

REGULAR MEETING VILLAGE OF BURR RIDGE PLAN COMMISSION

March 21, 2016 7:30 P.M.

I. ROLL CALL

Greg Trzupek, Chairman Mike Stratis

Dehn Grunsten Robert Grela Luisa Hoch Greg Scott Mary Praxmarer Jim Broline, Alternate

II. APPROVAL OF PRIOR MEETING MINUTES

A. February 15, 2016 Plan Commission Regular Meeting

III. PUBLIC HEARINGS

A. V-01-2016: 16W380 93rd Place (Dlugopolski); Variations and Findings of Fact; continued from February 15, 2016

Requests variations from Sections VI.F.3.a of the Burr Ridge Zoning Ordinance to permit the resubdivision of three parcels into two lots fronting on 93rd Place with the proposed lots being 13,813 square feet in area and 92 feet in width rather than the required 20,000 square feet in area and 100 feet in width.

B. Z-02-2016: 100 Harvester Drive (Hampton/Falls); Text Amendment, Planned Unit Development Amendment, and Findings of Fact

Requests an amendment to Section IX.D.2 of the Burr Ridge Zoning Ordinance to add "Event Center" or some such similar classification to the list of special uses in the O-2 Office and Hotel District and for special use approval as per Sections IX.D.2.g of the Burr Ridge Zoning Ordinance for an amendment to the Estancia Planned Unit Development, Ordinance No. A-834-08-04 to permit development of a four-story hotel and a one story event center building rather than the previously approved four story office building with a parking deck.

IV. CORRESPONDENCE

- A. Board Report February 22, 2016 and March 14, 2016
- **B.** Building Report January and February, 2016

V. OTHER CONSIDERATIONS

- A. Preliminary Plat of Subdivision Dlugopolski 16W380 93rd Place; continued from February 15, 2016
- B. S-01-2016: 15W300 South Frontage Road (Crown Plaza Hotel); Sign Variation
- C. S-02-2016: 100 Harvester Drive (Hampton/Falls); PUD Sign Approval
- D. PC-02-2016; Administrative Appeal Health and Wellness Clinic and Indoor Private Athletic Training Facility
- E. PC-01-2016: Annual Zoning Review; continued from February 15, 2016

VI. FUTURE SCHEDULED MEETINGS

- **A.** April 4, 2016: The filing deadline for this meeting was March 14, 2016
- **B.** April 18, 2016: The filing deadline for this meeting is March 28, 2016.

VII. ADJOURNMENT

PLEASE NOTE: All Plan Commission recommendations are advisory and are submitted to the Mayor and Board of Trustees for review and final action. Any item being voted on at this Plan Commission meeting will be forwarded to the Mayor and Board of Trustees for consideration at their March 28, 2016 Regular Meeting beginning at 7:00 P.M. Commissioner Praxmarer is the scheduled Plan Commission representative for the March 28, 2016 Board meeting.

PLAN COMMISSION/ZONING BOARD OF APPEALS

VILLAGE OF BURR RIDGE

MINUTES FOR REGULAR MEETING OF

FEBRUARY 15, 2016

I. ROLL CALL

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Vice Chair Hoch.

ROLL CALL was noted as follows:

PRESENT: 4 – Hoch, Praxmarer, Broline, and Scott

ABSENT: 4 – Stratis, Grunsten, Grela, and Trzupek

Also present was Community Development Director Doug Pollock. In the audience was Trustee Tony Schiappa.

Mr. Pollock announced that due to the absence of Chairman Trzupek, Vice Chair Luisa Hoch would chair the meeting.

II. APPROVAL OF PRIOR MEETING MINUTES

A **MOTION** was made by Commissioner Praxmarer and **SECONDED** by Commissioner Scott to approve the minutes of the December 7, 2015 Plan Commission meeting.

ROLL CALL VOTE was as follows:

AYES: 3 – Praxmarer, Scott, and Hoch

NAYS: 0 - None**ABSTAIN**: 1 - Broline

MOTION CARRIED by a vote of 3-0.

III. PUBLIC HEARINGS

Mr. Pollock asked if there was anyone in attendance in regards to the V-01-2016 which is a variation request for the property at 16W380 93rd Place. There was no one in attendance for this hearing. Mr. Pollock stated that due to a lack of a quorum for the Zoning Board of Appeals, the hearing for V-01-2016 will be continued to March 21, 2016.

Vice Chair Hoch confirmed all those wishing to speak during the public hearing on the agenda for tonight's meeting.

A. Z-01-2016: 16W331 South Frontage Road (Molis); Special Use and Findings of Fact.

As directed by Vice Chair Hoch, Mr. Pollock described this request as follows: The subject property is a vacant lot located at the periphery of the Hinsdale Industrial Park. The petitioner is a dentist seeking a location for his dental practice. The petitioner plans to construct a building for his dental office with space for other general office users to be determined. A dental office is a special use in the GI District and the petitioner needs to

02/15/2016 Regular Meeting Plan Commission/Zoning Board Minutes Page 2 of 3

determine if the special use will be approved before purchasing the property or preparing final plans for construction.

Vice Chair Hoch asked the petitioner if he had anything to add. Dr. Ryan Molis clarified that the planned building is a two-story building with 10,000 square feet, rather than a one-story building with 5,000 square feet as stated by Mr. Pollock.

Vice Chair Hoch asked for questions and comments from the public. Mr. Mark Tomas asked about the location of the property. Mr. Pollock referenced a map on the video screen showing the location.

There being no additional comments from the public, Vice Chair Hoch asked for comments and questions from the Plan Commission.

Commissioner Scott asked for further clarification on the size of the building. It was explained that the site plan shows a 5,000 square foot footprint, but that the building is planned for two stories so it would be 10,000 square feet.

Commissioner Praxmarer asked how many patients and doctors would be at this location. Dr. Molis said he would be the only dentist and that he sees about four patients per hour.

Vice Chair Hoch asked if this was a new practice or an expansion of an existing practice. Dr. Molis said he was expanding his existing practice.

Commissioner Broline said that there are other offices in the area and that the use of this property for a dental office is appropriate.

Vice Chair Hoch said she agrees with Commissioner Broline.

There being no further questions, Vice Chair Hoch asked for a motion to close the hearing.

At 7:45 p.m. a **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Praxmarer to close the hearing for Z-01-2016.

ROLL CALL VOTE was as follows:

AYES: 4 – Broline, Praxmarer, Scott, and Hoch

NAYS: 0 - None

MOTION CARRIED by a vote of 4-0.

A **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Praxmarer to adopt the petitioner's findings of fact and to recommend that the Board of Trustees grant special use approval as per Section X.F.2.j of the Burr Ridge Zoning Ordinance to permit a dental office on the property at 16W331 South Frontage Road.

ROLL CALL VOTE was as follows:

AYES: 4 – Scott, Praxmarer, Broline, and Hoch

NAYS: 0 - None

MOTION CARRIED by a vote of 4-0.

IV. CORRESPONDENCE

There was no discussion regarding the Building Report or the Board Report. Mr. Pollock provided a brief explanation of the subdivision report and the subdivision process.

02/15/2016 Regular Meeting Plan Commission/Zoning Board Minutes Page 3 of 3

V. OTHER CONSIDERATIONS

A. Preliminary Plat of Subdivision – Dlugopolski – 16W380 93rd Place

Mr. Pollock stated that this consideration is connected the zoning variation that was continued to March 21, 2016 and also should be continued.

A **MOTION** was made by Commissioner Praxmarer and **SECONDED** by Commissioner Scott to continue this consideration to March 21, 2016.

ROLL CALL VOTE was as follows:

AYES: 4 – Praxmarer, Scott, Broline, and Hoch

NAYS: 0 - None

MOTION CARRIED by a vote of 4-0.

B. PC-01-2016: Annual Zoning Review

Mr. Pollock suggested that the annual zoning review be tabled to the next meeting when more Commissioners were present.

A **MOTION** was made by Commissioner Praxmarer and **SECONDED** by Commissioner Scott to continue this consideration to March 21, 2016.

ROLL CALL VOTE was as follows:

AYES: 4 – Praxmarer, Scott, Broline, and Hoch

NAYS: 0 - None

MOTION CARRIED by a vote of 4-0.

VI. FUTURE SCHEDULED MEETINGS

Mr. Pollock said the filing deadline for the March 7, 2016 meeting has passed and there are no hearings scheduled.

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Scott to cancel the March 7, 2016 meeting.

ROLL CALL VOTE was as follows:

AYES: 4 – Broline, Scott, Praxmarer, and Hoch

NAYS: 0 - None

MOTION CARRIED by a vote of 4-0.

VII. ADJOURNMENT

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Scott to **ADJOURN** the meeting at 7:56 p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 7:56 p.m.

Respectfully		March 21, 2016
Submitted:		
	J. Douglas Pollock, AICP	



VILLAGE OF BURR RIDGE COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT AND SUMMARY

V-01-2016; 16W380 93rd Place (Dlugopolski); Requests variations from Section VI.F.3.a of the Burr Ridge Zoning Ordinance to permit the resubdivision of three parcels into two lots fronting on 93rd Place with the proposed lots being 13,813 square feet in area and 92 feet in width rather than the required 20,000 square feet in area and 100 feet in width.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals

Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP

Community Development Director

Date of Hearing: March 21, 2016; continued from February 15, 2016

GENERAL INFORMATION

Petitioner: Jozef Dlugopolski

Property Owner: Jozef Dlugopolski

Petitioner's Status:

Property Owner

Land Use Plan: Recommends Single-Family

Residential Uses

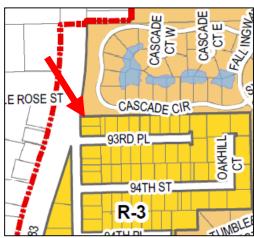
Existing Zoning: R-3 Single Family Residence

District

Existing Land Use: Vacant

Site Area: 276,627 square feet

Subdivision: Oak Hill Estates





Staff Report and Summary V-01-2016: 16W380 93rd Place (Dlugopolski) Page 2 of 2

SUMMARY

The petitioner owns a property at the northeast corner of 93rd Place and Route 83. The property consists of two platted lots and a portion of a third platted lot. The two platted lots front on Route 83. The petitioner seeks to resubdivide the lots so that there are two lots of record both fronting on 93rd Place.

The existing lots even with the added portion of the third lot, do not meet the minimum lot area or lot width requirements. The resubdivision also does not meet the minimum lot area or lot width requirement. The minimum required lot area is 20,000 square feet per lot and the minimum required lot width is 100 feet. The proposed lots are 13,813 square feet in area and 92 feet in width.

COMPATIBILITY WITH SURROUNDING AREA

The subject property is part of the Oak Hill Estates Subdivision which was annexed to the Village in 1995 by a petition for annexation signed by a majority of residents in the subdivision. The subdivision was platted under the authority of Du Page County prior to annexation. The lots in the subdivision vary in size but most of the lots are 11,250 square feet in area and 75 feet in width. Attached is a copy of the plat page for this area.

ZONING HISTORY

The Village approved these same variations and same resubdivision plan in 2002 (A-834-07-02). However, the petitioner never proceeded with a final plat and, therefore, the variation expired. A copy of the 2002 variation Ordinance is attached. Please note the findings in Section 2 of the Ordinance.

FINDINGS OF FACT AND RECOMMENDATIONS

The petitioner has provided findings of fact which may be adopted if the Plan Commission is in agreement with those findings. If the Plan Commission recommends approval of this petition, the variation should be made subject to the final plat of subdivision being submitted within one year.

ORDINANCE NO. A-834-7-02

AN ORDINANCE GRANTING A VARIATION OF THE VILLAGE OF BURR RIDGE ZONING ORDINANCE (V-04-2002: Dlugopolski - 105639 Jackson Street)

WHEREAS, an application for a variation of the Village of Burr Ridge Zoning Ordinance for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Zoning Board of Appeals of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

WHEREAS, said Zoning Board of Appeals of this Village held a public hearing on the question of granting said zoning variation on May 6, 2002, at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in the <u>Suburban Life</u>, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

WHEREAS, the Village of Burr Ridge Zoning Board of Appeals has made its report on the request for a zoning variation, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly considered said report, findings, and recommendations.

NOW THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of the zoning variation indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

<u>Section 2</u>: That this President and Board of Trustees, after considering the report, findings, and recommendations of the Zoning Board of Appeals and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the variation for the property located at 10S639 Jackson Street, Burr Ridge, Illinois, is Mr. Josef Dlugopolski (hereinafter "Petitioner"). The Petitioner requests a variation from Section VI.F.2 (a) of the Burr Ridge Zoning Ordinance to allow lot width variations and lot size variations for the resubdivision of two lots on 93rd Place. The lots would both be 92 feet in width and 13,814 square feet in area, rather than the 100 feet of lot width and 20,000 square feet of lot area required by Section VI.F.2 (a) of the Burr Ridge Zoning Ordinance.
- B. That the plight of the owner is due to unique circumstances because of the lot configuration and the topography of the properties;
- C. That the variation will not alter the essential character of the locality because the homes would be oriented so that they would essentially line up with the other homes along 93rd Place; and
- D. That a hardship will result if the variation is not granted because the utility of the properties and the orientation of the homes would be compromised.

Section 3: That a variation from Section VI.F.2 (a) is hereby granted for the property commonly known as 10S639 Jackson Street to allow lot width variations and lot size variations to allow resubdivision of two lots with both lots being 92 feet wide and 13,814 square feet in area, rather than 100 feet of lot width and 20,00 square feet of lot area required by Section VI.F.2 (a) of the Burr Ridge Zoning Ordinance. The property is legally described as follows:

Lot 4 (Except the East 41.0 feet thereof), Lot 5 and Lot 6 in Oakhill Estates Resubdivision, a Resubdivision of Lot 70 in County Clerk's Assessment Division of the South Half of Sections 1 and 2 and all of Sections 11 and 12, in Township 37 North, lying North of the Sanitary District, Range 11, East of the Third Principal Meridian, in DuPage County, Illinois.

The PIN Numbers for the properties are: 10-02-401-003, 10-02-401-002, and 10-02-401-016

<u>Section 4</u>: That the approval of this variation is subject to compliance with the following terms and conditions:

- A. As per Section XIII.H.5 of the Burr Ridge Zoning Ordinance, this variation shall become null and void unless a plat of resubdivision is recorded within 12 months of the date this Ordinance is adopted.
- B. The subdivision of the lots shall comply with the submitted Site Plan (Exhibit A) and with the petitioner's statement that no variations will be requested or are necessary to construct single-family residences on the subject property.

<u>Section 5</u>: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

PASSED this 28th day of May, 2002, by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

AYES:

5 - Trustees Derma, Rohner, Pallat, Cizek,

and Sodikoff

NAYS:

0 - None

ABSENT:

1 - Trustee Paveza

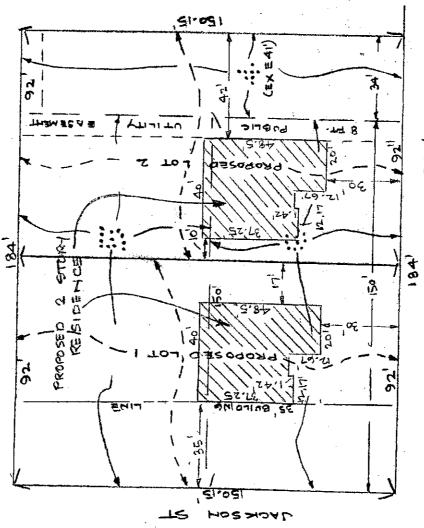
 $\mbox{\bf APPROVED}$ by the President of the Village of Burr Ridge on this 28^{th} day of May, 2002.

Village President

ATTEST:

Village Clerk

LOT 4 (EXCEPT THE EAST 41.0 FEET THEREOF), LOT 5 AND LOT 6 IN OAKHILL ESTATES RESUBBIVISION, A RESUBBIVISION OF LOT 70 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THE SOUTH HALF OF SECTION 1 AND 2 AND ALL OF SECTIONS 11 AND 12, IN TOWNSHIP 37 NORTH, LYING NORTH OF THE SANITARY DISTRICT, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



93M PLACE

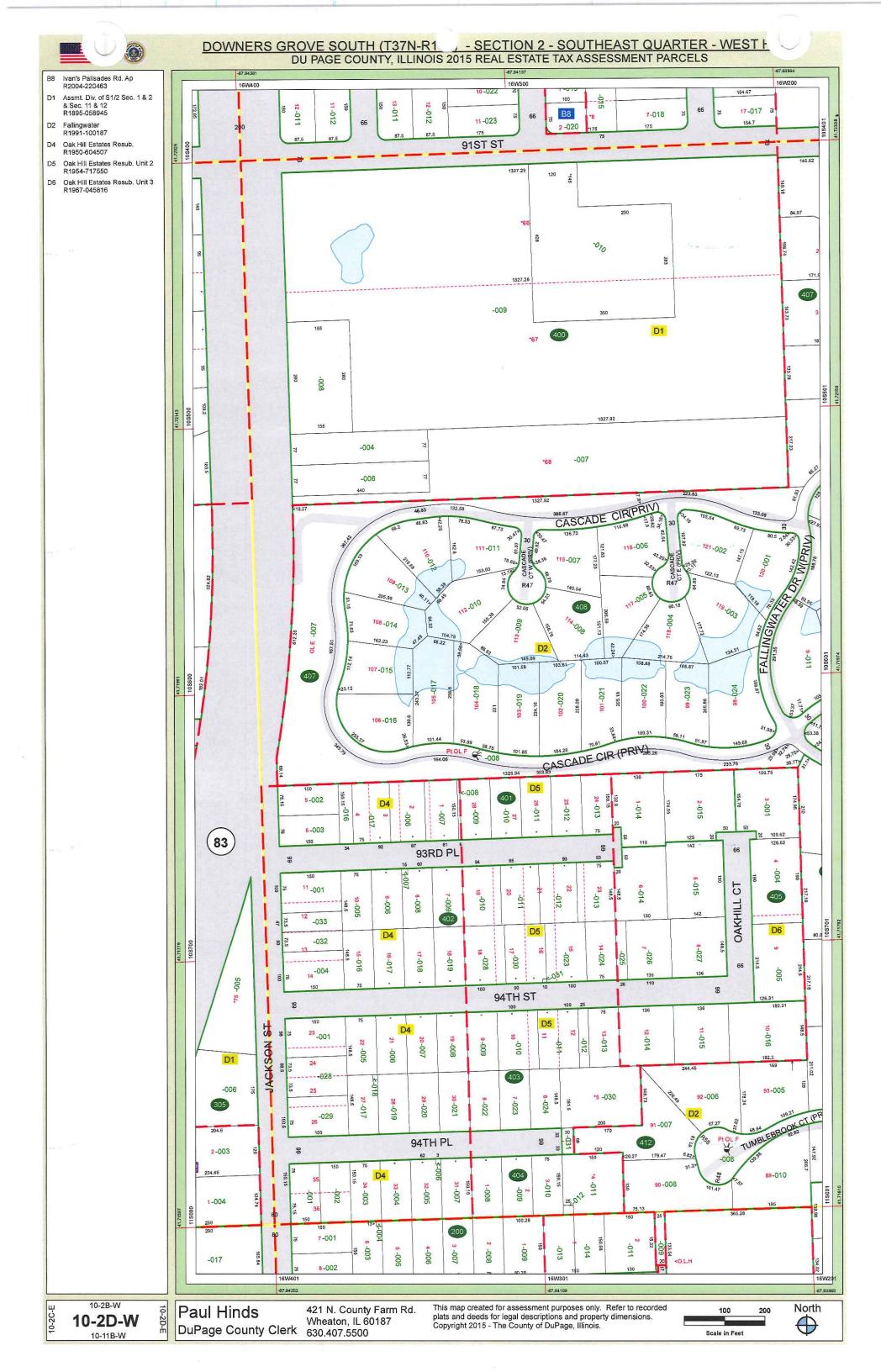
108 430 5323

BUILDER/OEVELOPER JOSEPH OLUGA POLSKI J.D. BUILDERS

PROPOSED 2 LOT RESUBDIVISION 16W - 380/381 934 PLACE

JACK M. SCHICK ENGINEERING 4606 W. 103rd STREET 0AK LAWN, 11, 60453 (708) 425-1700 3-17-02 ORDER NO. 02019-PA

EXHIBIT A



PLAT OF SURVEY

Of
LOT 4 (EXCEPT THE EAST 41.0 FEET THEREOF) LOTS 5 AND 6 IN OAK HILL ESTATES RESUBDIVISION, A RESUBDIVISION OF LOT 70 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THE SOUTH HALF
OF SECTIONS 1 AND 2 AND ALL OF SECTIONS 11 AND 12, LYING NORTH OF THE SANITARY DISTRICT, IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUGAGE



ADDRESS: 16W 380 W. 93RD PLACE, BURR RIDGE, ILLINOIS TRON PRINCE-CENTER OF WOOD FENCE 1.4 E. & 0.7 N. 184.00 CENTER OF WOOD PENCS 8.3 E. & ON LINE SCALE: 1"=30' (150.00) __FOUND IRON PIPE 1.34 E. & 0.49 S. FOUND IRON PIPE-5 STREET 50.1 JACKSON CENTER OF WOOD FENCE 9.4 N. & 5.8 E. (34,00) 184.00 GENERAL NOTES: EDGE OF PAVEMENT 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR TREIR AGENT. THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNELS SUPPLIED BY THE CLIENT. BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES. W. 93RD PLACE STATE OF ILLINOIS)
S.S. 4) MONUMENTS, IF SET, DURING TRIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED. COUNTY OF COOK) 5) LOCATION OF SOME PEATURES MAY BE EXAGGERATED FOR CLARITY, NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON. SURVEY ORDERED BY: ANDREW LIGAS PREFERED SURVEY, INC., DOES HEREBY STATE THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT HILMOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT UDIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND AVE. CORRECTED TO A TEMPERATURE OF 88 DEGREES FARRENHEIT. 6) DNLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DUCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED. Professional Design Registration #184~002795 PROFESSIONAL GIVEN UNDER MY HAND AND SEAL THIS PREFERRED SURVEY, INC. CORPORATION
NO. 116
STATE OF
ILLINOIS DAY OF



7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455 Phone 708-458-7845 / Fax 708-458-7855

www.psisurvey.com

1D/09/08 FLD CREW: Field Work Completed 27,627.2 Sq. Ft. CAD: Land Area Surveyed Drawing Revised

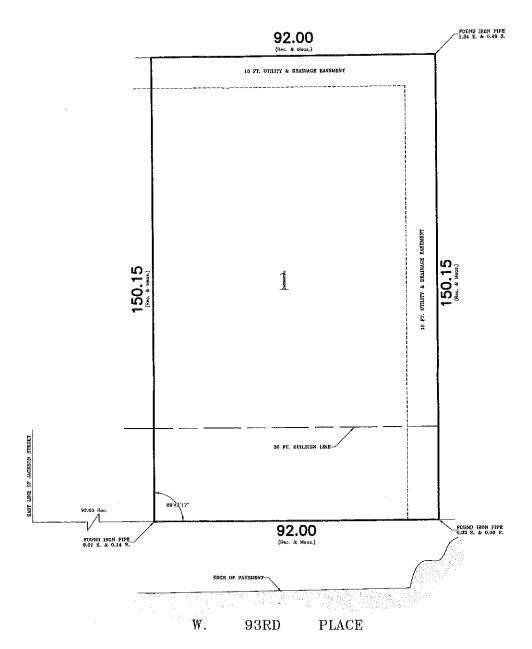


PLAT OF SURVEY

of

LOT 1 IN DLUGOPOLSKI'S 93RD PLACE RESUBDIVISION, BEING 4 RESUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.





NO, 116 STATE OF ILLINOIS

GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS SEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS FLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) monuments, if set, during this survey, represent the true corners of this description as surveyed.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY, NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HERBON,
- a) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

Professional Design Registration #184-002795



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455 Phone 708-468-7845 / Fax 708-458-7856 www.psisurvey.com

10/09/08 FLD CREW: Field Work Completed CD/RS 13,813.6 Sq. Ft. Land Area Surveyed Drawing Revised



SURVEY ORDERED BY: ANDREW LIGAS

PREFERRED SURVEY, INC. DOES HERRBY STATE THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT LLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORPUS, HAVE BEEN SAT OR NOT IN ACCORDANCE WITH CLIENT ACREMENT, DIMENSIONS ARE SHOWN IN FRET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGRAES FARRENCERY.

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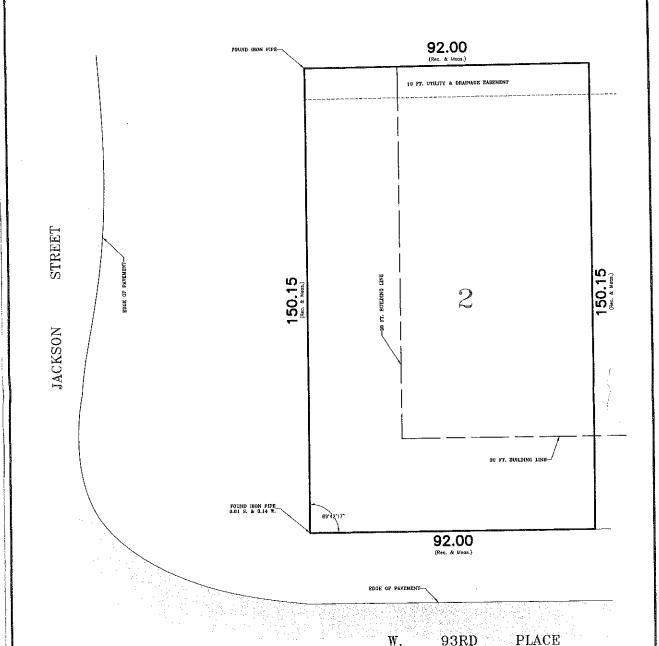


PLAT OF SURVEY

of

LOT 2 IN DLUGOPOLSKI'S 93RD PLACE RESUBDIVISION, BEING A RESUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.





GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIES BY THE CLERN.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

Professional Design Registration #184-002795



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STATE OF ILLINOIS)
S.S.
COUNTY OF COOK)

SURVEY ORDERED BY: ANDREW LIGAS

PREFERRED SUFFEY, INC., DOES HERRBY STATE THIS PROFESSIONAL SERVICE CORNORMS TO THE CURRENT ILLINOIS MINHUM STANDARD FOR A POLINDARY SUFFEY, PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT ACREMENT! DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOR AND ABELCORRECTED TO A TEMPERATURE OF 68 DEGREES FARRENHEIT.

GIVEN UNDER MY HAND AND SEARCH SEARCH A.D. 2508

P.S.I. NO. 11 0885782-C

Staff Report and Summary Z-02-2016: 100 Harvester Drive (Hampton/Falls) Page 6 of 6

of use. The petitioner must provide further information regarding peak occupancies and justification for the parking reduction.

• The trash dumpsters are located in a side yard near the front (i.e. street side) of the buildings rather than adjacent to the rear wall of the building. The petitioner should consider relocating the dumpsters closer to the north end of the buildings, further from the streets.

It appears that the critical issue is the number of parking spaces and the petitioner's need to justify the reduction in the parking.



VILLAGE OF BURR RIDGE COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT AND SUMMARY

Z-02-2016; 100 Harvester Drive (Hampton/Falls); Requests an amendment to Section IX.D.2 of the Burr Ridge Zoning Ordinance to add "Event Center" or a similar classification to the list of special uses in the O-2 Office and Hotel District and for special use approval as per Section IX.D.2. as amended of the Burr Ridge Zoning Ordinance for an amendment to the Estancia Planned Unit Development, Ordinance No. A-834-08-04 to permit development and use of a four-story hotel and a one-story event center rather than the previously approved four-story office building with a parking deck.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals

Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP

Community Development Director

Date of Hearing: March 21, 2016

GENERAL INFORMATION

Petitioner: Prominence Burr Ridge,

LLC and The Falls Event

Center, LLC

Property Owner: BJF Estancia II, LLC

Petitioner's

Status:

Contract Purchaser

Land Use Plan: Recommends office uses

Existing Zoning: O-2 Planned Unit

Development

Existing Land Use: Office

Site Area: 4.4 Acres

Subdivision: Estancia Planned Unit

Development





Z-02-2016: 100 Harvester Drive (Hampton/Falls)

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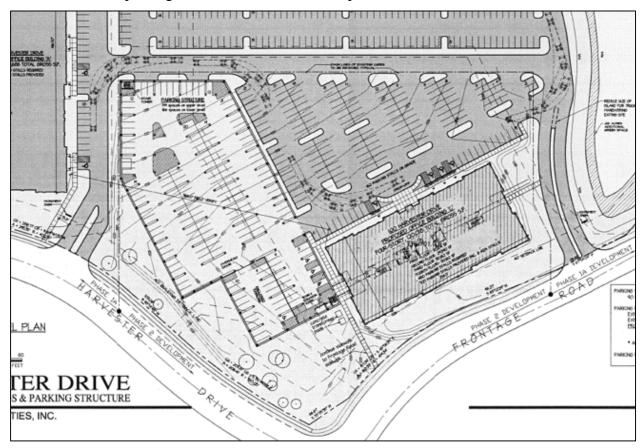
SUMMARY

The subject property is the third lot within the Estancia Planned Unit Development (PUD). Estancia was planned for three office buildings with shared parking and shared access. Two of the three office buildings have been built. At this time, the developer is seeking to sell the third lot and the buyer seeks approval for two separate but coordinated developments. The contract purchaser would construct a four-story, Hampton Inn hotel on the property and lease the remainder of the property for the development and use for a one-story events center. Both developments would share parking and access with each other as well as with two existing office buildings on the property.

ZONING HISTORY

The subject property is part of a three-lot Planned Unit Development approved in 2003-04. The original PUD included a one-story office building and two, three-story office buildings with shared access and parking for all three buildings. The one-story office building and one of the three-story office buildings were completed. A foundation for the second three-story office building was begun in 2006, but the construction was stopped before any above ground work was completed.

A 2011 amendment to the PUD permits the use of this third lot for a four-story office building with a one-level parking deck. Below is the approved site plan for the building. The parking deck is the non-shaded parking area on the left side of the plan.



Z-02-2016: 100 Harvester Drive (Hampton/Falls)

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The conditions of the 2011 PUD amendment also required that the "...rooftop screening walls for the proposed building and the existing building at 150 Harvester Drive shall be modified to provide horizontal bands that match the shape of the horizontal stripes at the top of the buildings." The building at 150 Harvester Drive is the three-story office building. This condition was intended to improve the appearance of the roof top screening wall on this existing building.

COMPLIANCE WITH THE ZONING ORDINANCE

Current zoning for the subject property is the 2011 PUD amendment which limits the development of the property to the site plan approved for the four-story office building with a parking deck. Any other development requires an amendment to the PUD.

The proposed amendment seeks to replace the 2011 approval with a plan for the development of a four-story hotel and a one-story event center. The petitioner has provided site plans, landscaping plans, and building elevations. The following information is provided relative to compliance with the underlying, O-2 Office and Hotel District:

<u>Land Use.</u> A Hotel is a special use in the O-2 District. An Event Center is not a permitted or special use in the O-2 District. A similar use, Banquet Hall, is listed as a special use in the B-1 and B-2 Districts. This petition includes a request for an amendment to the O-2 District to add Event Center, or a similar land use category, as a special use in the O-2 District and requests special use approval for both a Hotel and an Event Center.

Building Height. The O-2 District permits a hotel in a PUD to be six stories and 77.5 feet. The proposed hotel is approximately 46 feet in height with portions of the parapet wall extending to 51 feet and 55 feet (parapet walls are allowed to extend 10 feet above the building height). The peak of the roof for the Event Center building is approximately 28 feet tall.

Building Setbacks. The O-2 District requires a minimum 40-foot setback from front lot lines. For buildings exceeding 40 feet in height, an additional two-foot setback is required for each foot the building is over 40 feet in height. Thus, the required minimum setback for the one-story event center building is 40 feet. The required minimum setback for the hotel is 52 feet. Both buildings meet and exceed the minimum front yard setback.

Floor Area. A PUD in the O-2 District permits a 0.7 floor area ratio for a hotel and 0.6 for an office building. The combined floor area ratio for proposed hotel and event center is 0.45 (85,938 square feet). The maximum floor area ratio in an O-2 District without a PUD is 0.25.

<u>Landscaping</u>. Detailed landscaping plans have been provided and have been reviewed by the Village's consulting forester, Urban Forest Management. The plans comply with the Zoning Ordinance, however, certain details are outstanding. Attached is the landscape plan review.

Parking Lot Lighting. Photometric plans are provided for parking lot lighting. The plans will be reviewed in detail by the Village Engineer at the time of permit application. The plans appear to comply with the Zoning Ordinance except that some of the light poles exceed the 20 foot maximum height restriction.

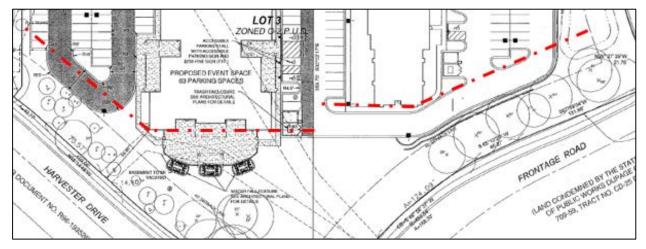
Number of Buildings on a Lot. The Zoning Ordinance permits only one building on a lot and requires a minimum lot area of three acres. The original PUD for this property allowed three buildings on the property. The property was subsequently subdivided into three parcels with shared access and parking across the lot lines. The proposed PUD amendment would add a fourth building and lot. If the proposed buildings were platted on separate lots, the lots would not meet

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the minimum lot size requirement and the buildings would not meet side yard setback requirements (40 feet).

Parking Location. The Zoning Ordinance prohibits parking spaces and parking lot drive aisles from being located in any yard forward of the front wall of the building. There are no parking spaces forward of the established building line. However, there are parking lot drive aisles that encroach forward of the front wall of the building as shown below.



<u>Number of Parking Spaces</u>. All three of the properties within this PUD share parking and access. Cross access easements exist to allow employees and customers from each property to park on another property. Below is a table showing the required parking and the number of parking spaces provided on each property as well as the total number of parking spaces required and provided.

	Requirement	Occupancy	Rooms	Employees	Floor Area	Provided	Required
180 Harvester Drive	1/250 sq. ft. of floor area				49,687	203	199
150 Harvester Drive	1/250 sq. ft. of floor area				98,290	,290 450 393	
Falls Event Center*	Center* 1/3.2 persons 700			63	219		
Hampton Inn	1/Room + 0.5/Employee		101	5		95	104
					Total:	811	914

^{*}based on "meeting hall"

<u>Outdoor Patio.</u> There is an outdoor patio proposed for the Event Center. The patio would be located in a front yard between the building and Harvester Drive. The Zoning Ordinance restricts outdoor patios to side and rear yards with the only exception being outdoor patios for restaurants which are permitted in any buildable area.

Trash Dumpster. There are trash dumpster enclosures proposed for each building. The enclosures are near the southeast corner of each building. The Zoning Ordinance requires that dumpsters be located adjacent to the rear wall of the building. These enclosures are located in a side yard. Details of the enclosure is provided for the hotel, but not for the event center.

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Building Elevations. Section X.B.10 of the Zoning Ordinance requires that exterior building facades be brick, stone, precast stone, pre-cast panels, glass, or similar materials. The use of stucco is discouraged and when used, is prohibited from the lower eight feet of the façade and must be secondary to the use of other materials. Both of the proposed buildings use brick, stone, and glass as the primary exterior building materials. The hotel appears to include some stucco for the columns and parapet walls (although the notes describing the building materials appear to be mislabeled).

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Burr Ridge Comprehensive Plan recommends office use for the subject property. The proposed hotel and event center are consistent with the permitted and special uses in an office district and, therefore, are in compliance with the Comprehensive Plan.

COMPATIBILITY WITH SURROUNDING ZONING AND DEVELOPMENT

The property is adjacent to the I-55 and County Line Road interchange; other office and hotel development to the north; the CNH industrial facility to the northwest and west; a public park to the south; and a residential neighborhood to the southwest. Another park and a townhome development are located further west on Harvester Drive. The property is accessed from Harvester Drive and from North Frontage Road.

FINDINGS OF FACT AND RECOMMENDATIONS

The petitioner has provided findings of fact which may be adopted if the Plan Commission is in agreement. The petitioner has also provided detailed plans and elevations for both buildings. Relative to compliance with the findings of fact and compliance with the Zoning Ordinance, the following staff review comments are provided:

- Both a hotel and an event center are complementary uses in the O-2 District and similar uses already exist in other O-2 Districts in the Village (e.g. Marriott Hotel and Conference Center and Crown Plaza Hotel and Conference Center).
- The setbacks, floor area, and building heights are consistent with the Zoning Ordinance and with the Estancia Planned Unit Development.
- There is an encroachment of the parking lot drive aisles into the front yards, but there is no parking in the front yards and landscaping is provided around the perimeter of the drive aisles. Please note that the driveway on the south side of the hotel building was added in part to accommodate emergency access.
- The number of parking spaces provided is short of the required parking. There may be justification for a reduction in parking based on the shared parking and varying peak hours of use. The petitioner must provide further information regarding peak occupancies and justification for the parking reduction.
- The trash dumpsters are located in a side yard near the front (i.e. street side) of the buildings rather than adjacent to the rear wall of the building. The petitioner should consider relocating the dumpsters closer to the north end of the buildings, further from the streets.

It appears that the critical issue is the number of parking spaces and the petitioner's need to justify the reduction in the parking.



Urban Forest Management, Inc.

March 5, 2016

Mr. Doug Pollock, AICP **Community Development Director** Village of Burr Ridge 7660 County Line Road Burr Ridge, Illinois 60527-4721

RE:

100 Harvester Drive

Landscape Plan Review #1

Dear Doug:

As requested I have visited the site to review the existing trees and I have reviewed the proposed new landscape plans. The following comments summarize this review:

Existing Trees

- 1. I have attached reduced copies of the Tree Preservation Plan for The Falls Event Center parcel and for the Hampton Inn and Suites parcel, both by Daniel Weinbach & Partners, LTD and both dated 02/05/18. There are (4) four trees on The Falls Center parcel that I have noted for removal due to their current poor condition. There are (2) two trees on the Hampton Inn & Suites parcel that I noted for removal due to their current condition.
- 2. I have spoken with Ms. Wendy Schulenberg, the landscape architect for the project. It appears the some of the site engineering may not be completed. These (2) two Tree Preservation Plans should be considered to be preliminary due to the fact a final Tree Preservation Plan can't be prepared unit all of the Engineering Plans are complete. The final Tree Preservation Plan should address any conflicts between trees and grading, utilities, storm water management, sanitary sewers, water mains, or any other engineering issues. It should also include any trees to be removed for construction or that are impacted by construction and the actions that will be taken to mitigate the construction impacts on those trees. It should also include tree protection fencing for the trees to be saved.
- 3. The existing trees have not been properly pruned. A Certified Arborist should properly prune all of the existing trees to remain in a timely manner.

Proposed New Landscape Plans

1. The proposed new Landscape Plan for The Falls Event Center may have to be adjusted once engineering is completed. As currently presented, it appears that there is one Kentucky coffee tree missing in an island along the north drive. It also appears that some additional plantings need to be added the area between the west side of the parking lot and the west entrance to the site. Otherwise the rest of the plantings are appropriate for the site.

Mr. Doug Pollock, AICP Community Development Director Village of Burr Ridge 100 Harvester Drive Landscape Plan Review #1 March 5, 2016 Page 2

3. Both sites should have a maintenance plan that includes commitment to the replacement, in a timely manner, of plants that are dead, dying, diseased, or not acceptable. The Hampton Inn and Suites site includes a detention facility that is to be seeded with a native grass seed mix. The maintenance plan for this site should also include the protocols for the establishment of native grass seed mixes and for eliminating any invasive plants.

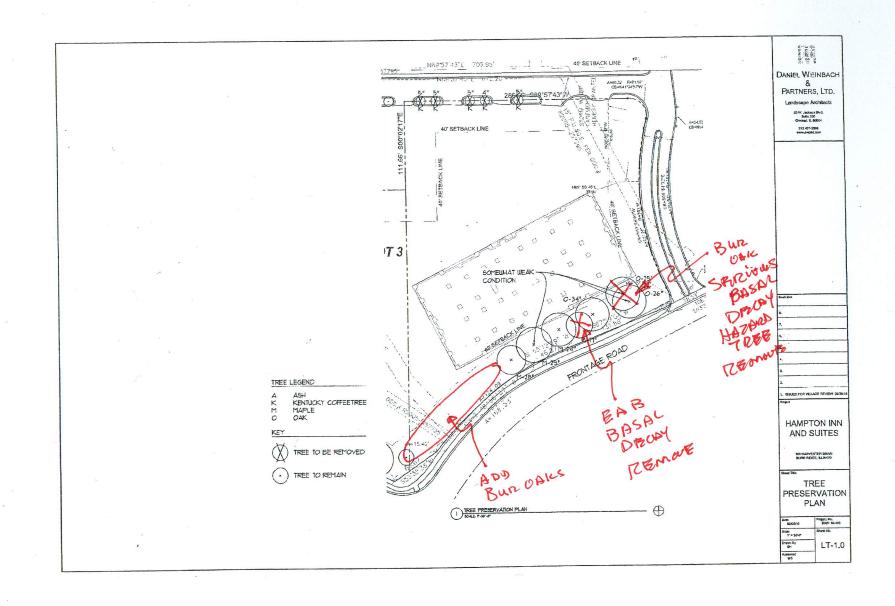
Sincerely,

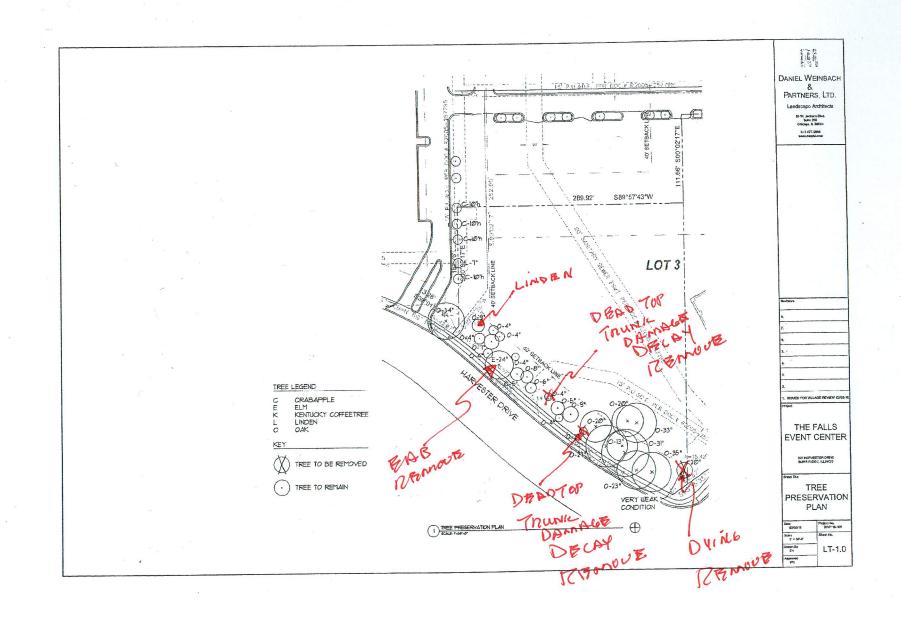
URBAN FØREST MANAGEMENT, INC.

Charles A. Stewart Vice President

Incl. 2

C. Ms. Wendy Schulenberg







VILLAGE OF BURR RIDGE

PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

ADDRESS OF PROPERTY: 100 Harvester Drive PIN # 09-25-200-019			
GENERAL INFORMATION PETITIONER: Prominence Burr Ridge, LLC and The Falls Event Center, LLC, c/o James E. Olguin (All correspondence will be directed to the Petitioner) PETITIONER'S ADRESS: 835 McClintock Drive, Second Floor PHONE: (630) 655-6000 Burr Ridge, IL 60527 EMAIL: jeo@gsrnh.com FAX: (630) 655-9808 PROPERTY OWNER: Burr Ridge Investors, LLC STATUS OF PETITIONER: Contract Purchaser OWNER'S ADDRESS: 150 Harvester Drive, Suite 100 PHONE: (630) 230-2006			
PROPERTY INFORMATION SITE AREA: 4.44 acres EXISTING ZONING: 0-2 PUD EXISTING USE/IMPROVEMENTS: Vacant Property SUBDIVISION: Estancia Executive Center A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED			
DESCRIPTION OF REQUEST PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S): X Special Use Rezoning Text Amendment Variation(s) See attached Please Provide Written Description of Request - Attach Extra Pages If Necessary			
The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition. Proprihence Burr Ridge, LLC and The Falls Event Center, LLC By: Attorney Attorney 2/26/16 Petitioner's Signature			

Estancia Executive Center

Amendment to PUD

Description of Request

The Applicants, Prominence Burr Ridge, LLC and The Falls Event Center, LLC, are requesting an amendment to the existing O-2 PUD which applies to the Estancia Executive Center. The amendment would allow the construction of a four story hotel building and an event center building along with associated improvements. The application plans include a re-subdivision to allow the respective buildings to be located on separate lots. This will complete the orderly development of the Estancia Executive Center and compliments the existing uses in the area.



