



Phillips Lytle LLP

Via Hand Delivery

John C. Whitney, P.E.
Town Supervisor
Town of Grand Island
2255 Baseline Road
Grand Island, New York 14072

February 21, 2020

David Bruno, Chair
Town of Grand Island Planning Board
2255 Baseline Road
Grand Island, New York 14072

Re: TC Buffalo Development Associates, LLC
Application for Planned Development District Designation
2780 Long Road, Grand Island, NY 14072
Tax Section 23, Block 1, Lot 50
Tax Section 23, Block 1, Lot 26.1

Dear Supervisor Whitney, Chair Bruno and Members of the Town of Grand Island
Town Board and Planning Board:

We represent TC Buffalo Development Associates, LLC ("**TC Buffalo**") with respect to the proposed development of approximately 145.4 acres of land located at 2780 Long Road ("**Site**"), in the Town of Grand Island ("**Town**"), New York, for use as an e-commerce storage and distribution facility for consumer products ("**Facility**"), by a single confidential prospective entity ("**Project**"). The Site is currently owned by Grand Island Commerce Center Joint Venture ("**Owner**"), which has authorized TC Buffalo to file all applications necessary for the development, construction and operation of the Project at the Site. See **Exhibit 5**. The Owner also owns approximately 62.1 acres of land adjacent to the western boundary of the Site (the "**West Parcel**"). The West Parcel is zoned R-1A Low Density Single Family Residential. No development is proposed in the West Parcel, and the West Parcel is not part of the Application, as defined below.

ATTORNEYS AT LAW

KIMBERLY R. NASON, PARTNER DIRECT 716 504 5784 KNASON@PHILLIPSLYTLE.COM

ONE CANALSIDE 125 MAIN STREET BUFFALO, NY 14203-2887 PHONE 716 847 8400 FAX 716 852 6100
NEW YORK: ALBANY, BUFFALO, CHAUTAUQUA, GARDEN CITY, NEW YORK, ROCHESTER | OHIO: CLEVELAND | WASHINGTON, DC
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Under the Town of Grand Island Zoning Code (the "**Code**"), the Site is located in the M-1 Light Industrial and Research District ("**M-1**"), which authorizes a storage and distribution facility as a permitted use, and is established to "encourage the development of non-noxious industry that provides employment and expands the local tax base". Due to the unique nature of the Project and for reasons detailed further herein, TC Buffalo is requesting that the Town Board, in accordance with Article XXVI of the Code, designate the Site as Planned Development District ("**PDD**").

On behalf of TC Buffalo, and as set forth more fully below, we submit this letter of intent, with supporting documentation, for concurrent review and approval of a development concept plan, a detailed plan, and site plan approval in accordance with Code § 407-177(B) and § 407-121(A)(2)(c), as necessary to designate the Site as a PDD (the "**Application**"). In accordance with § 407-177(C), the Application is simultaneously submitted directly to the Planning Board for review, and no specific referral from the Town Board is required.

Enclosed you will find three checks for the requisite filing fees as follows - \$7,400 for the rezoning reclassification, \$3,875 for site plan review, and \$9,250 for the stormwater pollution prevention plan, along with nineteen (19) copies of the Application with the following exhibits attached hereto and made part hereof:

- Exhibit 1:** Site Plans
- Exhibit 2:** Survey with Legal Description
- Exhibit 3:** Renderings
- Exhibit 4:** Building Elevations
- Exhibit 5:** Evidence of Site Control
- Exhibit 6:** Finance Plan
- Exhibit 7:** Site Plan Checklists
- Exhibit 8:** Zoning Code Compliance Analysis - Development Concept Plan
- Exhibit 9:** Zoning Code Compliance Analysis - Detailed Plan
- Exhibit 10:** Zoning Code Compliance Analysis - Site Plan
- Exhibit 11:** Full Environmental Assessment Form
- Exhibit 12:** Environmental Analysis with Exhibits



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PROJECT DETAILS

Applicant:	TC Buffalo Development Associates, LLC
Applicant Address:	c/o James Murray-Coleman Trammel Crow Company 600 Grant Street, Suite 4800 Pittsburgh, Pennsylvania 15219 (412) 316-2403
Attorney Contact:	Phillips Lytle LLP Attention: Kimberly R. Nason, Esq. One Canalside 125 Main Street Buffalo, New York 14203 (716) 504-5784 E-mail: knason@phillipslytle.com
Engineering Contact:	Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. c/o Michael Finan, P.E., LEED-AP One North Broadway, Suite 910 White Plains, New York 10601
Project Location:	2780 Long Road Grand Island, New York 14203
Parcel ID:	Tax Section 23, Block 1, Lot 50 (portion) Tax Section 23, Block 1, Lot 26.1
Property Owner:	Grand Island Commerce Center Joint Venture c/o Michael Huntress



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5554 Main Street
Williamsville, New York 14221
(716) 204-3570

Zoning District: M1 (Light Industrial and Research District)

PROJECT DESCRIPTION

1. Project Overview

TC Buffalo is proposing development of the Facility for use as a new e-commerce storage and distribution center for consumer products. *See Exhibit 1.* The Facility will be occupied and operated by a single confidential prospective entity to address growing demand for warehouse distribution facilities throughout the United States. The Facility will operate as a fulfillment and sortation center, receiving in-bound bulk shipments of products from various vendors, suppliers and sellers, and then packaging these items to prepare them to be sent to a facility for shipping directly to its consumers, either through its own delivery network or through third-party shippers.

The Facility will provide at least 1,000 new jobs, typically in two shifts. The Facility has a footprint of approximately 823,522 square feet ("SF"), and will consist of five stories, for a total floor area of approximately 3,783,124 SF. Proposed accessory features at the Site include two guard buildings, 1,855 car parking spaces, 16 motorcycle parking spaces, 219 trailer parking spaces, 69 loading docks, one pump station maintenance space, water tank, stormwater management basins and improvements, accessory site driveways, lighting, landscaping, signage, and other related improvements as demonstrated in the attached Site Plans. Additionally, for security on the Site, two guard shack buildings will be constructed near the access points. *See Exhibit 1.* The Facility has a design capacity for approximately 7,000 people, however, it is expected that no more than 1,800 people will occupy the Facility at any one time. The vast majority of on-Site activities will take place within the Facility, in a secured environment that is not open to the public. The Facility will operate 24 hours per day, 7 days a week, and 365 days a year. The Facility will also employ seasonal workers in the



fourth quarter annually, and will create approximately 300 construction jobs. The Project will make productive economic use of currently vacant property, resulting in substantial tax revenues generated for the Town and the Grand Island School District, with limited costs to the community.

The Facility will be considered a Group S-1 occupancy and will be dedicated primarily to the storage and distribution of Class I-IV and Group A plastic commodities. No hazardous materials or aerosols will be stored or shipped from the Facility, with the exception of household cleaning products and consumer-grade cleaning products that may be used within the Facility.

2. Site Overview

The Site consists of approximately 145.4 acres of currently vacant land. *See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan; and Exhibit 2.* The Site is an ideal location for the Project due its size, limited surrounding development and convenient access to Interstate Route 190 ("I-190") and the regional highway network. *See Exhibit 1 and Exhibit 2.* The Site is bordered by Bedell Road to the south, Long Road to the north, the West Parcel to the west, and I-190 to the east (adjacent to Exit 20B). *See Exhibit 2.* The Site is approximately 2.5 miles northwest of the center of Grand Island and approximately 2.5 miles south of the City of Niagara Falls. *See Exhibit 2.* The Site is zoned M-1 and is currently undeveloped. *See Exhibit 1, at Sheet CS001, Cover Sheet and Sheet CD100 Overall Existing Conditions & Site Removal Plan.*

The Site consists of wooded areas, however there are several areas that have been previously cleared. *See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan.* The northern portion of the Site consists primarily of grassland and wetlands and the southern portion of the Site is primarily forested land. *See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan.* The Site appears to have been used for agricultural purposes prior to the early 1960s and has remained undeveloped ever since, with the exception of apparent earthwork in the northwestern



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portion of the Site and a historical pond in the northern portion of the Site that was filled in the early 1970s. *See Exhibit 12.*

Several wetlands were identified within the Site, four of which are anticipated to be United States Army Corps of Engineers ("USACE") jurisdictional wetlands, five are New York State Department of Environmental Conservation ("NYSDEC") regulated wetlands, and the remaining wetlands are anticipated to be non-jurisdictional. *See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan.* In addition, three waterbodies were identified on the Site. One ditch flows through the central part of the Site, one ditch flows along Long Road, and the last ditch flows through the southern part of the Site near Bedell Road. *See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan.* The ditches ultimately join together and flow north along Long Road to the Niagara River. *See Exhibit 12.*

The NYSDEC Natural Heritage Program records indicate that there may be the presence of an endangered or threatened species (Blacknose Shiners, Northern Long-eared Bat, Short-eared owl) on the Site, and a significant natural community (Silver Maple-ash Swamp) within the vicinity of the Site. Even so, it is unlikely that the Blacknose Shiner is present on the Site because the water courses on the Site are separated from the nearby Niagara River by a series of roadside ditches that do not provide consistent water levels or habitat. *Exhibit 12, at Exhibit I, Threatened and Endangered Species Assessment.* Further, the water courses on the Site do not consistently contain standing water or stream flow that is necessary to support and sustain fish populations. *Exhibit 12, at Exhibit I, Threatened and Endangered Species Assessment.* Similarly, it is unlikely that the Short-eared Owl is present on the Site because the current condition of the Site is not conducive to the habitat of this species. *Exhibit 12, at Exhibit I, Threatened and Endangered Species Assessment.* While the Northern Long-eared Bat, which are considered a threatened species by the United States Fish and Wildlife Service, were identified on the Site, there are no critical habitats for this species on the Site or West Parcel. *Exhibit 12, at Exhibit I, Threatened and Endangered Species Assessment.* Additionally, there are no known occurrences of the species on, or within proximity to, the Site. *See Exhibit 12, at Exhibit I, Threatened and Endangered Species Assessment.* Accordingly, although the Project requires the



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removal of trees from the Site, such removal will not constitute a taking of the species. *See Exhibit 12.* There are no Critical Environmental Areas, or unique geological features noted on the Site, and the Site soils generally consists of silt and clay with varying amounts of fine to medium sand. *See Exhibit 12.*

3. Project Infrastructure and Process

As noted, the Site is ideal for the Project due to its size and setting and proximity to I-190. To accommodate employee vehicles and trucks on the Site, the Project proposes the addition of surface parking for 1,855 cars, 16 motorcycles, and 219 trailers. *See Exhibit 1, at Sheet CS100, Overall Site Plan.* During the AM peak hour, employees travelling to and from the Site are expected to generate 658 entering trips and 29 exiting trips. *See Exhibit 12, at Exhibit G, Traffic Impact Study.* At that same time, trucks travelling to and from the Site are expected to generate 10 entering and 10 exiting trips. *See Exhibit 12, at Exhibit G, Traffic Impact Study.* During the PM peak hour, employees travelling to and from the Site are expected to generate 582 entering and 592 exiting trips. *See Exhibit 12, at Exhibit G, Traffic Impact Study.* At that same time, trucks travelling to and from the Site are expected to generate 8 entering and 8 exiting trips. *See Exhibit 12, at Exhibit G, Traffic Impact Study.* In total, the Project is anticipated to generate 668 entering and 39 exiting vehicles during the AM peak hour, and 590 entering and 600 exiting vehicles during the PM peak hour. *See Exhibit 12, at Exhibit G, Traffic Impact Study.*

These traffic figures represent an overall increase in traffic in the area; however, the existing roadway network can accommodate the Project with the implementation of certain improvements to public roads surrounding the Site. *See Exhibit 12, at Exhibit G, Traffic Impact Study.* One improvement that can be made to the public roadway is the addition of a fully actuated three-color traffic signal at the southbound ramp of I-190 and Long Road, which would serve to control the increased traffic on the I-190 ramps. *See Exhibit 12, at Exhibit G, Traffic Impact Study.* Likewise, the construction of a new right turn lane for traffic exiting the I-190 northbound ramp at Grand Island Boulevard would also address issues associated with traffic volume increases as a result of the Project. *See Exhibit 1, at Sheets CS201 and CS202, Offsite Improvement Plan; Exhibit*



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12, at Exhibit G, Traffic Impact Study. The Project includes these proposed upgrades. *See Exhibit 12, at Exhibit G, Traffic Impact Study.*

The Project proposes a single phase of construction that will last approximately 18-24 months, with scheduled winter breaks.

4. Utilities

The Project will require connection to several different infrastructure systems—water, sewer, electric, natural gas, and telecommunications. *See Exhibit 1, at Sheet CU100, Overall Utility Plan.* As to water, the Site is currently served by two existing water mains, one on Bedell Road and the other on Long Road. *See Exhibit 12, at Exhibit H, Water Report.* The Project proposes connecting to these existing mains to service the Facility. *See Exhibit 12, at Exhibit H, Water Report.* Testing of the water infrastructure on the Site indicates that the existing infrastructure is adequate to service the Facility, including fire hydrants. *See Exhibit 12, at Exhibit H, Water Report.* Turning to sewer, the Site is located in an existing sewer district and there is a pump station located near long road, connected to a force main that runs along Bedell Road. *See Exhibit 12, at Exhibit H, Sewer Report.* The Project proposes connecting to the existing sewer infrastructure. *See Exhibit 12, at Exhibit H, Sewer Report.* Testing of the Sewer infrastructure, indicates that it is adequate to serve the Project. *See Exhibit 12, at Exhibit H, Sewer Report.* With regard to electric service, the Site is serviced, by National Grid. *See Exhibit 12, at Exhibit J, Energy Conservation Assessment.* In a letter dated November 7, 2019, National Grid stated that there are existing lines to the north, south and west of the Site. National Grid does not anticipate that an extension of the existing infrastructure is required. *See Exhibit 12, at Exhibit J, Energy Conservation Assessment.* Although additional study is necessary to determine how to serve the increase in electricity demand associated with the Site, it is anticipated that the Project will not require a new substation or improvements to any existing substation. *See Exhibit 12, at Exhibit J, Energy Conservation Assessment.* Natural gas is provided to the Site by National Fuel. *See Exhibit 12, at Exhibit J, Energy Conservation Assessment.* In a letter dated October 31, 2019, National Fuel stated that there are existing gas lines serving the Site, with mains at Long Road and Bedell Road,



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that are available to service the Project. *See Exhibit 12, at Exhibit J, Energy Conservation Assessment.* National Fuel does not anticipate that an extension of the existing infrastructure is required. *See Exhibit 12, at Exhibit J, Energy Conservation Assessment.*

5. Transportation

The Site includes close access to major interstate highways. *See Exhibit 1.* The Project will include construction of two access driveways—one on Long Road that will provide access to car parking, trailer parking and the loading docks, and one on Bedell Road that will provide access to car parking only. *See Exhibit 1, at Sheet CS100, Overall Site Plan.* The main entrance to the Site is planned for Long Road, nearest I-190, and truck access will be permitted at this entrance only.

There are no existing pedestrian or dedicated bicycle facilities in the nearby area. Bicyclists are permitted to share the surrounding roadways and future bicycle routes are planned. Niagara Frontier Transit Authority Metro System ("NFTA") Route 40 provides bus service between Buffalo and Niagara Falls with several stops along Grand Island Boulevard and adjacent to the Site. *See Exhibit 12, at Exhibit F, Traffic Impact Assessment.*

PROPOSED PDD DEDICATION AND AMENDMENT TO THE TOWN'S ZONING MAP

1. Planned Development District

Pursuant to Code § 407-120(B), PDD designation is "intended to substitute procedural protections for substantive regulations in recognition of the fact that traditional density, bulk, spacing and use regulations, which may be useful in protecting the character of substantially developed and stable areas, may impose inappropriate preregulations and rigidities upon the development or redevelopment of parcels or areas which lend themselves to an individual planned approach."



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As relevant here, the Site is a large, vacant piece of land, immediately adjacent to I-190, that the Town's Comprehensive Plan (defined below) has targeted for development. *See Exhibit 2.* The Site presents a valuable opportunity for development and job creation, but its distinctive characteristics – both its size and its location – are challenges that mandate a unique approach beyond traditional zoning classifications. Similarly, the Project, with its robotic operation, transportation needs, and large employee base, mandates a large-scale Facility and operation not typically contemplated within the structure of traditional zoning. In this context, a PDD provides precisely the sort of individualized zoning approach that best fits both the Site and the Project.

Furthermore, establishing a PDD on the Site to facilitate the Project does not dramatically alter the way the land will be used. Presently, the Site is zoned M1, which permits light industrial use, including warehouses and distribution centers on the Site. *See Exhibit 1.* With a PDD designation, the Site will continue to permit those uses – an e-commerce warehouse storage and distribution facility – but on a larger scale, which is crucial to the Project's operations and efficiencies, economic development goals and long-term viability. *See Exhibit 1.*

Within this context, it is important to note that establishing a PDD to facilitate this Project will help the Town solidify its place in the Western New York economy without sacrificing the characteristics that make the Town an appealing place to live and work. In this regard, the Project provides tremendous job opportunities for residents of the Town and will bring employees to the Town from the surrounding areas who will patronize surrounding businesses. Moreover, the Project makes productive use of otherwise vacant land, representing precisely the sort of economic development that epitomizes the future goals of the Town, as articulated in its recently adopted Comprehensive Plan. *See Exhibit 2.* Although the Project is a larger scale than the development that typically takes place in the Town, the Project is nevertheless an attractive addition to the Town. As demonstrated in the Visual Assessment, despite the scale of the Facility, the Facility is generally not visible from surrounding areas and most of the visual impact will be along the NYS Thruway where visual sensitivity is lowest. *See Exhibit 12, at Exhibit E, Visual Analysis Report.* Further, the Project incorporates open space and extensive landscaping into its design, creating a



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naturalized look on the Site that is both welcoming and attractive. *See Exhibit 1, at Sheet LP100 Overall Landscaping Plan; Exhibit 3; Exhibit 12, at Exhibit E, Visual Analysis Report.* These thoughtful design elements bring the Project in line with the Town's character, balance out its size, and help the Project fit within the surrounding community. *See Exhibit 3; Exhibit 12, at Exhibit E, Visual Analysis Report.*

Accordingly, as the Code authorizes the establishment of a PDD in "areas which lend themselves to an individual, planned approach" and permits a PDD to be used to facilitate unique development, the Applicant respectfully submits that PDD designation is appropriate.

2. Consistency with Community Goals and Comprehensive Plan

In *Bridging the Future: Town of Grand Island 2018 Comprehensive Plan* ("Comprehensive Plan"), the Town describes its vision for the Town's future;

Grand Island is the "heart of the Niagara" – a unique community unlike any other in western New York combining a relaxed, island lifestyle with small town living. We will capitalize on our natural assets; enhance our Town Center; and create opportunities for growth to sustain our community for the future while striving for harmony between the natural environment, development, and our heritage.

This vision is a distillation of various community values that provide a framework for the Town's future and animate its goals. Each of the community values are addressed in turn below, along with a discussion of the Project's consistency with those community values.

1. Natural Resources are our Biggest Asset.



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APPLICANT'S RESPONSE: As to this community value, the Comprehensive Plan notes that the Town's natural resources "can be used to the Town's advantage to bolster the local economy and market [the Town]." Consistent with this value, the Project balances development with natural resource conservation. See **Exhibit 12**. In its current undeveloped state, there are a number of natural resources on the Site, including grassland, wetland, forest, and wildlife habitat. See **Exhibit 1, at Sheet CD 100 Existing Conditions & Site Removal Plan; Exhibit 12**. A wetland delineation was conducted on the Site that revealed the presence of 11 jurisdictional wetlands and 2 watercourses. See **Exhibit 12, at Exhibit C, Wetlands/Water Impact Assessment**. Although the Project proposes impacts to the wetlands on the Site, such impacts have been avoided to the greatest extent feasible and will otherwise be mitigated through the purchase of wetland mitigation credits. See **Exhibit 12, at Exhibit C, Wetlands/Water Impact Assessment**. As for the watercourses, the watercourses/drainage ditches on the Site have been designated by the Town as a Feeder Creek and a Collector Creek. See **Exhibit 12, at Exhibit C, Wetlands/Water Impact Assessment**. The Project proposes installation of a roadway leading from Bedell Road to the Facility that will cross the Collector Creek. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan**. The Collector Creek road crossing has been specifically designed and will be constructed to maintain flow and potential aquatic life movement. See **Exhibit 12, at Exhibit C, Wetlands/Water Impact Assessment**. Additionally, the Collector Creek road crossing will be designed and constructed to maintain adequate capacity and stability for various flood flows. See **Exhibit 12, at Exhibit C, Wetlands/Water Impact Assessment**. The Project also proposes relocating the Feeder Creek to the west of the Site. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan**. The relocated Feeder Creek will maintain similar stream flow and will not adversely impact flood conditions on the Site. See **Exhibit 12, at Exhibit C**. The Project will result in various impacts to these natural features; however, such impacts are necessary to facilitate construction of the Facility and have been mitigated to the greatest extent possible. See **Exhibit 12**. With regard to the other natural resources, including the various trees on the Site, the Project will require the removal of some trees, but will offset any associated impact by the substantial number of plantings proposed in the Landscape design. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan**. Additionally, it is important to note that, even at full build out, the Project will leave significant portions of land on and near the Site as undeveloped or open



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space. See **Exhibit 1**. Approximately 89.6 acres of the Site will be left as open space, which will enhance the aesthetic value of the Project and make it an enticing place to work, while the neighboring 62.1 acre West Parcel, will remain undeveloped and will continue to serve as an important aesthetic, hydrologic, and habitat resource. See **Exhibit 1**.

2. We are a Unique Island Community.

APPLICANT'S RESPONSE: In this regard, the Comprehensive Plan notes that island towns "are a rarity in New York State," which "presents challenges and provides vast opportunities" for the Town, which offers residents ample recreational opportunities and a relaxed lifestyle, "[c]oupled with a rural feeling and compact neighborhood communities." As an island, accessibility to the Town is of utmost importance. Accordingly, the Applicant is in ongoing consultation with the Thruway Authority regarding the bridges leading on and off the island. Although the Project is large in scale, it will not disrupt the Town's distinctive lifestyle offerings. For one, the Project has been designed to reduce the visual impact of the Facility. The Facility is well-situated on a large Site, and incorporates screening and other landscape features that not only obscure the building, but enhance the appearance of the Site. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan**. With these design measures in place, the Project will be visible, but not will not overwhelm the surrounding landscape. In addition, the Facility is generally not visible from surrounding areas and most of the visual impact will be along the NYS Thruway where visual sensitivity is lowest. See **Exhibit 12, Visual Analysis Report**. At the same time, the Project's location, immediately adjacent to I-190, means that potential impacts from truck traffic associated with the Project will likely be minimized and concentrated mostly in the area of the Site. See **Exhibit 12, at Exhibit G, Traffic Impact Study**. This enables the Project to provide for economic development in the area, without disturbing the current lifestyle offerings throughout the Town referenced in the Comprehensive Plan.

3. We're More than Just a Pass Through -

APPLICANT RESPONSE: The Comprehensive Plan notes that "Interstate 190 has been both a benefit and a hindrance to the Town" because "it has brought many people to the



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[Town], but also makes it easy to pass right through without blinking an eye." In planning for the future, the Comprehensive Plan contemplates "taking better advantage of this resource." In line with this value, the Project is located directly adjacent to, and is clearly visible from, I-190 and will be the main thoroughfare for people – vendors, delivery vehicles, trucks, etc. – travelling to and from the Site. See **Exhibit 2**. The Project, thus, serves as a destination for these people, drawing them from the interstate, into the Town to eat, conduct business, and socialize.

4. Gateways make the First Impression.

APPLICANT RESPONSE: As described in the Comprehensive Plan, "Interstate 190 is the main avenue for bringing people" to the Town, and "ensuring that these gateways and the corridors leading from [I-190] into [the Town] are inviting and enticing are the key to drawing not only visitors, but also potential residents to Grand Island." The Project is located immediately adjacent to I-190 and the Facility is visible from I-190. See **Exhibit 1; Exhibit 12, at Exhibit E, Visual Analysis Report**. The Facility is a modern, state-of-the-art building, designed to be aesthetically pleasing, and portrays to people travelling on I-190 that the Town is an important economic and commercial center. See **Exhibit 3**. All around the Facility, significant landscaping is provided, which makes the Facility both welcoming and attractive to passersby. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan**. Accordingly, the Facility will signal to travelers on I-190 that the Town is an excellent place to live and work.

5. We Desire a True Town Center.

APPLICANT RESPONSE: In describing this value, the Comprehensive Plan notes that "[m]ost of the commercial and civic activity [in the Town] is found along the Boulevard, but centered at the intersection with Whitehaven Road." The Comprehensive Plan goes on to lament that this area is lacking a "defined identity or sense of place." The Project is located a few miles to the northwest of this location and, thus, will have impacts to the creation of a Town Center in that area. See **Exhibit 2**.

6. Establish a More Prominent Identity. -



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APPLICANT RESPONSE: With regard to this community value, the Comprehensive Plan states that in spite of the Town's unique physical nature as an island community, it has "the look and appearance of Anywhere, USA." To this end, the Comprehensive Plan endeavors to make "[g]reater investment[s] in the gateways, marketing the assets of the Town, and establishing a cohesive identity or theme throughout the community." The Project serves this community value in that it is a large-scale, unique, innovative and modern Project unlike other warehouses in the area. The scope and aesthetic design of the Project make it distinctive and, as such, the Project will be a notable feature in the Town. See **Exhibit 1**.

7. Future Lies in Diversity.

APPLICANT RESPONSE: Finally, the Comprehensive Plan notes that although the Town's "local economy may be geared towards recreation and ecotourism, other industries should be encouraged, including . . . light industry." The Comprehensive Plan notes that "[e]conomic diversity helps encourage year-round activity and provides residents with a variety of needs within the confines of the [Town]." Beyond just economic diversity, the Comprehensive Plan also encourages social diversity, which is "needed to sustain the future [of the Town]." Towards this end, the Comprehensive Plan notes that "[m]aking attractive places in the Town that foster activity and vitality will attract young and old alike." The Project serves this community value in several ways. First, the Project will revitalize a currently vacant parcel of land, targeted in the Comprehensive Plan for development, into an important commercial center, diversifying land uses and creating a light industrial use where none currently exists. See **Exhibit 1** and **Exhibit 2**. Secondly, the Project results in the creation of at least 1,000 new jobs, which will strengthen the economic diversity of the Town. Third, the new jobs that are created by the Project may draw employees from Niagara Falls and Buffalo to the town or otherwise enable Town residents to find a job within the Town, rather than in neighboring mainland areas. In either case, the Project will provide economic opportunity for a significant number of the Town's residents.

Building on these community values, the Comprehensive Plan identifies five goals that "provide more specific direction, a foundation for future actions, and act as a benchmark for measuring success." The Town's five goals are: (1) natural resources; (2)



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economic development; (3) transportation and accessibility; (4) community and social capital; and (5) neighborhoods and housing. Each of the goals are addressed in turn below, along with a discussion of how the Project serves that goal and its objectives.

1. Natural Resources - The Comprehensive Plan states that this goal is to "[s]upport the preservation of Grand Island's many natural resources due to their contribution to the overall character of the Island as well as the numerous economic opportunities they can provide."

APPLICANT RESPONSE: In furtherance of this goal, the Comprehensive Plan identifies a number of objectives, including, among other things, the protection of waterbodies and watercourses and the adoption of environmental "practices and policies that promote the conservation of birds, wildlife and wildlife habitat." As discussed above, the Project will result in impacts to wetlands and watercourses on the Site. See **Exhibit 12, at Exhibit C, Wetlands/Waters Impact Assessment**. Disturbance of these critical areas will be conducted in accordance with the permitting requirements of USACE and NYSDEC and, as such, disturbance of these wetland areas will be mitigated through the purchase of wetland mitigation credits and will otherwise be offset by improvements to stormwater capacity on the Site. See **Exhibit 12, at Exhibit C, Wetlands/Waters Impact Assessment**. Additionally, the NYSDEC Natural Heritage Program indicates that certain endangered or threatened species may be present on the Site; however, as noted above, it is unlikely that these species are present on the Site because of various habitat issues that make the Site less than ideal for these species. See **Exhibit 12, at Exhibit D, Threatened and Endangered Species Assessment**. Moreover, the Project provides for approximately 89.6 acres of open space on the Site and will leave the 62.1 acre West Parcel undisturbed. See **Exhibit 1**. This open space, as well as the area that will remain in its naturalized state and will continue to provide wildlife habitat for area species. See **Exhibit 1**. Thus, the Project will result in some impacts to the Town's natural resources, but such impacts have been reduced and will be offset by permitting requirements and various mitigation measures that have been incorporated into the Project design. See **Exhibit 12**.

Also in furtherance of this goal, the Comprehensive Plan establishes several objectives centered around sustainability, including, among other things, to "[p]romote efforts that



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recognize the importance of environmental sustainability," "[e]ncourage renewable energy systems," and "[p]romote the use of energy-efficient systems, materials, and equipment." The Project incorporates a number of sustainability measures into its design, both inside and outside the facility. On the exterior of the Facility, the Project features a variety of landscaping, including a number and variety of trees that not only serve an aesthetic purpose on the Site and replace the trees that will be lost during construction, but also serve a carbon sequestration function. See **Exhibit 1, at Sheet CD100, Existing Conditions & Site Removal Plan; Sheet CS100, Overall Site Plan; and Sheet LP100, Overall Landscape Plan**. The Project also involves the installation of stormwater management measures, including stormwater retention basins and biofilters that will enable the Site to manage rainfall and snowmelt events, including a 100 year storm event. See **Exhibit 1; Exhibit 12, at Exhibit B, SWPPP**. The Facility itself will be constructed in accordance with the New York State Energy Conservation Code ("Energy Code"), which requires the use of efficient building materials, such as insulation, windows, weather stripping, door seals and mechanical systems. Water fixtures that meet conservation flow standards will be used throughout the Facility and the Facility will incorporate efficient lighting measures, such as the use of LED lighting and motion sensors. See **Exhibit 12**. It is anticipated that by employing these measures, the Facility will be more efficient than even required by the Energy Code. See **Exhibit 12**.

2. Economic Development - The Comprehensive Plan states that this goal is to "[m]aintain a strong and diverse economy that capitalizes on the existing assets of the community (built and natural), provides a business environment that retains and attracts new ventures, and complements the 'Island Character' that is unique to Grand Island."

APPLICANT RESPONSE: In furtherance of this goal, the Comprehensive Plan encourages the Town to "[e]nsure that zoning districts are appropriately sized and their intent provides the direction for the desired development." As relevant to this objective, the PDD designation requested by the Applicant enables unique development in an area identified by the Town as a key location for development. According to the Comprehensive Plan, the industrial area on Long Road is ideal for expansion of existing uses, "infill development and clustering of buildings in a park setting." In fact, the



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Comprehensive Plan even provides a conceptual rendering of the Site, showing a large, six-building development with some landscaping. The Project differs somewhat from the conceptual rendering created by the Town in that it proposes fewer structures, but is otherwise consistent with the Town's goals for the Site as it leaves a multitude of open space on and near the Site and features generous landscaping features, making the Project surroundings parklike, as desired by the Town.

*The Town also states that this goal will be served by "[e]ncourag[ing] development that is well-planned and balances site and building design for both pedestrians and personal automobiles." Due to the nature of the Facility, a number of large commercial vehicles and smaller, employee vehicles will frequently be present on the Site. Accordingly, the Project features ample sidewalk space, designed in compliance with the requirements of the Code, to facilitate safe pedestrian circulation on the Site. See **Exhibit 1**.*

*Several other objectives identified by the Town to serve this goal focus on design, stating that the Town should, "[e]ncourage high-quality design for new development and redevelopment to ensure that businesses remain safe and attractive places for public use" and "[e]ncourage development and redevelopment of commercial and industrial sites that are visually attractive through landscaping and high-quality design elements." In service of this objective, the Project is designed to be aesthetically pleasing, featuring modern design elements, such as an attractive building façade, modern exterior light fixtures, and tasteful signage designed in compliance with the Code. See **Exhibit 1, Exhibit 3**. The Project also features artful landscaping with a substantial number of plantings that serves an important screening function, obscuring visibility of on-site parking facilities and the Facility itself. See **Exhibit 1, at Sheet LP100 Overall Landscape Plan; Exhibit 12, at Exhibit E, Visual Analysis Report**. Beyond just this screening function, the landscape plan incorporates stormwater management practices and a large variety of vegetation, enhancing the exterior of the project and creating visually pleasing setting that is welcoming to employees, vendors and other personnel. See **Exhibit 1; Exhibit 3**.*

Also in furtherance of this goal, the Comprehensive Plan identifies several objectives aimed at supporting "growth in strategic locations, most notably where utilities support development" and "[e]ncourag[ing] an innovative business environment" The



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*Project contributes to these objectives by providing economic development in an area already equipped with utility infrastructure that is adequate to serve the Site. See **Exhibit 1, at Sheet CU100, Overall Utility Plan.** In this regard, National Grid and National Fuel, the utilities servicing the Site, have confirmed that they are willing to provide service to the Site and have the capability to do so. See **Exhibit 12, at Exhibit J, Energy Conservation Assessment.** Similarly, there are sufficient water distribution resources available to service the Site through the Town's public sewer district. See **Exhibit 12, at Exhibit H, Water Distribution System Engineer's Report.** Additionally, the Site is located in close proximity to I-190, which makes it an ideal location for the warehouse and distribution activities planned for the Site. See **Exhibit 1.** Finally, and perhaps most critical to the Town's economic development goals, the Project will bring at least 1,000 new jobs to the area and cultivate additional tax revenue for the Town and Grand Island School District.*

3. Transportation and Accessibility - Provide a safe and reliable multi-modal transportation system that balances the movement of people and goods through and within Grand Island, seeks to minimize congestion, supports economic development, and is visually engaging to users.

*APPLICANT'S RESPONSE: The objectives identified by the Town that serve this goal are chiefly focused on ensuring continued walkability in the Town and making multi-modal transportation safe and feasible throughout the Town. The Project serves these objectives by providing an expansive network of sidewalks around the Facility, making it safe for workers to circulate on the Site. See **Exhibit 1.** Additionally, the Project facilitates multi-modal transportation by providing bike racks on the Site and designating drop off points for public transportation and carpooling. See **Exhibit 1, at Sheet CS501, Site Details.** Moreover, these aspects of the facility are well-designed, incorporating evergreen screening and other landscaping features to make these features aesthetically pleasing and inviting for users and visitors to the Site. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan.***

4. Community and Social Capital - Provide facilities and services that meet the physical, social, and cultural needs of Grand Island residents, build community,



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and provides an attractive and inviting environment for current and future residents.

*APPLICANT'S RESPONSE: In furtherance of this goal, the Comprehensive Plan states that one of its objectives is to "[s]eek opportunities for expanding and improving upon available recreational resources in the Town" The Site is currently a vacant, wooded area of land and, in this regard, serves as a visual resource in the Town. See **Exhibit 1, at Sheet CD100, Existing Conditions & Site Removal Plan**. Although the Project will result in development of the Site, approximately 89.6 acres of the Site will be left as open space, so that employees and other visitors to the Site can continue to enjoy views and green space on the Site. See **Exhibit 1**. Moreover, the neighboring West Parcel will remain undeveloped and in its naturalized state, such that the West Parcel will continue to serve as a visual resource in the area. See **Exhibit 1**.*

*The Comprehensive Plan also identifies several objectives aimed at sustainability, seeking to "ensure that adequate planning and mitigation measures are developed and maintained for residents in response to climate change, hazards and emergencies" and "support renewable energy initiatives in the Town." The Project serves these objectives in several ways. As to the climate change concerns identified in the Comprehensive Plan, the Project incorporates stormwater management practices that enable the Site to better handle runoff from rain and snowmelt events, including a 100-year storm event. See **Exhibit 12, at Exhibit B, SWPPP**. Additionally, the Project features a comprehensive landscaping plan, which will add a variety of trees and other vegetation to the Site, which will compensate for the tree loss associated with development, provide erosion control on the Site, and serve a carbon sequestration function. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan**. As to the renewable energy objectives, the Project is designed in accordance with the Energy Code and incorporates a number of efficiency measures, such as LED lighting, motion sensors, and efficient heating and cooling. See **Exhibit 12, at Exhibit J, Energy Conservation Assessment**. It is anticipated that these efficiency measures will result in the Project being more efficient than required by the Energy Code. See **Exhibit 12, at Exhibit J, Energy Conservation Assessment**.*

5. Neighborhoods and Housing - Grand Island supports residential growth that provides a variety of housing choices, styles and types while continuing to



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maintain the unique "Island character," especially within existing neighborhoods and "urban villages." Encouraging housing that is well-designed, affordable, and multi-generational helps ensure the possibilities for potential homeowners to live in Grand Island.

APPLICANT'S RESPONSE: In furtherance of this goal, the Project identifies a number of objectives targeted at residential development projects. As a warehouse and distribution facility, the Project has no direct impact on these objectives. Nevertheless, the Project may tangentially impact the Town's housing goals by providing economic stimulus and jobs, enabling more Town residents to enter the housing market.

Finally, the Comprehensive Plan specifies certain tasks "that are needed, including policies and physical action, to guide the Town to a successful implementation of the Comprehensive Plan." Each of these tasks are addressed in turn below, along with a discussion of how the Project furthers each task.

1. Future Land Use and Design.

*APPLICANT'S RESPONSE: The Comprehensive Plan provides "a graphic illustration of the preferred future land use patterns in the [Town], as well as potential trends and opportunities." Although this illustration is not a zoning map, it "provides guidance on long-term decision-making about land uses, including zoning changes." As depicted on the Town's Future Land Use Map, the Site is located in an area marked for industrial development. The Comprehensive Plan states that industrial development in this area will ideally be "predominantly more light industrial in nature" and emphasizes that any industrial development in the area should utilize design standards and incorporate design elements that "protect nearby areas from undesirable aspects that often accompany more intensive land uses." Consistent with the tasks specifically identified in the Comprehensive Plan, the Project proposes the construction of a light industrial use – an e-commerce storage and distribution facility – in an area that the Town has identified as ideal for industrial development. Moreover, the Project incorporates design standards and design elements that decrease the visual impact of the Facility, such as evergreen screening, a comprehensive landscape plan, and a well-designed façade. See **Exhibit 1; Exhibit 3.***



*The Comprehensive Plan also identifies three key design principles that “can be utilized to foster th[e] style of development” desired by the Town. The design principles identified by the Town include: (1) planning for more dense nodal and corridor development; (2) supporting the enhancement of a multi-modal system that is pedestrian and cyclist friendly; and (3) creating a sense of place within the community. The Project implements each of these tasks. First, the Project transforms a currently vacant area of land into an important commercial project, which will increase density along the I-190 corridor in a way that serves the Town’s future land use goals. See **Exhibit 1**. Second, the Project supports multi-modal transportation by providing a network of sidewalks on the Site, enabling safe pedestrian circulation. See **Exhibit 1**. The Project also provides bike racks and bus access near the Site, enabling people to travel to the Site by bike and public transportation. See **Exhibit 1**. Third, the Project helps create a sense of place within the community in that it is designed to be aesthetically pleasing, featuring generous landscaping and open space, making the Site welcoming and inviting for employees and visitors to the Site. See **Exhibit 3**.*

2. Action Plan

APPLICANT’S RESPONSE: *The Action Plan was developed in conjunction with Town’s goals and objectives. It provides “specific recommendations to carry out the objectives within [each] goal.” These recommendations are directed at Town agencies, encouraging the agencies to act in furtherance of the Town’s goals and objectives. As discussed in greater detail above, the Project serves the Town’s goals and furthers a multitude of its objectives. As such, the Project, is consistent with the recommendations identified in the Action Plan, though not specifically discussed therein.*

3. Key Initiatives/Projects

APPLICANT’S RESPONSE: *In an effort to “provide momentum needed to get implementation of the [Comprehensive] Plan” underway, the Town developed a series of conceptual plans and project ideas to serve as catalysts of development. As relevant to the Project, the Site is depicted in one of these concept plans, showing a large-scale, six-building development. Similar to this concept plan, the Project proposes development on*



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Site, including construction of the Facility, well-designed landscaping, as well as the retention of some open space and undeveloped area, as shown in the concept plan. Accordingly, the Project is emblematic of the exact kind of development that the Town sought to encourage when it adopted the Comprehensive Plan.

4. Implementation Strategies

APPLICANT'S RESPONSE: Like the Action Plan, the Implementation Strategies provided in the Comprehensive Plan are largely aimed at encouraging various Town agencies to apply the Comprehensive Plan in any decision-making and to encourage growth and development. As discussed in greater detail above, the Project serves the Town's goals and furthers a multitude of its objectives. As such, the Project, is consistent with the Implementation Strategies identified in the Comprehensive Plan, particularly as it provides a unique economic development opportunity that could be impactful to the Town.

PLANNED DEVELOPMENT DISTRICT REVIEW PROCESS AND REQUIREMENTS

1. PDD Review Process

Code § 407-121(A) outlines the procedure that must be followed when applying for a Planned Development District designation. As relevant here, the Code requires the submittal of a Development Concept Plan and Detailed Plan to the Planning Board. See Code §§ 407-121(A)(2), (3). The Development Concept Plan and Detailed Plan may be submitted simultaneously. See Code § 407-121(A)(2)(c). For your convenience, the Development Concept Plan requirements and Detailed Plan requirements are set forth in **Exhibit 8** and **Exhibit 9**, along with an analysis describing how each of the requirements has been addressed and, where applicable, providing exhibit references directing your attention to the relevant materials.

2. Waivers/Modifications

In a PDD, the underlying zoning regulations in an M1 district are applicable to the Project. See Code §§ 407-120(B); 407-16. As such, and address the unique nature of the



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Project and to further the objectives for requiring PDD identified above, TC Buffalo is requesting the following waivers or modifications from the underlying M-1 requirements for the Project:

Building Category	Code Requirement	Proposed Waiver/Modification
Minimum Lot Frontage	150 feet (§ 407-16, Schedule I)	120 feet
Minimum Lot Width	150 feet (§ 407-16, Schedule I)	120 feet
Maximum Building Height (in stories)	4 stories (§ 407-16, Schedule I)	5 stories
Maximum Building height	45 feet (§ 407-16, Schedule I)	87.31 feet
Off-street Parking Requirements	4,043 spaces, plus one space per employee (§ 407-133, Schedule III)	1,855 spaces for cars 16 spaces for motorcycles ¹
Lighting Requirements	Not higher than 20 feet (§ 407-109(C))	40 feet high (pole 37 feet on a concrete base of 3 feet) 25 feet high (building mounted)
Watercourses	No plan shall be approved that would alter the course of a natural watercourse (§ 407-110(M))	Permit crossing of Collector Creek and relocation of Feeder Creek

- Frontage - Code § 407-16, Schedule establishes setback requirements of 150 feet; however, pre-existing conditions on the Site have reduced the setback to 120 feet in some places. See **Exhibit 1**. Accordingly, the Applicant respectfully requests waiver of this setback requirement to accommodate the pre-existing conditions on the Site.
- Width - Code § 407-16, Schedule establishes a lot width requirement of 150 feet; however, pre-existing conditions on the Site have reflect a lot width of only 120

¹ Code § 407-136 establishes certain dimension requirements for parking spaces. The motorcycle spaces proposed are smaller than the spaces outlined in Code § 407-36, but nevertheless serve to provide parking on the Site.



feet in some places. See **Exhibit 1**. Accordingly, the Applicant respectfully requests waiver of this setback requirement to accommodate the pre-existing conditions on the Site.

- Height - Code § 407-16, establishes a maximum building height in the M1 zone as 4 stories and 45 feet tall. The Facility proposed is 5 stories and 87.31 feet tall. As discussed above, the scale of the facility is a critical component of the Project's operations and efficiencies, economic development goals and long-term viability. Accordingly, the Applicant respectfully requests a waiver of the height requirement (both in feet and stories) to accommodate the Project. See **Exhibit 4**.
- Parking - For warehouses, like the Facility, Code § 407-133, Schedule III requires 1 parking space per 1,000 square feet of gross floor area, plus 1 additional parking space per employee. For offices, like that proposed within the Facility, Code § 407-133, Schedule III requires 1 space per 200 square feet of gross floor area. The Facility houses 3,731,124 square feet of warehouse space, and, during a regular shift, will have approximately 1,000-1,800 employees working at the Facility. Thus, pursuant to Code § 407-133, Schedule III requires at least 4,732 parking spaces to accommodate the Facility's warehouse use. In addition, the Facility houses approximately 52,000 square feet of office space, necessitating an additional 260 parking spaces to accommodate the office use. In total, Code § 407-133, Schedule III requires 4,992 parking spaces to serve the Project. To meet this parking requirement, the Project would require much additional development of the Site. Further, it should be noted that only 1,436,526 square feet of the warehouse area is proposed for occupant load because of the robotics field. Thus, using only the occupied portion of the warehouse, Code § 407-133, Schedule III would require only 1,437 parking spaces to accommodate the Facility's warehouse use. With this in mind, a lower parking requirement is appropriate for the Project. Accordingly, the Applicant respectfully requests a waiver of the parking requirement to permit the Project with less parking than required by the Code.



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- Lighting - Code §407-19(C) states that lighting may not be higher than 20 feet. The Project proposes building mounted lighting 25 feet high and pole mounted lighting that is 40 feet high. Although these lights are higher than what is permitted by the Code, shorter lights would require a greater number of overall lights on the Site, which would reduce efficiency and could be unsightly. Further, additional measures have been taken to concentrate light on the Site and avoid interference with neighboring properties. Accordingly, the Applicant respectfully requests a waiver of the lighting height requirement.
- Watercourses - Code § 407-19(M) requires Town approval to alter natural water courses. A wetland delineation conducted on the Site revealed a number of wetlands and watercourses present on the Site, including two watercourses/drainage ditches designated by the Town as a Feeder Creek and a Collector Creek. See **Exhibit 12, at Exhibit C**. The Project proposes installation of a roadway leading from Bedell Road to the Facility that will cross the Collector Creek. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan**. The Collector Creek road crossing has been specifically designed and will be constructed to maintain flow and potential aquatic life movement. See **Exhibit 12, at Exhibit C**. Additionally, the Collector Creek road crossing will be designed and constructed to maintain adequate capacity and stability for various flood flows. See **Exhibit 12, at Exhibit C**. The Project also proposes relocating the Feeder Creek to the west of the Site. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan**. The relocated Feeder Creek will maintain similar stream flow and will not adversely impact flood conditions on the Site. See **Exhibit 12, at Exhibit C**. Accordingly, the Applicant respectfully requests permission to alter the Feeder Creek and Collector Creek to enable construction of the Project.

3. Standards of Review

Code § 407-122 articulates standards of review that must be used in assessing an application for rezoning to PDD. Below you will find the Standards of Review as articulated in the Code, along with an explanation describing how each has been



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addressed and, as applicable, an exhibit reference directing your attention to the relevant materials.

A. General Standards

1. The PDD is consistent with the Town of Grand Island Comprehensive Plan.

APPLICANT'S RESPONSE:** As discussed in greater detail above, the Project is consistent with the Town of Grand Island Comprehensive Plan in that it serves the community values, goals and objectives, and tasks outlined therein. See **Consistency with Community Goals and Comprehensive Plan, above.

2. The PDD provides for the preservation of scenic features and natural features such as streams and shorelines, ponds, lakes, trees, grasses, wooded cover and rough terrain.

***APPLICANT'S RESPONSE:** The Site is currently vacant land, marked with various natural features, such as wetlands and two watercourses identified as a Feeder Creek and a Collector Creek. See **Exhibit 1, at Sheet CD100 Existing Conditions & Site Removal Plan.** The Project proposes some impact to wetlands, which will be conducted pursuant to the permitting requirements of USACE and will otherwise be mitigated through the purchase of mitigation credits. The Project also proposes the alteration of the Feeder Creek and Collector Creek, which will cause some temporary disturbance to these resources, but ultimately result in additional flood storage capacity on the Site. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan; Exhibit 12, at Exhibit C, Wetlands/Waters Impact Assessment.** Additionally, there are trees on the Site, which will be removed to facilitate construction; however, this impact will be offset through the addition of substantial plantings as called for in the Landscape Plan. See **Exhibit 1, at Sheet CD100 Existing Conditions & Site Removal Plan and Sheet LP100, Overall Landscape Plan.** Further, the Project's landscaping will feature many new trees that will be added to the Site. See **Exhibit 1, at Sheet LP100 Overall Landscape Plan.** It should be noted that, even though, the Project calls for significant*



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*development on the Site, approximately 89.6 acres of the Site will remain open space and the 62.1 acre West Parcel will remain in its naturalized state. See **Exhibit 1**.*

3. The PDD is compatible with existing development in the surrounding area and does not unduly burden existing Town infrastructure or services.

APPLICANT'S RESPONSE: *As noted above, the Site is bordered by Bedell Road to the south, Long Road to the north, the West Parcel to the west, and I-190 to the east (adjacent to Exit 20B). See **Exhibit 2**. Although there is some residential development nearby, the undeveloped West Parcel will serve as a buffer between the Project and such development. See **Exhibit 1**. Additionally, the Project will not unduly burden existing Town infrastructure or services. See **Exhibit 12, at Exhibits H, I, J, and L**. With regard to utility infrastructure, such infrastructure is already present on the Site and is adequate to serve the Site. See **Exhibit 1, at Sheet CU100, Overall Utility Plan; Exhibit 12, at Exhibits H, I, J**. Similarly, public services in the Town, such as police and fire, have adequate resources to serve the Project. **Exhibit 12, at Exhibit L**. Furthermore, given the economic aspects of the Project and its capacity to generate additional tax revenue for the Town, it is likely that the Project will actually enhance Town infrastructure and services.*

4. The developer has sufficient financing and capabilities to complete the Project as presented.

APPLICANT'S RESPONSE: *See **Exhibit 6**.*

5. The PDD provides all necessary water, sewer, and stormwater management facilities, storm drainage, highway access, paved surface streets, parking and loading facilities, and off-street lighting, and the developer has made reasonable provisions for utility service connections with adjoining properties and other ownerships.

APPLICANT'S RESPONSE: *The Project will provide the necessary water, sewer, stormwater management facilities, storm drainage, highway access, paved surface streets, parking and loading facilities, and off-street lighting. See **Exhibit 1**;*



Exhibit 12, at Exhibit B, SWPPP; Exhibit H, Water Distribution Engineer's Report; Exhibit I, Sanitary Sewer System and Pump Station Engineer's Report. In fact, the Project will actually improve many of these services. For example, the stormwater management planned for the Site is expected to result in post-development conditions that are better equipped to deal with stormwater runoff. See *Exhibit 12, at Exhibit B, SWPPP*. Additionally, with regard to highway access, the Project will install a fully actuated three-color traffic signal at the southbound ramp of I-190 and Long Road, and the construction of a new right turn lane for traffic exiting the I-190 northbound ramp at Grand Island Boulevard. See *Exhibit 1, at Sheets CS201 and CS202, Offsite Improvement Plan*. As to utility service connections, there is already utility service present on the Site, that is adequate to serve the Project. See *Exhibit 1, at Sheet CU100, Overall Utility Plan; Exhibit 12, at Exhibits H, I, J*.

6. The developer will provide all necessary water and sewer facilities, storm drainage, highway access, paved service streets, parking and loading facilities, off-street lighting and make reasonable provisions for utility service connections with adjoining properties and other ownerships.

APPLICANT'S RESPONSE: See response above.

7. All electric, telephone, cable television and similar equipment will be installed underground in accordance with New York State Public Service Commission standards.

APPLICANT'S RESPONSE: All electric, telephone, cable television and similar equipment will be installed underground in accordance with New York State Public Service Commission Standards. See *Exhibit 1, at Sheet CS100, Overall Site Plan and Sheet CU100 Overall Utility Plan*.

8. The right-of-way and pavement width for internal roads serving all development are adequate and sufficient in size, location and design to accommodate the maximum traffic, parking and loading needs of the development; the pavement meets all applicable Town standards.



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APPLICANT'S RESPONSE: The internal roads planned for the Project are sufficient to serve the Project. See **Exhibit 1** and **Exhibit 12, at Exhibit F, Traffic Impact Study.**

9. There is adequate access for fire-fighting equipment, police and other emergency vehicles.

APPLICANT'S RESPONSE: Adequate access for emergency personnel and equipment has been provided on the Site. See **Exhibit 1.**

10. The gross residential density, measured over the entire tract, but exclusive of any land to be occupied or by nonresidential uses or public or quasi-public institutional or recreational facilities open to the general public, does not exceed the density set forth in the underlying district and is consistent with the Comprehensive Plan. Bonus density may be considered for outstanding development as deemed appropriate by the Town Board.

APPLICANT'S RESPONSE: Due to the commercial nature of the Project, it has no bearing on residential density.

B. Design Standards

1. All buildings in the layout and design are an integral part of the development and have convenient access to and from adjacent uses and blocks.

APPLICANT'S RESPONSE: The Project features one large structure and associated guard houses. See **Exhibit 1.** Access to and from the Site is provided from both Long Road and Bedell Road. Additionally, the Site is in very close proximity to I-190, making it ideally located to provide convenient access to and from the Site, particularly for large trucks, which will service the Project. See **Exhibit 1.**



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2. Individual buildings relate to each other in design, masses, materials, placement, and connections to provide a visually and physically integrated development component.

APPLICANT'S RESPONSE: *The Project features the Facility and two guard shack structures that are visually and physically integrated into the development through the use of landscaping around the Facility and on the Site. See Exhibit 1, at Sheet CS100 Overall Site Plan and Sheet LP100 Overall Landscape Plan.*

3. The sides and rear of all buildings within the planned development group receive comparable treatment to the treatment given to street frontage of these same buildings.

APPLICANT'S RESPONSE: *The Facility will receive uniform treatment on all sides.*

4. The design of buildings and the parking facilities take advantage of the topography of the project site, where appropriate, to provide separate levels of access.

APPLICANT'S RESPONSE: *The topography of the Site is mostly level and, at full buildout, access points are provided on the ground floor at various points around the perimeter of the Facility. See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan, and Sheet CS100, Overall Site Plan.*

5. All building walls are oriented as to ensure adequate light and air exposure to the rooms within.

APPLICANT'S RESPONSE: *Given the nature of the Facility, light and air exposure is not an essential component of the Project, like it might be for a residential development project. Nevertheless, appropriate lighting is provided throughout the Facility and the Facility is temperature controlled for storage and*



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personnel comfort. See Exhibit 12, at Exhibit G, Energy Conservation Assessment.

6. All buildings are arranged to avoid undue exposure to concentrated loading or parking facilities wherever possible and are oriented to preserve visual and audible privacy between adjacent buildings.

APPLICANT'S RESPONSE: *Parking is provided on three sides of the facility and is obscured from view by evergreen screening. See Exhibit 1, at Sheet CS100, Overall Site Plan and Sheet LP100, Overall Landscape Plan. Other landscaping is provided throughout the Site to reduce the visual impact of the Facility. See Exhibit 12, at Exhibit H, Sound Study and Exhibit K, Visual Analysis Report.*

C. Landscaping Design Standards

1. Landscape treatment for plazas, roads, paths, service and parking areas is an integral part of the coordinated landscape design for the entire project area.

APPLICANT'S RESPONSE: *Landscape treatment of the Project has been carefully designed to reduce the visual impact of the Site and be aesthetically pleasing. Moreover, Landscape Treatment of the Project was designed to accommodate and enhance the infrastructure required on the Site, giving it a welcoming appearance and unifying the various pieces of infrastructure on the Site. See Exhibit 1, at Sheet LP100, Overall Landscape Plan, and Sheets LP101 through LP107, Partial Landscape Plan.*

2. Primary landscape treatment consists of shrubs ground cover and street trees, and shall combine with appropriate walkways and paving surfaces to provide an attractive development pattern. Landscape materials are appropriate to the growing conditions in the Town.



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APPLICANT'S RESPONSE: The types of plantings that will make up the Project's landscaping are described in the Plant Schedule and include a variety of shade trees, decorative trees, evergreen trees, evergreen shrubs, deciduous shrubs, deciduous conifers, flowering perennials, and ornamental shrubs. These plants will be placed around the Site, enhancing the Site's aesthetic appearance. See **Exhibit 1, at Sheet CS100, Overall Site Plan, Sheet CU100 Overall Utility Plan.**

3. Whenever appropriate, existing trees are conserved and integrated into the landscape design plan.

APPLICANT'S RESPONSE: There are a number of existing trees on the Site. Although some trees will be removed to facilitate the construction of the Facility, a significant number of plantings are proposed. See **Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan; Exhibit 12.** Furthermore, additional trees will be planted on the Site to offset the amount of trees removed. **Exhibit 1, at Sheet LP100, Overall Landscape Plan.**

4. All streets bordering the Project area are planted at appropriate intervals with street trees.

APPLICANT'S RESPONSE: The landscape plan provides for trees planted at regular intervals along the roads providing access to and from the Site, as well as along the roads that go through the Site. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan, and Sheets LP101 through LP107, Partial Landscape Plan.**

5. Landscape treatment shall comply with any SWPPP submitted in accordance with Code § 407-121.

APPLICANT'S RESPONSE: The landscape plan was designed in accordance with and complementary to the stormwater management plans incorporated on the Site. See **Exhibit 1, at Sheet CG100, Overall Grading & Drainage Plan; Sheets GC100-107, Partial Grading & Drainage Plan; Sheet LP100, Overall Landscape Plan, and Sheets LP101 through LP107, Partial Landscape Plan.**



D. Circulation System Design Standards

1. There is adequate, safe, and convenient arrangement of pedestrian circulation facilities, roadways, driveways, off-street parking and loading space.

APPLICANT'S RESPONSE: The Project is accessible from Long Road and Bedell Road. The Bedell Road access point leads directly to the parking area and the Long Road access point leads to the loading area, which then connects to the parking area. The Project features a network of sidewalks around the Facility that provide safe pedestrian circulation around the exterior of the Facility and access to the Facility from the parking lots. Moreover, the Project implements a number of traffic control measures, including a traffic light and new turning lane, which will serve to ensure that the Project can safely accommodate vehicular traffic on the Site. See **Project Infrastructure and Process above, Exhibit 1 and Exhibit 12, at Exhibit F Traffic Impact Study.**

2. Roads, pedestrian walks and open space are appropriately landscaped and relate to existing and proposed buildings.

APPLICANT'S RESPONSE: The landscape plan is designed to reduce the visual impact of the Facility and make it more attractive. Accordingly, landscaping is provided throughout the Site, including along the roads that service the Site, near pedestrian walkways, and in the areas of open space on the Site. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan, and Sheets LP101 through LP107, Partial Landscape Plan.**

3. Buildings and vehicular circulation open spaces are arranged to prevent unnecessary pedestrian exposure to vehicular traffic.

APPLICANT'S RESPONSE: Sidewalks will be installed throughout the Site and are concentrated around the Facility, confining pedestrian activity mostly in this area, which is away from the roadways. See **Exhibit 1.**



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4. Landscaped, paved and appropriately graded pedestrian walks are provided along the lines of the most intense use, particularly from building entrances to streets, parking areas, and adjacent buildings.

APPLICANT'S RESPONSE: Sidewalks, made from cement, will be installed throughout the Site to facilitate pedestrian access between the Facility and its parking areas. See **Exhibit 1**.

E. Parking and Loading Design Standards

1. Parking facilities shall be landscaped and screened from public view.

APPLICANT'S RESPONSE: Evergreen screening will be installed on the Site, including near the parking facilities, to screen the parking area from public view and reduce the visual impact of the parking areas. See **Exhibit 1, Sheet LP100, Overall Landscape Plan**.

2. Pedestrian walkways are provided between parking areas and buildings.

APPLICANT'S RESPONSE: Sidewalks will be installed throughout the Site to facilitate pedestrian access between the Facility and its parking areas. See **Exhibit 1**.

3. Parking facilities shall be designed with careful regard to orderly management, topography, landscaping, ease of access, and stormwater pollution prevention, and shall be developed as an integral part of overall site design.

APPLICANT'S RESPONSE: The Site's parking areas are accessible from both Long Road and Bedell Road and are connected to roadways that traverse the Site. The roadways and parking areas will feature landscaping that make them aesthetically pleasing and lend uniformity to the Site. Additionally, stormwater management practices will be installed on the Site to accommodate runoff from the roadways and parking areas. See **Exhibit 1, at Sheet CS100, Overall Site Plan**;



***Sheet CG100, Overall Grading & Drainage Plan; and Sheets GC101-107,
Partial Grading & Drainage Plan.***

4. Any above-grade loading facilities shall be screened from public view to the extent necessary to eliminate unsightliness.

APPLICANT'S RESPONSE: Evergreen screening will be installed on the Site, including near loading area, to screen the parking area from public view. See Exhibit 1, Sheet LP100, Overall Landscape Plan.

4. Site Plan Review

Code § 407-121(A)(3)(d) states that the "Town Board Action upon the detailed plan shall be considered the Town Board's action on the application for site plan approval as required by this code."

For your convenience, the Site Plan requirements are set forth in **Exhibit**, along with an analysis describing how each of the requirements has been addressed and, where applicable, providing exhibit references directing your attention to the relevant materials.

In addition, Code § 407-110 articulates criteria for review that the Town Board must consider when reviewing a proposed Site Plan. Below you will find the criteria for review as articulated in the Code, along with an explanation describing how each has been addressed and, as applicable, an exhibit reference directing your attention to the relevant materials.

1. Compatibility: The character of proposed use is compatible with the surrounding neighborhood and in harmony with the Town's Comprehensive Plan.

APPLICANT'S RESPONSE: As discussed in greater detail above, the Project is consistent with the Town of Grand Island Comprehensive Plan in that it serves the



community values, goals and objectives, and tasks outlined therein. See Consistency with Community Goals and Comprehensive Plan, above.

2. Vehicular Access: The number of proposed access points is not excessive, all access points are adequate in width, grade alignment and visibility, access points are not located too close to intersections or places of public assembly and similar safety considerations are reviewed for all site plan approvals.

APPLICANT'S RESPONSE: There are two access points serving the Site, one on Bedell Road and one on Long Road. These access points have been designed to provide safe access onto the Site and, to that end, various improvements are planned to better enable the intersections to handle traffic arriving to and leaving the Site. See Project Infrastructure and Process above; Exhibit 1 and Exhibit 12, at Exhibit F, Traffic Impact Study.

3. Lighting: Exterior lighting proposed for the Site shall be planned, erected and maintained so the light is confined to the property and will not cast direct light or glare upon adjacent properties or public roads. The light source shall not be higher than 20 feet and shall not be directed onto adjacent properties or public roads. High-Intensity lighting shall not be permitted.

APPLICANT'S RESPONSE: The Project requires night time lighting on the exterior of the Facility in the parking and loading areas. The Project will use high-efficiency, dark-sky compliant, LED lighting to provide uniform illumination of these areas. This lighting will consist of building-mounted lighting 25-feet high and pole-mounted lighting 40-feet high. Although these lights are higher than what is permitted by the Code, shorter lights would require a greater number of overall lights on the Site, which would reduce efficiency and could be unsightly. As proposed, the lighting is concentrated on the Site and, given that the Site is located away from surrounding residential or recreational uses, the Project's lighting is not expected to interfere with surrounding uses or cause significant adverse impacts. Accordingly, the Applicant respectfully requests, as part of the PDD designation, a modification from the M-1 requirements, to permit it to erect lights above the 20-feet permitted by the Code. See Exhibit 1, at Sheet LL100, Overall Lighting Plan;



Sheets LL101 through LL107, Partial Lighting Plan; LL501, Lighting Notes and Details; and requested waivers/modifications above.

4. Parking - Adequate off-street parking, queuing and loading spaces are provided to minimize the number of cars parked or standing on public roads.

APPLICANT'S RESPONSE:** The Code requires approximately 3,992 parking spaces to accommodate the Project. Although the Project proposes less parking than required by the Code, the 1,855 parking spaces proposed are sufficient to serve the Project because the parking proposed provides a parking space for each of the 1,800 employees that will be present on the Site at any given time. Accordingly, the Applicant respectfully requests a waiver of the Code's parking requirement to permit only 1,855 parking spaces. See **Project Infrastructure and Process and requested waivers/modifications, above; Exhibit 1.

5. Pedestrian Circulation: The interior circulation system is adequate to provide safe accessibility to all parking areas and ensure adequate separation of pedestrian and vehicular traffic.

APPLICANT'S RESPONSE:** The Project features a network of sidewalks around the Facility that provide safe pedestrian circulation around the exterior of the Facility and access to the Facility from the parking lots. Furthermore, these sidewalks are concentrated in the area around the Facility, confining pedestrian activity mostly in this area, which is away from the roadways. See **Exhibit 1.

6. General Screening Requirements: Open storage areas, exposed machinery and outdoor areas used for the storage and collection of solid waste, shall be visually screened from roads and surrounding land uses. In locations where potential health or safety hazards may arise, such as solid waste storage/collection areas, a solid wooden fence, a minimum of six feet height may be required to prevent unauthorized access to the premises. At all intersections and driveways, screening shall be restricted to a maximum



height of two feet and trees shall be maintained to a clearance of seven feet above the ground to ensure sight lines remain unobstructed.

APPLICANT'S RESPONSE: Evergreen screening is utilized throughout the Site. See **Exhibit 1, at Sheet LP100, Overall Landscape Plan.**

7. Natural Features: The proposed use is compatible with geologic, hydraulic, and soil conditions of the Site and adjacent areas and the existing natural features are preserved to the greatest possible extent.

APPLICANT'S RESPONSE: The Site is undeveloped and has not unusual or unique landforms that will be impacted by the Project. Although there are a number of natural resources present on the Site, such as wetlands, trees, and wildlife habitat, the Project's impacts to these resources will be temporary and/or minor and have been mitigated to the greatest extent possible. Furthermore, following the Project's development, there will be a number of natural features remaining on the Site, particularly in the undeveloped West Parcel, which will remain in its naturalized state and where wetland resources, trees and wildlife habitat will remain. See **Exhibit 1, at Sheet WM100 Wetland and Creek Impact Plan; Exhibit 9, and Exhibit 12.**

8. Public Facilities: The public facilities that service the proposed use, including water, sanitary sewer, drainage, roads, and related facilities, parks and open space are adequate for the intended level of use.

APPLICANT'S RESPONSE: Public water is available at the Site via two water mains – one on Bedell Road and one on Long Road. The Project proposes connecting to this existing water infrastructure, which is adequate to handle the additional demand associated with the Project. See **Exhibit 1, at Sheet CU100, Overall Utility Plan; Exhibit 12.** Similarly, the Site is within an existing sewer district and is served by existing sewer mains, which will be connected to the Project and are adequate to handle the additional demand associated with the Project. See **Exhibit 1, at Sheet CU100, Overall Utility Plan; Exhibit 12.** As to drainage, the Project will install various stormwater management measures that will manage runoff on



*the Site both during and after construction. See **Exhibit 1; Exhibit 10**. With regard to roads, the Project is well suited for this type of development as it is immediately adjacent to a major thoroughfare – I-190 – and is accessible by two roads – Long Road and Bedell Road – that provide access to the Site. Though the Project will result in an increase in traffic near the Site, the Project proposes improvement to the roads surrounding the Site, a new traffic light and a new turning lane, that will enable these roadways to better accommodate the increased traffic. See **Project Infrastructure and Process; Exhibit 1, at Sheets CS201 and CS202, Offsite Improvement Plan**. Further, coordination and consultation with the NYS Thruway Authority regarding bridge traffic is ongoing. Finally, due to the commercial nature of the facility, there is little increased demand for parks and open space associated with the Project. Nevertheless, the Project proposes retaining approximately 89.6 acres of open space on the Site, which will be improved with attractive landscaping and stormwater management practices, and is contiguous to the undeveloped West Parcel, which will remain in its naturalized state, providing open space near the Site. See **Exhibit 1**.*

9. Avoidance of Nuisance: The proposed use will not create noise, odor, dust or smoke, as to create a nuisance or be detrimental to adjoining properties.

APPLICANT'S RESPONSE: *The Project will not create a nuisance or be detrimental to adjoining properties. Although the Project will result in an increase in noise from both steady state and transient sources, noise is not expected to be an issue associated with the Project given the use associated with the Project and certain mitigation measures, like a noise wall. See **Exhibit 12, at Exhibit K, Noise Study**. Any steady state noise associated with the Project, like from the Facility's HVAC, is predicted to be below the decibel threshold, and any transient noise associated with the Project, like vehicle noise, is similar to current conditions and will otherwise be diminished due to distance, site geometry and sound barriers. See **Exhibit 12, at Exhibit K, Noise Study**. Due to the nature of the work that will take place within the Facility – loading, packaging and shipping of consumer goods – odor dust and smoke are unlikely to generated by the Project. See **Exhibit 12**. Although, the Site will be lit at night, such lighting will be focused on the Site itself and that the Site is located away from surrounding residential or recreational*



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uses, the Project's lighting is not expected to interfere with surrounding uses. See Exhibit 1, at Sheet LL100, Overall Lighting Plan.

10. Stormwater Management and Drainage Requirements: The Proposed SWPPP must comply with the requirements articulated in Code §§ 407-195-407-201. Additionally, the proposed development shall: (1) not result in post-development discharge rates and volumes that exceed predevelopment discharge rates and volumes to adjoining properties; (2) surface water runoff shall be minimized and detained on Site as long as possible and practical to facilitate groundwater recharge; (3) if stormwater runoff cannot be channeled into municipal stormwater sewers, stormwater runoff shall be detained on Site; (4) the natural watercourses, swales or rights-of-way shall be maintained as must as possible.

APPLICANT'S RESPONSE: The Applicant's SWPPP was prepared in accordance with the requirements articulated in the Code. See **Exhibit 12, at Exhibit B**. As shown in the SWPPP, the post-development discharge rates are less than the pre-development discharge rates, calculated for a 1-year, 10-year and 100-year storm event. See **Exhibit 12, at Exhibit B**. Additionally, as noted in the SWPPP, the Project will utilize standard stormwater management facilities and runoff reduction techniques to achieve a reduction in runoff volume. See **Exhibit 12, at Exhibit B**. These stormwater management facilities are shown in the Site Plan and consist of bioretention basins and wet extended detention ponds, which will detain runoff on Site permitting groundwater recharge. See **Exhibit 1**. Runoff will either be channeled to municipal stormwater sewers or retained on the Site in one of the stormwater management facilities. See **Exhibit 12, at Exhibit B**. In its undeveloped state, drainage on the Site flows over the Site to either the northeast or southeast, where the runoff enters a ditch and flows off of the Site. Eventually the ditches, join together and flow north along Long Road to the Niagara River. See **Exhibit 12, at Exhibit B**. Once the Site is developed, runoff will flow overland to drainage structures on the Site where it will ultimately be retained in one of the stormwater management systems, treated, and released in a controlled manner to the on-Site ditches. See **Exhibit 12, at Exhibit B**.



11. Erosion and Sediment: Where significant soil erosion or sediment deposition may occur as a result of the disturbance of the land, the Town Board may require a SWPPP or an erosion and sediment control plan conforming to the standards and practices contained in the Erosion Control Manual, the Design Manual, the USDA Natural Resources Conservation Service Engineering Manual and the New York Guidelines for Urban Erosion and Sediment Control, and/or another erosion and sediment control manual recognized by the Engineering Department or Town Board.

*APPLICANT'S RESPONSE: The SWPPP identifies erosion and sediment control measures that will be implemented during and after construction to minimize erosion and sediment impacts. See **Exhibit 12, at Exhibit B**. The erosion and sediment control measures described in the SWPPP were designed in accordance with the New York State Standards and Specifications for Erosion and Sediment Control. See **Exhibit 12, at Exhibit B**. Additionally, the sediment and erosion control measures contemplated for the Project are depicted in the Site Plan. See **Exhibit 1, at Sheet CE100, Overall Phasing & Erosion Sediment Control Plan, and Sheet CE101, Partial Erosion & Sediment Control Plan through Sheet CE107, Partial Erosion & Sediment Control Plan**.*

12. Natural Watercourse: No plans shall be approved that would alter the course of a natural watercourse shown on the United States Geodetic Survey maps and the Official Town Map, or that would restrict or impede the free flow of water in these waterways, with piping or other structures, except by approval of the Town Board and, where applicable, a Department of Environmental Conservation permit.

*APPLICANT'S RESPONSE: A wetland delineation conducted on the Site revealed a number of wetlands and watercourses present on the Site, including two watercourses/drainage ditches designated by the Town as a Feeder Creek and a Collector Creek. See **Exhibit 12, at Exhibit C**. The Project proposes installation of a roadway leading from Bedell Road to the Facility that will cross the Collector Creek. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan**. The Collector Creek road crossing has been specifically designed and will be constructed*



*to maintain flow and potential aquatic life movement. See **Exhibit 12, at Exhibit C.** Additionally, the Collector Creek road crossing will be designed and constructed to maintain adequate capacity and stability for various flood flows. See **Exhibit 12, at Exhibit C.** The Project also proposes relocating the Feeder Creek to the west of the Site. See **Exhibit 1, at Sheet WM100, Wetland & Creek Impact Plan.** The relocated Feeder Creek will maintain similar stream flow and will not adversely impact flood conditions on the Site. See **Exhibit 12, at Exhibit C.***

Based on the foregoing, the Applicant respectfully submits that the Project meets the standards for development as outlined in the Code and that Site Plan approval is appropriate.

STATE ENVIRONMENTAL QUALITY REVIEW ACT

Under the New York State Environmental Quality Review Act ("SEQRA"), prior to an agency undertaking or approving a project, it must consider the potential environmental impacts of a proposed project. As such, the Town Board cannot act on the Application until a SEQRA process has been completed. Because of the size of the Project (physical alternation of more than 10 acres), the Project is a Type 1 action and coordinated review is required. A copy of Part 1 of the Full Environmental Assessment Form is attached hereto as **Exhibit 11**. As such, we respectfully submit that the Town Board is the appropriate agency to act as Lead Agency for the coordinated SEQRA review for the Project, and we request that the Town Board declare its intent to act as such and circulate the Application to all potentially interested and involved agencies.

There are a number of potentially interested and involved agencies as the Project will require multiple reviews, permits and approvals. The following is a list of potentially interested and involved agencies:

- Town of Grand Island
- Town of Grand Island Planning Board
- Grand Island Town Engineer
- Town of Grand Island Highway Superintendent
- Town of Grand Island Traffic Safety Advisory Board



- Town of Grand Island Board of Architectural Review
- Town of Grand Island Conservation Advisory Board
- Grand Island Fire Company
- Erie County Department of Public Works, Division of Highways
- Erie County Health Department, Environmental Health Division
- Erie County Industrial Development Agency
- Erie County Sheriff's Department
- Erie County Department of Environment and Planning
- Erie County Executive's Office
- New York State Department of Environmental Conservation, Region 9
- New York State Department of Transportation
- New York State Thruway Authority, Buffalo Division
- New York State Department of State
- New York State Department of Health
- New York State Office of Parks, Recreation and Historic Preservation
- New York Power Authority
- Niagara Reservation State Park
- Empire State Development Corporation
- US Army Corps of Engineers

An analysis of the potential environmental impacts associated with the construction and operation of the Project is provided in **Exhibit 12**. The purpose of this analysis is to provide the Town Board, interested and involved agencies, stakeholders and the public with a clear understanding of the areas of potential environmental concern arising out of the Project, and the likelihood and severity of potential impacts associated with such areas of concern.

As detailed in **Exhibit 12**, a number of temporary and/or minor environmental impacts have been identified in connection with the Project. However, a thorough analysis of these potential impacts reveals that, where necessary, such impacts have been mitigated to the greatest extent possible by the Project design and/or off-Site mitigation, and that none of these impacts will be significant. Accordingly, it is respectfully submitted that it is appropriate that the lead agency issue a negative declaration for the Project.



GENERAL MUNICIPAL LAW REFERRAL

To the extent that this Application requires referral under GML 239-m to the Erie County Department of Environment and Planning, and we ask that this Application be so submitted.

CONCLUSION

As detailed above, there are innumerable benefits associated with the Project. Most notably, the Project makes productive economic use of a currently vacant property, resulting in substantial tax revenues generated for the Town. Moreover, the Project will bring approximately 1,000 new jobs to the Town, creating opportunities for residents of the Town and bringing employees to the Town from the surrounding areas who will patronize local businesses. Additionally, the Project proposes various improvements to the Site, such as the addition of new traffic control infrastructure and improved stormwater function, which will have long-term benefits for the area. In short, the Project represents an important development opportunity that will have significant positive impacts on the Town, both now and in the future. Thus, the Project is exactly the sort of unique development that PDD designation is designed to accommodate.

On behalf of TC Buffalo, we respectfully request that the Town Board and Planning Board simultaneously commence the Planned Development District review process. We also respectfully request that the Town Board place this matter on its March 2, 2020 agenda for a work session to introduce the Project, and that the Planning Board place the matter on its March 9, 2020 agenda.

We look forward to working with the Town on this exciting Project. Please do not hesitate to contact us if there are any questions regarding this Application.



The Grand Island Town Board
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February 21, 2020

Very truly yours,

Phillips Lytle LLP

By

Kimberly R. Nason

KRN

cc: Robert H. Westfall, P.E., Town Engineer, Town of Grand Island
Ronald Milks, Code Enforcement Officer, Town of Grand Island
Robert Hassett, Building Safety Inspector, Town of Grand Island
Rhonda Tollner, Zoning Clerk, Town of Grand Island
James Murray-Coleman, Trammel Crow Company
Michael Finan, P.E., LEED-AP, Langan Engineering

EXHIBIT 1

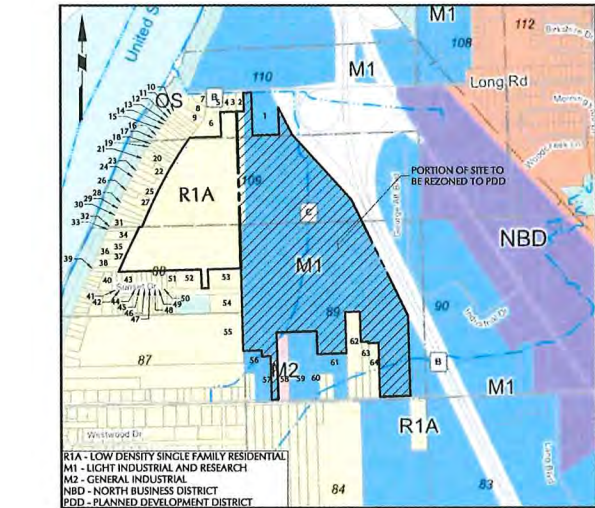
SITE PLAN APPROVAL DOCUMENTS
PROJECT OLIVE
TOWN OF GRAND ISLAND
ERIE COUNTY, NEW YORK

PROJECT NO. 100785901

Sheet 1 of 89

ADJACENT PROPERTY OWNERS		
1. 23.00-1-4 Donald J. Less 5759 E River Road Grand Island, NY 14072	23. 23.00-1-40.21 Hesham Ellagouri 3927 West River Pkwy Grand Island, NY 14072	45. 23.10-1-30 Arthur DiMartile Bernadette DiMartile 2955 Sunset Dr. Grand Island, NY 14072
2. 23.00-1-47 Michael Little Susan Little 2780 Long Road Grand Island, NY 14072	24. 23.00-1-40.111 Sonja Miller Leah Hill 3915 West River Pkwy Grand Island, NY 14072	46. 23.10-1-31 Christopher Benninger 2947 Sunset Dr. Grand Island, NY 14072
3. 23.00-1-46 David Stalica Geraldine Stalica 2818 Long Road Grand Island, NY 14072	25. 23.10-1-1 John Vogel Donna Vogel 3901 W River Road Grand Island, NY 14072	47. 23.10-1-32 Randy Cook 2941 Sunset Dr. Grand Island, NY 14072
4. 23.00-1-45 David Stalica Geraldine Stalica 2818 Long Road Grand Island, NY 14072	26. 23.10-1-2 Ralph Swartzmeyer Annette Swartzmeyer 3963 West River Pkwy Grand Island, NY 14072	48. 23.10-1-33 Thomas Mineo 2931 Sunset Dr. Grand Island, NY 14072
5. 23.00-1-44 Brian Baney Jennifer Baney 2626 Long Road Grand Island, NY 14072	27. 23.10-1-3 Terrance Funk 3855 West River Pkwy Grand Island, NY 14072	49. 23.10-1-34 Daniel Pilon 2923 Sunset Dr. Grand Island, NY 14072
6. 23.00-1-43.1 McNulty Julie Wertz Fred 2636 Long Road Grand Island, NY 14072	28. 23.10-1-4 James Broman Candace Broman 3849 West River Pkwy Grand Island, NY 14072	50. 23.10-1-35 Jeremy Pullano 2917 Sunset Dr. Grand Island, NY 14072
7. 23.00-1-42.11 James Daniels Lynne Daniels 2650 Long Road Grand Island, NY 14072	29. 23.10-1-5 Tenip LLC 1699 West River Pkwy Grand Island, NY 14072	51. 23.10-1-36.1 Pope Kenneth 591 Terrace Blvd Depew, NY 14043
8. 23.00-1-41.11 James Daniels Lynne Daniels 2850 Long Road Grand Island, NY 14072	30. 23.10-1-6 Melissa Shuter 3831 West River Pkwy Grand Island, NY 14072	52. 23.10-1-40 Yoshi Shiki Midori Shiki UN208-8111 Forest Glen Dr. Niagara Falls, Ontario Canada, L2H2
9. 23.00-1-13 Julie Anne Wik 4055 West River Pkwy Grand Island, NY 14072	31. 23.10-1-7 James Mazza Marilyn Mazza 3819 W River Rd Grand Island, NY 14072	53. 23.10-1-39 Yoshi Shiki Midori Shiki UN208-8111 Forest Glen Dr. Niagara Falls, Ontario Canada, L2H2
10. 23.00-1-12 Alexander Gutt Shannon Gutt 4045 West River Pkwy Grand Island, NY 14072	32. 23.10-1-8 Stuart Lavallee Donna Lavallee 3809 W River Rd Grand Island, NY 14072	54. 23.10-1-2.21 Grand Island Lodge No 1138 641 Sweet Home Road Eggersville, NY 14226
11. 23.00-1-11 Terry Hildebrandt Terry & Karen Hildebrandt Trust 4037 West River Pkwy Grand Island, NY 14072	33. 23.10-1-9 Stuart Lavallee Donna Lavallee 3809 W River Rd Grand Island, NY 14072	55. 23.14-1-5.112 Dana Barbre Patrick Albert 2924 Sunset Dr. Grand Island, NY 14072
12. 23.00-1-10 Terry & Karen Hildebrandt Trust Jonathan Hildebrandt Trustee 4037 West River Pkwy Grand Island, NY 14072	34. 23.10-1-10.1 David Nelson 3793 W River Road Grand Island, NY 14072	56. 23.14-1-20.21 David Ehde Arlen Ehde 2817 Bedell Rd Grand Island, NY 10472
13. 23.00-1-9 Christopher Taylor Michelle Taylor 4025 West River Pkwy Grand Island, NY 14072	35. 23.10-1-12 Larry Lloyd Deborah Lloyd 3783 W River Road Grand Island, NY 14072	57. 23.00-1-37.11 Hugli Storage Inc. PO Box 504 Grand Island, NY 14072
14. 23.00-1-8 Tenip, LLC 1699 West River Pkwy Grand Island, NY 14072	36. 23.10-1-13 Harry Mills Christine Mills Grand Island, NY 14072	58. 23.00-1-36.121 Josam Enterprises Inc. 1149 Whitlaven Rd Grand Island, NY 14072
15. 23.00-1-7 Daniel Fitzgerald Dawn Fitzgerald 4009 W River Road Grand Island, NY 14072	37. 23.10-1-14 Eric Lavallee 3759 West River Pkwy Grand Island, NY 14072	59. 23.00-1-36.111 B.A.D. Real Estate 763 North Colony Rd Grand Island, NY 14072
16. 23.00-1-6 Emil Geering 756 Twilight Dr. Crescent Springs, KY 41017	38. 23.10-1-15.1 Marc Cuthbertson Ansel Cuthbertson 3757 West River Pkwy Grand Island, NY 14072	60. 23.00-1-35.1 B.A.D. Real Estate 763 North Colony Rd Grand Island, NY 14072
17. 23.00-1-5 Christopher Ciszak 3901 W River Road Grand Island, NY 14072	39. 23.10-1-17.1 Jay Hardy Candace Hardy 3755 W River Rd Grand Island, NY 14072	61. 23.00-1-49 Rahmat Loghmanieh 4601 Main Street Snyder, NY 14226
18. 23.00-1-4 Anita Wierzb 3901 W River Road Grand Island, NY 14072	40. 23.10-1-24 Don Tranter 2615 Bedell Road 3003 Sunset Dr Grand Island, NY 14072	62. 23.00-1-29.121 Kenneth Mccaffery Betty Tranter Grand Island, NY 14072
19. 23.00-1-3 Michael Leo 3963 West River Pkwy Grand Island, NY 14072	41. 23.10-1-25 Sunset Rental LLC 2266 Oakfield Rd Grand Island, NY 14072	63. 23.00-1-28.1 Christopher Patterson Kimberly Patterson 2595 Bedell Road Grand Island, NY 14072
20. 23.00-1-2.1 Floyd Doring Chis Doring 3957 W River Road Grand Island, NY 14072	42. 23.10-1-26 Mark Reining 2983 Sunset Dr. Grand Island, NY 14072	64. 23.00-1-27 Steven Stutz Natalie Stutz 2585 Bedell Road Grand Island, NY 14072
21. 23.00-1-1 Joseph Short Donna Short 3947 West River Pkwy Grand Island, NY 14072	43. 23.10-1-27.1 James McGarvey 2975 Sunset Dr. Grand Island, NY 14072	
22. 23.00-1-2.12 Peter Gallo Phyllis Gallo 3839 West River Pkwy Grand Island, NY 14072	44. 23.10-1-29 Gerald Mangus 2961 Sunset Dr. Grand Island, NY 14072	

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY
PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.



ZONING & ADJOINING PROPERTY OWNER MAP

SCALE: 1" = 1000'



LOCATION MAP

SCALE: 1" = 800'

APPLICANT

TC BUFFALO DEVELOPMENT ASSOCIATES, LLC
300 CONSHOHOCKEN STATE ROAD, SUITE 250
WEST CONSHOHOCKEN, PA 19428

OWNER

G I COMMERCE CTR JOINT VENTURE
6554 MAIN STREET
WILLIAMSVILLE, NY 14221

DEVELOPER

TC BUFFALO DEVELOPMENT ASSOCIATES, LLC
300 CONSHOHOCKEN STATE ROAD, SUITE 250
WEST CONSHOHOCKEN, PA 19428

CIVIL ENGINEER

LANGAN
1 NORTH BROADWAY, SUITE 910
WHITE PLAINS, NEW YORK 10601
TEL: 914-323-7400

Zoning Table - Town of Grand Island			
Zoning District	Parcel 1: M1 Light Industrial and Research ⁽¹⁾		Parcel 2: R1A Low Density-Single-Family Residential
	Required (M1)	Proposed	Required (R1A)
Bulk Requirements ⁽¹⁾			
Min. Lot Area	1.5 AC	143.63 AC	3 AC
Min. Lot Frontage ⁽¹⁾	150 FT	230 FT	140 FT
Min. Lot Depth ⁽¹⁾	300 FT	3,832 FT	250 FT
Min. Lot Width ⁽¹⁾	150 FT	230 FT	100 FT
Min. Front Yard Depth ⁽¹⁾	65 FT	1,188.0 FT	50 FT
Min. Side Yard Width ⁽¹⁾	25 FT ⁽¹⁾	259.3 FT	15 FT
Min. Rear Yard Depth	30 FT	588.2 FT	50 FT
Min. Setback When Adjacent to Residential Zoned Lots	50 FT	529.3 FT	---
Min. Setback from Bedell Road centerline of right-of-way	80 FT	1,656.0 FT	80 FT
Min. Setback from Long Road centerline of right-of-way	80 FT	---	80 FT
Max. Building Height in Stories	4 Stories	5 Stories ⁽⁴⁾	2.5 Stories
Max. Building Height	45 FT	87.31 FT ⁽⁴⁾⁽⁵⁾	35 FT
Max. Building Coverage ⁽¹⁾	40%	13.2%	20%

Notes:
1. The proposed subdivided lot is considered a through lot, since the lot has frontage on two parallel or approximately parallel streets. The front lot line is established using the street that will provide primary access to the site. In this case, the proposed right-of-way off of Long Road will be used.
2. The maximum percentage of a lot covered by the combined footprint of all buildings, structures, and uses. Excludes patios, walkways and pavements at ground level.
3. There is existing lot frontage along the unimproved portion of Sunset Drive.
4. Waiver requested.
5. A portion along the western property line of the site falls within the R-1A zone. The side yard setback for this zone is 15 FT min.
6. Refer to Average Grade Calculations and Building Height Calculations.
7. Proposed development will be a P.O.D.
8. Per Zoning Section 407 Attachment 1.

