



*Municipal-Regional Planning Commission*

# Meeting Agenda

Atoka Town Hall  
334 Atoka-Munford Avenue

Tuesday, January 23, 2024  
6:00 p.m.

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**I. Call to Order & Establishment of a Quorum**

**II. Approval of the Minutes**

1. Meeting Minutes – December 18, 2023

**III. Reports**

1. Code Enforcement Monthly Activity Report

**IV. Old Business**

**V. Public Comment**

**VI. New Business**

1. Approval of Kroger Expansion

**VII. Miscellaneous Items from the Planning Commission**

**VIII. Adjourn.**





## ***Municipal-Regional Planning Commission***

Atoka Town Hall  
334 Atoka-Munford Avenue

Monday, December 18, 2023  
6:00pm

### **Meeting – Minutes**

The **Atoka Municipal/Regional Planning Commission** met with the following members present:

Barry L. Akin  
Paul Martin

John Harber  
Stephen Shopher

Vicki Shipley  
Tyra Faircloth

Absent: Matthew Peters

Also attending: Amanda Faurbo, Assistant to the Town Administrator  
Marc Woerner, Town Administrator  
Jim Atkinson, Planner  
\*Attached Sign In sheet.

Chair Shopher called the meeting to order at 6:00pm and established a quorum.

### **Approval of Minutes**

**Approval of the October 26, 2023, Minutes** – Commissioner Martin made a motion to approve the October 26, 2023, minutes as presented. Commissioner Shipley seconded the motion. No further discussion. All approved. Motion Carried.

### **Old Business – Discussion and possible action regarding the draft Atoka Subdivision**

**Regulations.** Jim Atkinson, Planner, presented the staff report and the subdivision regulations. Commissioner Shipley made a motion to approve the subdivision regulations as presented. Commissioner Martin seconded. All Approved. Motion Carried.

**Reports – Code Enforcement Monthly Report September 2023** – The report was presented and reviewed by the Planning Commission.

### **Public Comment** –

### **New Business** –

### **Miscellaneous Items from the Planning Commission-**

**Commissioner Harber made a motion to adjourn the meeting at 6:05 pm.** Commissioner Shipley seconded.

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Stephen Shopher, Chair

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Amanda Faurbo, Clerk



Atoka Code Enforcement  
Fiscal Year 2024

PERMIT INFORMATION	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	TOTAL
Building Permit - Commercial	1	0	0	0	0	0							1
Building Permit - Industrial	0	0	0	0	0	0							0
Building Permit - Residential - Addition	2	1	0	2	1	1							7
Building Permit - Residential - New Build	1	4	0	2	0	0							7
Building Permit - Residential - Upstairs Finish	0	0	0	0	0	0							0
Misc Permit - Accessory Structure	5	3	3	6	6	0							23
Misc Permit - Detached Garage	0	0	0	0	0	0							0
Misc Permit - Fence Permit	17	5	3	2	2	3							32
Misc Permit - Pool Permit	1	1	1	1	3	1							8
Misc Permit - Mechanical	19	17	2	5	6	14							0
Misc Permit - Driveway/Sidewalk	0	3	2	2	0	0							0
Misc Permit - Fireworks	0	0	0	0	0	3							0
Misc Permit - Demolition	1	0	0	0	0	0							0
TOTAL PERMIT INFORMATION	47	34	11	20	18	22	0	0	0	0	0	0	78

CERTIFICATE OF OCCUPANCY	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	TOTAL
Certificate of Occupancy - Commercial	0	1	0	1	1	2							5
Certificate of Occupancy - Industrial	0	0	0	0	0	0							0
Certificate of Occupancy - Residential	1	7	2	6	4	3							23
TOTAL CERTIFICATE OF OCCUPANCIES	1	8	2	7	5	5	0	0	0	0	0	0	28

BUILDING INSPECTIONS	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	TOTAL
Form Board / Set Back Inspection	0	2	1	2	4	1							10
Footing Inspection	1	0	0	0	0	1							2
Plumbing Inspection	7	5	3	4	3	0							22
Sheathing Inspection	3	4	1	1	4	4							17
Brick Ties Inspection	5	1	4	1	3	3							17
Framing Inspection	10	9	5	7	5	6							42
Mechanical Inspection	11	17	10	7	4	9							58
Driveway/Side Inspection	0	2	1	2	0	0							5
Backwash inspection	0	1	3	1	0	2							7
Insulation Inspection	6	6	2	4	2	4							24
TOTAL BUILDING INSPECTIONS	43	47	30	29	25	30	0	0	0	0	0	0	204

CODE ENFORCEMENT ACTIONS	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	TOTAL
Municipal Court Citations	1	0	0	2	1	2							6
Property Maintenance Complaints - Closed	9	9	8	5	2	0							33
Property Maintenance Complaints - Received	15	22	11	7	1	2							58
TOTAL CODE ENFORCEMENT ACTIONS	25	31	19	14	4	4	0	0	0	0	0	0	97

PERMIT FEES	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	TOTAL
Collected Fees	\$7,355	\$6,048	\$2,754	\$3,591	\$4,637	\$3,319							\$27,704
TOTAL PERMIT FEES													\$27,704

COMMENTS
Temporary Permits: 1



# TOWN OF ATOKA, TENNESSEE

## Planning Commission Staff Report



**TO:** Atoka Planning Commission

**FROM:** Jim Atkinson, AICP  
Town Planner

**MEETING DATE:** January 18, 2024

**SUBJECT:** A site plan for the expansion of the existing Kroger located at 11706 Highway 51 South.

### RECOMMENDATION

Approve the site plan for Kroger with the following conditions:

1. Submit building elevations that demonstrate a consistent architectural design as the existing building.
2. Submit a lighting plan that includes any proposed exterior light fixtures.

### BACKGROUND

The applicant is proposing to construct an addition to the existing Kroger building located at 11630 Highway 51. The property is zoned Highway Corridor (HC).

The Kroger building is connected to a multi-tenant center but is separated by an internal property line. Therefore, site specific requirements do not include the neighboring parcel containing the multi-tenant center.





# TOWN OF ATOKA, TENNESSEE

## Planning Commission Staff Report

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### **BULK REQUIREMENTS**

The Atoka Zoning Ordinance contains the following requirements for the HC Zoning District applicable to the subject property.

	<b>Required</b>	<b>Provided</b>
Lot size, minimum	None	8.85 acres
Non-residential density maximum	0.5 Floor Area Ratio (FAR)	0.25 FAR
Lot width at the front yard build-to line minimum	50 feet	572 feet, 815 feet, 382 feet
Front yard build-to line, min./max	None/none	39'
Side yard setback line minimum	25 feet; 50 feet adjacent to residential	0 feet (existing condition)
Rear yard setback line, minimum	None	NA
Open space minimum	15%	15.1%

### **PARKING**

The parking requirement for land uses over 25,000 square feet is one parking space per 300 square feet of building area. The existing Kroger building consists of 58,207 square feet, requiring 194 spaces. 291 spaces are currently provided.

The proposed addition to the Kroger building is 37,316 square feet, bringing the total building area inclusive of the expansion to 95,523 square feet. This would require 319 total spaces. As shown on the site plan, an additional 33 spaces are being added to the site, making the total parking provided 324 spaces. This complies with the parking requirements of the Zoning Ordinance.

### **LANDSCAPING**

Much of the existing perimeter landscaping will remain in place. According to the landscape plan, additional plantings will be placed in newly created landscape islands.

### **LIGHTING**

A lighting plan was not provided in the submittal. If new exterior lights are planned as part of the expansion, a lighting plan should be provided that complies with the Atoka Zoning Ordinance.



# TOWN OF ATOKA, TENNESSEE

## Planning Commission Staff Report

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### **BUILDING ELEVATIONS**

Building elevations were not provided with the submittal. Being an addition to an existing building, the proposed expansion should closely match the existing building in materials, color, articulation, etc. In addition, the rear of the building faces a public street, therefore is required to have at least 75% of the façade covered in approved primary building materials, such as brick or stone.



SHEET INDEX

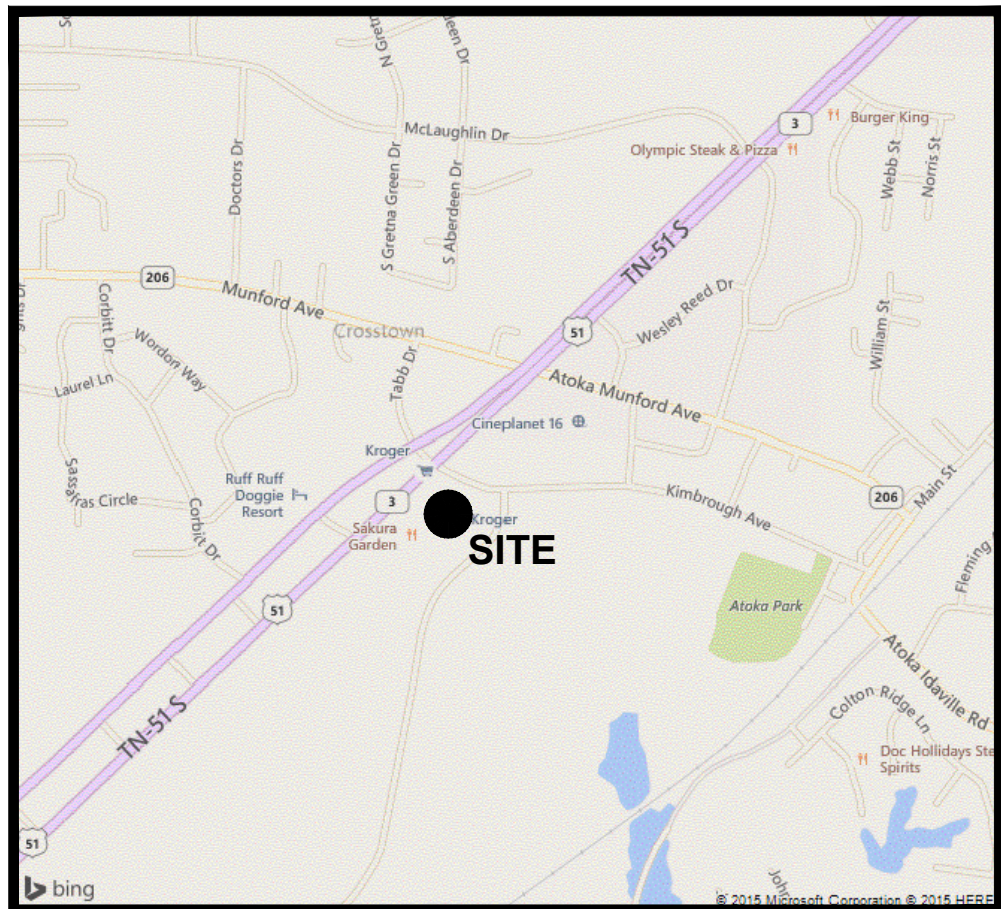
CIVIL	
C-000	COVER SHEET
CD1	EXISTING CONDITIONS PLAN
C1.1.1	SITE PLAN
C1.1.2	SITE PAVING & LANDSCAPE PLAN
C1.2	GRADING AND DRAINAGE PLAN
C1.3	UTILITY PLAN
ELECTRICAL	