FINDINGS OF FACT

FOR A SPECIAL USE PERMIT PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING ORDINANCE

Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance requires that the Plan Commission determine compliance with the following findings. In order for a special use to be approved, the petitioner must respond to and confirm each and every one of the following findings by indicating the facts supporting such findings.

a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.

The proposed application proposes hotel and event center uses. These uses continue to be in demand in the area and provide a service will benefit the Village, its residents and area businesses.

b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

The proposed amendment maintains the same high safety standards as was originally approved. The development will comply with all Village health and safety requirements. The uses themselves are similar to those located in comparable locations within the Village and do not pose risks to the morals, comfort or general welfare to the community.

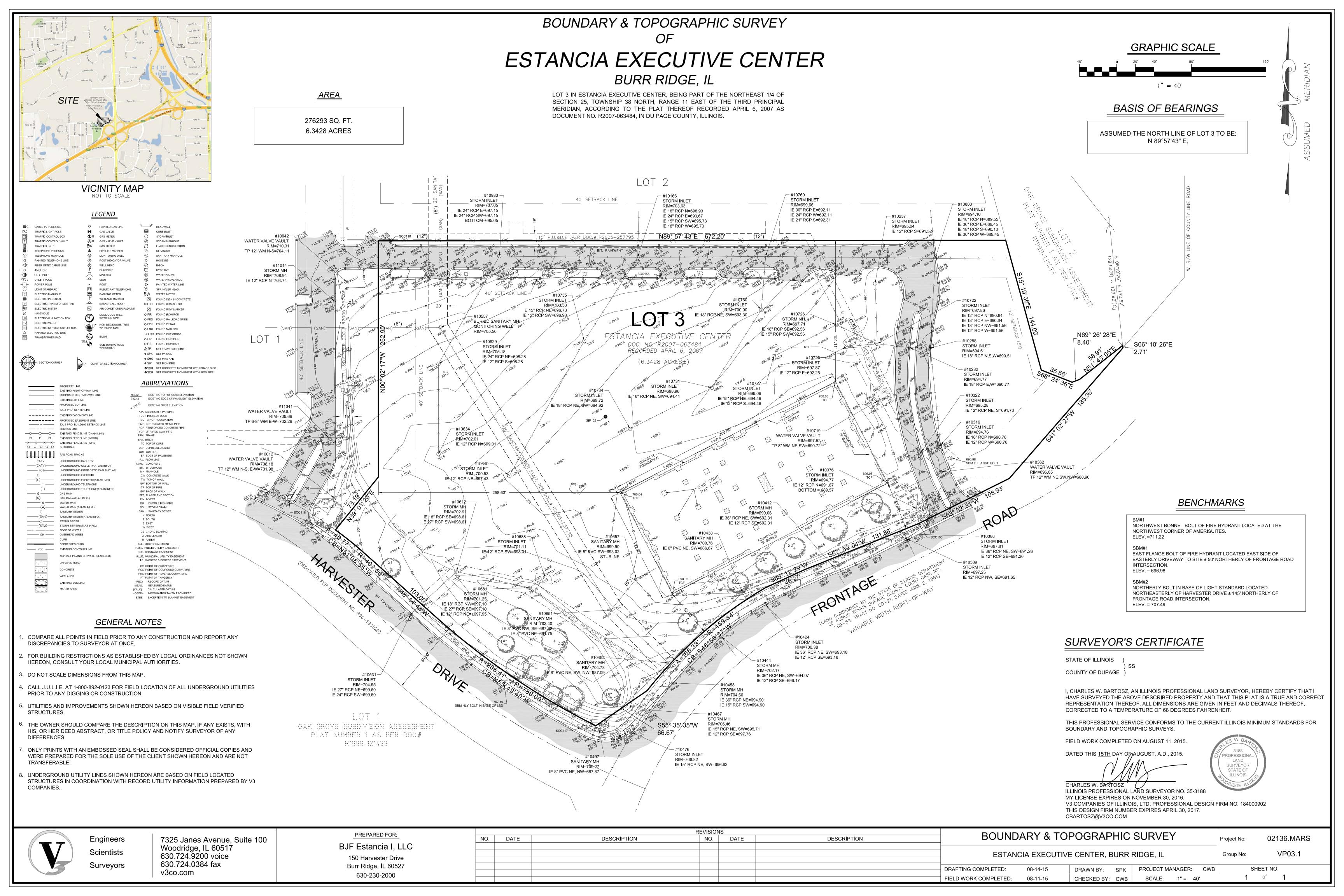
c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.

The proposed project is proposed on a site that was already approved for office use within an existing development which is adjacent to Interstate 55. The proposed uses compliment the existing office development and will enhance their value by removing a long standing vacant parcel and providing services that cater to both area businesses and residents.

d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed amendment will not impede the development of the surrounding property as this is the last remaining vacant parcel in the Estancia Executive Center. As such, this amendment will allow the development to be completed. The uses also complement the existing development.

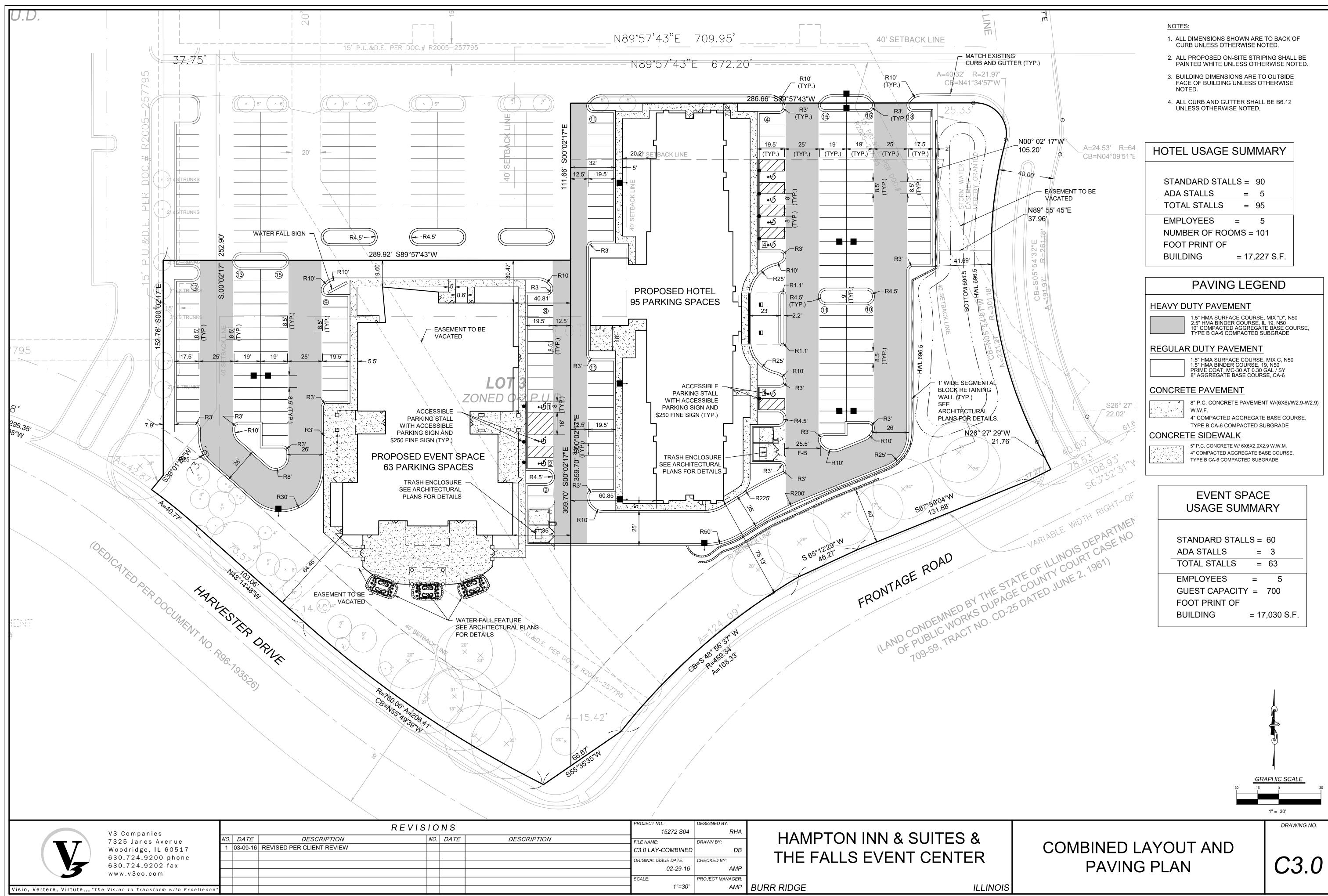
e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be pr Utilities and access roads were provided for as part of the original development. The proposed ame updates the plans to address drainage, storm water facilities and modifies the utilities to accommoda buildings and uses. These modifications will be provided to the Village Engineer to ensure they con the Village's high standards.	ndment ite the new
f. Adequate measures have been or will be taken to provide ingress and egress so designed as minimize traffic congestion in the public streets. The site has been designed to handle the on-site traffic flow. The prior development approvals prolocation of the ingress and egress locations onto the public roads. This will not be altered. The ex and public roads are sufficient to service the proposed uses.	vided for the
g. The proposed special use is not contrary to the objectives of the Official Comprehensive Pla Village of Burr Ridge as amended. The proposed uses are consistent with the objectives of the Official Comprehensive Plan as the proconsistent with the O-2 Zoning district that applies to the property.	
h. The special use shall, in other respects, conform to the applicable regulations of the district is located, except as such regulations may, in each instance, be modified pursuant to the recommendate Plan Commission or, if applicable, the Zoning Board of Appeals. The site design was made to conform to with the regulations of the Village except as previously applied in the attached plans, or as may be recommended and approved by the Village.	ndations of
(Please transcribe or attach additional pages as necessary)	Page 2 of 2



LOT 2 ESTANCIA EXECUTIVE CENTER DOC. NO. R2007-063484 RECORDED APRIL 6, 2007 40' SETBACK LINE R2007-063484 A=40.32' R=21.97' CB=S41°34'57"E N89°57'43"E 40' SETBACK LINE R2007-063484 -B/C 0.40'W 2" x 3 TRUNKS 2" x 5 TRUNKS N89°57'43"E 2" x 5 TRUNKS 289.92' ESTANCIA EXECUTIVE CENTER

DOC. NO. R2007-063484

RECORDED APRIL 6, 2007 🌅 3" x 3 TRUNKS : A=221.27' R=301.18' √ູ່ 3" x 3 TRUNKS : CB=S05°54'01"E 40' SETBACK LINE 152,76 152,76 2"x 6 TRUNKS WATER VALVE VAULT RIM=697.52 B/C 0.96'W S26° 27' 29"E 21.76' S63° 32' 31"W 17.27' A=40.77' R=402.50' CB=N51°08'55"W A=168.33' R=459.34' CB=S48°56'37"W A=206.41' R=780.00' CB=N55°49'40"W



FOR

HAMPTON INN & SUITES

BURR RIDGE, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

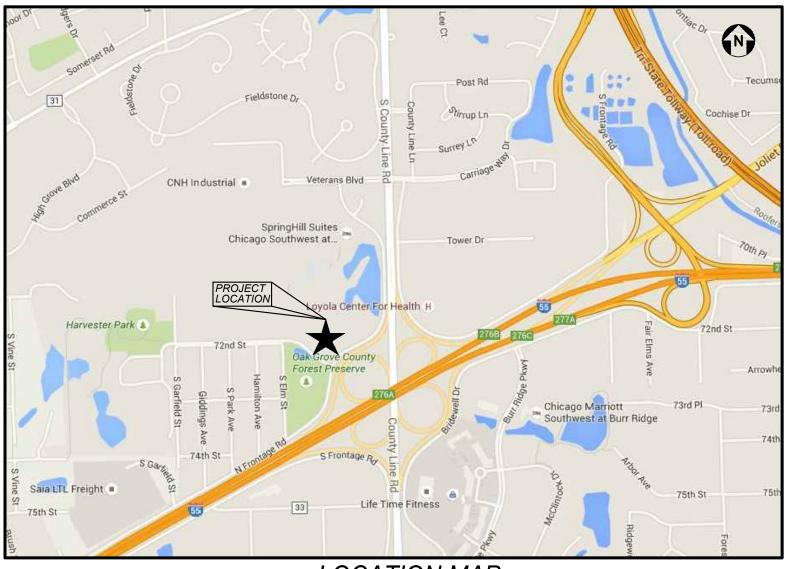
Pearlshire Capital Group 1701 East Woodfield Road, Suite 327 Schaumburg, Illinois 60173 847 361 7362 Contact: Rehan Zaid

ENGINEER

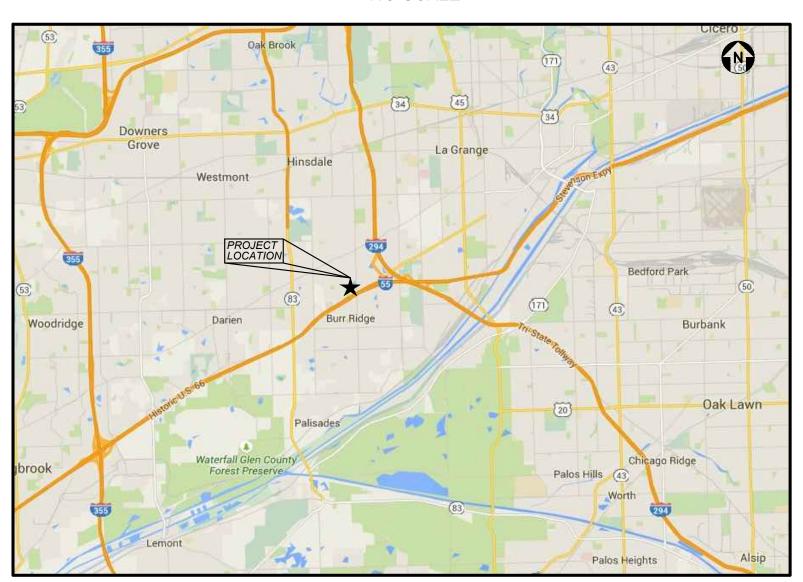
V3 Companies of Illinois, Ltd. 7325 Janes Avenue Woodridge, Illinois 60517 630 724 9200 Project Manager: Amit Pathak, P.E., LEED AB+C Project Engineer: Randy Andersen, P.E.

ARCHITECT

Pontis Architectural Group 248 South Main Street Springville, Utah 84663 801 704 9551 Contact: Alan Schurtliff



LOCATION MAP NO SCALE



VICINITY MAP NO SCALE

INDEX OF DRAWINGS

- TITLE SHEET C0.0 C1.0 GENERAL NOTES , LEGEND, AND ABBREVIATIONS C1.1 **SPECIFICATIONS** C2.0 **EXISTING CONDITIONS PLAN**
- C2.1 DEMOLITION PLAN
- C3.0 LAYOUT AND PAVING PLAN
- C4.0 GRADING PLAN C4.1
- EROSION CONTROL PLAN C4.2 EROSION CONTROL DETAILS
- C5.0 UTILITY PLAN SANITARY PROFILES C5.1
- C6.0 CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS C6.1
- C6.2 CONSTRUCTION DETAILS
- PHOTOMETRIC PLAN



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Locating Information Excavators ORIGINAL ISSUE DATE: FEBRUARY 29, 2016

O. DATE

REVISIONS DESCRIPTION SHEETS REVISED |03-09-16| REVISED PER CLIENT REVIEW

BENCHMARKS REV. BY DUPAGE COUNTY BENCHMARK DGN26002 BRONZE DISK STAMPED "DUPAGE COUNTY MAPS AND PLATS" ESTABLISHED VERTICALLY IN CONCRETE BRIDGE PIER WEST SIDE OF MADISON STREET UNDER I-55, EAST FACE OF SECOND PIER FROM SOUTH END, 2.36 FEET ABOVE CONCRETE BASE, ELEV. =714.82 (NAVD29) NORTHWEST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF AMERISUITES EAST FLANGE BOLT OF FIRE HYDRANT LOCATED EAST SIDE OF EASTERLY DRIVEWAY TO SITE ± 50' NORTHERLY OF FRONTAGE ROAD

NORTHERLY BOLT IN BASE OF LIGHT STANDARD LOCATED NORTHEASTERLY OF HARVESTER DRIVE ± 145' NORTHERLY OF FRONTAGE ROAD

O MATCH DUPAGE COUNTY DATUM, SUBTRACT 0.37 FEET (-0.37') BASED UPON THE BENCHMARK

PROFESSIONAL ENGINEER'S CERTIFICATION AMIT PATHAK, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF PEARLSHIRE CAPITAL GROUP BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____DAY OF_

LLINOIS LICENSED DESIGN FIRM NO. 184-000902

ILLINOIS LICENSED PROFESSIONAL ENGINEER: 062-062213 MY LICENSE EXPIRES ON NOVEMBER 30, 2017

DRAWING NO.

V3 COMPANIES OF ILLINOIS LTD. 7325 JANES AVENUE WOODRIDGE, IL 60517

COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

- 2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
- CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- 5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING. SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
- b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
- c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA. LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF BURR RIDGE.
- e. THE NATIONAL ELECTRIC CODE. f. THE ILLINOIS ACCESSIBILITY CODE.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE

IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT OF CONFLICTING SPECIFICATIONS

WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.

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- 10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- 11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- 12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROP ERTY IN ACCORDANCE WITH THE VILLAGE OF BURR RIDGE MUNICIPAL CODES AND IDOT REQUIREMENTS.
- 13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A
- 14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
- 16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- 17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
- 18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- 21. ALL CURB RADII REFER TO BACK OF CURB.
- 22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
- 23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED. SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE VILLAGE OF AURORA, OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP
- 24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
- 25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
- 26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
- 27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISITNG PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- 28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE

- REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING
- 29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
- 31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
- 33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE VILLAGE OF AURORA AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
- 34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- 38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
- 39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6' POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
- 40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
- 41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- 42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED. THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- 43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

			B-B	BACK TO BACK OF CURB
<u></u>		RIGHT-OF-WAY LINE	B/C	BACK OF CURB
		PROPERTY LINE (EXTERIOR)	BLDG	BUILDING
		LOT LINE (INTERIOR)	BM	BENCHMARK
		EASEMENT LINE	B/P BV/VV	BOTTOM OF PIPE BUTTERFLY VALVE IN VALVE VAULT
X X X	××	FENCE LINE	C & G	CURB AND GUTTER
		CENTERLINE	СВ	CATCH BASIN
•		PROPERTY CORNER	Ģ	CENTERLINE
		CONTOUR	CL CO	CLOSED LID CLEAN OUT
770	710		DIP	DUCTILE IRON PIPE
		CURB & GUTTER	DIA	DIAMETER
		DEPRESSED CURB & GUTTER	DIWM	DUCTILE IRON WATER MAIN
		REVERSE PITCHED CURB	DWG E	DRAWING EAST OR ELECTRIC OR EDGE
x 706.00	× 706.0	SPOT ELEVATION	EJ	EXPANSION JOINT
<u>782,62</u> 782,12	<u>782.62</u> 782.12	TOP OF CURB ELEVATION EDGE OF PAVEMENT ELEVATION	ELEV	ELEVATION
		UTILITY STUB	E/P EX.	EDGE OF PAVEMENT EXISTING
		SANITARY SEWER	F & CL	FRAME & CLOSED LID
			F&G	FRAME & GRATE
) 	SANITARY FORCE MAIN	F & OL	FRAME & OPEN LID
_>>	->	STORM SEWER	FES F-F	FLARED END SECTION FACE TO FACE OF CURB
	—— W ——	WATER MAIN	r-r FF	FINISHED FLOOR
G	G	GAS MAIN	F/G	FINISHED GRADE
<i>T / C</i>	T/C	UNDERGROUND TELEPHONE	FH	FIRE HYDRANT
—— T/E ——	—— T/E ——	& ELECTRIC DUCT BANK	F/L	FLOW LINE
E	—— E ——	BURIED CABLE-ELECTRIC	G GV/VB	GAS LINE GATE VALVE IN VALVE BOX
		BURIED CABLE-TELEPHONE	GV/VV	GATE VALVE IN VALVE BOX GATE VALVE IN VALVE VAULT
		UTILITY STRUCTURE WITH CLOSED LID	HDCP	HANDICAP
		CURB INLET	HDPE	HIGH DENSITY POLYETHYLENE PIPE
\bigcirc		DRAINAGE STRUCTURE WITH OPEN LID	HDW HOR	HEADWALL HORIZONTAL
Ø	*	FIRE HYDRANT	HP	HIGH POINT
\otimes	▼	VALVE IN VALVE BOX	HWL	HIGH WATER LEVEL
	②	GATE VALVE IN VALVE VAULT	IE IN	INVERT ELEVATION INLET
<u></u>	•	POST INDICATOR VALVE	IN LF	INLET LINEAL FEET
\sim	A	THRUST BLOCK	LP	LOW POINT OR LIGHT POLE
A 10 11			L	LEFT
A STATE OF THE STA	(:)	TREE	ME MH	MATCH EXISTING MANHOLE
		TREE LINE	MW	MONITORING WELL
	\	CONCRETE HEADWALL	N	NORTH
		SUBMERGED HEADWALL	NIC NWL	NOT IN CONTRACT / NOT INCLUDED NORMAL WATER LEVEL
		FLARED END SECTION (F.E.S.)	OC	ON CENTER
———		GUY WIRES	OL	OPEN LID
	< €	FLOOD LIGHT	PC	POINT OF CURVATURE
		UTILITY POLE	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
		LIGHT STANDARD	PGL	PROFILE GRADE LINE
	->	TRAFFIC SIGNAL POLE	PI	POINT OF INTERSECTION
		HAND HOLE	PL PP	PROPERTY LINE POWER POLE
-		SOIL BORING	PRC	POINT OF REVERSE CURVATURE
¥	¥ ¥	IRRIGATION HEADS	PT	POINT OF TANGENCY
	-	SIGN	PUE	PUBLIC UTILITY EASEMENT
			PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
(T)	(T)	TELEPHONE MANHOLE	PVI	POINT OF VERTICAL INTERSECTION
(M) 	(M)	MONITORING WELL	PVT	POINT OF VERTICAL TANGENCY
T	T	TELEPHONE PEDESTAL	R	RADIUS OR RIGHT
TP	TP	TRANSFORMER PAD	RCP ROW	REINFORCED CONCRETE PIPE RIGHT OF WAY
	////	UTILITY TO BE ABANDONED	ROW S	SLOPE OR SOUTH
	X X X X	FEATURE TO BE REMOVED	SAN	SANITARY
	\rightarrow	STORMWATER FLOW DIRECTION	SF	SILTATION FENCE
		STORMWATER OVERFLOW ROUTE	SFM SHT	SANITARY FORCE MAIN SHEET
\vee		DITCH CHECK	SHT	SHEET SUBMERGED HEADWALL
	⟨¯⟩	INLET FILTER BASKET	SMH	SANITARY MANHOLE
	_/ · <u></u> .	RIP RAP	STA	STATION
	© 0	BOLLARD	ST STMH	STORM STRUCTURE OR STORM SEWER STORM MANHOLE
			T	TANGENT LENGTH OR TELEPHONE
		SILT FENCE	T/C	TOP OF CURB
	<u> </u>	WATER MAIN PROTECTION	T/P	TOP OF MALL
		TRENCH BACKFILL	T/W TY	TOP OF WALL TYPE
	<u>C01</u>	UTILITY CROSSING LABEL	TYP	TYPICAL
		GUARDRAIL	UP	UTILITY POLE
		RAILROAD TRACKS	VC	VERTICAL
		RETAINING WALL	VERT VCP	VERTICAL VITRIFIED CLAY PIPE
		REVISION DELINEATION	W	WEST
			WM	WATER MAIN
	——— CLL——	CONSTRUCTION LIMIT LINE		
		TREE PROTECTION FENCE		

LEGEND

ABBREVIATIONS

V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com

REVISIONS 15272 S04 IO. DATE DESCRIPTION NO. DATE DESCRIPTION TILE NAME: DRAWN BY 1 03-09-16 REVISED PER CLIENT REVIEW C1.0 GAL15272.DWG ORIGINAL ISSUE DATE: CHECKED BY: 02-29-16 SCALE: PROJECT MANAGER: N.T.S

HAMPTON INN & SUITES

BURR RIDGE

ILLINOIS

GENERAL NOTES LEGEND AND **ABBREVIATIONS**

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EARTHWORK

- 1. THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION, BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
- 2. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
- 3. THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
- EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
- 5. ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.
- 7. THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
- 8. BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER. ENGINEER, AND GEOTECHNICAL ENGINEER.

SANITARY SEWER

- 1. SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
- a. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
- MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES. WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "SEWER".
- 3. ALL SANITARY SEWER SHALL BE TESTED FOR ACCEPTANCE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. IF THE LOCAL JURISDICTION HAS MORE STRINGENT TESTING REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENTS. THE COST SHALL BE INCIDENTAL TO THE CONTRACT.

WATERMAIN DISTRIBUTION SYSTEM

- 1. WATER MAIN SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIAL AS SPECIFIED ON THE PLANS:
- a. DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51, AWWA C-151 WITH CEMENT LINING CONFORMING TO ANSI A21.4, AWWA C-104 AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11, AWWA C-111.
- b. POLYVINYL CHLORIDE PIPE, PVC CONFORMING TO ASTM C-900, WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
- c. WATER SERVICE LINES SHALL BE CONSTRUCTED OF CLASS K COPPER.

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- 2. MINIMUM COVER OVER WATER MAIN SHALL BE 5' 6" FROM FINISHED GRADE TO TOP OF PIPE.
- 3. VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".
- 4. THRUST BLOCKING OR RESTRAINED JOINTS SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COST OF SAME SHALL BE INCIDENTAL TO THE UNIT PRICE FOR PIPE INSTALLED.
- 5. WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
- 6. ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.

STORM SEWER

- 1. STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
- A. REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH IDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS. AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-361, UNLESS OTHERWISE NOTED.
- B. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.
- C. HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
- D. DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- 2. STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED

IEPA CROSSING REQUIREMENTS

- HORIZONTAL SEPARATION:
- A. WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.
- B. WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
- I. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET:
- II. THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
- III. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER
- C. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- VERTICAL SEPARATION:
 - A. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL

- BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR
- B. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:
- I. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 9A)
- II. THE WATERMAIN PASSES UNDER A SEWER DRAIN.
- C. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
- D. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

PAVING

- BASE COURSE SHALL BE AGGREGATE BASE COURSE. CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- 2. SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- 3. CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO IDOT STANDARD SPECIFICATIONS.
- 4. SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
- AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.
- 7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND 1/2 INCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.
- 8. TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
- 9. ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

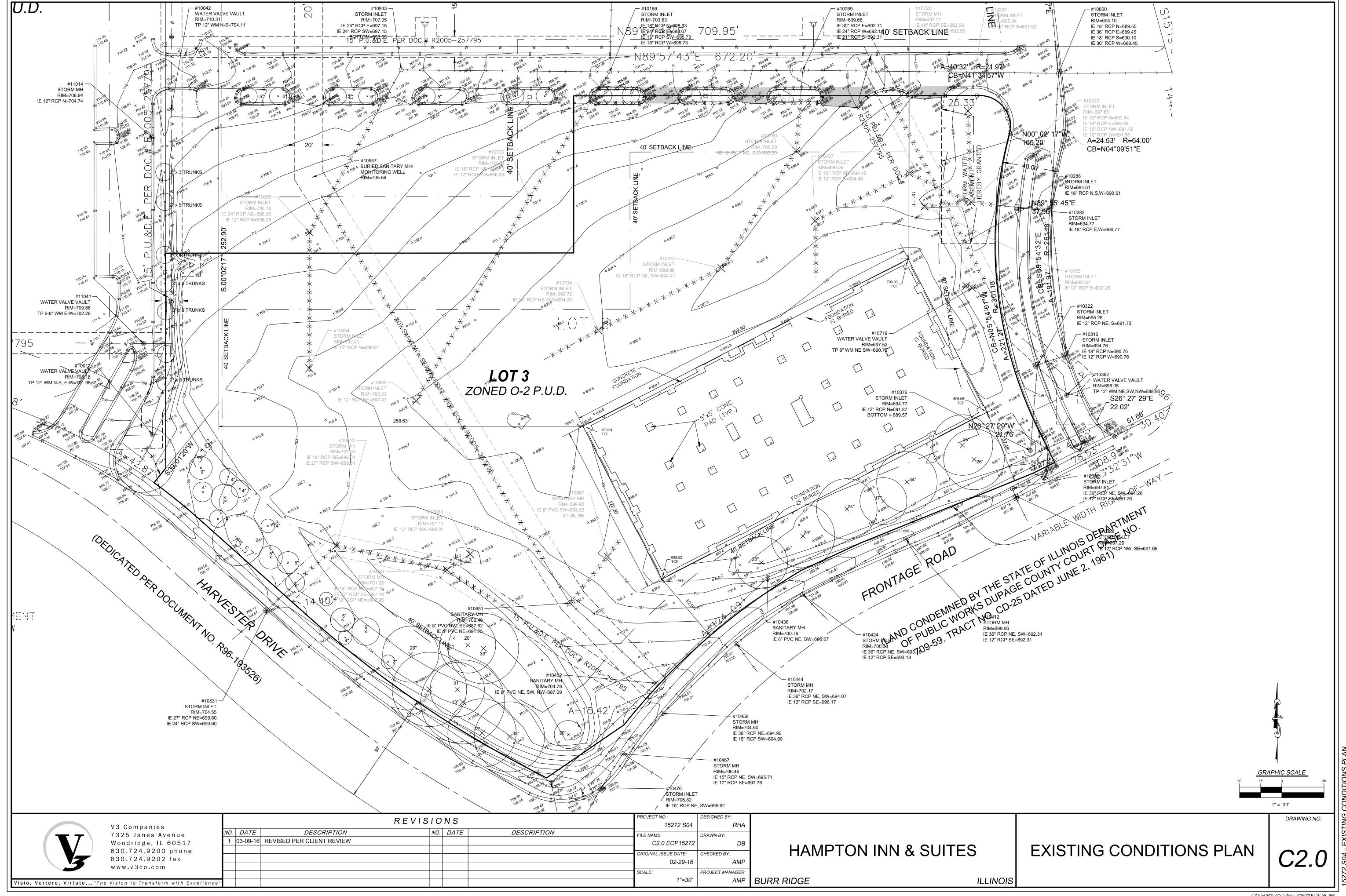
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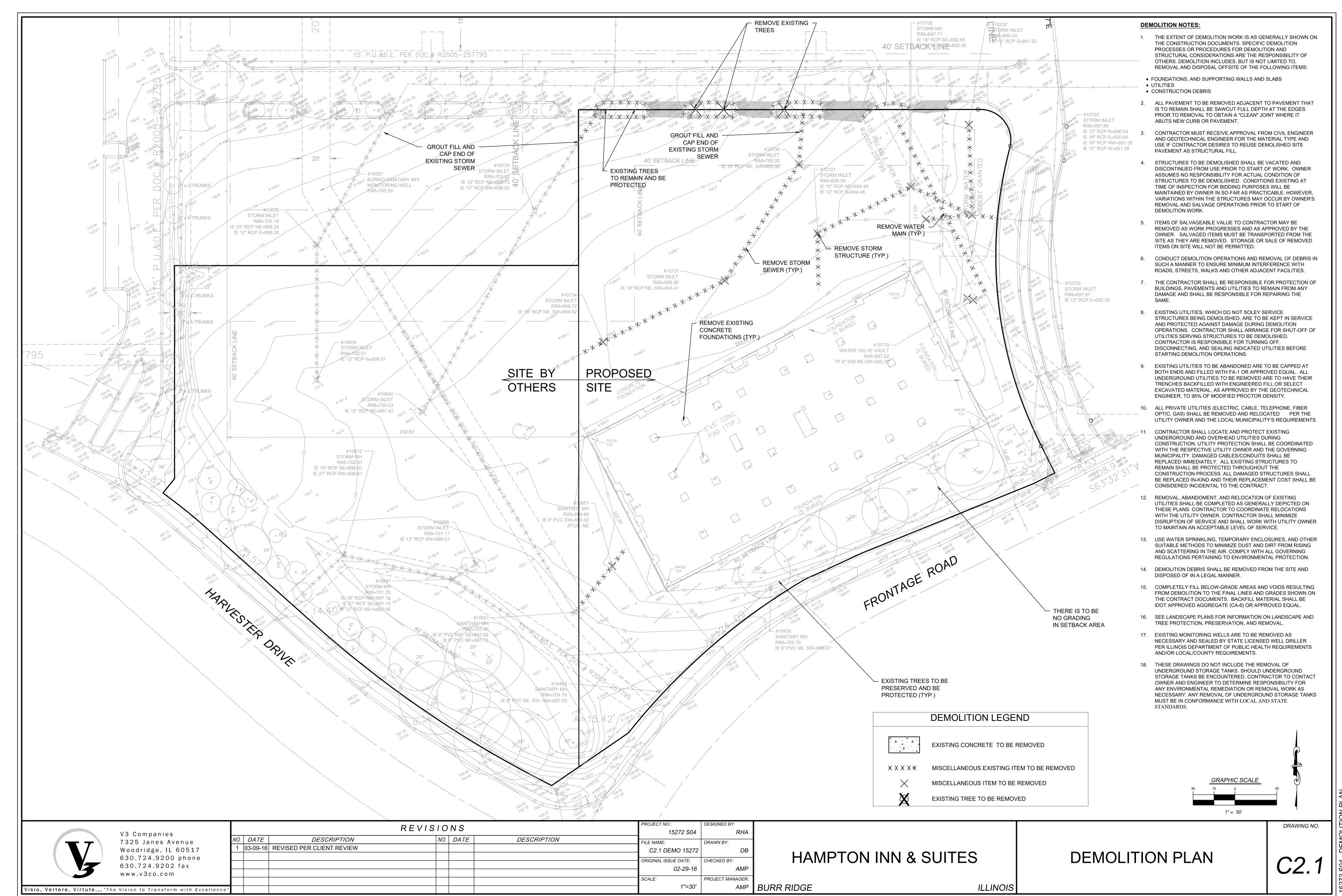
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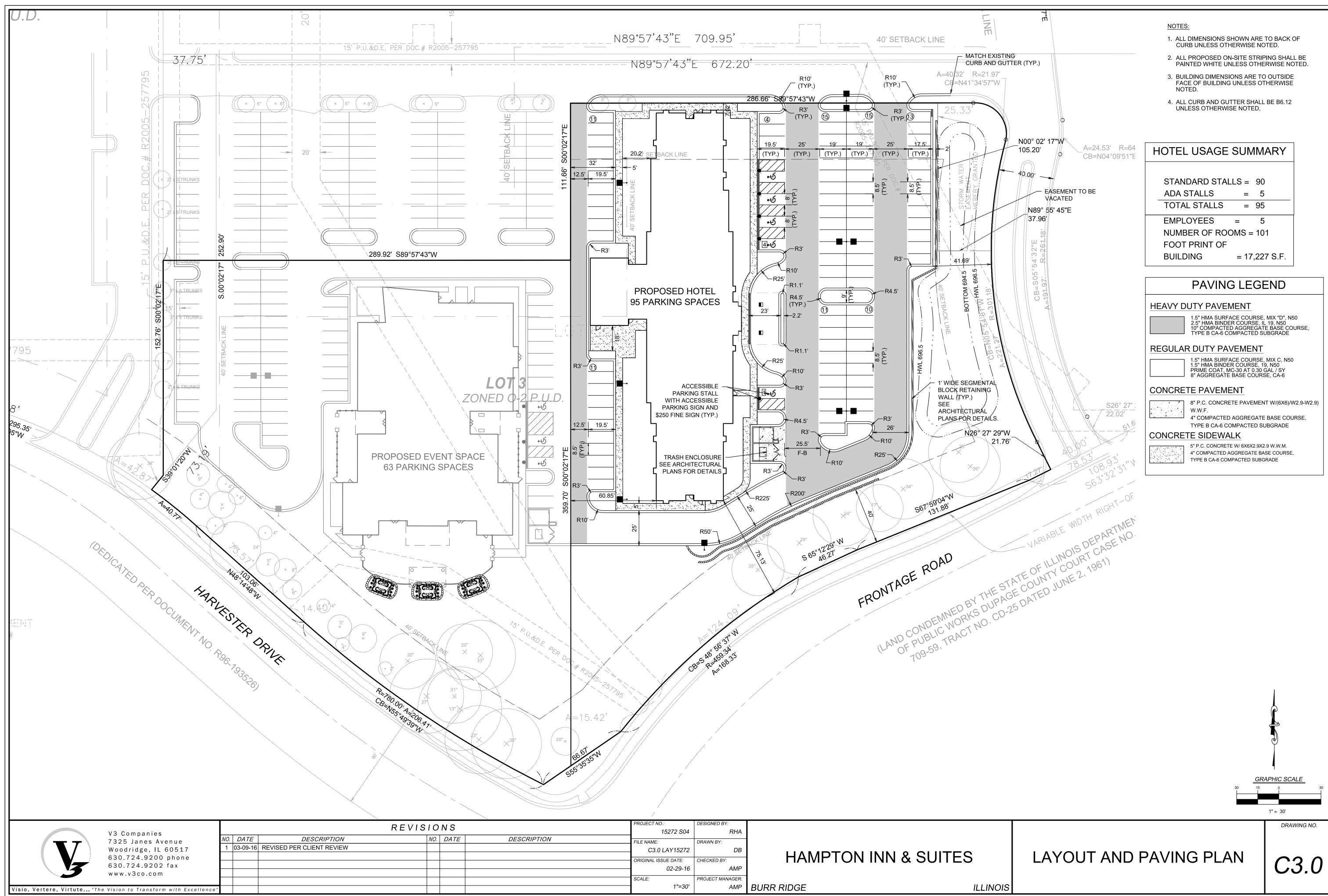
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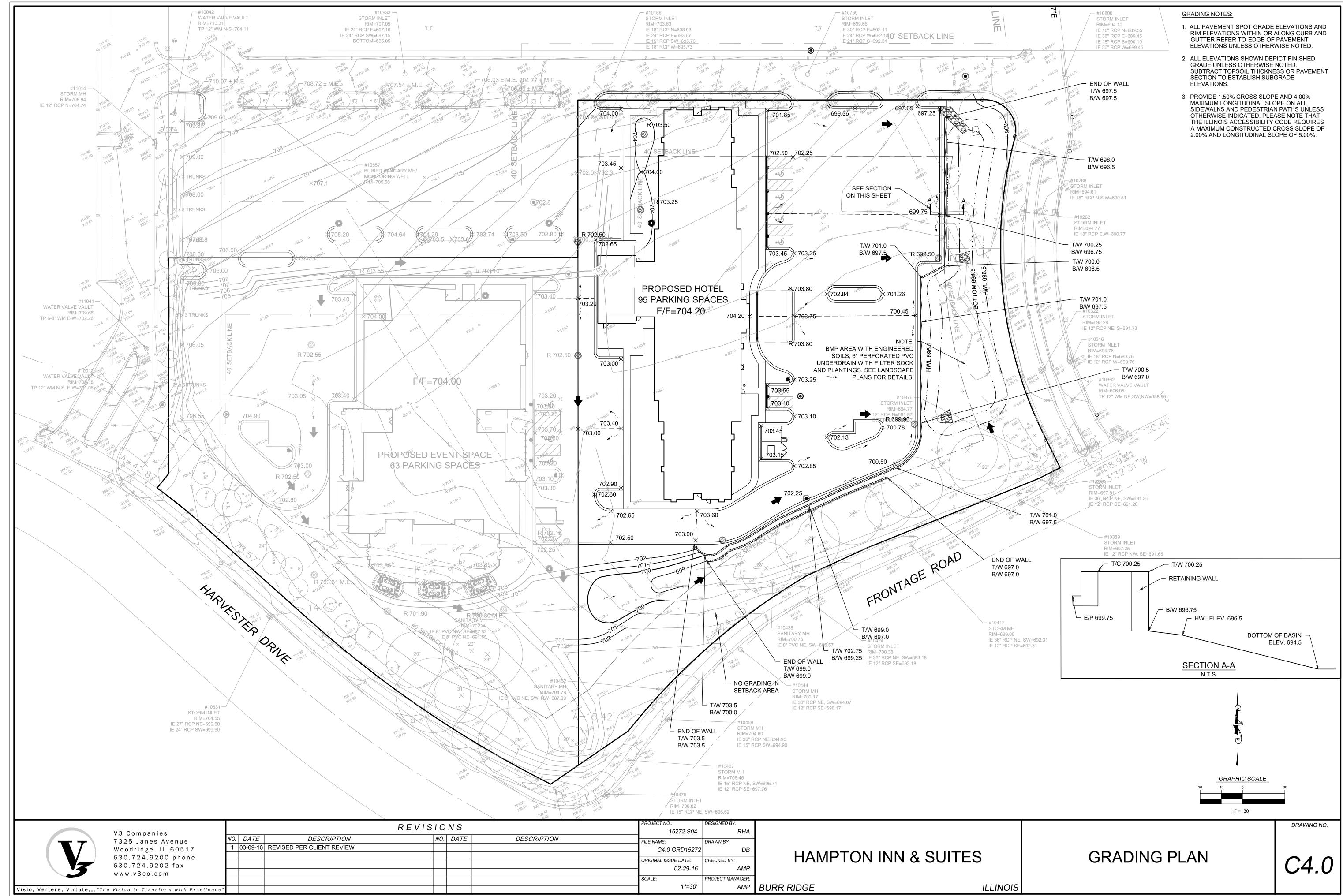
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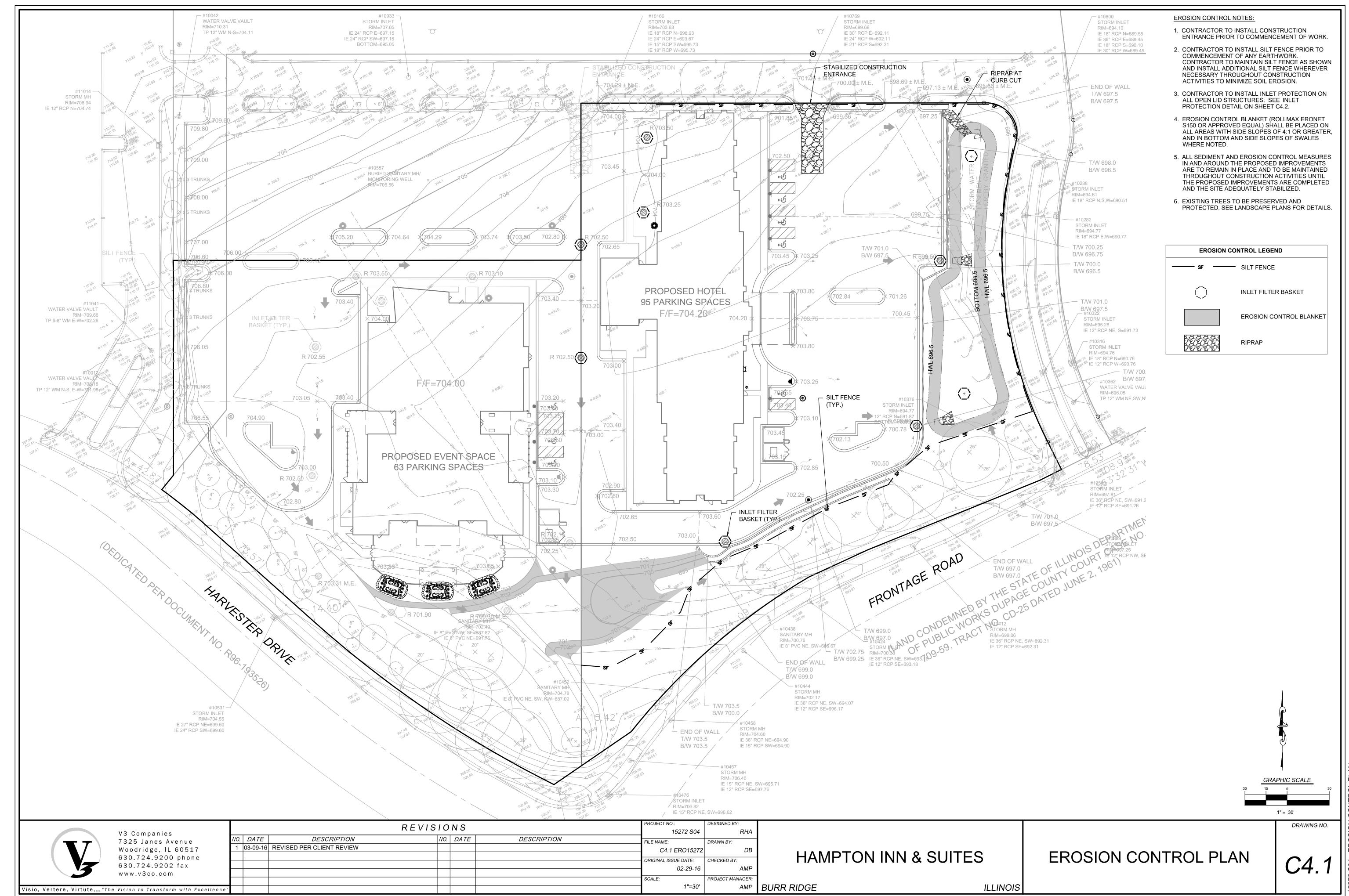
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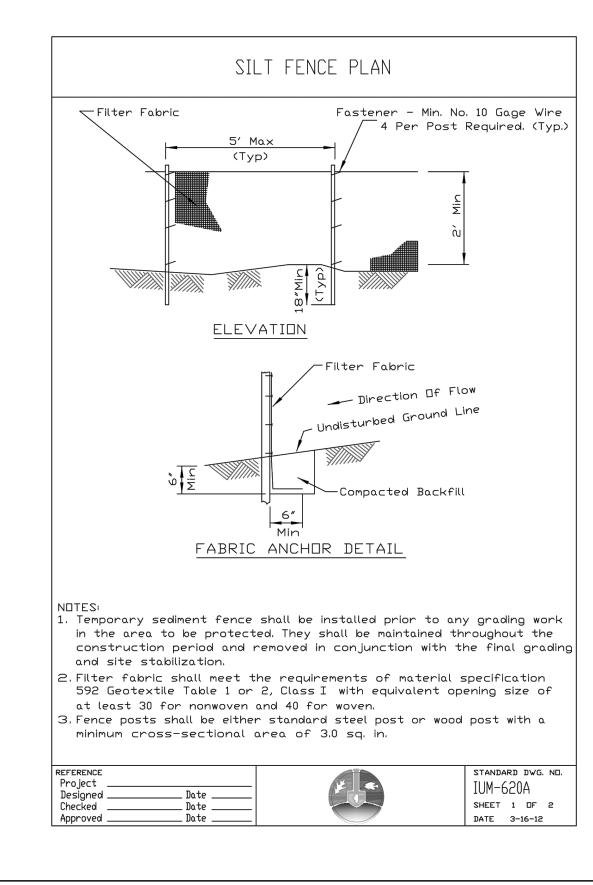