Car Parking Warehouse: 1 space / 1,000 SQ. FT. of gross floor area ⁽²⁾ Office: 1 space / 200 SQ. FT. of gross floor area	Warehouse: 3,783 spaces (3,731,124 SF x 1 space / 1,000 SF) Office: 260 spaces (52,000 SF x 1 space / 200 SF) Total: 4,043 spaces required	1,855 Car Parking Spaces 1 Pump Station Maintenance Space Total: 1,856 spaces provided ⁽¹⁾
Expected number of peak employees per shift = 1,500. For two shifts = 3,000 total parking spaces ⁽⁴⁾	Total: 3,000 spaces required	
Handicap Parking Spaces ⁽¹⁾⁽⁵⁾ 1001 spaces and over: 20 spaces + 1 space for each over 100 or fraction thereof over 1,000	1,000 spaces: 20 handicap spaces 872 spaces: 9 handicap spaces Total: 29 spaces required	30 spaces provided
Min. 90 Degree Car Parking Dimensions	Space: 9 FT x 19 FT 24 FT drive aisle	9 FT x 19 FT 24 FT drive aisle
Loading Facilities Warehouse: 3 bays for 100,000+ SQ. FT. ⁽⁴⁾ Vertical clearance: 14 FT. ⁽⁵⁾	Warehouse: 3 facilities (1,436,526 SF) Total: 3 facilities required	69 Loading Facilities Vertical clearance: >14 FT.
Min. Loading Space Dimensions	12 FT X 20 FT	17 FT x 60 FT

Notes:
1. Waiver requested. This total does not include the 16 proposed motorcycle parking spaces
2. Per Town Code Section 407 Attachment 3
3. Per Town Code Section 407-136(B)(2)
4. Per Town Code Section 407-135(H)
5. Per Town Code Section 407-135(G)
6. Per Town Code Section 407-128(B)

DRAWING LIST		
DRAWING NO.	SHEET NO.	DRAWING TITLE
CS001	1 OF 89	COVER SHEET
CS002	2 OF 89	LEGEND & NOTES
CS003	3 OF 89	DRAWING SHEET KEY MAP
CD100	4 OF 89	OVERALL EXISTING CONDITIONS & SITE REMOVAL PLAN
CD101	5 OF 89	WETLAND & CREEK IMPACT PLAN
CB101	6 OF 89	PRELIMINARY SUBDIVISION PLAT (1 OF 2)
CB102	7 OF 89	PRELIMINARY SUBDIVISION PLAT (2 OF 2)
CS100	8 OF 89	OVERALL SITE PLAN
CS101	9 OF 89	PARTIAL SITE PLAN (1 OF 7)
CS102	10 OF 89	PARTIAL SITE PLAN (2 OF 7)
CS103	11 OF 89	PARTIAL SITE PLAN (3 OF 7)
CS104	12 OF 89	PARTIAL SITE PLAN (4 OF 7)
CS105	13 OF 89	PARTIAL SITE PLAN (5 OF 7)
CS106	14 OF 89	PARTIAL SITE PLAN (6 OF 7)
CS107	15 OF 89	PARTIAL SITE PLAN (7 OF 7)
CS201	16 OF 89	OFFSITE IMPROVEMENT PLAN (1 OF 2)
CS202	17 OF 89	OFFSITE IMPROVEMENT PLAN (2 OF 2)
CP100	18 OF 89	OVERALL SIGNAGE, STRIPING, & PAVEMENT PLAN
CP101	19 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (1 OF 7)
CP102	20 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (2 OF 7)
CP103	21 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (3 OF 7)
CP104	22 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (4 OF 7)
CP105	23 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (5 OF 7)
CP106	24 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (6 OF 7)
CP107	25 OF 89	PARTIAL SIGNAGE & STRIPING PLAN (7 OF 7)
CG100	26 OF 89	OVERALL GRADING & DRAINAGE PLAN
CG101	27 OF 89	PARTIAL GRADING & DRAINAGE PLAN (1 OF 7)
CG102	28 OF 89	PARTIAL GRADING & DRAINAGE PLAN (2 OF 7)
CG103	29 OF 89	PARTIAL GRADING & DRAINAGE PLAN (3 OF 7)
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SURVEY DRAWINGS		
DRAWING NO.	SHEET NO.	DRAWING TITLE
VL101	1 OF 3	ALTANSPS LAND TITLE SURVEY
VL102	2 OF 3	ALTANSPS LAND TITLE SURVEY
VL103	3 OF 3	ALTANSPS LAND TITLE SURVEY



LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601

Project
PROJECT OLIVE
BLOCK No. 1, LOT No.50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
COVER SHEET

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM55
Checked By
CZMF
Drawing No.
CS001

Date	Description	No.
REVISIONS		

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ABBREVIATIONS	
(TYP) = TYPICAL	
OF APPLICABLE SHALL BE FILED WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYDEC), A COPY OF THE NOI, SIGNED BY THE PROJECT ENGINEER, SHALL BE MAINTAINED AT THE SITE IN THE LOG BOOK.	
EXIST. = EXISTING	
HC = HAND-CAP	
SHT = SHEET	
NO. = NUMBER	
TW = TOP OF WALL	
BTM = BOTTOM OF WALL	
WV = WATER VALVE	
HYD = HYDRANT	
RL = RISE	
AC = ACRE	
SF = SQUARE FEET	
LF = LINEAR FEET	
PT = POINT OF TANGENT	
PC = POINT OF CURVATURE	
HP = HIGH POINT	
LP = LOW POINT	
VC = VERTICAL CURVE	
PVI = POINT OF VERTICAL INFLECTION	
STA = STATION	
A.D. = ALLEGED DIFFERENCE	
K = CURVE COEFFICIENT	
BVCS = BEGINNING VERTICAL CURVE STATION	
BEVS = BEGINNING VERTICAL CURVE ELEVATION	
EVCS = END VERTICAL CURVE STATION	
EVES = END VERTICAL CURVE ELEVATION	
ELEV = ELEVATION	
HOZ = HORIZONTAL	
VERT = VERTICAL	
PERF = PERFORATED	
HDPE = HIGH DENSITY POLYETHYLENE	
PVC = POLYVINYL CHLORIDE	
DIP = DUCTILE IRON PIPE	
OP = CAST IRON PIPE	
INVERT = INVERT	
MINUM = MINIMUM	
ES = END SECTION	
OS = OUTLET STRUCTURE	
N.T.S. = NOT TO SCALE	
UP = UTILITY POLE	
CTOE = CABLE, TELEPHONE, GAS, ELECTRIC	
LSE = LOWEST SEPARABLE ELEVATION	
R = ARC RADIUS	
A = ARC LENGTH	
Δ = CHORD ANGLE	
CB = CHORD BEARING	

LEGEND

---	PROPERTY LINE
---	BUILDING
---	CURB
---	DOOR ENTRANCE
---	DOOR DOOR
---	STAIRS
---	CONCRETE PAVEMENT
---	PEDESTRIAN WALKWAY
---	CHAIN LINK FENCE
---	SPLIT RAIL FENCE
---	GUARD RAIL
---	WALL
---	PROPOSED CONTOUR
---	SPOT ELEVATION
---	STORMWATER CONVEYANCE PIPE
---	CATCH BASIN
---	DOUBLE INLET
---	STORMWATER MANHOLE
---	OUTLET CONTROL STRUCTURE
---	RP RAP
---	SANITARY SEWER
---	SANITARY MANHOLE
---	SANITARY CLEANOUT
---	FORCEMAIN CLEANOUT
---	SANITARY SEWER FORCE MAIN
---	WATER MAIN
---	FIRE WATER MAIN
---	ELECTRIC/TELECOM SERVICE
---	THREE PHASE ELECTRIC LINE
---	GAS SERVICE
---	FIRE HYDRANT
---	GATE VALVE
---	EXISTING SANITARY SEWER
---	EXISTING FORCEMAIN
---	EXISTING SANITARY MANHOLE
---	EXISTING WATER MAIN
---	EXISTING GAS SERVICE
---	EXISTING ELECTRIC SERVICE
---	EXISTING UTILITY POLE
---	EXISTING DRAINAGE PIPE

GENERAL NOTES	
1. EXISTING BACKGROUND INFORMATION BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY LANGAN ENGINEERING, DATED NOVEMBER 22, 2018.	
2. EXISTING WETLAND INFORMATION TAKEN FROM A WETLAND FLAG STUDY PREPARED BY NIAGARA BOUNDARY AND MAPPING SERVICES, DATED AUGUST 7, 2018.	
3. THE CONTRACTOR SHALL CALL "DIG SAFELY NEW YORK" PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CALL 1-800-867-7862 OR BY FAX FOR STAKEOUT REQUESTS.	
4. ALL EXISTING UTILITY LINES SHALL BE LOCATED/VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING ANY MATERIALS AND/OR STARTING ANY CONSTRUCTION.	
5. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR IDENTIFYING OR INTENDING TO REPRESENT, BUT NOT COMPLETELY, THE INFORMATION THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DOCUMENTS, OR FOR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.	
6. THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. THE REQUESTS SHOULD BE SUBMITTED IN WRITING, IN THE FORM OF AN RFI PRIOR TO CONSTRUCTION. THE REQUESTS SHOULD BE SUBMITTED IN WRITING, IN THE FORM OF AN RFI PRIOR TO CONSTRUCTION.	
7. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.	
8. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, EXISTING AND PROPOSED ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN THE PROJECT MANUAL OR IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INFORMATION, INCLUDING ANY INFORMATION IN THE PROJECT MANUAL OR IN THE CONTRACT DOCUMENTS, THAT IS NECESSARY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.	
9. IF BLASTING IS FOUND NECESSARY, ALL BLASTING OPERATIONS WILL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE TOWN OF GRAND ISLAND AND TOWN CODE AS WELL AS THE NEW YORK STATE ORDINANCES GOVERNING THE USE OF EXPLOSIVES.	
10. THE APPLICANT SHALL SCHEDULE WITH THE TOWN ENGINEER A PRE-CONSTRUCTION MEETING. THE MEETING SHALL BE ATTENDED BY THE PROJECT DESIGN PROFESSIONAL, APPLICANT AND CONTRACTOR FOR THE PROJECT. THE MEETING SHALL BE HELD WITHIN 14 DAYS OF THE BEGINNING OF CONSTRUCTION. THE MEETING SHALL BE HELD WITHIN 14 DAYS OF THE BEGINNING OF CONSTRUCTION. THE MEETING SHALL BE HELD WITHIN 14 DAYS OF THE BEGINNING OF CONSTRUCTION.	
11. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES.	
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SITE LAYOUT PLAN NOTES	
1. ON-SITE UNDERGROUND ELECTRIC SHALL BE ENCASED IN RIGID CASING FOR A MINIMUM OF 6'-FEET ACROSS ALL WATER MAINS.	
2. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT/ CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF GRAND ISLAND AND TOWN CODE AS WELL AS THE NEW YORK STATE ORDINANCES GOVERNING THE USE OF EXPLOSIVES.	
3. THE APPLICANT SHALL SCHEDULE WITH THE TOWN ENGINEER A PRE-CONSTRUCTION MEETING. THE MEETING SHALL BE ATTENDED BY THE PROJECT DESIGN PROFESSIONAL, APPLICANT AND CONTRACTOR FOR THE PROJECT. THE MEETING SHALL BE HELD WITHIN 14 DAYS OF THE BEGINNING OF CONSTRUCTION. THE MEETING SHALL BE HELD WITHIN 14 DAYS OF THE BEGINNING OF CONSTRUCTION.	
4. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES.	
5. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES. THE CONTRACTOR SHALL PROVIDE TOPOGRAPHIC AS-BUILTS FOR ALL PROPOSED STORMWATER QUALITY AND QUANTITY FACILITIES.	

SIGNAGE NOTES	
1. REFER TO SIGNAGE AND STRIPING PLAN FOR LOCATIONS OF SIGNS AND PAVEMENT MARKINGS.	
2. ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).	
3. ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).	
4. COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.	
5. ASPHALT SPEED HUMPS AND SPEED BUMPS SHALL BE USED IN COLDER CLIMATES WHERE SOIL REMOVAL EQUIPMENT IS INTENDED TO BE USED. RUBBER SPEED HUMPS AND SPEED BUMPS SHALL BE USED IN WARMER CLIMATES OR REGIONS WHERE CONCRETE PAVEMENT IS PREVALENT.	
6. ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF GRAND ISLAND TOWN CODE, LATEST EDITION. SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2018.	
7. FINAL QUANTITIES SHALL BE CORRELATED AND VERIFIED IN FIELD.	
8. ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLAN (E.G. FIRE LINES) MAY BE REQUIRED PER LOCAL CODE AND/OR AHA. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL AHA AND PROVIDE AS REQUIRED.	
9. MOUNT SIGNAGE ACCORDING TO LOCAL CODES.	
10. TYPICAL SIGN FONT IS SET IN ARIAL.	

STABILIZATION OF DISTURBED SURFACES

1. MULCH (INCLUDING GRAVEL MULCH) - MULCH OFFERS AN EFFECTIVE MEANS OF STABILIZATION. THIS CAN ALSO INCLUDE ROLLED EROSION CONTROL BLANKETS.	
2. SPRAY ADHESIVES - THESE ARE PRODUCTS GENERALLY COMPOSED OF POLYMERS IN A LIQUID OR SOLID FORM THAT ARE MIXED WITH WATER TO FORM AN EMULSION THAT IS SPRAYED ON THE SOIL SURFACE WITH TYPICAL HYDROSEEDING EQUIPMENT. THE MIXING RATIOS AND APPLICATION RATES WILL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SPECIFIC SOILS ON THE SITE. IN NO CASE SHOULD THE APPLICATION OF THESE ADHESIVES BE MADE ON WET SOILS OR IF THERE IS A PROBABILITY OF PRECIPITATION WITHIN 48 HOURS OF ITS PROPOSED USE. MATERIAL SAFETY DATA SHEETS WILL BE PROVIDED TO ALL APPLICATORS AND OTHERS WORKING WITH THE MATERIAL.	
3. POLYMER ADHESIVES - THESE POLYMERS ARE MIXED WITH WATER AND APPLIED TO THE DRIVING SURFACE BY A WATER TRUCK WITH A GRAVITY FEED DISP. BAR, SPRAY BAR OR AUTOMATED DISTRIBUTOR TRUCK. THE MIXING RATIOS AND APPLICATION RATES WILL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. INCORPORATION OF THE EMULSION INTO THE SOIL WILL BE DONE TO THE APPROPRIATE DEPTH BASED ON EXPECTED TRAFFIC COMPACT. AFTER INCORPORATION WILL BE BY VIBRATORY ROLLER TO A MINIMUM OF 80% OF THE PREPARED SURFACE SHALL BE MOIST AND NO APPLICATION OF THE POLYMER WILL BE MADE IF THERE IS A PROBABILITY OF PRECIPITATION WITHIN 48 HOURS OF ITS PROPOSED USE. MATERIAL SAFETY DATA SHEETS WILL BE PROVIDED TO ALL APPLICATORS AND OTHERS WORKING WITH THE MATERIAL.	
4. BARBERS - WHEN GEOTEXTILES CAN BE PLACED ON THE DRIVING SURFACE TO EFFECTIVELY REDUCE DUST THROW AND PARTICLE MIGRATION ON HAIL ROADS, STONE CAN ALSO BE USED FOR CONSTRUCTION ROADS FOR EFFECTIVE DUST CONTROL.	
5. SEEDING - REFER TO LANDSCAPE PLANS AND DETAILS.	

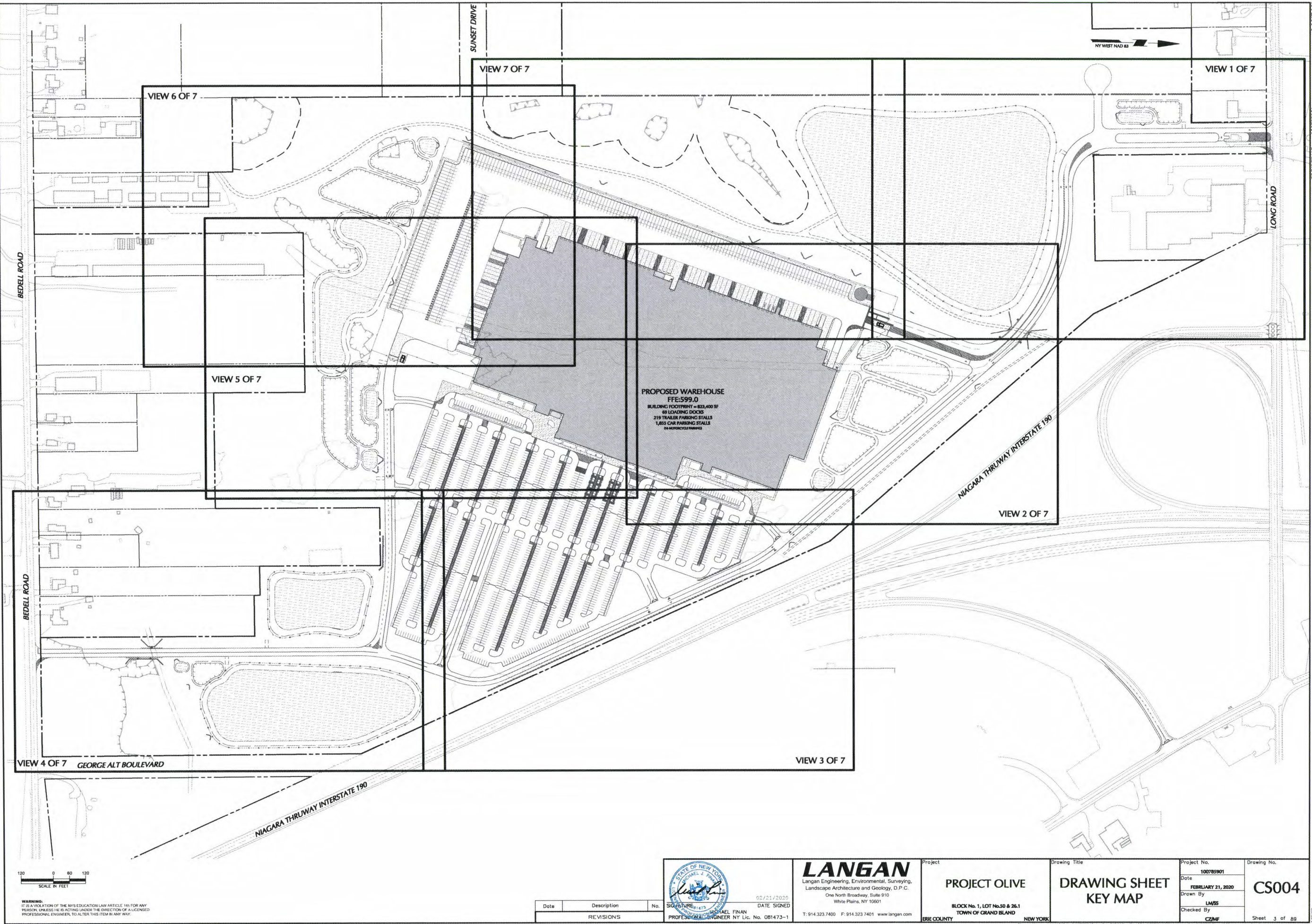
DEMOLITION NOTES	
1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANHOLE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, UTILITIES, AND OTHERS. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANHOLE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, UTILITIES, AND OTHERS.	
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY REPRESENTATIVES BEFORE DEMOLITION.	
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL, REGULATION, ORDINANCES, AND STATUTES.	
4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AND THE CONTRACTOR DURING THE DEMOLITION AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS PROPOSAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS PROPOSAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS PROPOSAL.	
5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES, OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, INJURY, DELAY, INJURY, OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD THE CONTRACTOR HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE CONTRACTOR OR ANY OTHER PARTY AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE OR OTHER HAZARDOUS MATERIAL.	
6. THE CONTRACTOR SHALL DEMOLISH ALL BUILDINGS, PAVEMENT, ETC., WHERE INDICATED WITHIN THE LIMIT OF DEMOLITION. EDGES OF PAVEMENT DEMOLITION SHALL BE FINISHED TO THE FINISHED GRADE AND ASPHALT SHALL BE CRUSHED TO THE DIMENSIONS INDICATED IN THE PROJECT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	
7. THE CONTRACTOR SHALL VERIFY THAT A SOIL EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN OBTAINED FOR DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	
8. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VERIFY THAT THE UTILITY DEPARTMENT HAS BEEN NOTIFIED AND THAT ALL NECESSARY SERVICES OUTSIDE THE CONTRACT LIMIT.	
9. CONTRACTOR TO VERIFY THAT ALL ENVIRONMENTAL CONCERNS (ASBESTOS, LEAD, PCB'S, PCP'S, AND OTHERS) HAVE BEEN REMOVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	

POLLUTION PREVENTION CONTROL NOTES	
1. MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION SHALL BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES. STOCKPILES SHALL BE EXPOSED NO LONGER THAN 14 DAYS BEFORE DISPOSAL.	
2. EQUIPMENT MAINTENANCE AREAS SHALL BE PROTECTED FROM STORMWATER FLOWS AND SHALL BE SUPPLIED WITH DRAINAGE, COLLECTION, AND STORAGE TANKS, TRANSFORMERS, ETC.) HAVE BEEN REMOVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	
3. THE USE OF DETERGENTS FOR LARGE-SIZE (E.G. VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) WASHING IS PROHIBITED.	
4. THE CONTRACTOR AND THEIR SUBCONTRACTOR(S) SHALL IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.	
5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.	
6. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.	
7. STOCKPILED TOPSOIL SHALL BE TEMPORARILY SEED, MULCHED, AND ENCLOSED WITH SILT FENCING. ALL GRASS SEED WILL CONTAIN AT LEAST 20 PERCENT RATIO GERMINATING PERSONAL RYE GRASS.	
8. EROSION AND SEDIMENT CONTROL INSPECTIONS:	
A. THE TRAINED INDIVIDUAL SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP SHALL BE CLEANED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED EITHER AT THE BEGINNING OR AT THE END OF EACH WORKING DAY.	
B. THE QUALIFIED INSPECTOR SHALL CONDUCT SITE INSPECTIONS EVERY 7 DAYS DURING CONSTRUCTION. ANY DEFICIENCIES NOTED IN THE REPORTS SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.	
C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WATER SHUTDOWNS, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	
D. IF NYDEC OR THE TOWN AUTHORIZES SOIL DISTURBANCES GREATER THAN 5-ACRES, THE QUALIFIED PROFESSIONAL WILL CONDUCT AT LEAST TWO 7-CALIBER DAILY INSPECTIONS TO ENSURE THE STABILITY AND EFFECTIVENESS OF ALL PROTECTIVE MEASURES AND PRACTICES UNTIL SUCH TIME THAT LESS THAN 5-ACRES OF SOIL REMAIN DISTURBED.	
E. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.	
10. EARTHWORK ACTIVITIES SHALL BE CONSISTENT WITH THE PLANS. THE EARTHWORK OPERATION AREAS SHALL BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS, WHICH ARE NOT CURRENTLY UNDER CONSTRUCTION, LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 48 HOURS.	
11. EROSION MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED BY A SURROUNDING SILT FENCE BARRIER.	
12. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY EXPOSED LANDSCAPE SOILS.	
13. IF CONSTRUCTION TAKES PLACE IN "WET SOILS", CURTAIN DRAINS OR SUBSURFACE DRAINAGE SHALL BE INSTALLED TO DRAIN THE SOILS. DRAINAGE DISCHARGES WILL NOT BE DIRECTED INTO WETLANDS, WATER COURSES, WATER-BODIES, OR STORM SEWER SYSTEMS.	
14. TEMPORARY DRAINAGE SWALES WITH A MINIMUM GRADE OF ONE PERCENT SHALL BE INSTALLED TO DIRECT RUNOFF AWAY FROM EXCAVATED AREAS. SWALES SHALL BE INSTALLED WITH STAKES AND SECURED WITH BALE BERM. TO PREVENT DOWNSTREAM SITUATION. LOCATION OF THE DRAINAGE SWALES AND BALE BERMS SHALL BE AT THE DISCRETION OF THE DESIGN ENGINEER. SILT FENCE SHALL BE PROPERLY INSTALLED DOWN-GRAD OF ALL DISTURBED AREA. SILT FENCE SHALL BE INSTALLED ALONG CONTOURS TO LIMIT SEDIMENT FROM RUNOFF. INSPECTION BY THE CONTRACTOR SHALL BE REQUIRED TO REPAIR OR REPLACE ANY DEFICIENCIES THAT MAY BE MADE PROMPTLY AS NEEDED. SILT FENCE SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPIDE STORM FLOW OR DRAINAGE.	
15. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. UPRIGHTS/STABILIZATION SYSTEMS ARE IN PLACE AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERABLE. ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FILLED IN, TOPSOILED, SEED, MULCHED, FINAL STABILIZATION SHALL BE COMPLETED. PERSONAL VEGETATION COVER WITH A PERCENT OF PERCENT COVER IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PLACED OR COVERED BY PERMANENT STRUCTURES. ENSURE THAT FINAL STABILIZATION OF ALL TRIBUTARY AREAS IS ACHIEVED PRIOR TO THE CONSTRUCTION OF THE BROOKTOWN BASINS.	

SPDES GENERAL PERMIT COMPLIANCE NOTES	
1. THE NOTICE OF INTENT (NOI) AND SIGNED MSA SWPPP ACCEPTANCE FORM (IF APPLICABLE) SHALL BE FILED WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYDEC). A COPY OF THE NOI, SIGNED MSA SWPPP ACCEPTANCE FORM (IF APPLICABLE), AND THE NOI, SIGNED MSA SWPPP ACCEPTANCE FORM (IF APPLICABLE), SHALL BE MAINTAINED AT THE SITE IN THE LOG BOOK.	
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FOLLOWING:	
A. THE CONTRACTOR AND THEIR SUBCONTRACTORS SHALL READ AND UNDERSTAND THE CONDITIONS OF THE "NYDEC SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES" (NYDEC SPDES GENERAL PERMIT) IN EFFECT.	
B. THE CONTRACTOR AND THEIR SUBCONTRACTORS SHALL READ AND SIGN THE CERTIFICATION STATEMENT PROVIDED IN THE APPENDICES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).	
C. THE CONTRACTOR AND THEIR SUBCONTRACTORS SHALL IDENTIFY THE TRAINED INDIVIDUAL(S) THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE SWPPP. THE TRAINED INDIVIDUAL(S) SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE SWPPP. THE TRAINED INDIVIDUAL(S) SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE SWPPP.	
D. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CONSTRUCTION PERMITS NECESSARY FOR THE WORK OUTLINED HEREIN.	
E. THE TRAINED INDIVIDUAL(S) SHALL PROVIDE DOCUMENTATION THAT HE/SHE HAS RECEIVED TRAINING IN PROPER EROSION AND SEDIMENT CONTROL PRINCIPLES FROM A SOIL AND WATER CONSERVATION DISTRICT, OR OTHER NYDEC ENDORSED ENTITY TO THE TOWN FOR THEIR PERMITS.	
F. THE TRAINED INDIVIDUAL(S) SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE SWPPP AND PREVENTION MEASURES OUTLINED IN THE SWPPP AND PROJECT PLANS.	
G. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER (AND/OR OWNER'S REPRESENTATIVES), TRAINED INDIVIDUAL(S), TOWN ENGINEER, STORM WATER SUPERVISOR, AND THE QUALIFIED PROFESSIONAL, AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF CONSTRUCTION.	
H. THE CONTRACTOR OR OWNER SHALL HAVE THE QUALIFIED PROFESSIONAL, AS DEFINED WITHIN THE NYDEC SPDES GENERAL PERMIT, CONDUCT AN INITIAL SITE ASSESSMENT AND CERTIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROL STRUCTURES AS DEPICTED ON THE PLANS HAVE BEEN ADEQUATELY INSTALLED AND IMPLEMENTED PRIOR TO COMMENCEMENT OF CONSTRUCTION. REFER TO SWPPP FOR THE INITIAL SITE ASSESSMENT GUIDELINES.	
I. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE LOG BOOK AND MAKE THE SITE LOG BOOK AVAILABLE TO THE PERMITTING AUTHORITY.	
J. ONCE CONSTRUCTION ACTIVITIES ARE COMPLETE, THE OWNER/OPERATOR (AS APPLICABLE) SHALL HAVE THE QUALIFIED PROFESSIONAL, AS DEFINED WITHIN THE NYDEC SPDES GENERAL PERMIT, CONDUCT A FINAL SITE ASSESSMENT TO DETERMINE IF THE SITE MEETS THE FINAL STABILIZATION CRITERIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	

EROSION & SEDIMENT CONTROL NOTES	
1. REFER TO THE SPDES GENERAL PERMIT COMPLIANCE NOTES FOR ADDITIONAL REQUIREMENTS.	
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", LATEST REVISIONS.	
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE EROSION AND SEDIMENTATION OF EXISTING VEGETATION. EROSION SHALL BE PRESERVED AS MUCH AS IS PRACTICAL.	
4. THE CONTRACTOR AND THEIR SUBCONTRACTOR(S) SHALL IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.	
5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.	
6. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.	
7. STOCKPILED TOPSOIL SHALL BE TEMPORARILY SEED, MULCHED, AND ENCLOSED WITH SILT FENCING. ALL GRASS SEED WILL CONTAIN AT LEAST 20 PERCENT RATIO GERMINATING PERSONAL RYE GRASS.	
8. EROSION AND SEDIMENT CONTROL INSPECTIONS:	
A. THE TRAINED INDIVIDUAL SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP SHALL BE CLEANED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED EITHER AT THE BEGINNING OR AT THE END OF EACH WORKING DAY.	
B. THE QUALIFIED INSPECTOR SHALL CONDUCT SITE INSPECTIONS EVERY 7 DAYS DURING CONSTRUCTION. ANY DEFICIENCIES NOTED IN THE REPORTS SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.	
C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WATER SHUTDOWNS, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND OTHERS.	
D. IF NYDEC OR THE TOWN AUTHORIZES SOIL DISTURBANCES GREATER THAN 5-ACRES, THE QUALIFIED PROFESSIONAL WILL CONDUCT AT LEAST TWO 7-CALIBER DAILY INSPECTIONS TO ENSURE THE STABILITY AND EFFECTIVENESS OF ALL PROTECTIVE MEASURES AND PRACTICES UNTIL SUCH TIME THAT LESS THAN 5-ACRES OF SOIL REMAIN DISTURBED.	
E. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.	
10. EARTHWORK ACTIVITIES SHALL BE CONSISTENT WITH THE PLANS. THE EARTHWORK OPERATION AREAS SHALL BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS, WHICH ARE NOT CURRENTLY UNDER CONSTRUCTION, LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 48 HOURS.	
11. EROSION MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED BY A SURROUNDING SILT FENCE BARRIER.	
12. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY EXPOSED LANDSCAPE SOILS.	
13. IF CONSTRUCTION TAKES PLACE IN "WET SOILS", CURTAIN DRAINS OR SUBSURFACE DRAINAGE SHALL BE INSTALLED TO DRAIN THE SOILS. DRAINAGE DISCHARGES WILL NOT BE DIRECTED INTO WETLANDS, WATER COURSES, WATER-BODIES, OR STORM SEWER SYSTEMS.	
14. TEMPORARY DRAINAGE SWALES WITH A MINIMUM GRADE OF ONE PERCENT SHALL BE INSTALLED TO DIRECT RUNOFF AWAY FROM EXCAVATED AREAS. SWALES SHALL BE INSTALLED WITH STAKES AND SECURED WITH BALE BERM. TO PREVENT DOWNSTREAM SITUATION. LOCATION OF THE DRAINAGE SWALES AND BALE BERMS SHALL BE AT THE DISCRETION OF THE DESIGN ENGINEER. SILT FENCE SHALL BE PROPERLY INSTALLED DOWN-GRAD OF ALL DISTURBED AREA. SILT FENCE SHALL BE INSTALLED ALONG CONTOURS TO LIMIT SEDIMENT FROM RUNOFF. INSPECTION BY THE CONTRACTOR SHALL BE REQUIRED TO REPAIR OR REPLACE ANY DEFICIENCIES THAT MAY BE MADE PROMPTLY AS NEEDED. SILT FENCE SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPIDE STORM FLOW OR DRAINAGE.	
15. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. UPRIGHTS/STABILIZATION SYSTEMS ARE IN PLACE AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERABLE. ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FILLED IN, TOPSOILED, SEED, MULCHED, FINAL STABILIZATION SHALL BE COMPLETED. PERSONAL VEGETATION COVER WITH A PERCENT OF PERCENT COVER IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PLACED OR COVERED BY PERMANENT STRUCTURES. ENSURE THAT FINAL STABILIZATION OF ALL TRIBUTARY AREAS IS ACHIEVED PRIOR TO THE CONSTRUCTION OF THE BROOKTOWN BASINS.	


SOIL RESTORATION NOTES	
SOIL RESTORATION SHALL BE PERFORMED IN THE DISTURBED AREAS. THE SOILS SHALL BE RESTORED AS FOLLOWS:	
TYPE OF SOIL DISTURBANCE	RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE (E.G., CLEARING AND GRUBBING ACTIVITIES)	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY (NO CHANGE IN GRADE)	AERATE AND APPLY 6" OF TOPSOIL
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN 5' TO 25' AREAS)	APPLY FULL RESTORATION
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION MAY NOT BE REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR THE APPROPRIATE PRACTICE
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPROVED AREA WILL BE CONVERTED TO PERVIOUS AREA
PRIOR TO APPLYING FULL SOIL RESTORATION, ALL CONSTRUCTION ACTIVITY, INCLUDING CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE, SITE CLEANUP AND TRAFFICWAYS, SHOULD BE FINISHED AND THE SITE CLOSED OFF TO FURTHER DISTURBANCE. FULL SOIL RESTORATION IS IMPLEMENTED IN A TWO PHASE PROCESS.	
1. DEEP RIP THE AFFECTED THICKNESS OF EXPOSED SUBSOIL MATERIAL TO MINIMIZE FRACTURING IT BEFORE THE PROTECTED TOPSOIL LAYER IS REPLACED ON THE SITE.	
2. DECOMPACT, SIMULTANEOUSLY THROUGH THE RESTORED TOPSOIL LAYER AND UPPER HALF OF THE AFFECTED SUBSOIL.	
3. EACH MANHOLE SHALL BE VACUUM TESTED AFTER STRUCTURE HAS BEEN BACKFILLED.	
4. A MANHOLE WILL BE ACCEPTABLE IF THE LEAKAGE DOES NOT EXCEED AN ALLOWANCE OF 1 GALLON PER VERTICAL FOOT OF DEPTH FOR 24 HOURS.	
5. REGARDLESS OF THE ALLOWABLE LEAKAGE, ANY LEAKS DETECTED SHALL BE PERMANENTLY STOPPED.	
6. VACUUM TESTING	
a. THIS TEST METHOD IS ONLY APPLICABLE TO PRECAST CONCRETE MANHOLES AND SHALL COMPLY WITH ASTM C 1244 STANDARDS.	
b. ALL LIFTING HOLES AND EXTERIOR JOINTS SHALL BE FILLED AND POINTED WITH AN APPROVED NON-SHRINKING MORTAR.	
c. MANHOLES ARE TO BE TESTED IMMEDIATELY AFTER ASSEMBLY AND BEFORE BACKFILLING. NO STANDING WATER SHALL BE ALLOWED IN THE MANHOLE EXCAVATION, WHICH MAY AFFECT THE ACCURACY OF THE TEST.	
d. ALL PIPES AND OTHER OPENINGS INTO THE MANHOLE SHALL BE SUITABLY PLUGGED IN SUCH A MANNER AS TO PREVENT EXCESSIVE PRESSURE FROM BUILDING UP IN THE MANHOLE.	
e. INSTALLATION AND OPERATION OF VACUUM EQUIPMENT AND INDICATING DEVICES SHALL BE IN ACCORDANCE WITH EQUIPMENT SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE MANUFACTURER.	
f. THE TEST HEAD SHALL BE PLACED AT THE TOP OF THE MANHOLE, INCLUDING THE FRAME AND COVER.	
g. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAIN, THE TIME FOR THE VACUUM TO DROP TO 9 INCHES OF MERCURY SHALL BE RECORDED.	
h. ACCEPTANCE FOR 4 FT. DIAMETER MANHOLES SHALL BE DEFINED AS WHEN THE TIME DROP TO 9 INCHES OF MERCURY MEETS OR EXCEEDS THE FOLLOWING:	
MANHOLE DEPTH	TIME TO DROP 1" HS
10 FT OR LESS	4 FT 60 SECONDS
10 FT TO 15 FT	4 FT 75 SECONDS
15 FT TO 20 FT	4 FT 90 SECONDS
i. FOR MANHOLES 5 FT. IN DIAMETER, ADD AN ADDITIONAL 15 SECONDS AND FOR MANHOLES 6 FT. IN DIAMETER, ADD AN ADDITIONAL 30 SECONDS TO THE TIME REQUIRED FOR 4 FT. DIAMETER MANHOLES.	
j. IF THE MANHOLE FAILS THE INITIAL TEST, REPAIRS SHALL BE MADE BY AN APPROVED METHOD, THEN THE MANHOLE SHALL BE RETESTED	



120 0 60 120
SCALE IN FEET

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Date	Description	No.
REVISIONS		



02/21/2020
DATE SIGNED
SIGNATURE: MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

PROJECT OLIVE

BLOCK No. 1, LOT No.50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title

**DRAWING SHEET
KEY MAP**

Project No.
100785901

Date
FEBRUARY 21, 2020

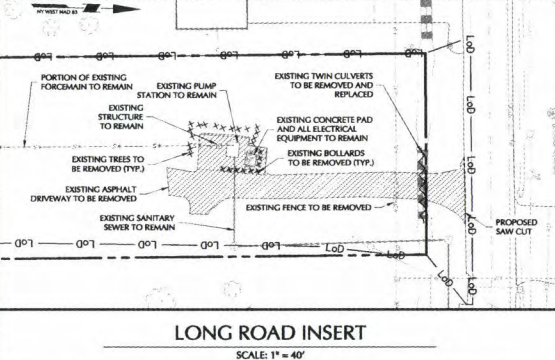
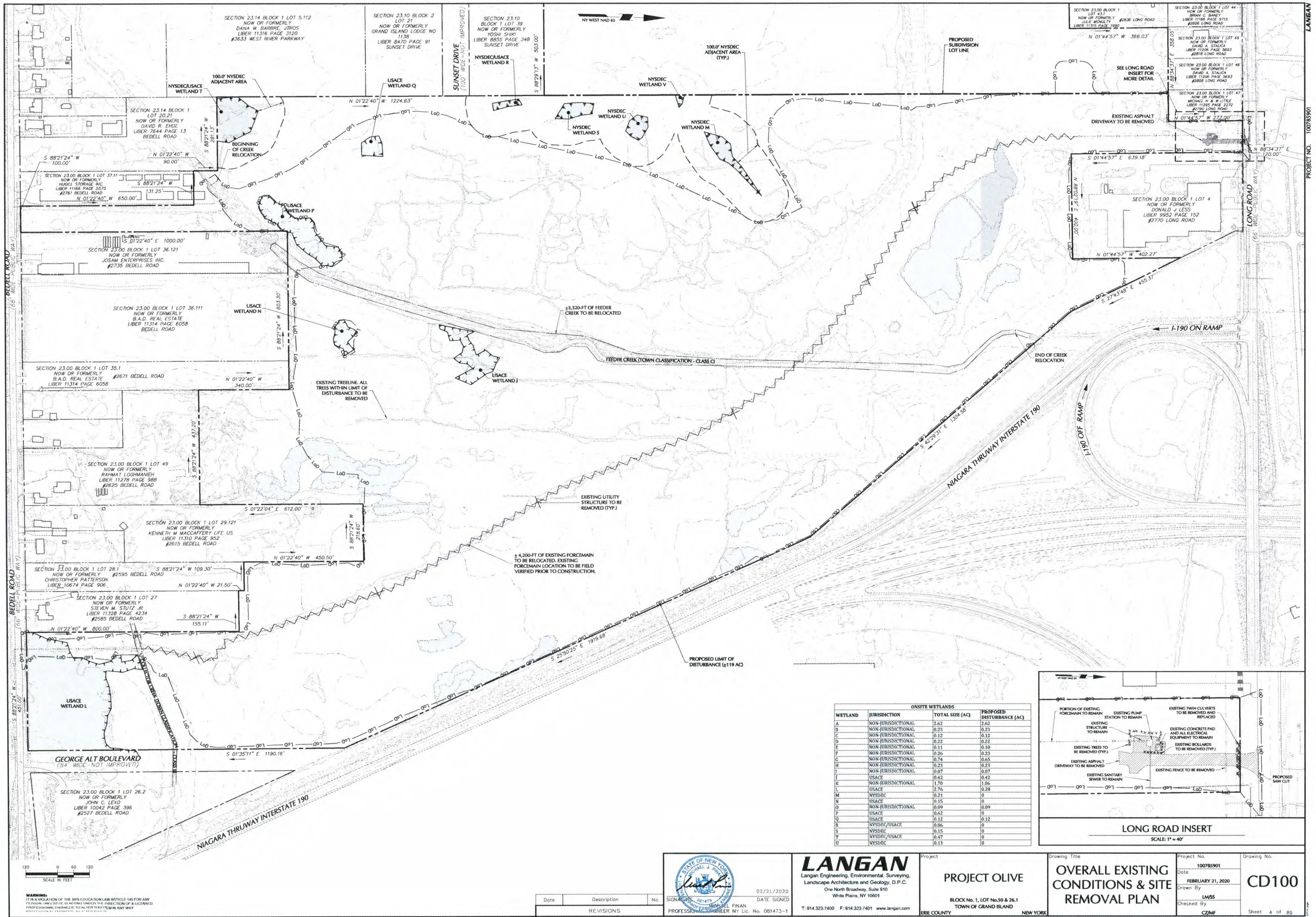
Drawn By
LMSS

Checked By
CZMF

Drawing No.

CS004

Sheet 3 of 89



ONSITE WETLANDS			
WETLAND	JURISDICTION	TOTAL SIZE (AC)	PROPOSED DISTURBANCE (AC)
A	NON-JURISDICTIONAL	2.62	2.62
B	NON-JURISDICTIONAL	0.23	0.23
C	NON-JURISDICTIONAL	0.12	0.12
D	NON-JURISDICTIONAL	0.22	0.22
E	NON-JURISDICTIONAL	0.11	0.10
F	NON-JURISDICTIONAL	0.26	0.23
G	NON-JURISDICTIONAL	0.74	0.65
H	NON-JURISDICTIONAL	0.23	0.23
I	NON-JURISDICTIONAL	0.07	0.07
J	USACE	0.42	0.42
K	NON-JURISDICTIONAL	1.70	1.06
L	USACE	2.76	0.28
M	NYSDEC	0.21	0
N	USACE	0.15	0
O	NON-JURISDICTIONAL	0.09	0.09
P	USACE	0.62	0
Q	USACE	0.12	0.12
R	NYSDEC/USACE	0.06	0
S	NYSDEC	0.15	0
T	NYSDEC/USACE	0.47	0
U	NYSDEC	0.13	0

WARNING:
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Date	Description	No.
REVISIONS		

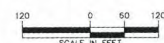
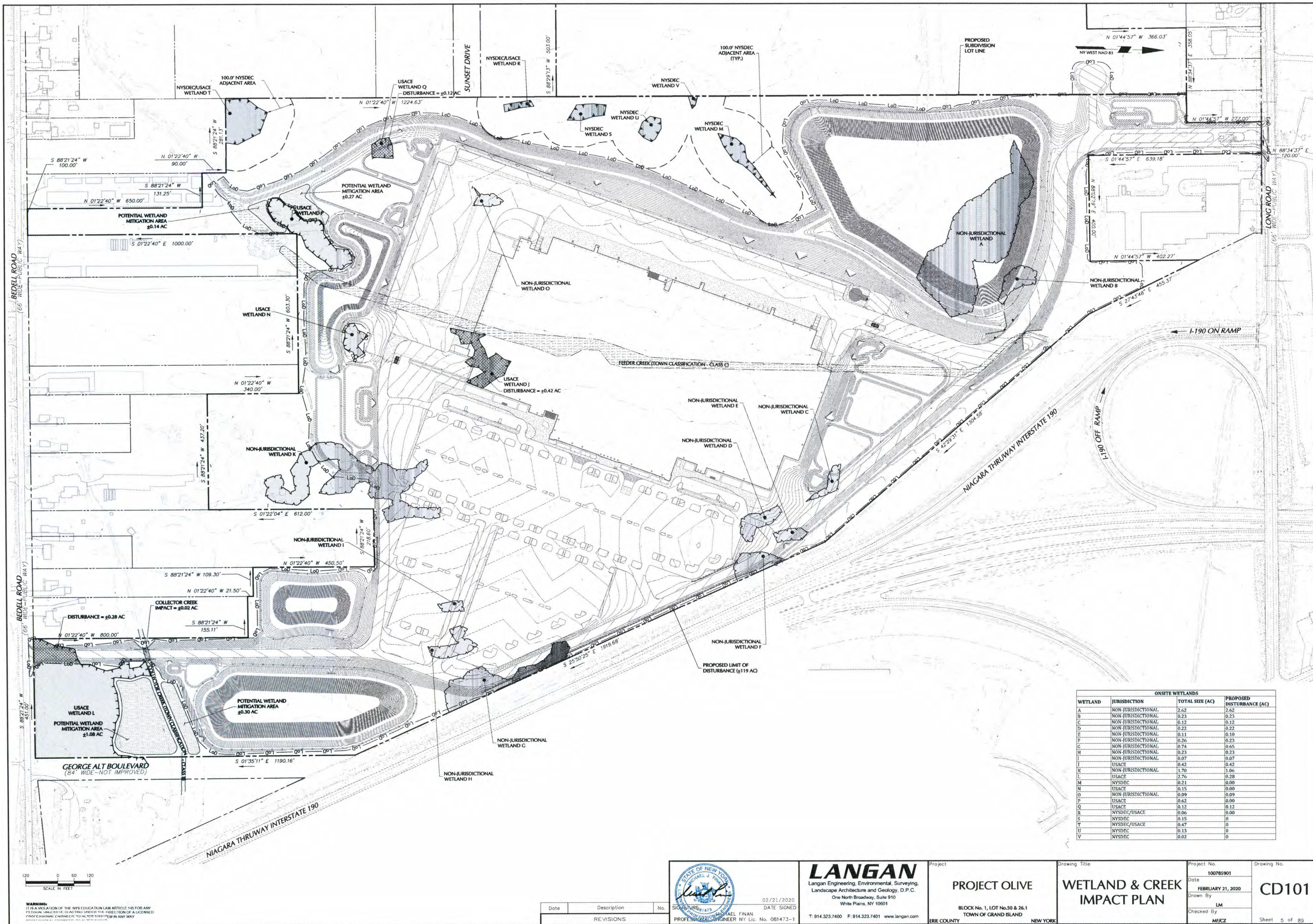


LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**OVERALL EXISTING
CONDITIONS & SITE
REMOVAL PLAN**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM/SS
Checked By
CZ/MF
Drawing No.
CD100
Sheet 4 of 89



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Date	Description	No.
REVISIONS		



02/21/2020
DATE SIGNED
PROF. SEAN FINAN

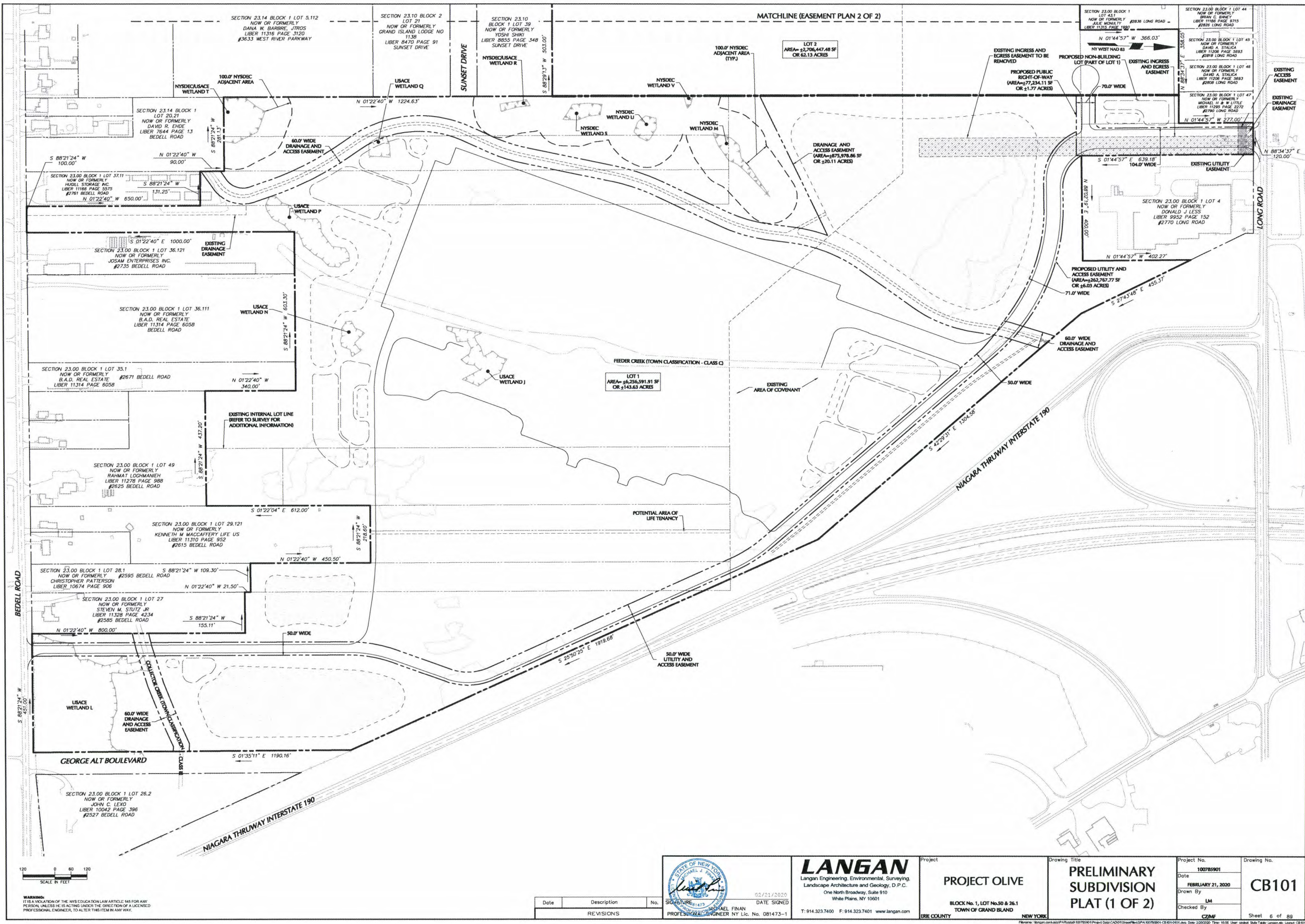
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Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**WETLAND & CREEK
IMPACT PLAN**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM
Checked By
MFCZ
Drawing No.
CD101
Sheet 5 of 85

ONSITE WETLANDS			
WETLAND	JURISDICTION	TOTAL SIZE (AC)	PROPOSED DISTURBANCE (AC)
A	NON-JURISDICTIONAL	2.62	2.62
B	NON-JURISDICTIONAL	0.23	0.23
C	NON-JURISDICTIONAL	0.12	0.12
D	NON-JURISDICTIONAL	0.22	0.22
E	NON-JURISDICTIONAL	0.11	0.10
F	NON-JURISDICTIONAL	0.26	0.23
G	NON-JURISDICTIONAL	0.74	0.65
H	NON-JURISDICTIONAL	0.23	0.23
I	NON-JURISDICTIONAL	0.07	0.07
J	USACE	0.42	0.42
K	NON-JURISDICTIONAL	1.70	1.06
L	USACE	2.76	0.28
M	NYSDEC	0.21	0.00
N	USACE	0.15	0.00
O	NON-JURISDICTIONAL	0.09	0.09
P	USACE	0.62	0.00
Q	USACE	0.12	0.12
R	NYSDEC/USACE	0.06	0.00
S	NYSDEC	0.15	0.00
T	NYSDEC/USACE	0.47	0.00
U	NYSDEC	0.13	0.00
V	NYSDEC	0.02	0.00




PROJECT NO. 100765901

SHEET 6 OF 89

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Date	Description	No.
REVISIONS		



02/21/2020

DATE SIGNED

SIGNATURE: MICHAEL FINAN

PROFESSIONAL ENGINEER NY Lic. No. 081473-1

LANGAN

Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

PROJECT OLIVE

BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title

**PRELIMINARY
SUBDIVISION
PLAT (1 OF 2)**

Project No.
100765901

Date
FEBRUARY 21, 2020

Drawn By
LM

Checked By
CZME

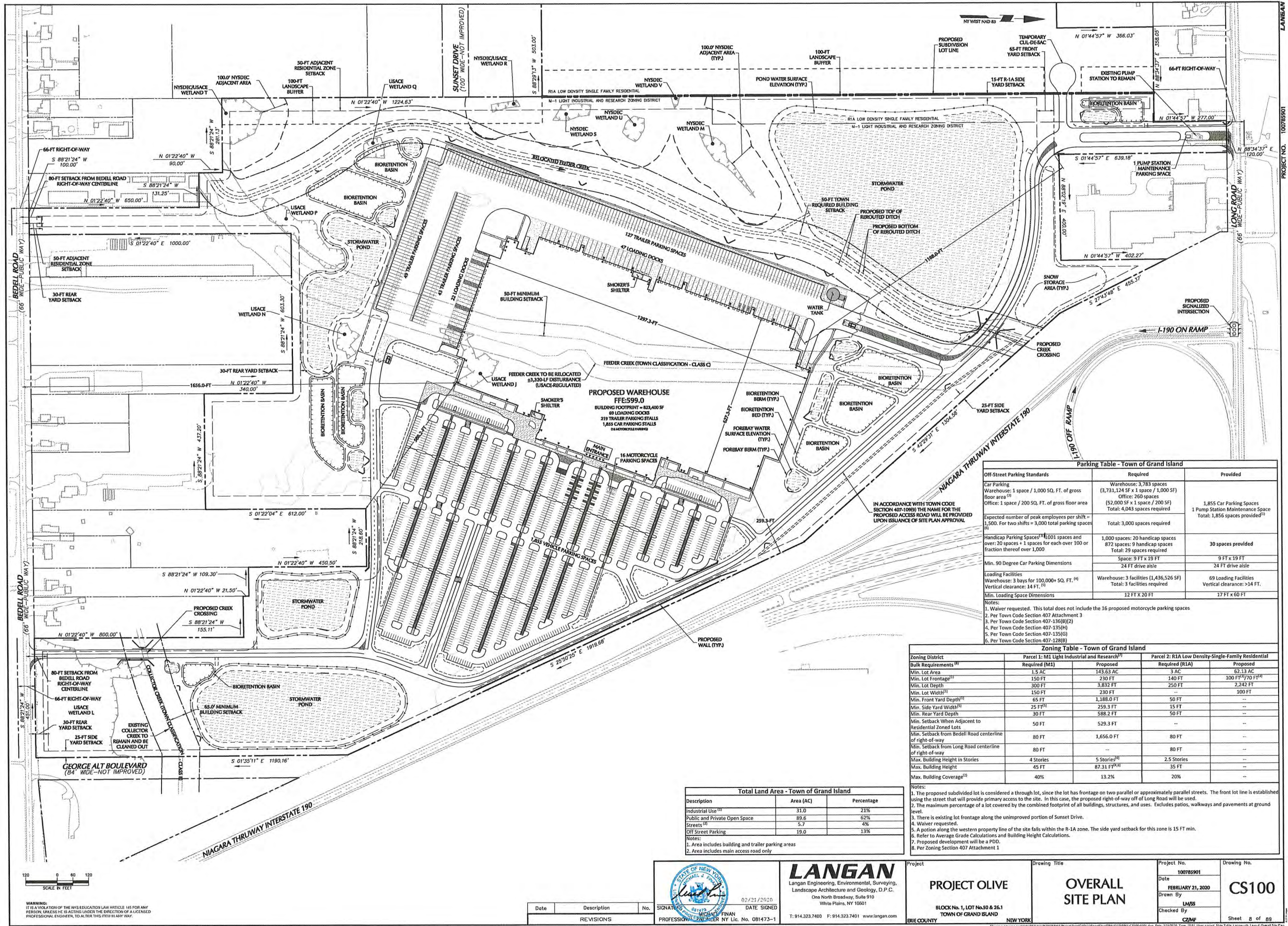
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CB101

Sheet 6 of 89

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Project No. 100785901	Drawing No.
Date FEBRUARY 21, 2020	CB102
Drawn By LM	
Checked By CZME	
Sheet 7 of 80	



Parking Table - Town of Grand Island		
Off-Street Parking Standards	Required	Provided
Car Parking Warehouse: 1 space / 1,000 SQ. FT. of gross floor area ⁽¹⁾ Office: 1 space / 200 SQ. FT. of gross floor area ⁽²⁾	Warehouse: 3,783 spaces (3,731,124 SF x 1 space / 1,000 SF) Office: 260 spaces (52,000 SF x 1 space / 200 SF) Total: 4,043 spaces required	1,855 Car Parking Spaces 1 Pump Station Maintenance Space Total: 1,856 spaces provided ⁽³⁾
Expected number of peak employees per shift = 1,500. For two shifts = 3,000 total parking spaces ⁽⁴⁾	Total: 3,000 spaces required	
Handicap Parking Spaces ⁽⁵⁾ 1,001 spaces and over: 20 spaces + 1 space for each over 100 or fraction thereof over 1,000	1,000 spaces: 20 handicap spaces 872 spaces: 9 handicap spaces Total: 29 spaces required	30 spaces provided
Min. 90 Degree Car Parking Dimensions	Space: 9 FT x 19 FT 24 FT drive aisle	9 FT x 19 FT 24 FT drive aisle
Loading Facilities Warehouse: 3 bays for 100,000+ SQ. FT. ⁽⁶⁾ Vertical clearance: 14 FT. ⁽³⁾	Warehouse: 3 facilities (1,436,526 SF) Total: 3 facilities required	69 Loading Facilities Vertical clearance: >14 FT.
Min. Loading Space Dimensions	12 FT x 20 FT	17 FT x 60 FT

Notes:
1. Waiver requested. This total does not include the 16 proposed motorcycle parking spaces.
2. Per Town Code Section 407 Attachment 3
3. Per Town Code Section 407-136(B)(2)
4. Per Town Code Section 407-135(H)
5. Per Town Code Section 407-135(G)
6. Per Town Code Section 407-128(B)

Zoning Table - Town of Grand Island				
Zoning District	Parcel 1: M1 Light Industrial and Research ⁽¹⁾	Parcel 2: R1A Low Density-Single-Family Residential	Required (R1A)	Proposed
Bulk Requirements ⁽²⁾	Required (M1)	Proposed	Required (R1A)	Proposed
Min. Lot Area	1.5 AC	143.63 AC	3 AC	62.13 AC
Min. Lot Frontage ⁽³⁾	150 FT	230 FT	140 FT	100 FT ⁽⁴⁾ /70 FT ⁽⁴⁾
Min. Lot Depth	300 FT	3,832 FT	250 FT	2,242 FT
Min. Lot Width ⁽⁴⁾	150 FT	230 FT	50 FT	100 FT
Min. Front Yard Depth ⁽⁵⁾	65 FT	1,188.0 FT	50 FT	---
Min. Side Yard Width ⁽⁶⁾	25 FT ⁽¹⁾	259.3 FT	15 FT	---
Min. Rear Yard Depth	30 FT	588.2 FT	50 FT	---
Min. Setback When Adjacent to Residential Zoned Lots	50 FT	529.3 FT	---	---
Min. Setback from Bedell Road centerline of right-of-way	80 FT	1,656.0 FT	80 FT	---
Min. Setback from Long Road centerline of right-of-way	80 FT	---	80 FT	---
Max. Building Height in Stories	4 Stories	5 Stories ⁽⁴⁾	2.5 Stories	---
Max. Building Height	45 FT	87.31 FT ⁽⁶⁾	35 FT	---
Max. Building Coverage ⁽⁷⁾	40%	13.2%	20%	---

Notes:
1. The proposed subdivided lot is considered a through lot, since the lot has frontage on two parallel or approximately parallel streets. The front lot line is established using the street that will provide primary access to the site. In this case, the proposed right-of-way of Long Road will be used.
2. The maximum percentage of a lot covered by the combined footprint of all buildings, structures, and uses. Excludes patios, walkways and pavements at ground level.
3. There is existing lot frontage along the unimproved portion of Sunset Drive.
4. Waiver requested.
5. A portion along the western property line of the site falls within the R-1A zone. The side yard setback for this zone is 15 FT min.
6. Refer to Average Grade Calculations and Building Height Calculations.
7. Proposed development will be a PDD.
8. Per Zoning Section 407 Attachment 1

Total Land Area - Town of Grand Island		
Description	Area (AC)	Percentage
Industrial Use ⁽¹⁾	31.0	21%
Public and Private Open Space	89.6	62%
Streets ⁽²⁾	5.7	4%
Off Street Parking	19.0	13%

Notes:
1. Area includes building and trailer parking areas
2. Area includes main access road only

02/21/2020
DATE SIGNED

SIGNATURE: [Signature]
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

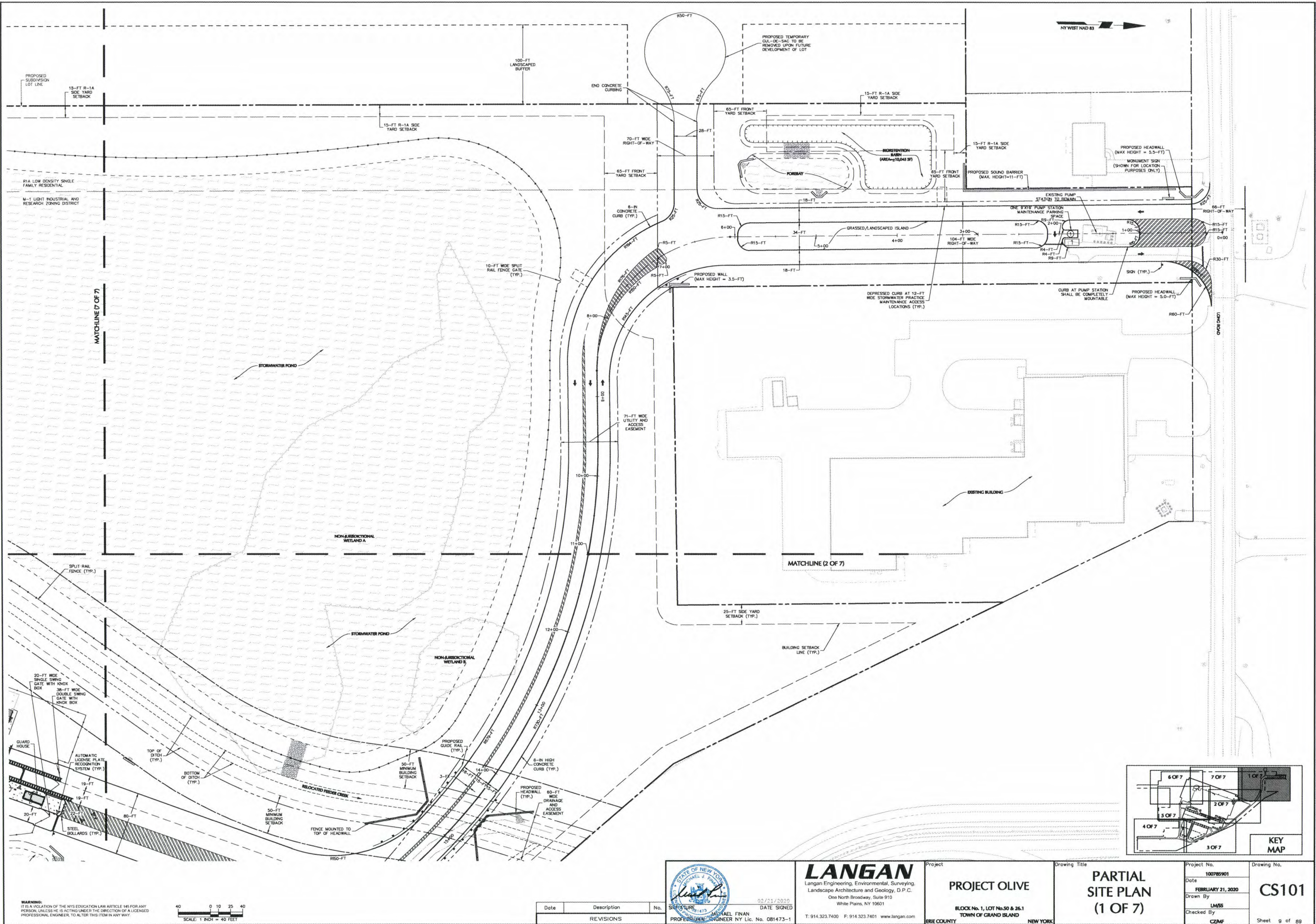
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White Plains, NY 10601
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Project: **PROJECT OLIVE**
Block No. 1, LOT No.50 & 26.1
TOWN OF GRAND ISLAND NEW YORK

Drawing Title: **OVERALL SITE PLAN**

Project No.: 100785901
Date: FEBRUARY 21, 2020
Drawn By: LANS
Checked By: CZMF

Drawing No.: **CS100**
Sheet 8 of 89



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SCALE: 1" = 40' FEET

Date	Description	No.
02/21/2020	DATE SIGNED	
	SIGNATURE	
	PROFESSIONAL ENGINEER NY Lic. No. 081473-1	



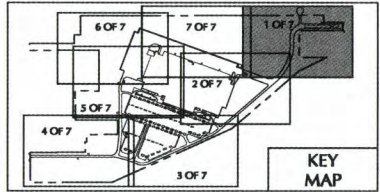
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
SITE PLAN
(1 OF 7)**

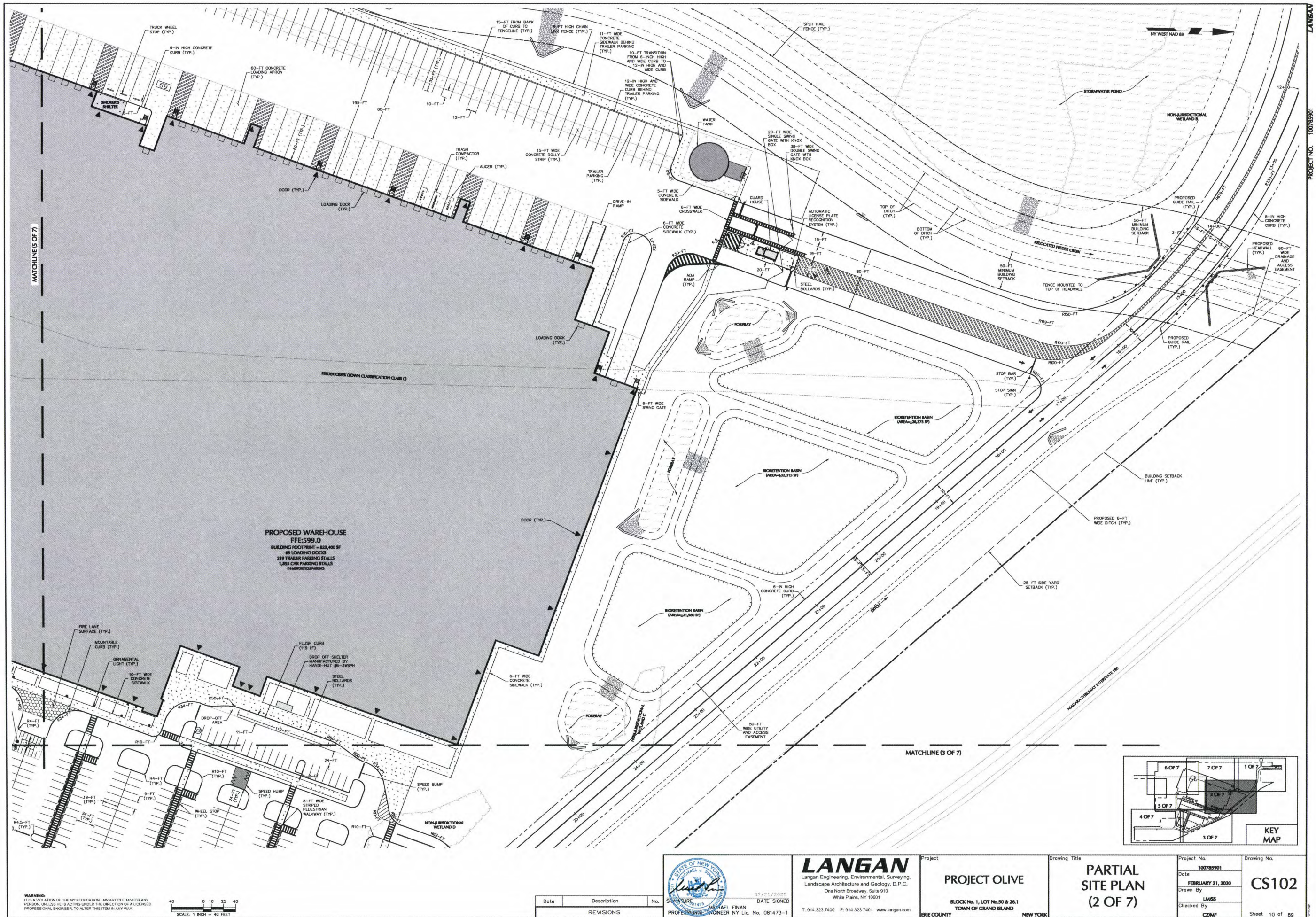
Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF

Drawing No.
CS101
Sheet 9 of 89



PROJECT NO. 100785901

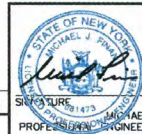
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40 0 10 20 40
SCALE: 1 INCH = 40 FEET

Date	Description	No.
02/21/2020	DATE SIGNED	
	REVISIONS	



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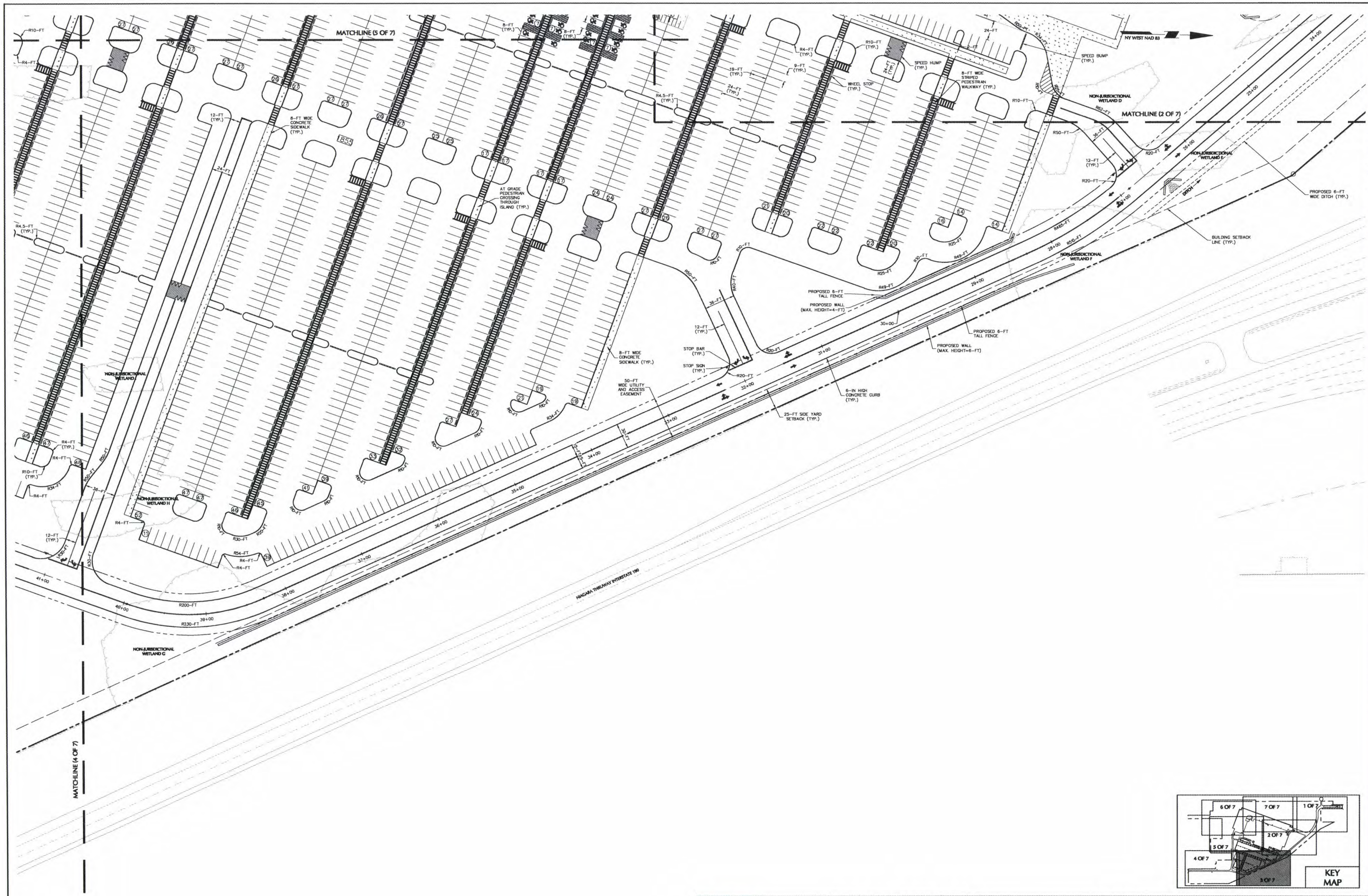
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**PARTIAL
SITE PLAN
(2 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF

Drawing No.
CS102
Sheet 10 of 89

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SCALE: 1" = 40 FEET

Date	Description	No.
REVISIONS		

STATE OF NEW YORK
MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

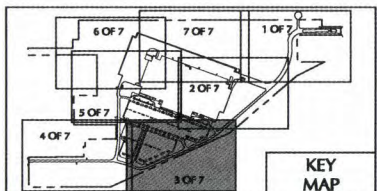
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

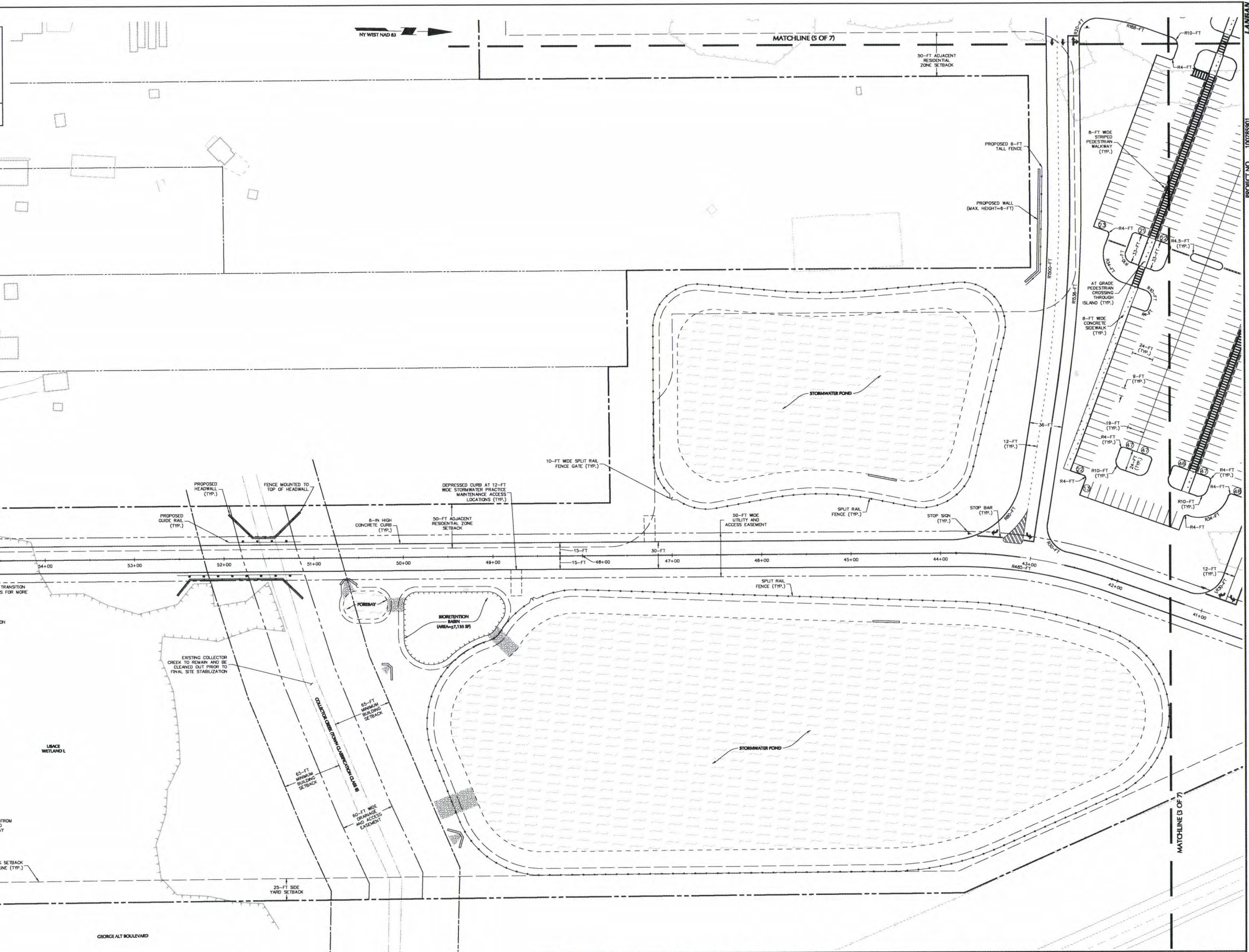
Drawing Title
**PARTIAL
SITE PLAN
(3 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZME

Drawing No.
CS103
Sheet 11 of 89



PROJECT NO. 100785901



Date	Description	No.
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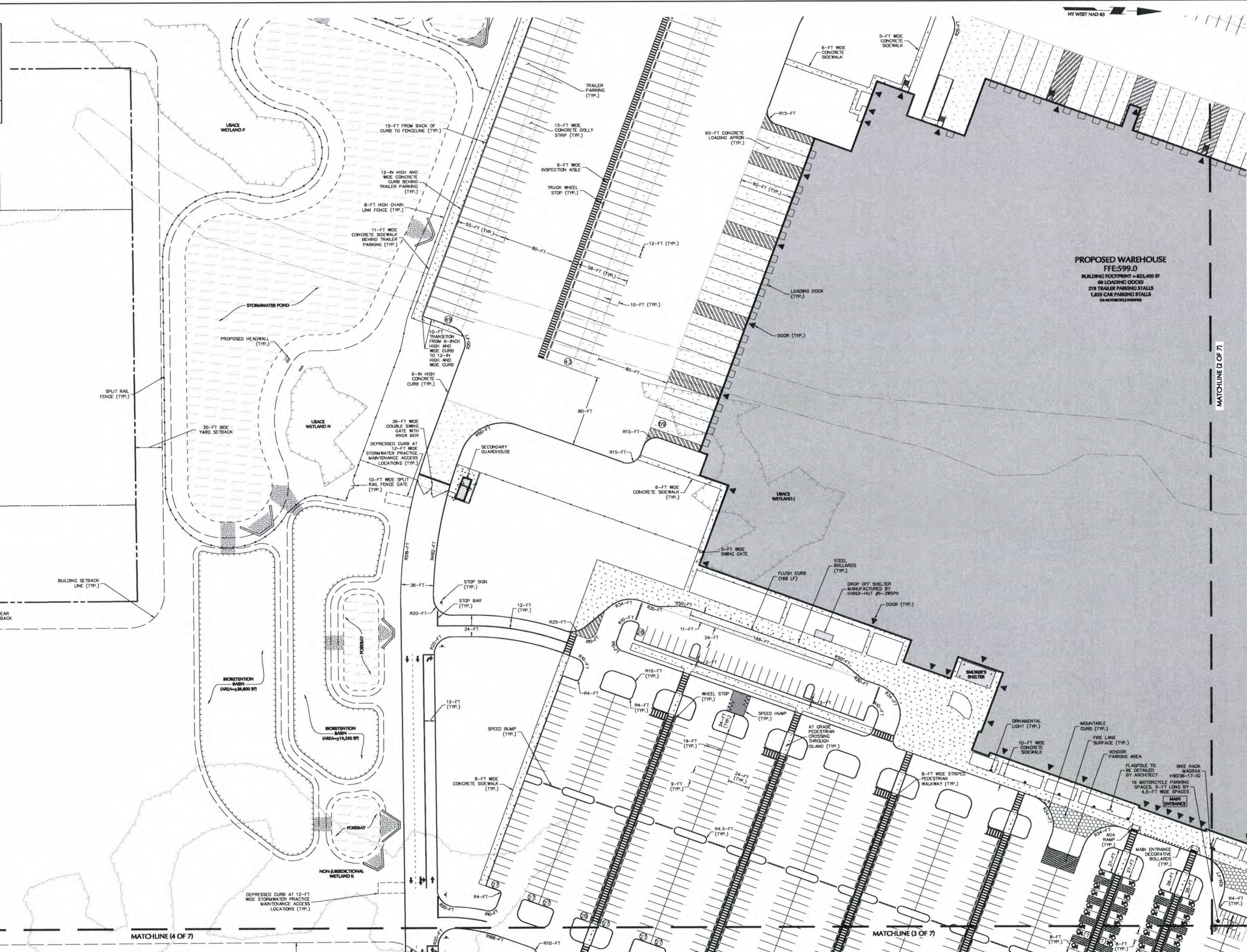
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Drawing No.

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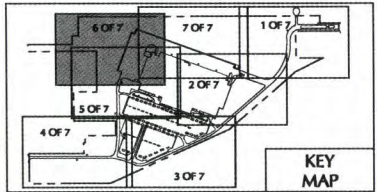
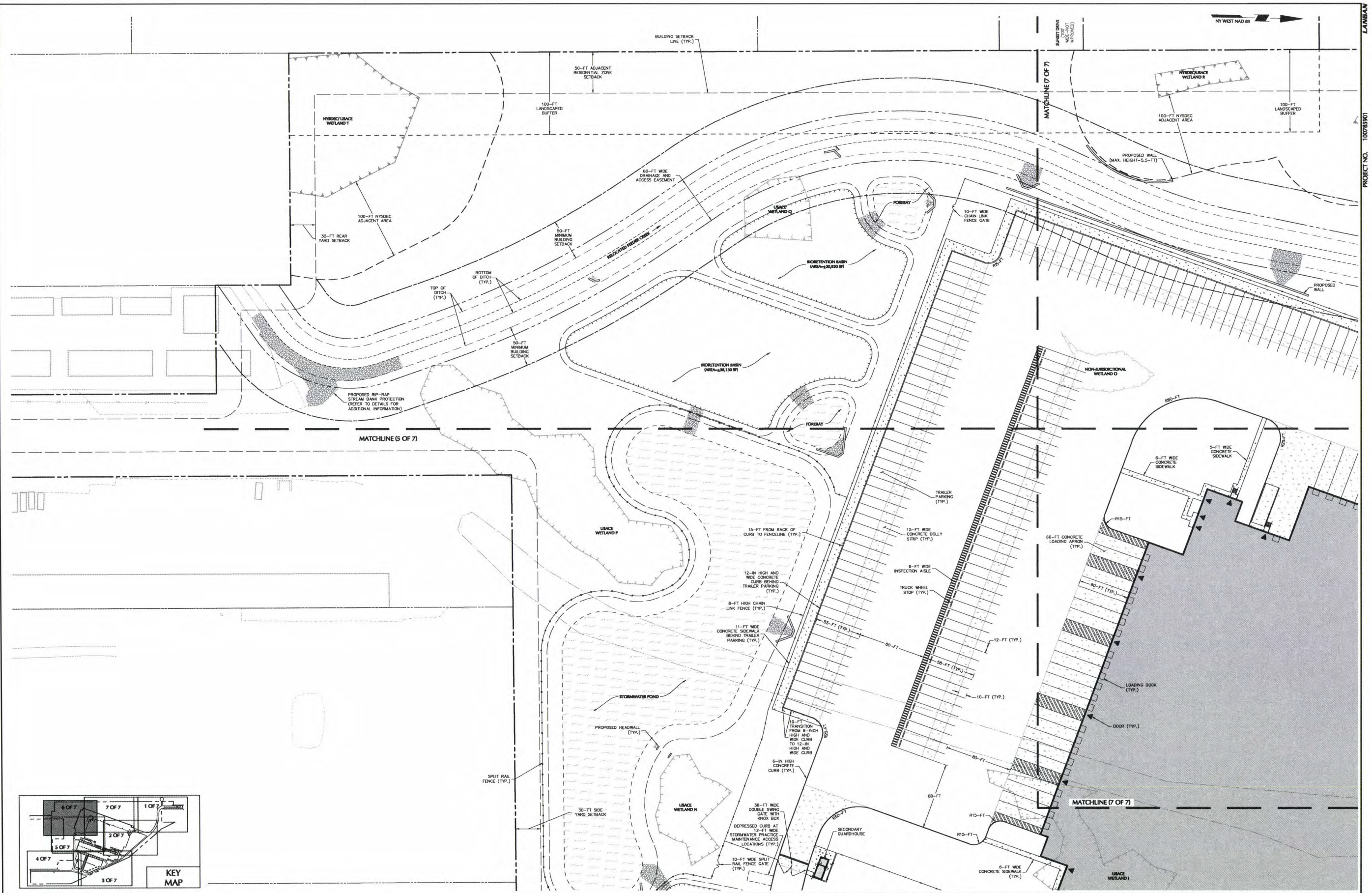
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MATCHLINE (2 OF 7)

Sheet 13 of 89



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SCALE: 1" = 40' FEET

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REVISIONS		

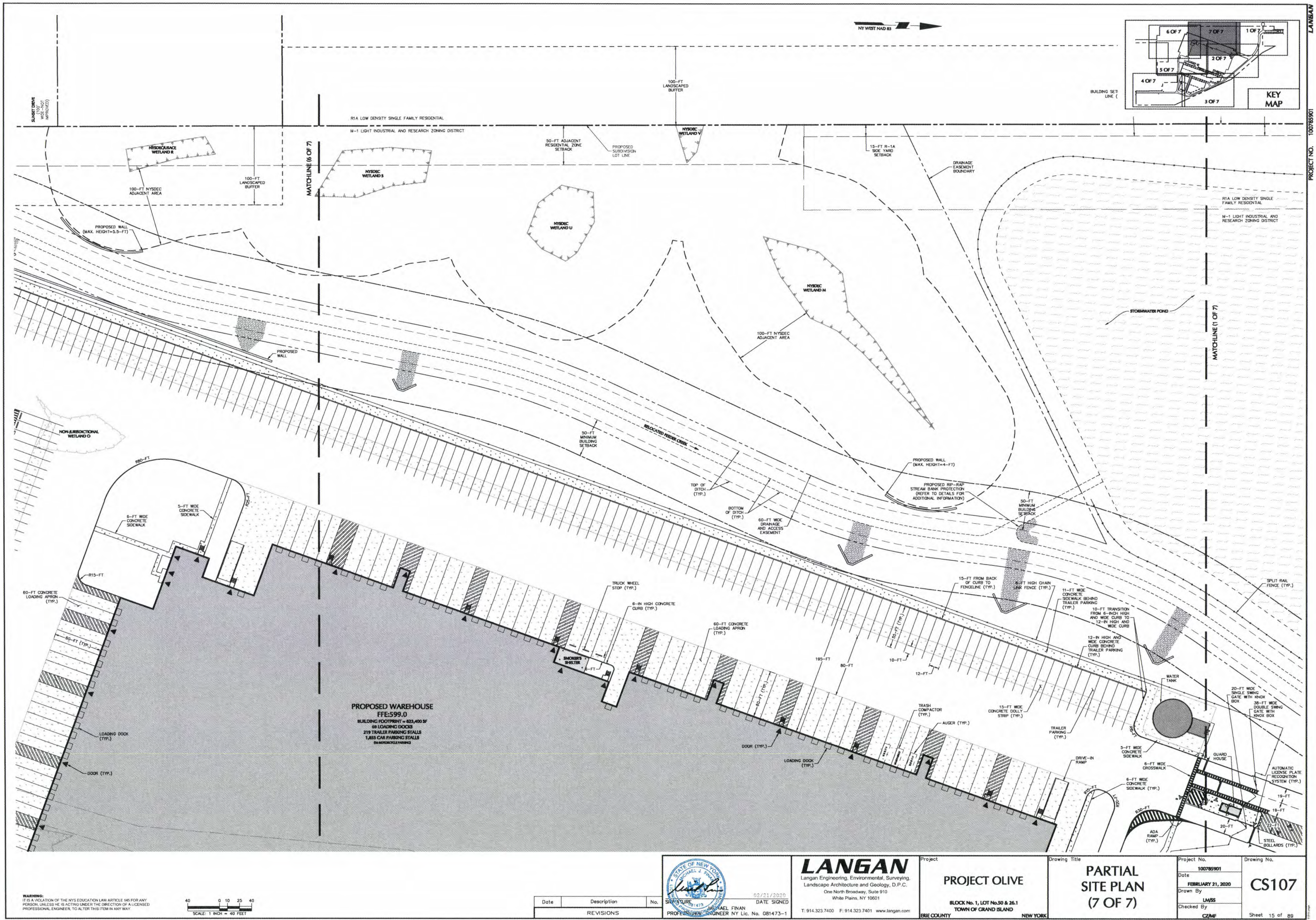
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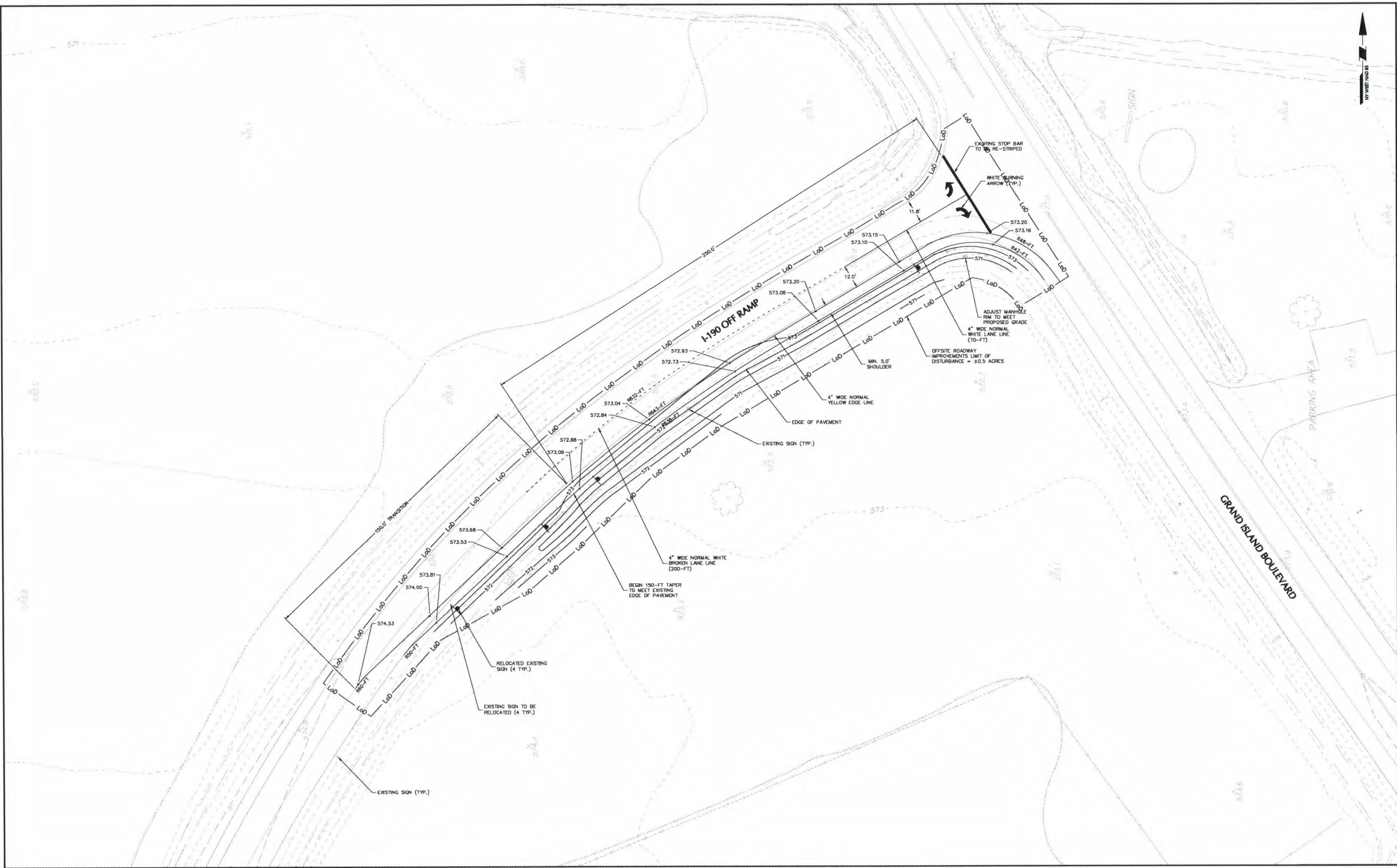
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY

Drawing Title
**PARTIAL
SITE PLAN
(6 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM/SS
Checked By
CZ/MF

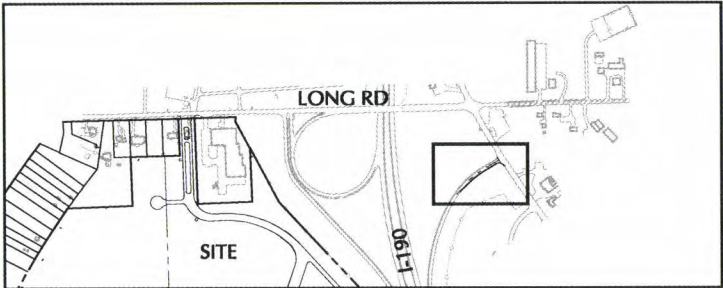
Drawing No.
CS106
Sheet 14 of 89





OFFSITE ROADWAY IMPROVEMENTS

SCALE: 1" = 20'

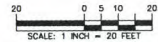


OFFSITE IMPROVEMENT KEY MAP

SCALE: 1" = 500'

LIMIT OF DISTURBANCE	
1.	THE TOTAL LIMIT OF DISTURBANCE FOR OFFSITE IMPROVEMENTS, INCLUDING ROADWAY AND ELECTRICAL IMPROVEMENTS, IS ±1.0 AC.
2.	REFER TO CS202 FOR OFFSITE ELECTRICAL IMPROVEMENTS.

