TO SCALE

PLANT SPACING AS PER PLAN



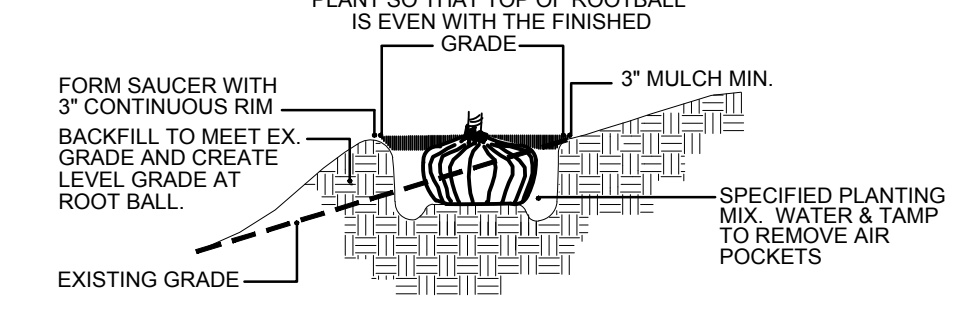
3" COMPOST/LEAF MULCH INSTALLED BEFORE PLANTING

PREPARE BED AS PER WRITTEN SPECIFICATION

PERENNIAL PLANTING

NOT TO SCALE

PLANT SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE



3" MULCH MIN.

FORM SAUCER WITH 3" CONTINUOUS RIM BACKFILL TO MEET EX. GRADE AND CREATE LEVEL GRADE AT ROOT BALL

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS

HILLSIDE PLANTING

NOT TO SCALE



526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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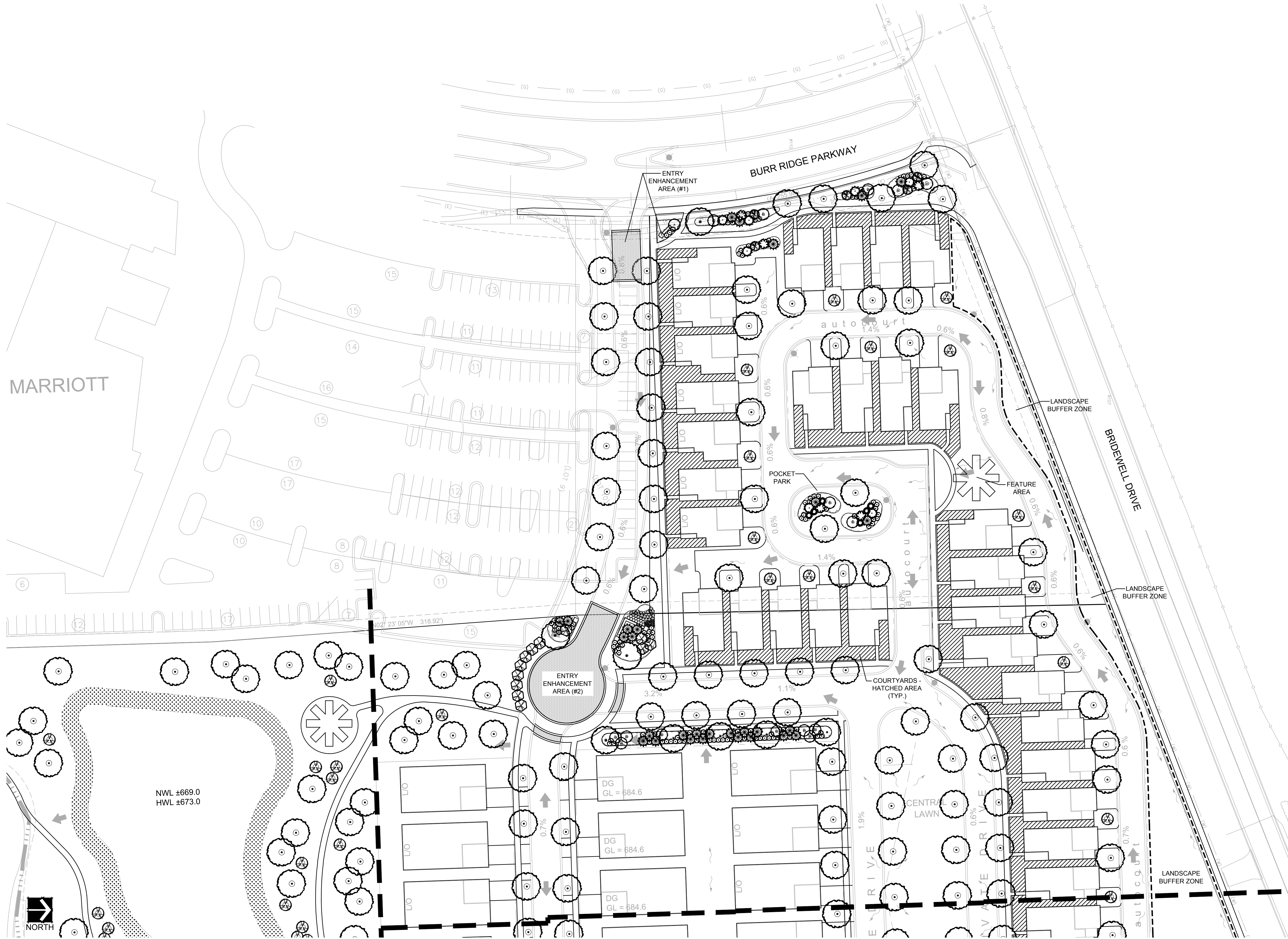
PROJECT NAME AND SHEET TITLE

LAKESIDE POINTE
OF BURR RIDGE
VILLAGE CENTER - BURR RIDGE, IL

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

LO.2



LANDSCAPE PLAN
SCALE: 1" = 40'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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PROJECT NAME AND SHEET TITLE

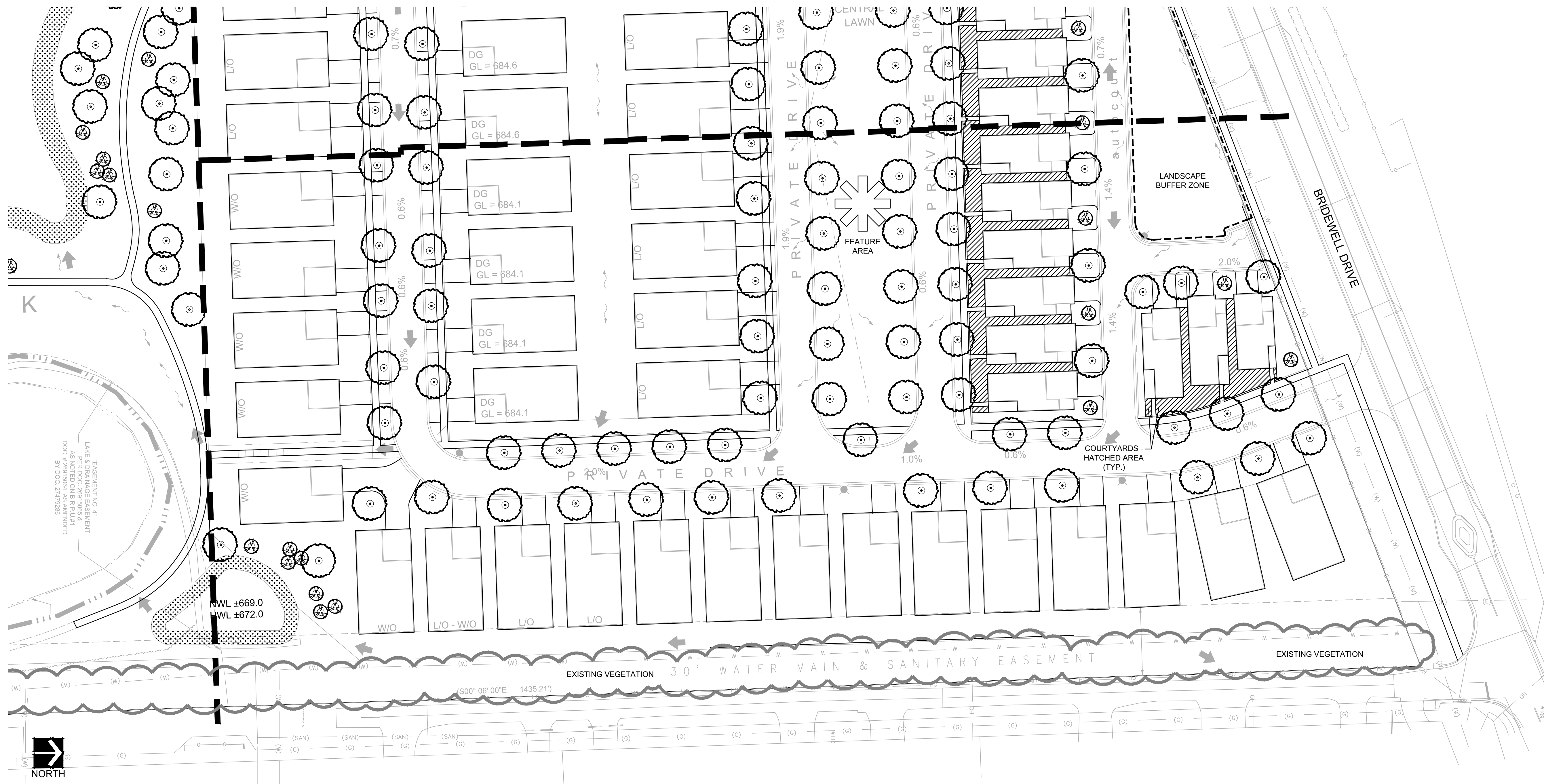
**LAKESIDE POINTE
OF BURR RIDGE**

VILLAGE CENTER - BURR RIDGE, IL

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

L1.1



LANDSCAPE PLAN
SCALE: 1" = 40'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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PROJECT NAME AND SHEET TITLE

**LAKESIDE POINTE
OF BURR RIDGE**


VILLAGE CENTER - BURR RIDGE, IL

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

L1.2




NORTH
LANDSCAPE PLAN
SCALE: 1" = 40'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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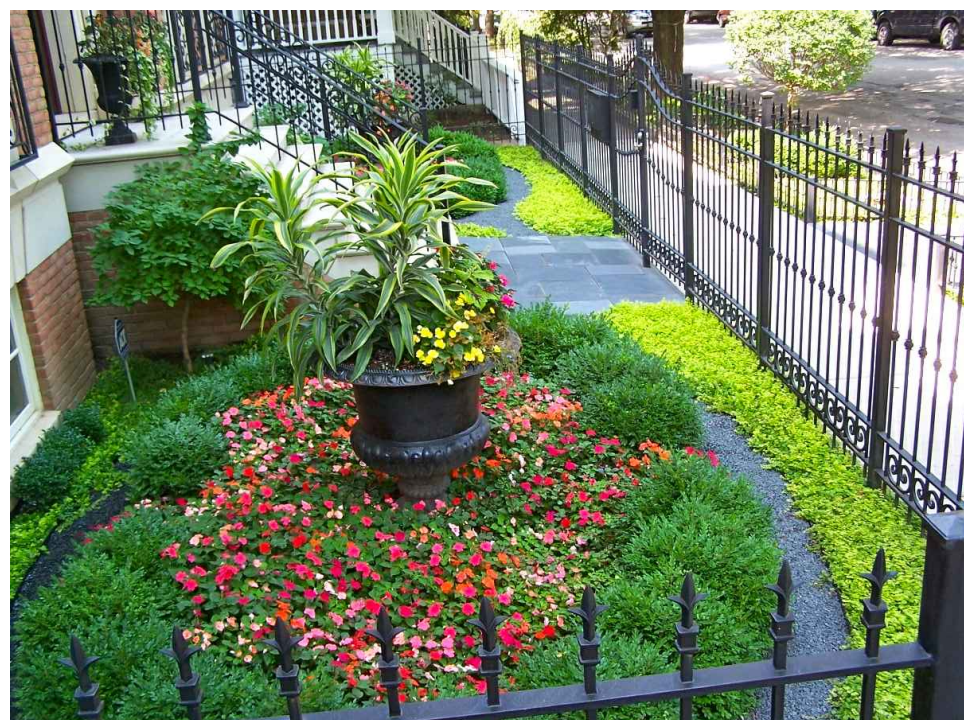
PROJECT NAME AND SHEET TITLE

**LAKESIDE POINTE
OF BURR RIDGE**
VILLAGE CENTER - BURR RIDGE, IL

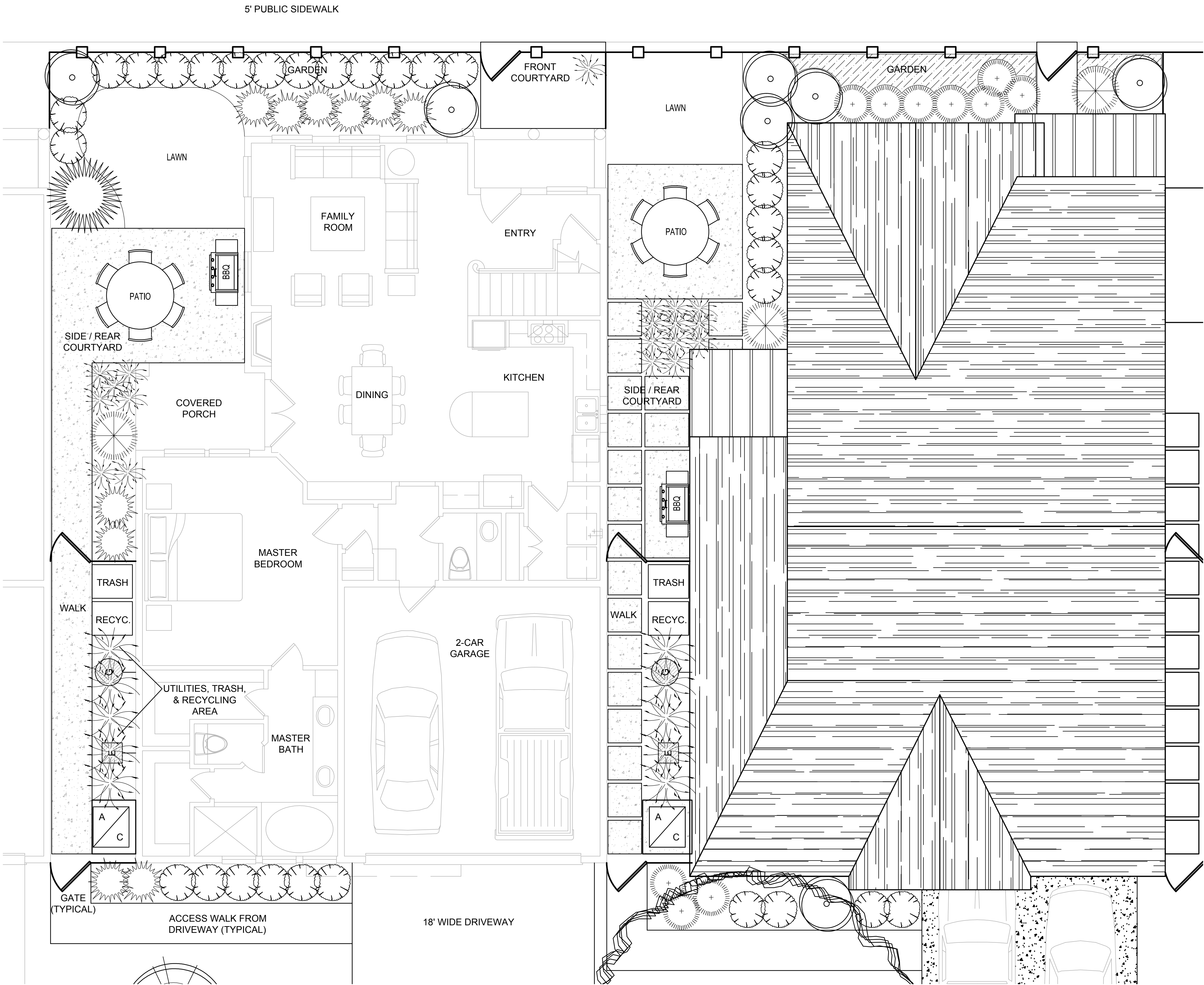
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

L1.3



INSPIRATION IMAGES - COURTYARDS



TYPICAL FOUNDATION LANDSCAPE PLAN - COURTYARD HOMES
SCALE: 1/4" = 1'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS
DAVID WEEKLEY HOMES

SCHAUMBURG, IL

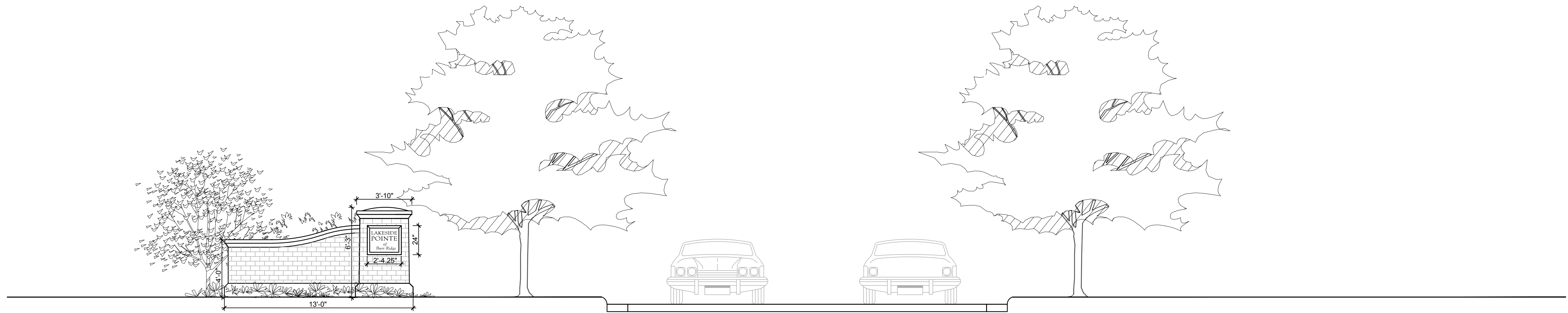
PLAN DATE
APRIL 13, 2016

REVISIONS	
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PROJECT NAME AND SHEET TITLE
**LAKEVIEW POINTE
OF BURR RIDGE
VILLAGE CENTER - BURR RIDGE, IL**

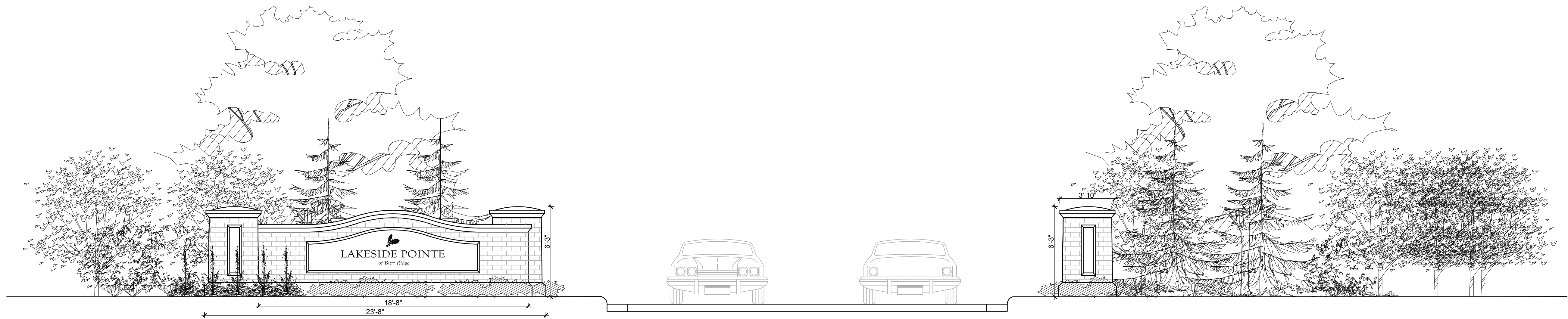
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER
L2.1



ENTRY ENHANCEMENT (#1) - AT BURR RIDGE PARKWAY

SCALE: 1/4" = 1'-0"



ENTRY ENHANCEMENT (#2) - ALONG PRIVATE DRIVE

SCALE: 1/4" = 1'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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PROJECT NAME AND SHEET TITLE

**LAKEVIEW POINTE
OF BURR RIDGE**

VILLAGE CENTER - BURR RIDGE, IL

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

L2.2



SECTION CUTS - SHEET KEY
SCALE: 1" = 70'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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PROJECT NAME AND SHEET TITLE

**LAKESIDE POINTE
OF BURR RIDGE**
VILLAGE CENTER - BURR RIDGE, IL

PRELIMINARY LANDSCAPE PLAN

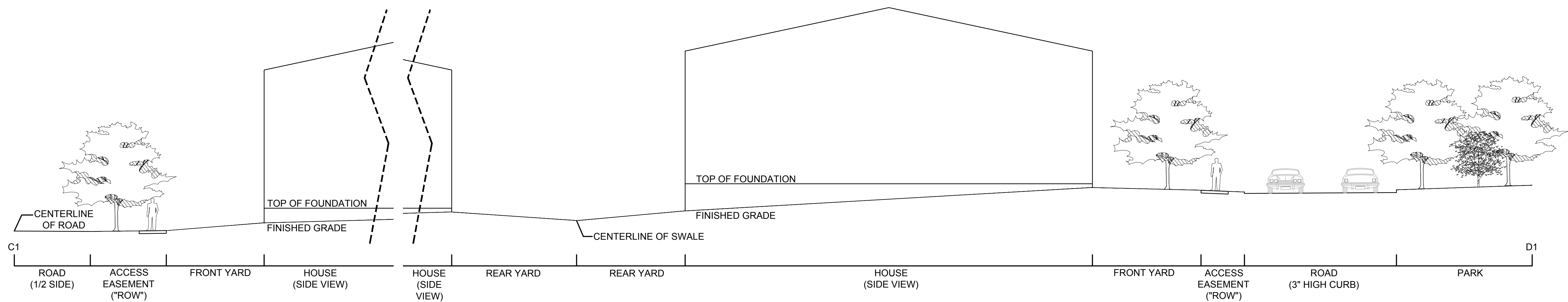
SHEET NUMBER

L2.3



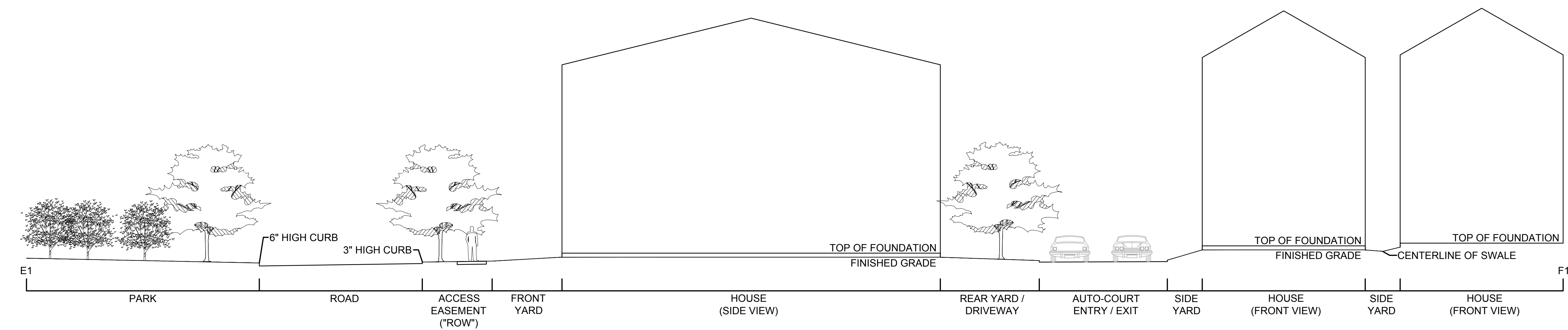
SECTION CUT, A1 - B1

SCALE: 1" = 10'-0"



SECTION CUT, C1 - D1

SCALE: 1" = 10'-0"



SECTION CUT, E1 - F1

SCALE: 1" = 10'-0"



dickson design
STUDIO

526 SKYLINE DRIVE
ALGONQUIN IL 60102
847 878 4019

CLIENT NAME AND ADDRESS

DAVID WEEKLEY HOMES

SCHAUMBURG, IL

PLAN DATE

APRIL 13, 2016

REVISIONS

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PROJECT NAME AND SHEET TITLE

**LAKESIDE POINTE
OF BURR RIDGE**

VILLAGE CENTER - BURR RIDGE, IL

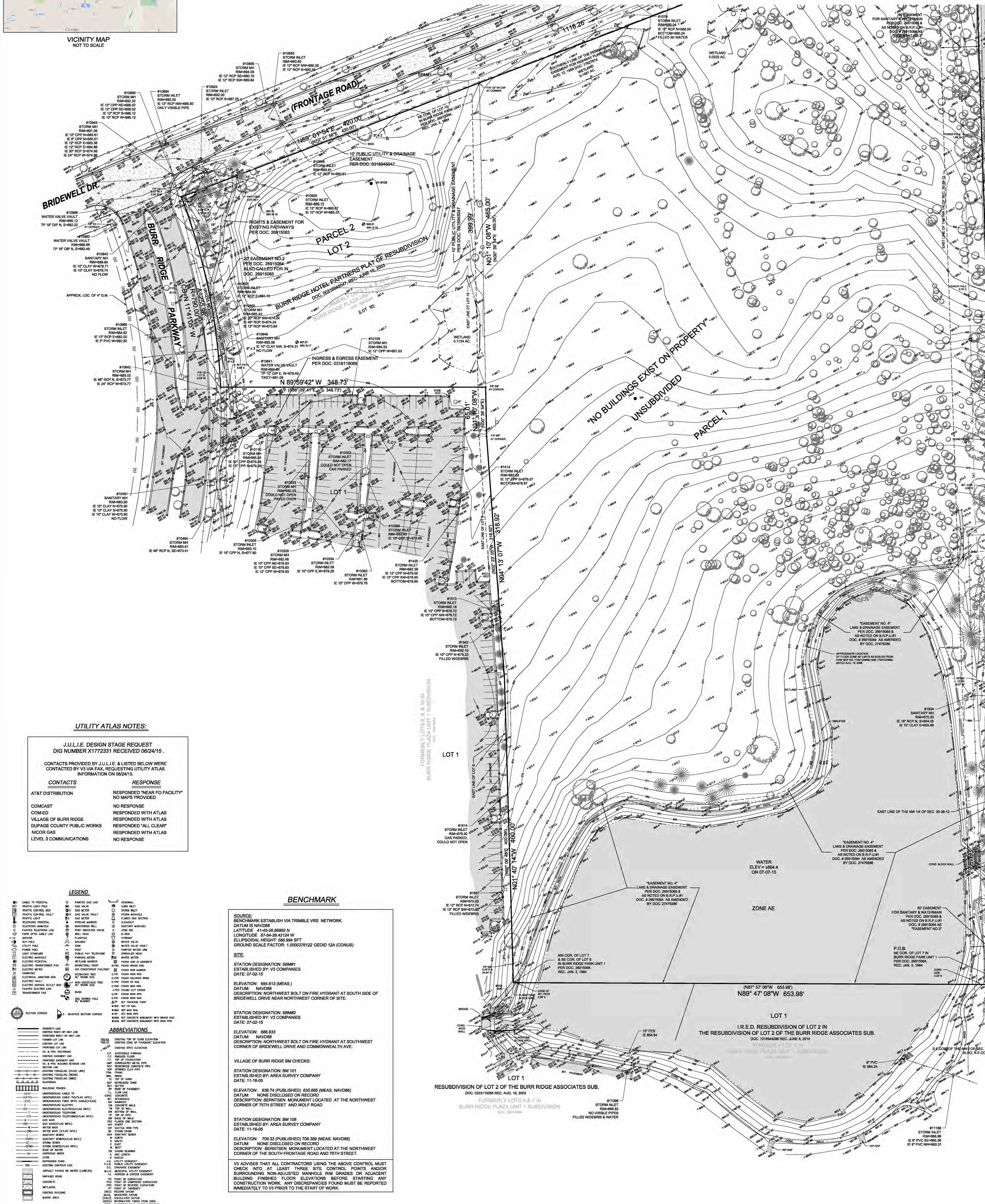
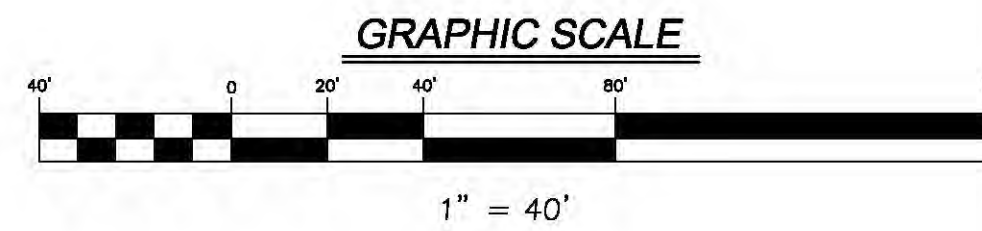
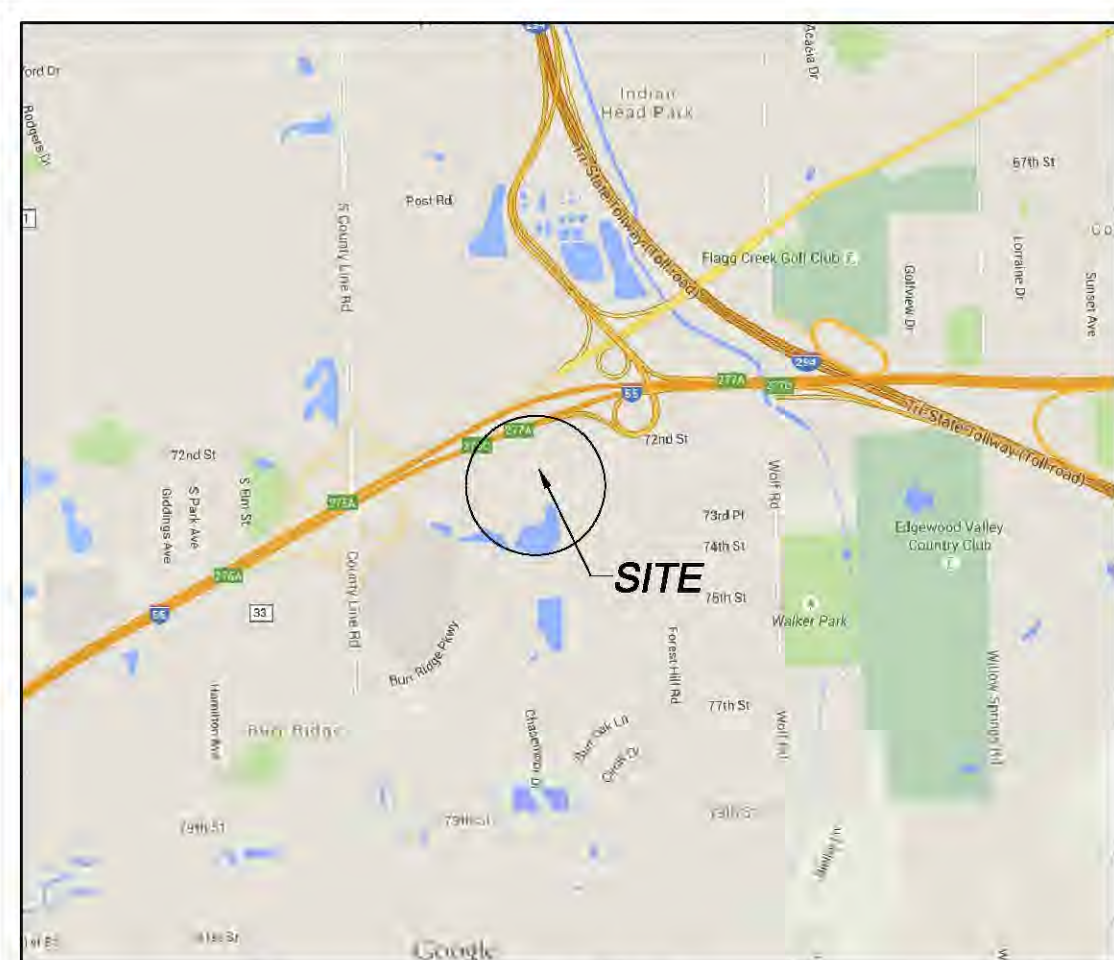
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

L2.4

ALTAIACSM LAND TITLE SURVEY & TOPOGRAPHIC MAP
OF
20-ACRE TOWN CENTER SITE,
BURR RIDGE, IL

P.I.N. 18-30-300-025
18-30-303-016



SEE SHEET 1 OF 2

UTILITY ATLAS NOTES:

J.U.L.I.E. DESIGN STAGE REQUEST
DIG NUMBER X1772331 RECEIVED 06/24/15.

CONTACTS PROVIDED BY J.U.L.I.E. & LISTED BELOW WERE
CONTACTED BY V3 VIA FAX, REQUESTING UTILITY ATLAS
INFORMATION ON 06/24/15.