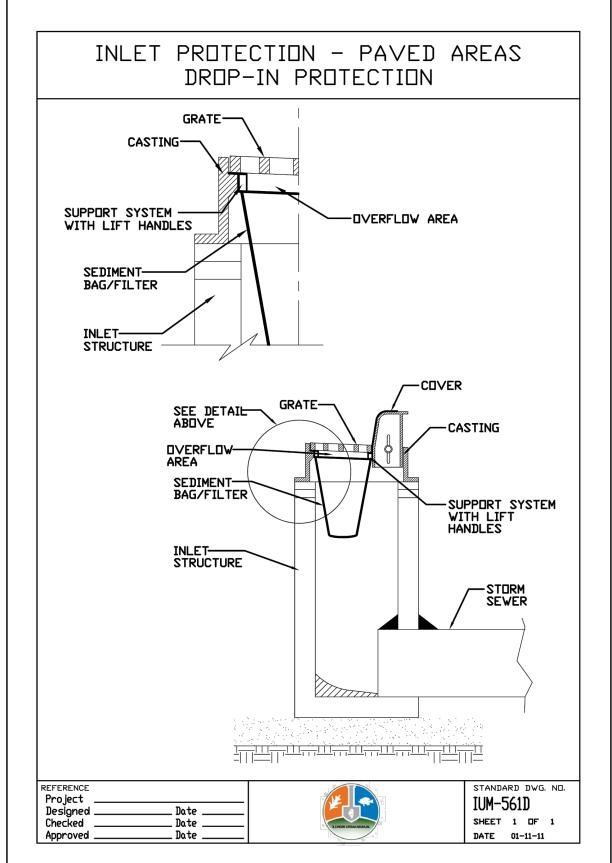


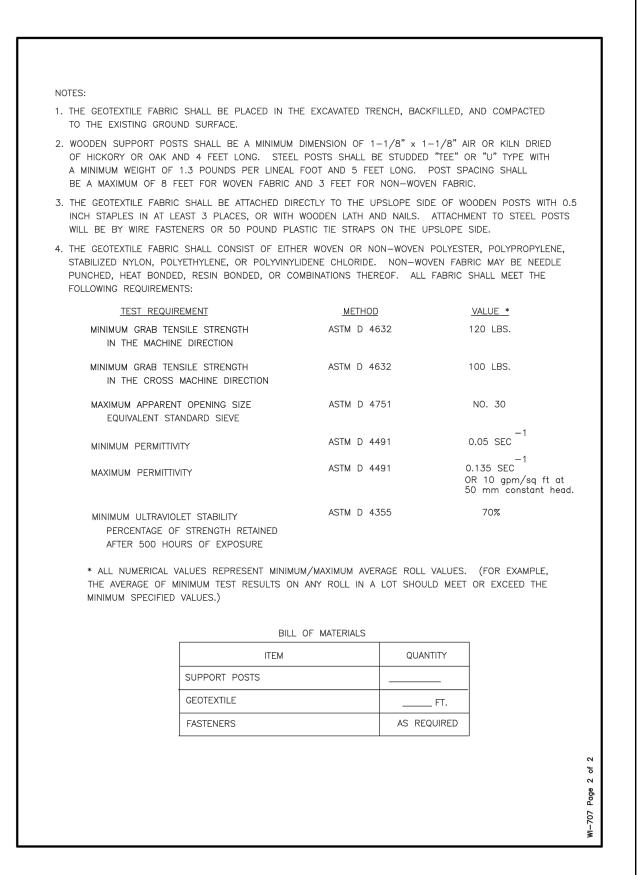


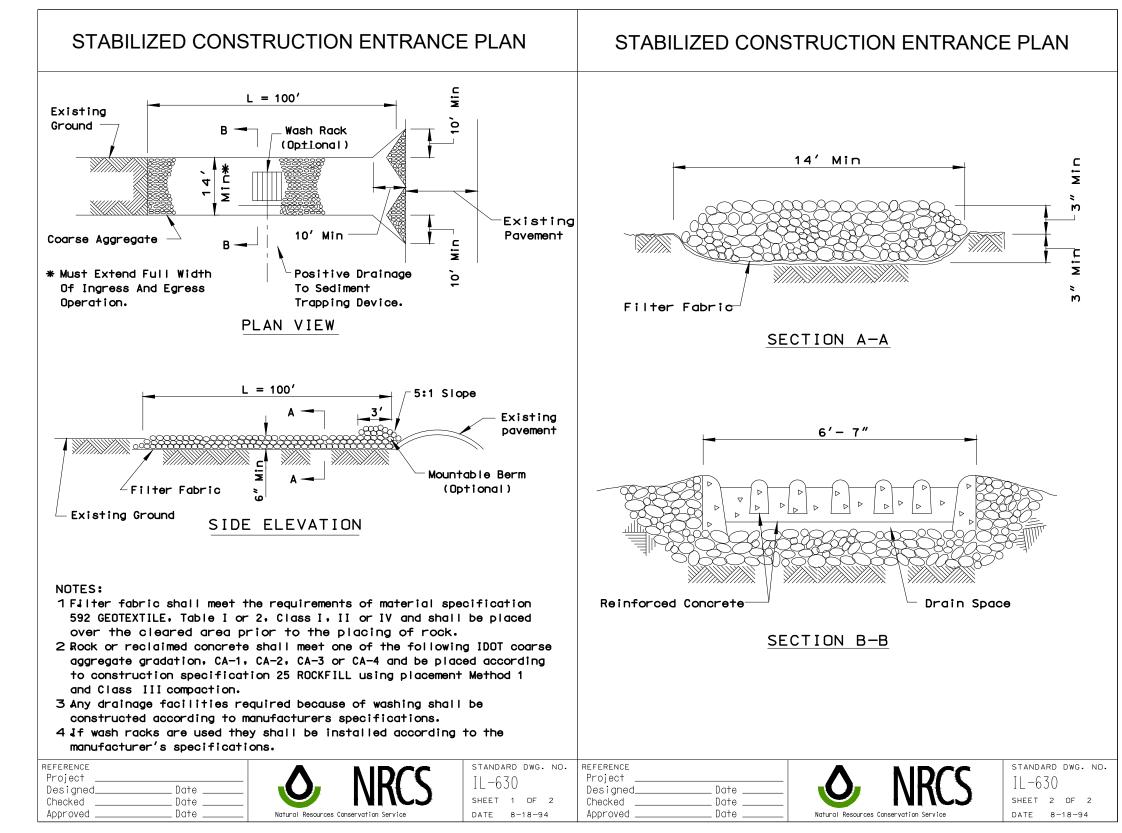


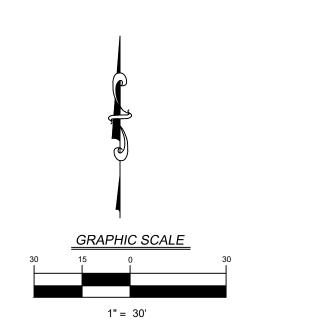














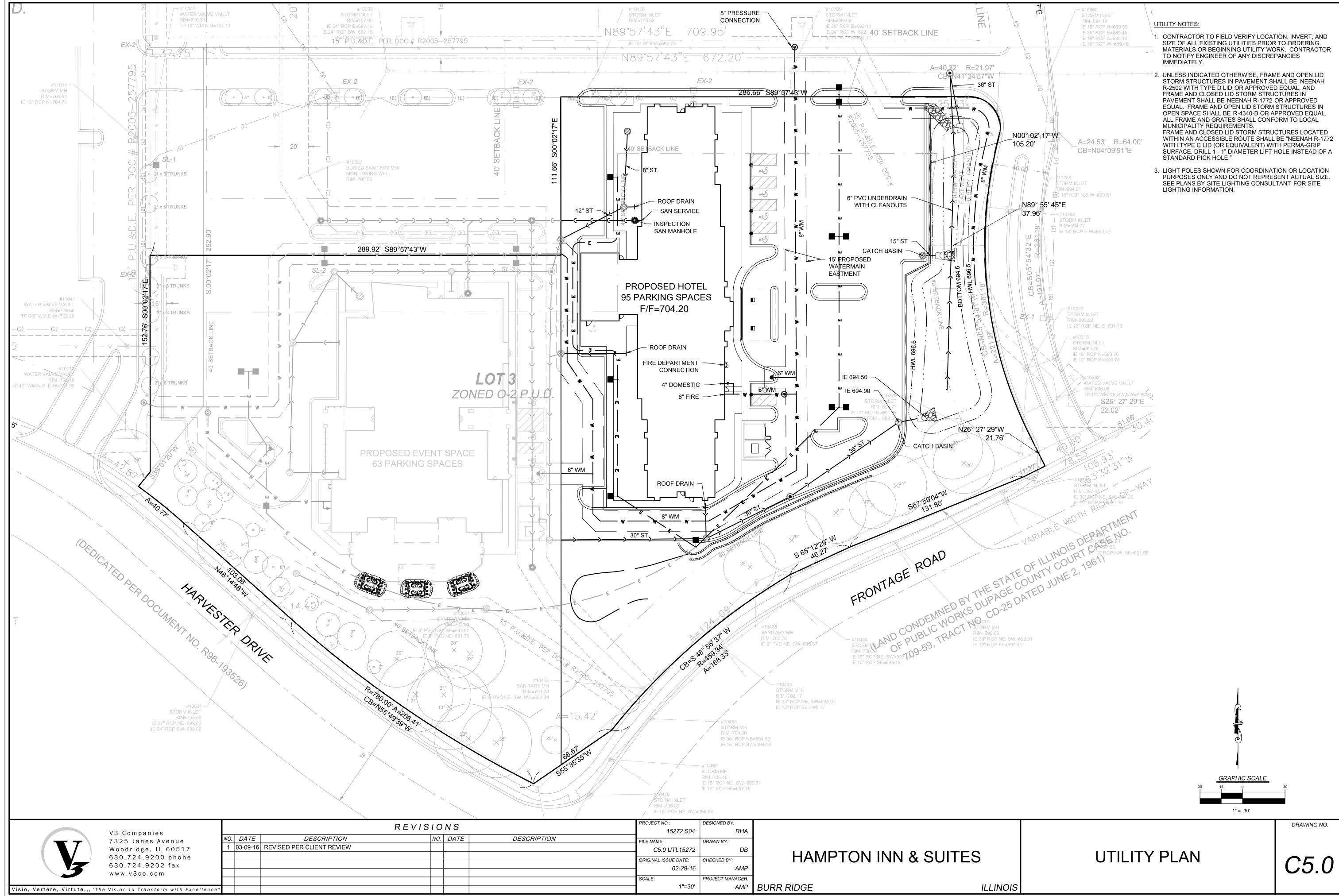
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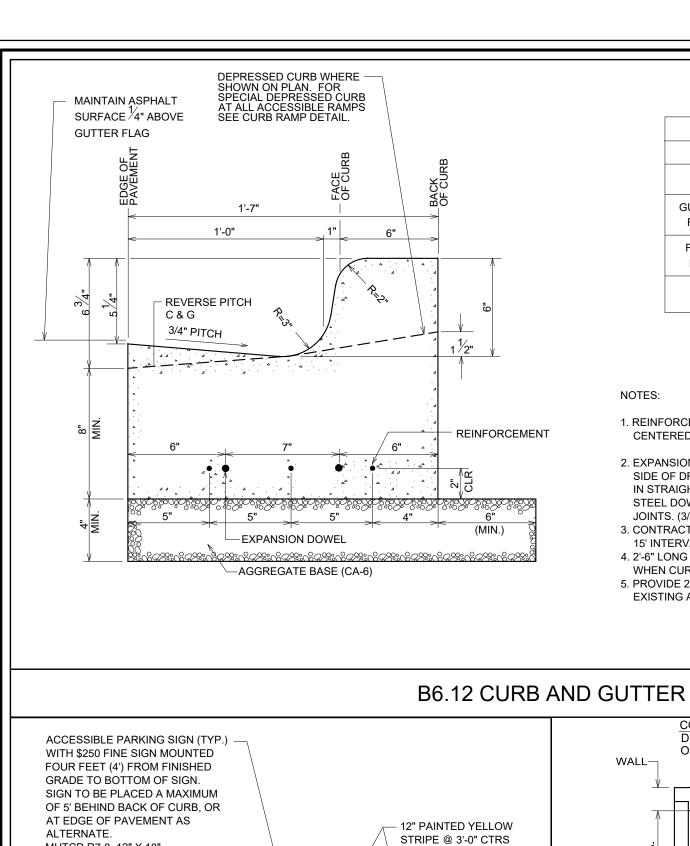
REVISIONS 15272 S04 NO. DATE DESCRIPTION DESCRIPTION ILE NAME: 1 03-09-16 REVISED PER CLIENT REVIEW C4.2 ERO15272 DRIGINAL ISSUE DATE: CHECKED BY: 02-29-16 PROJECT MANAGER: AMP BURR RIDGE Visio, Vertere, Virtute..."The Vision to Transform with Excellence

HAMPTON INN & SUITES

ILLINOIS

EROSION CONTROL DETAILS





	RELATIVE ELEVATIONS	S
	STANDARD PITCH	REVERSE PITCH
E/P	0.00	0.00
GUTTER	-1/4"	+1/4"
FLAG	(-0.021)	(+0.021)
FLOW	-1"	+1"
LINE	(-0.083)	(+0.083)
T/C	+5"	+7"
1/C	(+0.417)	(+0.583)

NOTES:

- 1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
- 2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL). 3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT
- 15' INTERVALS. 4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
- 5. PROVIDE 2 NO. 6x2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.

JOINT SEALANT HOLD DOWN 0.125" $\frac{1}{8}$ " TOOLED JOINT (MIN.) ¹⁄8" R PREMOLDED FILLER 5" 4000 P.S.I. AIR ENTRAINED CONCRETE (TYPICAL) 4" AGGREGATE BASE (CA-6) (TYPICAL)

CONTRACTION JOINT DETAIL

EXPANSION JOINT DETAIL

EDGE OF CONCRETE

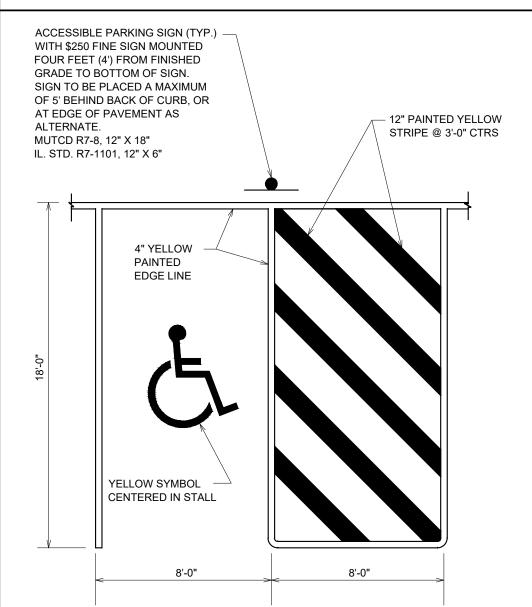
UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE 5'-0" O.C. AND EXPANSION JOINTS TO BE 40'-0" O.C. MAX., OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE.



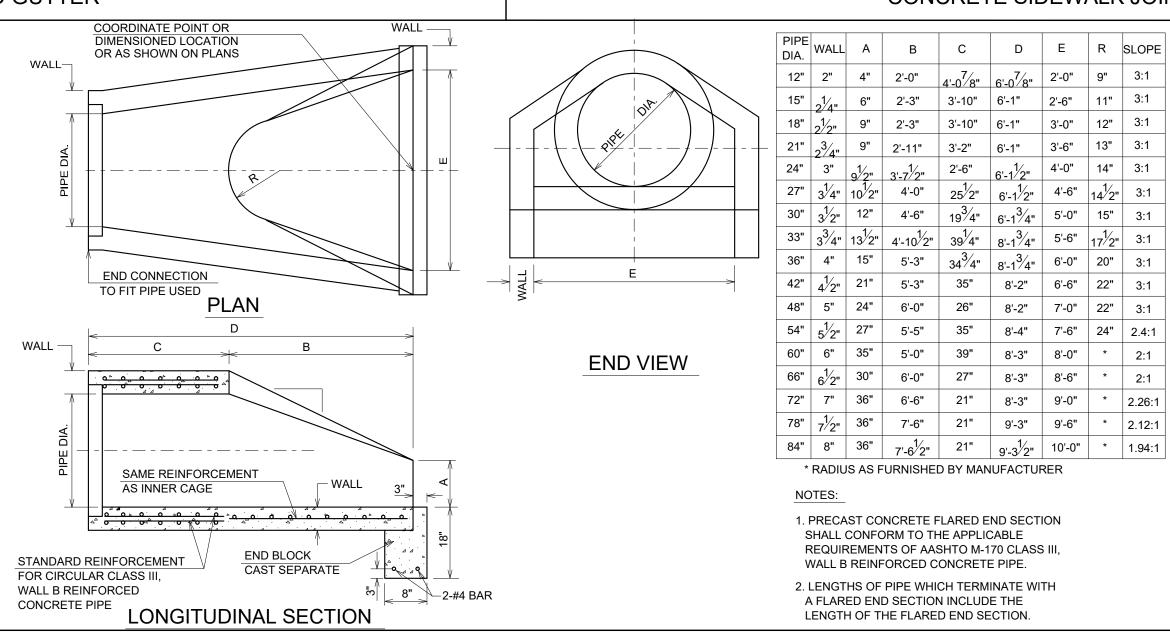
ACCESSIBLE PARKING SIGN WITH \$250 FINE SIGN MUTCD R7-8, 12"x18" IL. STD. R7-1101, 12"x6"

CONCRETE SIDEWALK JOINTS

ACCESSIBLE PARKING SIGN



ACCESSIBLE PARKING STALL DETAIL

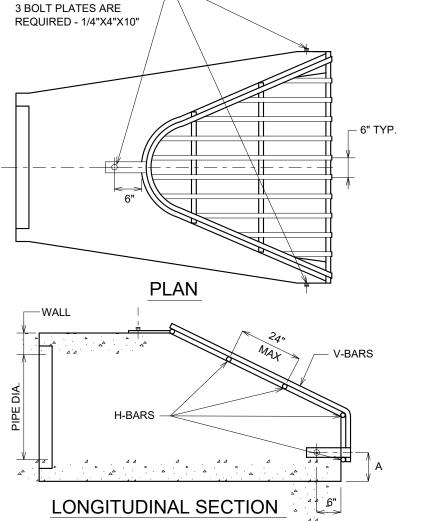


DIA.								
12"	2"	4"	2'-0"	⁷ / _{8"}	6'-0 ⁷ /8"	2'-0"	9"	3:1
15"	21/4"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	3:1
18"	21/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	3:1
21"	23/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	13"	3:1
24"	3"	9/2"	3'-7 [/] 2"	2'-6"	6'-1 ¹ /2"	4'-0"	14"	3:1
27"	3 4"	10 2"	4'-0"	25 2"	6'-1 ¹ /2"	4'-6"	14 2"	3:1
30"	3 / 2"	12"	4'-6"	19 ³ ⁄4"	6'-1 ³ /4"	5'-0"	15"	3:1
33"	3 ³ /4"	13 2"	4'-10 ¹ /2"	39 4"	8'-1 ³ /4"	5'-6"	17 / 2"	3:1
36"	4"	15"	5'-3"	34 3/4"	8'-1 ³ /4"	6'-0"	20"	3:1
42"	4 / 2"	21"	5'-3"	35"	8'-2"	6'-6"	22"	3:1
48"	5"	24"	6'-0"	26"	8'-2"	7'-0"	22"	3:1
54"	5 / 2"	27"	5'-5"	35"	8'-4"	7'-6"	24"	2.4:1
60"	6"	35"	5'-0"	39"	8'-3"	8'-0"	*	2:1
66"	6 / 2"	30"	6'-0"	27"	8'-3"	8'-6"	*	2:1
72"	7"	36"	6'-6"	21"	8'-3"	9'-0"	*	2.26:1
78"	71/2"	36"	7'-6"	21"	9'-3"	9'-6"	*	2.12:1
84"	8"	36"	7'-6 ¹ /2"	21"	9'-3 ¹ /2"	10'-0"	*	1.94:1

PRECAST REINFORCED CONCRETE FLARED END SECTION

- 1. PRECAST CONCRETE FLARED END SECTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS III, WALL B REINFORCED CONCRETE PIPE.
- 2. LENGTHS OF PIPE WHICH TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.

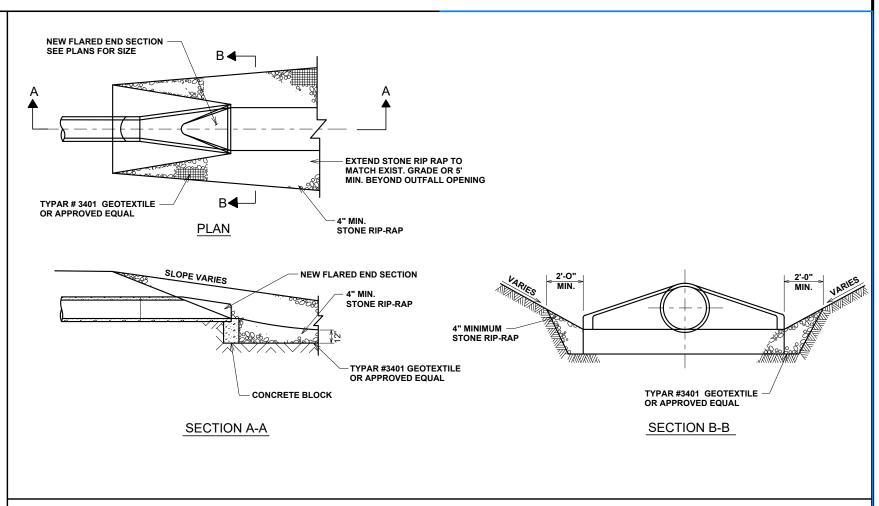
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ION.	مم	



	APRON	V-BAR	H-BAR	NO. OF	BOLT	"A"
	SIZE	SIZE	SIZE	H-BARS	DIA	DIM
		INCHES		REQ'D	INCHE	ES
	12	½ DIA	⁵ ⁄ _{8 DIA}	3	1/2	4
	15	½ DIA	⁵ ⁄ _{8 DIA}	3	1/2	4 1/2
	18	½ DIA	⁵ / _{8 DIA}	4	1/2	4 1/2
	21	½ DIA	⁵ ⁄ _{8 DIA}	4	1/2	5
	24	5/8 DIA	3/ _{4 DIA}	4	1/2	5
APRONS	27	⁵ / _{8 DIA}	3/ _{4 DIA}	4	1/2	51/2
APR	30	⁵ / _{8 DIA}	3/ _{4 DIA}	4	1/2	5 / 2
PIPE	36	3/4 DIA	1 DIA	4	3/4	8
░	42	3/ _{4 DIA}	1 DIA	4	3/4	8
ROUND	48	3/4 DIA	1 DIA	5	3/4	8
ROL	54	3/4 DIA	1 ¹ /2PIPE	5	3/4	8
	60	3/4 DIA	1 ¹ /2PIPE	5	3/4	8
	66	3/ _{4 DIA}	1 ¹ /2PIPE	6	3/4	8
	72	3/ _{4 DIA}	1 ¹ /2PIPE	6	3/4	9
	84	3/ _{4 DIA}	1 ¹ /2PIPE	7	3/4	10
	90	3/ _{4 DIA}	1 ¹ / _{2PIPE}	7	3/4	14
NOTE	ES:					

- 1. BARS AND PLATES ARE HOT-ROLLED STEEL. 2. BARS, PLATES AND PIPE ARE FINISHED
- WITH 2 COATS OF ALUMINUM PAINT.
- 3. BOLTS ARE GALVANIZED.

GRATE FOR FLARED END SECTION



EROSION CONTROL FOR FLARED END SECTION DETAIL

V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com

REVISIONS 15272 S04 NO. DATE DESCRIPTION NO. DATE DESCRIPTION FILE NAME: 1 03-09-16 REVISED PER CLIENT REVIEW C6.0 DET15272.DWG ORIGINAL ISSUE DATE: CHECKED BY: 02-29-16 PROJECT MANAGER: AMP BURR RIDGE N.T.S. Visio, Vertere, Virtute... "The Vision to Transform with Excellence

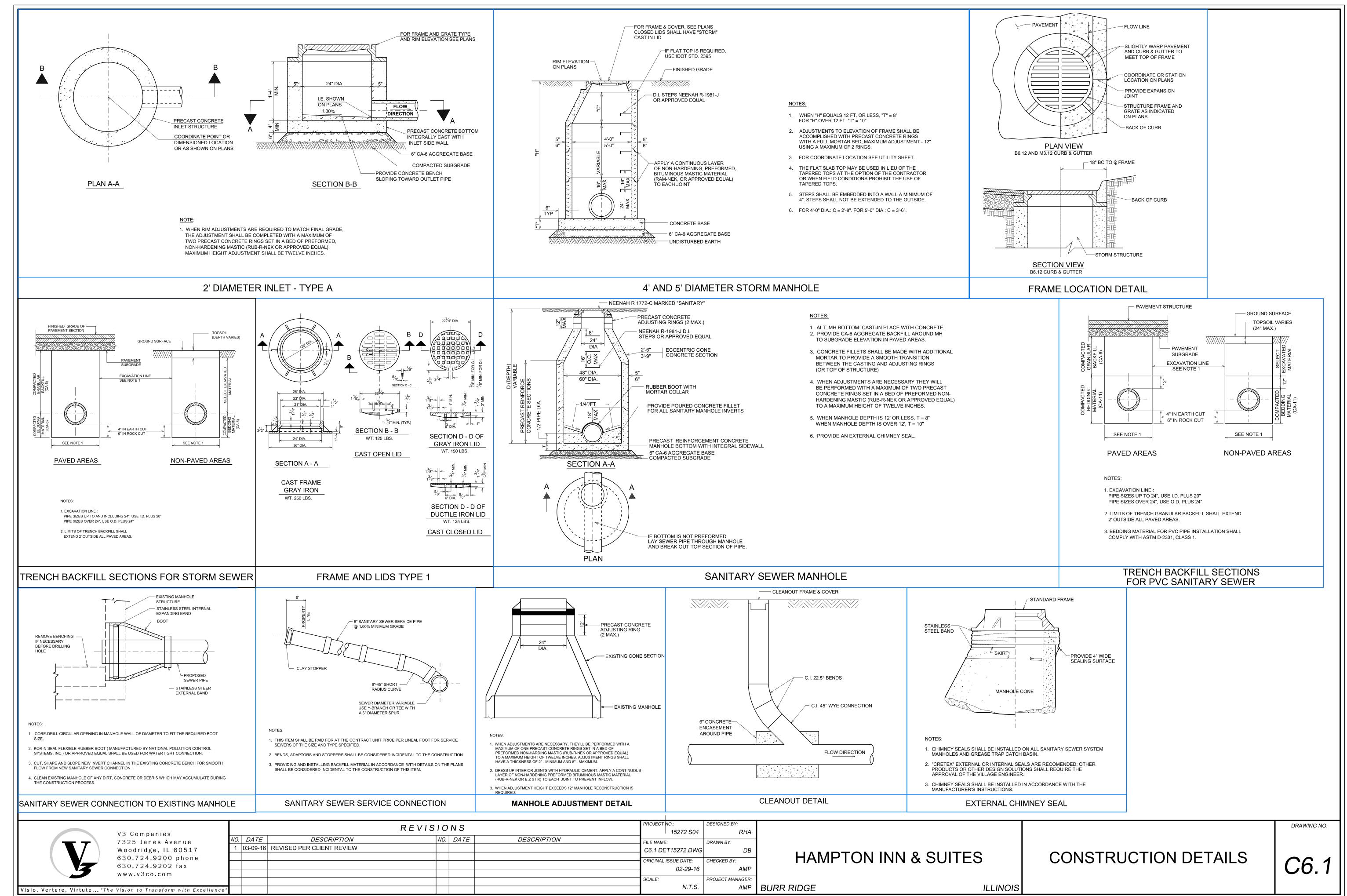
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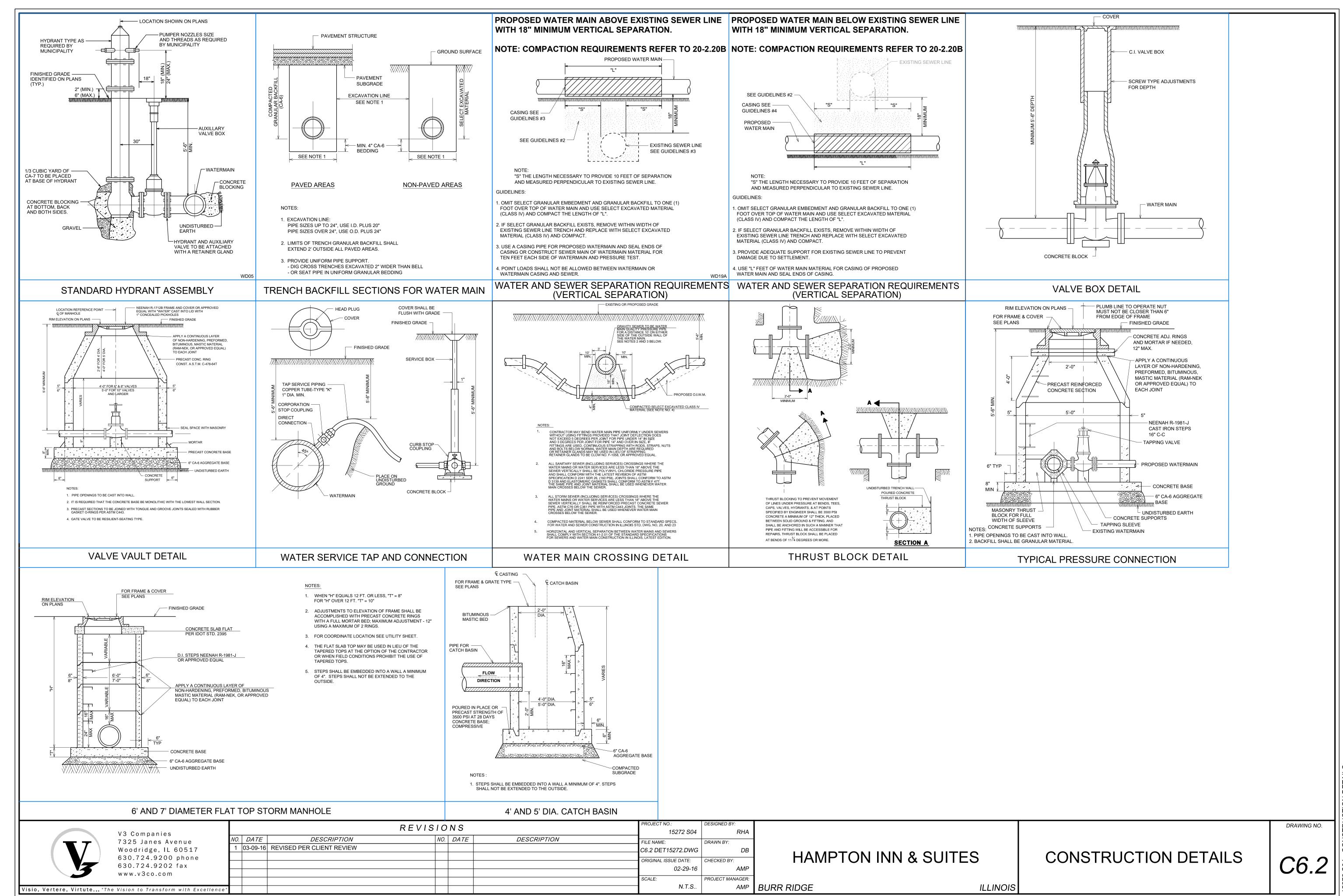
ILLINOIS

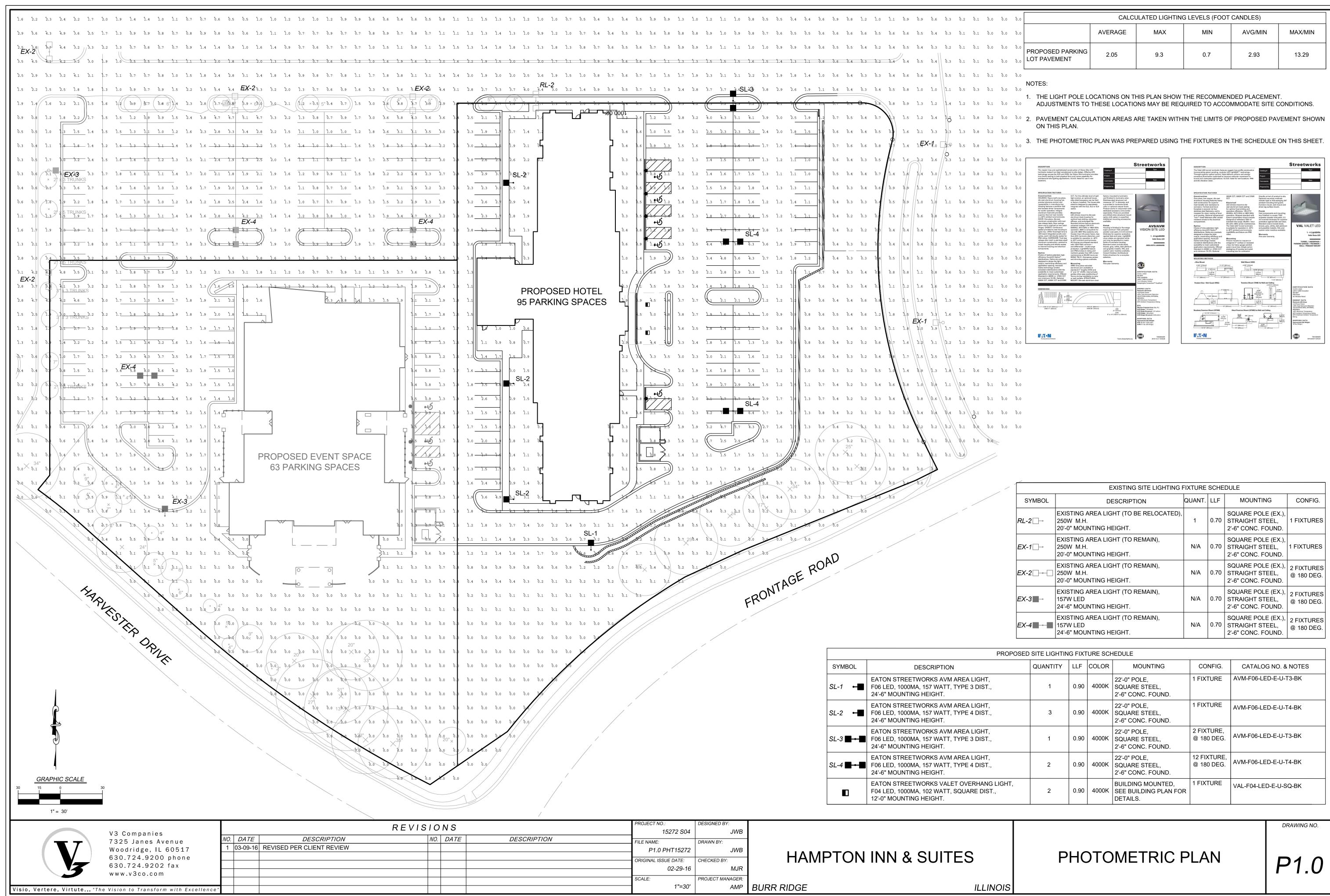
CONSTRUCTION DETAILS

DRAWING NO.

C6.0







FOR

THE FALLS EVENT CENTER

BURR RIDGE, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

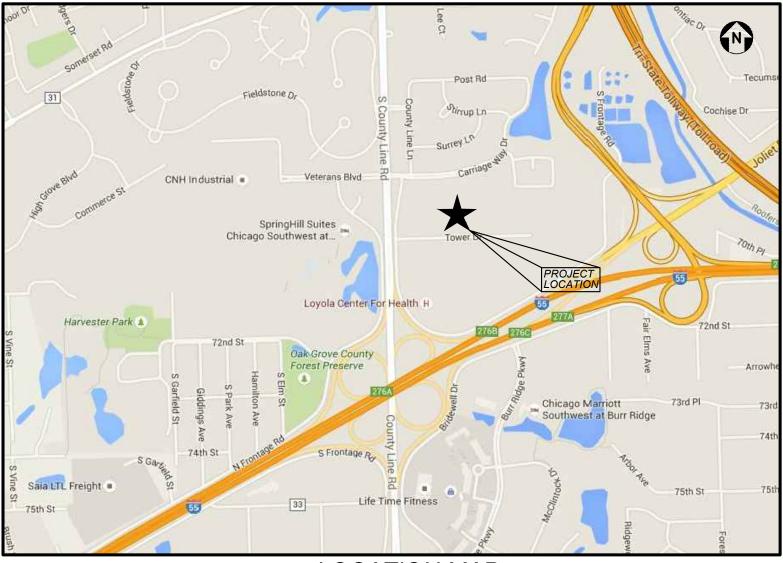
Pearlshire Capital Group 1701 East Woodfield Road, Suite 327 Schaumburg, Illinois 60173 847 361 7362 Contact: Rehan Zaid

ENGINEER

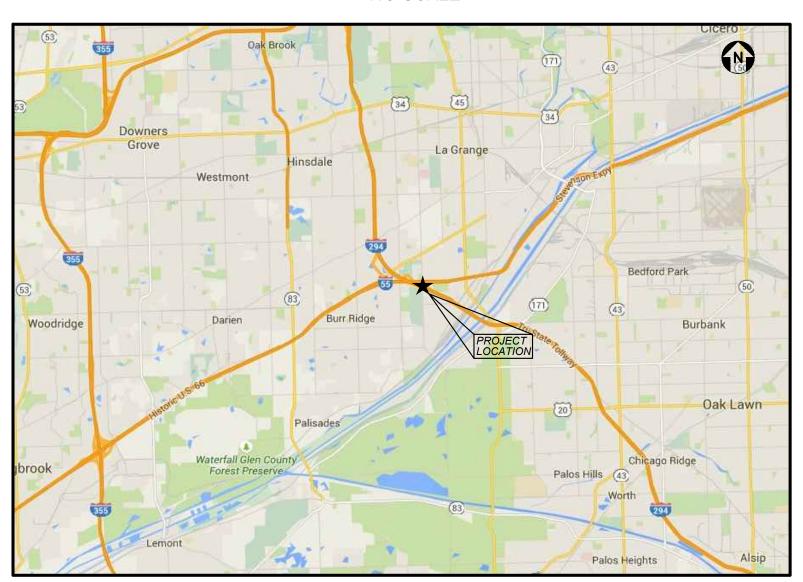
V3 Companies of Illinois, Ltd. 7325 Janes Avenue Woodridge, Illinois 60517 630 724 9200 Project Manager: Amit Pathak, P.E., LEED AB+C Project Engineer: Randy Andersen, P.E.

ARCHITECT

Maust Architectural Service 112 North Main Street Gosher, Indiana 46256 574 537 8500 Contact: Michael Maust



LOCATION MAP NO SCALE



VICINITY MAP NO SCALE

SHEETS REVISED

INDEX OF DRAWINGS

- C0.0 TITLE SHEET
- C1.0 GENERAL NOTES , LEGEND, AND ABBREVIATIONS
- C2.0 EXISTING CONDITIONS PLAN
- C2.1 **DEMOLITION PLAN**
- C3.0 LAYOUT PLAN
- C4.0 GRADING PLAN
- C4.1 EROSION CONTROL PLAN
- C4.2 EROSION CONTROL DETAILS
- C5.0 UTILITY PLAN
- C5.1 SANITARY PROFILES
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS
- C6.2 CONSTRUCTION DETAILS
- P1.0 PHOTOMETRIC PLAN

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Locating Information Excavators

48 hours before you dig

REVISIONS DESCRIPTION 03-09-16 REVISED PER CLIENT REVIEW

ORIGINAL ISSUE DATE: FEBUARY 29, 2016

BENCHMARKS REV. BY DUPAGE COUNTY BENCHMARK GN26002 BRONZE DISK STAMPED "DUPAGE COUNTY MAPS AND PLATS" ESTABLISHED VERTICALLY IN CONCRETE BRIDGE PIER WEST SIDE OF MADISON STREET UNDER I-55, EAST FACE OF SECOND PIER FROM SOUTH END, 2.36 FEET ABOVE CONCRETE BASE, ELEV. =714.82 (NAVD29) NORTHWEST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF AMERISUITES. EAST FLANGE BOLT OF FIRE HYDRANT LOCATED EAST SIDE OF EASTERLY DRIVEWAY TO SITE ± 50' NORTHERLY OF FRONTAGE ROAD

NORTHERLY BOLT IN BASE OF LIGHT STANDARD LOCATED NORTHEASTERLY OF HARVESTER DRIVE ± 145' NORTHERLY OF FRONTAGE ROAD

TO MATCH DUPAGE COUNTY DATUM, SUBTRACT 0.37 FEET (-0.37') BASED UPON THE BENCHMARK

BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. DATED THIS _____DAY OF_

ILLINOIS LICENSED PROFESSIONAL ENGINEER

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

MY LICENSE EXPIRES ON NOVEMBER 30. 2017

PROFESSIONAL ENGINEER'S CERTIFICATION

AMIT PATHAK, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY

THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF PEARLSHIRE CAPITAL GROUP

DRAWING NO.

V3 COMPANIES OF ILLINOIS LTD. 7325 JANES AVENUE WOODRIDGE, IL 60517

COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

- 2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
- CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- 4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- 5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING. SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- EXCEPT WHERE MODIFIED BY THE CONTRAC DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART
- a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
- b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
- c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA. LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF BURR RIDGE.
- e. THE NATIONAL ELECTRIC CODE.
- f. THE ILLINOIS ACCESSIBILITY CODE.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.