OFFSITE IMPROVEMENTS	
1.	COORDINATE INSTALLATION OF OFFSITE IMPROVEMENTS WITH EXISTING SITE FEATURES. RELOCATE SIGNS AS REQUIRED. REMOVE AND REPLACE GUIDE RAIL AS REQUIRED.
2.	REPAIR PAVEMENT IN ACCORDANCE WITH THE NEW YORK STATE THRUWAY AUTHORITY REQUIREMENTS.
3.	SEED ALL DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING NOTES AND DETAILS.
4.	CONTRACTOR SHALL PREPARE AND SUBMIT A MAINTENANCE AND PROTECTION OF TRAFFIC PLAN PRIOR TO THE START OF CONSTRUCTION.
5.	CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS TO PERFORM WORK WITHIN THE NEW YORK STATE THRUWAY AUTHORITY RIGHT-OF-WAY.



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Date	Description	No.
REVISIONS		



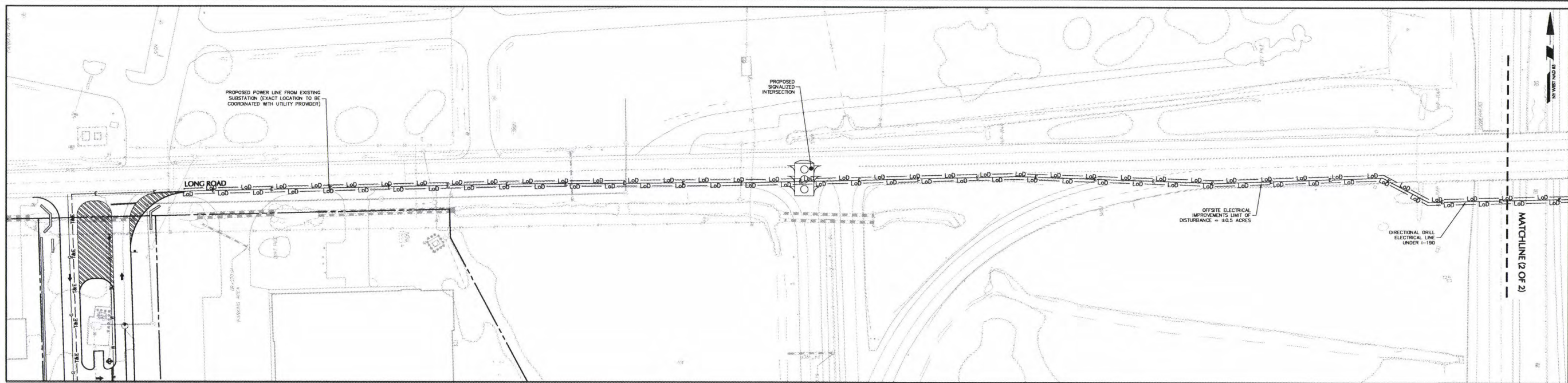
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**OFFSITE
IMPROVEMENT
PLAN (1 OF 2)**

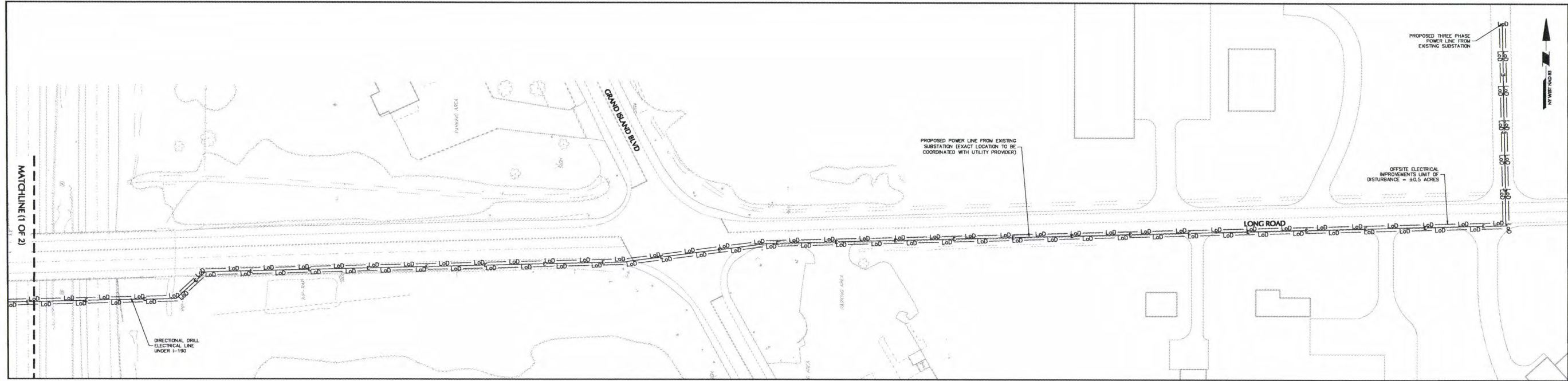
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Date FEBRUARY 21, 2020	
Drawn By LMSS	
Checked By CZMF	

Sheet 16 of 89



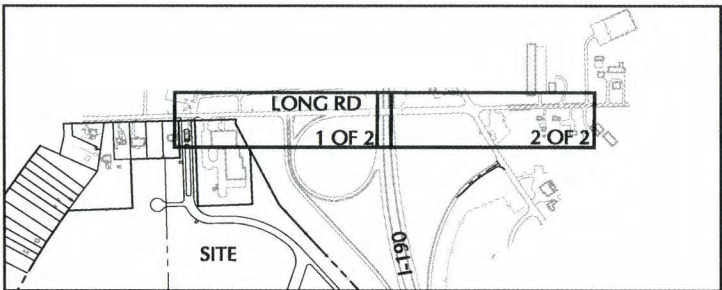
OFFSITE ELECTRICAL IMPROVEMENTS (1 OF 2)

SCALE: 1" = 40'



OFFSITE ELECTRICAL IMPROVEMENTS (2 OF 2)

SCALE: 1" = 40'

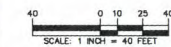


OFFSITE IMPROVEMENT KEY MAP

SCALE: 1" = 500'

- LIMIT OF DISTURBANCE**
1. THE TOTAL LIMIT OF DISTURBANCE FOR OFFSITE IMPROVEMENTS, INCLUDING ROADWAY AND ELECTRIC IMPROVEMENTS, IS ±1.0 AC.
 2. REFER TO CS201 FOR OFFSITE ROADWAY IMPROVEMENTS.

- OFFSITE IMPROVEMENTS**
1. COORDINATE INSTALLATION OF OFFSITE IMPROVEMENTS WITH EXISTING SITE FEATURES. RELOCATE SIGNS AS REQUIRED. REMOVE AND REPLACE GUIDE RAIL AS REQUIRED.
 2. REPAIR PAVEMENT IN ACCORDANCE WITH THE NEW YORK STATE THRUWAY AUTHORITY REQUIREMENTS.
 3. SEED ALL DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING NOTES AND DETAILS.
 4. CONTRACTOR SHALL PREPARE AND SUBMIT A MAINTENANCE AND PROTECTION OF TRAFFIC PLAN PRIOR TO THE START OF CONSTRUCTION.
 5. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS TO PERFORM WORK WITHIN THE NEW YORK STATE THRUWAY AUTHORITY RIGHT-OF-WAY.



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Date	Description	No.
REVISIONS		

STATE OF NEW YORK
MICHAEL J. FINAN
Professional Engineer No. 081473-1
DATE SIGNED: 02/21/2020

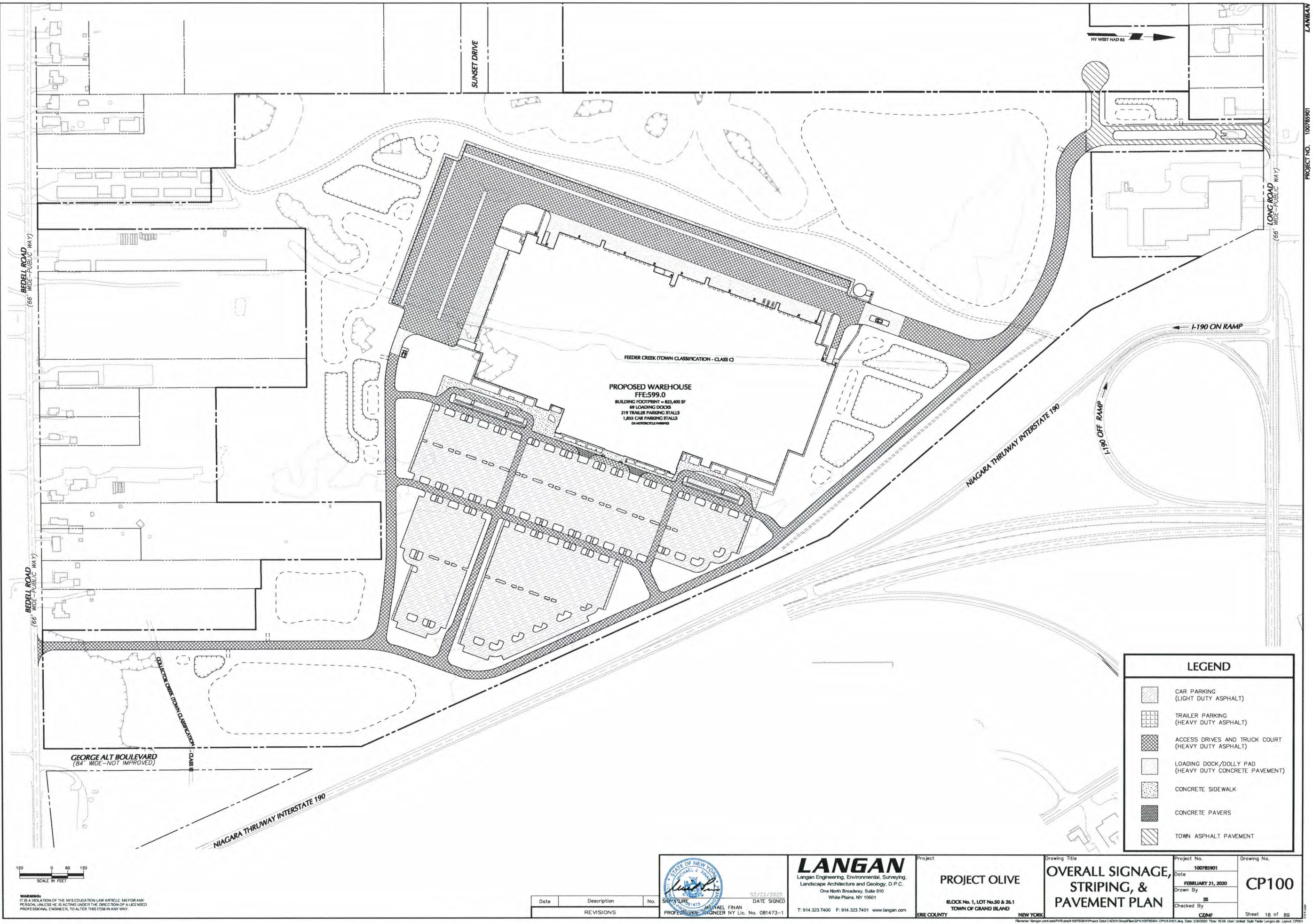
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No.50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
OFFSITE IMPROVEMENT PLAN (2 OF 2)

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF
Drawing No.
CS202
Sheet 17 of 89

Filename: \langan.com\data\PAI-cs202\100785901\Project\DrawCAD\0150new\wsp\PAI\100785901-C510-0102.dwg Date: 2/22/2020 Time: 16:08 User: ccoke Sheet Title: Langan 16 Layout: CS202



Sign Face Legend	
ID	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3 (MOD)	Speed Bump, 5 MPH
S-4	Speed Limit, 10 MPH
S-4 (MOD)	Speed Bump, 10 MPH
S-5(L)	Pedestrian Crossing, Left Arrow
S-7(L)	One Way, Left
S-9(R)	Right Turn Only
S-11(L)	No Left Turn
S-11(R)	No Right Turn
S-14	No Parking Any Time
S-15	ADA Accessible Car Parking
S-17	No Trespassing
S-19	Stormwater Management Practice
S-21	Stop Ahead

NOTES:
(1) Designation "L" symbolizes a left facing arrow, "R" symbolizes a right facing arrow, "S" symbolizes a forward pointing arrow, "A" symbolizes sign face sub group. Reference Site Details for more information on sign facing.
(2) All traffic control signage shall comply with MUTCD requirements.

Tenant Sign Face Legend	
ID	SIGN TYPE
AS-1	Address Sign
AS-2	Trucks/Visitor Usher
AS-5	Yard Rules
AS-6	Truck Entrance
AS-13	No Entrance
AS-15	Exit
AS-16	Wayfinding
AS-17	Drop-Off and Pick-Up Wayfinding
AS-20	Dock Numbers
AS-22	No Parking; Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-CB	Parking Location (AS-OW, AS-BR, AS-RH, AS-GR, AS-PB, AS-YB)

Note: All tenant signage complies with tenant requirements.

Pavement Graphic Legend	
ID	GRAPHIC TYPE
PG-1	Stop Bar
PG-5	Straight Arrow
PG-6L	Left Turn Arrow (PG-6R OPP)
PG-7R	Straight or Right Turn Arrows (PG-7L OPP)
PG-8	Left or Right Turn Arrows
PG-9	Left, Straight, or Right Turn Arrows
PG-10	18" Striping Outline and Fill at 45 Degrees
PG-11	12" Striping Outline and Hatch @ 36° O.C. (White)
PG-12	12" Striping Outline and Hatch @ 36° O.C. (Yellow)
PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	ADA Accessible Car Parking
PG-21	Empty Trailer Slip
PG-22	Loading Dock Parking
PG-24	Warning Line



SCALE: 1" = 40' FEET

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Date	Description	No.
REVISIONS		

STATE OF NEW YORK
MICHAEL J. FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1
02/21/2020
DATE SIGNED

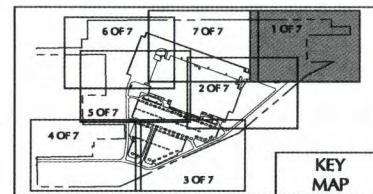
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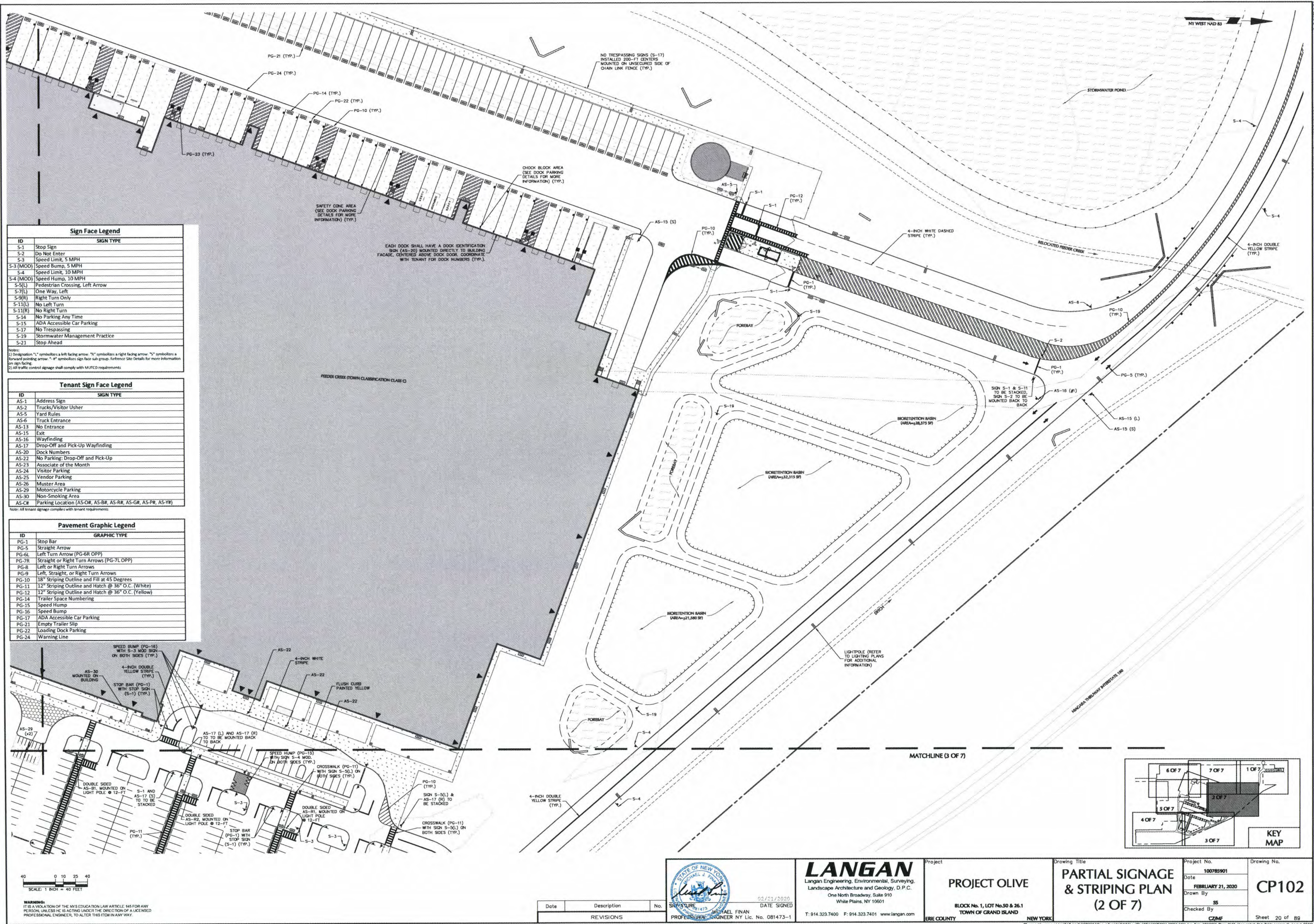
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK
ERIE COUNTY

Drawing Title
**PARTIAL SIGNAGE
& STRIPING PLAN
(1 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
SS
Checked By
CZMF

Drawing No.
CP101
Sheet 19 of 89

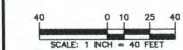
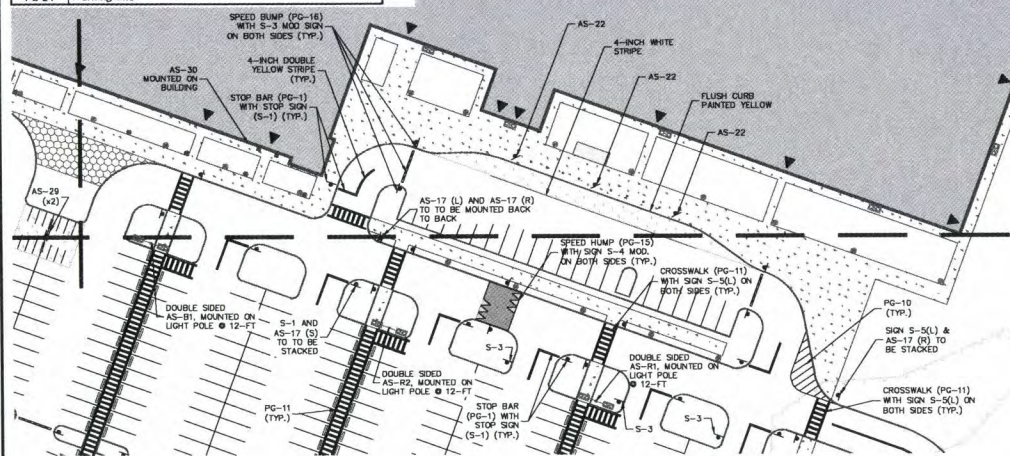




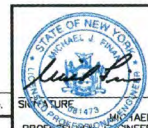
Sign Face Legend	
ID	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3 (MOD)	Speed Bump, 5 MPH
S-4	Speed Limit, 10 MPH
S-4 (MOD)	Speed Hump, 10 MPH
S-5(L)	Pedestrian Crossing, Left Arrow
S-7(L)	One Way, Left
S-9(R)	Right Turn Only
S-11(L)	No Left Turn
S-11(R)	No Right Turn
S-14	No Parking Any Time
S-15	ADA Accessible Car Parking
S-17	No Trespassing
S-19	Stormwater Management Practice
S-21	Stop Ahead
Notes:	
[1] Designation "L" symbolizes a left facing arrow. "R" symbolizes a right facing arrow. "N" symbolizes a forward pointing arrow. "M" symbolizes sign face sub group. Reference data details for more information on sign facing.	
[2] All traffic control signage shall comply with MUTCD requirements.	

Tenant Sign Face Legend	
ID	SIGN TYPE
AS-1	Address Sign
AS-2	Trucks/Visitor Usher
AS-5	Yard Rules
AS-6	Truck Entrance
AS-13	No Entrance
AS-15	Exit
AS-16	Wayfinding
AS-17	Drop-Off and Pick-Up Wayfinding
AS-20	Dock Numbers
AS-22	No Parking: Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-CR	Parking Location (AS-OR, AS-BR, AS-RR, AS-GR, AS-PR, AS-YR)
Notes: All tenant signage complies with tenant requirements.	

Pavement Graphic Legend	
ID	GRAPHIC TYPE
PG-1	Stop Bar
PG-5	Straight Arrow
PG-6L	Left Turn Arrow (PG-6R OPP)
PG-7R	Straight or Right Turn Arrows (PG-7L OPP)
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PG-9	Left, Straight, or Right Turn Arrows
PG-10	18" Striping Outline and Fill at 45 Degrees
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PG-14	Trailer Space Numbering
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PG-16	Speed Bump
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PG-21	Empty Trailer Slip
PG-22	Loading Dock Parking
PG-24	Warning Line



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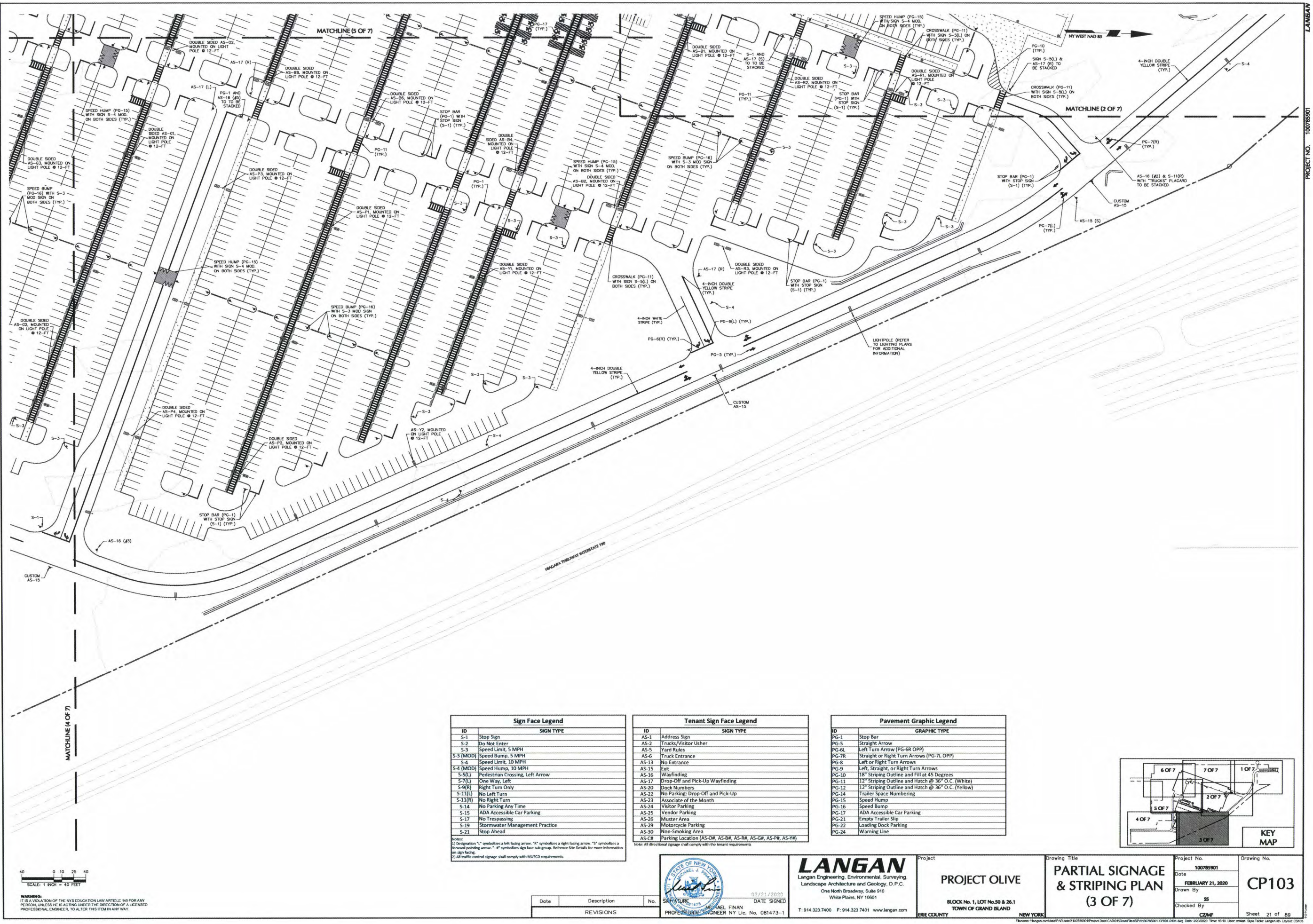
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL SIGNAGE
& STRIPING PLAN
(2 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
SS
Checked By
CZ/MF
Drawing No.
CP102
Sheet 20 of 89

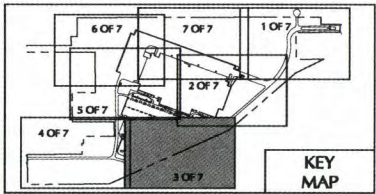
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Sign Face Legend	
ID	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3 (MOD)	Speed Bump, 5 MPH
S-4	Speed Limit, 10 MPH
S-4 (MOD)	Speed Bump, 10 MPH
S-5(L)	Pedestrian Crossing, Left Arrow
S-7(L)	One Way, Left
S-9(R)	Right Turn Only
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S-14	No Parking Any Time
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Pavement Graphic Legend	
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PG-1	Stop Bar
PG-5	Straight Arrow
PG-6L	Left Turn Arrow (PG-6R OPP)
PG-7R	Straight or Right Turn Arrows (PG-7L OPP)
PG-8	Left or Right Turn Arrows
PG-9	Left, Straight, or Right Turn Arrows
PG-10	18" Striping Outline and Fill at 45 Degrees
PG-11	12" Striping Outline and Hatch @ 36" O.C. (White)
PG-12	12" Striping Outline and Hatch @ 36" O.C. (Yellow)
PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	ADA Accessible Car Parking
PG-21	Empty Trailer Slip
PG-22	Loading Dock Parking
PG-24	Warning Line



SCALE: 1" = 40 FEET

WARNING:
IT IS A VIOLATION OF THE NY'S EDUCATION LAW ARTICLE 145 FOR ANY
PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS PLAN IN ANY WAY.

Date	Description	No.
REVISIONS		



02/21/2020

DATE SIGNED

PROFESSIONAL ENGINEER NY Lic. No. 081473-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

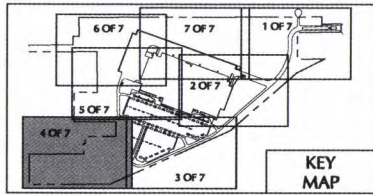
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL SIGNAGE
& STRIPING PLAN
(3 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
SS
Checked By
CZ/MF

Drawing No.
CP103
Sheet 21 of 89

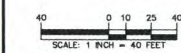
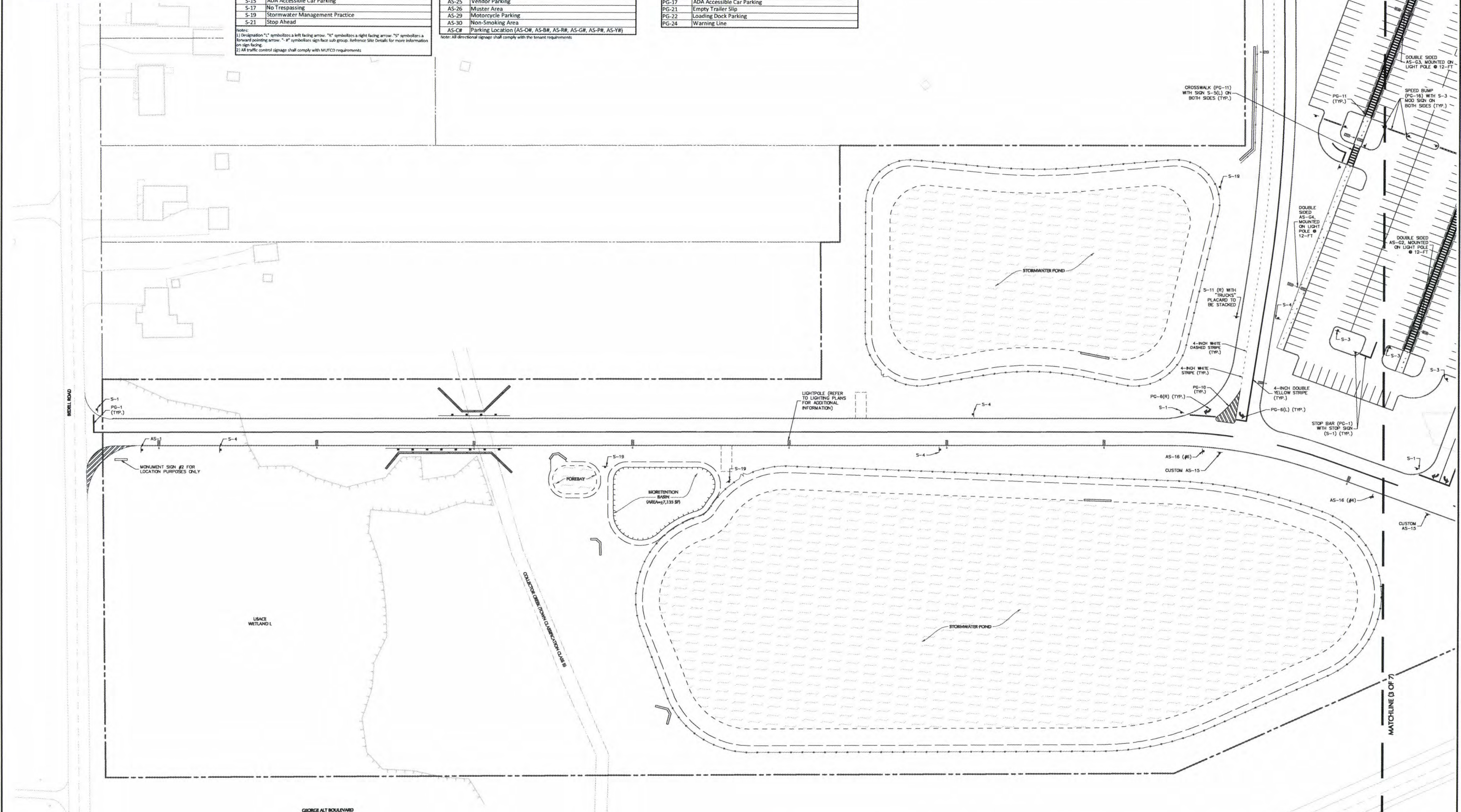
Filename: \\langan.com\langan\Projects\100785901\Drawings\CP103\CP103.dwg Date: 2/20/2020 Time: 10:10 User: czmf Style Table: Langan.dwg Layout: CS103



Sign Face Legend	
ID	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3 (MOD)	Speed Bump, 5 MPH
S-4	Speed Limit, 10 MPH
S-4 (MOD)	Speed Hump, 10 MPH
S-5(L)	Pedestrian Crossing, Left Arrow
S-7(L)	One Way, Left
S-9(R)	Right Turn Only
S-11(L)	No Left Turn
S-11(R)	No Right Turn
S-14	No Parking Any Time
S-15	ADA Accessible Car Parking
S-17	No Trespassing
S-19	Stormwater Management Practice
S-21	Stop Ahead

Tenant Sign Face Legend	
ID	SIGN TYPE
AS-1	Address Sign
AS-2	Trucks/Visitor Usher
AS-5	Yard Rules
AS-6	Truck Entrance
AS-13	No Entrance
AS-15	Exit
AS-16	Wayfinding
AS-17	Drop-Off and Pick-Up Wayfinding
AS-20	Dock Numbers
AS-22	No Parking: Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-C#	Parking Location (AS-OW, AS-B#, AS-R#, AS-G#, AS-P#, AS-Y#)

Pavement Graphic Legend	
ID	GRAPHIC TYPE
PG-1	Stop Bar
PG-5	Straight Arrow
PG-6L	Left Turn Arrow (PG-6R OPP)
PG-7R	Straight or Right Turn Arrows (PG-7L OPP)
PG-8	Left or Right Turn Arrows
PG-9	Left, Straight, or Right Turn Arrows
PG-10	18" Striping Outline and Fill at 45 Degrees
PG-11	12" Striping Outline and Hatch @ 36" O.C. (White)
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PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	ADA Accessible Car Parking
PG-21	Empty Trailer Slip
PG-22	Loading Dock Parking
PG-24	Warning Line



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS FROM IN ANY WAY.

Date	Description	No.
REVISIONS		

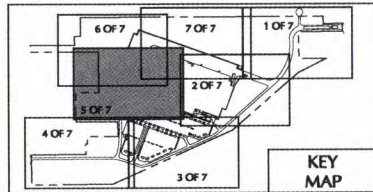
LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL SIGNAGE
& STRIPING PLAN
(4 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
SS
Checked By
CZMF
Drawing No.
CP104
Sheet 22 of 89

PROJECT NO. 100785901
DRAWING NO. CP104
SHEET 22 OF 89



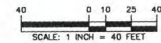
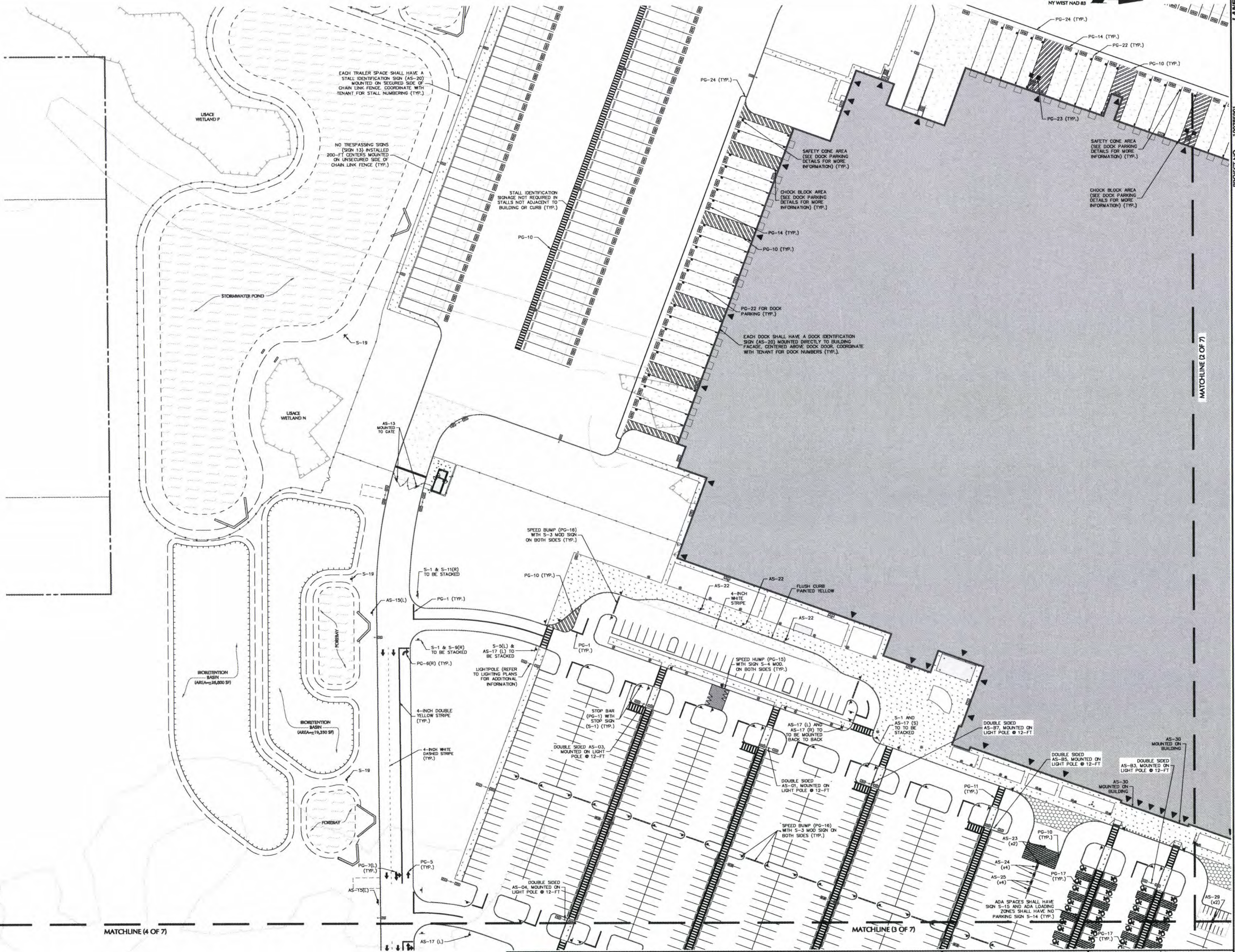
Sign Face Legend	
ID	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3 (MOD)	Speed Bump, 5 MPH
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S-13(R)	No Right Turn
S-14	No Parking Any Time
S-15	ADA Accessible Car Parking
S-17	No Trespassing
S-19	Stormwater Management Practice
S-21	Stop Ahead

Notes:
1) Designation "L" symbolizes a left facing arrow. "R" symbolizes a right facing arrow. "S" symbolizes a speed limit sign.
2) All traffic control signage shall comply with MUTCD requirements.

Tenant Sign Face Legend	
ID	SIGN TYPE
AS-1	Address Sign
AS-2	Trucks/Visitor Usher
AS-5	Yard Rules
AS-6	Truck Entrance
AS-13	No Entrance
AS-15	Exit
AS-16	Wayfinding
AS-17	Drop-Off and Pick-Up Wayfinding
AS-20	Dock Numbers
AS-22	No Parking: Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-31	Parking Location (AS-01, AS-02, AS-03, AS-04, AS-05, AS-06, AS-07, AS-08, AS-09, AS-10, AS-11, AS-12, AS-13, AS-14, AS-15, AS-16, AS-17, AS-18, AS-19, AS-20, AS-21, AS-22, AS-23, AS-24, AS-25, AS-26, AS-27, AS-28, AS-29, AS-30, AS-31, AS-32, AS-33, AS-34, AS-35, AS-36, AS-37, AS-38, AS-39, AS-40, AS-41, AS-42, AS-43, AS-44, AS-45, AS-46, AS-47, AS-48, AS-49, AS-50, AS-51, AS-52, AS-53, AS-54, AS-55, AS-56, AS-57, AS-58, AS-59, AS-60, AS-61, AS-62, AS-63, AS-64, AS-65, AS-66, AS-67, AS-68, AS-69, AS-70, AS-71, AS-72, AS-73, AS-74, AS-75, AS-76, AS-77, AS-78, AS-79, AS-80, AS-81, AS-82, AS-83, AS-84, AS-85, AS-86, AS-87, AS-88, AS-89, AS-90, AS-91, AS-92, AS-93, AS-94, AS-95, AS-96, AS-97, AS-98, AS-99, AS-100)

Notes:
1) All tenant signage complies with tenant requirements.

Pavement Graphic Legend	
ID	GRAPHIC TYPE
PG-1	Stop Bar
PG-5	Straight Arrow
PG-6(L)	Left Turn Arrow (PG-6R OPP)
PG-7(R)	Straight or Right Turn Arrows (PG-7L OPP)
PG-8	Left or Right Turn Arrows
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PG-10	18" Striping Outline and Fill at 45 Degrees
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PG-15	Speed Hump
PG-16	Speed Bump
PG-17	ADA Accessible Car Parking
PG-21	Empty Trailer Slip
PG-22	Loading Dock Parking
PG-24	Warning Line



WARNING: I am a professional engineer under the supervision of a licensed professional engineer, to alter this item in any way.

Date	Description	No.
REVISIONS		



LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL SIGNAGE
& STRIPING PLAN
(5 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
SS
Checked By
CZMF

Drawing No.
CP105
Sheet 23 of 89

Filename: \langan\100785901\100785901-CP105.dwg Date: 2/20/2020 Time: 10:10 User: czmf Style: Langan.dwg Layout: CS 89

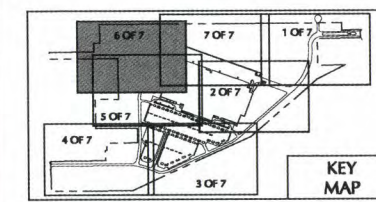
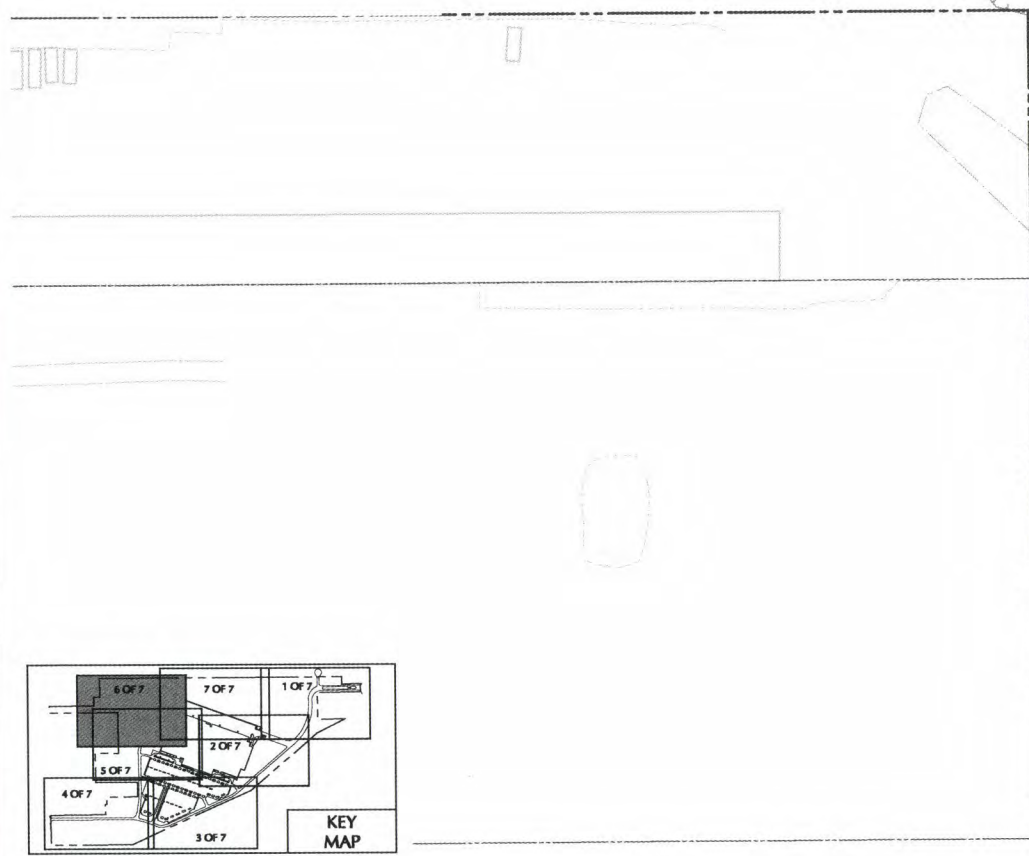
Sign Face Legend	
ID	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3 (MOD)	Speed Bump, 5 MPH
S-4	Speed Limit, 10 MPH
S-4 (MOD)	Speed Hump, 10 MPH
S-5(L)	Pedestrian Crossing, Left Arrow
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S-14	No Parking Any Time
S-15	ADA Accessible Car Parking
S-17	No Trespassing
S-19	Stormwater Management Practice
S-21	Stop Ahead

Notes:
1) Designation "L" symbolizes a left facing arrow. "R" symbolizes a right facing arrow. "M" symbolizes a forward pointing arrow. "P" symbolizes a sign face size group. Reference Site Details for more information on sign facing.
2) All traffic control signage shall comply with MUTCD requirements.

Tenant Sign Face Legend	
ID	SIGN TYPE
AS-1	Address Sign
AS-2	Trucks/Visitor Usher
AS-5	Yard Rules
AS-6	Truck Entrance
AS-13	No Entrance
AS-15	Exit
AS-16	Wayfinding
AS-17	Drop-Off and Pick-Up Wayfinding
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AS-25	Vendor Parking
AS-26	Muster Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-31	Parking Location (AS-O#, AS-B#, AS-R#, AS-G#, AS-P#, AS-Y#)

Note: All tenant signage complies with tenant requirements.

Pavement Graphic Legend	
ID	GRAPHIC TYPE
PG-1	Stop Bar
PG-5	Straight Arrow
PG-6L	Left Turn Arrow (PG-6R OPP)
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PG-17	ADA Accessible Car Parking
PG-21	Empty Trailer Slip
PG-22	Loading Dock Parking
PG-24	Warning Line



40 0 10 25 40
SCALE: 1 INCH = 40 FEET

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 140 FOR ANY
PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED
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Date	Description	No.
REVISIONS		

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Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY

Drawing Title
**PARTIAL SIGNAGE
& STRIPING PLAN
(6 OF 7)**
NEW YORK

Project No.
100785901

Date
FEBRUARY 21, 2020

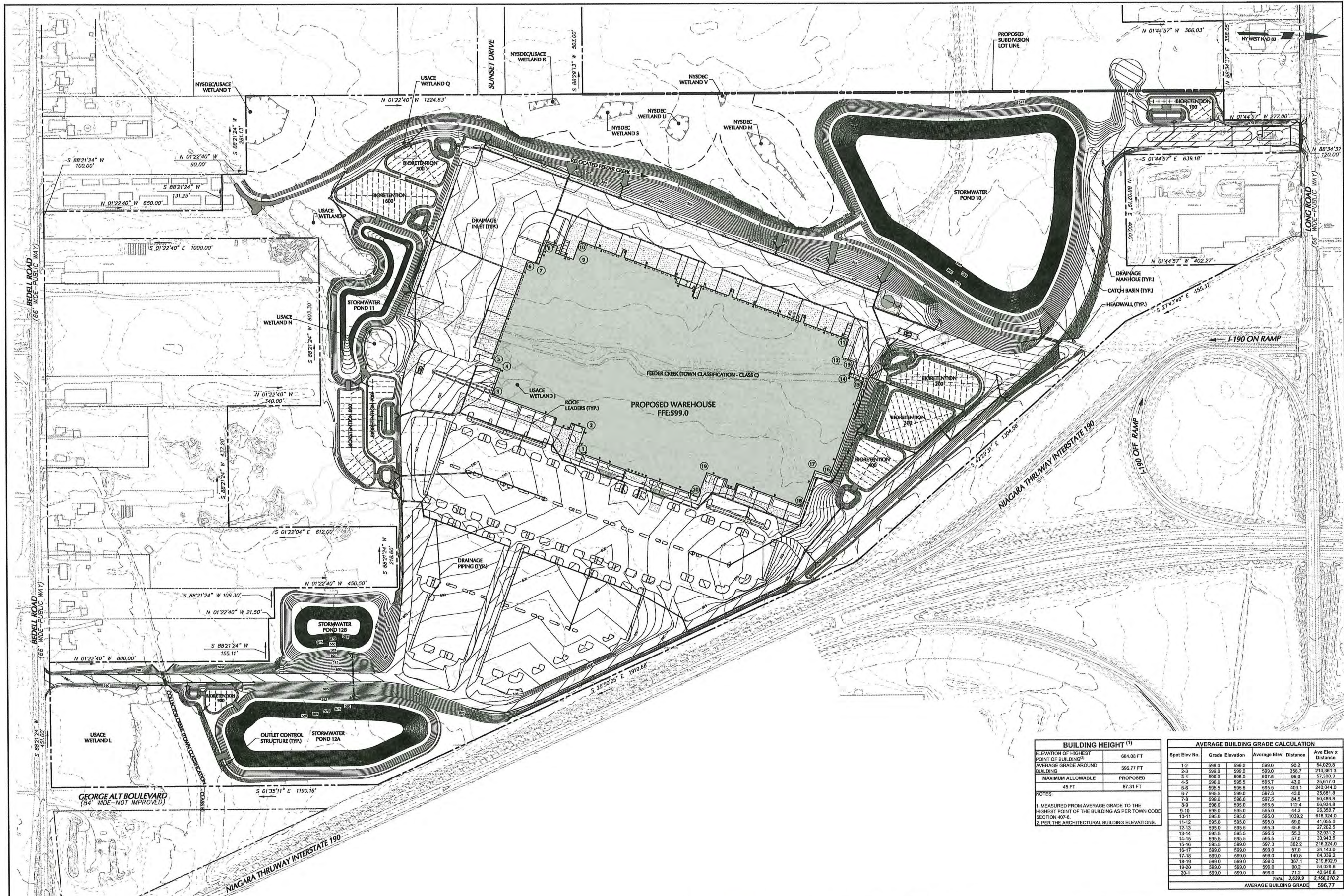
Drawn By
35

Checked By
CZMF

Drawing No.
CP106

Sheet 24 of 89

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Date	Description	No.
REVISIONS		

02/21/2020
DATE SIGNED

PROFESSIONAL ENGINEER NY Lic. No. 081473-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**OVERALL
GRADING &
DRAINAGE PLAN**

Project No.
100785901

Date
FEBRUARY 21, 2020

Drawn By
LM/SS

Checked By
CZ/MF

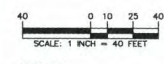
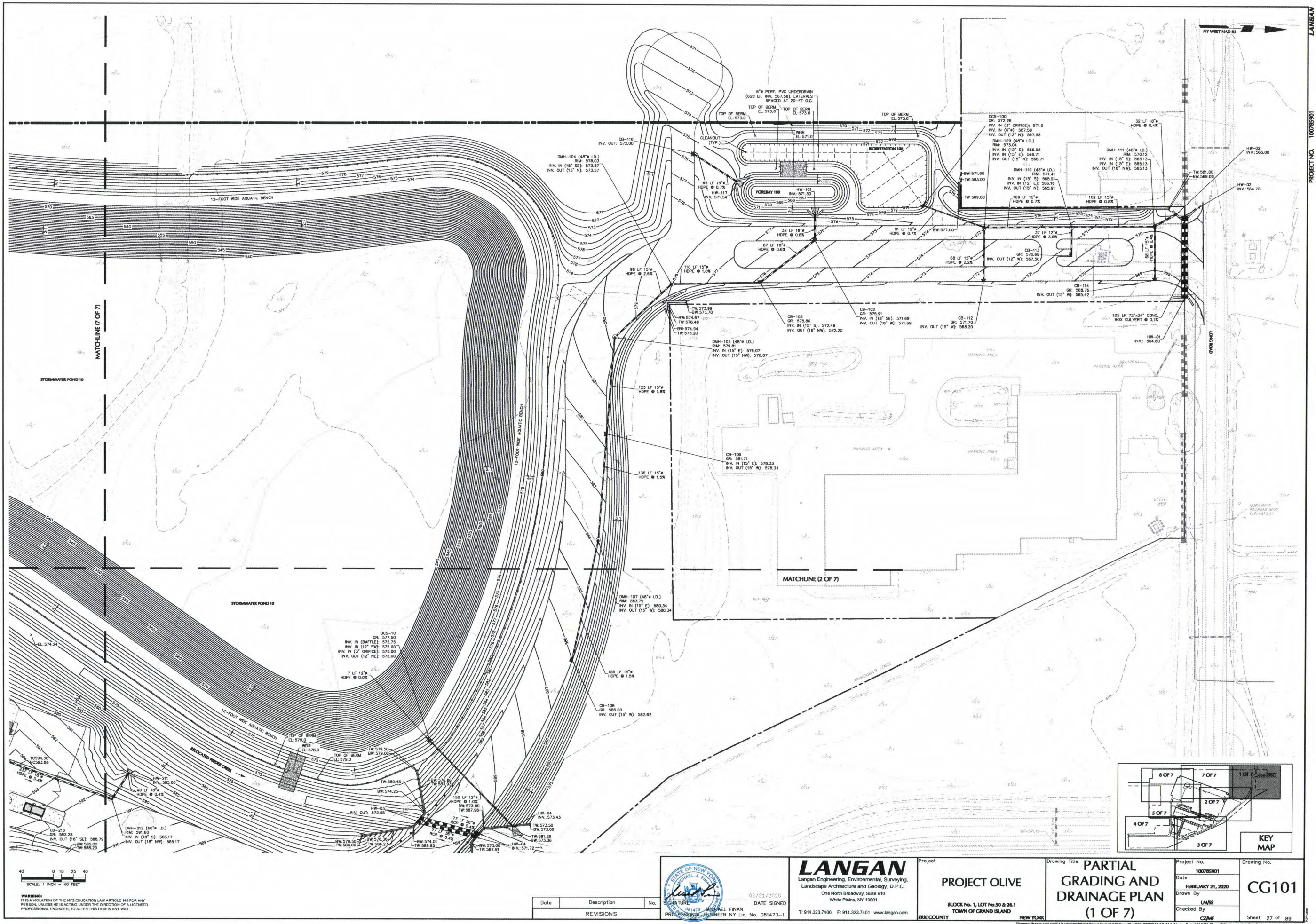
Drawing No.
CG100

Sheet 26 of 89

BUILDING HEIGHT ⁽¹⁾	
ELEVATION OF HIGHEST POINT OF BUILDING ⁽²⁾	684.08 FT
AVERAGE GRADE AROUND BUILDING	596.77 FT
MAXIMUM ALLOWABLE	PROPOSED
45 FT	87.31 FT
NOTES:	
1. MEASURED FROM AVERAGE GRADE TO THE HIGHEST POINT OF THE BUILDING AS PER TOWN CODE SECTION 407-8.	
2. PER THE ARCHITECTURAL BUILDING ELEVATIONS.	

AVERAGE BUILDING GRADE CALCULATION				
Spot Elev No.	Grade Elevation	Average Elev	Distance	Ave Elev x Distance
1-2	599.0	599.0	90.2	54,029.8
2-3	599.0	599.0	358.7	214,061.3
3-4	599.0	599.0	95.9	57,300.1
4-5	596.0	595.5	43.0	25,617.0
5-6	595.5	595.5	403.1	240,044.0
6-7	595.5	599.0	43.0	25,681.8
7-8	599.0	596.0	84.5	50,488.8
8-9	599.0	595.0	112.4	66,934.8
9-10	595.0	595.0	44.3	26,358.7
10-11	595.0	595.0	1039.2	618,324.0
11-12	595.0	595.0	69.0	41,055.0
12-13	595.0	595.5	45.8	27,282.5
13-14	595.5	595.5	55.3	32,931.2
14-15	595.5	595.5	57.0	33,943.5
15-16	595.5	599.0	382.2	216,324.0
16-17	599.0	599.0	57.0	34,143.0
17-18	599.0	599.0	149.8	84,339.2
18-19	599.0	599.0	387.1	219,852.9
19-20	599.0	599.0	90.2	54,029.8
20-1	599.0	599.0	71.2	42,648.8
Total			2,629.9	2,165,216.3
AVERAGE BUILDING GRADE				596.77

FILED



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DRAWING IN ANY WAY.

Date	Description	No.
REVISIONS		

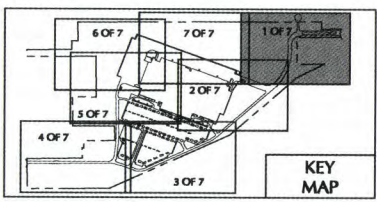
LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

02/21/2020
DATE SIGNED
MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

Project
PROJECT OLIVE
BLOCK No. 1, LOT No.50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

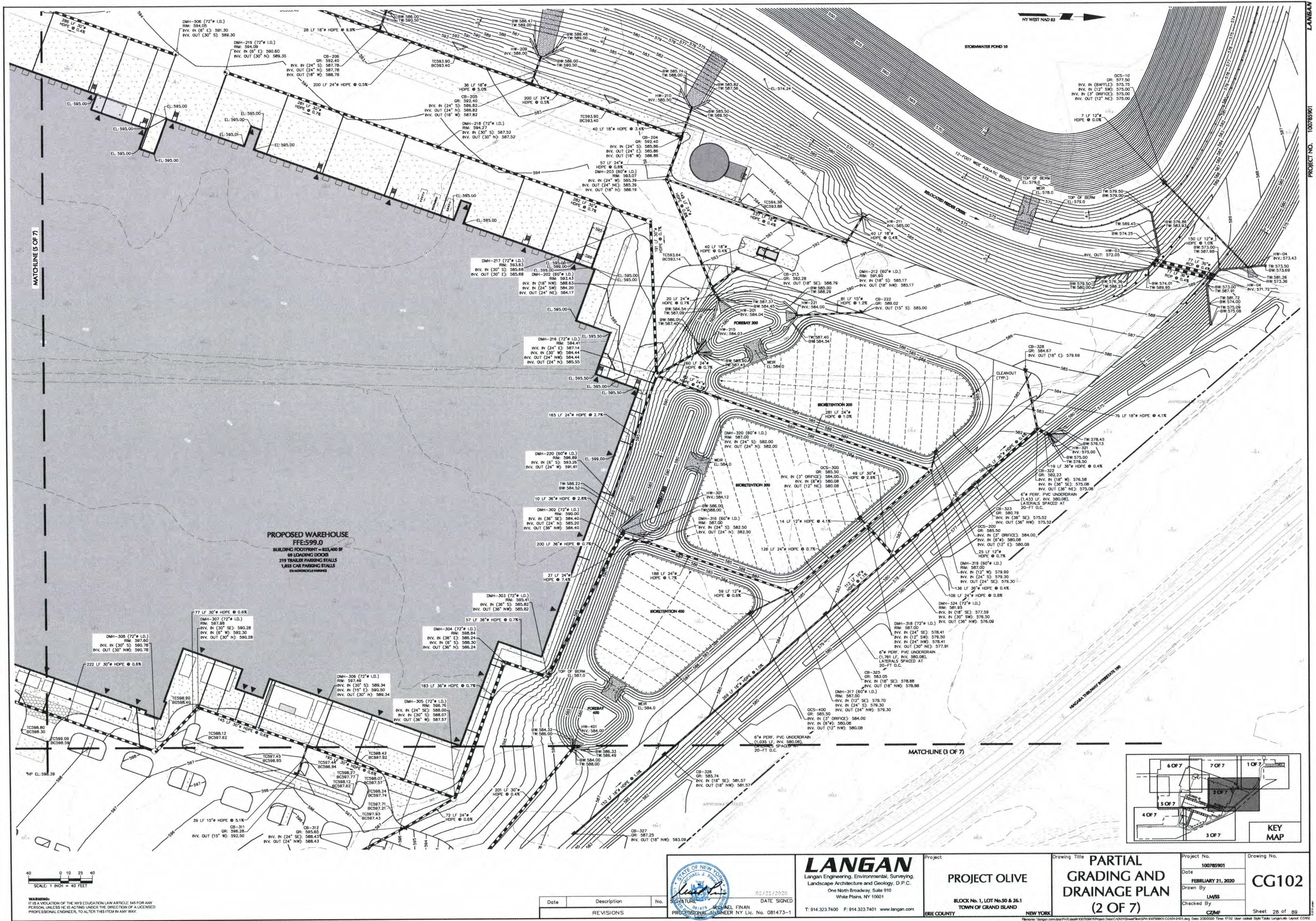
Drawing Title
**PARTIAL
GRADING AND
DRAINAGE PLAN
(1 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZME
Drawing No.
CG101
Sheet 27 of 89



PROJECT NO. 100785901

DATE



40 0 10 20 40
SCALE: 1" = 40'

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

Date	Description	No.
REVISIONS		



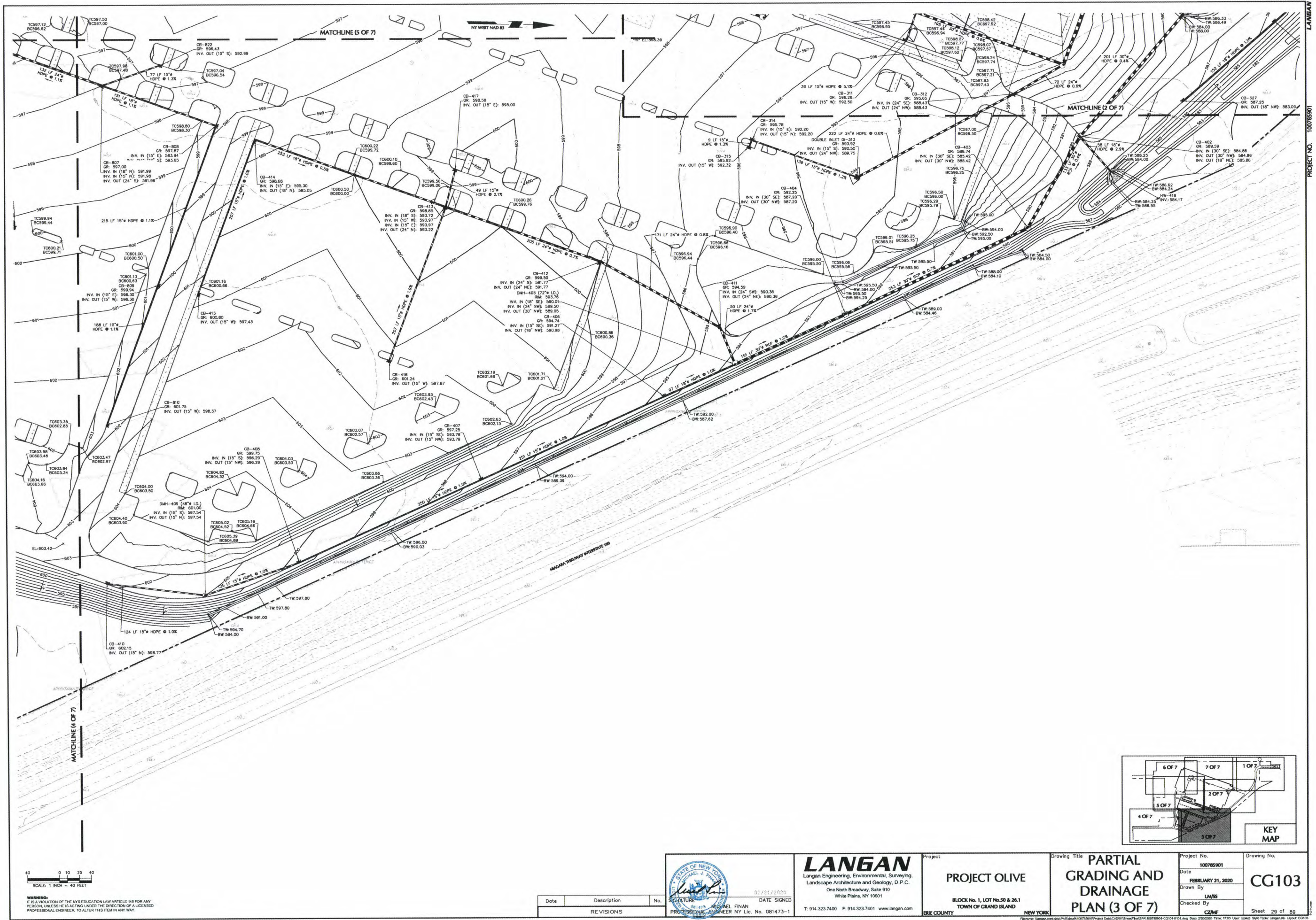
DATE SIGNED
02/21/2020
MICHAEL J. FINAN
PROFESSIONAL ENGINEER N.Y. Lic. No. 081473-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
GRADING AND
DRAINAGE PLAN
(2 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZME
Drawing No.
CG102
Sheet 28 of 89



PROJECT NO. 100785901

40 0 10 20 40
SCALE: 1 inch = 40 feet

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY
PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

Date	Description	No.
REVISIONS		

STATE OF NEW YORK
MICHAEL J. FINAN
02/21/2020
DATE SIGNED
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

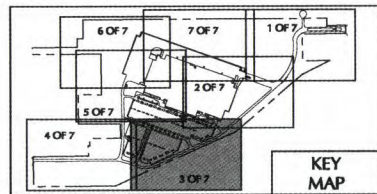
LANGAN
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One North Broadway, Suite 910
White Plains, NY 10601
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

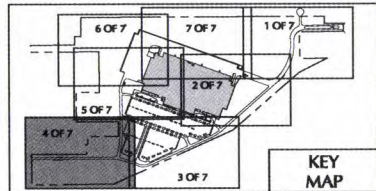
Drawing Title
**PARTIAL
GRADING AND
DRAINAGE
PLAN (3 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM/SS
Checked By
CZMF

Drawing No.
CG103
Sheet 29 of 89



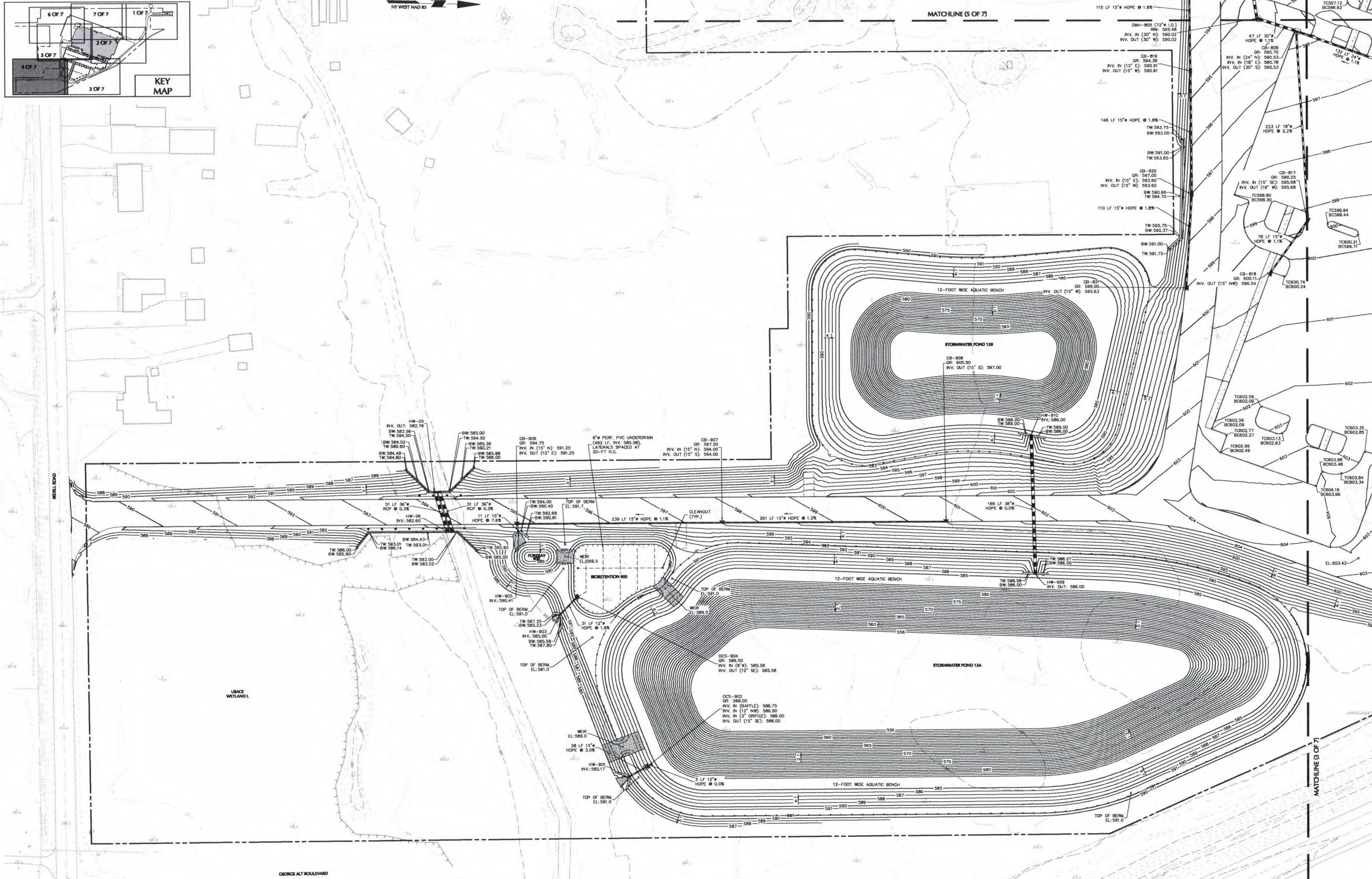
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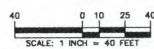
NY WEST NAD 83

MATCHLINE (5 OF 7)

PROJECT NO. 100785901



MATCHLINE (3 OF 7)



WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY
PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

Date	Description	No.
REVISIONS		

STATE OF NEW YORK
MICHAEL J. FINAN
Professional Engineer No. 081473-1
DATE SIGNED 02/21/2020

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

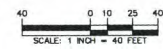
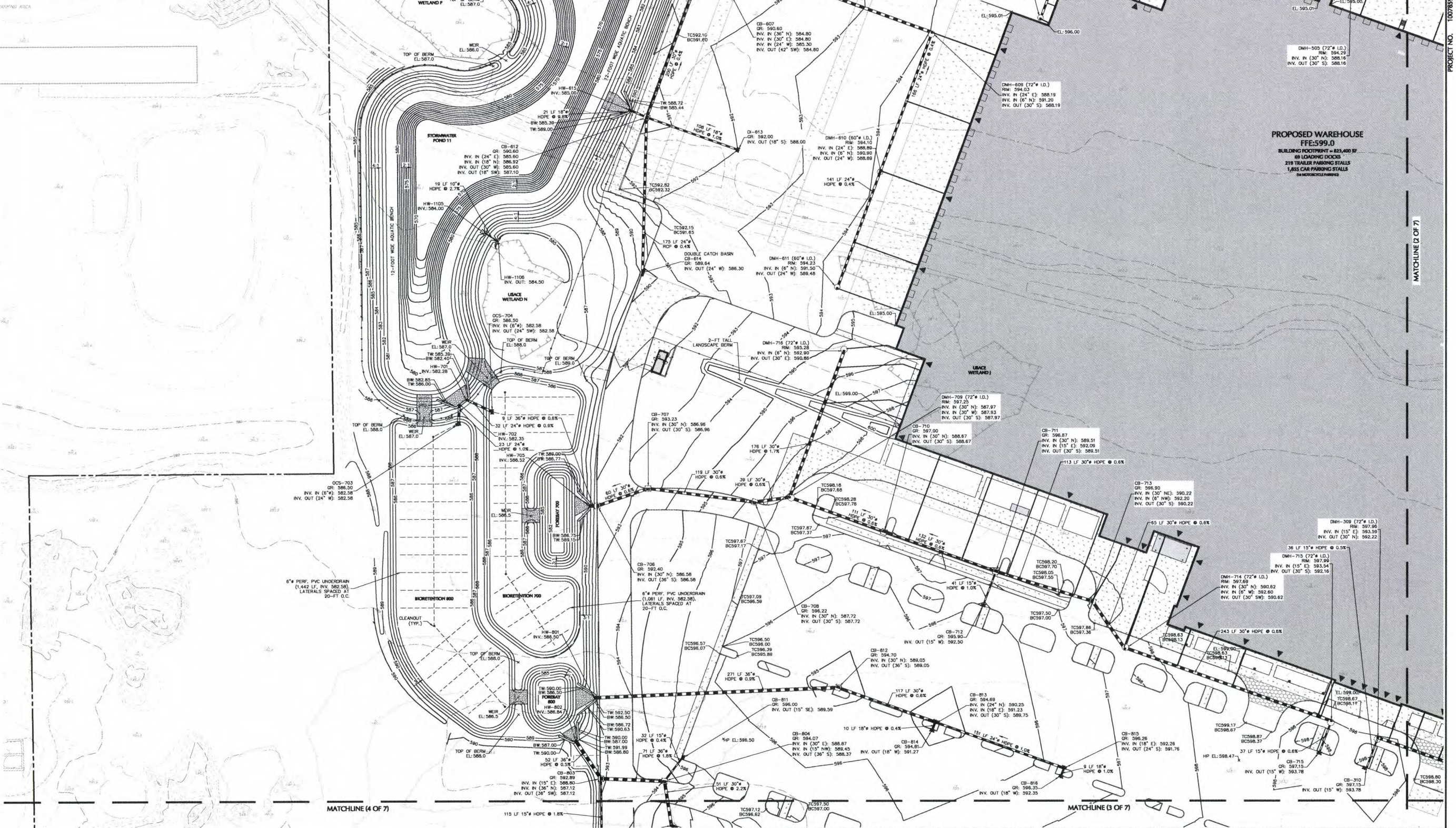
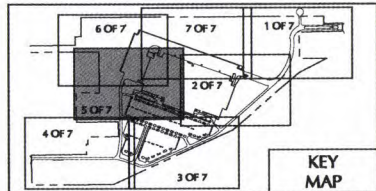
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
GRADING AND
DRAINAGE
PLAN (4 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM/SS
Checked By
CZMF

Drawing No.
CG104
Sheet 30 of 89

Filename: Langan.com\PA\100785901\Project Data\CG104.dwg PlotPath: C:\Users\lm\OneDrive\Documents\100785901\CG104.dwg Date: 2/21/2020 Time: 17:55 User: cslm Syle Type: Langan.dwg Layer: CG104



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DATE SIGNED
02/21/2020
MICHAEL FININ
PROFESSIONAL ENGINEER N.Y. Lic. No. 081473-1

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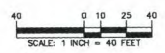
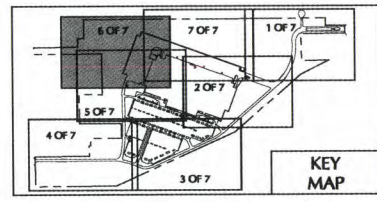
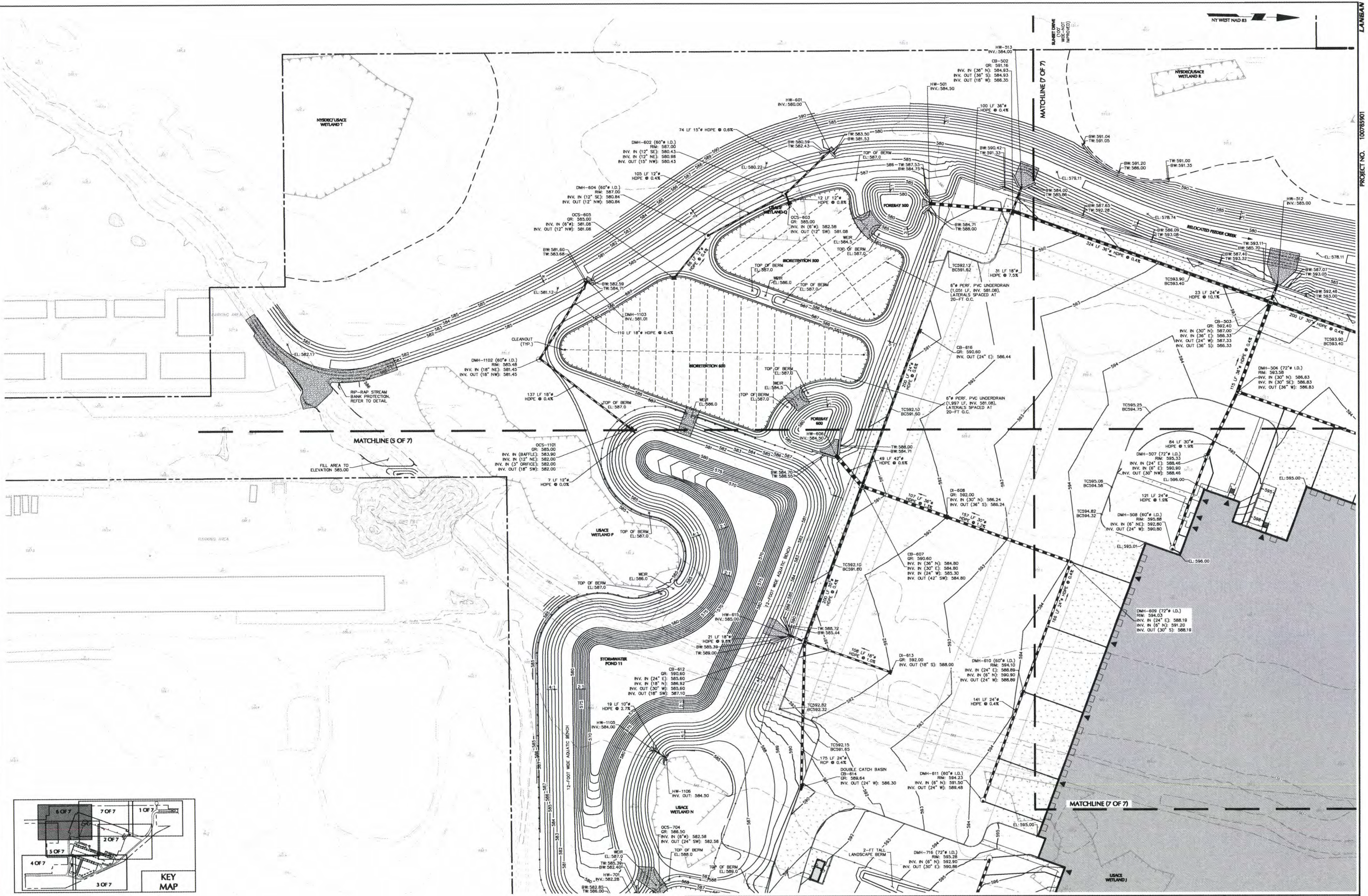
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY
NEW YORK

Drawing Title
**PARTIAL
GRADING AND
DRAINAGE PLAN
(5 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF

Drawing No.
CG105
Sheet 31 of 89

Filename: Langan.com\2019\02\01\100785901\Project Data\CG105.dwg Date: 2/20/2020 Time: 17:04 User: czedmf Style: Langan.dwg Layout: CG105



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Date	Description	No.
REVISIONS		



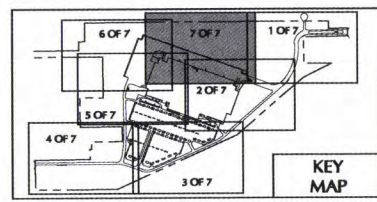
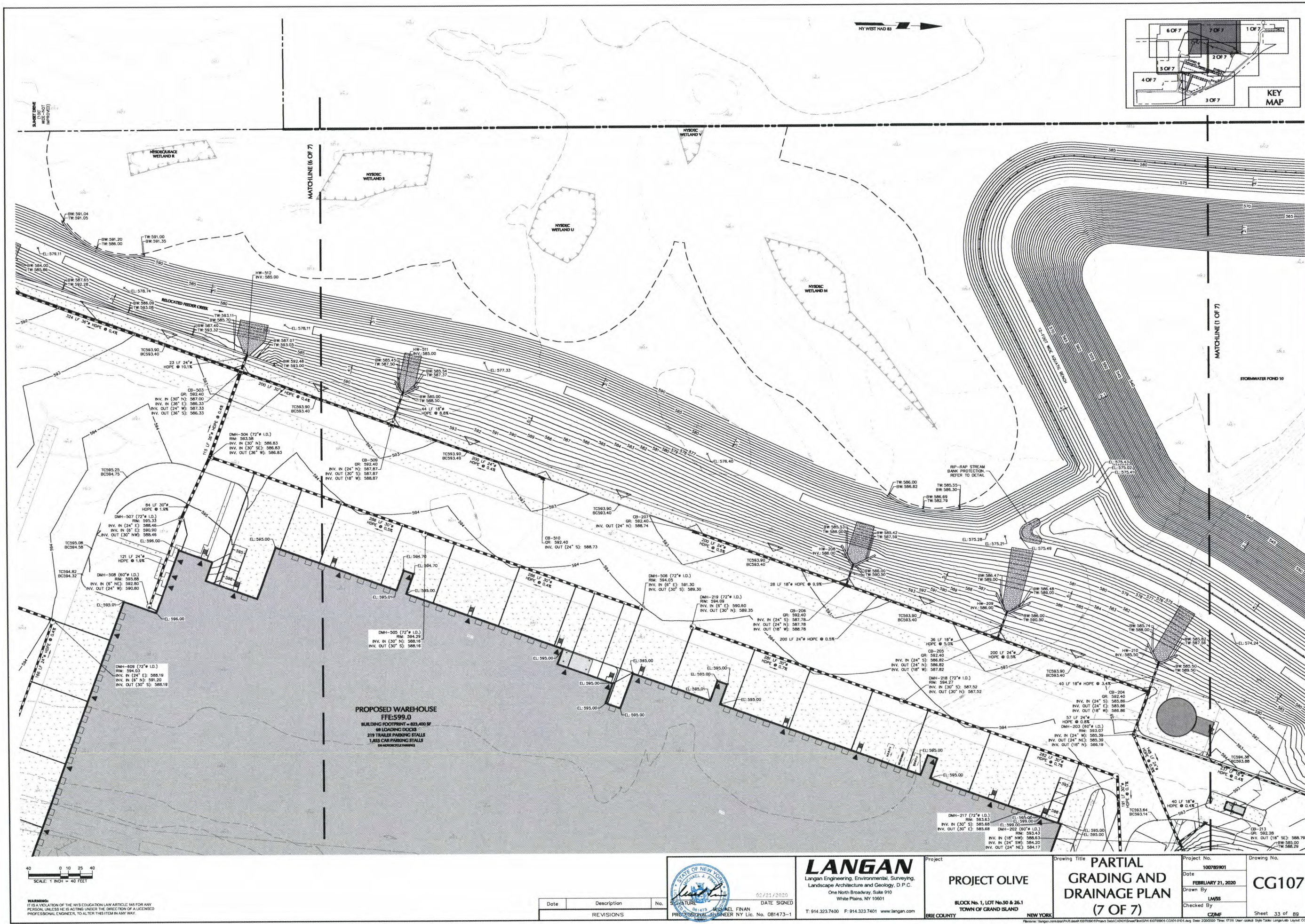
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**PARTIAL
GRADING AND
DRAINAGE PLAN
(6 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF
Sheet 32 of 89

Revised: Langan.com/Assets/PDFs/2020/02/21/100785901/Project/Draw/CG106/Sheet/6-OF-7/CG106-6-OF-7.dwg User: 230055010 Title: 1734 User: czechowski Scale: 1/4"=1'-0" Langan: 05/18/2020



PROJECT NO. 100785901

SCALE: 1" = 40'

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Date	Description	No.
REVISIONS		



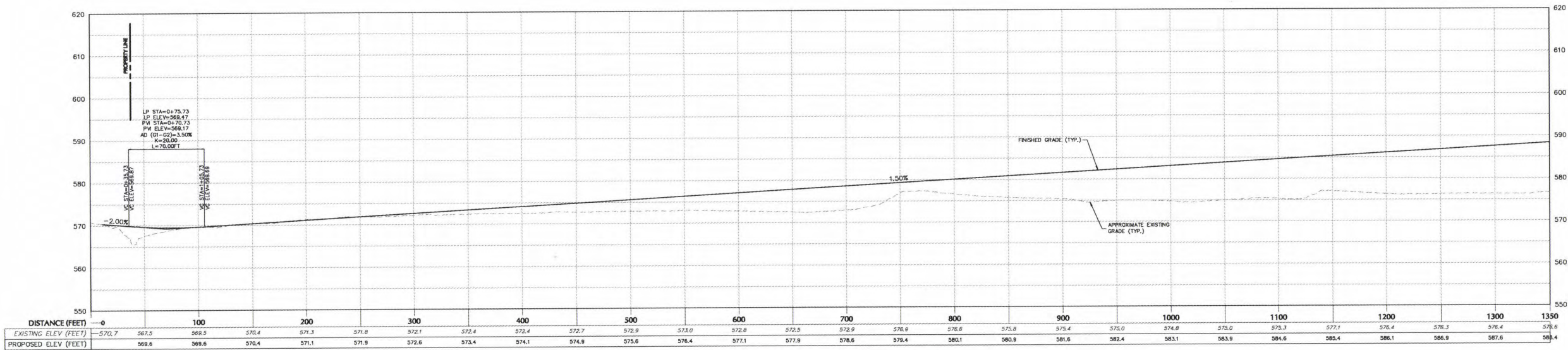
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY

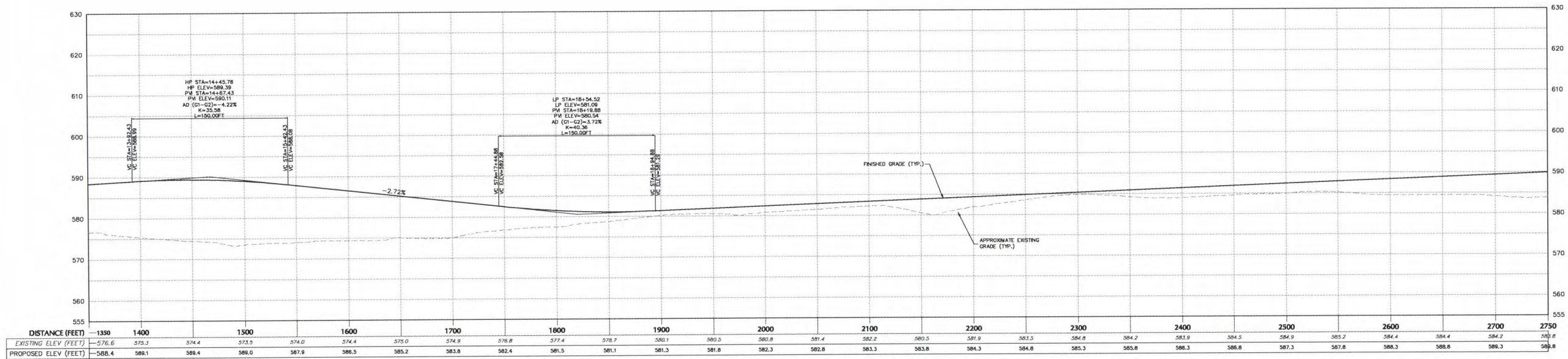
Drawing Title
**PARTIAL
GRADING AND
DRAINAGE PLAN
(7 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF
Drawing No.
CG107
Sheet 33 of 89

Revised: Langan.com/PA/Revised/100785901/Project/Draw/CG107/Sheet/CG107/01-01.dwg Date: 2/20/2020 Time: 17:56 User: czech@langan.com Layout: CG107



MAIN ACCESS DRIVEWAY PROFILE (1 OF 4)



MAIN ACCESS DRIVEWAY PROFILE (2 OF 4)

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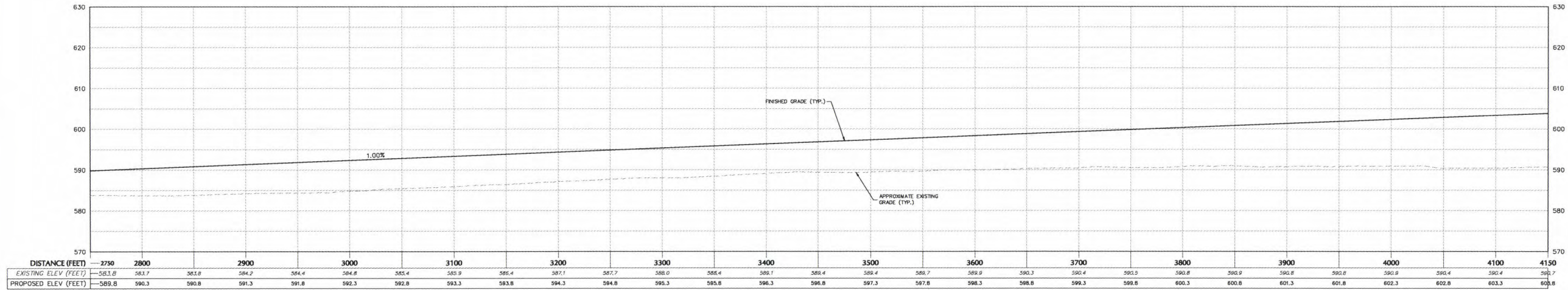
Professional Engineer Seal for Michael Finan, State of New York, License No. 081473-1.