CONTACTS	RESPONSE
AT&T DISTRIBUTION	RESPONDED "NEAR FO FACILITY" NO MAPS PROVIDED
COMCAST	NO RESPONSE
COM-ED	NO RESPONSE WITH ATLAS
VILLAGE OF BURR RIDGE	RESPONDED WITH ATLAS
DUPAGE COUNTY PUBLIC WORKS	RESPONDED "ALL CLEAR"
NICOR GAS	RESPONDED WITH ATLAS
LEVEL 3 COMMUNICATIONS	NO RESPONSE

BENCHMARK

SOURCE:
BENCHMARK ESTABLISH VIA TRIMBLE VRS NETWORK.
DATUM IS NAVD83
LATITUDE: 41-45-26.66992 N
LONGITUDE: 87-54-28.61214 W
ELLIPSOIDAL HEIGHT: 586.994 SFT
GROUND SCALE FACTOR: 1.000376122 GEOID 12A (CONUS)

SITE:
STATION DESIGNATION: SBM01
ESTABLISHED BY: V3 COMPANIES
DATE: 07-02-15
ELEVATION: 634.613 (MEAS.)
DATUM: NAVD83
DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT AT SOUTH SIDE OF
BRIDGEWELL DRIVE NEAR NORTHWEST CORNER OF SITE.

STATION DESIGNATION: SBM02
ESTABLISHED BY: V3 COMPANIES
DATE: 07-02-15
ELEVATION: 686.633
DATUM: NAVD83
DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT AT SOUTHWEST
CORNER OF BRIDGEWELL DRIVE AND COMMONWEALTH AVE.

VILLAGE OF BURR RIDGE BENCHMARKS:
STATION DESIGNATION: BM 101
ESTABLISHED BY: AREA SURVEY COMPANY
DATE: 11-16-08
ELEVATION: 636.74 (PUBLISHED) 635.86 (MEAS. NAVD83)
DATUM: NONE DISCLOSED ON RECORD
DESCRIPTION: BERTINSEN MONUMENT LOCATED AT THE NORTHWEST
CORNER OF 75TH STREET AND WOLF ROAD

STATION DESIGNATION: BM 108
ESTABLISHED BY: AREA SURVEY COMPANY
DATE: 11-16-08
ELEVATION: 709.33 (PUBLISHED) 708.39 (MEAS. NAVD83)
DATUM: NONE DISCLOSED ON RECORD
DESCRIPTION: BERTINSEN MONUMENT LOCATED AT THE NORTHWEST
CORNER OF THE SOUTH FRONTAGE ROAD AND 75TH STREET.

V3 ADVISES THAT ALL CONTRACTORS USING THE ABOVE CONTROL MUST
CHECK INTO AT LEAST THREE SITE CONTROL POINTS AND/OR
SURROUNDING NON-ADJUSTED MANHOLE RIM GRADES OR ADJACENT
BUILDING FINISHED FLOOR ELEVATIONS BEFORE STARTING ANY
CONSTRUCTION WORK. ANY DISCREPANCIES FOUND MUST BE REPORTED
IMMEDIATELY TO V3 PRIOR TO THE START OF WORK.

LEGEND	ABBREVIATIONS
1. CABLE TV FIBER OPTIC 2. TRAFFIC LIGHT POLE 3. TRAFFIC CONTROL BOX 4. TRAFFIC CONTROL VALVE 5. TELEPHONE FIBER OPTIC 6. TELEPHONE MANHOLE 7. FIBER OPTIC CABLE LINE 8. FIBER OPTIC CABLE LINE 9. FIBER OPTIC CABLE LINE 10. FIBER OPTIC CABLE LINE 11. FIBER OPTIC CABLE LINE 12. FIBER OPTIC CABLE LINE 13. FIBER OPTIC CABLE LINE 14. FIBER OPTIC CABLE LINE 15. FIBER OPTIC CABLE LINE 16. FIBER OPTIC CABLE LINE 17. FIBER OPTIC CABLE LINE 18. FIBER OPTIC CABLE LINE 19. FIBER OPTIC CABLE LINE 20. FIBER OPTIC CABLE LINE 21. FIBER OPTIC CABLE LINE 22. FIBER OPTIC CABLE LINE 23. FIBER OPTIC CABLE LINE 24. FIBER OPTIC CABLE LINE 25. FIBER OPTIC CABLE LINE 26. FIBER OPTIC CABLE LINE 27. FIBER OPTIC CABLE LINE 28. FIBER OPTIC CABLE LINE 29. FIBER OPTIC CABLE LINE 30. FIBER OPTIC CABLE LINE 31. FIBER OPTIC CABLE LINE 32. FIBER OPTIC CABLE LINE 33. FIBER OPTIC CABLE LINE 34. FIBER OPTIC CABLE LINE 35. FIBER OPTIC CABLE LINE 36. FIBER OPTIC CABLE LINE 37. FIBER OPTIC CABLE LINE 38. FIBER OPTIC CABLE LINE 39. FIBER OPTIC CABLE LINE 40. FIBER OPTIC CABLE LINE 41. FIBER OPTIC CABLE LINE 42. FIBER OPTIC CABLE LINE 43. FIBER OPTIC CABLE LINE 44. FIBER OPTIC CABLE LINE 45. FIBER OPTIC CABLE LINE 46. FIBER OPTIC CABLE LINE 47. FIBER OPTIC CABLE LINE 48. FIBER OPTIC CABLE LINE 49. FIBER OPTIC CABLE LINE 50. FIBER OPTIC CABLE LINE 51. FIBER OPTIC CABLE LINE 52. FIBER OPTIC CABLE LINE 53. FIBER OPTIC CABLE LINE 54. FIBER OPTIC CABLE LINE 55. FIBER OPTIC CABLE LINE 56. FIBER OPTIC CABLE LINE 57. FIBER OPTIC CABLE LINE 58. FIBER OPTIC CABLE LINE 59. FIBER OPTIC CABLE LINE 60. FIBER OPTIC CABLE LINE 61. FIBER OPTIC CABLE LINE 62. FIBER OPTIC CABLE LINE 63. FIBER OPTIC CABLE LINE 64. FIBER OPTIC CABLE LINE 65. FIBER OPTIC CABLE LINE 66. FIBER OPTIC CABLE LINE 67. FIBER OPTIC CABLE LINE 68. FIBER OPTIC CABLE LINE 69. FIBER OPTIC CABLE LINE 70. FIBER OPTIC CABLE LINE 71. FIBER OPTIC CABLE LINE 72. FIBER OPTIC CABLE LINE 73. FIBER OPTIC CABLE LINE 74. FIBER OPTIC CABLE LINE 75. FIBER OPTIC CABLE LINE 76. FIBER OPTIC CABLE LINE 77. FIBER OPTIC CABLE LINE 78. FIBER OPTIC CABLE LINE 79. FIBER OPTIC CABLE LINE 80. FIBER OPTIC CABLE LINE 81. FIBER OPTIC CABLE LINE 82. FIBER OPTIC CABLE LINE 83. FIBER OPTIC CABLE LINE 84. FIBER OPTIC CABLE LINE 85. FIBER OPTIC CABLE LINE 86. FIBER OPTIC CABLE LINE 87. FIBER OPTIC CABLE LINE 88. FIBER OPTIC CABLE LINE 89. FIBER OPTIC CABLE LINE 90. FIBER OPTIC CABLE LINE 91. FIBER OPTIC CABLE LINE 92. FIBER OPTIC CABLE LINE 93. FIBER OPTIC CABLE LINE 94. FIBER OPTIC CABLE LINE 95. FIBER OPTIC CABLE LINE 96. FIBER OPTIC CABLE LINE 97. FIBER OPTIC CABLE LINE 98. FIBER OPTIC CABLE LINE 99. FIBER OPTIC CABLE LINE 100. FIBER OPTIC CABLE LINE	1. ACCESSIBLE PARKING 2. ADJACENT PROPERTY 3. ADJACENT PROPERTY 4. ADJACENT PROPERTY 5. ADJACENT PROPERTY 6. ADJACENT PROPERTY 7. ADJACENT PROPERTY 8. ADJACENT PROPERTY 9. ADJACENT PROPERTY 10. ADJACENT PROPERTY 11. ADJACENT PROPERTY 12. ADJACENT PROPERTY 13. ADJACENT PROPERTY 14. ADJACENT PROPERTY 15. ADJACENT PROPERTY 16. ADJACENT PROPERTY 17. ADJACENT PROPERTY 18. ADJACENT PROPERTY 19. ADJACENT PROPERTY 20. ADJACENT PROPERTY 21. ADJACENT PROPERTY 22. ADJACENT PROPERTY 23. ADJACENT PROPERTY 24. ADJACENT PROPERTY 25. ADJACENT PROPERTY 26. ADJACENT PROPERTY 27. ADJACENT PROPERTY 28. ADJACENT PROPERTY 29. ADJACENT PROPERTY 30. ADJACENT PROPERTY 31. ADJACENT PROPERTY 32. ADJACENT PROPERTY 33. ADJACENT PROPERTY 34. ADJACENT PROPERTY 35. ADJACENT PROPERTY 36. ADJACENT PROPERTY 37. ADJACENT PROPERTY 38. ADJACENT PROPERTY 39. ADJACENT PROPERTY 40. ADJACENT PROPERTY 41. ADJACENT PROPERTY 42. ADJACENT PROPERTY 43. ADJACENT PROPERTY 44. ADJACENT PROPERTY 45. ADJACENT PROPERTY 46. ADJACENT PROPERTY 47. ADJACENT PROPERTY 48. ADJACENT PROPERTY 49. ADJACENT PROPERTY 50. ADJACENT PROPERTY 51. ADJACENT PROPERTY 52. ADJACENT PROPERTY 53. ADJACENT PROPERTY 54. ADJACENT PROPERTY 55. ADJACENT PROPERTY 56. ADJACENT PROPERTY 57. ADJACENT PROPERTY 58. ADJACENT PROPERTY 59. ADJACENT PROPERTY 60. ADJACENT PROPERTY 61. ADJACENT PROPERTY 62. ADJACENT PROPERTY 63. ADJACENT PROPERTY 64. ADJACENT PROPERTY 65. ADJACENT PROPERTY 66. ADJACENT PROPERTY 67. ADJACENT PROPERTY 68. ADJACENT PROPERTY 69. ADJACENT PROPERTY 70. ADJACENT PROPERTY 71. ADJACENT PROPERTY 72. ADJACENT PROPERTY 73. ADJACENT PROPERTY 74. ADJACENT PROPERTY 75. ADJACENT PROPERTY 76. ADJACENT PROPERTY 77. ADJACENT PROPERTY 78. ADJACENT PROPERTY 79. ADJACENT PROPERTY 80. ADJACENT PROPERTY 81. ADJACENT PROPERTY 82. ADJACENT PROPERTY 83. ADJACENT PROPERTY 84. ADJACENT PROPERTY 85. ADJACENT PROPERTY 86. ADJACENT PROPERTY 87. ADJACENT PROPERTY 88. ADJACENT PROPERTY 89. ADJACENT PROPERTY 90. ADJACENT PROPERTY 91. ADJACENT PROPERTY 92. ADJACENT PROPERTY 93. ADJACENT PROPERTY 94. ADJACENT PROPERTY 95. ADJACENT PROPERTY 96. ADJACENT PROPERTY 97. ADJACENT PROPERTY 98. ADJACENT PROPERTY 99. ADJACENT PROPERTY 100. ADJACENT PROPERTY

V Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
David Weekley Homes
1930 Thorau Drive North, Suite 160
Schaumburg, IL 60173
224-415-6619

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-28-15	ADDED PARCEL 2			
2	11-02-15	RECEIPT & REVIEW OF LOT 2 TITLE COMMITMENT			

ALTAIACSM LAND TITLE SURVEY & TOPOGRAPHIC MAP
20-ACRE TOWN CENTER SITE, BURR RIDGE, IL

FILE NAME: ALTTOP0039.DWG DRAWN BY: SPK CHECKED BY: CWB JOB NO.: 00039.DWG SHEET NO. 2 OF 2
JOB DIRECTORY: 00039.DWG PROJ. MAN.: CWB DATE: 07-27-15 SCALE: 1" = 40'



plan TYPE "F" 28'x65'

plan TYPE "C" 28'x55'

plan TYPE "D" 34'x55'

COURTYARD HOMES
front / side courtyards

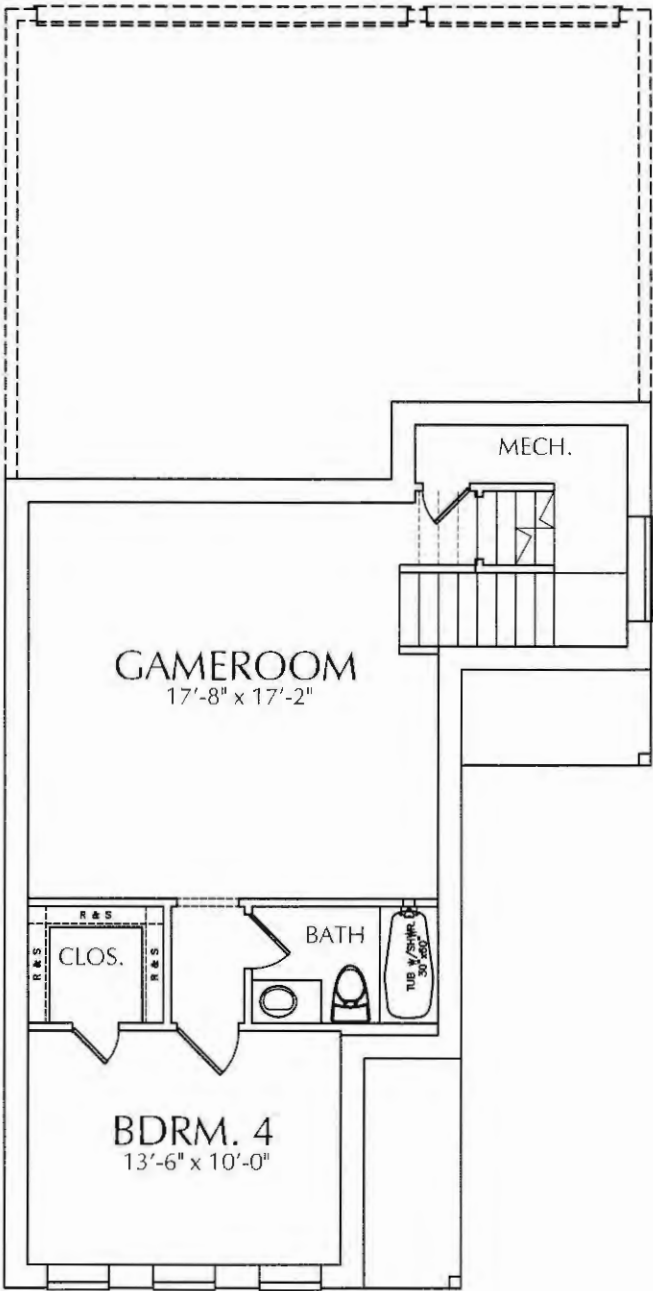
plan

TYPE "C"

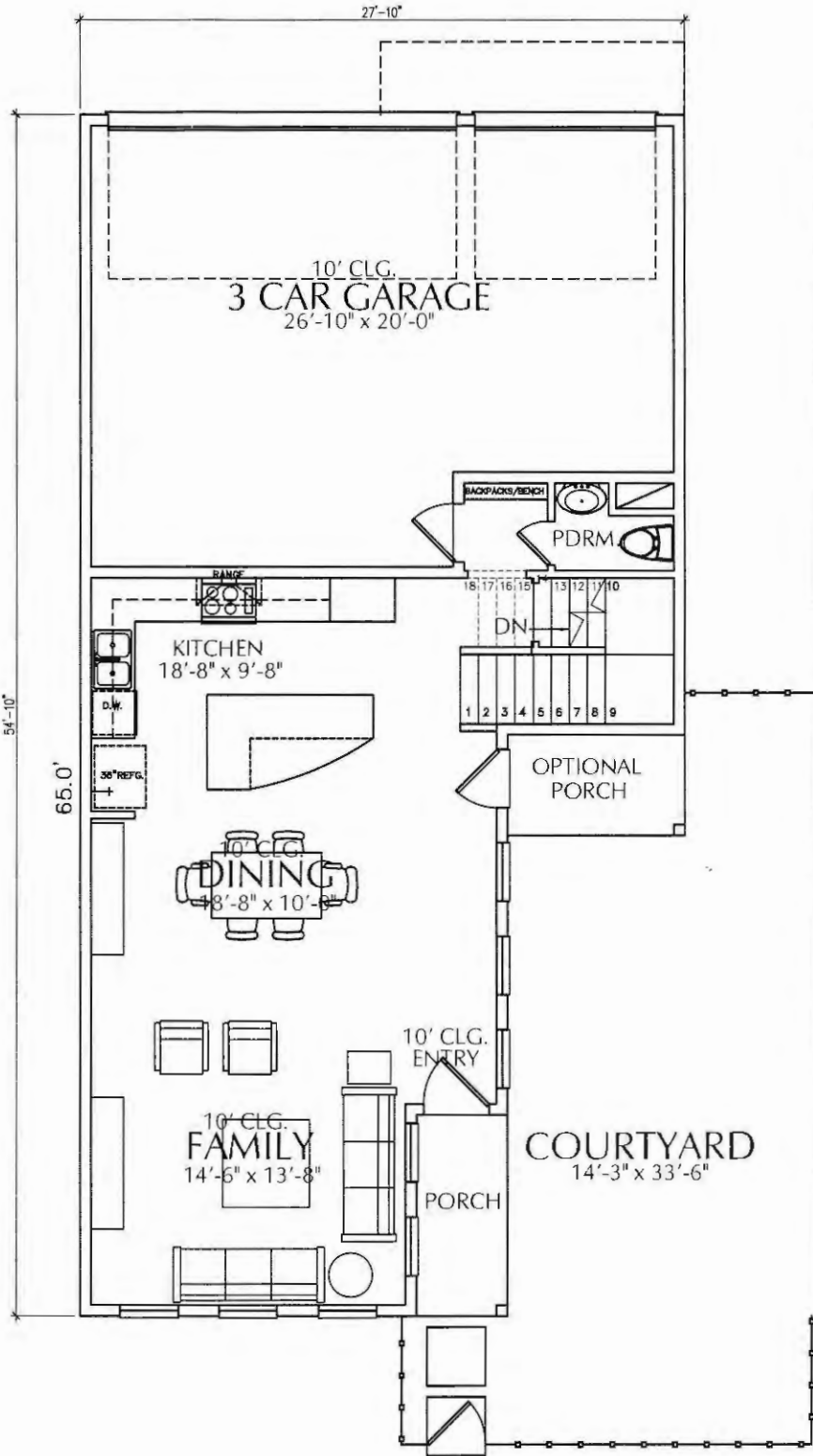
28' x 55'

LEVEL ONE:	743
LEVEL TWO:	1356
TOTAL LIVING:	2099
OPT. BASEMENT:	642
TOTAL LIVING:	2741

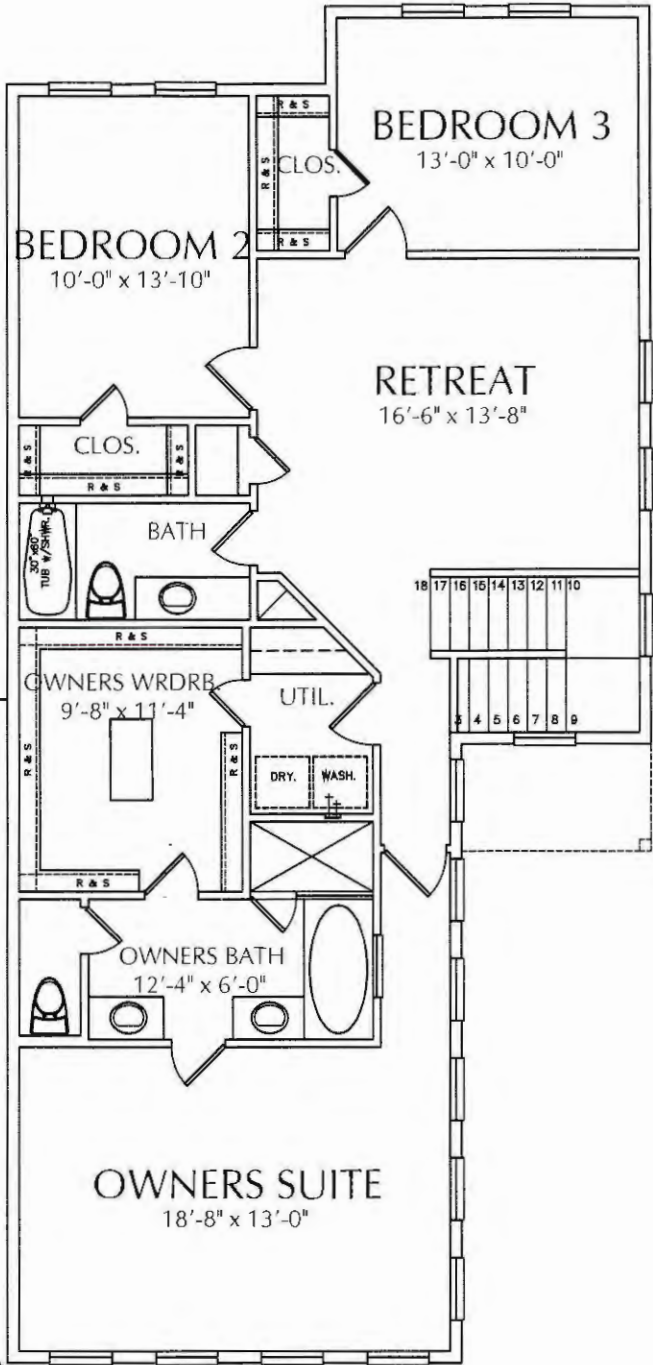
OVERALL WIDTH:	27'-10"
OVERALL DEPTH:	54'-10"



BASEMENT



first FLOOR



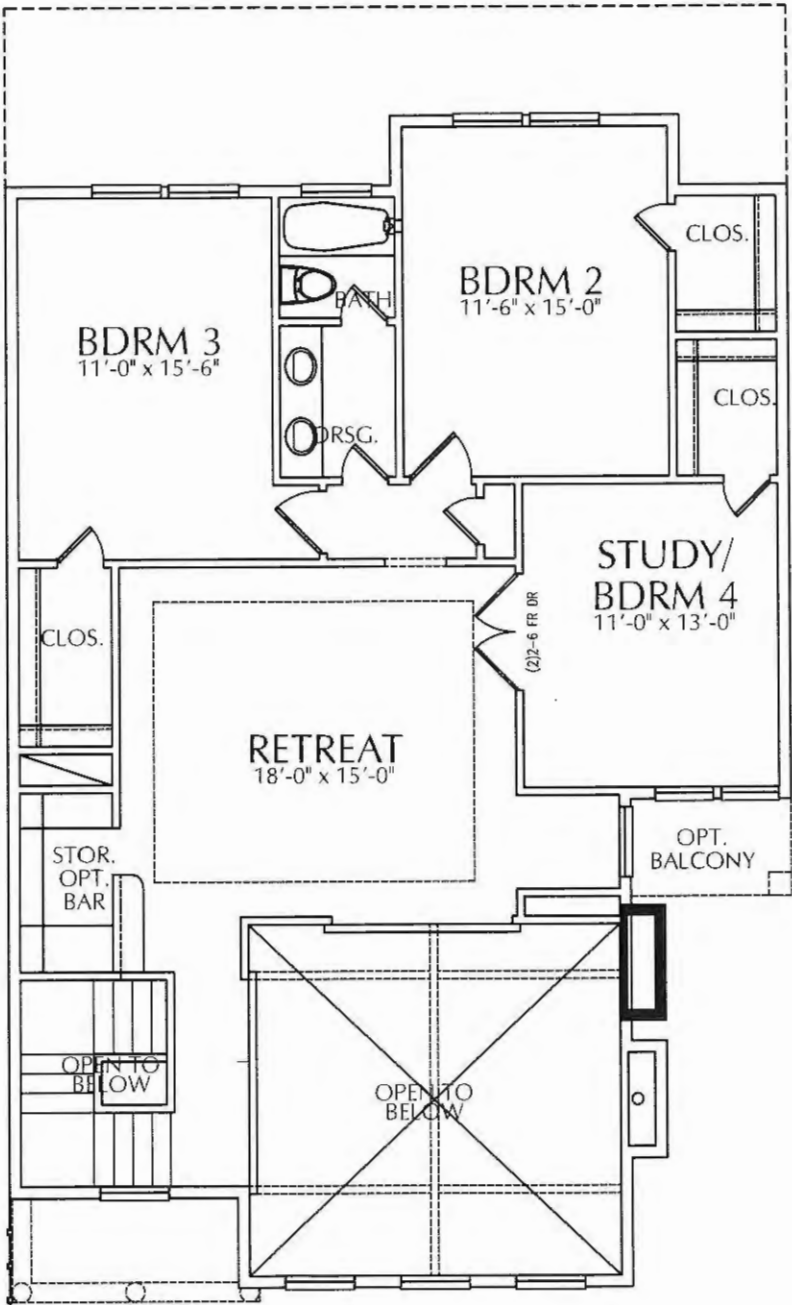
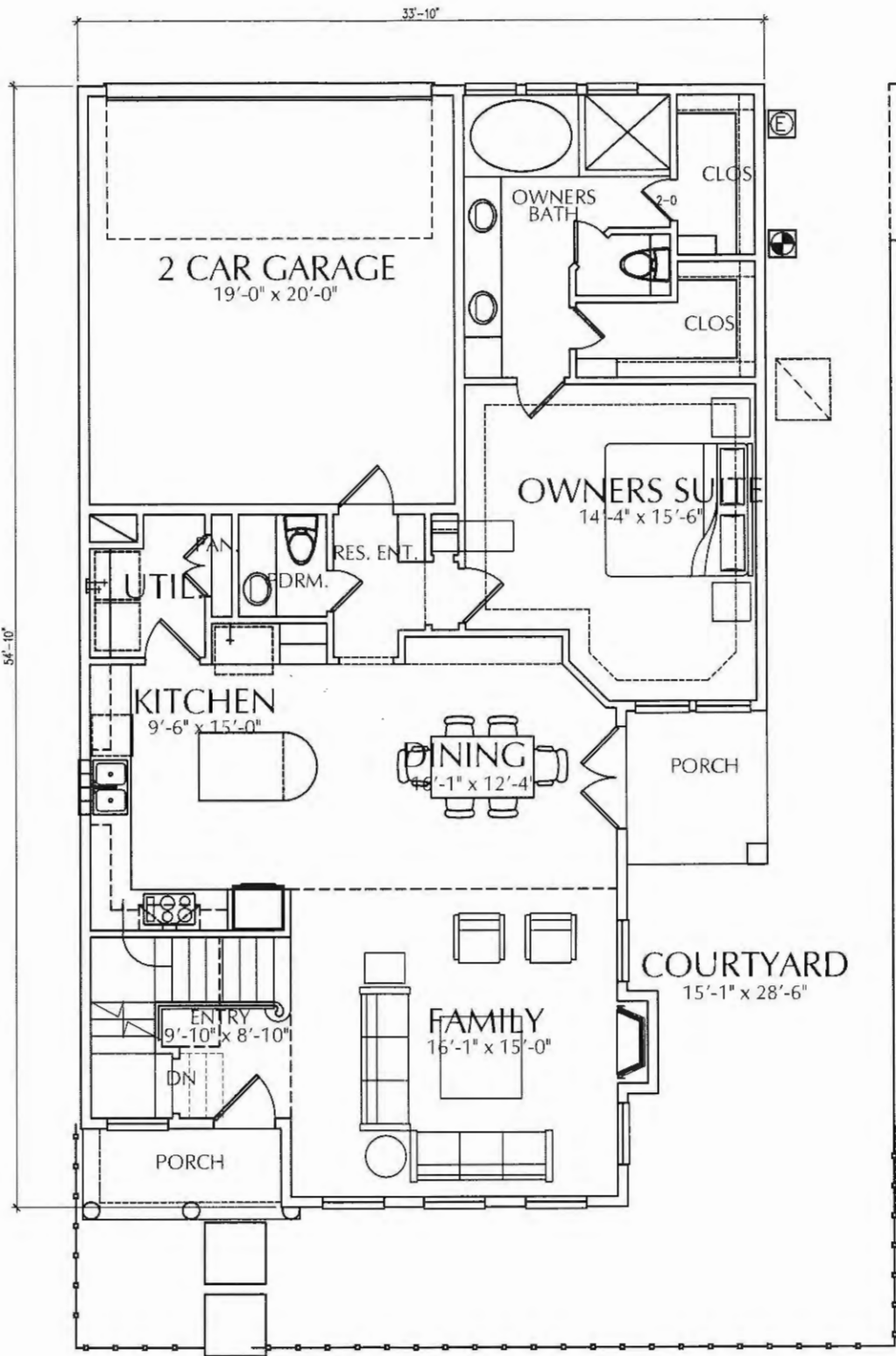
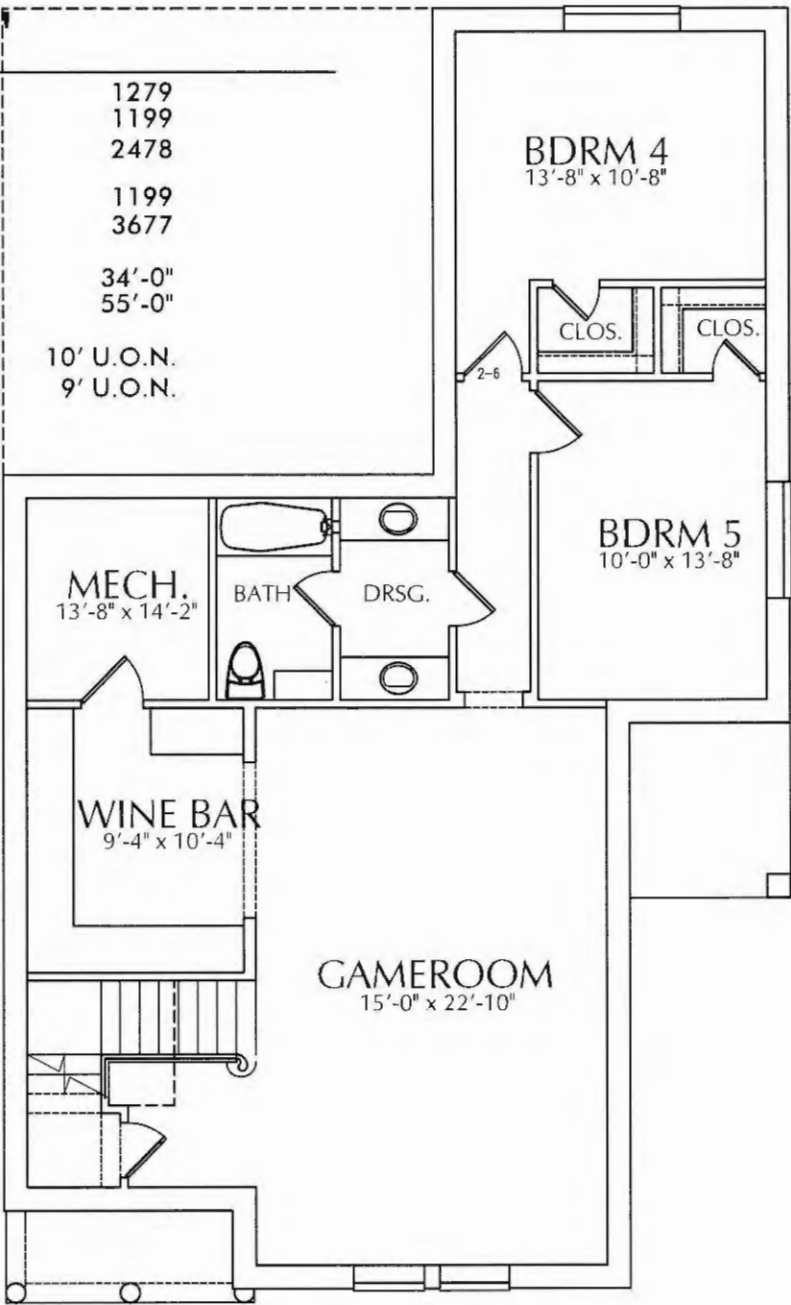
second FLOOR

plan

TYPE "D"

34' x 55'

LEVEL ONE:	1279
LEVEL TWO:	1199
TOTAL LIVING:	2478
OPT. BASEMENT:	1199
TOTAL LIVING:	3677
OVERALL WIDTH:	34'-0"
OVERALL DEPTH:	55'-0"
1st FLOOR CLG.:	10' U.O.N.
2nd FLOOR CLG.:	9' U.O.N.