SITE PLAN REVIEW SET

DECEMBER 14, 2023

KROGER STORE V-433  
EXPANSION

11706 HIGHWAY 51 S  
ATOKA, TN 38004



VICINITY MAP

PREPARED FOR:



Kroger Delta Marketing Area  
800 Ridge Lake Blvd  
Memphis, TN 38120  
Phone (901) 765-4189  
Fax (901) 765-4163

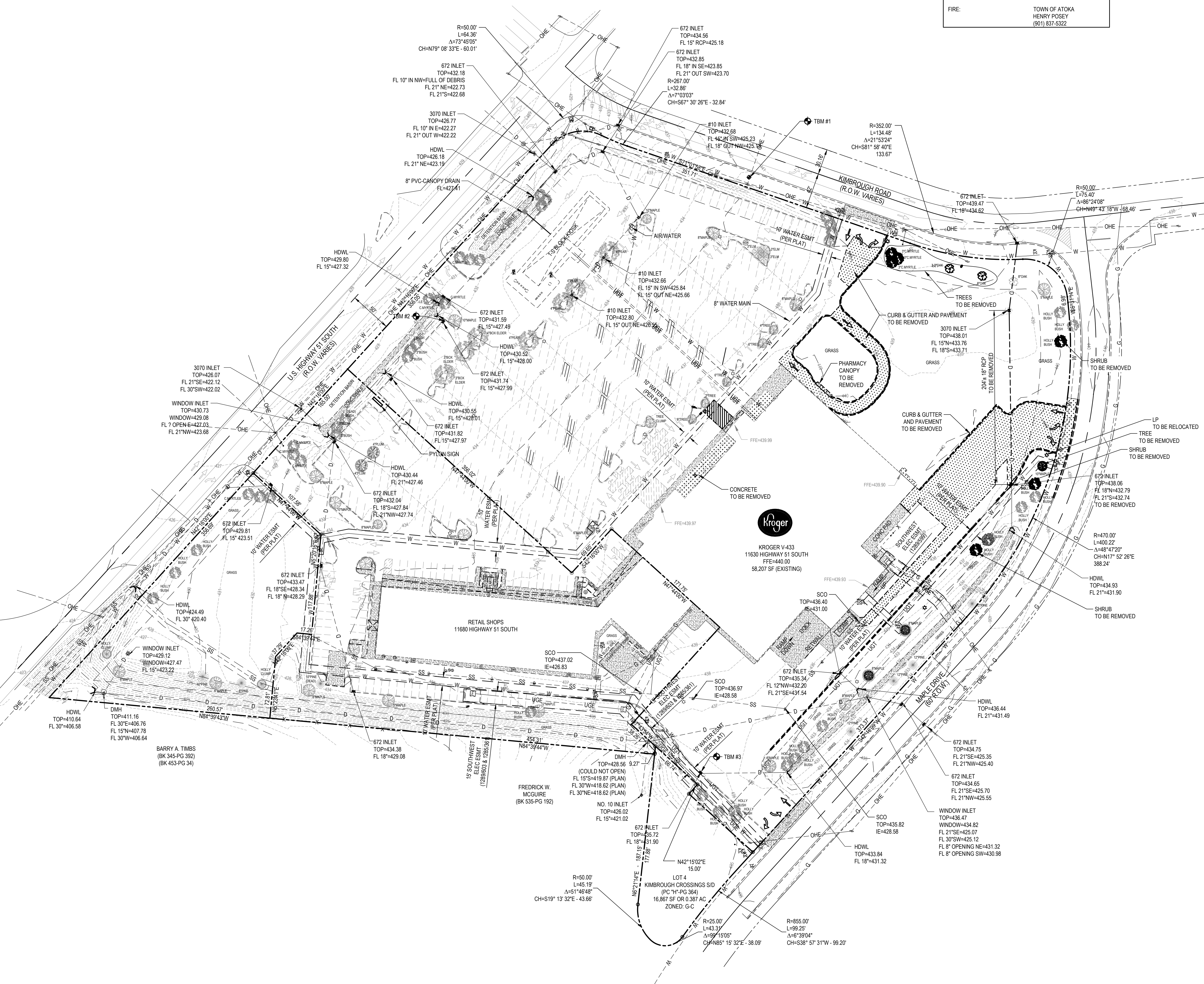


Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying

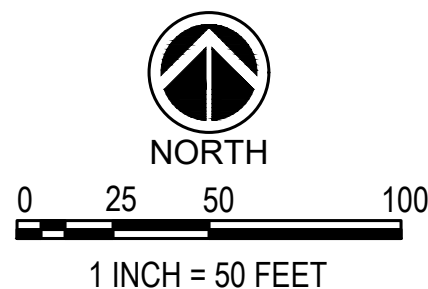
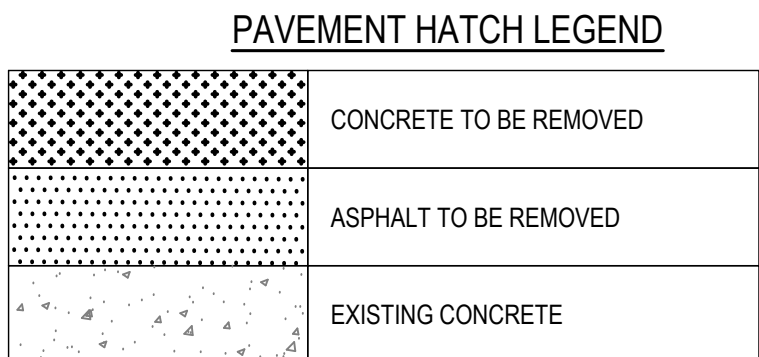
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0810

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWING ARE THE PROPERTY OF PICKERING FIRM, INC. DEvised SOLELY FOR THIS CONTRACT. THIS PLAN SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY PURPOSE FOR WHICH IT WAS NOT INTENDED WITHOUT THE WRITTEN PERMISSION FROM PICKERING FIRM, INC.




























<u>UTILITY COMPANY CONTACTS:</u>	
COMMUNICATION:	RITTER COMMUNICATION CLAY JAVELLE (901) 872-3210
GAS:	CITY OF MUNFORD MARK WALKER (901) 837-5974
ELECTRIC:	SW TENNESSEE ELECTRIC SCOTT URSERY (901) 662-0605
WATER & SANITARY SEWER:	ATOKA PUBLIC WORKS DANIEL LOVETT (901) 837-5300
FIRE:	TOWN OF ATOKA HENRY POSEY (901) 837-5322



<u>LINE LEGEND</u>	
----- D ----- D -----	EXISTING STORM DRAINAGE
----- UGT ----- UGT -----	EXISTING UNDERGROUND TELEPHONE LINES
----- OHE ----- OHE -----	EXISTING OVERHEAD ELECTRIC LINES
----- UGE ----- UGE -----	EXISTING UNDERGROUND ELECTRIC LINES
----- G ----- G -----	EXISTING NATURAL GAS LINE
----- W ----- W -----	EXISTING WATER LINE
----- SS ----- SS -----	EXISTING SANITARY SEWER LINE
----- X ----- X -----	EXISTING FENCE

SYMBOL LEGEND		ABBREVIATIONS	
	POWER POLE	EP	EDGE OF PAVEMENT
	METAL TRAFFIC POLE	RWP	RIGHT OF WAY
	LIGHT POLE	CN	CENTERLINE
	ELECTRIC BOX	RCR	REINFORCED CONCRETE PIPE
	ANCHOR GUY	CNC	CONCRETE
	TELEPHONE PEDESTAL	CMC	CORRUGATED METAL PIPE
	SAND OR SEWER MANHOLE	SP	SUBJECT PROPERTY LINE
	GAZ VALVE	TC	TOP OF CURB
	WATER VALVE	BC	BOTTOM OF CURB
	WATER METER WATER SHUTOFF	BO	POINT OF BEGINNING
	FIRE HYDRANT	HCR	HANDICAP RAMP
	CURB INLET		
	STRAIN INLET		
	DRAIN SEWER MANHOLE	SC	HANDICAP PARKING/ACCESS
	MONITOR WELL	SE	SEWER CLEANOUT
	FOUND IRON PINNALS/SPIKE	HDWL	HEADWALL
	SET IRON PINNALS/SPIKE	HL	HEADLAMP
	FOUND CONCRETE MONUMENT	PLB	PLAT BOOK
	SIGN	CD	CEDED
	TREE: SHRUB, PLANTING	CMH	ON CALL
	FIRE DEPARTMENT CONNECTION	ESMT	FEET 1/4 MEASURED DISTANCE EASEMENT
	MONITOR WELL		
	SEWER CLEANOUT		

\*NOTE: ALL SYMBOLS, ABBREVIATIONS, OR LIFESTYLES DO NOT NECESSARILY APPEAR ON DRAWING(S). USE ONLY AS APPLICABLE.