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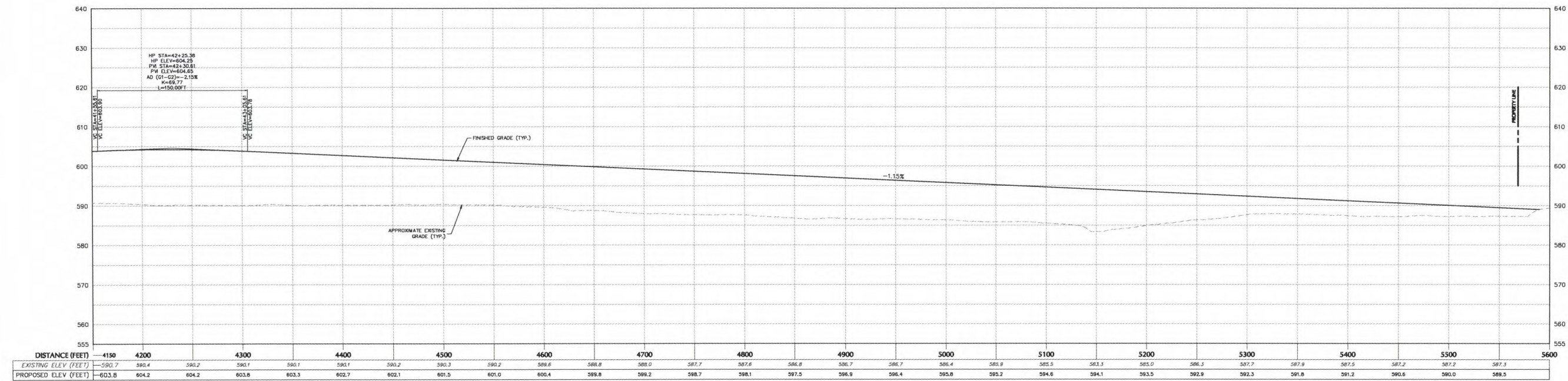
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 35.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**DRIVEWAY PROFILE
(1 OF 2)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
MC
Checked By
CZMF
Drawing No.
CG210
Sheet 34 of 89



MAIN ACCESS DRIVEWAY PROFILE (3 OF 4)



MAIN ACCESS DRIVEWAY PROFILE (4 OF 4)

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H:40
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SCALE IN FEET
0 20 40
5 10

Date	Description	No.
REVISIONS		

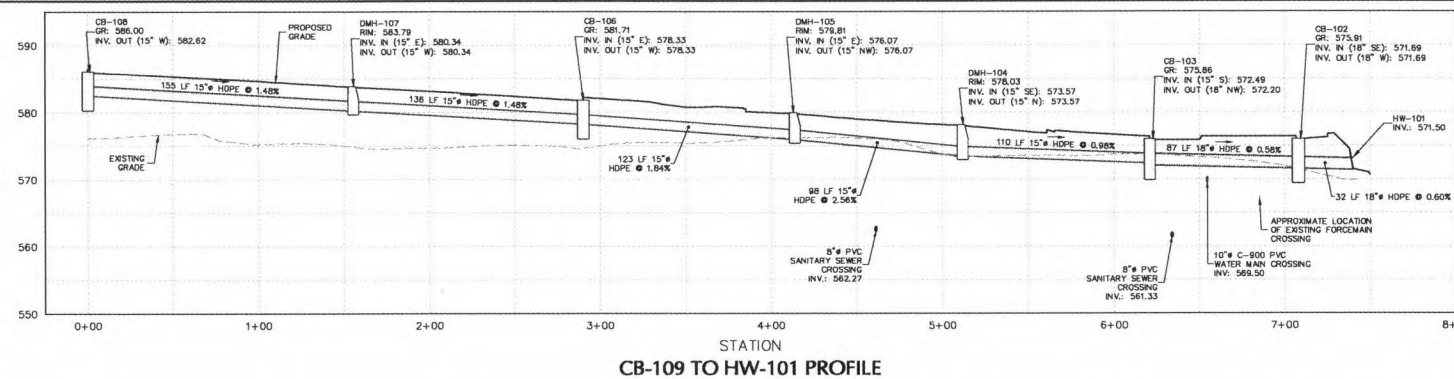
STATE OF NEW YORK
MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1
02/21/2020
DATE SIGNED

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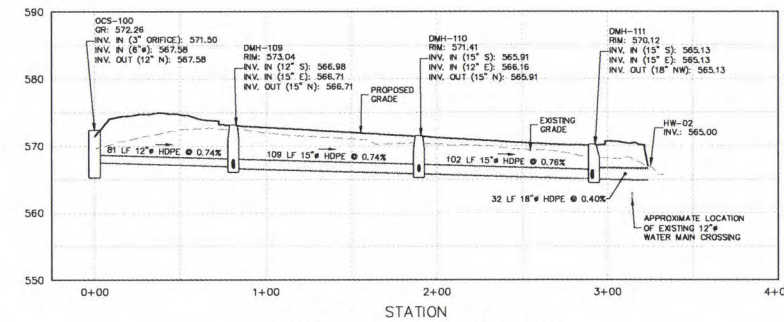
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 36.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**DRIVEWAY PROFILE
(2 OF 2)**

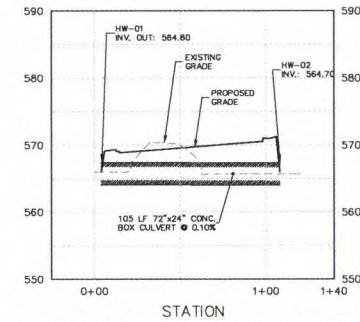
Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
MC
Checked By
CZMF
Drawing No.
CG211
Sheet 35 of 89



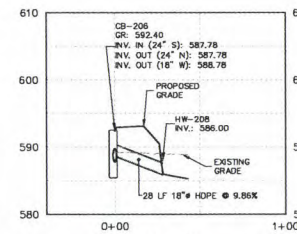
CB-109 TO HW-101 PROFILE



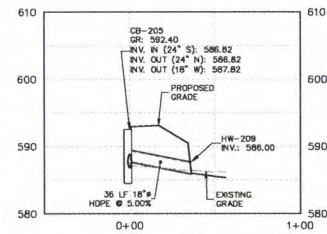
OCS-100 TO HW-02 PROFILE



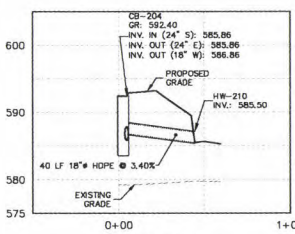
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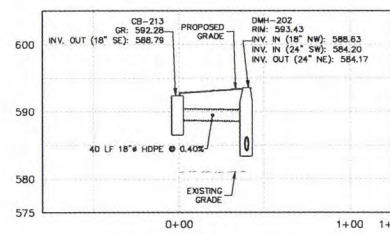
CB-206 TO HW-208 PROFILE



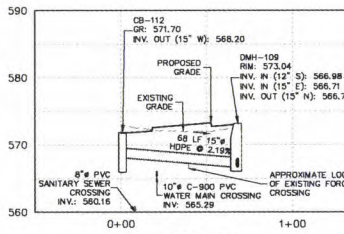
CB-205 TO HW-209 PROFILE



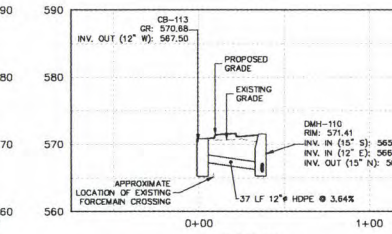
CB-204 TO HW-210 PROFILE



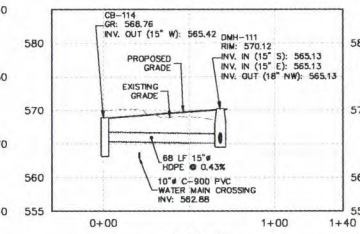
CB-213 TO DMH-202 PROFILE



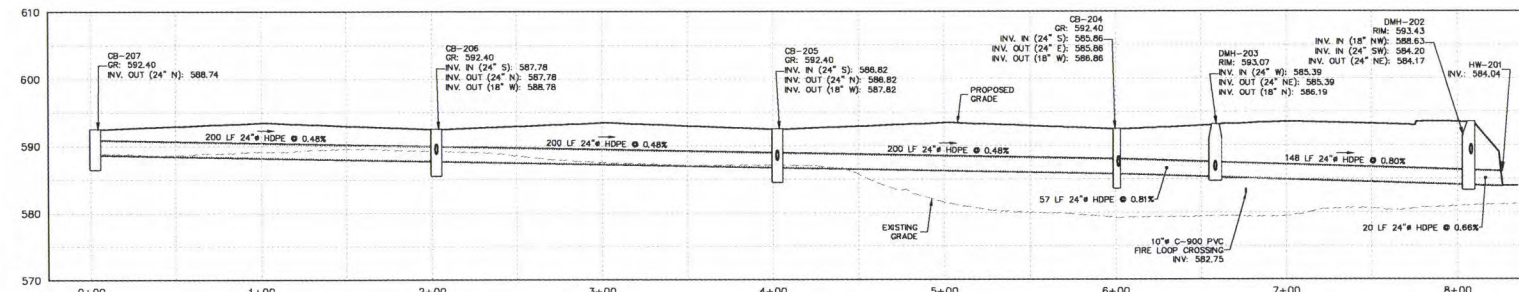
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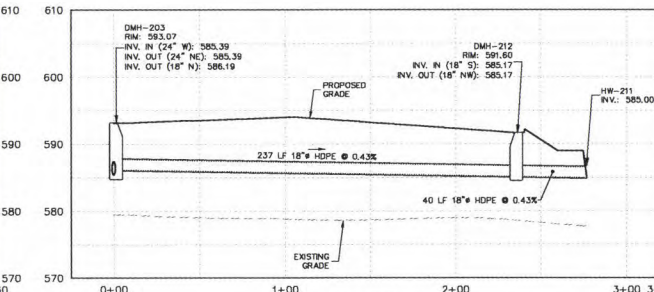
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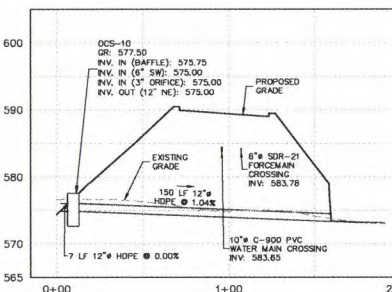
CB-115 TO DMH-112 PROFILE



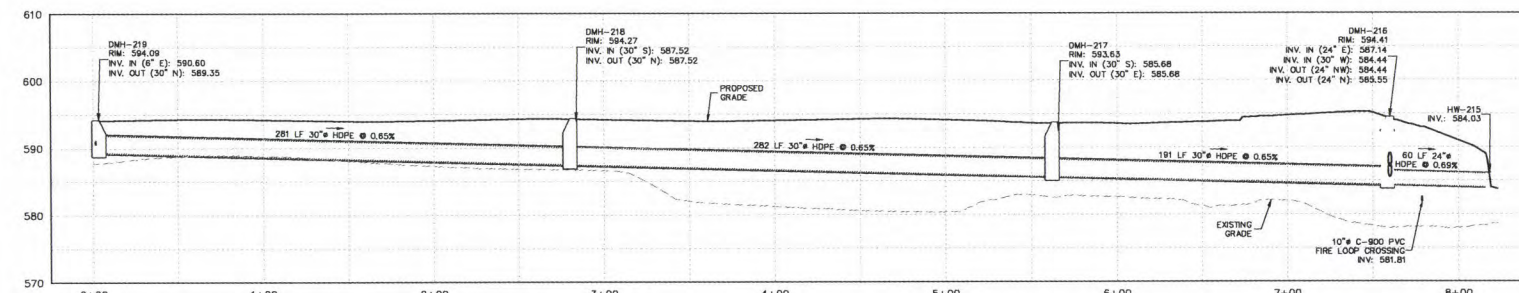
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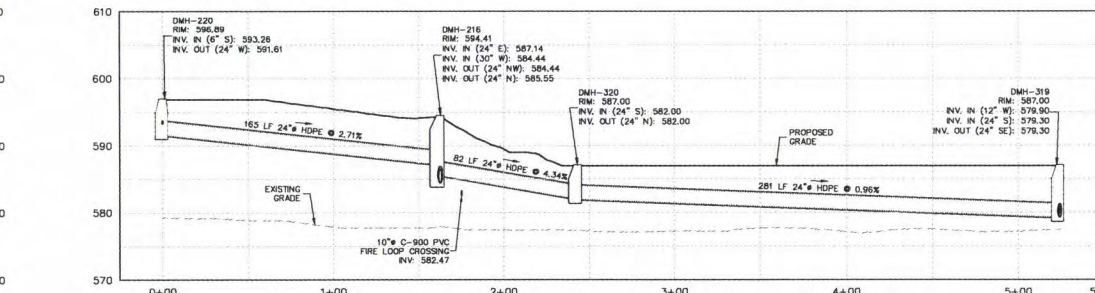
DMH-203 TO HW-211 PROFILE



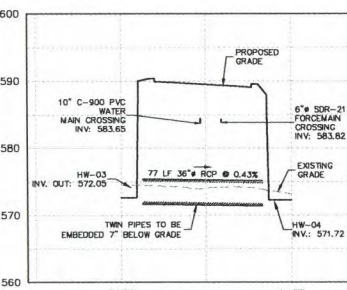
OCS-10 TO HW-04 PROFILE



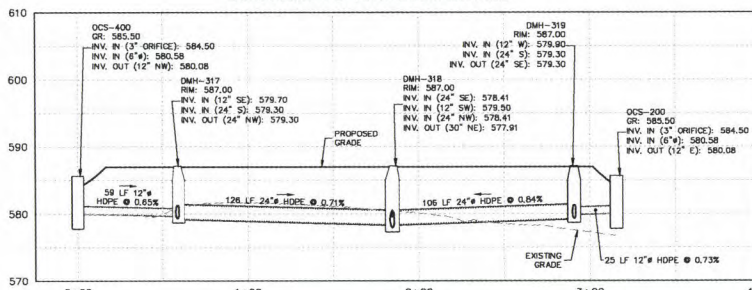
DMH-220 TO HW-215 PROFILE



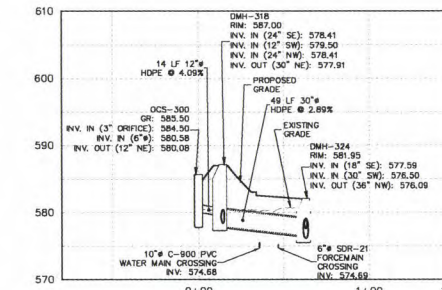
DMH-221 TO DMH-319 PROFILE



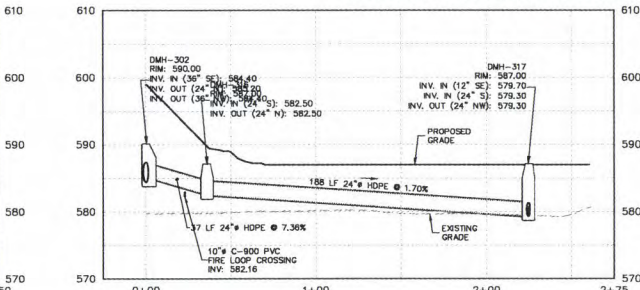
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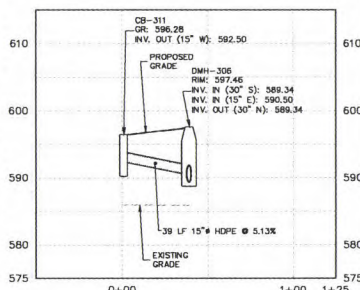
OCS-400 TO OCS-200 PROFILE



OCS-300 TO DMH-324 PROFILE



DMH-302 TO DMH-317 PROFILE



CB-311 TO DMH-306 PROFILE

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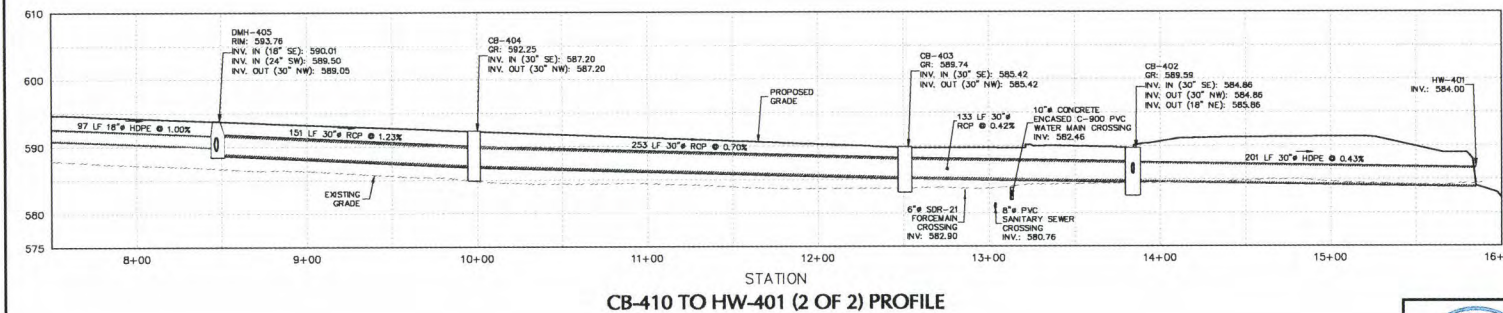
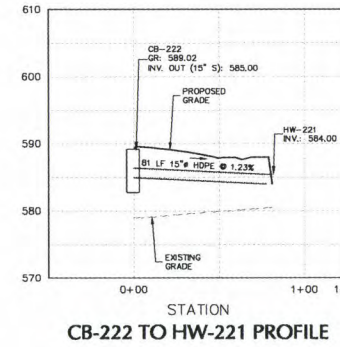
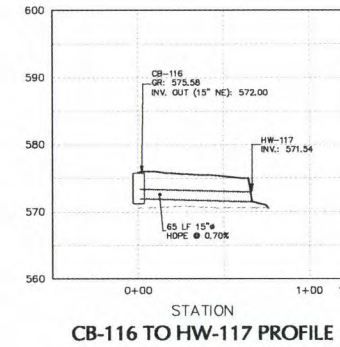
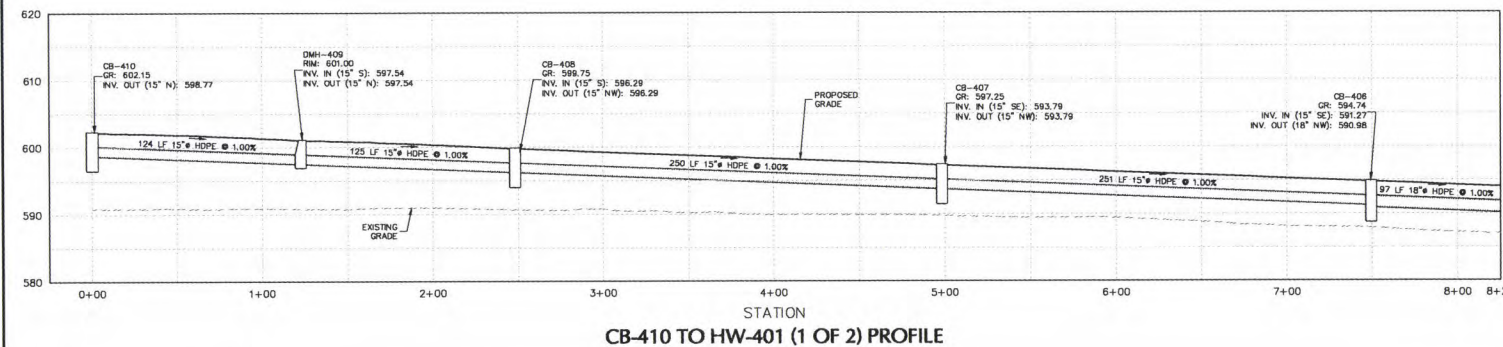
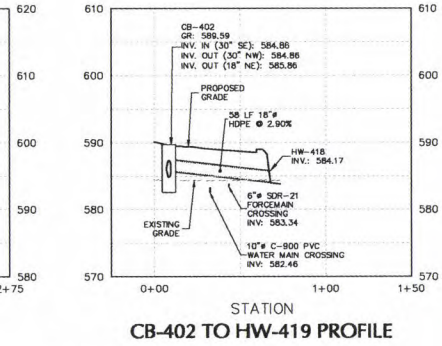
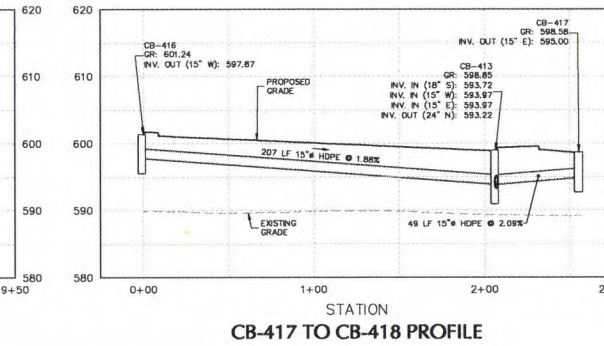
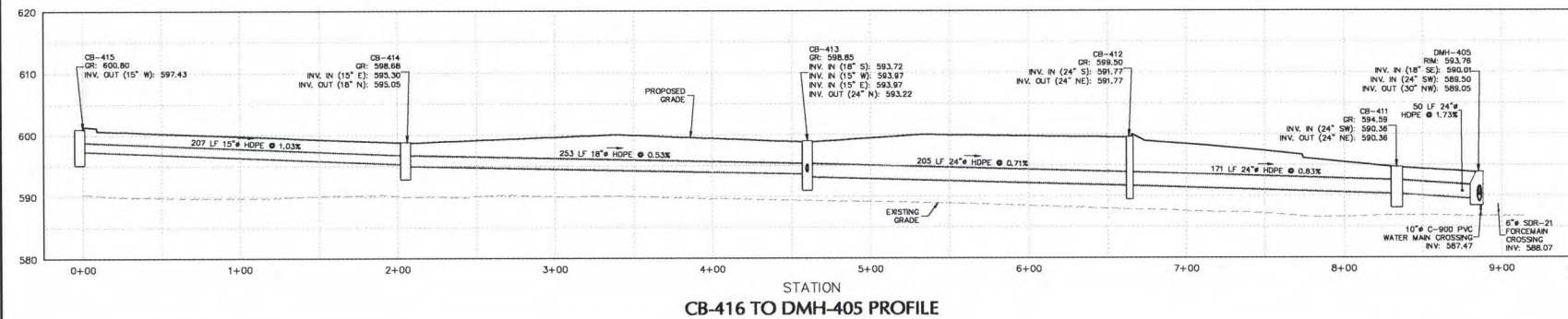
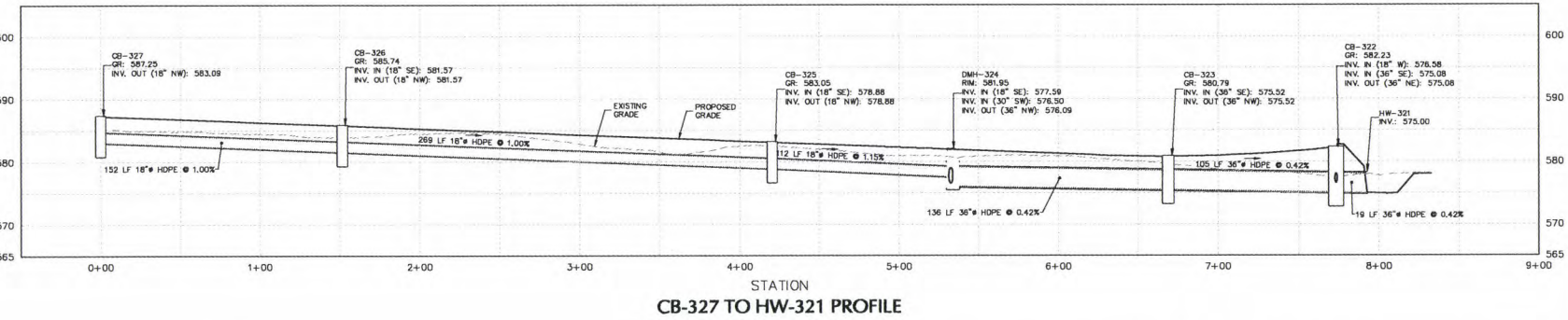
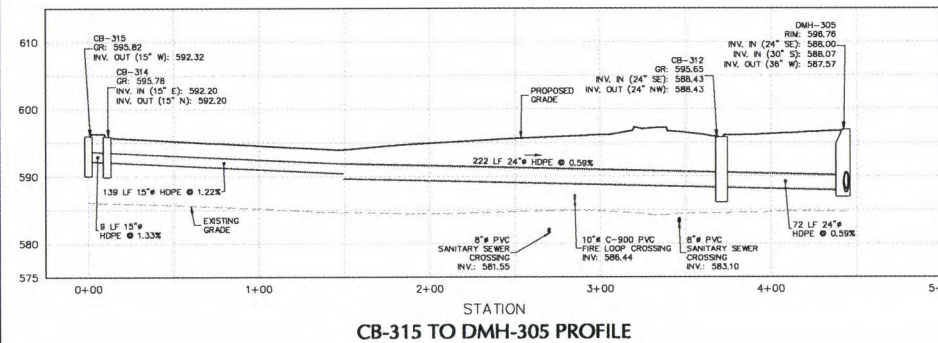
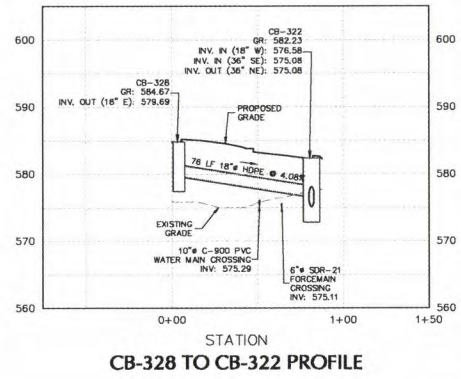
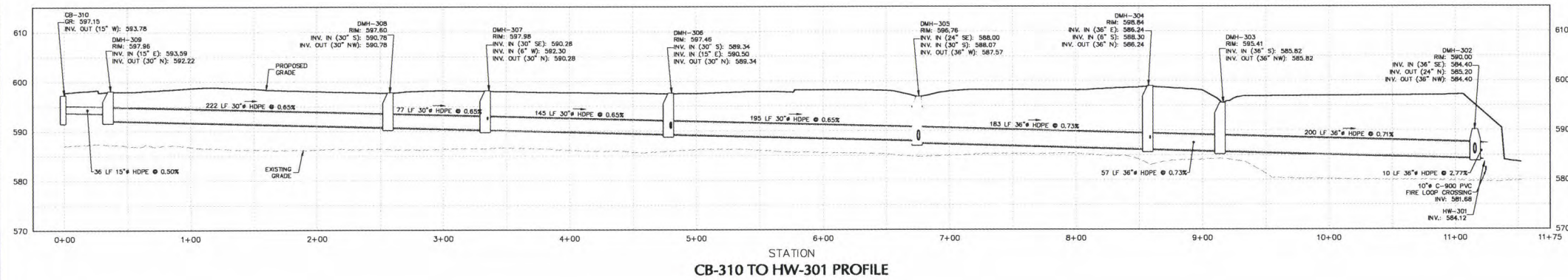
Date	Description	No.
REVISIONS		

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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**STORM SEWER
PROFILES (1 OF 4)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM
Checked By
CZMF
Drawing No.
CG201
Sheet 36 of 89



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Date	Description	No.

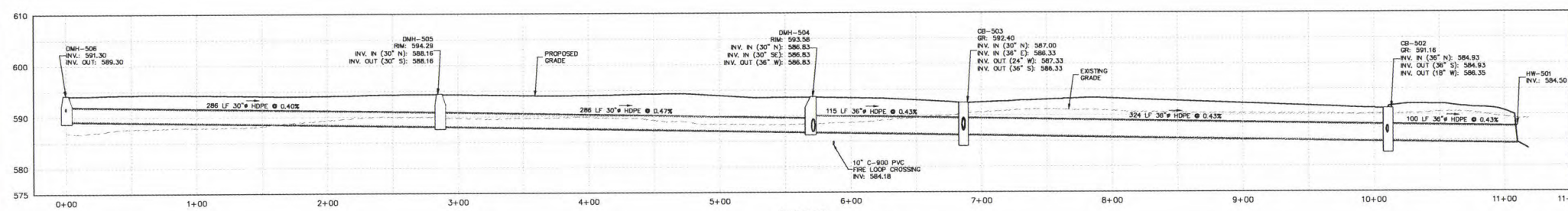
STATE OF NEW YORK
MICHAEL FINAN
Professional Engineer No. 081473-1

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White Plains, NY 10601
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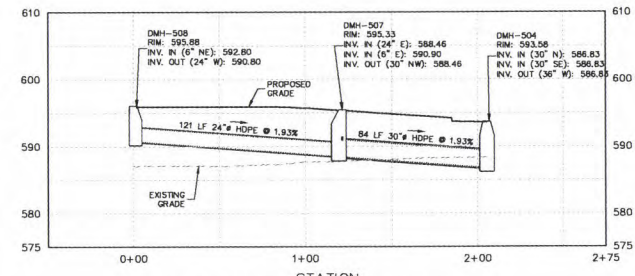
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
STORM SEWER
PROFILES (2 OF 4)

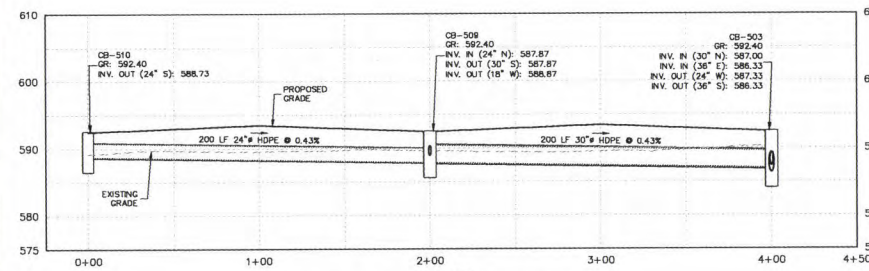
Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM
Checked By
CZMF
Drawing No.
CG202
Sheet 37 of 89



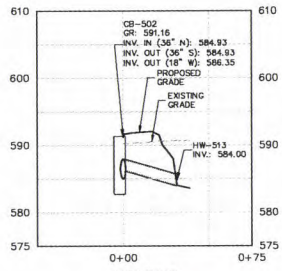
DMH-506 TO HW-501 PROFILE



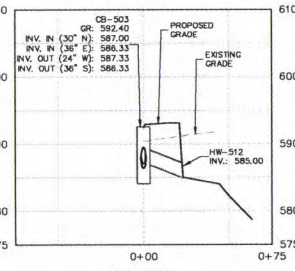
DMH-508 TO DMH-504 PROFILE



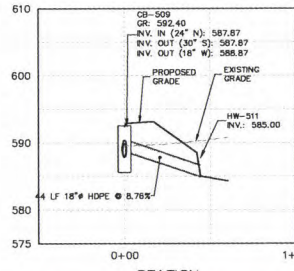
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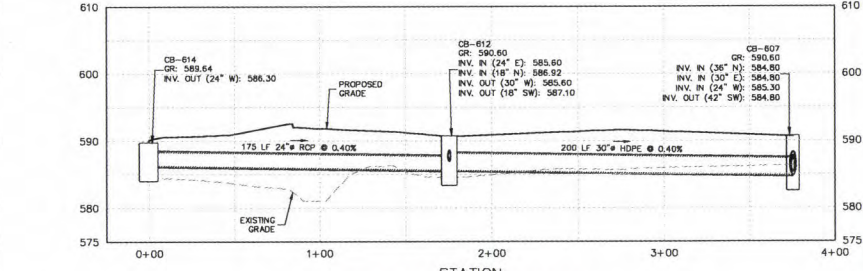
CB-502 TO HW-513 PROFILE



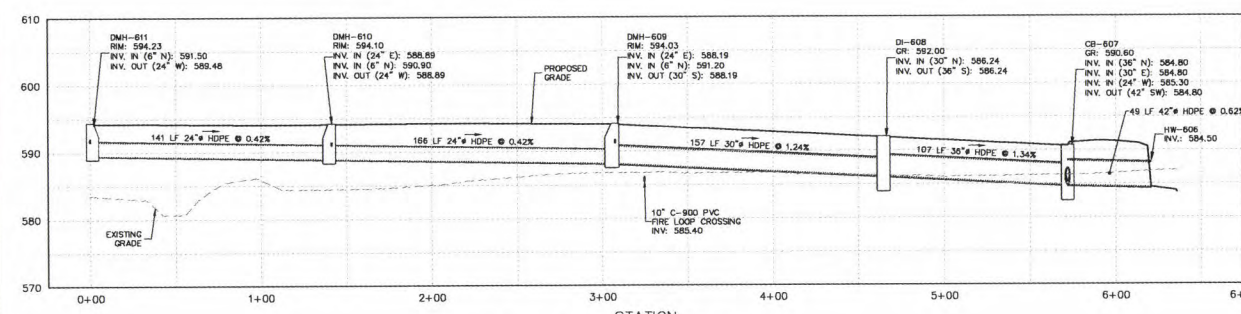
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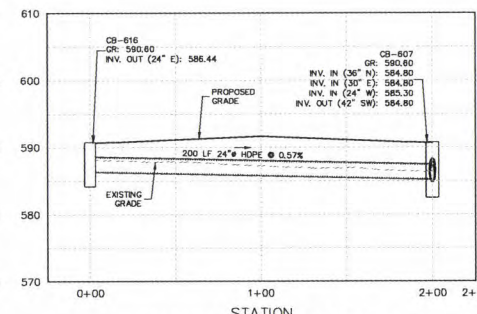
CB-509 TO HW-511 PROFILE



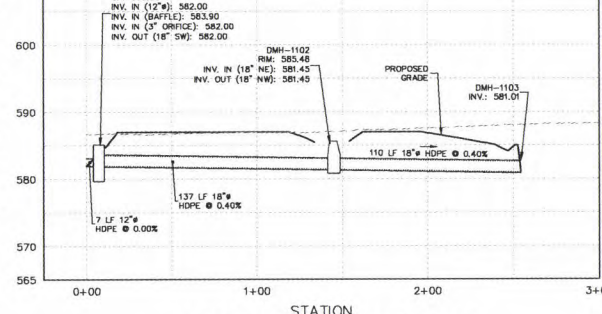
CB-614 TO CB-607 PROFILE



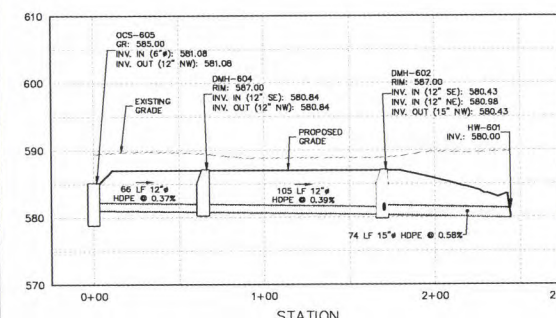
DMH-611 TO HW-606 PROFILE



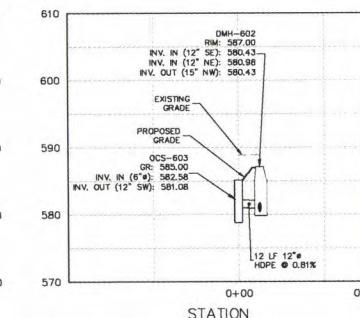
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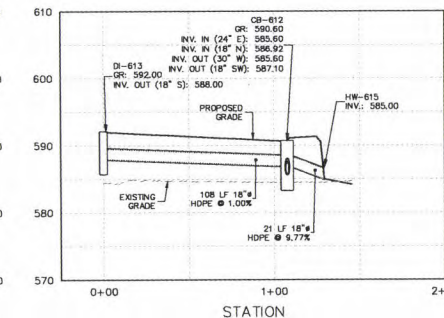
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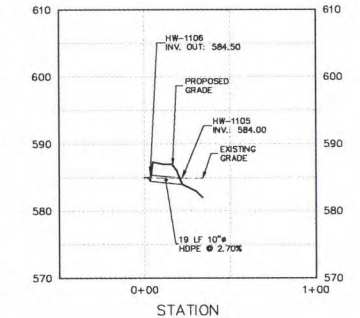
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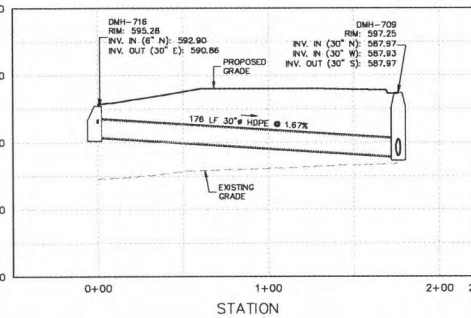
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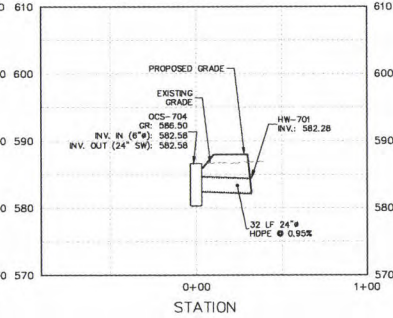
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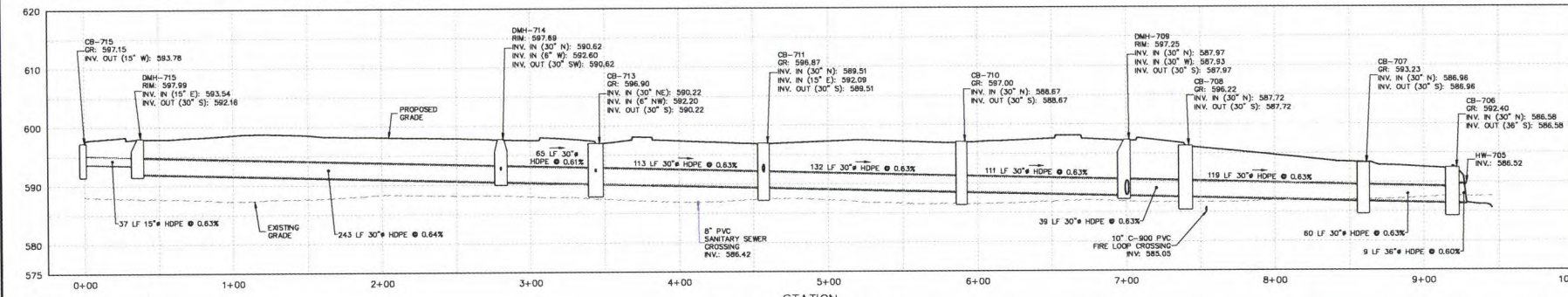
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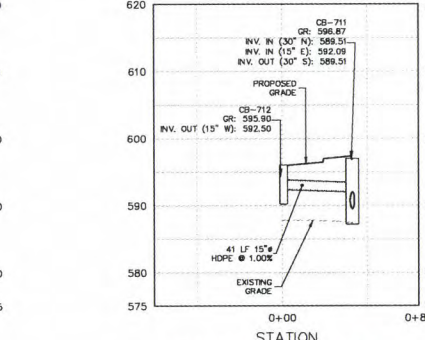
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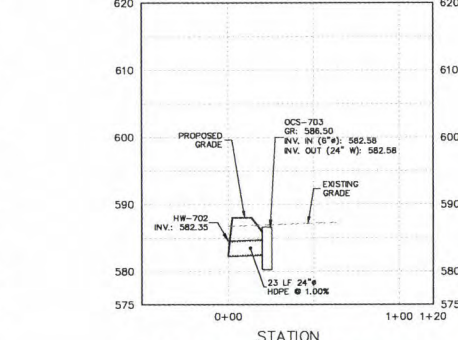
OCS-704 TO HW-701 PROFILE



CB-715 TO HW-705 PROFILE

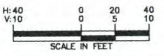


CB-712 TO CB-711 PROFILE



OCS-703 TO HW-702 PROFILE

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Date	Description	No.
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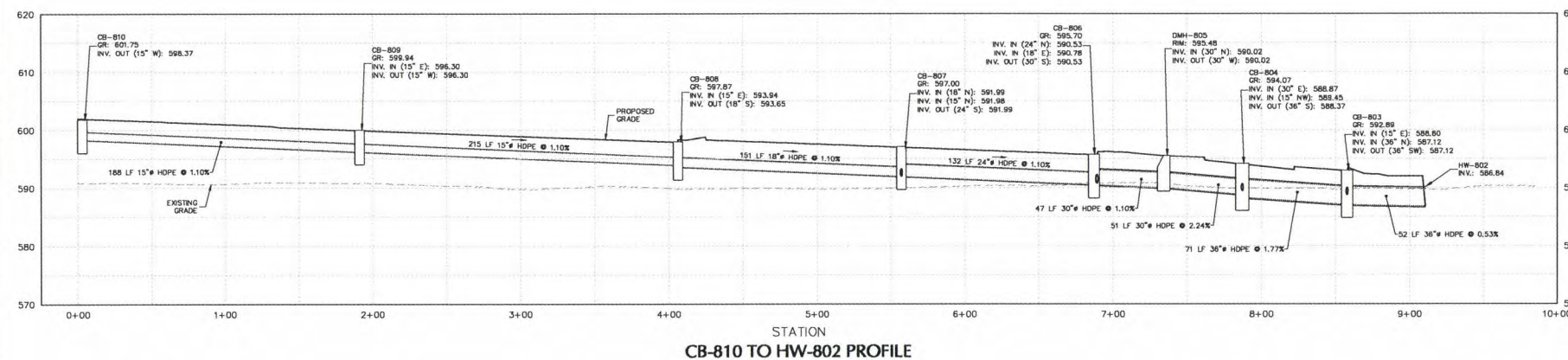
STATE OF NEW YORK
MICHAEL J. FINAN
Professional Engineer No. 081473-1

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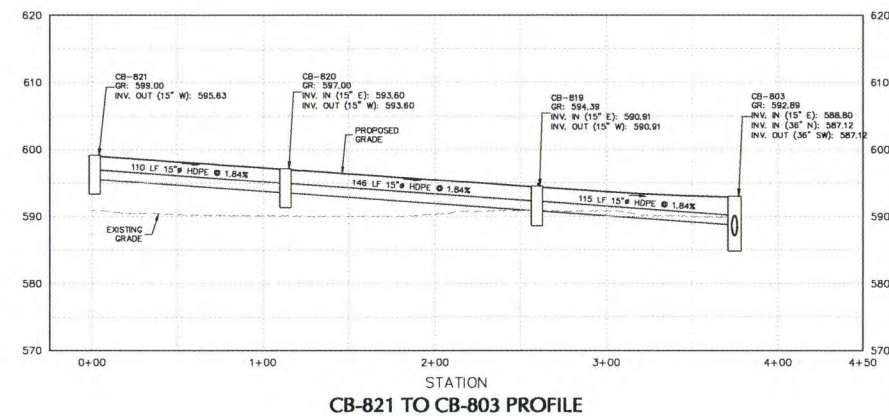
Project: **PROJECT OLIVE**
Block No. 1, LOT No. 50 & 36.1
TOWN OF GRAND ISLAND
ERIE COUNTY

Drawing Title: **STORM SEWER
PROFILES (3 OF 4)**

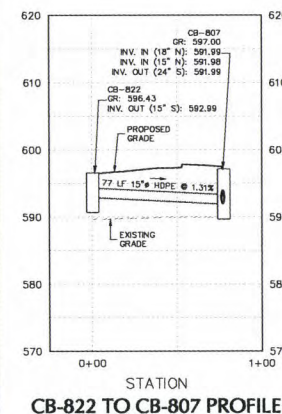
Project No.: 100765901
Date: FEBRUARY 21, 2020
Drawn By: LM
Checked By: CZMF
Drawing No.: **CG203**
Sheet 38 of 89



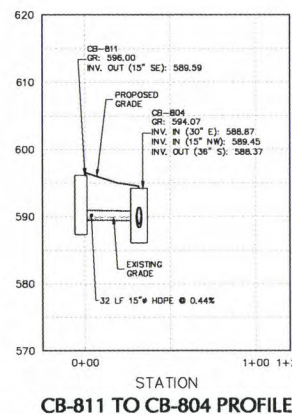
CB-810 TO HW-802 PROFILE



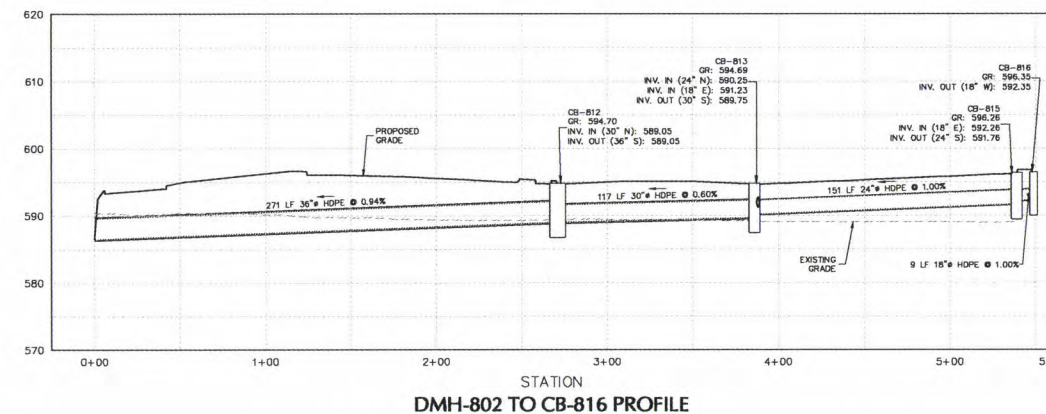
CB-821 TO CB-803 PROFILE



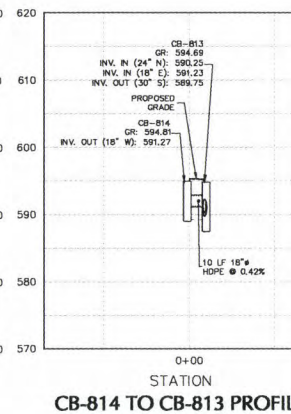
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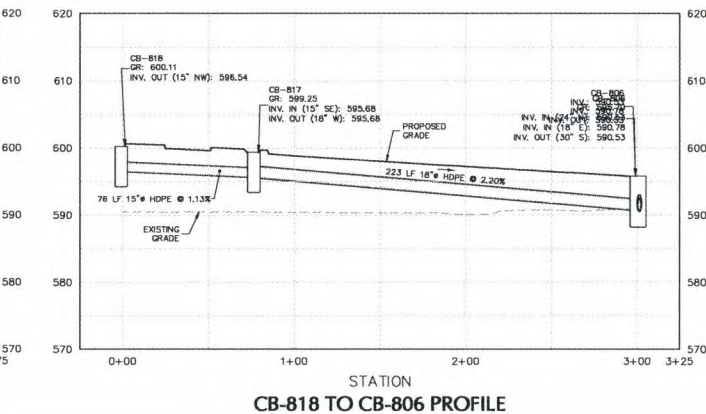
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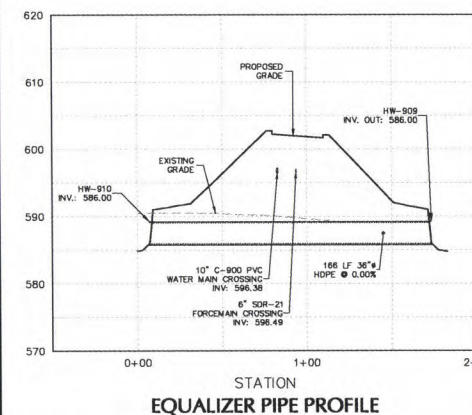
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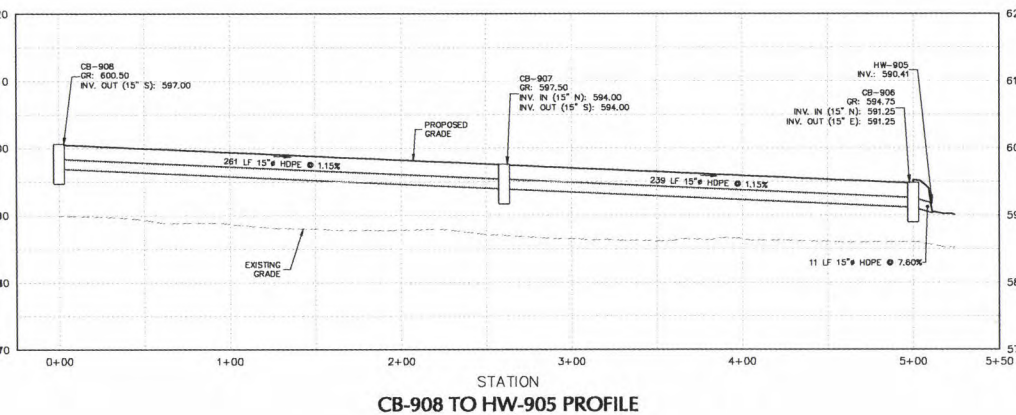
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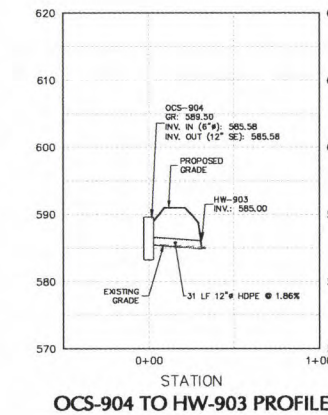
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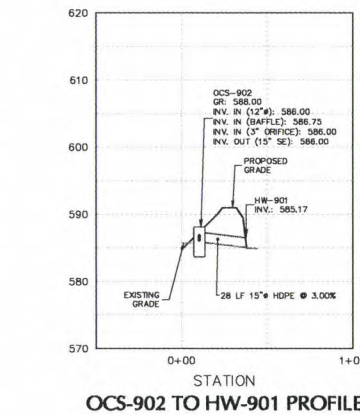
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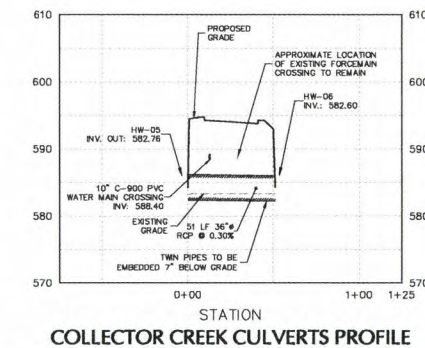
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OCS-904 TO HW-903 PROFILE



OCS-902 TO HW-901 PROFILE

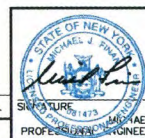


COLLECTOR CREEK CULVERTS PROFILE

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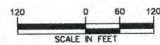
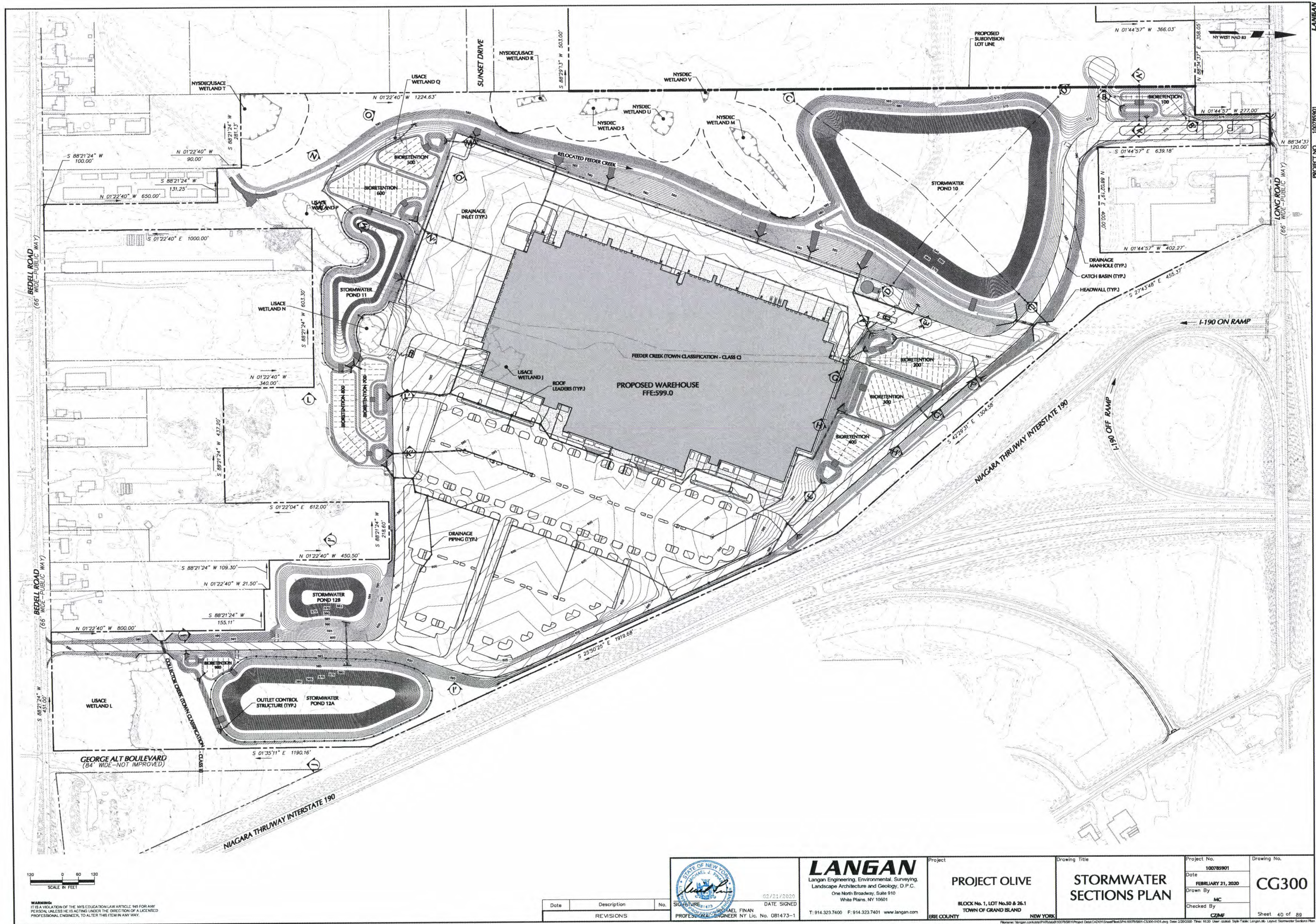


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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

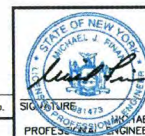
Drawing Title
**STORM SEWER
PROFILES (4 OF 4)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM
Checked By
CZMF
Drawing No.
CG204
Sheet 39 of 89



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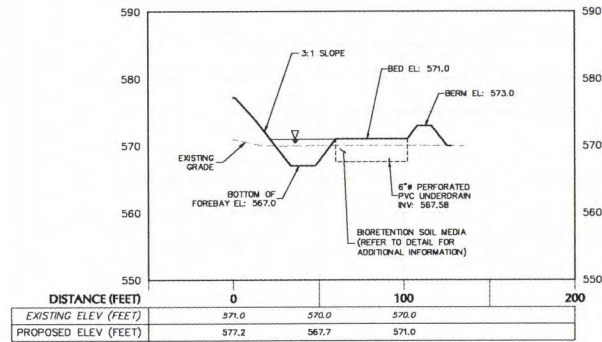
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PROJECT OLIVE
BLOCK No. 1, LOT No. 30 & 36.1
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NEW YORK

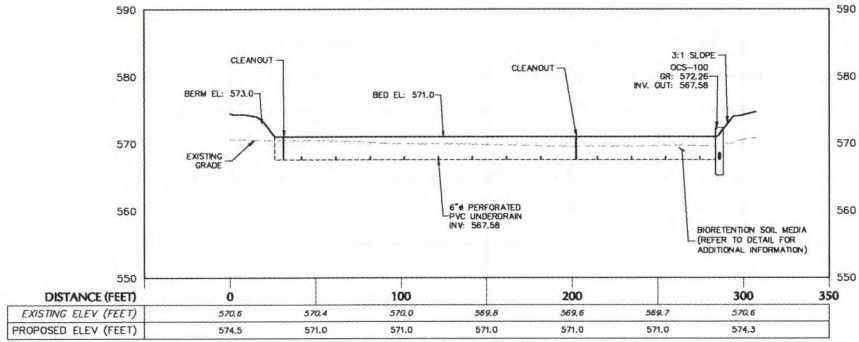
Drawing Title
**STORMWATER
SECTIONS PLAN**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
MC
Checked By
CZMF

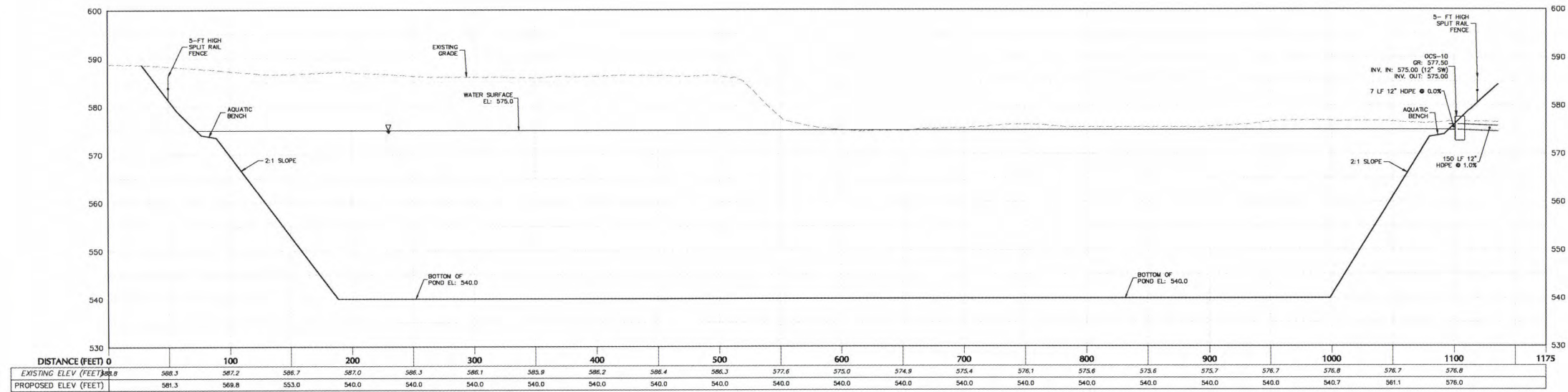
Drawing No.
CG300
Sheet 40 of 89



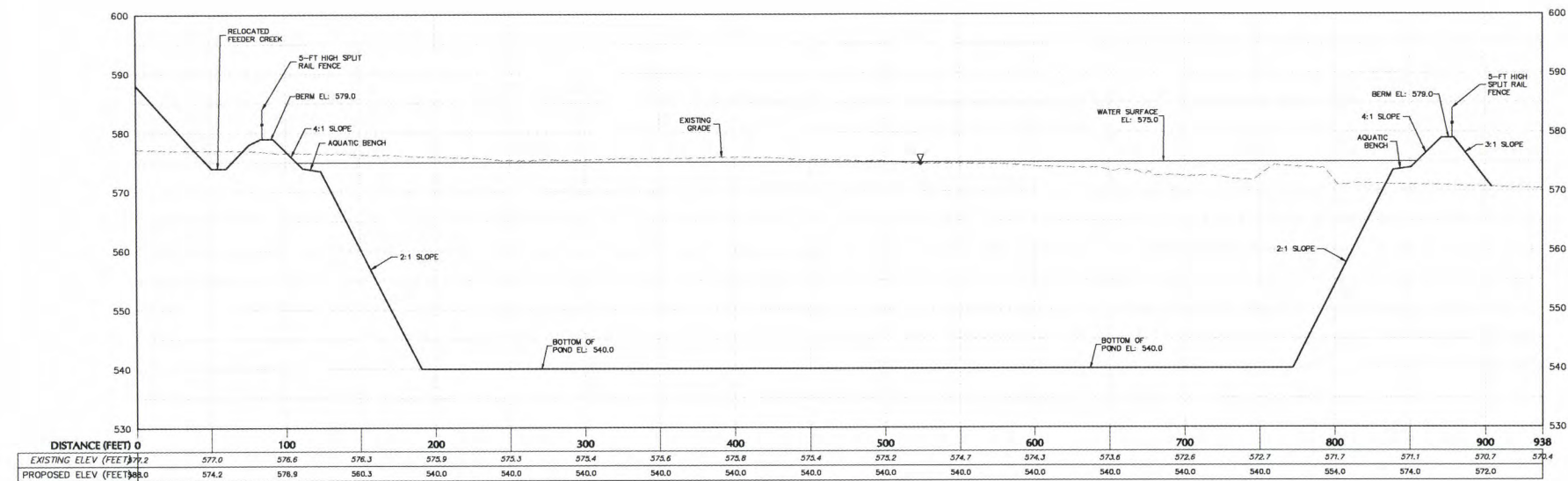
STORMWATER SECTION A-A'



STORMWATER SECTION B-B'

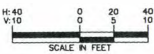


STORMWATER SECTION C-C'



STORMWATER SECTION D-D'

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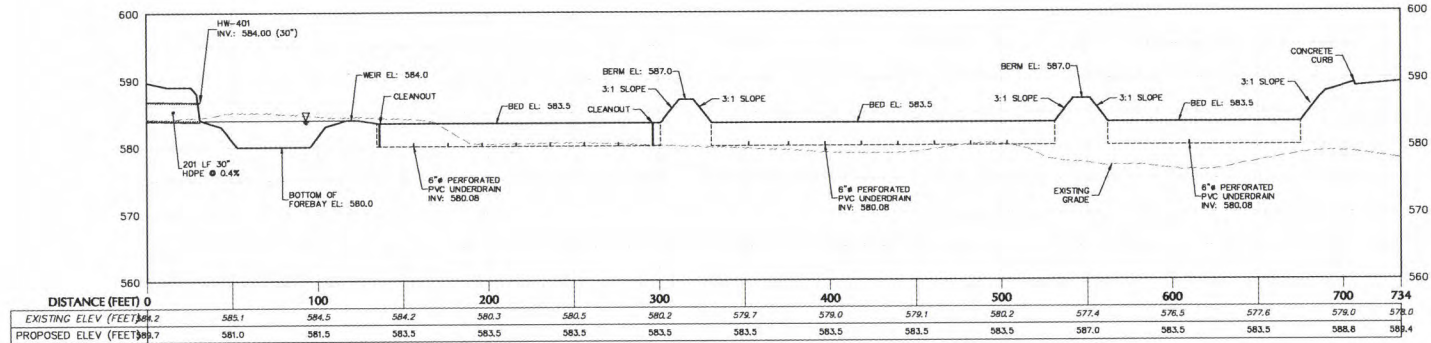
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 36.1
TOWN OF GRAND ISLAND
NEW YORK

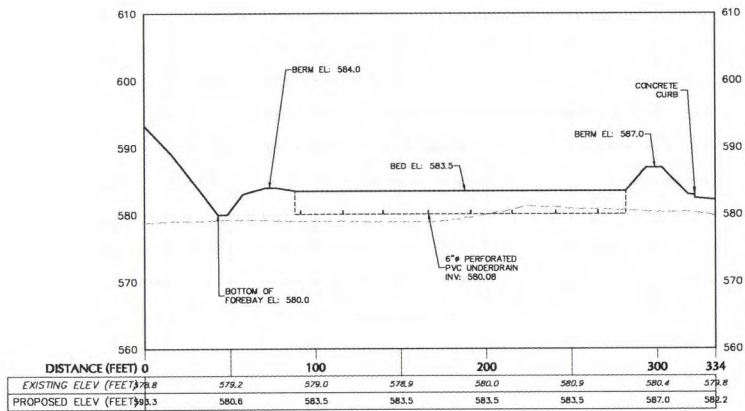
Drawing Title
**STORMWATER
SECTIONS (1 OF 3)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
MC
Checked By
CZMF

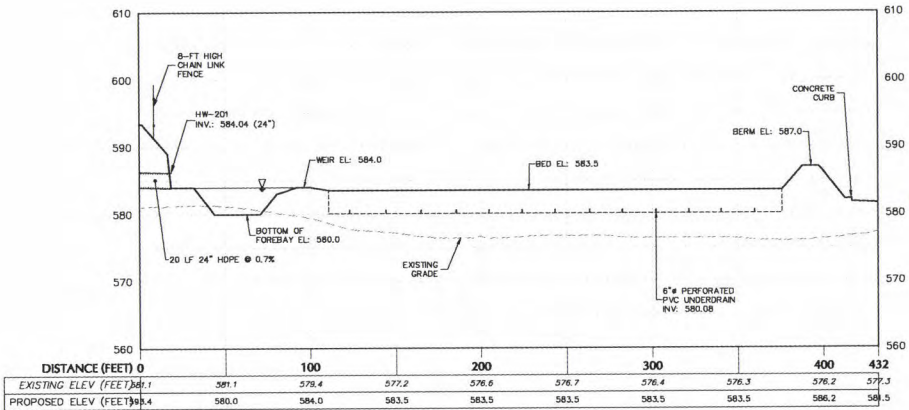
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Sheet 41 of 89



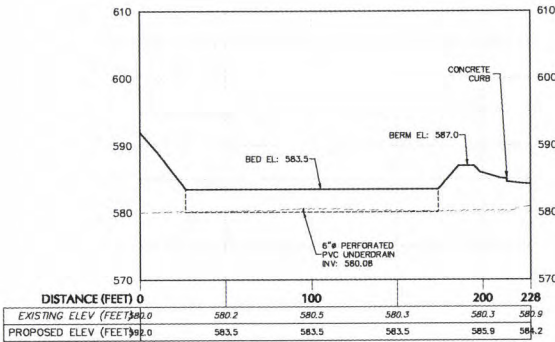
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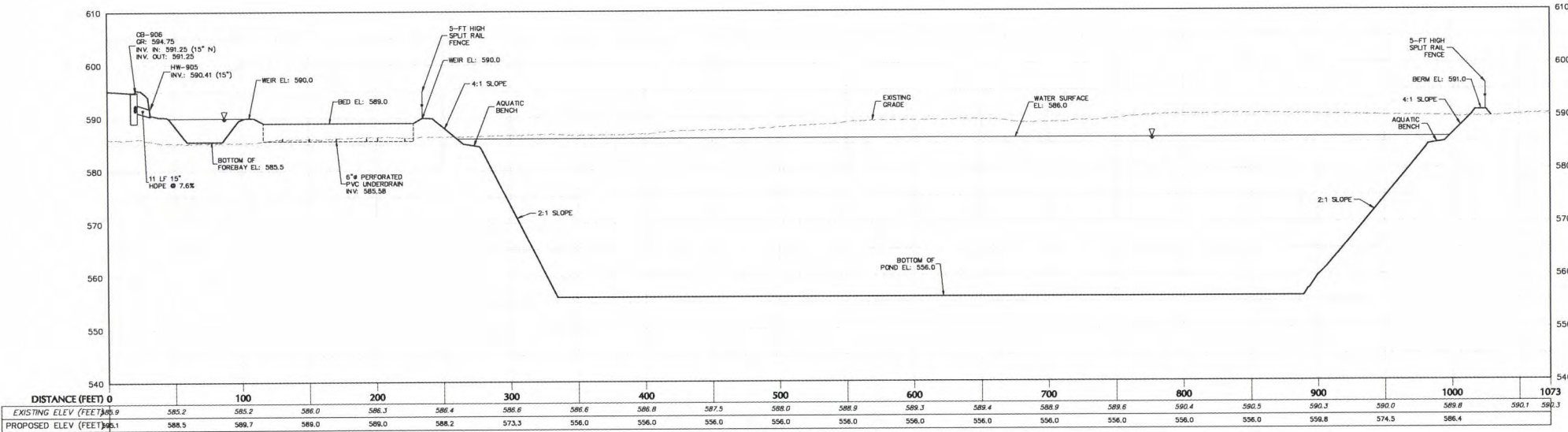
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STORMWATER SECTION F-F'

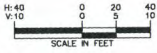


STORMWATER SECTION H-H'



STORMWATER SECTION I-I'

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REVISIONS		

SIGNATURE	DATE SIGNED
MICHAEL FINAN PROFESSIONAL ENGINEER NY Lic. No. 081473-1	



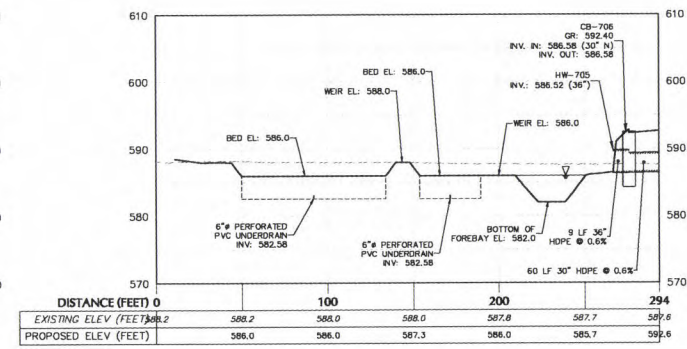
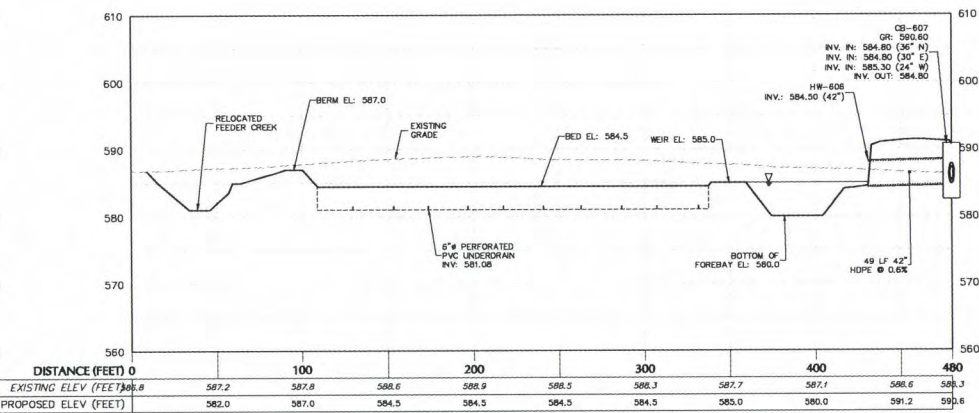
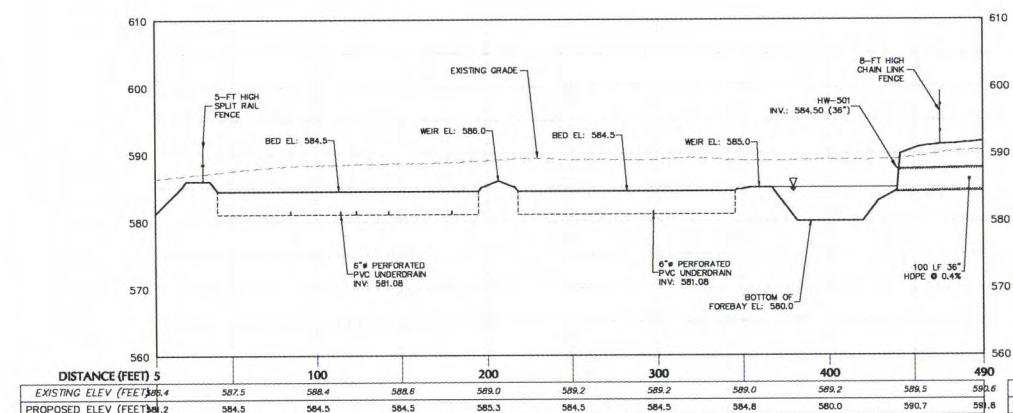
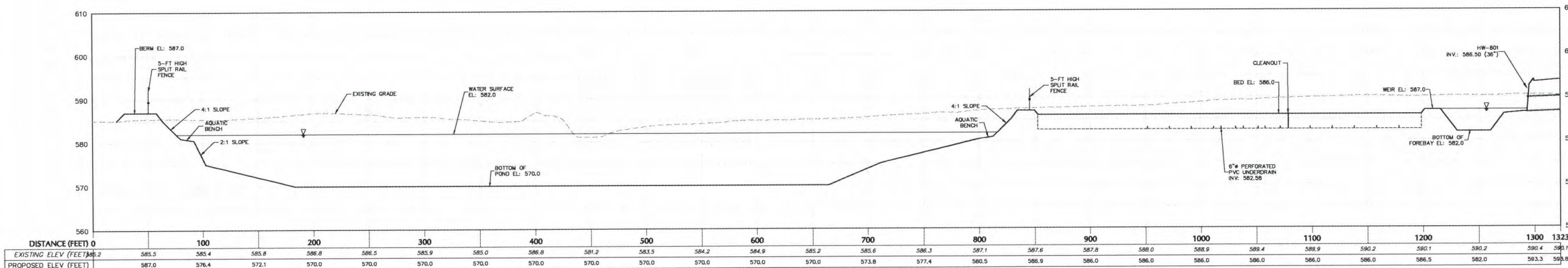
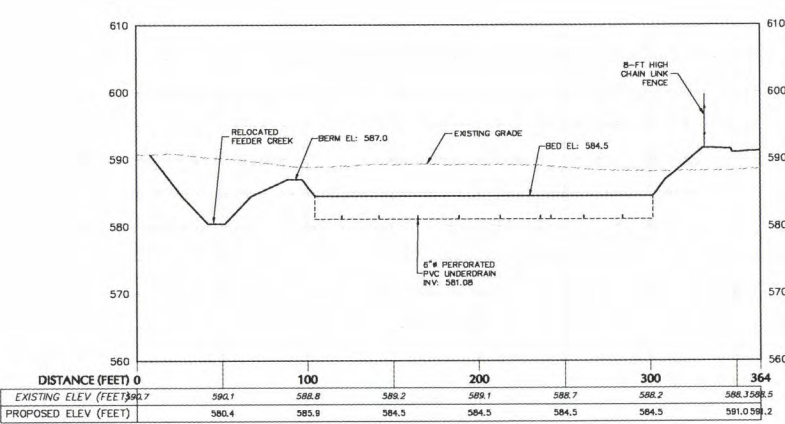
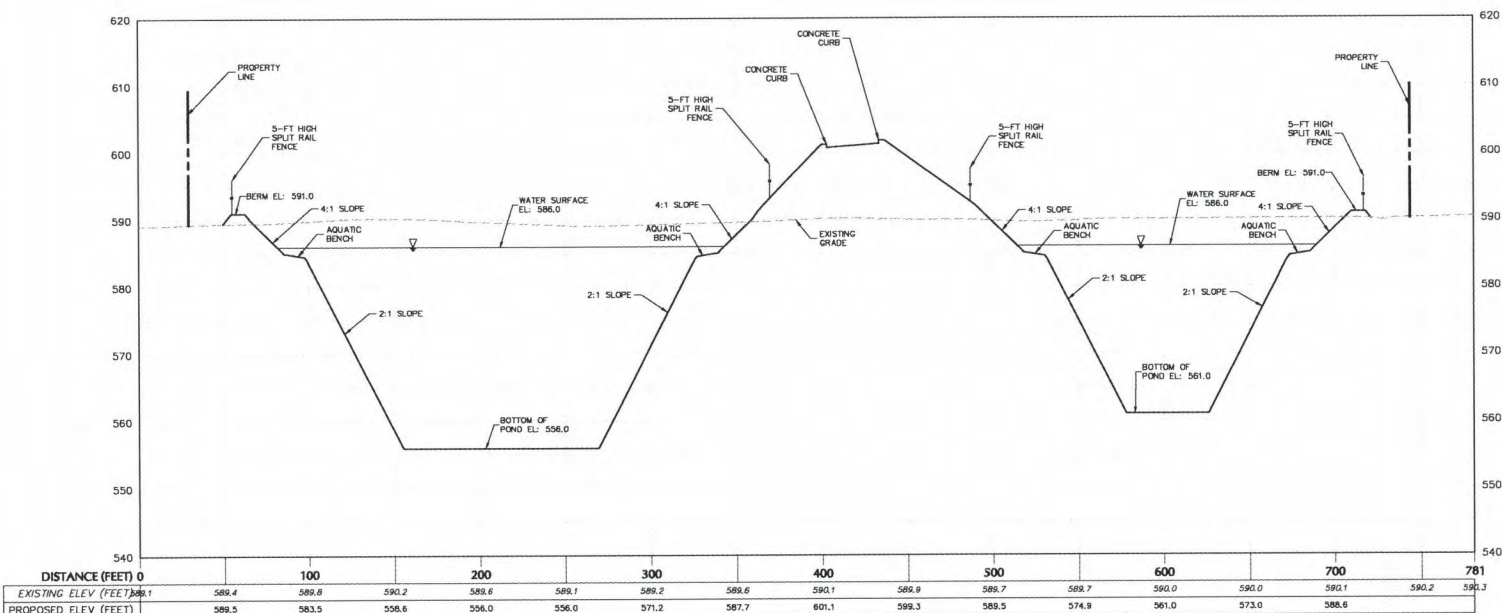
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PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**STORMWATER
SECTIONS (2 OF 3)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
MC
Checked By
CZME

Drawing No.
CG302
Sheet 42 of 89



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DATE SIGNED: 02/21/2020
PROF. ENGINEER NY Lic. No. 081473-1

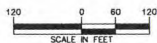
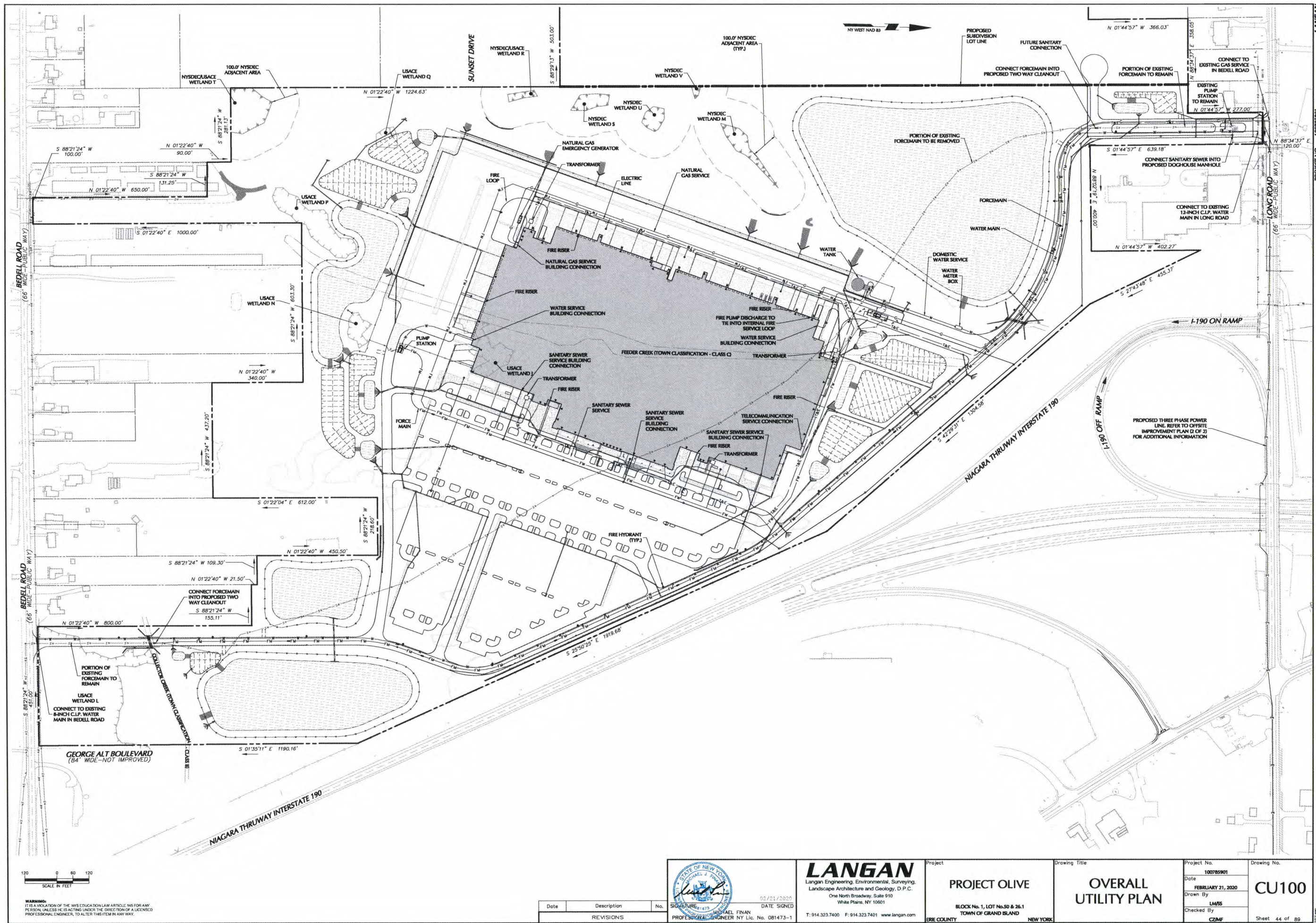
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PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 36.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**STORMWATER
SECTIONS (3 OF 3)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
MC
Checked By
CZMF

Drawing No.
CG303
Sheet 43 of 89



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Date	Description	No.
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STATE OF NEW YORK
MICHAEL J. FINAN
Professional Engineer No. 081473-1
DATE SIGNED 02/21/2020
PROF. ENGINEER NY Lic. No. 081473-1

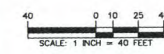
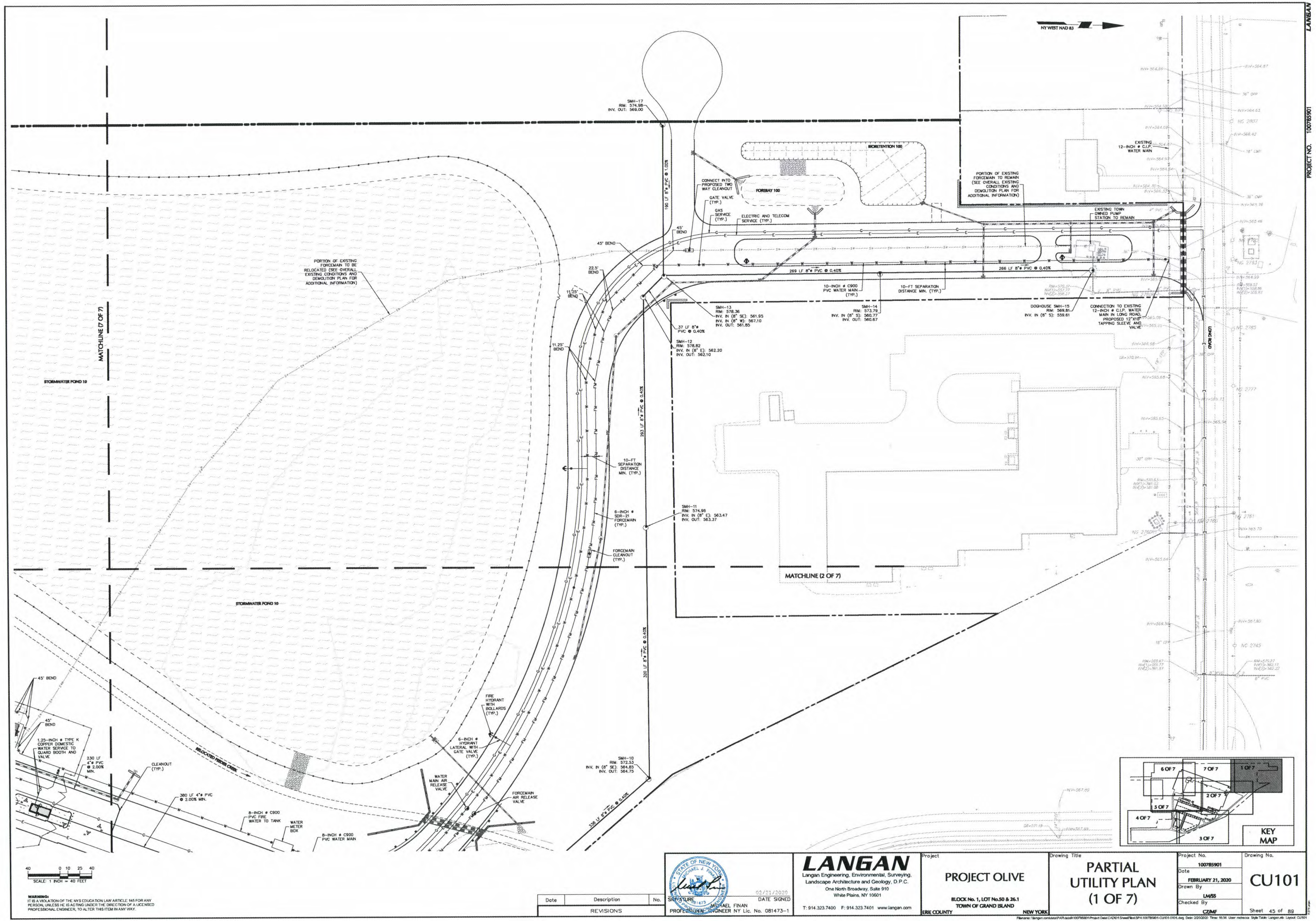
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**OVERALL
UTILITY PLAN**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM/SS
Checked By
CZMF
Drawing No.
CU100
Sheet 44 of 89

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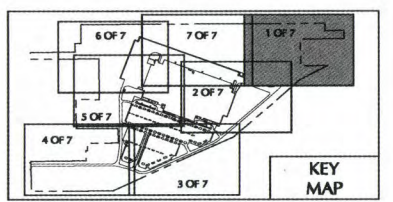


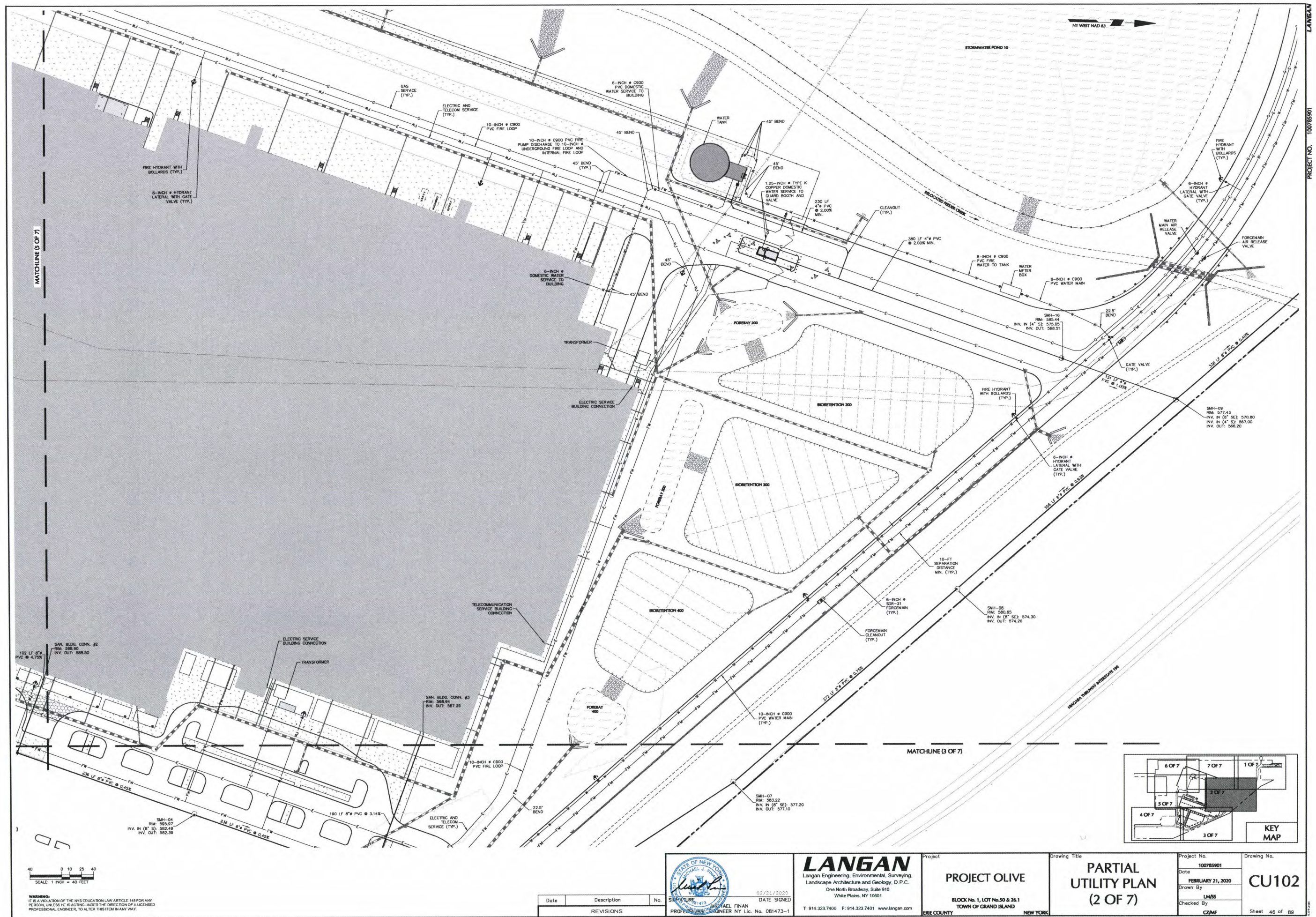
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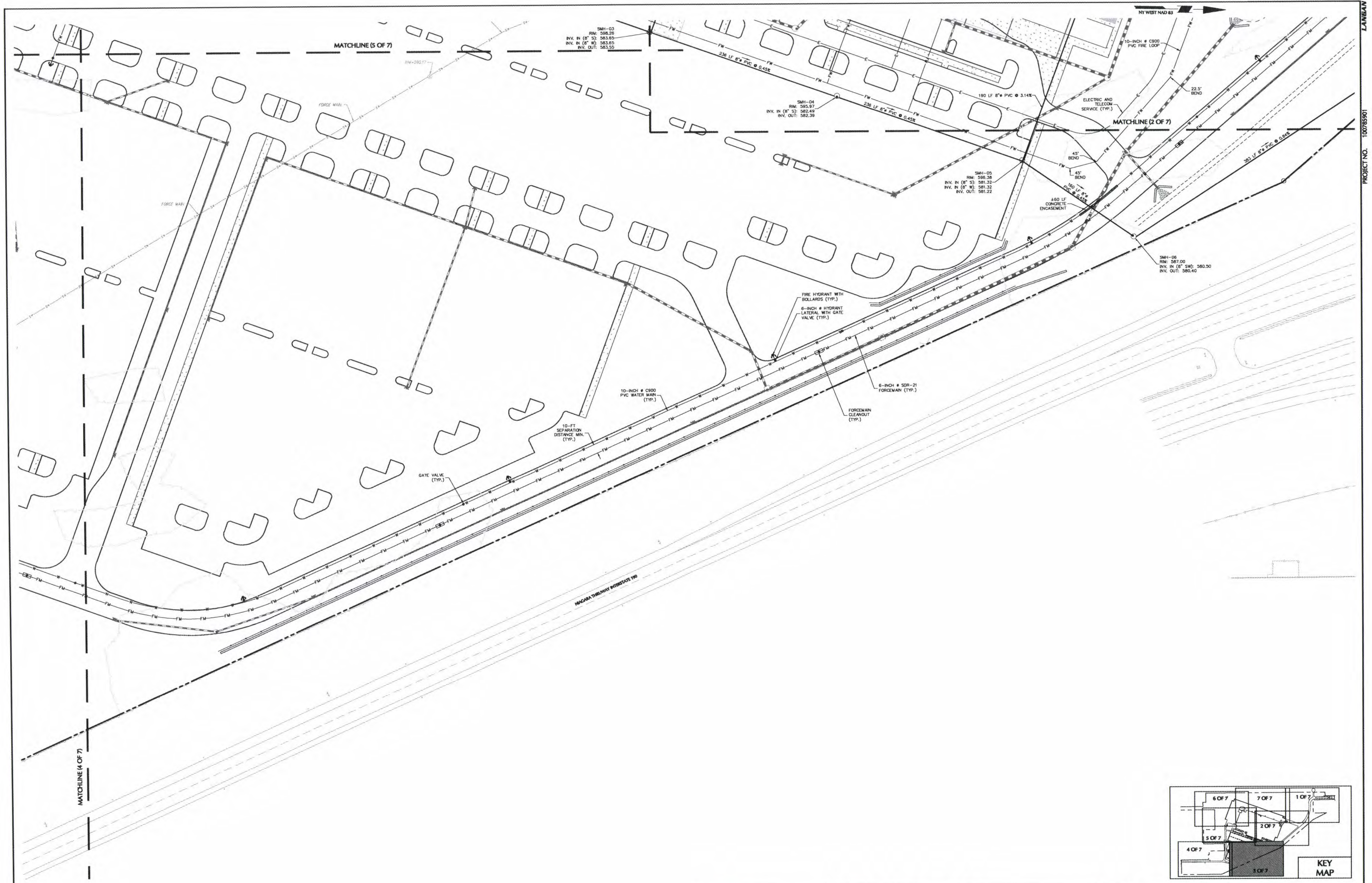
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
UTILITY PLAN
(1 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM/SS
Checked By
CZ/MF
Drawing No.
CU101
Sheet 45 of 89







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Michael A. Finan
Professional Engineer NY Lic. No. 081473-1

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Project

PROJECT OLIVE

BLOCK No. 1, LOT No.50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title

**PARTIAL
UTILITY PLAN
(3 OF 7)**

Project No.
100785901

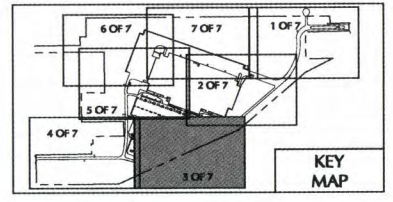
Date
FEBRUARY 21, 2020

Drawn By
LMSS

Checked By
CZMF

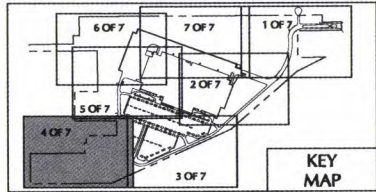
Drawing No.
CU103

Sheet 47 of 89



PROJECT NO. 100785901

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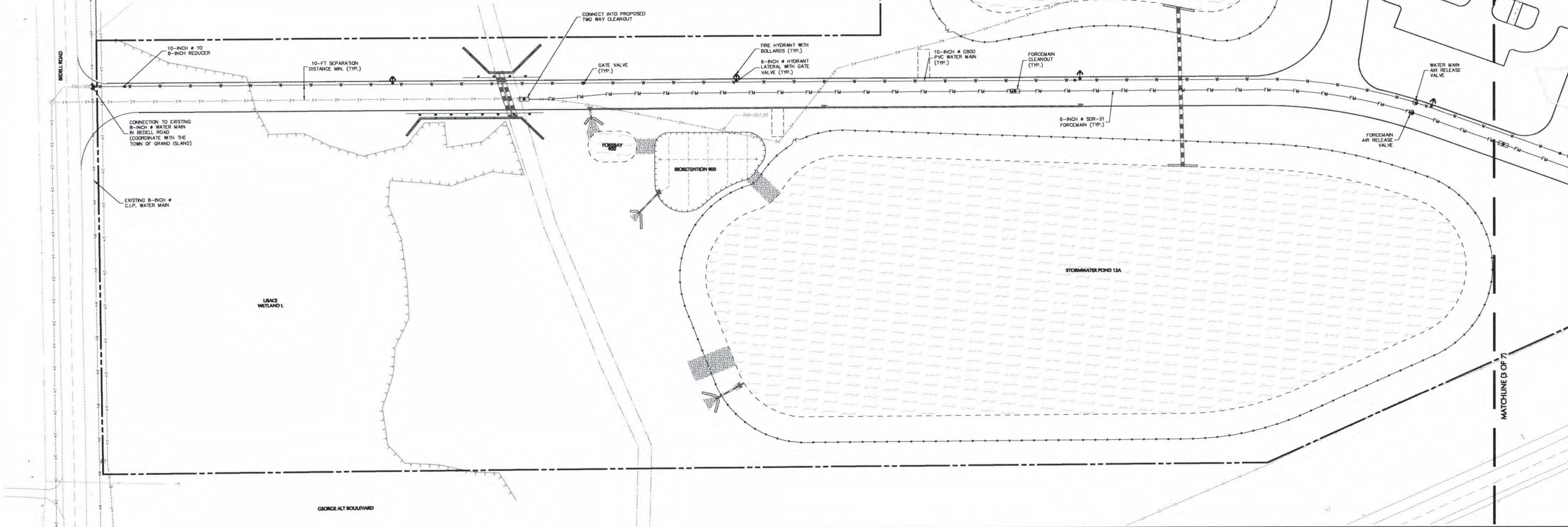