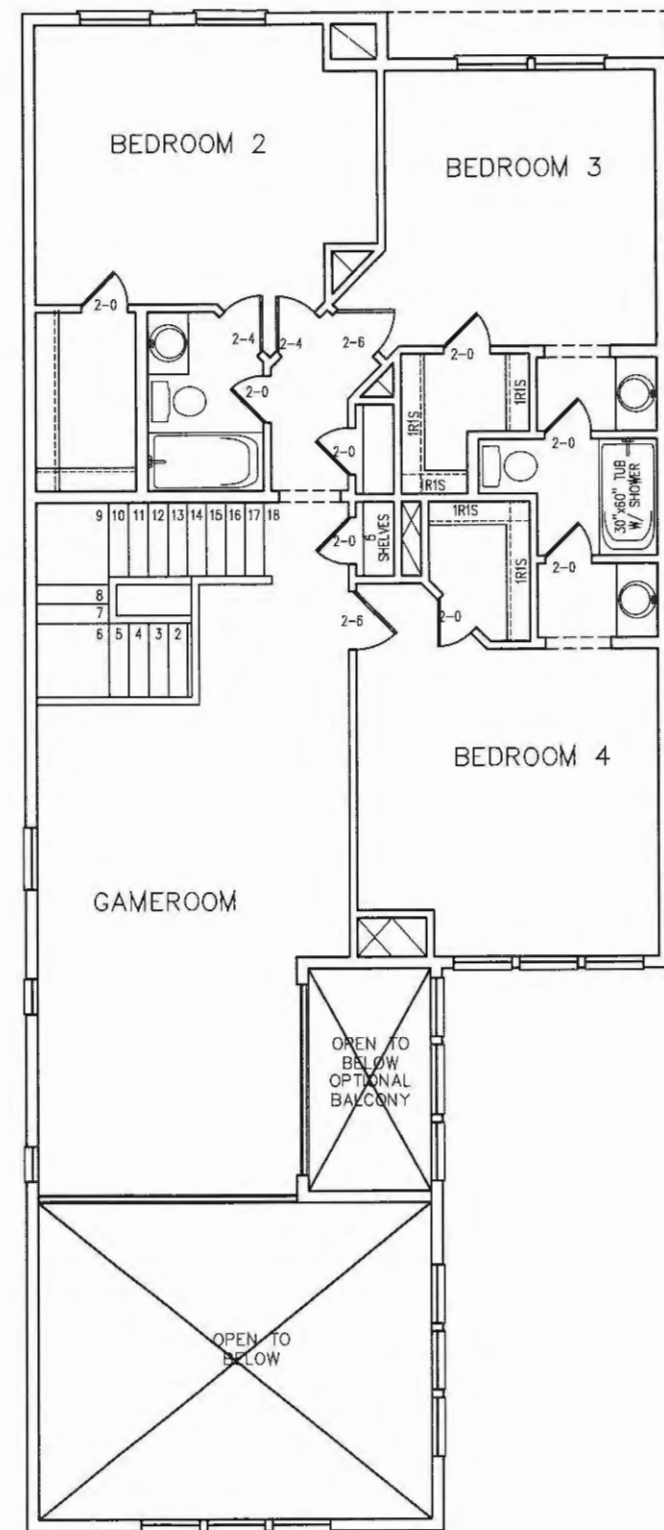
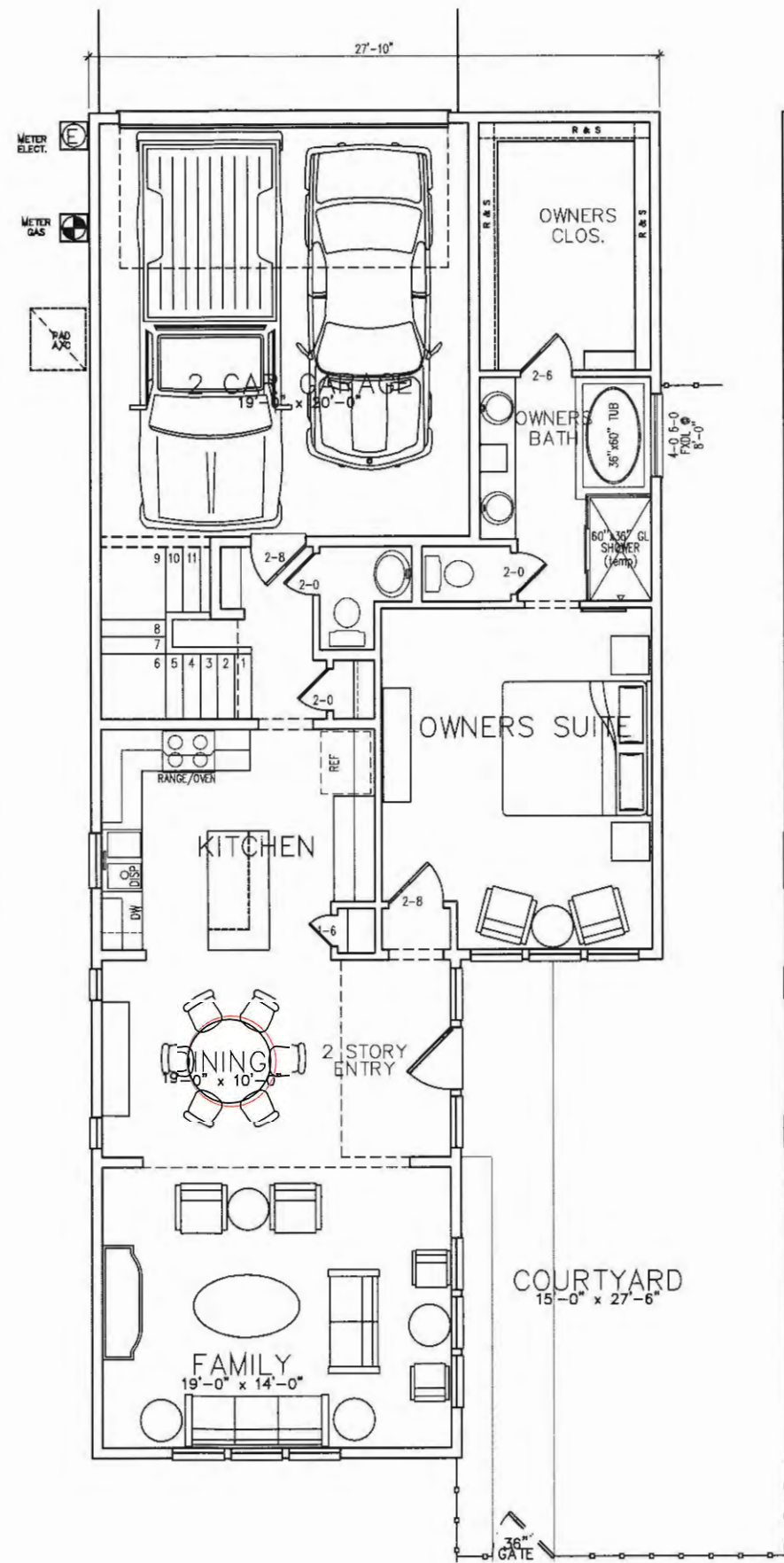
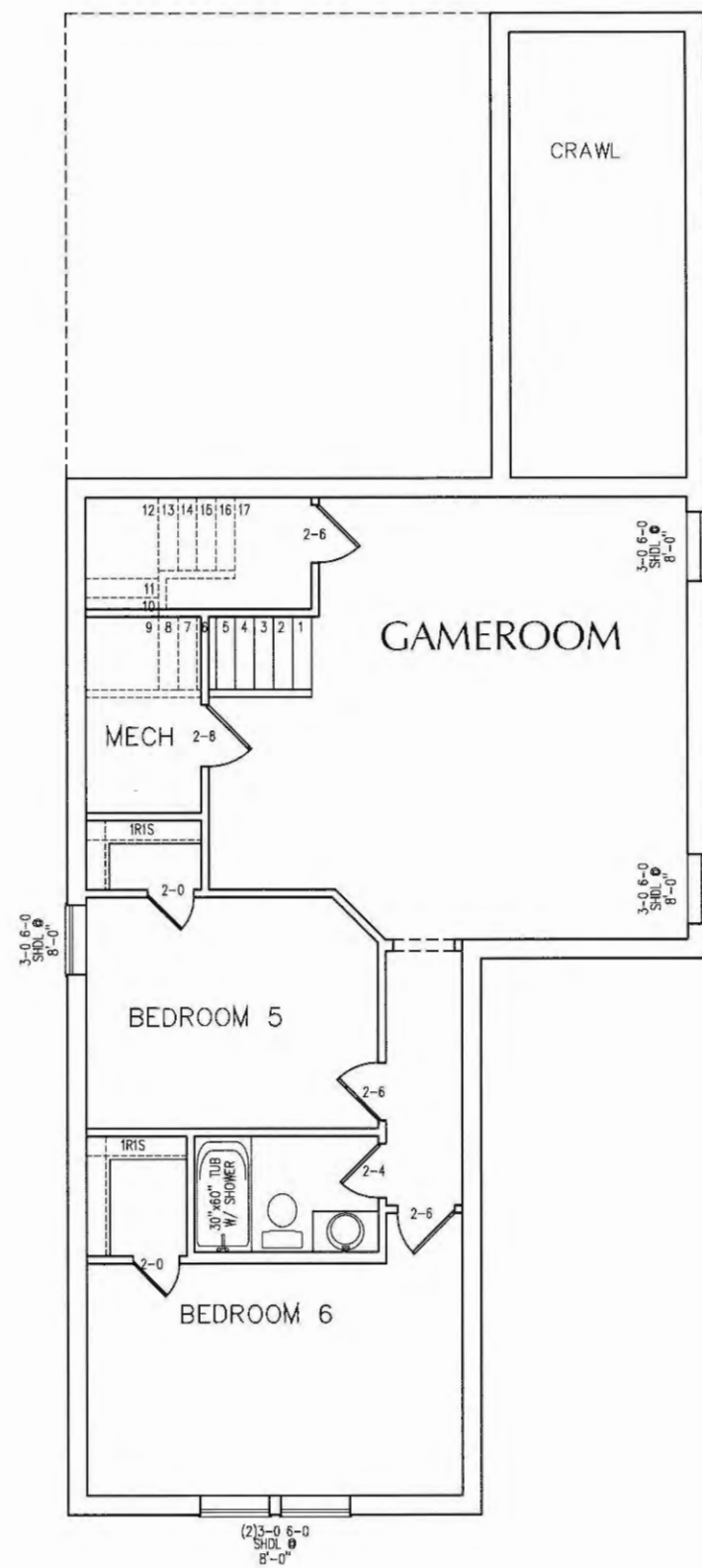


plan

TYPE "F-1"

28' x 65'

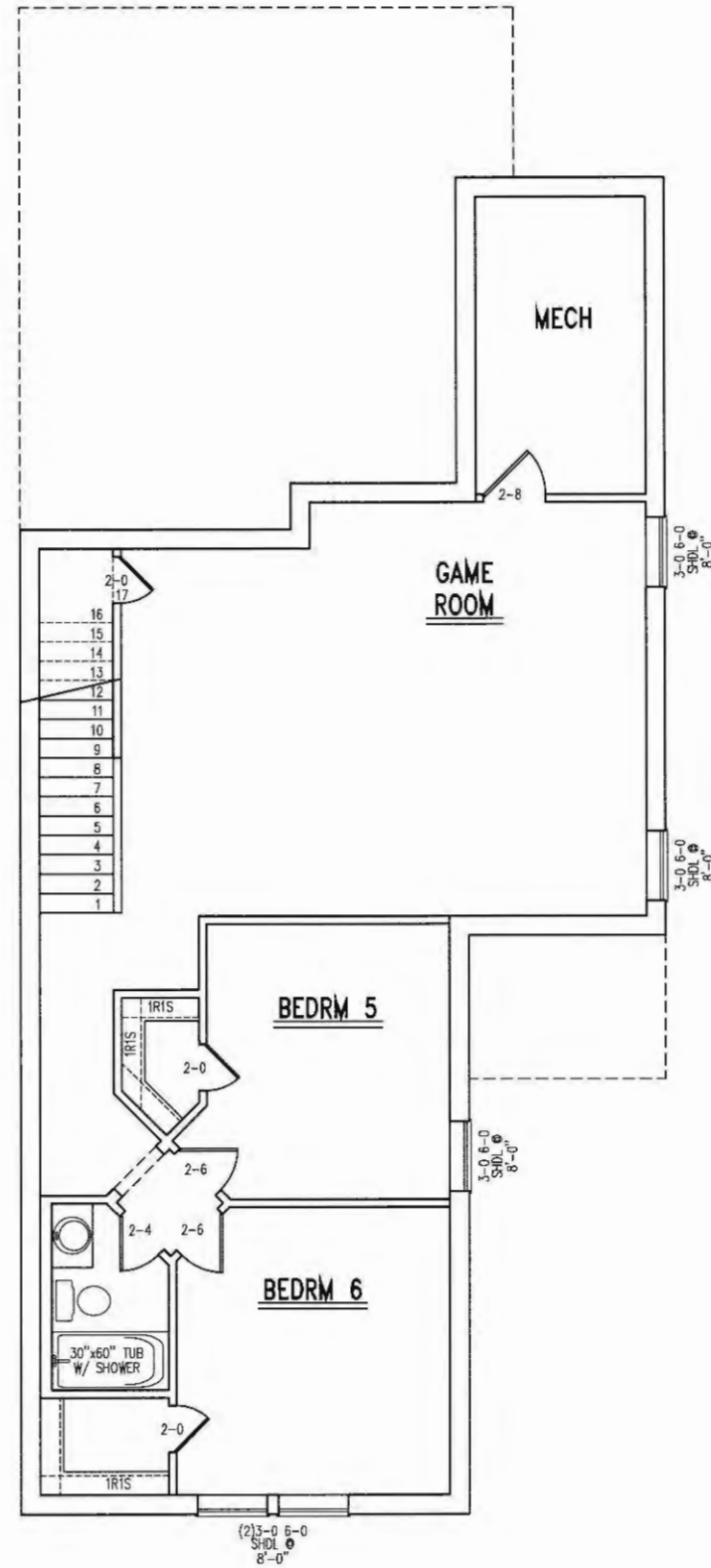
LEVEL ONE:	1179
LEVEL TWO:	1225
TOTAL LIVING:	2404
OPT. BASEMENT:	983
TOTAL LIVING:	3387
OVERALL WIDTH:	28'-0"
OVERALL DEPTH:	65'-0"
1st FLOOR CLG.:	10' U.O.N.
2nd FLOOR CLG.:	9' U.O.N.



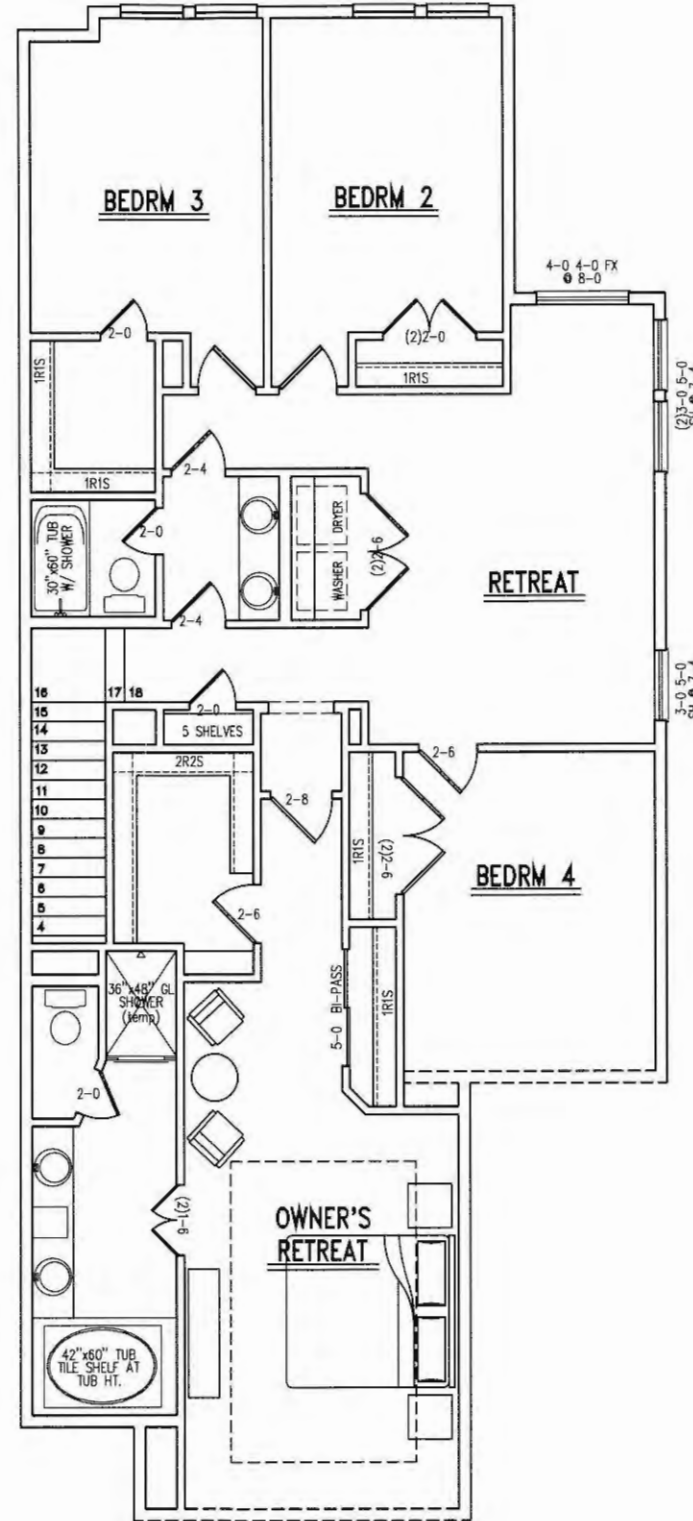
TYPE "F-2"

28' x 65'

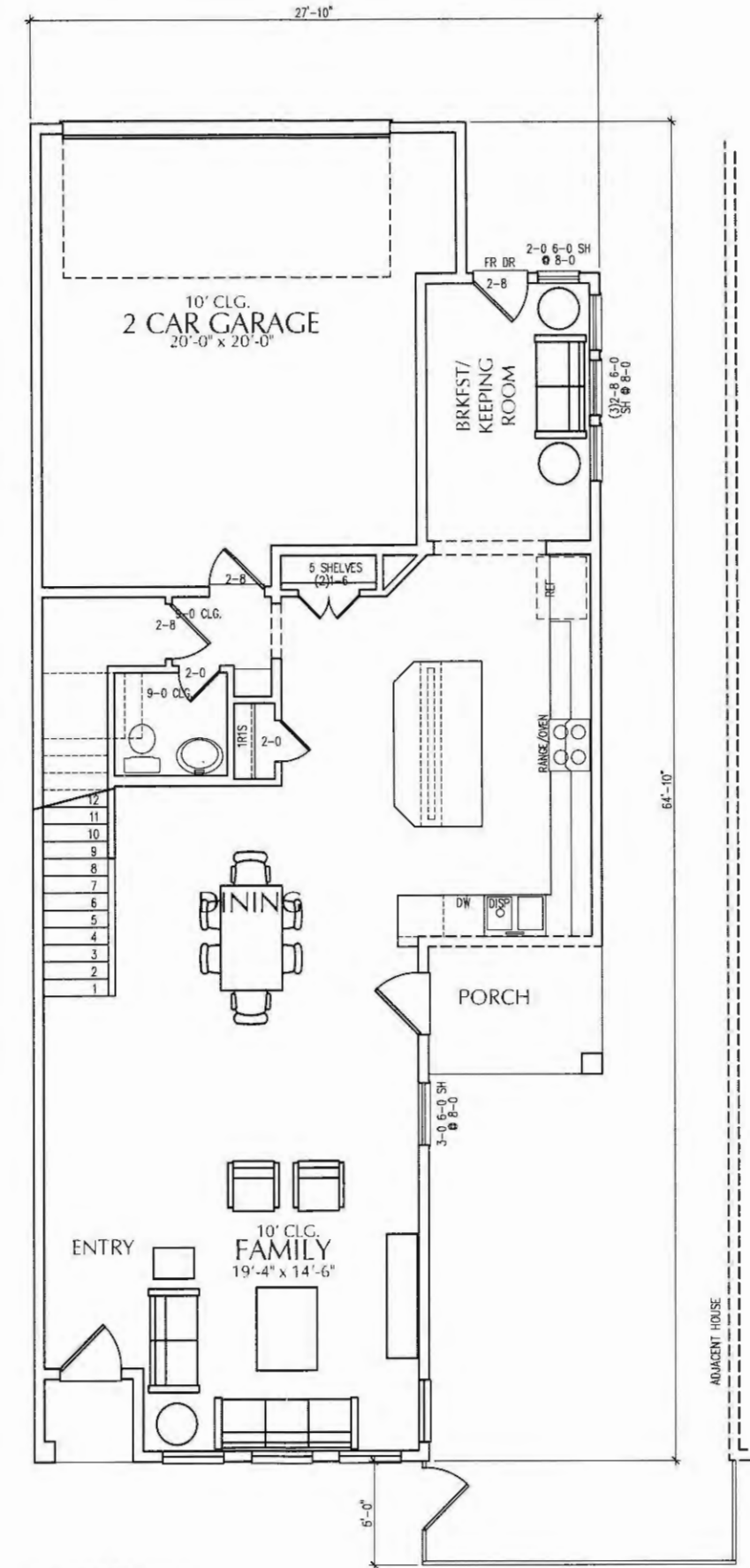
LEVEL ONE:	1099
LEVEL TWO:	1550
TOTAL LIVING:	2649
BASEMENT:	1000
TOTAL LIVING:	3649
OVERALL WIDTH:	28'-0"
OVERALL DEPTH:	65'-0"
1st FLOOR CLG.:	10' U.O.N.
2nd FLOOR CLG.:	9' U.O.N.



opt. finished BASEMENT



SECOND FLOOR
9-0 CLG.



FIRST FLOOR
10-0 CLG.



6351-D

4685-E

4275-H

4685-D

3639-D

Burr Ridge
By
David Weekley Homes

Chicago

Burr Ridge

Plan 1 - 2431 sqft

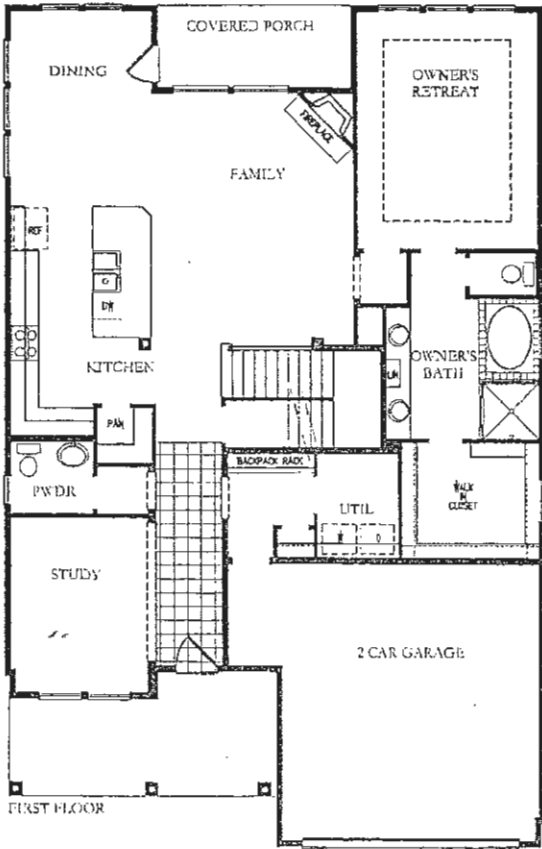
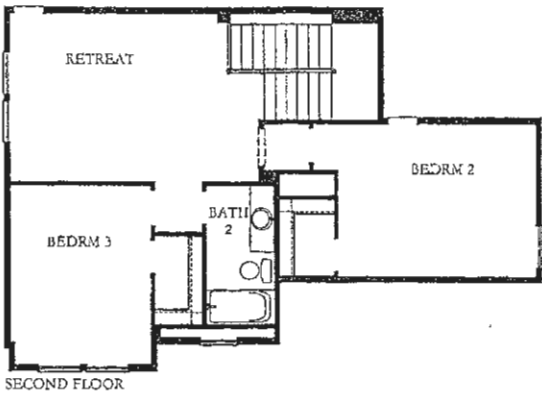
Plan 2 - 2821 sqft

Plan 3 - 2878 sqft

Plan 4 - 3237 sqft

FLOOR PLAN

THE DUNBARTON

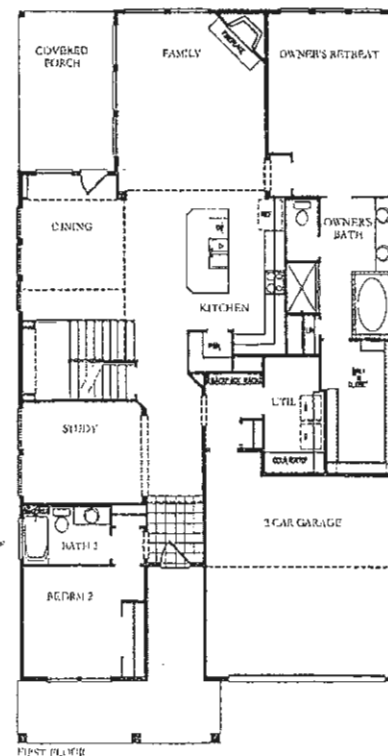
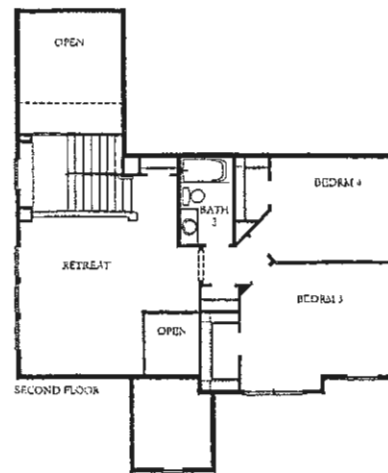


BURR RIDGE - PLAN #1



BURR RIDGE - PLAN #1

FLOOR PLAN THE DUNOLLY



UNFINISHED BASEMENT STANDARD



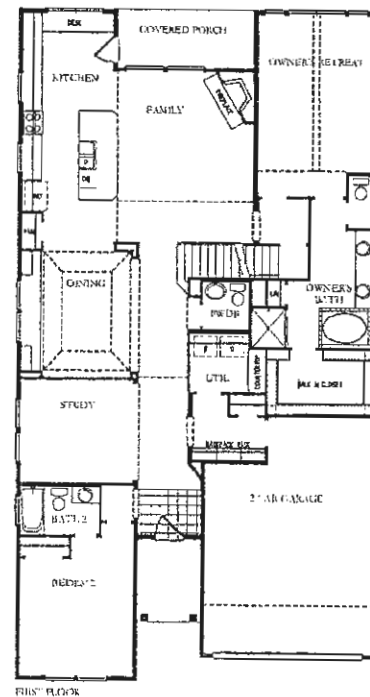
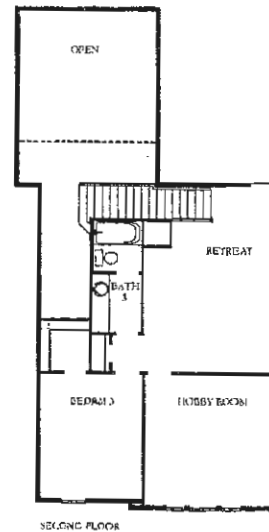
BURR RIDGE - PLAN # 2

DavidWeekleyHomes.com

03/05/2015
4769CH11_Op09

*Prices, plans, dimensions, features, specifications, materials and availability of homes or communities are subject to change without notice, or obligation. Illustrations are artist depictions and may differ from completed environments. Not all options available. © 2015 David Weekley Homes. All Rights Reserved.

FLOOR PLAN THE ELBERTON



EXTENDING DOWNWARD STAIRS UP



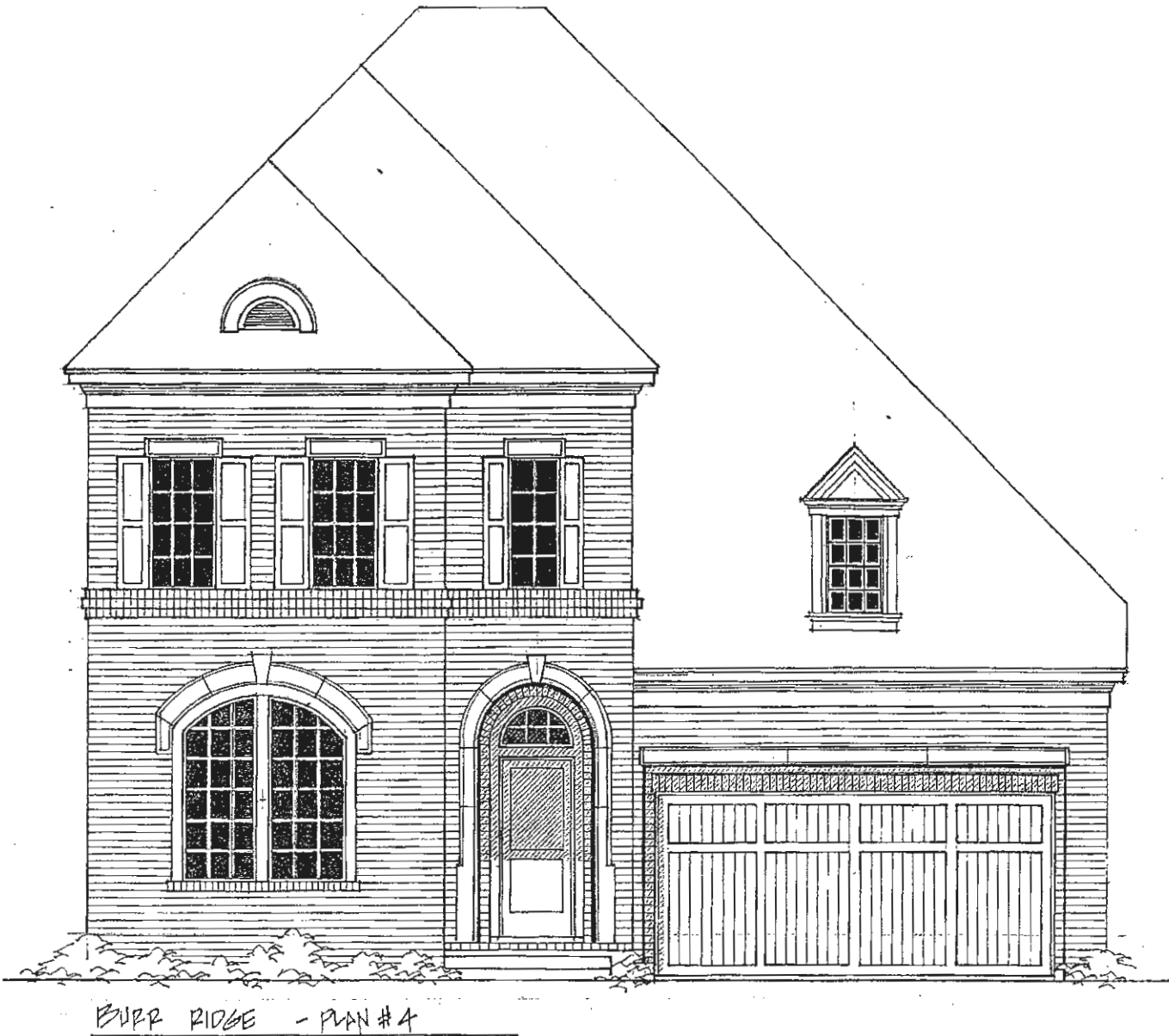
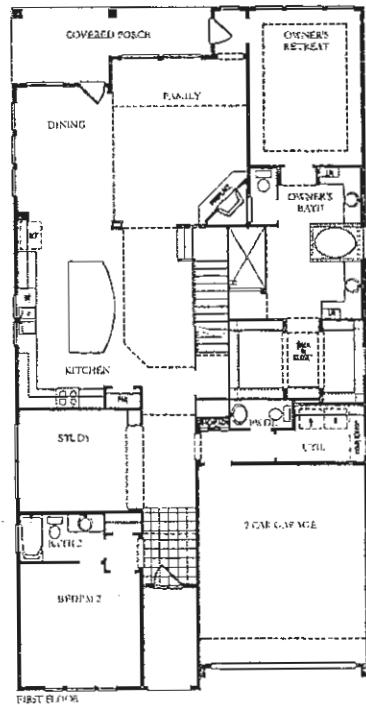
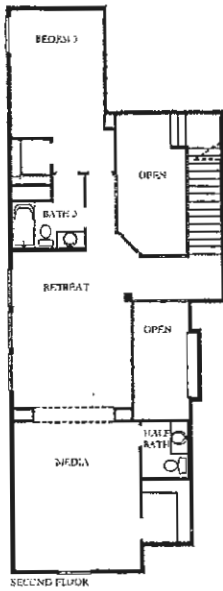
BURR RIDGE - PLAN #3

DavidWeekleyHomes.com

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FLOOR PLAN

THE MARTINWOOD



Traffic Impact Study Enclave at Village Center Burr Ridge, Illinois



Prepared By



January 29, 2016

Introduction

This report summarizes the methodologies, results and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the Enclave at Village Center, a proposed residential development to be located in Burr Ridge, Illinois. The site is located in the southeast quadrant of the intersection of Burr Ridge Parkway and Bridewell Drive. As proposed, the site will be developed with 84 single family units. Access to the development will be provided via a gated full movement access roadway off Burr Ridge Parkway with emergency access provided off Bridewell Drive.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

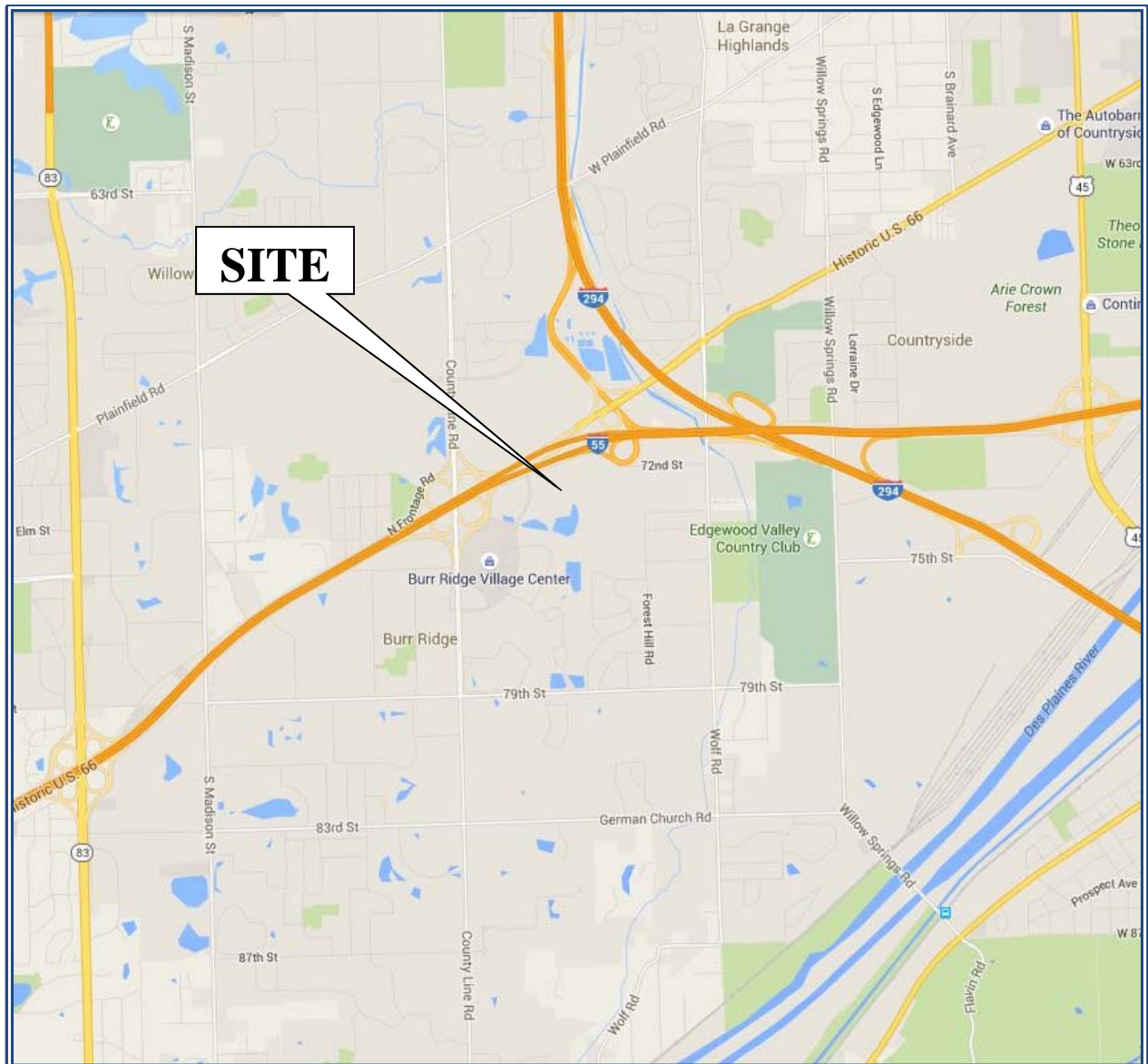
Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site area.