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- 10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- 11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOII WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- 12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROP ERTY IN ACCORDANCE WITH THE VILLAGE OF BURR RIDGE MUNICIPAL CODES AND IDOT REQUIREMENTS.
- 13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A
- 14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
- 16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- 17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
- 18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- 21. ALL CURB RADII REFER TO BACK OF CURB.
- 22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
- 23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE VILLAGE OF AURORA, OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP
- 24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
- 25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
- 26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
- 27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISITNG PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- 28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE

- REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- 29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
- 31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
- 33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE VILLAGE OF AURORA AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
- 34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- 38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
- 39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6' POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
- 40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
- 41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- 42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- 43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

IEPA NOTES:

- 1. HORIZONTAL SEPARATION a. WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION b. WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER
-) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 2) THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE
- CROWN OF THE SEWER; AND THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF
- c. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE. PRESTRESSED CONCRETE PIPE. OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- a. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS. SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT
- FROM THE SEWER OR DRAIN. b. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN: IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL
- SEPARATION AS DESCRIBED IN 9A) ABOVE: OR THE WATERMAIN PASSES UNDER A SEWER DRAIN. c. Á VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
- d. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

ABBREVIATIONS

LEGEND

EXISTING

x 706.00

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<u> </u>	GEND	ADDILL	VIATION	_
	PROPOSED	DESCRIPTION	Α	ARC LENGTH
		RIGHT-OF-WAY LINE	B-B B/C	BACK TO BACK OF CURB BACK OF CURB
		PROPERTY LINE (EXTERIOR)	BLDG	BUILDING
		LOT LINE (INTERIOR)	BM	BENCHMARK
		EASEMENT LINE	B/P BV/VV	BOTTOM OF PIPE BUTTERFLY VALVE IN VALVE VAULT
<u> </u>	xx	FENCE LINE	C & G	CURB AND GUTTER
		CENTERLINE	СВ	CATCH BASIN
		PROPERTY CORNER	Q.	CENTERLINE
			CL CO	CLOSED LID CLEAN OUT
	 710 	CONTOUR	DIP	DUCTILE IRON PIPE
		CURB & GUTTER	DIA	DIAMETER
		DEPRESSED CURB & GUTTER	DIWM	DUCTILE IRON WATER MAIN
		REVERSE PITCHED CURB	DWG E	DRAWING EAST OR ELECTRIC OR EDGE
	× 706.0	SPOT ELEVATION	EJ	EXPANSION JOINT
	<u>782.62</u> 782.12	TOP OF CURB ELEVATION EDGE OF PAVEMENT ELEVATION	ELEV	ELEVATION
ı	702.72	UTILITY STUB	E/P	EDGE OF PAVEMENT
			EX. F & CL	EXISTING FRAME & CLOSED LID
		SANITARY SEWER	F & G	FRAME & GRATE
_)		SANITARY FORCE MAIN	F & OL	FRAME & OPEN LID
->-	->	STORM SEWER	FES F-F	FLARED END SECTION FACE TO FACE OF CURB
	——— W ———	WATER MAIN	r-r FF	FINISHED FLOOR
	G	GAS MAIN	F/G	FINISHED GRADE
	—— T/F	UNDERGROUND TELEPHONE	FH	FIRE HYDRANT
	—— T/E ——	& ELECTRIC DUCT BANK	F/L	FLOW LINE
	—— E ——	BURIED CABLE-ELECTRIC	G GV/VB	GAS LINE GATE VALVE IN VALVE BOX
	—	BURIED CABLE-TELEPHONE	GV/VV	GATE VALVE IN VALVE VAULT
		UTILITY STRUCTURE WITH CLOSED LID	HDCP	HANDICAP
		CURB INLET	HDPE	HIGH DENSITY POLYETHYLENE PIPE
		DRAINAGE STRUCTURE WITH OPEN LID	HDW HOR	HEADWALL HORIZONTAL
	*	FIRE HYDRANT	HP	HIGH POINT
	■	VALVE IN VALVE BOX	HWL	HIGH WATER LEVEL
	®		IE IN	INVERT ELEVATION
	•	GATE VALVE IN VALVE VAULT	IN LF	INLET LINEAL FEET
	+	POST INDICATOR VALVE	LP	LOW POINT OR LIGHT POLE
, 1 1		THRUST BLOCK	L	LEFT
	(.)	TREE	ME MH	MATCH EXISTING MANHOLE
		TREE LINE	MW	MONITORING WELL
		CONCRETE HEADWALL	N	NORTH
)——	SUBMERGED HEADWALL	NIC	NOT IN CONTRACT / NOT INCLUDED
		FLARED END SECTION (F.E.S.)	NWL	NORMAL WATER LEVEL
	─	GUY WIRES	OC OL	ON CENTER OPEN LID
	4	FLOOD LIGHT	PC	POINT OF CURVATURE
		UTILITY POLE	PCC	PORTLAND CEMENT CONCRETE
0-		LIGHT STANDARD	DCI	OR POINT OF COMPOUND CURVE
о <u>П</u>	, ,		PGL PI	PROFILE GRADE LINE POINT OF INTERSECTION
	->	TRAFFIC SIGNAL POLE	PL	PROPERTY LINE
		HAND HOLE	PP	POWER POLE
		SOIL BORING	PRC	POINT OF TANCENCY
	lack	IRRIGATION HEADS	PT PUE	POINT OF TANGENCY PUBLIC UTILITY EASEMENT
	•	SIGN	PVC	POINT OF VERTICAL CURVATURE
	\bigcirc	TELEPHONE MANHOLE		OR POLYVINYL CHLORIDE PIPE
	M	MONITORING WELL	PVI PVT	POINT OF VERTICAL INTERSECTION POINT OF VERTICAL TANGENCY
	■⊤	TELEPHONE PEDESTAL	PVI R	RADIUS OR RIGHT
	TP	TRANSFORMER PAD	RCP	REINFORCED CONCRETE PIPE
	///	UTILITY TO BE ABANDONED	ROW	RIGHT OF WAY
	XXXX	FEATURE TO BE REMOVED	S SAN	SLOPE OR SOUTH SANITARY
	// // //		SF	SILTATION FENCE
		STORMWATER FLOW DIRECTION	SFM	SANITARY FORCE MAIN
		STORMWATER OVERFLOW ROUTE	SHT	SHEET
	/-\	DITCH CHECK	SHW	SUBMERGED HEADWALL
	_ }	INLET FILTER BASKET	SMH STA	SANITARY MANHOLE STATION
		RIP RAP	ST	STORM STRUCTURE OR STORM SEWE
	0	BOLLARD	STMH	STORM MANHOLE
	SF	SILT FENCE	T T/C	TANGENT LENGTH OR TELEPHONE
		WATER MAIN PROTECTION	T/C T/P	TOP OF CURB TOP OF PIPE
		TRENCH BACKFILL	T/W	TOP OF WALL
	(C01)	UTILITY CROSSING LABEL	TY	TYPE
			TYP	TYPICAL
		GUARDRAIL	UP VC	UTILITY POLE VERTICAL CURVE
		RAILROAD TRACKS	VERT	VERTICAL CORVE VERTICAL
		RETAINING WALL	VCP	VITRIFIED CLAY PIPE
		REVISION DELINEATION	W	WEST
	CLL	CONSTRUCTION LIMIT LINE	WM	WATER MAIN
	, , , , , , , , , , , , , , , , , , ,			
	ש ט ט 🗆 🗖	TREE PROTECTION FENCE		



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REVISIONS DESCRIPTION NO. DATE DESCRIPTION IO. DATE 1 03-09-16 REVISED PER CLIENT REVIEW

15272.01 S04 DRAWN BY: C1.0 GAL 15272.01.DWG CHECKED BY: 02-29-16 PROJECT MANAGER: BURR RIDGE

ILE NAME:

SCALE:

ORIGINAL ISSUE DATE:

N.T.S.

THE FALLS EVENT CENTER

ILLINOIS

|GENERAL NOTES, LEGEND AND| **ABBREVIATIONS**

DRAWING NO.

C1.0 GAL 15272.01.DWG - 3/09/2016 11:27: AM

EARTHWORK

- 1. THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
- 2. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
- 3. THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
- 4. EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
- 5. ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
- 6. COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.
- 7. THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
- 8. BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

SANITARY SEWER

- 1. SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
- a. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC)
 CONFORMING TO ASTM D2241 WITH AN SDR OF 26
 WITH ELASTOMETRIC GASKET JOINTS CONFORMING
 TO ASTM D3139.
- 2. MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "SEWER".
- 3. ALL SANITARY SEWER SHALL BE TESTED FOR
 ACCEPTANCE IN ACCORDANCE WITH THE STANDARD
 SPECIFICATIONS FOR WATER AND SEWER MAIN
 CONSTRUCTION IN ILLINOIS. CONTRACTOR SHALL
 VERIFY THAT THE TESTING METHODS DESIGNATED
 HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES
 HAVING JURISDICTION OVER THIS PROJECT. IF THE
 LOCAL JURISDICTION HAS MORE STRINGENT TESTING
 REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO
 THE MORE STRINGENT REQUIREMENTS. THE COST
 SHALL BE INCIDENTAL TO THE CONTRACT.

WATERMAIN DISTRIBUTION SYSTEM

- 1. WATER MAIN SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIAL AS SPECIFIED ON THE PLANS:
- a. DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51, AWWA C-151 WITH CEMENT LINING CONFORMING TO ANSI A21.4, AWWA C-104 AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11, AWWA C-111.
- b. POLYVINYL CHLORIDE PIPE, PVC CONFORMING TO ASTM C-900, WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
- c. WATER SERVICE LINES SHALL BE CONSTRUCTED OF CLASS K COPPER.

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- 2. MINIMUM COVER OVER WATER MAIN SHALL BE 5' 6" FROM FINISHED GRADE TO TOP OF PIPE.
- 3. VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".
- 4. THRUST BLOCKING OR RESTRAINED JOINTS SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COST OF SAME SHALL BE INCIDENTAL TO THE UNIT PRICE FOR PIPE INSTALLED.
- 5. WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
- 6. ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.

STORM SEWER

- 1. STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - A. REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH IDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-361, UNLESS OTHERWISE NOTED.
 - B. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.
 - C. HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
 - D. DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- 2. STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM"

IEPA CROSSING REQUIREMENTS

- 1. HORIZONTAL SEPARATION:
- A. WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.
- B. WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
- I. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET:
- II. THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
- III. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- C. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- 2. VERTICAL SEPARATION:
 - A. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL

- BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR
- B. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:
- I. IT IS IMPOSSIBLE TO OBTAIN THE PROPER
 VERTICAL SEPARATION AS DESCRIBED IN 9A)
 ABOVE: OR
- II. THE WATERMAIN PASSES UNDER A SEWER DRAIN.
- C. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
- D. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

<u>PAVING</u>

- BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- 2. SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- 3. CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO IDOT STANDARD SPECIFICATIONS.
- 4. SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
- 5. AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- 6. PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.
- 7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND ½ INCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.
- 8. TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
- 9. ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

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THE FALLS EVENT CENTER SE

SPECIFICATIONS

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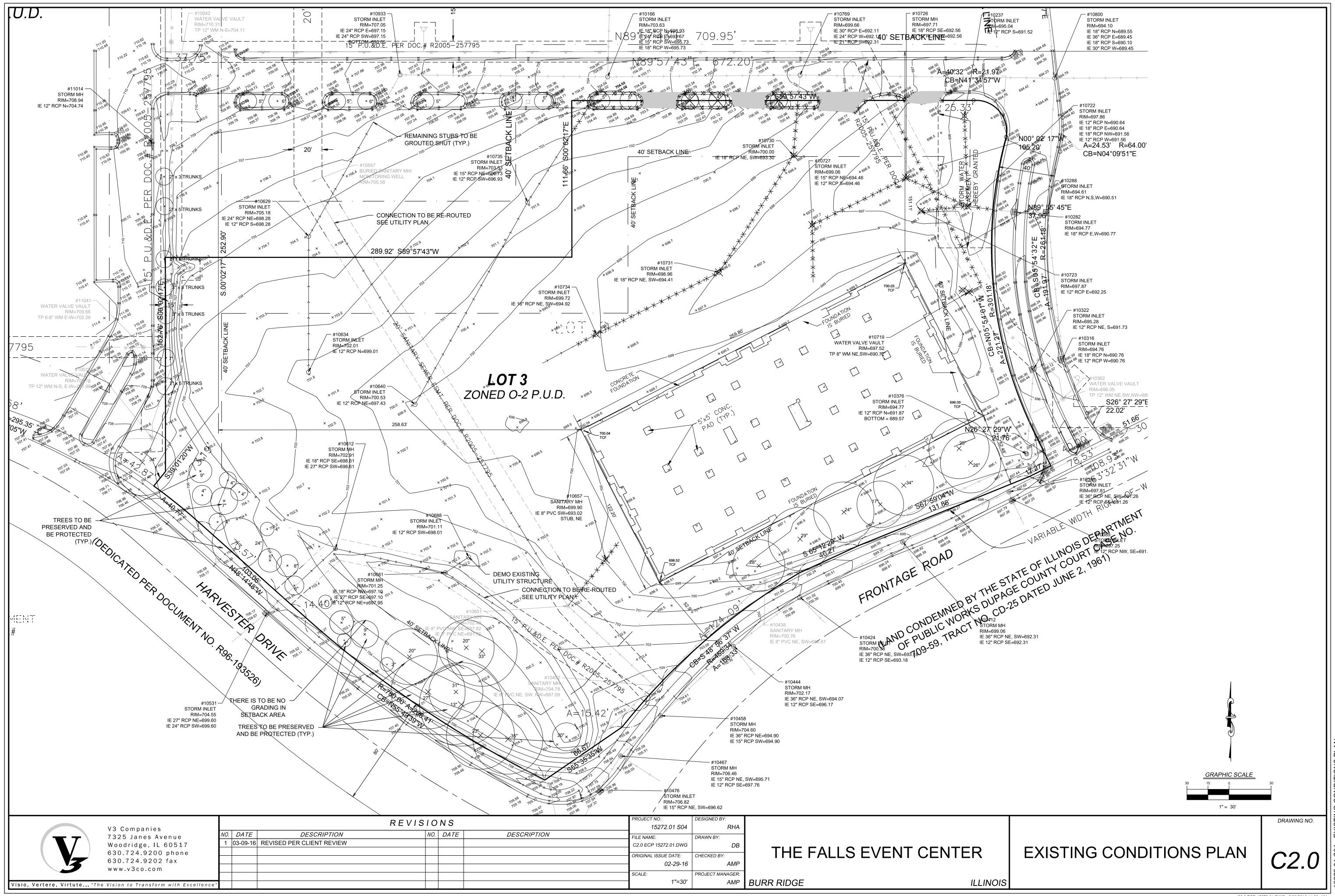
NAGER:
AMP BURR RIDGE

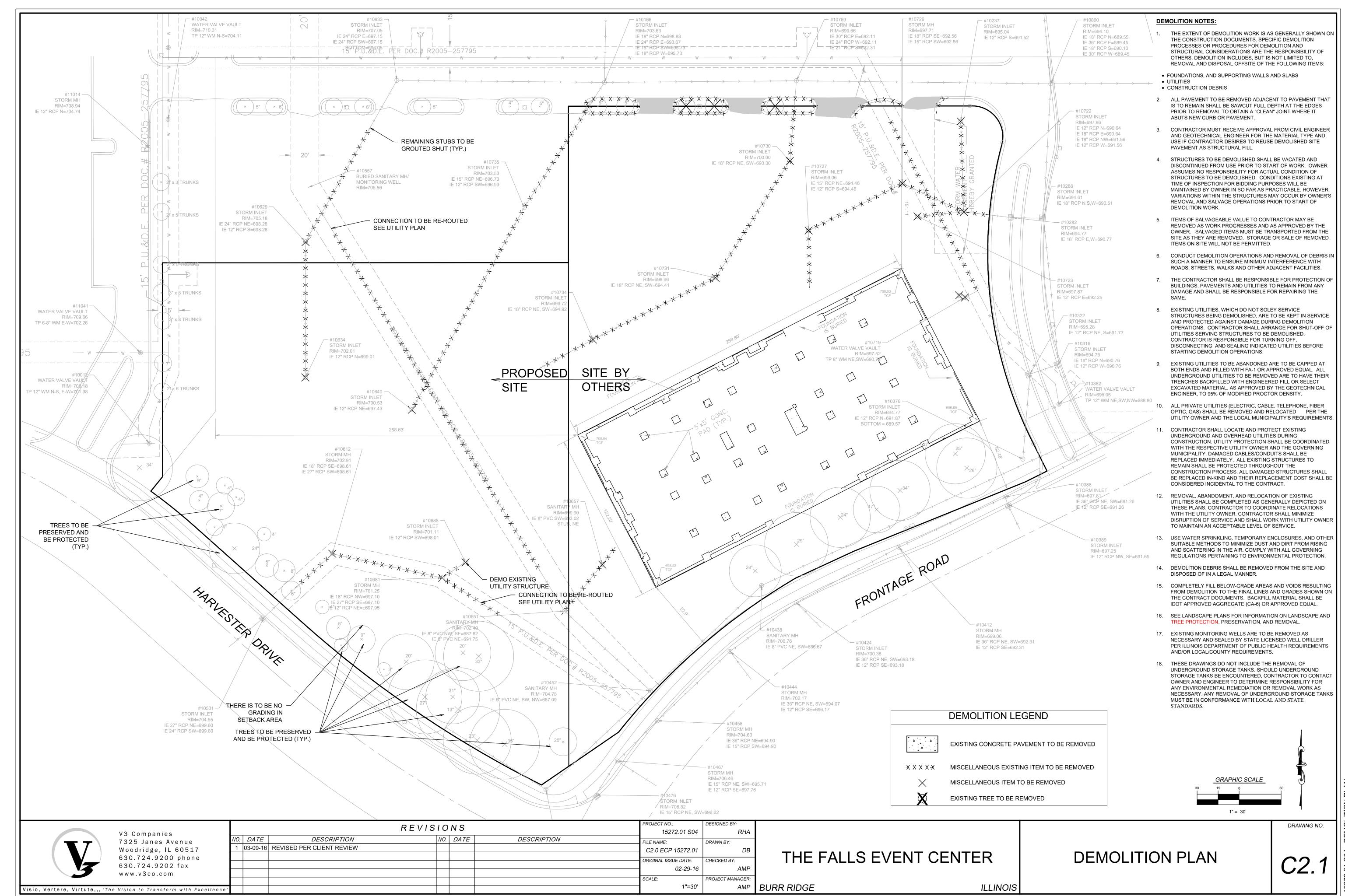
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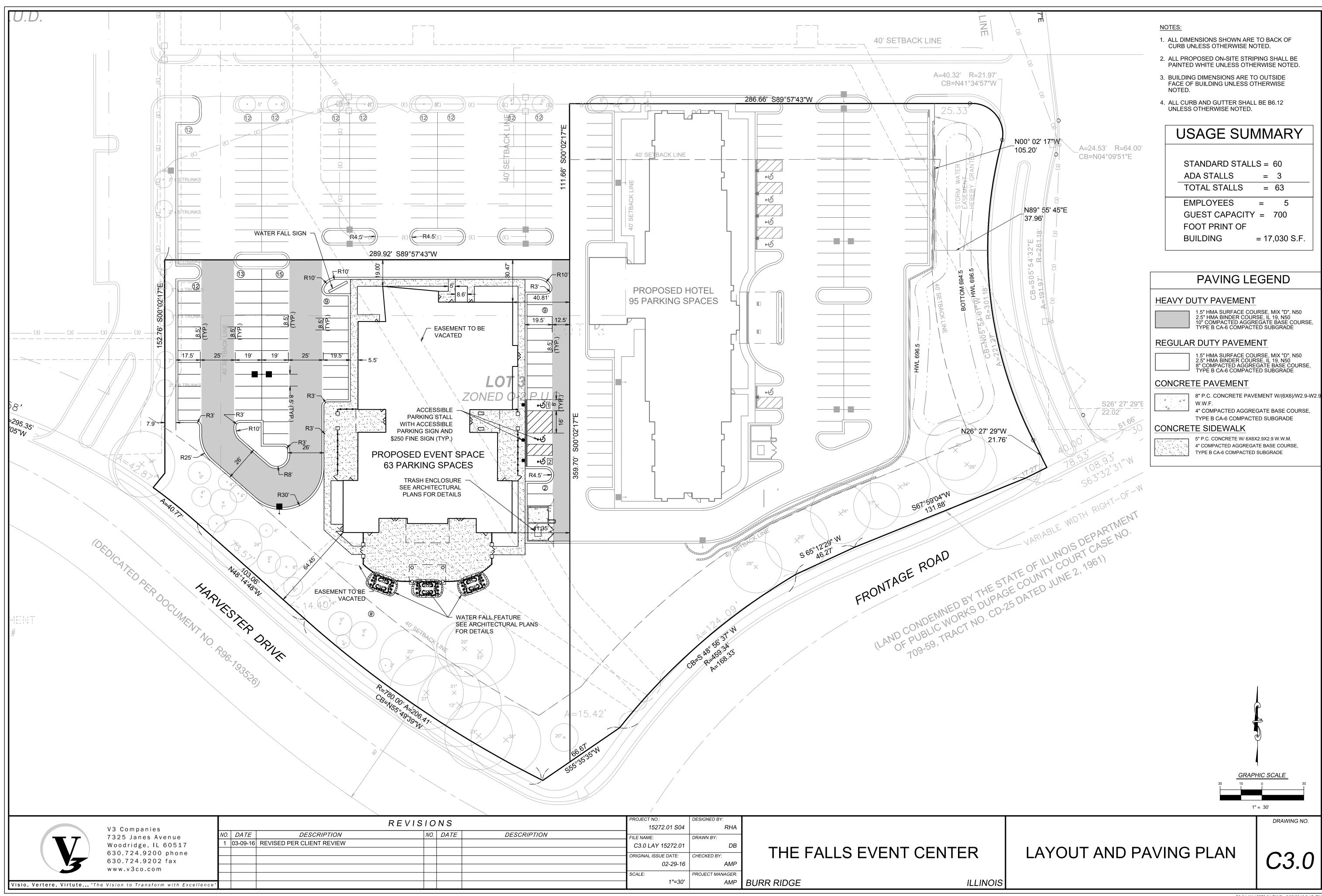
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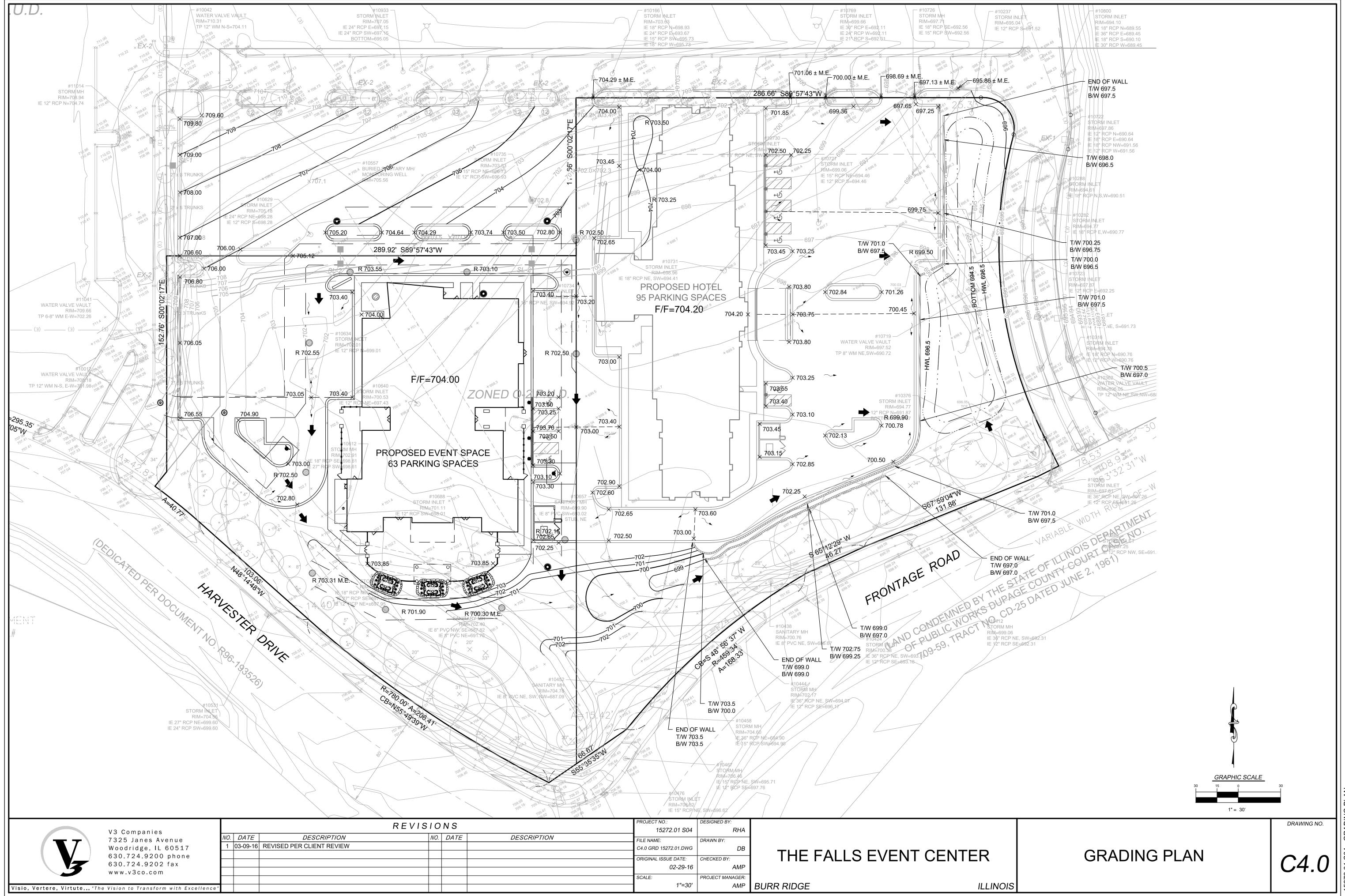
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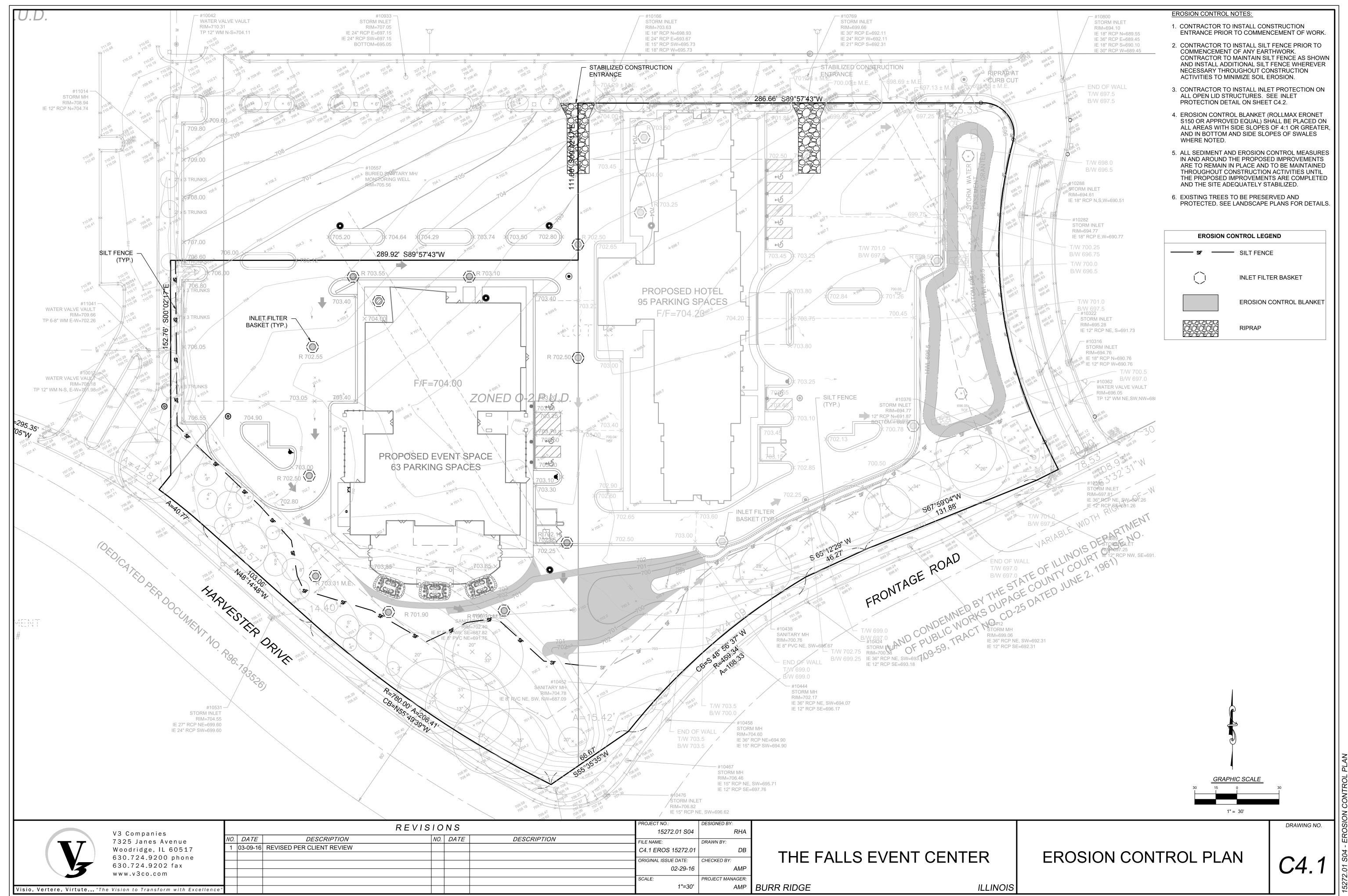
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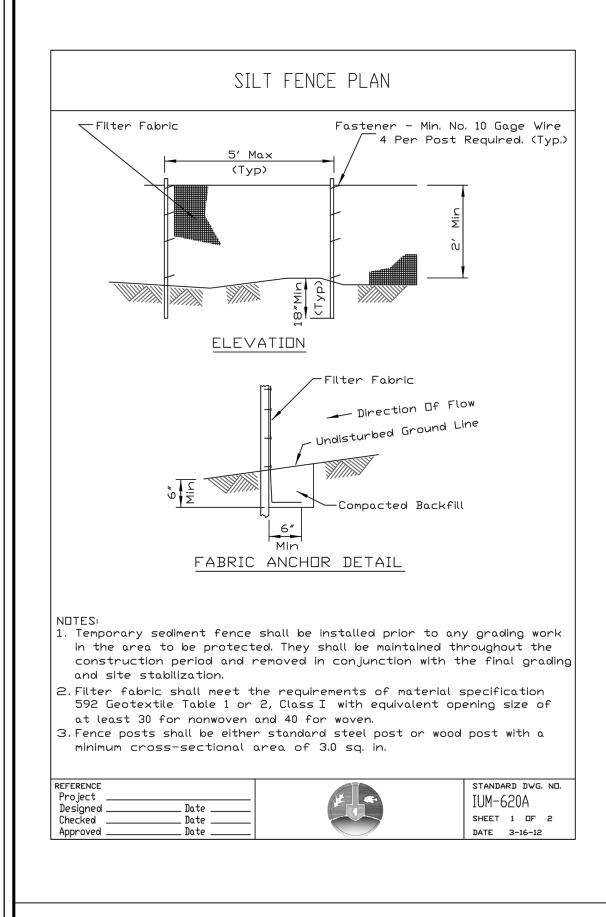


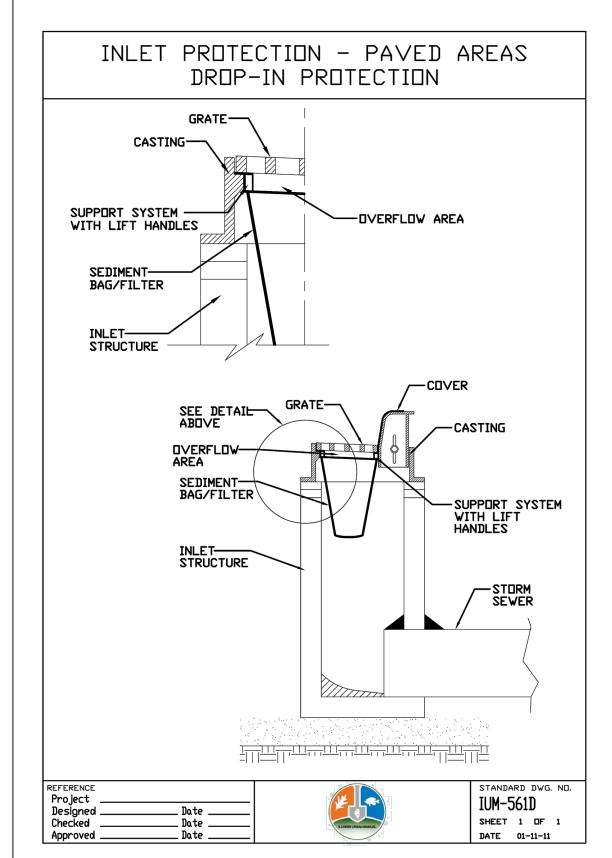


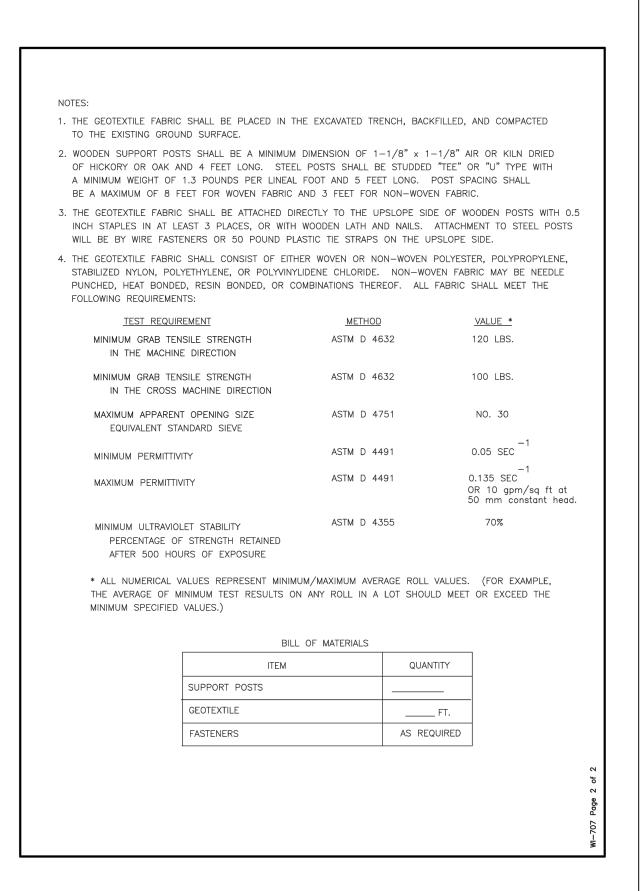


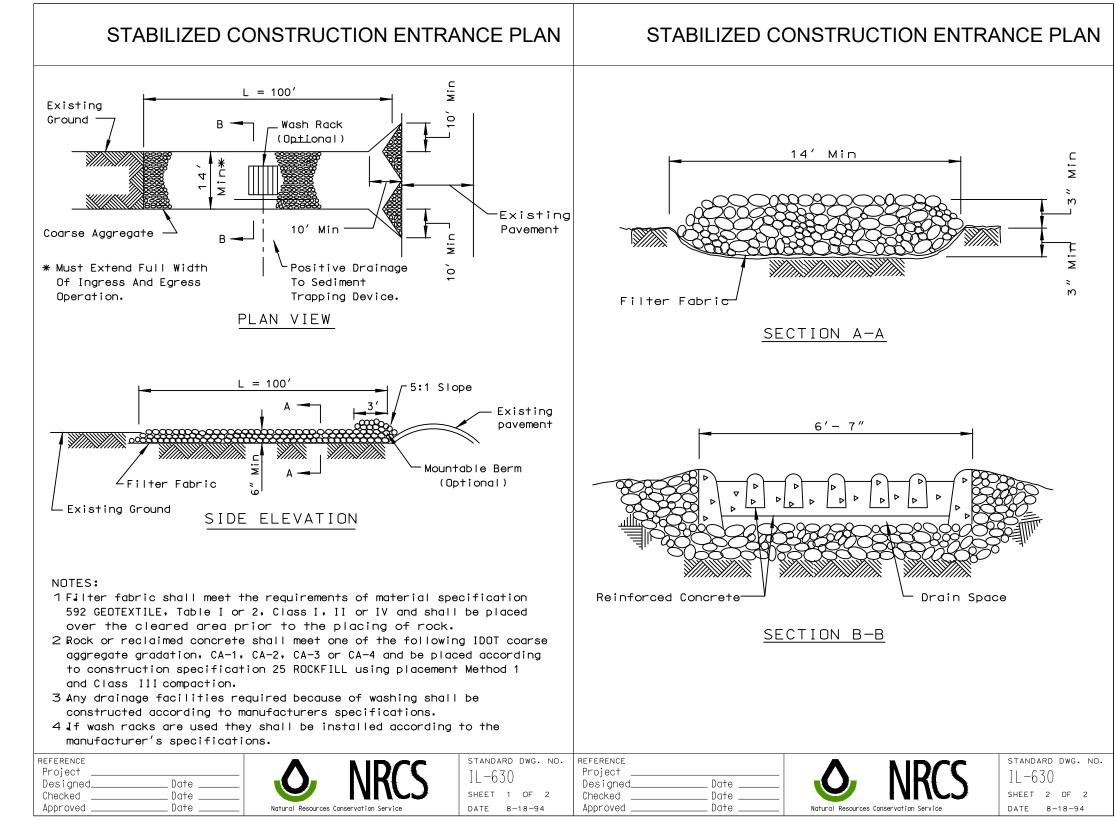














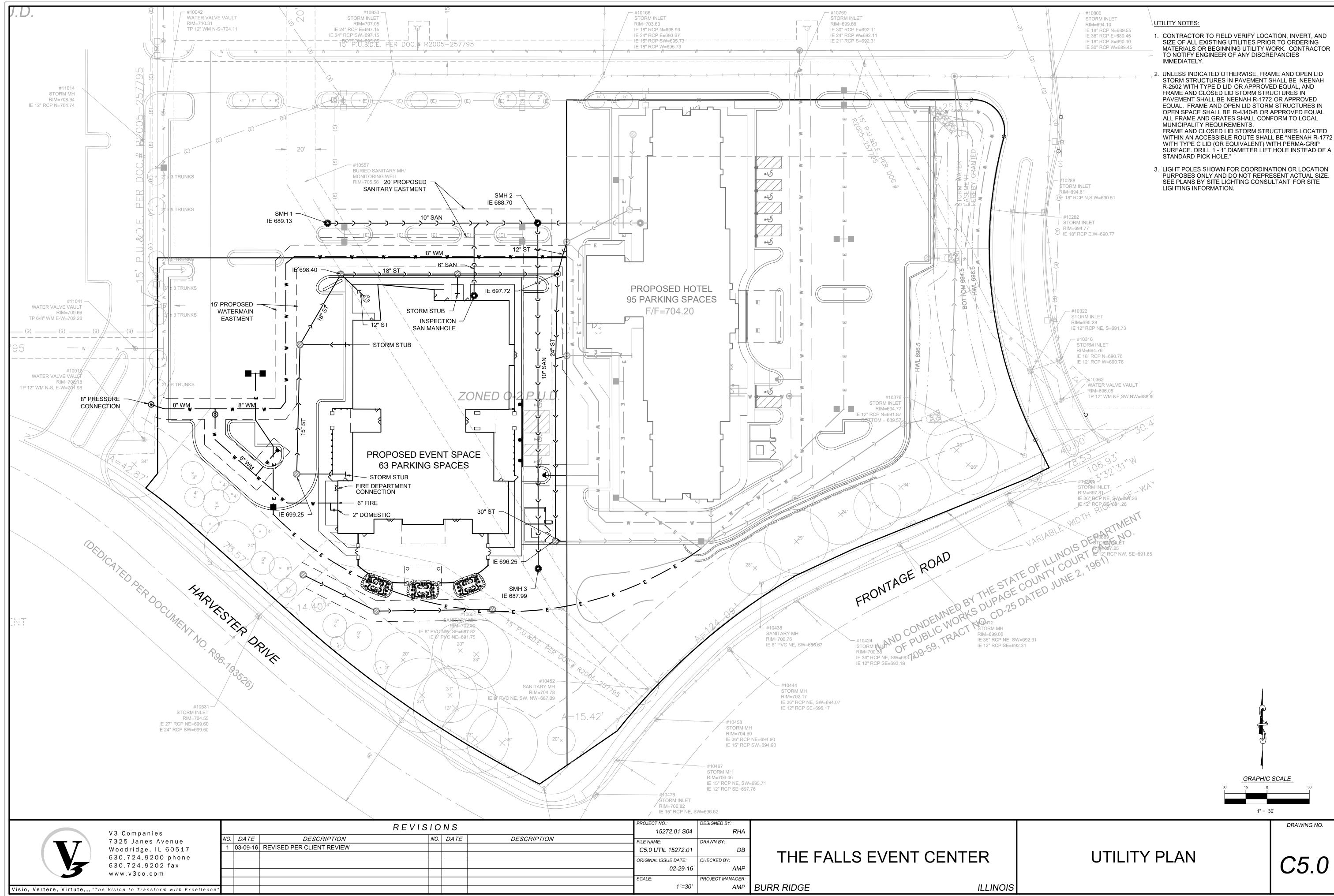
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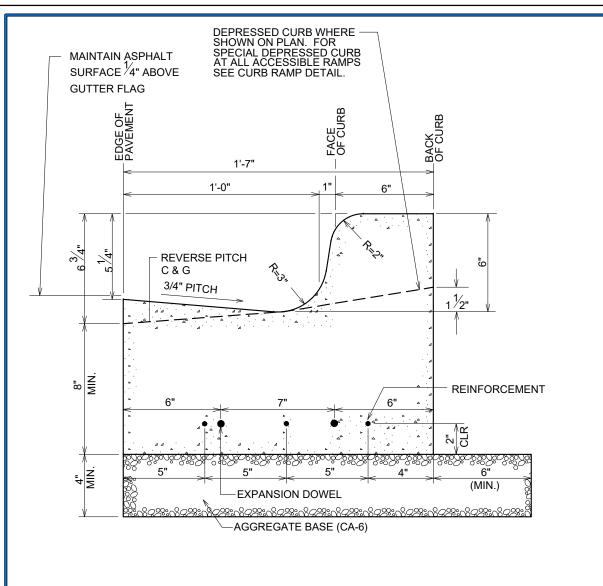
REVISIONS 15272.01 S04 NO. DATE DESCRIPTION DESCRIPTION 1 03-09-16 REVISED PER CLIENT REVIEW C4.1 EROS 15272.01 ORIGINAL ISSUE DATE: CHECKED BY: 02-29-16 PROJECT MANAGER: AMP BURR RIDGE

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EROSION CONTROL DETAILS

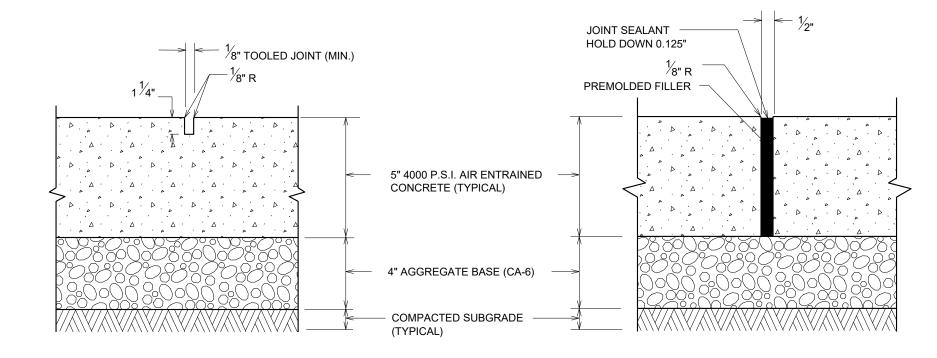




	RELATIVE ELEVATION	S
	STANDARD PITCH	REVERSE PITCH
E/P	0.00	0.00
GUTTER FLAG	-1/4" (-0.021)	+1/4" (+0.021)
FLOW LINE	-1" (-0.083)	+1" (+0.083)
T/C	+5" (+0.417)	+7" (+0.583)

NOTES:

- 1. REINFORCEMENT: PROVIDE 3 No.5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
- 2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION
- JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL). 3. CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
- 4. 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
- 5. PROVIDE 2 NO. 6x2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.



CONTRACTION JOINT DETAIL

EXPANSION JOINT DETAIL

EDGE OF CONCRETE

UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE 5'-0" O.C. AND EXPANSION JOINTS TO BE 40'-0" O.C. MAX., OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE.