NY WEST NAD 83

MATCHLINE (5 OF 7)

PROJECT NO. 100785901

LANE



MATCHLINE (6 OF 7)

SCALE: 1" = 40' FEET

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MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1
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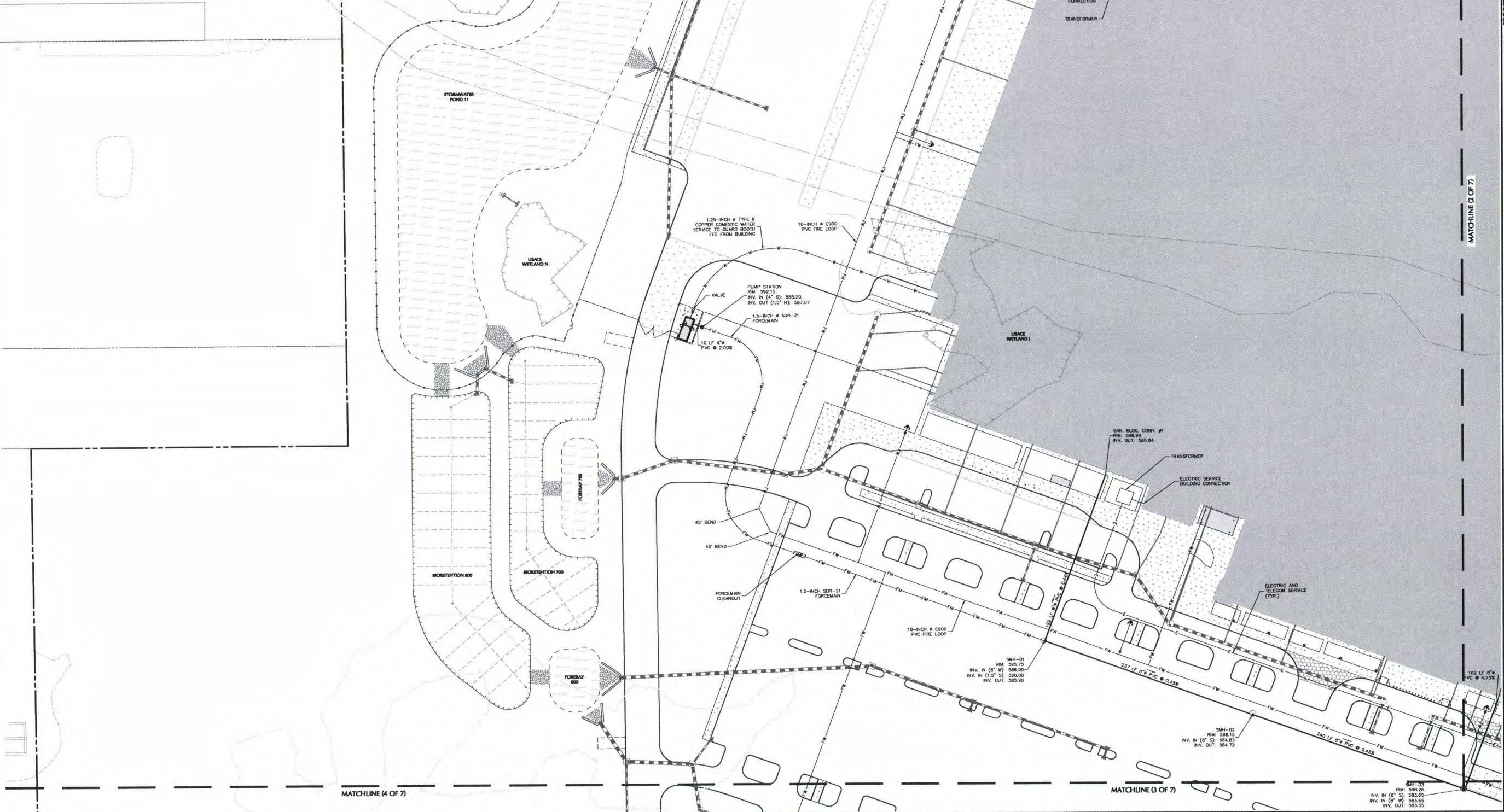
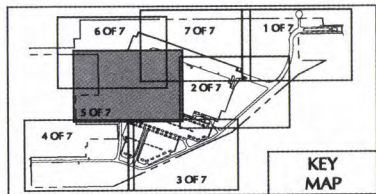
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
UTILITY PLAN
(4 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LWSS
Checked By
CZMF
Drawing No.
CU104
Sheet 48 of 89

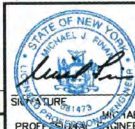
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SCALE: 1" = 40' FEET

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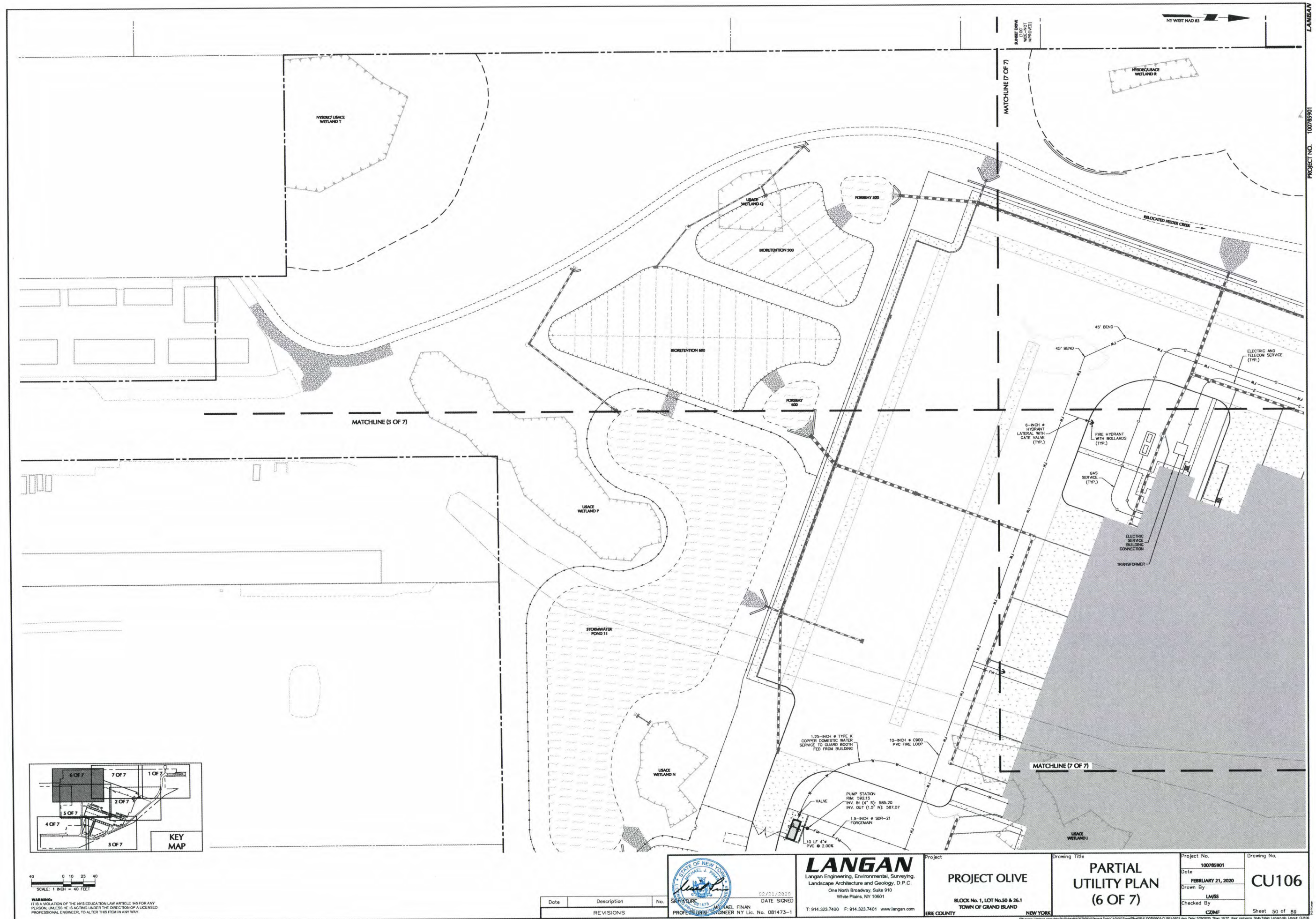
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PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

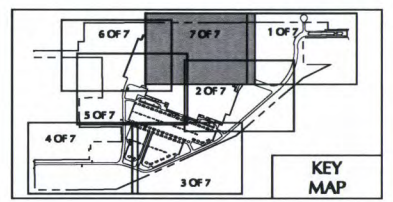
Drawing Title
**PARTIAL
UTILITY PLAN
(5 OF 7)**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LMSS
Checked By
CZMF

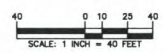
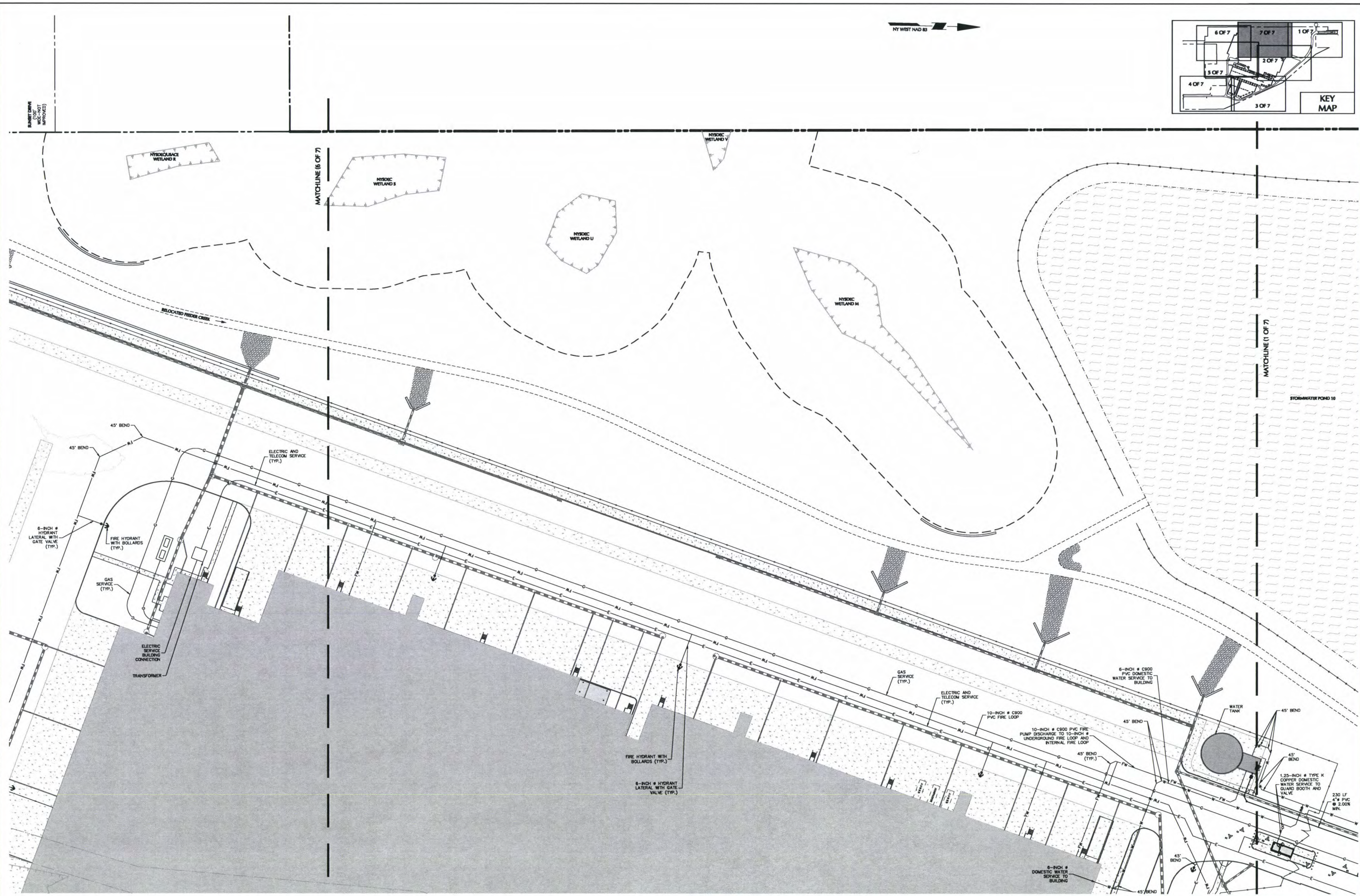
Drawing No.
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Sheet 49 of 89

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PROJECT NO. 100785901



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REVISIONS		

02/21/2020
DATE SIGNED
SIGNATURE
MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

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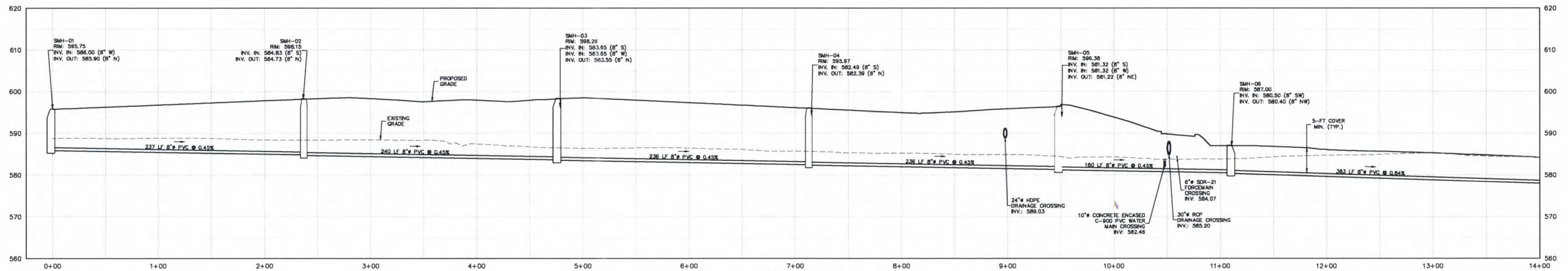
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BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
UTILITY PLAN
(7 OF 7)**

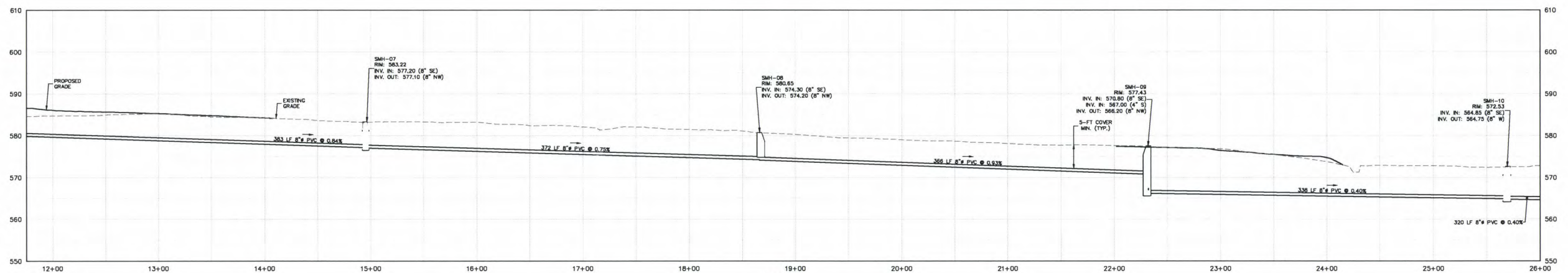
Project No.
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Date
FEBRUARY 21, 2020
Drawn By
LHSS
Checked By
CZMF

Drawing No.
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Sheet 51 of 89

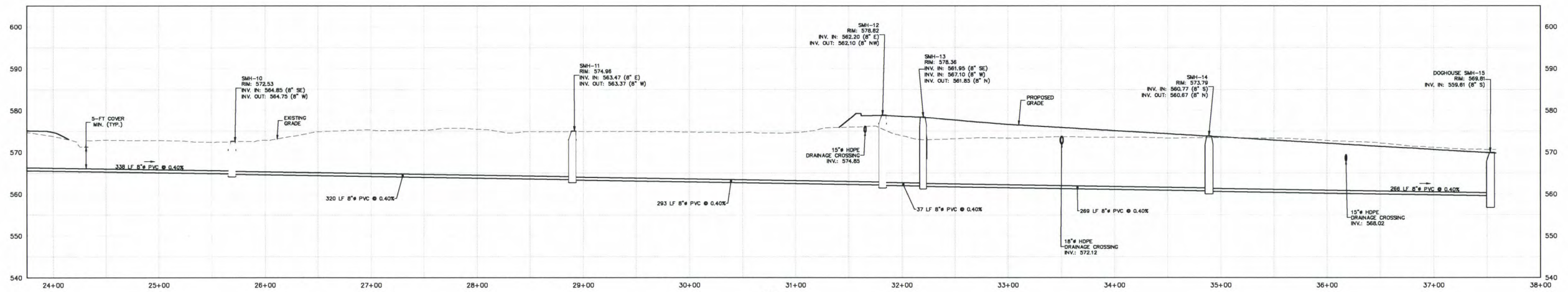
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SANITARY SEWER PROFILE (1 OF 3)



SANITARY SEWER PROFILE (2 OF 3)



SANITARY SEWER PROFILE (3 OF 3)

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Date	Description	No.
REVISIONS		



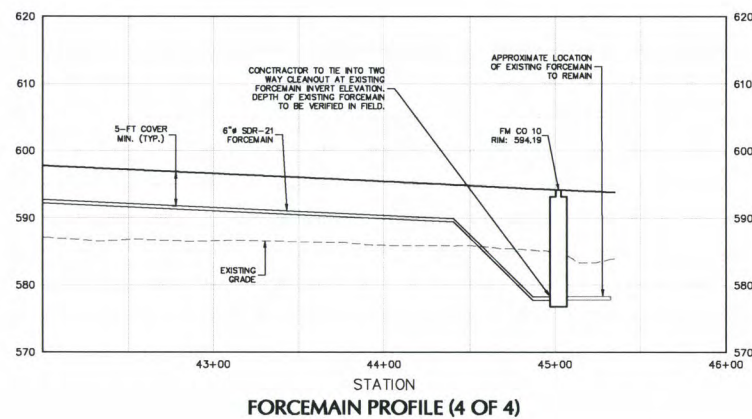
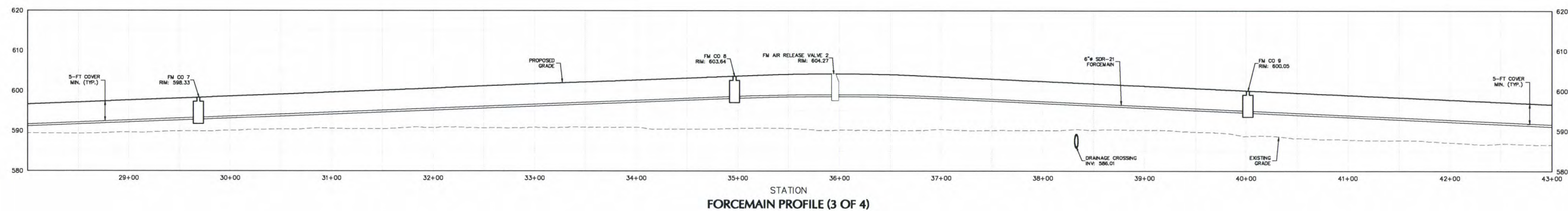
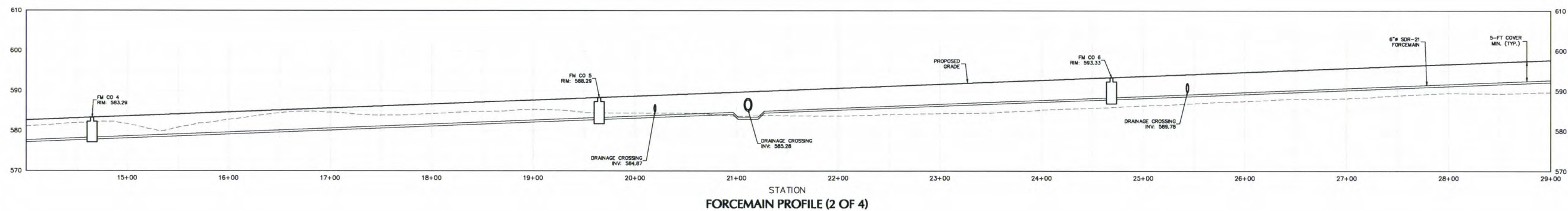
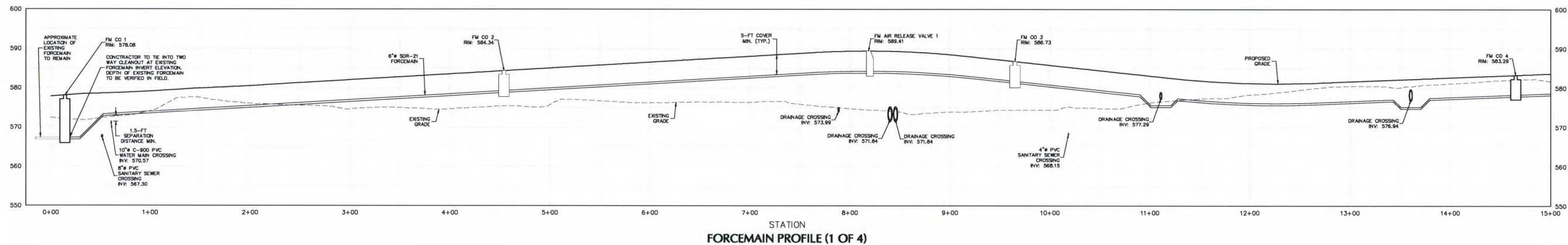
DATE SIGNED
02/21/2020

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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**SANITARY SEWER
PROFILE**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM
Checked By
CZMF
Drawing No.
CU201
Sheet 52 of 89



WARNING:
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	REVISIONS	



02/21/2020

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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

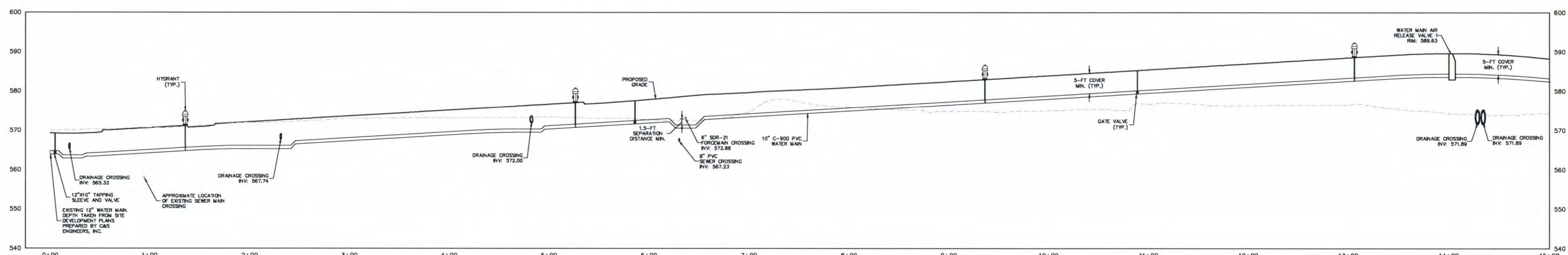
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**FORCEMAIN
PROFILE**

Project No.
100785901
Date
FEBRUARY 21, 2020
Drawn By
LM
Checked By
CZMF

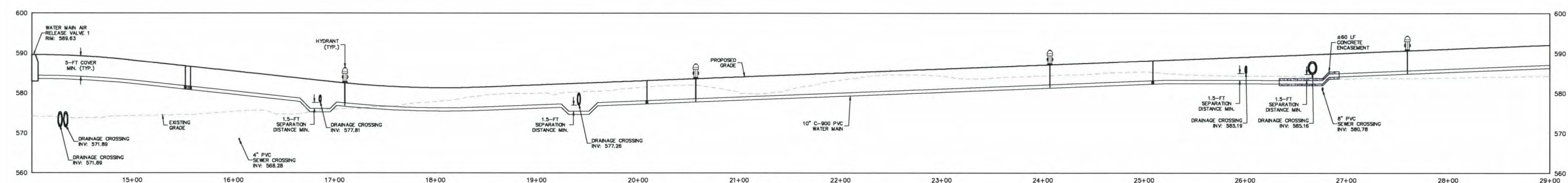
Drawing No.
CU202
Sheet 44 of 81

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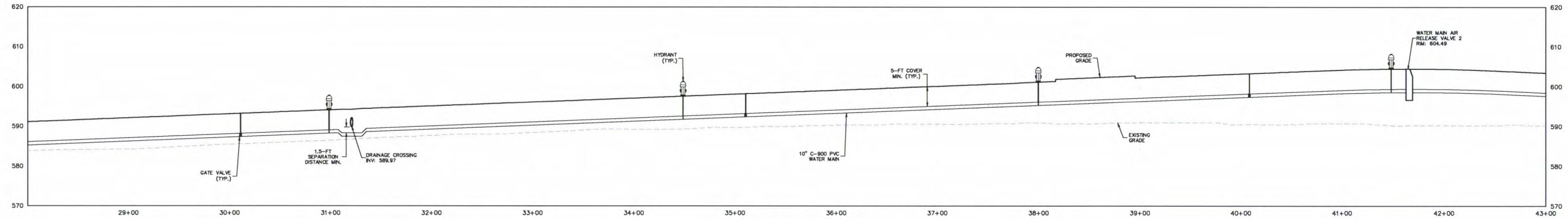
PROJECT NO. 100785901



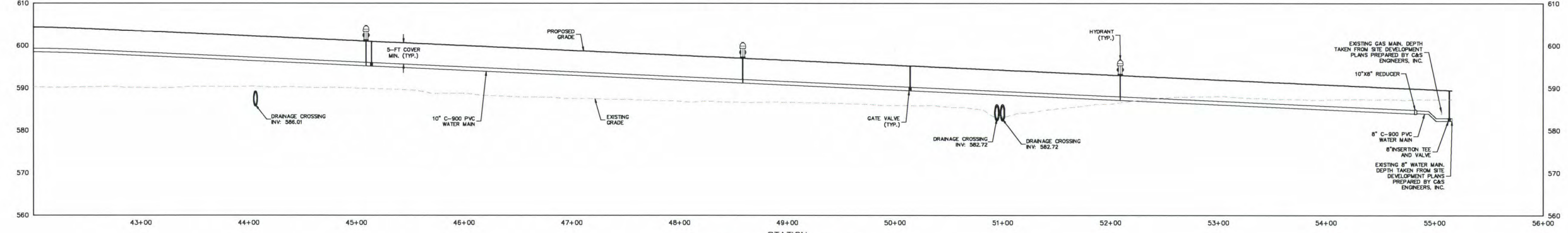
WATER MAIN PROFILE (1 OF 4)



WATER MAIN PROFILE (2 OF 4)

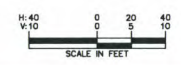


WATER MAIN PROFILE (3 OF 4)



WATER MAIN PROFILE (4 OF 4)

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Date	Description	No.
	REVISIONS	

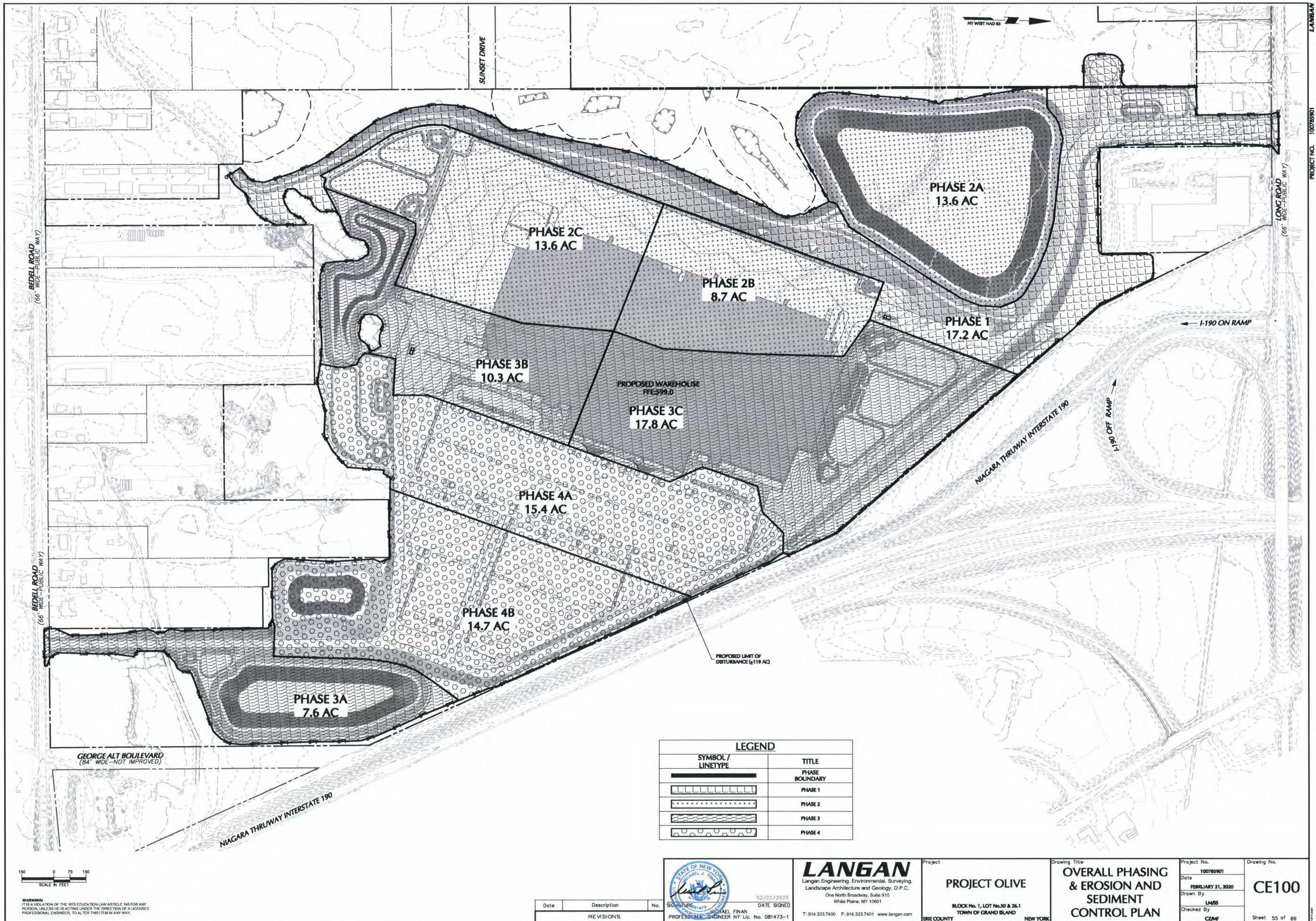
STATE OF NEW YORK
MICHAEL J. FINAN
Professional Engineer No. 081473-1
02/21/2020
DATE SIGNED

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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
ERIE COUNTY NEW YORK

Drawing Title
**WATER MAIN
PROFILE**

Project No. 100785901	Drawing No. CU203
Date FEBRUARY 21, 2020	
Drawn By LM	
Checked By CZME	



LEGEND	
SYMBOL / LINETYPE	TITLE
	PHASE BOUNDARY
	PHASE 1
	PHASE 2
	PHASE 3
	PHASE 4

150 0 75 150
SCALE IN FEET

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Date	Description	No.
REVISIONS		



02/21/2020
DATE SIGNED
MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

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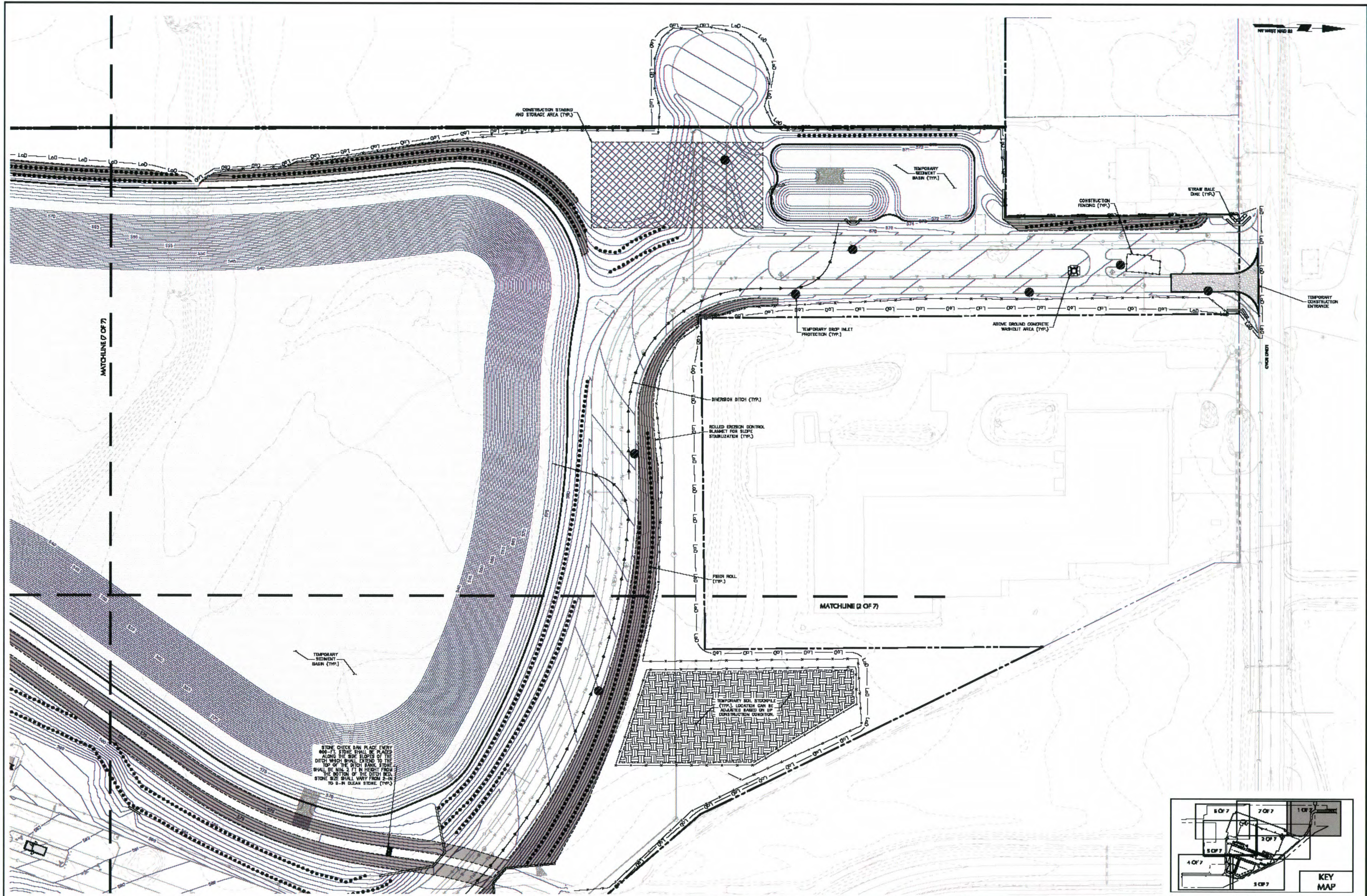
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 30 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**OVERALL PHASING
& EROSION AND
SEDIMENT
CONTROL PLAN**

Project No.
100765901
Date
FEBRUARY 21, 2020
Drawn By
LMBS
Checked By
CZME

Drawing No.
CE100
Sheet 55 of 89

Filename: \\langan.com\data\PA\100765901\Project Data\CA2015\Sheet\CE100-0101.dwg Date: 2/20/2020 Time: 16:24 User: mchroos Style Table: Langan.ctb Layout: Overall Phasing & Erosion And Sediment Control Plan



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Date	Description	No.
REVISIONS		

SEAL OF THE STATE OF NEW YORK
Professional Engineer
MICHAEL PHAN
No. 081473-1

02/21/2020
DATE SIGNED

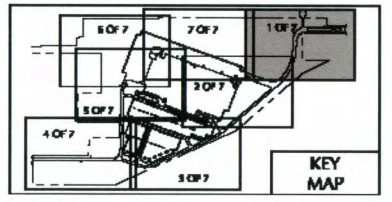
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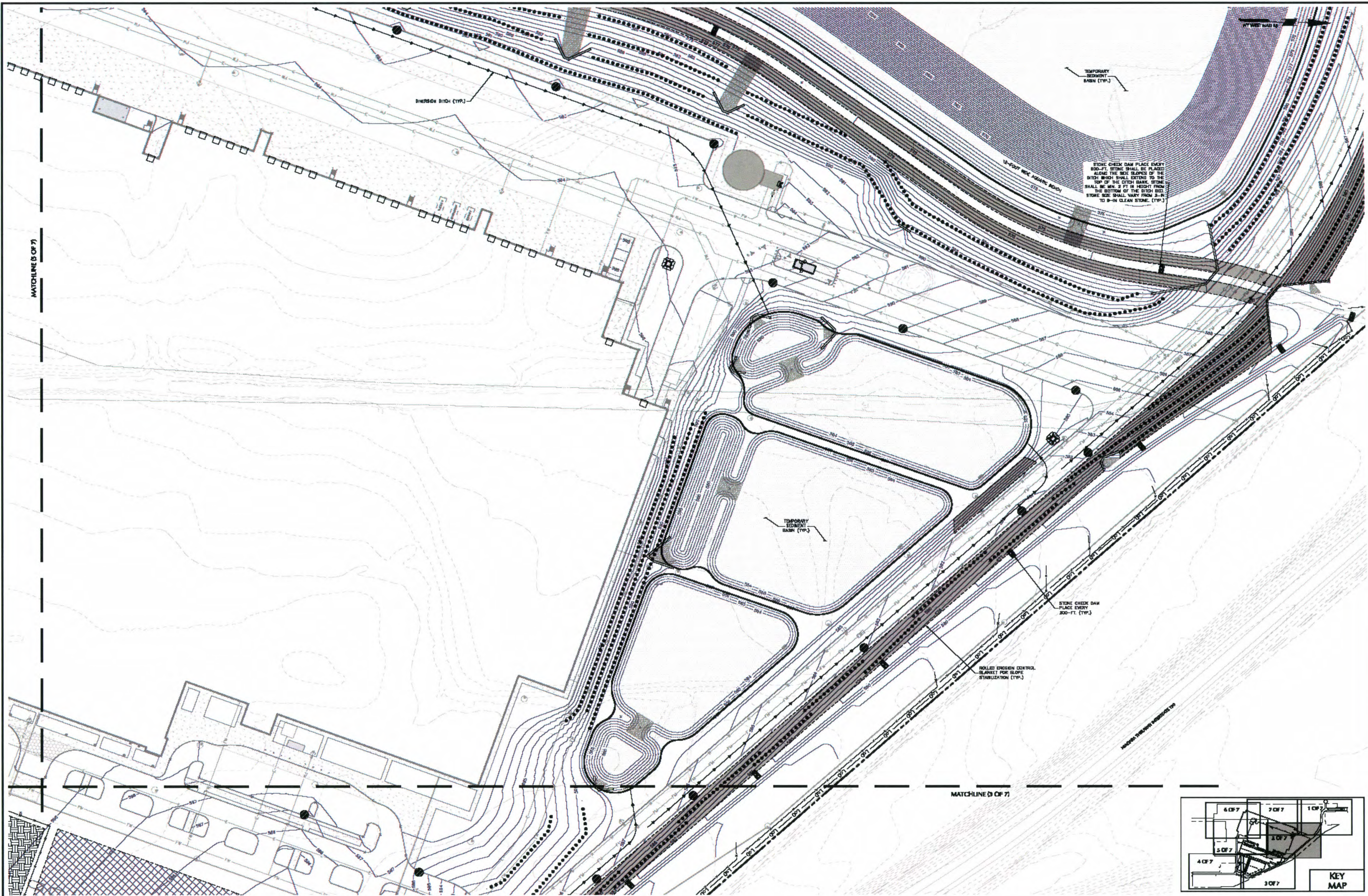
Project
PROJECT OLIVE
BLOCK NO. 1, LOT NO. 10 & 26.1
TOWN OF CRAWFORD

Drawing Title
**PARTIAL EROSION AND
SEDIMENT CONTROL
PLAN (1 OF 7)**

Project No.
10075801
Date
FEBRUARY 21, 2020
Drawn By
LPH
Checked By
CME

Drawing No.
CE101
Sheet 53 of 87





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Date	Description	No.
REVISIONS		

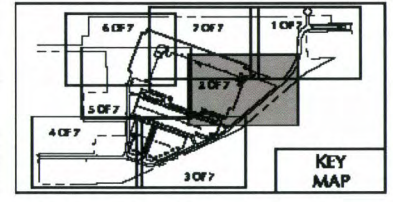
DATE SIGNED: 02/21/2020
PROF. MICHAEL FINAN
ENGINEER, N.Y. No. 081473-1

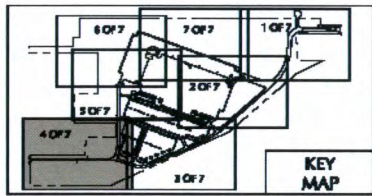
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Project
PROJECT OLIVE
BLOCK NO. 1, LOT NO. 2 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL EROSION AND
SEDIMENT CONTROL
PLAN (2 OF 7)**

Project No. 100765001	Drawing No. CE102
Date FEBRUARY 21, 2020	Sheet 54 of 87
Drawn By LANS	
Checked By C.M.P.	

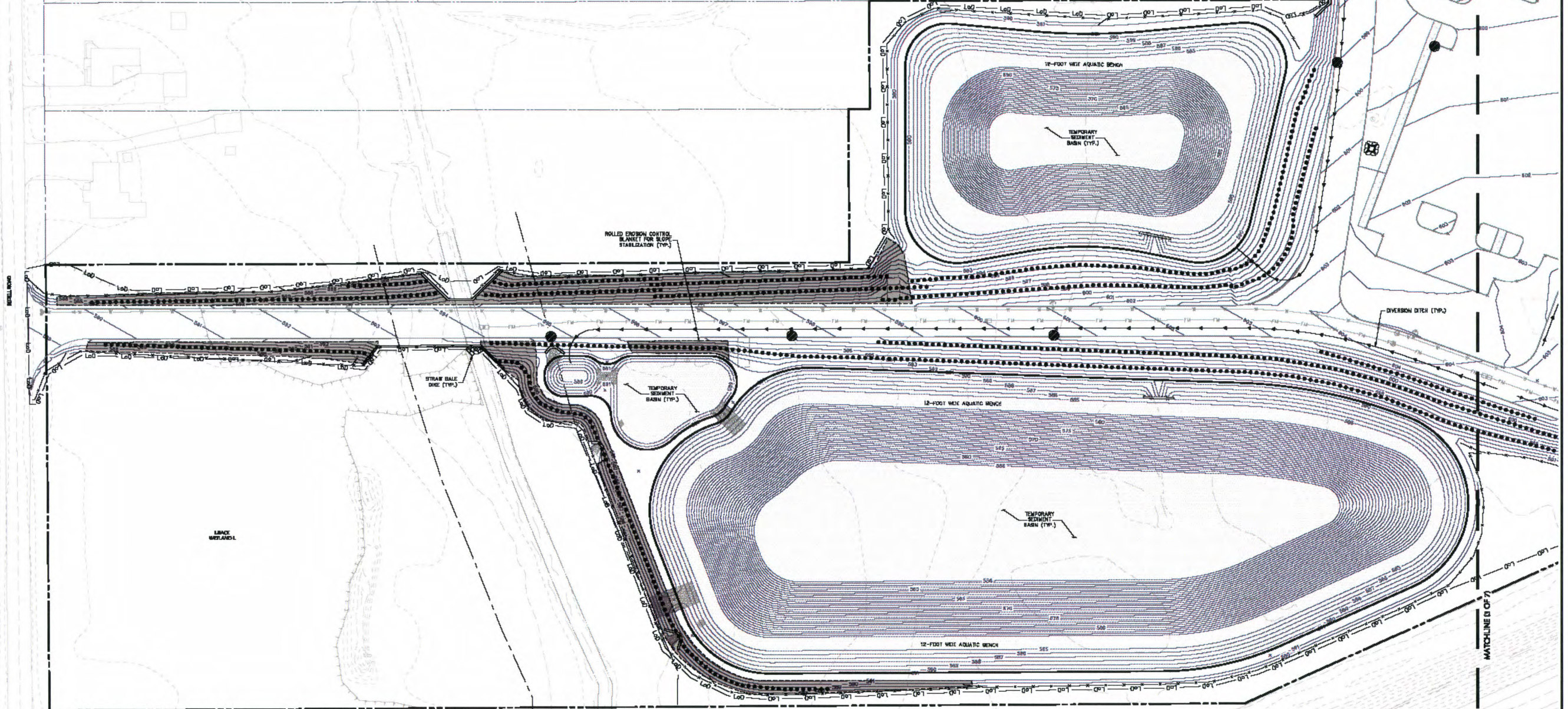




NEW YORK STATE

MATCHLINE (5 OF 7)

PROJECT NO. 100766901



MATCHLINE (5 OF 7)



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Date	Description	No.
REVISIONS		

Professional Engineer Seal for Michael Finan, State of New York, License No. 081473-1, dated 02/21/2020.

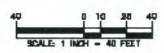
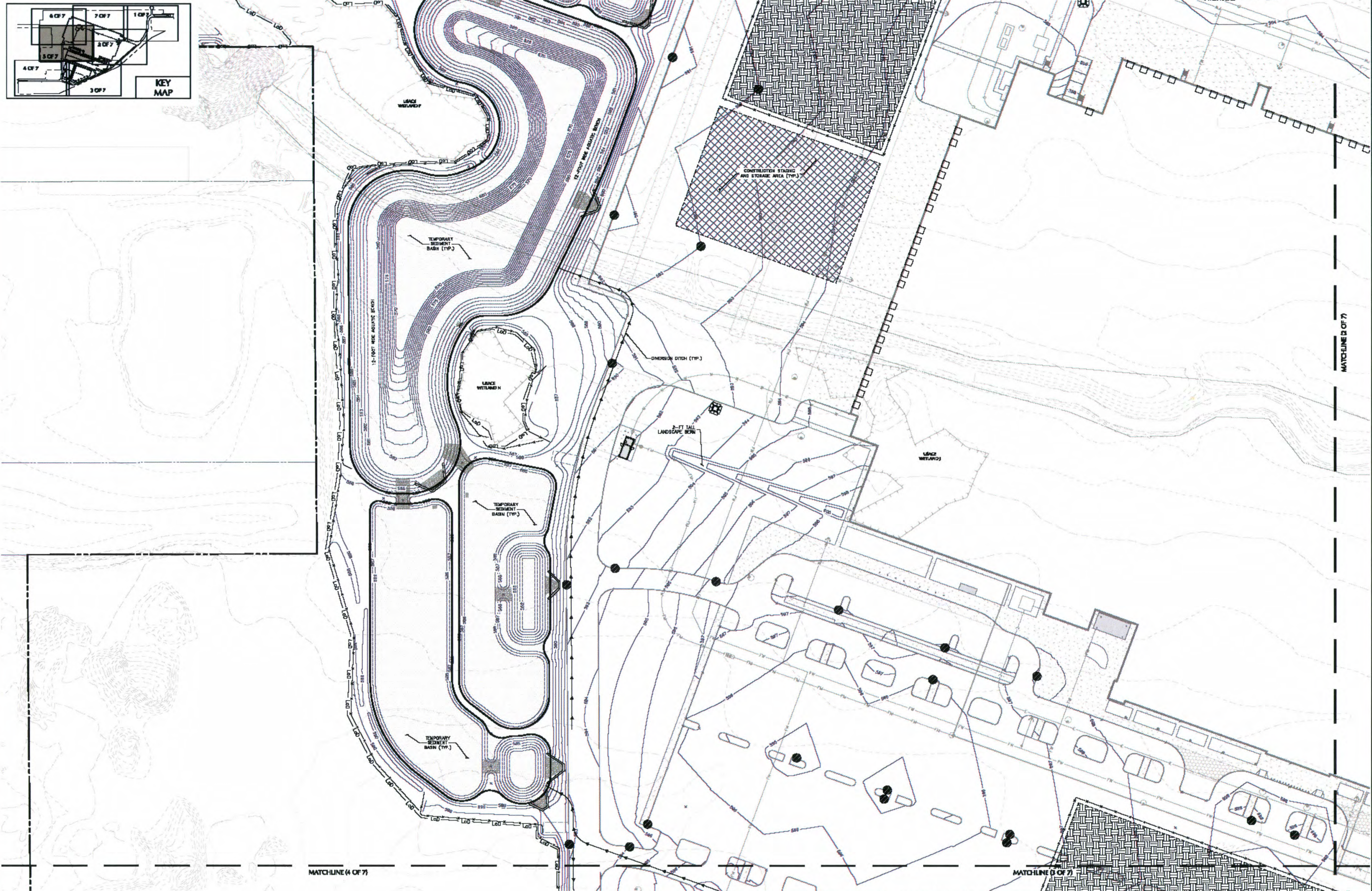
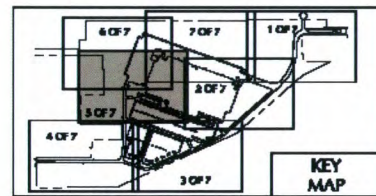
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 2 & 3
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
PARTIAL EROSION AND SEDIMENT CONTROL PLAN (4 OF 7)

Project No. 100766901
Date: FEBRUARY 21, 2020
Drawn By: LANS
Checked By: CEM
Drawing No. **CE104**
Sheet 56 of 87

Files: \langan\msh\p08-010\100766901\p08-010-05-01-01.dwg Plot: 2/20/2020 Plot: 1027 10x14 inches 3/4" Title: Langan 08-010-05-01-01.dwg



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Date	Description	No.
REVISIONS		

02/21/2020
DATE SIGNED

SIGNATURE: MICHAEL FINAN
PROFESSIONAL ENGINEER NY Lic. No. 081473-1

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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 10 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL EROSION AND
SEDIMENT CONTROL
PLAN (5 OF 7)**

Project No.
100768901

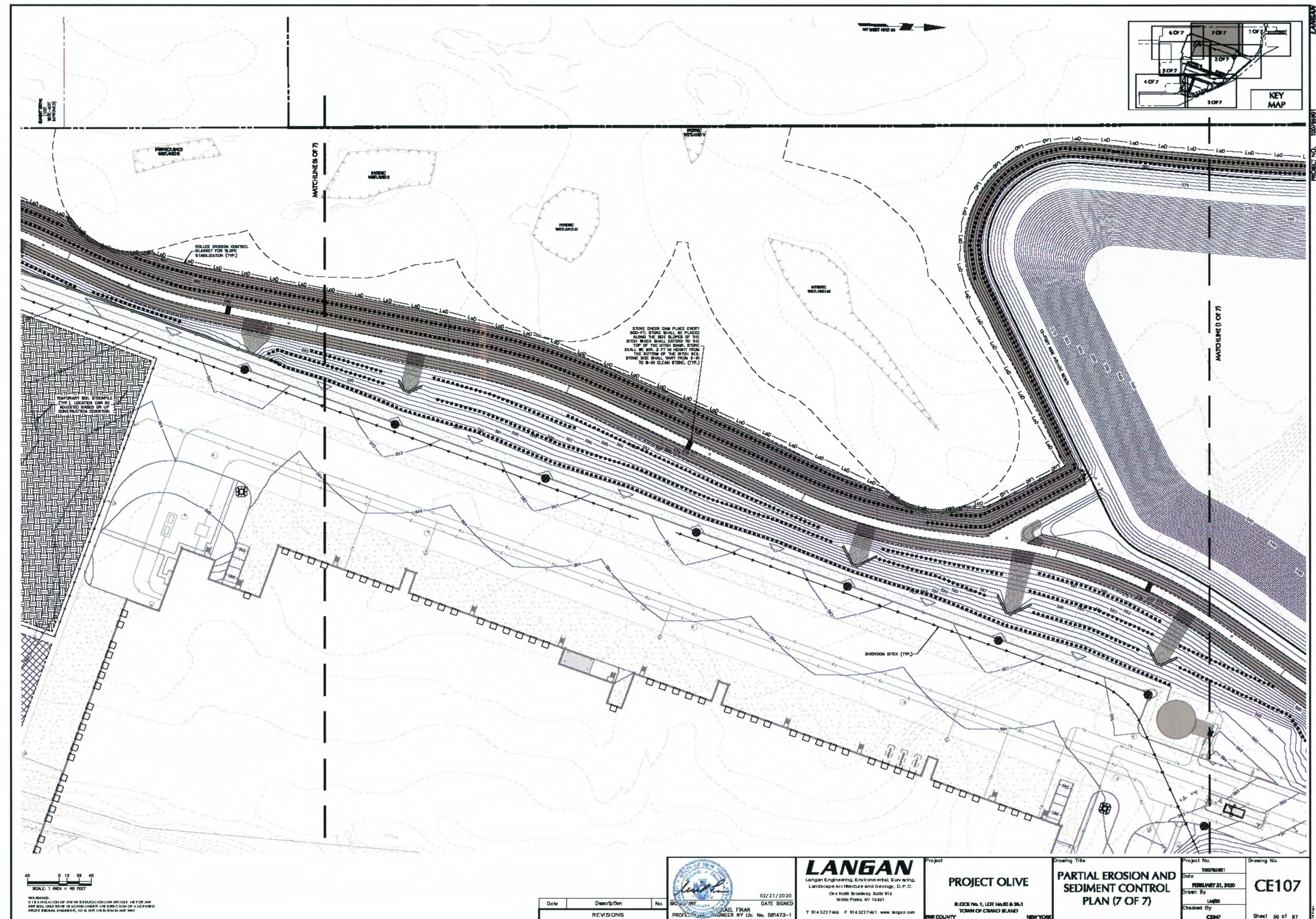
Date
FEBRUARY 21, 2020

Drawn By
LJG

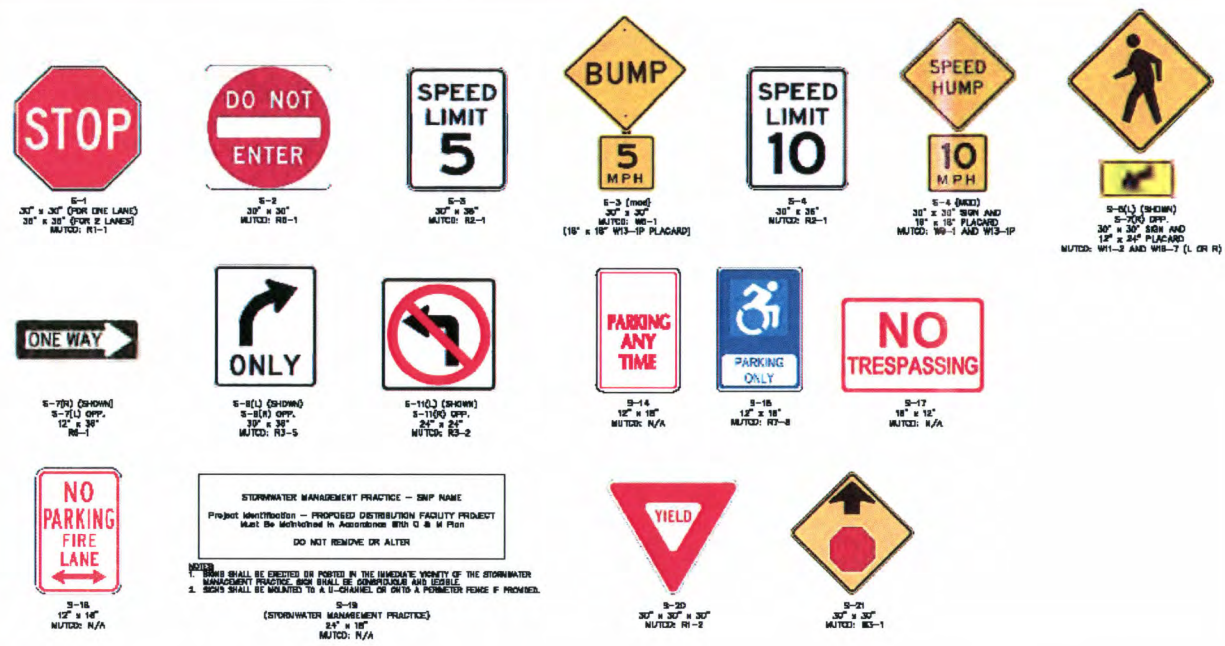
Checked By
CEM

Drawing No.
CE105

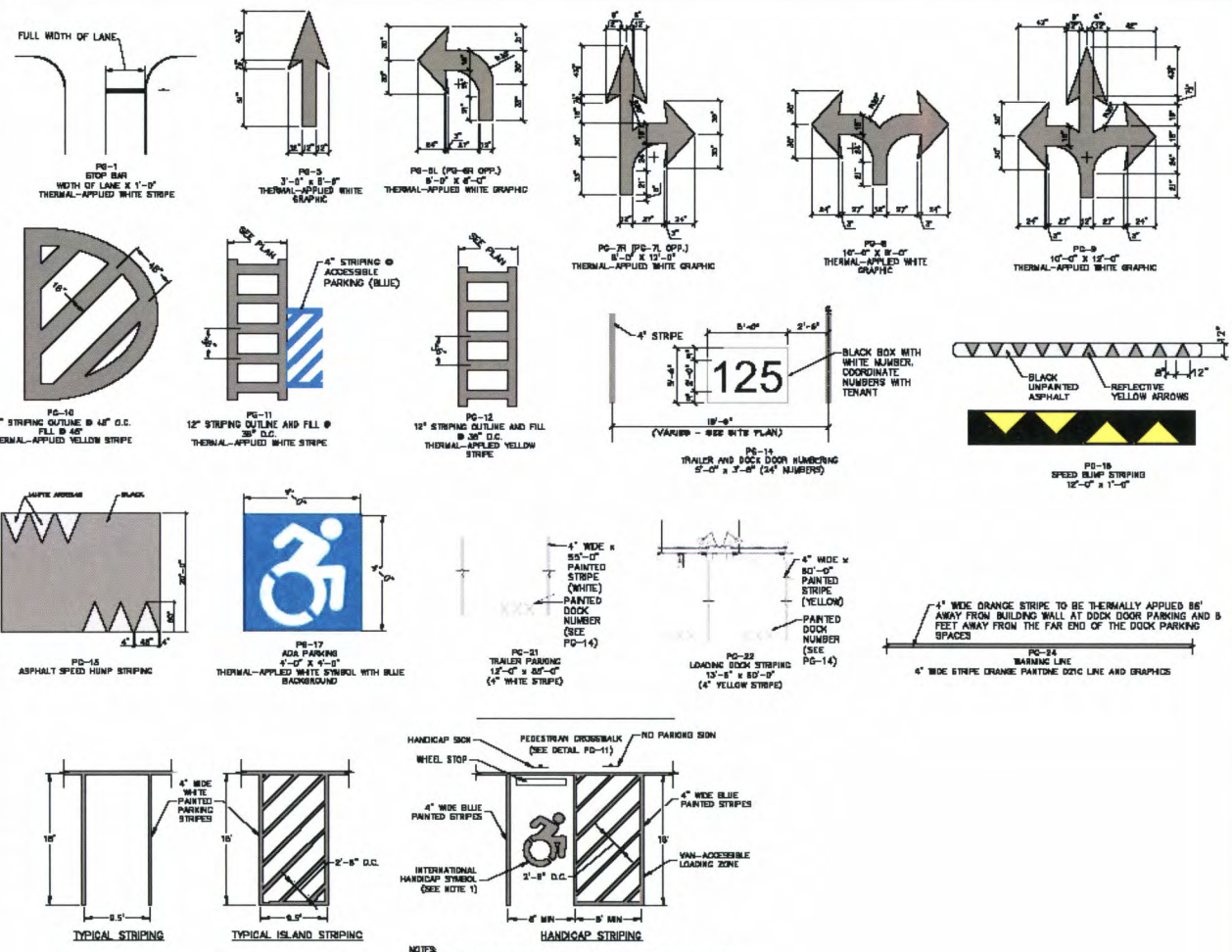
Sheet 57 of 87



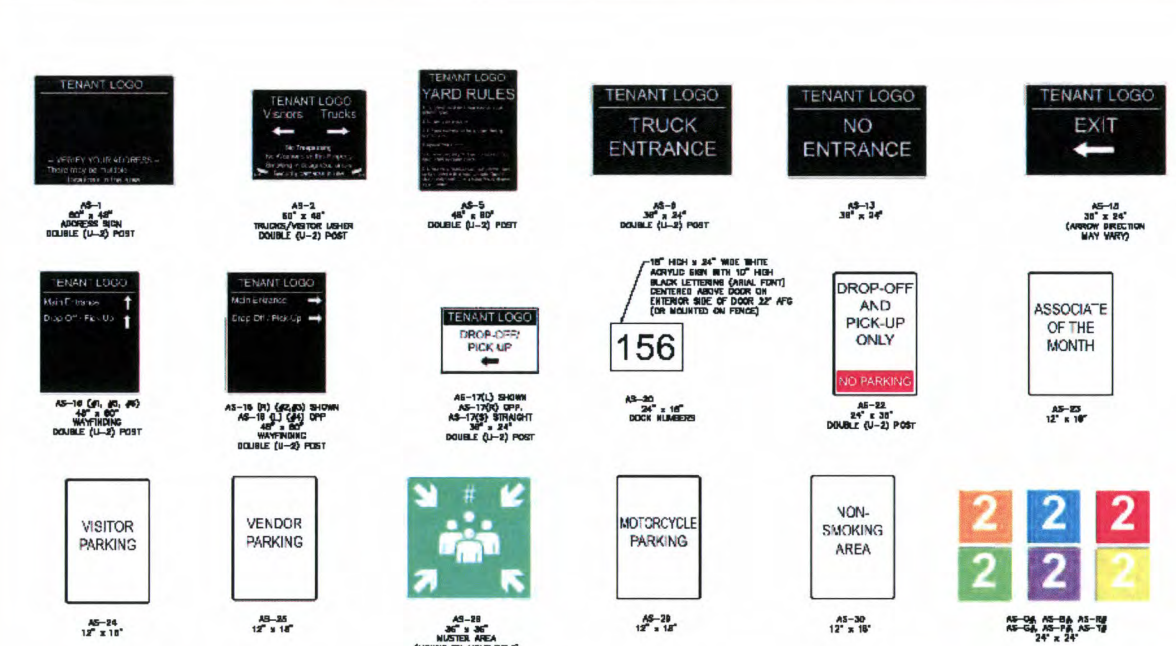
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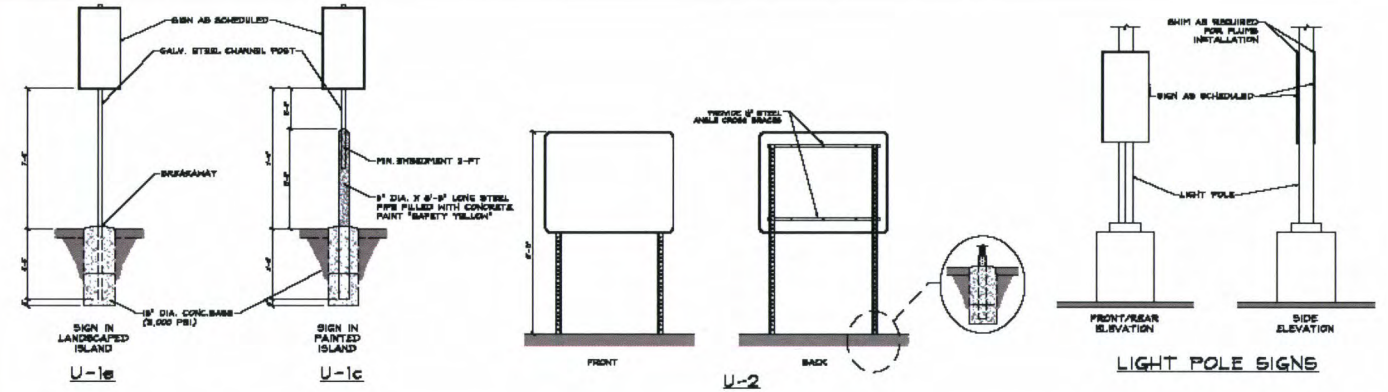
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SCALE: NTS



PAVEMENT GRAPHICS
SCALE: NTS

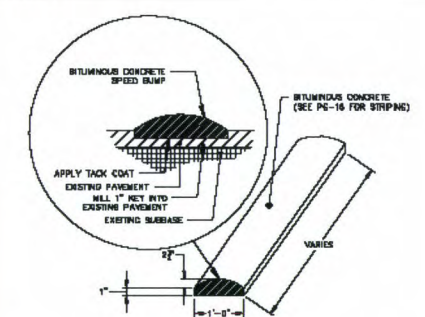


TENANT SPECIFIC SIGNAGE
SCALE: NTS

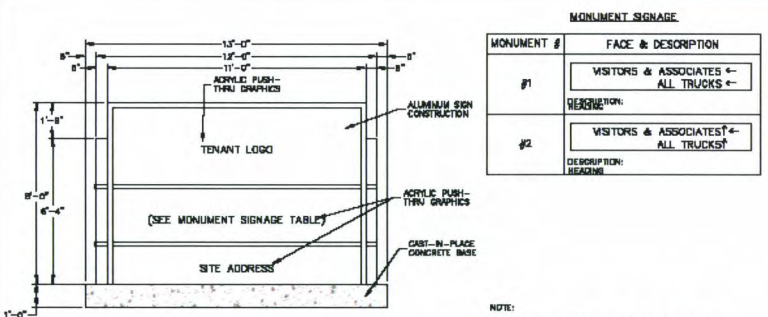


- NOTES:**
- SEE ATTACHED PLANS FOR SIGN LOCATIONS.
 - "U-1-C" LABEL DESIGNATES SIGNS ON TOP OF COMPACTED EARTH. "U-1-C" LABEL DESIGNATES SIGNS ON TOP OF CONCRETE OR ASPHALTIC PAVING. "U-2" LABEL DESIGNATES SIGNS WITH DOUBLE SUPPORTS.
 - FOR U-1-C SIGNS, PROVIDE A 30" MOUNTING TUBE (2 1/4" SQUARE STEEL POST) DRIVEN TO 1" TO 2" ABOVE GRADE. THE MOUNTING TUBE IS TO BE PAIRED WITH AN 18" BREAKAWAY SUPPORT TUBE (2 1/4" SQUARE STEEL POST). THE SIGN POST SINKS TO BASE OF THE ANCHOR TUBE AND BREAKAWAY SUPPORT WITH AN ANGLE BOLT.
 - FOR U-1-C SIGNS, A PEDESTAL BASE IS TO BE MARRIED TO A 2" POST. THE BASE IS SHIMMED FOR PLUMB INSTALLATION OF THE POST AND PANEL. BASE FASTENS TO CONCRETE PAVING WITH MASONRY ANCHORS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - U-1-E AND U-1-C SIGN PANELS IS TO BE INSTALLED AT 7' A.F.G. WITH THE POST EXTENDING WITHIN 2" OF THE TOP OF THE SIGN PANEL. TOP OF THE U-2 SIGN PANEL SHALL BE AT 8' A.F.G. INSTALLATION SHALL BE PLUMB, LEVEL, AND STRAIGHT.
 - SUPPORTS ARE TO BE SUFFICIENT FOR SECURE MOUNTING OF SIGN ON LIGHT POLE.
 - ALL HARDWARE SHALL BE NON-CORROSIVE. IF ADDITIONAL THICKNESS OF MATERIAL OR ADDITIONAL INTERNAL BRACING IS REQUIRED FOR SECURE INSTALLATION OR TO PROVIDE STABILITY ON LIGHT POLE, ALTERATIONS SHALL BE REFLECTED IN SHOP DRAWINGS. WIND LOADING AND DURABILITY SHALL BE TAKEN INTO ACCOUNT IN THE ENGINEERING OF THE SIGN.
 - GRAPHICS AND TYPOGRAPHY SIGN GRAPHICS ARE TO BE HEAVY DUTY .3M REFLECTIVE VINYL FOR SIGNS ON LIGHT POLE.

SIGNAGE POSTS
SCALE: NTS



BITUMINOUS CONCRETE SPEED BUMP
SCALE: NTS



MONUMENT SIGN
SCALE: NTS

WARNING:
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2. STRIPING WORK SHALL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.

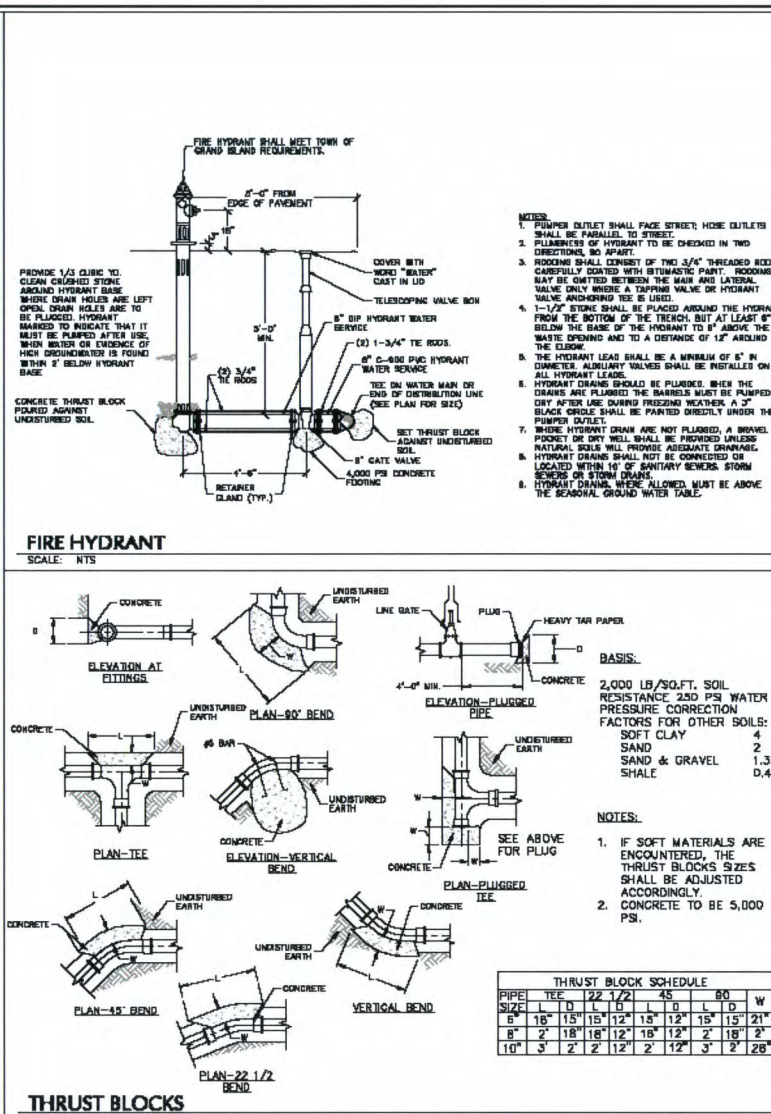
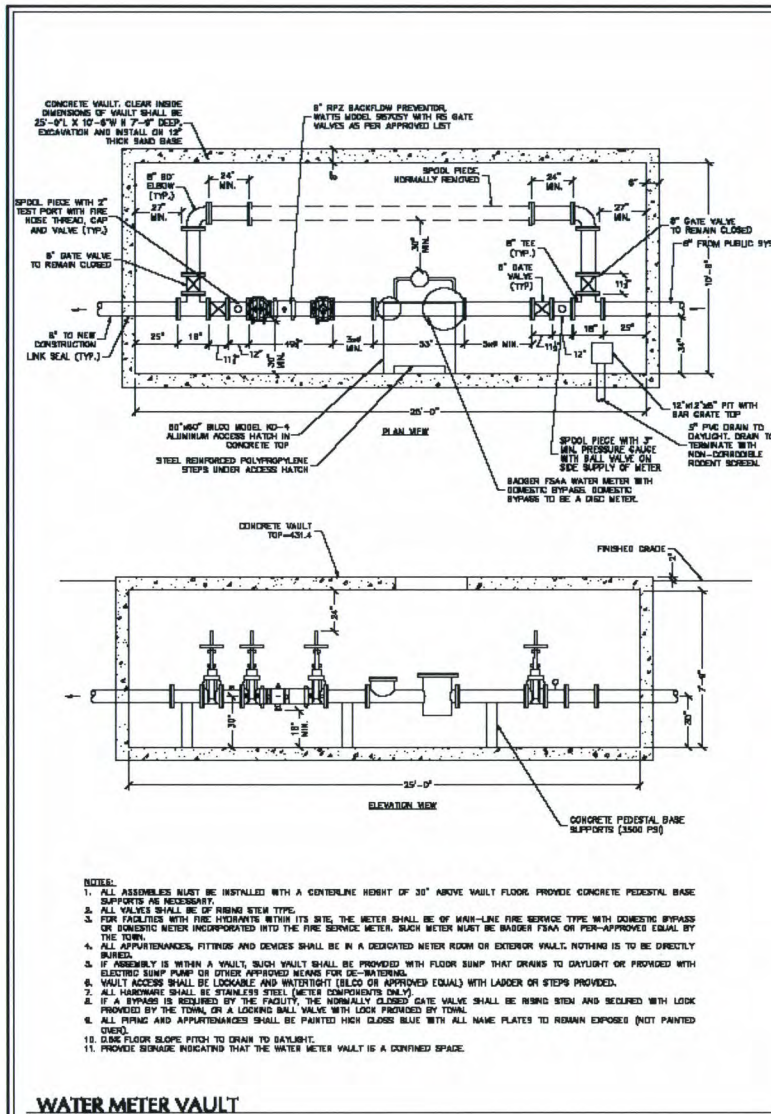
Date	Description	No.
02/21/2020	DATE SIGNED	
	REVISIONS	

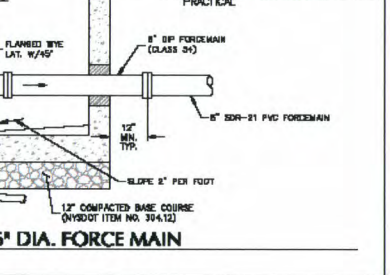
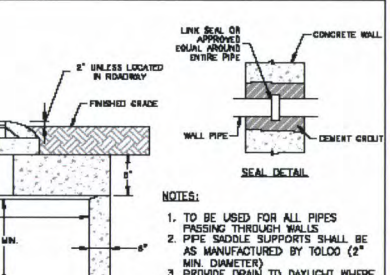
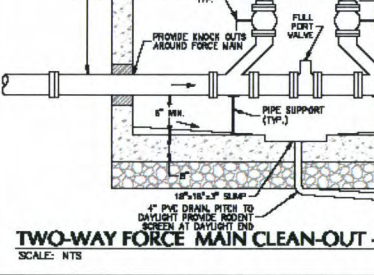
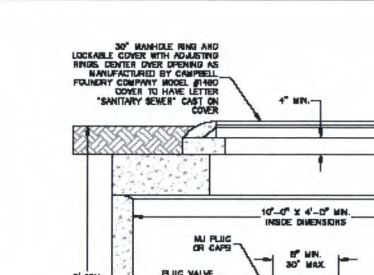
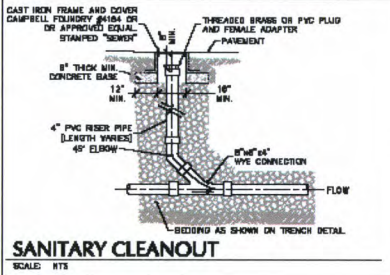
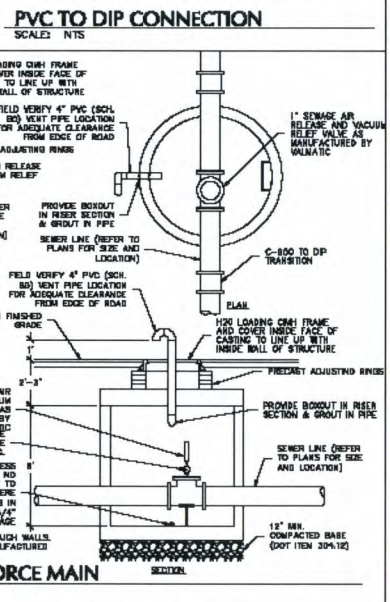
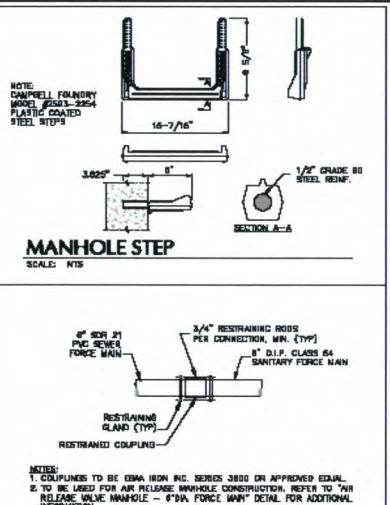
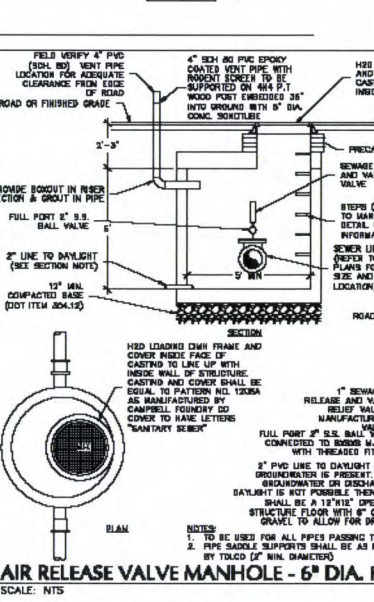
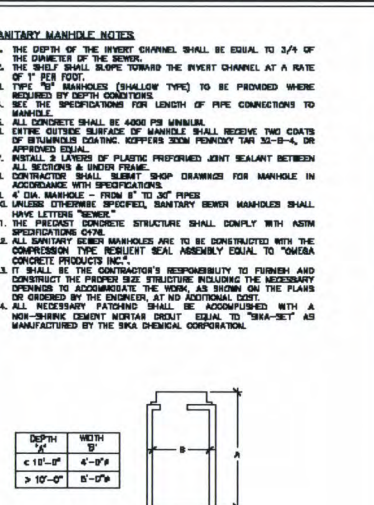
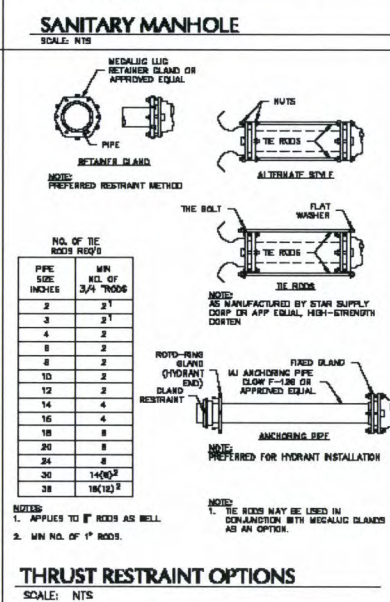
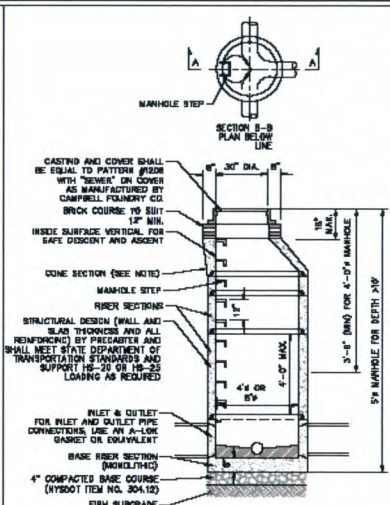
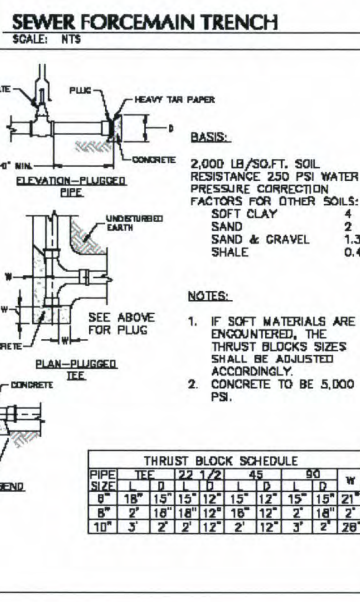
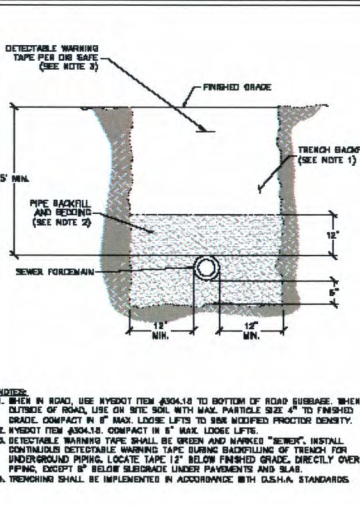
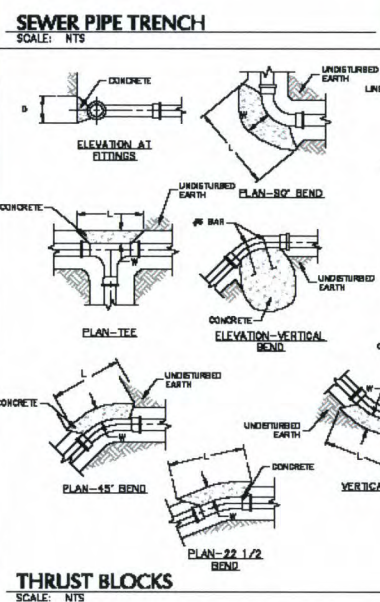
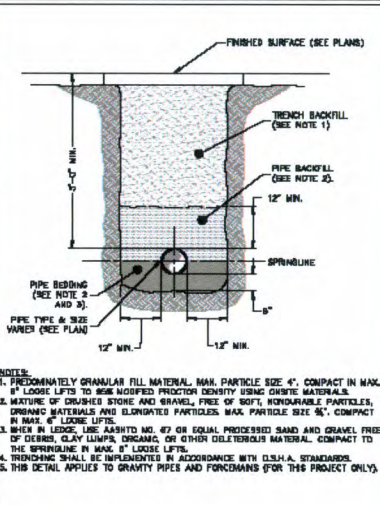
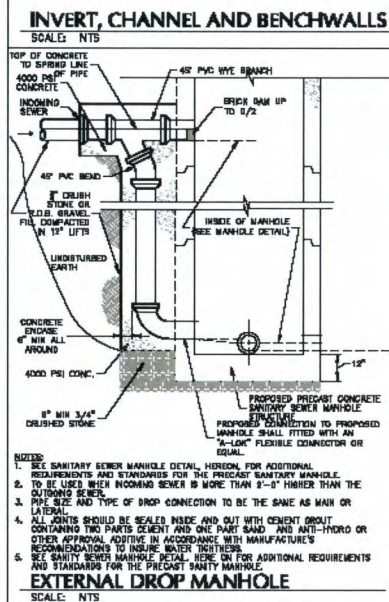
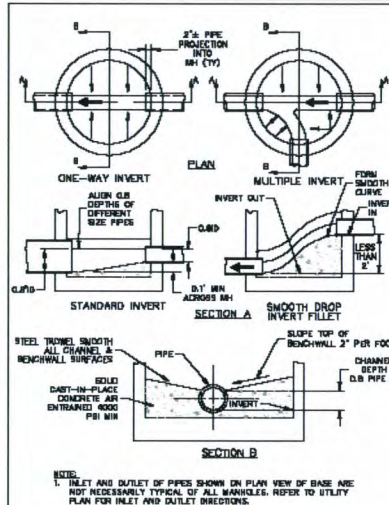
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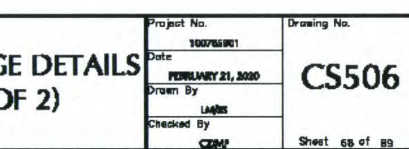
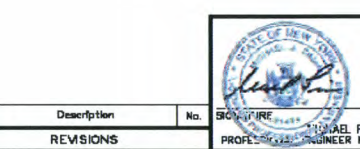
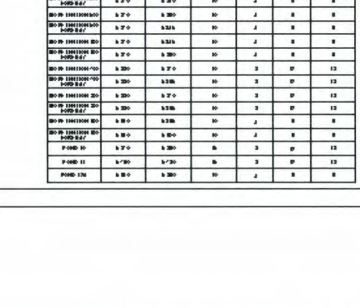
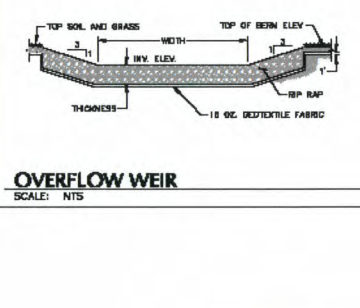
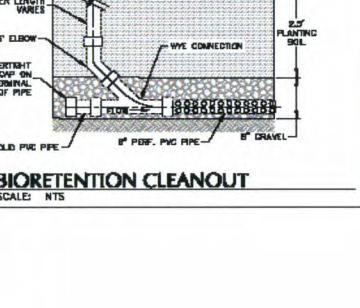
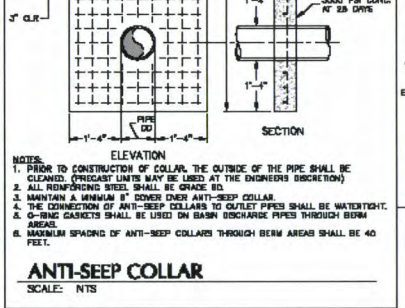
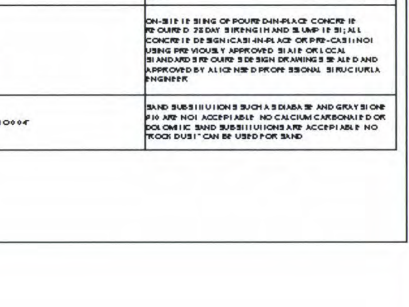
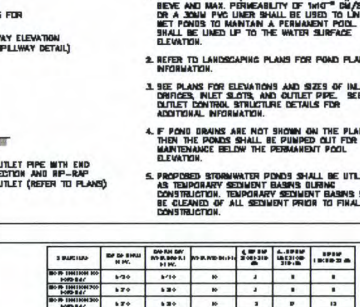
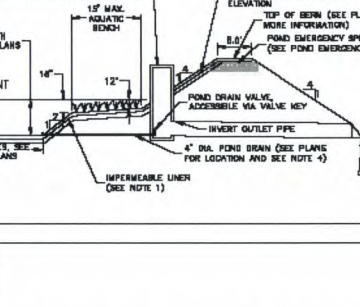
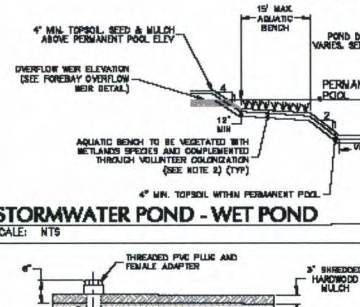
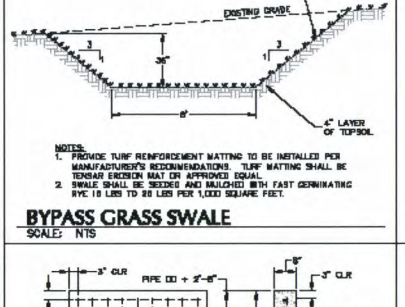
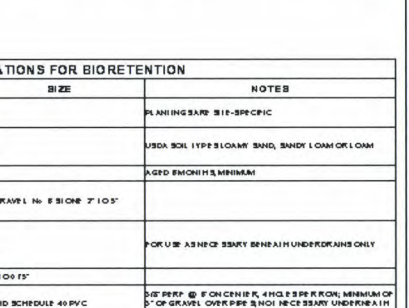
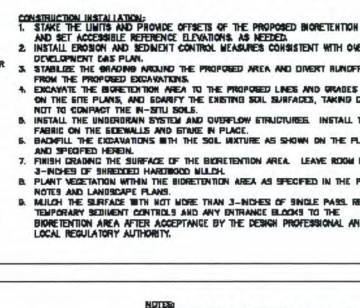
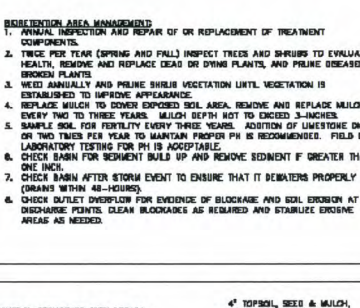
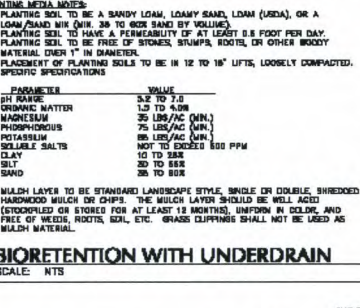
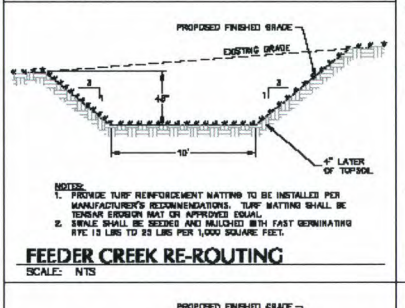
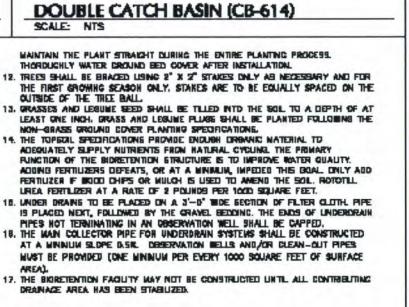
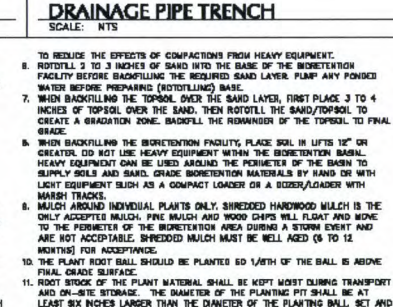
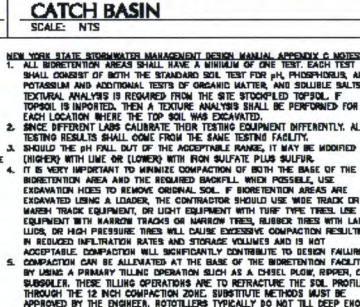
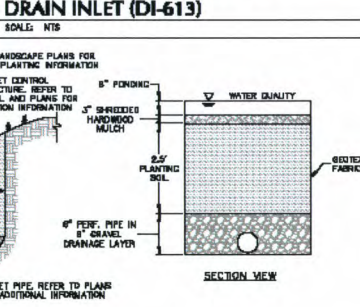
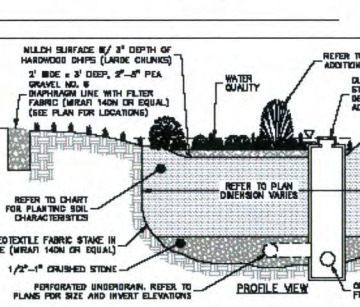
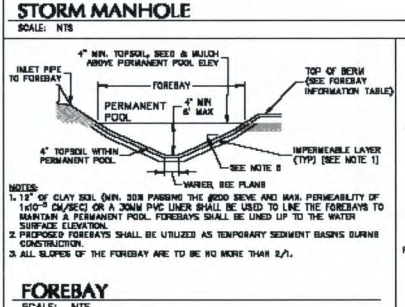
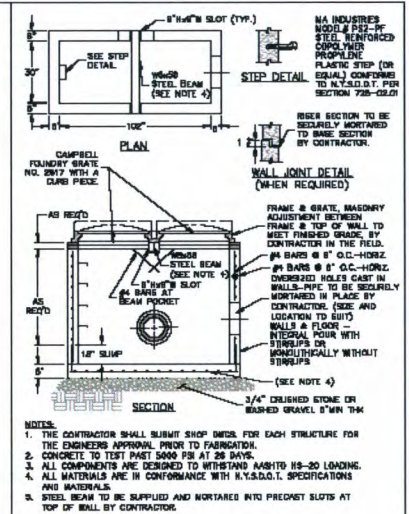
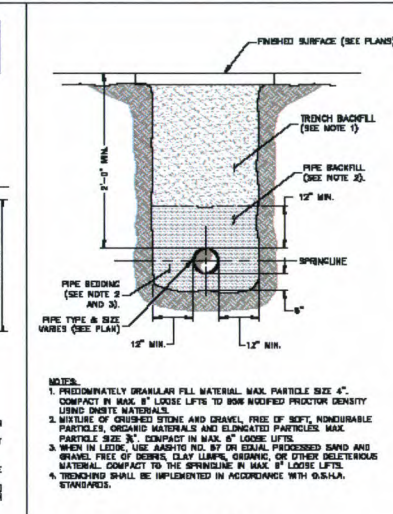
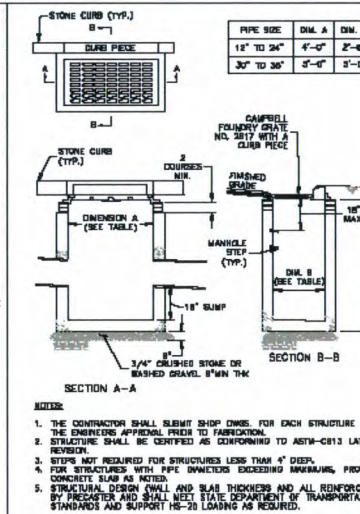
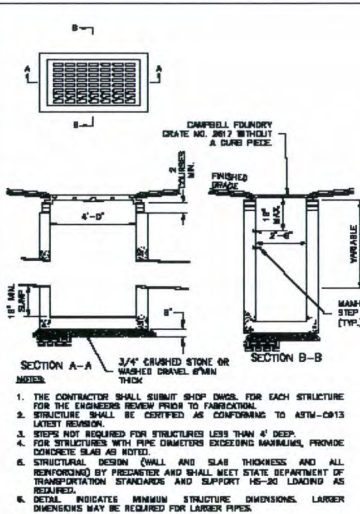
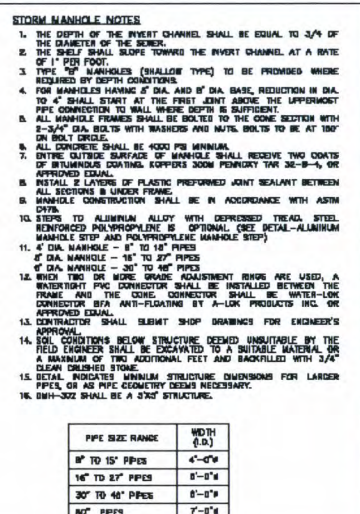
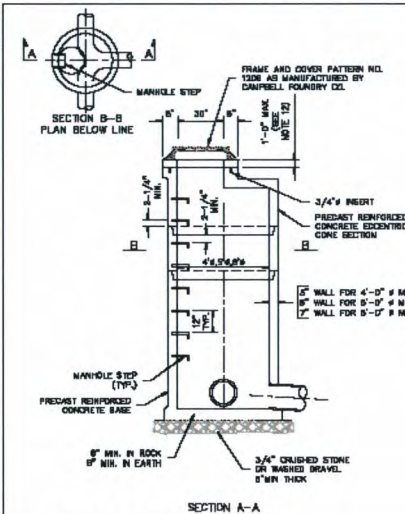
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BLOCK No. 1, LOT No. 50 & 56.1
TOWN OF GRAND ISLAND
NEW YORK