### DEMOLITION NOTES

1. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND UTILITIES AND ANY OTHER ITEMS IN ACCORDANCE WITH IDEC STANDARDS AND TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL STRICTLY FOLLOW ALL CITY, STATE, AND FEDERAL GUIDELINES FOR REMOVAL AND DISPOSAL OF THESE FACILITIES.
2. ALL BUILDING, CONCRETE, ASPHALT PAVEMENT, AND GRANULAR SUBBASE SHALL BE REMOVED FULL DEPTH PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. ALL MATERIALS SHALL BE RECYCLED AND DISPOSAL OF ALL MATERIAL PER LOCAL, STATE, AND FEDERAL REGULATIONS.
3. CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDENSERS, COMMUNICATION CABLES, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDITS.
4. ANY EXISTING UTILITIES WITHIN 10' OF THE BUILDING FOOTPRINT SHALL BE COMPLETELY REMOVED AND DISPOSED OF PER LOCAL REGULATIONS.
5. PRIOR TO COMMENCING ANY UTILITY WORK, CONTRACTOR SHALL NOTIFY ANY SURROUNDING PROPERTY OWNERS WHO MAY EXPERIENCE A DISRUPTION IN SERVICE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE PARTS OF THAT EXISTING SYSTEM THAT ARE REMOVED, ABANDONED OR DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO MODIFY ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE NEW AREAS OF LANDSCAPING. ANY IRRIGATION SLEEVES SHALL BE INSTALLED PRIOR TO PAVING AND BACKFILLED PER SPECIFICATIONS BY THE SITE CONTRACTOR.
7. THE CONTRACTOR SHALL ENSURE ADEQUATE ACCESS IS PROVIDED TO TRUCK DOCKS , ADJACENT PROPERTIES, ETC DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH THE PROJECT MANAGER.
8. WHEN REMOVING UTILITIES, CONTRACTOR SHALL GROUT AND SEAL ANY STRUCTURES THAT ARE TO REMAIN PER LOCAL REGULATIONS.
9. UTILITIES SHOWN ARE LOCATED BY FIELD SURVEY AND RECORD DRAWINGS. ADDITIONAL UNDERGROUND UTILITIES WILL BE ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY INACTIVE STRUCTURES & ALERT THE ENGINEER OF ANY ACTIVE, UNMAAPPED STRUCTURES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF UTILITY DEMOLITION & RELOCATION.
11. CONTRACTOR SHALL NOT INTERRUPT DRAINAGE FROM ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAYS.

## FLOOD NOTE

THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. SURVEYED PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEAM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 47167C0310F WITH AN EFFECTIVE DATE OF DECEMBER 19, 2006

 BENCHMARK

SITE TBM #18\* NAIL LOCATED ON THE SOUTH SIDE OF KIMBROUGH ROAD IN GRASS STRIPE AS SHOWN HEREON.  
ELEVATION - 441.44 (NAD88)

SITE TBM #2  
TOP OF 6-72 INLET LOCATED AT DRIVEWAY FROM HIGHWAY 51 AS SHOWN HEREON.  
ELEVATION: 431.74 (NAD88)






SITE TBM #3  
TOP OF 6-72 INLET LOCATED AT DRIVEWAY FROM MAPLE DRIVE AS SHOWN HEREON.  
ELEVATION: 435.72 (NAD88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

WICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

REVISIONS: \_\_\_\_\_

PROJECT #: 20646.05

DATE: DEC, 2023

DRAWN BY: PF

DESIGNER: PF

CHECKED BY: \_\_\_\_\_ PF \_\_\_\_\_



**KROGER STORE V-433  
STORE EXPANSION**



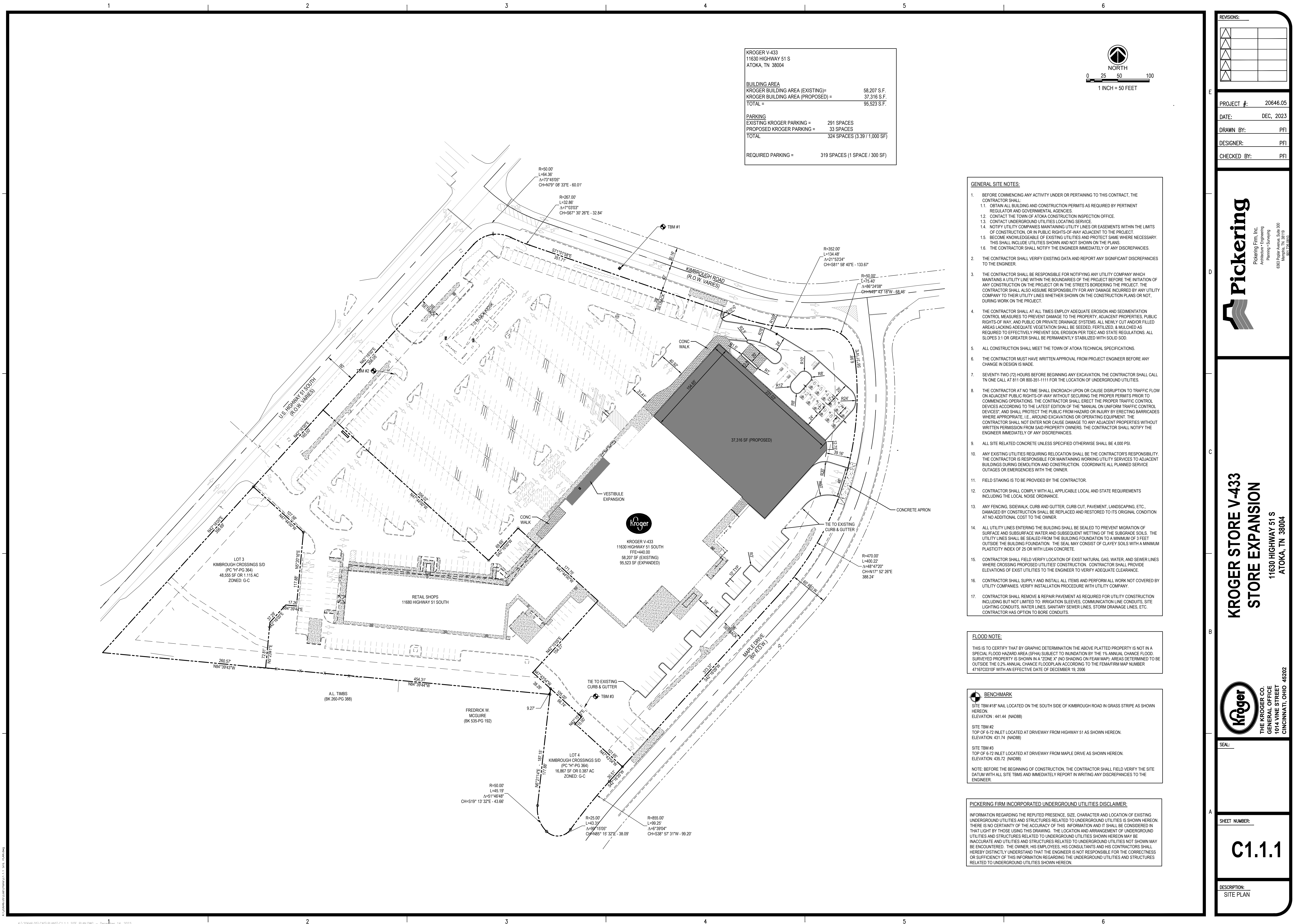
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SHEET NUMBER:

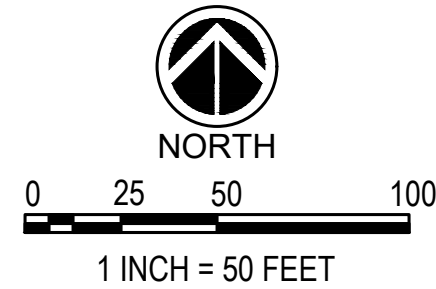
# CD1

DESCRIPTION:  
EXISTING CONDITIONS  
PLAN





KROGER V-433 11630 HIGHWAY 51 S ATOKA, TN 38004	
BUILDING AREA KROGER BUILDING AREA (EXISTING) = 58,207 S.F. KROGER BUILDING AREA (PROPOSED) = 37,316 S.F. TOTAL = 95,523 S.F.	
PARKING EXISTING KROGER PARKING = 291 SPACES PROPOSED KROGER PARKING = 33 SPACES TOTAL = 324 SPACES (3.39 / 1,000 SF)	
REQUIRED PARKING = 319 SPACES (1 SPACE / 300 SF)	



- GENERAL SITE NOTES:**
- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
    - OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATOR AND GOVERNMENTAL AGENCIES.
    - CONTACT THE TOWN OF ATOKA CONSTRUCTION INSPECTION OFFICE.
    - CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
    - NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
    - BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
    - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  - THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
  - THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER TREC AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLID SOD.
  - ALL CONSTRUCTION SHALL MEET THE TOWN OF ATOKA TECHNICAL SPECIFICATIONS.
  - THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
  - SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL TN ONE CALL AT 811 OR 800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES.
  - THE CONTRACTOR AT NO TIME SHALL ENCLOSE UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  - ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
  - ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
  - FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
  - ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT, PAVEMENT, LANDSCAPING, ETC., DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
  - ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
  - CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXIST NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXIST UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
  - CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
  - CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, COMMUNICATION LINE CONDUITS, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.