The sections of this report present the following.

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access system and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions.

1. Existing Condition - Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Future Condition - The future projected traffic volumes include the existing traffic volumes, ambient area growth not attributable to any particular development and the traffic estimated to be generated by the proposed subject development.



Site Location

Figure 1



Aerial View of Site Location

Figure 2

Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on a field visit conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices and existing peak hour traffic volumes.

Site Location

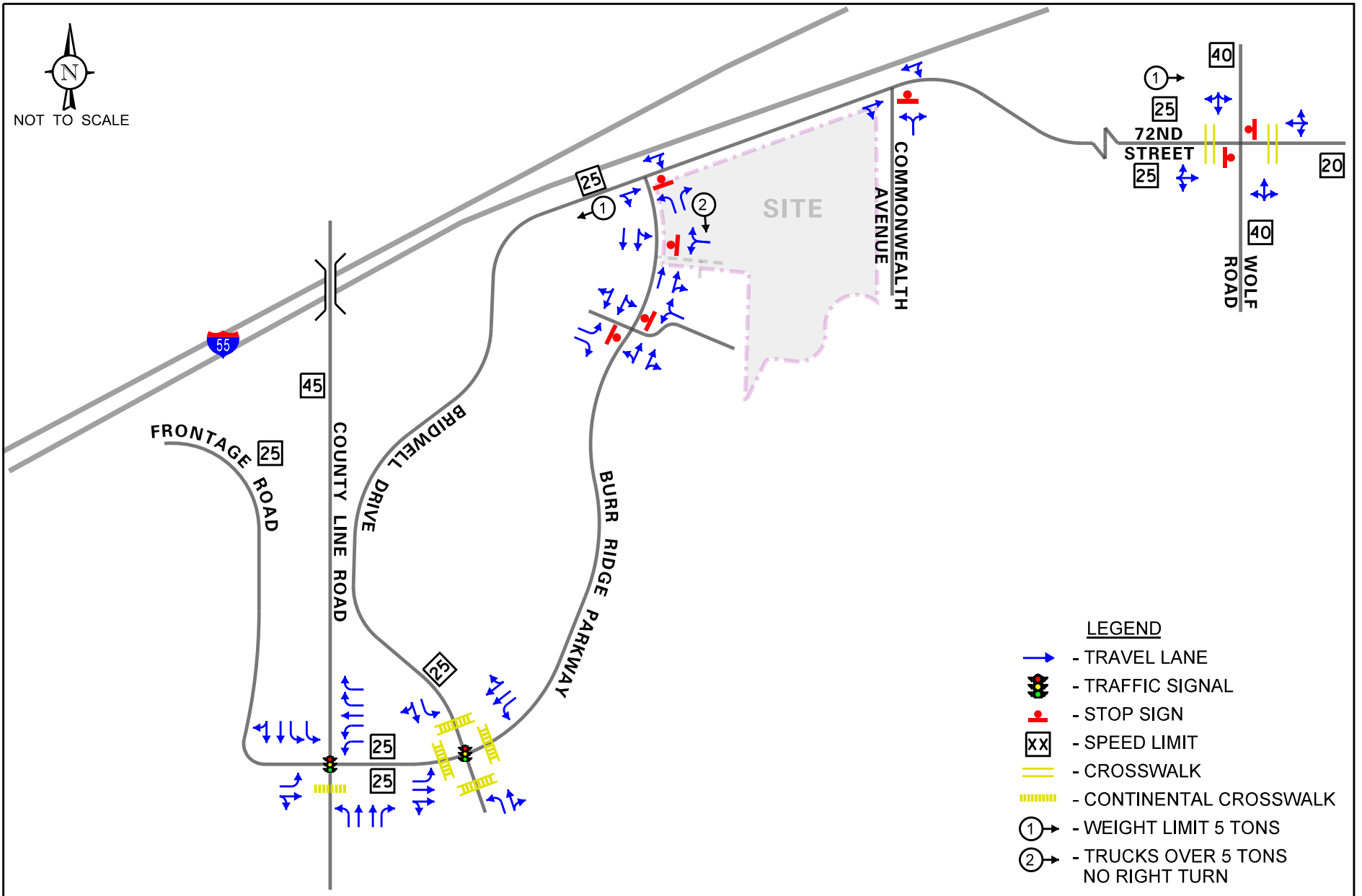
The site is located in the southeast quadrant of the intersection of Burr Ridge Parkway with Bridewell Drive. Land uses in the vicinity of the site are primarily residential to the east, a Marriott Hotel and the Metro Professional Center to the south and the office building for The McGraw-Hill Companies to the west. Located approximately one third of a mile to the southwest of the site is the Burr Ridge Village Center.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below. **Figure 3** illustrates the existing roadway characteristics.

Burr Ridge Parkway is a southwest-northeast collector roadway that generally provides two through lanes in each direction. At its signalized intersection with County Line Road, Burr Ridge Parkway provides dual left-turn lanes, an exclusive through lane and dual right-turn lanes on the westbound approach. The west leg of this intersection is a frontage roadway that provides an exclusive left-turn lane and a shared through/right-turn lane. At its unsignalized “T” intersection with Bridewell Drive, Burr Ridge Parkway provides an exclusive left-turn lane and an exclusive right-turn lane that are under stop sign control. At its unsignalized intersection with the northerly Marriott access driveway, Burr Ridge Parkway provides an exclusive through lane and a shared through/right-turn lane on the northbound approach and a shared left-turn/through lane and an exclusive through lane on the southbound approach. At its unsignalized intersection with the southerly Marriott access driveway and the McGraw-Hill access driveway, Burr Ridge Parkway provides a shared left-turn/through lane and a shared through/right-turn lane on both approaches. Burr Ridge Parkway is under the jurisdiction of the Village of Burr Ridge, carries an ADT volume of 2,600 vehicles (IDOT AADT 2014) and has a posted speed limit of 25 miles per hour.

Bridewell Drive is generally an east-west collector roadway that provides one lane in each direction and extends from its signalized intersection with Burr Ridge Parkway on the south side of the Burr Ridge Village Center to Commonwealth Avenue where it becomes 72nd Street and continues east to its terminus approximately one-third of a mile east of Wolf Road. At its unsignalized “T” intersection with Burr Ridge Parkway, Bridewell Drive provides a shared through/left-turn lane on the westbound approach and a through lane and an exclusive right-turn lane on the eastbound approach. At its unsignalized intersection with Wolf Road, 72nd Street provides a shared left/through/right-turn lane that is under stop-sign control. Bridewell Drive and 72nd Street are under the jurisdiction of the Village of Burr Ridge, carry an ADT volume of 2,550 vehicles (IDOT AADT 2014) and have a posted speed limit of 25 miles per hour.



PROJECT:
Enclave at Village Center
Burr Ridge, Illinois

TITLE:
Existing Street Characteristics

KLOA
Job No: 16-012

Figure: 3

County Line Road is a north-south arterial roadway that generally provides two through lanes in each direction. At its signalized intersection with Burr Ridge Parkway, County Line Road provides dual left-turn lanes, a through lane and a shared through/right-turn lane on the southbound approach and an exclusive left-turn lane, two exclusive through lanes and an exclusive right-turn lane on the northbound approach. County Line Road is under the jurisdiction of the Cook County Department of Transportation and Highways, carries an average daily traffic (ADT) volume of 12,200 vehicles (IDOT AADT 2014) and has a posted speed limit of 45 miles per hour.

Wolf Road is a north-south arterial roadway that generally provides one lane in each direction. At its unsignalized intersection with 72nd Street, Wolf Road provides a shared left/through/right-turn lane on both approaches. Wolf Road is under the jurisdiction of the Cook County Department of Transportation and Highways, carries an ADT volume of 11,300 vehicles (IDOT AADT 2014) and has a posted speed limit of 40 miles per hour.

Existing Traffic Volumes

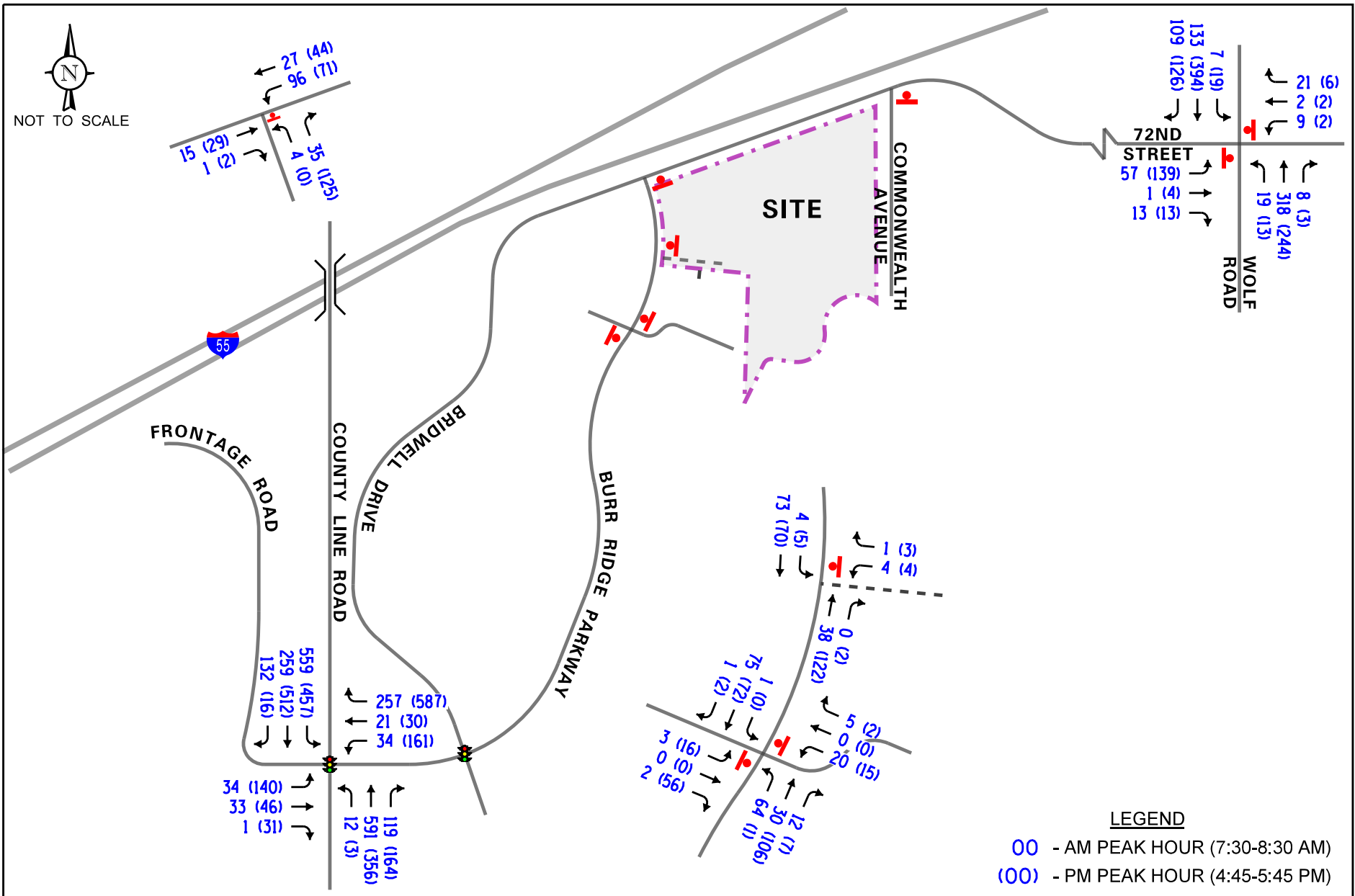
In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted manual peak period traffic counts on Thursday, January 7, 2016 during the weekday morning (7:00 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 6:00 P.M.) peak periods at the following intersections:

- County Line Road with Burr Ridge Parkway
- Burr Ridge Parkway with Bridewell Drive (unsignalized)
- 72nd Street with Wolf Road
- Burr Ridge Parkway with the northerly Marriott Access Drive
- Burr Ridge Parkway with the southerly Marriott Access Drive/McGraw-Hill Access Drive

The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 7:30 A.M. to 8:30 A.M. and the evening peak hour of traffic occurs from 4:45 P.M. to 5:45 P.M. **Figure 4** illustrates the existing peak hour traffic volumes. Copies of the traffic count summary sheets are included in the Appendix.

Accident Data

KLOA, Inc. obtained accident data from IDOT's Division of Traffic Safety for the past five years (2010 to 2014) for the previously mentioned study area intersections. The accident data for the intersections of County Line Road with Burr Ridge Parkway, Burr Ridge Parkway with Bridewell Drive and 72nd Street with Wolf Road are summarized in **Tables 1** through **3**, respectively. A review of the accident data for the intersections of Burr Ridge Parkway with the Marriott Access Drives indicated that the northerly access drive experienced zero accidents over the five year period and the southerly intersection only experienced one accident in 2014. Furthermore, the accident data indicated that the frequency of accidents was low and that there was no fatalities reported.




PROJECT: Enclave at Village Center Burr Ridge, Illinois	TITLE: Existing Traffic Volumes	 Job No: 16-012 Figure: 4
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Table 1
COUNTY LINE ROAD WITH BURR RIDGE PARKWAY

Year	Type of Accident Frequency						Total
	Angle	Object	Rear End	Sideswipe	Turning	Other	
2010	-	1	4	-	-	-	5
2011	1	-	8	-	3	-	12
2012	1	2	9	1	4	-	17
2013	-	-	1	2	6	-	9
2014	1	-	13	-	-	2	16
Total	3	3	35	3	13	2	59
Average/Year	<1	<1	7	<1	2.6	<1	11.8

Table 2
BURR RIDGE PARKWAY WITH BRIDEWELL DRIVE

Year	Type of Accident Frequency						Total
	Angle	Object	Rear End	Sideswipe	Turning	Other	
2010	1	-	3	-	2	-	6
2011	2	-	2	-	2	-	6
2012	-	-	-	-	1	-	1
2013	-	1	1	1	4	-	7
2014	4	-	2	-	2	1	9
Total	7	1	8	1	11	1	29
Average/Year	1.4	<1	1.6	<1	2.2	<1	5.8

Table 3
72nd STREET WITH WOLF ROAD

Year	Type of Accident Frequency						Total
	Angle	Object	Rear End	Sideswipe	Turning	Other	
2010	-	-	1	-	-	-	1
2011	-	1	1	1	1	1	5
2012	-	-	1	-	-	1	2
2013	-	1	4	-	-	-	5
2014	-	-	1	-	-	-	1
Total	-	2	8	1	1	2	14
Average/Year	-	<1	1.6	<1	<1	<1	2.8

Traffic Characteristics of the Enclave at Village Center

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Development Plan

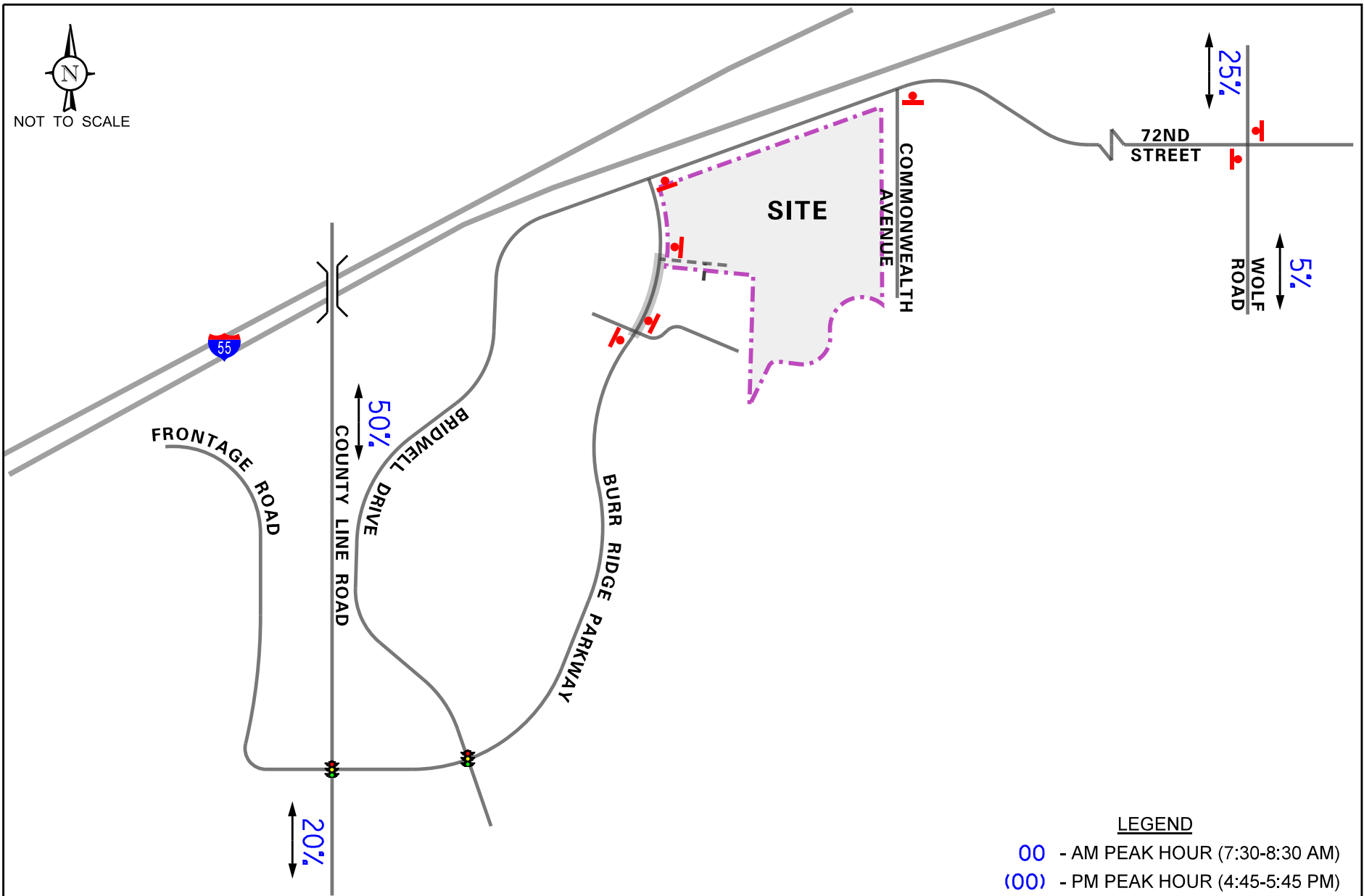
As proposed, the plans call for developing the site with 84 single family units. Access to the development will be provided via a full movement access roadway located approximately 350 feet south of Bridewell Drive which will be gated at the entrance to the subdivision approximately 400 feet east of Burr Ridge Parkway. This access roadway will provide one inbound lane and one outbound lane with outbound movements under stop-sign control.

It should be noted that an access drive currently exists at this proposed location which serves the Marriott Hotel to the south. This access roadway will continue to serve the Marriott Hotel via a curb cut to be provided approximately 150 feet east of Burr Ridge Parkway.

A copy of the site plan depicting the proposed development is included in the Appendix.

Directional Distribution

The directional distribution of future site-generated trips on the roadway system is a function of several variables, including the operational characteristics of the roadway system and the ease with which drivers can travel over various sections of the roadway system without encountering congestion. The directions from which residents of the single family units will approach and depart the development were estimated based on existing travel patterns, as determined from the traffic counts. **Figure 5** illustrates the directional distribution of the traffic projected to be generated by the single family units.



PROJECT: Enclave at Village Center Burr Ridge, Illinois	TITLE: Estimated Directional Distribution	<div data-bbox="1715 1396 2026 1502">  <p>Job No: 16-012</p> </div> <div data-bbox="1715 1502 2026 1550"> Figure: 5 </div>
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Estimated Site Traffic Generation

The volume of traffic generated by a development is based on the type of land uses and the size of the development. The number of peak hour vehicle trips estimated to be generated by the proposed development of 84 single family units was based on vehicle trip generation rates contained in *Trip Generation Manual*, 9th Edition, published by the Institute of Transportation Engineers (ITE). **Table 4** shows the site-generated traffic volumes for the proposed residential development.

Table 4
ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Trips
		In	Out	Total	In	Out	Total	
210	Single Family Homes (84 Units)	17	52	69	57	33	90	894

Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to ambient growth and the traffic estimated to be generated by the proposed subject development.

Development Traffic Assignment

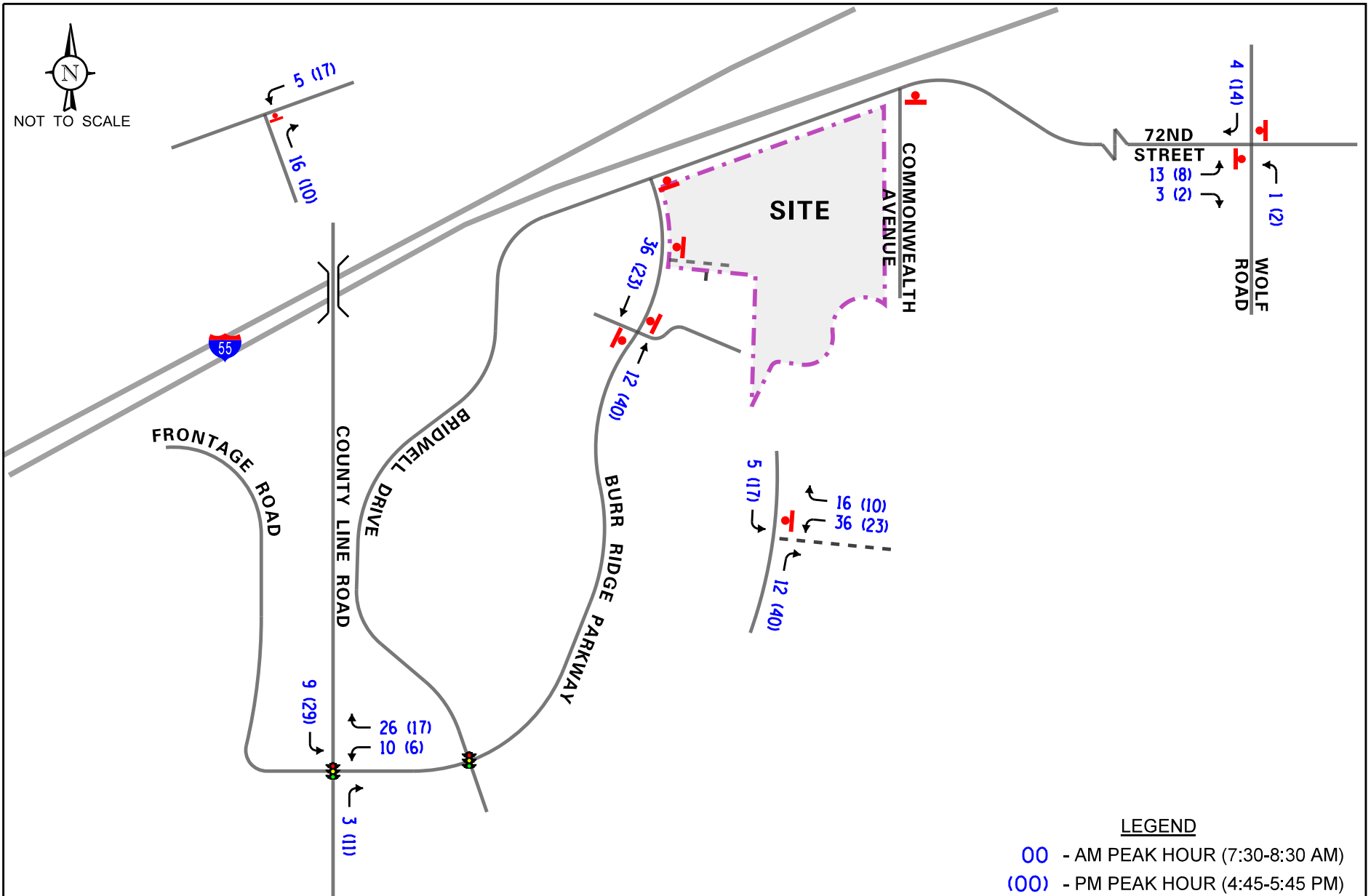
The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed residential development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). The traffic assignment for the residential development is illustrated in **Figure 6**.

Background Traffic Conditions

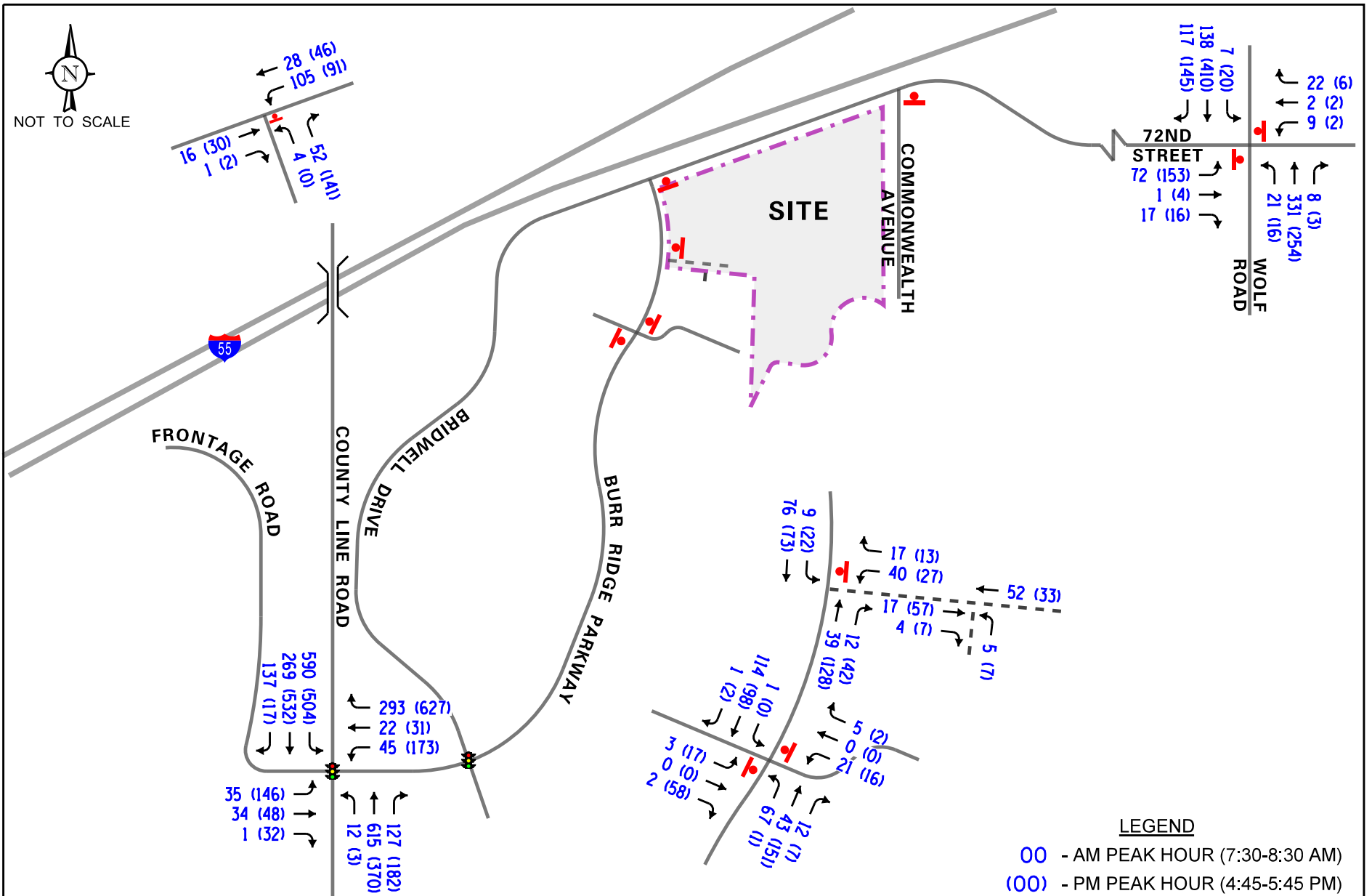
The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on the Chicago Metropolitan Agency for Planning (CMAP) *2040 Forecast of Population, Households and Employment* an increase of one percent per year for four years (four percent) was applied to project Year 2020 conditions.


Total Projected Traffic Volumes

The addition of the development generated traffic to the existing traffic volumes accounting for background growth, to determine the Year 2020 total projected traffic volumes, are shown in **Figure 7**.