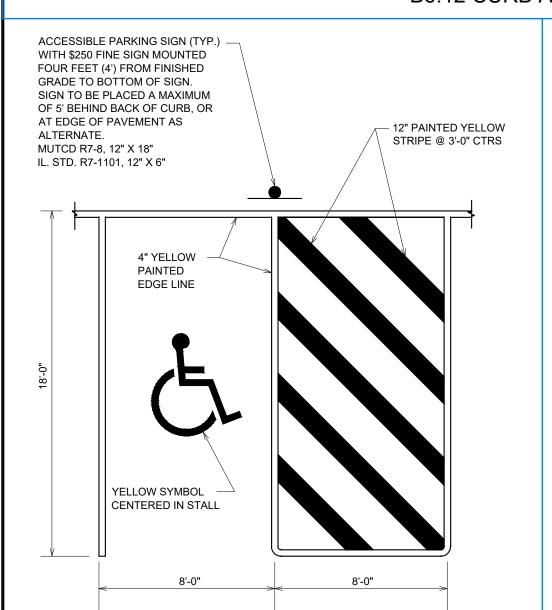


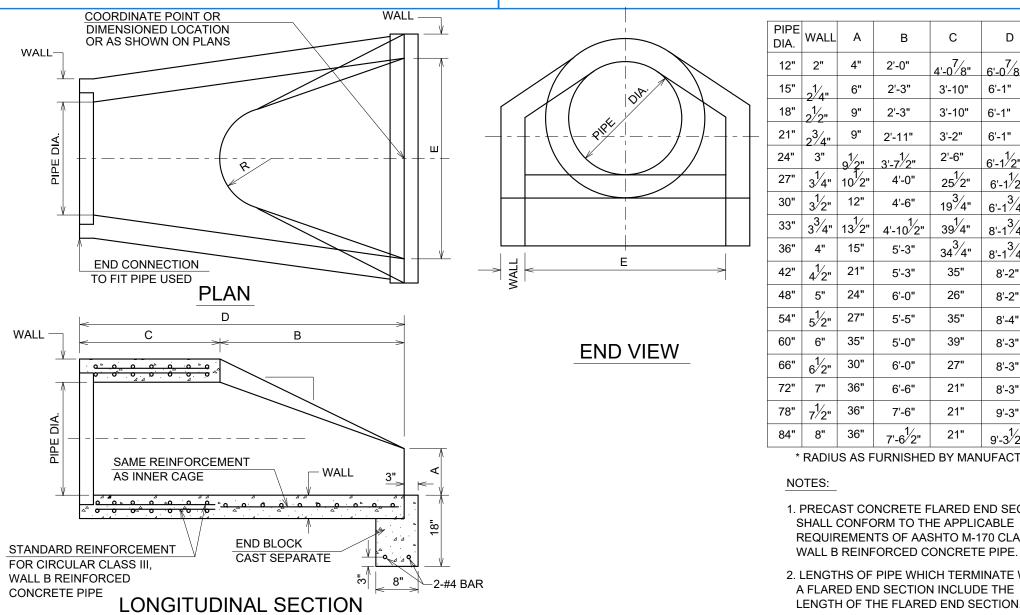
ACCESSIBLE PARKING SIGN WITH \$250 FINE SIGN MUTCD R7-8, 12"x18" IL. STD. R7-1101, 12"x6"

B6.12 CURB AND GUTTER

CONCRETE SIDEWALK JOINTS

ACCESSIBLE PARKING SIGN





| PIPE | WALL A B C D E R SLOPE 12" 2" 4" 2'-0" $\frac{4'-0}{8}$ " $\frac{6'-0}{8}$ " 2'-0" 9" 3:1 15" 2¹/_{4"} 6" 2'-3" 3'-10" 6'-1" 2'-6" 11" 3:1 18" 2¹/_{2"} 9" 2'-3" 3'-10" 6'-1" 3'-0" 12" 3:1 30" $3\frac{1}{2}$ " 12" 4'-6" $19\frac{3}{4}$ " $6'-1\frac{3}{4}$ " 5'-0" 15" 3:1 33" $3\frac{3}{4}$ " $13\frac{1}{2}$ " $4\frac{1}{2}$ " $39\frac{1}{4}$ " $8\frac{1}{4}$ " $5\frac{1}{6}$ " $17\frac{1}{2}$ " 3:1 36" 4" 15" 5'-3" 34³/₄" 8'-1³/₄" 6'-0" 20" 3:1 $| 42" | 4\frac{1}{2}" | 21" | 5'-3" | 35" | 8'-2" | 6'-6" | 22" | 3:1$ $54" \mid 5\frac{1}{2}" \mid 27" \mid 5'-5" \mid 35" \mid 8'-4" \mid 7'-6" \mid 24" \mid 2.4:1$ 66" 6¹/_{2"} 30" 6'-0" 27" 8'-3" 8'-6" * 2:1 78" | 7/2" | 36" | 7'-6" | 21" | 9'-3" | 9'-6" | * | 2.12:1 84" 8" 36" _{7'-6}1⁄2" 21" _{9'-3}1⁄2" 10'-0" * 1.94:1 * RADIUS AS FURNISHED BY MANUFACTURER

- 1. PRECAST CONCRETE FLARED END SECTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS III,
- 2. LENGTHS OF PIPE WHICH TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.

3 BOLT PLATES ARE REQUIRED - 1/4"X4"X10"
REQUIRED - 1/4"X4"X10"
6" TYP.
6"
PLAN
WALL
24", MAIN VRAPS
MA _X V-BARS
≼
YEO BE HEBARS
T-DAKS
A A A A A A A A A A A A A A A A A A A
LONGITUDINAL SECTION 45"
LONGITUDINAL SECTION

	APRON SIZE	V-BAR SIZE	H-BAR SIZE	NO. OF H-BARS	BOLT DIA	"A" DIM
		INCHES		REQ'D	INCHE	ES
	12	½ DIA	5/8 DIA	3	1/2	4
	15	½ DIA	⁵ ⁄ _{8 DIA}	3	1/2	41/2
	18	½ DIA	5/8 DIA	4	1/2	41/2
	21	½ DIA	5/8 DIA	4	1/2	5
	24	5/8 DIA	3/ _{4 DIA}	4	1/2	5
APRONS	27	5/8 DIA	3/ _{4 DIA}	4	1/2	51/2
APR	30	5/8 DIA	3/ _{4 DIA}	4	1/2	51/2
PIPE	36	3/ _{4 DIA}	1 DIA	4	3/4	8
₫	42	3/ _{4 DIA}	1 DIA	4	3/4	8
ROUND	48	3/ _{4 DIA}	1 DIA	5	3/4	8
ROI	54	3/ _{4 DIA}	1 ¹ /2PIPE	5	3/4	8
	60	3/ _{4 DIA}	1 ¹ /2PIPE	5	3/4	8
	66	3/ _{4 DIA}	1 ¹ /2PIPE	6	3/4	8
	72	3/ _{4 DIA}	1 ¹ /2PIPE	6	3/4	9
	84	3/ _{4 DIA}	1 ¹ /2PIPE	7	3/4	10
	90	3/ _{4 DIA}	1 ¹ / _{2PIPE}	7	3/4	14
NOTE	ES:					

1. BARS AND PLATES ARE HOT-ROLLED STEEL 2. BARS, PLATES AND PIPE ARE FINISHED

WITH 2 COATS OF ALUMINUM PAINT. 3. BOLTS ARE GALVANIZED.

ACCESSIBLE PARKING STALL DETAIL

PRECAST R	FINFORCED	CONCRETE FI	ARED END	SECTION

GRATE FOR FLARED END SECTION

W2 2 :				REVISIO	NS		PROJECT NO.: 15272.01 S04	DESIGNED BY: RHA
V3 Companies 7325 Janes Avenue	NO. DA	ATE	DESCRIPTION	NO.	DATE	DESCRIPTION	FILE NAME:	DRAWN BY:
Woodridge, IL 60517	1 03-0	-09-16 REVISED P	PER CLIENT REVIEW				C6.0 DET 15272.01.DWG	DB
630.724.9200 phone							ORIGINAL ISSUE DATE:	CHECKED BY:
630.724.9202 fax www.v3co.com							02-29-16	AMP
							SCALE:	PROJECT MANAGER:
Visio, Vertere, Virtute "The Vision to Transform with Excellence	"						N.T.S.	AMP

THE FALLS EVENT CENTER

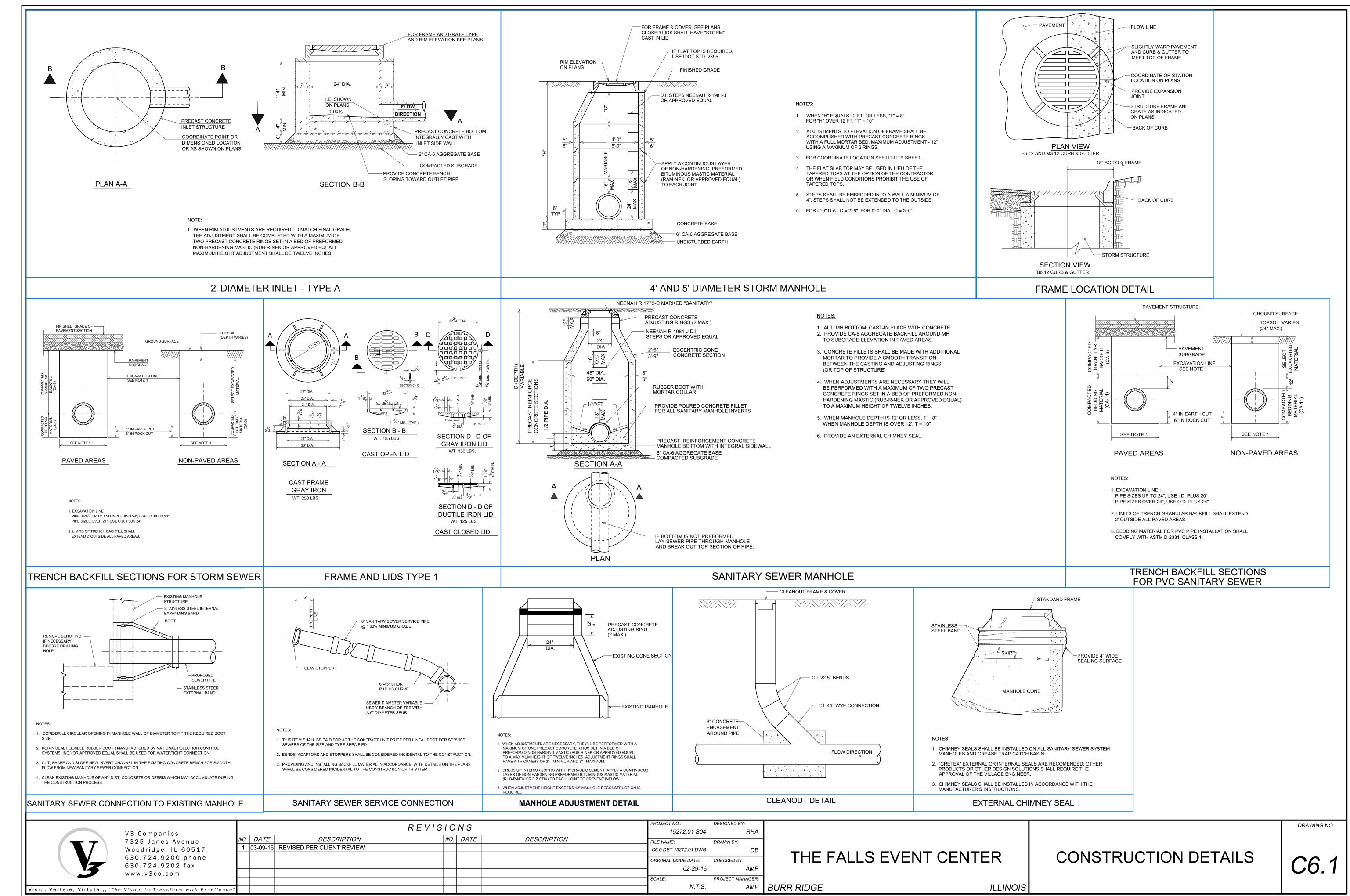
BURR RIDGE

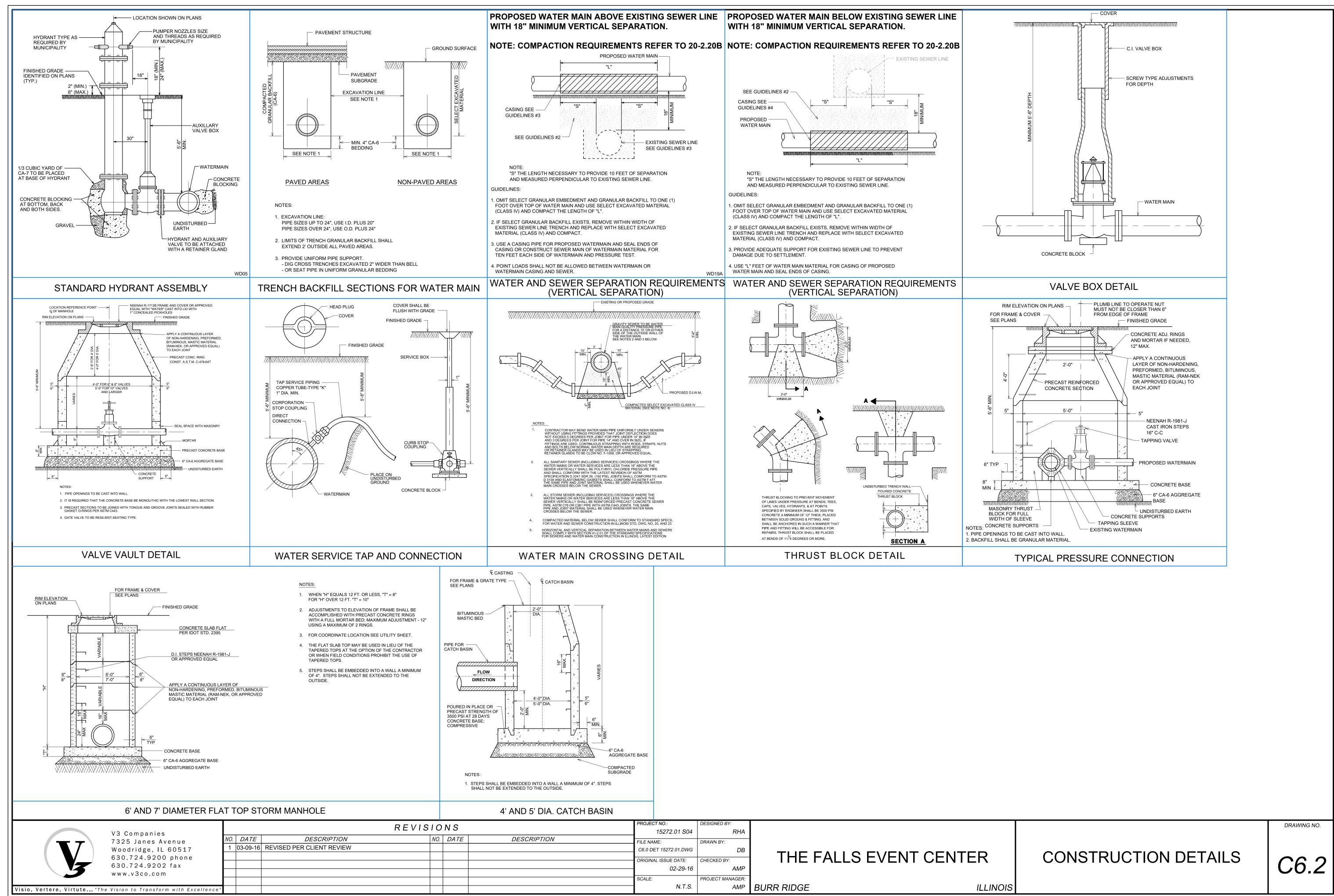
ILLINOIS

CONSTRUCTION DETAILS

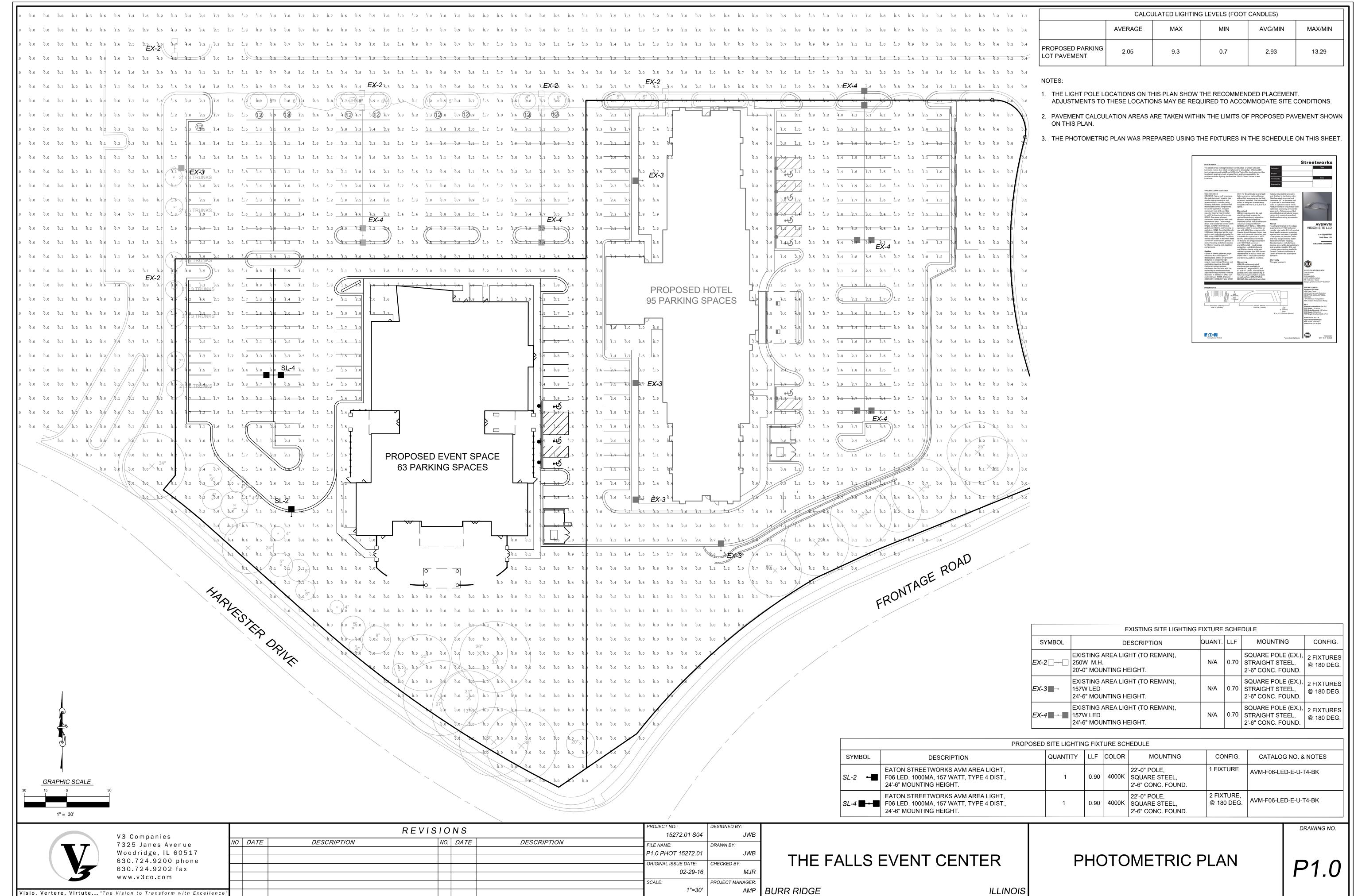
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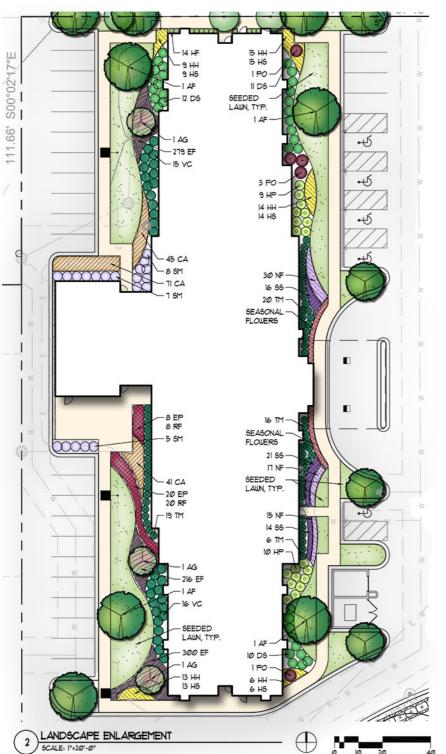
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PLA	NT LIST	
CODE	BOTANICAL NAME	COMMON NAME
	DECIDUOUS TREES - SINGLE STEM	
AF.	ACER x FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
co	CELTIS OCCIDENTALIS	HACKBERRY
GT	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST
PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
QB	QUERCUS BICOLOR	SWAMP WHITE OAK
am	QUERCUS MACROCARPA	BURR OAK
	ORNAMENTAL TREES	
AG	AMELANCHIER x G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY
	EVERGREEN TREES	
TO	THUM OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE
	DECIDUOUS SHRUBS	
DS	DIERVILLA SPLENDENS	SOUTHERN BUSH HONEYSUCKLE
HP	HYDRANGEA PANICULATA "LIMELIGHT"	LIMELIGHT HYDRANGEA
PO	PHYSOCARPUS OPULIFOLIA MINDIA'	COPPERTINA NINEBARK
RA	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC
SM	SYRINGA MEYERI "PALIBIN"	DWARF KOREAN LILAC
VC	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM
P	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM
	EVERGREEN SHRUBS	
IΜ	TAXUS x MEDIA "TAUNTON"	TAUNTON YEW
	PERENNIALS, GRASSES AND GROUNDCOVERS	
CA	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS
EF	EUONYMUS FORTUNE! 'COLORATUS'	PURPLELEAF UINTERCREEPER
EP	ECHINACEA PURPUREA	PURPLE CONEFLOUER
ΗF	HOSTA FRANCEE'	FRANCEE HOSTA
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY
H6	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY
ΝF	NEPETA x FAASSENII "KIT CAT"	KIT CAT CATMINT
RF	RUDBECKIA	BLACK EYED SUSAN
55	SALVIA SYLVESTRIS MAY NIGHT!	MAY NIGHT SALVIA
ST	SPOROBOLUS HETEROLEPIS 'TARA'	DWARF PRAIRIE DROPSEED



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e	visions	
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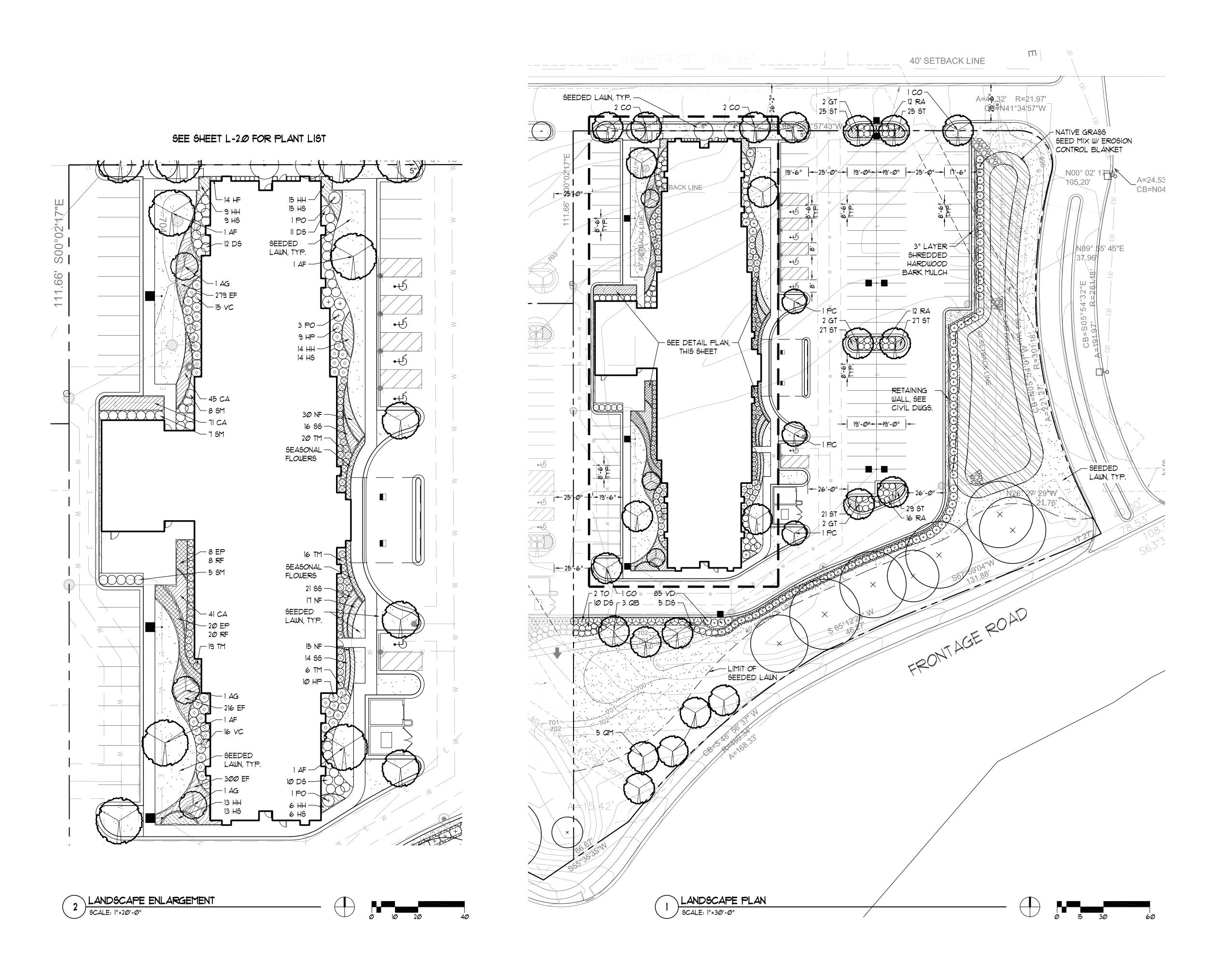
HAMPTON INN AND SUITES

100 HARVESTER DRIVE BURR RIDGE, ILLINOIS

Sheet T

LANDSCAPE PLAN

Date 02/05/16	Project No. DWP 16-110
Scale 1" = 30'-0"	Sheet No.
Drawn By EH	L-1.0
Approved WS	





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AND SUITES

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100 HARVESTER DRIVE BURR RIDGE, ILLINOIS

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LANDSCAPE PLAN

Date 02/05/16 Project No. DWP 16-110

Scale 1" = 30'-0" Sheet No.

Drawn By EH L-1.0

Approved WS

PLAN	NT LIST					
CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
	DECIDUOUS TREES - SINGLE STEM				•	
AF	ACER x FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5" CAL.	B≰B	4	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	HACKBERRY	2.5" CAL.	B\$B	6	BRANCHED UP 6'
GT	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" CAL.	B&B	6	BRANCHED UP 6'
PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2.5" CAL.	B&B	3	BRANCHED UP 6'
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	B \$B	3	BRANCHED UP 6'
QM	QUERCUS MACROCARPA	BURR OAK	3" CAL.	B&B	5	BRANCHED UP 6'
	ORNAMENTAL TREES					
AG	AMELANCHIER x G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	8' HT.	BŧB	3	CLUMP FORM
	EVERGREEN TREES					
TO.	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	8' HT.	B&B/CONT	2	
	DECIDUOUS SHRUBS					
DS	DIERVILLA SPLENDENS	SOUTHERN BUSH HONEYSUCKLE	3 GAL.	B&B/CONT	48	
HP	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24" HT.	B&B/CONT	19	
PO	PHYSOCARPUS OPULIFOLIA 'MINDIA'	COPPERTINA NINEBARK	4' HT. & SPD.	B&B/CONT	5	
RA	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	3 GAL.	B&B/CONT	40	
SM	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	18" HT. & SPD.	B&B/CONT	2Ø	
VC	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	3Ø" HT.	B&B/CONT	31	
VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	4' HT.	B&B/CONT	85	
	EVERGREEN SHRUBS					
TM	TAXUS x MEDIA 'TAUNTON'	TAUNTON YEW	18" HT. & SPD.	B&B/CONT	61	
	PERENNIALS, GRASSES AND GROUNDCOVERS					
CA	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	I GAL.	CONT.	157	SPACED 18" O.C.
EF	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POT	CONT.	195	SPACED 10" O.C.
ΕP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	CONT.	28	SPACED 24" O.C.
HF	HOSTA 'FRANCEE'	FRANCEE HOSTA	I GAL.	CONT.	14	SPACED AS SHOWN
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	57	SPACED 18" O.C.
HS	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL.	CONT.	57	SPACED 18" O.C.
NF	NEPETA x FAASSENII "KIT CAT"	KIT CAT CATMINT	1 GAL.	CONT.	62	SPACED 18" O.C.
RF	RUDBECKIA	BLACK EYED SUSAN	1 GAL.	CONT.	28	SPACED 24" O.C.
55	SALVIA SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	CONT.	51	SPACED 18" O.C.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	DWARF PRAIRIE DROPSEED	I GAL.	CONT.	154	SPACED 15" O.C.

LANDSCAPE MAINTENANCE

SITE LANDSCAPE MAINTENANCE WILL BE PROVIDED BY THE OWNER FOR ALL NEW LANDSCAPE PLANTING AND SEEDING. MAINTENANCE WILL INCLUDE PRUNING, WATERING, CULTIVATING, WEEDING, MOWING, RE-SEEDING, RE-SETTING AND REPLACEMENT OF PLANTS, IN ORDER TO KEEP THE LANDSCAPE HEALTHY AND TO ENCOURAGE PLANT GROWTH. A DETAILED MAINTENANCE PLAN CAN BE PROVIDED BY THE OWNER.



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Re	visions	
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100 HARVESTER DRIVE BURR RIDGE, ILLINOIS

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LANDSCAPE PLANT LIST & NOTES

Date 02/05/16	Project No. DWP 16-110
Scale N.T.S.	Sheet No.
Drawn By EH	L-2.0
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TREE PROTECTION NOTES

- 1. ALL EXISTING TREE LOCATIONS AND SIZES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS, PRIOR TO THE START OF CONSTRUCTION.
- 2. ALL TREES TO REMAIN AS NOTED ON THE DRAWINGS ARE TO BE ENCLOSED WITH A TREE PROTECTION FENCE, PRIOR TO THE START OF CONSTRUCTION. THE FENCE SHALL CONSIST OF 4' TALL ORANGE PLASTIC FENCE WITH METAL POSTS SPACED NO FURTHER THAN 6' APART. THE FENCE IS TO BE LOCATED UNDER THE OUTER EDGES OF THE TREE'S CANOPY, BUT NO CLOSER THAN 5' AWAY FROM THE TREES TRUNK. LANDSCAPE ARCHITECT TO APPROVE FENCE LOCATION.
- 3. NO MATERIALS OR VEHICLES SHALL BE STORED, DRIVEN OR PARKED WITHIN TREE PROTECTION FENCING.
- 4. ALL GRADING, CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE FORBIDDEN FROM ENCROACHING WITHIN THE TREE PROTECTION FENCING.
- 5. CRUSHED LIMESTONE OR ANY MATERIALS THAT MAY BE DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE TREE PROTECTION FENCING NOR SHALL THEY BE LOCATED AT ANY HIGHER ELEVATION WHERE DRAINAGE TOWARD THE TREE(S) COULD CONCEIVABLY AFFECT THE HEALTH OF SAID TREE(S)
- 6. IF IT IS THE CONTRACTOR'S OPINION THAT ANY OF THE TREES TO BE PRESERVED WILL BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- 1. THE CONTRACTOR IS TO MAINTAIN THE PROTECTION FENCING THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS UNTIL NEW LANDSCAPING BEGINS AND THE LANDSCAPE ARCHITECT APPROVES REMOVAL OF THE FENCING.
- 8. IF ROOTS OF A TREE TO REMAIN ARE EXPOSED, THE LANDSCAPE ARCHITECT IS TO BE CONTACTED AT ONCE.
- 9. ALL TREES TO BE PRESERVED SHALL BE PRUNED TO REMOVE EXISTING DEAD WOOD TO COMPENSATE FOR ROOT LOSS DURING CONSTRUCTION BY A QUALIFIED ARBORIST WITH A MINIMUM 5 YEARS EXPERIENCE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- 10. IF IT IS THE CONTRACTOR'S, OR ARBORIST'S OPINION THAT ANY TREE TO BE PRESERVED SHALL REQUIRE ROOT PRUNNING, FERTILIZATION OR ANY OTHER HORTICULTURAL ACTIVITIES NOT SPECIFIED IN THE CONTRACT DRAWINGS, THE LANDSCAPE ARCHITECT SHOULD BE NOTIFIED PRIOR TO THE WORK. SAID HORTICULTURAL ACTIVITIES SHALL BE PERFORMED ONLY BY A QUALIFIED ARBORIST UNLESS APPROVED BY THE LANDSCAPE ARCHITECT AND SHALL BE AT THE CONTRACTOR'S EXPENSE IF DUE TO HIS NEGLIGENCE.
- 11. IF THE CONTRACTOR DAMAGES A TREE TO BE PROTECTED SO THAT IT DOES NOT SURVIVE HE SHALL BE REPONSIBLE FOR REPLACING THE TREE IN KIND OR REPLACING IT WITH TREES ABOUT THE SAME NUMBER OF CALIPER INCHES (MEASURED 6" ABOVE THE GROUND). THE LANDSCAPE ARCHITECT IS TO APPROVE THE REPLACEMENT TREES.

TREE LEGEND

A ASH

KENTUCKY COFFEETREE

1 MAPLE

O AK

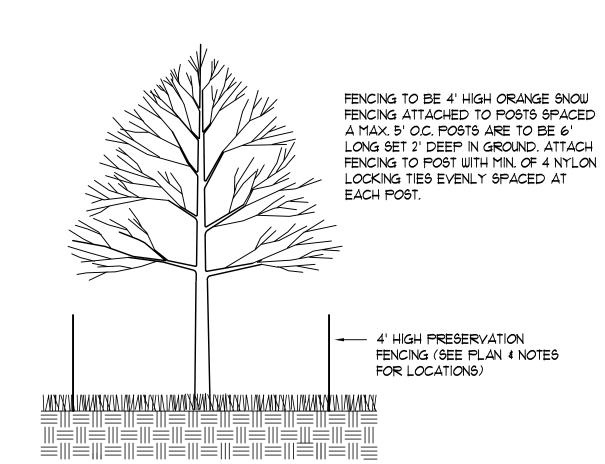
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TREE TO BE REMOVED

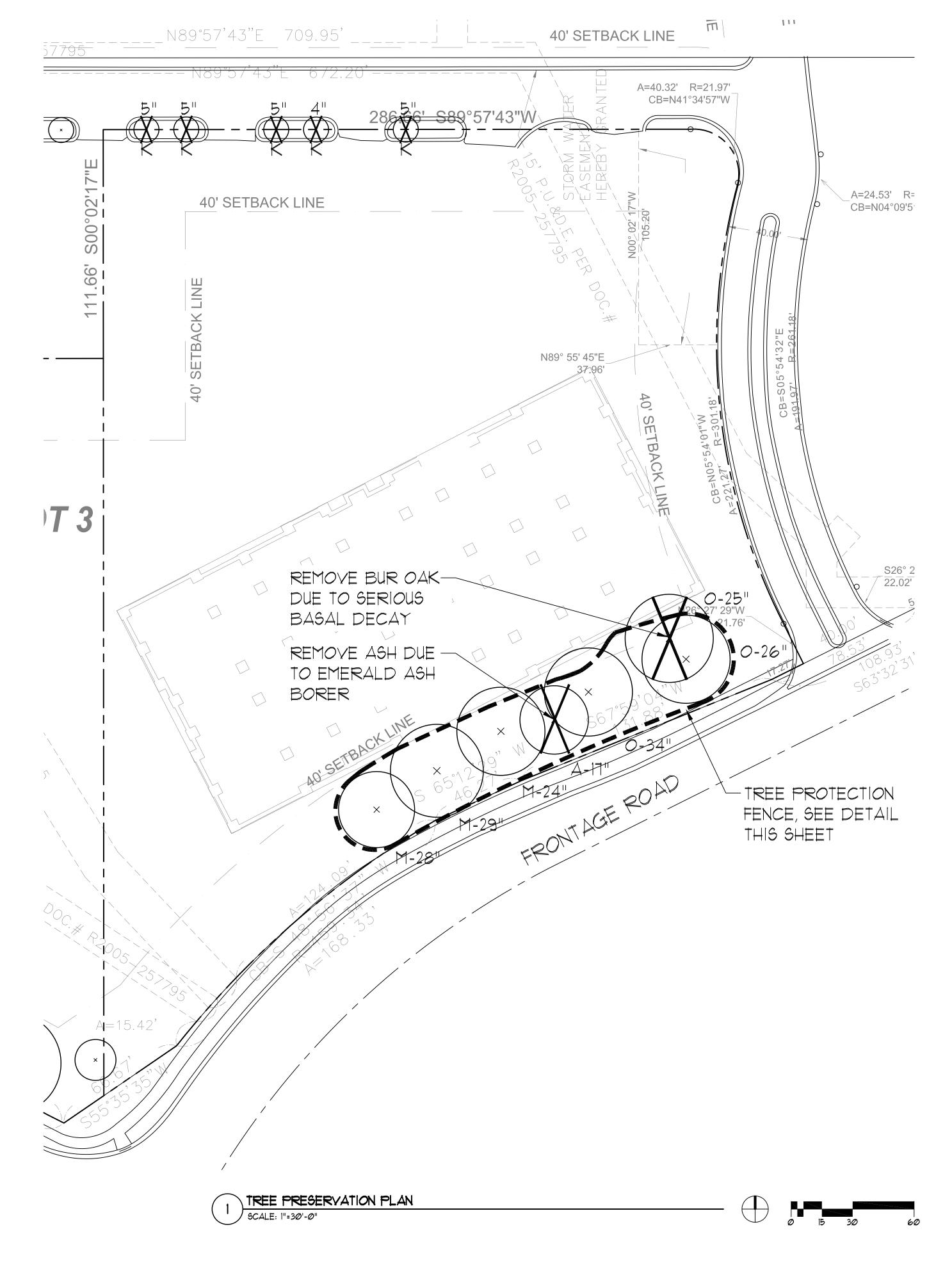


TREE TO REMAIN



TREE PRESERVATION DETAIL

NOT TO SCALE





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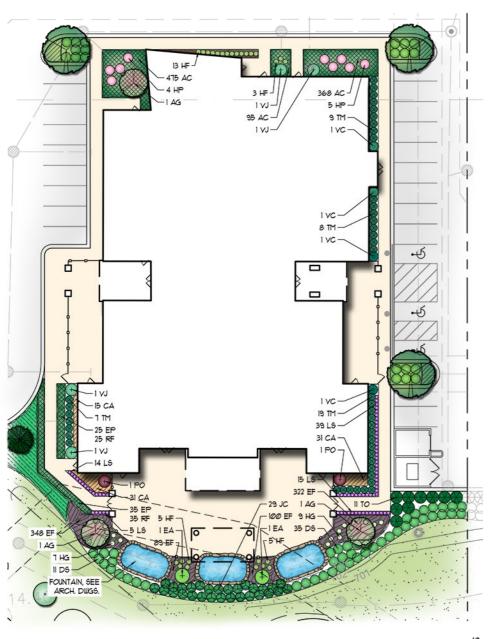
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Sheet Title

TREE
PRESERVATION
PLAN

Date 02/05/16	Project No. DWP 16-110
Scale 1" = 30'-0"	Sheet No.
Drawn By EH	LT-1.0
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(2	LANDSCAPE ENLARGEMENT	•
(4	SCALE: 1"=20'-0"	_

AM CO GT UT	BOTANICAL NAME DECIDIOUS TREES - SNGLE STEM ACER MYABE! MORTON CELTIS OCCIDENTALIS GLEDITSIA TRIACANTHOS NERTIIS "SKYLINE" UMB'S X MORTON GLOSSY" CRNA*ENTAL TREES	STATE STREET MAPLE HACKBERRY SKYLINE HONEYLOCUST TRIUMPH ELM	
GT UT AG	CELTIS OCCIDENTALIS GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' ULMUS x MORTON GLOSSY' ORNAMENTAL TREES	HACKBERRY SKYLINE HONEYLOCUST	
GT UT AG	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' ULMUS × MORTON GLOSSY' ORNAMENTAL TREES	SKYLINE HONEYLOCUST	
UT AG	ULMUS x MORTON GLOSSY' ORNAMENTAL TREES		
AG	ORNAMENTAL TREES	TRIMPH FLM	
		•	
PP.	AMELANCHIER x G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	
PP	EVERGREEN TREES		
	PICEA PUNGENS	COLORADO GREEN SPRUCE	
TO	THUMA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	
	DECIDUOUS SHRUBS		
D\$	DIERVILLA SPLENDENS	SOUTHERN BUSH HONEYSUCKLE	
EA	EUONIYMUS ALATUS 'COMPACTUS'	DUARF BURNING BUSH	
HP	HYDRANGEA PANICULATA 'PINKY WINKY'	PINKY WINKY HYDRANGEA	
PO	PHYSOCARPUS OPULIFOLIA MINDIA'	COPPERTINA NINEBARK	
RA	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	
SM	SYRINGA MEYERI "PALIBIN"	DIJARF KOREAN LILAC	
VJ	VIBURNUM x JUDDI	JUDD VIBURNUM	
VC	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	
VP	VIBURNUM DENTATUM	ARROUNDOD VIBURNUM	
	EVERGREEN SHRUBS		
x	JUNIPERUS CHINENSIS "KALLAY'S COMPACT"	KALLAY'S COMPACT JUNIPER	
m	TAXUS x MEDIA 'TAUNTON'	TAUNTON YEW	
	PERENNIALS, GRASSES AND GROUNDCOVERS		
AC	ASARUM CANADENSE	WLD GINGER	
CA	CALAMAGROSTIS A. KARL FOERSTER'	FEATHER REED GRASS	
EF	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	
EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	
HF	HOSTA FRANCEE'	FRANCEE HOSTA	
HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	
LS	LIATRIS SPICATA KOBOLD'	BLAZING STAR	
RF	RUDBECKIA 'GOLDSTRUM'	BLACK EYED SUSAN	
SH	SPOROBOLUS HETEROLEPIS SPOROBOLUS HETEROLEPIS 'TARA'	PRAIRIE DROPSEED DUARF PRAIRIE DROPSEED	





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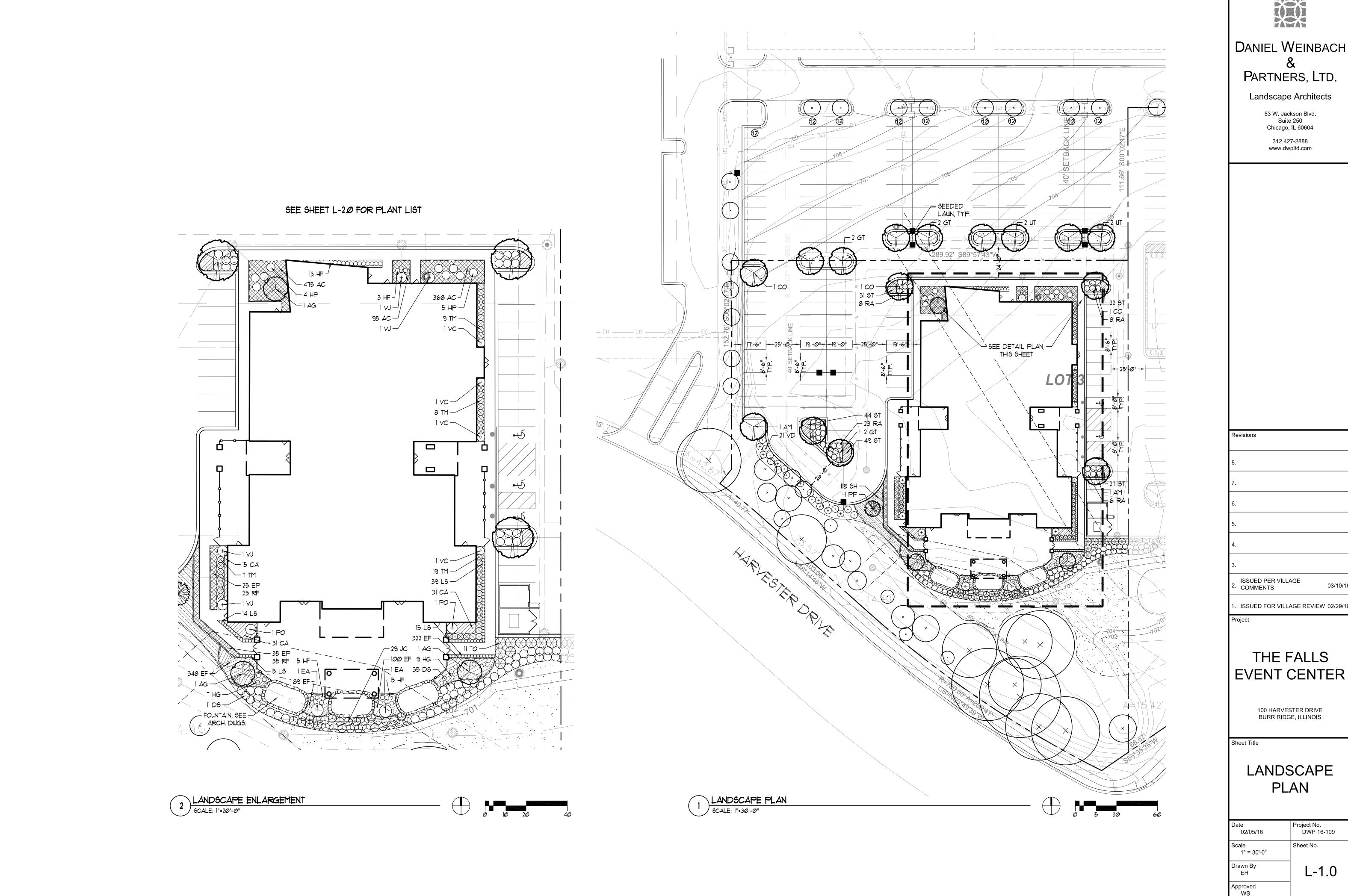
100 HARVESTER DRIVE BURR RIDGE, ILLINOIS

THE FALLS EVENT CENTER

Sheet Title

LANDSCAPE PLAN

Date 02/05/16	Project No. DWP 16-109
Scale 1" = 30'-0"	Sheet No.
Drawn By EH	L-1.0
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THE FALLS

Date 02/05/16	Project No. DWP 16-109
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Drawn By EH	L-1.0
Approved WS	

PLANT LIST						
CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
	DECIDUOUS TREES - SINGLE STEM					
ДМ	ACER MIYABEI 'MORTON'	STATE STREET MAPLE	2.5" CAL.	BŧB	2	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	HACKBERRY	2.5" CAL.	B≰B	3	BRANCHED UP 6'
GT	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" CAL.	B \$ B	6	BRANCHED UP 6'
ut	ULMUS x 'MORTON GLOSSY'	TRIUMPH ELM	2.5" CAL.	B≰B	4	BRANCHED UP 6'
	ORNAMENTAL TREES					
AG	AMELANCHIER x G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	8' HT.	B≰B	3	CLUMP FORM
	EVERGREEN TREES					
7	PICEA PUNGENS	COLORADO GREEN SPRUCE	8' HT.	B \$ B	1	
†O	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	8' HT.	B&B/CONT	9	
	DECIDUOUS SHRUBS					
DS	DIERVILLA SPLENDENS	SOUTHERN BUSH HONEYSUCKLE	3 GAL.	B&B/CONT	46	
ΕĄ	EUONIYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	4' HT. & SPD.	B&B/CONT	2	
<u>T</u>	HYDRANGEA PANICULATA 'PINKY WINKY'	PINKY WINKY HYDRANGEA	5 GAL.	B&B/CONT	9	
PO	PHYSOCARPUS OPULIFOLIA 'MINDIA'	COPPERTINA NINEBARK	4' HT. & SPD.	B&B/CONT	2	
RA	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	3 GAL.	B&B/CONT	45	
SM	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	18" HT. & SPD.	B&B/CONT	4	
V	VIBURNUM x JUDDI	JUDD YIBURNUM	36" HT. ≰ SPD.	B&B/CONT	4	
VC	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	3Ø" HT.	B&B/CONT	4	
9	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	4' HT.	B&B/CONT	21	
	EVERGREEN SHRUBS					
S	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT'	KALLAY'S COMPACT JUNIPER	30" SPD.	B&B/CONT	29	
Ξ	TAXUS x MEDIA 'TAUNTON'	TAUNTON YEW	18" HT. & SPD.	B&B/CONT	43	
	PERENNIALS, GRASSES AND GROUNDCOVERS					
AC	ASARUM CANADENSE	WILD GINGER	3" POT	CONT.	938	SPACED 10" O.C.
CA	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONT.	77	SPACED 18" O.C.
EF	EUONYMUS FORTUNE! 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POT	CONT.	859	SPACED 10" O.C.
ΕP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	CONT.	60	SPACED 24" O.C.
HF.	HOSTA 'FRANCEE'	FRANCEE HOSTA	1 GAL.	CONT.	26	SPACED AS SHOWN
HF	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	1 GAL.	CONT.	16	SPACED AS SHOWN
LS	LIATRIS SPICATA 'KOBOLD'	BLAZING STAR	1 GAL.	CONT.	7 3	SPACED AS SHOWN
R	RUDBECKIA 'GOLDSTRUM'	BLACK EYED SUSAN	1 GAL.	CONT.	60	SPACED 24" O.C.
SH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL.	CONT.	118	SPACED 24" O.C.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	DWARF PRAIRIE DROPSEED	1 GAL.	CONT.	173	SPACED 15" O.C.