**FLOOD NOTE:**

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**BENCHMARK**

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REVISIONS:


PROJECT #:

20646.05

DATE:

DEC, 2023

DRAWN BY:

PFI

DESIGNER:

PFI

CHECKED BY:

PFI

Pickering

Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6332 Poplar Avenue, Suite 300  
Memphis, TN 38119  
(901) 521-0000

KROGER STORE V-433  
STORE EXPANSION

11630 HIGHWAY 51 S  
ATOKA, TN 38004

Kroger

THE KROGER CO.  
GENERAL OFFICE  
1014 VINE STREET  
CINCINNATI, OHIO 45202

SEAL:

SHEET NUMBER:

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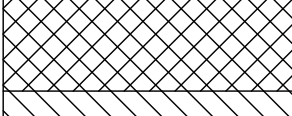
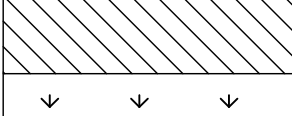
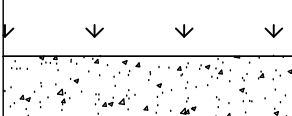
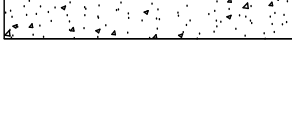
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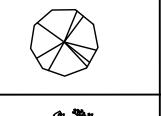

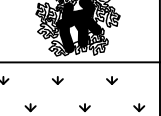
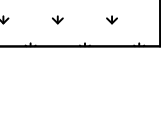


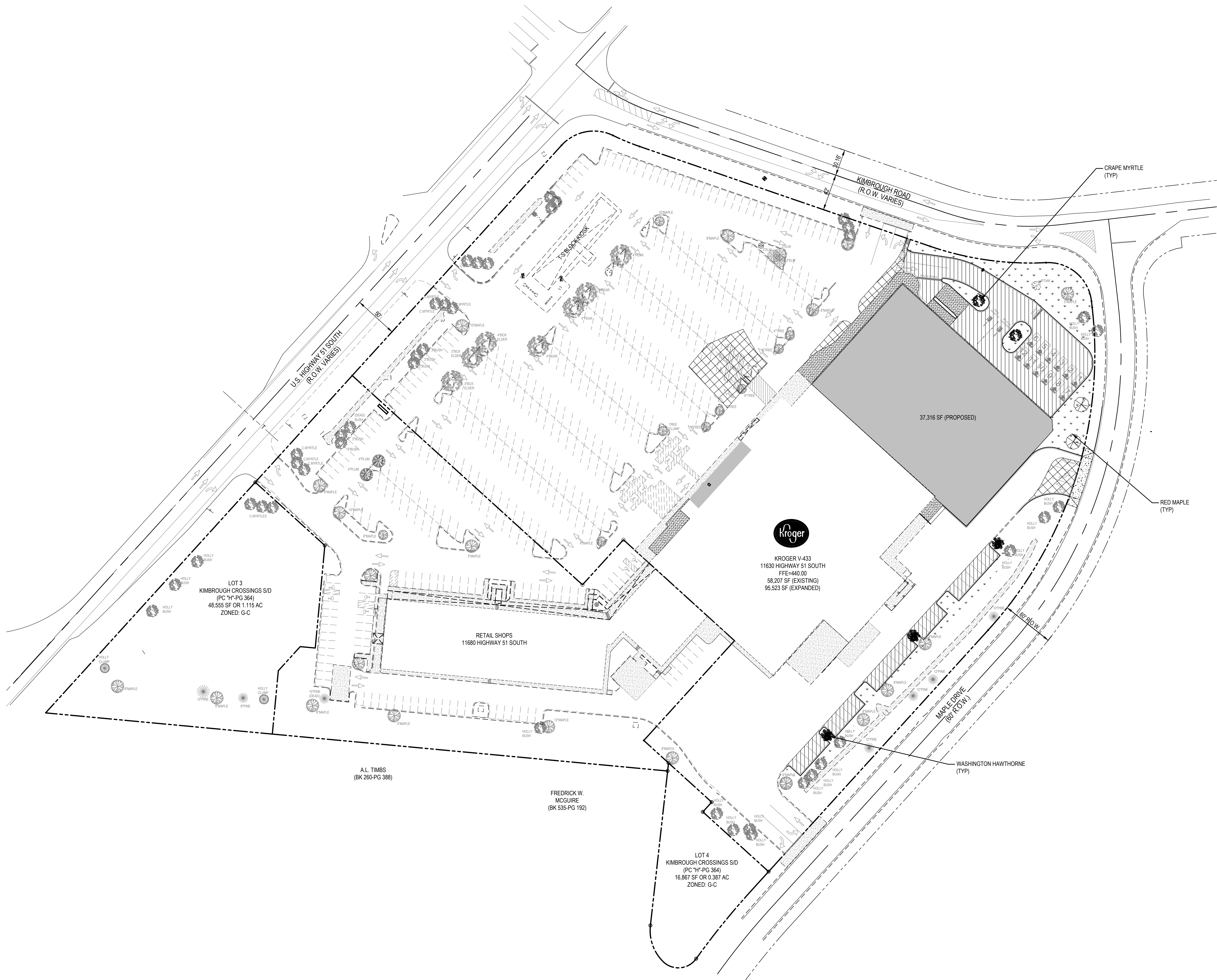
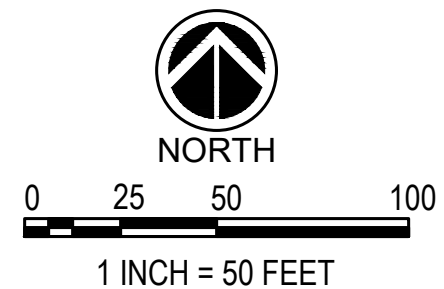
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1 2 3 4 5 6

PAVEMENT HATCH LEGEND	
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	SOLID SOD
	CONCRETE PAVEMENT

LANDSCAPE LEGEND					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	NOTES
	RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2	3" CALIPER	UNIFORM BRANCHING DOMINANT LEADER
	CAPE MYRTLE	LAGERSTROEMIA X FAUREI 'NATCHEZ'	2	6' - 8' HT	3 CANE MIN. 1" CAL EACH NO CROSS LEADERS
	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	3	2" CALIPER	WELL BRANCHED, FULL HEAD
	COMMON BERMUDA	CYNODAN DACTYLON	N/A	N/A	WEED FREE



- LANDSCAPE NOTES:**
- SOLID SOD ALL AREAS DISTURBED AND OUTSIDE LIMITS OF PAVING AS SHOWN.
  - SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. ALTERNATIVE RECOMMENDATIONS WILL BE CONSIDERED IF SUPPLEMENTED BY A SOIL TEST. SOIL HAVING A PH LESS THAN 6 SHALL BE THOROUGHLY MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACIDIC REACTION (A PH OF 6 TO 6.5). 15-15-15 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER. 4" MINIMUM THICKNESS OF TOPSOIL IS REQUIRED.
  - THE LANDSCAPE CONTRACTOR SHALL INSPECT ALL BACKFILL AND PLACEMENT OF TOPSOIL TO DETERMINE WHETHER OR NOT A "HARDPAN" SITUATION EXISTS DUE TO PREVIOUS SOIL CONDITIONS, PLACEMENT AND COMPACTION OF FILL DURING CONSTRUCTION, OR ANY OTHER CONTRIBUTING FACTOR PRIOR TO INSTALLATION OF PLANT MATERIALS. IF SUCH A SITUATION IS ANTICIPATED, IT SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY, PRIOR TO THE INSTALLATION OF PLANT MATERIAL FOR A REMEDY.
  - HERBICIDE PRE-EMERGENT TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.
  - ALL PLANTING BEDS TO HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. BARK CHIPS ARE NOT ACCEPTABLE.
  - ALL TREES TO BE STAKED AS PER PLANTING DETAIL, AND SHALL REMAIN IN PLACE THROUGHOUT THE WARRANTY PERIOD OF ONE YEAR.
  - DIMENSIONS FOR HEIGHTS, SPREAD, AND CALIPER OF TRUNK SPECIFIED ON THE DRAWING IS A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT. EACH PLANT SHALL HAVE A UNIFORM AND CONSISTENT SHAPE AS IT PERTAINS TO THE PARTICULAR SPECIES. ANY PLANT MATERIAL WHICH FAILS TO CONFORM IS SUBJECT TO REJECTION BY THE CONSULTANT.
  - THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS. FILLING PLANTED AREAS AT THE REQUIRED SPACING AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
  - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO A HEIGHT MEASURED 5' ABOVE FINISH GRADE. ALL DEAD TREES AND/OR LIMBS TO BE REMOVED.
  - LANDSCAPE CONTRACTOR TO VERIFY LOCATION AND PROTECT ALL ABOVE AND BELOW GROUND UTILITIES. REPLACE DAMAGED UTILITIES AT NO EXPENSE TO THE OWNER. PROTECT AREAS FROM SILTATION AS NEEDED.
  - NURSERY: COMPANY SPECIALIZING IN GROWING AND CULTIVATING THE PLANTS SPECIFIED IN THIS SECTION WITH MINIMUM TEN (10) YEARS' DOCUMENTED EXPERIENCE, INSPECTED AND APPROVED BY STATE PLANT INSPECTION AGENCIES. CONSIDER ALL NURSERIES WITHIN THE SOUTHEASTERN PORTION OF THE U.S. FOR PLANT MATERIAL NEEDS FOR THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LISTS. PRIOR TO BIDDING, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND SATISFIED HIMSELF THAT HE CAN SUPPLY ALL THE PLANTS SPECIFIED ON THE DRAWINGS IN THE QUANTITY, SIZE, VARIETY, AND QUALITY NOTED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THE REQUIREMENT TO FURNISH AND INSTALL ALL PLANT MATERIAL IN STRICT ACCORDANCE WITH CONTRACT REQUIREMENTS AND WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
  - LIMITATIONS: DO NOT PROCEED WITH PLANT MATERIAL INSTALLATION UNTIL SITE UTILITY CONSTRUCTION AND FINISH GRADING IS COMPLETE. COORDINATE SCHEDULING OF PLANT MATERIAL INSTALLATION WITH OTHER CONTRACTORS INVOLVED IN THE AFOREMENTIONED CONSTRUCTION.
  - PROVIDE HOSE AND PLANT MATERIAL WATERING EQUIPMENT AS REQUIRED.
  - HANDLE PLANTS FROM BOTTOM OF BALL. PROTECT PLANT ROOTS AND TOPS FROM SUN OR DRYING WINDS UNTIL FINAL PLANTING. PLANTS WITH CRACKED, BROKEN OR LOOSELY WRAPPED BALLS SHALL BE REJECTED.
  - DURING THE PROGRESS OF ALL OPERATIONS, PROTECT WALLS, WALKS, CURBS, BENCHES, AND OTHER STRUCTURES WITH WOOD STRIPS OR PADDING, OR OTHER APPROVED MEANS AS REQUIRED.
  - LANDSCAPE AND SOD INSTALLER AND SUPERVISOR QUALIFICATIONS: COMPANY SPECIALIZING IN LANDSCAPE DEVELOPMENT CONSTRUCTION, PARTICULARLY SOIL PREPARATION, LAWNS, AND LIVE PLANT MATERIALS, WITH AT LEAST FIVE (5) YEARS EXPERIENCE IN SUCH WORK.
  - REPLACEMENT PLANT MATERIALS SHALL CARRY A ONE (1) YEAR WARRANTY PERIOD.
  - ANY PLANTS THAT ARE 25 PERCENT OR MORE DEAD SHALL BE CONSIDERED DEAD. ONE YEAR WARRANTY SHALL COMMENCE AT FINAL ACCEPTANCE. WARRANTY SHALL EXTEND INTO NEXT GROWING PERIOD WHEN DORMANT PLANTS ARE INSTALLED.
  - PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, DISEASE FREE, WELL-BRANCHED, AND DENSELY FOLIATE WHEN IN LEAF. TREES SHALL NOT HAVE FORKED LEADERS.
  - PLANTS SHALL CONFORM TO MEASUREMENTS SPECIFIED EXCEPT THAT PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED. USE OF SUCH PLANTS SHALL NOT INCREASE CONTRACT SUM. PLANTS THAT MEET THE MEASUREMENTS SPECIFIED BUT DO NOT POSSESS A NORMAL BALANCE BETWEEN HEIGHT AND SPREAD SHALL BE REJECTED.
  - TREES WHICH HAVE DAMAGED OR CROOKED LEADERS, OR MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH ABRASIONS OF THE BARK, SUN SCALDS, DISFIGURING KNOTS, OR FRESH CUTS OF LIMBS OVER 3/4 INCH WHICH HAVE NOT COMPLETELY CALLOSED, WILL BE REJECTED.
  - PLANT SIZES AND QUALITY SHALL MEET OR EXCEED STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN (LATEST EDITION).
  - THE PERSON IN CHARGE OF OR IN CONTROL OF THE PROPERTY, WHETHER AS OWNER, LESSEE, TENANT, OCCUPANT OR OTHERWISE, SHALL BE RESPONSIBLE FOR THE CONTINUED PROPER MAINTENANCE OF ALL LANDSCAPING MATERIALS.
  - PRIOR TO PLANTING TREES, CONTRACTOR TO VERIFY THAT NO CONFLICTS EXIST BETWEEN THE TREE AND ALL EXISTING AND PROPOSED UTILITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND POWER FOR A FULLY AUTOMATED IRRIGATION SYSTEM WITHIN ALL LANDSCAPED AREAS.
  - IRRIGATION SLEEVES TO BE INSTALLED PRIOR TO PAVING.