PROJECT: Enclave at Village Center Burr Ridge, Illinois	TITLE: Estimated Site-Generated Traffic Volumes	<div data-bbox="1715 1396 2030 1542">  <p>Job No: 16-012</p> <p>Figure: 6</p> </div>
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PROJECT: Enclave at Village Center Burr Ridge, Illinois	TITLE: Total Projected Traffic Volumes	 Job No: 16-012 Figure: 7
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Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modification are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hour periods for the existing (Year 2016) and future projected (Year 2020) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 2010 and analyzed using the Synchro/SimTraffic 8 computer software. The analysis for the traffic-signal controlled intersections were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and Year 2020 total projected conditions are presented in **Tables 5** and **6**, respectively. A discussion of the intersections follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 5
CAPACITY ANALYSIS RESULTS – EXISTING TRAFFIC VOLUMES

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
County Line Road with Burr Ridge Parkway ¹				
• Overall	C	21.8	C	22.2
• Northbound Approach	B	19.3	B	18.6
• Southbound Approach	C	26.0	C	23.8
• Eastbound Approach	D	43.6	D	39.9
• Westbound Approach	B	10.1	B	17.5
Burr Ridge Parkway with Bridewell Drive ²				
• Northbound Approach	A	8.8	A	9.0
• Westbound Lefts	A	5.9	A	4.7
72 nd Street with Wolf Road ²				
• Eastbound Approach	C	17.1	D	31.4
• Westbound Approach	B	12.7	B	13.2
• Northbound Lefts	A	0.6	A	0.6
• Southbound Lefts	A	0.3	A	0.4
Burr Ridge Parkway with Marriott Southerly Access Drive ²				
• Eastbound Approach	B	11.1	A	9.0
• Westbound Approach	B	10.9	B	10.5
• Northbound Lefts	A	6.3	A	0.1
• Southbound Lefts	A	0.2	--	--
Burr Ridge parkway with Marriott Northerly Access Drive ²				
• Westbound Approach	A	8.9	A	9.3
• Southbound Lefts	A	1.0	A	1.4
LOS = Level of Service Delay is measured in seconds. 1-Signalized Intersection 2-Unsignalized Intersection				

Table 6
CAPACITY ANALYSIS RESULTS - PROJECTED YEAR 2020 TRAFFIC VOLUMES

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
County Line Road with Burr Ridge Parkway ¹				
• Overall	C	21.9	C	22.8
• Northbound Approach	C	20.3	B	19.6
• Southbound Approach	C	25.7	C	23.8
• Eastbound Approach	D	43.6	D	39.9
• Westbound Approach	B	10.3	B	18.9
Burr Ridge Parkway with Bridewell Drive ²				
• Northbound Approach	A	8.8	A	9.1
• Westbound Lefts	A	6.0	A	5.1
72 nd Street with Wolf Road ²				
• Eastbound Approach	C	18.9	E	40.3
• Westbound Approach	B	13.0	B	13.7
• Northbound Lefts	A	0.6	A	0.7
• Southbound Lefts	A	0.3	A	0.5
Burr Ridge Parkway with Marriott Southerly Access Drive ²				
• Eastbound Approach	B	11.9	A	9.2
• Westbound Approach	B	11.5	B	11.3
• Northbound Lefts	A	6.0	A	0.1
• Southbound Lefts	A	0.1	--	--
Burr Ridge parkway with Proposed Access Roadway ²				
• Westbound Approach	A	9.2	A	9.9
• Southbound Lefts	A	2.0	A	3.7
LOS = Level of Service				
Delay is measured in seconds.				
1-Signalized Intersection				
2-Unsignalized Intersection				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identify any roadway and traffic control improvements to accommodate the development traffic.

County Line Road with Burr Ridge Parkway

The results of the capacity analysis indicate that overall this intersection currently operates at the acceptable LOS C during the weekday morning and weekday evening peak hours. Under future conditions, this intersection is projected to continue operating at LOS C during both peak hours with increases in delay of less than one second. Additionally, all of the approaches are projected to continue to operate at the acceptable LOS D or better during the peak hours with increases in delay of approximately one second or less. It should be noted that while the southbound left turns experience additional delays due to the existing heavy volume of traffic during both peak hours, the proposed development is projected to increase this movement by only two and six percent during weekday morning and weekday evening peak hours, respectively. Furthermore, while the westbound right-turn movement carries a high volume of traffic, this movement operates at adequate LOS as it receives a significant amount of green time with the right-turn overlap green phase. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection and no roadway improvements or signal modification will be necessary.

Burr Ridge Parkway with Bridewell Drive

The results of the capacity analysis indicate that the northbound approach at this intersection currently operates at the acceptable LOS A during the weekday morning and evening peak hour and is projected to continue operating at LOS A during the peak hours with increases in delay of less than one second. Furthermore, westbound left-turns from Bridewell Drive onto Burr Ridge Parkway are projected to operate at LOS A during both peak hours with 95th percentile queues of one to two vehicles. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be necessary.

72nd Street with Wolf Road

The results of the capacity analysis indicate that the westbound approach currently operates and is projected to continue operating at LOS B during both peak hours with increases in delay of less than one second. The eastbound approach at this intersection currently operates at LOS C during the weekday morning peak hour and at LOS D during the weekday evening peak hour. Under future conditions, this approach is projected to continue operating at LOS C during the weekday morning peak hour with increases in delay of approximately two seconds. During the weekday evening peak hour, this approach is projected to operate at LOS E with increases in delay of approximately nine seconds. This LOS is attributed to the large number of existing eastbound left-turning vehicles onto Wolf Road. Field observations have shown that eastbound queues are approximately three to four vehicles and based on the results of the capacity analyses, the 95th percentile queues are projected to be four to five vehicles.

It should be noted that a review of existing and projected traffic volumes indicate that a traffic signal will not be warranted at this intersection. Furthermore, given that the majority of eastbound movements are left turns, widening 72nd Street to provide two exiting lanes is not necessary or required.

Northbound left-turns onto 72nd Street are projected to continue operating at LOS A during both peak hours with minimal increases in delay. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be necessary.

Burr Ridge Parkway with Southerly Marriott/McGraw-Hill Access Drive

The results of the capacity analysis indicate that the southerly Marriott/McGraw-Hill access drives currently operate at LOS B or better during the weekday morning and weekday evening peak hours. Under future conditions, the access drives are projected to continue operating at LOS B during the weekday morning and weekday evening peak hour with increases in delay of less than one second during both peak hours. While an exclusive left-turn lane is not provided for these access drives, the analysis shows that southbound and northbound left-turns onto the access drives are projected to continue operating at LOS A with 95th percentile queues of one to two vehicles. As such, the proposed the proposed development will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be necessary.

Burr Ridge Parkway with Marriott Access Drive/Proposed Access Roadway

The results of the capacity analysis indicate that the northerly Marriott access drive currently operates at LOS A during both peak hours. Under future conditions, the proposed access roadway is projected to operate at LOS A during the weekday morning and weekday evening peak hours with increases in delay of less than one second. While a southbound left-turn lane is not provided at this intersection, the analysis shows that the southbound left-turns onto the access roadway are projected to operate at LOS A with 95th percentile queues of one to two vehicles. As previously indicated, northbound 95th percentile queues at the intersection of Burr Ridge Parkway with Bridewell Drive are projected to be one to two vehicles which will not extend beyond the location of the proposed access roadway. As such, the proposed access roadway with the provision of a curb cut serving the Marriott Hotel will be adequate in accommodating the traffic projected to be generated by the proposed development and the existing traffic generated by the Marriott Hotel. Additionally, the emergency access of Bridewell Drive ensures adequate access will be provided to the development.

Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The development is well located with respect to the area roadway system.
- The development generated traffic will not have a significant impact on area roadways.
- The proposed access roadway and provided emergency access drive will be adequate in accommodating the development generated traffic and will ensure that an efficient access is provided.
- The proposed modification to the northerly access serving the Marriott Hotel will not have a significant impact on its accessibility.

Appendix

*Enclave at Village Center
Burr Ridge, Illinois*



Traffic Count Summary Sheets

*Enclave at Village Center
Burr Ridge, Illinois*





Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: County Line Road with Burr Ridge
Parkway
Site Code:
Start Date: 01/07/2016
Page No: 1

Turning Movement Data

Start Time	Frontage Road Eastbound						Burr Ridge Parkway Westbound						County Line Road Northbound						County Line Road Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	7	2	2	0	11	0	16	3	73	0	92	0	2	135	15	0	152	0	59	46	15	0	120	375
7:15 AM	0	9	8	6	0	23	0	7	1	50	0	58	0	2	125	26	0	153	0	66	60	23	0	149	383
7:30 AM	0	9	9	0	0	18	0	4	5	70	0	79	0	5	177	32	0	214	1	111	58	23	0	193	504
7:45 AM	0	7	14	1	0	22	0	3	5	54	0	62	0	2	166	33	0	201	0	154	75	40	0	269	554
Hourly Total	0	32	33	9	0	74	0	30	14	247	0	291	0	11	603	106	0	720	1	390	239	101	0	731	1816
8:00 AM	0	14	5	0	0	19	0	15	5	64	0	84	0	1	134	27	0	162	0	148	66	34	0	248	513
8:15 AM	0	4	5	0	0	9	0	12	6	69	0	87	0	4	114	27	0	145	0	145	60	35	0	240	481
8:30 AM	0	6	8	0	0	14	0	5	5	48	0	58	0	6	138	22	0	166	0	161	54	25	0	240	478
8:45 AM	0	8	9	0	0	17	0	16	5	57	0	78	0	2	108	28	0	138	0	137	65	38	0	240	473
Hourly Total	0	32	27	0	0	59	0	48	21	238	0	307	0	13	494	104	0	611	0	591	245	132	0	968	1945
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	28	12	5	0	45	0	32	5	113	0	150	0	3	88	36	0	127	1	112	101	12	0	226	548
4:15 PM	1	34	15	3	0	53	0	54	7	119	0	180	0	0	79	35	0	114	0	116	94	9	0	219	566
4:30 PM	0	42	10	4	0	56	0	38	14	144	0	196	0	1	93	40	1	134	0	93	112	9	0	214	600
4:45 PM	0	29	17	8	0	54	0	43	10	130	0	183	0	0	85	48	2	133	0	87	117	3	0	207	577
Hourly Total	1	133	54	20	0	208	0	167	36	506	0	709	0	4	345	159	3	508	1	408	424	33	0	866	2291
5:00 PM	0	57	11	13	0	81	0	48	8	170	0	226	0	0	114	46	0	160	1	114	117	4	0	236	703
5:15 PM	0	32	11	5	1	48	0	35	6	140	0	181	0	2	81	35	1	118	0	122	136	3	0	261	608
5:30 PM	0	22	7	5	0	34	0	35	6	147	0	188	0	1	76	35	0	112	1	132	142	6	0	281	615
5:45 PM	0	18	7	1	0	26	0	42	9	114	0	165	0	0	63	45	0	108	0	122	120	11	0	253	552
Hourly Total	0	129	36	24	1	189	0	160	29	571	0	760	0	3	334	161	1	498	2	490	515	24	0	1031	2478
Grand Total	1	326	150	53	1	530	0	405	100	1562	0	2067	0	31	1776	530	4	2337	4	1879	1423	290	0	3596	8530
Approach %	0.2	61.5	28.3	10.0	-	-	0.0	19.6	4.8	75.6	-	-	0.0	1.3	76.0	22.7	-	-	0.1	52.3	39.6	8.1	-	-	-
Total %	0.0	3.8	1.8	0.6	-	6.2	0.0	4.7	1.2	18.3	-	24.2	0.0	0.4	20.8	6.2	-	27.4	0.0	22.0	16.7	3.4	-	42.2	-
Lights	1	314	145	50	-	510	0	398	99	1520	-	2017	0	29	1740	527	-	2296	4	1837	1349	267	-	3457	8280
% Lights	100.0	96.3	96.7	94.3	-	96.2	-	98.3	99.0	97.3	-	97.6	-	93.5	98.0	99.4	-	98.2	100.0	97.8	94.8	92.1	-	96.1	97.1
Buses	0	0	2	2	-	4	0	4	0	10	-	14	0	0	23	3	-	26	0	10	48	0	-	58	102
% Buses	0.0	0.0	1.3	3.8	-	0.8	-	1.0	0.0	0.6	-	0.7	-	0.0	1.3	0.6	-	1.1	0.0	0.5	3.4	0.0	-	1.6	1.2
Single-Unit Trucks	0	9	3	0	-	12	0	3	1	27	-	31	0	1	11	0	-	12	0	31	17	15	-	63	118
% Single-Unit Trucks	0.0	2.8	2.0	0.0	-	2.3	-	0.7	1.0	1.7	-	1.5	-	3.2	0.6	0.0	-	0.5	0.0	1.6	1.2	5.2	-	1.8	1.4
Articulated Trucks	0	3	0	1	-	4	0	0	0	5	-	5	0	0	2	0	-	2	0	1	9	8	-	18	29
% Articulated Trucks	0.0	0.9	0.0	1.9	-	0.8	-	0.0	0.0	0.3	-	0.2	-	0.0	0.1	0.0	-	0.1	0.0	0.1	0.6	2.8	-	0.5	0.3
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	1	0	0	-	1	0	0	0	0	-	0	1
% Bicycles on Road	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	3.2	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	1	-	-	-	-	-	0	-	-	-	-	-	4	-	-	-	-	-	0	-	-



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Burr Ridge Parkway with Bridewell Drive
Site Code:
Start Date: 01/07/2016
Page No: 1

Turning Movement Data

Start Time	Bridewell Drive Eastbound					Bridewell Drive Westbound					Burr Ridge Parkway Northbound					Int. Total
	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	
7:00 AM	0	3	0	0	3	0	11	3	0	14	0	0	8	1	8	25
7:15 AM	0	5	0	0	5	0	11	3	0	14	0	1	6	1	7	26
7:30 AM	0	5	1	0	6	0	23	6	0	29	0	0	7	0	7	42
7:45 AM	0	2	0	0	2	0	27	6	0	33	0	1	12	0	13	48
Hourly Total	0	15	1	0	16	0	72	18	0	90	0	2	33	2	35	141
8:00 AM	0	5	0	0	5	0	21	9	0	30	0	2	10	0	12	47
8:15 AM	0	3	0	0	3	0	25	6	0	31	0	1	6	0	7	41
8:30 AM	0	4	0	0	4	0	21	8	0	29	0	0	12	0	12	45
8:45 AM	0	6	0	0	6	0	19	15	0	34	0	0	3	0	3	43
Hourly Total	0	18	0	0	18	0	86	38	0	124	0	3	31	0	34	176
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	5	0	0	5	0	9	10	0	19	1	1	32	0	34	58
4:15 PM	0	8	1	0	9	0	15	14	0	29	0	0	24	0	24	62
4:30 PM	0	11	1	0	12	0	17	9	0	26	0	0	29	0	29	67
4:45 PM	0	5	0	0	5	0	21	8	0	29	0	0	25	0	25	59
Hourly Total	0	29	2	0	31	0	62	41	0	103	1	1	110	0	112	246
5:00 PM	0	7	1	0	8	0	14	15	0	29	0	0	41	0	41	78
5:15 PM	0	9	1	0	10	0	17	9	0	26	0	0	30	0	30	66
5:30 PM	0	8	0	0	8	0	19	12	0	31	0	0	27	0	27	66
5:45 PM	0	8	1	0	9	0	14	6	0	20	0	0	16	0	16	45
Hourly Total	0	32	3	0	35	0	64	42	0	106	0	0	114	0	114	255
Grand Total	0	94	6	0	100	0	284	139	0	423	1	6	288	2	295	818
Approach %	0.0	94.0	6.0	-	-	0.0	67.1	32.9	-	-	0.3	2.0	97.6	-	-	-
Total %	0.0	11.5	0.7	-	12.2	0.0	34.7	17.0	-	51.7	0.1	0.7	35.2	-	36.1	-
Lights	0	93	6	-	99	0	281	139	-	420	1	4	282	-	287	806
% Lights	-	98.9	100.0	-	99.0	-	98.9	100.0	-	99.3	100.0	66.7	97.9	-	97.3	98.5
Buses	0	0	0	-	0	0	3	0	-	3	0	1	3	-	4	7
% Buses	-	0.0	0.0	-	0.0	-	1.1	0.0	-	0.7	0.0	16.7	1.0	-	1.4	0.9
Single-Unit Trucks	0	1	0	-	1	0	0	0	-	0	0	0	3	-	3	4
% Single-Unit Trucks	-	1.1	0.0	-	1.0	-	0.0	0.0	-	0.0	0.0	0.0	1.0	-	1.0	0.5
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	1	0	-	1	1
% Articulated Trucks	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	16.7	0.0	-	0.3	0.1
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	0	-	-	-	-	0	-	-	-	-	2	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: 72nd Street with Wolf Road
Site Code:
Start Date: 01/07/2016
Page No: 1

Turning Movement Data

Start Time	72nd Street Eastbound						72nd Street Westbound						Wolf Road Northbound						Wolf Road Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	17	0	1	0	18	0	1	0	9	0	10	0	1	98	1	0	100	0	0	26	10	0	36	164
7:15 AM	0	15	0	5	0	20	0	1	0	8	0	9	0	1	107	1	0	109	0	2	42	15	0	59	197
7:30 AM	0	17	0	4	0	21	0	3	1	7	0	11	0	7	109	3	0	119	0	2	27	24	0	53	204
7:45 AM	0	14	0	3	0	17	0	0	0	7	0	7	0	6	69	0	0	75	0	0	43	34	0	77	176
Hourly Total	0	63	0	13	0	76	0	5	1	31	0	37	0	15	383	5	0	403	0	4	138	83	0	225	741
8:00 AM	0	11	1	6	0	18	0	5	0	6	0	11	0	4	69	4	0	77	0	2	35	28	0	65	171
8:15 AM	0	15	0	0	0	15	0	1	1	1	0	3	0	2	71	1	0	74	0	3	28	23	0	54	146
8:30 AM	0	12	1	4	0	17	0	2	0	6	0	8	0	3	69	1	0	73	0	3	36	29	0	68	166
8:45 AM	0	10	0	1	0	11	0	4	0	8	0	12	0	2	64	2	0	68	0	1	47	32	0	80	171
Hourly Total	0	48	2	11	0	61	0	12	1	21	0	34	0	11	273	8	0	292	0	9	146	112	0	267	654
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	39	1	5	0	45	0	0	0	6	0	6	0	2	63	0	0	65	0	4	93	20	0	117	233
4:15 PM	0	28	0	3	0	31	0	1	0	2	0	3	0	4	58	2	0	64	0	3	112	29	0	144	242
4:30 PM	0	31	0	7	0	38	0	2	0	2	0	4	0	7	59	2	0	68	0	1	85	24	0	110	220
4:45 PM	0	28	2	4	0	34	0	1	0	2	0	3	0	7	60	0	0	67	0	3	103	29	0	135	239
Hourly Total	0	126	3	19	0	148	0	4	0	12	0	16	0	20	240	4	0	264	0	11	393	102	0	506	934
5:00 PM	0	42	1	4	0	47	0	0	0	3	0	3	0	5	69	0	0	74	0	2	86	35	0	123	247
5:15 PM	0	42	1	1	0	44	0	0	1	0	0	1	0	1	57	1	0	59	1	5	114	33	0	153	257
5:30 PM	0	27	0	4	0	31	0	1	1	1	0	3	0	0	58	2	0	60	0	8	91	29	0	128	222
5:45 PM	0	27	2	3	0	32	0	1	0	3	0	4	0	2	72	0	0	74	0	10	85	24	0	119	229
Hourly Total	0	138	4	12	0	154	0	2	2	7	0	11	0	8	256	3	0	267	1	25	376	121	0	523	955
Grand Total	0	375	9	55	0	439	0	23	4	71	0	98	0	54	1152	20	0	1226	1	49	1053	418	0	1521	3284
Approach %	0.0	85.4	2.1	12.5	-	-	0.0	23.5	4.1	72.4	-	-	0.0	4.4	94.0	1.6	-	-	0.1	3.2	69.2	27.5	-	-	-
Total %	0.0	11.4	0.3	1.7	-	13.4	0.0	0.7	0.1	2.2	-	3.0	0.0	1.6	35.1	0.6	-	37.3	0.0	1.5	32.1	12.7	-	46.3	-
Lights	0	373	9	49	-	431	0	21	4	70	-	95	0	54	1127	19	-	1200	1	48	1022	415	-	1486	3212
% Lights	-	99.5	100.0	89.1	-	98.2	-	91.3	100.0	98.6	-	96.9	-	100.0	97.8	95.0	-	97.9	100.0	98.0	97.1	99.3	-	97.7	97.8
Buses	0	0	0	3	-	3	0	2	0	1	-	3	0	0	15	1	-	16	0	1	19	3	-	23	45
% Buses	-	0.0	0.0	5.5	-	0.7	-	8.7	0.0	1.4	-	3.1	-	0.0	1.3	5.0	-	1.3	0.0	2.0	1.8	0.7	-	1.5	1.4
Single-Unit Trucks	0	2	0	3	-	5	0	0	0	0	-	0	0	0	10	0	-	10	0	0	11	0	-	11	26
% Single-Unit Trucks	-	0.5	0.0	5.5	-	1.1	-	0.0	0.0	0.0	-	0.0	-	0.0	0.9	0.0	-	0.8	0.0	0.0	1.0	0.0	-	0.7	0.8
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	1
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.1	0.0	-	0.1	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-

Start Time	North Marriott Access Drive Westbound					Burr Ridge Parkway Northbound					Burr Ridge Parkway Southbound					Int. Total
	U-Turn	Left	Right	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Peds	App. Total	
7:00 AM	0	3	0	1	3	0	8	0	0	8	0	0	8	0	8	19
7:15 AM	0	0	1	1	1	0	6	0	0	6	0	1	8	0	9	16
7:30 AM	0	1	1	0	2	0	6	0	0	6	0	3	17	0	20	28
7:45 AM	0	2	0	0	2	0	14	0	0	14	0	0	20	0	20	36
Hourly Total	0	6	2	2	8	0	34	0	0	34	0	4	53	0	57	99
8:00 AM	0	1	0	0	1	0	11	0	0	11	0	0	16	0	16	28
8:15 AM	0	0	0	0	0	0	7	0	0	7	0	1	20	0	21	28
8:30 AM	0	1	2	0	3	0	10	0	0	10	0	1	15	0	16	29
8:45 AM	0	0	0	0	0	0	3	1	0	4	0	0	14	0	14	18
Hourly Total	0	2	2	0	4	0	31	1	0	32	0	2	65	0	67	103
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	1	0	1	0	34	0	0	34	0	0	7	0	7	42
4:15 PM	0	0	0	0	0	0	23	0	0	23	0	0	16	0	16	39
4:30 PM	0	0	1	0	1	0	28	0	0	28	1	0	18	0	19	48
4:45 PM	0	1	0	0	1	0	24	0	0	24	1	1	19	0	21	46
Hourly Total	0	1	2	0	3	0	109	0	0	109	2	1	60	0	63	175
5:00 PM	0	0	2	0	2	0	45	2	0	47	0	0	16	0	16	65
5:15 PM	0	1	1	0	2	0	26	0	0	26	0	1	18	0	19	47
5:30 PM	0	2	0	0	2	0	27	0	0	27	0	2	17	0	19	48
5:45 PM	0	0	1	0	1	0	15	0	0	15	0	0	14	0	14	30
Hourly Total	0	3	4	0	7	0	113	2	0	115	0	3	65	0	68	190
Grand Total	0	12	10	2	22	0	287	3	0	290	2	10	243	0	255	567
Approach %	0.0	54.5	45.5	-	-	0.0	99.0	1.0	-	-	0.8	3.9	95.3	-	-	-
Total %	0.0	2.1	1.8	-	3.9	0.0	50.6	0.5	-	51.1	0.4	1.8	42.9	-	45.0	-
Lights	0	12	9	-	21	0	281	3	-	284	2	8	242	-	252	557
% Lights	-	100.0	90.0	-	95.5	-	97.9	100.0	-	97.9	100.0	80.0	99.6	-	98.8	98.2
Buses	0	0	1	-	1	0	1	0	-	1	0	1	1	-	2	4
% Buses	-	0.0	10.0	-	4.5	-	0.3	0.0	-	0.3	0.0	10.0	0.4	-	0.8	0.7
Single-Unit Trucks	0	0	0	-	0	0	5	0	-	5	0	1	0	-	1	6
% Single-Unit Trucks	-	0.0	0.0	-	0.0	-	1.7	0.0	-	1.7	0.0	10.0	0.0	-	0.4	1.1
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	2	-	-	-	-	0	-	-	-	-	0	-	-
% Pedestrians	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Burr Ridge Parkway with South
Marriott Access Drive
Site Code:
Start Date: 01/07/2016
Page No: 1

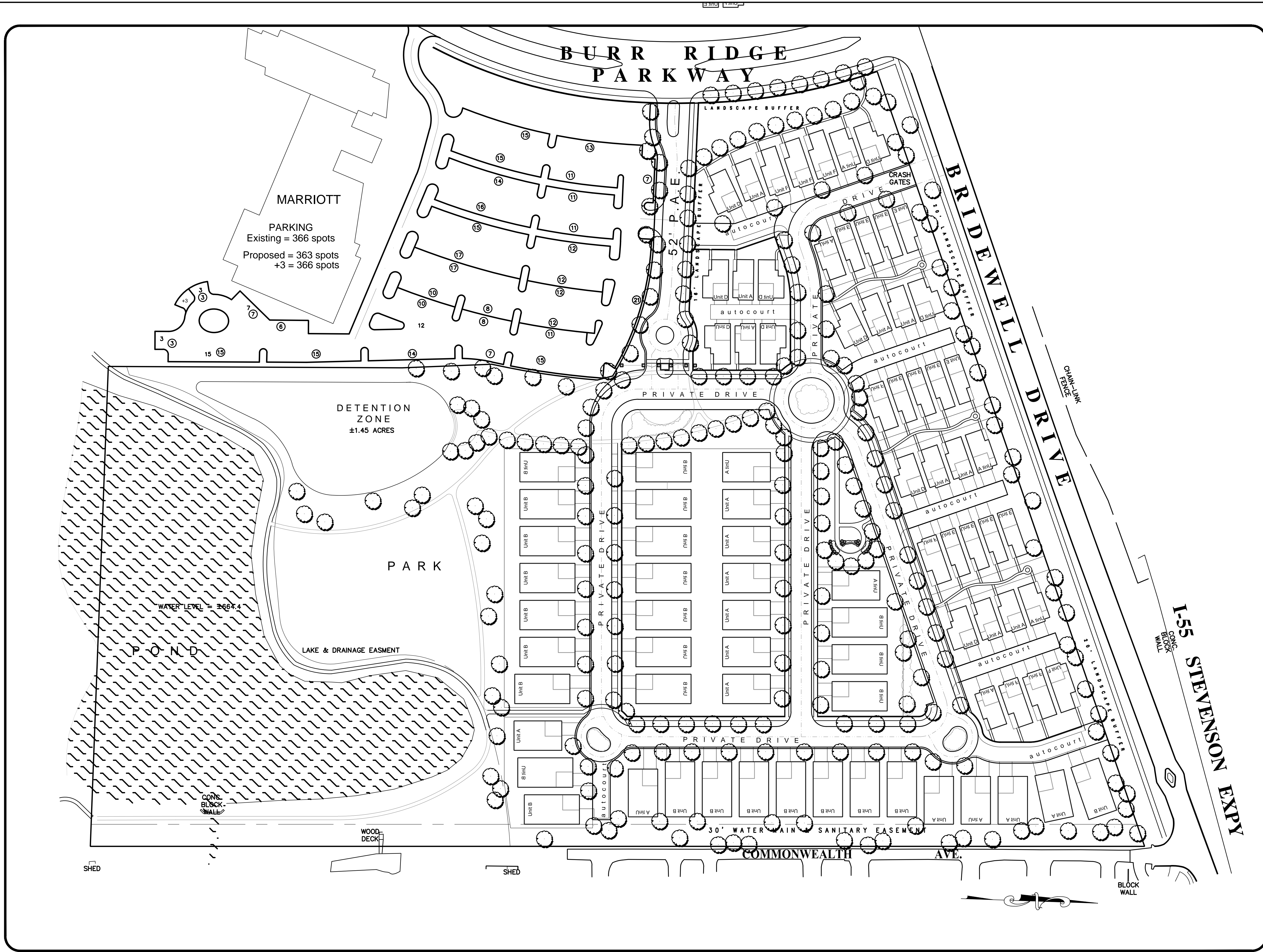
Turning Movement Data

Start Time	Office Access Drive Eastbound						South Marriott Access Drive Westbound						Burr Ridge Parkway Northbound						Burr Ridge Parkway Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	0	0	0	1	0	0	3	0	0	1	3	0	5	8	2	0	15	0	0	11	0	0	11	29
7:15 AM	0	0	0	0	1	0	0	2	0	1	1	3	0	7	5	2	0	14	0	0	8	0	0	8	25
7:30 AM	0	0	0	0	0	0	0	8	0	1	0	9	0	12	5	2	0	19	0	1	15	1	0	17	45
7:45 AM	0	2	0	1	0	3	0	8	0	2	0	10	0	25	10	8	0	43	0	0	23	0	0	23	79
Hourly Total	0	2	0	1	2	3	0	21	0	4	2	25	0	49	28	14	0	91	0	1	57	1	0	59	178
8:00 AM	0	1	0	0	0	1	0	2	0	2	0	4	0	13	8	2	0	23	0	0	17	0	0	17	45
8:15 AM	0	0	0	1	0	1	0	2	0	0	1	2	0	14	7	0	0	21	0	0	20	0	0	20	44
8:30 AM	0	0	0	1	0	1	0	3	0	1	0	4	0	15	9	0	0	24	0	1	15	0	0	16	45
8:45 AM	0	1	0	1	0	2	0	3	0	0	0	3	0	16	3	2	0	21	0	0	13	0	0	13	39
Hourly Total	0	2	0	3	0	5	0	10	0	3	1	13	0	58	27	4	0	89	0	1	65	0	0	66	173
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	5	0	22	0	27	0	1	0	0	0	1	0	0	28	2	0	30	0	0	9	0	0	9	67
4:15 PM	0	3	0	5	0	8	0	1	0	1	0	2	0	3	19	2	0	24	0	0	16	0	0	16	50
4:30 PM	0	2	0	13	0	15	0	1	0	0	0	1	0	1	26	0	0	27	0	0	18	0	0	18	61
4:45 PM	0	3	0	10	0	13	0	5	0	0	0	5	0	1	21	2	0	24	0	0	20	0	0	20	62
Hourly Total	0	13	0	50	0	63	0	8	0	1	0	9	0	5	94	6	0	105	0	0	63	0	0	63	240
5:00 PM	0	11	0	20	0	31	0	1	0	0	0	1	0	0	35	1	0	36	0	0	15	1	0	16	84
5:15 PM	0	0	0	13	0	13	0	3	0	1	2	4	0	0	26	4	2	30	0	0	19	0	0	19	66
5:30 PM	0	2	0	13	0	15	0	6	0	1	0	7	0	0	24	0	2	24	0	0	18	1	0	19	65
5:45 PM	0	1	0	9	0	10	0	4	0	1	0	5	0	0	13	2	0	15	0	0	14	0	0	14	44
Hourly Total	0	14	0	55	0	69	0	14	0	3	2	17	0	0	98	7	4	105	0	0	66	2	0	68	259
Grand Total	0	31	0	109	2	140	0	53	0	11	5	64	0	112	247	31	4	390	0	2	251	3	0	256	850
Approach %	0.0	22.1	0.0	77.9	-	-	0.0	82.8	0.0	17.2	-	-	0.0	28.7	63.3	7.9	-	-	0.0	0.8	98.0	1.2	-	-	-
Total %	0.0	3.6	0.0	12.8	-	16.5	0.0	6.2	0.0	1.3	-	7.5	0.0	13.2	29.1	3.6	-	45.9	0.0	0.2	29.5	0.4	-	30.1	-
Lights	0	30	0	107	-	137	0	53	0	11	-	64	0	109	243	31	-	383	0	2	250	3	-	255	839
% Lights	-	96.8	-	98.2	-	97.9	-	100.0	-	100.0	-	100.0	-	97.3	98.4	100.0	-	98.2	-	100.0	99.6	100.0	-	99.6	98.7
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	1	0	-	1	2
% Buses	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.4	0.0	-	0.3	-	0.0	0.4	0.0	-	0.4	0.2
Single-Unit Trucks	0	1	0	2	-	3	0	0	0	0	-	0	0	3	3	0	-	6	0	0	0	0	-	0	9
% Single-Unit Trucks	-	3.2	-	1.8	-	2.1	-	0.0	-	0.0	-	0.0	-	2.7	1.2	0.0	-	1.5	-	0.0	0.0	0.0	-	0.0	1.1
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	2	-	-	-	-	-	5	-	-	-	-	-	4	-	-	-	-	-	0	-	-

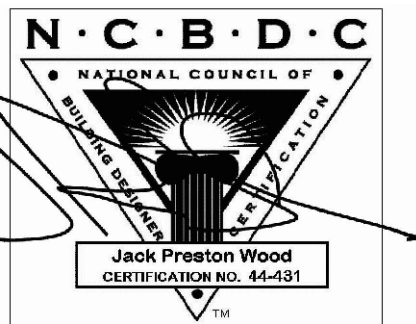
Site Plan

*Enclave at Village Center
Burr Ridge, Illinois*





David Weekley Homes



Jack Preston Wood
CERTIFICATION NO. 64-481

PLAN INFO

FRONT ENTRY / FRONT GARAGE

Unit B

27

40-0 x 75-0 PAD
50-4 x 115-0" LOT
1 FLR ±2500 sqft
1.5 FLR ±3600 sqft

Unit A

14

40-0 x 65-0 PAD
50-4 x 105-0" LOT
1 FLR ±2100 sqft
1.5 FLR ±3200 sqft

FRONT COURTYARD / REAR GARAGE

Unit A

13

28 x 55 PAD
34-4 x 5-0 LOT
2 FLR - ±2300 SQFT
LIVING DN, MASTER UP

Unit D

11

34 x 55 PAD
40-4 x 85-0 LOT
2 FLR - ±2800 SQFT
LIVING DN, MASTER DN

Unit E

12

21 x 65 PAD
27-4 x 95-0 LOT
2 FLR - ±2100 SQFT
LIVING DN, MASTER UP

Unit F

8

28 x 65 PAD
34-4 x 95-0 LOT
2 FLR - ±2800 SQFT
LIVING DN, MASTER DN

COMMUNITY INFO

IRC VERSION USED
LOCAL AMENDMENTS?