LANDSCAPE MAINTENANCE

SITE LANDSCAPE MAINTENANCE WILL BE PROVIDED BY THE OWNER FOR ALL NEW LANDSCAPE PLANTING AND SEEDING. MAINTENANCE WILL INCLUDE PRUNING, WATERING, CULTIVATING, WEEDING, MOWING, RE-SEEDING, RE-SETTING AND REPLACEMENT OF PLANTS, IN ORDER TO KEEP THE LANDSCAPE HEALTHY AND TO ENCOURAGE PLANT GROWTH. A DETAILED MAINTENANCE PLAN CAN BE PROVIDED BY THE OWNER.



DANIEL WEINBACH & PARTNERS, LTD.

Landscape Architects

53 W. Jackson Blvd. Suite 250 Chicago, IL 60604

312 427-2888 www.dwpltd.com

Re	visions	
8.		
7.		
6.		
5.		
4.		
3.		
2.	ISSUED PER VILLAGE COMMENTS	03/10

Project

1. ISSUED FOR VILLAGE REVIEW 02/29/16

THE FALLS EVENT CENTER

100 HARVESTER DRIVE BURR RIDGE, ILLINOIS

Sheet Ti

LANDSCAPE PLANT LIST & NOTES

Date 02/05/16	Project No. DWP 16-109
Scale 1" = 30'-0"	Sheet No.
Drawn By EH	L-2.0
Approved	

TREE PROTECTION NOTES

- 1. ALL EXISTING TREE LOCATIONS AND SIZES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS, PRIOR TO THE START OF CONSTRUCTION.
- 2. ALL TREES TO REMAIN AS NOTED ON THE DRAWINGS ARE TO BE ENCLOSED WITH A TREE PROTECTION FENCE, PRIOR TO THE START OF CONSTRUCTION. THE FENCE SHALL CONSIST OF 4' TALL ORANGE PLASTIC FENCE WITH METAL POSTS SPACED NO FURTHER THAN 6' APART. THE FENCE IS TO BE LOCATED UNDER THE OUTER EDGES OF THE TREE'S CANOPY, BUT NO CLOSER THAN 5' AWAY FROM THE TREES TRUNK. LANDSCAPE ARCHITECT TO APPROVE FENCE LOCATION.
- 3. NO MATERIALS OR VEHICLES SHALL BE STORED, DRIVEN OR PARKED WITHIN TREE PROTECTION FENCING.
- 4. ALL GRADING, CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE FORBIDDEN FROM ENCROACHING WITHIN THE TREE PROTECTION FENCING.
- 5. CRUSHED LIMESTONE OR ANY MATERIALS THAT MAY BE DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE TREE PROTECTION FENCING NOR SHALL THEY BE LOCATED AT ANY HIGHER ELEVATION WHERE DRAINAGE TOWARD THE TREE(S) COULD CONCEIVABLY AFFECT THE HEALTH OF SAID TREE(S)
- 6. IF IT IS THE CONTRACTOR'S OPINION THAT ANY OF THE TREES TO BE PRESERVED WILL BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- 1. THE CONTRACTOR IS TO MAINTAIN THE PROTECTION FENCING THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS UNTIL NEW LANDSCAPING BEGINS AND THE LANDSCAPE ARCHITECT APPROVES REMOVAL OF THE FENCING.
- 8. IF ROOTS OF A TREE TO REMAIN ARE EXPOSED, THE LANDSCAPE ARCHITECT IS TO BE CONTACTED AT ONCE.
- 9. ALL TREES TO BE PRESERVED SHALL BE PRUNED TO REMOVE EXISTING DEAD WOOD TO COMPENSATE FOR ROOT LOSS DURING CONSTRUCTION BY A QUALIFIED ARBORIST WITH A MINIMUM 5 YEARS EXPERIENCE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- 10. IF IT IS THE CONTRACTOR'S, OR ARBORIST'S OPINION THAT ANY TREE TO BE PRESERVED SHALL REQUIRE ROOT PRUNNING, FERTILIZATION OR ANY OTHER HORTICULTURAL ACTIVITIES NOT SPECIFIED IN THE CONTRACT DRAWINGS, THE LANDSCAPE ARCHITECT SHOULD BE NOTIFIED PRIOR TO THE WORK. SAID HORTICULTURAL ACTIVITIES SHALL BE PERFORMED ONLY BY A QUALIFIED ARBORIST UNLESS APPROVED BY THE LANDSCAPE ARCHITECT AND SHALL BE AT THE CONTRACTOR'S EXPENSE IF DUE TO HIS NEGLIGENCE.
- 11. IF THE CONTRACTOR DAMAGES A TREE TO BE PROTECTED SO THAT IT DOES NOT SURVIVE HE SHALL BE REPONSIBLE FOR REPLACING. THE TREE IN KIND OR REPLACING. IT WITH TREES ABOUT THE SAME NUMBER OF CALIPER INCHES (MEASURED 6" ABOVE THE GROUND), THE LANDSCAPE ARCHITECT IS TO APPROVE THE REPLACEMENT TREES.

TREE LEGEND

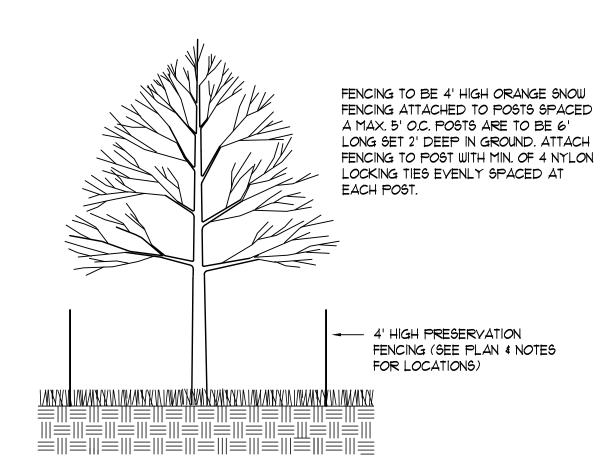
A ASH
C CRABAPPLE
L LINDEN

O OAK

KEY

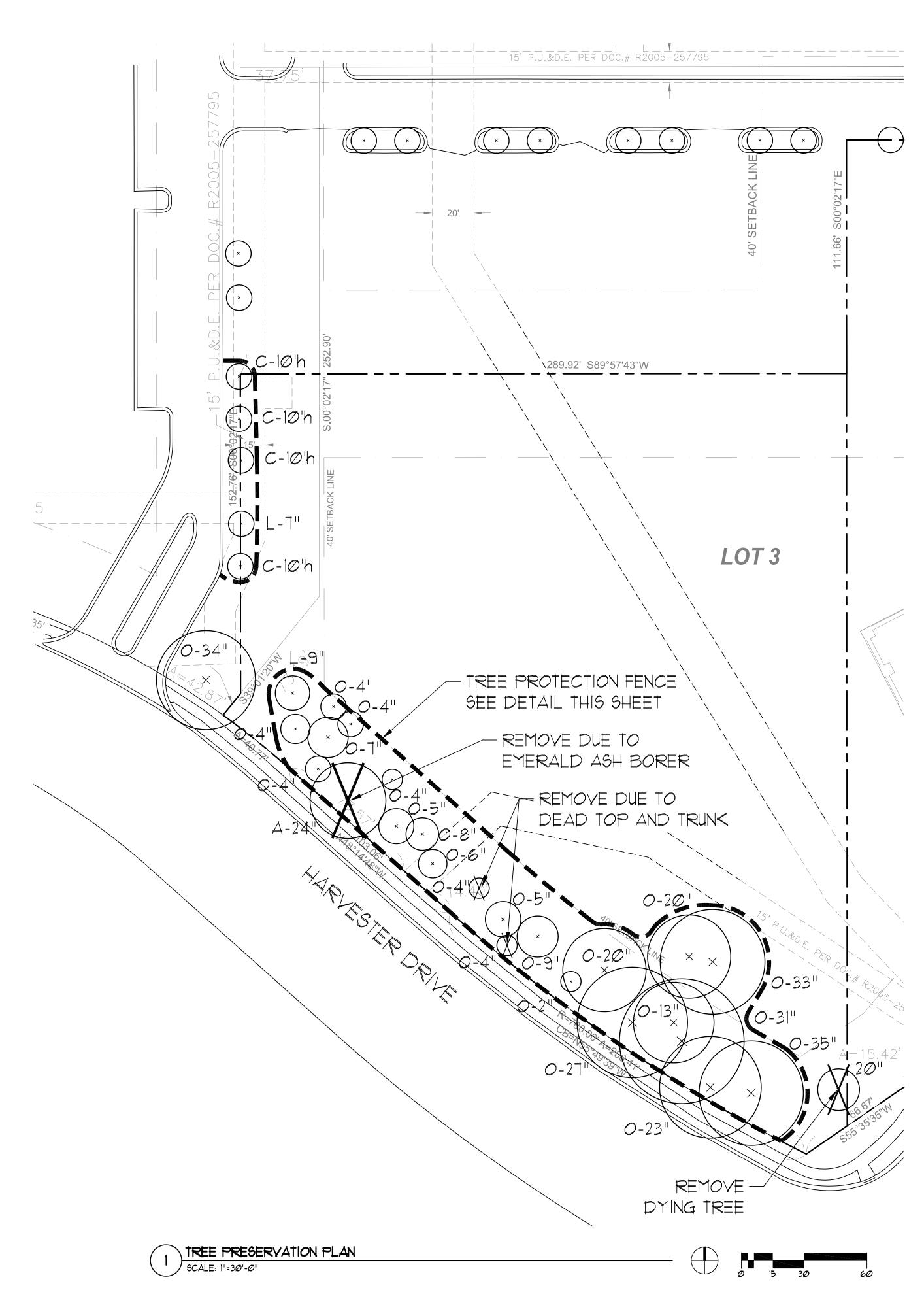


(*) TREE TO REMAIN



TREE PRESERVATION DETAIL

NOT TO SCALE





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Landscape Architects

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Revisions

8.

7.

6.

5.

4.

3.

2. ISSUED PER VILLAGE COMMENTS 03/10/16

THE FALLS EVENT CENTER

. ISSUED FOR VILLAGE REVIEW 02/29/16

100 HARVESTER DRIVE BURR RIDGE, ILLINOIS

Sheet Title

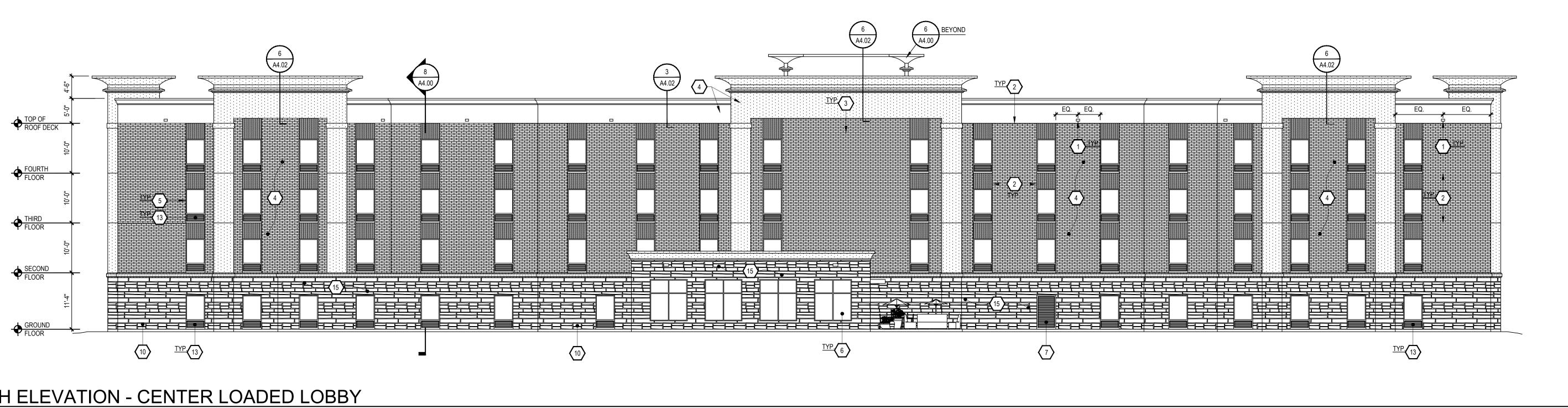
Project

TREE
PRESERVATION
PLAN

Date 02/05/16	Project No. DWP 16-109
Scale 1" = 30'-0"	Sheet No.
Drawn By EH	LT-1.0
Approved WS	



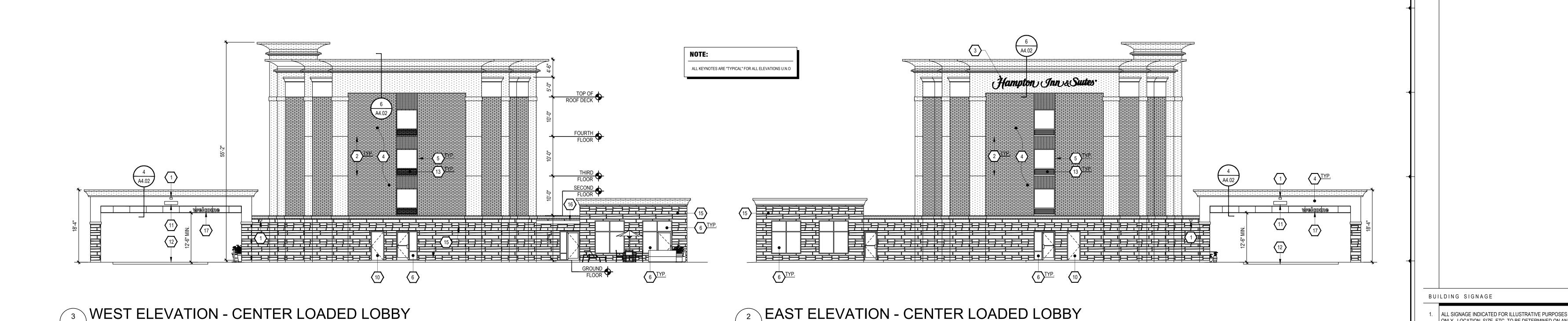


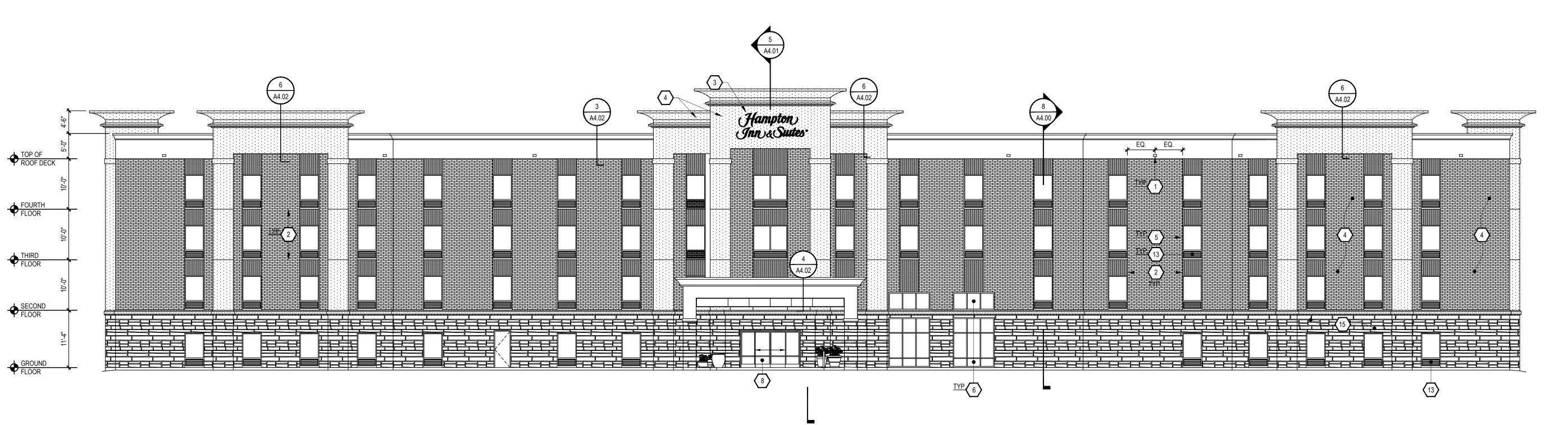


SOUTH ELEVATION - CENTER LOADED LOBBY A1.06 SCALE: 3/32" = 1'-0"

A1.06 | SCALE: 3/32" = 1'-0"

A1.06 | SCALE: 3/32" = 1'-0"





MICHAEL L. MAUST ARCHITTECT

ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE

3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR.
ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM
SIGN COMPANY. TYPICAL 120V REQUIREMENT.

4. RACEWAYS / WIREWAYS ARE NOT ALLOWED

5. STATE OF THE PROPERTY OF T PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE

BURR RIDGE HAMPTON INN & SUITES

DATE: 1/26/16 SCALE: AS NOTED

INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.)

TRIM COLOR

4 NORTH ELEVATION - CENTER LOADED LOBBY

GENERAL NOTES: ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS,

INDIVIDUAL PROJECT BASIS.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE

. | GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON

KEY NOTES:

1. ROOF SCUPPER 2. CONTROL JOINT

KYNAR 500 FINISH

KYNAR 500 FINISH 8. AUTOMATIC SLIDING DOORS 9. EXTERIOR WALL SCONCE

11. CLEARANCE SIGN

LAUNDRY IF USED

INFORMATION

OUT FROM UNDER CANOPY.

16. FLAT ROOF ABOVE SMOKING AREA

3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED- REFER TO 'BUILDING SIGNAGE' BELOW

5. PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH

6. ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME,

7. PRE-FINISHED METAL LOUVERS AT DRYER VENTS,

10. INSULATED HOLLOW METAL DOOR AND FRAME

13. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL

BEHIND LOUVER AT NON-PTAC LOCATIONS 14. GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL

15. HARD SURFACE BASE MATERIAL (MASONRY/TILE)

17. WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL

12. | SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN

4. EXTERIOR INSULATION FINISH SYSTEM

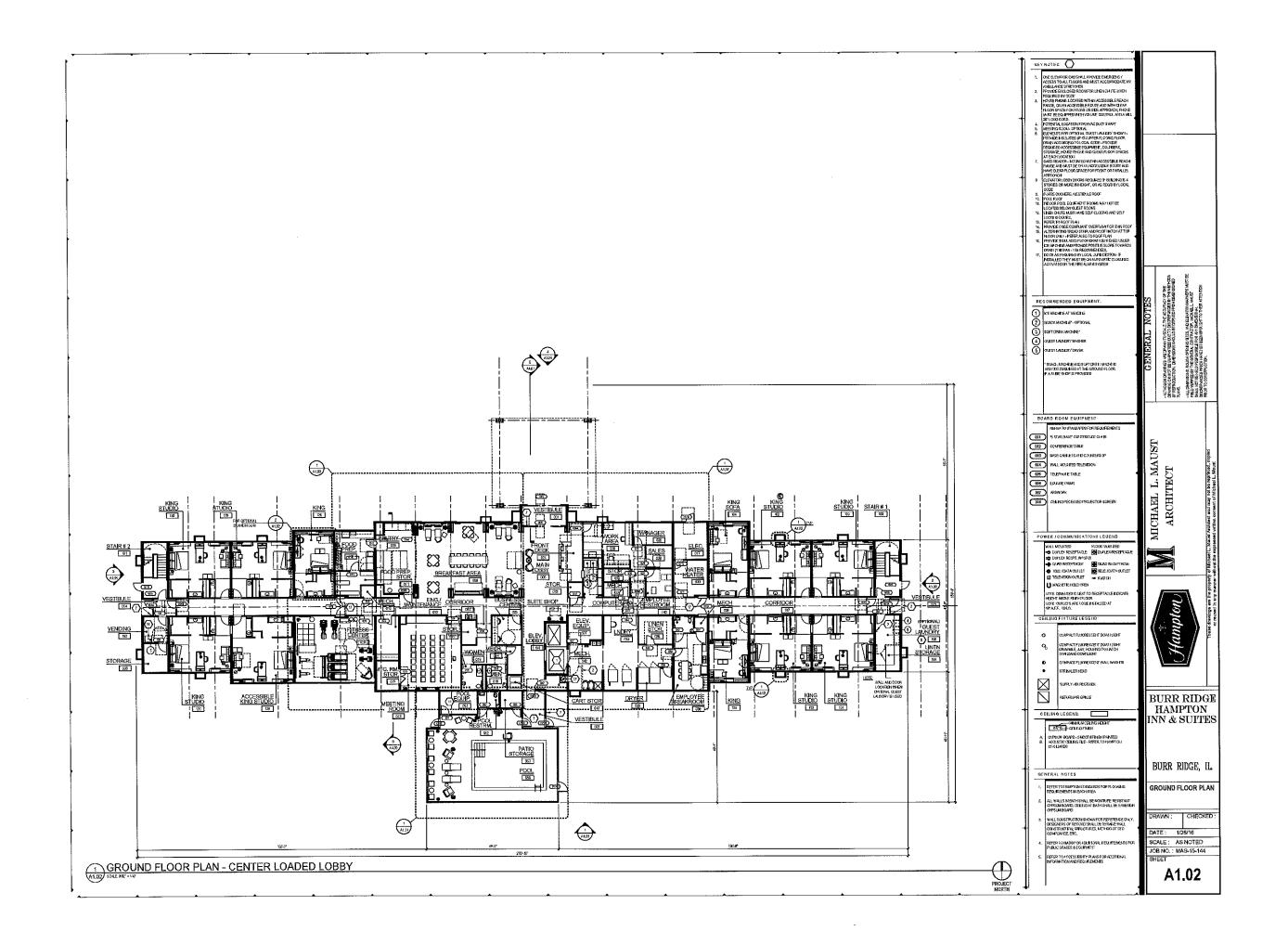
CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT

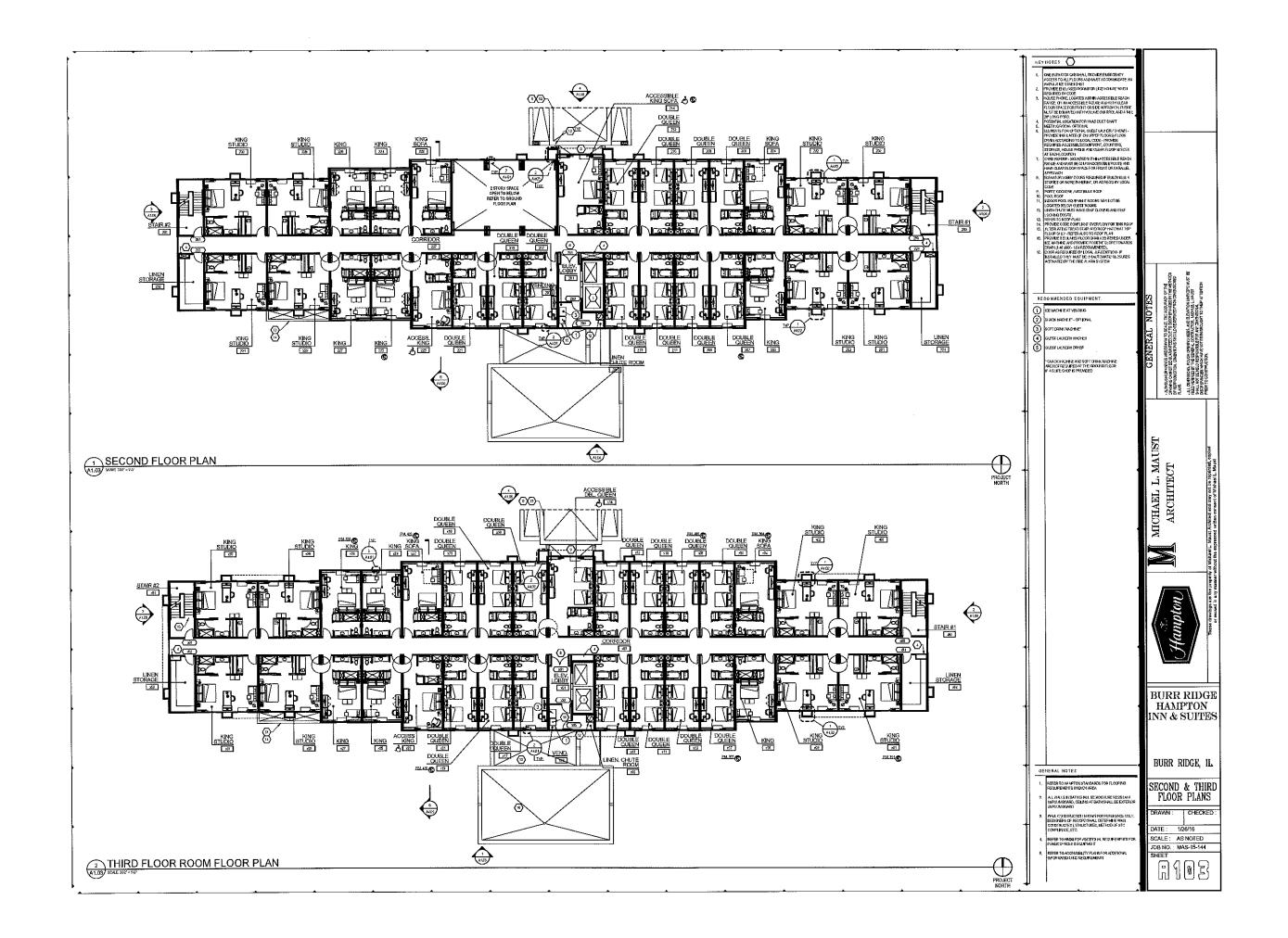
EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS
COORDINATED AND/OR INSTALLED PRIOR TO CLOSING
UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY. COLOR & FINISH LEGEND CULTURED STONE
BASE MATERIAL

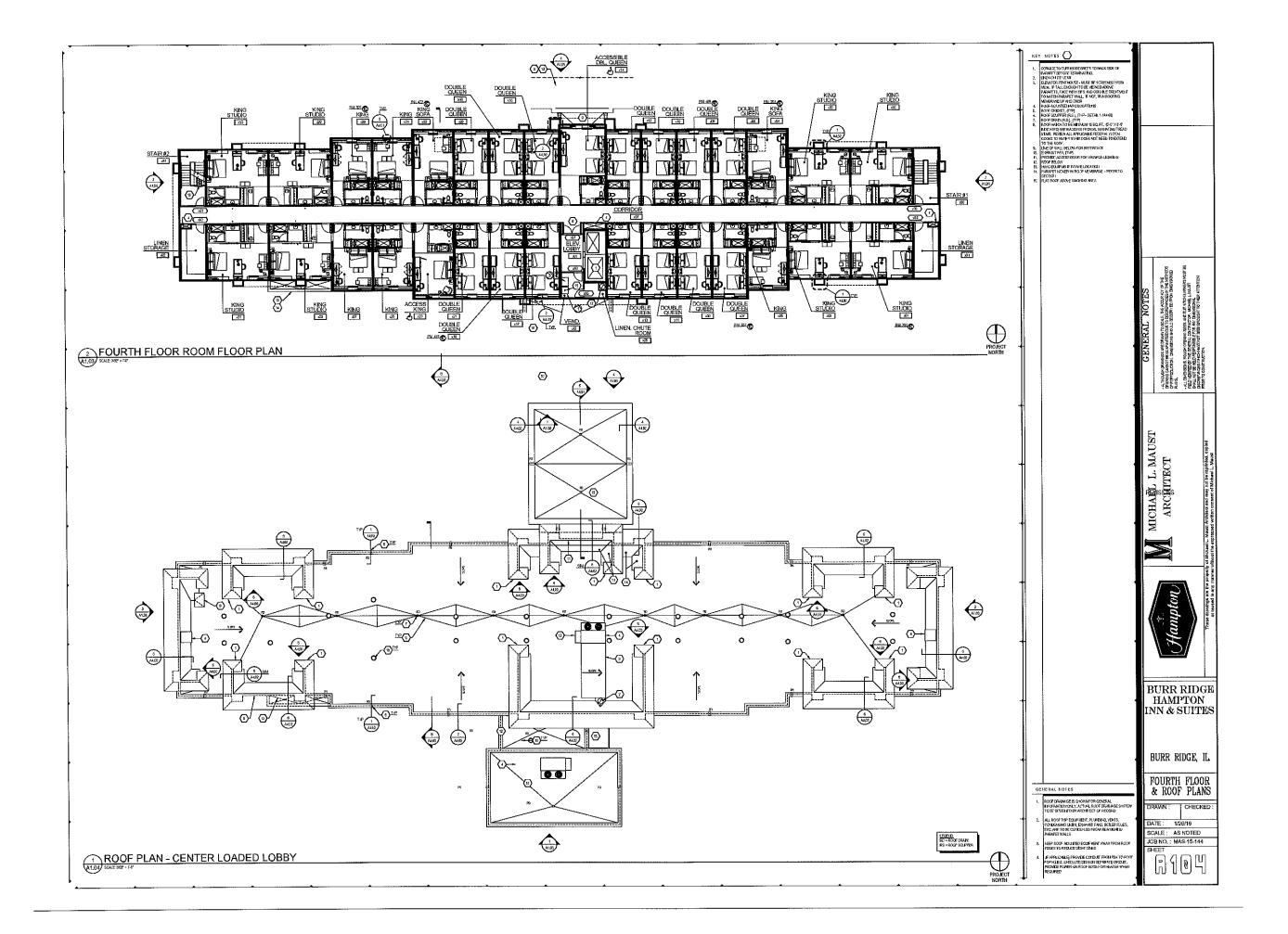
BURR RIDGE, IL. EXTERIOR MAIN BODY OF BUILDING

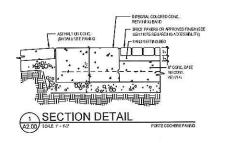
ELEVATIONS CHECKED : DRAWN:

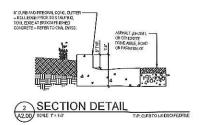
JOB NO.: MAS-15-144

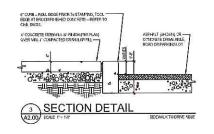


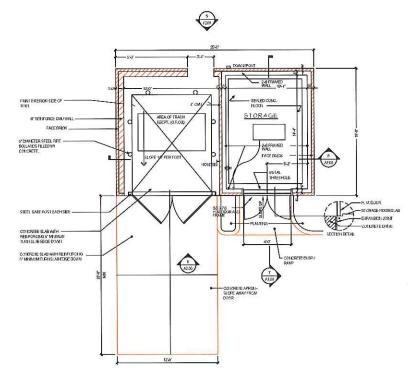


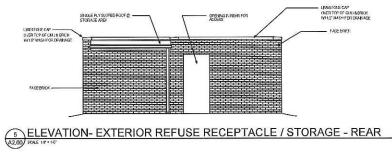


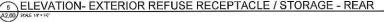


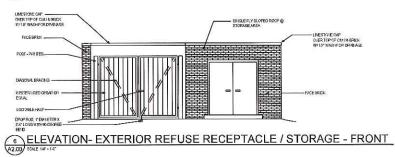




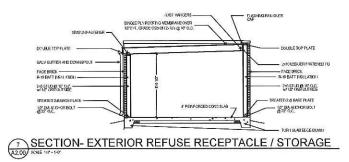








PLAN - EXTERIOR REFUSE RECEPTACLE / STORAGE



W/12 OSE OUTSIDE 16. CR WATHOURST 8" CONCRETE SLAB WITH REPURCING SEFORMS

TABLES BOSE DORS

TO SHARE THE SECOND STATE THE

BURR RIDGE HAMPTON INN & SUITES

REVISIONS

"A "Check of St. The Carb of 2" of 2

MICHAEL L. MAUST ARCHITECT

BURR RIDGE, IL.

DUMPSTER PLANS

DRAWN: CHECKED: DATE: 1/26/16

SCALE: AS NOTED

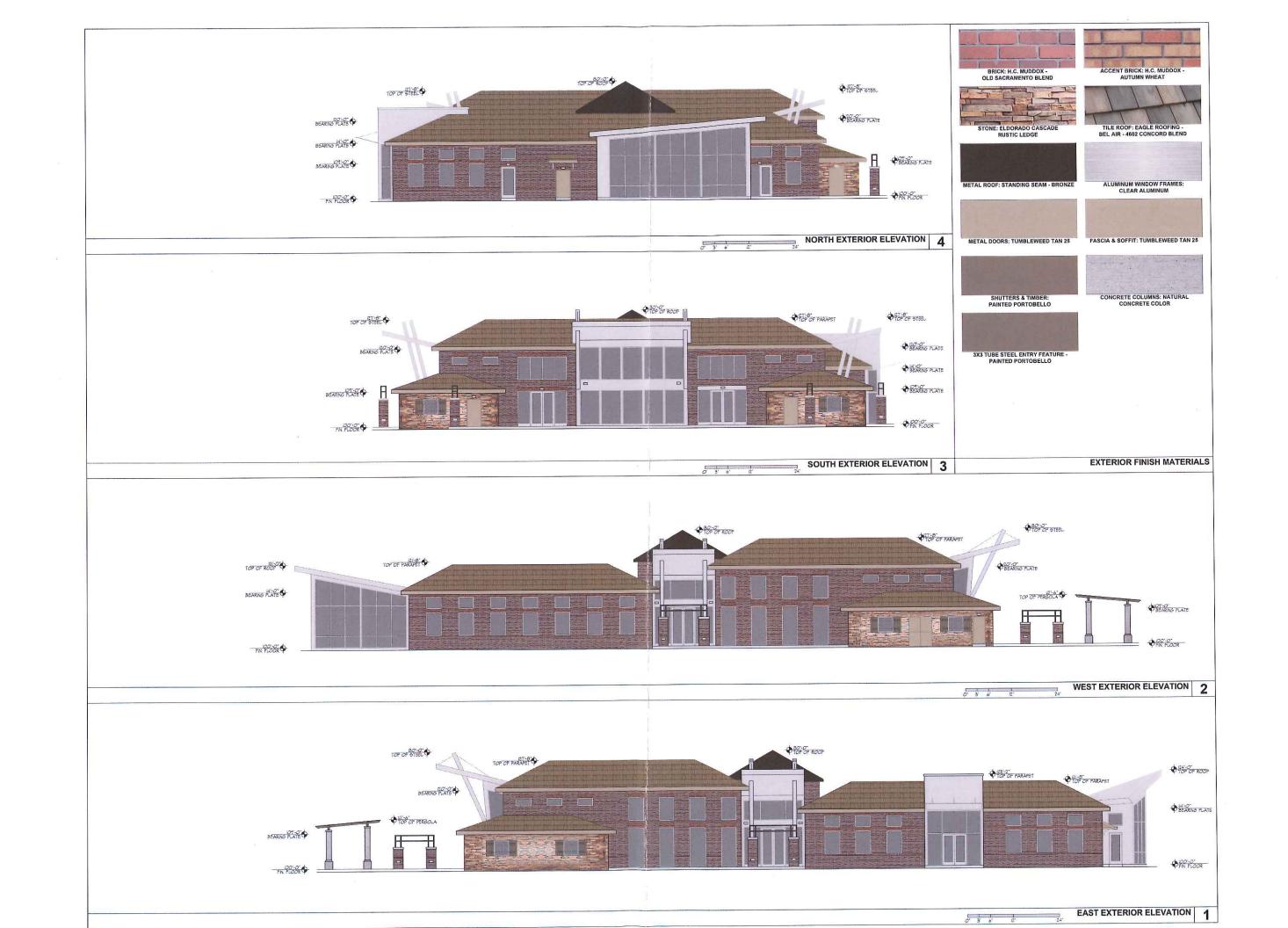
JOB NO.: MAS-15-144

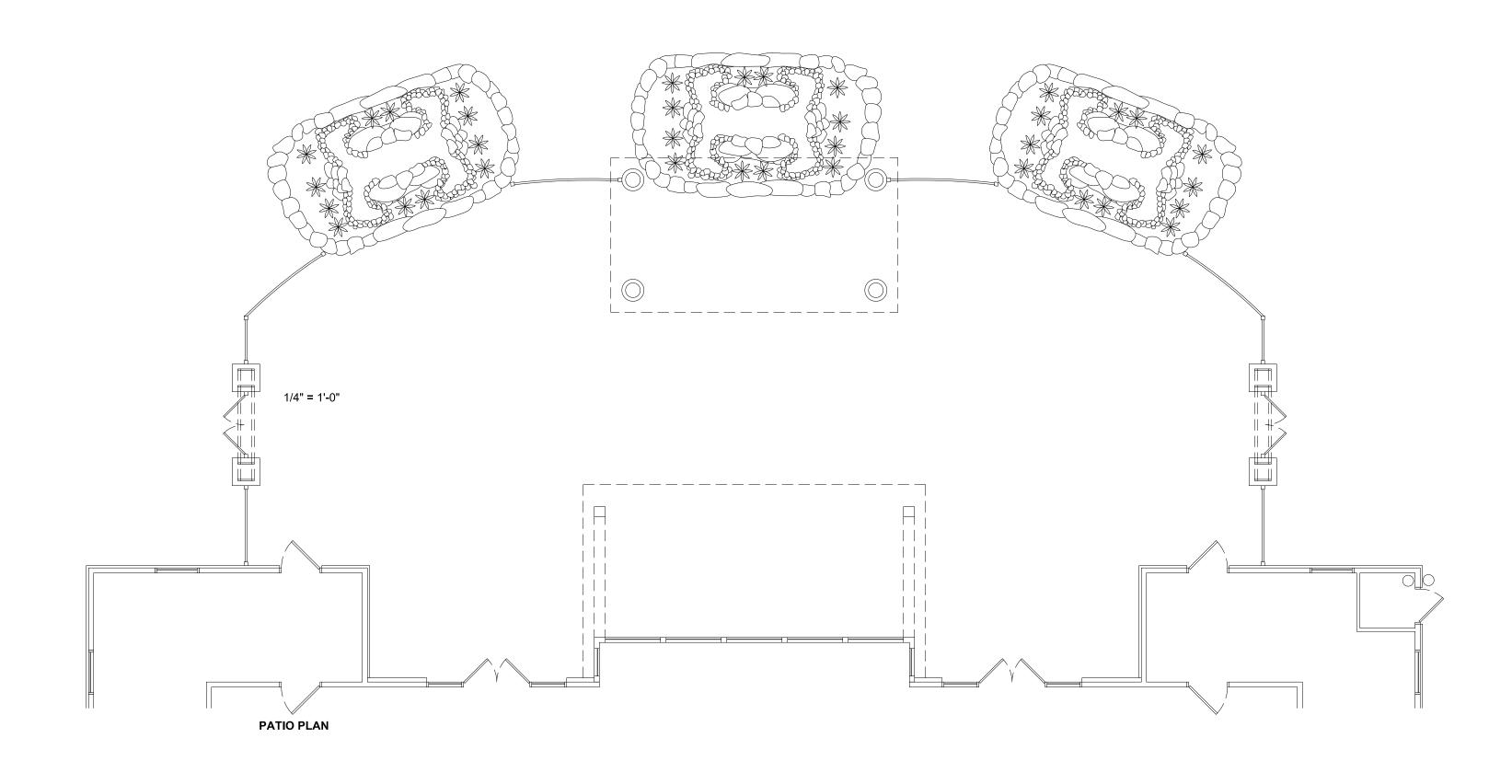
SHEET

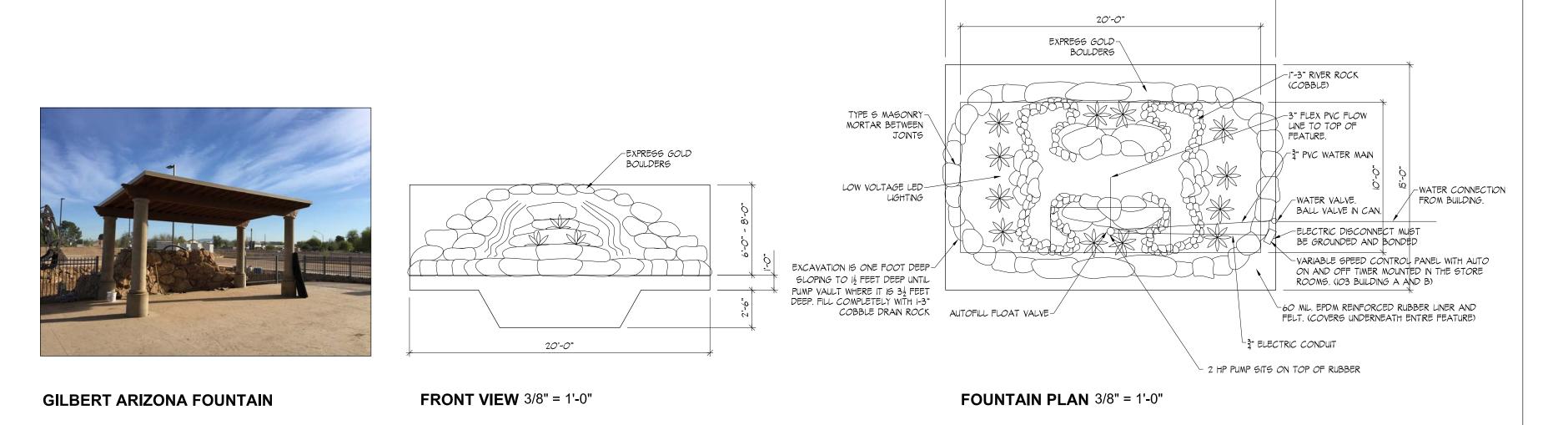
GENERAL NOTES











22'-0"



VILLAGE OF BURR RIDGE MEMORANDUM

TO: Village of Burr Ridge Plan Commission

Greg Trzupek, Chairman

FROM: Doug Pollock, AICP

DATE: March 17, 2016

RE: Board Report for March 21, 2016 Plan Commission Meeting

At its February 22, 2016 and March 14, 2016 meetings, the following action was taken by the Board of Trustees relative to matters forwarded from the Plan Commission.

Z-01-2016: 16W331 South Frontage Road (**Molis**); The Board of Trustees concurred with the Plan Commission and approved an Ordinance granting special use approval as per Sections X.F.2.j of the Burr Ridge Zoning Ordinance to permit the construction of a building and parking lot for a dental office.