- ASPHALT AND SOIL CEMENT PAVING NOTES**
- ASPHALT PAVEMENT SHALL MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE TDOT STANDARD CONSTRUCTION SPECIFICATIONS.
  - SOIL CEMENT SHALL BE SHALL BE 10% BY VOLUME. THE TESTING LAB SHALL MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
  - THE CONTRACTOR SHALL SUBMIT MIX DESIGNS FOR ALL ASPHALT AND SOIL CEMENT FOR APPROVAL BY THE ENGINEER. THE CONTRACTOR SHALL ALSO SUBMIT A LETTER FROM THE TESTING LAB CERTIFYING THAT THE SUBMITTED PAVEMENT SECTIONS MEET THE APPLICABLE REQUIREMENTS OF THE TDOT STANDARD CONSTRUCTION SPECIFICATIONS.
  - ALL ASPHALT AND BASE COURSE ELEVATIONS SHALL NOT DEVIATE FROM PLAN GRADES BY MORE THAN 1/2 INCH. THE THICKNESS OF THE BASE SHALL NOT DEVIATE FROM THE THICKNESS SHOWN ON THE PLANS BY MORE THAN PLUS 1/2 INCHES OR MINUS 0 INCHES. THE THICKNESS OF THE ASPHALT PAVING SECTIONS SHALL NOT DEVIATE FROM THE THICKNESS SHOWN ON THE PLANS BY MORE THAN PLUS 1 INCH OR MINUS 0 INCHES.
  - PAVEMENT SUBGRADES SHALL BE PER THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PERFORMED BY GEOTECHNOLOGY, DATED MAY 24, 2016.
  - PROVIDE FIRE LANE STRIPING AND SIGNAGE AS REQUIRED BY LOCAL REQUIREMENTS.
  - NEAR THE COMPLETION OF THE PROJECT, THE GC IS TO REPAIR ANY AREAS OF EXISTING AND NEWLY CONSTRUCTED PAVEMENTS DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COSTS TO THE OWNER.

REVISIONS:


PROJECT #:

20646.05

DATE:

DEC, 2023

DRAWN BY:

PFI

DESIGNER:

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CHECKED BY:

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KROGER STORE V-433  
STORE EXPANSION

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Kroger

THE KROGER CO.  
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1014 VINE STREET  
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SEAL:

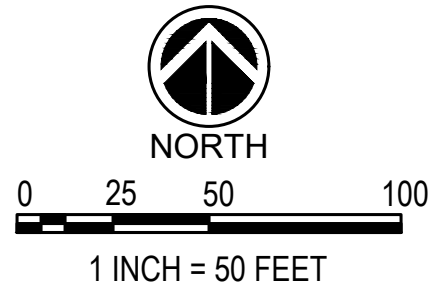
SHEET NUMBER:

C1.1.2

DESCRIPTION:

SITE PAVING AND  
LANDSCAPE PLAN





- LEGEND**
- TC - TOP OF CURB
  - BC - BOTTOM OF CURB
  - TI - TOP OF ISLAND
  - CO - CLEAN OUT
  - ME - MATCH EXISTING
  - 293 - PROPOSED MINOR CONTOUR
  - 293 - PROPOSED MAJOR CONTOUR
  - 293 - EXISTING MINOR CONTOUR
  - 293 - EXISTING MAJOR CONTOUR

**GRADING AND DRAINAGE NOTES**

- CONTRACTOR TO VERIFY UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
- PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- ESTABLISH PERMANENT VEGETATION WITH SOLID SOD ON DISTURBED AREAS.
- DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
- SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.
- CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, PAVEMENT, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED.
- MAXIMUM SLOPE IN ANY DIRECTION AT HANDICAP PARKING AREAS IS 2%. IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE AT SIDEWALK IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
- ADJUST TOPS ON CATCH BASINS, CURB INLETS, AND UTILITY STRUCTURES TO MEET FINAL GRADE.
- EARTHWORK OPERATIONS SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY GEOTECHNOLOGY, DATED MAY 24, 2016.
- FILL MATERIAL SHOULD CONSIST OF MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED AND PLACED PER THE GEOTECHNICAL REPORT.
- SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
- THE CONTRACTOR SHALL ENSURE STOCKPILED SOILS ARE WELL DRAINED AND ARE NOT ALLOWED TO INCREASE MOISTURE CONTENT.
- UPON COMPLETION OF THE FILLING OPERATION, CARE SHOULD BE TAKEN TO MAINTAIN THE SUBGRADE MOISTURE CONTENT PRIOR TO CONSTRUCTION OF THE FLOOR SLAB OR PAVEMENT. IF THE SUBGRADE SHOULD BECOME DESICCATED, THE AFFECTED MATERIAL SHOULD BE REMOVED OR THESE MATERIALS SHOULD BE SCARIFIED, MOISTENED AND RECOMPACTED PRIOR TO FLOOR SLAB OR PAVEMENT OPERATIONS COMMENCING.
- IN AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
- SOFT SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION. EXCESS SOILS WILL BE DISPOSED OF OFFSITE.
- PROVIDE SHORING FOR UNDER GROUND TANK, BUILDING, UTILITY, STORM DRAINAGE CONSTRUCTION, ETC. AS NECESSARY.
- PROVIDE NECESSARY AND REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.

**OVEREXCAVATION NOTE:**

BUILDING AND CANOPY:  
CONTRACTOR SHALL REMOVE AND REPLACE ALL UNSUITABLE MATERIAL 5 FEET BELOW THE PROPOSED BOTTOM OF FOOTINGS. OVEREXCAVATION SHOULD EXTEND A MINIMUM OF 10 FEET BEYOND THE FOOTPRINT OF THE BUILDING. REFER TO GEOTECHNICAL REPORT FOR FULL REQUIREMENTS.

PAVEMENT:  
CONTRACTOR SHALL REMOVE AND REPLACE ALL UNSUITABLE MATERIAL 3' BELOW THE PROPOSED PAVEMENT AREAS. REFER TO GEOTECHNICAL REPORT FOR FULL REQUIREMENTS.

**IMPORTING OF OFF-SITE MATERIALS**

IMPORTING FILL MATERIAL FROM AN OFF-SITE LOCATION WITHOUT PRIOR WRITTEN APPROVAL FROM THE KROGER PROJECT MANAGER IS STRICTLY PROHIBITED. IDENTIFICATION OF OFF-SITE BORROW LOCATIONS AND MATERIAL MUST BE COORDINATED AND DOCUMENTED WITH THE SWPPP. A KROGER APPROVED TESTING FIRM MUST VERIFY THE SUITABILITY OF ALL OFF-SITE MATERIAL. THIS INCLUDES AN ANALYSIS TO INSURE THAT CONTAMINATION IS PRESENT. IF ANY MATERIAL IS BROUGHT ON SITE WITHOUT PRIOR WRITTEN APPROVAL OF THE KROGER PROJECT MANAGER, THE CONTRACTOR WILL BEAR ALL COSTS ASSOCIATED WITH REMOVING THE MATERIAL, TESTING FOR CONTAMINATION, MONITORING THE CLEAN-UP OPERATION, DISPOSAL IN AN APPROVED LANDFILL, AND CERTIFYING THAT THE KROGER SITE IS ENVIRONMENTALLY CLEAN.