??
LOCAL PUD

TOTAL SITE SIZE:
USEABLE SITE SIZE:
MAX. SITE DENSITY
MAX. SITE COVERAGE

±20.2 ACRES
17.2 ACRES
NEGOTIABLE
XXX

ACTUAL LOTS:
ACTUAL DENSITY:
USEABLE SITE DENSITY:
MAX. SITE COVERAGE

84
4.2 / ACRE
4.9 / ACRE
XXX

PARKING SPACES:

2 GARAGE & 2 DRIVE / HOME

SIDE SETBACKS:
FRONT ENTRY, FRONT GARAGE:
FRONT COURTYARD, REAR GARAGE:
GARAGE SETBACK
OVERHANGS ABLE TO ENCROACH? (Y/N)
DISTANCE (FRONT & REAR)
DISTANCE (SIDE)
MIN. HEIGHT OF CANTILEVERS/OVERHANGS

10' btw HOMES
6' btw HOMES
20'
XXX
XXX
XXX
XXX

MIN. YARD SIZE:
MIN. SIZE FOR ACCESS ESMNT.
COMMON AREA AGREEMENTS ALLOWED (Y/N)
DOWNSPOUT RULES
VISIBILITY TRIANGLES? (Y/N)

10' min (pref.)
XXX
XXX
XXX
XXX

SITE PLAN

ENCLAVE AT VILLAGE CENTER
BURR RIDGE, ILLINOIS

SCALE: 1"=120'-0"
Printed @ 11"x17"

SCALE: 1"=60'-0"
Printed @ 22"x34"

10-9-15

V.10

PE

REVISED 11-22-2015 JWM-BSS

Level of Service Criteria

*Enclave at Village Center
Burr Ridge, Illinois*



LEVEL OF SERVICE CRITERIA

Signalized Intersections

Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤ 10
B	Good progression, with more vehicles stopping than for Level of Service A.	$> 10 - 20$
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	$> 20 - 35$
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	$> 35 - 55$
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	$> 55 - 80$
F	The volume-to-capacity ratio is very high, progression is very poor and the cycle length is long. Most cycles fail to clear the queue.	> 80.0

Unsignalized Intersections

Level of Service	Average Total Delay (SEC/VEH)
A	0 - 10
B	$> 10 - 15$
C	$> 15 - 25$
D	$> 25 - 35$
E	$> 35 - 50$
F	> 50

Source: *Highway Capacity Manual*, 2010.

*Enclave at Village Center
Burr Ridge, Illinois*



Capacity Analysis Summary Sheet
























*Enclave at Village Center
Burr Ridge, Illinois*



Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	34	33	1	34	21	257	12	591	119	559	259	132
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	160		170	80		140	175		0
Storage Lanes	1		0	2		1	1		1	2		0
Taper Length (ft)	25			220			120			215		
Lane Util. Factor	1.00	1.00	1.00	0.97	1.00	0.88	1.00	0.95	1.00	0.97	0.95	0.95
Frt		0.996				0.850			0.850		0.949	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1612	1788	0	3400	1900	2656	1805	3539	1599	3400	3222	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1612	1788	0	3400	1900	2656	1805	3539	1599	3400	3222	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		1				276			128		110	
Link Speed (mph)		25			25			45			45	
Link Distance (ft)		260			1072			565			3887	
Travel Time (s)		7.1			29.2			8.6			58.9	
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93
Heavy Vehicles (%)	12%	6%	0%	3%	0%	7%	0%	2%	1%	3%	6%	7%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	37	36	0	37	23	276	13	635	128	601	420	0
Turn Type	Prot	NA		Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	7	4		3	8	1	5	2	3	1	6	
Permitted Phases						8			2			
Detector Phase	7	4		3	8	1	5	2	3	1	6	
Switch Phase												
Minimum Initial (s)	3.0	8.0		3.0	8.0	3.0	3.0	15.0	3.0	3.0	15.0	
Minimum Split (s)	15.0	23.0		15.0	23.0	32.0	15.0	30.0	15.0	32.0	47.0	
Total Split (s)	15.0	23.0		15.0	23.0	32.0	15.0	30.0	15.0	32.0	47.0	
Total Split (%)	15.0%	23.0%		15.0%	23.0%	32.0%	15.0%	30.0%	15.0%	32.0%	47.0%	
Yellow Time (s)	3.5	4.5		3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5	
All-Red Time (s)	0.0	1.5		0.0	1.5	0.0	0.0	1.5	0.0	0.0	1.5	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	3.5	6.0		3.5	6.0	3.5	3.5	6.0	3.5	3.5	6.0	
Lead/Lag	Lead	Lag		Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes		Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
Recall Mode	None	None		None	None	None	None	C-Min	None	None	C-Min	
Act Effect Green (s)	10.4	9.3		8.5	8.4	35.6	6.3	44.8	59.2	24.0	70.1	
Actuated g/C Ratio	0.10	0.09		0.08	0.08	0.36	0.06	0.45	0.59	0.24	0.70	
v/c Ratio	0.22	0.22		0.13	0.14	0.25	0.11	0.40	0.13	0.74	0.18	
Control Delay	43.7	43.4		44.4	44.4	2.6	45.9	22.0	3.2	40.4	5.3	
Queue Delay	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	43.7	43.4		44.4	44.4	2.6	45.9	22.0	3.2	40.4	5.3	
LOS	D	D		D	D	A	D	C	A	D	A	
Approach Delay		43.6			10.1			19.3			26.0	
Approach LOS		D			B			B			C	
Queue Length 50th (ft)	19	21		11	14	0	8	147	0	181	30	
Queue Length 95th (ft)	53	51		27	38	23	27	237	32	223	77	
Internal Link Dist (ft)		180			992			485			3807	

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)				160		170	80		140	175		
Base Capacity (vph)	215	304		391	323	1238	207	1584	1044	980	2290	
Starvation Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Storage Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Reduced v/c Ratio	0.17	0.12		0.09	0.07	0.22	0.06	0.40	0.12	0.61	0.18	

Intersection Summary

Area Type: Other

Cycle Length: 100

Actuated Cycle Length: 100

Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green

Natural Cycle: 100

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.74

Intersection Signal Delay: 21.8

Intersection LOS: C

Intersection Capacity Utilization 54.2%

ICU Level of Service A

Analysis Period (min) 15











Splits and Phases: 1: County Line Road & Frontage Road/Burr Ridge Parkway

ϕ1	ϕ2 (R)	ϕ3	ϕ4
32 s	30 s	15 s	23 s
ϕ5	ϕ6 (R)	ϕ7	ϕ8
15 s	47 s	15 s	23 s

HCM Unsignalized Intersection Capacity Analysis

2: Burr Ridge Parkway & Bridewell Drive

















1/28/2016

						
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Volume (veh/h)	15	1	96	27	4	35
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93
Hourly flow rate (vph)	16	1	103	29	4	38
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage veh						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			17		252	17
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			17		252	17
tC, single (s)			4.1		6.6	6.3
tC, 2 stage (s)						
tF (s)			2.2		3.7	3.4
p0 queue free %			94		99	96
cM capacity (veh/h)			1606		645	1051
Direction, Lane #	EB 1	WB 1	NB 1	NB 2		
Volume Total	17	132	4	38		
Volume Left	0	103	4	0		
Volume Right	1	0	0	38		
cSH	1700	1606	645	1051		
Volume to Capacity	0.01	0.06	0.01	0.04		
Queue Length 95th (ft)	0	5	1	3		
Control Delay (s)	0.0	5.9	10.6	8.6		
Lane LOS		A	B	A		
Approach Delay (s)	0.0	5.9	8.8			
Approach LOS			A			
Intersection Summary						
Average Delay			6.0			
Intersection Capacity Utilization			23.4%	ICU Level of Service	A	
Analysis Period (min)			15			

HCM Unsignalized Intersection Capacity Analysis

3: Wolf Road & 72nd Street



















1/28/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	57	1	13	9	2	21	19	318	8	7	133	109
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
Hourly flow rate (vph)	67	1	15	11	2	25	22	374	9	8	156	128
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage veh												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	686	665	221	676	725	379	285			384		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	686	665	221	676	725	379	285			384		
tC, single (s)	7.1	6.5	6.3	7.2	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.4	3.6	4.0	3.3	2.2			2.2		
p0 queue free %	80	100	98	97	99	96	98			99		
cM capacity (veh/h)	340	374	804	341	346	672	1289			1186		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	84	38	406	293								
Volume Left	67	11	22	8								
Volume Right	15	25	9	128								
cSH	381	505	1289	1186								
Volume to Capacity	0.22	0.07	0.02	0.01								
Queue Length 95th (ft)	21	6	1	1								
Control Delay (s)	17.1	12.7	0.6	0.3								
Lane LOS	C	B	A	A								
Approach Delay (s)	17.1	12.7	0.6	0.3								
Approach LOS	C	B										
Intersection Summary												
Average Delay			2.7									
Intersection Capacity Utilization			42.3%	ICU Level of Service					A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

4: Burr Ridge Parkway & Access Drive/Marriott Access Drive










1/28/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	3	0	2	20	0	5	64	30	12	1	75	1
Sign Control	Stop				Stop		Free				Free	
Grade	0%				0%		0%				0%	
Peak Hour Factor	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67
Hourly flow rate (vph)	4	0	3	30	0	7	96	45	18	1	112	1
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type							None			None		
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	337	369	57	307	361	31	113				63	
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	337	369	57	307	361	31	113				63	
tC, single (s)	8.2	6.5	7.9	7.5	6.5	6.9	4.2				4.1	
tC, 2 stage (s)												
tF (s)	3.8	4.0	3.8	3.5	4.0	3.3	2.2				2.2	
p0 queue free %	99	100	100	95	100	99	93				100	
cM capacity (veh/h)	492	526	862	594	532	1042	1466				1553	
Direction, Lane #	EB 1	EB 2	WB 1	NB 1	NB 2	SB 1	SB 2					
Volume Total	4	3	37	118	40	57	57					
Volume Left	4	0	30	96	0	1	0					
Volume Right	0	3	7	0	18	0	1					
cSH	492	862	650	1466	1700	1553	1700					
Volume to Capacity	0.01	0.00	0.06	0.07	0.02	0.00	0.03					
Queue Length 95th (ft)	1	0	5	5	0	0	0					
Control Delay (s)	12.4	9.2	10.9	6.3	0.0	0.2	0.0					
Lane LOS	B	A	B	A	A							
Approach Delay (s)	11.1	10.9		4.7	0.1							
Approach LOS	B	B										
Intersection Summary												
Average Delay			3.9									
Intersection Capacity Utilization			25.0%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

5: Burr Ridge Parkway & Marriott Access Drive
























1/28/2016

						
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Volume (veh/h)	4	1	38	0	4	73
Sign Control	Stop		Free			Free
Grade	0%		0%			0%
Peak Hour Factor	0.83	0.83	0.83	0.83	0.83	0.83
Hourly flow rate (vph)	5	1	46	0	5	88
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type			None			None
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	99	23			46	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	99	23			46	
tC, single (s)	6.8	6.9			4.1	
tC, 2 stage (s)						
tF (s)	3.5	3.3			2.2	
p0 queue free %	99	100			100	
cM capacity (veh/h)	892	1055			1575	
Direction, Lane #	WB 1	NB 1	NB 2	SB 1	SB 2	
Volume Total	6	31	15	34	59	
Volume Left	5	0	0	5	0	
Volume Right	1	0	0	0	0	
cSH	920	1700	1700	1575	1700	
Volume to Capacity	0.01	0.02	0.01	0.00	0.03	
Queue Length 95th (ft)	0	0	0	0	0	
Control Delay (s)	8.9	0.0	0.0	1.0	0.0	
Lane LOS	A			A		
Approach Delay (s)	8.9	0.0		0.4		
Approach LOS	A					
Intersection Summary						
Average Delay			0.6			
Intersection Capacity Utilization			15.0%	ICU Level of Service		A
Analysis Period (min)			15			

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	140	46	31	161	30	587	3	356	164	457	512	16
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	160		170	80		140	175		0
Storage Lanes	1		0	2		1	1		1	2		0
Taper Length (ft)	25			220			120			215		
Lane Util. Factor	1.00	1.00	1.00	0.97	1.00	0.88	1.00	0.95	1.00	0.97	0.95	0.95
Frt		0.940				0.850			0.850		0.995	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1787	1786	0	3400	1900	2787	1805	3574	1599	3467	3471	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1787	1786	0	3400	1900	2787	1805	3574	1599	3467	3471	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		31				472			184		3	
Link Speed (mph)		25			25			45			45	
Link Distance (ft)		260			1072			565			3887	
Travel Time (s)		7.1			29.2			8.6			58.9	
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Heavy Vehicles (%)	1%	0%	0%	3%	0%	2%	0%	1%	1%	1%	3%	19%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	157	87	0	181	34	660	3	400	184	513	593	0
Turn Type	Prot	NA		Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	7	4		3	8	1	5	2	3	1	6	
Permitted Phases						8			2			
Detector Phase	7	4		3	8	1	5	2	3	1	6	
Switch Phase												
Minimum Initial (s)	3.0	8.0		3.0	8.0	3.0	3.0	15.0	3.0	3.0	15.0	
Minimum Split (s)	27.0	29.0		15.0	17.0	30.0	15.0	26.0	15.0	30.0	41.0	
Total Split (s)	27.0	29.0		15.0	17.0	30.0	15.0	26.0	15.0	30.0	41.0	
Total Split (%)	27.0%	29.0%		15.0%	17.0%	30.0%	15.0%	26.0%	15.0%	30.0%	41.0%	
Yellow Time (s)	3.5	4.5		3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5	
All-Red Time (s)	0.0	1.5		0.0	1.5	0.0	0.0	1.5	0.0	0.0	1.5	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	3.5	6.0		3.5	6.0	3.5	3.5	6.0	3.5	3.5	6.0	
Lead/Lag	Lead	Lag		Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes		Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
Recall Mode	None	None		None	None	None	None	C-Min	None	None	C-Min	
Act Effect Green (s)	16.4	11.9		10.4	8.7	31.7	5.8	39.0	55.3	22.5	63.0	
Actuated g/C Ratio	0.16	0.12		0.10	0.09	0.32	0.06	0.39	0.55	0.22	0.63	
v/c Ratio	0.54	0.36		0.51	0.20	0.55	0.03	0.29	0.19	0.66	0.27	
Control Delay	45.2	30.3		47.7	45.1	7.8	45.0	25.4	3.3	38.9	10.8	
Queue Delay	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	45.2	30.3		47.7	45.1	7.8	45.0	25.4	3.3	38.9	10.8	
LOS	D	C		D	D	A	D	C	A	D	B	
Approach Delay		39.9			17.5			18.6			23.8	
Approach LOS		D			B			B			C	
Queue Length 50th (ft)	96	33		57	21	45	2	95	0	154	82	
Queue Length 95th (ft)	151	73		89	50	76	11	164	40	187	167	
Internal Link Dist (ft)		180			992			485			3807	

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)				160		170	80		140	175		
Base Capacity (vph)	419	434		391	209	1310	207	1392	982	937	2189	
Starvation Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Storage Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Reduced v/c Ratio	0.37	0.20		0.46	0.16	0.50	0.01	0.29	0.19	0.55	0.27	

Intersection Summary

Area Type: Other

Cycle Length: 100

Actuated Cycle Length: 100

Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green

Natural Cycle: 100

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.66

Intersection Signal Delay: 22.2









Intersection LOS: C

Intersection Capacity Utilization 53.3%

ICU Level of Service A

Analysis Period (min) 15











Splits and Phases: 1: County Line Road & Frontage Road/Burr Ridge Parkway

 ø1	 ø2 (R)	 ø3	 ø4
30 s	26 s	15 s	29 s
 ø5	 ø6 (R)	 ø7	 ø8
15 s	41 s	27 s	17 s

HCM Unsignalized Intersection Capacity Analysis

2: Burr Ridge Parkway & Bridewell Drive

















1/28/2016

						
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Volume (veh/h)	29	2	71	44	0	125
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86
Hourly flow rate (vph)	34	2	83	51	0	145
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			36		251	35
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			36		251	35
tC, single (s)			4.1		6.4	6.2
tC, 2 stage (s)						
tF (s)			2.2		3.5	3.3
p0 queue free %			95		100	86
cM capacity (veh/h)			1588		703	1041
Direction, Lane #	EB 1	WB 1	NB 1	NB 2		
Volume Total	36	134	0	145		
Volume Left	0	83	0	0		
Volume Right	2	0	0	145		
cSH	1700	1588	1700	1041		
Volume to Capacity	0.02	0.05	0.00	0.14		
Queue Length 95th (ft)	0	4	0	12		
Control Delay (s)	0.0	4.7	0.0	9.0		
Lane LOS		A	A	A		
Approach Delay (s)	0.0	4.7	9.0			
Approach LOS			A			
Intersection Summary						
Average Delay			6.2			
Intersection Capacity Utilization			17.7%	ICU Level of Service		A
Analysis Period (min)			15			

HCM Unsignalized Intersection Capacity Analysis

3: Wolf Road & 72nd Street



















1/28/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	139	4	13	2	2	6	13	244	3	19	394	126
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Hourly flow rate (vph)	148	4	14	2	2	6	14	260	3	20	419	134
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	823	817	486	831	882	261	553			263		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	823	817	486	831	882	261	553			263		
tC, single (s)	7.1	6.5	6.3	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.4	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	48	99	98	99	99	99	99			98		
cM capacity (veh/h)	284	304	569	275	279	782	1027			1313		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	166	11	277	573								
Volume Left	148	2	14	20								
Volume Right	14	6	3	134								
cSH	297	452	1027	1313								
Volume to Capacity	0.56	0.02	0.01	0.02								
Queue Length 95th (ft)	79	2	1	1								
Control Delay (s)	31.4	13.2	0.6	0.4								
Lane LOS	D	B	A	A								
Approach Delay (s)	31.4	13.2	0.6	0.4								
Approach LOS	D	B										
Intersection Summary												
Average Delay			5.6									
Intersection Capacity Utilization			56.9%	ICU Level of Service					B			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

4: Burr Ridge Parkway & Access Drive/Marriott Access Drive












1/28/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	16	0	56	15	0	2	1	107	7	0	72	2
Sign Control	Stop				Stop			Free			Free	
Grade	0%				0%			0%			0%	
Peak Hour Factor	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82
Hourly flow rate (vph)	20	0	68	18	0	2	1	130	9	0	88	2
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type							None			None		
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	159	230	45	249	227	70	90			139		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	159	230	45	249	227	70	90			139		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	98	100	93	97	100	100	100			100		
cM capacity (veh/h)	794	672	1021	642	675	986	1518			1457		
Direction, Lane #	EB 1	EB 2	WB 1	NB 1	NB 2	SB 1	SB 2					
Volume Total	20	68	21	66	74	44	46					
Volume Left	20	0	18	1	0	0	0					
Volume Right	0	68	2	0	9	0	2					
cSH	794	1021	670	1518	1700	1457	1700					
Volume to Capacity	0.02	0.07	0.03	0.00	0.04	0.00	0.03					
Queue Length 95th (ft)	2	5	2	0	0	0	0					
Control Delay (s)	9.6	8.8	10.5	0.1	0.0	0.0	0.0					
Lane LOS	A	A	B	A								
Approach Delay (s)	9.0		10.5	0.1		0.0						
Approach LOS	A		B									
Intersection Summary												
Average Delay			3.0									
Intersection Capacity Utilization			18.2%	ICU Level of Service		A						
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

5: Burr Ridge Parkway & Marriott Access Drive

1/28/2016

						
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations			 			 
Volume (veh/h)	4	3	122	2	5	70
Sign Control	Stop		Free			Free
Grade	0%		0%			0%
Peak Hour Factor	0.79	0.79	0.79	0.79	0.79	0.79
Hourly flow rate (vph)	5	4	154	3	6	89
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type			None			None
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	213	78			157	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	213	78			157	
tC, single (s)	6.8	6.9			4.1	
tC, 2 stage (s)						
tF (s)	3.5	3.3			2.2	
p0 queue free %	99	100			100	
cM capacity (veh/h)	759	973			1435	
Direction, Lane #	WB 1	NB 1	NB 2	SB 1	SB 2	
Volume Total	9	103	54	36	59	
Volume Left	5	0	0	6	0	
Volume Right	4	0	3	0	0	
cSH	838	1700	1700	1435	1700	
Volume to Capacity	0.01	0.06	0.03	0.00	0.03	
Queue Length 95th (ft)	1	0	0	0	0	
Control Delay (s)	9.3	0.0	0.0	1.4	0.0	
Lane LOS	A			A		
Approach Delay (s)	9.3	0.0		0.5		
Approach LOS	A					
Intersection Summary						
Average Delay			0.5			
Intersection Capacity Utilization			15.7%	ICU Level of Service		A
Analysis Period (min)			15			

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016















Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	35	34	1	45	22	293	12	615	127	590	269	137
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	160		170	80		140	175		0
Storage Lanes	1		0	2		1	1		1	2		0
Taper Length (ft)	25			220			120			215		
Lane Util. Factor	1.00	1.00	1.00	0.97	1.00	0.88	1.00	0.95	1.00	0.97	0.95	0.95
Frt		0.996				0.850			0.850		0.949	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1612	1788	0	3400	1900	2656	1805	3539	1599	3400	3222	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1612	1788	0	3400	1900	2656	1805	3539	1599	3400	3222	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		1				315			137		109	
Link Speed (mph)		25			25			45			45	
Link Distance (ft)		260			1072			565			3887	
Travel Time (s)		7.1			29.2			8.6			58.9	
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93
Heavy Vehicles (%)	12%	6%	0%	3%	0%	7%	0%	2%	1%	3%	6%	7%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	38	38	0	48	24	315	13	661	137	634	436	0
Turn Type	Prot	NA		Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	7	4		3	8	1	5	2	3	1	6	
Permitted Phases						8			2			
Detector Phase	7	4		3	8	1	5	2	3	1	6	
Switch Phase												
Minimum Initial (s)	3.0	8.0		3.0	8.0	3.0	3.0	15.0	3.0	3.0	15.0	
Minimum Split (s)	15.0	23.0		15.0	23.0	32.0	15.0	30.0	15.0	32.0	47.0	
Total Split (s)	15.0	23.0		15.0	23.0	32.0	15.0	30.0	15.0	32.0	47.0	
Total Split (%)	15.0%	23.0%		15.0%	23.0%	32.0%	15.0%	30.0%	15.0%	32.0%	47.0%	
Yellow Time (s)	3.5	4.5		3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5	
All-Red Time (s)	0.0	1.5		0.0	1.5	0.0	0.0	1.5	0.0	0.0	1.5	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	3.5	6.0		3.5	6.0	3.5	3.5	6.0	3.5	3.5	6.0	
Lead/Lag	Lead	Lag		Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes		Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
Recall Mode	None	None		None	None	None	None	C-Min	None	None	C-Min	
Act Effect Green (s)	10.6	9.2		8.7	8.4	36.8	6.3	43.5	58.2	25.2	69.9	
Actuated g/C Ratio	0.11	0.09		0.09	0.08	0.37	0.06	0.44	0.58	0.25	0.70	
v/c Ratio	0.22	0.23		0.16	0.15	0.27	0.11	0.43	0.14	0.74	0.19	
Control Delay	43.6	44.0		44.4	44.5	2.4	45.9	23.4	3.3	39.6	5.4	
Queue Delay	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	43.6	44.0		44.4	44.5	2.4	45.9	23.4	3.3	39.6	5.4	
LOS	D	D		D	D	A	D	C	A	D	A	
Approach Delay		43.8			10.3			20.3			25.7	
Approach LOS		D			B			C			C	
Queue Length 50th (ft)	20	23		14	15	0	8	159	0	191	33	
Queue Length 95th (ft)	55	53		32	40	24	27	254	34	231	82	
Internal Link Dist (ft)		180			992			485			3807	

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)				160		170	80		140	175		
Base Capacity (vph)	216	304		391	323	1268	207	1538	1028	991	2285	
Starvation Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Storage Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Reduced v/c Ratio	0.18	0.13		0.12	0.07	0.25	0.06	0.43	0.13	0.64	0.19	

Intersection Summary

Area Type: Other

Cycle Length: 100

Actuated Cycle Length: 100

Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green

Natural Cycle: 100

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.74

Intersection Signal Delay: 21.9



Intersection LOS: C

Intersection Capacity Utilization 55.8%

ICU Level of Service B

Analysis Period (min) 15











Splits and Phases: 1: County Line Road & Frontage Road/Burr Ridge Parkway

 $\phi 1$	 $\phi 2 (R)$	 $\phi 3$	 $\phi 4$
32 s	30 s	15 s	23 s
 $\phi 5$	 $\phi 6 (R)$	 $\phi 7$	 $\phi 8$
15 s	47 s	15 s	23 s

HCM Unsignalized Intersection Capacity Analysis

2: Burr Ridge Parkway & Bridewell Drive

















1/29/2016

						
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Volume (veh/h)	16	1	105	28	4	52
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93
Hourly flow rate (vph)	17	1	113	30	4	56
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage veh						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			18		274	18
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			18		274	18
tC, single (s)			4.1		6.6	6.3
tC, 2 stage (s)						
tF (s)			2.2		3.7	3.4
p0 queue free %			93		99	95
cM capacity (veh/h)			1605		622	1049
Direction, Lane #	EB 1	WB 1	NB 1	NB 2		
Volume Total	18	143	4	56		
Volume Left	0	113	4	0		
Volume Right	1	0	0	56		
cSH	1700	1605	622	1049		
Volume to Capacity	0.01	0.07	0.01	0.05		
Queue Length 95th (ft)	0	6	1	4		
Control Delay (s)	0.0	6.0	10.8	8.6		
Lane LOS		A	B	A		
Approach Delay (s)	0.0	6.0	8.8			
Approach LOS			A			
Intersection Summary						
Average Delay			6.2			
Intersection Capacity Utilization			24.0%	ICU Level of Service	A	
Analysis Period (min)			15			

HCM Unsignalized Intersection Capacity Analysis

3: Wolf Road & 72nd Street



















1/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	72	1	17	9	2	22	21	331	8	7	138	117
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
Hourly flow rate (vph)	85	1	20	11	2	26	25	389	9	8	162	138
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	718	696	231	712	760	394	300			399		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	718	696	231	712	760	394	300			399		
tC, single (s)	7.1	6.5	6.3	7.2	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.4	3.6	4.0	3.3	2.2			2.2		
p0 queue free %	74	100	97	97	99	96	98			99		
cM capacity (veh/h)	322	358	793	320	329	659	1273			1171		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	106	39	424	308								
Volume Left	85	11	25	8								
Volume Right	20	26	9	138								
cSH	363	489	1273	1171								
Volume to Capacity	0.29	0.08	0.02	0.01								
Queue Length 95th (ft)	30	6	1	1								
Control Delay (s)	18.9	13.0	0.6	0.3								
Lane LOS	C	B	A	A								
Approach Delay (s)	18.9	13.0	0.6	0.3								
Approach LOS	C	B										
Intersection Summary												
Average Delay			3.3									
Intersection Capacity Utilization			46.2%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

4: Burr Ridge Parkway & Access Drive/Marriott Access Drive












1/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	3	0	2	21	0	5	67	43	12	1	114	1
Sign Control	Stop				Stop				Free			
Grade	0%				0%				0%			
Peak Hour Factor	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67
Hourly flow rate (vph)	4	0	3	31	0	7	100	64	18	1	170	1
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type							None			None		
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	413	456	86	364	448	41	172				82	
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	413	456	86	364	448	41	172				82	
tC, single (s)	8.2	6.5	7.9	7.5	6.5	6.9	4.2				4.1	
tC, 2 stage (s)												
tF (s)	3.8	4.0	3.8	3.5	4.0	3.3	2.2				2.2	
p0 queue free %	99	100	100	94	100	99	93				100	
cM capacity (veh/h)	427	467	821	538	472	1027	1396				1528	
Direction, Lane #	EB 1	EB 2	WB 1	NB 1	NB 2	SB 1	SB 2					
Volume Total	4	3	39	132	50	87	87					
Volume Left	4	0	31	100	0	1	0					
Volume Right	0	3	7	0	18	0	1					
cSH	427	821	592	1396	1700	1528	1700					
Volume to Capacity	0.01	0.00	0.07	0.07	0.03	0.00	0.05					
Queue Length 95th (ft)	1	0	5	6	0	0	0					
Control Delay (s)	13.5	9.4	11.5	6.0	0.0	0.1	0.0					
Lane LOS	B	A	B	A	A							
Approach Delay (s)	11.9	11.5		4.4	0.1							
Approach LOS	B	B										
Intersection Summary												
Average Delay			3.3									
Intersection Capacity Utilization			25.2%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

5: Burr Ridge Parkway & Proposed Access Drive






























1/29/2016

						
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations			 			 
Volume (veh/h)	40	17	39	12	9	76
Sign Control	Stop		Free			Free
Grade	0%		0%			0%
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	42	18	41	13	9	80
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type			None			None
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	106	27			54	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	106	27			54	
tC, single (s)	6.8	6.9			4.1	
tC, 2 stage (s)						
tF (s)	3.5	3.3			2.2	
p0 queue free %	95	98			99	
cM capacity (veh/h)	880	1049			1565	
Direction, Lane #	WB 1	NB 1	NB 2	SB 1	SB 2	
Volume Total	60	27	26	36	53	
Volume Left	42	0	0	9	0	
Volume Right	18	0	13	0	0	
cSH	925	1700	1700	1565	1700	
Volume to Capacity	0.06	0.02	0.02	0.01	0.03	
Queue Length 95th (ft)	5	0	0	0	0	
Control Delay (s)	9.2	0.0	0.0	2.0	0.0	
Lane LOS	A			A		
Approach Delay (s)	9.2	0.0		0.8		
Approach LOS	A					
Intersection Summary						
Average Delay			3.1			
Intersection Capacity Utilization			17.2%		ICU Level of Service	A
Analysis Period (min)			15			

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway













1/28/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations				 		 		 		 	 	 
Volume (vph)	146	48	32	173	31	627	3	370	182	504	532	17
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	160		170	80		140	175		0
Storage Lanes	1		0	2		1	1		1	2		0
Taper Length (ft)	25			220			120			215		
Lane Util. Factor	1.00	1.00	1.00	0.97	1.00	0.88	1.00	0.95	1.00	0.97	0.95	0.95
Frt		0.940				0.850			0.850		0.995	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1787	1786	0	3400	1900	2787	1805	3574	1599	3467	3471	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1787	1786	0	3400	1900	2787	1805	3574	1599	3467	3471	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		31				450			204		3	
Link Speed (mph)		25			25			45			45	
Link Distance (ft)		260			1072			565			3887	
Travel Time (s)		7.1			29.2			8.6			58.9	
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Heavy Vehicles (%)	1%	0%	0%	3%	0%	2%	0%	1%	1%	1%	3%	19%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	164	90	0	194	35	704	3	416	204	566	617	0
Turn Type	Prot	NA		Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	7	4		3	8	1	5	2	3	1	6	
Permitted Phases						8			2			
Detector Phase	7	4		3	8	1	5	2	3	1	6	
Switch Phase												
Minimum Initial (s)	3.0	8.0		3.0	8.0	3.0	3.0	15.0	3.0	3.0	15.0	
Minimum Split (s)	27.0	29.0		15.0	17.0	30.0	15.0	26.0	15.0	30.0	41.0	
Total Split (s)	27.0	29.0		15.0	17.0	30.0	15.0	26.0	15.0	30.0	41.0	
Total Split (%)	27.0%	29.0%		15.0%	17.0%	30.0%	15.0%	26.0%	15.0%	30.0%	41.0%	
Yellow Time (s)	3.5	4.5		3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5	
All-Red Time (s)	0.0	1.5		0.0	1.5	0.0	0.0	1.5	0.0	0.0	1.5	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	3.5	6.0		3.5	6.0	3.5	3.5	6.0	3.5	3.5	6.0	
Lead/Lag	Lead	Lag		Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes		Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	
Recall Mode	None	None		None	None	None	None	C-Min	None	None	C-Min	
Act Effect Green (s)	16.7	12.2		10.5	8.8	33.7	5.8	36.5	53.1	24.6	62.6	
Actuated g/C Ratio	0.17	0.12		0.10	0.09	0.34	0.06	0.36	0.53	0.25	0.63	
v/c Ratio	0.55	0.37		0.54	0.21	0.57	0.03	0.32	0.22	0.67	0.28	
Control Delay	45.2	30.4		48.2	45.1	9.6	45.0	27.4	3.5	37.5	11.1	
Queue Delay	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	45.2	30.4		48.2	45.1	9.6	45.0	27.4	3.5	37.5	11.1	
LOS	D	C		D	D	A	D	C	A	D	B	
Approach Delay		39.9			18.9			19.6			23.8	
Approach LOS		D			B			B			C	
Queue Length 50th (ft)	100	35		60	21	60	2	104	0	168	87	
Queue Length 95th (ft)	155	75		95	50	94	11	175	43	203	177	
Internal Link Dist (ft)		180			992			485			3807	