Permits Applied For January 2016



Permit Number	Date Applied	Property Address	Applicant Name & Conta	ct Info	Description
JCA-16-012	01/06/2016	681 Commerce St.	Hansen Technologies Corp	681 Commerce St Burr Ridge IL 60527	Com Alteration
JCA-16-021	01/26/2016	124 Burr Ridge Pkwy.	CDS Development	14901 Quorum Dr. Dallas TX 75254	Com Alteration
JCNC-16-003	01/25/2016	7100 Grant ST	Power Engineering	2021 Midwest Road Oak Brook IL 60523	Com New Construction
JELV-16-001	01/04/2016	304 Burr Ridge Club Dr.	DME Elevators & Lifts	1992 University Ln Lisle IL 60532	Elevator
JELV-16-024	01/28/2016	745 McClintock Dr	Thyssen Krupp Elevator Co	335 Eisenhjower Lane South Lombard IL 60148	Elevator
JGEN-16-014	01/08/2016	8734 Johnston Rd	Highland Park Electric, Inc.	3250 Skokie Valley Rd. Highland Park IL 60035	Generator
JGEN-16-015	01/13/2016	6980 Fieldstone Dr	Village Square Electric Inc	17123 Pointe Dr Orland Park IL 60467	Generator
JPAT-16-020	01/20/2016	9289 Fallingwater Dr East	Benito's Landscaping	1441 Schramm Dr. Westmont IL 60559	Patio Permit
JPCT-16-028	01/28/2016	16W 50 83rd ST	Jacobs Telecommunications	1700 Sherwin Av. Des Plaines IL 60018	Cell Tower
JPPL-16-006	01/05/2016	601 Burr Ridge Pkwy	LIFETIME FITNESS	2902 CORPORATE PL CHANHASSEN MN 55317	Pool Permit
JPR-16-007	01/11/2016	650 South Frontage Rd.	Pir Tano Construction Co.	1766 Armitage Ct. Addison IL 60101	ROW Permit
JPR-16-008	01/11/2016	16W 601 South Frontage Rd.	RS Services Systems, Inc.	38 Forestwood Dr. Romeoville IL 60446	ROW Permit
JPR-16-009	01/11/2016	7000 High Grove Blvd	RS Services Systems, Inc.	38 Forestwood Dr. Romeoville IL 60446	ROW Permit
JPR-16-011	01/12/2016	ROWs DuPage Locations	Meade, Inc.	9550 W. 55th St. La Grange IL 60525	ROW Permit
JPR-16-017	01/21/2016	ROWs Ck Cty Locations	Meade, Inc.	9550 W. 55th St. La Grange IL 60525	ROW Permit
JPR-16-025	01/27/2016	161 Tower Dr	Construction By Camco	2125 Oak Leaf St. Joliet IL 60436	ROW Permit
JPS-16-010	01/12/2016	15W 150 South Frontage Rd	Construction Realty Company	3330 Skokie Valley Rd, #300 Highland Park IL 60035	Sign Permit

Permits Applied For January 2016



Permit Number	Date Applied	Property Address	Applicant Name & Cont	act Info	Description
JRAD-16-016	01/14/2016	15W 645 81st ST	Lampros Tzimas	15W645 81st St Burr Ridge IL 60527	Residential Addition
JRAL-16-005	01/05/2016	105 Buttercup Bank	Artisan Builder & Co.	606 Buell Av Joliet IL 60435	Residential Alteration
JRAL-16-013	01/07/2016	56 Oak Creek Dr	Lamantia Construction	9100 Ogden Ave Brookfield IL 60513	Residential Alteration
JRAL-16-018	01/20/2016	8715 Madison St.	McNaughton Development	11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential Alteration
JRAL-16-019	01/14/2016	8349 Walredon Ave	Art Rocks Construction	554 W. US Hwy 20 Laporte IN 46350	Residential Alteration
JRAL-16-022	01/27/2016	1000 Village Center Dr. #201	Lamantia Construction	9100 Ogden Ave Brookfield IL 60513	Residential Alteration
JRES-16-002	01/21/2016	8285 Steepleside Dr	VG Construction	220 58th St. Clarendon Hills IL 60514	Residential Miscellaneous
JRES-16-004	01/05/2016	603 Burr Ridge Club Dr	U S Waterproofing	5650 Meadowbrook Ct Rolling Meadows IL 60008	Residential Miscellaneous
JRSF-16-023	01/27/2016	28 Hidden Lake Dr	Dan Bryan	433 S Brunner St. Hinsdale IL 60521	Residential New Single Family

TOTAL: 26

Permits Issued January 2016



Permit Number	Date Issued	Property Address	Applicant Name & Contact	Info	Description	
			Applicant Name & Contact Info		Value & Sq Ftg	
JCA-16-012	01/28/2016	681 Commerce St.	Hansen Technologies Corp	681 Commerce St Burr Ridge IL 60527	Com Alteration \$77,400	1,032
ICAD-15-224	01/14/2016	6801 High Grove Blvd	Phoenix Builders, Ltd.	1801 Winnetka Circ. Rolling Meadows IL 60008	Com Addition \$660,514	6,683
PF-15-305	01/04/2016	7431 Arbor Ave	Freeman Fence, Inc.	3515 Cleveland Ave. Brookfield IL 60513	Fence Permit	
PR-16-007	01/11/2016	650 South Frontage Rd.	Pir Tano Construction Co.	1766 Armitage Ct. Addison IL 60101	ROW Permit	
PR-16-008	01/11/2016	16W 601 South Frontage R	RS Services Systems, Inc.	38 Forestwood Dr. Romeoville IL 60446	ROW Permit	
PR-16-009	01/11/2016	7000 High Grove Blvd	RS Services Systems, Inc.	38 Forestwood Dr. Romeoville IL 60446	ROW Permit	
PR-16-011	01/18/2016	ROWs DuPage Locations	Meade, Inc.	9550 W. 55th St. La Grange IL 60525	ROW Permit	
RAD-15-297	01/13/2016	11443 Woodglen LN	Airoom Inc	6825 N. Lincoln Lincolnwood IL 60712	Residential Addit \$23,700	ion 158
RAL-14-124	01/19/2016	15W 760 89TH ST	McNaughton Development	11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential Altera \$147,150	ntion 1,962
RAL-15-284	01/13/2016	8053 Shag Bark Ln	Airoom Inc	6825 N. Lincoln Lincolnwood IL 60712	Residential Altera \$135,000	ntion 1,800
RAL-15-285	01/22/2016	1202 Burr Ridge Club Dr	Bruce Smothers	1202 Burr Ridge Club Dr. Burr Ridge IL 60527	Residential Altera \$26,550	ation 354
RAL-15-308	01/04/2016	124 Dragonfly	Team A Ltd.	325 w. Huron St. Chicago IL 60654	Residential Altera \$187,050	ation 2,494
RAL-15-315	01/06/2016	8426 Heather Ct	Molidor Custom Builders	219 W. 55tth Street, #103 Clarendon Hills IL 60514	Residential Altera \$28,500	ation 380
RAL-15-320	01/04/2016	11729 Woodside Ct	Neighborhood Remodelers	658 Busse Hwy. Park Ridge IL 60068	Residential Altera \$12,675	ntion 169
RAL-16-018	01/27/2016	8715 Madison St.	McNaughton Development	11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential Altera \$155,250	ation 2,070
RES-15-255	01/29/2016	1 Keri Ln	Paul Signorino	1 Keri Ln. Burr Ridge IL 60527	Residential Misce	llaneous

Permits Issued January 2016



Permit Number	Date Issued	Property Address	Applicant Name & Conta	ect Info	Description
					Value & Sq Ftg
JRES-15-290	01/26/2016	9225 Forest Edge LN	U S Waterproofing	5650 Meadowbrook Ct Rolling Meadows IL 60008	Residential Miscellaneous
JRES-15-321	01/04/2016	8090 Garfield Ave 3-	Slip Proof Safety	320 Forest Av. Willow Springs IL 60480	Residential Miscellaneous
JRES-16-002	01/22/2016	8285 Steepleside Dr	VG Construction	220 58th St. Clarendon Hills IL 60514	Residential Miscellaneous
JRES-16-004	01/21/2016	603 Burr Ridge Club Dr	U S Waterproofing	5650 Meadowbrook Ct Rolling Meadows IL 60008	Residential Miscellaneous
JRSF-15-241	01/27/2016	8405 Oak Knoll Dr.	DiCosola Group LLC	2150 S. Canalport Chicago IL 60608	Residential New Single Family \$1,052,700 7,018
JRSF-15-257	01/28/2016	6545 Hillcrest Dr.	Aryan Development	1901 S. Calumet Av. Chicago IL 60616	Residential New Single Family \$1,120,650 7,471
JRSF-15-317	01/22/2016	15W 20 91st ST	Gander Construction	P O Box 437 Frankfort IL 60423	Residential New Single Family \$449,250 2,995

TOTAL: 23

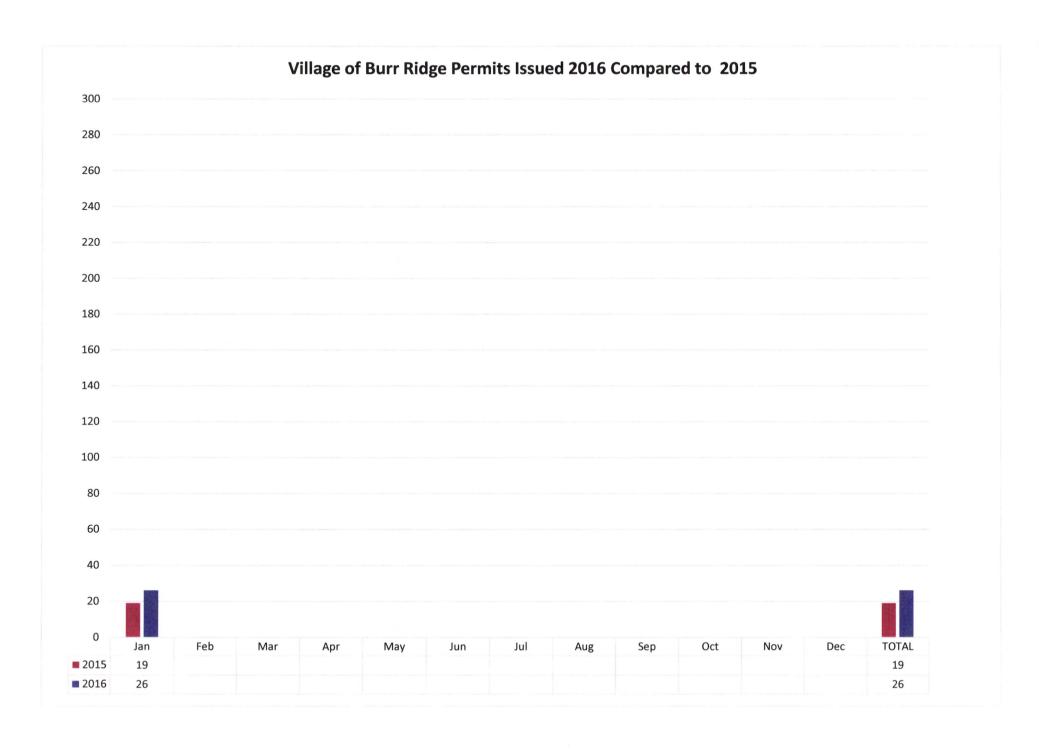
Occupancy Certificates Issued January 2016



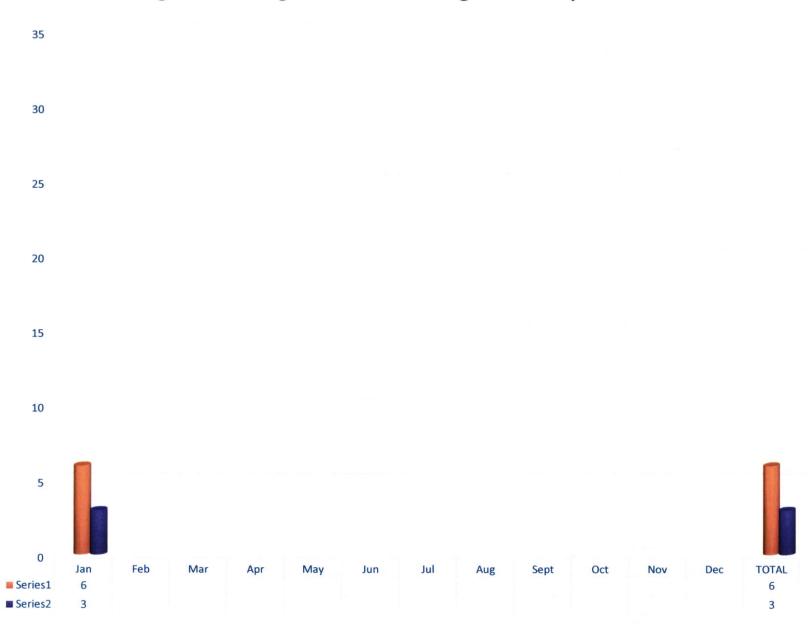
03/10/16

CO#	Certificate of Occupancy Date	Occupant of Record	Address
OF16001	01/19/16	Jim Tsantilis	11932 Crosscreek CT
OF16002	01/21/16	Jeelani Baloch	8674 Johnston Rd

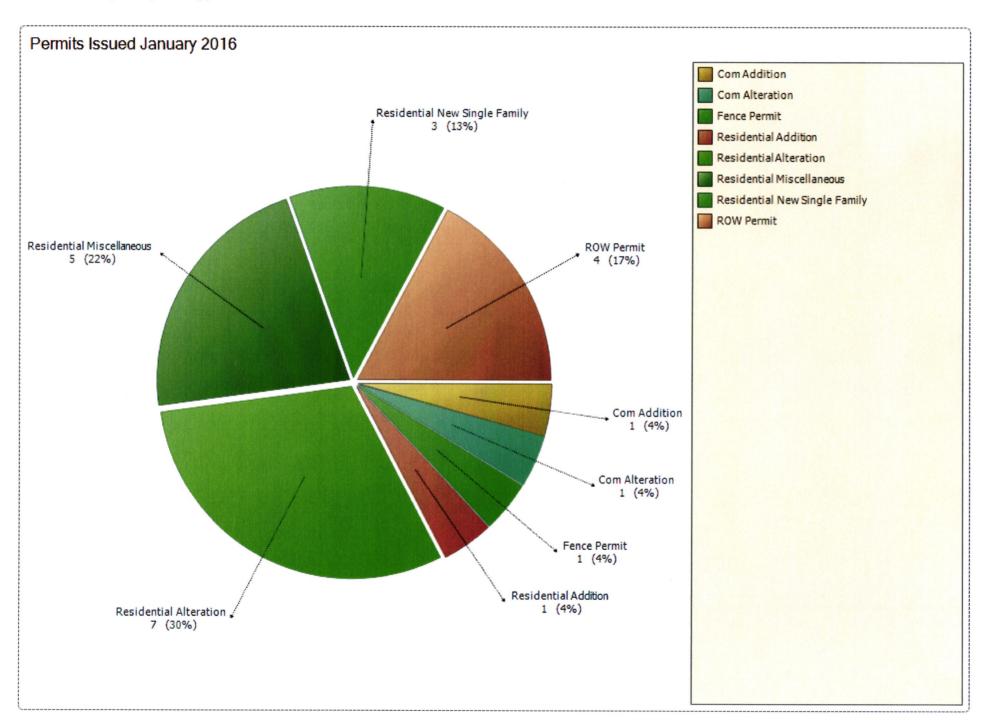
MONTHLY	MONTHLY SURVEY OF BUILDING PERMITS - 2016					
(Does not inclu	de miscellaneous Perr	nits)				
монтн	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH	
JANUARY	\$2,622,600			\$737,914	\$4,076,389	
FEBRUARY	[3]	[8]		[2]		
MARCH						
APRIL						
MAY						
JUNE						
JULY						
AUGUST						
SEPTEMBER						
OCTOBER						
NOVEMBER						
DECEMBER						
2016 TOTAL	\$2,622,600	\$715,875	\$0		\$4,076,389	
	[3]	[8]		[2]		



Village of Burr Ridge 2016 New Housing Starts Compared to 2015



Breakdown by Project Type



Permits Applied For February 2016



Permit Number	Date Applied	Property Address	Applicant Name & Contac	et Info	Description
JCA-16-033	02/09/2016	1333 Burr Ridge Pkwy	Shorner Construction	5708 Kingston Avenue Lisle IL 60532	Com Alteration
JCPP-16-030	02/04/2016	7045 Veterans Blvd. # A-3	Brew Plumbing Company	24428 Arrowhead Dr. Manhattan IL 60442	Com Plumbing Permit
JDEK-16-026	02/23/2016	6943 Fieldstone Dr	Corporate Design Development	2675 Pratum Av Schaumburg IL 60192	Deck Permit
JELV-16-038	02/29/2016	7000 High Grove Blvd	Thyssen Krupp Elevator Co	335 Eisenhjower Lane South Lombard IL 60148	Elevator
JGEN-16-027	02/01/2016	7820 County Line Rd	TRP Construction Inc	14712 Stone Haven Ln. Lockport IL 60441	Generator
JGEN-16-035	02/22/2016	8061 Savoy Club Ct.	Tru Power Generator Service	Darien IL 60561	Generator
JPAT-16-029	02/03/2016	8990 Enclave Dr	Grant & Power Landscaping In	700 E. Roosevelt Rd. West Chicago IL 60185	Patio Permit
JPR-16-031	02/09/2016	15W 150 South Frontage Rd	Marciano Underground, LLC	8525 W. 191st St. Mokena IL 60448	ROW Permit
JPS-16-037	02/19/2016	150 Harvester Dr.	Integrity Sign	18621 S. 81st Ave. Tinley Park IL 60487	Sign Permit
JRAD-16-034	02/10/2016	35 Dougshire Ct	Normandy Construction	440 E. Ogden Avenue Hinsdale IL 60521	Residential Addition
JRDB-16-040	02/29/2016	11801 German Church Rd.	Regency Garages	17W486 Lake St. Addison IL 60101	Residential Detached Building
JRSF-16-032	02/09/2016	6130 Elm St	J2Santi Custom Homes	5035 Lawn Ave. Western Springs IL 60558	Residential New Single Family
JRSF-16-039	02/26/2016	9141 Garfield Av	Overstreet Builders, Inc.	4327 Wingterberry Av Naperville IL 60564	Residential New Single Family

TOTAL: 13

Permits Issued February 2016



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info		Description
1					Value & Sq Ftg
JCA-16-033	02/16/2016	1333 Burr Ridge Pkwy	Shorner Construction	5708 Kingston Avenue Lisle IL 60532	Com Alteration \$4,500
JCNC-16-003	02/01/2016	7100 Grant ST	Power Engineering	2021 Midwest Road Oak Brook IL 60523	Com New Construction \$112,500 750
JDS-15-174	02/03/2016	6230 Elm St	Walz Builders	222 Willowwood Dr. Oswego IL 60543	Demolition Structure
JDS-15-247	02/24/2016	15W 440 63rd St	Colm Connolly Builders, Inc.	12907 S. Ridgeland Av. Palos Heights IL 60463	Demolition Structure
JELV-16-001	02/09/2016	304 Burr Ridge Club Dr.	DME Elevators & Lifts	1992 University Ln Lisle IL 60532	Elevator
JELV-16-024	02/26/2016	745 McClintock Dr	Thyssen Krupp Elevator Co	335 Eisenhjower Lane South Lombard IL 60148	Elevator
JGEN-16-014	02/26/2016	8734 Johnston Rd	Highland Park Electric, Inc.	3250 Skokie Valley Rd. Highland Park IL 60035	Generator
JPAT-15-156	02/19/2016	8633 Heather Dr	Terence & Mary Dunleavy	8633 Heather Dr. Burr Ridge IL 60527	Patio Permit
JPF-15-324	02/02/2016	685 Grant Ct	Peerless Fence & Supply	33W401 Roosevelt Rd West Chicago IL 60185	Fence Permit
JPR-16-017	02/02/2016	ROWs Ck Cty Locations	Meade, Inc.	9550 W. 55th St. La Grange IL 60525	ROW Permit
JPR-16-025	02/02/2016	161 Tower Dr	Construction By Camco	2125 Oak Leaf St. Joliet IL 60436	ROW Permit
JPR-16-031	02/22/2016	15W 150 South Frontage R	Marciano Underground, LLC	8525 W. 191st St. Mokena IL 60448	ROW Permit
JPS-15-322	02/26/2016	701 Village Center Dr.	Integrity Sign	18621 S. 81st Ave. Tinley Park IL 60487	Sign Permit
JPS-16-010	02/10/2016	15W 150 South Frontage R	Construction Realty Company	3330 Skokie Valley Rd, #300 Highland Park IL 60035	Sign Permit
JRAD-14-359	02/25/2016	8425 Park Ave	Michael Chowaniec	8425 Park Ave Burr Ridge IL 60527	Residential Addition \$421,650 2,811
JRAL-16-005	02/05/2016	105 Buttercup Bank	Artisan Builder & Co.	606 Buell Av Joliet IL 60435	Residential Alteration \$6,150 82

Permits Issued February 2016



Permit Number	Date Issued	Property Address	Applicant Name & Contact 1	Info	Description
					Value & Sq Ftg
JRAL-16-013	02/05/2016	56 Oak Creek Dr	Lamantia Construction	9100 Ogden Ave Brookfield IL 60513	Residential Alteration \$35,925 479
JRAL-16-019	02/23/2016	8349 Walredon Ave	Art Rocks Construction	554 W. US Hwy 20 Laporte IN 46350	Residential Alteration \$40,500 540
JRAL-16-022	02/09/2016	1000 Village Center Dr. #20	Lamantia Construction	9100 Ogden Ave Brookfield IL 60513	Residential Alteration \$9,750 130
JRES-15-286	02/03/2016	121 Carriage Way Dr.	Kapital Electric, Inc.	1240 Mark St. Bensenville IL 60106	Residential Miscellaneous
JRES-15-294	02/01/2016	5 Chippewa Ct	Dulcedo Construction	203 Second St Crystal Lake IL 60014	Residential Miscellaneous
JRPE-15-229	02/05/2016	112 Carriage Way Dr.	Premier Electrical Service	5559 W. 143rd St. Midlothian IL 60445	Res Electrical Permit
JRSF-15-176	02/03/2016	6230 Elm St	Walz Builders	222 Willowwood Dr. Oswego IL 60543	Residential New Single Family \$479,100 3,194
JRSF-15-246	02/24/2016	15W 440 63rd St	Colm Connolly Builders, Inc.	12907 S. Ridgeland Av. Palos Heights IL 60463	Residential New Single Family \$663,000 4,420
JRSF-15-260	02/17/2016	11561 W 87th St.	Seif Martini	9377 Madison St. Burr Ridge IL 60527	Residential New Single Family \$796,500 5,310
JRSF-15-263	02/17/2016	11555 W 87th St.	Aspon Construction	323 W. North Hinsdale IL 60521	Residential New Single Family \$869,400 5,796

TOTAL: 26

03/11/16

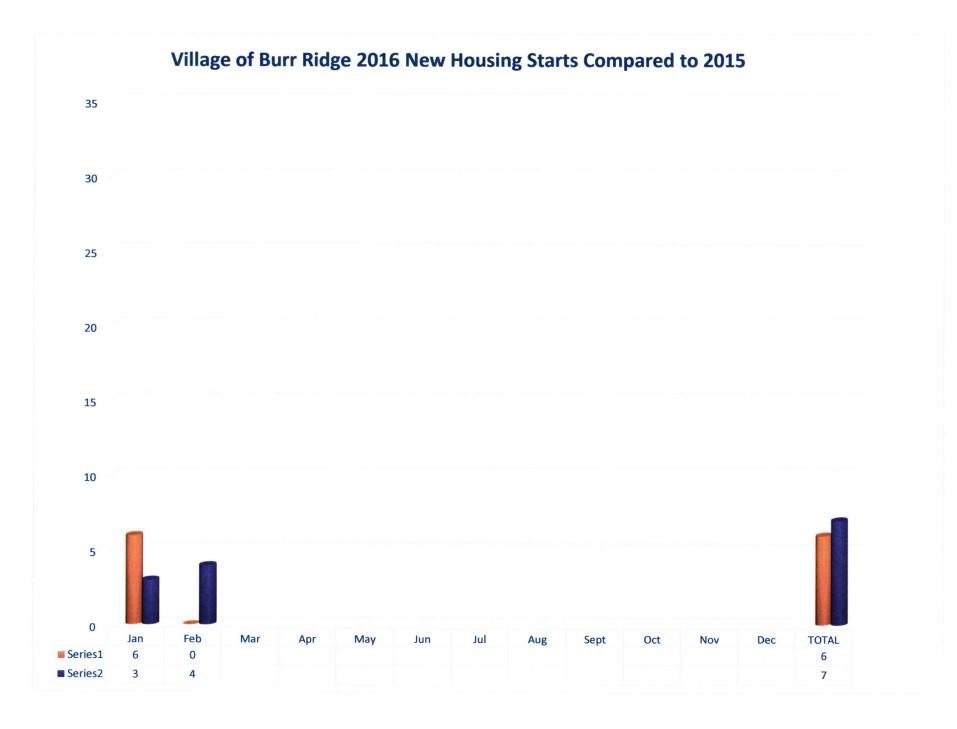
Occupancy Certificates Issued February 2016



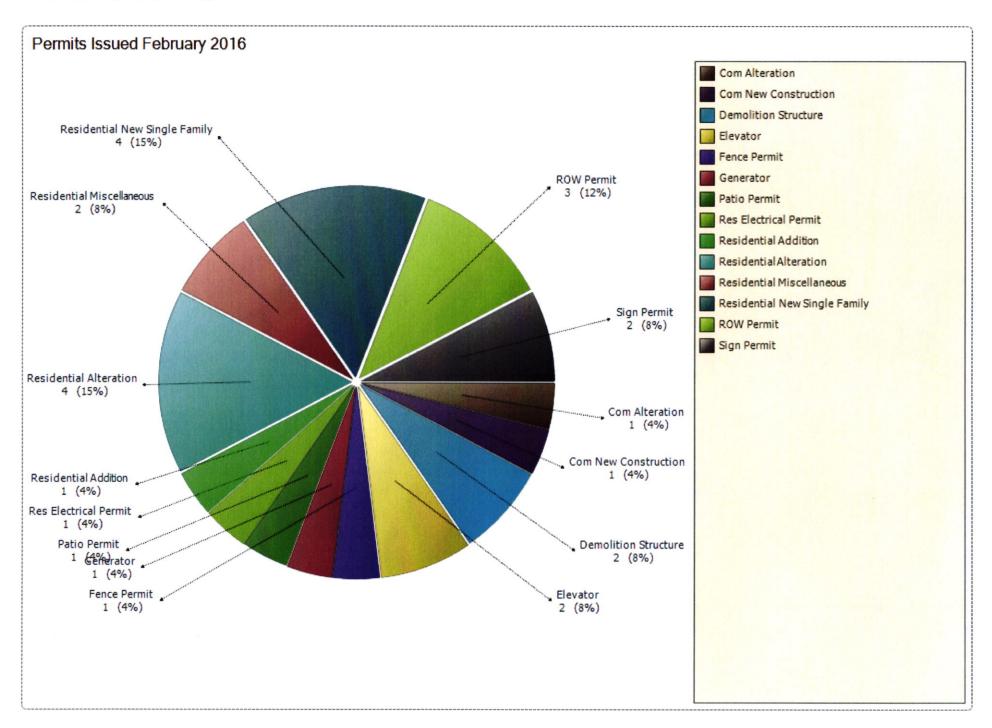
CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF16003	02/18/16	Harvester Place Anthem Memory	Car 15W 150 South Frontage Rd
OF16004	02/10/16	Darius Sriubas	11810 Crosscreek CT
OF16005	02/10/16	Bob & Betty Becker	6545 County Line Rd
OF16006	02/04/16	Noel & Natividad Alcantara	7820 County Line Rd

MONTHLY SURVEY OF BUILDING PERMITS - 2016					
de miscellaneous Perr	nits)				
SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH	
				\$4,076,389	
\$2,808,000	\$513,975		\$4,500	\$3,438,975	
[4]	[3]	[1]	[+]		
\$5,430,600	\$1,229,850	\$112,500	\$742,414	\$7,515,364	
	SINGLE FAMILY RESIDENTIAL (NEW) \$2,622,600 [3] \$2,808,000 [4]	SINGLE FAMILY RESIDENTIAL (NEW) S18 ALTERATIONS (RES) \$2,622,600 \$715,875 [3] [8] \$2,808,000 \$513,975 [4] [5]	SINGLE FAMILY RESIDENTIAL (NEW) NON-RESIDENTIAL (NEW) (NEW) S2,622,600 \$715,875 [3] [8] \$2,808,000 \$513,975 \$112,500 [4] [5] [1]	SINGLE FAMILY ADDITIONS RESIDENTIAL (NEW) (RES) (NEW) (NON-RES)	





Breakdown by Project Type





VILLAGE OF BURR RIDGE COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT AND SUMMARY

Preliminary Plat of Subdivision (16W380 93rd Place) - Dlugopolski; Requests preliminary plat approval for the re-subdivision of three parcels into two lots fronting on 93rd Place.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals

Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP

Community Development Director

Date of Meeting: March 21, 2016; continued from February 15, 2016

SUMMARY

Concurrent with this request for preliminary plat approval, the property owner is seeking variations of the minimum lot area and lot width to re-subdivide the property. Preliminary plat approval is contingent upon approval of the zoning variation.

The re-subdivision of this property is subject to compliance with the Subdivision Ordinance. The following requirements of the Subdivision Ordinance are noteworthy:

- If the preliminary plat and the variation are approved, the developer will be required to submit a final plat of subdivision for review and approval by the Village.
- There are no school or park donations as no additional lots are being created.
- On-site stormwater detention is not required because the impervious surfaces will be less than ½ acre. However, the individual lots will be required to provide "Post Construction Best Management Practices (PCBMP)" as per the DuPage County Stormwater Ordinance Section 15-64 (generally, PCBMPs allow infiltration into the ground of 1.25" of rainfall running off impervious surfaces). Enforcement of this requirement will be part of the building permit process, not part of the subdivision process.
- There are existing water and sanitary sewer mains available to serve the two lots.
- Street improvements (or a donation in lieu of street improvements) are required for the adjacent 93rd Place. Required street improvements include curbs and street surfacing as determined necessary.
- Sidewalks and parkway trees are required on both street frontages (93rd Place and Route 83. This subdivision request will be submitted to the Pathway Commission at their March meeting to determine whether the Commission prefers the sidewalks or a donation in lieu of the sidewalk.

The Oak Hill Estates Subdivision does not have streets with curbs. In these cases, it has been the policy of the Village to waive the curb and street improvements in lieu of a contribution in kind

Staff Report and Summary Preliminary Plat of Subdivision (16W380 93rd Place) - Dlugopolski Page 2 of 2

for future street maintenance. The Oak Hill Subdivision is planned for street re-surfacing in the summer of 2016.

If the Plan Commission recommends approval of the variation, the preliminary plat should be subject to the following conditions:

- 1. The final plat shall be submitted within one year of the preliminary plat shall become null and void.
- 2. The petitioner shall submit preliminary engineering plans with an engineer's cost estimate for the required street improvements (and sidewalks) for review and approval by the Village Engineer. The petitioner shall submit payment of the approved fee in lieu of the required street improvements in the amount approved by the Village Engineer.
- 3. The petitioner shall pay either a donation in lieu of the required sidewalks or construct the required sidewalk as may be determined by the Board of Trustees upon recommendation from the Pathway Commission.

PLAT OF SURVEY

Of
LOT 4 (EXCEPT THE EAST 41.0 FEET THEREOF) LOTS 5 AND 6 IN OAK HILL ESTATES RESUBDIVISION, A RESUBDIVISION OF LOT 70 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THE SOUTH HALF
OF SECTIONS 1 AND 2 AND ALL OF SECTIONS 11 AND 12, LYING NORTH OF THE SANITARY DISTRICT, IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUGAGE



ADDRESS: 16W 380 W. 93RD PLACE, BURR RIDGE, ILLINOIS TRON PRINCE-CENTER OF WOOD FENCE 1.4 E. & 0.7 N. 184.00 CENTER OF WOOD PENCS 8.3 E. & ON LINE SCALE: 1"=30' (150.00) __FOUND IRON PIPE 1.34 E. & 0.49 S. FOUND IRON PIPE-5 STREET 50.1 JACKSON CENTER OF WOOD FENCE 9.4 N. & 5.8 E. (34,00) 184.00 GENERAL NOTES: EDGE OF PAVEMENT 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR TREIR AGENT. THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNELS SUPPLIED BY THE CLIENT. BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES. W. 93RD PLACE STATE OF ILLINOIS)
S.S. 4) MONUMENTS, IF SET, DURING TRIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED. COUNTY OF COOK) 5) LOCATION OF SOME PEATURES MAY BE EXAGGERATED FOR CLARITY, NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON. SURVEY ORDERED BY: ANDREW LIGAS PREFERED SURVEY, INC., DOES HEREBY STATE THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT HILMOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT UDIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND AVE. CORRECTED TO A TEMPERATURE OF 88 DEGREES FARRENHEIT. 6) DNLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DUCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED. Professional Design Registration #184~002795 PROFESSIONAL GIVEN UNDER MY HAND AND SEAL THIS PREFERRED SURVEY, INC. CORPORATION
NO. 116
STATE OF
ILLINOIS DAY OF



7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455 Phone 708-458-7845 / Fax 708-458-7855

www.psisurvey.com

1D/09/08 FLD CREW: Field Work Completed 27,627.2 Sq. Ft. CAD: Land Area Surveyed Drawing Revised

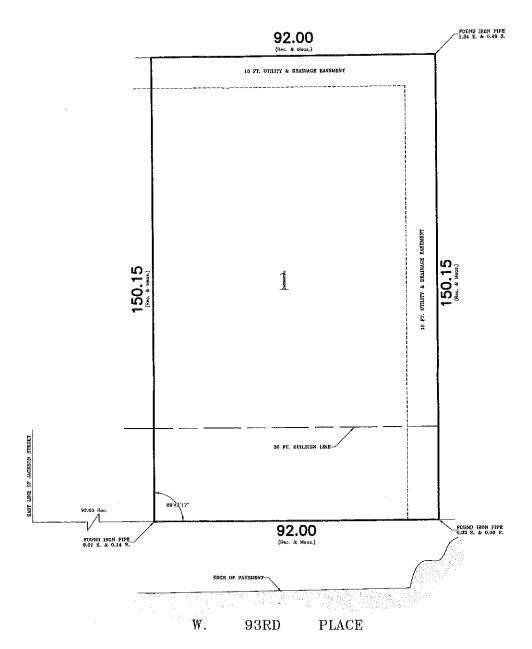


PLAT OF SURVEY

of

LOT 1 IN DLUGOPOLSKI'S 93RD PLACE RESUBDIVISION, BEING 4 RESUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.





NO, 116 STATE OF ILLINOIS

GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS SEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS FLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) Monuments, if set, during this survey, represent the true corners of this description as surveyed.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY, NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HERBON,
- a) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

Professional Design Registration #184-002795



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455 Phone 708-468-7845 / Fax 708-458-7856 www.psisurvey.com

10/09/08 FLD CREW: Field Work Completed CD/RS 13,813.6 Sq. Ft. Land Area Surveyed Drawing Revised



SURVEY ORDERED BY: ANDREW LIGAS

PREFERRED SURVEY, INC. DOES HERRBY STATE THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT LLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORPUS, HAVE BEEN SAT OR NOT IN ACCORDANCE WITH CLIENT ACREMENT, DIMENSIONS ARE SHOWN IN FRET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGRAES FARRENCERY.

GIVEN ONDER MY HAND AND SEAL THIS

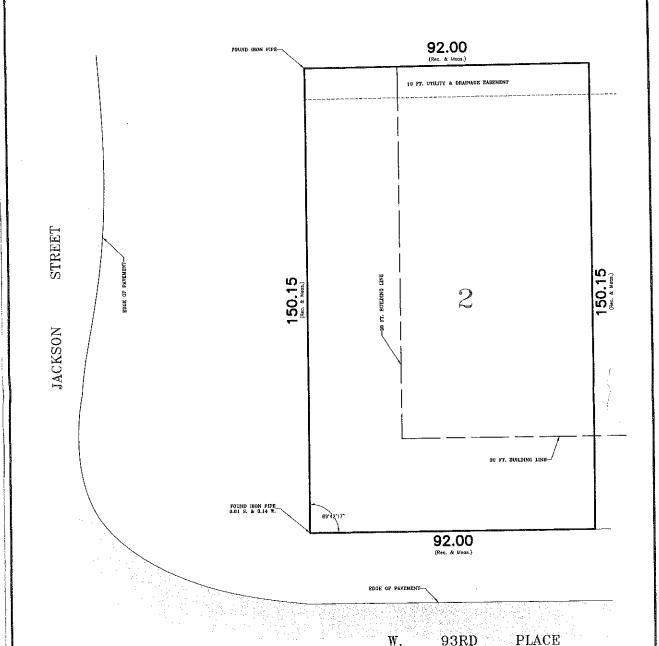


PLAT OF SURVEY

of

LOT 2 IN DLUGOPOLSKI'S 93RD PLACE RESUBDIVISION, BEING A RESUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.





GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLERN.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

Professional Design Registration #184-002795



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL. 80455 Phone 708-458-7845 / Fax 708-458-7855 www.psisurvey.com



STATE OF ILLINOIS)
S.S.
COUNTY OF COOK)

SURVEY ORDERED BY: ANDREW LIGAS

PREFERRED SUFFEY, INC., DOES HERRBY STATE THIS PROFESSIONAL SERVICE CORNORMS TO THE CURRENT ILLINOIS MINHUM STANDARD FOR A POLINDARY SUFFEY, PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT ACREMENT! DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOR AND ABELCORRECTED TO A TEMPERATURE OF 68 DEGREES FARRENHEIT.

GIVEN UNDER MY HAND AND SEARCH SEARCH A.D. 2508

P.S.I. NO. 11 0885782-C



VILLAGE OF BURR RIDGE COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT AND SUMMARY

S-01-2016; 15W300 South Frontage Road (Crown Plaza Hotel); Requests conditional sign approval as per Section 55.06.B.6 of the Sign Ordinance to permit two wall signs mounted more than 20 feet above grade and requests variations from Sections 55.06.A to permit two wall signs and a monument sign rather than the maximum of one wall sign and one monument sign; to permit a total sign area of 290 square feet rather than the maximum of 100 square feet; to permit a 25 foot tall monument sign rather than a maximum height of 10 feet; and to permit an internally illuminated signs in excess of 75 square feet in area.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals

Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP

Community Development Director

Date of Hearing: March 21, 2016

GENERAL INFORMATION

Petitioner: Vega Hospitality Group

Property Owner: Suresh Sukhramani

Petitioner's Status:

Hotel Owner and Manager

Land Use Plan: Recommends Commercial

Uses

Existing Zoning: B-2 General Business

District

Existing Land Use: Hotel

Site Area: 4 Acres

Subdivision: None





Staff Report and Summary

S-01-2016: 15W300 South Frontage Road (Crown Plaza)

Page 2 of 3

SUMMARY

The property owner is in the process of converting this property to a Crown Plaza Hotel. Zoning approval was granted in 2015 to accommodate the continued use of the property as a hotel. This request seeks approval for a sign package for the new hotel.

Signs for Other Hotels: The following are the approved signs for other hotels in the Village:

Marriott Hotel: The Marriott was granted two wall signs of 70 square feet each; a 50 square foot monument sign; and three traffic directional signs of 10 square feet each.

Extended Stay America: The ESA hotel was granted two wall signs and one monument sign with the total sign area not to exceed 300 square feet.

Spring Hill Suites: Spring Hall was permitted one wall sign and one monument sign with a combined sign area of 100 square feet.

A 2000 variation approval for The Best Western Hotel on this property approved up to 355 square feet of sign area which included two monument signs and one wall sign.

<u>Permitted and Proposed Signs</u>: For a property in a Business District, the Sign Ordinance permits one wall sign and one monument sign with a combined area not exceeding 100 square feet. Internally illuminated signs are restricted to 75 square feet in area. Wall signs require conditional sign approval if mounted more than 20 feet above grade. Traffic directional signs are restricted to four square feet in area and four feet in height.

This application seeks approval for two wall signs, one monument sign, and traffic directional signs. The following is a summary of the signs and their compliance with the Sign Ordinance:

- Two wall signs are proposed. One is approximately 90 square feet and the other 60 square feet in area. They are internally illuminated and would be mounted more than 20 feet above grade. Both signs face South Frontage Road and I-55. The Sign Ordinance permits one wall sign with a combined area (combined with the monument sign) not to exceed 100 square feet.
- One monument sign is proposed. The monument sign is 25 feet in height and approximately 140 square feet in area. It is made larger in area due to the solid base/pole which is counted toward sign area. The Sign Ordinance permits one monument sign with a combined sign area not to exceed 100 square feet and a maximum of 8 feet in height.
- One traffic directional sign is proposed which is 4 square feet in area and 3 feet in height. This sign complies with the Sign Ordinance.

Recommendations: Three signs are proposed with a total sign area of 290 square feet. The number of signs and the total sign area are consistent with prior sign approvals for this property and other hotel properties. However, certain aspects of the sign proposal may be inconsistent with other sign approvals. Specifically:

- There is no precedent for two wall signs on the same façade of a hotel building.
- Back lit signs are preferred over internally illuminated signs.
- Taller, pole mounted signs are not common in the Village. All of the other hotels are restricted to monument signs that do not exceed the 10 to 12 foot height limit.

The circumstances with the monument sign are somewhat unique in that this property has had a taller monument (a.k.a. pole sign) for many years. The subject sign is consistent in size with other pole signs that have been used on this property.

Staff Report and Summary

S-01-2016: 15W300 South Frontage Road (Crown Plaza)

Page 3 of 3

In regards to the wall signs, alternatives should be considered that would bring the wall signs closer to compliance with prior hotel sign approvals.

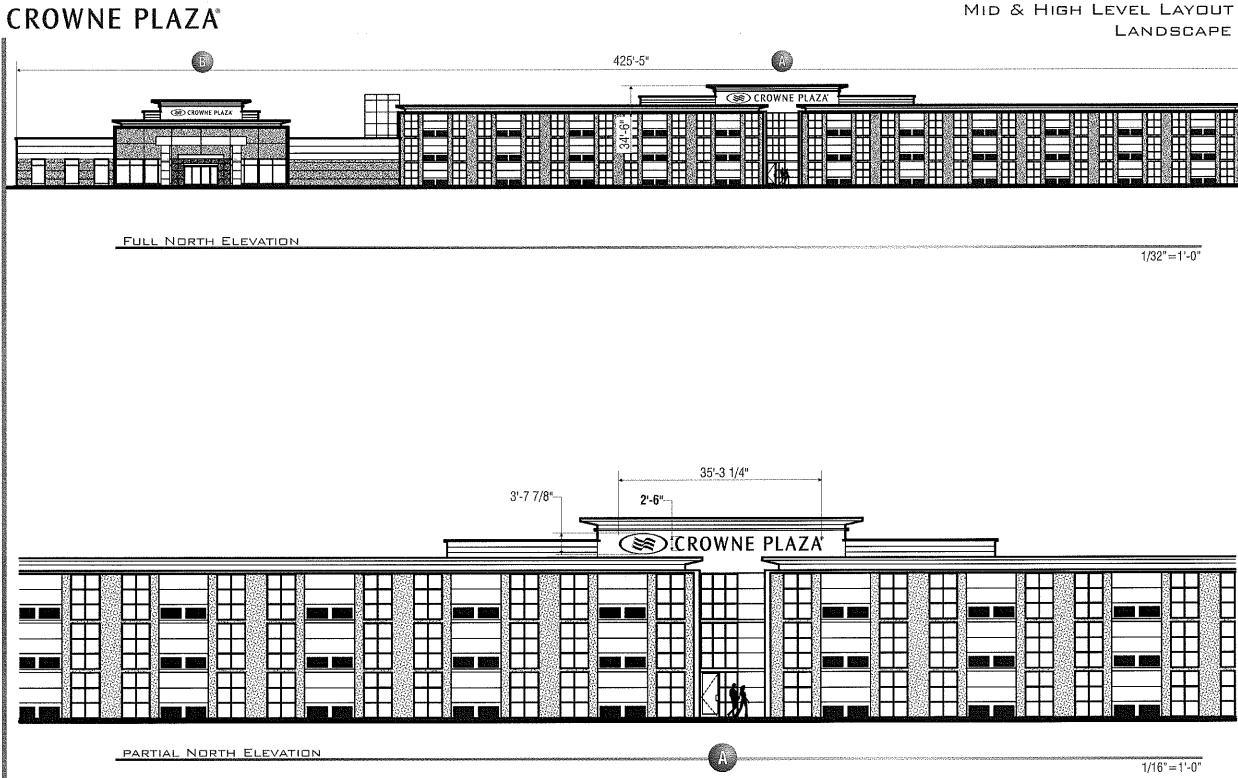
- 1. Replace the second wall sign with one or two, smaller, non-illuminated signs mounted on the front face or side faces of the awning. Awning signs up to six inches in height, with the name or address of the business, are permitted.
- 2. Make the primary wall sign a back lit sign. This would eliminate the variation for the size of an internally illuminated sign.