IF REQUESTED, THE KROGER PROJECT MANAGER OR KROGER'S CONSULTANTS MUST BE GRANTED UNFETTERED ACCESS TO ANY AND ALL BORROW SITES

**FLOOD NOTE:**

THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. SURVEYED PROPERTY IS SHOWN IN A "ZONE X" NO SHADING ON FEMA MAP. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 47167C0310F WITH AN EFFECTIVE DATE OF DECEMBER 19, 2006

**BENCHMARK**

SITE TBM #18" NAIL LOCATED ON THE SOUTH SIDE OF KIMBROUGH ROAD IN GRASS STRIPE AS SHOWN HEREON.  
ELEVATION: 441.44 (NA888)

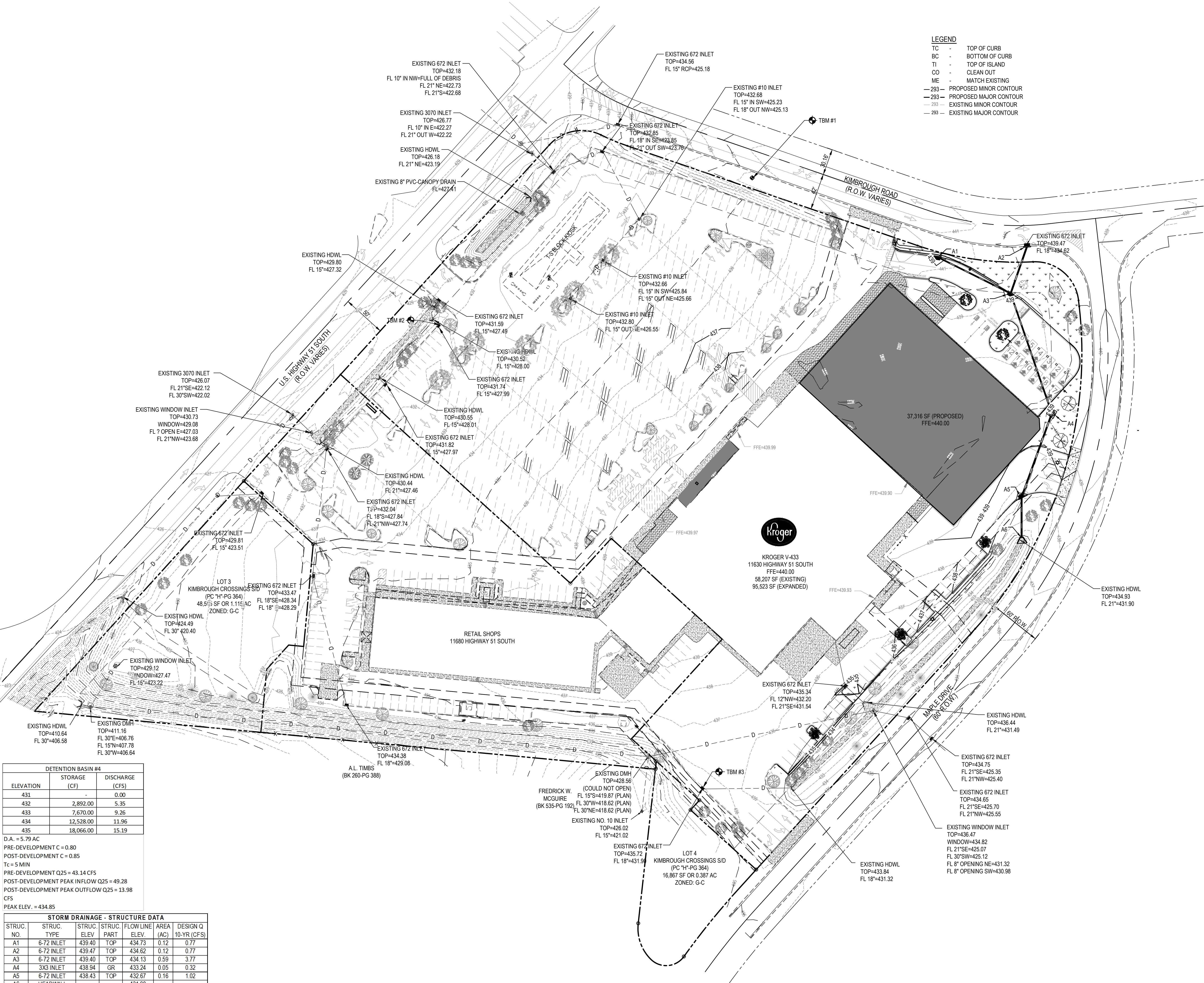
SITE TBM #2  
TOP OF 6-72 INLET LOCATED AT DRIVEWAY FROM HIGHWAY 51 AS SHOWN HEREON.  
ELEVATION: 431.74 (NA888)

SITE TBM #3  
TOP OF 6-72 INLET LOCATED AT DRIVEWAY FROM MAPLE DRIVE AS SHOWN HEREON.  
ELEVATION: 435.72 (NA888)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.



DETENTION BASIN #4			
ELEVATION	STORAGE (CF)	DISCHARGE (CFS)	
431	0.00		
432	2,892.00	5.35	
433	7,670.00	9.26	
434	12,528.00	11.96	
435	18,066.00	15.19	

D.A. = 5.79 AC  
PRE-DEVELOPMENT C = 0.80  
POST-DEVELOPMENT C = 0.85  
Tc = 5 MIN  
PRE-DEVELOPMENT Q25 = 43.14 CFS  
POST-DEVELOPMENT PEAK INFLOW Q25 = 49.28  
POST-DEVELOPMENT PEAK OUTFLOW Q25 = 13.98 CFS  
PEAK ELEV. = 434.85

STORM DRAINAGE - STRUCTURE DATA							
STRUC. NO.	STRUC. TYPE	STRUC. ELEV.	FLOW LINE PART	FLOW LINE ELEV.	AREA (AC)	DESIGN Q (10-YR) (CFS)	10-YR (CFS)
A1	6-72 INLET	439.40	TOP	434.73	0.12	0.77	
A2	6-72 INLET	439.47	TOP	434.62	0.12	0.77	
A3	6-72 INLET	439.40	TOP	434.13	0.59	3.77	
A4	3X3 INLET	438.94	GR	433.24	0.05	0.32	
A5	6-72 INLET	438.43	TOP	432.67	0.16	1.02	
A6	HEADWALL	431.90	...	431.90	...	...	

STORM DRAINAGE - PIPE DATA											
FROM	FLOW LINE ELEV.	TO	FLOW LINE ELEV.	PIPE DIA (IN.)	PIPE MATERIAL	SLOPE (%)	LENGTH (FT)	DESIGN Q (10YR) (CFS)	PIPE CAPACITY (CFS)	MAX. (FPS) VELOCITY	DRAIN AREA (AC)
A1	434.73	A3	434.14	18"	RCP	0.63	94	0.77	5.55	4.5	0.12
A2	434.62	A3	434.13	18"	RCP	0.85	57	0.77	10.51	5.9	0.12
A3	434.13	A4	433.24	18"	RCP	0.61	145	5.31	8.90	5.0	0.83
A4	433.24	A5	432.67	18"	RCP	0.56	102	5.55	8.50	4.8	0.88
A5	432.67	A6	431.90	21"	RCP	1.66	46	6.40	14.64	8.3	1.04

REVISIONS:			

PROJECT #: 20646.05

DATE: DEC, 2023

DRAWN BY: PFI

DESIGNER: PFI

CHECKED BY: PFI



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**KROGER STORE V-433  
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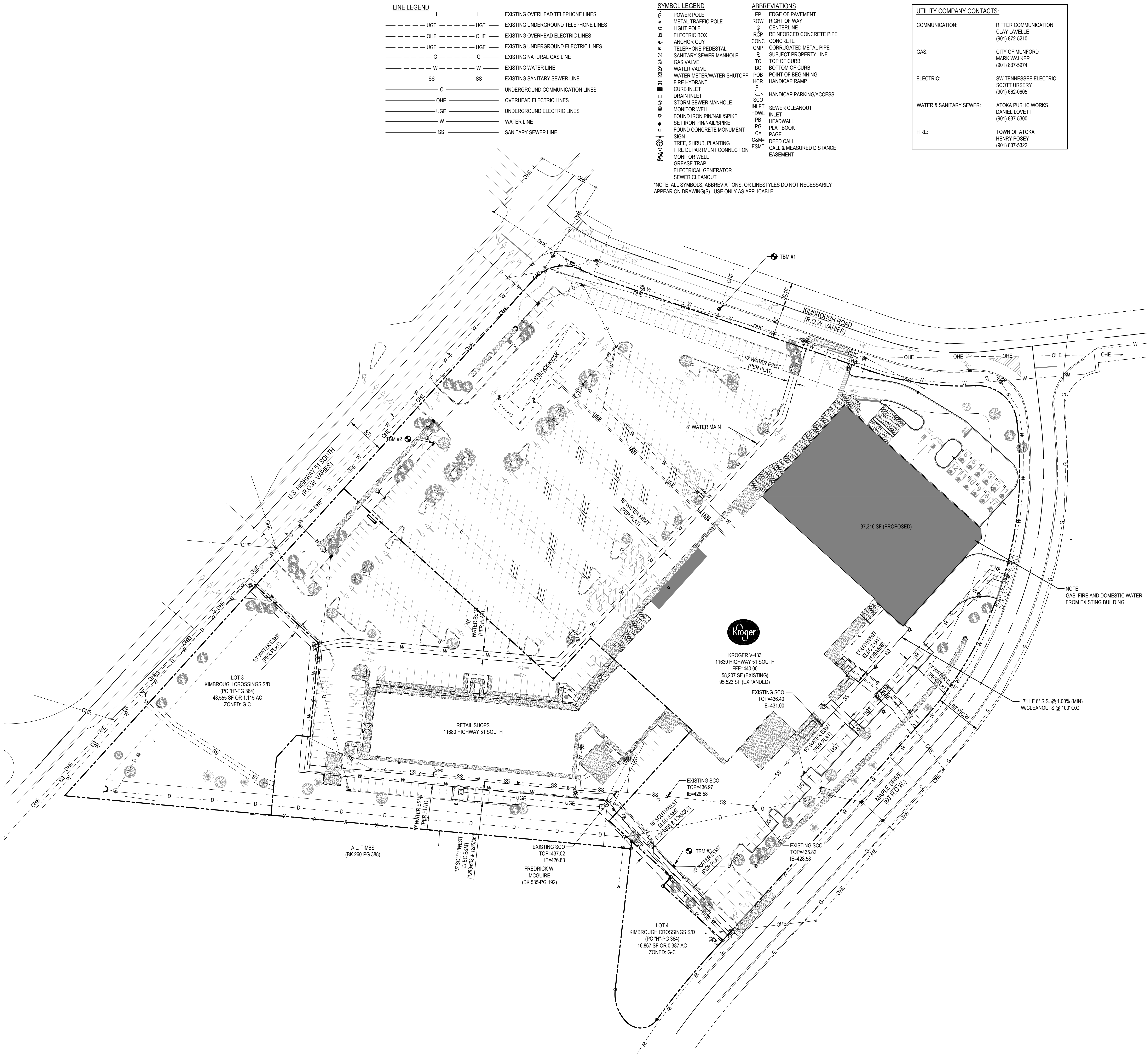
SHEET NUMBER:

**C1.2**

DESCRIPTION:  
GRADING & DRAINAGE  
PLAN



K:\20646.05\CAD\PLANS\C1.3 UTILITY PLAN.DWG - December 14, 2023



LINE LEGEND

T	---	T	---	EXISTING OVERHEAD TELEPHONE LINES
UGT	---	UGT	---	EXISTING UNDERGROUND TELEPHONE LINES
OHE	---	OHE	---	EXISTING OVERHEAD ELECTRIC LINES
UGE	---	UGE	---	EXISTING UNDERGROUND ELECTRIC LINES
G	---	G	---	EXISTING NATURAL GAS LINE
W	---	W	---	EXISTING WATER LINE
SS	---	SS	---	EXISTING SANITARY SEWER LINE
C	---	C	---	UNDERGROUND COMMUNICATION LINES
OHE	---	OHE	---	OVERHEAD ELECTRIC LINES
UGE	---	UGE	---	UNDERGROUND ELECTRIC LINES
W	---	W	---	WATER LINE
SS	---	SS	---	SANITARY SEWER LINE

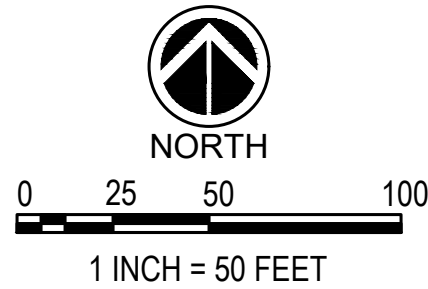
SYMBOL LEGEND

EP	POWER POLE	EP	EDGE OF PAVEMENT
ROW	METAL TRAFFIC POLE	ROW	RIGHT OF WAY
C	CENTERLINE	C	CENTERLINE
RCP	REINFORCED CONCRETE PIPE	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	CONC	CONCRETE
CMP	CORRUGATED METAL PIPE	CMP	CORRUGATED METAL PIPE
SP	SUBJECT PROPERTY LINE	SP	SUBJECT PROPERTY LINE
TC	TOP OF CURB	TC	TOP OF CURB
BC	BOTTOM OF CURB	BC	BOTTOM OF CURB
POB	POINT OF BEGINNING	POB	POINT OF BEGINNING
HCR	HANDICAP RAMP	HCR	HANDICAP RAMP
SC	SEWER CLEANOUT	SC	SEWER CLEANOUT
INLET	INLET	INLET	INLET
HDWL	HEADWALL	HDWL	HEADWALL
PG	PLAT BOOK	PG	PLAT BOOK
C	PAGE	C	PAGE
C&M	DEED CALL	C&M	DEED CALL
ESMT	CALL & MEASURED DISTANCE	ESMT	CALL & MEASURED DISTANCE
EASEMENT	EASEMENT	EASEMENT	EASEMENT
MONITOR WELL	MONITOR WELL	MONITOR WELL	MONITOR WELL
GREASE TRAP	GREASE TRAP	GREASE TRAP	GREASE TRAP
ELECTRICAL GENERATOR	ELECTRICAL GENERATOR	ELECTRICAL GENERATOR	ELECTRICAL GENERATOR
SEWER CLEANOUT	SEWER CLEANOUT	SEWER CLEANOUT	SEWER CLEANOUT

\*NOTE: ALL SYMBOLS, ABBREVIATIONS, OR LINES DO NOT NECESSARILY APPEAR ON DRAWING(S). USE ONLY AS APPLICABLE.

UTILITY COMPANY CONTACTS:

COMMUNICATION:	ITTER COMMUNICATION CLAY LAYELLE (901) 872-5210
GAS:	CITY OF MUNFORD MARK WALKER (901) 837-5574
ELECTRIC:	SW TENNESSEE ELECTRIC SCOTT URSERY (901) 982-0505
WATER & SANITARY SEWER:	ATOKA PUBLIC WORKS DANIEL LOVETT (901) 837-3300
FIRE:	TOWN OF ATOKA HENRY POSEY (901) 837-6322



WATER NOTES:

- ALL MATERIALS AND INSTALLATION, TESTING, DISINFECTING, AND INSPECTIONS SHALL CONFORM TO THE TOWN OF ATOKA TECHNICAL SPECIFICATIONS, AND THE REQUIREMENTS OF THE STATE OF TENNESSEE. WATER LINES, FITTINGS AND CONNECTIONS ARE TO BE TESTED FOR WATER TIGHTNESS BY PRESSURE TESTING.
- ALL PIPE LINES, FIRE HYDRANTS, VALVES, AND FITTINGS ARE TO BE BLOCKED WITH CONCRETE THRUST BLOCKS IN ACCORDANCE WITH TOWN OF ATOKA STANDARD DETAILS.
- SLEEVES FOR IRRIGATION SHALL BE INSTALLED PRIOR TO PAVING.
- ALL PVC PIPE SHALL BEAR THE NSF SEAL OF APPROVAL.
- THE WATER PLAN SHOWN IS DIAGRAMMATIC ONLY. THE SITEWORK CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS INCLUDING MATERIALS, INSTALLATION, TESTING, AND INSPECTION. COORDINATE WITH THE TOWN OF ATOKA.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 30" COVER FROM FINISHED GRADE. WATER LINES SHALL BE PVC C900, CLASS 200.

SEWER NOTES:

- ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF ATOKA AND STATE OF TENNESSEE SPECIFICATIONS.
- SEVENTY-TWO (72) HOURS BEFORE STARTING ANY EXCAVATION, THE CONTRACTOR SHALL CALL TN ONE CALL AT 811.
- THE CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL PVC SEWER LINES SHALL BE RATED AS SCH 40 IN ACCORDANCE WITH ASTM D-3034.
- CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE TO EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.

WATER/SEWER SEPARATION NOTE:

- WATER MAINS SHALL BE LAID AT LEAST 10' HORIZONTALLY AND 24" VERTICALLY FROM ANY SEWER OR MANHOLE (WATER OVER SEWER).
- WHERE LOCAL CONDITIONS PREVENT ADEQUATE VERTICAL SEPARATION, THE SANITARY SEWER MUST BE CONSTRUCTED OF DUCTILE IRON, PVC, OR REINFORCED CONCRETE. THE SEWER LINE MUST MEET REQUIREMENTS OF THE TOWN OF ATOKA STANDARD SPECIFICATIONS, AND MUST BE PRESSURE TESTED PURSUANT TO CHAPTER VI OF THE STATE HEALTH DEPARTMENT MINIMUM STANDARD OF DESIGN OF WATER POLLUTION CONTROL FACILITIES.
- JOINTS IN THE SEWER PIPE SHALL BE LOCATED A MINIMUM OF 10' FROM THE INTERSECTED WATER MAIN.
- WHERE A 24" SEPARATION, WATER OVER SEWER, CANNOT BE MAINTAINED, THE SANITARY SEWER SHALL BE REINFORCED CONCRETE ENCASED FOR A DISTANCE OF TEN FEET EACH WAY FROM THE WATER LINE CROSSING.
- WHERE A WATER MAIN IS LAID BELOW THE SANITARY SEWER, REGARDLESS OF CLEAR SPACE, THE SANITARY SEWER SHALL BE REINFORCED CONCRETE ENCASED FOR A DISTANCE OF TEN FEET EACH WAY FROM THE WATER LINE CROSSING.

GAS, TELEPHONE AND ELECTRIC NOTES:

- ALL UTILITY CONSTRUCTION TO CONFORM TO LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
- GAS, ELECTRIC, & TELEPHONE SERVICE SHOWN IS SCHEMATIC ONLY. GAS SERVICE TO BE PROVIDED BY CITY OF MUNFORD. ELECTRIC SERVICE TO BE PROVIDED BY SW TENNESSEE ELECTRIC. TELEPHONE SERVICE TO BE PROVIDED BY RITTER COMMUNICATION. SITE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY PROVIDERS AND THE BUILDING CONTRACTOR FOR GAS, ELECTRIC AND TELEPHONE SERVICE.
- CONTRACTOR SHALL COORDINATE LOCATION AND DEPTHS OF UTILITIES WITH UTILITY PROVIDERS PRIOR TO INSTALLATION OF CONDUIT AND/OR PIPING.
- SITE WORK CONTRACTOR SHALL ENSURE THAT SLEEVES FOR SITE LIGHTING ARE INSTALLED PRIOR TO PAVING.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POWER FOR IRRIGATION SYSTEMS.
- PROVIDE PULLWIRE IN ALL EMPT CONDUITS.