Lanes, Volumes, Timings

1: County Line Road & Frontage Road/Burr Ridge Parkway

1/28/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)				160		170	80		140	175		
Base Capacity (vph)	420	434		391	209	1307	207	1305	957	953	2175	
Starvation Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Storage Cap Reductn	0	0		0	0	0	0	0	0	0	0	
Reduced v/c Ratio	0.39	0.21		0.50	0.17	0.54	0.01	0.32	0.21	0.59	0.28	

Intersection Summary

Area Type: Other

Cycle Length: 100

Actuated Cycle Length: 100

Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green

Natural Cycle: 100

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.67

Intersection Signal Delay: 22.8











Intersection LOS: C

Intersection Capacity Utilization 55.0%

ICU Level of Service A

Analysis Period (min) 15











Splits and Phases: 1: County Line Road & Frontage Road/Burr Ridge Parkway

 ø1		 ø2 (R)	 ø3	 ø4
30 s		26 s	15 s	29 s
 ø5	 ø6 (R)		 ø7	 ø8
15 s	41 s		27 s	17 s

HCM Unsignalized Intersection Capacity Analysis

2: Burr Ridge Parkway & Bridewell Drive

















1/29/2016

						
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Volume (veh/h)	30	2	91	46	0	141
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86
Hourly flow rate (vph)	35	2	106	53	0	164
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage veh						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			37		301	36
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			37		301	36
tC, single (s)			4.1		6.4	6.2
tC, 2 stage (s)						
tF (s)			2.2		3.5	3.3
p0 queue free %			93		100	84
cM capacity (veh/h)			1586		648	1039
Direction, Lane #	EB 1	WB 1	NB 1	NB 2		
Volume Total	37	159	0	164		
Volume Left	0	106	0	0		
Volume Right	2	0	0	164		
cSH	1700	1586	1700	1039		
Volume to Capacity	0.02	0.07	0.00	0.16		
Queue Length 95th (ft)	0	5	0	14		
Control Delay (s)	0.0	5.1	0.0	9.1		
Lane LOS		A	A	A		
Approach Delay (s)	0.0	5.1	9.1			
Approach LOS			A			
Intersection Summary						
Average Delay			6.4			
Intersection Capacity Utilization			18.7%	ICU Level of Service	A	
Analysis Period (min)			15			

HCM Unsignalized Intersection Capacity Analysis

3: Wolf Road & 72nd Street



















1/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	153	4	16	2	2	6	16	254	3	20	410	145
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Hourly flow rate (vph)	163	4	17	2	2	6	17	270	3	21	436	154
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	869	863	513	881	939	272	590			273		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	869	863	513	881	939	272	590			273		
tC, single (s)	7.1	6.5	6.3	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.4	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	38	99	97	99	99	99	98			98		
cM capacity (veh/h)	264	285	549	252	257	772	995			1301		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	184	11	290	612								
Volume Left	163	2	17	21								
Volume Right	17	6	3	154								
cSH	277	426	995	1301								
Volume to Capacity	0.66	0.02	0.02	0.02								
Queue Length 95th (ft)	108	2	1	1								
Control Delay (s)	40.3	13.7	0.7	0.5								
Lane LOS	E	B	A	A								
Approach Delay (s)	40.3	13.7	0.7	0.5								
Approach LOS	E	B										
Intersection Summary												
Average Delay			7.3									
Intersection Capacity Utilization			59.6%	ICU Level of Service					B			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

4: Burr Ridge Parkway & Access Drive/Marriott Access Drive












1/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	17	0	58	16	0	2	1	151	7	0	98	2
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82
Hourly flow rate (vph)	21	0	71	20	0	2	1	184	9	0	120	2
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	218	316	61	321	313	96	122			193		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	218	316	61	321	313	96	122			193		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	97	100	93	97	100	100	100			100		
cM capacity (veh/h)	723	603	998	569	605	948	1478			1393		
Direction, Lane #	EB 1	EB 2	WB 1	NB 1	NB 2	SB 1	SB 2					
Volume Total	21	71	22	93	101	60	62					
Volume Left	21	0	20	1	0	0	0					
Volume Right	0	71	2	0	9	0	2					
cSH	723	998	596	1478	1700	1393	1700					
Volume to Capacity	0.03	0.07	0.04	0.00	0.06	0.00	0.04					
Queue Length 95th (ft)	2	6	3	0	0	0	0					
Control Delay (s)	10.1	8.9	11.3	0.1	0.0	0.0	0.0					
Lane LOS	B	A	B	A								
Approach Delay (s)	9.2		11.3	0.0		0.0						
Approach LOS	A		B									
Intersection Summary												
Average Delay			2.6									
Intersection Capacity Utilization			19.4%		ICU Level of Service					A		
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

5: Burr Ridge Parkway & Proposed Access Roadway

1/29/2016

						
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations			 			 
Volume (veh/h)	27	13	128	42	22	73
Sign Control	Stop		Free			Free
Grade	0%		0%			0%
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	28	14	135	44	23	77
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type			None			None
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	242	89			179	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	242	89			179	
tC, single (s)	6.8	6.9			4.1	
tC, 2 stage (s)						
tF (s)	3.5	3.3			2.2	
p0 queue free %	96	99			98	
cM capacity (veh/h)	719	957			1409	
Direction, Lane #	WB 1	NB 1	NB 2	SB 1	SB 2	
Volume Total	42	90	89	49	51	
Volume Left	28	0	0	23	0	
Volume Right	14	0	44	0	0	
cSH	782	1700	1700	1409	1700	
Volume to Capacity	0.05	0.05	0.05	0.02	0.03	
Queue Length 95th (ft)	4	0	0	1	0	
Control Delay (s)	9.9	0.0	0.0	3.7	0.0	
Lane LOS	A			A		
Approach Delay (s)	9.9	0.0		1.8		
Approach LOS	A					
Intersection Summary						
Average Delay			1.9			
Intersection Capacity Utilization			21.5%		ICU Level of Service	A
Analysis Period (min)			15			

Project Traffic Review

To: **Doug Pollock**
Village of Burr Ridge

From: Bill Grieve

Date: April 12, 2016

Subject: ***Enclave at Village Center
Burr Ridge Parkway @ Bridewell Drive – SE Corner***

GEWALT HAMILTON ASSOCIATES, INC. (GHA) has reviewed the KLOA Traffic Impact Study (TIS) dated January 29, 2016 for the proposed residential development. The TIS included a site plan prepared by David Weekley Homes dated November 22, 2015. I offer the following comments for your consideration.

KLOA Traffic Impact Study

1. We concur with the KLOA findings regarding existing conditions. We appreciate them providing the crash history, which indicates a low number of accidents in the immediate site area.
2. We generally concur with the traffic characteristics of the proposed development, including trip generations, trip distribution, traffic assignments, and results of the capacity analyses. Based on the road network connectivity, another 10% of site traffic may be destined to/from the south on Wolf Road.
3. Even if the trip distribution is adjusted for more trips oriented to/from Wolf Road, the traffic impacts on 72nd Street will be limited, with about 1 trip every 2-3 minutes added (total both directions) during the weekday morning and evening peak hours.
4. Based on the capacity analysis results at the Wolf Road / 72nd Street intersection, the eastbound approach will operate in the future at the unacceptable Level of Service (LOS) E. We concur with KLOA that traffic signal warrants would probably not be met, but the possibility of warranting an All-way Stop should be analyzed.
5. KLOA does not recommend a full width separate eastbound right turn lane on 72nd Street at Wolf Road be provided due to limited volumes. As an alternate, perhaps a larger radius should be considered in the southeast corner to allow those right turning and through vehicles to make their maneuver while eastbound left turning vehicles await gaps in both directions of Wolf Road traffic?
6. We concur with the KLOA traffic assessment at the site and hotel drives on Burr Ridge Parkway.

Weekly Site Plan

1. How will the gated entry and exit work? Will there be a key card for residents? Will there be an intercom system for visitors?
2. The Auto-courts appear to be less than 20 feet wide. AutoTurn should be run with various size passenger vehicles. AutoTurn should also be run for a fire truck and moving van.
3. The realigned access to the hotel from the north access drive is designed appropriately. And the approximate 300 feet of spacing to the Enclave gate should help eliminate any possible congestion "spilling out" onto Burr Ridge Parkway.
4. How will the crash gates in the northwest corner of the site operate; key controlled?
5. Where will visitors park? There doesn't seem to be room between driveways to park a car on-street anywhere in the development. Can a few perpendicular spaces be provided throughout the community between some of the homes for visitors?
6. Sidewalks on both sides of the private drives would be beneficial for pedestrian mobility.

* * * * *

This project traffic review conducted by:



William C. Grieve, P.E., PTOE
Senior Transportation Engineer
bgrieve@gha-engineers.com



Findings of Fact

For a Planned Unit Development Village of Burr Ridge Zoning Ordinance

Section XIII.L.7 of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission/Zoning Board of Appeals determine compliance with the following findings. In order for a Planned Unit Development to be approved, the petitioner must respond to and confirm each and every one of the following findings by indicating the facts supporting such findings.

- a. In what respects the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations

The proposed plan is consistent with the planned unit development regulations in that it provides for the appropriate transition of commercial property to the south (Mariott Hotel)/southwest (McGraw Hill) and mixed use commercial/residential property to the west (Village Center) with residential property to the east (R-3) and will not have any adverse impact on any existing or zoned development. It conserves over 6 acres of open green space and maintains the 3.8 acre the existing pond, and the development calls for construction of high end, unique housing, with compatible architecture between adjacent buildings. The development anticipates cluster type lot arrangements and single family dwellings with front, side and rear yards as shown. The residences are adopted for use by empty nesters and residents who wish to stay in (or move to) Burr Ridge but who do not want the responsibility of outdoor landscaping or maintenance. The proposed development is designed to promote a neighborhood feel, and to promote interchange among neighbors, with an abundance of sidewalks and walkway areas that would not be possible under the strict application of other sections of the Village's Zoning Ordinance.

- b. The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

The proposed development is consistent with the planned unit development regulations in that it allows for development that would not be possible under the strict application of other sections of the Village's Zoning Ordinance. It provides for the development and permanent preservation of open space, green space, the existing pond, and recreational areas on approximately six-plus acres of land. The homes will be of higher quality construction, result in a better residential design, and provide other amenities that meet the growing needs and demands of Burr Ridge's existing population. The proposed development complements the surrounding zoning districts and their existing uses and provides an appropriate transition to the residential district to the east. It enhances the Burr Ridge Village Center and County Line Square by bringing more residents and other visitors to the area and contributes to a downtown feel to the area.

- c. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, area, bulk, and use, required improvements, construction and design standards and the

reasons why such departures are or are not deemed to be in the public interest.

The proposed plan and its unique design depart from zoning and subdivision regulations by allowing for smaller lots (zero lot lines) and greater density and for greater building height than is generally permitted in a residential district, and for fencing in certain front yards. In particular, the Plan calls for: (i) front yard fences being permitted on the Courtyard homes; (ii) the entry boulevard being located on the existing Marriott Hotel parking lot, consistent with the existing PUD Agreement relating to the Marriott property; (iii) homes along the eastern boundary of the property facing inward rather than facing Commonwealth Drive; (iv) the reduction of the existing easement along the eastern boundary of the property being reduced from 50' to 30'; (v) the allowance of private roads utilizing access easements in lieu of public rights of way. Two private road sections are provided as shown on the Plat, one being 24' wide and having a 26' wide access easement and the other 28' wide having a variable width access easement being no less than 44' wide; (vi) installation of sidewalks (5' wide) only at those locations indicated on the Plat; (vii) minimum building separation of 10' for certain units and of 6' for other units, including corner yard setbacks of 4', subject to certain building projections into the side yards, and rear yard set-backs and separations, all as shown on the Site Plan; (viii) a shared driveway for units 22 and 23; (ix) driveways at least 18 feet deep, as shown on the Plat; (x) certain curb and gutters at M3.12 standards rather than B6.12 standards, as shown on the Plat; (xi) use of 24' wide auto courts to serve as private driveways, with two areas within the auto courts not having curbs and being 18' wide, as shown on the Plat; (xii) swale slopes of less than 2 percent at certain locations, as shown on the Plat; (xiii) use of concrete segmental walls rather than natural cut stone walls, some to be a maximum of 4' in height; (xiv) certain building heights possibly in excess of 30'; and (xv) front yard patio areas in certain locations, as shown on the Typical Foundation Landscape Plan. These departures, however, are less than the density and height restrictions that would be permitted as a matter of right in the existing O-2 PUD district. Commercial buildings on adjacent properties are in excess of five stories and provide greater density and bulk than the proposed residential use. Additionally, these design features establish the neighborhood and lifestyle feel for the development and will enhance the over-all community experience for residents of the development and/or other Village residents who visit the development or otherwise partake in the amenities the development will offer.

- d. The extent of public benefit produced, or not produced, by the planned unit development in terms of meeting the planning objectives and standards of the Village. Any specific beneficial actions, plans or programs agreed to in the planned unit development proposal which are clearly beyond the minimum requirements of this Ordinance shall be specifically listed as evidence of justified bulk premiums and/or use exceptions.

The development is planned as a lifestyle community. It will encourage walking and interchange among neighbors with the construction of sidewalks and pathways, and by placing outdoor amenities toward the front of the individual residences. It will promote pedestrian access to the Village Center and generally promote the downtown feel of the surrounding areas. It will provide an abundance of open space and park-like areas. The residences will be of high quality construction and will serve the needs of current (and future) residents who otherwise would be required to move out of the Village to find maintenance free home living. The residences will be comprised of single family patio homes designed for active adults who desire an elegant, comfortable and safe place to call home.

- e. The physical design of the proposed plan and the manner in which said design does or does not make adequate provision for public services, provide adequate control over vehicular traffic, open space and further the amenities of light and air, recreation and visual enjoyment.

The proposed development will not significantly impact vehicular traffic within its subdivision or in surrounding areas. Over five acres are being devoted to open space and recreational areas, and sidewalks and walkways are being installed and/or upgraded. The streets will be privately owned and maintained. The height and density of the residences are significantly less than would be permitted in one or more building structures construed in accordance with the requirements of the existing 0-2 PUD.

- f. The relationship and compatibility, beneficial or adverse, of the proposed plan to the adjacent properties and neighborhood.

The property is compatible with the mixed commercial/residential use to the west (Village Center), and provides a transition from the commercial property to the south/southwest (Marriott Hotel) to the R-3 single family residential property to the east.

- g. The desirability of the proposed plan to the Village's physical development, tax base and economic well-being.

As a proposed high-end residential community, the residents will add to the tax base and well being of the Village and their use of the various businesses in the Village, including in the Village Center, County Line Square and the Corporate Park will add to the viability of the downtown area. The effect of the development with respect to annual real estate taxes payable to the Village will be positive as compared to real estate taxes that are generated from a vacant site. Most likely the effect would be neutral in the (unlikely) event the property is ever developed as a commercial use.

- h. The conformity with the recommendations of the Official Comprehensive Plan as amended, and all other official plans and planning policies of the Village of Burr Ridge.

The Official Comprehensive Plan should be amended to reflect the use of the property as transitional PUD Residential as part of the Village's downtown commercial/residential district.

- i. Conformity with the standards set forth in Section XIII.L.7 of this Ordinance.

The project conforms with the standards set forth in Section XIII.L.7 as stated above.

(Please transcribe or attach additional pages as necessary.)



Findings of Fact For a Map Amendment (Rezoning) to the Village of Burr Ridge Zoning Ordinance

In order for a map amendment (rezoning) to be approved, the petitioner must respond to and confirm each and every one of the following findings by indicating the facts supporting such findings.

- a. Existing uses of property within the general area of the property in question.

The Property is contiguous to the Marriott Hotel parcel which lies to the south/southwest, across the street and to the east of the McGraw Hill office building and is adjacent to single family residential property to the east (Commonwealth Ave.) It is in close proximity to the Village Center (a mixed commercial/residential PUD to the west).

- b. The zoning classification(s) of property within the general area of the property in question.

The property is currently within an O-2 PUD District and is contiguous to the Marriott Hotel which is within the O-2 PUD District. The adjacent property to the south is also within the O-2 PUD, the residential property to the east is zoned R-3 and the Village Center is zoned B-2 PUD (commercial/residential mixed use).

- c. The suitability of the property in question to the uses permitted under the existing zoning classification.

The existing zoning classification for commercial use is obsolete. The property is in Cook County and is in close proximity to DuPage County. Real estate taxes for commercial property in Cook County are appreciably higher than for similar property in DuPage County. As a result, the property in question has remained vacant and unimproved for over 30 years while commercial development on the DuPage County side of Burr Ridge has flourished. The Cook County suburban office market is soft and it is unlikely that any office development will be proposed in the foreseeable future. Similarly, there is no current or foreseeable prospect for the development of the property as a condominium structure. The property serves as a good transitional use between existing commercial to the south/southwest, mixed business/residential to the west and to the R-3 residential district to the east.

- d. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification;

The Burr Ridge Village Center has developed as a mixed use business/residential development (B-2 PUD). The proposed development of the property will enhance the Village Center and the County Line Center by bringing more people and activity to the area, and will help spur development of a downtown Burr Ridge as a mixed use downtown area.

- e. The impact upon the objectives of the Official Comprehensive Plan of the Village of Burr Ridge, as amended.

The Village's Official Comprehensive Plan should be amended to allow change to the zoning district for the subject property to R-3 PUD or R-5 PUD or to a newly created Downtown Residential PUD. This will allow for the development of the property as a transitional residential use and as a complement to the Village Center as a mixed-use commercial/residential development. Further, as a transitional use, the property will also complement the R-3 residential district to the east and the Corporate Park to the south and west.

Carolyn Sanderson

From: Carolyn Sanderson
Sent: Tuesday, April 26, 2016 3:37 PM
To: publicnotice@mysuburbanlife.com
Cc: Douglas Pollock
Subject: LEGAL NOTICE FOR 4/29/16
Attachments: 2016-05-16 Legal Notice.docx

Hi Lori:

Good afternoon – sorry I’m late! Can you please run the attached Legal Notice in the Suburban Life for this Friday’s (April 29, 2016) Hinsdale/Burr Ridge edition? Please send confirmation upon receipt.

If you have any questions, please feel free to contact me. Thank you for your help and have a great day! ☺

Carolyn Sanderson

Community Development Assistant
Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527
csanderson@burr-ridge.gov
Tel: (630) 654-8181 - ext. 3030
Fax: (630) 654-8269

LEGAL NOTICE

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing at the following time on Monday, May 16, 2016, at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois 60527.

1. At 7:30 p.m. or as soon thereafter as the matter may be heard, the Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Christopher Bryant for variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard. The petition number and property address is ~~V-01-2016:~~ **638 Gregford Road** and the Permanent Real Estate Index Number is: **18-18-302-001**. *V-02-16*

2. At 7:30 p.m. or as soon thereafter as the matter may be heard, the Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Weekley Homes, LLC d.b.a. David Weekley Homes for rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District with a variation from or an amendment to Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 75 single-family homes with private streets and with floor areas ranging from approximately 2,100 square feet to 3,400 square feet. The petition number and property address is **Z-07-2016: 1400 Burr Ridge Parkway and 11650 Bridewell Drive** and the Permanent Real Estate Index Numbers are: **18-30-300-025** and **18-30-303-016**.

The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

GREG TRZUPEK
CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN GRUNSTEN, LUISA HOCH, ROBERT GRELA, GREGORY SCOTT, MARY PRAXMARER, AND JIM BROLINE.

SHAW MEDIA
PO BOX 250
CRYSTAL LAKE IL 60039-0250

ORDER CONFIRMATION (CONTINUED)

Salesperson: LORI PLESE

Printed at 04/27/16 17:05 by lples

Acct #: 10074572

Ad #: 1182471

Status: N

LEGAL NOTICE

NOTICE OF PUBLIC HEARING

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BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

GREG TRZUPEK
CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN GRUNSTEN, LUISA HOCH, ROBERT GRELA, GREGORY SCOTT, MARY PRAXMARER, AND JIM BROLINE.

April 29, 2016
Hinsdale Suburban Life 1182471

*Should be:
V-02-16*

SHAW MEDIA
PO BOX 250
CRYSTAL LAKE IL 60039-0250

ORDER CONFIRMATION

Salesperson: LORI PLESE

Printed at 04/27/16 17:05 by lples

Acct #: 10074572

Ad #: 1182471

Status: N

VILLAGE OF BURR RIDGE
7660 COUNTY LINE RD
BURR RIDGE IL 60527

Start: 04/29/2016 Stop: 04/29/2016
Times Ord: 1 Times Run: ***
LEG 3.00 X 40.00 Words: 382
Total LEG 120.00
Class: 8100 PUBLIC NOTICES
Rate: LEGAL Cost: 173.40
Affidavits: 1

Contact: CAROLYN SANDERSON
Phone: (630)654-8181ext
Fax#:
Email: csanderson@burr-ridge.gov
Agency:

Ad Descript: NOTICE HEARING 5/16
Given by:
Created: lples 04/27/16 16:58
Last Changed: lples 04/27/16 17:05

Source: _____
Camera Ready: N
Misc: _____
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Delivery Instr: _____
Changes: None ___ Copy ___ Art ___
Coupon: _____
Special Instr: _____

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Group: LEGALS AdType: _____
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Gang Ad #: _____
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COMMENTS:

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PUB	ZONE	ED	TP	START	INS	STOP	SMTWTFS
SLM	HSL		97 S	04/29			
WES	CL		99 S	04/29			
APNW	CL		97 S	04/29			

(CONTINUED ON NEXT PAGE)

Carolyn Sanderson

From: John Wernimont
Sent: Monday, May 2, 2016 4:04 PM
To: Carolyn Sanderson
Subject: RE: SIGNS FOR HEARINGS / V-02-2016 AND Z-07-2016

Hi Carolyn, we have just installed these 2-loc. Zoning signs that needed to be up today [1-Gregford dr. and then 2-BR.PKWY. and Bridewell] , and the 2- on harvester dr. and N. front as well, ok, take care, John

From: Carolyn Sanderson
Sent: Monday, May 2, 2016 2:03 PM
To: John Wernimont <JWERNIMONT@BURR-RIDGE.GOV>
Cc: Douglas Pollock <DPOLLOCK@BURR-RIDGE.GOV>
Subject: SIGNS FOR HEARINGS / V-02-2016 AND Z-07-2016

Hi John:

Please see attached and have public hearing signs installed today on the properties where indicated. Thank you! Please send confirmation once they are installed. Thank you.

Carolyn Sanderson
Community Development Assistant
Village of Burr Ridge
7660 County Line Road
Burr Ridge, IL 60527
csanderson@burr-ridge.gov
Tel: (630) 654-8181 - ext. 3030
Fax: (630) 654-8269

2-07-16



11650 Bridewell Drive/
1400 Burr Ridge Pkwy

2-07-16



(312) 729-1300 ext. 125 OFFICE
jmonahan@chicagoland-inc.com

801 Village Center Drive Condo Assn. (2015)

1000 Village Center Drive Condo Assn. (2015)

Contact: Cardinal Property Management, Inc.
Heather Kochanski
Portfolio Manager
17730 Oak Park Avenue, #A
Tinley Park, IL 60477
(708) 532-4444 OFFICE
(708) 528-4444 CELL
heather@cardinalpmi.net

2nd Contact: Cardinal Property Management, Inc.
Richard Jasek
Property Manager
17730 Oak Park Avenue, #A
Tinley Park, IL 60477
(708) 532-4444 OFFICE
(708) 476-9100 CELL
rjasek@cardinalpmi.net

850 Village Center Drive Condo Assn. (2015)

Contact: Rick Michalak, President
850 Village Center Drive, #414
(708) 997-8779
rmichalak76@gmail.com

Doug Pollock, AICP

Community Development Director
Village of Burr Ridge
(630) 654-8181, Ext. 3000

www.burr-ridge.gov

Follow Us at:



Douglas Pollock

From: Robert D. Goldstine <RDG@gsrnh.com>
Sent: Saturday, May 7, 2016 8:11 AM
To: Douglas Pollock
Subject: RE: Public Notice - May 16 Hearing for Weekley Homes

Doug,

Acknowledge Receipt. Thank you.

Robert.

From: Douglas Pollock [mailto:DPOLLOCK@BURR-RIDGE.GOV]
Sent: Monday, May 02, 2016 8:05 AM
To: Robert D. Goldstine; James E. Olguin
Subject: Public Notice - May 16 Hearing for Weekley Homes

Robert,

Attached is the public notice for the proposed rezoning of the property north and east of the Marriott Hotel. I am providing this notice to you in your capacity as the President of the Burr Ridge Corporate Park Property Owners Association. Please confirm receipt of this notice.

Doug Pollock, AICP
Community Development Director
Village of Burr Ridge
(630) 654-8181, Ext. 3000

www.burr-ridge.gov

Follow Us at:





VILLAGE OF
BURR RIDGE
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527
(630) 654-8181 • Fax (630) 654-8269 • www.burr-ridge.gov

Mickey Straub
Mayor

Karen J. Thomas
Village Clerk

Steven S. Stricker
Village Administrator

April 28, 2016

NOTICE OF PUBLIC HEARING

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

- Z-07-2016: 1400 Burr Ridge Parkway and 11650 Bridewell Drive;** the Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Weekley Homes, LLC d.b.a. David Weekley Homes for rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District with a variation from or an amendment to Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres; all of which is to accommodate the proposed development of 75 single-family homes with private streets and with floor areas ranging from approximately 2,100 square feet to 3,400 square feet. The petition number and property address is **Z-07-2016: 1400 Burr Ridge Parkway and 11650 Bridewell Drive** and the Permanent Real Estate Index Numbers are: **18-30-300-025 and 18-30-303-016.**

A public hearing to consider this petition is scheduled for:

Date: Monday, May 16, 2016
Time: 7:30 P.M. or as soon thereafter as the matter may be heard.
Location: Village of Burr Ridge
Board Room
7660 South County Line Road
Burr Ridge, IL 60527

Additional information is on file and available for public review at the Burr Ridge Village Hall or contact:

Doug Pollock, Community Development Director
(630) 654-8181 ext. 3000
dpollock@burr-ridge.gov

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

STAPLES

2016
Sent
4-28-16

18-19-300-031-0000
DIK DRUG CO
160 TOWER DR
BURR RIDGE, IL 60527

18-19-300-033-0000
DIK DRUG COMPANY
160 TOWER DR
BURR RIDGE, IL 60527

18-19-301-004-0000
NSB LAND LLC
10S660 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

18-19-301-005-0000
NSB LAND LLC
10S660 KINGERY HIGHWAY
WILLOWBROOK, IL 60527

18-19-402-001-0000
ROBERT LIONEL BIELBY
7725 WOLF RD
LA GRANGE, IL 60525

18-19-402-006-0000
TAXPAYER OF
7081 JOLIET ROAD
INDIAN HD PK, IL 0

18-30-100-005-0000
AVGERIS AND ASSOCIATES
2500 S HIGHLAND AV 103
LOMBARD, IL 60148

18-30-100-006-0000
AVGERIS AND ASSOCIATES
2500 S HIGHLAND AV 103
LOMBARD, IL 60148

18-30-100-008-0000
DOUG YOUNG
18267 CASEY RD
GRAYSLAKE, IL 60030

18-30-200-005-0000
JOHN E ANDERSON
7147 COMMONWEALTH AVE
BURR RIDGE, IL 60527

18-30-200-006-0000
CESAR VELARDE
1624 W 18TH ST
CHICAGO, IL 60608

18-30-200-007-0000
BELL ROBERT J
7209 COMMONWEALTH AVE
BURR RIDGE, IL 60527

18-30-200-008-0000
J YALLAPRAGADA
6120 S ELM ST
BURR RDG, IL 60527

18-30-200-009-0000
DONALD J HOGLUND
7245 COMMONWEALTH AVE
BURR RIDGE, IL 60527

18-30-200-010-0000
ROBERT D PROCK
7257 COMMON WEALTH AV
BURR RIDGE, IL 60527

18-30-200-018-0000
EXEMPT

18-30-200-019-0000
GEORGES YOUSSEF
7144 S FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-200-020-0000
THEODORE BULTHUIS
7154 FAIR ELMS
BURR RIDGE, IL 60527

18-30-200-021-0000
THOMAS MCDONAGH
7200 S FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-200-022-0000
CLARENCE PANKOW
7208 FAIR ELMS
BURR RDGE, IL 60527

18-30-200-023-0000
B J BURROW
7244 S FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-200-024-0000
WAYNE KIRSCH
7254 FAIR ELMS
BURR RIDGE, IL 60527

18-30-200-030-0000
JASNA KOSTICH
7217 COMMONWEALTH
BURR RIDGE, IL 60527

18-30-200-031-0000
MARVIN SASS
7225 COMMONWEALTH AVE
BURR RIDGE, IL 60527

18-30-200-032-0000
BRUCE BERGLUND
7235 COMMONWEALTH AV
BURR RIDGE, IL 60527

18-30-200-033-0000
ANDREW STRZEMP
7234 FAIR ELMS
BURR RIDGE, IL 60527

18-30-200-034-0000
WILLIAM MILICA HARVEL
7224 FAIR ELMS AVE
BURR RIDGE, IL 60527

18-30-200-035-0000
THOMAS BUSSE
7218 FAIRELMS AV
BURR RIDGE, IL 60527

18-30-202-002-0000
JEFF DILLON
7552 RIDGEWOOD LN
BURR RIDGE, IL 60527

18-30-202-003-0000
NICHOLAS WIBBENMEYER
7440 ARBOR AVE
BURR RIDGE, IL 60527

STAPLES

18-30-202-004-0000
ORVILLE F ST CLAIR
7450 ARBOR AV
LA GRANGE, IL 60527

18-30-204-005-0000
ROBERT RHOADES
7201 S FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-204-006-0000
JOHN GAIL OPILA
7207 S FAIR ELMS
BURR RIDGE, IL 60527

18-30-204-007-0000
DANIEL W MACKENZIE
7217 FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-204-008-0000
RICHARD GREEN
7227 FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-204-009-0000
J MALFEO
7235 FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-204-010-0000
FRANKLIN ANA BENITEZ
7245 FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-204-011-0000
MARK KORALLUS
7257 FAIR ELMS AV
BURR RIDGE, IL 60527