30" INDIVIDUAL INTERNALLY ILLUMINATED REMOTE L.E.D. LETTER SET

MID & HIGH LEVEL LAYOUT



REFERENCE DRAWING B70446B FOR SPECIFICATIONS

BURR RIDGE, IL



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✓ Artwo	1	CULUSTED
DATE:	2/8/15	
DESIGNER:	MS0	
SALESMAN:	L. Jones	
LOCATION:	300 Frontage I	Rd Burr Ridge, IL
CUSTOMER	: CROWNE PLA	ZA

COMPANION FILES

PRODUCTION PROCESSING Kleffer Item# __

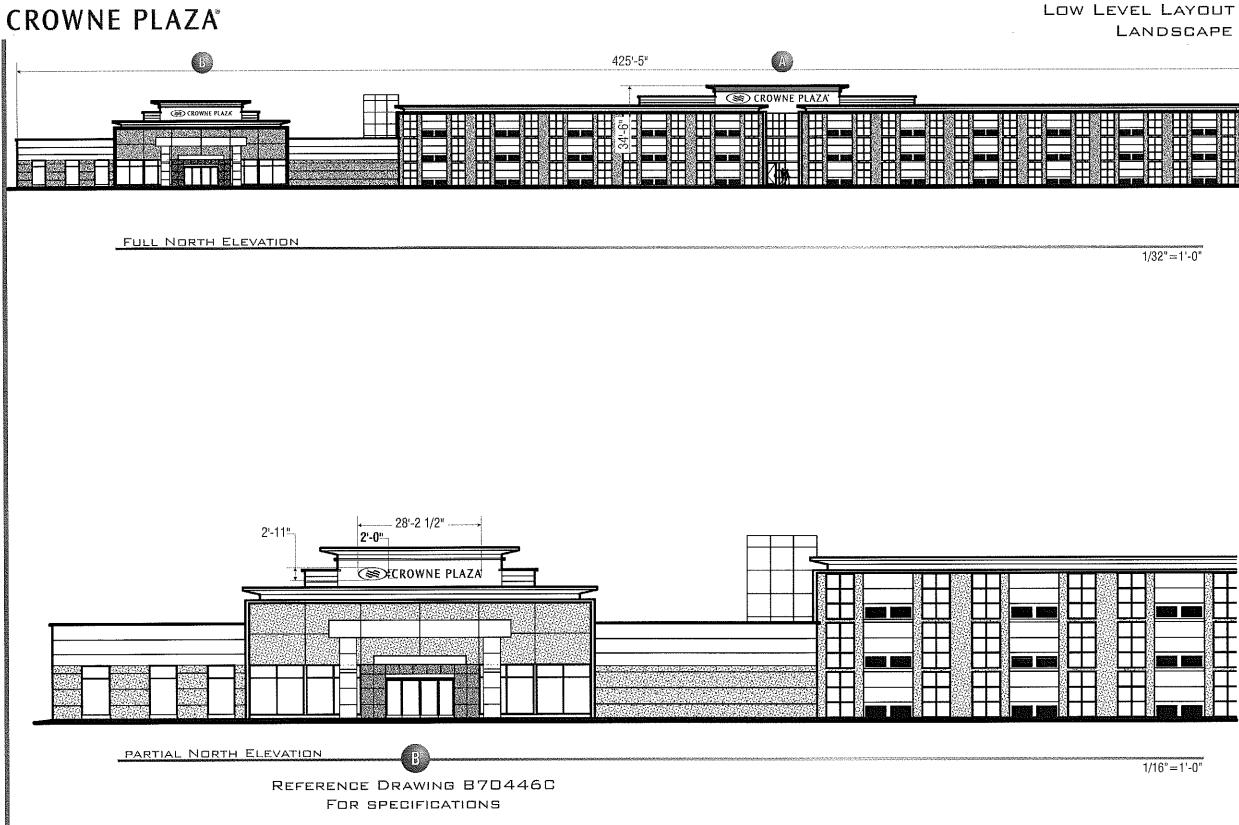


24" INDIVIDUAL INTERNALLY ILLUMINATED REMOTE L.E.D. LETTER SET

LOW LEVEL LAYOUT

BURR RIDGE, IL

LANDSCAPE





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CUSTOMER: CROWNE PLAZA LOCATION: 300 Frontage Rd. - Burr Ridge, IL salesman: L. Jones DESIGNER: MSO 2/8/15 DATE:

✓ Artwork ☑ Design ✓ Survey All boxes checked to Enter Order

COMPANION FILES

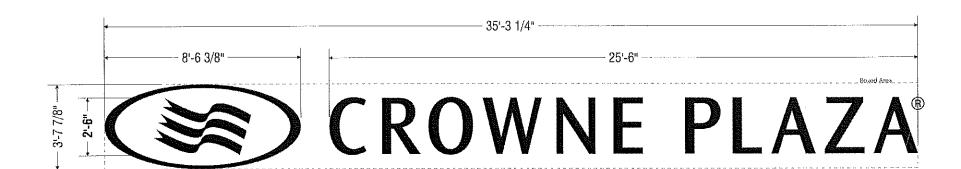
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B70446A



30" INDIVIDUAL INTERNALLY ILLUMINATED REMOTE L.E.D. LETTER SET
MID & HIGH LEVEL LAYOUT

MID & HIGH LEVEL LAYOUT LANDSGAPE





Light Backgrounds

129.57

1/4"=1'-0"

C Logo Medallion

Construction: aluminum channel letters

Returns & Trim Cap: painted

Crowne Plaza Plum (Pantone 228C / RAL 350 30 40)

Illumination: white LED

Face Construction: 7328 white acrylic

Decoration: 3M 3635-1214 dual color Plum vinyl applied to 1st surface.

Channel Letters

Construction: aluminum channel letters

Returns & Trim Cap: painted

Crowne Plaza Plum (Pantone 228C / RAL 350 30 40)

Illumination: white LED

Face Construction: 7328 white acrylic

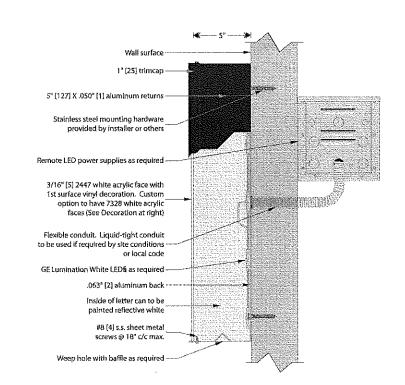
Decoration: 3M 3635-1214 dual color Plum vinyl applied to 1st surface.

Registration Disk

Construction: aluminum disk

Decoration: Painted White semi gloss

w/ 3M 3630-1214 Plum vinyl applied to 1st surface



Remote Channel Letter Section Scale: 1 1/2" = 1'-0"

BURR RIDGE, IL



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CUSTOMER:	CROWNE PLAZA
	300 Frontage Rd Burr Ridge, IL
SALESMAN:	L. Jones
DESIGNER:	
DATE:	2/8/15
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▼ Survey	

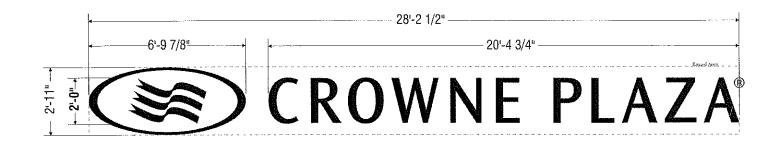
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B70446E



24" INDIVIDUAL INTERNALLY ILLUMINATED REMOTE L.E.D. LETTER SET
MID & HIGH LEVEL LAYOUT

MID & HIGH LEVEL LAYOUT
LANDSCAPE



(B)

Light Backgrounds

82.16

1/4"=1'-0"

Logo Medallion

Construction: aluminum channel letters

Returns & Trim Cap: painted

Crowne Plaza Plum (Pantone 228C / RAL 350 30 40)

Illumination: white LED

Face Construction: 7328 white acrylic

Decoration: 3M 3635-1214 dual color Plum vinyl applied to 1st surface.

Channel Letters

Construction: aluminum channel letters

Returns & Trim Cap: painted

Crowne Plaza Plum (Pantone 228C / RAL 350 30 40)

Illumination: white LED

Face Construction: 7328 white acrylic

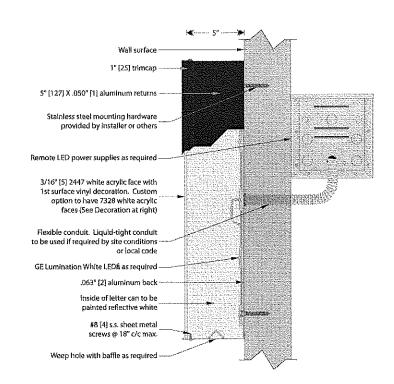
Decoration: 3M 3635-1214 dual color Plum vinyl applied to 1st surface.

Registration Disk

Construction: aluminum disk

Decoration: Painted White semi gloss

w/ 3M 3630-1214 Plum vinyl applied to 1st surface



Remote Channel Letter Section

BURR RIDGE, IL



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585 Bond Street - Lincolnshire, IL 60069 PHONE: (847) 520-1255 FAX: (847) 520-1543

www.mcsicrorgno.com					
CUSTOMER:	CROWNE PLAZA				
LOCATION:	300 Frontage Rd Burr Ridge, IL				
SALESMAN:	L. Jones				
DESIGNER:	MSO				
DATE:	2/8/15				
Artwor Design Survey	i (LL)				
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PRODUCTION PROCESSING

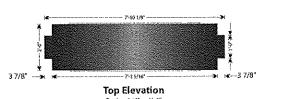
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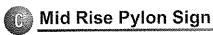
B70446C



CP-MR-50 D/F INTERNALLY ILLUMINATED PYLON SIGN

25'-0" D.A.H.





1/4" = 1'-0"

Base Sign Cabinet
Construction: Aluminum
Sign Face Finish: Painted plum (Pantone 228 C)
Illumination: H.O. Fluorescent Lamps

End Caps

Construction: Aluminum
Finish: Painted Pantone® Process Black C

Crowne Icon

Construction:Push-thru translucent white acrylic ring and ribbons

Crowne Plaza Wordmark

Construction: Push-thru translucent white acrylic and 3M 7725-10 opaque white vinyl trademark applied to aluminum face

Pole Cover

Construction: Aluminum

Finish:Painted Pantone® Process Black C

Crowne Plaza Plum (Pantone 228C / RAL 350 30 40)

Painted Pantone® Process Black C





Side View

BURR RIDGE, IL



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585 Bond Street - Lincolnshire, IL 60069 PHONE: (847) 520-1255 FAX: (847) 520-1543 www.kieffersigns.com

CUSTOMER: CROWNE PLAZA

LOCATION: 300 Frontage Rd. - Burr Ridge, IL

SALESMAN: L. Jones

DESIGNER: MSO

2 / 8 / 15

Artwork
Design
Survey
All boxes othecked to Enter Order

COMPANION FILES

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B70446D

CP-DR-5 D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN

Directional Sign

3/4" = 1'-0"

Base Sign Cabinet

Construction: Aluminum

Sign Face Finish: Painted plum (Pantone 228 C / RAL 350 30 40)

Illumination: High Output Fluorescent Lamps

End Caps

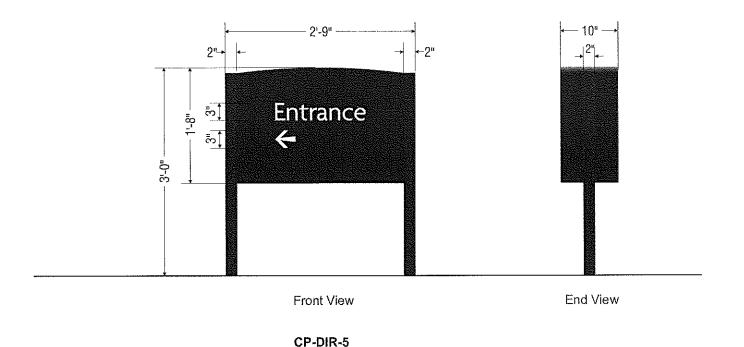
Construction:Aluminum

Finish:Painted Pantone® Process Black C

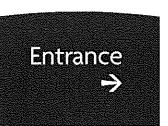
Arrow(s) and Copy

Construction: Translucent white acrylic backer.

Informational copy to be in Agenda Regular font.



4.03 sq ft



Opposite Face



585 Bond Street - Lincolnshire, IL 60069 PHONE: (847) 520-1255 FAX: (847) 520-1543 www.kieffersigns.com

CUSTOMER: CROWNE PLAZA

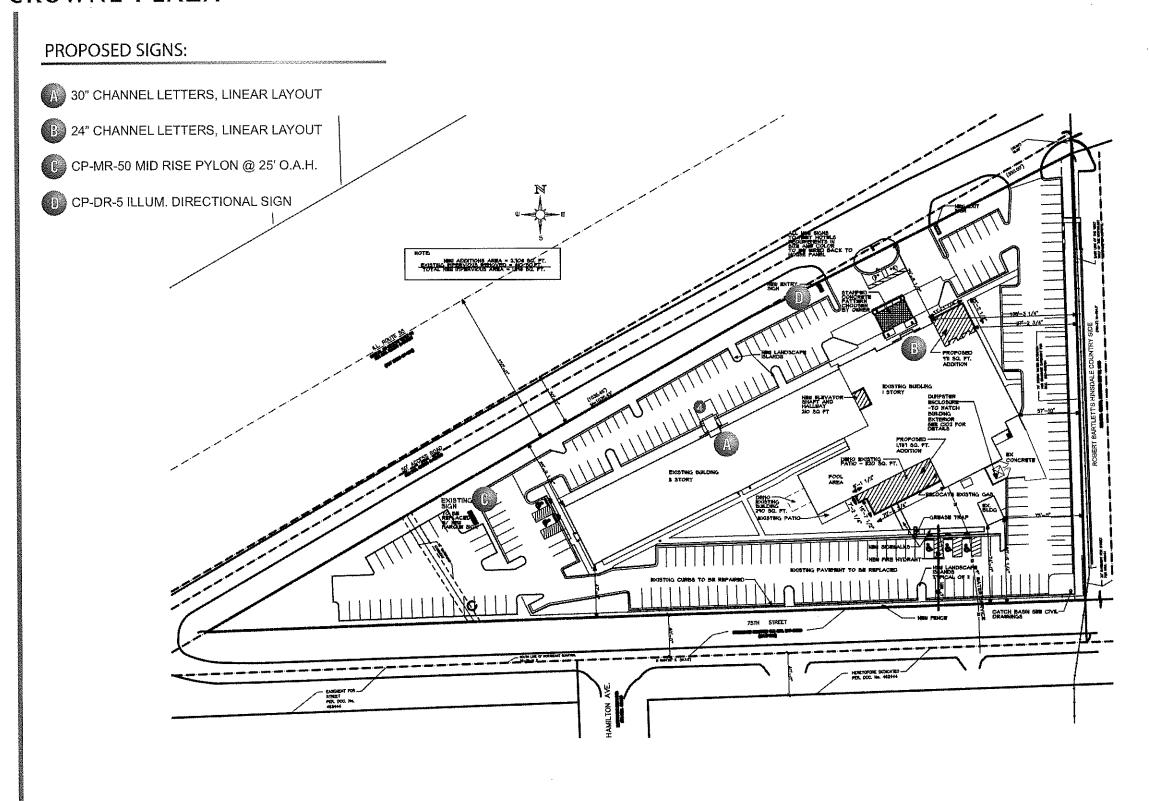
LOCATION:	300 Frontage	<u>Rd Burr Ridge, IL</u>
SALESMAN	<u>L. Jones</u>	
DESIGNER:	MSO	
DATE:	2/8/15	
✓ Artwo ✓ Desig ✓ Surve All boxes che	n	CULUSTED

Survey
All boxes checked to Enter Order COMPANION FILES

BURR RIDGE, IL



CROWNE PLAZA*





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customer: <u>CROWNE PLAZA</u>

Location: <u>300 Frontage Rd. - Burr Ridge, IL</u>

Salesman: <u>L. Jones</u>

DESIGNER: MSO

DATE: 2/8/15

Artwork
Design
Survey
All boxes checked to Enter Order



COMPANION FILES

INITIALS:

SITE



VILLAGE OF BURR RIDGE COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT AND SUMMARY

S-02-2016; 100 Harvester Drive (Hampton/Falls); Requests conditional sign approval as per Section 55.08.B of the Sign Ordinance to permit additional signs and sign area and requests variations from Section 55.31 of the Sign Ordinance to permit two internally illuminated signs in excess of 75 square feet in area.

Prepared For: Village of Burr Ridge Plan Commission / Zoning Board of Appeals

Greg Trzupek, Chairman

Prepared By: Doug Pollock, AICP

Community Development Director

Date of Hearing: March 21, 2016

GENERAL INFORMATION

Petitioner: Prominence Burr Ridge,

LLC and The Falls Event

Center, LLC

Property Owner: BJF Estancia II, LLC

Petitioner's Status:

Contract Purchaser

Land Use Plan: Recommends office uses

Existing Zoning: O-2 Planned Unit

Development

Existing Land Use: Office

Site Area: 4.4 Acres

Subdivision: Estancia Planned Unit

Development





Staff Report and Summary

S-02-2016: 100 Harvester Drive (Hampton/Falls)

Page 2 of 3

SUMMARY

The contract purchaser of the subject property is seeking an amendment to the Estancia Planned Unit Development for development of a hotel and event center. That petition is on the March 21, 2016 agenda with this request for sign approval.

SIGNS FOR OTHER HOTELS

The following are the approved signs for other hotels in the Village:

Extended Stay America. The ESA hotel was granted two wall signs and one monument sign with the total sign area not to exceed 300 square feet.

Spring Hill Suites. Spring Hall was permitted one wall sign and one monument sign with a combined sign area of 100 square feet.

Crown Plaza. Crown Plaza is in the process of remodeling and is requesting sign approval on this same agenda. A 2000 variation approval for The Best Western Hotel on this property approved up to 355 square feet of sign area which included two monument signs and one wall sign.

EXISTING AND PERMITTED SIGNS

The existing signs approved for Estancia include a 50 square foot wall sign on the three-story building at 150 Harvester Drive and a 40 square foot monument sign at the Harvester Drive entryway to the property. A permit for the wall sign has been issued but as of this writing, the sign has not been erected.

The Sign Ordinance regulates permitted signs based on the zoning restrict of one building per lot. The subject property is a PUD with multiple buildings on the property. The following is a summary of signs permitted for this property if each building were on a separate lot of record:

- For the three-story building at 150 Harvester Drive, one sign is permitted with a total sign area of 161 square feet.
- For the one-story building at 180 Harvester Drive, one sign is permitted with a total sign area of 100 square feet.
- For the vacant third lot, two signs would be permitted (because it is a corner lot), with a maximum sign area of 100 to 250 square feet depending on the floor area of the building. For the combined floor area of the proposed hotel and event center, the maximum sign area permitted is 136 square feet.

Thus, the property would be permitted four signs with a combined sign area not to exceed 397 square feet. The Sign Ordinance also allows a request for conditional sign approval that would accommodate one additional sign per property and up to 250 square feet per property. Please note also that internally illuminated signs are limited to 75 square feet in area.

PROPOSED SIGNS

The following signs are proposed for the Event Center and Hotel:

Falls Event Center Monument Sign. A single monument sign is proposed at the northwest corner of the building. The sign would be 7 feet 2 inches tall and approximately 66.5 square feet in area. The sign face would not be visible from any public street.

Hampton Inn Wall Signs. Hampton Inn proposes two wall signs; one facing east and one facing south. Both signs are approximately 80 square feet in area. Both signs are one color (red) and are internally illuminated.

Staff Report and Summary

S-02-2016: 100 Harvester Drive (Hampton/Falls)

Page 3 of 3

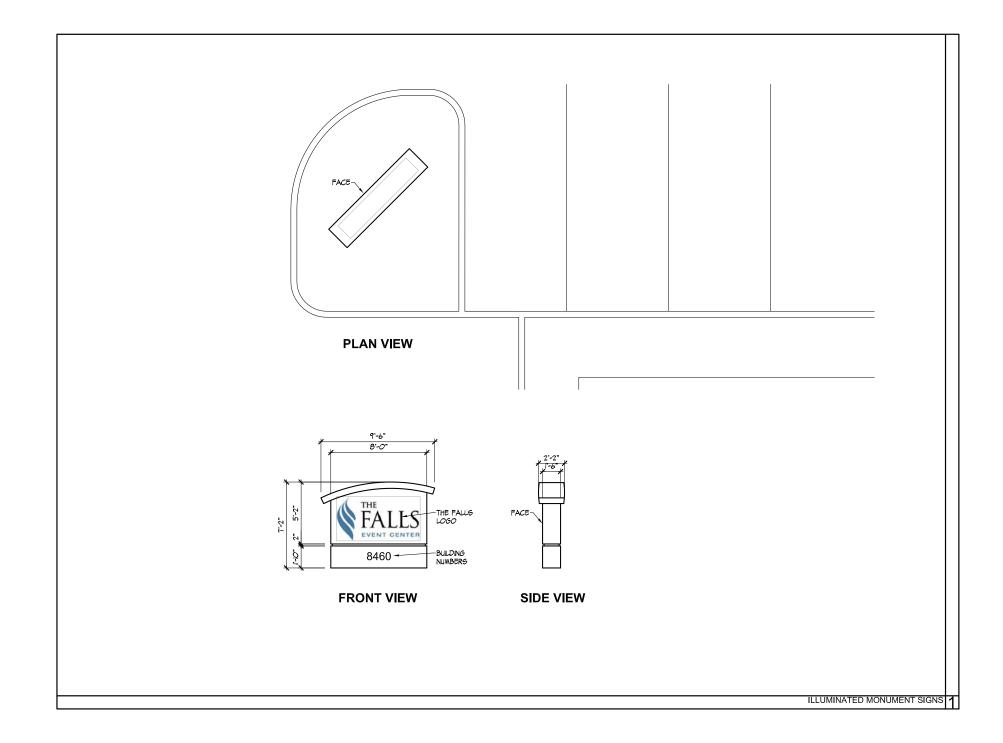
Hampton Inn Monument Signs. Hampton Inn proposes two monument signs. The primary monument sign would be located at the northeast corner of the property. That sign is 12 feet tall and approximately 108 square feet in area. The second monument sign is a directional sign located near the southwest corner of the property and is 5 feet tall and 20 square feet in area.

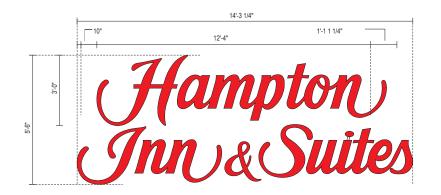
RECOMMENDATIONS

The proposed sign for the Falls Event Center is internally oriented with the face not being visible from any public street. Thus, it may be considered comparable to an exempt sign as per Section 55.10.A, which exempts signs that are not visible from adjacent properties. This sign may be visible from adjacent properties but is consistent with the intent of the Sign Ordinance to permit signs completely internal to a property.

The proposed Hampton Inn wall signs are consistent with the size and number of signs permitted for a corner lot. However, they exceed the size permitted for internally illuminated signs. Also, the Village has favored back lit signs over internally illuminated signs. The Plan Commission may want to recommend that the wall signs be back lit rather than internally illuminated.

The two monument signs include an identification sign that is principally oriented to internal traffic and a sign that is intended as a traffic directional sign. Traffic directional signs are limited to four feet in height and four square feet in area. Additionally, free standing signs in multiple building developments are preferably limited to shared signs identifying multiple tenants/buildings within the property. The Plan Commission may want to recommend that the monument signs be removed or reduced in size in favor of permitted traffic directional signs not exceeding four square feet in area and four feet in height.

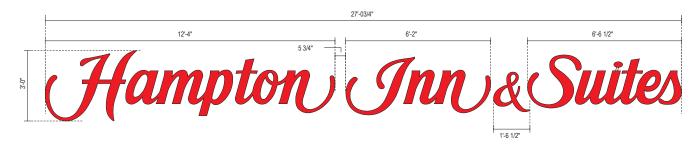




Sign on Front of Building Formed Letters Internally lighted

STACKED BUILDING LETTERS

LIGHT COLORED BUILDING (RED DAY / RED NIGHT)



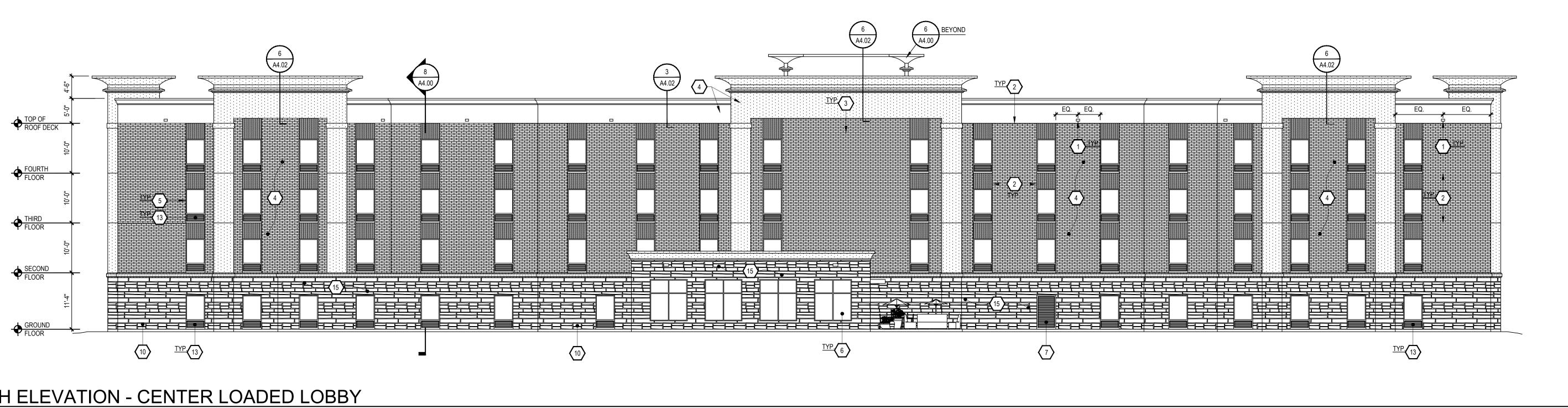
LINEAR BUILDING LETTERS

LIGHT COLORED BUILDING (RED DAY / RED NIGHT)

Sign on South End of Building Formed Letters Internally lighted

HIS BL X

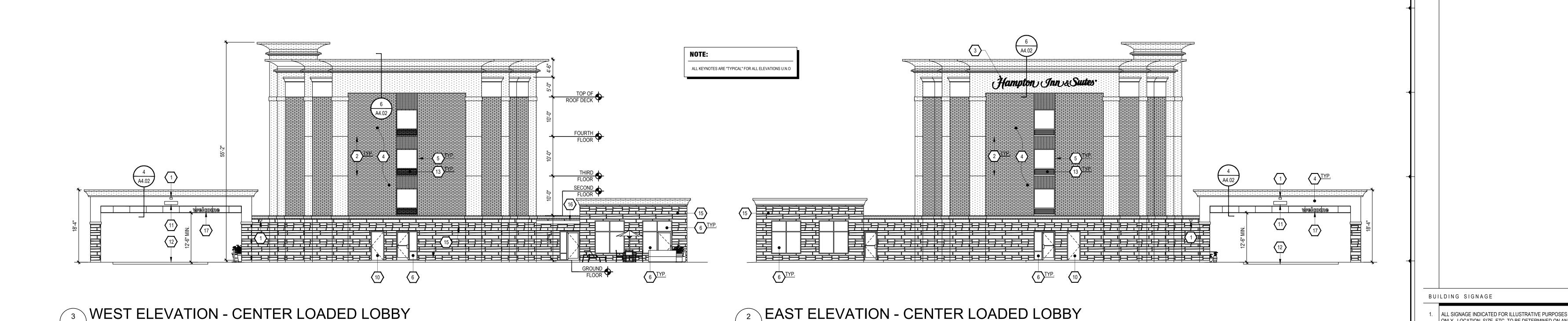


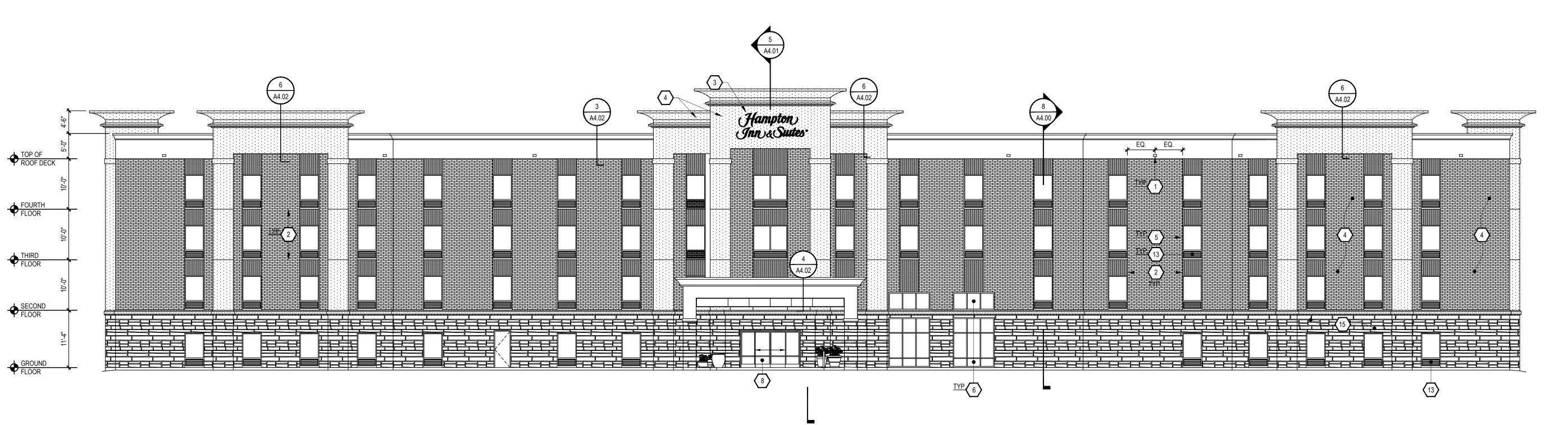


SOUTH ELEVATION - CENTER LOADED LOBBY A1.06 SCALE: 3/32" = 1'-0"

A1.06 | SCALE: 3/32" = 1'-0"

A1.06 SCALE: 3/32" = 1'-0"





MICHAEL L. MAUST ARCHITTECT

ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE

3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR.
ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM
SIGN COMPANY. TYPICAL 120V REQUIREMENT.

4. RACEWAYS / WIREWAYS ARE NOT ALLOWED

5. CONTRACTOR OF THE PROPERTY PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE

BURR RIDGE HAMPTON INN & SUITES

DATE: 1/26/16 SCALE: AS NOTED

INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.)

TRIM COLOR

4 NORTH ELEVATION - CENTER LOADED LOBBY

GENERAL NOTES: ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS,

INDIVIDUAL PROJECT BASIS.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE

. | GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON

KEY NOTES:

1. ROOF SCUPPER 2. CONTROL JOINT

KYNAR 500 FINISH

KYNAR 500 FINISH 8. AUTOMATIC SLIDING DOORS 9. EXTERIOR WALL SCONCE

11. CLEARANCE SIGN

LAUNDRY IF USED

INFORMATION

OUT FROM UNDER CANOPY.

16. FLAT ROOF ABOVE SMOKING AREA

3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED- REFER TO 'BUILDING SIGNAGE' BELOW

5. PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH
6. ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME,

7. PRE-FINISHED METAL LOUVERS AT DRYER VENTS,

10. INSULATED HOLLOW METAL DOOR AND FRAME

13. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL

BEHIND LOUVER AT NON-PTAC LOCATIONS 14. GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL

15. HARD SURFACE BASE MATERIAL (MASONRY/TILE)

17. WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL

12. | SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN

4. EXTERIOR INSULATION FINISH SYSTEM

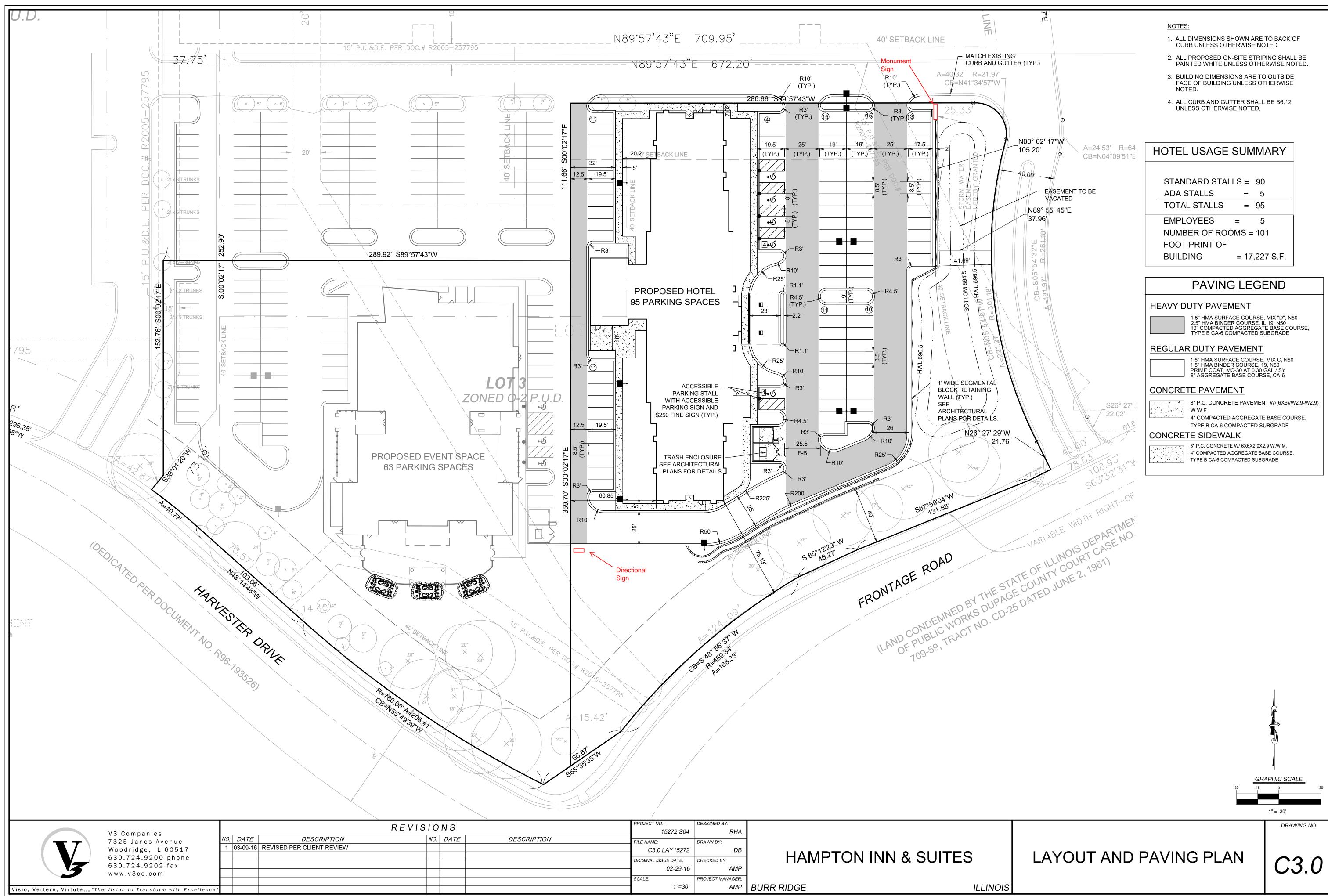
CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT

EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS
COORDINATED AND/OR INSTALLED PRIOR TO CLOSING
UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY. COLOR & FINISH LEGEND CULTURED STONE
BASE MATERIAL

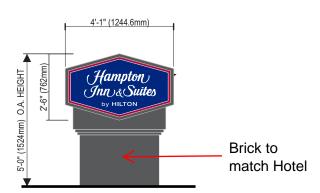
BURR RIDGE, IL. EXTERIOR MAIN BODY OF BUILDING

ELEVATIONS CHECKED : DRAWN:

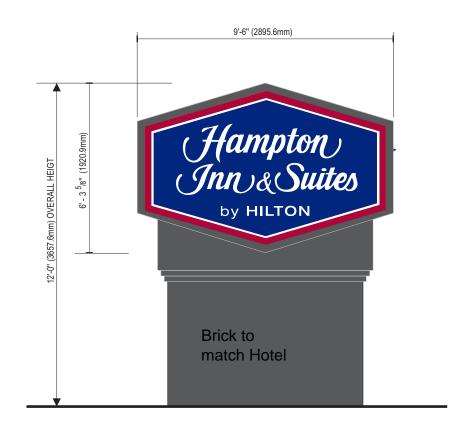
JOB NO.: MAS-15-144







HIS-10 DIRECTIONAL SIGN



D/F HIS-60 MONUMENT SIGN







VILLAGE OF BURR RIDGE MEMORANDUM

TO: Burr Ridge Plan Commission

Greg Trzupek, Chairman

FROM: Doug Pollock, AICP, Community Development Director

DATE: March 17, 2016

RE: PC-02-2016; Administrative Appeal – Health and Wellness Clinic and Indoor

Private Athletic Training Facility

Attached is a letter from the owner of the Burr Ridge Kettlebell Club previously located at 16W251 South Frontage Road and now located at 7960 Madison Street. This business has recently relocated but did not obtain a Zoning Certificate of Occupancy prior to relocation. Upon receipt of the application, the Zoning CO was denied based on staff's interpretation of the Zoning Ordinance and the use classification of this business.

Both the prior location and the present location are within a GI General Industrial District. The GI Districts lists the following use as a Permitted Use: *Indoor Private Athletic Training and Practice Facilities, not occupying more than 5,000 square feet of floor area, located in a permanent building, and not including any retail, health club, or other activities that may be open to the public.* The GI Districts lists "Health and Wellness Clinic" as a Special Use. The business owner is appealing staff's interpretation that this business is a Health and Wellness Clinic and not an Indoor Private Athletic Training and Practice Facility.

The following is a history of these types of uses relative to the Zoning Ordinance;

- **Right Fit at 7938 Madison Street.** In 2004, the Village approved a text amendment to add Health and Fitness Clinic to the list of special uses in the GI District and granted a special use for this location. The business describes itself as a youth and adult health and fitness facility.
- Balance Institute of Gymnastics at 16W110 83rd Street. In 2006, the Village approved a special use for an Indoor Private Athletic Training and Practice Facility exceeding 5,000 square feet.
- **Bikram Yoga at 145 Tower Drive.** In 2008, the Village approved a text amendment to add Yoga Training Studio to the list of special uses in the LI District and granted a special use for this business.
- Burr Ridge Kettlebell Club at 16W251 South Frontage Road. In 2013, the Village approved a special use for a Health and Wellness Clinic.

- **Next Level Baseball at 16W030 83rd Street.** In 2014, the Village approved a special use for an Indoor Private Athletic Training and Practice Facility exceeding 5,000 square feet.
- Cycle Bar at 124 Burr Ridge Parkway (County Line Square). In 2015, the Village approved a text amendment to add Health and Athletic Club with less than 7,000 square feet" to the list of permitted uses in the B-1 District.

Based primarily on the interpretation from 2013 that this use is a Health and Wellness Clinic, staff continues to classify this use as a Health and Wellness Clinic. The business owner describes in the attached letter the reasons he believes the business may be classified as an Indoor Private Athletic Facility with less than 5,000 square feet of floor area.

Although these use categories are very similar, staff has tried to distinguish the uses based on the customer base. Private athletic training facilities serve pre-defined groups such as a baseball team or a gymnastics team. Whereas Health and Wellness Clinics serve the general public. Direction from the Plan Commission is requested. Please note that this is a final decision of the Zoning Board of Appeals and is not a recommendation to the Board of Trustees.

DJP/cs Attachment 21 Rodeo dr Burr Ridge, IL 60527

March 14, 2016

To Who It May Concern,

Recently, I was denied a Certificate of Occupancy for my business, Burr Ridge Kettlebell Club, Inc. I'd like to appeal that in order to get my C.O. as soon as possible.

The grounds for denial were as follows:

"Indoor Private Athletic Training and Practice Facilities, not occupying more than 5,000 square feet of floor area, located in a permanent building, and not including any retail, health club, or other activities that may be open to the public" (emphasis added) as a permitted use in the GI General Industrial District. I was under the impression that your business was open to the general public. As an example, we recently approved a training facility for a travel baseball team under this category. Only members of the travel baseball team and league are allowed to use the facility. They cannot rent the space to anyone else.

Below I'll lay out my reasons for believing that my operation falls within the permitted uses of building zoned General Industrial.

First is the language above taken from the zoning ordinance. There are three main areas highlighted; Retail, Health Club, and "Open to the Public."

Retail- We do not conduct retail operations at our place of business.

Health Club- On the phone, I wasn't able to get a definition of what a Health Club is, so I'll do my best to differentiate Health Clubs and Training Facilities. The term Health Club is most often associated with clubs like Lifetime Fitness. These are clubs open for large windows of time, with members being granted access at any hour the club is open. Furthermore, members of clubs in this model are able to use the facilities unsupervised, coming and going as they please. This definition makes sense according to the zoning ordinance, as health club and "open to the public" seem to go hand in hand.

Our business is an appointment only business. All clients that come are there for a set period of time (45 minutes to 1 hour) and are under a coach's supervision the whole time. This is why I consider it a Private Athletic Training facility. Our business model entails a person or small group of people meeting at a specific time, and being coached through a training session.

Whether this person or people are doing calisthenics, lifting kettlebells, or throwing baseballs is largely irrelevant to a zoning ordinance.

Open to the Public- Again, there was no clear definition given to what entails being open to the public. Because this phrase was lumped into the sentence with Retail and Health Club, I interpreted "open to the public" to entail a type of business where people are free to come and go, who may or may not be customers of the business (Such as Starbucks, or any of the retail stores in the village center). **This is not how our business operates**. As mentioned above, all traffic coming through our doors is set up by appointment. This is why I believe that our business is not open to the general public. While most of the general public is welcome to become a member, our facility is not open to them **until they become a member**. Also worth noting: even after someone becomes a member- they are not allowed free access to our facility. They are restricted to their appointments only.

The second part of the reason for the denial included I the example of an Indoor Private Athtletic Training facility that **did** fall into the permitted use of General Industrial. This business is Team Demarini Baseball.

It was explained to me the reason that Team Demarini is considered NOT "open to the public" is that only their members can train there. As was pointed out in the email- Only members of the travel baseball team and league are allowed to use the facility.

This is, as I pointed out earlier, how we operate as well.

I was told on the phone that the difference was that, "not just anyone can join Team Demarini." By going through their website, it becomes clear that while they do have a niche in youth baseball, which limits their clientele, their businee model allows anyone in their target demographic to become a member.

The business model of a place like Team Demarini, while differing in the specific athletic training and demographic, is very similar to the business model of Burr Ridge Kettlebell Club. We both have programs that allow members to meet at a specified time and be coached.

These are the primary reasons why I believe that Burr Ridge Kettlebell Club falls within the permitted use of a building zoned General Industrial.

Thank You,

Paul Lyngso



VILLAGE OF BURR RIDGE MEMORANDUM

TO: Village of Burr Ridge Plan Commission

Greg Trzupek, Chairman

FROM: Doug Pollock, AICP

Community Development Director

DATE: February 11, 2016

RE: PC-01-2016; Annual Zoning Ordinance Review

Attached are summaries of all zoning actions considered by the Plan Commission in 2014. Staff is presenting this information for the annual Zoning Ordinance review. The annual zoning review is an opportunity to identify areas where the Zoning Ordinance may need to be updated to remain consistent with the Village's Comprehensive Plan, to keep up with property trends, to resolve conflicts, or address unintended consequences of zoning regulations.

Zoning Variations – **2015**: There were 10 zoning variations approved in 2015. Two of the variations were for accessory residential structures and the remaining variations were for commercial properties.

Zoning Petitions – **2015**: The Plan Commission considered 19 petitions for rezoning, text amendments and/or special uses in 2014. That number was up from 13 in 2014.

Other Updates; During the course of each year, staff keeps track of issues that arise that may need to be addressed via an amendment to the Zoning Ordinance. For example, in 2012 staff reported that there were a large number of permit requests for outdoor kitchens. As a result, the Plan Commission recommended and the Board approved amendments to add specific regulations for outdoor kitchens. The purpose of providing the attached summary of zoning petitions is in part to identify trends or conflicts that may need to be revised to keep our Zoning Ordinance up to date; remembering that the primary purpose of the Zoning Ordinance is to implement the Village's land use policies and goals as iterated in the Comprehensive Plan.

<u>Conclusion</u>; Staff does not have any recommendations for potential amendments to the Zoning Ordinance. If the Plan Commission identifies any issues that may warrant further consideration, a request to the Board of Trustees for authorization to conduct a public hearing should be made.