SITE DETAILS
(2 OF 2)

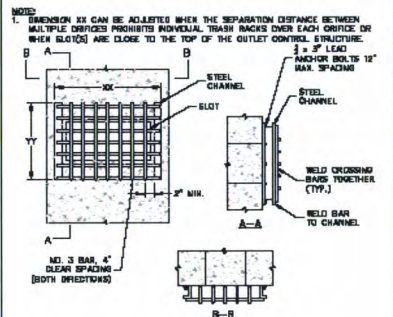
Project No. 100089901
Date FEBRUARY 21, 2020
Drawn By LANS
Checked By C206
Drawing No. CS502
Sheet 64 of 99



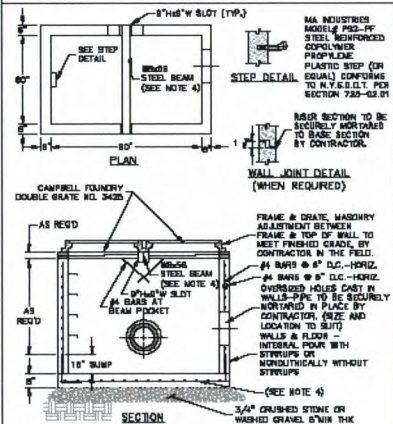




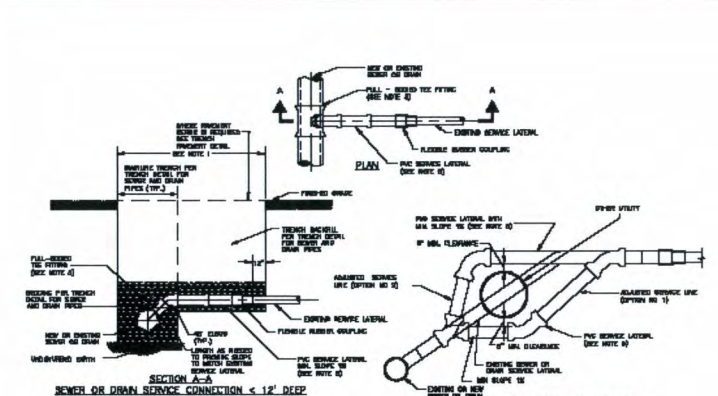
TYPICAL TRASH RACK DIMENSIONS TABLE			
ORIFICE/SLOT	XX (IN)	YY (IN)	
12"x12" SLOT	20	14	
14"x12" SLOT	24	14	
16"x12" SLOT	26	14	
24"x12" SLOT	32	14	
30"x12" SLOT	36	14	
36"x12" SLOT	36	10	
36"x12" SLOT	32	14	
36"x12" SLOT	42	10	
36"x12" SLOT	48	14	



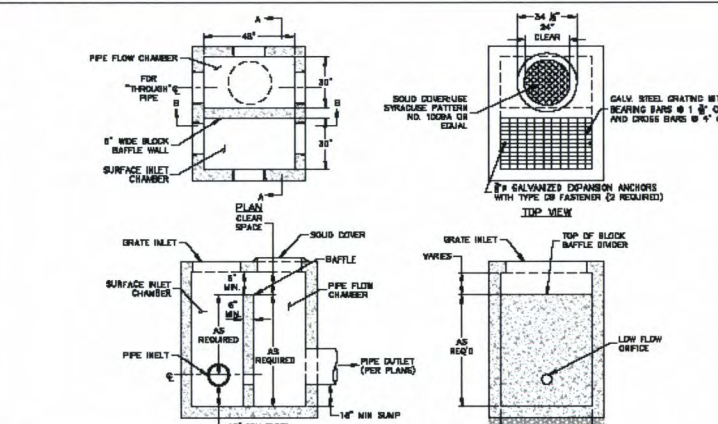
OUTLET STRUCTURE TRASH RACK
SCALE: NTS



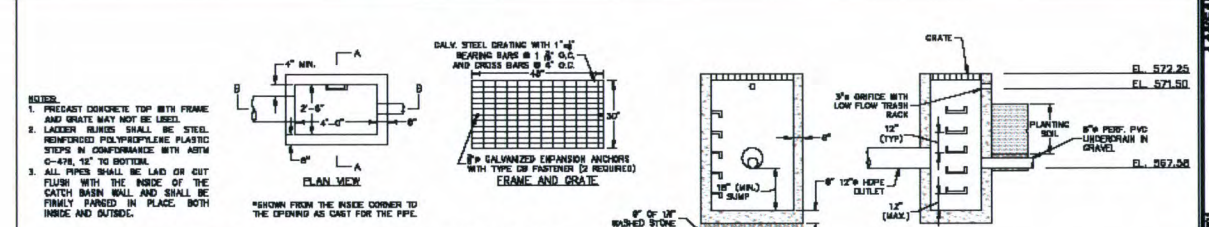
DOUBLE DRAIN INLET (DI-313)
SCALE: NTS



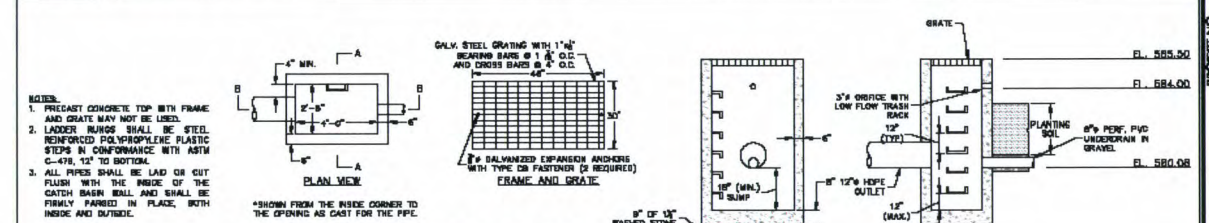
ROOF LEADER CONNECTION
SCALE: NTS



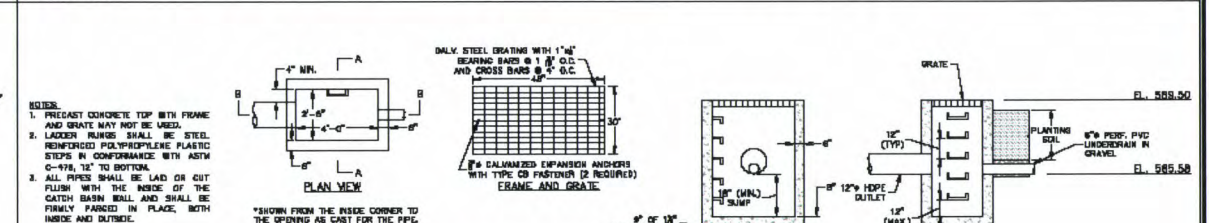
FLOW SPLITTER - WET POND OUTLET CONTROL STRUCTURE
SCALE: NTS



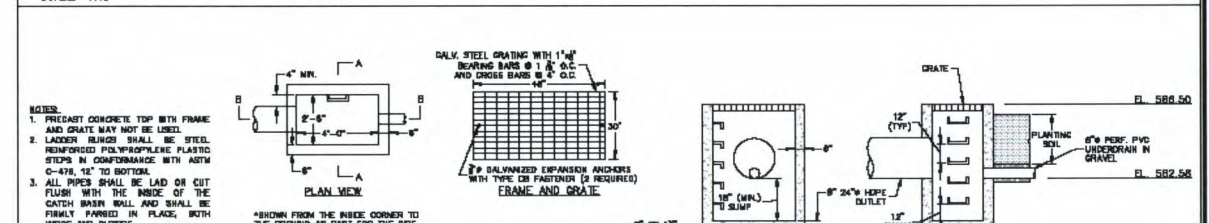
BIORETENTION OUTLET CONTROL STRUCTURE OCS-100
SCALE: NTS



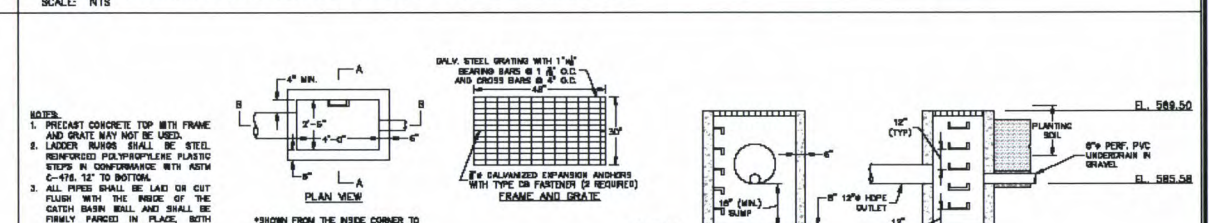
BIORETENTION OUTLET CONTROL STRUCTURES OCS-200, 300 & 400
SCALE: NTS



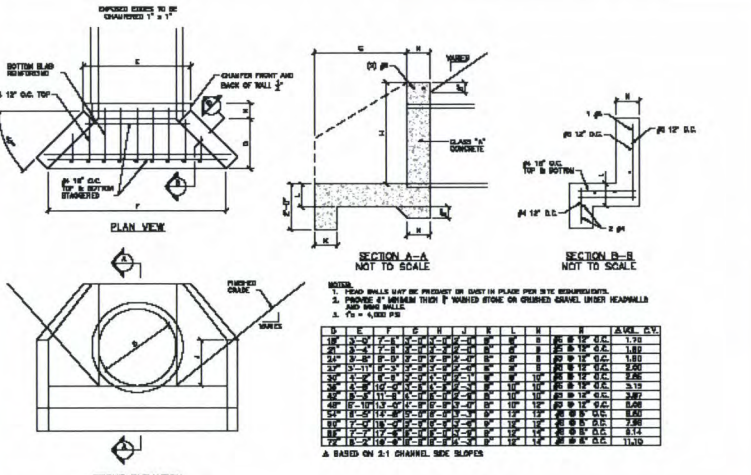
BIORETENTION OUTLET CONTROL STRUCTURES OCS-603 & 605
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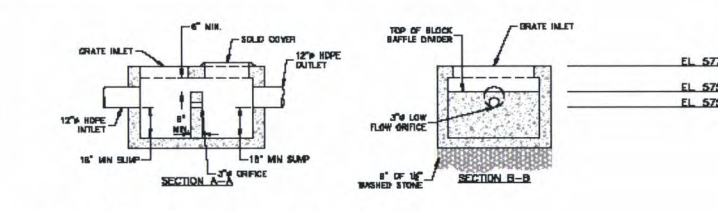
BIORETENTION OUTLET CONTROL STRUCTURES OCS-703 & 704
SCALE: NTS



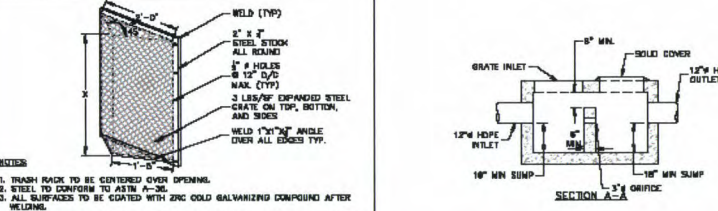
BIORETENTION OUTLET CONTROL STRUCTURE OCS-904
SCALE: NTS



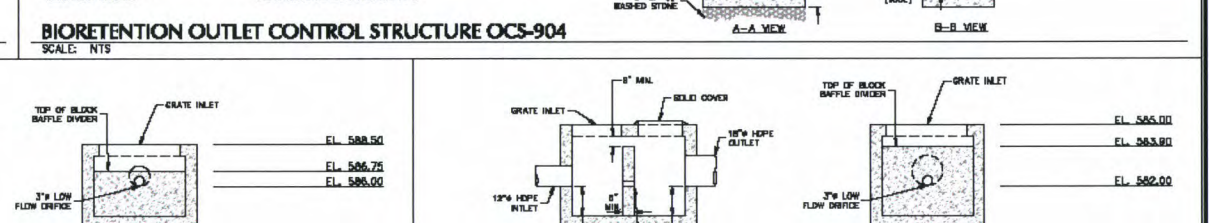
CONCRETE HEADWALL
SCALE: NTS



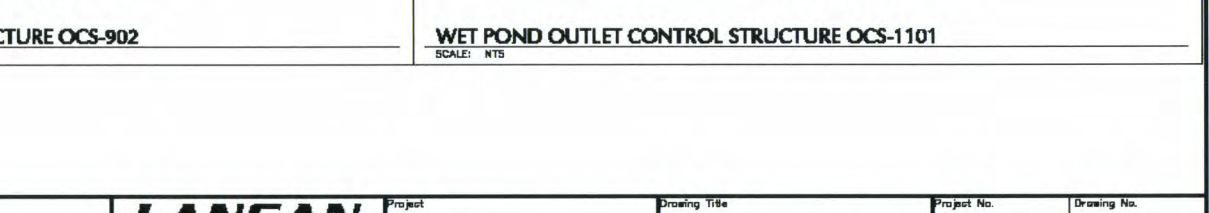
WET POND OUTLET CONTROL STRUCTURE OCS-10
SCALE: NTS



OUTLET CONTROL STRUCTURE TRASH RACK FOR LOW FLOW ORIFICE DETAIL
SCALE: NTS



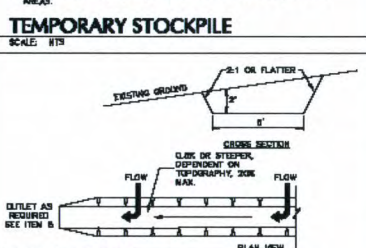
WET POND OUTLET CONTROL STRUCTURE OCS-902
SCALE: NTS



WET POND OUTLET CONTROL STRUCTURE OCS-1101
SCALE: NTS



TEMPORARY STOCKPILE
SCALE: NTS



TEMPORARY DIVERSION SWALE
SCALE: NTS

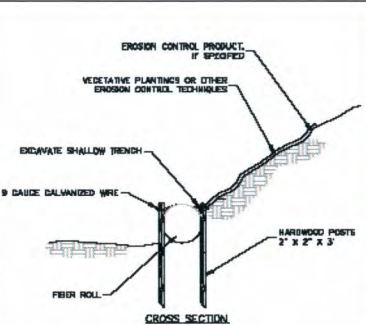
TYPE OF TRAP	CHANNEL SIZE	1/2" (2-3' TO 4')	1/2" (4-6' TO 8')	1/2" (8-10' TO 12')
1	2-3'	SEED AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH
2	3-4'	SEED AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH
3	4-6'	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH
4	6-10'	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH

TEMPORARY STOCKPILE
SCALE: NTS

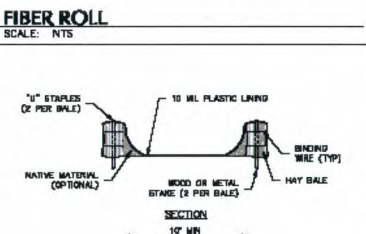
SWALE TYPE	CHANNEL SIZE	1/2" (2-3' TO 4')	1/2" (4-6' TO 8')	1/2" (8-10' TO 12')
1	2-3'	SEED AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH
2	3-4'	SEED AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH
3	4-6'	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH
4	6-10'	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH	SEEDS AND STRAW MULCH

CONSTRUCTION SPECIFICATIONS:
1. SLOPE SHALL BE GRADED TO 2:1 OR FLATTER PRIOR TO PLACING FILTER FABRIC, OR RP RAP.
2. RP RAP SHALL BE PLACED TO MAINTAIN A UNIFORM GRADATION. LARGER STONE SHALL BE PLACED AT THE TOE.
3. END OF THE RP RAP SHALL BE KEPT INTO A STABLE BANK. WHEN TYPED INTO OTHER STRUCTURES, LARGER RP RAP CAN BE LAID IN STOPS OR STAGED AS NEEDED TO FIT. STONES LARGER THAN THOSE DESIGNED FOR FLOW SHALL BE USED FOR THIS PURPOSE.
4. REMAINING DISTURBED AREAS SHALL BE GRADED AND PERMANENTLY SLOTTED AND MULCHED.
5. FILTER FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS:
A. SIZE NO LARGER THAN 0.1" (NO. 20) (NO. 20) (NO. 20)
B. TOTAL OPEN AREA OF FILTER FABRIC NOT TO EXCEED 10%
C. THICKNESS: 20-30 MILS
D. GRAB STRENGTH: 80-120 LBS
E. CONFORM TO ASTM D-1082 OR ASTM D-1772

RIP RAP STREAM BANK PROTECTION
SCALE: NTS



FIBER ROLL
SCALE: NTS



STABILIZED CONSTR. ENTRANCE
SCALE: NTS

TEMPORARY DE-WATERING SUMP PIT
SCALE: NTS

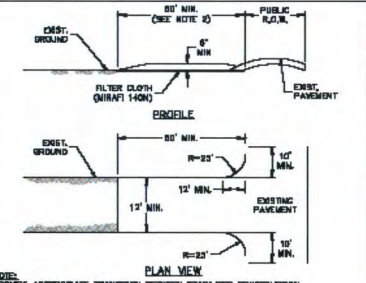
TEMPORARY DE-WATERING DEVICE
SCALE: NTS

CONSTRUCTION SPECIFICATIONS:
1. CONCRETE WASHOUT BURN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
2. REMOVE WASHOUT CONCRETE WHEN WITHIN 4' FROM TOP OF STRUCTURE.
3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
4. UNDER HAY BALES, ETC. SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIRED.

ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY
SCALE: NTS

CONSTRUCTION SPECIFICATIONS:
1. STONE SHALL BE 2 TO 9 INCHES IN SIZE (NYSDOT LIGHT STONE FILL MEETS THESE REQUIREMENTS). STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINE, GRADE AND LOCATIONS SHOWN ON THE PLAN.
2. SET SPACING OF CHECK DAMS AS INDICATED ON PLANS. THE TOE OF THE UNDISTURBED CHECK DAM SHALL BE AT THE SAME ELEVATION AS THE CREST OF THE CHECK DAM IMMEDIATELY DOWNSTREAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAM ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.

STONE CHECK DAM
SCALE: NTS



TEMPORARY DE-WATERING SUMP PIT
SCALE: NTS

CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE - USE 3" STONE (NYSDOT ITEM #22.11 SIZE DESIGNATION #4, OR EQUIVALENT OR REINFORCED CONCRETE EQUIVALENT).
2. LENGTH - NOT LESS THAN 80-100 FEET (ON SINGLE FAMILY LOT, 30-40 FEET MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 8" (6" MIN).
4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF THE TRENCH WHERE HATCHES OR EROSION COLLARS. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SUMP.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR INVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A REMOVABLE OR EROSION COLLAR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SUMP.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRAPPING OR FLOWING OF DEBRIS. WHEN TRAPPING OR FLOWING OF DEBRIS IS OFTEN, ALL DEBRIS SHALL BE REMOVED IMMEDIATELY.
8. WHEN MAINTENANCE IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTR. ENTRANCE
SCALE: NTS

CONSTRUCTION SPECIFICATIONS:
1. THE STAMPEP SHALL BE CONSTRUCTED BY PERFORMING A 12-24" DIAMETER CIRCULATED DR PVC PIPE. 2. A BASE OF 2" ADHESIVE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STAMPEP, THE PIT SURROUNDING THE STAMPEP SHOULD BE BACKFILLED WITH 2" ADHESIVE. 3. THE STAMPEP SHALL EXTEND 18-24" ABOVE THE TOP OF THE PIT. 4. THE STAMPEP SHALL BE WRAPPED WITH FILTERCLOTH INSTALLATION, 2" - 4" HATCHING CLOTH MAY BE PLACED AROUND THE STAMPEP, PRIOR TO ATTACHING THE FILTERCLOTH.

TEMPORARY DE-WATERING SUMP PIT
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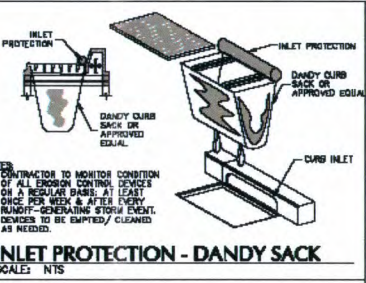
TEMPORARY DE-WATERING DEVICE
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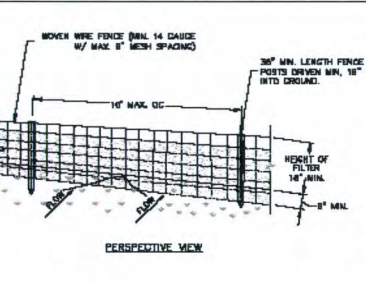
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SCALE: NTS

CONSTRUCTION SPECIFICATIONS:
1. THE STAMPEP SHALL BE CONSTRUCTED BY PERFORMING A 12-24" DIAMETER CIRCULATED DR PVC PIPE. 2. A BASE OF 2" ADHESIVE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STAMPEP, THE PIT SURROUNDING THE STAMPEP SHOULD BE BACKFILLED WITH 2" ADHESIVE. 3. THE STAMPEP SHALL EXTEND 18-24" ABOVE THE TOP OF THE PIT. 4. THE STAMPEP SHALL BE WRAPPED WITH FILTERCLOTH INSTALLATION, 2" - 4" HATCHING CLOTH MAY BE PLACED AROUND THE STAMPEP, PRIOR TO ATTACHING THE FILTERCLOTH.

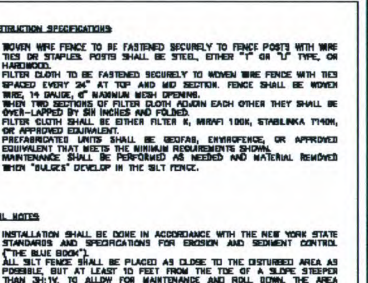
TEMPORARY DE-WATERING DEVICE
SCALE: NTS

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TEMPORARY DE-WATERING SUMP PIT
SCALE: NTS

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TEMPORARY DE-WATERING SUMP PIT
SCALE: NTS



TEMPORARY DE-WATERING SUMP PIT
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TEMPORARY DE-WATERING SUMP PIT
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TEMPORARY DE-WATERING DEVICE
SCALE: NTS

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TEMPORARY DE-WATERING SUMP PIT
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TEMPORARY DE-WATERING SUMP PIT
SCALE: NTS

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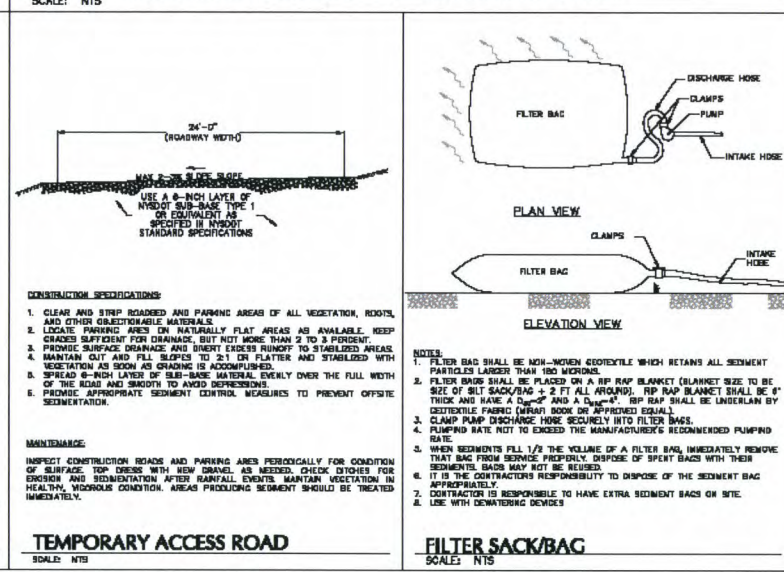
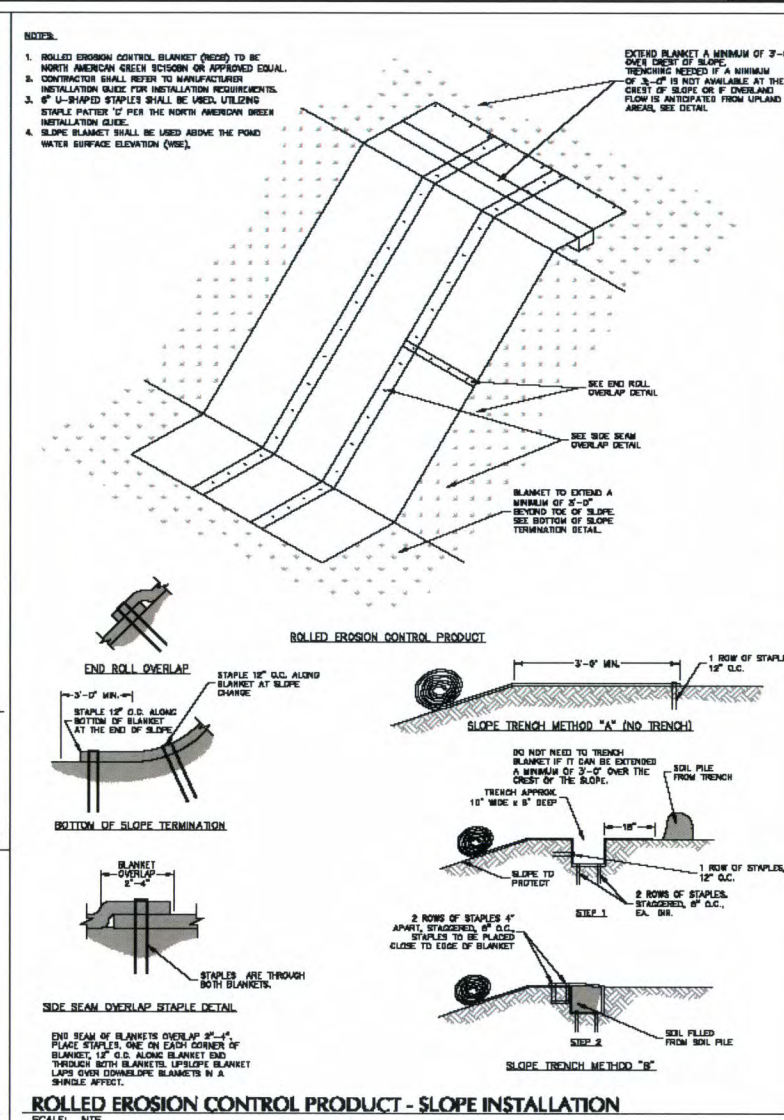
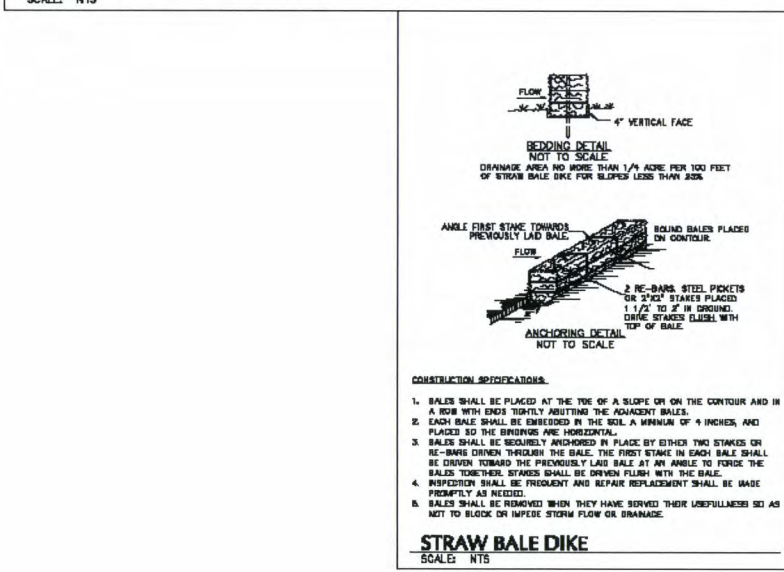
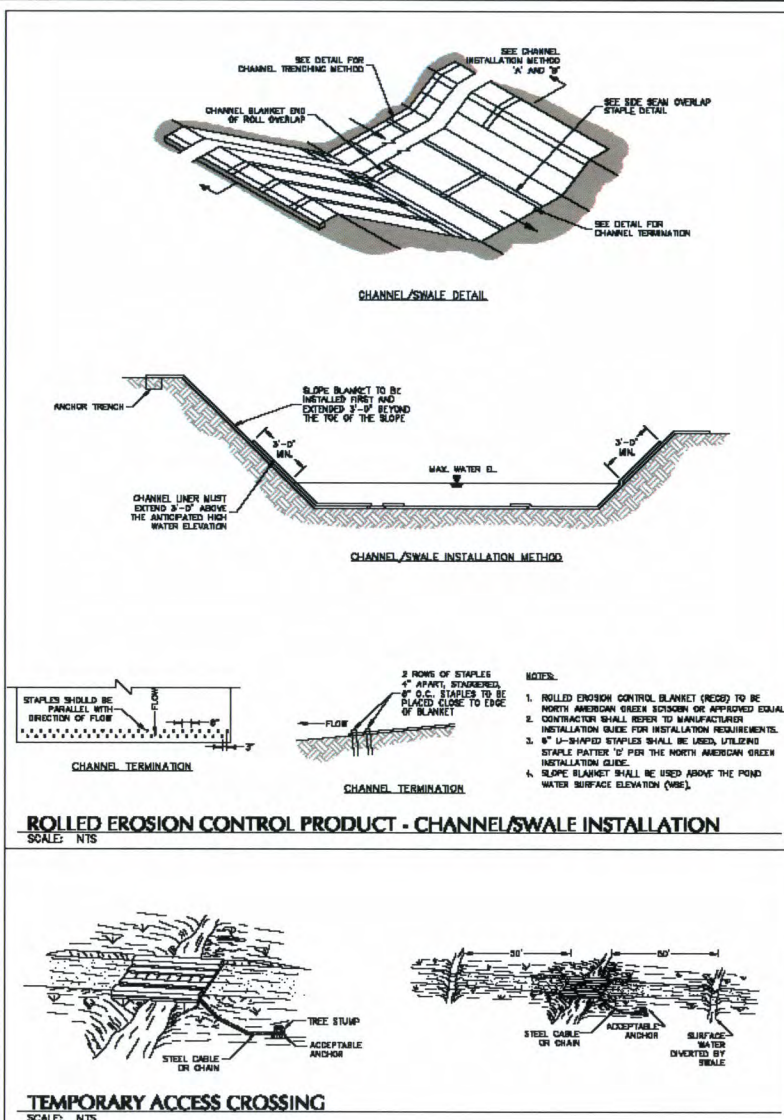


LANGAN
Langean Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 900
White Plains, NY 10601
T: 914.322.7400 F: 914.322.7401 www.langan.com

PROJECT OLIVE
BLOCK No. 1, LOT No. 2 & 2.1
TOWN OF GRAND BLAND
NEW YORK

EROSION & SEDIMENT CONTROL DETAILS (1 OF 2)

Project No. 100788001
Date FEBRUARY 21, 2020
Drawn By LMW
Checked By CDM
Sheet 70 of 88



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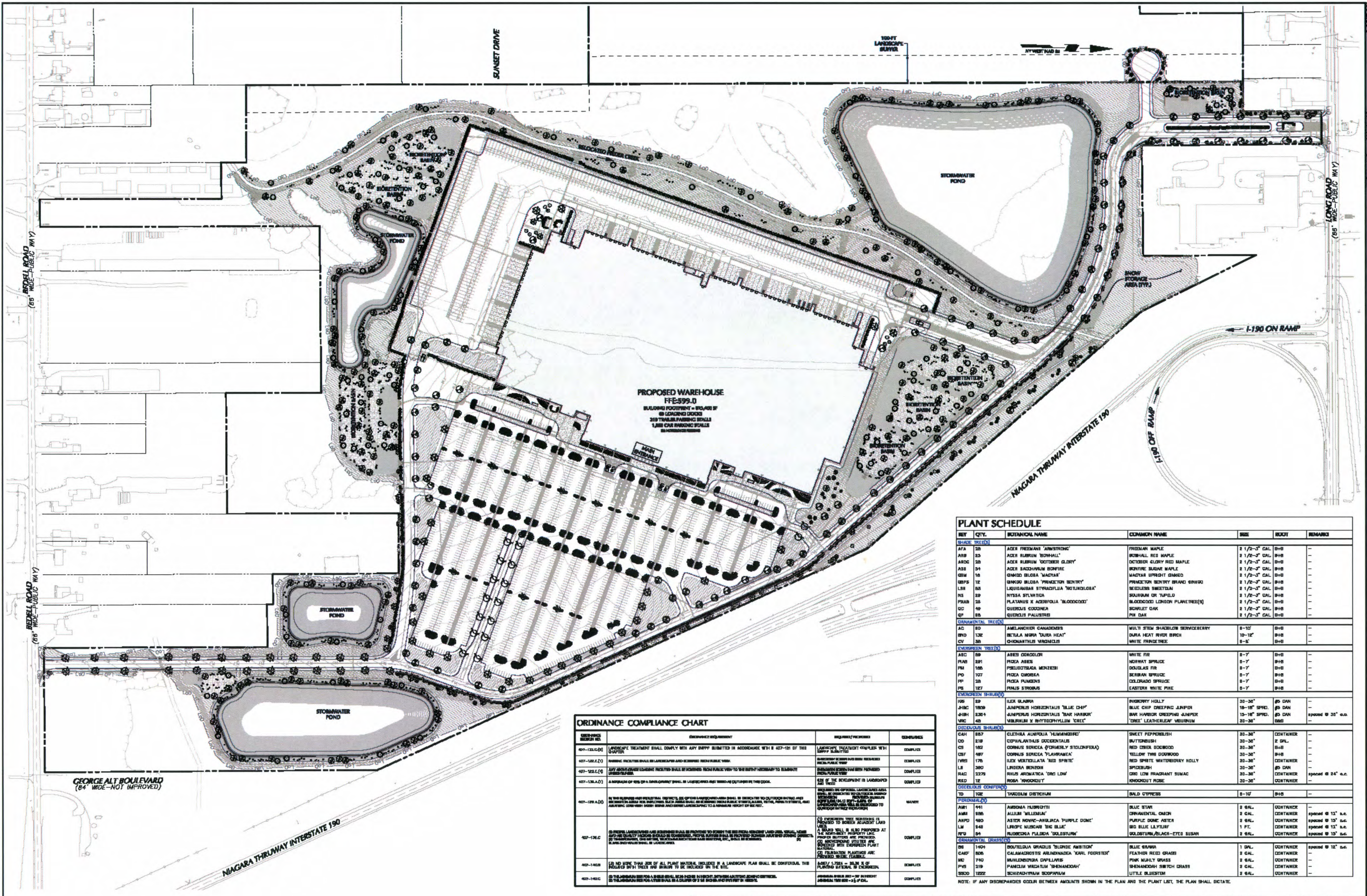
Date	Description	No.
02/21/2020	PROFESSIONAL ENGINEER NY Lic. No. 081473-1	1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 900
White Plains, NY 10601
T: 914.328.7400 F: 914.328.7401 www.langan.com

Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 2 & 26.1
TOWN OF GRAND BLAND
ERIE COUNTY, NEW YORK

Drawing Title
EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)

Project No.
120788901
Date
FEBRUARY 21, 2020
Drawn By
LMRS
Checked By
CZMF
Drawing No.
CS509
Sheet 71 of 80



PLANT SCHEDULE						
REF	QTY.	BUTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREES						
AFA	25	ACER FREEMAN 'ARMSTRONG'	FREEMAN MAPLE	1 1/2"-3" CAL	B+B	
ARB	25	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	1 1/2"-3" CAL	B+B	
ARC	25	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	1 1/2"-3" CAL	B+B	
ASR	54	ACER SACCHARINUM BONIFER	BONIFER SUGAR MAPLE	1 1/2"-3" CAL	B+B	
GBM	16	QUERCUS BLOBA 'MAZAR'	MAZAR UPRIGHT OAK	1 1/2"-3" CAL	B+B	
BBPS	12	PRINCEPIN BLOBA 'PRINCEPIN SENTRY'	PRINCEPIN SENTRY BLOBA	1 1/2"-3" CAL	B+B	
LBR	85	LIQUIDAMBAR STYRACIFLUA 'NOTUNDULOB'	SEEDLING SWEETGUM	1 1/2"-3" CAL	B+B	
NS	25	NYSSA SPICATA	SOULMAY OR TUPLO	1 1/2"-3" CAL	B+B	
PRAB	35	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANTANUS	1 1/2"-3" CAL	B+B	
QC	45	QUERCUS COCCINEA	SCARLET OAK	1 1/2"-3" CAL	B+B	
QP	85	QUERCUS PALUSTRI	PIN OAK	1 1/2"-3" CAL	B+B	
ORNAMENTAL TREES						
AC	10	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	B+B	
BYD	132	BETULA NIGRA 'DARK HEAT'	DARK HEAT RIVER BIRCH	10-12'	B+B	
CV	35	CHONANTHUS VIRGINICUS	WHITE PRINCE TREE	8-9'	B+B	
EVERGREEN TREES						
ABC	85	ABIES CONCOLOR	WHITE FIR	8-7'	B+B	
PAJ	25	PICEA ABIES	REDWATER SPRUCE	8-7'	B+B	
PM	165	PRINCEPIN BLOBA 'MAZAR'	MAZAR UPRIGHT OAK	8-7'	B+B	
PD	107	PICEA OMORICA	SCARLET SPRUCE	8-7'	B+B	
PP	25	PICEA PUMILION	COLORADO SPRUCE	8-7'	B+B	
PS	127	PINUS STROBUS	EASTERN WHITE PINE	8-7'	B+B	
EVERGREEN SHRUBS						
HS	55	HOLOBLAUS 'HOLBLAUS'	HOLBLAUS HOLLY	30-36"	20 DAN	
JHBC	1800	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP CREEPING JUNIPER	15-18" SPED.	20 DAN	
JHBH	3204	JUNIPERUS HORIZONTALIS 'BLUE HARBOR'	BLUE HARBOR CREEPING JUNIPER	15-18" SPED.	20 DAN	space @ 35" o.c.
VR	45	VIBURNUM X BENTLEYANUM 'CREE'	'CREE' LEATHERLEAF VIBURNUM	30-36"	20 DAN	
DECIDUOUS SHRUBS						
CAH	157	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD CLETHRA	30-36"	CONTAINER	
CO	218	CORNUS STOLONIFERA 'STOLONIFERA'	STOLONIFERA CORNUS	30-36"	2 DAN	
CS	152	CORNUS STOLONIFERA 'STOLONIFERA'	STOLONIFERA CORNUS	30-36"	2 DAN	
CSF	187	CORNUS STOLONIFERA 'STOLONIFERA'	STOLONIFERA CORNUS	30-36"	2 DAN	
HS	175	HOLOBLAUS 'HOLBLAUS'	HOLBLAUS HOLLY	30-36"	20 DAN	
LI	360	LIQUIDAMBAR STYRACIFLUA 'NOTUNDULOB'	SEEDLING SWEETGUM	30-36"	20 DAN	
RAC	2275	RHUS ARTEMISIA 'DRY LOW'	DRY LOW FRAGRANT SUMAC	30-36"	CONTAINER	space @ 34" o.c.
RSD	12	ROSA 'WITCHKID'	WITCHKID ROSE	30-36"	CONTAINER	
DECIDUOUS CONIFERS						
TD	102	TAXODIUM DISTICHUM	BALD CYPRESS	8-10'	B+B	
PERENNIALS						
AWR	441	ANEMONE HEDERIFOLIA	BLUE STAR ANEMONE	2 GAL.	CONTAINER	space @ 12" o.c.
AWB	585	ANEMONE HEDERIFOLIA	BLUE STAR ANEMONE	2 GAL.	CONTAINER	space @ 12" o.c.
AWP	440	ANEMONE HEDERIFOLIA	BLUE STAR ANEMONE	2 GAL.	CONTAINER	space @ 12" o.c.
AW	545	ANEMONE HEDERIFOLIA	BLUE STAR ANEMONE	2 GAL.	CONTAINER	space @ 12" o.c.
AW	545	ANEMONE HEDERIFOLIA	BLUE STAR ANEMONE	2 GAL.	CONTAINER	space @ 12" o.c.
GRASSES						
BS	1404	BOUTELOA CURTISII 'BLOUSE AMBITION'	BLOUSE AMBITION BOUTELOA	1 GAL.	CONTAINER	space @ 12" o.c.
CAF	806	CALAMAGROSTIS ALBINOIDEA 'KARL FORSTER'	KARL FORSTER CALAMAGROSTIS	2 GAL.	CONTAINER	
MD	710	MILLETIA DENTATA	DENTATA MILLETIA	2 GAL.	CONTAINER	
PVS	219	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH PANICUM	2 GAL.	CONTAINER	
SSCO	1222	SCIRPUS PECTINATUS	PECTINATUS SCIRPUS	2 GAL.	CONTAINER	

ORDINANCE COMPLIANCE CHART			
SECTION	DESCRIPTION	REQUIREMENT	COMPLIANCE
407-120.0(1)	LANDSCAPE TREATMENT SHALL COMPLY WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(2)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(3)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(4)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(5)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(6)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(7)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(8)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(9)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(10)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(11)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(12)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(13)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(14)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(15)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(16)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(17)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(18)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(19)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES
407-120.0(20)	LANDSCAPE TREATMENT SHALL BE SUBMITTED WITH ANY BARRY SUBMITTED IN ACCORDANCE WITH 407-121 OF THE BARRY.	LANDSCAPE TREATMENT COMPLY WITH BARRY SUBMITTED	COMPLIES

1" = 100'

SCALE IN FEET

DATE: 02/21/2020

DESCRIPTION: LANDSCAPE ARCHITECTURE

NO. 001001-1

LANGAN

LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.

ONE NORTH BROADWAY, SUITE 918

WHITE PLAINS, NY 10611

T: 914.323.7400 F: 914.323.7401 WWW.LANGAN.COM

PROJECT OLIVE

OVERALL LANDSCAPE PLAN

BLOCK NO. 1, LOT NO. 36.1

TOWN OF GRAND ISLAND

NEW YORK

Project No. 100751901

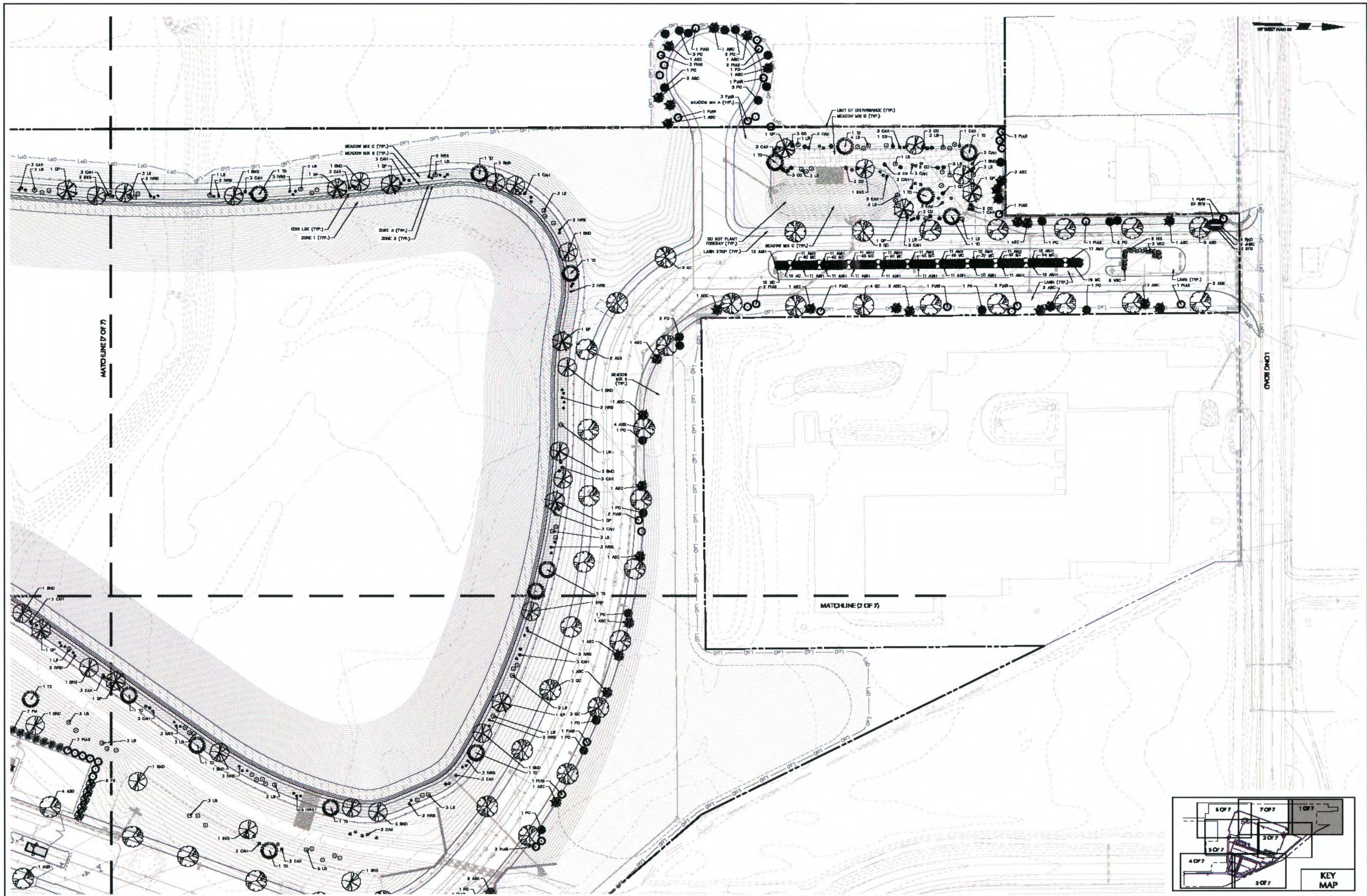
Date: FEBRUARY 21, 2020

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Checked By: DB

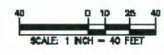
Sheet 72 of 89

LP100



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Date	Description	No.
	REVISIONS	

Michael J. Langan
MICHAEL J. LANGAN
CERTIFIED LANDSCAPE ARCHITECT NY Lic. No. 001901-1
DATE SIGNED 02/21/2020

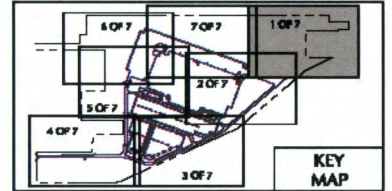
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Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 516
White Plains, NY 10601
T 914.323.7400 F 914.323.7401 www.langan.com

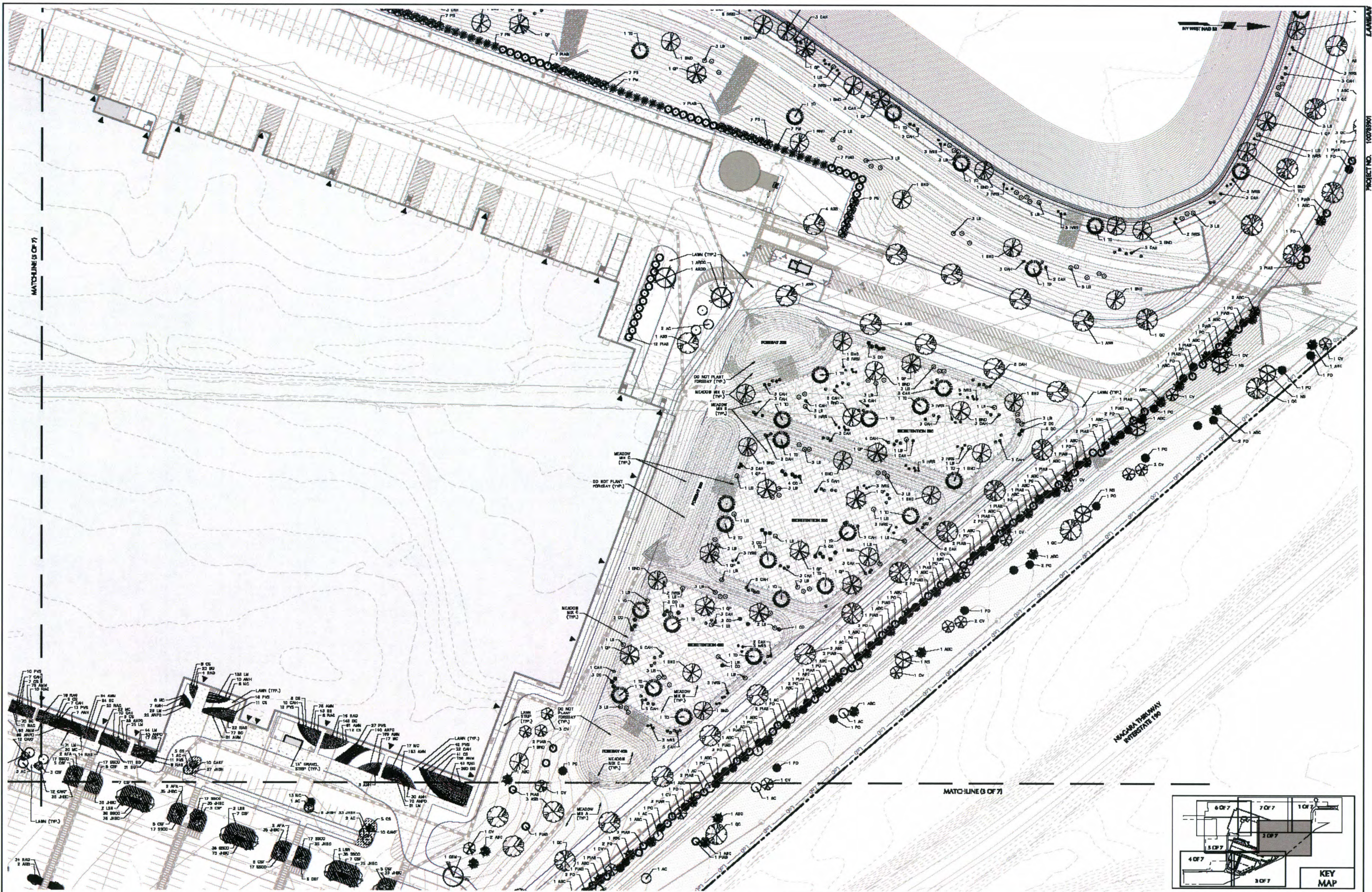
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 59 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
LANDSCAPE
PLAN (1 OF 7)**

Project No.
100089001
Date
FEBRUARY 21, 2020
Drawn By
YZ
Checked By
LB

Drawing No.
LP101
Sheet 73 of 29





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SCALE: 1" = 40' FEET

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REVISIONS		

M. Langan
02/21/2020
DATE SIGNED
CERTIFIED LANDSCAPE ARCHITECT NY LIC.
No. 001901-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 914
White Plains, NY 10601
T 914.323.7400 F 914.323.7401 www.langan.com

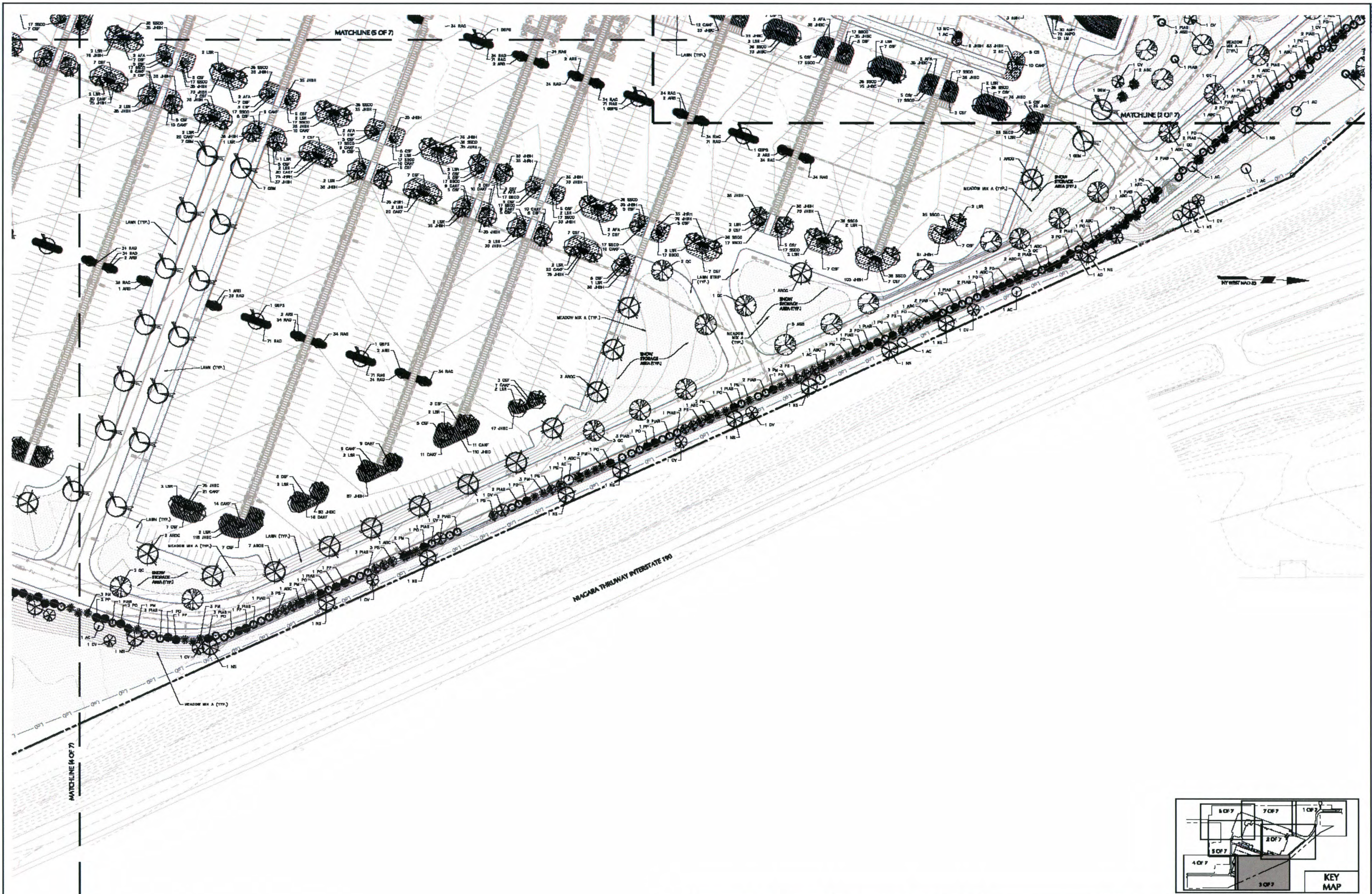
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 30 & 36.1
TOWN OF GRAND BLAND
NEW YORK

Drawing Title
**PARTIAL
LANDSCAPE
PLAN (2 OF 7)**

Project No.
100P0901
Date
FEBRUARY 21, 2020
Drawn By
YZ
Checked By
CB

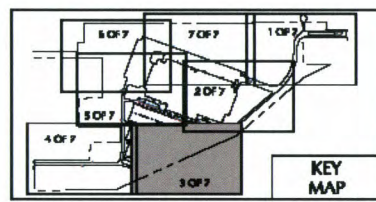
Drawing No.
LP102
Sheet 74 of 89

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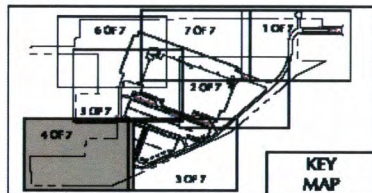


NOTE: REFER TO LP100 FOR PLANT SCHEDULE, LP501 FOR LANDSCAPE NOTES AND DETAILS.

SCALE: 1" = 40' FEET
DATE: 02/21/2020
PROJECT: PROJECT OLIVE
BLOCK No. 1, LOT No. 30 & 36.1
TOWN OF GRAND ISLAND
NEW YORK



 MICHAEL J. LANGAN CERTIFIED LANDSCAPE ARCHITECT NY Lic. No. 001801-1	02/21/2020 DATE SIGNED	LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. One North Broadway, Suite 518 White Plains, NY 10601 T 914.223.7488 F 914.223.7401 www.langan.com	PROJECT OLIVE BLOCK No. 1, LOT No. 30 & 36.1 TOWN OF GRAND ISLAND NEW YORK	PARTIAL LANDSCAPE PLAN (3 OF 7)	Project No. 100PR001	Drawing No. LP103
					Date FEBRUARY 21, 2020	Drawn By YZ



BEDFORD ROAD

GEORGE ALT BOULEVARD

NY WEST ROAD

MATCHLINE (5 OF 7)

MATCHLINE (7 OF 7)

NOTE: REFER TO LP100 FOR PLANT SCHEDULE, LP501 FOR LANDSCAPE NOTES AND DETAILS.

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SCALE: 1" = 40' FEET

Date	Description	No.
	REVISIONS	

Michael J. Langan
02/21/2020
SIGNATURE DATE SIGNED
CERTIFIED LANDSCAPE ARCHITECT NY Lic. No. 001901-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 210
White Plains, NY 10601
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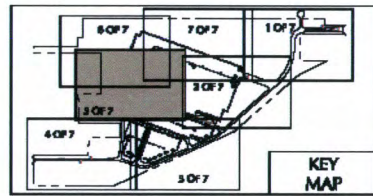
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND BLAND
NEW YORK

Drawing Title
**PARTIAL
LANDSCAPE
PLAN (4 OF 7)**

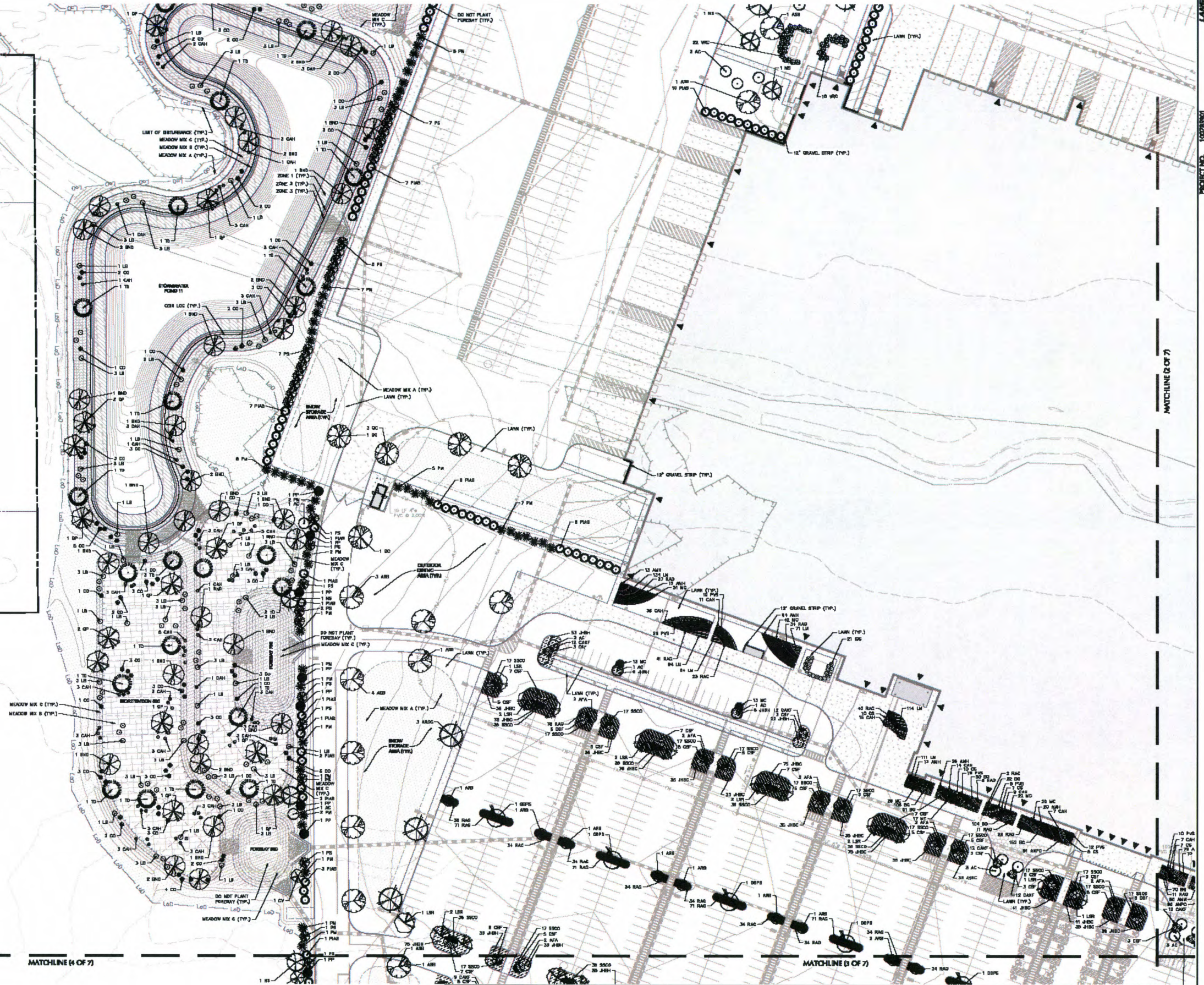
Project No.
10076901
Date
FEBRUARY 21, 2020
Drawn By
VZ
Checked By
DB

Drawing No.
LP104
Sheet 76 of 80

Filename: langan.com\2019\10076901\LP104.dwg Date: 2/20/2020 User: 10372 User: langan\2019\10076901\LP104.dwg



NOT TO SCALE



NOTE: REFER TO LP100 FOR PLANT SCHEDULE, LP501 FOR LANDSCAPE NOTES AND DETAILS.

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SCALE: 1" = 40'

Date	Description	No.
	REVISIONS	

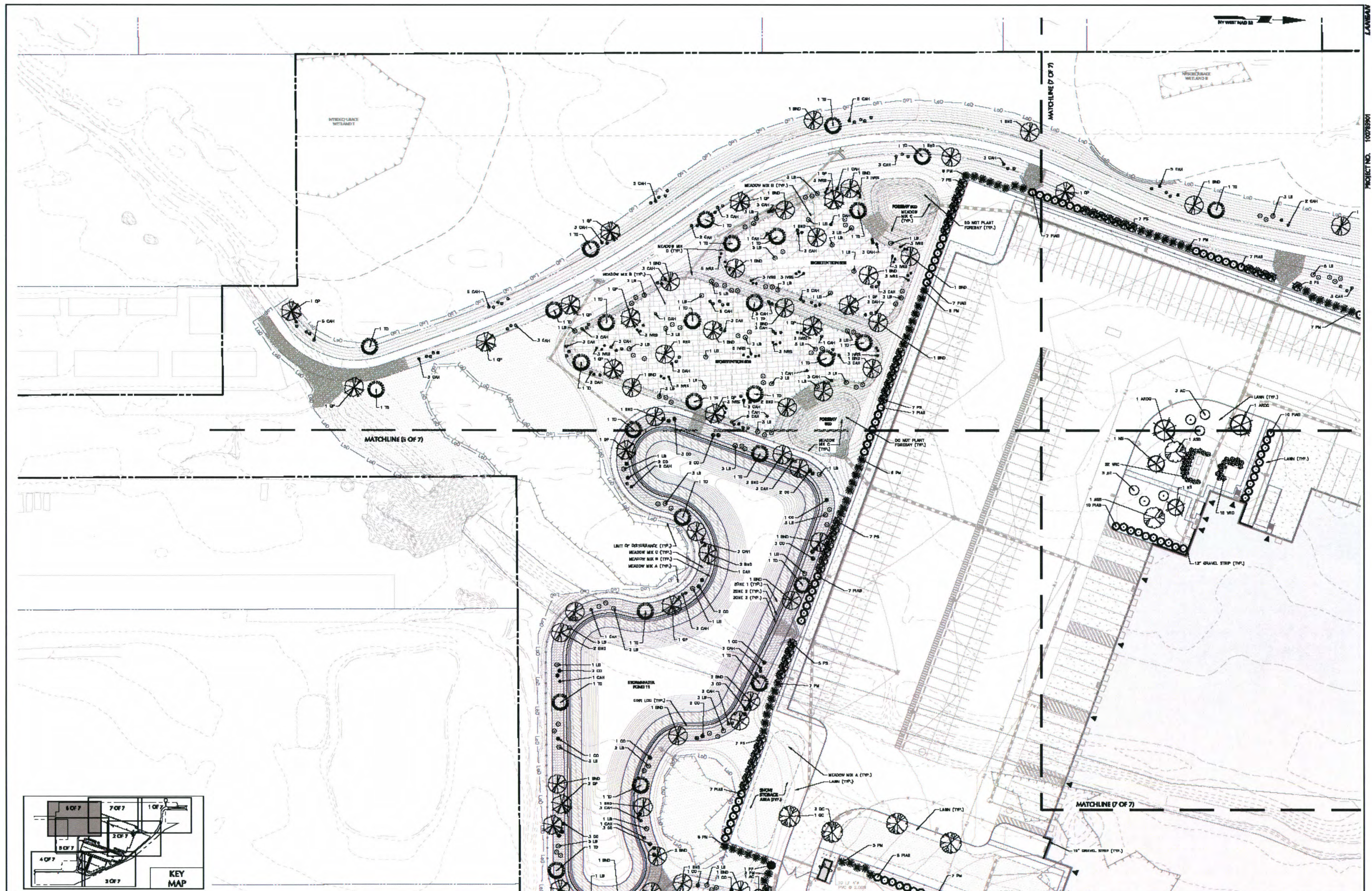
Michael J. Langan
02/21/2020
SIGNATURE
MICHAEL J. LANGAN
DATE SIGNED
02/21/2020
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No. 001901-1

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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
LANDSCAPE
PLAN (5 OF 7)**

Project No.
10089901
Date
FEBRUARY 21, 2020
Drawn By
YZ
Checked By
LB
Drawing No.
LP105
Sheet 77 of 89



NOTE: REFER TO LP100 FOR PLANT SCHEDULE, LP501 FOR LANDSCAPE NOTES AND DETAILS.

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PROJECT OLIVE

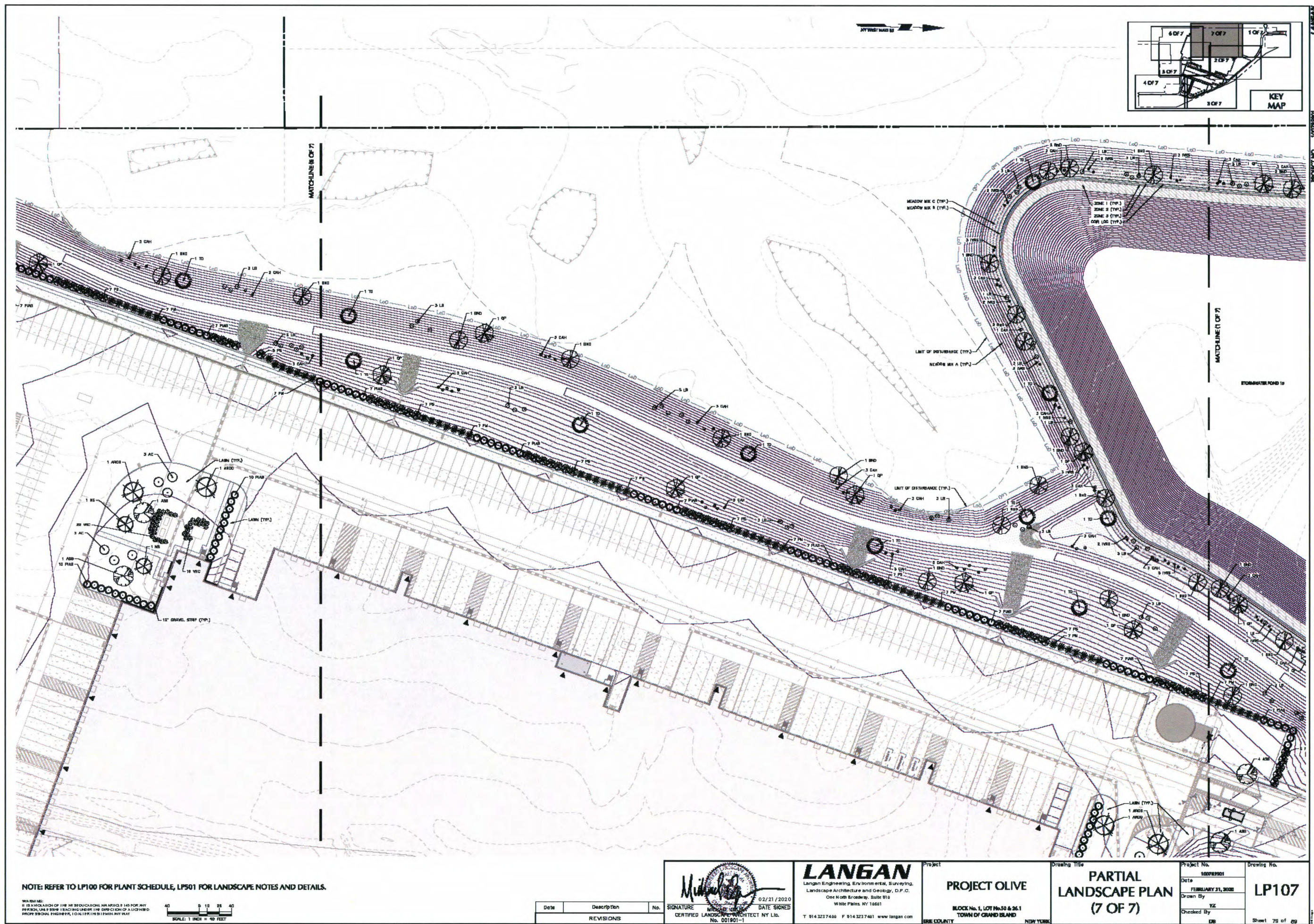
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND

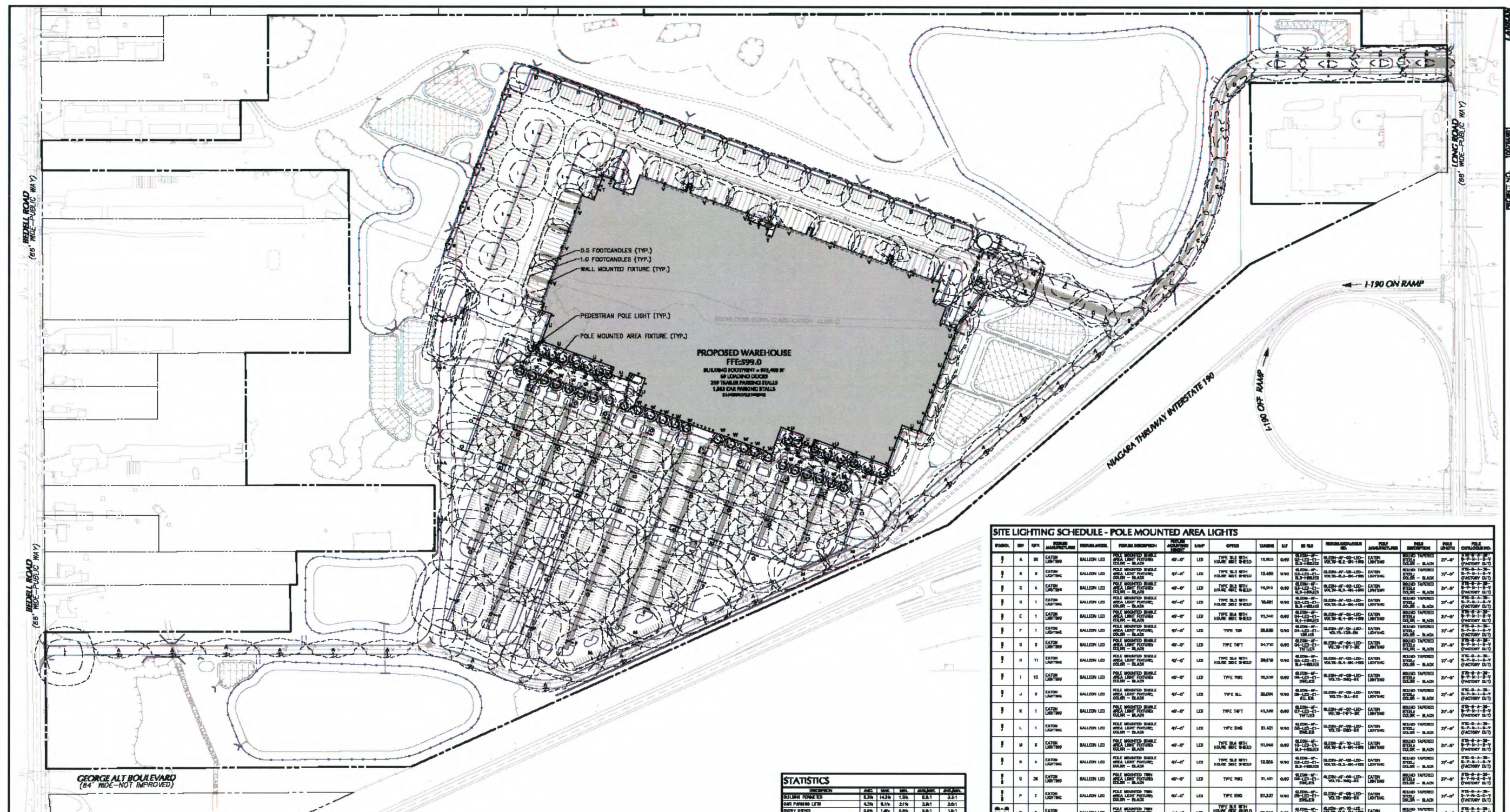
Drawing Title

**PARTIAL
LANDSCAPE
PLAN (6 OF 7)**

Project No.	Drawing No.
100P0901	LP106
Date	
FEBRUARY 21, 2020	
Drawn By	
YZ	
Checked By	Sheet 28 of 30

NEW YORK DE SHIRT 7/8 BY 80





STATISTICS						
DESCRIPTION	AMEC	DMC	AMEC	DMC/AMEC	AMEC	DMC
BUILDING PERMITS	8,336	14,838	1.8%	0.8:1	3.3	3.3
CAR PARKING LOTS	4,279	8,151	2.1%	3.0:1	2.0	2.0
DRIVE DRIVES	5,000	1,000	0.0%	0.0:1	1.0	1.0
DRIVEWAYS	2,200	10,400	0.2%	14.6:1	3.0	3.0
GUARD RAILS	10,320	21,000	0.2%	2.1:1	1.6	1.6
POCKETING AREA NEAR BUILDING	8,779	18,000	3.0%	0.9:1	1.0	1.0
POCKETING VEHICLES & CAR PARKING	4,000	6,000	0.0%	0.0:1	1.0	1.0
LOADING DOCKS	3,000	8,000	1.3%	4.1:1	3.1	3.1
PEDDESTRIAN FLOOR	6,000	6,000	0.0%	1.0:1	2.0	2.0
STAIRS	1,500	2,000	0.0%	1.0:1	1.0	1.0
STAIRS ELEVATOR	1,000	2,000	0.0%	2.0:1	2.0	2.0

ORDINANCE COMPLIANCE CHART			
REGULATORY DISTRICT NO.	ORDINANCE OR RESOLUTION	REGULATORY PROVISIONS	COMPLIANCE
417-1000	CERTAIN LOTTING PROPOSED FOR THE SITE SHALL BE PLANNED, LIMITED AND BOUNDARY TO THE LIMIT IS CONFINED TO THE PROPERTY AND SHALL NOT EXCEED THE LOT AREA OF THE SUBJECT PROPERTY OR PUBLIC UTILITIES THE CERTIFIED SUBSTANTIAL PROPERTIES OF PUBLIC ROAD, RAIL, RAIL-TO-RAILITY LOTTING SHALL NOT BE PERMITTED.	<p>DESIGNED.</p> <p>LOT BOUNDARY SHALL NOT BE EXCEEDED.</p> <p>NOT EXCEED THE LOT AREA OF THE SUBJECT PROPERTY.</p> <p>THE CERTIFIED SUBSTANTIAL PROPERTIES OF PUBLIC ROAD, RAIL, RAIL-TO-RAILITY LOTTING SHALL NOT BE PERMITTED.</p>	IN-RE

NOTES:

- NOTES:**
- REFER TO SHEETS LL101 THRU LL107 FOR PARTIAL LIGHTING PLANS.
 - REFER TO SHEET LL501 FOR LIGHTING NOTES AND DETAILS.

Date	Description	No
REVISIONS		

SIGNATURE DATE SIGNED 02/21/2020
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PROJECT OLIVE
BLOCK No. 1, LOT No. 10 & 26.1
TOWN OF GRAND ISLAND

**OVERALL
LIGHTING PLAN**

Project No.	100765901
Date	FEBRUARY 21, 2020
Drawn By	ML/VW
Checked By	

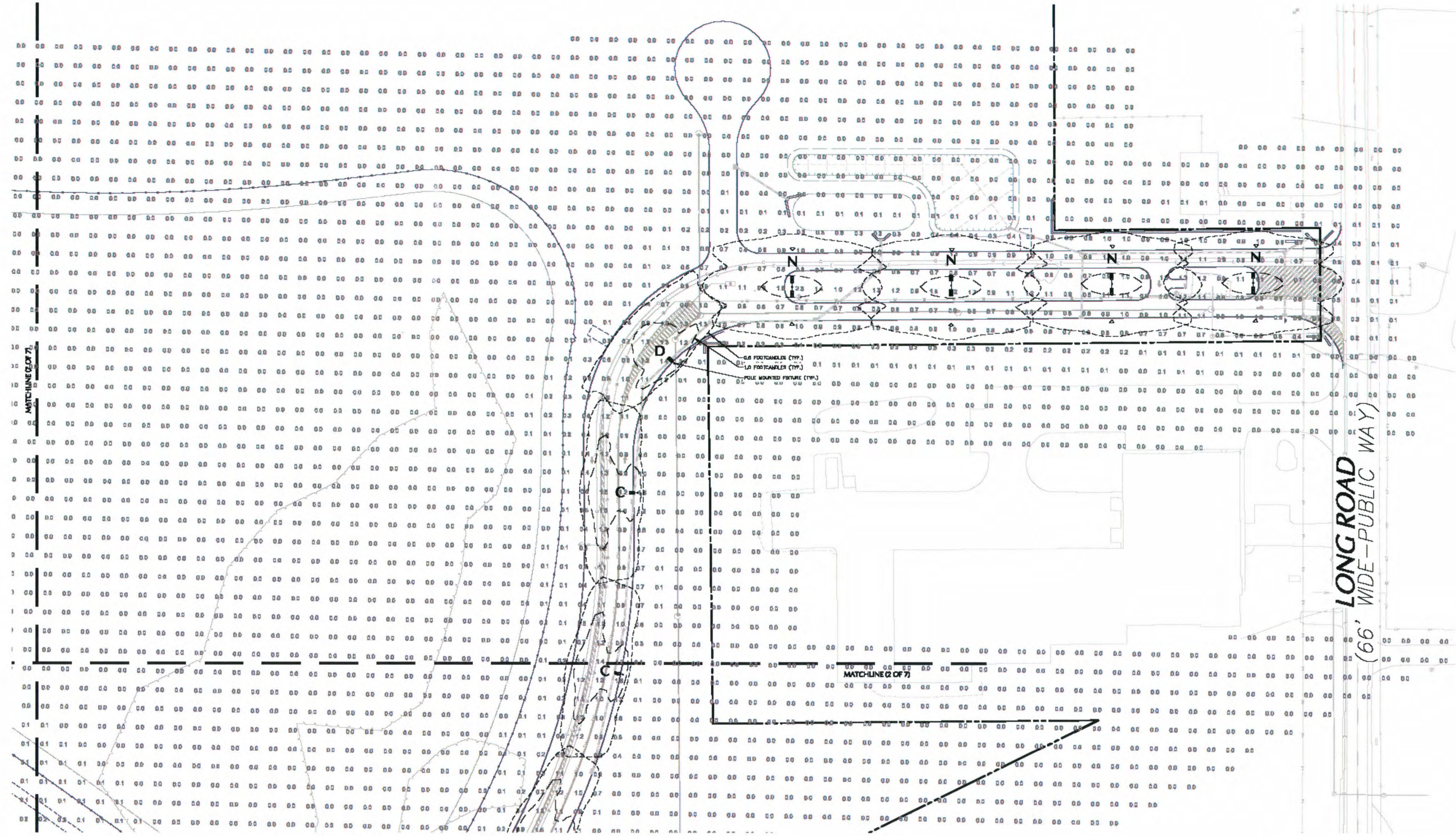
Drawing No.

LL100

NEW YORK **DO** Sheet 81 of 89
 Fileno: shonmcr0001-PW-Old 100 ES 001 Print Date: CS 2017 Nov File # 2010000001 Date: 2020-2020 User: 1614 User on file. This table contains all records from the database.

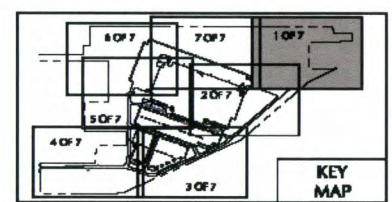


PROJECT NO. 10070901

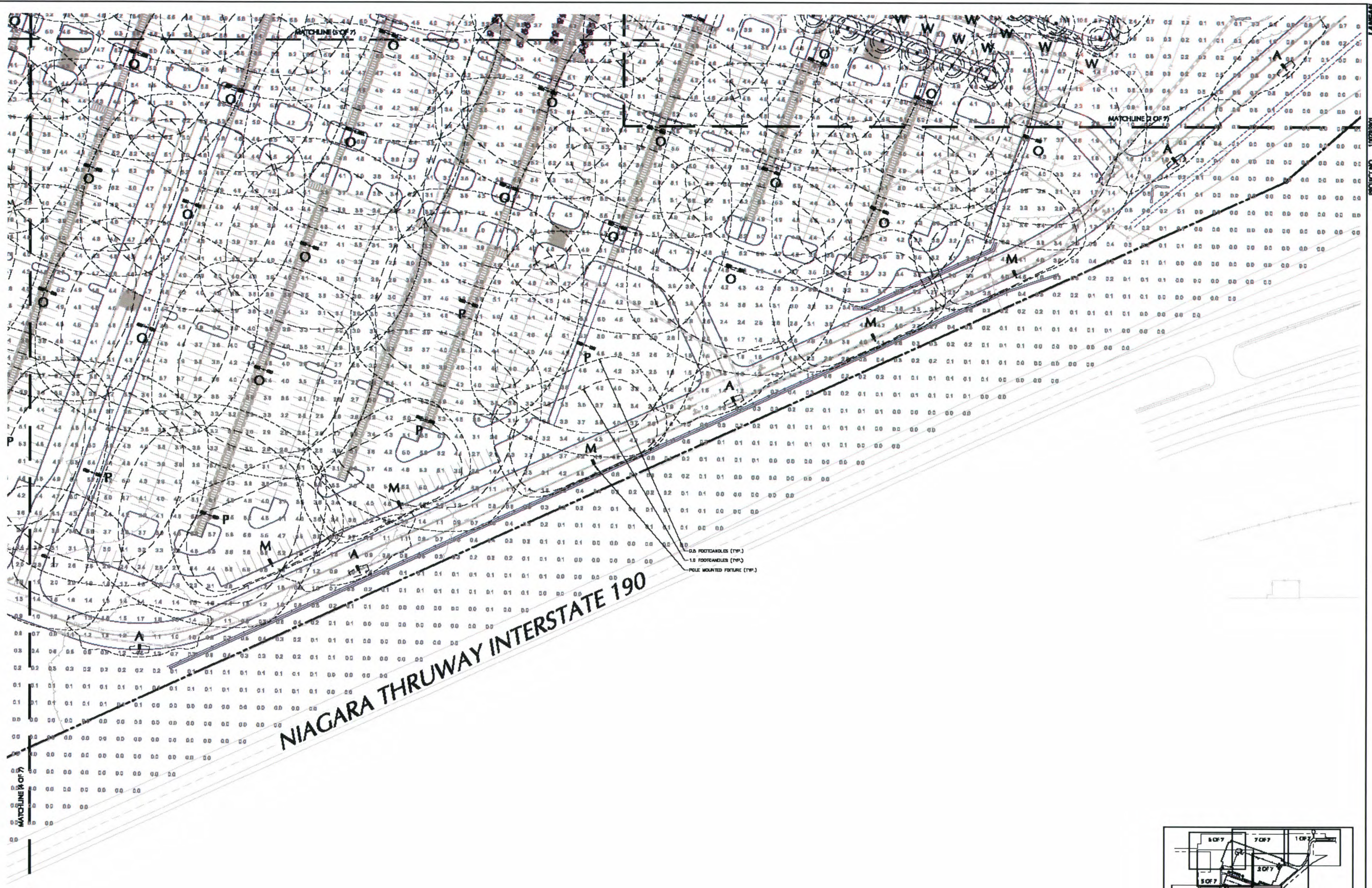


LONG ROAD
(66' WIDE - PUBLIC WAY)

- NOTES:**
- REFER TO SHEET LL100 FOR OVERALL LIGHTING PLAN, COMPLIANCE CHART, SCHEDULE, AND STATISTICS.
 - REFER TO SHEET LL501 FOR LIGHTING NOTES AND DETAILS.



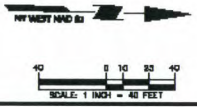
 LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T 914.323.7400 F 914.323.7401 www.langan.com	PROJECT OLIVE BLOCK No. 1, LOT No. 50 & 56.1 TOWN OF GRAND ISLAND NEW YORK	Drawing Title PARTIAL LIGHTING PLAN (1 OF 7)	Project No. 10070901 Date FEBRUARY 21, 2020 Drawn By ML/W Checked By CB	Drawing No. LL101 Sheet 82 of 89					
	<table border="1"><thead><tr><th>Date</th><th>Description</th><th>No.</th></tr></thead><tbody><tr><td colspan="3">REVISIONS</td></tr></tbody></table>	Date	Description	No.	REVISIONS				
Date	Description	No.							
REVISIONS									



NOTES:

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Date	Description	No.
	REVISIONS	

Michael J. Langan
02/21/2020
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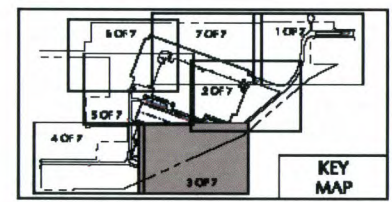
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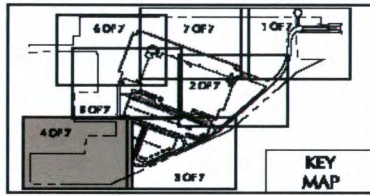
Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

Drawing Title
**PARTIAL
LIGHTING
PLAN (3 OF 7)**

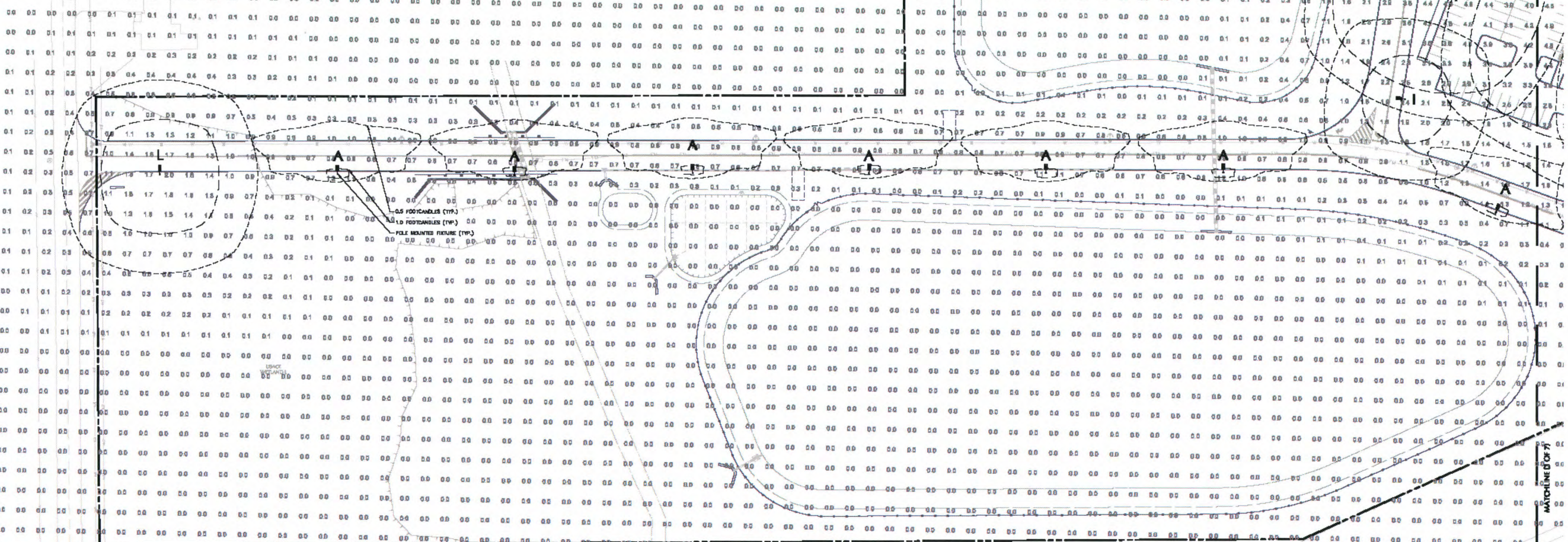
Project No.
100P09001
Date
FEBRUARY 21, 2020
Drawn By
ML/W
Checked By
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Drawing No.
LL103
Sheet 84 of 89





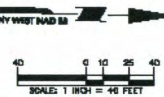
BEDELL ROAD
(66' WIDE-PUBLIC WAY)



GEORGE ALT BOULEVARD
(84' WIDE-NOT IMPROVED)

- NOTES:
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 - REFER TO SHEET LL501 FOR LIGHTING NOTES AND DETAILS.