18-30-205-001-0000
P GOODRICH R KIVERTS
11510 W 73RD PL
BURR RDG, IL 60527

18-30-205-002-0000
ANGUS T JAMIESON
11504 W 73RD PL
BURR RIDGE, IL 60527

18-30-205-003-0000
RUMENA KAPLAREVIC
11500 73RD PLACE
BURR RIDGE, IL 60527

18-30-205-004-0000
BENJAMIN KING
11490 73RD PL
BURR RIDGE, IL 60527

18-30-205-005-0000
JOSEPH MARIA DYGDON
11464 73RD PL
BURR RIDGE, IL 60527

18-30-205-006-0000
FRED L ARTEMENKO
604 AMBRIANCE DR
IL 55343

18-30-208-001-0000
M C CREMINS
11511 W 73RD PL
BURR RIDGE, IL 60527

18-30-208-002-0000
JOSEPH L PETRUSHA
11503 W 73RD PL
BURR RIDGE, IL 60527

18-30-208-005-0000
JAMES BLANK
11465 W 73RD PL
BURR RIDGE, IL 60527

18-30-208-006-0000
WILLIAM DARANABY
11455 W 73RD PL
BURR RIDGE, IL 60527

18-30-208-015-0000
ALLEN J NIESYTO
7407 ARBOR AV
BURR RIDGE, IL 60527

18-30-208-016-0000
K J HANNA
1 ERIN LANE
BURR RIDGE, IL 60527

18-30-208-017-0000
ROGER A KOEHLER
7415 ARBOR
BURR RIDGE, IL 60527

18-30-208-018-0000
JOHN ARCE
7425 ARBOR AVE
BURR RIDGE, IL 60527

18-30-208-019-0000
ROBERT KAJMOWICZ TR
7431 ARBOR AVE
BURR RIDGE, IL 60527

18-30-208-020-0000
JAMES VARI
7435 ARBOR AVE
BURR RIDGE, IL 60527

18-30-208-021-0000
THOMAS WILLIAMS
7445 ARBOR AV
BURR RIDGE, IL 60527

18-30-208-022-0000
JOSEPH A ZALUD
11460 W 75TH ST
BURR RIDGE, IL 60527

18-30-208-023-0000
WILLIAM HANNAN
11450 75TH ST
BURR RIDGE, IL 60527

18-30-208-029-0000
LOUIS PLUCINSKI
11501 73RD PL
BURR RIDGE, IL 60527

18-30-208-030-0000
FRANK PODCZERWINSKI
11475 73RD PL
BURR RIDGE, IL 60527

18-30-300-024-0000
BURR RIDGE PARKWAY
1400 16TH ST STE 300
OAK BROOK, IL 60523

18-30-300-024-0000
BURR RIDGE PARKWAY
1400 16TH ST STE 300
OAK BROOK, IL 60523

18-30-300-025-0000
BURR RIDGE OFFIC 201
9500 E IRONWOOD SQ DR
SCOTTSDALE, AZ 85258

18-30-300-026-0000
TCF BANK FACILITIES MGT
801 MARQUETTE AVE
MINNEAPOLIS, MN 55402

18-30-300-038-0000
BURR DEED LLC
10350 BREN ROAD WEST
MINNETOKA, MN 55343

18-30-300-045-0000
BURR DEED LLC
10350 BREN ROAD WEST
MINNETONKA, MN 55343

18-30-300-050-0000
BURR DEED LLC
10350 BREN ROAD WEST
MINNETONKA, MN 55343

18-30-300-054-1001
PAUL WALK
36 OLD MILL LANE
BURR RIDGE, IL 60527

18-30-300-054-1002
R CANINO
850 VLG CTR DR 202
BURR RIDGE, IL 60527

18-30-300-054-1003
VINCENZO A MARINO
850 VILLAGE CTR DR 203
BURR RIDGE, IL 60527

18-30-300-054-1003
VINCENZO A MARINO
850 VILLAGE CTR DR 203
BURR RIDGE, IL 60527

18-30-300-054-1004
AMARTIT SINGH
51 ASHTON DRIVE
BURR RIDGE, IL 60527

18-30-300-054-1005
JERRY M SIMMONS 205
850 VILLAGE CTR DR
BURR RIDGE, IL 60527

18-30-300-054-1006
MICHAEL D YOST
850 VILLAGE CTR DR 206
BURR RIDGE, IL 60527

18-30-300-054-1007
EVALDAS GALENTAS
850 VILLAGE CTR DR 207
BURR RIDGE, IL 60527

18-30-300-054-1008
MICHALAK VICARI
850 VILLAGE CTR DR#208
BURR RIDGE, IL 60527

18-30-300-054-1009
INDIGO MANAGEMENT INC
7223 S ROUTE 83 PMB208
WILLOWBROOK, IL 60527

18-30-300-054-1010
J VONDRUSKA
60 TOMLIN CIR
BURR RIDGE, IL 60527

18-30-300-054-1011
R SILEIKIS
850 VLG CTR DR #211
BURR RIDGE, IL 60527

18-30-300-054-1012
CURRENT OCCUPANT
850 VILLAGE CENTER 212
BURR RIDGE, IL 60527

18-30-300-054-1013
E CARNEVALE
850 VLG CTR DR 213
BURR RIDGE, IL 60527

18-30-300-054-1014
JANET PLECKI
850 VILLAGE CENTER 214
BURR RIDGE, IL 60527

18-30-300-054-1015
OPUS NORTH CORPORATION
10350 BREN ROAD WEST
MINNETONKA, MN 55343

18-30-300-054-1016
JAY CHRIS
1000 VILLAGE CNTR #416
BURR RIDGE, IL 60527

18-30-300-054-1017
KIL NAM HEEJA KIM
5623 S GARFIELD AVE
HINSDALE, IL 60521

18-30-300-054-1018
C BOCCUMINI
850 VILLAGE CT DR 218
BURR RIDGE, IL 60527

18-30-300-054-1019
RUSSELL P SMITH
100 TOWER DR STE 111
BURR RIDGE, IL 60527

18-30-300-054-1020
M M TOM
620 DEVON DR
BURR RIDGE, IL 60527

18-30-300-054-1021
ALICE MARTIN
6115 TIMBER RIDGE CT
INDIAN HEAD, IL 60525

18-30-300-054-1022
ASHOK KOHARI A KOT
850 VILLAGE CT 301
BURR RIDGE, IL 0

18-30-300-054-1023
SHEELA SINGH
9487 FALLING WATER DR
BURR RIDGE, IL 60527

18-30-300-054-1024
SONIA DOMBKOWSKI
8521 JOHNSTON RD
BURR RIDGE, IL 60527

18-30-300-054-1025
DEVINDRA USHA SHARMA
6652 MANOR DR
BURR RIDGE, IL 60527

18-30-300-054-1026
V KALEINIKOVAS
850 VILLAGE CTR 306
BURR RIDGE, IL 0

18-30-300-054-1027
S U PATEL
PO BOX 267
WESTMONT, IL 60559

18-30-300-054-1028
P JEPSEN
850 VLG CTR DR 308
BURR RIDGE, IL 60527

18-30-300-054-1029
MR MRS KAMENKO JOVIC
7920 DEER VIEW CRT
BURR RIDGE, IL 60527

18-30-300-054-1030
J KUKSTA
850 VLG CTR DR 310
BURR RIDGE, IL 60527

18-30-300-054-1031
WESLEY TATE
850 VILLAGE CT DR #311
BURR RIDGE, IL 0

18-30-300-054-1032
CATHARINE DANCY108
1000 VILLAGE CTR DR
BURR RIDGE, IL 60527

18-30-300-054-1033
ANTHONY FORMATO
5236 VICTOR ST
DOWNERS GRV, IL 60515

18-30-300-054-1034
VIJAYA K SARMA INS
7707 HAMILTON AVE
BURR RIDGE, IL 60527

18-30-300-054-1035
DAVID J ATKENSON
14640 JOHN HUMPHREY DR
ORLAND PARK, IL 60462

18-30-300-054-1036
KEVIN C KOPP
450 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-054-1037
WINKLE LEE
850 VILLAGE CTR 317
BURR RIDGE, IL 0

18-30-300-054-1038
CHRISTINE E RANDIN
250 E PEARSON ST #3202
CHICAGO, IL 60611

18-30-300-054-1039
KATHLEEN JASZKA
850 VILLAGE CENTER 319
BURR RIDGE, IL 60527

18-30-300-054-1040
OPUS NORTH CORPORATION
10350 BREN ROAD WEST
MINNETONKA, MN 55343

18-30-300-054-1041
NICK SIMOV 321
850 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-054-1042
LALI SINGH
115 CIRCLE RIDGE DR
BURR RIDGE, IL 60527

18-30-300-054-1043
SUSAN F KOZLOWSKI
850 VILLGE CTR DR #402
BURR RIDGE, IL 60527

18-30-300-054-1044
JAMES G CHESNIAK
850 VILLAGE CTR DR 404
BURR RIDGE, IL 60527

18-30-300-054-1045
P A SEUS
850 VILLAGE CEN
BURR RIDGE, IL 60527

18-30-300-054-1046
ALLAN R THOM
850 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-054-1047
GEORGE S GIANAKAS
9320 W 122ND ST
PALOS PK, IL 60464

18-30-300-054-1048
JOHN YANNEY
131 RANCHO MIRAGE DR
KISSIMMEE, FL 34759

18-30-300-054-1049
C S PROSEK
8218 KATHRYN CT
BURR RIDGE, IL 60527

18-30-300-054-1050
SAMUEL BASILIOUS
529 LISK AVENUE
STATEN ISLAN, NY 10303

18-30-300-054-1051
GREGORY SCHULTZ
7900 S CASS AVE
DARIEN, IL 0

18-30-300-054-1051
GREGORY SCHULTZ
7900 S CASS AVE
DARIEN, IL 0

18-30-300-054-1052
B L DUJLOVICH
8200 LAKE RIDGE DRIVE
BURR RIDGE, IL 60527

18-30-300-054-1053
 RICHARD MICHALAK
 850 VILLAGE CTR DR#414
 BURR RIDGE, IL 60527

18-30-300-054-1054
 DIANE R VIVO UNIT 415
 850 VILLAGE CTR DR
 BURR RIDGE, IL 60527

18-30-300-054-1055
 PERM SHARMA
 505 ABRAIANCE
 BURR RIDGE, IL 0

18-30-300-054-1056
 850 BR LLC
 2500 S HIGHLAND #103
 LOMBARD, IL 60148

18-30-300-054-1057
 MARWAN KASI
 850 VILLAGE CTR DR 418
 BURR RIDGE, IL 60527

18-30-300-054-1058
 KUMUD C BARMAN
 9311 TANDRAGEE DR
 ORLAND PK, IL 60462

18-30-300-054-1059
 VIJAY SINGHAL
 405 AMBRIANCE DR
 BURR RIDGE, IL 60527

18-30-300-054-1060
 JAMES T OBRIEN
 6345 MARTIN DRIVE
 WILLOWBROOK, IL 60527

18-19-301-006-0000
 EXEMPT

18-30-200-004-0000
 EXEMPT

18-30-300-055-1001
 JOGAR LLC
 760 VILLAGE CENTER DR
 BURR RIDGE, IL 60527

18-30-300-055-1002
 JON SKULBORSTAD
 1000 VILLAGE CTR DR
 BURR RIDGE, IL 60527

18-30-300-055-1003
 RASHID ALI KAIZEN SYST
 760 VILLAGE CTR DR 220
 BURR RIDGE, IL 60527

18-30-300-055-1004
 PPC REAL ESTATE LLC
 760 VILLAGE CTR DR 240
 BURR RIDGE, IL 60527

18-30-300-055-1005
 JERATE LLC
 760 VLG CTR DR #200
 BURR RIDGE, IL 60527

18-30-200-016-0000
 EXEMPT

18-30-300-058-1001
 OPUS NORTH CORPORATION
 10350 BREN ROAD WEST
 MINNETONKA, IL 55343

18-30-300-058-1002
 MEG DAVIDSON
 1000 VILLAGE CENTER DR
 BURR RIDGE, IL 60527

18-30-300-058-1003
 RICHARD P SCARDINA
 1000 VILLAGE CTR 103
 BURR RIDGE, IL 0

18-30-300-058-1004
 ZELJKO ATLAGIC
 1000 VILLAGE CTR DR104
 BURR RIDGE, IL 60527

18-30-300-058-1005
 T S DHALI WAL 105
 1000 VILLAGE CTR DR
 BURR RIDGE, IL 60527

18-30-300-058-1006
 ANTHONY J REBELLO
 1000 VILLAGE CENTER106
 BURR RIDGE, IL 0

18-30-300-058-1007
 JERA LLC
 760 VILLAGE CNTR DR200
 BURR RIDGE, IL 60527

18-30-300-058-1008
 CATHARINE DANLY 108
 1000 VILLAGE CTR DR
 BURR RIDGE, IL 60527

18-30-300-058-1009
 ZUHAIB AHMAD
 1000 VILL CENTER DR109
 WILLOWBROOK, IL 60527

18-30-300-058-1010
 JON A SKULBORSTAD
 1000 VILLAGE CTR DR110
 BURR RIDGE, IL 60527

18-30-300-058-1011
 KERRY POSTILLION
 16W277 83RD ST STE A
 BURR RIDGE, IL 60527

18-30-300-058-1012
 DENNIS A QUINN
 1000 VILLAGE CENTER
 BURR RIDGE, IL 60527

18-30-300-058-1013
 OPUS NORTH CORPORATION
 10350 BREN ROAD WEST
 MINNETONKA, IL 55343

18-30-300-058-1014
 MARCIA N MILLER
 1000 VILLAGE CTR DR114
 BURR RIDGE, IL 60527

18-30-300-058-1015
RUTH A LONGMAN TR
1000 VILLAGE CENTER 11
BURR RIDGE, IL 60527

18-30-300-058-1016
YAN ZHAO
1000 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-058-1017
RUTHANN I MCCARTY TR
1000 VLG CENTER DR 201
BURR RIDGE, IL 60527

18-30-300-058-1018
ANTHONY J TUNNEY
1000 VILLAGE CTR DR202
BURR RIDGE, IL 60527

18-30-300-058-1019
ARLENE A SIMNEK
1000 VILLAGE CNTR 203
BURR RIDGE, IL 0

18-30-300-058-1020
JASON CHEN
1000 VILLAGE CTR DR204
BURR RIDGE, IL 60527

18-30-300-058-1021
CHESTER J CHESSLO
1000 VILLAGE CTR #205
BURR RIDGE, IL 60527

18-30-300-058-1022
MARIANNE C MANGAN
1000 VLG CTR DR 206
BURR RIDGE, IL 60527

18-30-300-058-1023
DOUGLAS NAOMI ZWEIG
1000 VILLAGE CTR DR207
BURR RIDGE, IL 60527

18-30-300-058-1024
ANNETTE W JONES
1000 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-058-1025
PAULA LESNIEWSKI
1000 VILLAGE CENTER209
BURR RIDGE, IL 0

18-30-300-058-1026
SURINDER SAHAJPAL
8200 OAK KNOLL DR
BURR RIDGE, IL 60527

18-30-300-058-1027
JOHN G OCONNOR 211
1000 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-058-1028
PAUL MARYBETH VONHUBEN
1000 VILLAGE CT DR 212
BURR RIDGE, IL 0

18-30-300-058-1029
MR MRS JAMES ALLERSON
1000 VILLAGE CTR DR
BURR RIDGE, IL 60527

18-30-300-058-1030
OPUS NORTH CORPORATION
10350 BREN ROAD WEST
MINNETONKA, IL 55343

18-30-300-058-1031
BARBARA SPITKOVSKY
1000 VILLAGE CTR DR215
BURR RIDGE, IL 60527

18-30-300-058-1032
GERALDINE H NARDI
1000 VILLGE CNTR DR216
BURR RIDGE, IL 60527

18-30-300-058-1033
KATHLEEN M BINKS
1000 VILLAGECENTER 301
BURR RIDGE, IL 60527

18-30-300-058-1034
CHRISTINA DANLY DENTON
1000 VILLAGE CRT DR302
BURR RIDGE, IL 0

18-30-300-058-1035
MARQUETTE B T 20209
305 W BRIARCLIFF RD101
BOLINGBROOK, IL 60440

18-30-300-058-1036
GARY DENISE LEHNERT
1000 VILLAGE CENTER304
BURR RIDGE, IL 0

18-30-300-058-1037
OPUS NORTH CORPORATION
10350 BREN ROAD WEST
MINNETONKA, IL 55343

18-30-300-058-1038
ESTATE OF GRACE LIGON
111 W MONROE ST 16WTRE
CHICAGO, IL 60603

18-30-300-058-1039
BRENDA P HELMS TRUST
1000 VILLAGE CTR 307
BURR RIDGE, IL 0

18-30-300-058-1040
LORRAINE PTAK
120 EDGEBROOK CT
INDIAN HD PK, IL 60525

18-30-300-058-1041
FRANK TABASHK
1000 VILLAGE CNT DR309
BURR RIDGE, IL 0

18-30-300-058-1042
MICHAEL S MATYSEK
1000 VILLAGE CTR DR310
BURR RIDGE, IL 60527

18-30-300-058-1043
OPUS NORTH CORPORATION
10350 BREN ROAD WEST
MINNETONKA, IL 55343

18-30-300-058-1044
PIERRE E WAKIM
107 OAK RIDGE DRIVE
BURR RIDGE, IL 60527

18-30-300-058-1045
JOSEPHINE KOUTSKY 313
1000 VILLAGE CTR DR
BURR RIDGE, IL 60527

18-30-300-058-1046
LELIE BOWMAN 314
1000 VILLAGE CTR DR
BURR RIDGE, IL 60527

18-30-300-058-1047
TIMOTHY ORMOND
1000 VILLAGE CTR #315
BURR RIDGE, IL 60527

18-30-300-058-1048
OPUS NORTH CORPORATION
10350 BREN ROAD WEST
MINNETONKA, IL 55343

18-30-300-058-1049
JAMES L COOGAN
1000 VILLAGE CENTER DR
BURR RIDGE, IL 60527

18-30-300-058-1050
ASLE KLEMMMA
1000 VILLAGE CENTER 403
BURR RIDGE, IL 60527

18-30-300-058-1051
SMITH U405
1000 VILLAGE CTR DR
BURR RIDGE, IL 60527

18-30-300-058-1052
SHELLEY RITCHIE T FICK
1000 VILLAGE CT DR 406
BURR RIDGE, IL 0

18-30-300-058-1053
CEOLA J WOELTJE
1000 VILLAGE CTR #407
BURR RIDGE, IL 60527

18-30-300-058-1054
NADA JENSEN
1000 VILLAGE CTR DR 40
BURR RIDGE, IL 60527

18-30-300-058-1055
WILLIAM RENKOSIK
1000 VILLAGE CENTER 409
BURR RIDGE, IL 0

18-30-300-058-1056
THOMAS G MOUROUKAS
1000 VILLAGE CTR 410
BURR RIDGE, IL 0

18-30-300-058-1057
LOUISE M JUCKINESS
1000 VILLAGE CTR DR 411
BURR RIDGE, IL 60527

18-30-300-058-1058
GERTRUDE WARD TR
1000 VILLAGE CTR DR 414
BURR RIDGE, IL 60527

18-30-300-058-1059
JAN CHRISTOPHER
1000 VILLAGE CTR 416
BURR RIDGE, IL 0

18-30-302-003-0000
TCF BANK FACILITIES MGT
801 MARQUETTE AVE
MINNEAPOLIS, MN 55402

18-30-200-017-0000
EXEMPT

18-30-302-004-0000
TCF BANK FACILITIES MGT
801 MARQUETTE AVE
MINNEAPOLIS, MN 55402

18-30-200-025-0000
EXEMPT

18-30-303-006-0000
ROBERT GOLDSTINE 835
835 MCCLINTOCK DR 2ND
BURR RDG, IL 0

18-30-303-011-0000
LOCAL 731 PS GP
1000 BURR RIDGE PKWY
BURR RIDGE, IL 60527

18-30-303-015-0000
AP AIM BURR RIDGE LLC
PO BOX 396
BOCA RATON, FL 33429

18-30-303-016-0000
BURR RIDGE HOTEL PART.
100 E. RVR CNTR #1100
COVINGTON, KY 41011

18-30-303-017-0000
LABORERS DIST CNCL PRO
999 MCCLINTOCK DR #300
BURR RIDGE, IL 60527

18-30-303-019-0000
IREAD LLC
901 MCCLINTOCK DR
BURR RIDGE, IL 60527

18-30-303-020-0000
IREAD LLC
901 MCCLINTOCK DRIVE
BURR RIDGE, IL 60527

18-30-407-020-0000
CIBULA
11554 RIDGEWOOD LANE
BURR RIDGE, IL 60527

18-30-407-021-0000
JANET M LANGER
11546 RIDGEWOOD LN
BURR RIDGE, IL 60527

18-30-407-022-0000
DONALD RAYMOND
11538 RIDGEWOOD LN
BURR RIDGE, IL 60527

18-30-407-023-0000
J S TURANO
11530 RIDGEWOOD LN
BURR RIDGE, IL 60527

Carolyn Sanderson

Done
4-28-16/15

From: Douglas Pollock
Sent: Wednesday, April 27, 2016 5:14 PM
To: Carolyn Sanderson
Subject: Public Notice Letters for Weekly Homes project

Please also send public notice letters to the following:

Ambriance! HOA *Suzette Sims*

Contact: ~~Lynn Bloomfield~~, Office Mgr.
Ambriance! Office
(630) 325-6631 Gate House

*1 Ambriance Drive
BR 60527*

2nd Contact: Paul Chronis, Board Member
404 Ambriance!
(773) 294-1559 CELL

*404 Ambriance Dr.
BR, IL 60527*

*Make Labels
V-01-16*

2-07-16

Chasemoor of Burr Ridge Condo Assn. (2015)

Contact: Paul Schneider, President
136 Northgate Place
(630) 789-9157
1stbase136@comcast.net

2nd Contact: Mary Lou Lowrey, Vice President
14 Southgate Court
(630) 321-9224

Emergency: Richard Alward
(630) 788-8230

Mgmt Co.: Groebe Management Co.
Jean Carey
Property Manager
7250 W. College Drive
Palos Heights, IL 60463
(708) 346-8841 OFFICE
(773) 677-3964 CELL
jcarey@groeveaction.com

VILLAGE CENTER CONDOS

450 Village Center Drive Condo Assn. (2015)

Contact: Jennifer Fox, President
450 Village Center Drive, Unit 217
(630) 568-5656
(708) 705-3151 CELL
jfox@foxvending.com

2nd Contact: Janet Monahan, CMCA, ARM
Chicagoland Management & Realty
111 E. Wacker Drive, Suite 1412
Chicago, IL 60601-4501



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Village of Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Doug Pollock, AICP

DATE: May 12, 2016

RE: Board Report for May 16, 2016 Plan Commission Meeting

At its May 9, 2016 meeting, the following actions were taken by the Board of Trustees relative to matters forwarded from the Plan Commission.

Z-02-2016 and S-02-2016: 100 Harvester Drive (Hampton/Falls); The Board of Trustees approved Ordinances for the approval of this request as recommended by the Plan Commission.

Z-04-2016: 7960 Madison Street (Burr Ridge Kettlebell); The Board of Trustees approved Ordinances for the approval of this request as recommended by the Plan Commission.

Z-05-2016: 10S371 Madison Street (Valincius); At the request of the petitioner, the Board of Trustees remanded this request to the Plan Commission. The petitioner wants to present a preliminary plat based on the R-3 District and further appeal for R-3 District zoning.

Z-06-2016: 510 Village Center Drive (Coopers Hawk); The Board of Trustees concurred with the Plan Commission and directed staff to prepare an Ordinance for the approval of this request as recommended by the Plan Commission.



VILLAGE OF BURR RIDGE

MEMORANDUM

TO: Burr Ridge Plan Commission
Greg Trzupek, Chairman

FROM: Doug Pollock, AICP, Community Development Director

DATE: May 12, 2016

RE: PC-03-2016: Comprehensive Plan Amendment - Downtown Burr Ridge Sub-Area

Concurrent with this consideration is a request for rezoning of 22.5 acres located in the northeast corner of the Burr Ridge Corporate Park (Z-07-2016). The rezoning request seeks to change the zoning of the property from the O-2 Office and Hotel District to the residential district. The Comprehensive Plan currently recommends that this property be developed for office and hotel uses. At any such time that there is a clear deviation from the Comprehensive Plan, it is appropriate to consider an amendment to the Plan.

Attached is the 2005 amendment to the Comprehensive Plan. The 2005 amendment states that:

The development of the areas within the Burr Ridge Park but outside the four-block Village Center should remain used or planned for office development. Additional small office buildings that are three stories in height, as permitted under the existing O-2 District zoning, are the preferred use for these properties.

The four block Village Center referenced in the plan is actually more than what is currently referred to as the Village Center. This four block area is now more commonly called "Downtown Burr Ridge" and includes the Harris Bank/Eddie Merlot block, County Line Square, the TCF property and the Village Center/LifeTime Fitness block. The areas within the Burr Ridge Corporate Park but outside of the designated downtown blocks includes the office buildings on McClintock Drive, the PACE parking lot, Chasemoor Townhomes, McGraw Hill office building, the Marriott Hotel and the 22.5 acre vacant land that is the subject of the pending rezoning and PUD request.

If some type of residential development is determined to be appropriate on the subject 22.5 acre property, an additional paragraph would be added to the 2005 amendment stating that the residential use of the subject 22.5 acre property is appropriate. If that is the case, the type of residential development could also be specified.

It would seem that the primary factor to be considered regarding this amendment would be to determine how any change in the land use plan for the subject property would contribute to the overall vision for Downtown Burr Ridge. This vision, as stated in the 2005 amendment is:

A mixed use district that serves as the primary place of economic and social interaction within the community; where people shop, live, socialize, and work, and which is easily identified as unique within the community. The wide array of land uses and activities in Downtown Burr Ridge contributes to the creation of a unique place characterized by diverse and high quality physical, social, and economic interactions.

In other words, does the change in the land use plan from office to residential contribute to this vision?

Other factors would be the suitability of a particular land use designation and the market demand for the preferred land use. Even if a particular land use designation contributes to the overall vision for the area, it may not be appropriate if it is not suitable for the particular land, has a negative impact on adjacent land or is not realistic in terms of market demands. There is clearly some question as to whether there is market demand for office use of the subject property given the long vacancy of the land. Finally, the Village should also consider factors such traffic and population changes and fiscal impacts on local taxing bodies including the Village, schools, fire district, and park district.

The purpose of this staff report is to begin the process of considering an amendment to the Village's Comprehensive Plan. The Plan Commission and the Village can use the public hearings and information provided regarding the proposed Lakeside Pointe PUD as a means of gathering information and public comment regarding the above described considerations. Upon conclusion of those public hearings, the Plan Commission should be prepared to make a recommendation to amend or not amend the Comprehensive Plan. Although approval of the proposed Lakeside Pointe PUD requires an amendment to the Comprehensive Plan, approval of the said amendment is not dependent upon the approval of the particular Lakeside Pointe PUD.



AMENDMENT TO THE VILLAGE OF BURR RIDGE COMPREHENSIVE PLAN

**RECOMMENDED BY THE BURR RIDGE PLAN COMMISSION ON
FEBRUARY 22, 2005 AND ADOPTED BY THE BURR RIDGE BOARD OF TRUSTEES ON**

APRIL 11, 2005

5.1 THE BURR RIDGE PARK SUBAREA

The Burr Ridge Corporate Park occupies one of the most prominent locations in Burr Ridge as evidenced by its location halfway between the north and south boundaries of the Village and at the primary entryway to the Village – the intersection of Interstate 55 and County Line Road. Its location makes it the most accessible location in the Village for residents, businesses, and visitors. Its location and development opportunities also make it the best location for the development of a Village Center or what may be more commonly described as “Downtown Burr Ridge.” Finally, its location is such that potential negative impacts on existing residential districts will be minimal or non-existent.

The Village Center is a unique district separate and distinct from the Village’s residential and business districts and which may be described as:

A mixed use district that serves as the primary place of economic and social interaction within the community; where people shop, live, socialize, and work, and which is easily identified as unique within the community. The wide array of land uses and activities in the Village Center contributes to the creation of a unique place characterized by diverse and high quality physical, social, and economic interactions.

In pursuit of this vision for the Village Center, this sub-area plan includes the following policies and policy goals for the Burr Ridge Park Sub-Area:

- Preferred land uses within the Burr Ridge Park are designated by the attached land use map entitled Figure 5: Land Use Plan – Burr Ridge Park Sub Area and as further described by the policies herein.
- The development of a Village Center should include and be limited to the four blocks designated in Figure 5 as the Village Center and listed on the attached Table 5.1. In regards to each of these four blocks, the following policy statements are provided:
 - LifeTime Fitness/Opus Block: A town center development including 20 of the block’s 30 acres is pending before the Village concurrent with this Comprehensive Plan Amendment. The proposed town center project will create the “Main Street” for the Village Center. Further sub-area planning will need to address how the LifeTime Fitness portion of the block may complement the physical character of the Village Center.
 - TCF Bank Block: It is recognized that the owner of this 9 acre property has the right under existing zoning to construct additional office space. It is anticipated that the creation of a Village Center will enhance the value of this property and create additional development opportunities for this property. This property may also be key to maintaining the viability of the Village Center over time as new retail formats seek to locate in the Village Center. The continued sub-area planning recommended herein should further address appropriate land uses and the physical character of this block.
 - County Line Square/Pace Block: The 1999 Burr Ridge Comprehensive Plan recommended the conversion of County Line Square into a pedestrian oriented town center. This amendment endorses that concept and suggests that such re-development would be complementary to the proposed Village Center.
 - Harris Bank Block: This block consists of only two buildings and it is unlikely to see any dramatic changes in land use or physical character. The importance of the block relative to the

Figure 5: Land Use Plan – Burr Ridge Park Subarea

Village Center lies in its location at the gateway to the Village Center. The continued sub-area planning should focus on the physical characteristics of this block relative to its gateway features and the need for physical connections to the remainder of the Village Center.

- The Village Center should be a retail environment with shops, restaurants, entertainment, and businesses that provide commercial services for Burr Ridge residents, businesses, and visitors but may also include a variety of uses including offices, multiple-family residences in mixed use buildings or in mixed use environments, and if possible, civic or governmental uses.
- Residential uses are to be in mixed use environments and complementary to the commercial environment of the Village Center rather than representing the primary land use character of the Village Center.
- Architecture, streets, landscaping, building configuration, and the general physical environment of the Village Center should primarily be oriented toward the comfort and safety of pedestrians while ensuring ease of circulation and parking for motorists.
- Multi-story buildings are preferred within the Village Center for their contributions to the creation of enclosed spaces and for opportunities for a mixture of activities.
- While the primary means of access to the Village Center should remain from County Line Road, an improved means of vehicular access to the Village Center should be provided from Wolf Road in a manner that reduces the impact on the adjacent residential areas.
- Development within the Village Center at the south end of the TCF Block and the east end of the County Line Square/Pace Block should be designed to minimize negative impacts and to complement the adjacent Chasemoor townhomes.
- The development of the areas within the Burr Ridge Park but outside the four-block Village Center should remain used or planned for office development. Additional small office buildings that are three stories in height, as permitted under the existing O-2 District zoning, are the preferred use for these properties.
- Pedestrian connections within the Village Center and between the Village Center and surrounding areas should be strengthened and further enhanced.

This amendment to the Village of Burr Ridge Comprehensive Plan is intended to establish general goals and policies for the creation of a Village Center. Upon adoption of this amendment, a detailed sub-area plan should be developed by the Village that further considers means for implementation of these goals and policies and provides greater detail about the preferred mix of land uses, the enhancement of a pedestrian environment, and land use and appropriate development policies for the adjacent areas within and adjacent to the Burr Ridge Park.

Figure 5: Land Use Plan – Burr Ridge Park Subarea

Table 5.1 List of Blocks and Properties in the Village Center

Address of Property	Owner; Occupant; or Name	Site Area	Zoning	PIN No.	Description
Burr Ridge Village Center: LifeTime/Opus Block					
501-1201 Burr Ridge Parkway	Opus North on behalf of Avgeris and Associates	21 Acres	O-2 Office and Hotel	18-30-300-028	Vacant Land – Town Center Proposed
601 Burr Ridge Parkway	LifeTime Fitness	10 Acres	O-2 Office and Hotel	18-30-300-029	108,000 square foot Private Health and Fitness Club
Burr Ridge Village Center: TCF Block					
700 McClintock Drive	TCF Bank	5 Acres	L-1; Light Industrial	12-30-302-001 12-30-302-002	6-story 75,000 sq. ft. office building
800 McClintock Drive	TCF Bank	4 Acres	L-1; Light Industrial	18-30-302-004 18-30-302-026	Vacant
Burr Ridge Village Center: County Line Square Block					
20-324 Burr Ridge Parkway	County Line Square Shopping Center	7.2 Acres	B-1 Retail Business	12-30-305-003 12-30-301-001	100,931 square foot strip retail center
50 Burr Ridge Parkway	County Line Square Outlot	0.5 Acres	B-1 Retail Business	12-30-305-003	3,100 square foot office building
350 Burr Ridge Parkway	County Line Square Outlot	2.5 Acres	B-1 Retail Business	18-30-305-004	Vacant
7650 Lincolnshire Dr.	Pace Park and Ride	4.4 Acres	B-1 Retail Business	12-30-301-002	165 space Park and Ride Lot
Burr Ridge Village Center: Harris Bank Block					
101 Burr Ridge Parkway	Harris Bank and Offices	1.8 Acres	B-2 General Business	12-30-304-004	3-story; 26,000 square feet – retail bank and offices
201 Bridewell Drive	Max'n Erma's	1.8 Acres	B-2 General Business	12-30-304-003	7,312 square foot restaurant

Figure 5: Land Use Plan – Burr Ridge Park Subarea

LAND USE PLAN

Burr Ridge Park Subarea – Burr Ridge, Illinois



LEGEND

- Mixed Use (Retail, Office and Residential)
- Office/Hotel
- Open Space/Detention
- Complementary Area
- Transitional Area
- Pathways
- Village Center



THOMPSON DYKE & ASSOCIATES, LTD.

Land Planning
Landscape Architecture
Urban Planning
211 W. Madison Plaza, Suite 700
Chicago, Illinois
60601-2700
Telephone: (312) 666-6300
E-Mail: info@tda.com
Fax: (312) 666-6301

FEBRUARY 2005



Findings of Fact For a Map Amendment (Rezoning) to the Village of Burr Ridge Zoning Ordinance

**Z-05-2016:
10S371
Madison Street**

The following findings are adopted by the Plan Commission in support of its recommendation to rezone the referenced property to the R-2B District.

- a. Existing uses of property within the general area of the property in question.

The property is adjacent to residential properties on larger lots all exceeding 30,000 square feet.

- b. The zoning classification(s) of property within the general area of the property in question.

There is a mix of R-3 and R-2B District properties in the broader area. The property immediately north is not yet in the Village but is anticipated to be in the R-2B District.

- c. The suitability of the property in question to the uses permitted under the existing zoning classification.

The property is not unique in any way and is suitable in general for residential use.

- d. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification; and

More recent annexation and zoning in the area trends toward the R-2B District.

- e. The impact upon the objectives of the Official Comprehensive Plan of the Village of Burr Ridge, as amended.

The Comprehensive Plan recommends that new annexation and development be on lots of 30,000 square feet or more, thus, supporting the R-2B District.