FLOOD NOTE:

THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. SURVEYED PROPERTY IS SHOWN IN A 'ZONE X' (NO SHADING ON FEMA MAP). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 471670310F WITH AN EFFECTIVE DATE OF DECEMBER 19, 2006

BENCHMARK

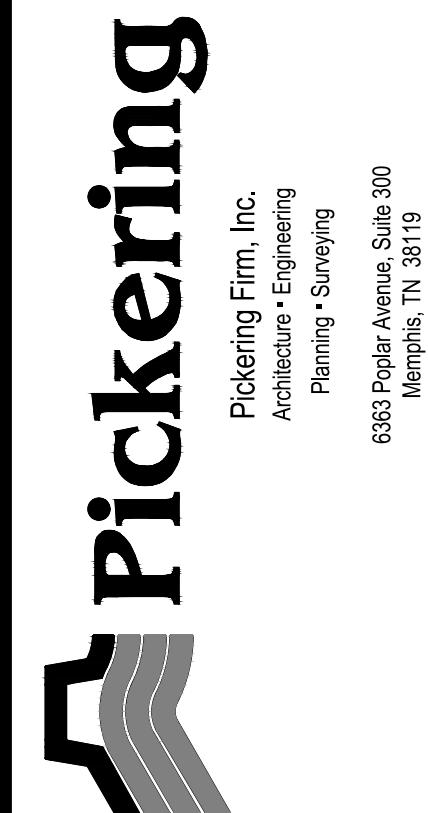
- SITE TBM #18" NAIL LOCATED ON THE SOUTH SIDE OF KIMBROUGH ROAD IN GRASS STRIPE AS SHOWN HEREON.  
ELEVATION: 441.44 (NAD88)
- SITE TBM #2  
TOP OF 6-72 INLET LOCATED AT DRIVEWAY FROM HIGHWAY 51 AS SHOWN HEREON.  
ELEVATION: 431.74 (NAD88)
- SITE TBM #3  
TOP OF 6-72 INLET LOCATED AT DRIVEWAY FROM MAPLE DRIVE AS SHOWN HEREON.  
ELEVATION: 435.72 (NAD88)
- NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

REVISIONS:		

PROJECT #:	20646.05
DATE:	DEC, 2023
DRAWN BY:	PFI
DESIGNER:	PFI
CHECKED BY:	PFI



KROGER STORE V-433  
STORE EXPANSION  
11630 HIGHWAY 51 S  
ATOKA, TN 38004



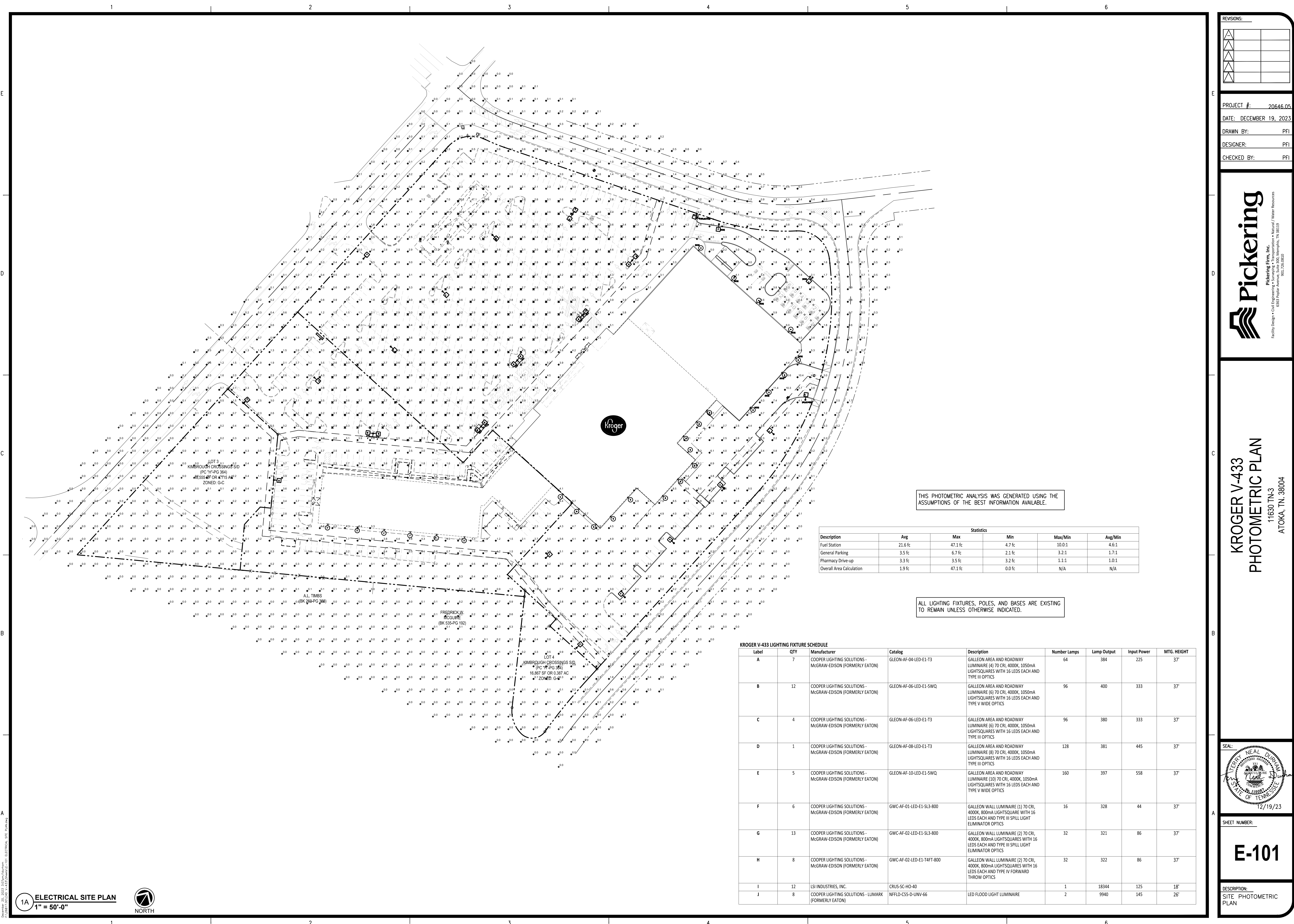
SEAL:

SHEET NUMBER:

C1.3

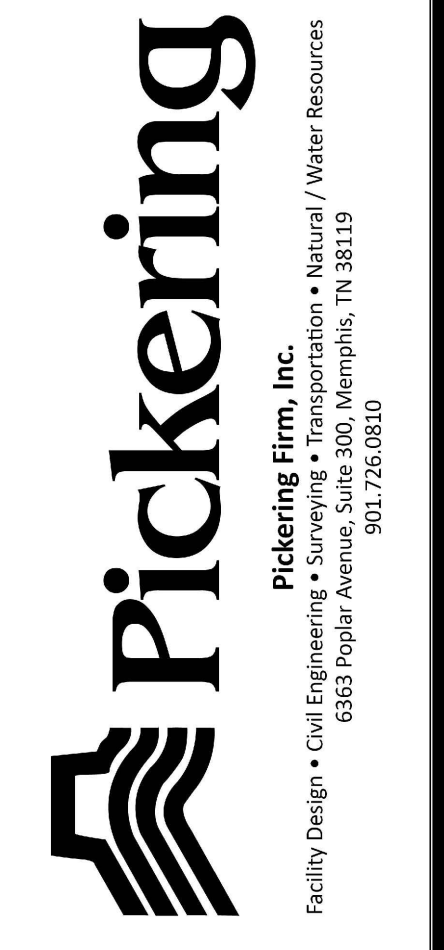
DESCRIPTION:  
UTILITY PLAN





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PROJECT #: 20646.05  
DATE: DECEMBER 19, 2023  
DRAWN BY: PF1  
DESIGNER: PF1  
CHECKED BY: PF1



# KROGER V-433 PHOTOMETRIC PLAN

11630 TN-3  
ATOKA, TN, 38004

THIS PHOTOMETRIC ANALYSIS WAS GENERATED USING THE ASSUMPTIONS OF THE BEST INFORMATION AVAILABLE.

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Fuel Station	21.6 fc	47.1 fc	4.7 fc	10.0:1	4.6:1
General Parking	3.5 fc	6.7 fc	2.1 fc	3.2:1	1.7:1
Pharmacy Drive-up	3.3 fc	3.5 fc	3.2 fc	1.1:1	1.0:1
Overall Area Calculation	1.9 fc	47.1 fc	0.0 fc	N/A	N/A

ALL LIGHTING FIXTURES, POLES, AND BASES ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

KROGER V-433 LIGHTING FIXTURE SCHEDULE								
Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power	MTG. HEIGHT
A	7	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-04-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS	64	384	225	37'
B	12	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-06-LED-E1-SWQ	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS	96	400	333	37'
C	4	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-06-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS	96	380	333	37'
D	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-08-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (8) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS	128	381	445	37'
E	5	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-10-LED-E1-SWQ	GALLEON AREA AND ROADWAY LUMINAIRE (10) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS	160	397	558	37'
F	6	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-AF-01-LED-E1-SL3-800	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 800mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS	16	328	44	37'
G	13	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-AF-02-LED-E1-SL3-800	GALLEON WALL LUMINAIRE (2) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS	32	321	86	37'
H	8	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-AF-02-LED-E1-T4FT-800	GALLEON WALL LUMINAIRE (2) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	32	322	86	37'
I	12	LSI INDUSTRIES, INC.	CRUS-SC-HQ-40		1	18344	125	18'
J	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	NFLD-C55-D-UNV-66	LED FLOOD LIGHT LUMINAIRE	2	9940	145	26'