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REVISIONS		

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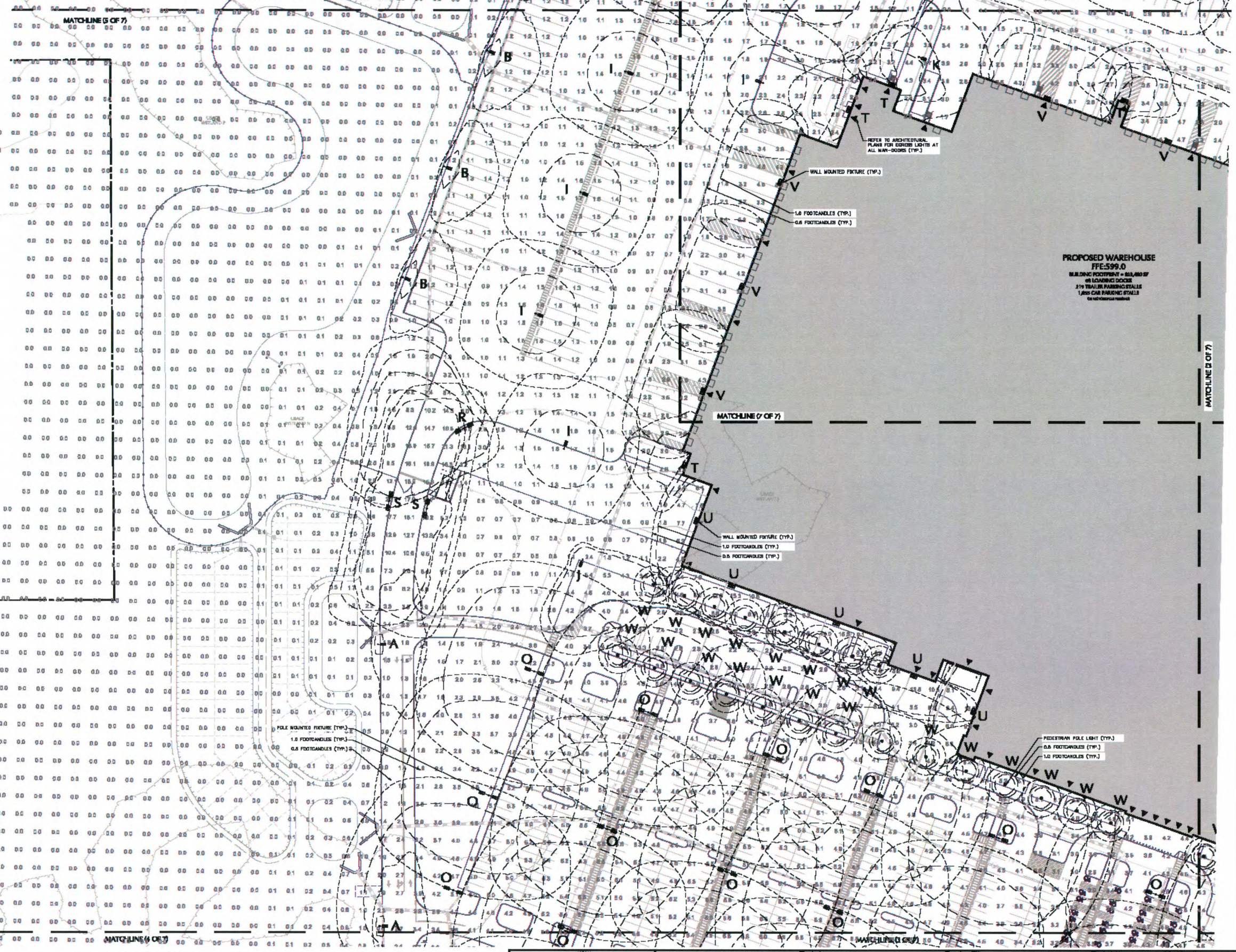
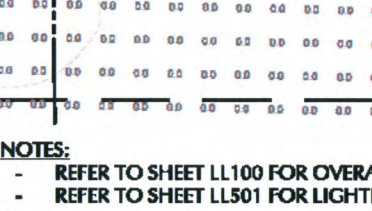
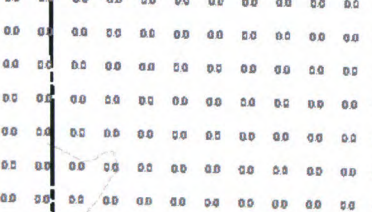
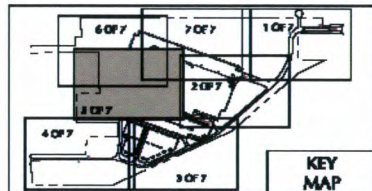
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Project
PROJECT OLIVE
BLOCK No. 1, LOT No. 30 & 36.1
TOWN OF GRAND BLAND
NEW YORK

Drawing Title
**PARTIAL
LIGHTING
PLAN (4 OF 7)**

Project No.
100095901
Date
FEBRUARY 21, 2020
Drawn By
MLW
Checked By
DL
Sheet 85 of 89

PROJECT NO. 100095901



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Date	Description	No.
REVISIONS		

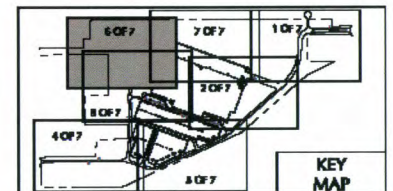
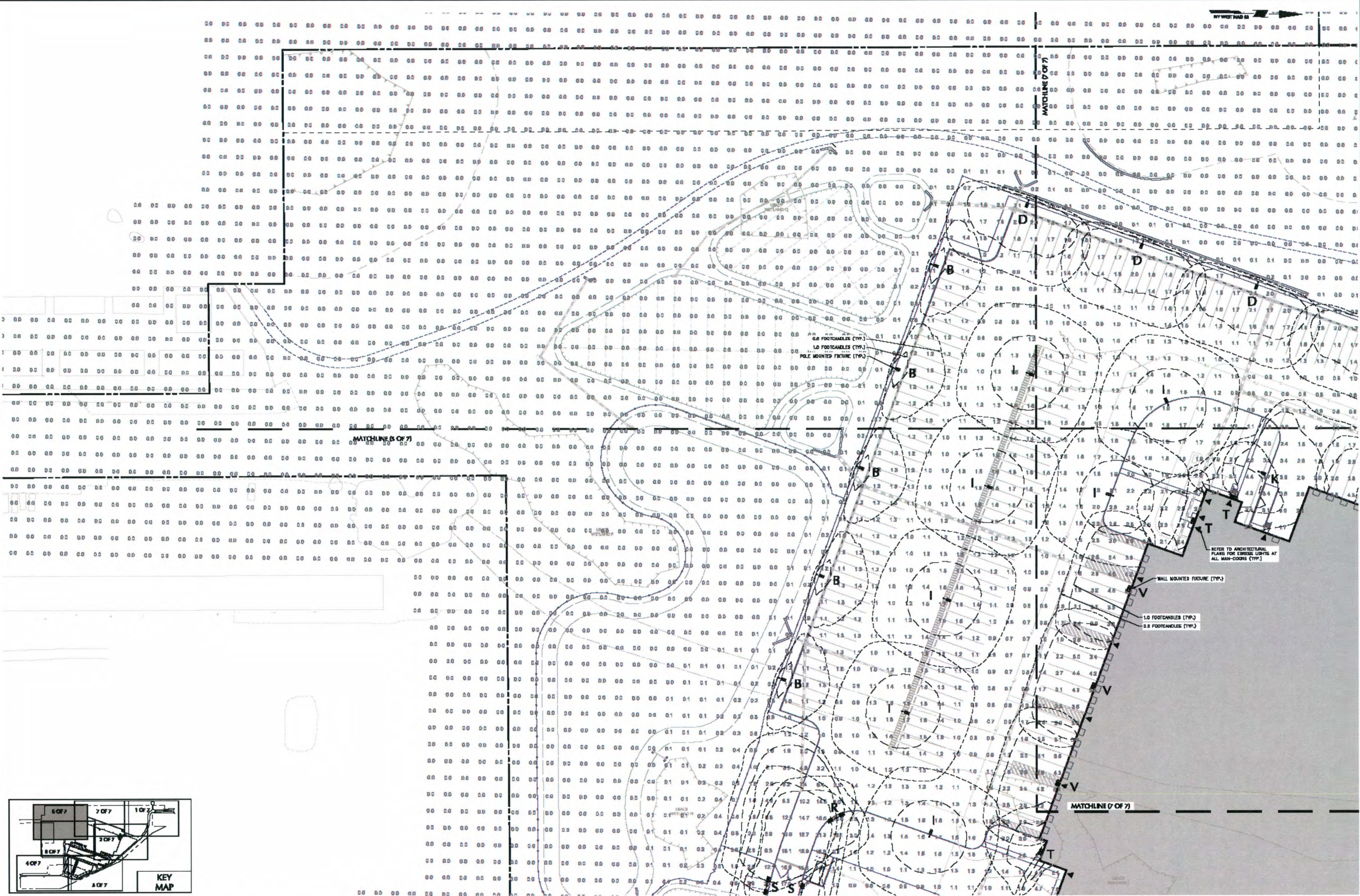
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PROJECT OLIVE
BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

**PARTIAL
LIGHTING
PLAN (5 OF 7)**

Project No. 10009901
Date FEBRUARY 21, 2020
Drawn By M/W
Checked By DB
Drawing No. LL105
Sheet 66 of 69

PROJECT NO. 10009901



NOTES:
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SCALE: 1" = 40' FEET

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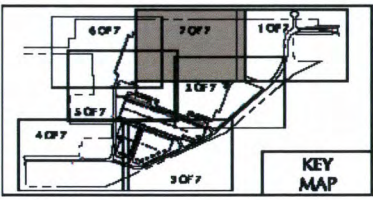
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BLOCK No. 1, LOT No. 50 & 26.1
TOWN OF ORANGE ISLAND
NEW YORK

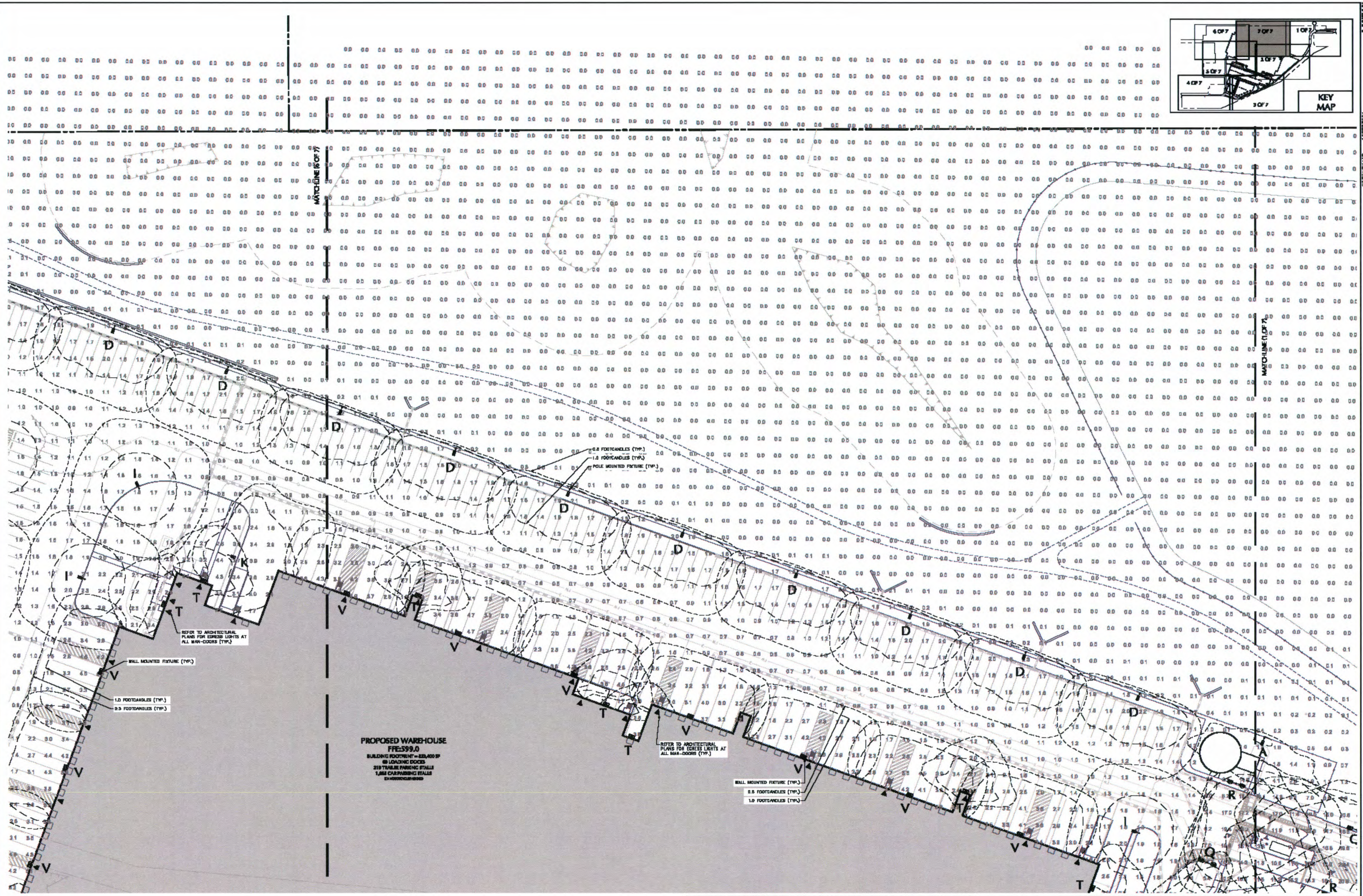
PARTIAL LIGHTING PLAN (6 OF 7)

Project No. 100099001
Date: FEBRUARY 21, 2020
Drawn By: M/PW
Checked By: [Signature]
Sheet 67 of 89

Drawing No. LL106



PROJECT NO. 10078901



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NORTH ARROW

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PROJECT OLIVE
BLOCK No. 1, LOT No. 30 & 26.1
TOWN OF GRAND ISLAND
NEW YORK

PARTIAL LIGHTING PLAN
(7 OF 7)

Project No. 10078901
Date: FEBRUARY 21, 2020
Drawn By: M/W
Checked By: [Signature]
Sheet 55 of 60

Drawing No. **LL107**

LIGHTING NOTES:

GENERAL

1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO ESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INTENTED LIGHT INTENSITIES OF THE LAMP. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP / DIRT DEGRADATION ON THE FUTURE LAMP. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY ESNA. UNDER VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL FACTORS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY IN EITHER DIRECTION FROM WHAT IS EXPLICITLY NOTED WITHIN THESE DRAWINGS AND SUMMARIES OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.

2. LIGHT LEVEL POINT SPACING IS 20 FT. LEFT TO RIGHT AND 30 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

3. ALL LIGHTING IS TO BE FULL CUT-OFF.

COMPLIANCE

4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY RECOMMENDATIONS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRACES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS.

POLE AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN CONSIDERATION WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY OCCUR. THE DESIGN AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR LIGHT POLE FOUNDATIONS. EXISTING FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
12. POLE FOUNDATIONS SHALL NOT BE FOUNDED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
13. ALL POLES HIGHER THAN 25 FT. SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.

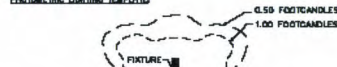
17. CONTRACTOR TO ADJUST AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.

18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

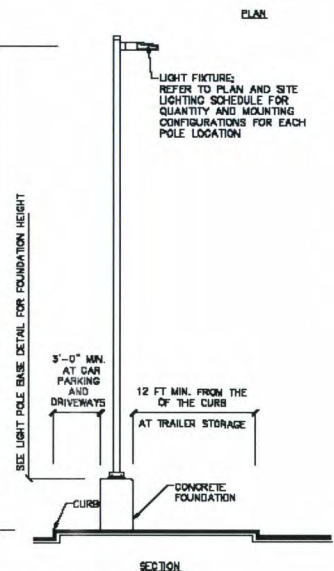
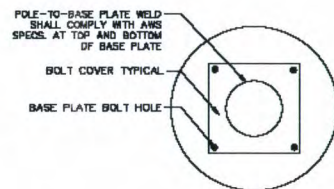
REQUIREMENTS FOR ALTERNATE

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE A TIME FOR REVIEW AND TO AVOID AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENDERS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE EXPLICITLY BORNE BY THE CONTRACTOR.
B. CONTRACTOR PREPARED PHOTOGRAPHIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOPHOTIC, THE SYSTEM'S PERFORMANCE.
C. A PHOTOGRAPHIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FUTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, POINT BY POINT LIGHT LEVEL CALCULATIONS, BEING SHOWN, ADDRESS, MANUFACTURER, BRAND AND UNIFORMITY RATIO, SUMMARY, BOLLARD PLAN, AND CATALOGUE CUTS MUST IDENTIFY FIXTURE, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LUMEN, BALLAST, VOLTAGE, FINISH, HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
D. POLE MANUFACTURER ASSIGNED CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE, SYSTEM BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
E. THE UNDERPINNERS LABORATORY LISTING AND PILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

PHOTOMETRIC LIGHTING TEMPLATE



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.

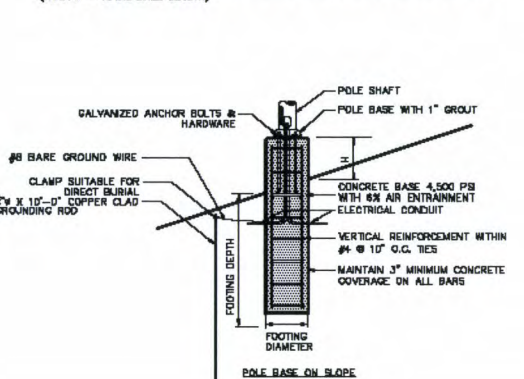


NOTE:

1. ALL POLES, EXCEPT FOR FIXTURE TYPE 'W' TO RECEIVE FACTORY INSTALLED VIBRATION DAMPENERS.

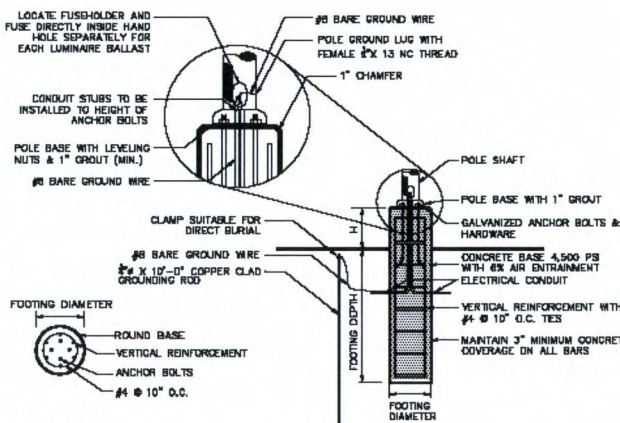
1 LIGHT FIXTURE AND POLE

NOTES:
EXPOSED HEIGHT OF POLE BASE (H) SHALL BE MEASURED ON THE UPHILL SIDE OF A SLOPE. FOOTING DEPTH (D) SHALL BE MEASURED ON THE DOWNHILL SIDE OF A SLOPE. AN ADDITIONAL CONTRACTOR TO CALCULATE FULL LENGTH OF EACH POLE BASE REQUIRED ON SLOPES (H+D+V = TOTAL BASE LENGTH).



MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	VERTICAL REINFORCEMENT	'H'
10'-0"	6'-6"	2'-8"	8 #8 BARS	3'-0" EXPOSED CONCRETE BASE
10'-0"	4'-0"	2'-0"	8 #8 BARS	AT GRADE

2 LIGHT POLE BASE



NOTES:

1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLD COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
2. EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250-BB, N.E.C.
3. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE FOUNDED / PLACED ABSOLUTELY VERTICAL & LEVEL.
4. POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND-RUBBED SMOOTH.
5. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / DETAIL.
6. THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAIL BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
7. CONCRETE BASES SHALL NOT BE PAINTED.
8. CONTRACTOR TO CONFIRM GROUNDING SYSTEM WITH PROJECT MEP PRIOR TO BID.
9. CONFIRM GROUNDING SYSTEM WITH MEP.

DESIGN NOTES

1. The design of the light pole and foundation is based on the following assumptions:
a. The soil conditions are as shown on the site plan.
b. The wind speed is as shown on the site plan.
c. The seismicity is as shown on the site plan.
d. The design life is 20 years.

DESIGN FEATURES

1. The light pole is designed to meet the following requirements:
a. The pole shall be able to withstand a wind speed of 120 mph.
b. The pole shall be able to withstand a seismicity of 0.2g.
c. The pole shall be able to withstand a design life of 20 years.

2. The foundation is designed to meet the following requirements:
a. The foundation shall be able to withstand a wind speed of 120 mph.
b. The foundation shall be able to withstand a seismicity of 0.2g.
c. The foundation shall be able to withstand a design life of 20 years.

DESIGN DATA

Parameter	Value
Wind Speed	120 mph
Seismicity	0.2g
Design Life	20 years

DESIGN RESULTS

Parameter	Value
Foundation Depth	6'-6"
Foundation Diameter	2'-8"
Vertical Reinforcement	8 #8 BARS

DESIGN CONCLUSIONS

The design of the light pole and foundation meets the requirements of the design data.

DESIGN REVISIONS

Revision	Description
1	Initial design

DESIGN APPROVALS

Signature	Date

DESIGN NOTES

The design of the light pole and foundation is based on the following assumptions:

1. The soil conditions are as shown on the site plan.
2. The wind speed is as shown on the site plan.
3. The seismicity is as shown on the site plan.
4. The design life is 20 years.

The design of the light pole and foundation meets the requirements of the design data.

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McGraw-Edison

Model	Power
ME-100	100W
ME-200	200W
ME-300	300W
ME-400	400W
ME-500	500W

GLEON GALLEON LED

Model	Power
GL-100	100W
GL-200	200W
GL-300	300W
GL-400	400W
GL-500	500W

WaveLink

Model	Power
WL-100	100W
WL-200	200W
WL-300	300W
WL-400	400W
WL-500	500W

DESIGN DATA

Parameter	Value
Wind Speed	120 mph
Seismicity	0.2g
Design Life	20 years

DESIGN RESULTS

Parameter	Value
Foundation Depth	6'-6"
Foundation Diameter	2'-8"
Vertical Reinforcement	8 #8 BARS

DESIGN CONCLUSIONS

The design of the light pole and foundation meets the requirements of the design data.

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Steel Poles

Model	Power
SP-100	100W
SP-200	200W
SP-300	300W
SP-400	400W
SP-500	500W

RTS ROUND TAPERED STEEL

Model	Power
RTS-100	100W
RTS-200	200W
RTS-300	300W
RTS-400	400W
RTS-500	500W

DESIGN DATA

Parameter	Value
Wind Speed	120 mph
Seismicity	0.2g
Design Life	20 years

DESIGN RESULTS

Parameter	Value
Foundation Depth	6'-6"
Foundation Diameter	2'-8"
Vertical Reinforcement	8 #8 BARS

DESIGN CONCLUSIONS

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DESIGN DATA

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EXHIBIT 2

LEGEND (NOT SHOWN TO SCALE)

	AIR CONDITIONING UNIT
	BOLLARD
	BORING HOLE
	COLUMN
	DOOR
	DOUBLE DOOR
	FLAG POLE
	HANDICAP SYMBOL
	MAILBOX
	MONITORING WELL
	PARKING METER
	ROOF VENT
	SIGN
	SHRUB
	ROOF FAN
	TEST PIT
	TREE
	WETLAND FLAG
	GROUND LIGHT
	CABLE BOX HAND HOLE
	CATCH BASIN
	CLEANOUT
	ELECTRIC BOX
	ELECTRIC METER
	FILLER VALVE
	FIRE HYDRANT
	FLARED END SECTION
	FUEL PUMP
	GAS METER
	GAS VALVE
	GUY POLE
	GUY WIRE
	HAND HOLE
	LIGHT POLE
	MANHOLE (TYPE AS LABELED)
	POST INDICATOR VALVE
	POWER POLE
	ROOF DRAIN
	SATELLITE DISH
	SPRINKLER HEAD
	STANDPIPE
	TELEPHONE BOOTH
	TELEPHONE BOX
	TRAFFIC BOX
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL ARM
	TRAFFIC SIGNAL POLE
	UNDERGROUND VAULT
	VALVE UNKNOWN
	WATER METER
	WATER VALVE
	SPOT ELEVATION
	BITUMINOUS
	CONCRETE
	CONCRETE PAD
	LANDSCAPED AREA
	BUILDING OVERHANG
	BOTTOM OF WALL
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	EDGE OF WALK
	DETECTABLE WARNING
	BITUMINOUS CURB
	CONCRETE CURB
	GRANITE CURB
	SLOPED GRANITE CURB
	SINGLE WHITE STRIPE
	BROKEN WHITE STRIPE
	SINGLE YELLOW STRIPE
	DOUBLE YELLOW STRIPE
	METAL GUARD RAIL
	WOOD GUARD RAIL
	STOCKADE FENCE
	CHAINLINK FENCE
	IRON FENCE
	TREE LINE
	OVERHEAD WIRE
	WETLAND LINE
	EASEMENT LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	CONTOUR LINE
	SANITARY FORCE MAIN
	CABLE TV MARK OUT LINE
	DRAINAGE MARK OUT LINE
	ELECTRIC MARK OUT LINE
	COMMUNICATION MARK OUT LINE
	GAS MARK OUT LINE
	SANITARY SEWER MARK OUT LINE
	WATER MARK OUT LINE
	STEAM MARK OUT LINE
	UNKNOWN MARK OUT LINE
	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

NY WEST NAD 83

TITLE REPORT

COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE NO.: 19-7408-54572-E, EFFECTIVE DATE: SEPTEMBER 24, 2019. SCHEDULE B EXCEPTIONS:

1-3. NOT SURVEY RELATED.

4. SURVEY PROVIDED.

5. RAILWAY CONSENT AS DEFINED IN LIBER 687 PAGE 374. CONSENT IS FOR AN ELECTRIC RAILWAY ALONG LONG ROAD FROM WEST RIVER ROAD TO BASE LINE ROAD. NO EVIDENCE OF SAID RAILWAY STILL EXISTING WAS FOUND IN THE FIELD.

6. RIGHT OF WAY TO THE CATARACT CONSTRUCTION COMPANY A DEFINED IN LIBER 698 PAGE 376. EXACT LOCATION OF RIGHT OF WAY COULD NOT BE DETERMINED FROM RECORD DOCUMENT. THERE IS NO PHYSICAL EVIDENCE OF A LIGHT, HEAT & POWER TRANSMISSION LINE ON THE SUBJECT PROPERTY AS DESCRIBED IN THE DOCUMENT.

7. OIL AND GAS LEASE AS DEFINED IN LIBER 1236 PAGE 178. LEASE APPEARS TO HAVE EXPIRED PER AFFIDAVITS LIBER 5169 PAGE 49, LIBER 10159 PAGE 462, AND LIBER 10184 AND PAGE 197.

8. DRAINAGE EASEMENT AS DEFINED IN LIBER 5650 PAGES 485 & 531. DEPICTED ON SURVEY.

9. RESTRICTIONS AS DEFINED IN LIBER 5869 PAGE 413. DEPICTED ON SURVEY.

10. ACCESS EASEMENT AS DEFINED IN LIBER 6660 PAGE 424. AS DEPICTED ON SURVEY.

11. EASEMENT DEFINED IN OPTION TO PURCHASE AS DEFINED IN LIBER 7001 PAGE 601 WOULD BE EXTINGUISHED DUE TO COMMON OWNERSHIP IF THE OPTION WAS EVER EXERCISED.

12. POWER POLE EASEMENT AS DEFINED IN LIBER 7012 PAGE 328. GENERALLY DEFINED AND BLANKET IN NATURE. PERTAINS TO PARCEL F AS DEPICTED ON SURVEY.

13. POWER POLE EASEMENT AS DEFINED IN LIBER 7012 PAGE 333. GENERALLY DEFINED AND BLANKET IN NATURE. THE SKETCH REFERENCED IN THE DOCUMENT WAS NOT PROVIDED. PERTAINS NORTHERN PORTION OF SUBJECT PARCEL.

14. GAS EASEMENT DEFINED IN LIBER 7327 PAGE 525 DOES NOT PERTAIN TO THE SUBJECT PROPERTY. GAS EASEMENTS DEFINED IN LIBER 7353 PAGE 427, LIBER 7353 PAGE 467, LIBER 7353 PAGE 477, LIBER 7357 PAGE 626, LIBER 7357 PAGE 627, AND LIBER 7366 PAGE 659 PERTAIN TO A GAS EASEMENT RIGHTS ASSOCIATED A GAS LINE RUNNING ALONG THE NORTH SIDE OF BEDELL ROAD. THE GAS LINE IS DEPICTED ON THE SURVEY. THE EXACT LOCATION OR WIDTH OF THE EASEMENT WAS NOT DEFINED.

15. EASEMENT DEFINED IN LIBER 7867 PAGE 591 DOES NOT PERTAIN TO THE SUBJECT PROPERTY.

16. DEFINITION OF POTENTIAL LIFE ESTATE AREA AS DEFINED IN LIBER 8601 PAGE 473. AREA DEPICTED ON SURVEY. SURVEYOR DOES NOT KNOW IF PARTIES WITH LIFE TENANCY ARE STILL ALIVE.

17. EASEMENT TO THE TOWN OF GRAND ISLAND AS DEFINED IN LIBER 8992 PAGE 135. DEPICTED ON SURVEY. RELEASES DEFINED IN LIBER 10047 PAGE 559 AND LIBER 10079 PAGE 475 PERTAIN TO PARCEL E OF THE SUBJECT PROPERTY AND THE PARCELS LABELED AS SECTION 23.00 BLOCK 1 LOTS 43.1, 44, 45, 46, AND 47 THAT ARE NOT PART OF THE SUBJECT PROPERTY. THE EASEMENT DESCRIBED IN LIBER 8992 PAGE 135 DID NOT RESIDE ON, OR ABUTS, ANY OF THE PROPERTIES DESCRIBED IN THE RELEASE DOCUMENTS.

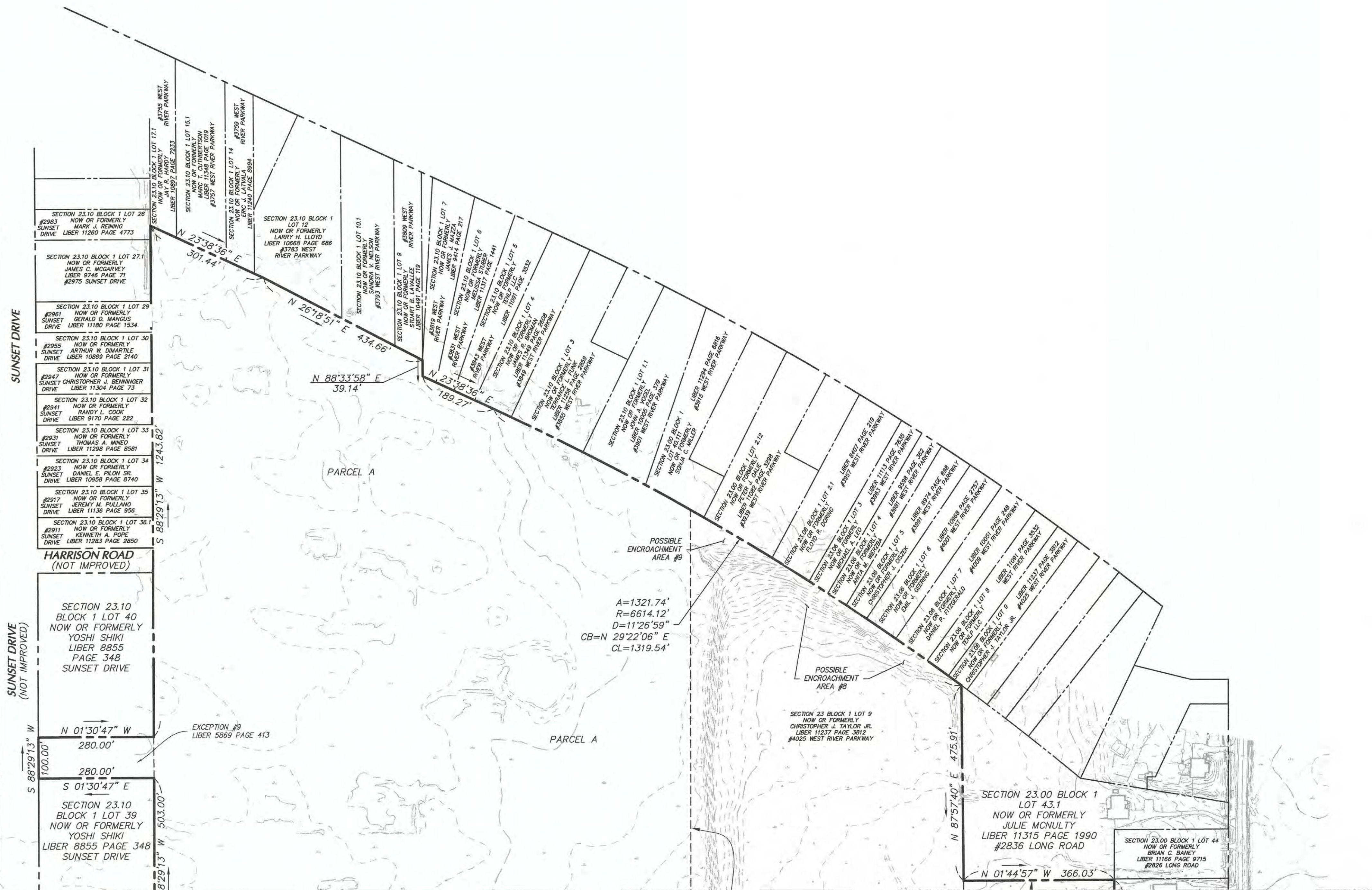
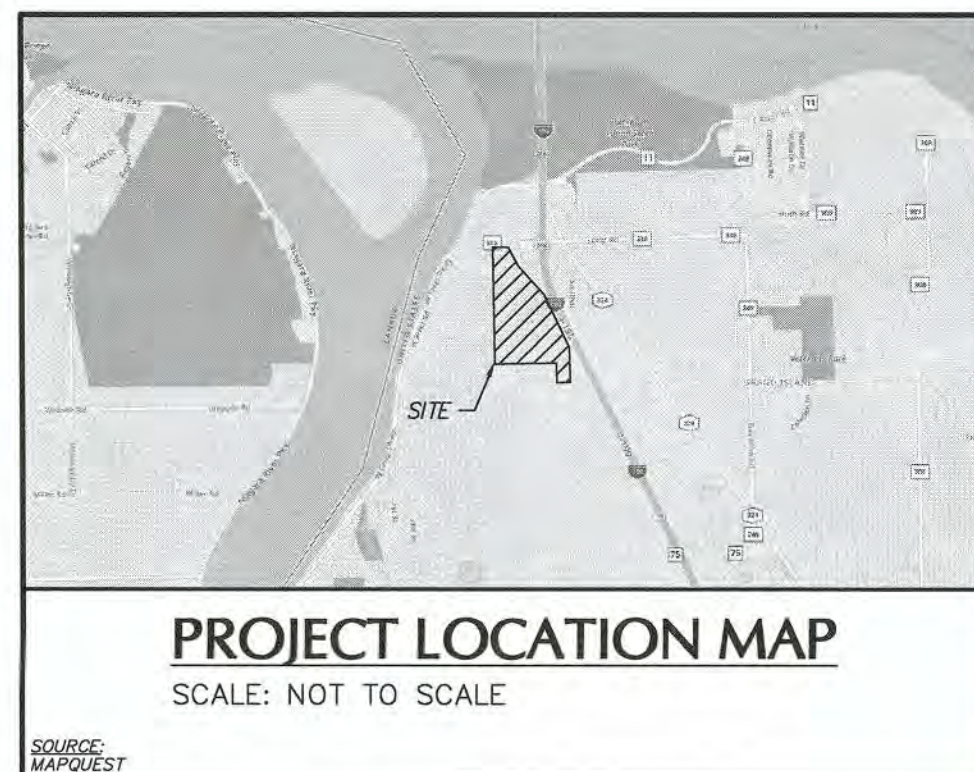
18. EASEMENT TO THE TOWN OF GRAND ISLAND AS DEFINED IN LIBER 10047 PAGE 563. DOES NOT PERTAIN TO SUBJECT PARCEL. EASEMENT IS ON THE NORTHERLY 27 FEET OF SECTION 23.00 BLOCK 1 LOT 43.1.

19. COVENANT AS DEFINED IN LIBER 9021 PAGE 458 AND LIBER 9118 PAGE 552. DEPICTED ON SURVEY. COVENANT STATES LANDFILL OR MUNICIPAL OR CHEMICAL WASTE AREA OF ANY KIND OR NATURE IS NOT ALLOWED ON SAID PREMISE.

20. DRAINAGE EASEMENT AS DEFINED IN LIBER 10954 PAGE 8719. DEPICTED ON SURVEY.

21. GRANT OF EASEMENT AS DEFINED LIBER 11330 PAGE 3908. DEPICTED ON SURVEY.

22-37. NOT SURVEY RELATED.



MATCHLINE A (SEE SHEET VL101)

THIS IS TO CERTIFY TO TC BUFFALO DEVELOPMENT ASSOCIATES, LLC

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 8, 11, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 11, 2019.

DATE OF MAP: FEBRUARY 4, 2020

ANDREW G. IVES, P.L.S. #50794 DATE 2/4/2020



SCALE: 1 INCH = 150 FEET

2/4/20	ADDRESSED COMMENTS	1
Date	Description	No.
REVISIONS		

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
555 Long Wharf Drive
New Haven, CT 06511
T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
PROJECT OLIVE
SECTION 23, BLOCK 1, LOT 50
TOWN OF GRAND ISLAND
ERIE COUNTY

Drawing Title
**ALTA/NSPS
LAND TITLE
SURVEY**
NEW YORK

Project No.
100785901
Date
JANUARY 9, 2020
Drawn By
JIS
Checked By
AGI

Drawing No.
VL102
Sheet 2 of 3

Filename: l:\angan\cadd\p\100785901\Project Data\DecipherSurvey\CADD\usingSheet\100785901-100101.dwg Date: 2/2/2020 Time: 12:40 User: jacob Style Table: Langan.dwg Layout: VL102

RECORD DESCRIPTION

PARCEL A:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOTS NOS. 87, 88, 89, 109 AND 110, DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF LONG ROAD 66 FEET WIDE AT THE NORTHWEST CORNER OF LANDS DESCRIBED IN A DEED TO HAROLD B. BEACH RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 6680 OF DEEDS AT PAGE 399; RUNNING (1) THENCE SOUTHERLY ALONG THE WEST LINE OF LANDS SO CONVEYED TO BEACH 632.98 FEET TO THE SOUTHWEST CORNER THEREOF, ON THE SOUTH LINE OF LOT NO. 110; (2) THENCE EASTERLY ALONG THE SOUTH LINE OF LOT NO. 110, 400 FEET TO THE SOUTHEAST CORNER OF LANDS SO CONVEYED TO BEACH; (3) THENCE NORTHERLY ALONG THE EAST LINE OF LANDS SO CONVEYED TO BEACH 402.70 FEET TO ITS INTERSECTION WITH THE SOUTHWEST LINE OF LANDS OF THE NEW YORK STATE THRUWAY (NIAGARA SECTION); (4) THENCE SOUTHEASTERLY ALONG THE SOUTHWEST LINE OF THE AFORESAID THRUWAY 447.20 FEET TO THE SOUTH LINE OF SAID LOT NO. 110; (5) THENCE CONTINUING SOUTHEASTERLY AND ALONG THE SOUTHWEST LINE OF SAID THRUWAY 845.42 FEET TO A MONUMENT; (6) THENCE CONTINUING SOUTHEASTERLY ALONG THE SOUTHWEST LINE OF SAID THRUWAY 456.42 FEET TO A MONUMENT; (7) THENCE CONTINUING SOUTHEASTERLY ALONG THE SOUTHWEST LINE OF SAID THRUWAY, 362.68 FEET TO THE SOUTH LINE OF LOT NO. 109; (8) THENCE WESTERLY ALONG THE SOUTH LINE OF SAID LOT NO. 109, 64.58 FEET TO THE NORTHEAST CORNER OF LANDS CONVEYED TO BY GLADYS TRAUTMAN TO ARAMUL MANAGEMENT CORPORATION BY DEED RECORDED IN LIBER 9706 OF DEEDS AT PAGE 646; (9) THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LANDS 2240.57 FEET TO THE SOUTH LINE THEREOF, BEING A LINE PARALLEL WITH BEDELL ROAD AND 405.74 FEET NORTH OF THE CENTER LINE THEREOF AS MEASURED ON A LINE PARALLEL WITH THE WEST LINE OF LOT 89; (10) THENCE WESTERLY PARALLEL WITH BEDELL ROAD 121.30 FEET TO THE WEST LINE OF LANDS SO CONVEYED BY GLADYS TRAUTMAN; (11) THENCE NORTHERLY ALONG SAID WEST LINE 2241.02 FEET TO THE SOUTH LINE OF LOT 109; (12) THENCE WESTERLY ALONG THE SOUTH LINE OF LOT 109, 315.9 FEET TO THE EAST LINE OF LANDS CONVEYED BY MARIE TRAUTMAN TO ARAMUL MANAGEMENT CORPORATION BY DEED RECORDED IN LIBER 9706 OF DEEDS AT PAGE 656; (13) THENCE SOUTHERLY ALONG SAID LONG SAID LINE 2242.1 6 FEET TO THE SOUTH LINE OF SAID LANDS BEING A LINE DRAWN PARALLEL WITH BEDELL ROAD AND 405.74 FEET NORTH OF THE CENTER LINE THEREOF MEASURED ON A LINE PARALLEL WITH THE WEST LINE OF LOT 89; (14) THENCE WESTERLY PARALLEL WITH BEDELL ROAD 121.30 FEET TO THE WEST LINE OF LANDS CONVEYED BY GLADYS TRAUTMAN TO ARAMUL MANAGEMENT CORPORATION BY DEED RECORDED IN LIBER 9706 OF DEEDS AT PAGE 654; (15) THENCE NORTHERLY ALONG SAID WEST LINE 627.26 FEET TO THE SOUTH LINE OF LANDS CONVEYED BY MARTIN E. GOSS TO ARAMUL MANAGEMENT CORPORATION BY DEED RECORDED IN LIBER 9842 OF DEEDS AT PAGE 544; (16) THENCE WESTERLY ALONG SAID SOUTH LINE 603.30 FEET TO AN ANGLE THEREIN; (17) THENCE SOUTHERLY ALONG A WEST LINE OF LANDS SO CONVEYED BY GOSS AND PARALLEL WITH THE WEST LINE OF LOT 89, 1000 FEET TO THE NORTH LINE OF BEDELL ROAD; (18) THENCE WESTERLY ALONG THE NORTH LINE OF BEDELL ROAD 100 FEET TO THE WEST LINE OF LANDS SO CONVEYED BY GOSS; (19) THENCE NORTHERLY ALONG SAID WEST LINE 2618.28 FEET TO THE NORTH LINE OF LOT 89; (20) THENCE WESTERLY ALONG THE NORTH LINE OF LOT 89, 412.5 FEET TO THE WEST LINE OF LOT 89; (21) THENCE SOUTHERLY ALONG THE WEST LINE OF LOT 89, 655.1 FEET TO THE NORTH LINE OF LANDS CONVEYED TO HERBERT HENRY BY DEED RECORDED IN LIBER 1939 OF DEEDS AT PAGE 238; (22) THENCE WESTERLY ALONG THE NORTH LINE OF LANDS SO CONVEYED TO HENRY 503 FEET TO A LINE DRAWN PARALLEL WITH HARRISON ROAD AS SHOWN ON A MAP FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER COVER NO. 1608 AND 500 FEET EASTERLY FROM THE EAST LINE OF SAID ROAD MEASURED AT RIGHT ANGLES; (23) THENCE SOUTHERLY ALONG SAID PARALLEL LINE 260 FEET TO THE NORTH LINE OF SUNSET DRIVE AS SHOWN ON MAP FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER COVER NO. 1608; (24) THENCE WESTERLY ALONG SAID NORTH LINE 100 FEET; (25) THENCE NORTHERLY PARALLEL WITH HARRISON ROAD 280 FEET TO THE NORTH LINE OF LANDS CONVEYED TO HENRY BY THE AFORESAID DEED; (26) THENCE WESTERLY ALONG SAID NORTH LINE 1243.82 FEET; (27) THENCE NORTHEASTERLY ON A LINE DRAWN PARALLEL WITH THE EAST LINE OF LAND CONVEYED TO THE STATE OF NEW YORK BY DEED RECORDED IN LIBER 2222 OF DEEDS AT PAGE 375, 736.10 FEET TO THE SOUTH LINE OF LOT 109 (28) THENCE EASTERLY ALONG THE SOUTH LINE OF LOT 109, 39.14 FEET TO A POINT THEREIN 487.20 FEET EAST OF ITS INTERSECTION WITH THE EAST LINE OF LAND CONVEYED TO THE STATE OF NEW YORK BY DEED RECORDED IN LIBER 2652 OF DEEDS AT PAGE 189; (29) THENCE NORTHEASTERLY PARALLEL WITH SAID EAST LINE OF LANDS SO CONVEYED TO THE STATE OF NEW YORK 189.90 FEET TO A POINT OF CURVE; (30) THENCE CONTINUING NORTHEASTERLY ON A CURVE TO THE RIGHT WITH A RADIUS OF 6614.46 FEET AN ARC DISTANCE OF 1359.814 FEET TO THE SOUTH LINE OF SAID LOT NO. 110 AT A POINT 953.94 FEET WESTERLY, MEASURED ALONG SAID SOUTH LINE OF SAID LOT NO. 110, FROM THE SOUTHWEST CORNER OF LANDS DESCRIBED IN DEED TO BEACH RECORDED IN LIBER 6680 OF DEEDS AT PAGE 399; (31) THENCE EASTERLY ALONG THE SOUTH LINE OF SAID LOT NO. 110, 633.94 FEET TO A POINT 120 FEET WESTERLY FROM ITS INTERSECTION WITH THE WEST LINE OF LANDS DESCRIBED IN THE AFORESAID DEED TO BEACH; (32) THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF LANDS SO CONVEYED TO BEACH 632.98 FEET TO THE SOUTH LINE OF LONG ROAD 66 FEET WIDE; AND (33) THENCE EASTERLY ALONG SAID SOUTH LINE OF LONG ROAD 120 FEET TO THE POINT OF BEGINNING.

PARCEL B:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO.89, DESCRIBED AS FOLLOWS:

BEGINNING IN THE CENTER LINE OF BEDELL ROAD 1334.4 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT NO. 89, BEING ALSO 327.90 FEET EAST OF THE SOUTHEAST CORNER OF LANDS CONVEYED TO PERMELIA BEDELL BY DEED RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 278 OF DEEDS AT PAGE 159; RUNNING THENCE NORTHERLY PARALLEL WITH THE EAST LINE OF LANDS SO CONVEYED TO BEDELL 2648 FEET TO THE NORTH LINE OF LOT NO. 89; THENCE EASTERLY ALONG THE NORTH LINE OF LOT NO. 89, A DISTANCE OF 218.6 FEET; THENCE SOUTHERLY AND PARALLEL WITH THE EAST LINE OF LANDS SO CONVEYED TO BEDELL 2648 FEET TO THE SOUTHWEST CORNER OF SAID LOT NO. 89; THENCE WESTERLY ALONG THE SOUTH LINE OF LOT NO. 89 AND THE CENTER LINE OF BEDELL ROAD 218.6 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY 980 FEET THEREOF AS MEASURED ALONG THE EASTERLY AND WESTERLY BOUNDARY LINES.

ALSO EXCEPTING THAT PART APPROPRIATED BY NOTICE OF APPROPRIATION RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 5600 OF DEEDS AT PAGE 465.

PARCEL C:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO.89, DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF LOT NUMBER EIGHT-NINE (89) (THE SAME BEING ALSO THE CENTER LINE OF BEDELL ROAD), TWO HUNDRED EIGHTY-ONE AND TWENTY-FIVE HUNDREDTHS (281.25) FEET EASTERLY FROM THE INTERSECTION THEREOF OF SAID CENTER LINE OF BEDELL ROAD, AND THE WEST LINE OF SAID LOT NUMBER EIGHTY-NINE (89); THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT NUMBER EIGHTY-NINE (89), TWO THOUSAND SIX HUNDRED FORTY-SIX AND NINE HUNDREDTHS (2646.09) FEET TO A POINT IN THE NORTH LINE OF SAID LOT NUMBER EIGHTY- NINE (89); THENCE EASTERLY AND ALONG THE NORTH LINE OF SAID LOT NUMBER EIGHTY-NINE (89), ONE HUNDRED THIRTY-ONE AND TWENTY-FIVE HUNDREDTHS (131.25) FEET TO A POINT; THENCE SOUTHERLY AND PARALLEL WITH THE WEST LINE OF SAID LOT NUMBER EIGHTY-NINE (89) TWO THOUSAND SIX HUNDRED FORTY-FIVE AND FIFTY-FIVE HUNDREDTHS (2645.55) FEET TO A POINT IN THE SAID CENTER LINE OF BEDELL ROAD; THENCE WESTERLY AND ALONG THE SAID CENTER LINE OF BEDELL ROAD ONE HUNDRED THIRTY-ONE AND TWENTY-FIVE HUNDREDTHS (131.25) FEET TO THE POINT OR PLACE OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY 683.0 FEET OF THE ABOVE DESCRIBED PREMISES.

PARCEL D:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 89, DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF LOT NO. 89 (THE SAME BEING ALSO THE CENTER LINE OF BEDELL ROAD), ONE HUNDRED FIFTY (150) FEET EASTERLY FROM THE INTERSECTION THEREOF OF SAID CENTER LINE OF BEDELL ROAD AND THE WEST LINE OF SAID LOT NO. 89; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT NO. 89, TWO THOUSAND SIX HUNDRED FORTY-SIX AND SIXTY-FOUR HUNDREDTHS (2646.64) FEET TO A POINT IN THE NORTH LINE OF SAID LOT NO. 89; THENCE EASTERLY AND ALONG THE NORTH LINE OF SAID LOT NO. 89, ONE HUNDRED THIRTY-ONE AND TWENTY-FIVE HUNDREDTHS (131.25) FEET TO A POINT; THENCE SOUTHERLY AND PARALLEL WITH THE WEST LINE OF SAID LOT NO. 89, TWO THOUSAND SIX HUNDRED FORTY-SIX AND NINE HUNDREDTHS (2646.09) FEET TO A POINT IN THE SAID CENTER LINE OF BEDELL ROAD; THENCE WESTERLY AND ALONG THE SAID CENTER LINE OF BEDELL ROAD, ONE HUNDRED THIRTY-ONE AND TWENTY-FIVE HUNDREDTHS (131.25) FEET TO THE POINT OR PLACE OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY SEVEN HUNDRED SEVENTY-THREE (773) FEET OF THE ABOVE DESCRIBED PREMISES.

PARCEL E:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 110 OF THE NEW YORK STATE SURVEY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT NO. 4 SHOWN ON A MAP OF THE NORTH POINTE SUBDIVISION FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER COVER NO. 2536; RUNNING THENCE NORTHERLY ALONG THE EAST LINE OF LANDS CONVEYED TO ROTT BY DEED RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 10047 OF DEEDS AT PAGE 563, 362.83 FEET (MEASURED) (360.99 FEET RECORD) TO THE SOUTH LINE OF SAID LOT NO. 110; RUNNING THENCE WESTERLY ALONG SAID SOUTH LINE OF SAID LOT NO. 110, 358.05 FEET; THENCE NORTHERLY ALONG THE SOUTH LINE OF SUBDIVISION LOT NO. 4 SHOWN ON MAP FILED UNDER COVER NO. 2536; RUNNING THENCE EASTERLY ALONG THE SOUTH LINE OF SUBDIVISION LOT NOS. 2, 3 AND 4, 358.05 FEET TO THE SAID SOUTHEAST CORNER OF SAID LOT NO. 4 AT THE POINT OR PLACE OF BEGINNING.

PARCEL F:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT 110 OF THE NEW YORK STATE SURVEY DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF LOT 110, 120 FEET WEST OF THE SOUTHWEST CORNER OF LANDS CONVEYED TO HAROLD BEACH BY DEED RECORDED IN THE ERIE COUNTY CLERK'S OFFICE IN LIBER 6680 OF DEEDS AT PAGE 399; RUNNING THENCE WESTERLY ALONG THE SOUTH LINE OF LOT 110 TO THE EAST LINE OF LANDS CONVEYED TO DANIEL W. ROTT BY DEED RECORDED IN LIBER 10047 OF DEEDS AT PAGE 563; THENCE NORTHERLY ALONG SAID EAST LINE TO THE EAST LINE OF LOT NO. 89, THENCE NORTHERLY ALONG THE EAST LINE OF LOT NO. 89, ONE HUNDRED NINE AND THREE TENTHS (109.3) FEET; THENCE SOUTHERLY AND PARALLEL WITH THE EAST LINE OF LONG ROAD, AND THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF LANDS CONVEYED TO BEACH BY THE ABOVE MENTIONED DEED TO THE POINT OF BEGINNING.

PARCEL G:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 89 AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF LOT NO. 89 DISTANT ONE THOUSAND SEVEN HUNDRED SEVENTY-ONE AND SIXTY HUNDREDTHS (1771.60) FEET EASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT NO. 89, SAID POINT OF BEGINNING ALSO BEING SEVEN HUNDRED SIXTY-FIVE AND TEN HUNDREDTHS (765.10) FEET EASTERLY FROM THE SOUTHEASTERLY CORNER OF LANDS OWNED BY PERMELIA BEDELL; THENCE NORTHERLY AND PARALLEL WITH THE EASTERLY LINE OF LANDS OWNED BY PERMELIA BEDELL TWO THOUSAND SIX HUNDRED FORTY-EIGHT (2648) FEET TO THE NORTHERLY LINE OF LOT NO. 89; THENCE EASTERLY ALONG THE NORTHERLY LINE OF LOT NO. 89, ONE HUNDRED NINE AND THREE TENTHS (109.3) FEET; THENCE SOUTHERLY AND PARALLEL WITH THE EASTERLY LINE OF LANDS OWNED BY PERMELIA BEDELL, TWO THOUSAND SIX HUNDRED FORTY-EIGHT (2648) FEET TO THE SOUTHERLY LINE OF LOT NO. 89; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT NO. 89, ONE HUNDRED NINE AND THREE TENTHS (109.3) FEET TO THE PLACE OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY EIGHT HUNDRED FIFTY-FOUR AND FIFTY HUNDREDTHS (854.50) FEET OF THE ABOVE DESCRIBED PREMISES.

ALSO EXCEPTING THEREFRM LANDS APPROPRIATED BY THE PEOPLE OF THE STATE OF NEW YORK BY DEED RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 5750 OF DEEDS AT PAGE 23.

PARCEL H:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 89, DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF LOT NO. 89, THE SAME BEING ALSO THE CENTER LINE OF BEDELL ROAD AT ITS INTERSECTION THEREOF WITH THE WEST LINE OF LOT NO. 89; RUNNING THENCE NORTHERLY AND ALONG THE WEST LINE OF SAID LOT NO. 89, TWO THOUSAND SIX HUNDRED FORTY-SEVEN AND TWENTY-SIX HUNDREDTHS (2647.26) FEET TO THE NORTH LINE OF SAID LOT NO. 89; THENCE EASTERLY AT AN ANGLE OF 90 DEGREES 05 MINUTES 40 SECONDS AND ALONG THE NORTHERLY LINE OF SAID LOT NO. 89, ONE HUNDRED FIFTY (150) FEET TO A POINT; THENCE SOUTHERLY AND PARALLEL WITH THE WEST LINE OF SAID LOT NO. 89, TWO THOUSAND SIX HUNDRED FORTY-SIX AND SIXTY-FOUR HUNDREDTHS (2646.26) FEET TO A POINT IN THE CENTER LINE OF SAID BEDELL ROAD, SAID POINT BEING ONE HUNDRED FIFTY (150) FEET EASTERLY FROM THE POINT OF BEGINNING AND THENCE WESTERLY AND ALONG THE SAID CENTER LINE OF BEDELL ROAD, ONE HUNDRED FIFTY (150) FEET TO A POINT OR PLACE OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY 773.0 FEET OF THE ABOVE DESCRIBED PREMISES.

PARCEL I:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF BLOCK 89, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF LOT NO. 89, DISTANT ONE THOUSAND FIVE HUNDRED FIFTY-THREE (1553) FEET EASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT NO. 89, SAID POINT OF BEGINNING ALSO BEING FIVE HUNDRED FORTY-SIX AND FLVE TENTHS (546.5) FEET EASTERLY FROM THE SOUTHEASTERLY CORNER OF LANDS CONVEYED TO PERMELIA BEDELL BY DEED RECORDED IN THE ERIE COUNTY CLERK'S OFFICE IN LIBER 278 OF DEEDS PAGE 159; THENCE NORTHERLY AND PARALLEL WITH THE EASTERLY LINE OF SAID LANDS CONVEYED TO PERMELIA BEDELL TWO THOUSAND SIX HUNDRED FORTY-EIGHT (2648) FEET TO THE NORTHERLY LINE OF LOT NO. 89; THENCE EASTERLY ALONG THE NORTHERLY LINE OF LOT NO. 89, NINETY-SEVEN AND THREE TENTHS (97.3) FEET; THENCE SOUTHERLY AND PARALLEL WITH THE EASTERLY LINE OF SAID LANDS CONVEYED TO PERMELIA BEDELL, TWO THOUSAND SIX HUNDRED FORTY-EIGHT (2648) FEET TO THE SOUTHERLY LINE OF LOT NO. 89; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT NO. 89, NINETY-SEVEN AND THREE TENTHS (97.3) FEET TO THE PLACE OF BEGINNING.

EXCEPTING THEREFROM, THE SOUTHERLY ONE THOUSAND THREE HUNDRED FIVE (1305) FEET.

PARCEL J:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT 89 DESCRIBED AS FOLLOWS:

BEGINNING IN THE CENTER LINE OF BEDELL ROAD, 1,334.40 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT NO. 89, BEING ALSO 327.90 FEET EAST OF THE SOUTHEAST CORNER OF LANDS CONVEYED TO PERMELIA BEDELL BY DEED RECORDED IN ERIE COUNTY CLERK 'S OFFICE IN LIBER 278 OF DEEDS AT PAGE 159; THENCE NORTHERLY PARALLEL WITH THE EAST LINE OF LANDS SO CONVEYED TO BEDELL, 980.0 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN DEED FROM JOHN SIMON TO GRAND ISLAND COMMERCE CENTER JOINT VENTURE RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 10153 OF DEEDS AT PAGE 237, WHICH IS THE TRUE POINT OR PLACE OF BEGINNING; THENCE EASTERLY ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID LOT NO. 89, 218.60 FEET TO A POINT; THENCE SOUTHERLY ALONG A LINE PARALLEL WITH THE EAST LINE OF LANDS SO CONVEYED TO BEDELL, 287 FEET; THENCE WESTERLY ALONG A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT 89, 218.60 FEET TO A POINT; THENCE NORTHERLY ALONG A LINE PARALLEL WITH SAID EAST LINE OF LANDS SO CONVEYED TO BEDELL 287 FEET TO THE TRUE POINT OR PLACE OF BEGINNING.

PARCEL K:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF GRAND ISLAND, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 89, DESCRIBED AS FOLLOWS:-

BEGINNING AT A POINT IN THE NORTH LINE OF BEDELL ROAD AT ITS INTERSECTION WITH THE WESTERLY LINE OF ALT BOULEVARD; THENCE WESTERLY ALONG THE NORTH LINE OF BEDELL ROAD, FOUR HUNDRED FIFTY-ONE (451) FEET; THENCE NORTHERLY AT AN INTERIOR ANGLE OF 89° 55' 09", EIGHT HUNDRED (800) FEET; THENCE WESTERLY PARALLEL WITH THE NORTH LINE OF BEDELL ROAD, ONE HUNDRED FIFTY (150) FEET; THENCE NORTHERLY AT AN INTERIOR ANGLE OF 89° 55' 09", ONE THOUSAND SEVEN HUNDRED TWENTY-FOUR (1724) FEET TO THE SOUTHWESTERLY LINE OF THE NEW YORK STATE THRUWAY, THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF THE NEW YORK STATE THRUWAY ONE THOUSAND FOUR HUNDRED SIXTY-FIVE AND THIRTY HUNDREDTHS (1465.30) FEET MORE OR LESS TO THE WESTERLY LINE OF ALT BOULEVARD; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF ALT BOULEVARD ONE THOUSAND ONE HUNDRED EIGHTY-SIX AND FIFTY HUNDREDTHS (1186.50) FEET TO THE NORTH LINE OF BEDELL ROAD AT THE POINT OF BEGINNING.

SURVEY DESCRIPTION

BEGINNING AT A POINT IN THE NORTHERLY SIDE OF BEDELL ROAD AND THE SOUTHEAST CORNER OF LAND NOW OR FORMERLY OF HUGILL STORAGE INC., SAID POINT BEING THE SOUTHWEST CORNER OF HEREIN DESCRIBED PARCEL;

THENCE S 01°22'40" E BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF HUGILL STORAGE INC. A DISTANCE OF 650.00' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF HUGILL STORAGE INC. A DISTANCE OF 131.25' TO A POINT;

THENCE N 01°22'40" W BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF DAVID R. EHDE A DISTANCE OF 90.00' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF DAVID R. EHDE A DISTANCE OF 281.13' TO A POINT;

THENCE N 01°22'40" W BOUNDED WESTERLY IN PART BY LAND NOW OR FORMERLY OF DANA W. BARBER, JTIROS, IN PART BY LAND NOW OR FORMERLY OF GRAND ISLAND LODGE NO. 1138, THE EASTERLY SIDE OF SUNSET DRIVE AND IN PART BY LAND NOW OR FORMERLY OF YOSHI SHIKI A DISTANCE OF 1224.63' TO A POINT;

THENCE S 88°29'13" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF YOSHI SHIKI A DISTANCE OF 503.00' TO A POINT;

THENCE S 01°30'47" E BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF YOSHI SHIKI A DISTANCE OF 280.00' TO A POINT ON THE NORTHERLY SIDE OF SUNSET DRIVE;

THENCE S 88°29'13" W ALONG THE NORTHERLY SIDE OF SUNSET DRIVE A DISTANCE OF 100.00' TO A POINT;

THENCE N 01°30'47" W BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF YOSHI SHIKI A DISTANCE OF 280.00' TO A POINT;

THENCE S 88°28'13" W BOUNDED SOUTHERLY IN PART BY LAND NOW OR FORMERLY OF YOSHI SHIKI, ALONG THE NORTHERLY SIDE OF HARRISON ROAD, IN PART BY LAND NOW OR FORMERLY OF KENNETH A. POPE, JEREMY M. PULLANO, DANIEL E. PILON SR., THOMAS A. MINEO, RANDY L. COOK, CHRISTOPHER J. CROFT, J. W. DIMATILE, GERALD D. MANGUS, JAMES C. MCGARVEY AND MARK J. REINING A DISTANCE OF 1243.82' TO A POINT;

THENCE N 23°38'36" E BOUNDED WESTERLY IN PART BY LAND NOW OR FORMERLY OF JAY R. HARDY, MARC T. CUTHBERTSON, ERIC J. LATVALA AND LARRY H. LLOYD A DISTANCE OF 301.44' TO A POINT; THENCE N 26°18'51" E BOUNDED WESTERLY IN PART BY LAND NOW OR FORMERLY OF LARRY H. LLOYD, SANDRA V. NELSON AND STUART B. LAVALLÉE A DISTANCE OF 434.66' TO A POINT;

THENCE N 88°33'58" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF JAMES J. MAZZA A DISTANCE OF 39.14' TO A POINT;

THENCE N 23°38'36" E BOUNDED WESTERLY IN PART BY LAND NOW OR FORMERLY OF JAMES J. MAZZA, MELISSA STUBER, TENLP LLC AND JAMES R. BROMAN A DISTANCE OF 189.27' TO A POINT OF CURVATURE;

THENCE ALONG A CURVE, BOUNDED WESTERLY IN PART BY LAND NOW OR FORMERLY OF JAMES R. BROMAN, TERRANCE L. FUNK, JOHN A. VOGL, SONJA C. MILLER, PETER J. GALIE, FLOYD R. DORING, MICHAEL A. LEE, ANITA M. WIERZBA, CHRISTOPHER J. CISEZEK, EMIL J. GEERING, DANIEL P. FITZGERALD, TENLP LLC AND CHRISTOPHER J. TAYLOR JR., CURVING TO THE RIGHT, WITH AN ARC LENGTH OF 1321.74', A RADIUS OF 6614.12', AN INCLUDED ANGLE OF 1°26'59", AND A CHORD LENGTH 1319.54' BEARING N 29°22'06" E, TO A POINT;

THENCE N 87°57'40" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF JULIE MCNUITY A DISTANCE OF 475.91' TO A POINT;

THENCE N 01°44'57" W BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF JULIE MCNUITY A DISTANCE OF 366.03' TO A POINT;

THENCE N 88°34'37" E BOUNDED NORTHERLY IN PART BY LAND NOW OR FORMERLY OF DAVID A. STALICA & MICHAEL H & W LITTLE A DISTANCE OF 358.05' TO A POINT;

THENCE N 01°44'57" W BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF MICHAEL H & W LITTLE A DISTANCE OF 277.00' TO A POINT ON THE SOUTHERLY SIDE OF LONG ROAD;

THENCE N 88°34'37" E ALONG THE SOUTHERLY SIDE OF LONG ROAD A DISTANCE OF 120.00' TO A POINT;

THENCE S 01°44'57" E BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF DONALD J. LESS A DISTANCE OF 639.18' TO A POINT;

THENCE N 88°02'19" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF DONALD J. LESS A DISTANCE OF 400.00' TO A POINT;

THENCE N 01°44'57" W BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF DONALD J. LESS A DISTANCE OF 402.27' TO A POINT ON THE WESTERLY SIDE OF NIAGARA THRUWAY INTERSTATE 190;

THENCE S 27°43'48" E ALONG THE WESTERLY SIDE OF NIAGARA THRUWAY INTERSTATE 190 A DISTANCE OF 455.37' TO A POINT;

THENCE S 42°29'31" E ALONG THE WESTERLY SIDE OF NIAGARA THRUWAY INTERSTATE 190 A DISTANCE OF 1304.58' TO A POINT;

THENCE S 25°50'25" E ALONG THE WESTERLY SIDE OF NIAGARA THRUWAY INTERSTATE 190 A DISTANCE OF 1919.68' TO A POINT ON THE INTERSECTION OF THE WESTERLY SIDE OF NIAGARA THRUWAY INTERSTATE 190 AND THE WESTERLY SIDE OF GEORGE ALT BOULEVARD;

THENCE S 01°35'11" E ALONG THE WESTERLY SIDE OF GEORGE ALT BOULEVARD A DISTANCE OF 1190.16' TO A POINT ON THE INTERSECTION OF THE EASTERLY SIDE OF GEORGE ALT BOULEVARD AND THE NORTHERLY SIDE OF BEDELL ROAD;

THENCE S 88°21'24" W ALONG THE NORTHERLY SIDE OF BEDELL ROAD A DISTANCE OF 451.00' TO A POINT;

THENCE N 01°22'40" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF STEVEN M. STUTZ JR. A DISTANCE OF 800.00' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF STEVEN M. STUTZ JR. A DISTANCE OF 155.11' TO A POINT;

THENCE N 01°22'40" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF CHRISTOPHER PATTERSON A DISTANCE OF 21.50' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF CHRISTOPHER PATTERSON A DISTANCE OF 109.30' TO A POINT;

THENCE N 01°22'40" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF KENNETH M. MACCAFFERY LIFE US A DISTANCE OF 450.50' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF KENNETH M. MACCAFFERY A DISTANCE OF 218.60' TO A POINT;

THENCE S 01°22'40" E BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF KENNETH M. MACCAFFERY LIFE US A DISTANCE OF 50.00' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF RAHMAT LOGHMANIEH A DISTANCE OF 437.20' TO A POINT;

THENCE N 01°22'40" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF B.A.D. REAL ESTATE A DISTANCE OF 340.00' TO A POINT;

THENCE S 88°21'24" W BOUNDED SOUTHERLY IN PART BY LAND NOW OR FORMERLY OF B.A.D. REAL ESTATE AND JOSAM ENTERPRISES INC. A DISTANCE OF 603.30' TO A POINT;

THENCE S 01°22'40" E BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF JOSAM ENTERPRISES INC. A DISTANCE OF 1000.00' TO A POINT ON THE NORTHERLY SIDE OF BEDELL ROAD;

THENCE S 88°21'24" W ALONG THE NORTHERLY SIDE OF BEDELL ROAD A DISTANCE OF 100.00' TO THE POINT OF BEGINNING;

CONTAINING APPROXIMATELY 9,040,428 SQUARE FEET (207.53967 ACRES).

THIS DESCRIPTION IS PREPARED IN ACCORDANCE WITH A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, PROJECT OLIVE SECTION 23, 88, 89, 1 LOT OF TOWN OF GRAND ISLAND, ERIE COUNTY, NEW YORK, SCALE: 1"=150', DATED: JANUARY 9, 2020, LAST REVISED: 2/4/20, PREPARED BY: LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.

NOTES

- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:

A. MAP TITLED "SURVEY OF PART OF LOTS--89, 109 & 110 TOWN OF GRAND ISLAND, ERIE COUNTY, NEW YORK", SCALE: 1"=200', DATED: MARCH 27, 2007, BY: MCINTOSH & MCINTOSH, P.C.

B. MAP TITLED "SANITARY SEWER EASEMENT MAP OF PART OF LOTS--89, 109 & 110 TOWN OF GRAND ISLAND ERIE COUNTY, NEW YORK", SCALE: 1"=200', DATED: NOVEMBER 16, 2017, BY: MCINTOSH & MCINTOSH, P.C.

2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM NAD 83 EAST (EPSC 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).

3. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B) AS DETERMINED BY GNSS

4. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY D.P.C. FIELD WORK COMPLETED DURING THE MONTH OF NOVEMBER 2019.

5. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "ERIE COUNTY, NEW YORK PANEL 20 & 36 OF 807, MAP NUMBER: 36029C0020H & 36029C0036H, EFFECTIVE DATE: JUNE 7, 2019" THE SUBJECT PROPERTIES ARE IN ZONE X (UNSHADED).

6. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.

7. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.

8. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.

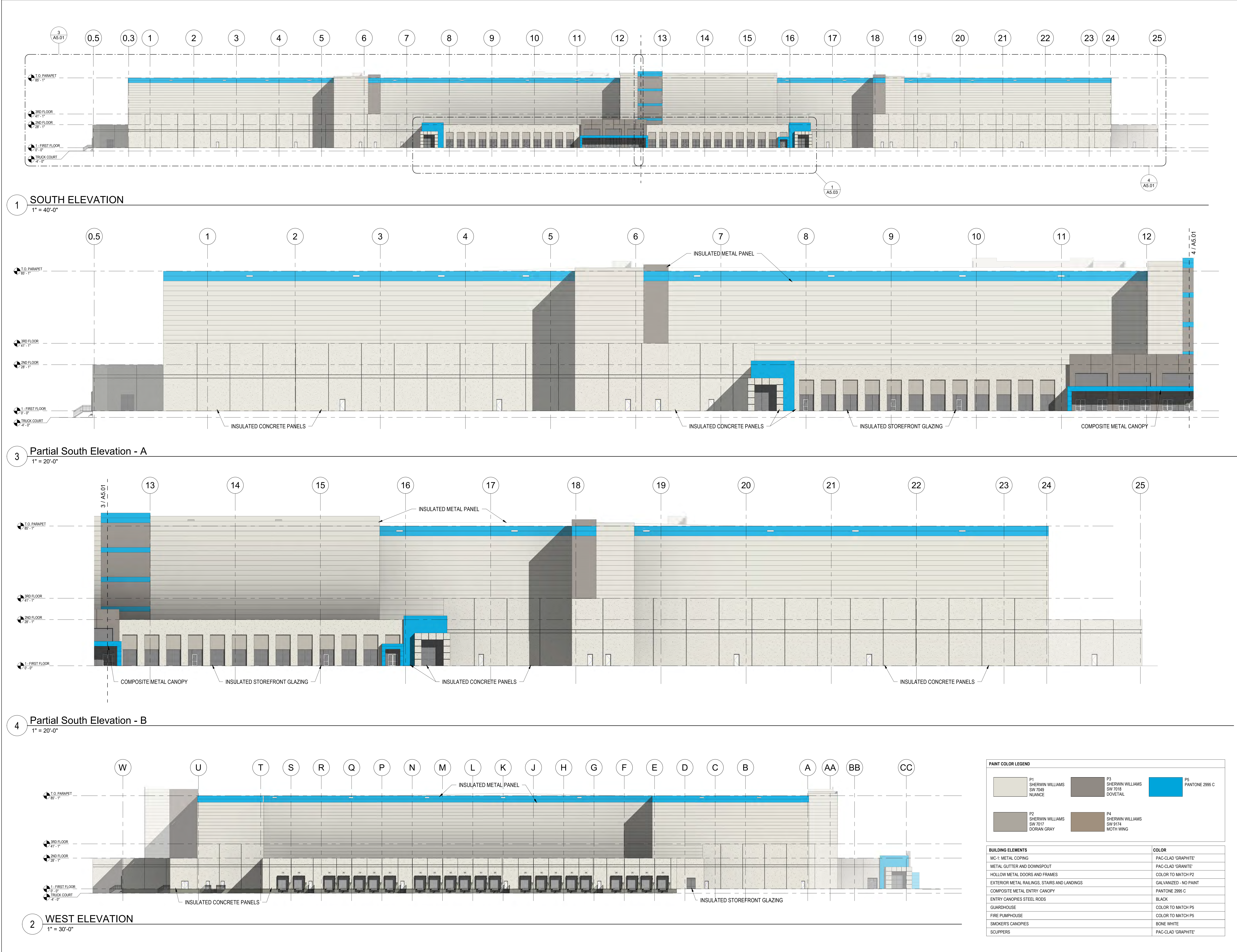
9. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE,

EXHIBIT 3



EXHIBIT 4

8/26/2019 11:05:27 AM C:\Users\lvieira\Documents\190128-ARCH-18-CENTRAL\lvieira\CS44.rvt



PROPOSED STORAGE AND DISTRIBUTION FACILITY
LONG ROAD
GRAND ISLAND, NY

REVISIONS
DESCRIPTION

DATE

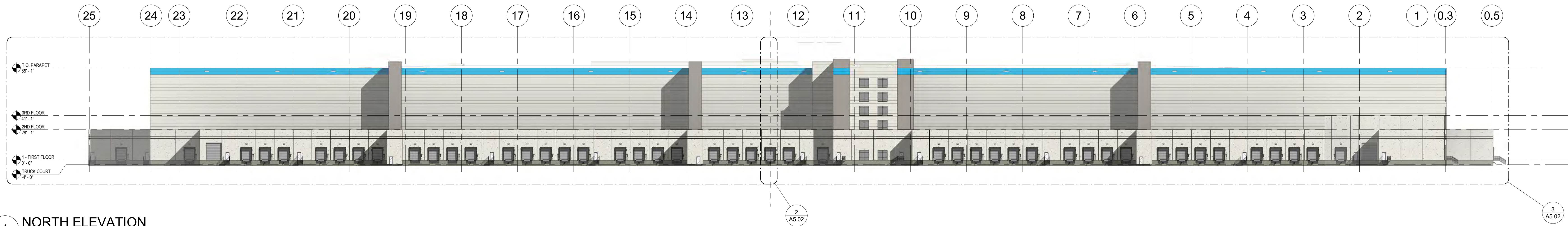
NO

Designed By: Author
Drawn By: Approver
Reviewed By: As Indicated
Scale: 1901946
Project No: 02/20/2020

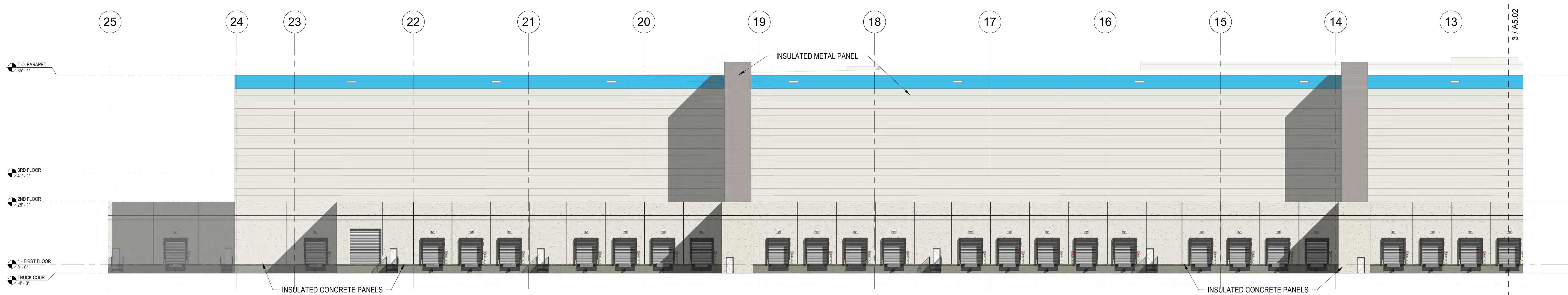
Title:
EXTERIOR
ELEVATIONS

Sheet No.

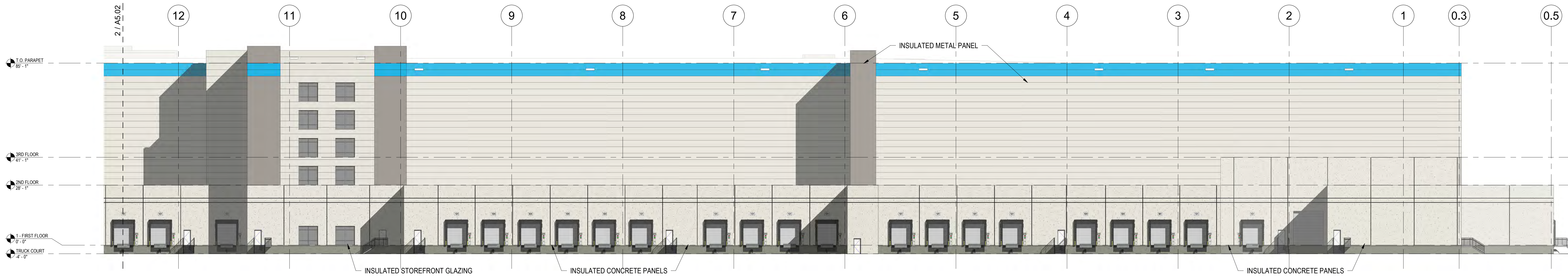
A5.02



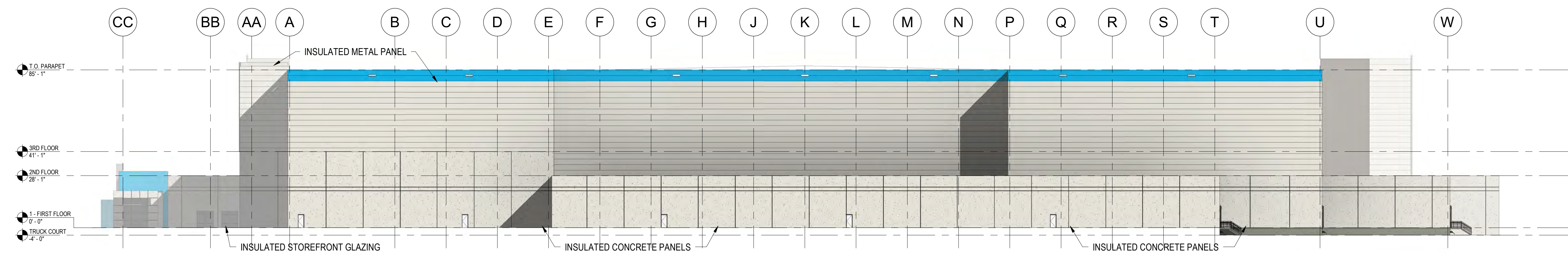
1 NORTH ELEVATION
1" = 40'-0"



2 Partial North Elevation - A
1" = 20'-0"



3 Partial North Elevation - B
1" = 20'-0"



4 EAST ELEVATION
1" = 30'-0"

PAINT COLOR LEGEND		
	P1 SHERWIN WILLIAMS SW 7049 NUANCE	
	P2 SHERWIN WILLIAMS SW 7017 DORIAN GRAY	
	P5 PANTONE 2995 C	
BUILDING ELEMENTS		
MC-1 METAL COPING		PAC-GLAD 'GRAPHITE'
METAL GUTTER AND DOWNSPOUT		PAC-GLAD 'GRANITE'
HOLLOW METAL DOORS AND FRAMES		COLOR TO MATCH P2
EXTERIOR METAL RAILINGS, STAIRS AND LANDINGS		GALVANIZED - NO PAINT
COMPOSITE METAL ENTRY CANOPY		PANTONE 2995 C
ENTRY CANOPIES STEEL RODS		BLACK
GUARDHOUSE		COLOR TO MATCH P5
FIRE PUMPHOUSE		COLOR TO MATCH P5
SMOKER'S CANOPIES		BONE WHITE
SCUPPERS		PAC-GLAD 'GRAPHITE'

EXHIBIT 5

LETTER OF AUTHORIZATION

Grand Island Commerce Center Joint Venture, the owner of an approximately 207-acre parcel located at 2780 Long Road (Tax IDs 23.00-1-50 and 23.00-1-26.1) in the Town of Grand Island, New York (the "Property") does hereby authorize TC Buffalo Development Associates, LLC and its employees, agents, contractors and attorneys, including Phillips Lytle LLP, to file any application(s) for approvals, authorizations or permits from any and all relevant governmental authorities necessary for the development, construction, and operation of a warehouse storage and distribution facility on the Property.

Property Owner:

Grand Island Commerce Center, Inc.

By:  _____

Name: William L. Huntress

Title: Manager

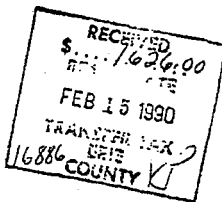
Authorized Signatory

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT — THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 15th day of February, nineteen hundred and Ninety
BETWEEN SEVENSON ENVIRONMENTAL SERVICES, INC., a Delaware corporation, having its principal office and place of business at 2749 Lockport Road, Niagara Falls, New York 14305, formerly SEVENSON CONSTRUCTION, INC., successor by merger to (i) ARAMDL MANAGEMENT CORPORATION and to (ii) 3235 LOCKPORT ROAD, INC., both New York corporations, having their principal office and place of business at 2749 Lockport Road, Niagara Falls, New York
party of the first part, and GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New York general partnership, having an office at 3907 North Buffalo Street, Orchard Park, New York, 14127, comprised of GRAND ISLAND COMMERCE CENTER, INC., a New York corporation, having an office at 3907 North Buffalo Street, Orchard Park, New York, 14127 and RESSARG/GRAND ISLAND, INC., a New York corporation, having an office at 3400 Marine Midland Center, Buffalo, New York 14203
party of the second part,
WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE ATTACHED SCHEDULE "A"



TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.


AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.
The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

SEVENSON ENVIRONMENTAL SERVICES, INC.

LI 010140 P 621

by 
WILLIAM McDERMOTT, Vice-President

SCHEDULE A DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Grand Island, County of Erie and State of New York, being part of Lots Nos. 87, 88, 89, 109 and 110, described as follows:

BEGINNING in the south line of Long Road 66 feet wide at the northwest corner of lands described in a deed to Harold B. Beach recorded in Erie County Clerk's Office in Liber 6660 of Deeds at page 399; running (1) thence southerly along the west line of lands so conveyed to Beach 632.98 feet to the southwest corner thereof, on the south line of Lot no. 110; (2) thence easterly along the south line of Lot No. 110, 400 feet to the southeast corner of lands so conveyed to Beach; (3) thence northerly along the east line of lands so conveyed to Beach 402.70 feet to its intersection with the southwest line of lands of the New York State Thruway (Niagara Section); (4) thence southeasterly along the southwest line of the aforesaid Thruway 447.20 feet to the south line of said Lot No. 110; (5) thence continuing southeasterly and along the southwest line of said Thruway 845.42 feet to a monument; (6) thence continuing southeasterly along the southwest line of said Thruway 456.42 feet to a monument; (7) thence continuing southeasterly along the southwest line of said Thruway, 362.68 feet to the south line of Lot No. 109; (8) thence westerly along the south line of said Lot No. 109, 64.58 feet to the northeast corner of lands conveyed to by Gladys Trautman to Aramd Management Corporation by deed recorded in Liber 9706 of Deeds at page 646; (9) thence southerly along the east line of said lands 2240.57 feet to the south line thereof, being a line parallel with Bedell Road and 405.74 feet north of the center line thereof as measured on a line parallel with the west line of Lot 89; (10) thence westerly parallel with Bedell Road 121.30 feet to the west line of lands so conveyed by Gladys Trautman; (11) thence northerly along said west line 2241.02 feet to the south line of Lot 109; (12) thence westerly along the south line of Lot 109, 315.9 feet to the east line of lands conveyed by Marie Trautman to Aramd Management Corporation by deed recorded in Liber 9706 of Deeds at page 656; (13) thence southerly along said east line 2242.16 feet to the south line of said lands being a line drawn parallel with Bedell Road and 405.74 feet north of the center line thereof measured on a line parallel with the west line of Lot 89; (14) thence westerly parallel with Bedell Road 218.6 feet to the west line of lands conveyed by Gladys H. Trautman to Aramd Management Corporation by deed recorded in Liber 9706 of Deeds at page 654; (15) thence northerly along said west line 627.26 feet to the south line of lands conveyed by Martin E. Goss to Aramd Management Corporation by deed recorded in Liber 9642 of Deeds at page 544; (16) thence westerly along said south line 603.30 feet to an angle

therein; (17) thence southerly along a west line of lands so conveyed by Goss and parallel with the west line of Lot 89, 1000 feet to the north line of Bedell Road; (18) thence westerly along the north line of Bedell Road 100 feet to the west line of lands so conveyed by Goss; (19) thence northerly along said west line 2618.28 feet to the north line of Lot 89; (20) thence westerly along the north line of Lot 89, 412.5 feet to the west line of Lot 89; (21) thence southerly along the west line of Lot 89, 655.15 feet to the north line of lands conveyed to Herbert Henry by deed recorded in Liber 1939 of Deeds at page 238; (22) thence westerly along the north line of lands so conveyed to Henry 503 feet to a line drawn parallel with Harrison Road as shown on a map filed in the Erie County Clerk's office under Cover No. 1608 and 500 feet easterly from the east line of said Road measured at right angles; (23) thence southerly along said parallel line 280 feet to the north line of Sunset Drive as shown on map filed in the Erie County Clerk's Office under Cover No. 1608; (24) thence westerly along said north line 100 feet; (25) thence northerly parallel with Harrison Road 280 feet to the north line of lands conveyed to Henry by the aforesaid deed; (26) thence westerly along said north line 1243.82 feet; (27) thence northeasterly on a line drawn parallel with the east line of land conveyed to the State of New York by deed recorded in Liber 2222 of Deeds at page 375, 736.10 feet to the south line of Lot 109; (28) thence easterly along the south line of Lot 109, 39.14 feet to a point therein 497.20 feet east of its intersection with the east line of land conveyed to the State of New York by deed recorded in Liber 2652 of Deeds at page 189; (29) thence northeasterly parallel with said east line of lands so conveyed to the State of New York 189.90 feet to a point of curve; (30) thence continuing northeasterly on a curve to the right with a radius of 6614.46 feet an arc distance of 1359.814 feet to the south line of said Lot No. 110 at a point 953.94 feet westerly, measured along said south line of said Lot No. 110, from the southwest corner of lands described in deed to Beach recorded in Liber 6660 of Deeds at page 399; (31) thence easterly along the south line of said Lot No. 110, 833.94 feet to a point 120 feet westerly from its intersection with the west line of lands described in the aforesaid deed to Beach; (32) thence northerly parallel with the west line of lands so conveyed to Beach 632.98 feet to the south line of Long Road 66 feet wide; and (33) thence easterly along said south line of Long Road 120 feet to the point of beginning.

It being the intention to convey the lands acquired by the Grantor as follows:

ARAMDL MANAGEMENT CORPORATION: Liber 9706 of Deeds at page 654, Liber 9706 of Deeds at page 656, Liber 9706 of Deeds at page 646, Liber 9642 of Deeds at page 420, Liber 9642 of Deeds at page 422, Liber 9642 of Deeds at page 418, Liber 9095 of Deeds at page 223, and Liber 9642 of Deeds at page 544,

3235 LOCKPORT ROAD, INC.: Liber 9056 of Deeds at page 458 and Liber 9118 of Deeds at page 582.

TOGETHER with all right, title and interest of the Seller, if any, in and to any strips and/or gores adjoining or abutting all of the above-described premises.

U 010140 P 624

196

Box 317 (JJC)
From:

JOHN SIMON

To:

GRAND ISLAND COMMERCE
CENTER JOINT VENTURE,
A NEW YORK GENERAL
PARTNERSHIP

196

State of New York Erie County Clerk's Office
Recorded in Liber 10153, Page 237 of Deeds
on the 27 day of Mar, 1990, at 1:25 o'clock PM.

FILED
1990 MAR 27 PM 1:25
ERIE COUNTY
CLERK'S OFFICE
Clerk's Time Stamp

Frank J. [Signature]
County Clerk
RECEIVED
\$118.00...
REAL ESTATE
MAR 27 1990
TRANSFER TAX
1959 ERIE
COUNTY (L)
Transfer Tax Stamp

29500 GRIS

This Indenture, made the 27TH day of MARCH, 1990
Witnesseth, that JOHN SIMON GRANTOR(S).
residing at 3687 E. RIVER ROAD, GRAND ISLAND, NEW YORK 14072
in consideration of \$ 1. & MORE received by GRANTOR(S) hereby grants and releases unto
GRAND ISLAND COMMERCE CENTER JOINT VENTURE, A NEW YORK GENERAL GRANTEE(S).
PARTNERSHIP WITH OFFICES AT 3907 NORTH BUFFALO STREET, ORCHARD PARK, NY 14127

All that Tract or Parcel of Land, situate in the Town of Grand Island,
County of Erie and State of New York, being part of Lot No. 89,
described as follows:-

BEGINNING in the center line of Bedell Road 1334.4 feet east of the
southwest corner of said Lot No. 89, being also 327.90 feet east of the
southeast corner of lands conveyed to Permelia Bedell by deed recorded
in Erie County Clerk's Office in Liber 278 of Deeds at page 159;
running thence northerly parallel with the east line of lands so
conveyed to Bedell 2648 feet to the north line of Lot No. 89; thence
easterly along the north line of Lot No. 89, a distance of 218.6 feet;
thence southerly and parallel with the east line of lands so conveyed
to Permelia Bedell 2648 feet to the south line of said Lot No. 89;
thence westerly along the south line of Lot No. 89 and the center line
of Bedell Road 218.6 feet to the point of beginning.

EXCEPTING THEREFROM the southerly 980 feet thereof as measured
along the easterly and westerly boundary lines.

ALSO EXCEPTING that part appropriated by Notice of Appropriation
recorded in Erie County Clerk's Office in Liber 5600 of Deeds at
page 465.

Together with the appurtenances to and all the estate and rights of GRANTOR(S) in said premises. To have and to
hold unto the GRANTEE(S), ITS HEIRS and assigns forever.
And GRANTOR(S) covenants as follows: First, that GRANTEE(S) shall quietly enjoy the said premises. Second,
that GRANTOR(S) will forever warrant the title to the said premises; and Third, subject to the trust fund provisions of
section thirteen of the lien law.

In Witness Whereof, GRANTOR(S) has hereunto set his hand(s) and seal(s) the
day of 27th day of March, 1990.

John Simon
John Simon

In Presence of
State of New York On the 27th day of March before me,
County of Erie the subscriber, personally appeared
John Simon
known to me and known to me to be the same person(s) described in the foregoing instrument and acknowledged to me that
he had executed the same.
GLORIA M. SAPIENZA
Notary Public, State of New York
Qualified in Erie County
My Commission Expires 7/31/1991
Gloria M. Sapienza Notary Public

Published by David F. Williams Co., Inc.
125 Clinton Square Bldg., Buffalo, N.Y. 14203
880S - OEDD - one-page Warranty with Lien Covenant
U 010153 P 237

PARCEL

This Indenture,

Made the 11th day of APRIL, Nineteen Hundred and Ninety

Between HENRY EHDE, III and DOROTHY M. EHDE, his wife,
-2797 BEDELL ROAD
GRAND ISLAND, NEW YORK 14072

Grantor(s), and

GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New York partnership, with offices at
3907 NORTH BUFFALO STREET
ORCHARD PARK, NEW YORK 14127

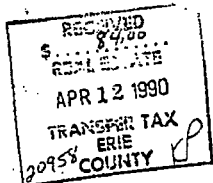
Grantee(s)

Witnesseth, that the said Grantor(s), in consideration of
----- ONE AND MORE ----- Dollars (\$1.00 & more -----)
lawful money of the United States, paid by the Grantee(s), do hereby grant and release unto the Grantee(s),
its successors and assigns forever.

All that Tract or Parcel of Land, situate in the Town of Grand
Island, County of Erie and State of New York, being the west part of Great Lot
Number eighty-nine (89) on said Island, bounded and described as follows:

BEGINNING in the south line of Lot Number eighty-nine (89) (the same
being also the center line of Bedell Road), two hundred eighty-one and twenty-
five hundredths (281.25) feet easterly from the intersection thereof of said
center line of Bedell Road and the west line of said Lot Number eighty-nine
(89); thence northerly parallel with the west line of said Lot Number eighty-
nine (89), two thousand six hundred forty-six and nine hundredths (2646.09)
feet to a point in the north line of said Lot Number eighty-nine (89); thence
easterly and along the north line of said Lot Number eighty-nine (89), one
hundred thirty-one and twenty-five hundredths (131.25) feet to a point; thence
southerly and parallel with the west line of said Lot Number eighty-nine (89)
two thousand six hundred forty-five and fifty-five hundredths (2645.55) feet
to a point in the said center line of Bedell Road; thence westerly and along
the said center line of Bedell Road one hundred thirty-one and twenty-five
hundredths (131.25) feet to the point or place of beginning, containing seven
and nine hundred seventy-four thousandths (7.974) acres, more or less.

EXCEPTING therefrom the southerly 683.0 feet of the above described
premises.



14.89.1

U 010159 P 455

TOGETHER with the appurtenances and all the estate and rights of the Grantor(s) in and to the said premises.

TO HAVE AND TO HOLD, the above granted premises unto the said Grantee(s).

AND the said Grantor(s) do covenant with said Grantee(s) as follows:

FIRST.—That the Grantee(s) shall quietly enjoy the said premises.

SECOND.—That the Grantor(s) will forever WARRANT the title to said premises.

THIRD.—Subject to the trust fund provisions of section thirteen of the lien law.

IN WITNESS WHEREOF, The said Grantor(s) have hereunto set their hands and seals the day and year first above written.

IN PRESENCE OF

_____. (U.S.) Henry Ehde III (U.S.)
HENRY EHDE, III
_____. (U.S.) Dorothy M. Ehde (U.S.)
DOROTHY M. EHDE

STATE OF NEW YORK)
COUNTY OF ERIE) ss. On this 11th day of APRIL
Nineteen Hundred and Ninety

before me, the subscriber(s), personally appeared
HENRY EHDE, III and DOROTHY M. EHDE, his wife,
to me personally known and known to me to be the same person s described in and who executed the within instrument,
and the y acknowledged to me that the y executed the same.

Marion W. Stuart
Notary Public

STATE OF NEW YORK)
COUNTY OF) ss. On this day of
Nineteen Hundred and

before me, the subscriber(s), personally appeared

MARION W. STUART #4511715
Notary Public, State of New York
Qualified in Erie County July 31, 1991
My Commission Expires March 31, 1992

to me personally known and known to me to be the same person described in and who executed the within instrument,
and he acknowledged to me that he executed the same.

KVSga

BOX 374-KVS
FILED
HENRY EHDE, III and DOROTHY M. EHDE APR 12 PM 2:12
his wife,
ERIE COUNTY
CLERK'S OFFICE
263
20

GRAND ISLAND COMMERCE CENTER JOINT
VENTURE, a New York partnership

DATED APRIL 11, 1990

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Recorded in Lib. 10.15 Page 453
of
on the 12th day of April, 1990
A.D., 1990, at 1:00 o'clock P.M.
and examined.

CLERK

U 010159 P 456

This Indenture,Made the 11th day of April, Nineteen Hundred and Ninety**Between** DAVID R. EHDE and ARLENE A. EHDE, his wife,
2817 Bedell Road
Grand Island, New York 14072

Grantor(s), and

GRAND ISLAND-COMMERCE CENTER JOINT VENTURE, a New York partnership, with offices at
3907 North Buffalo Street
Orchard Park, New York 14127

Grantee(s)

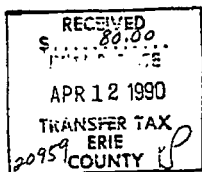
Witnesseth,

that the said Grantor(s), in consideration of

-----ONE AND MORE-----Dollars (\$1.00 & more)-----
lawful money of the United States, paid by the Grantee(s), do hereby grant and release unto the Grantee(s),
its successors and assigns forever.**All that Tract or Parcel of Land,** situate in the Town of Grand Island, County of Erie and State of New York, being part of Lot Lot No. 89, described as follows:

BEGINNING in the south line of Lot No. 89 (the same being also the center line of Bedell Road), one hundred fifty (150) feet easterly from the intersection thereof of said center line of Bedell Road and the west line of said Lot No. 89; thence northerly parallel with the west line of said Lot No. 89, two thousand six hundred forty-six and sixty-four hundredths (2646.64) feet to a point in the north line of said Lot No. 89; thence easterly and along the north line of said Lot No. 89, one hundred thirty-one and twenty-five hundredths (131.25) feet to a point; thence southerly and parallel with the west line of said Lot No. 89, two thousand six hundred forty-six and nine hundredths (2646.09) feet to a point in the said center line of Bedell Road; thence westerly and along the said center line of Bedell Road, one hundred thirty-one and twenty-five hundredths (131.25) feet to the point or place of beginning.

Excepting therefrom the southerly seven hundred seventy-three (773) feet of the above described premises.



14.89.1

U 010159 P 464

TOGETHER with the appurtenances and all the estate and rights of the Grantor(s) in and to the said premises.

TO HAVE AND TO HOLD, the above granted premises unto the said Grantee(s).

AND the said Grantor(s) do covenant with said Grantee(s) as follows:

FIRST.—That the Grantee(s) shall quietly enjoy the said premises.

SECOND.—That the Grantor(s) will forever WARRANT the title to said premises.

THIRD.—Subject to the trust fund provisions of section thirteen of the lien law.

IN WITNESS WHEREOF, The said Grantor(s) have hereunto set their hands and seals the day and year first above written.

IN PRESENCE OF

(U.S.)

David R. Ehde
DAVID R. EHDE

(U.S.)

(U.S.)

Arlene A. Ehde
ARLENE A. EHDE

(U.S.)

STATE OF NEW YORK
COUNTY OF ERIE

) ss.
)

On this 11 day of April
Nineteen Hundred and Ninety

before me, the subscriber(s), personally appeared

DAVID R. EHDE and ARLENE A. EHDE, his wife,
to me personally known and known to me to be the same person(s) described in and who executed the within instrument,
and they acknowledged to me that they executed the same.

Marion W. Stuart
Notary Public

Notary Public

STATE OF NEW YORK
COUNTY OF

) ss.
)

On this
Nineteen Hundred and

MARION W. STUART #4511718
Notary Public, State of New York
Qualified in Erie County July 31, 1991
My Commission Expires March 30, 1992

before me, the subscriber(s), personally appeared

to me personally known and known to me to be the same person described in and who executed the within instrument,
and he acknowledged to me that he executed the same.

KVSga

BOX 374-KVS

FILED

DAVID R. EHDE and ARLENE A. EHDE, his wife,
1990 APR 12 PM 2:13

ERIE COUNTY
CLERK'S OFFICE

281

Tu

GRAND ISLAND COMMERCE CENTER JOINT
VENTURE, a New York partnership

DATED APRIL 11, 1990

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Return to: Albany, 12243, Page 464
of 11
on 11 24, 1990, at 2:13 o'clock, P.M.
and I am a Notary Public.

David J. Santora
CLERK

80,629,111
1-3-0

010159 P 465

90-00374 (9)

This Indenture,

Made the 20th day of
 April, Nineteen Hundred and Ninety
 Between DANIEL W. ROTT, residing at 2937 West River Road,
 Grand Island, New York 14072,

party of the first part, and
 GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New York
 General Partnership, with offices at 3907 North Buffalo Street,
 Orchard Park, New York 14127,

Witnesseth, that the party of the first part, in consideration of party of the second part,

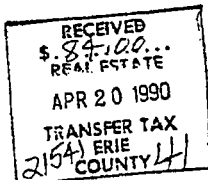
One and more lawul money of the United States,
 paid by the party of the second part, do es hereby grant and release unto the party of the
 second part, its successors, and assigns forever, Dollars (\$1.00&more)

All that Tract or Parcel of Land, situate in the Town of Grand
 Island, County of Erie and State of New York, being part of Lot No.
 110 of the New York State Survey described as follows:

BEGINNING at the southeast corner of Lot No. 4 shown on a
 Map of the North Pointe Subdivision filed in the Erie County Clerk's
 Office under Cover No. 2536; running thence southerly along the
 east line of lands conveyed to Rott by deed recorded in Erie County
 Clerk's Office in Liber 10047 of Deeds at page 563, 362.83 feet
 (measured) (360.99 feet record) to the south line of said Lot no. 110;
 running thence westerly along said south line of said Lot No. 110,
 358.05 feet; thence northerly parallel with said easterly line of
 lands conveyed to Rott by said deed recorded in the Erie County Clerk's
 Office in Liber 10047 of Deeds at page 563, 362.83 feet to the south
 line of Subdivision Lot No. 2 shown on map filed in Erie County Clerk's
 Office under Cover No. 2536; running thence easterly along the south
 line of Subdivision Lot Nos. 2, 3 and 4, 358.05 feet to the said
 southeast corner of said Lot No. 4 at the point or place of beginning.

It being the intention to convey that portion of lands
 acquired by Daniel W. Rott by deed from Davis recorded in Erie
 County Clerk's Office in Liber 10047 of Deeds at page 563, located
 east of a line drawn parallel to and 358.05 feet westerly from the
 east line of such lands acquired by said Rott by deed recorded in
 said Liber 10047 of Deeds a tpage 563.

The property is not subject to a credit line mortgage.



U 010162 P 564

Together with the appurtenances and all the estate and rights of the part y of the first part in and to said premises,

To have and to hold, the above granted premises unto the said part y of the second part, its successors, and assigns forever.

And said party of the first part

covenant s as follows:

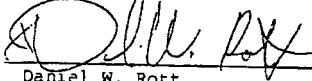
First, that the party of the second part shall quietly enjoy the said premises;

Second, that said party of the first part will forever Warrant the title to said premises.

Third, that this conveyance is subject to the trust fund provisions of section thirteen of the lien law.

In Witness Whereof, the part y of the first part has hereunto set his hand(x) and seal(s) the day and year first above written.

In Presence of


Daniel W. Rott 1s

_____ 1s

State of New York
County of Erie } ss.

On this 20th day of April, before me, the subscriber, personally appeared

Nineteen Hundred and Ninety
Daniel W. Rott

to me personally known and known to me to be the same person(s) described in and who executed the within instrument, and he (she) acknowledged to me that he (she) executed the same.

State of New York
County of } ss.

On this day of before me, the subscriber, personally appeared

Richard J. Couch, Notary Public, State of New York, Qualified in Erie County
My commission expires 4/30/92.

Nineteen Hundred and

to me personally known and known to me to be the same person(s) described in and who executed the within instrument, and he (she) (they) acknowledged to me that he (she) (they) executed the same.

Box 374 (kus)

Filed

FILED

1990 APR 20 PM 3:05

DANIEL W. ROTT

2937 Westriver Road

Grand Island, NY 14072

ERIE COUNTY CLERK'S OFFICE

in 330

Grand Island Commerce
Center Joint Venture, A New
York General Partnership with
offices at 1907 North Buffalo
Street, Orchard Park, NY 14127

Dated April 20th, 1990

STATE OF NEW YORK
COUNTY CLERK'S OFFICE

RECEIVED

APR 20 1990

3:05 PM

and examined.

Richard J. Couch

CLERK

THIS SPACE FOR CLERK'S TIME STAMP
(Do not write in this space.)

RICHARD J. COUCH
Attorney at Law
1495 Love Road, PO Box #1
Grand Island, NY 14072-0001
(716) 773-3879

2032486-11-

1-2-0

Senders Legal Publishers

010162 P 565

This Indenture

Made the 1st day of April Nineteen Hundred and
Between

MARIE ANN DAVIS, 3915 West River Parkway, Grand Island, New York 14072

party of the first part, and

GRAND ISLAND COMMERCE CENTER JOINT VENTURE
3907 North Buffalo Street
Orchard Park, New York 14127

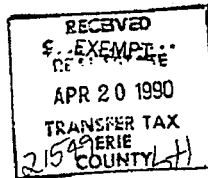
party of the second part.

Witnesseth that the said party of the first part, in consideration of
One and no more ----- Dollars,

(\$ 1.00 & no more lawful money of the United States.
paid by the party of the second part, do es hereby remise, release and forever Quit-Claim
unto the said party of the second part, its heirs and assigns forever, all/

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town
of Grand Island, County of Erie and State of New York, being part
of Lot 110 of the New York State Survey described as follows:

BEGINNING in the south line of Lot 110, 120 feet west of
the southwest corner of lands conveyed to Harold Beach by deed
recorded in the Erie County Clerk's Office in Liber 6660 of Deeds
at page 399; running thence westerly along the south line of Lot
110 to the east line of lands conveyed to Daniel W. Rott by deed
recorded in Liber 10047 of Deeds at page 563; thence northerly
along said east line to the southeast corner of Subdivision Lot
No. 4 shown on map filed under Cover No. 2536; thence continuing
northerly along the east line of said lot to the south line of
Long Road; and thence southerly parallel with the west line of
lands conveyed to Beach by the above mentioned deed to the point
of beginning.



14-110.1-2-4

U 010162 P 566

5-81818-48

Together with the appurtenances and all the estate and rights of the party of the first part in and to the said premises.

To have and to hold, the above granted premises unto the said party of the second part, its heirs and assigns forever.

In Witness Whereof, The said party of the first part has hereunto set her hand and seal the day and year first above written.

In Presence of

Marie Ann Davis LS
MARIE ANN DAVIS LS
LS

STATE OF NEW YORK } ss. On this 1st day of April
COUNTY OF Erie } Nineteen Hundred and ninety
before me, the subscriber, personally appeared

Marie Ann Davis
to me personally known and known to me to be the same person described in and who executed the
within Instrument, and she acknowledged to me that she executed the same.

Edward W. Kinney
EDWARD W. KINNEY
NOTARY PUBLIC, State of New York
Qualified in Erie County
My Commission Expires 12/31/91

STATE OF NEW YORK } ss. On this 1st day of April
COUNTY OF Erie } Nineteen Hundred and ninety
before me, the subscriber, personally appeared

Edward W. Kinney

to me personally known and known to me to be the same person described in and who executed the
within Instrument, and he acknowledged to me that he executed the same.

Marcia Dauer
Notary Public
MARCIA DAUER
Notary Public, State of New York
Qualified in Erie County
My Commission Expires Oct. 18, 1991

FILED
1990 APR 20 PM 3:05
ERIE COUNTY
CLERK'S OFFICE

BOX 374 (KUS)
Deed

QUIT CLAIM

Marie Ann Davis

331

To

GRAND ISLAND COMMERCE
CENTER JOINT VENTURE

Dated April 1, 19 90

PHILLIPS, LYTLE, HITCHCOCK,
BLAINE & Huber
3400 Marine Midland Center
Buffalo, New York 14203

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Recorded in Liber 1444 of Page 546
of ...
on the 20th day of April
A.D. 1990 at 3:05 P.M.
and certified

010162 P 567

David J. Hunter
CLERK
8032486-11
1-2-0

This Indenture,

Between

Made the 4th day of June Nineteen Hundred and ~~xxx~~ ninety

GLORIA PAGELS
410 Girard Avenue
Kenmore, New York 14217

parties of the first part, and
GRAND ISLAND COMMERCE CENTER JOINT VENTURE,
A New York General Partnership, with offices
at 3907 North Buffalo Street, Orchard Park 14127

Witnesseth, that the parties of the first part, in consideration of part y of the second part,
One and more Dollar (\$1.00 & more

lawful money of the United States,
paid by the part y of the second part, do hereby grant and release unto the party of the
second part, his heirs, successors and assigns forever,

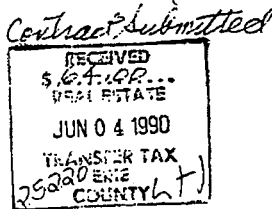
All that Tract or Parcel of Land, situate in the Town of Grand Island,
County of Erie and State of New York, being part of Lot No. 89 and described as
follows:

BEGINNING at a point on the southerly line of Lot No. 89 distant one thousand seven hundred seventy-one and sixty hundredths (1771.60) feet easterly from the southwest corner of said Lot No. 89, said point of beginning also being seven hundred sixty-five and ten hundredths (765.10) feet easterly from the southeasterly corner of lands owned by Permelia Bedell; thence northerly and parallel with the easterly line of lands owned by Permelia Bedell two thousand six hundred forty-eight (2648) feet to the northerly line of Lot No. 89; thence easterly along the northerly line of Lot No. 89, one hundred nine and three tenths (109.3) feet; thence southerly and parallel with the easterly line of lands owned by Permelia Bedell, two thousand six hundred forty-eight (2648) feet to the southerly line of Lot No. 89; thence westerly along the southerly line of said Lot No. 89, one hundred nine and three tenths (109.3) feet to the place of beginning.

EXCEPTING from the above described parcel of land all rights the Town of Grand Island, County of Erie, may have in one-half (1/2) of a road known as "Bedell Road".

ALSO EXCEPTING THEREFROM the southerly eight hundred fifty-four and fifty hundredths (854.50) feet of the above described premises.

ALSO EXCEPTING THEREFROM lands appropriated by The People of the State of New York by deed recorded in Erie County Clerk's Office in Liber 5750 of Deeds at page 23.



14-89-3

U 010179 P 810

Together with the appurtenances and all the estate and rights of the part ies of the first part in and to said premises,

To have and to hold, the above granted premises unto the said party of the second part, his heirs, successors and assigns forever.

And said parties of the first part covenant as follows:

First, that the part y of the second part shall quietly enjoy the said premises;

Second, that said parties of the first part will forever **Warrant** the title to said premises.

Third, that this conveyance is subject to the trust fund provisions of section thirteen of the lien law.

In Witness Whereof, the part ies of the first part have hereunto set their hand(s) and seal(s) the day and year first above written.

In Presence of

1s
1s
1s
1s
GLORIA PAGELS
Gloria Pagels

State of New York
County of ERIE } ss.

On this 4th day of June Nineteen Hundred and Ninety

GLORIA PAGELS

to me personally known and known to me to be the same person(s) described in and who executed the within Instrument, and he (she) (they) acknowledged to me that he (she) (they) executed the same.

Notary Public in and for the State of New York
Qualified in Erie County
My Commission Expires: 2/9/91

[Signature]

State of New York
County of } ss.

On this day of Nineteen Hundred and

to me personally known and known to me to be the same person(s) described in and who executed the within Instrument, and he (she) (they) acknowledged to me that he (she) (they) executed the same.

Box 374 (Kus)

Deed
Warranty with Lien Covenant
(Individual)

FILED
1990 JUL -4 PM 12:51
ERIE COUNTY
CLERK'S OFFICE

GLORIA PAGELS,
in

GRAND ISLAND COMMERCE,
CENTER JOINT VENTURE

Dated June 4, 1990

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Recorded in Liber 1079, Page 810
of ... day of June
A.D. 1990 at 12:51 P.M.
and expires...

David J. [Signature]
THIS SPACE FOR CLERK'S TIME STAMP
(Do not write in this space.)

010179 P 811

6041419-11-
1-2-0

Sanders Legal Publishers
100 N. 1st St., Erie, Pa. 16501

Warranty Deed with Lien Covenant
Laws of 1897, Chap. 581, Laws of 1954

880%

David F. Williamson Co., Inc. Publishers
Buffalo, New York

PARCEL G

This Indenture,

Made the 12th day of June, Nineteen Hundred and Ninety

Between HENRY EHDE, III, as tenant in common with a one-third undivided interest, residing at 2797 Bedell Road, Grand Island, New York, and DAVID R. EHDE, as tenant in common with a one-third undivided interest, residing at 2817 Bedell Road, Grand Island, New York
GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New York partnership, with offices at 3907 North Buffalo Street Orchard Park, New York 14127

Grantee(s)

Witnesseth, that the said Grantor(s), in consideration of
-----ONE AND MORE----- Dollars (\$1.00 & more-----)
lawful money of the United States, paid by the Grantee(s), do hereby grant and release unto the Grantee(s),
their respective one-third undivided interest as tenants in common of

All that Tract or Parcel of Land, situate in the Town of Grand Island, County of Erie and State of New York, being part of Lot No. 89, described as follows:

BEGINNING in the south line of Lot No. 89, the same being also the center line of Bedell Road at its intersection thereof with the west line of Lot No. 89; running thence northerly and along the west line of said Lot No. 89 two thousand six hundred forty-seven and twenty-six hundredths (2647.26) feet to the north line of said Lot No. 89; thence easterly at an angle of 90° 05' 40" and along the northerly line of said Lot No. 89, one hundred fifty (150) feet to a point; thence southerly and parallel with the west line of said Lot No. 89, two thousand six hundred forty-six and sixty-four hundredths (2646.26) feet to a point in the center line of said Bedell Road, said point being one hundred fifty (150) feet easterly from the point of beginning and thence westerly and along the said center line of Bedell Road, one hundred fifty (150) feet to a point or place of beginning.

EXCEPTING THEREFROM the southerly 773.0 feet of the above described premises.

RECEIVED
\$ EXEMPT...
REAL ESTATE
JUN 15 1990
TRANSFER TAX
ERIE
COUNTY LH

U 010184 P 199

14-89-1

FILED
1990 JUN 15 PM 2:01
ERIE COUNTY
CLERK'S OFFICE

70-00-06
TOGETHER with the appurtenances and all the estate and rights of the Grantor(s) in and to the said premises.
TO HAVE AND TO HOLD, the above granted premises unto the said Grantee(s).
AND the said Grantor(s) do covenant with said Grantee(s) as follows:
FIRST.—That the Grantee(s) shall quietly enjoy the said premises.
SECOND.—That the Grantor(s) will forever WARRANT the title to said premises.
THIRD.—Subject to the trust fund provisions of section thirteen of the lien law.

IN WITNESS WHEREOF, The said Grantor(s) have hereunto set their hands and seals the day and year first above written.

IN PRESENCE OF

_____) ss. Henry Ehde III (U.S.)
HENRY EHDE, III, as tenant in common
_____) ss. David R. Ehde (U.S.)
DAVID R. EHDE, as tenant in common

STATE OF NEW YORK)
COUNTY OF ERIE) ss. On this 11 day of April
Nineteen Hundred and Ninety

before me, the subscriber(s), personally appeared
HENRY EHDE, III, as tenant in common,
to me personally known and known to me to be the same person described in and who executed the within instrument,
and he acknowledged to me that he executed the same.

Marion W. Stuart
Notary Public

STATE OF NEW YORK)
COUNTY OF ERIE) ss. On this 11 day of April
Nineteen Hundred and Ninety

before me, the subscriber(s), personally appeared
DAVID R. EHDE, as tenant in common
to me personally known and known to me to be the same person described in and who executed the within instrument,
and he acknowledged to me that he executed the same.

Marion W. Stuart
Notary Public

MARION W. STUART #4511715
Notary Public, State of New York
Qualified in Erie County JULY 21, 1991
My Commission Expires March 30, 1992

VSga

11111111

BOX 374-KVS

HENRY EHDE, III, as tenant in common
with a one-third undivided interest and
DAVID R. EHDE, as tenant in common with
a one-third undivided interest

470

To

GRAND ISLAND COMMERCE CENTER/JOINT
VENTURE, a New York partnership

15 90

DATED June 12

010184 P 200

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Recorded in Liber 10184 Page 189
of
on the 15 day of June
A.D., 1990 at 2:00 o'clock P.M.
and examined.
David J. Santos
CLERK

8048441-11
1-2-0



This Indenture,

Made the 12th day of June
Nineteen Hundred and Ninety

Between

ELIZABETH ANN BODE, Individually and
2805 Bedell Road
Grand Island, New York 14072

as Administrator^{fix} of the Estate of JAMES F. BODE, late of
Grand Island, New York, deceased,
party of the first part, and

GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New York partnership, with offices at
3907 North Buffalo Street
Orchard Park, New York 14127

Witnesseth, That the party of the first part, by virtue of the power and
authority to given in and by the Estates, Powers and Trusts Law,
Article II, Section 11-1.1 (5) B and (18), or any amendment thereof from time to
time made, and in consideration of Twenty-Two Thousand Five Hundred Forty-----

(\$ 22,540.00) lawful money of the United States, Dollars,

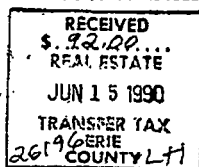
do hereby grant and release unto the party of the second part,
its successors and assigns forever, all

THAT TRACT OR PARCEL OF LAND, situate in the Town of Grand Island, County of Erie and State
of New York, being part of Lot No. 89, described as follows:

BEGINNING in the south line of Lot No. 89, the same being also the center line of
Bedell Road at its intersection thereof with the west line of Lot No. 89; running thence
northerly and along the west line of said Lot No. 89 two thousand six hundred forty-seven
and twenty-six hundredths (2647.26) feet to the north line of said Lot No. 89; thence
easterly at an angle of 90° 05' 40" and along the northerly line of said Lot No. 89, one
hundred fifty (150) feet to a point; thence southerly and parallel with the west line of
said Lot No. 89, two thousand six hundred forty-six and sixty-four hundredths (2646.26)
feet to a point in the center line of said Bedell Road, said point being one hundred
fifty (150) feet easterly from the point of beginning and thence westerly and along the
said center line of Bedell Road, one hundred fifty (150) feet to a point or place of
beginning.

EXCEPTING THEREFROM the southerly 773.0 feet of the above-described premises.

CONTRACT SUBMITTED...



11 010184 P.201

14-89-1

Together with the appurtenances, and also all the estate which the said Decedent had at the time of his decease, in said premises, And also the estate therein, which the part y of the first part has or had power to convey or dispose of, whether individually, or by virtue of said Estate or statute or otherwise.
To Have and To Hold the premises herein granted unto the part y of the second part, and assigns forever.

And the part y of the first part covenant that she has not done or suffered anything whereby the said premises have been encumbered in any way whatever.

In Witness Whereof, the part y of the first part has hereunto set her hand and seal the day and year first above written.

In Presence of

Elizabeth A. Erbe
ELIZABETH ANN ERBE

State of New York }
County of Niagara } ss. On this 12th day of June
before me, the subscriber, personally appeared
Elizabeth Ann Erbe

Personally known and as
the Administrator
James F. Erbe

of the Estate of

to me personally known and known to me to be the same person described in and who executed the within Instrument, and she acknowledged to me that she executed the same as such Administrator as aforesaid for the purposes therein mentioned, and in accordance with the provisions of statute therein mentioned and other provisions of law in such case made and provided.

THOMAS J. CASERTA, JR.
Notary Public, State of New York
Qualified in Niagara County
My commission expires Dec. 31, 1921

Thomas J. Caserta, Jr.

Notary Public

Box 374 (Kus)

Dead

ADMINISTRATOR'S

ELIZABETH ANN EIDE, as Administratrix
of the Estate of James F. Eide

471

GRAND ISLAND COMMERCE CENTER
JOINT VENTURE

Dated June 12 1990

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Recorded in Liber 1018 Page 201
of
on the 15 day of June
A.D. 1990 at 2:00 o'clock P.M.
and examined. *David J. Hunter*
CLERK

804844-14 -
1-3-0

FILED

1990 JUN 15 PM 2:01

ERIE COUNTY
CLERK'S OFFICE

90-00288

WARRANTY DEED

THIS INDENTURE, made the 19th day of November, 1990, between
KENNETH M. McCAFFERY AKA
KENNETH MICHAEL McCAFFERY and
CYNTHIA ANN REDINGER

residing at 2615 Bedell Road,
Grand Island, New York 14072

Parties of the First Part

GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New
York general partnership, composed of GRAND ISLAND
COMMERCE CENTER, INC., having an office at 3907
North Buffalo Street, Orchard Park, New York, and
RESSARG/GRAND ISLAND INC., having an office at
3400 Marine Midland Center, Buffalo, New York,
both being New York Corporations,

Parties of the Second Part,

2 M. 51
WITNESSETH that the parties of the first part, in consideration
of ----- ONE and MORE----- Dollar (\$1.00 and more)
lawful money of the United States, paid by parties of the second
part, does hereby grant and release unto the parties of the
second part, its heirs and assigns forever,

ALL THAT TRACT OR PARCEL OF LAND, situate in
the ^{TOWN} ~~City~~ of Grand Island, County of Erie and State of New
York, being part of Block 89, described as follows:

BEGINNING at a point on the southerly line of Lot No. 89,
distant one thousand five hundred fifty-three (1553) feet
easterly from the southwest corner of said Lot No. 89, said point
of beginning also being five hundred forty-six and five tenths
(546.5) feet easterly from the southeasterly corner of lands
conveyed to Permelia Bedell by deed recorded in the Erie County
Clerk's Office in Liber 278 of Deeds page 159;

11 010237 P 241

4-89-3

Thence: Northerly and parallel with the easterly line of said lands conveyed to Permella Bedell two thousand six hundred forty-eight (2648) feet to the northerly line of Lot No. 89;

Thence: Easterly along the northerly line of Lot No. 89, ninety-seven and three tenths (97.3) feet;

Thence: Southerly and parallel with the easterly line of said lands conveyed to Permella Bedell, two thousand six hundred forty-eight (2648) feet to the southerly line of Lot No. 89;

Thence: Westerly along the southerly line of said Lot No. 89, ninety-seven and three tenths (97.3) feet to the place of beginning.

Excepting therefrom, the southerly one thousand three hundred five (1305) feet.

TOGETHER with the appurtenances and all the estate and rights of the parties of the first part in and to said premises.

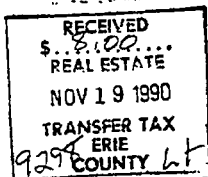
TO HAVE AND TO HOLD the premises herein granted unto the parties of the second part, their heirs and assigns forever.

AND said parties of the first part covenants as follows:

FIRST, That the parties of the second part shall quietly enjoy the said premises;

SECOND, That said parties of the first part will forever WARRANT the title to said premises.

THIRD, Subject to the trust fund provisions of section thirteen of the Lien Law.



U 010237 P 242

IN WITNESS WHEREOF, the parties hereunto set their hand and seal the day and year first above written.

IN PRESENCE OF:

X Kenneth M. McCaffery (LS)
KENNETH MICHAEL McCAFFERY
Kenneth M. McCaffery A/K/A
X Cynthia Ann Redinger (LS)
CYNTHIA ANN REDINGER

STATE OF NEW YORK)
COUNTY OF ERIE) SS>:

On this 19th day of November, 1990, before me, the subscriber, personally appeared Kenneth M. McCaffery A/K/A KENNETH MICHAEL McCAFFERY and CYNTHIA ANN REDINGER, to me personally known and known to me to be the same persons described in and who executed the within Instrument, and they acknowledged to me that they executed the same.

Joanne Lazik
NOTARY PUBLIC

JOANNE LAZIK
Notary Public, State of New York
Qualified in Erie County
My Commission Expires August 21, 1991

Box 374 (KYS)
Kenneth M. McCaffery A/K/A
KENNETH MICHAEL McCAFFERY and
CYNTHIA ANN REDINGER
2615 Bedell Road
Grand Island, New York 14092 NOV 19 PM 3:58
FILED

389 Grantors
ERIE COUNTY
CLERK'S OFFICE

GRAND ISLAND COMMERCE CENTER JOINT
VENTURE, a New York general
partnership, composed of GRAND
ISLAND COMMERCE CENTER, INC.,
having an office at 3907 North
Buffalo Street, Orchard Park,
New York, and RESSARG/GRAND ISLAND
INC., having an office at 3400
Marine Midland Center, Buffalo,
New York, both being New York
corporations,

Grantees

Dated: November 18, 1990

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE
Recorded in Liber 1000 Page 711

of 1000
Nov 19 90 at 3:58 o'clock P.M.

CLERK

1090890-14
1-30

RECEIVED

Box 374 (KVO)
From:

JOHN SIMON

To:

GRAND ISLAND COMMERCE CENTER
JOINT VENTURE

312

4-1500-1
9-1-89

State of New York ERIE County Clerk's Office
Recorded in Liber 10252 Page 147 of 147
on the 4 day of Jan 1991 at 11:00 o'clock A.M.

FILED
1991 JAN -4 PM 4:00
ERIE COUNTY
CLERK'S OFFICE
Clerk's Time Stamp

CONTRACT SUBMITTED
County Clerk
RECEIVED
\$ 6.00
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TRANSFER TAX
1252
Transfer Tax Stamp

DWM 152

This Indenture, made the 28TH day of DECEMBER, 1990

Witnesseth, that JOHN SIMON GRANTOR(S).
residing at 3687 EAST RIVER ROAD, GRAND ISLAND, NEW YORK 14072
in consideration of \$1. & MORE received by GRANTOR(S) hereby grant(s) and releases unto
GRAND ISLAND COMMERCE CENTER JOINT VENTURE GRANTEE(S).
residing at 3907 NORTH BUFFALO STREET, ORCHARD PARK, NEW YORK

All that Tract or Parcel of Land, situate in the Town of Grand Island, County of Erie and State of New York, being part of Lot 89 described as follows:

BEGINNING in the center line of Bedell Road, 1.334.40 feet east of the southwest corner of said Lot No.89, being also 327.90 feet east of the southeast corner of lands conveyed to Permelia Bedell by deed recorded in Erie County Clerk's Office in Liber 278 of Deeds at page 159; thence northerly parallel with the east line of lands so conveyed to Bedell, 980.0 feet to the southwest corner of lands described in Deed from John Simon to Grand Island Commerce Center Joint Venture recorded in Erie County Clerk's Office in Liber 10153 of Deeds at page 237, which is the true point or place of beginning; thence easterly along a line parallel with the north line of said Lot No.89, 218.60 feet to a point; thence southerly along a line parallel with the east line of lands so conveyed to Bedell, 287 feet; thence westerly along a line parallel with the south line of said Lot No.89, 218.60 feet to a point; thence northerly along a line parallel with said east line of lands so conveyed to Bedell 287 feet to the true point or place of beginning.

TOGETHER with the right, title and interest of the Seller, if any, in and to any strips and/or gores adjoining the above described premises and the premises as conveyed by the Seller by deed recorded in Liber 10153 at page 237.

Together with the appurtenances to and all the estate and rights of GRANTOR(S) in said premises. To have and to hold unto the GRANTEE(S), their successors and assigns forever.
And GRANTOR(S) covenant(s) as follows: First, that GRANTEE(S) shall quietly enjoy the said premises. Second, that GRANTOR(S) will forever warrant the title to the said premises; and Third, subject to the trust fund provisions of section thirteen of the lien law.

In Witness Whereof, GRANTOR(S) I hereunto set my hand(s) and seal(s) the day of 28th day of December, 1990.

John Simon
John Simon

In Presence of

State of New York) On the 28th day of December, 1990, before me,
County of Erie) the subscriber, personally appeared
John Simon

known to me and known to me to be the same person(s) described in the foregoing instrument and acknowledged to me that he had executed the same.

010252 P 147

GLEN J. SPILLER
Notary Public

Published by David F. Williamson Co., Inc.
125 Elbert Square Bldg., Buffalo, N.Y. 14203

GLEN J. SPILLER
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN THE COUNTY
MY COMMISSION EXPIRES MARCH 31, 1992

BBOS - DEED - one-page Warranty with Lien Covenant

This Indenture,

Between ^{Made the} March ^{19th} Nineteen Hundred and ^{day of} Ninety-One
 Ilona H. Lang, 1870 Whitehaven Road, Grand Island,
 New York 14072

By
 PL 39

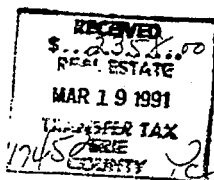
Grand Island Commerce Center Joint Venture, a New York
 Partnership, with an office at 3907 North Buffalo Road,
 Orchard Park, New York 14127

Witnesseth, that the party of the first part, in consideration of ^{part Y of the first part, and} One and ^{part Y of the second part,} more ^{One and} Dollar (\$1.00 & more
 lawful money of the United States,
 paid by the part Y of the second part, do es hereby grant and release unto the part Y of the
 second part, its successors and assigns forever,

All that Tract or Parcel of Land, situate in the Town of Grand
 Island, County of Erie and State of New York, being part of Lot No.
 89, described as follows: -

Beginning at a point in the north line of Bedell Road at its
 intersection with the westerly line of Alt Boulevard; thence westerly
 along the north line of Bedell Road, four hundred fifty-one (451) feet;
 thence northerly at an interior angle of 89° 55' 09", eight hundred
 (800) feet; thence westerly parallel with the north line of Bedell
 Road, one hundred fifty (150) feet; thence northerly at an interior
 angle of 89° 55' 09", one thousand seven hundred twenty-four (1724)
 feet to the southwesterly line of the New York State Thruway; thence
 southeasterly along the southwesterly line of the New York State
 Thruway one thousand four hundred sixty-five and thirty hundredths
 (1465.30) feet more or less to the westerly line of Alt Boulevard;
 thence southerly along the westerly line of Alt Boulevard one thousand
 one hundred eighty-six and fifty hundredths (1186.50) feet to the
 north line of Bedell Road at the point of beginning.

Together with all right, title and interest of the party of
 the First Part, if any, in and to any strips and/or gores adjoining
 or abutting the above described land.



LI 010270 P 386

14-89-4

CI-267M-1

Together with the appurtenances and all the estate and rights of the part y of the first part in and to said premises,

To have and to hold, the above granted premises unto th. said part y of the second part, its successors and assigns forever.

And said party of the first part covenant s as follows:

First, that the part y of the second part shall quietly enjoy the said premises;

Second, that said party of the first part will forever Warrant the title to said premises.

Third, that this conveyance is subject to the trust fund provisions of section thirteen of the lien law.

In Witness Whereof, the part Y of the first part ha s hereunto set her hand(s) and seal(s) the day and year first above written.

In Presence of

Ilona H. Lang 18
Ilona H. Lang 18
18
18

State of New York } ss.
County of ERIE

On this 19th day of March Nineteen Hundred and Ninety One
before me, the subscriber, personally appeared
Ilona H. Lang

to me personally known and known to me to be the same person(s) described in and who executed the within Instrument, and he (she) (they) acknowledged to me that he (she) (they) executed the same.

Daniel C. Kaye
DANIEL C. KAYE
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN ERIE COUNTY
My Commission Expires 12-30-91

State of New York } ss.
County of

On this day of
before me, the subscriber, personally appeared
Nineteen Hundred and

to me personally known and known to me to be the same person(s) described in and who executed the within Instrument, and he (she) (they) acknowledged to me that he (she) (they) executed the same.

Box 374(LUS)
Red
FILED
Warranty with Lien Covenant (Individual)
1991 MAR 19 PM 1:04
ILONA H. LANG
ERIE COUNTY
CLERK'S OFFICE

155
to

GRAND ISLAND COMMERCE
CENTER JOINT VENTURE, a
New York Corporation

Dated March 19, 1991

STATE OF NEW YORK
ERIE CO. CLERK'S OFFICE
Recorded in Liber 10270
page 386
on the 19
day of March A.D. 1991
at Albany, New York
DAVID J. SWARTS, County Clerk
David J. Swarts
COUNTY CLERK

THIS SPACE FOR CLERK'S TIME STAMP
(Do not write in this space.)

010270 ? 387

0129281-16-921
1-2-0

This Indenture,

Made the 20th day of June, Nineteen Hundred and Ninety-one

Between
GLORIA J. PAGELS
410 Girard Avenue
Kenmore, New York 14217

Grantor(s) and

GRAND ISLAND COMMERCE CENTER JOINT VENTURE, a New York General Partnership, with
offices at 3907 North Buffalo Street, Orchard Park, New York, 14127,

Grantee(s).

Witnesseth, that the said Grantor(s), in consideration of
ONE AND NO MORE Dollars (\$1.00 & no more)
lawful money of the United States, paid by the Grantee(s), do es hereby grant and release unto the Grantee(s),
its successors and assigns forever.

All that Tract or Parcel of Land, situate in the Town of
Grand Island, County of Erie and State of New York, being part of Lot No. 89 and
described as follows:

BEGINNING at a point on the southerly line of Lot No. 89 distant one thousand seven hundred seventy-one and sixty hundredths (1771.60) feet easterly from the southwest corner of said Lot No. 89, said point of beginning also being seven hundred sixty-five and ten hundredths (765.10) feet easterly from the southeasterly corner of lands owned by Permelia Bedell; thence northerly and parallel with the easterly line of lands owned by Permelia Bedell two thousand six hundred forty-eight (2648) feet to the northerly line of Lot No. 89; thence easterly along the northerly line of Lot No. 89, one hundred nine and three tenths (109.3) feet; thence southerly and parallel with the easterly line of lands owned by Permelia Bedell, two thousand six hundred forty-eight (2648) feet to the southerly line of Lot No. 89; thence westerly along the southerly line of said Lot No. 89, one hundred nine and three tenths (109.3) feet to the place of beginning.

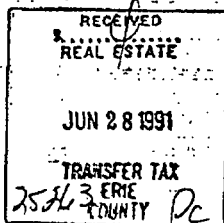
EXCEPTING from the above described parcel of land all rights the Town of Grand Island, County of Erie may have in one-half (1/2) of a road known as "Bedell Road".

ALSO EXCEPTING THEREFROM the southerly eight hundred fifty-four and fifty hundredths (854.50) feet of the above described premises.

ALSO EXCEPTING THEREFROM lands appropriated by The People of the State of New York by deed recorded in Erie County Clerk's Office in Liber 5750 of Deeds at page 23.

THIS DEED IS GIVEN FOR THE PURPOSE OF ADDING A PROVISION PURSUANT TO WHICH THE PARTY OF THE FIRST PART GRANTS TO THE PARTY OF THE SECOND PART ALL RIGHT, TITLE AND INTEREST, IF ANY, OF THE PARTY OF THE FIRST PART IN AND TO ANY STRIPS AND/OR GOES ADJOINING OR ABUTTING THE ABOVE DESCRIBED LAND; WHICH PROVISION WAS NOT INCLUDED IN THE DEED BY THE PARTY OF THE FIRST PART TO THE PARTY OF THE SECOND PART RECORDED IN THE ERIE COUNTY CLERK'S OFFICE IN LIBER 6179 OF DEEDS AT PAGE 610

LIBER 10303 PG 509



TOGETHER with the appurtenances and all the estate and rights of the Grantor(s) in and to the said premises.

TO HAVE AND TO HOLD, the above granted premises unto the said Grantee(s).

AND the said Grantor(s) do es covenant with said Grantee(s) as follows:

FIRST.—That the Grantee(s) shall quietly enjoy the said premises.

SECOND.—That the Grantor(s) will forever WARRANT the title to said premises.

THIRD.—Subject to the trust fund provisions of section thirteen of the lien law.

IN WITNESS WHEREOF, The said Grantor(s) has hereunto set her hand and seal the day and year first above written.

IN PRESENCE OF

(U.S.)

Gloria J. Pagels
GLORIA J. PAGELS

(U.S.)

(U.S.)

(U.S.)

STATE OF NEW YORK
COUNTY OF ERIE

On this 20th day of June
Nineteen Hundred and Ninety-one

before me, the subscriber(s), personally appeared

GLORIA J. PAGELS.

to me personally known and known to me to be the same person described in and who executed the within instrument, and she acknowledged to me that she executed the same.

Notary Public

Commission Expires 2/9/93

Notary Public

STATE OF NEW YORK
COUNTY OF

On this
Nineteen Hundred and

before me, the subscriber(s), personally appeared

to me personally known and known to me to be the same person described in and who executed the within instrument, and he acknowledged to me that he executed the same.

VSga

FILED

1991 JUN 28 PM 4 30

ERIE COUNTY
CLERK'S OFFICE

904

GLORIA J. PAGELS

U

GRAND ISLAND COMMERCE CENTER JOINT
VENTURE, a New York General
Partnership

DATED June 20, 1991

STATE OF NEW YORK
ERIE COUNTY CLERK'S OFFICE

Recorded in Liber 10303 Page 510

of ... day of ...

on the ... day of ...

A.D. 1991 at ... o'clock ... P.M.

and examined.

David J. Hunter
CLERK

LIBER 10303 PAGE 510

13/62464-16.50
1-2-1

EXHIBIT 6

Trammell Crow Company Representative Recent Industrial Projects

Regionally, Trammell Crow Company has developed 18 warehouse/distribution projects over the past eight years totaling over 16 million square feet. A list of those projects is provided below.

<u>Project Name/Address</u>	<u>Size (SF)</u>	<u>Year Built</u>
Mountain Creek Distribution Center, Carlisle, PA	700,000	2012
		
LVIP VII., Bethlehem, PA	677,088	2014
		

South Washington Park, Piscataway, NJ

523,793

2014



Lehigh Valley Trade Center, Lower Nazareth, PA

1,245,198

2016



Principio Commerce Center, North East, MD

1,148,890

2016



Humboldt East Trade Center, Hazleton, PA

440,504

2018



Lebanon Valley Dist. Center, Fredericksburg, PA

1,080,421

2017



LOC8, East Windsor, NJ

410,195

2017



Cranbury Logistics Center, Cranbury, NJ

2,783,738

2017-2019



78 Trade Center, Hamburg, PA

1,008,867

2018



EXHIBIT 7



Town of Grand Island Site Plan Application Supplemental Checklist

To be completed by applicant.

Site Plan Applications must be submitted to the Town Code Enforcement Office in accordance with Section 407-108 of the Town Zoning Code. The Code Enforcement Office will verify the application is complete. A complete Site Plan Application includes all of the items below pursuant to section 407-109 of the Zoning Code. **Check the column labeled Submitted by Applicant to certify that each item has been submitted or note why it has not been submitted. Applications will not be reviewed until all items have been submitted or submission requirements have been appropriately waived.**

In addition to this checklist, a complete Site Plan Application includes the following:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Site Plan Application Form | <input checked="" type="checkbox"/> Building Elevations |
| <input checked="" type="checkbox"/> Written Description of the Project | <input type="checkbox"/> Open Space Plan |
| <input checked="" type="checkbox"/> Subdivision/Plat Plan (as applicable) | <input checked="" type="checkbox"/> Landscaping Plan |
| <input checked="" type="checkbox"/> Zoning of Surrounding Area | <input checked="" type="checkbox"/> Drainage Plan |
| <input checked="" type="checkbox"/> Adjacent Land Uses & Property Owners | <input checked="" type="checkbox"/> Storm Water Pollution Prevention Plan |
| <input checked="" type="checkbox"/> Property Boundary Survey | <input checked="" type="checkbox"/> Lighting Plan |
| <input checked="" type="checkbox"/> Site Plan (proposed layout of site) | <input checked="" type="checkbox"/> Signage Plan |
| <input checked="" type="checkbox"/> Utility Plan (water, sewer, etc.) | |

*The site plan must be prepared by a licensed New York State professional engineer, architect, landscape architect or licensed land surveyor as appropriate.

** It is suggested to submit the completed checklist to the Code Enforcement Officer well in advance of (minimum of 2 weeks before) the "Complete Application Deadline" published in the schedule of Planning Board Meetings.

Applicants should also consult:

- Engineering Department Required Technical Checklist for Site Plan Approval
- Town of Grand Island Design and Performance Standards (applicable to North, Central, and South Business Districts and Ferry Village only)
- Zoning Code Chapter 295 – Signs
- Zoning Code Chapter 407 Article XXVIII – Parking, Stacking and Loading Requirements
- Zoning Code Chapter 407 Article XXIX – Landscaping Requirements

A. Site Plan Submission Requirements	Submitted by applicant	For official use only
From Section 407-109 of Grand Island, NY Town Code:		
(1) Application and supporting documentation. Application form, notes, and other required written information (including a written description of the project). Notes:	yes	
(2) Drawing requirements. Title of drawings, including the name of the development, name, telephone number and address of applicant and the name of the person who prepared the drawing. Notes:	yes	
(3) Drawing requirements. Location plan, north point, professional stamp, scale (1 in. equals 20 ft. or other appropriate scale) and date. Notes:	yes	
(4) Zoning and land use map. Zoning, land use and ownership of surrounding and adjacent properties, including all structures on adjacent and surrounding properties. Notes:	yes	
(5) Property survey. A boundary survey of the proposed development, plotted to scale, and existing topographic features including contours or spot elevations at a fifty-foot grid, large trees, buildings, structures, streets, property lines, utility easements, rights-of-way, sewers, water mains, fire hydrants, culverts and other significant man-made features, delineated wetlands and land uses. Notes:	yes	
(6) Subdivision map. Layout and number of lots. Notes:	yes	
(7) Site plan. All lot dimensions including, but not limited to, lot frontage, lot area, building coverage, lot coverage, front yard, side yard, rear yard, building heights and floor area ratio, where applicable. Notes:	yes	
(8) Site plan. All improvement dimensions, including, but not limited to, access roads, snow removal/storage areas, parking areas, walkways, buildings, etc. Notes:	yes	

<p>(9) Site plan. Existing and proposed streets, sidewalks and pedestrian paths immediately adjoining and within the proposed site and the names of all proposed streets.</p> <p>Notes:</p>	yes	
<p>(10) Site plan. Location and dimension of all parking, including but not limited to handicapped parking, loading and stacking areas with access drive.</p> <p>Notes:</p>	yes	
<p>(11) Site plan. Paving, including typical cross sections and profiles of proposed streets, pedestrian walkways and bike ways.</p> <p>Notes:</p>	yes	
<p>(12) Building Details. Location and proposed use, height, building elevations, and finished elevations of all structures.</p> <p>Notes:</p>	yes	
<p>(13) Building Details. Colors, materials, dimensions, access and rooftop plans of all structures.</p> <p>Notes:</p>	yes	
<p>(14) Open space plan. Location and proposed development of all open spaces, including parks, playgrounds, etc.</p> <p>Notes:</p>	N/A	
<p>(15) Drainage plan. Existing and proposed watercourses, direction of flow and the impact on the watershed.</p> <p>Notes:</p>	yes	
<p>(16) Drainage plan. Drainage plan showing existing and finished grades, size and type of pipe, location of receivers, and stormwater management plan evaluating the impacts on the watershed. The best management practices employed to mitigate the impacts of stormwater management shall be set forth in detail. A copy of the storm drainage analysis shall be submitted for review when required by the Town Engineer. Detention/retention basins shall be designed in accordance with Town standards.</p> <p>Notes:</p>	yes	
<p>(17) Water supply plan. Water supply plan, including existing and proposed location of fire hydrants, size of service line and a note indicating any required backflow preventer.</p> <p>Notes:</p>	yes	

(18) Sewer plan. Sewage disposal method and data as required by the Town Engineer. Notes:	yes	
(19) Landscaping plan. Landscape plan indicating location, type and size of existing trees and vegetation identifying those to be preserved or removed as well as location, type and size of trees, vegetation and amenities to be provided. Notes:	yes	
(20) Lighting plan. Location, design and illumination field of lighting, fences and walls. Notes:	yes	
(21) Signage plan. Location and dimension of all signs as required in Town Code Chapter 295. Notes:	yes	
(22) Site plan. Garbage screening and enclosures. Notes: A trash compactor will be used.	yes	
(23) Site plan. Provisions for barrier-free access. Notes: Only the truck court and stormwater ponds will have a fence enclosures	yes	
(24) General requirements. Applicable pollution control. Notes:	yes	
(25) Site plan. Size and location of hazardous materials storage areas. Notes:	N/A	
(26) Site plan. Location of bus stops and shelters. Notes:	N/A	
(27) Subdivision plan/site plan. Proposed easements, restrictions, covenants and provision for homeowners' associations and common ownerships. Notes:	yes	
(28) General requirements. Estimated construction schedule and phasing plan for buildings, earthwork and landscaping. Notes:	yes	

Additional Considerations		
(1) Compliance with Town Design and Performance Standards (if project is located in the North, Central, or South Business Districts or Ferry Village)	N/A	

- B. In addition to the required site plan and supporting data, the Planning Board may request additional supporting data or plans deemed necessary and relevant to carry out its responsibility for site plan review.

Submitted by:

Name of Applicant

Title

Signature

Date

Received by:

Name of Code Enforcement Official

Title

Signature

Date

TOWN OF GRAND ISLAND - ENGINEERING DEPARTMENT
REQUIRED TECHNICAL CHECKLIST FOR SITE PLAN APPROVAL

(To Be Completed By The Review Agency)

Supplied as a Guide to Applicant

Project Name: Project Olive Date: February 12, 2020

Address (of project): 2780 Long Road, Town of Grand Island, NY

Licensed (P.E.) L.S., R.A., or L.A.: Langan Telephone #: 914-323-7400

Complete list of site plan requirements can be found in §49-122 of the Grand Island Town Code.

1. Nineteen sets (2 full sized, 17 11"x17") of plans prepared by a licensed professional engineer, an architect, a landscape architect or licensed land surveyor.
☒ yes ☐ no ☐ N/A ☐ see comments
2. Drawing title including: name of development, name and address of applicant and person who prepared the drawings.
☒ yes ☒ no ☐ N/A ☐ see comments
3. North point, scale, location map and date. ☒ yes ☐ no ☐ N/A ☐ see comments
4. Property survey of proposed development, including dimensions, angles and acreage plotted to scale.
☒ yes ☐ no ☐ N/A ☐ see comments
5. Topographic Survey (50 foot grid or less), Datum shall be U.S.G.S., include benchmark(s) location & elevation on drawing.
☒ yes ☐ no ☐ N/A ☐ see comments
6. Name, right-of-way and pavement width of all existing streets on or adjacent to the tract, also include the location of all adjacent or abutting driveways and street intersections.
☒ yes ☐ no ☐ N/A ☐ see comments
7. Zoning, land use and ownership of surrounding and adjacent properties, including all structures on adjacent and surrounding properties.
☒ yes ☐ no ☐ N/A ☐ see comments
8. All existing buildings, sewers, watermains, culverts, fire hydrants and other significant manmade features are plotted.
☒ yes ☐ no ☐ N/A ☐ see comments
9. Proposed building locations, setbacks, sideyard dimensions, space between buildings, green areas, parking areas (including number of parking spaces) and access to and from site. Also, handicapped parking shall be in conformance with the uniform code per §407-136B. (2). For number of parking spaces required, see §407 attachment 3. All parking spaces shall be to the rear of the building setback line and must meet the required provision of §407-127 thru §407-136.
☒ yes ☐ no ☐ N/A ☐ see comments
10. All existing watercourses, delineated wetland, tree masses and other significant natural feature, elevation of water in existing ditches or watercourse at flood stage (10 yr. flood maximum & 100 yr. flood level if in flood hazard areas), direction of flow and impact on watershed.
☒ yes ☐ no ☐ N/A ☐ see comments
11. Drainage Concerns:
 - a. Drainage Plan showing finished elevations of building and parking areas with storm receivers and storm sewers plotted (include length, size, type and slope of pipe).
☒ yes ☐ no ☐ N/A ☐ see comments
 - b. Storm drainage calculations for developed and undeveloped conditions.
☒ yes ☐ no ☐ N/A ☐ see comments
 - c. Existing outlet capacity evaluated and detention provided if necessary.
☒ yes ☐ no ☐ N/A ☐ see comments
 - d. Roof drainage piped to storm drainage system.
☒ yes ☐ no ☐ N/A ☐ see comments
 - e. Detention basin outlet control.
☒ yes ☐ no ☐ N/A ☐ see comments
12. Water Service Concerns:
 - a. Proposed water supply plan, including hydrant locations.
☒ yes ☐ no ☐ N/A ☐ see comments

- b. Size and type of pipe for service line(s). ☒ yes ☐ no ☐ N/A ☐ see comments
- c. Backflow preventor size, type and manufacturer. ☒ yes ☐ no ☐ N/A ☐ see comments
- d. Sprinkler system. ☒ yes ☐ no ☐ N/A ☐ see comments
13. Pavement typical cross section, profiles of all proposed streets, six foot wide concrete sidewalks across frontage. ☒ yes ☐ no ☐ N/A ☐ see comments
14. Sewage disposal plans with data as required by the Town Engineer. ☒ yes ☐ no ☐ N/A ☐ see comments
15. Compliance with Performance Standards §407-13 of the Town Code ☒ yes ☐ no ☐ N/A ☐ see comments
16. Landscape plan for the entire site in accordance with Sect. §407, Article XXIX of the Town Code. (Minimum 10% of the entire area shall be landscaped). Trees shall be located across lot frontage, and located to screen parking. Compliance with Grand Island Blvd. planting plan where applicable. Refer also to 2.2.2 (Town of GI Design and Performance Standards) as applicable. ☒ yes ☐ no ☐ N/A ☐ see comments
17. Location and design of lighting facilities, fences, walls and signs. ☒ yes ☐ no ☐ N/A ☐ see comments
18. Location and dimension of all signs as required in Town Code Chapter 295. ☒ yes ☐ no ☐ N/A ☐ see comments
19. Garbage screening and enclosures. ☒ yes ☐ no ☐ N/A ☐ see comments
20. Provisions for barrier free access. ☒ yes ☐ no ☐ N/A ☐ see comments
21. Sedimentation and Erosion Control Plan. ☒ yes ☐ no ☐ N/A ☐ see comments
22. Copies of proposed easements, restrictions, covenants and provisions for any and all homeowners associations and common ownership. ☒ yes ☐ no ☐ N/A ☐ see comments
23. Public recreation for site development as outlined in Sect §327-10G of the Town Code. ☐ yes ☐ no ☒ N/A ☐ see comments
24. SEQR forms submitted. ☒ yes ☐ no ☐ N/A ☐ see comments
25. Referral to Erie County Dept. of Environment & Planning. ☐ yes ☒ no ☐ N/A ☐ see comments
26. Compliance with US Environmental protection Agency and NYS Dept. of Conservation stormwater regulations. ☒ yes ☐ no ☐ N/A ☐ see comments
27. NYS SPEDES Permit for site disturbance over 1 Acre. ☒ yes ☐ no ☐ N/A ☐ see comments
28. Flood Hazard Development permit for development inside 100 yr. flood zone OR installation of pipe or drainage structure within a 100 yr. flood zone. ☐ yes ☐ no ☒ N/A ☐ see comments

COMMENTS

REVIEWED BY

DATE

ACTION

EXHIBIT 8

EXHIBIT 8: DEVELOPMENT CONCEPT PLAN REQUIREMENTS AND ANALYSIS

Code § 407-121(A)(2)(b) requires that an application for approval of a development concept plan contain certain information. Listed below you will find each of the application requirements as set forth in the Town Code, along with an explanation describing how each has been addressed and, as applicable, an exhibit reference directing your attention to the relevant materials.

1. The applicant's name and address and his interest in the subject property.

APPLICANT'S RESPONSE: See ***Exhibit 1, Site Plan.***

2. The owner's name and address, if different than the applicant, and the owner's signed consent to the filing of the application.

APPLICANT'S RESPONSE: See ***Exhibit 1, Site Plan.***

3. The names and addresses of all professional consultants advising the applicant with respect to the proposed planned development.

APPLICANT'S RESPONSE: *The Applicant has engaged the following professional consultant with respect to the proposed Project:*

<i>Counsel</i>	Phillips Lytle LLP One Canalside 125 Main Street Buffalo, NY 14206-2887
<i>Civil Engineering</i>	Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601
<i>Architect</i>	BL Companies Architecture Engineering Environmental Land Surveying 355 Research Parkway Meriden, CT 06450
<i>Historic and Cultural Resources</i>	Archaeology & Historic Resource Services, LLC 605 Twin Arch Road Rock Tavern, NY 12575
<i>Traffic</i>	SRF Associates 3495 Winton Place Building E, Suite 110

	<i>Rochester, NY 14623</i>
Noise	<i>Ostergaard Acoustical Associates 1460 US Highway 9 North, Suite 209 Woodbridge, NJ 07095</i>
Wetlands	<i>Wilson Environmental Technologies, Inc. 1879 Whitehaven Road, Suite 3 Grand Island, New York 14072</i>

4. The name, residence and the nature and extent of the interest, as defined by § 809 of the General Municipal Law of New York, of any state officer, of any officer or employee of the Town or the county in the owner-applicant or the subject property, if known to the applicant.

APPLICANT'S RESPONSE: *N/A*

5. The legal description of the subject property.

APPLICANT'S RESPONSE: *See Exhibit 2, Survey with Legal Description.*

6. The zoning classification and present use of the subject property.

APPLICANT'S RESPONSE: *The Site is classified as M1 and is currently vacant.*

7. A map, certified by a licensed land surveyor, showing property boundary lines and dimensions; existing subdivision lots; available utilities; and easements, roadways, rail lines and public rights-of-way crossing and adjacent to the subject property.

APPLICANT'S RESPONSE: *See Exhibit 2, Survey with Legal Description.*

8. A map of the existing site conditions, at a scale of not less than 100 feet to the inch, which depicts all significant natural, topographical and physical features of the subject property, including contours; location and extent of tree cover; including single trees in excess of 12 inches in diameter; location and extent of watercourses, marshes and floodplains on or within 100 feet of the subject property; significant rock outcroppings; existing drainage patterns; vistas; and soil conditions as they affect the development.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CD100, Overall Existing Conditions & Site Removal Plan.*

9. A map depicting the existing development of the subject property and all land within 200 feet thereof and showing the dimensions and the approximate

location of existing streets, property lines, easements, water mains and storm and sanitary sewers.

APPLICANT'S RESPONSE: *See Exhibit 2, Survey with Legal Description.*

10. A written statement generally describing the proposed planned development, the categories of uses to be permitted and the market which it is intended to serve; its relationship to the Comprehensive Plan; and how the proposed planned development is to be designed, arranged and operated, in order to permit the development and use of neighboring property in accordance with the applicable regulations of the Town Code. This statement shall include a description of the applicant's planning objectives and the rationale governing the applicant's choices of objectives and approaches.

APPLICANT'S RESPONSE: *See Letter of Intent, at Proposed Rezoning and Amendment to the Town's Zoning Map, Planned Development District.*

11. Schematic drawings, at a scale of not less than 100 feet to the inch, of the proposed planned development concept, including the general location of vehicular and pedestrian circulation and parking easements; public and private open space; sewer and water systems; and residential, commercial, industrial and other land uses.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CS100, Overall Site Plan and Sheets, CS101 through CS107, Partial Site Plan.*

12. A tabulation of:
 - a. The total number of dwelling units proposed, by type of structure and number of bedrooms.

APPLICANT'S RESPONSE: *The Project is Commercial in nature and no dwelling units are proposed. See Exhibit 1, at Sheet CS100, Overall Site Plan.*

- b. The total square feet of building floor area proposed for commercial uses and for industrial uses, by general type of use.

APPLICANT'S RESPONSE: *The Project proposes a 3,783,124 square feet warehouse. 52,000 square feet will be used as office space and the remaining square footage will be used as an e-commerce storage and distribution facility for consumer products. See Exhibit 1, at Sheet CS100, Overall Site Plan.*

- c. The total land area, expressed in acres and as a percent of total development area, proposed to be devoted to residential uses, by type of

structure; commercial uses; industrial uses; public and private open space; and off-street parking and loading areas.

APPLICANT'S RESPONSE: *In total: (1) 31 acres of the Site will be devoted to industrial use, which is 21% of the total development area; (2) 89.6 acres of the Site will be devoted to public and private open space, which is 62% of the total development area; (3) 5.7 acres of the Site will be devoted to streets, which is 4% of the total development area; and (4) 19.0 acres of the Site will be devoted to off-street parking, which is 13% of the total development area. See **Exhibit 1, at Sheet CS100, Overall Site Plan.***

- d. The proposed number of off-street parking and loading spaces for each proposed type of land use.

APPLICANT'S RESPONSE: *The Project proposes 1,855 car parking spaces, plus 16 motorcycle spaces, all of which will serve the industrial use. See **Exhibit 1, at Sheet CS100, Overall Site Plan.** The Project also proposes 69 loading facilities, which will be used to load and unload goods from the trucks that service the Site. See **Exhibit 1, at Sheet CS100, Overall Site Plan.***

13. A statement of the applicant's intent with respect to the ownership, sale and leasing of the various completed units, structures, spaces and areas within the proposed development.

APPLICANT'S RESPONSE: *The Facility will be occupied by single prospective entity. See **Exhibit 10.** The Site is currently owned by Grand Island Commerce Center Joint Venture, which has authorized TC Buffalo to file the Application on behalf of a prospective entity. See **Exhibit 5.***

14. If the planned development is proposed for construction in stages or units during a period extending beyond a single construction season, a schedule for the development of such stages or units shall be submitted, stating the approximate beginning and completion date for each such stage or unit, the proportion of the total public and private open space and the proportion of each type of proposed land use to be provided or constructed during each such stage; and the overall chronology of development to be followed from stage to stage.

APPLICANT'S RESPONSE: *The Project will be constructed in a single phase over approximately 18 to 24 months, with scheduled winter breaks.*

15. If any stage or unit is proposed to contain a proportion of open space or other public or private recreation or service facilities less than its proportion of dwelling units, a statement of what bond, credit escrow or other assurance is

proposed to ensure the development or provision of such open space or other facility.

APPLICANT'S RESPONSE: N/A

16. Evidence that the applicant has sufficient control over the subject property to effectuate the proposed planned development, including a statement of all legal, beneficial, tenancy and contractual interests held in or affecting the subject property and including an up-to-date certified abstract of title or commitment for title insurance.

APPLICANT'S RESPONSE: See *Exhibit 5, Evidence of Site Control*.

17. Evidence of the financing plan the applicant proposes to use to complete the proposed planned development. Evidence of the applicant's prior successful completion of projects of similar scope may be offered in satisfaction of this requirement.

APPLICANT'S RESPONSE: See *Exhibit 6, Finance Plan*.

18. Such other and further information as the Planning Board or Town Board may deem necessary to a full and complete review of the proposed planned development.

APPLICANT'S RESPONSE: *The Applicant will provide additional information as necessary to facilitate full and complete review of its Application.*

19. A SWPPP, if required for the proposed land development activity pursuant to Article XXXV of the Town Code, together with the recommendation of the SMO to approve, approve with modifications or disapprove the SWPPP pursuant to Town Code § 407-197B. If a SWPPP is submitted with the applicant for approval of a development concept plan pursuant to this section, such SWPPP and development concept plan shall comply with the requirements of Article XXXV of the Town Code.

APPLICANT'S RESPONSE: See *Exhibit 12, at Exhibit B, SWPPP*.

EXHIBIT 9

EXHIBIT 9: DETAILED PLAN REQUIREMENTS AND ANALYSIS

Code § 407-121(A)(3)(b) requires that an application for approval of a detailed plan contain certain information. Listed below you will find each of the detailed plan application requirements as set forth in the Town Code, along with an explanation describing how each has been addressed and, as applicable, an exhibit reference directing your attention to the relevant materials.

1. The applicant's name and address and his interest in the subject property.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

2. The owner's name and address, if different than the applicant, and the owner's signed consent to the filing of the application.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

3. A legal description of the property for which detailed plan approval is sought.

APPLICANT'S RESPONSE: See *Exhibit 2, Survey and Legal Description*.

4. The date on which development concept approval was granted.

APPLICANT'S RESPONSE: *The Applicant has submitted its development concept plan and detailed plan simultaneously pursuant to Town Code § 407-121(A)(2)(c).*

5. An Application for site plan approval as required by the Town Code, which shall bear the seal of a registered architect or licensed professional engineer.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

6. A preliminary plat of the subdivision as may be required by Chapter 327 of the Town Code.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CB101 and CB102, Preliminary Subdivision Plat*.

7. A tabulation of the following information with respect to the area included in the detailed plan:

- a. The total number of dwelling units proposed by type of structure and number of bedrooms.

APPLICANT'S RESPONSE: *The Project is Commercial in nature and no dwelling units are proposed. See **Exhibit 1, at Sheet CS100, Overall Site Plan.***

- b. The total square feet of building floor area proposed for commercial uses and for industrial uses, by general type of use.

APPLICANT'S RESPONSE: *The Project proposes a 3,783,124 square feet warehouse. 52,000 square feet will be used as office space and the remaining square footage will be used as an e-commerce storage and distribution facility for consumer products. See **Exhibit 1, at Sheet CS100, Overall Site Plan.***

- c. The total land area, expressed in acres and as a percent of total development area, proposed to be devoted to residential uses, by type of structure; commercial uses; industrial uses; public and private open space; and off-street parking and loading areas.

APPLICANT'S RESPONSE: *In total: (1) 31 acres of the Site will be devoted to industrial use, which is 21% of the total development area; (2) 89.6 acres of the Site will be devoted to public and private open space, which is 62% of the total development area; (3) 5.7 acres of the Site will be devoted to streets, which is 4% of the total development area; and (4) 19.0 acres of the Site will be devoted to off-street parking, which is 13% of the total development area. See **Exhibit 1, at Sheet CS100, Overall Site Plan.***

- d. The proposed number of off-street parking and loading spaces for each proposed type of land use.

APPLICANT'S RESPONSE: *: The Project proposes 1,855 car parking spaces, plus 16 motorcycle spaces, all of which will serve the industrial use. See **Exhibit 1, at Sheet CS100, Overall Site Plan.** The Project also proposes 69 loading facilities, which will be used to load and unload goods from the trucks that service the Site. See **Exhibit 1, at Sheet CS100, Overall Site Plan.***

8. When the proposed planned development or stage or portion thereof, includes provisions for public or private open space or service facilities, a statement describing the provision that is to be made for the dedication or care and maintenance of such open space or service facilities. If it is proposed that such open space be owned or maintained by any entity other than a governmental authority, copies of the proposed Articles of Incorporation and bylaws of such entity shall be submitted.

APPLICANT'S RESPONSE: *The Project is owned by a single entity that will maintain the open space in the ordinary course of its property maintenance with respect to the entire Project.*

9. Utility plans, indicating placement of water mains, sanitary and storm sewerage, gas, electric and telephone lines, and related facilities.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CU100, Overall Utility Plan; and Sheet CU101 through CU107, Partial Utility Plan.*

10. A statement and plan of the proposed treatment of the perimeter of the proposed planned development, including materials and techniques to be used.

APPLICANT'S RESPONSE: *The perimeter of the Project will be chiefly made up of evergreen screening and other trees, combined with various forms of fencing, where necessary. See Exhibit 1.*

11. A traffic- and transit-impact analysis indicating the relationship of the site plan to traffic, road and transit use and plans in the immediate area.

APPLICANT'S RESPONSE: *See Exhibit 12, at Exhibit G, Traffic Impact Study.*

12. A soil erosion control plan for the period during which construction will be taking place.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CE100 Overall Phasing & Erosion & Sediment Control Plan, and Sheets CE101-107, Partial Erosion and Sediment Control Plan; Exhibit 12, at Exhibit B, SWPPP.*

13. A statement summarizing all changes which have been made in any document, plan, data or information previously submitted, together with revised copies of any such document, plan or data.

APPLICANT'S RESPONSE: *The Applicant has not previously submitted any materials to the Town.*

14. Such other information as the Town Board or Planning Board shall find necessary for a full consideration of the entire proposed planned development or any stage or unit thereof.

APPLICANT'S RESPONSE: *The Applicant will provide additional information as necessary to facilitate full and complete review of its Application.*

15. A SWPPP, if required for the proposed land development activity pursuant to Article XXXV of the Town Code, together with the recommendation of the SMO to approve, approve with modifications or disapprove the SWPPP pursuant to Town Code § 407-197B. If a SWPPP is submitted with the applicant for approval of a development concept plan pursuant to this section, such SWPPP and development concept plan shall comply with the requirements of Article XXXV of the Town Code.

APPLICANT'S RESPONSE: See *Exhibit 12, at Exhibit B, SWPPP.*

EXHIBIT 10

EXHIBIT 10 - SITE PLAN REQUIREMENTS AND ANALYSIS

Code § 407-109(A) requires that an application for approval of a site plan contain certain information. Listed below you will find each of the site plan requirements as set forth in the Town Code, along with an explanation describing how each has been addressed and, as applicable, an exhibit reference directing your attention to the relevant materials.

1. Application form, notes, and other required written information.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

2. Title of drawings, including the name of the development, name, telephone number and address of applicant and the name of the person who prepared the drawing.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

3. Location Plan, North Point, professional stamp, scale (one inch equals 20 feet or other appropriate scale) and date.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

4. Zoning, land use and ownership of surrounding and adjacent properties, including all structures on adjacent and surrounding properties.

APPLICANT'S RESPONSE: See *Exhibit 1, Site Plan*.

5. A boundary survey of the proposed development, plotted to scale, and existing topographic features including contours or spot elevations at a fifty-foot grid, large trees, buildings, structures, streets, property lines, utility easements, rights-of-way, sewers, water mains, fire hydrants, culverts and other significant manmade features, delineated wetlands and land uses.

APPLICANT'S RESPONSE: See *Exhibit 2, Survey and Legal Description*.

6. Layout and number of lots.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS100, Overall Site Plan*.

7. All lot dimensions including, but not limited to, lot frontage, lot area, building coverage, lot coverage, front yard, side yard, rear yard, building heights and floor area ratio, where applicable.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS100, Overall Site Plan; Exhibit 4, Building Elevations.*

8. All improvement dimensions including, but not limited to, lot frontage, lot area, building coverage, lot coverage, front yard, side yard, rear yard, building heights and floor area ratio where applicable.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS100, Overall Site Plan; Exhibit 4, Building Elevations.*

9. Existing and proposed streets, sidewalks and pedestrian paths immediately adjoining and within the proposed site and the names of all proposed streets.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS100, Overall Site Plan.*

10. Location and dimension of all parking, including but not limited to handicapped parking, loading and stacking areas with access to drive.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS100, Overall Site Plan, and Sheets CS101 through CS107, Partial Site Plan.*

11. Paving, including typical cross sections and profiles of proposed streets, pedestrian walkways and bike ways.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS501, Site Details.*

12. Location and proposed use, height, building elevations, and finished elevations of all structures.

APPLICANT'S RESPONSE: See *Exhibit 4, Building Elevations.*

13. Colors, materials, dimensions, access and rooftop plans of all structures.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheets CS501 and CS502, Site Details; Exhibit 3, Renderings.*

14. Location and proposed development of all open spaces, including parks, playgrounds, etc.

APPLICANT'S RESPONSE: See *Exhibit 1*.

15. Existing and proposed watercourses, direction of flow and the impact on the watershed

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CD100, Overall Existing Conditions and Site Removal Plan; Exhibit 12, at Exhibit C, Wetlands/Waters Impact Assessment*.

16. Drainage plan showing existing and finished grades, size and type of pipe, location of receivers, and stormwater management plan evaluating the impacts on the watershed. The best management practices employed to mitigate the impacts of stormwater management shall be set forth in detail. A copy of the storm drainage analysis shall be submitted for review when required by the Town Engineer. Detention/retention basins shall be designed in accordance with Town standards.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CS100, Overall Site Plan, CS506 and CS507, Drainage Details; Exhibit 12, at Exhibit B, SWPPP*.

17. Water supply plan, including existing and proposed location of fire hydrants, size of services line and a note indicating any required backflow preventor.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CU100, Overall Utility Plan; Exhibit 12, at Exhibit H, Water Distribution System Engineer's Report*.

18. Sewage disposal method and data as required by the Town Engineer.

APPLICANT'S RESPONSE: See *Exhibit 1, at Sheet CU100, Overall Utility Plan; Exhibit 12, at Exhibit I, Sanitary Sewer System and Pump Station Engineer's Report*.

19. Landscape plan indicating location, type and size of existing trees and vegetation identifying those to be preserved or removed as well as location, type and size of trees, vegetation and amenities to be provided.

APPLICANT'S RESPONSE: See *Exhibit 1 at Sheet LP100, Overall Landscape Plan, Sheets, LP101 through LP107, Partial Landscape Plan, and Sheet LP501 Landscape Notes and Details*.

20. Location, design and illumination field of lighting, fences and walls.

APPLICANT'S RESPONSE: *See Exhibit 1 at Sheet LL100, Overall Lighting Plan, Sheets, LL101 through LL107, Partial Lighting Plan, and Sheet LL501 Lighting Notes and Details.*

21. Location and dimension of all signs as required in Town Code Chapter 295.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CS100, Overall Site Plan, Sheets CS101 through CS107, Partial Site Plan and Sheet CS502, Site Details.*

22. Garbage screening and enclosures.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet LP100, Overall Landscape Plan.*

23. Provisions for barrier-free access.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CS100, Overall Site Plan, Sheets CS101 through CS107, Partial Site Plan.*

24. Applicable pollution control.

APPLICANT'S RESPONSE: *See Exhibit 1, Site Plan; Exhibit 12, at Exhibit B, SWPPP.*

25. Size and location of hazardous materials storage areas.

APPLICANT'S RESPONSE: *N/A.*

26. Location of bus stops and shelters.

APPLICANT'S RESPONSE: *See Exhibit 1, at Sheet CS100, Overall Site Plan.*

27. Proposed easements, restrictions, covenants and provision for homeowners' associations and common ownerships.

APPLICANT'S RESPONSE: *N/A.*

28. Estimated construction schedule and phasing plan for buildings, earthwork and landscaping.

APPLICANT'S RESPONSE: *The Project will be constructed in a single phase over approximately 18 to 24 months, with scheduled winter breaks. The Project incorporates appropriate erosion and sediment control measures, which will be utilized both during*

and after the construction phase. See Exhibit 1, at Sheet CE100, Overall Phasing Erosion & Sediment Control Plan, and Sheets CE101 through CE107, Partial Erosion & Sediment Control Plan; Exhibit 12, at Exhibit B, SWPPP. Appropriate landscaping is planned for the Site, which will reduce the visual impact of the Facility, aid in controlling erosion, and perform stormwater management functions. See Exhibit 1, at Sheet LP100, Overall Landscape Plan, Sheets LP101 through LP107, Partial Landscape Plan, and LP501, Landscape Notes & Details.

EXHIBIT 11

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Project Olive - Proposed Warehouse Distribution Facility Project		
Project Location (describe, and attach a general location map): Located approximately 700 feet west of Niagara Thruway I-190 south of Long Road and North of Bedell Road		
Brief Description of Proposed Action (include purpose or need): Refer to Exhibit A, Project Description and Exhibit B, Site Plan Exhibits.		
Name of Applicant/Sponsor: TC Buffalo Development Associates, LLC		Telephone: 412.316.2403
		E-Mail: j.murraycoleman@trammellcrow.com
Address: 600 Grant Street, Suite 4800		
City/PO: Pittsburgh	State: PA	Zip Code: 15219
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): G I Commerce Ctr Joint Venture		Telephone: 716-204-3570
		E-Mail: mhuntress@acquestdevelopment.com
Address: 5554 Main Street		
City/PO: Williamsville	State: NY	Zip Code: 14221

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board - Site Plan Approval & Planned Development District	February 21, 2020
b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission		
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning - 239m, Health Department - Sewer and Water Main Approval	
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Industrial Development Agency	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC, NYSHPO, NYS Empire State Development	TBD
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	US Army Corps of Engineers	TBD
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

NYS Heritage Areas: West Erie Canal Corridor

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No

If Yes, what is the zoning classification(s) including any applicable overlay district?

M-1 Light Industrial and Research

R-1A Low Density Single Family Residential

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☒ No

c. Is a zoning change requested as part of the proposed action? ☒ Yes ☐ No

If Yes,

i. What is the proposed new zoning for the site? Planned Development District

C.4. Existing community services.

a. In what school district is the project site located? Grand Island Central School District

b. What police or other public protection forces serve the project site?

Grand Island Police Department; Erie County Sheriff's Department; New York State Police

c. Which fire protection and emergency medical services serve the project site?

Grand Island Fire Station No. 2

d. What parks serve the project site?

Zach Mathews Niagara Border Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Warehouse and distribution facility for consumer products.

b. a. Total acreage of the site of the proposed action? 145.4 acres

b. Total acreage to be physically disturbed? 119.0 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 145.4 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

Commercial/Residential

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? 2

iv. Minimum and maximum proposed lot sizes? Minimum 62.13 Maximum 143.63

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 18 months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,		* Structures include warehouse, primary guardhouse, secondary guardhouse, and a water tank.
i. Total number of structures <u>4</u> *		
ii. Dimensions (in feet) of largest proposed structure: <u>98.2</u> height; <u>+/-720</u> width; and <u>+/-1297</u> length		
iii. Approximate extent of building space to be heated or cooled: <u>3,783,000</u> square feet		

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Purpose of the impoundment: <u>Stormwater management and to balance earthwork</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Surface runoff from the proposed development</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: <u>10.9</u> million gallons; surface area: <u>10.3</u> acres	
v. Dimensions of the proposed dam or impounding structure: <u>5' max.</u> height; <u>570' max</u> length (see SWPPP for additional information)	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>Earth</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>USACE Wetlands "J", "L" and "Q"; and USACE regulated drainage ditches</u>	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres: Approximately 3,200 linear feet of the existing regulated ditch will be relocated to the west of the proposed building. Several wetlands/waters will be crossed, filled or have structures placed within them. Approximately 0.82 acres of ACOE Wetlands (0.28 acres of Wetland "L"; 0.42 acres of Wetland "J"; 0.12 acres of Wetland "Q"; and, 0.02 acres of a drainage ditch) will be impacted.

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

See Exhibit E: Wetland mitigation credit purchase and onsite improvements.

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No

If Yes:

i. Total anticipated water usage/demand per day: _____ +/-45,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No

If Yes:

- Name of district or service area: Town of Grand Island Water Department
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
A new water main will be installed from Long Road to Bedell Road through the site.
- Source(s) of supply for the district: Grand Island Water Treatment Plant

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No

If Yes:

i. Total anticipated liquid waste generation per day: _____ +/-45,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No

If Yes:

- Name of wastewater treatment plant to be used: Grand Island Sewage Treatment Plant
- Name of district: Town of Grand Island Sewer District No. 6
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____</p> <p>_____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p>	

<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="margin-left: 40px;">_____ Square feet or <u>55+</u> acres (impervious surface)</p> <p style="margin-left: 40px;">_____ Square feet or <u>145.4</u> acres (parcel size)</p> <p>ii. Describe types of new point sources. <u>Stormwater outfall pipes to Feeder Creek and Collector Creek</u></p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____</p> <p><u>Stormwater runoff will be directed to on-site stormwater management facilities including bioretentions and wet ponds.</u></p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ <li style="margin-left: 40px;"><u>Runoff from a small portion of the site will be directed to a relocated creek on-site.</u> <p>_____</p> <ul style="list-style-type: none"> • Will stormwater runoff flow to adjacent properties? _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>	

<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p><u>tractor-trailers</u></p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p> <p><u>HVAC rooftop units</u></p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
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<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
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<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input checked="" type="checkbox"/> Morning <input checked="" type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____ 484 truck trips/day</p> <p>iii. Parking spaces: Existing <u>0</u> Proposed <u>1,855 Car</u> Net increase/decrease <u>1,855 Car, 219 Trailer, 16 Motorcycle</u> 219 Trailer 16 Motorcycle <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: Construct right turn lane for existing traffic exiting at I-190 northbound ramp at Grand Island Boulevard. Install traffic signal at I-190 southbound ramp</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____ Approximately 3,350 MWhrs.</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): National Grid</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7am to 7pm</u> • Saturday: <u>8am to 5pm</u> • Sunday: <u>None</u> • Holidays: <u>None</u> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>24 Hours</u> • Saturday: <u>24 Hours</u> • Sunday: <u>24 Hours</u> • Holidays: <u>24 Hours</u> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7am to 7pm</u> • Saturday: <u>8am to 5pm</u> • Sunday: <u>None</u> • Holidays: <u>None</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>24 Hours</u> • Saturday: <u>24 Hours</u> • Sunday: <u>24 Hours</u> • Holidays: <u>24 Hours</u>
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7am to 7pm</u> • Saturday: <u>8am to 5pm</u> • Sunday: <u>None</u> • Holidays: <u>None</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>24 Hours</u> • Saturday: <u>24 Hours</u> • Sunday: <u>24 Hours</u> • Holidays: <u>24 Hours</u> 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p style="margin-left: 20px;"><u>Facility adds rooftop HVAC equipment (does not vary throughout day) and vehicle and truck activity. On-site noise not expected to have negative acoustical impact per DEC guidelines. HVAC and motor vehicle sound will comply with all local and State noise codes.</u></p> <p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">Describe: _____</p>
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="margin-left: 20px;"><u>Light sources as are from building-mounted (@25') and pole-mounted (@40' max). Luminaries are dark-sky, high-efficiency LED lights with cut-off shields to provide uniform and energy-conscious illumination to walkways and parking lots on-site.</u></p> <p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">Describe: _____</p>
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ 10 _____ tons per _____ day (unit of time) • Operation : _____ 123 _____ tons per _____ month (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: <u>On-site recycling will be provided and privately hauled to a recycling facility.</u> _____ • Operation: <u>On-site recycling will be provided and privately hauled to a recycling facility.</u> _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: <u>Solid waste will be handled by a private contractor.</u> _____ • Operation: <u>Solid waste will be handled by a private contractor.</u> _____

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☒ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

Industrial/Commercial/Residential uses to the north and south. I-190 to the east and vacant parcel to the west

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.66	55.40	+52.74
• Forested	99.61	15.02	-84.59
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	36.15	51.19	+15.04
• Agricultural (includes active orchards, field, greenhouse etc.)	0.00	0.00	0.00
• Surface water features (lakes, ponds, streams, rivers, etc.)	1.88	19.52	+17.64
• Wetlands (freshwater or tidal)	5.09	4.27 (excludes mitigation)	-0.82
• Non-vegetated (bare rock, earth or fill)	0.00	0.00	0.00
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Does the project site contain an existing dam? If Yes: i. Dimensions of the dam and impoundment: <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet ii. Dam's existing hazard classification: _____ iii. Provide date and summarize results of last inspection: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div style="width: 45%;"> <input type="checkbox"/> Yes – Spills Incidents database <input type="checkbox"/> Yes – Environmental Site Remediation database <input type="checkbox"/> Neither database </div> <div style="width: 50%;"> Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ </div> </div> ii. If site has been subject of RCRA corrective activities, describe control measures: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): _____ iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> If yes, DEC site ID number: _____ Describe the type of institutional control (e.g., deed restriction or easement): _____ Describe any use limitations: _____ Describe any engineering controls: _____ Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ n/a feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site:	
Lakemont silt loam	10 %
Odessa silt loam	60 %
Odessa-Lakemont complex	30 %
d. What is the average depth to the water table on the project site? Average: _____ 1.0 feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input checked="" type="checkbox"/> Poorly Drained 100 % of site	
f. Approximate proportion of proposed action site with slopes: <input checked="" type="checkbox"/> 0-10%: _____ 10 % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> Streams: Name <u>Unnamed Tributary</u> Classification <u>N/A</u> Lakes or Ponds: Name _____ Classification _____ Wetlands: Name <u>Federal Waters, Federal Waters, Federal Waters</u> See Note 1 below Approximate Size <u>5.09 AC</u> Wetland No. (if regulated by DEC) <u>TW-30 (portion)</u> 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Name of aquifer: _____	

(1): Includes USACE Wetlands J, L, N, P, Q, R and T and NYSDEC Wetlands M, R, S, T, U and V

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Songbirds _____</p> <p>Grey Squirrel _____</p> <p>White-tailed Deer _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation):</p> <p>Silver Maple-Ash Swamp _____ According to a determination from the NYSDEC Natural Heritage Program, significant natural communities do not occur onsite. The referenced community is located within Buckhorn State Park approximately 0.35 mi. north of the site.</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ 0.0 acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres <p style="text-align: right; margin-right: 20px;">Refer to NYSDEC National Heritage database response attached.</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>Short-eared Owl _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____ 	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Describe possible resource(s): _____ ii. Basis for identification: _____ 	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Identify resource: <u>Buckhorn Island State Park</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>state park</u> iii. Distance between project and resource: _____ <u>0.35</u> miles. 	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No 	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

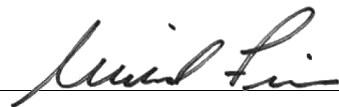
I certify that the information provided is true to the best of my knowledge.

Michael Finan, PE, LEED-AP of Langan

Applicant/Sponsor Name on behalf of the applicant

Date 02/21/2020

Signature _____



Title Senior Associate/VP



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No

E.2.n. [Natural Communities]	Yes
E.2.n.i [Natural Communities - Name]	Silver Maple-Ash Swamp
E.2.n.i [Natural Communities - Acres]	0.0
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Short-eared Owl
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No